

**TERMINATED**  
Per Section 14-16-3-11  
of the Zoning Code

11-16-2015

**SITE DATA:**

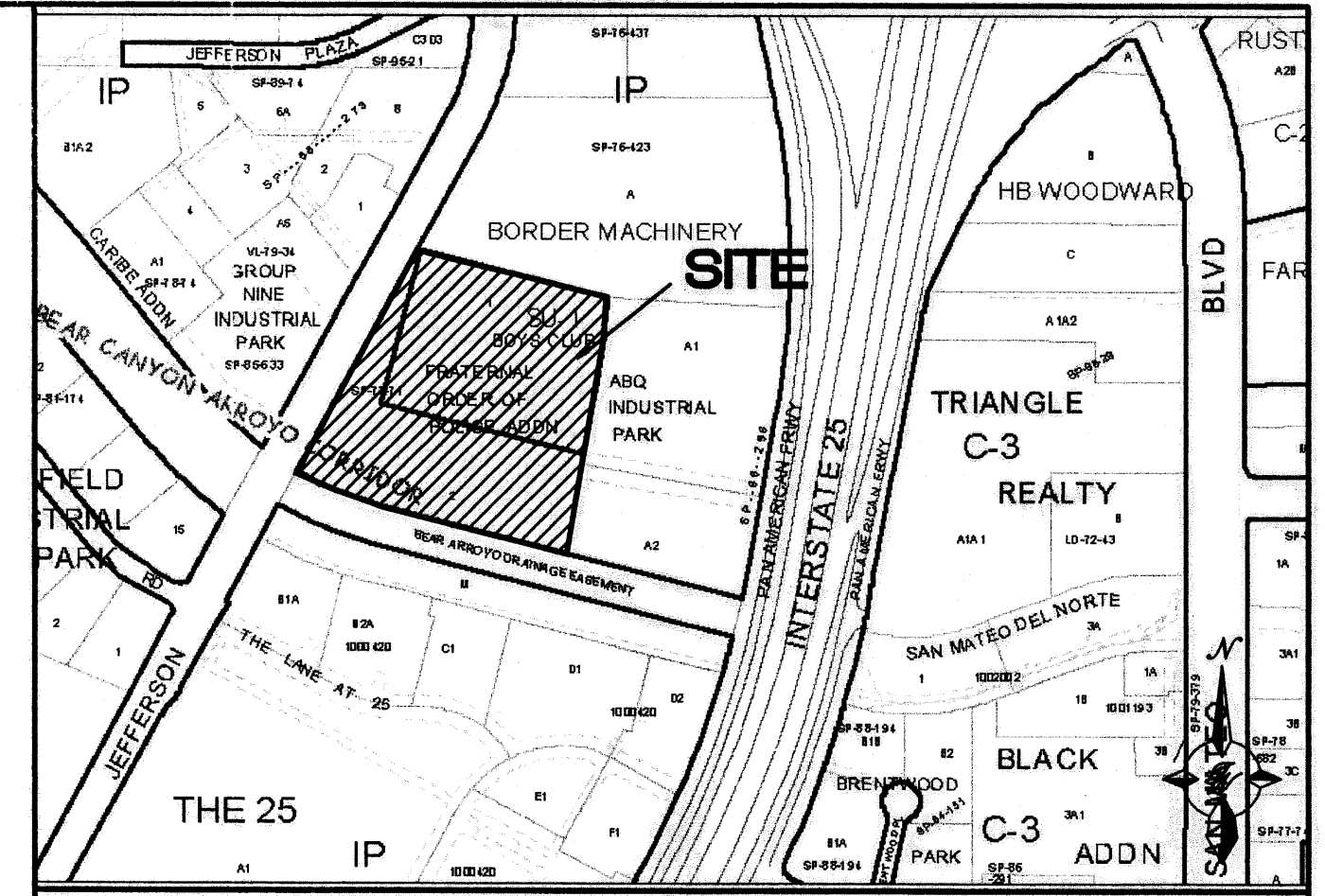
PROPOSED USAGE	COMMERCIAL
LOT AREAS	
LOT 1-A	66614 SF (1.53 AC)
LOT 1-B	136471 SF (3.13 AC)
LOT 2-A	135605 SF (3.11 AC)
LOT 2-B	82583 SF (1.90 AC)
TOTAL SITE	421273 SF (9.67 AC)

ZONING	IP
MAXIMUM FAR	0.35
MAXIMUM BUILDING HEIGHT	45'
MINIMUM BUILDING SETBACK	20'

LANDSCAPING REQUIREMENTS	REQUIRED
	15% OF PAVED SURFACE AND BUILDINGS

**GENERAL NOTES:**

- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
- PEDESTRIAN ACCESS WILL BE PROVIDED ACROSS ALL LOTS INTERNALLY IN THE APPROVED SITE PLAN.
- LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- BUS STOPS ADJACENT TO THE PROPERTY, -ROUTE 151  
BUS STOPS AT SINGER AVE AND JEFFERSON BLVD AND OSUNA AVE AND JEFFERSON BLVD
- TRAFFIC STOP SIGNS TO BE PLACED AT ALL INTERSECTIONS.
- A CROSS LOT DRAINAGE, ACCESS AND PARKING EASEMENT FOR THE BENEFIT OF LOTS 1-A, 1-B, 2-A AND 2-B SHALL BE MAINTAINED BY SAME, GRANTED BY PLAT.



**LEGAL DESCRIPTION:**

FRATERNAL ORDER OF POLICE ADDITION, TRACTS 1 AND 2

**LEGEND**

	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	SETBACK LINE
	STRIPING
	PROPOSED BUILDING
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	PROPOSED CROSSWALK (PATTERN CONCRETE)
	PROPOSED BIKERACK
	PROPOSED SCREEN WALL
	PROPOSED TREES, LANDSCAPING
	LANDSCAPING

TERMINATED 11-16-2015

PROJECT NUMBER: 1004801  
APPLICATION NUMBER: 06 089 01748

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 11-16-06 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required?  Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Transportation Division	Date	1-10-07
Water Utility Development	Date	1-3-07
Parks & Recreation Department	Date	1/3/07
City Engineer	Date	1/3/07
* Environmental Health Department (conditional)	Date	1-10-07
Solid Waste Management	Date	1-10-07
DRB Chairperson, Planning Department	Date	1-10-07

\* Environmental Health, if necessary

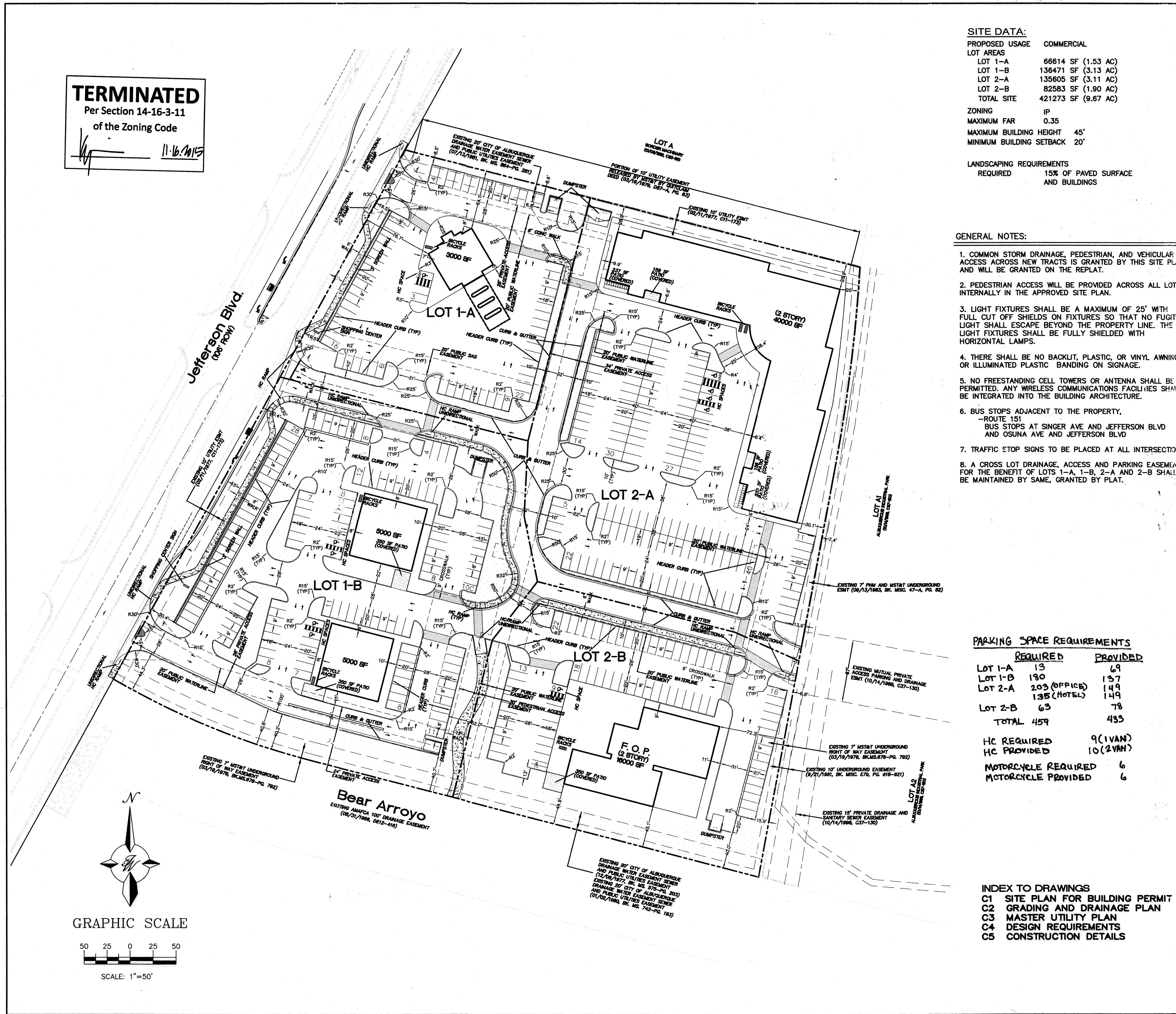
**PARKING SPACE REQUIREMENTS**

	REQUIRED	PROVIDED
LOT 1-A	13	69
LOT 1-B	190	157
LOT 2-A	203 (OFFICE)	149
	135 (HOTEL)	149
LOT 2-B	63	78
TOTAL	459	433
HC REQUIRED	9 (1VAN)	
HC PROVIDED	10 (2VAN)	
MOTORCYCLE REQUIRED	6	
MOTORCYCLE PROVIDED	6	

