



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

February 10, 2010

Project# 1004801

10DRB-70019 MAJOR – 6 MONTH EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR SIA)

TIERRA WEST LLC agent(s) for THE FRATERNAL ORDER OF POLICE/
ALBUQUERQUE LODGE 1 request(s) the referenced/ above action(s) for all or a
portion of Lot(s) 1-A,1-B,2-A & 2-B, **FRATERNAL ORDER OF POLICE
ADDITION**, zoned IP, located on the east side of JEFFERSON ST NE and the north
side of the BEAR ARROYO containing approximately 9.6711 acre(s). (E-17)

At the February 10, 2010 Development Review Board meeting, a **six month** extension
of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by February 25, 2010 in the manner
described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any
determination of the Development Review Board may file an appeal on the
Planning Department form, to the Planning Department, within 15 days of the
Development Review Board's decision. The date the determination in question is
issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System
Ordinance, the next working day is considered as the deadline for filing the appeal. Such
appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are
reminded that other requirements of the City must be complied with, even after approval
of the referenced application(s).


Richard Dourte, P.E. City Engineer, Acting DRB Chair

Cc: Tierra West LLC – 5571 Midway Park Place NE – Albuquerque, NM 87109
Cc: Fraternal Order of Police Albuquerque Lodge No. 1 – 6743 Academy Rd. NE Ste. A
– Albuquerque, NM 87111

Marilyn Maldonado
File

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1004801 AGENDA# 2 DATE: 2/10/10

1. Name: _____ Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

February 10, 2010

Project# 1004801

10DRB-70019 MAJOR – 6 MONTH EXTENSION OF SUBDIVISION
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 ADDITION**, zoned IP, located on the east side of JEFFERSON ST NE and the north
 side of the BEAR ARROYO containing approximately 9.6711 acre(s). (E-17)

AMAFCA No comments.
COG No comments.
TRANSIT Adjacent and nearby routes Route #151, Rio-Ranch Albuquerque/ Rail Runner Connection, passes the site on Jefferson. Adjacent bus stops None Site plan requirements None Large site TDM suggestions None. Other information None.
ZONING ENFORCEMENT No comments.
NEIGHBORHOOD COORDINATION Letters sent to: No Neighborhood and/or Homeowner Association(s)
APS This will have no adverse impacts to the APS district.
POLICE DEPARTMENT No comments.
FIRE DEPARTMENT No comments.
PNM ELECTRIC & GAS No comments.
COMCAST No comments.
QWEST



no adverse comments
ENVIRONMENTAL HEALTH No comments.
M.R.G.C.D no adverse comments
OPEN SPACE DIVISION Open Space has no adverse comments
CITY ENGINEER Hydrology has no objection to the extension request.
TRANSPORTATION DEVELOPMENT No adverse comments.
PARKS AND RECREATION No objection.
ABCWUA No comments.
PLANNING DEPARTMENT Refer to comments from affected agencies plus any public hearing comments regarding proposed extension.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

11111

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: February 10, 2010
Zone Atlas Page: (E-17)
Notification Radius: 100 Ft.

Project# 1004801
App# 10DRB-70019

Cross Reference and Location: located on JEFFERSON ST NE BETWEEN BEAR
ARROYO AND PRESIDENTIAL DR NE

Applicant: Fraternal Order of Police Albuquerque Lodge No.1
6743 Academy Rd. NE, Ste A
Albuquerque, NM 87111

Agent: Tierra West LLC
5571 Midway Park Place NE,
Albuquerque, NM 87109

Special Instructions:
**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: JANUARY 22, 2010
SIGNATURE: ERIN TREMLIN - A.T.

Rec	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP CODE	PROPERTY CLASS	TAX DISTRICT	LEGAL
1	1017062 3440754 0109	AMAFCA	2600 PROSP ECT AVE NE	ALBU QUER QUE	N M	871 10	V	A1 A	BEAR ARROYO DRAINAGE EASEMEN T CONT 5.8373 AC M/L OR 254,273SF M/L
2	1017062 2801452 0120	CENTRE BRANDS INC	PO BOX 514 67	ONTA RIO	CA	917 61	C	A1 A	TR A5 GROUP NINE INDUSTRIAL PAR K CONT 3.7564 AC M/L
3	1017062 3041702 0127	BASIS INTERNATIONAL L TD	5901 JEFFER SON NE	ALBU QUER QUE	N M	871 09	C	A1 A	LT 1 PLAT OF LTS 1 - 8 TR C- 4 GROUP NINE INDUSTRIAL PARK CO NT 40,824 SQ FT
4	1017062 3010864 0408	HUB PROPERTIES TRUS T % DELOITTE & TOUCH E LLP	555 17TH ST SUITE 3600	DENV ER	CO	802 02	C	A1 A	TRACT B2-A PLAT OF TRACTS B1- A, B2-A, C-1, E-1, F-1 & G- 1THE 25 CONT 1.7267 AC
5	1017062 3311484 0107	FRATERNAL ORDER OF POLICE	5900 JEFFER SON ST NE	ALBU QUER QUE	N M	871 09	V	A1 A	LT 1-A PLAT OF LOTS 1-A, 1-B, 2- A & 2- B FRATERNAL ORDER OFPOLICE AD DITION CONT 1.5292 AC
6	1017062 4850874 0114	ALVARADO ENTERPRISE S % LARRY MARION	44897 N EL MACERO DR	EL MA CERO	CA	956 18	C	A1 A	PARCEL A-2 PLAT OF PARCELS A- 1 & A- 2 ALBUQUERQUE INDUSTRIALPARK CONT 2.7505 AC +- / 119,812 SQ FT +-
7	1017062 2780944 0409	SAWICKI REALTY CO % S AVAGE SAVAGE & BROW N INC #65063	PO BOX 228 45	OKLA HOMA CITY	OK	731 23	C	A1 A	TRACT B1-A PLAT OF TRACTS B1- A, B2-A, C-1, E-1, F-1 & G- 1THE 25 CONT 1.5342 AC
8	1017062 3550694 0406	ALBUQUERQUE LODGIN G LLC	401 CONSTI TUTION BLV D	WEST MONR OE	LA	712 92	C	A1 A	TRACT D-1 PLAT OF TRACT D-1 & D- 2 THE 25 CONT 2.5629 AC
9	1017062 2550873 0229	CHAUFFEURS TEAMSTE RS LOCAL 492	4269 BALLO ON PARK RD NE	ALBU QUER QUE	N M	871 09	C	A1 A	*15 CORRECTED PLAT BALLOON FIE LD INDUSTRIAL PARK CONT 1.0038 A C
10	1017062 3230984 0410	AGB ALBUQUERQUE LLC	245 PARK AV E FLOOR 26	NEW Y ORK	NY	101 67	V	A1 A	TRACT M PLAT OF TRACTS A, B1, B2, C, D, E, F, G, H1, H2, I, J, K, L & M THE 25 CONT 2.8740 AC
11	1017062 3571354 0112	LUJAN BYRD GENERAL P ARTNERSHIP	4801 INDIAN SCHOOL RD NE 100	ALBU QUER QUE	N M	871 10	V	A1 A	LT 2-A PLAT OF LOTS 1-A, 1-B, 2- A & 2- B FRATERNAL ORDER OFPOLICE AD DITION CONT 3.1131 AC
12	1017062 3951234 0113	MIDEB LLC	6001 PAN A MERICAN F WY NE	ALBU QUER QUE	N M	871 09	C	A1 A	PARCEL A-1 PLAT OF PARCELS A- 1 & A- 2 ALBUQUERQUE INDUSTRIALPARK CONT 5.0951 AC +-
13	1017062 3511024 0106	FRATERNAL ORDER OF POLICE	5900 JEFFER SON ST NE	ALBU QUER QUE	N M	871 09	V	A1 A	LT 2-B PLAT OF LOTS 1-A, 1-B, 2- A & 2- B FRATERNAL ORDER OFPOLICE AD DITION CONT 1.8959 AC
14	1017062 3731754 0116	LINEBERRY E C	PO BOX 195 7	TAOS	N M	875 71	C	A1 A	T11N R3E SEC 26 TR A LANDS OF BO RDER MACHINERY CONT 10.00 AC
15	1017062 3142002 0156	EIGHT/NINE PARTNERS L TD CO	6707 ACAD E MY RD NE D	ALBU QUER QUE	N M	871 09	C	A1 A	LT 8 PLAT OF LTS 1 - 8 TR C- 4 GROUP NINE INDUSTRIAL PARK CO NT 69,552 SQ FT
16	1017062 3220794 0407	HUB PROPERTIES TRUS T % DELOITTE & TOUCH E LLP	555 17TH ST SUITE 3600	DENV ER	CO	802 02	C	A1 A	TRACT C-1 PLAT OF TRACTS B1- A, B2-A, C-1, E-1, F-1 & G- 1THE 25 CONT 1.2751 AC
17	1017062 3201174 0105	FRATERNAL ORDER OF POLICE	5900 JEFFER SON ST NE	ALBU QUER QUE	N M	871 09	V	A1 A	LT 1-B PLAT OF LOTS 1-A, 1-B, 2- A & 2- B FRATERNAL ORDER OFPOLICE AD DITION CONT 3.1329 AC