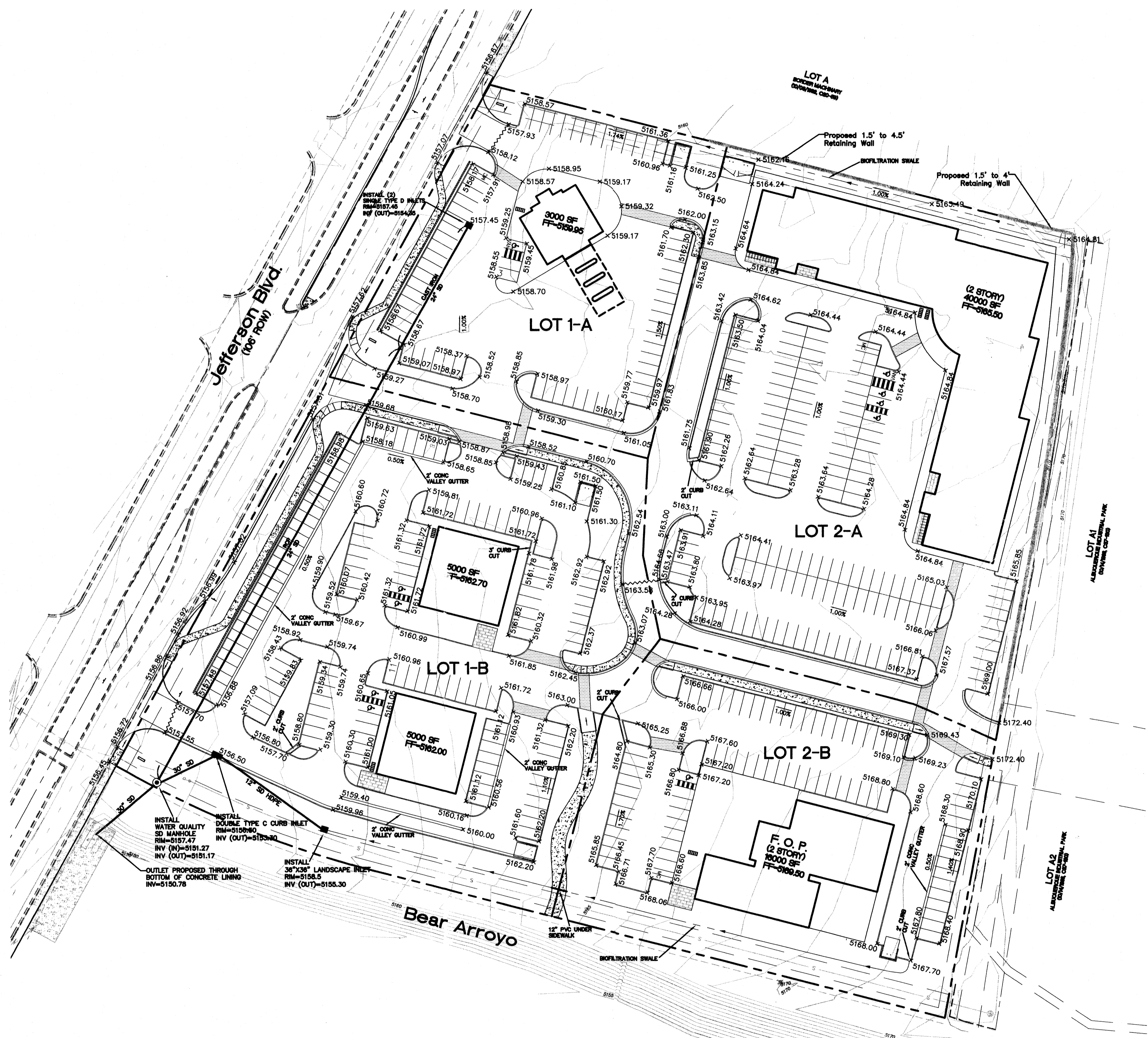
- INDEX TO DRAWINGS**
- C1 SITE PLAN FOR BUILDING PERMIT
  - C2 GRADING AND DRAINAGE PLAN
  - C3 MASTER UTILITY PLAN
  - C4 DESIGN REQUIREMENTS
  - C5 CONSTRUCTION DETAILS

ENGINEER'S SEAL	<b>FRATERNAL ORDER OF POLICE</b>	DRAWN BY	DY
		DATE	12-5-06
	<b>SITE PLAN FOR SUBDIVISION</b>		2516-SPB.dwg
		SHEET #	1 of 5
	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	JOB #	25016

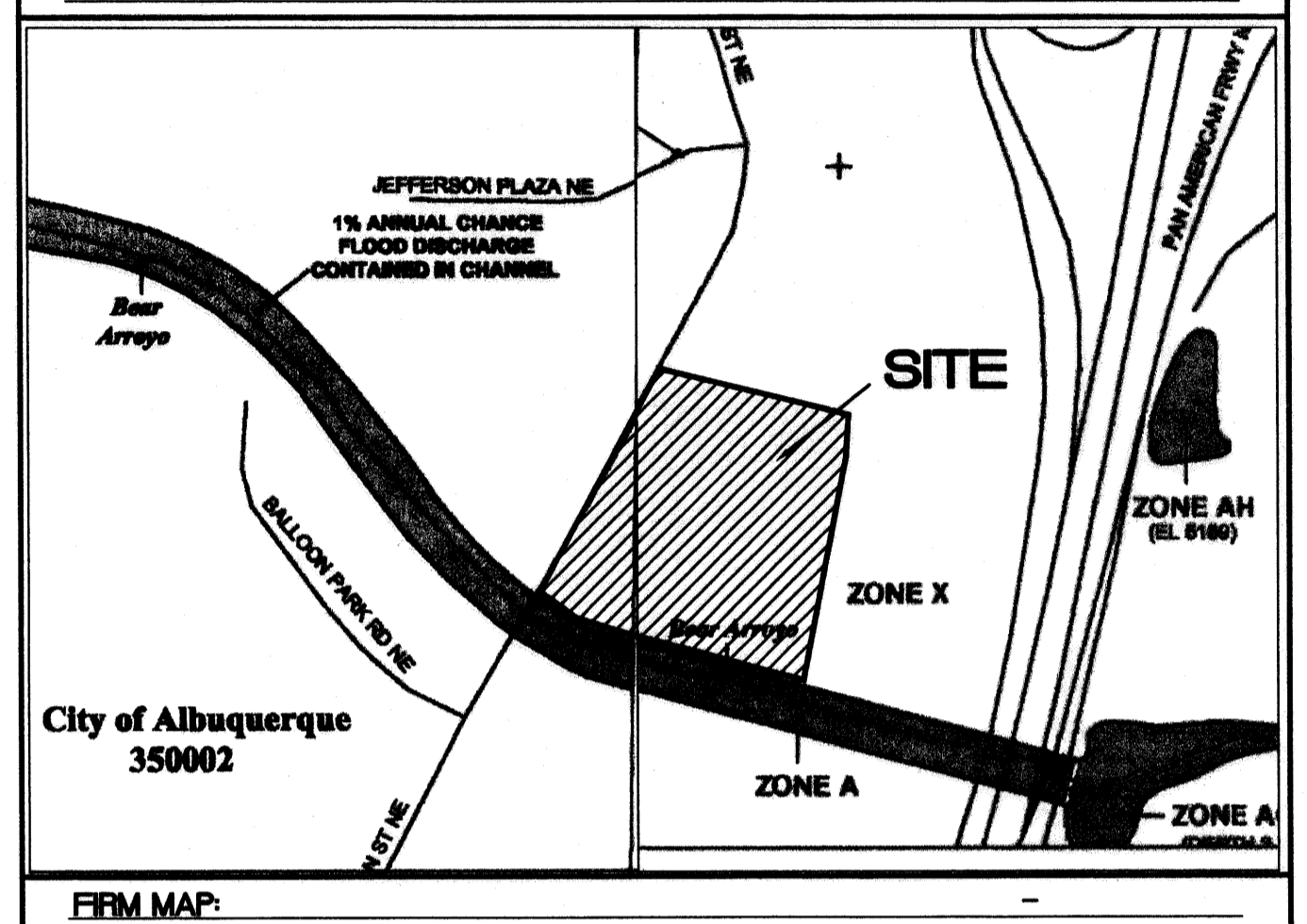
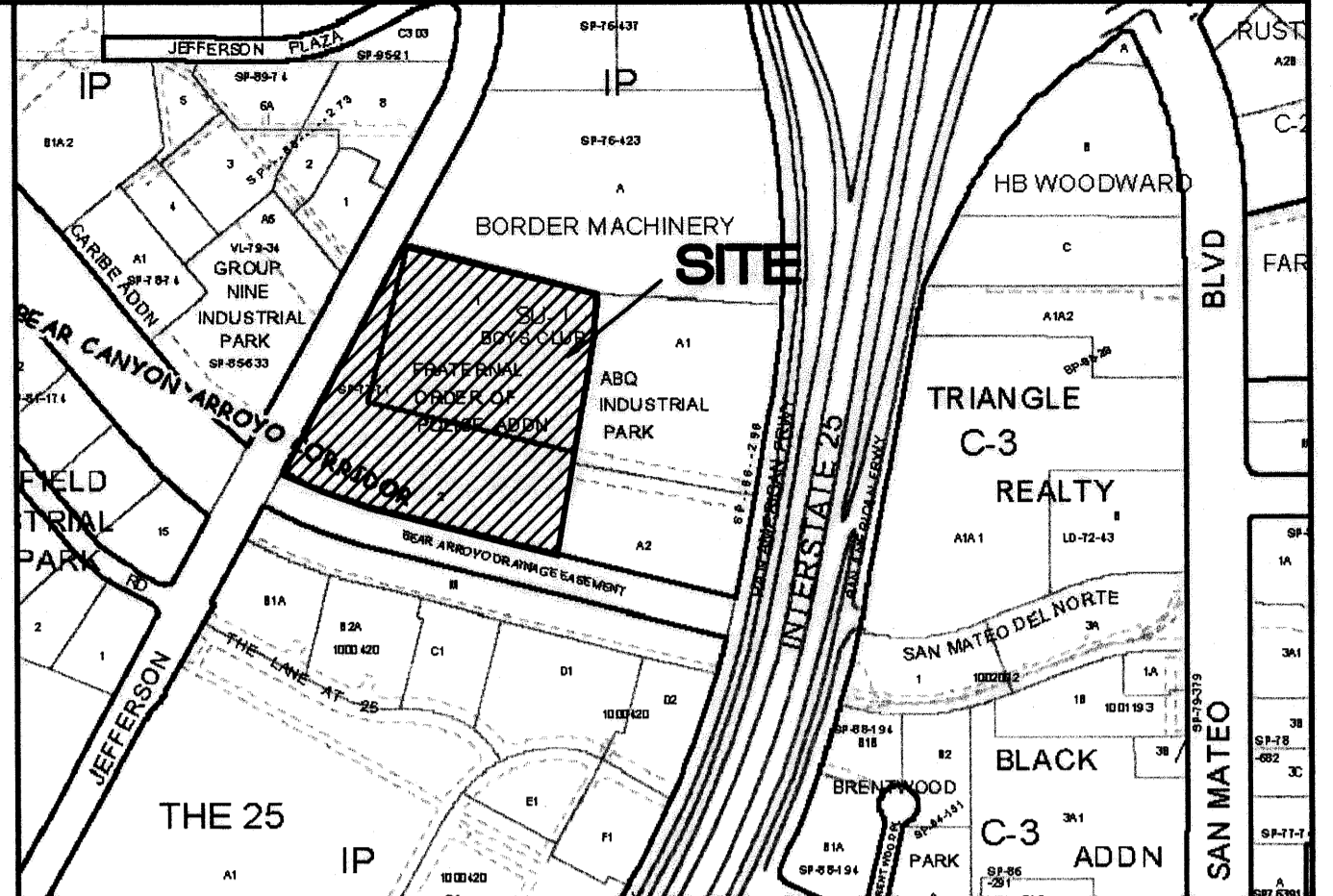
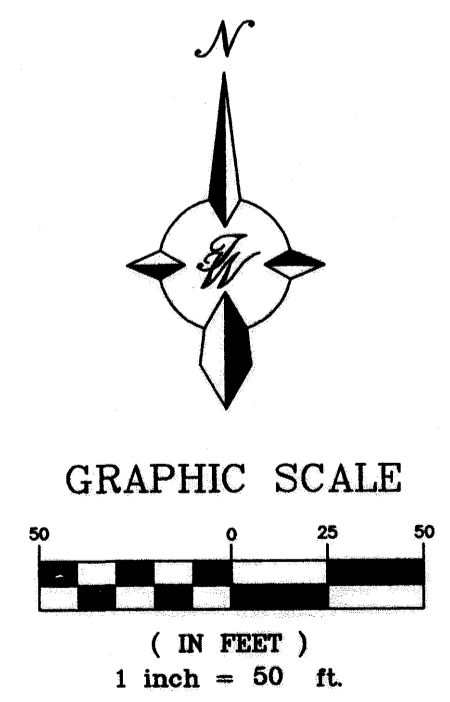
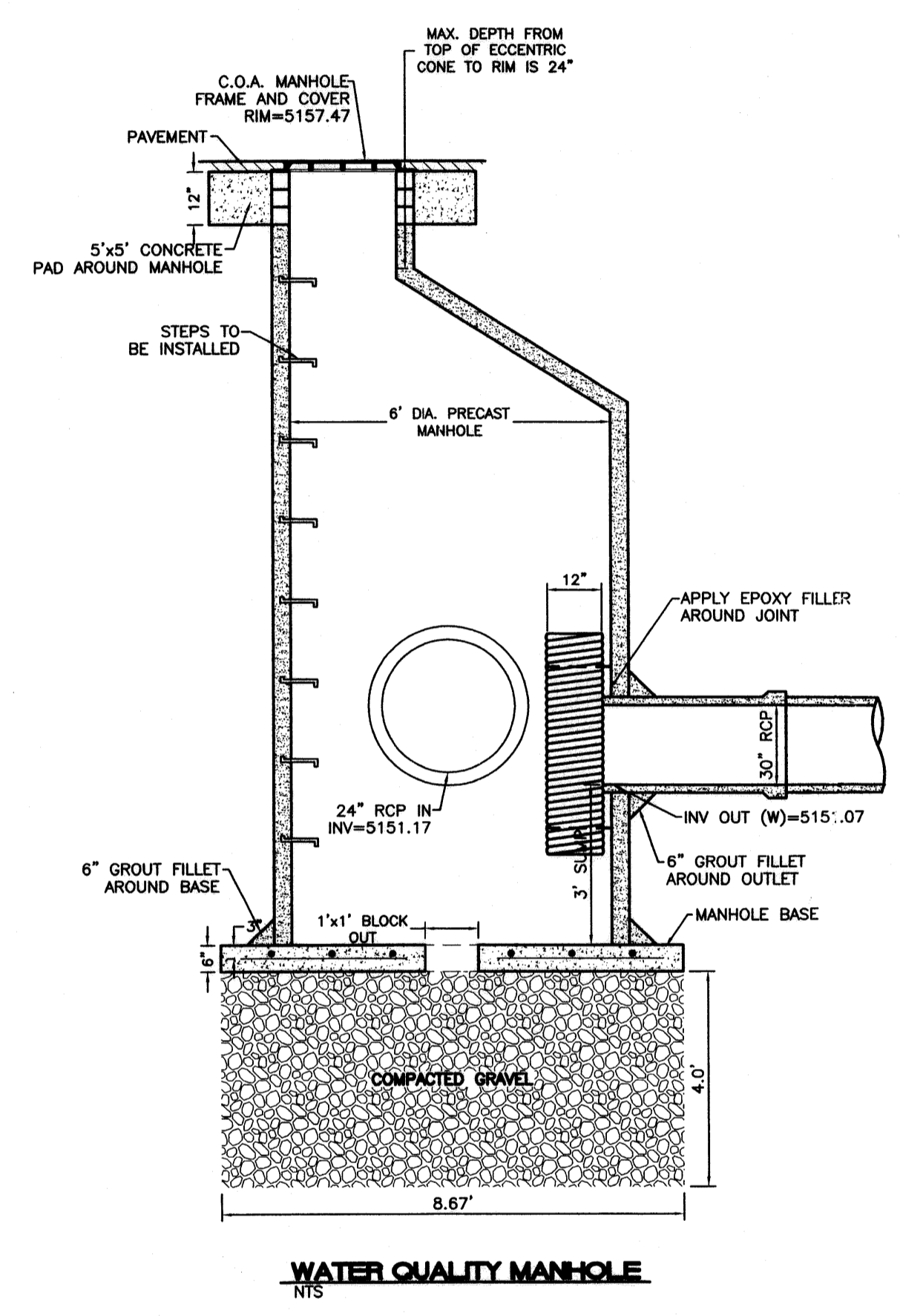
PROJECT # 1004801







- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A GRADING PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
  6. ALL EPA REGULATIONS WILL BE REQUIRED ON THE PROJECT. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WILL BE PREPARED IDENTIFYING ALL CONTROL MEASURES ON THE PROJECT.
  7. A PLAN IDENTIFYING THE STAGING AREA LOCATION OF THE CONSTRUCTION WORK AREA WILL BE PREPARED AND SUBMITTED TO THE CITY OF ALBUQUERQUE WITH THE BUILDING PERMIT.



- LEGEND**
- EXISTING CURB & GUTTER
  - PROPOSED CURB & GUTTER
  - BOUNDARY LINE
  - EXISTING BOUNDARY LINE
  - EASEMENT
  - CENTERLINE
  - STRIPING
  - PROPOSED BUILDING
  - EXISTING SIDEWALK
  - PROPOSED SIDEWALK
  - PROPOSED CROSSWALK (PATTERN CONCRETE)
  - x 5200.00 PROPOSED SPOT ELEVATION
  - x 5200.00 EXISTING SPOT ELEVATION
  - 5200 EXISTING INDEX CONTOUR
  - EXISTING CONTOUR
  - EXISTING RETAINING WALL
  - PROPOSED RETAINING WALL
  - EXISTING SAS MANHOLE
  - EXISTING SANITARY SEWER LINE
  - EXISTING VALVE W/BOX
  - EXISTING FIRE HYDRANT
  - EX 16" WL EXISTING WATER LINE
  - PROPOSED SCREEN WALL
  - WATERBLOCK

**NOTE**  
ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE INDICATED IN PLANS.

	<b>FRATERNAL ORDER OF POLICE</b> <b>GRADING PLAN</b>	DRAWN BY: PM DATE: 10-2-06
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>2 of 5</b>

**ROUGH GRADING APPROVAL** \_\_\_\_\_ DATE \_\_\_\_\_







## Site Design Criteria

### Zoning and Building Codes

All development shall meet or exceed the established City of Albuquerque Zoning Code, the International Building Code, other applicable local codes, and all applicable accessibility standards adopted and required by the City of Albuquerque. All site design and structures shall conform to the following additional more restrictive criteria:

#### Building Setbacks (1)

Are to be established by the Zoning Ordinance or by the following whichever is greater:

- \*Adjacent to Jefferson Blvd.: 20'-0" min. from R.O.W. line
- \*Adjacent to interior access easement: 20'-0" min. from line of easement
- \*Adjacent to interior private streets: 20'-0" min. from face of curb
- \*Adjacent to private access drives: 15'-0" min. from face of curb

#### Off-Street Parking (2)

For automobiles, motorcycles, and bicycles shall be provided as required by the City of Albuquerque Zoning Code. Parking and parking lot design shall conform to the Albuquerque Development Process Manual. Parking shall be buffered from adjacent street and public view as much as practical by the use of landscaping, screen walls, art work or buildings. Drive aisle lengths shall not exceed 300 feet without internal circulation between aisles.

The following measures are strongly encouraged to reduce pollution and land development impacts from automobile use:

- \* Provide only the minimum amount of parking required by the Zoning Code. The maximum allowed parking is to Code plus 5%.
- \* Provide preferred parking in the amount of 1% of the parking spaces provided for low emitting and/or alternate fuel vehicles. Provide pole mounted signage for preferred parking spaces.
- \* Provide bicycle parking required by the Zoning Code plus an additional 25%

Parking setbacks are to be as established by the Zoning Ordinance or by the following whichever is greater:

- \*Adjacent to Jefferson Blvd.: 10'-0" from R.O.W. line
- \*Adjacent to interior access easement: 10'-0" from R.O.W. line
- \*Adjacent to interior private streets: 10'-0" from face of curb
- \*Adjacent to private access drives: 10'-0" from face of curb

Parking and traffic circulation shall be designed to promote the smooth flow of traffic, minimize visual impact, and facilitate parking once and walking to multiple destination. Main entrance drives are to feature trees to promote a sense of arrival. Parking shall be placed on at least two sides of a building. Large parking areas shall not dominate street frontages. All parking spaces shall be located to avoid drivers having to back into major drive aisles. All traffic layouts are subject to review and approval by the City of Albuquerque Traffic Engineer.

#### Site Screening (3)

All on-site trash, recyclable material, and storage enclosures or areas shall be enclosed by a solid wall constructed of materials similar to materials of the buildings they serve and have a minimum height of 6'-0". Enclosures shall be located in inconspicuous locations as possible within the site and a minimum of 50'-0" from the Public R.O.W. The location and construction of trash and recyclable material enclosures are subject to review and approval by the City of Albuquerque Solid Waste Department.

All on-site utility equipment shall be located out of view from the Public R.O.W. Where utility equipment, not required by the Fire Marshal (i.e. transformers, switchgear, hot boxes, back flow preventors) must be exposed to public view they shall be screened. A combination of solid screens and landscaping shall be utilized to screen such equipment from public view.

All on-site mechanical equipment such as generators and HVAC equipment shall be screened with structural enclosures of materials and finishes similar to the building for which they serve; and be of sufficient height to screen the equipment from public view.

All site walls shall be of integrally colored, (color: CORAL by Utility Block Company) stucco over concrete block, stained concrete block, brick, stone, split-faced or fluted block, or adobe.

#### Pedestrian Walks and Linkages

Sidewalks shall be provided on all sites to insure adequate pedestrian linkages between adjacent buildings by way of public and private streets, and pedestrian plazas. Pedestrian plazas shall be of integrally colored concrete.

Pedestrian linkages in the form of sidewalks shall be provided from the bus stop to the building entries. The use of plazas at building entries is encouraged. Pedestrian plazas shall be well lit and feature bench seating and landscaping.

Buildings shall be located in close proximity to plazas and streets. Provide for an organized and continuously interconnected pedestrian connection.

All sidewalks (4) and pedestrian paths will meet Zoning Code, applicable accessibility standards and Development Process Manual requirements.

All sidewalks, walkways, and pedestrian plazas shall be of patterned and/or porous concrete.

All sidewalks shall have adjacent landscaping (5) and have adjacent shade trees as required by the Zoning Code.