OR CURRENT RESIDENT
101706232309840410
AGB ALBUQUERQUE LLC
245 PARK AVE FLOOR 26
NEW YORK, NY 10167

OR CURRENT RESIDENT
101706234407540109
AMAFCA
2600 PROSPECT AVE NE
ALBUQUERQUE, NM 87110

OR CURRENT RESIDENT
101706225508730229
CHAUFFEURS TEAMSTERS LOCAL
492
4269 BALLOON PARK RD NE
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
101706230108640408
HUB PROPERTIES TRUST DELOITTE
& TOUCHE LLP
555 17TH ST SUITE 3600
DENVER, CO 80202

OR CURRENT RESIDENT
101706239512340113
MIDEB LLC
6001 PAN AMERICAN FWY NE
ALBUQUERQUE, NM 87109

Project# 1004801
FRATERNAL ORDER OF POLICE ABQ
LODGE NO 1
6743 ACADEMY RD NE STE A
ALBUQUERQUE, NM 87111

OR CURRENT RESIDENT
101706235506940406
ALBUQUERQUE LODGING LLC
401 CONSTITUTION BLVD
WEST MONROE, LA 71292

OR CURRENT RESIDENT
101706230417020127
BASIS INTERNATIONAL LTD
5901 JEFFERSON NE
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
101706231420020156
EIGHT/NINE PARTNERS LTD CO
6707 ACADEMY RD NE D
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
101706237317540116
LINEBERRY E C
PO BOX 1957
TAOS, NM 87571

OR CURRENT RESIDENT
101706227809440409
SAWICKI REALTY CO % SAVAGE
SAVAGE & BROWN INC #65063
PO BOX 22845
OKLAHOMA CITY, OK 73123

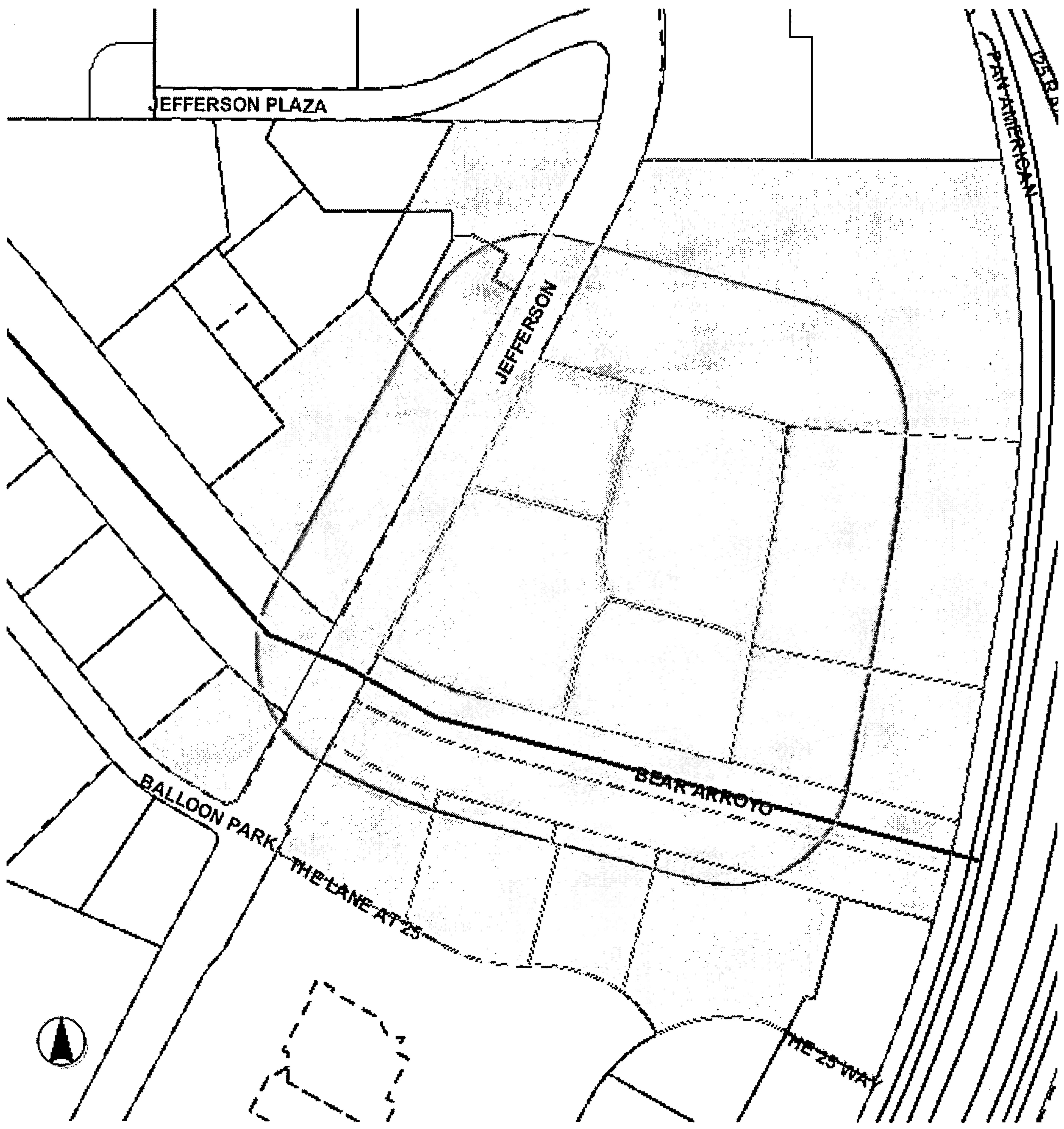
OR CURRENT RESIDENT
101706248508740114
ALVARADO ENTERPRISES % LARRY
MARION
44897 N EL MACERO DR
EL MACERO, CA 95618

OR CURRENT RESIDENT
101706228014520120
CENTRE BRANDS INC
PO BOX 51467
ONTARIO, CA 91761

OR CURRENT RESIDENT
101706233114840107
FRATERNAL ORDER OF POLICE
5900 JEFFERSON ST NE
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
101706235713540112
LUJAN BYRD GENERAL
PARTNERSHIP
4801 INDIAN SCHOOL RD NE 100
ALBUQUERQUE, NM 87110

Project# 1004801
TIERRA WEST LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NM 87109





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, February 10, 2010, beginning at 9:00 a.m. for the purpose of considering the following:

Project# 1000650

10DRB-70020 MAJOR – 1 YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT
(2YR SIA)

TIERRA WEST LLC agent(s) for WAL-MART STORES EAST LP request(s) the referenced/ above action(s) for all or a portion of Tract(s) 1-A-1, **LANDS OF LAMONICA AND WENK** zoned SU-1 FOR C-1 PERMISSIVE USES, located in the southeast corner of COORS BLVD SW and RIO BRAVO BLVD SW containing approximately 20.05 acre(s). (P-10)

Project# 1004801

10DRB-70019 MAJOR – 6 MONTH
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT
(2YR SIA)