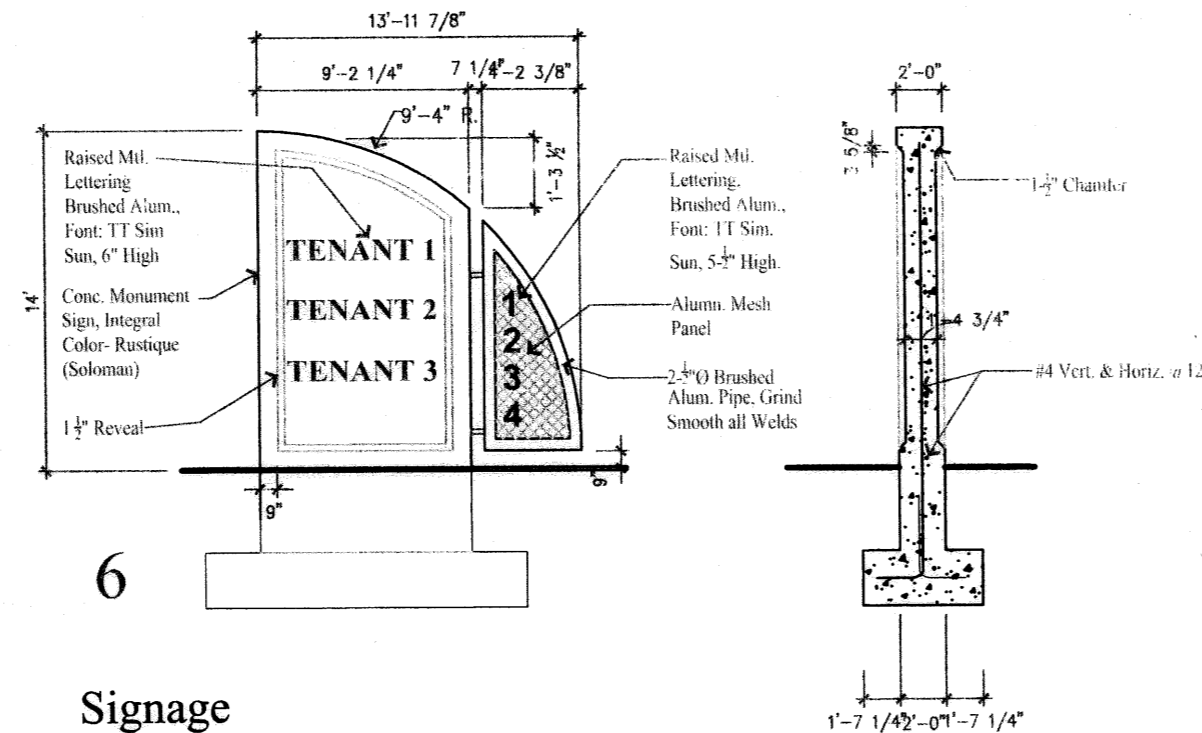
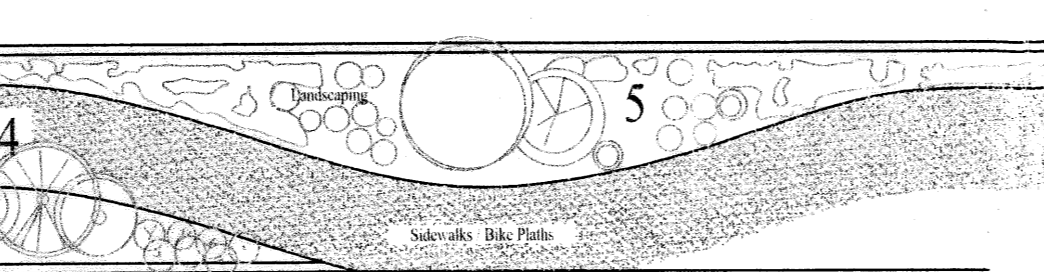
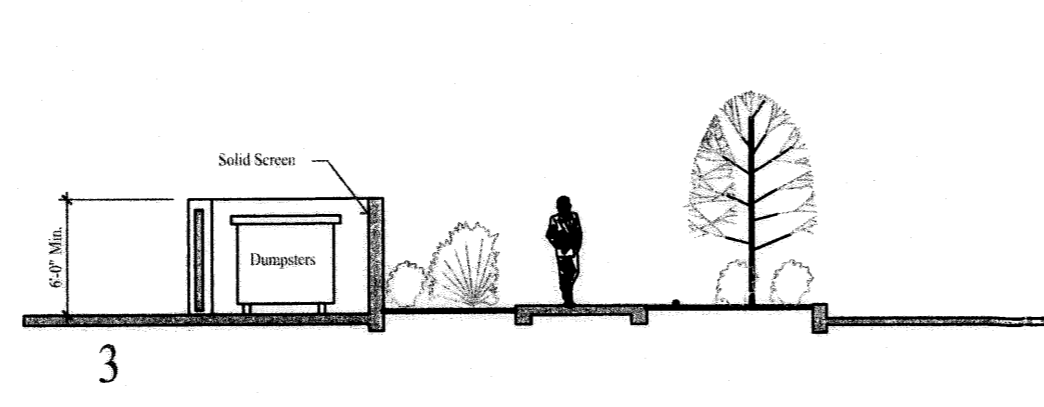
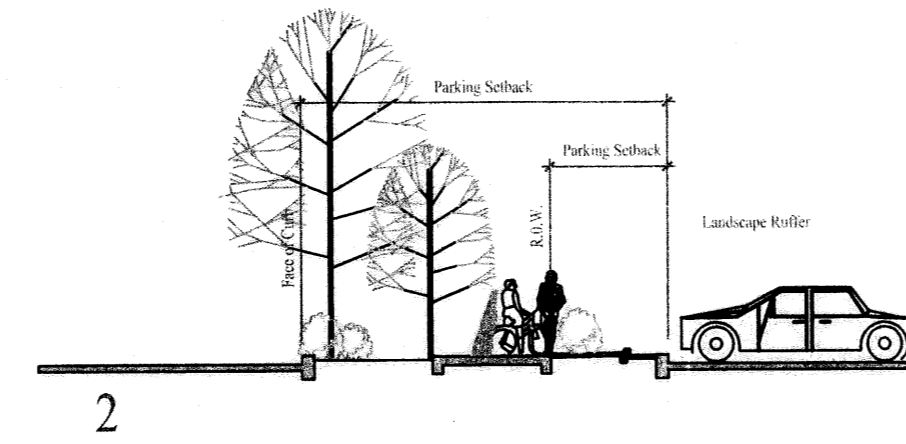
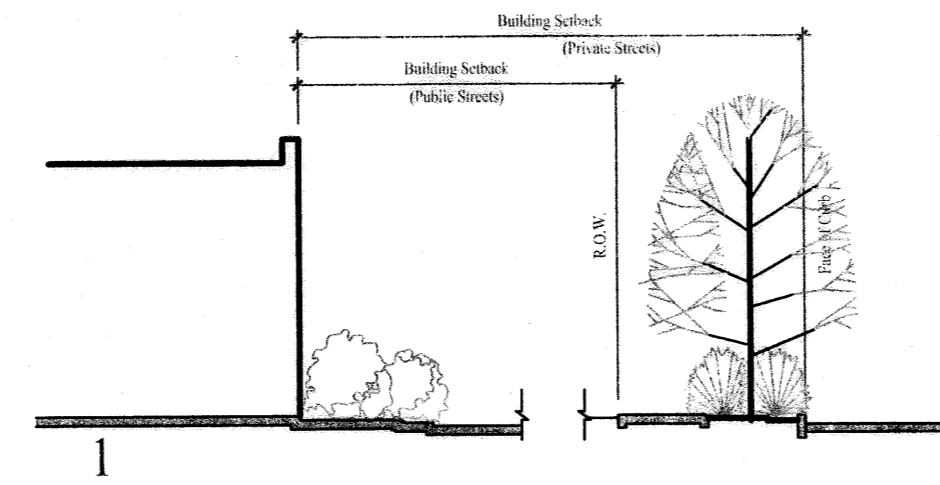
Where possible, sidewalks shall be meandering rather than straight, especially when adjacent to public streets.

The use of paving materials other than poured gray concrete (i.e. stone, brick, integrally colored concrete) are acceptable and encouraged at building entry plazas. Entry plazas shall be located adjacent to the main entry of every building, shall be of integrally colored concrete (colors shall be a mixture of the following: Desert Tan, Cedar, Dark Redwood, and Rustique by Soloman Colors and shall be patterned). The paving material shall be at least as durable as the concrete and be architecturally consistent with the structure for which it serves in material and color. Sidewalks adjacent to street frontages shall be rough finished.

#### Site Lighting...

In addition to lighting regulations in the Zoning Ordinance, the following shall apply

- \* Site lighting of parking lots, drives, plazas and entries shall be provided to insure adequate lighting for both pedestrian and vehicular traffic after dark.
- \* Fixtures shall be metal halide type fixtures. Fixture housing and pole shall be of a white finish. Housing shall be of the "shoe box" type.
- \* The following height restrictions superseded those found in the Zoning Code:
  - \* In parking areas the top of housing shall be 25'-0" above grade. Concrete base shall be 1'-6" diameter and 3'-0" tall above grade.
  - \* Light fixtures for along pedestrian walkways shall be 16'-0" in height; and at pedestrian plazas low level bollard or landscape lighting between 3'-0" and 16'-0" in height shall be used.
- \* The use of landscape and building exterior lighting shall be used to accent building features, significant landscape features and art work.
- \* All lighting shall avoid glare into buildings by utilizing cut-off shields or other means.



#### Signage

##### Building Mounted Signage (D)

Signage where allowed by other portions of this masterplan, shall conform to the Zoning Ordinance and the following:

- \* Height of any portion of the sign shall not exceed 4'-0".
- \* Signage face area shall not exceed 15% of the facade area.
- \* All illuminated building mounted signage shall be internally illuminated and constructed of individual raised aluminum channel letters, with acrylic facing. Transformers for such signage shall be located on the interior side of the parapet to which the sign is attached or in the interior of the building.
- \* Non internally illuminated building mounted signage shall be of individual raised aluminum channels letters as well. Transformers for such signage shall be located on the exterior side of the parapet to which the sign is attached or in the interior of the building.
- \* No part of the sign shall protrude more than 1'-0" from the building surface to which it is attached.
- \* Colors: raised aluminum letter shall be clear anodized.

#### Site Signage

On each lot shall comply with the Zoning Code in addition to the following more restrictive criteria:

- \* Free standing signs shall be limited in height to fourteen (14) feet, and be limited to one per lot. Free standing signs shall not be motioning, or neon. The sign area shall not exceed one hundred (100) square feet. The colors and materials of the free standing signs shall be consistent with the building colors and materials for which the signs serves, refer to the Architectural Design Criteria for a listing and description of these materials and colors.
  - \* Two (2) Shopping Center signs for use by all lots are allowed along Jefferson Street frontage.
- In addition:
- \* Lot 1-A and Lot 1-B, which have frontage along Jefferson Street, shall each be limited to the following signage:
    - a. One (1) free standing sign each.
    - b. A maximum of four (4) building mounted signs, see detail D
  - \* Lot 2-A and Lot 2-B, which do not have frontage along Jefferson Street, shall each be limited to the following signage:
    - a. One (1) free standing sign each.
    - b. A maximum of four (4) building mounted wall signs, see detail D. See detail (6) for a description of allowable materials.