TIERRA WEST LLC agent(s) for THE FRATERNAL ORDER OF POLICE/ ALBUQUERQUE LODGE 1 request(s) the referenced/ above action(s) for all or a portion of Lot(s) 1-A,1-B,2-A & 2-B, **FRATERNAL ORDER OF POLICE ADDITION**, zoned IP, located on the east side of JEFFERSON ST NE and the north side of the BEAR ARROYO containing approximately 9.6711 acre(s). (E-17)

Project# 1003993

10DRB-70021 MAJOR – 2 YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT
(2YR SIA)

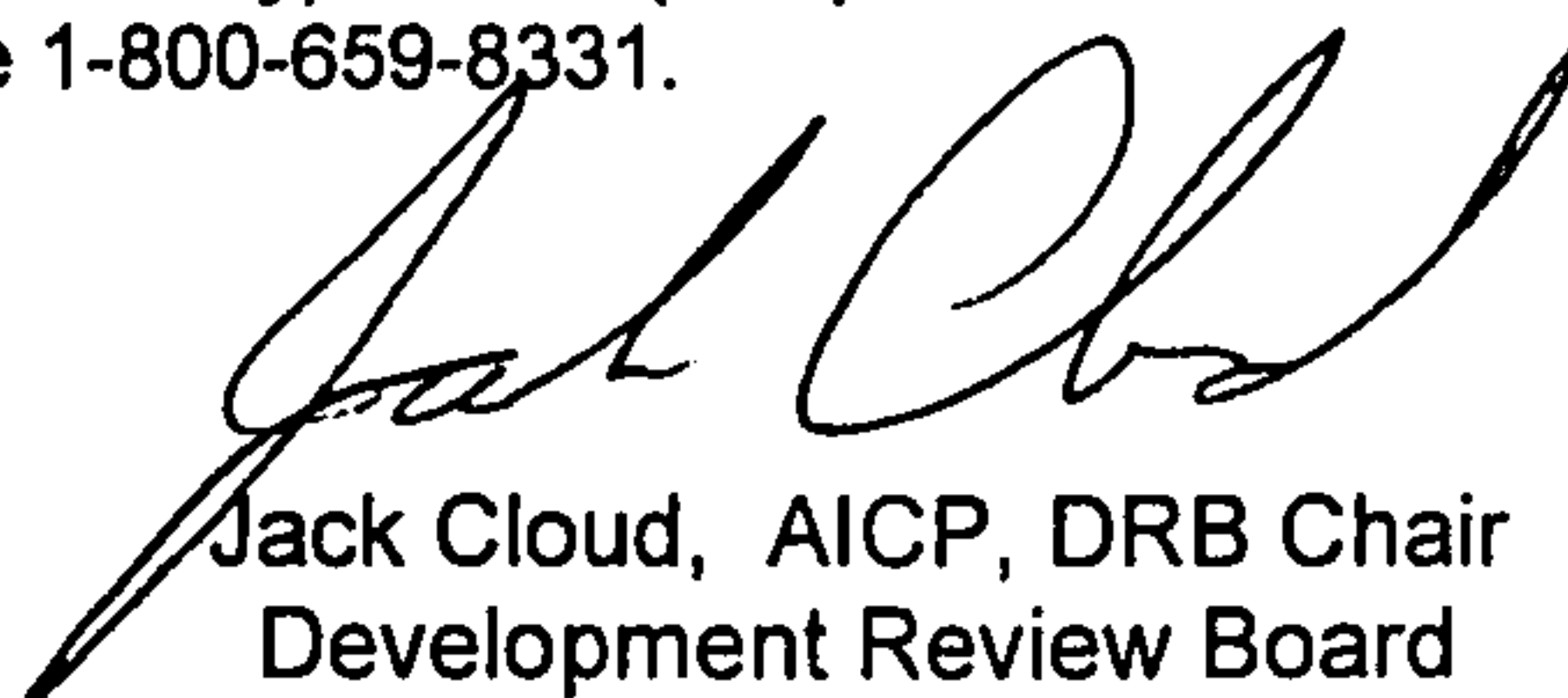
SUJAY THAKUR agent(s) for GLOBAL STORAGE COORS LLC request(s) the referenced/ above action(s) for all or a portion of Tract(s) A-37-1A, **TOWN OF ATRISCO GRANT NORTHEAST UNIT**, zoned SU-1/ O-1 W/ INDOOR AND OUTDOOR STORAGE, located on the west side of COORS BLVD NW between SEQUOIA NW and ST JOSEPHS DR NW containing approximately 4.2236 acre(s). (G-11)

Project# 1004341

10DRB-70017 MAJOR – 2 YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT
(2YR SIA) & 10DRB-70018 MINOR
(for DEFERRED SIDEWALKS)

RIO GRANDE SURVEYING CO. agent(s) for ENCHANTMENT HOMES OF NM LLC request(s) the referenced/ above action(s) for all or a portion of **MESA DEL RIO**, zoned R-2, located on on the east side of 76th ST NW between FORTUNA RD NW and GLEN RIO RD NW containing approximately 5.0021 acre(s). (J-10)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, January 25, 2010.

HEARINGS DATE 2-10-10 (SIA)



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, December 3, 2008, beginning at 9:00 a.m. for the purpose of considering the following:

Project# 1002516/1002739

08DRB-70333 MAJOR - - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS (2YR SIA)

MARK GOODWIN AND ASSOCIATES PA agent(s) for KB HOME NEW MEXICO INC request(s) the referernced/ above action(s) for all or a portion of **ANDERSON HEIGHTS SUBDIVISION Unit(s) 9**, zoned R-D and R-LT, located on the south side of AMOLE MESA AVE SW BETWEEN 118TH ST SW AND PORTO ST SW containing approximately 56.3327 acre(s). (N-8)

Project# 1004801

08DRB-70468 MAJOR - 1YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS (1YR SIA)

TERRA WEST LLC agent(s) for THE FRATERNAL ORDER OF POLICE/ ALBUQUERQUE LODGE 1 request(s) the referenced/ above action(s) for all or a portion of Lot(s) 1-A,1-B,2-A & 2-B, **FRATERNAL ORDER OF POLICE ADDITION**, zoned IP, located on the east side of JEFFERSON ST NE AND the north side of the BEAR ARROYO containing approximately 9.6711 acre(s). (E-17)

Project# 1001939

08DRB-70478 VACATION OF PUBLIC
EASEMENT

BOHANNAN HUSTON INC agent(s) for JD HOME BUILDER INC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 5, **CIELO OESTE SUBDIVISION**, zoned R-D, located on the north side of CASA FLORIDA PL NW BETWEEN CASA VISTOSA CT NW AND CASA LINDA CT NW containing approximately .12 acre. (H-9)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