\*Off-premise signage is allowed with approval from the City of Albuquerque Planning Director. \*Bill boards, projecting signs, roof signs, are prohibited in any portion of this development.

## Architectural Design Criteria

### Architectural Design

Architectural Design Criteria are established to promote a visual and aesthetic consistency with in the development and to avoid incompatible design concepts and elements harmful to the overall and individual developments. This shall be accomplished by establishing a uniform design criteria for the entire development as outlined below.

The architectural theme of this development shall be Southwest Contemporary; in keeping with the recent trend of development design in the Jefferson Corridor. This theme shall exclude traditional New Mexican vernaculars, i.e. Spanish Pueblo and Santa Fe Territorial. Southwest Contemporary features construction materials common to New Mexico in their natural hues, integrated with modern materials and tasteful features of bold color. All building design and exterior building treatments shall be of durable and established commercial grade construction standards as well as being architecturally compatible within site development buildings and between buildings on separate sites. All buildings need not be identical but shall be designed to promote architectural harmony and compatibility in the development. In this vein no generic franchise building designs will be allowed within the development.

The first architectural project approved by the City of Albuquerque Development Review Board shall establish the architectural design and site design direction for all subsequent buildings.

#### Building Heights (A)

Building heights shall fall within the solar access angle plane guidelines as set forth in the Zoning Code, but no building shall be over 120'-0", including parapets and equipment screens.

#### Opaque Exterior Building Materials (B)

Opaque exterior building materials shall be consistent with commonly used materials in Albuquerque, New Mexico. These include stucco, EIFS with synthetic stucco finishes, brick, stone masonry or veneer, concrete masonry with architectural exterior treatment, precast architectural concrete, concrete, and aluminum curtain wall systems.

Concrete masonry units with architectural exterior treatment, and non integrally colored concrete, and non colored pre-cast concrete panels are limited to 35% of the area of a buildings exterior facade.

Materials not allowed on the predominant facades: smooth face concrete masonry units.

Materials not allowed as the predominant material of any facade: ceramic tile veneer, reflective glazing, painted concrete or metal paneling.

Accent walls and accent architectural elements introduced into the building for detail may utilize any of the allowable materials above as well as: pre-finished metal, stainless steel, ceramic tile veneer or integrally colored concrete.

Windows and storefronts shall have tinted glass and be of clear anodized or pre-finished metal frames. Glass colors shall be compatible with the overall color scheme of the building. Curtain walls shall not exceed 50% of the area of the entire facade of the building. Glass curtain walls may have reflective glass of a color compatible with other glass used in windows and storefronts.

#### Building Colors

Of major facades shall be of earth tones or pastel colors; the use of primary colors and other bright or brilliant colors are prohibited.

Architectural accent walls, detached entry walls, or colonnades or attached accent elements (i.e. sun shades, entry canopies) meant to introduce detail may be of primary or brilliant colors.

#### Roofs

Roofs may be either flat or pitched. Flat roofs shall have a perimeter parapet, that screens entirely the roof it surrounds.

Pitched roofs shall be pre-finished standing seam metal panels, clay tiles, or concrete tiles. The colors of the roof shall be consistent and complimentary of the building's colors. Metal roofs shall not have a reflective surface.

#### Roof Equipment Screens (C)

Mechanical equipment on roofs shall be screened from public view. Roof equipment screens shall be as high as the highest part of the equipment including attachments to equipment. Roof top screen materials shall be compatible with the building in finish, color, and material. Exhaust vents, exhaust fans, and other such equipment shall be screened from public view by a parapet; or in the case of a pitched roof, be located away from public view.

#### General Criteria

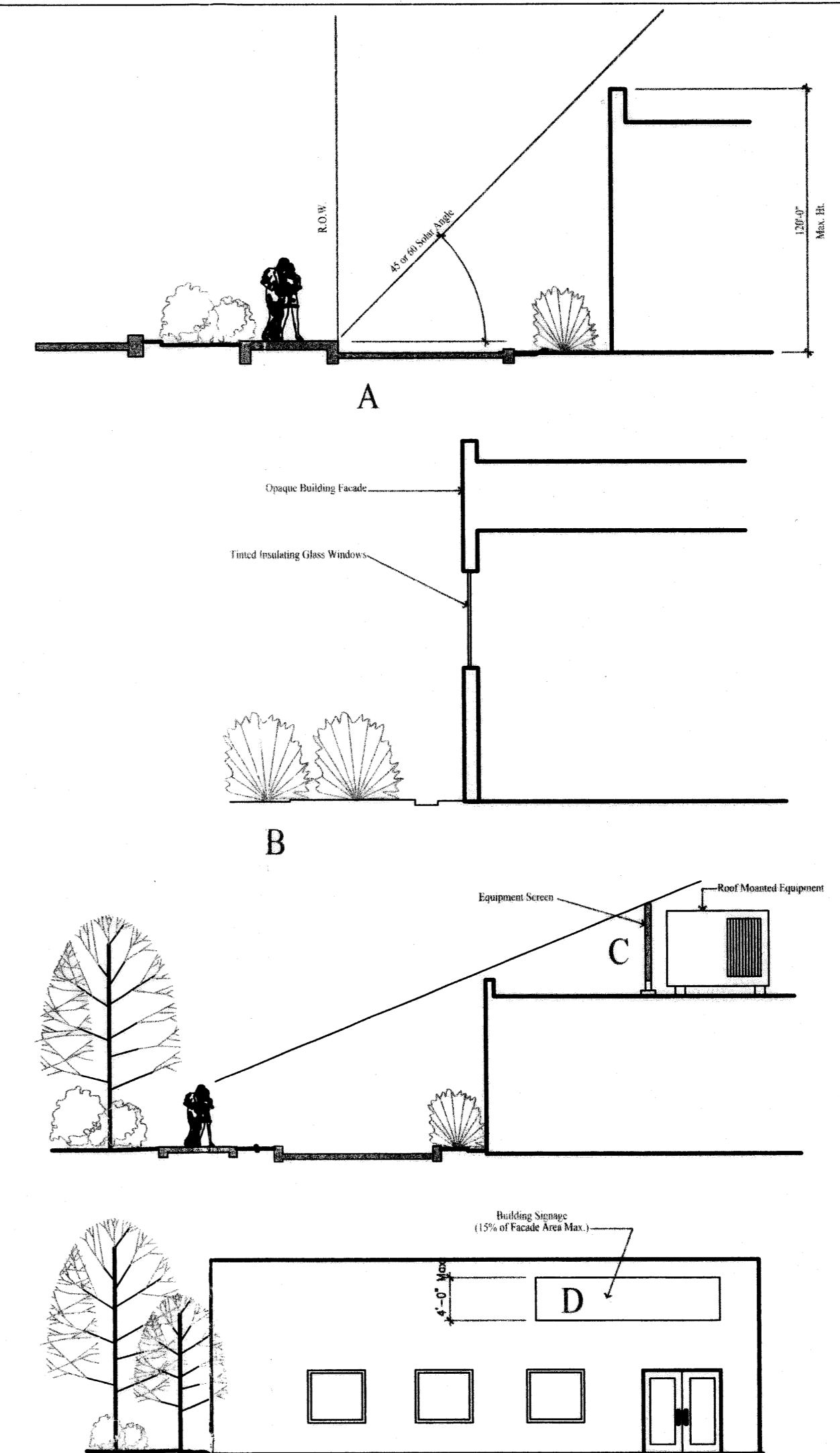
- \* All Building lots shall provide for its employees an outdoor gathering area with seating and shade; such space shall be a minimum of 350 sf. In addition, separate outdoor smoking area with an ash urn and bench at least 25 feet from any operable window or building entry shall be provided; such space shall be a minimum of 50 sf. Both requirements together constitute an increase of 33% over the minimum Zoning Code requirements.
- \* Lot 1-B shall include a patio or similar amenity. The location is to be determined at lot development.
- \* All antenna for individual projects shall be located to avoid view from the public R.O.W., or be screened from view with a screen of building materials and finishes compatible with the building which it serves.
- \* Drive through canopies are to be designed to be architecturally compatible in terms of color, exterior finish, and material with the building which it serves.
- \* Wireless telecommunications facilities are prohibited on the site.
- \* Service areas shall not be oriented to a public street or a residential zone.
- \* Where multiple buildings are proposed on a site and where public spaces are proposed, the public spaces shall be combined to form a single public space area that will serve as the focal point for the development.

#### Requirements for Bear Canyon Arroyo Plan...

- \* Building facades that face the Arroyo shall contain primary or secondary entrances, windows, patios, landscaped areas, etc. Parking areas should not completely separate the arroyo from building entrances.
- \* Access to the trail system shall be provided from the site.

\* An approved Grading and Drainage Plan is required by the City's Hydrology Engineer.

**Dekker/Perich/Sabatini**  
architecture • interiors • landscape • planning • engineering



#### Landscape Design Criteria

The landscaping shall be met or exceed the requirements set forth in the Zoning Code. In addition to the Zoning Code, the following more restrictive requirements shall be met:

- \* High water use sod shall be limited to 20% of the landscaped area.
- \* High water use trees, or shrubs are prohibited.
- \* On individual lots, using one of the following green design practices: reclaimed, recycled water, surface run-off or captured roof run-off, for irrigation of any portion or all of the landscaped area is encouraged.
- \* Where practical, based on standard professional engineering practices, surface run-off shall be directed into water harvesting areas provided in parking lot end caps and medians utilizing curb cuts. Curb cuts shall be located by a professional engineer/landscape architect at the time of submittal to DRB for Site Plan for Building Permit.
- \* All parking areas shall be required to have trees for shading and to relieve the adverse visual impact of large expanses of pavement and parked cars. One tree per ten (10) parking spaces min., shall be provided.
- \* All watering and maintenance of landscaping shall be the responsibility of the property owner. Landscaping shall be watered adequately to establish healthy growth. Plant beds shall achieve a 75% ground cover at maturity.

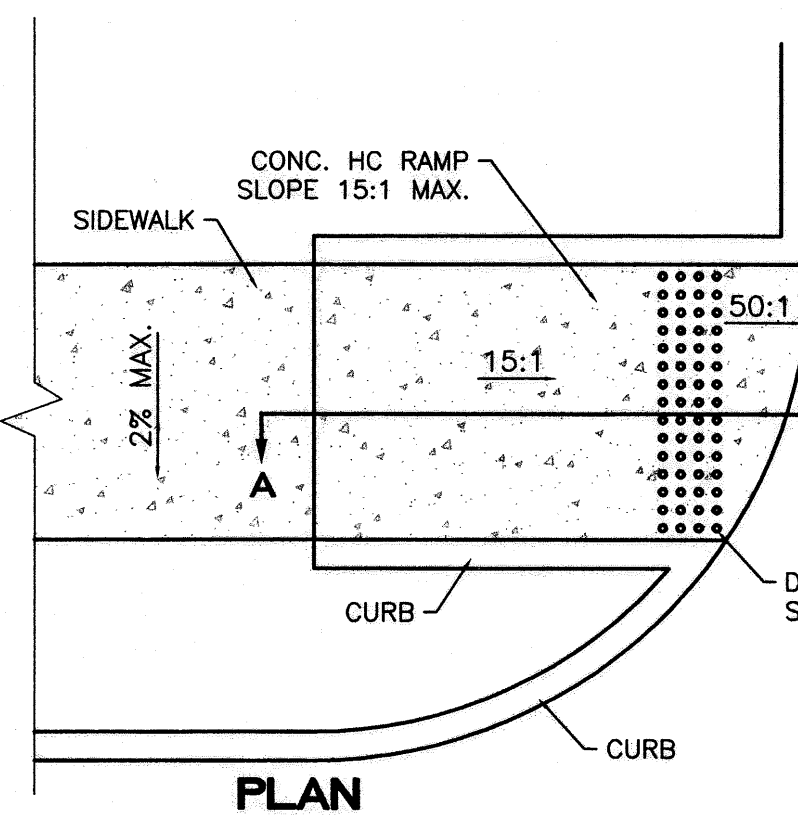
#### Additional Green Building Techniques...