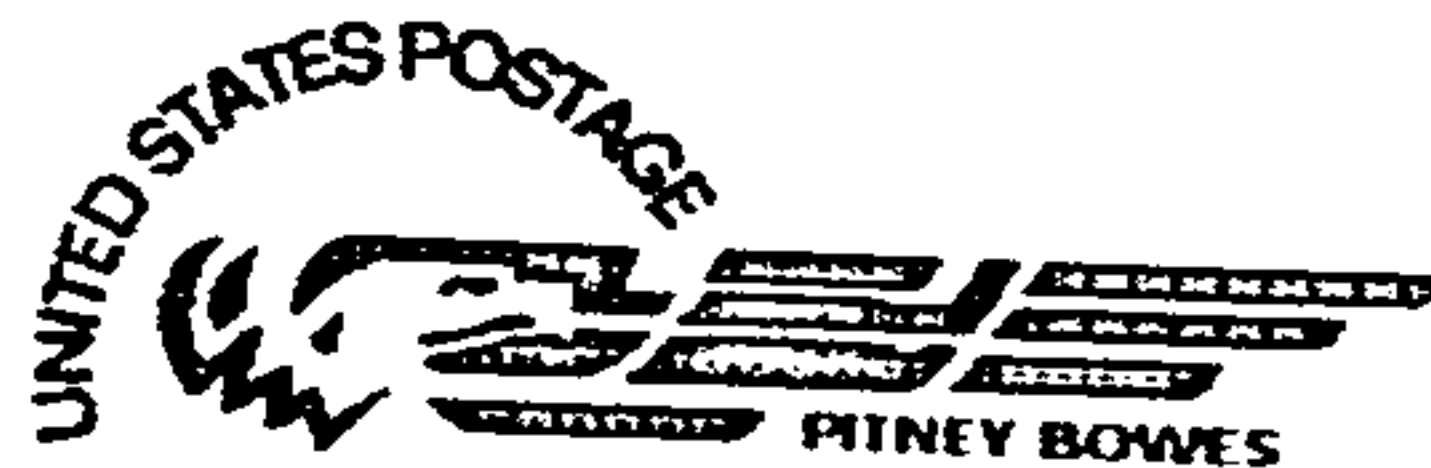
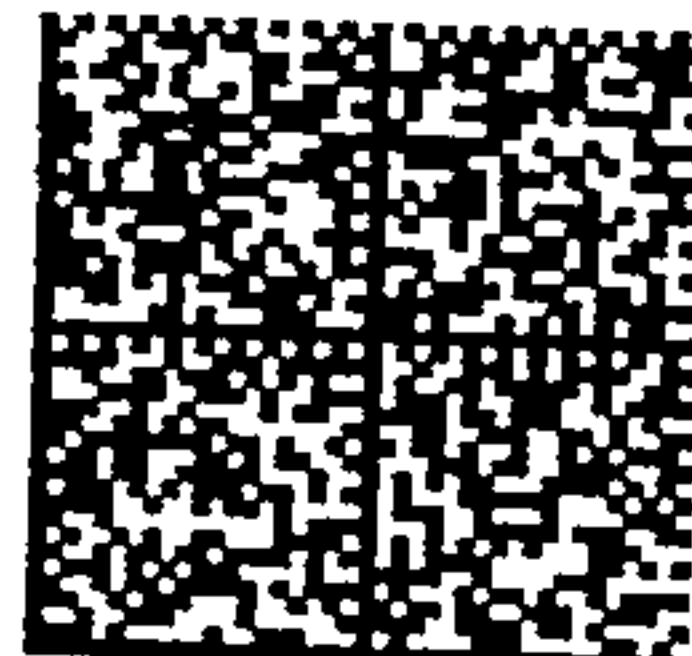

Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, NOVEMBER 17TH 2008.

CITY OF ALBUQUERQUE



Planning Department



02 1M
0004261639

\$ 00.42⁰

NOV 14 2008

MAILED FROM ZIP CODE 87102

~~OR CURRENT RESIDENT
101706231420020156
EIGHT/NINE PARTNERS LTD CO
6707 ACADEMY RD NE D
ALBUQUERQUE, NM 87109~~

DRB

ANK

RETURN TO SENDER
ATTEMPTED NOT KNOWN

ANK

87109+3332



P O Box 1293 Albuquerque New Mexico 87103

MAIL TO SENDER
ATTEMPTED NOT KNOWN



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, December 3, 2008, beginning at 9:00 a.m. for the purpose of considering the following:

Project# 1002516/1002739
08DRB-70333 MAJOR - - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS (2YR SIA)

MARK GOODWIN AND ASSOCIATES PA agent(s) for KB HOME NEW MEXICO INC request(s) the referenced/ above action(s) for all or a portion of **ANDERSON HEIGHTS SUBDIVISION Unit(s) 9**, zoned R-D and R-LT, located on the south side of AMOLE MESA AVE SW BETWEEN 118TH ST SW AND PORTO ST SW containing approximately 56.3327 acre(s). (N-8)

Project# 1004801
08DRB-70468 MAJOR - 1YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS (1YR SIA)

TERRA WEST LLC agent(s) for THE FRATERNAL ORDER OF POLICE/ ALBUQUERQUE LODGE 1 request(s) the referenced/ above action(s) for all or a portion of Lot(s) 1-A,1-B,2-A & 2-B, **FRATERNAL ORDER OF POLICE ADDITION**, zoned IP, located on the east side of JEFFERSON ST NE AND the north side of the BEAR ARROYO containing approximately 9.6711 acre(s). (E-17)

Project# 1001939
08DRB-70478 VACATION OF PUBLIC
EASEMENT

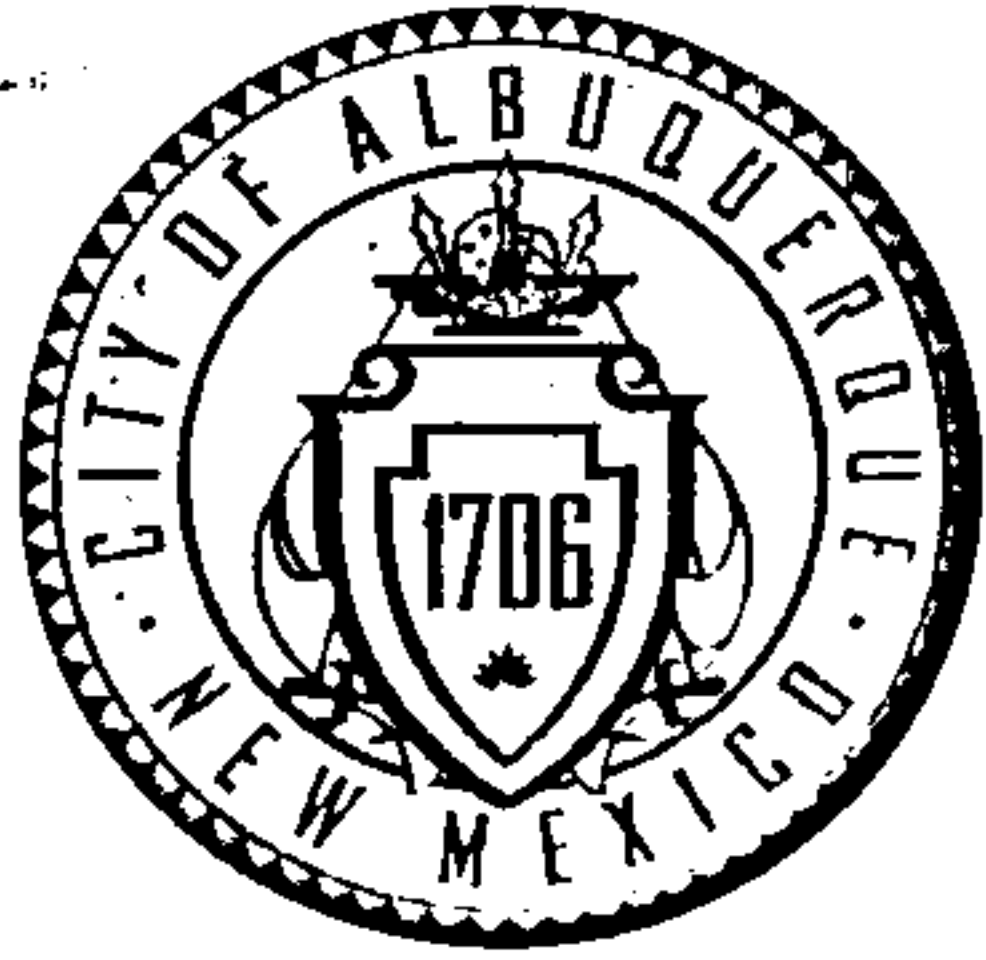
BOHANNAN HUSTON INC agent(s) for JD HOME BUILDER INC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 5, **CIELO OESTE SUBDIVISION**, zoned R-D, located on the north side of CASA FLORIDA PL NW BETWEEN CASA VISTOSA CT NW AND CASA LINDA CT NW containing approximately .12 acre. (H-9)

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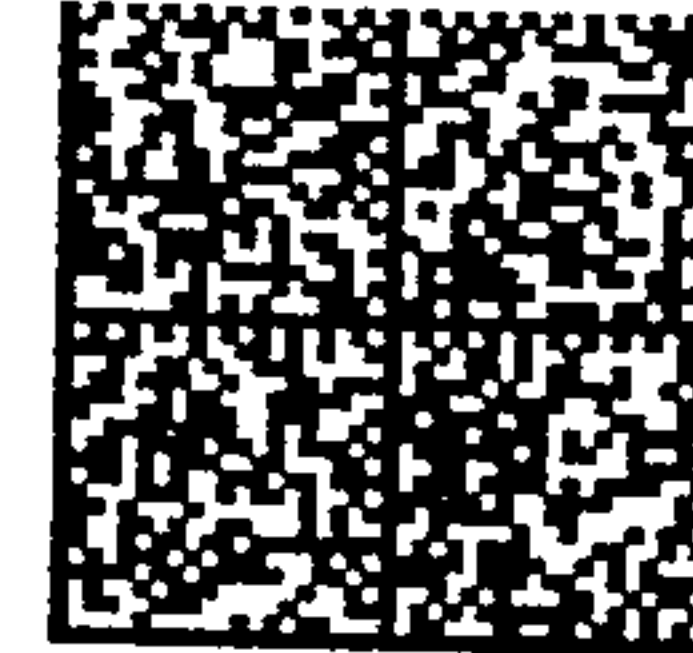

Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, NOVEMBER 17TH 2008.