In order to promote a sustainable environment; in addition to the green building techniques already mentioned herein and in addition to the Zoning Code, the following more restrictive requirements shall be met:

- \* During the construction of all buildings and utility infrastructure all General Contractors shall employ a Construction Waste Management Plan in order to divert waste from landfill. Debris (i.e. plastic, aluminum, paper) to the maximum extent possible shall be diverted to recycling centers for recycling. Construction waste (i.e. concrete, asphalt, scarified dirt) shall be redistributed for reuse.
- \* The use of high performance low-e, insulated glazing, is required for all buildings.
- \* All trash enclosures shall be sized to accommodate an area for the pick up of debris for delivery to a recycling center. This area shall be screened from view and have a separate entrance from the main enclosure. The entire enclosure shall be approved by the Solid Waste Department.
- \* Low flow toilet room plumbing fixtures (i.e. lavatories, urinals, and water closets) shall be installed in all buildings requiring more than six (6) water closets.

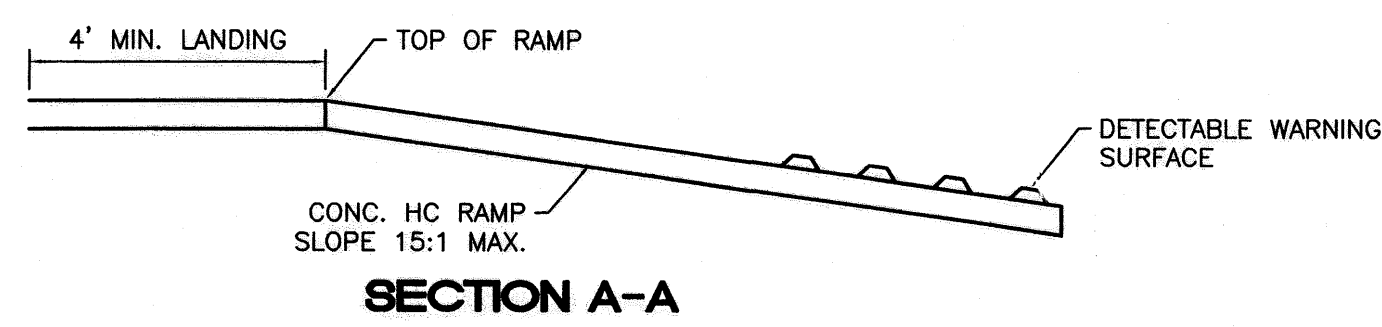
ENGINEER'S SEAL	<b>FRATERNAL ORDER OF POLICE</b>	DRAWN BY
	<b>SITE DEVELOPMENT PLAN FOR SUBDIVISION</b>	DATE
RONALD R. BOHANNAN P.E. #7888	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET #
		<b>4 of 5</b>
		JOB # 25016



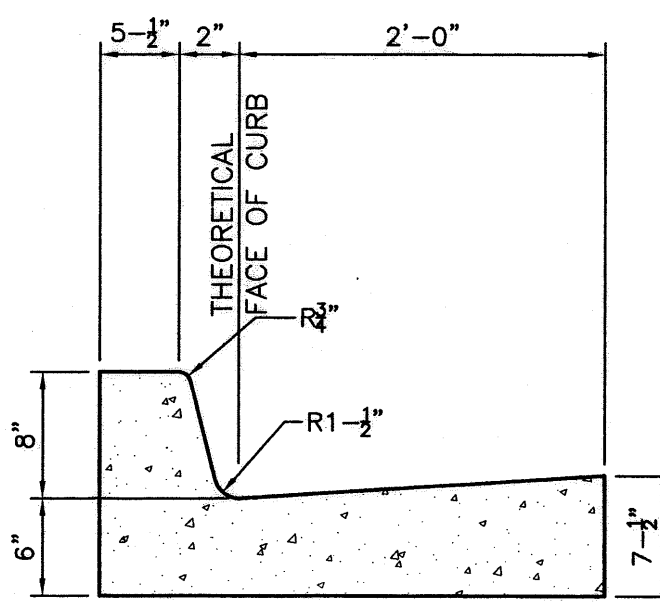


**NOTES:**

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



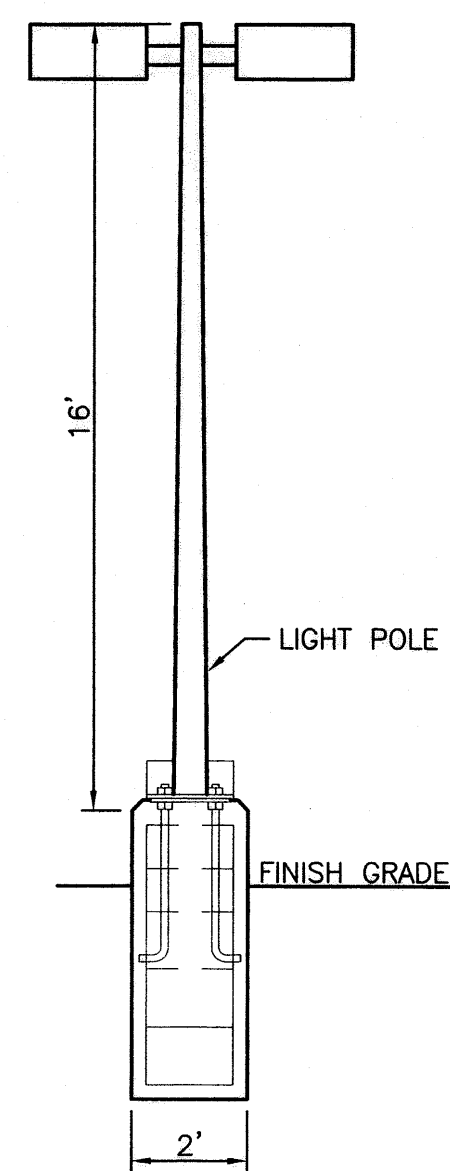
**UNIDIRECTIONAL HC RAMP**  
NOT TO SCALE



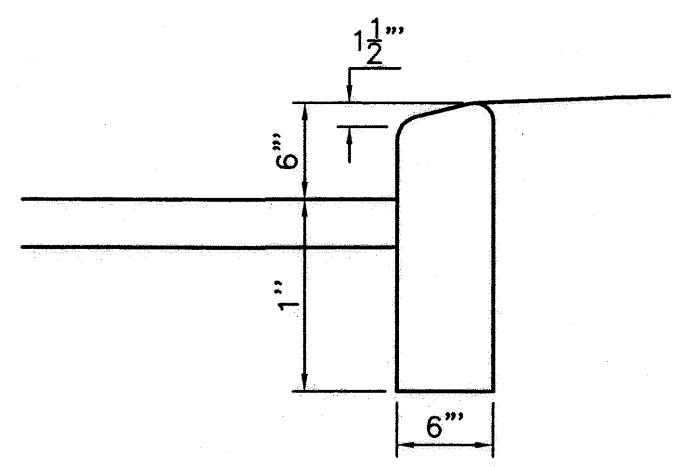
**8' STANDARD CURB / GUTTER**  
NTS

**CURB GENERAL NOTES:**

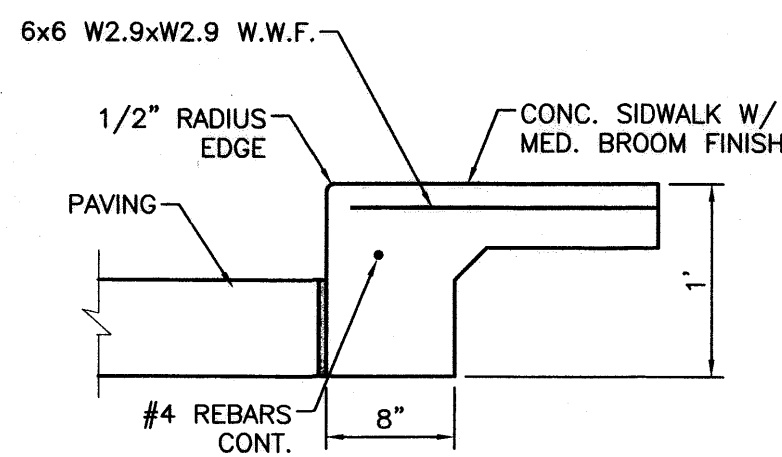
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12" MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120" BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS. SHALL BE EITHER SAWS OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.



**LIGHT POLE DETAIL**  
NTS



**6' HEADER CURB DETAIL**  
NTS SEE COA STD DWG#2414



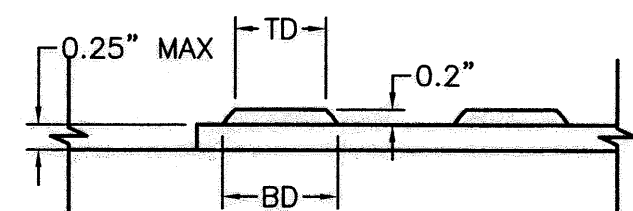
**DETAIL-TURNDOWN CURB**  
NTS SEE COA STD DWG#2415

8" SUDGRADE TO BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557

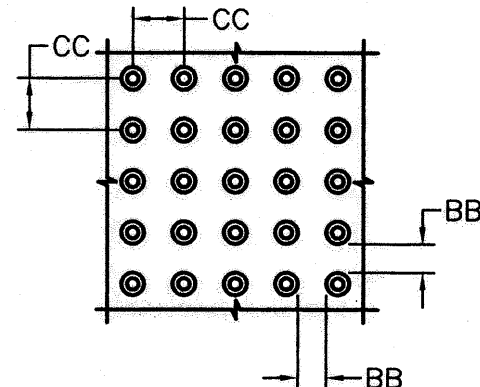
3" (IN 2 LIFTS) ASPHALTIC CONCRETE TO BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM MARSHALL DENSITY (75 BLOWS)

ALL OTHER FILL BELOW PAVEMENT TO BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557