CITY OF ALBUQUERQUE



Planning Department



02 1M \$ 00.42⁰
0004261639 NOV 14 2008
MAILED FROM ZIP CODE 87102

OR CURRENT RESIDENT
101706235110240106
FRATERNAL ORDER OF POLICE
5900 JEFFERSON ST NE
ALBUQUERQUE, NM 87109

DRB

NIXIE 871 CC 1 84 11/19/08

RETURN TO SENDER
ATTEMPTED - NOT KNOWN
UNABLE TO FORWARD

BC: 87100

*0768-09762-14-37

87109-3453
87109@9998



P O Box 1293 Albuquerque New Mexico 87103

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

December 3, 2008
Meeting Date: ~~November 26~~, 2008
Zone Atlas Page: - E-17
Notification Radius: 100 Ft.

**Project# 1004801
App# 08DRB-70468**

Cross Reference and Location: JEFFERSON ST NE AND BEAR ARROYO

Applicant: . FRATERNAL ORDER OF POLICE ALBUQUERQUE LODGE 1
5900 JEFFERSON ST NE
ALBUQUERQUE, NM 87109

Agent: TIERRA WEST LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: NOVEMBER 14, 2008
Signature: ERIN TREMLIN



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Tierra West LLC PHONE: 505-858-3100
 ADDRESS: 5571 Midway Park Place NE FAX: 505-858-1118
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____

APPLICANT: Fraternal Order of Police Albuquerque Lodge 1 PHONE: 505-345-2639
 ADDRESS: 5900 Jefferson St. NE FAX: 505-345-4724
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: One year extension of Subdivision Improvements Agreement

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots 1-A, 1-B, 2-A & 2-B Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Fraternal Order of Police Addition
 Existing Zoning: IP Proposed zoning: No Change MRGCD Map No _____
 Zone Atlas page(s): E-17 UPC Code: 101706233114840107/101706235713540112/101706232011740105/101706235110240106

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): SP-77-71/Z-76-130/ CZ-76-47/ZA-86-116/Z-70-61/06EPC-01441,01443/06DRB-01747/Project # 1004801

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 4 No. of proposed lots: 4 Total area of site (acres): +/-9.73
 LOCATION OF PROPERTY BY STREETS: On or Near: Jefferson Street NE
 Between: Bear Arroyo and _____
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE _____ DATE 10/25/08
 (Print) Ronald R. Bohannon, PE Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>08DRB 70468</u>	<u>SIA</u>	<u>5(2)</u>	<u>\$ 50.00</u>
_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
_____	<u>CME</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>11/26/08</u>	_____	_____	Total <u>\$ 145.00</u>

Sandez Handley 10/30/08
 Planner signature / date

Project # 1004801

Form revised 4/07

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.


MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon, PE
 Applicant name (print)

 Applicant signature / date
 10/29/08



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 OSDEB - 70468

Sandy Handley 10/30/08
 Planner signature / date
 Project # 1004801

R e c	UPC	OWNER	OWNADD	OWN CITY	OW NST ATE	OW NZIP COD E	PRO PCL ASS	TA XD IS T	LEGALDESC	AC RE S	OB JE CTI D
1	101706 232207 940407	HUB PROPERTIES TR UST % DELOITTE & T OUCHE LLP	555 17TH S T SUITE 36 00	DENV ER	CO	8020 2	C	A1 A	TRACT C-1 PLAT OF TRACTS B1- A, B2-A, C-1, E-1, F-1 & G- 1THE 25 CONT 1.2751 AC	1.2 774 842 3	986 25
2	101706 231420 020156	EIGHT/NINE PARTNE RS LTD CO	6707 ACAD EMY RD N E D	ALBU QUE RQU E	NM	8710 9	C	A1 A	LT 8 PLAT OF LTS 1 - 8 TR C- 4 GROUP NINE INDUSTRIAL PAR K CONT 69,552 SQ FT	1.6 163 713 3	998 94
3	101706 230417 020127	BASIS INTERNATIONAL LTD	5901 JEFF ERSON NE	ALBU QUE RQU E	NM	8710 9	C	A1 A	LT 1 PLAT OF LTS 1 - 8 TR C- 4 GROUP NINE INDUSTRIAL PAR K CONT 40,824 SQ FT	0.9 375 729 3	102 977
4	101706 228014 520120	CENTRE BRANDS INC	PO BOX 51 467	ONTA RIO	CA	9176 1	C	A1 A	TR A5 GROUP NINE INDUSTRIAL PARK CONT 3.7564 AC M/L	3.7 881 550 7	105 829
5	101706 227809 440409	SAWICKI REALTY CO % SAVAGE SAVAGE & BROWN INC #65063	PO BOX 22 845	OKLA HOM A CIT Y	OK	7312 3	C	A1 A	TRACT B1- A PLAT OF TRACTS B1-A, B2- A, C-1, E-1, F-1 & G- 1THE 25 CONT 1.5342 AC	1.5 310 400 4	111 078
6	101706 225508 730229	CHAUFFEURS TEAMS TERS LOCAL 492	4269 BALL OON PARK RD NE	ALBU QUE RQU E	NM	8710 9	C	A1 A	*15 CORRECTED PLAT BALLOON FIELD INDUSTRIAL PARK CONT 1.0038 AC	1.0 201 469 6	115 170
7	101706 237317 540116	LINEBERRY E C	PO BOX 19 57	TAOS	NM	8757 1	C	A1 A	T11N R3E SEC 26 TR A LANDS O F BORDER MACHINERY CONT 10 .00 AC	9.9 233 859 7	117 672
8	101706 232309 840410	AGB ALBUQUERQUE LLC	245 PARK AVE FLOO R 26	NEW YORK	NY	1016 7	V	A1 A	TRACT M PLAT OF TRACTS A, B1 , B2, C, D, E, F, G, H1, H2, I, J, K, L & M THE 25 CONT 2.8740 AC	2.8 715 502	120 380
9	101706 248508 740114	ALVARADO ENTERPR ISES % LARRY MARIO N	44897 N EL MACERO DR	EL M ACER O	CA	9561 8	C	A1 A	PARCEL A- 2 PLAT OF PARCELS A-1 & A- 2 ALBUQUERQUE INDUSTRIALP ARK CONT 2.7505 AC +- / 119,812 SQ FT +-	2.7 406 005 5	121 325
10	101706 235506 940406	ALBUQUERQUE LOD GING LLC	401 CONST ITUTION BL VD	WES T MO NRO E	LA	7129 2	C	A1 A	TRACT D-1 PLAT OF TRACT D- 1 & D-2 THE 25 CONT 2.5629 AC	2.5 581 108 1	121 641
11	101706 230108 640408	HUB PROPERTIES TR UST % DELOITTE & T OUCHE LLP	555 17TH S T SUITE 36 00	DENV ER	CO	8020 2	C	A1 A	TRACT B2- A PLAT OF TRACTS B1-A, B2- A, C-1, E-1, F-1 & G- 1THE 25 CONT 1.7267 AC	1.7 272 604	121 732
12	101706 234407 540109	AMAFCA	2600 PROS PECT AVE NE	ALBU QUE RQU E	NM	8711 0	V	A1 A	BEAR ARROYO DRAINAGE EASE MENT CONT 5.8373 AC M/L OR 2 54,273SF M/L	2.9 688 562 7	146 520
13	101706 235110 240106	FRATERNAL ORDER OF POLICE	5900 JEFF ERSON ST NE	ALBU QUE RQU E	NM	8710 9	V	A1 A	LT 2-B PLAT OF LOTS 1-A, 1-B, 2- A & 2- B FRATERNAL ORDER OFPOLIC E ADDITION CONT 1.8959 AC	1.8 958 472 7	146 521
14	101706 232011 740105	FRATERNAL ORDER OF POLICE	5900 JEFF ERSON ST NE	ALBU QUE RQU E	NM	8710 9	V	A1 A	LT 1-B PLAT OF LOTS 1-A, 1-B, 2- A & 2- B FRATERNAL ORDER OFPOLIC E ADDITION CONT 3.1329 AC	3.1 319 176 6	146 522
15	101706 239512 340113	MIDEB LLC	6001 PAN A MERICAN F WY NE	ALBU QUE RQU E	NM	8710 9	C	A1 A	PARCEL A- 1 PLAT OF PARCELS A-1 & A- 2 ALBUQUERQUE INDUSTRIALP ARK CONT 5.0951 AC +-	5.1 058 146 8	146 523
16	101706 235713	LUJAN BYRD GENERA L PARTNERSHIP	4801 INDIA N SCHOOL	ALBU QUE	NM	8711 0	C	A1 A	LT 2-A PLAT OF LOTS 1-A, 1-B, 2- A & 2-	3.1 121	146 524