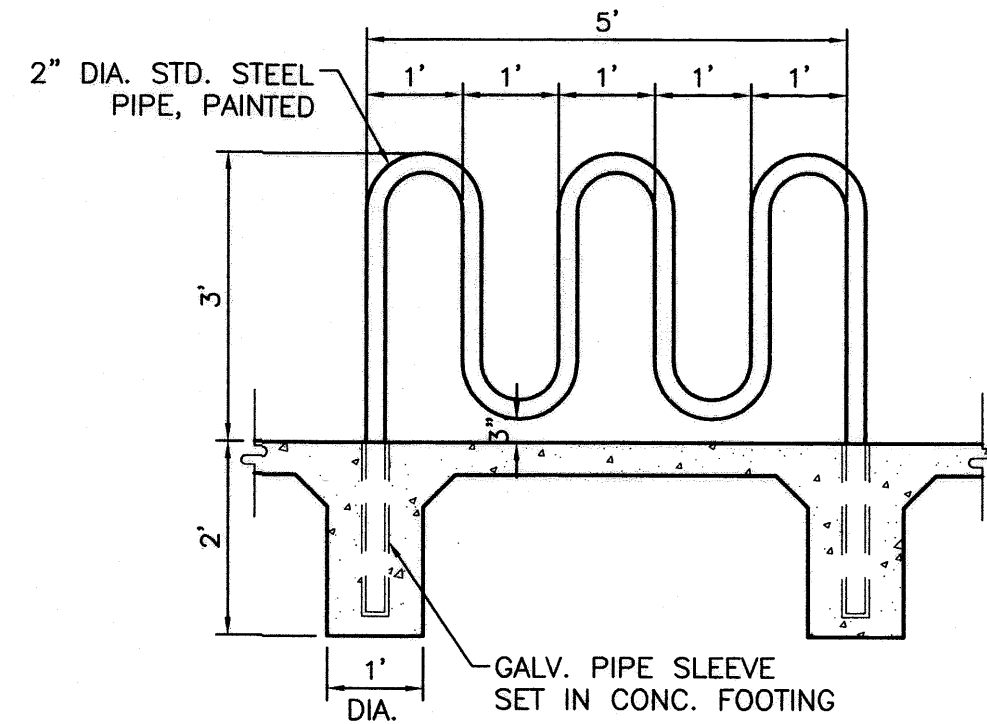
**AUTOMOBILE PARKING TYPICAL PAVING SECTION**  
NTS



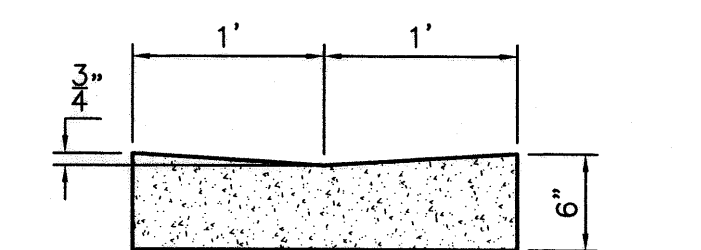
**DOMES SECTION**  
BD - BASE DIAMETER 0.9" MIN  
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



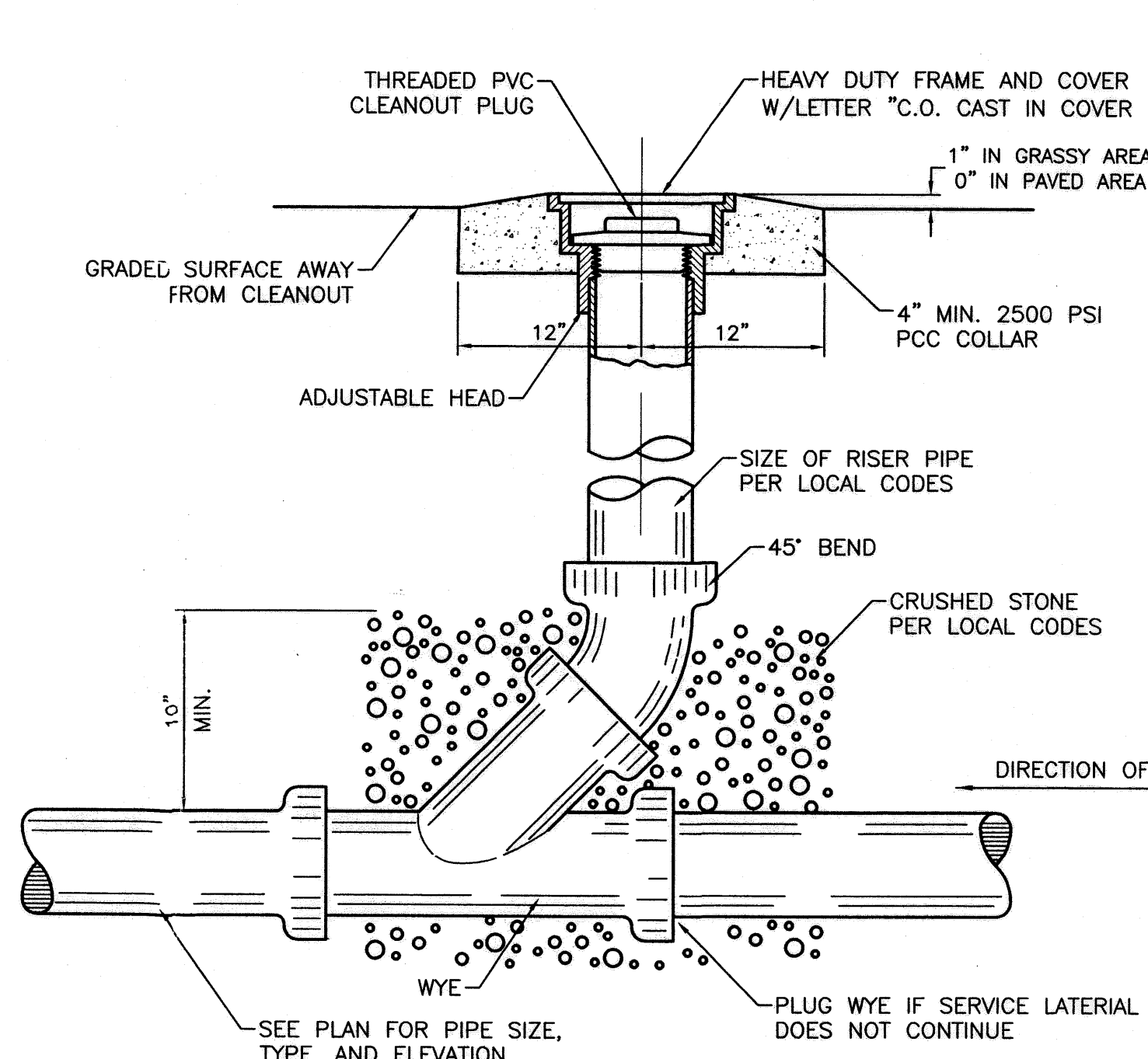
**DOMES SPACING**  
CC - CENTER TO CENTER SPACING 2.35"  
BB - BASE TO BASE SPACING 1.48" MIN



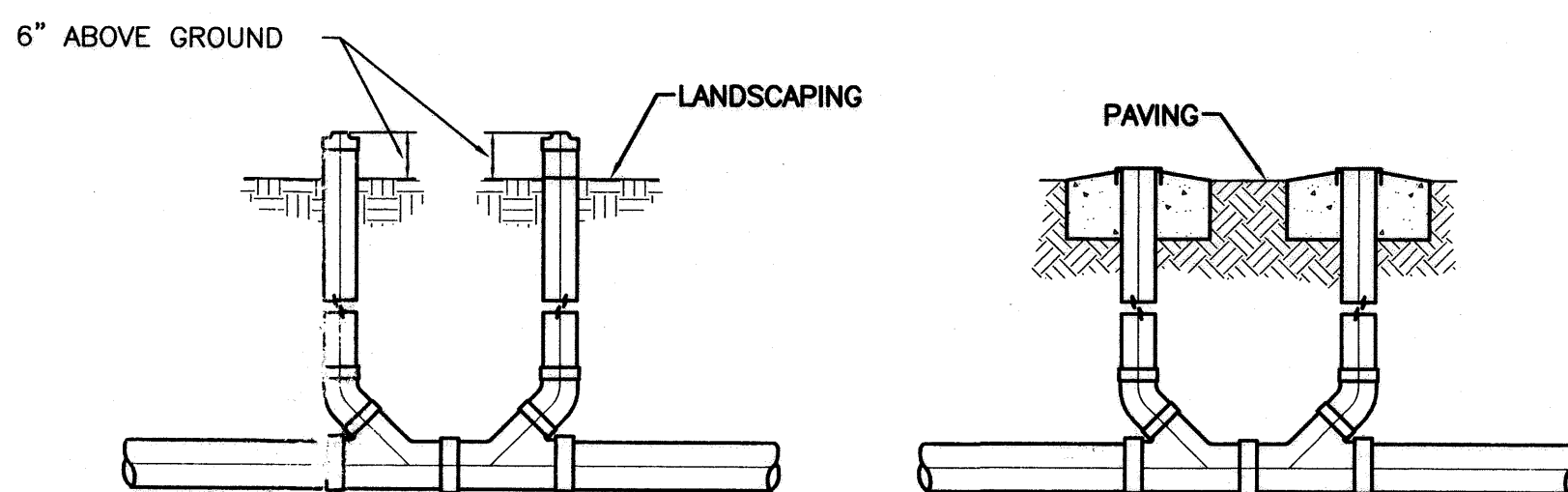
**BIKE RACK DETAIL**  
SCALE: 1/2"=1'



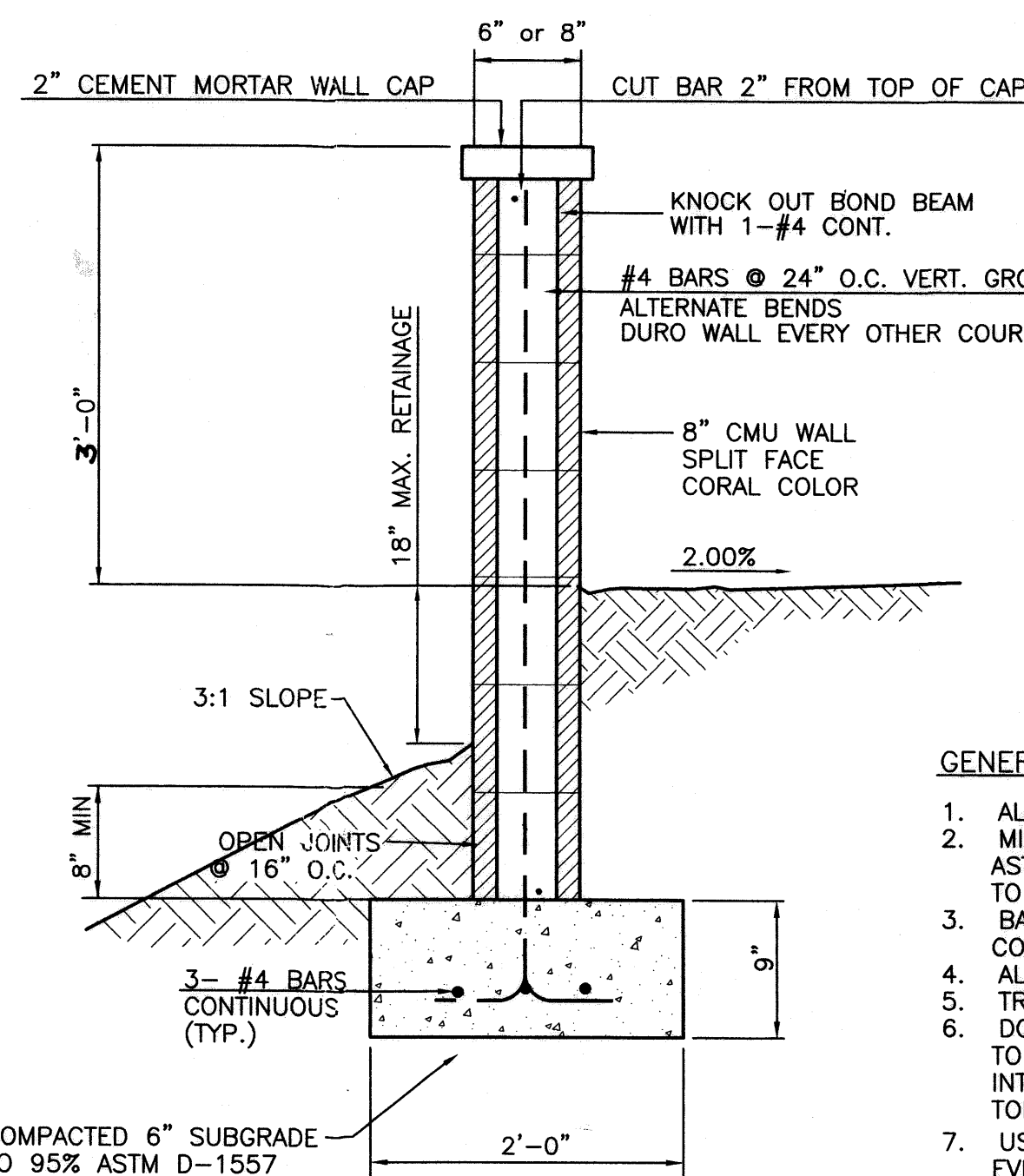
**CONCRETE ALLEY GUTTER DETAIL**  
SCALE: 1"=1'



**SANITARY SEWER CLEAN-OUT**  
NTS



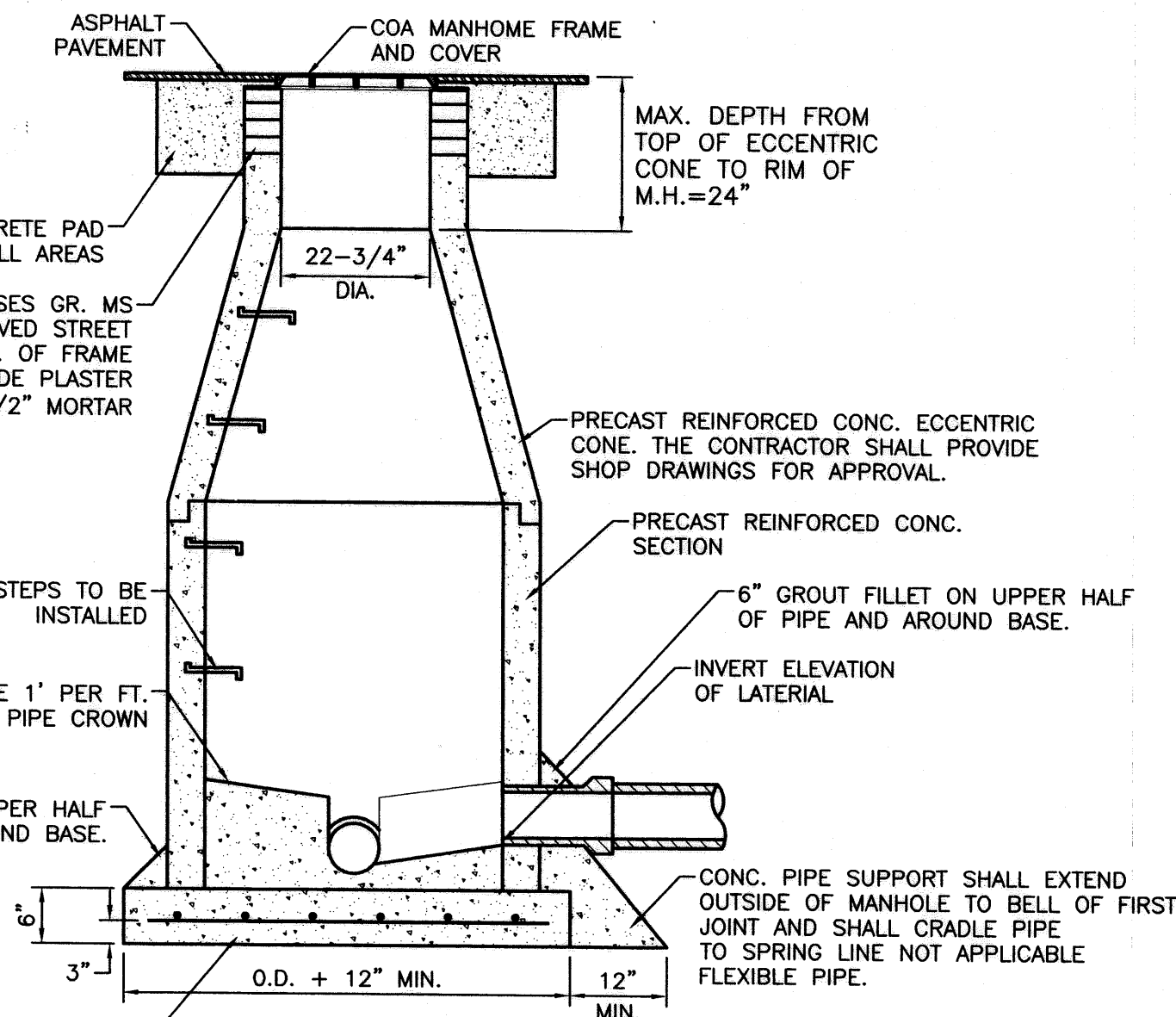
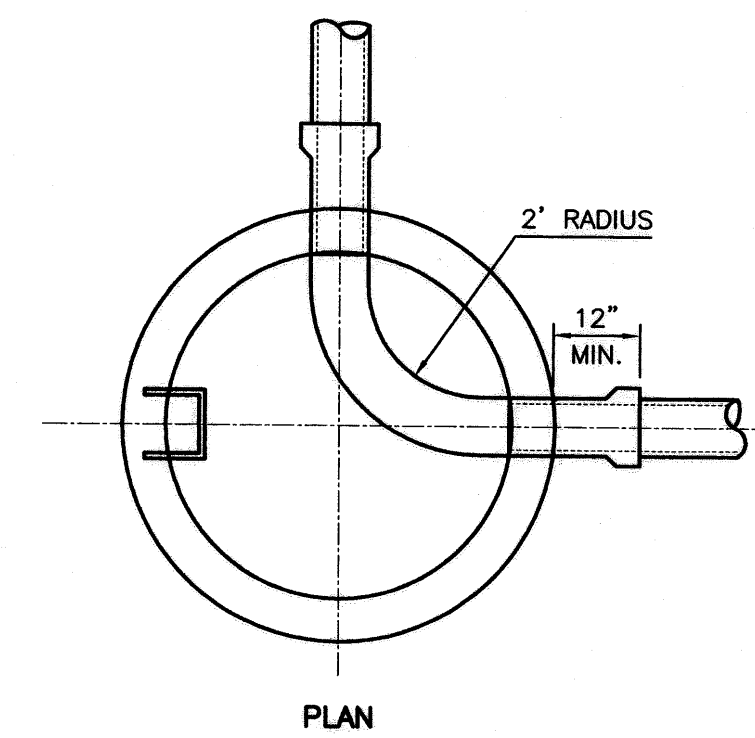
**SANITARY SEWER DOUBLE CLEAN-OUTS**  
NTS



**SCREEN WALL SECTION**  
NTS

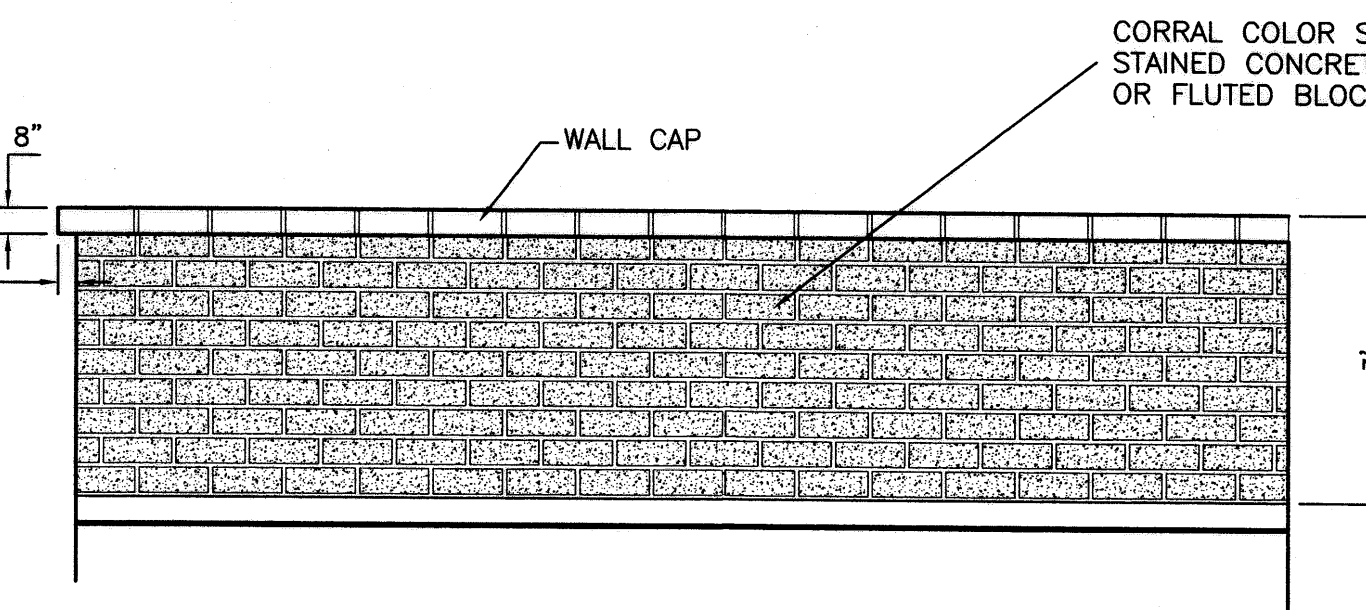
**GENERAL NOTES:**

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



**SEWER MANHOLE TYPE 'E' DETAIL**  
NTS

- NOTE:**
1. DETAIL IS THE SAME AS SHOWN IN THE CITY OF ALBUQUERQUE STANDARD SPECIFICATION FOR PUBLIC WORKS DRAWING NO. 2102.
  2. USE NON-SHRINK GROUT FOR JOINTS, FILLETS, AND PIPE PENETRATIONS
  3. COMPACT ALL BACKFILL AROUND MANHOLES TO 95%.
  4. POSITION MANHOLE OPENING OVER THE UPSTREAM SIDE OF MAIN LINE.



**SCREEN WALL ELEVATION**  
NTS

	<b>FRATERNAL ORDER OF POLICE</b>  <b>CONSTRUCTION DETAILS</b>	DRAWN BY DY
		DATE 12-5-06
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		2516-Details.dwg
RONALD R. BOHANNAN P.E. #7868		SHEET # <b>5 of 5</b>
		JOB # 2516