	540112		RD NE 100	RQU E					B FRATERNAL ORDER OF POLICE E ADDITION CONT 3.1131 AC	573 6	
1 7	101706 233114 840107	FRATERNAL ORDER OF POLICE	5900 JEFF ERSON ST NE	ALBU QUE RQU E	NM	8710 9	V	A1 A	LT 1-A PLAT OF LOTS 1-A, 1-B, 2- A & 2- B FRATERNAL ORDER OF POLICE E ADDITION CONT 1.5292 AC	1.5 292 006 7	146 525

OR CURRENT RESIDENT
101706232309840410
AGB ALBUQUERQUE LLC
245 PARK AVE FLOOR 26
NEW YORK, NY 10167

OR CURRENT RESIDENT
101706234407540109
AMAFCA
2600 PROSPECT AVE NE
ALBUQUERQUE, NM 87110

OR CURRENT RESIDENT
101706225508730229
CHAUFFEURS TEAMSTERS LOCAL
492
4269 BALLOON PARK RD NE
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
101706232207940407
HUB PROPERTIES TRUST % DELOITTE
& TOUCHE LLP
555 17TH ST SUITE 3600
DENVER, CO 80202

OR CURRENT RESIDENT
101706239512340113
MIDEB LLC
6001 PAN AMERICAN FWY NE
ALBUQUERQUE, NM 87109

Project# 1004801
FRATERNAL ORDER OF POLICE
ALBUQUERQUE LODGE 1
5900 JEFFERSON ST NE
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
101706235506940406
ALBUQUERQUE LODGING LLC
401 CONSTITUTION BLVD
WEST MONROE, LA 71292

OR CURRENT RESIDENT
101706230417020127
BASIS INTERNATIONAL LTD
5901 JEFFERSON NE
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
101706231420020156
EIGHT/NINE PARTNERS LTD CO
6707 ACADEMY RD NE D
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
101706237317540116
LINEBERRY E C
PO BOX 1957
TAOS, NM 87571

OR CURRENT RESIDENT
101706227809440409
SAWICKI REALTY CO SAVAGE
SAVAGE & BROWN INC #65063
PO BOX 22845
OKLAHOMA CITY, OK 73123

OR CURRENT RESIDENT
101706248508740114
ALVARADO ENTERPRISES % LARRY
MARION
44897 N EL MACERO DR
EL MACERO, CA 95618

OR CURRENT RESIDENT
101706228014520120
CENTRE BRANDS INC
PO BOX 51467
ONTARIO, CA 91761

OR CURRENT RESIDENT
101706235110240106
FRATERNAL ORDER OF POLICE
5900 JEFFERSON ST NE
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
101706235713540112
LUJAN BYRD GENERAL
PARTNERSHIP
4801 INDIAN SCHOOL RD NE 100
ALBUQUERQUE, NM 87110

Project# 1004801
TIERRA WEST LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NM 87109



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

October 27, 2008

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on **October 27, 2008:**

Contact Name: **KELI KRUEGER**

Company or Agency: **TIERRA WEST, LLC**
5571 MIDWAY PARK PLACE NE/87109
PHONE: 858-3100/FAX: 858-1118
E-mail: kkrueger@tierrawestllc.com

contacted the Office of Neighborhood Coordination requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **LOTS 1-A, 1-B, 2-A AND 2-B, FRATERNAL ORDER OF POLICE ADDITION, LOCATED ON JEFFERSON STREET NE BETWEEN THE BEAR ARROYO** zone map E-17.

Our records indicate that as of October 27, 2008, there were no Neighborhood and/or Homeowner Associations in this area.

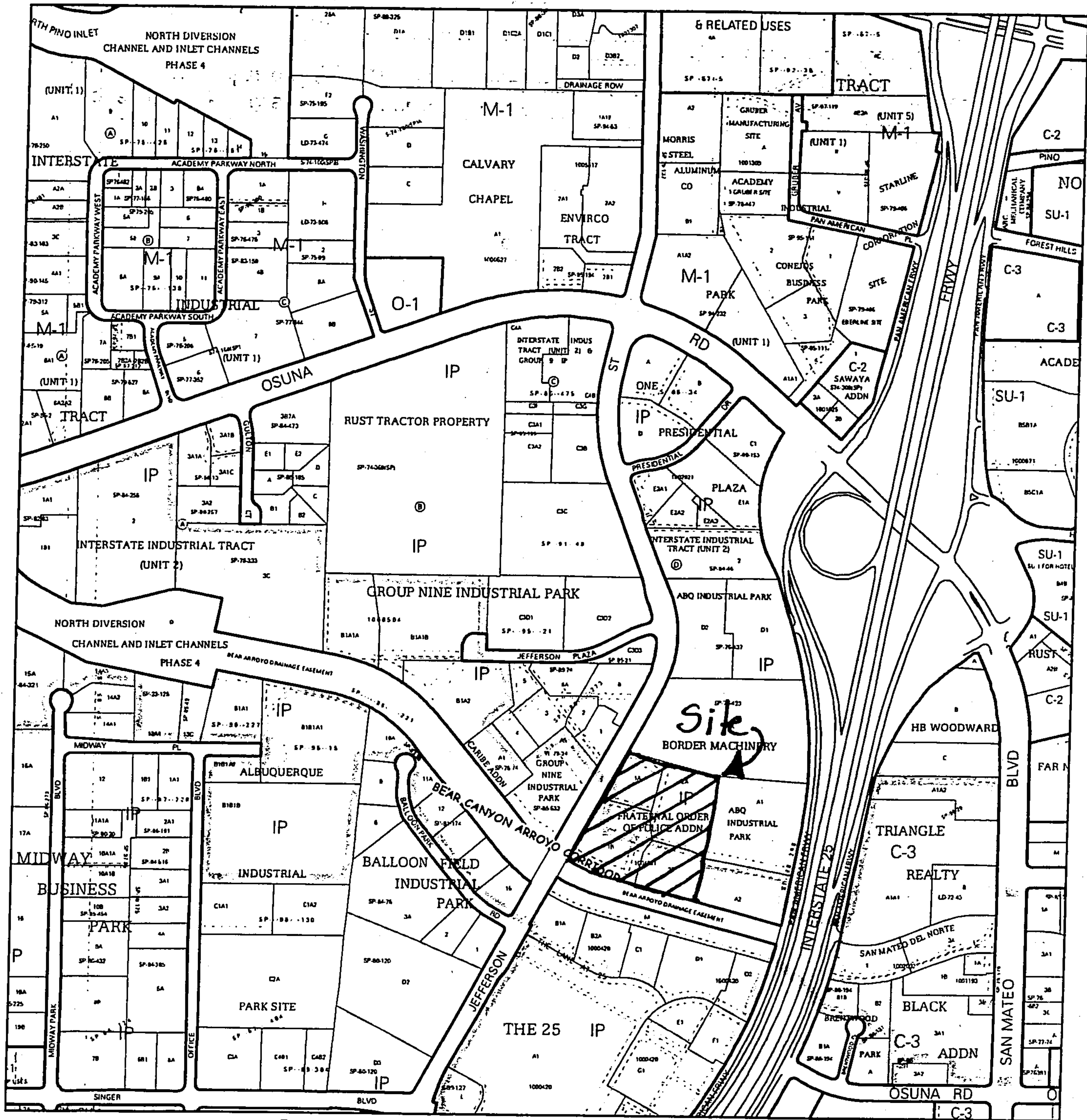
If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
PLANNING DEPARTMENT

planningnrnaform(01/22/08)



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 6/13/2008

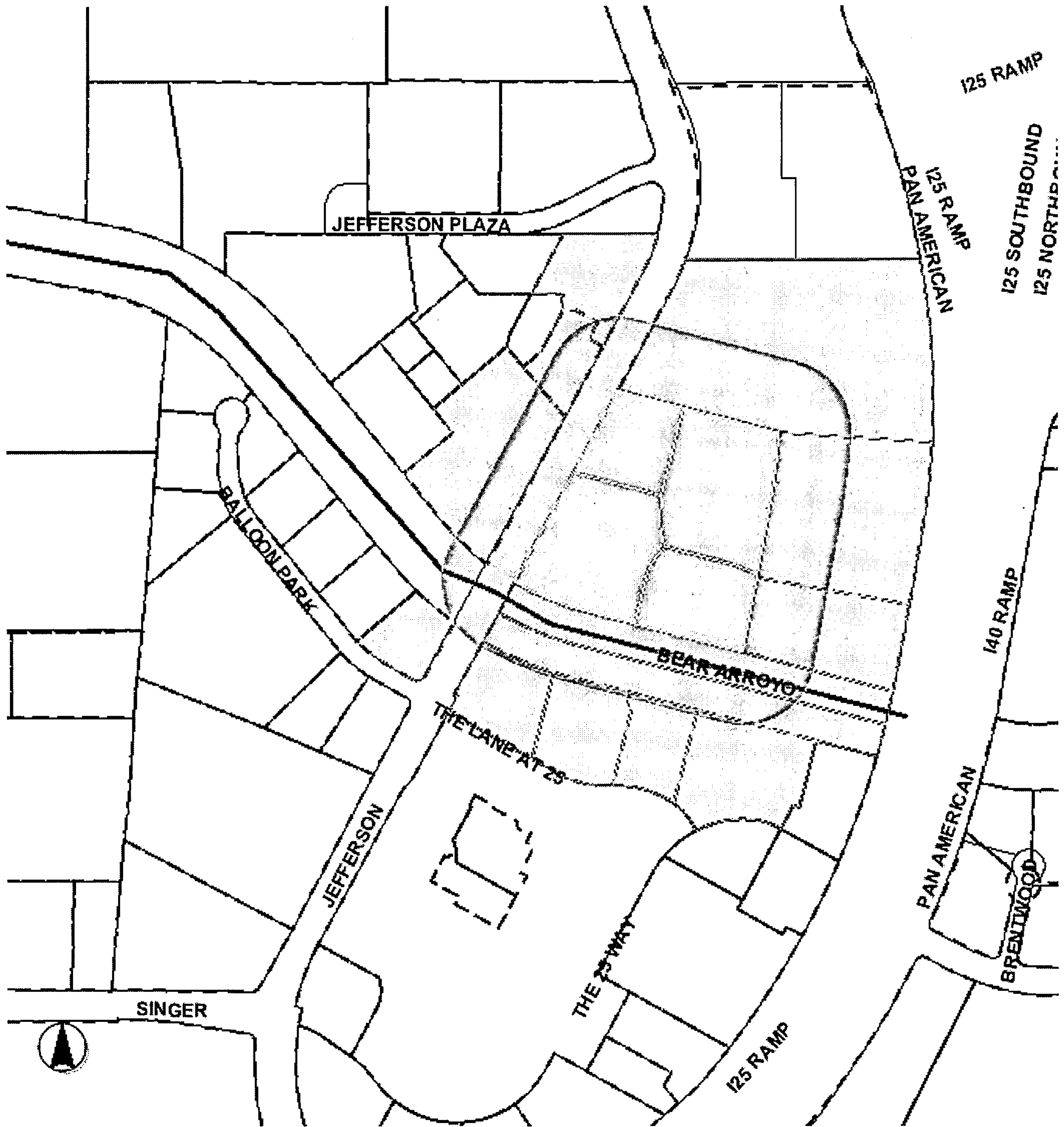
Note: Grey Shading Represents Area Outside of the City Limits

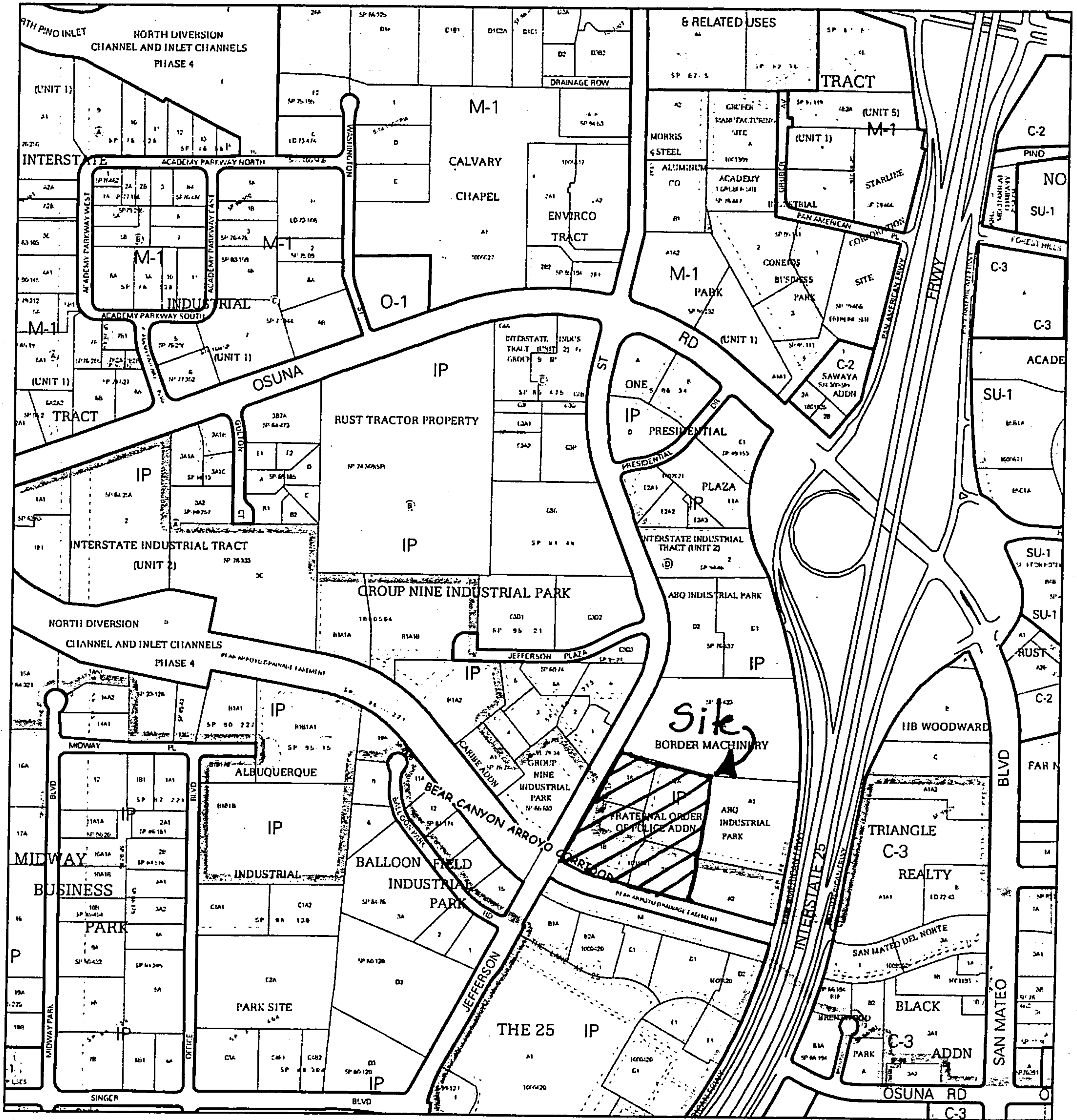
Zone Atlas Page:
E-17-Z

Selected Symbols


SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

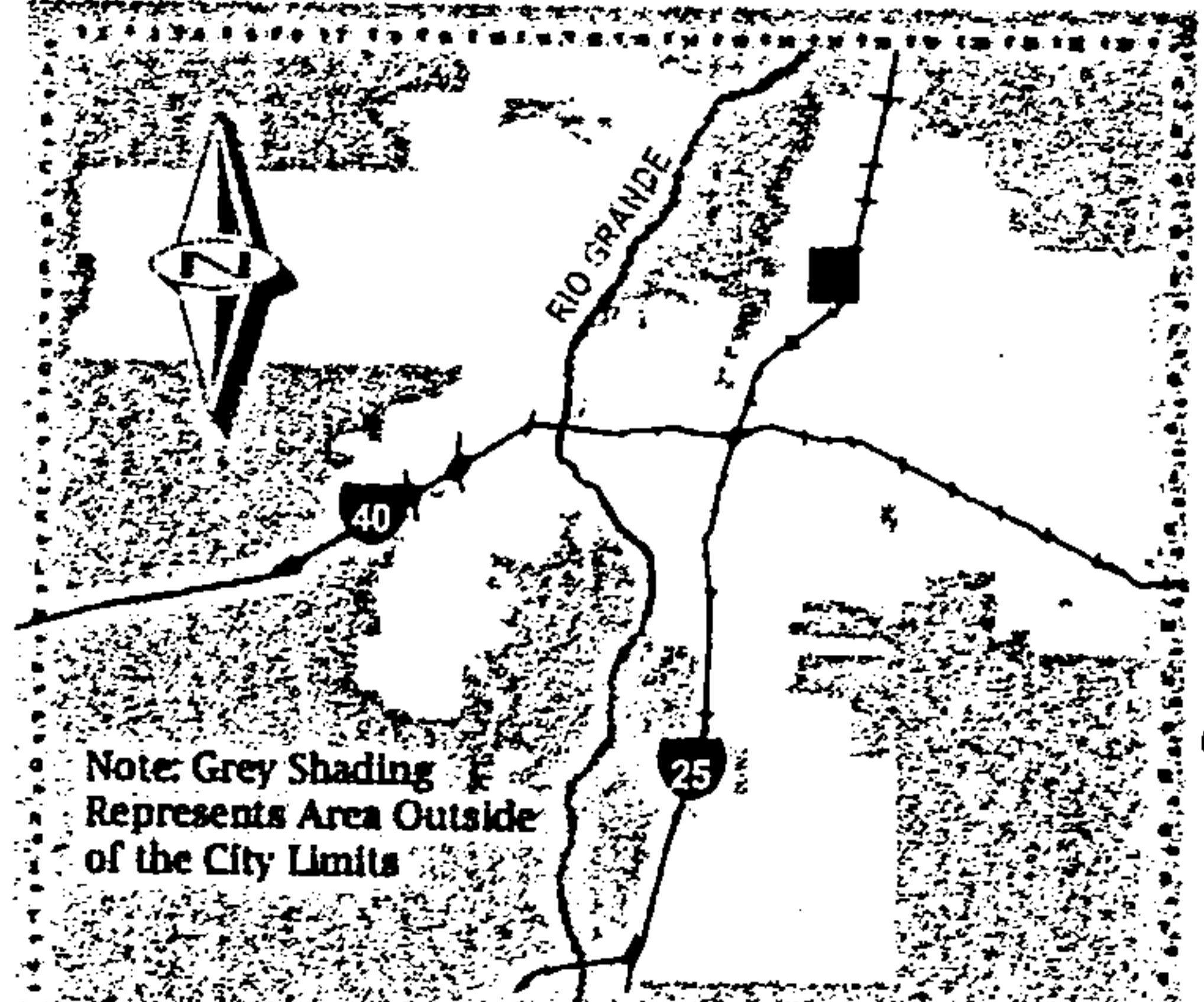




For more current information and more details visit: <http://www.cabq.gov/gis>




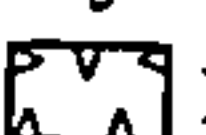
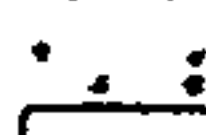


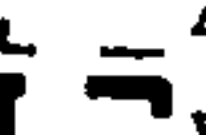



Map amended through: 6/13/2008



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
E-17-Z

Selected Symbols

 SECTOR PLANS	 Escarpment
 Design Overlay Zones	 2 Mile Airport Zone
 City Historic Zones	 Airport Noise Contours
 H-1 Buffer Zone	 Wall Overlay Zone
 Petroglyph Mon.	

0 750 1,500 Feet

gaw

TIERRA WEST, LLC

October 29, 2008

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

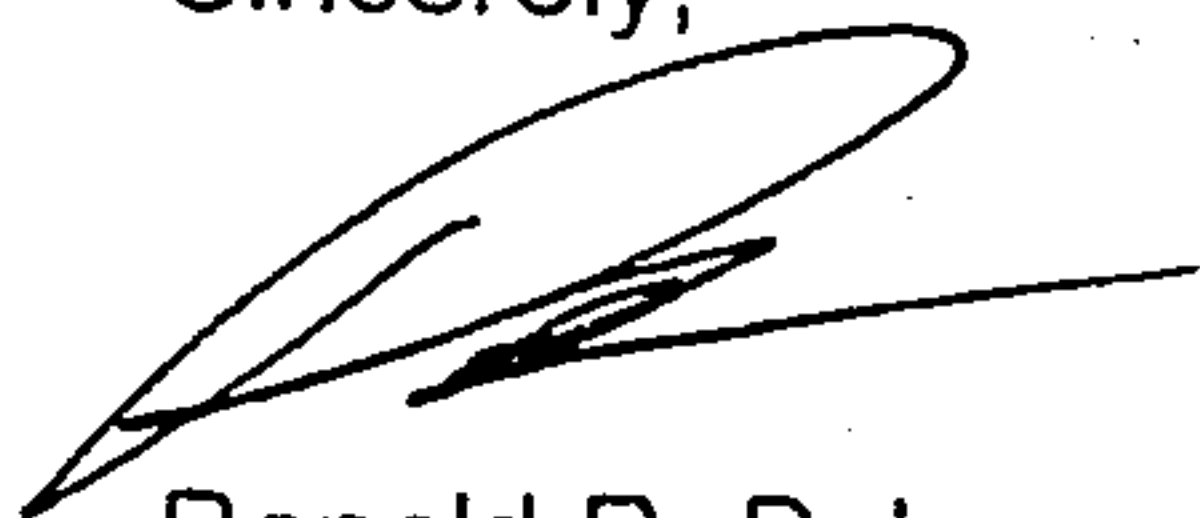
**RE: One Year Extension of
Subdivision Improvements Agreement
Fraternal Order of Police
Project # 1004801**

Dear Mr. Cloud:

Tierra West LLC on behalf of the Fraternal Order of Police Albuquerque Lodge #1, requests approval of a one year extension to the Subdivision Improvements Agreement for the above-referenced project. The project was split into two separate work orders, both of which required financial guarantees. Construction on the first work order is complete and the close out package has been submitted to the City and our office is currently working on comments on that package. Construction on the second work order is not yet complete.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Rick Leverick
Harry Tipton

JN: 25016
RRB/kdk

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1004801 AGENDA# 2 DATE: 12/3/08

1. Name: _____ Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

December 3, 2008

Project# 1004801

08DRB-70468 MAJOR - 1YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS
(1YR SIA)

TERRA WEST LLC agent(s) for THE FRATERNAL ORDER OF POLICE/
ALBUQUERQUE LODGE 1 request(s) the referenced/ above action(s) for all or a
portion of Lot(s) 1-A,1-B,2-A & 2-B, **FRATERNAL ORDER OF POLICE
ADDITION**, zoned IP, located on the east side of JEFFERSON ST NE AND the north
side of the BEAR ARROYO containing approximately 9.6711 acre(s). (E-17)

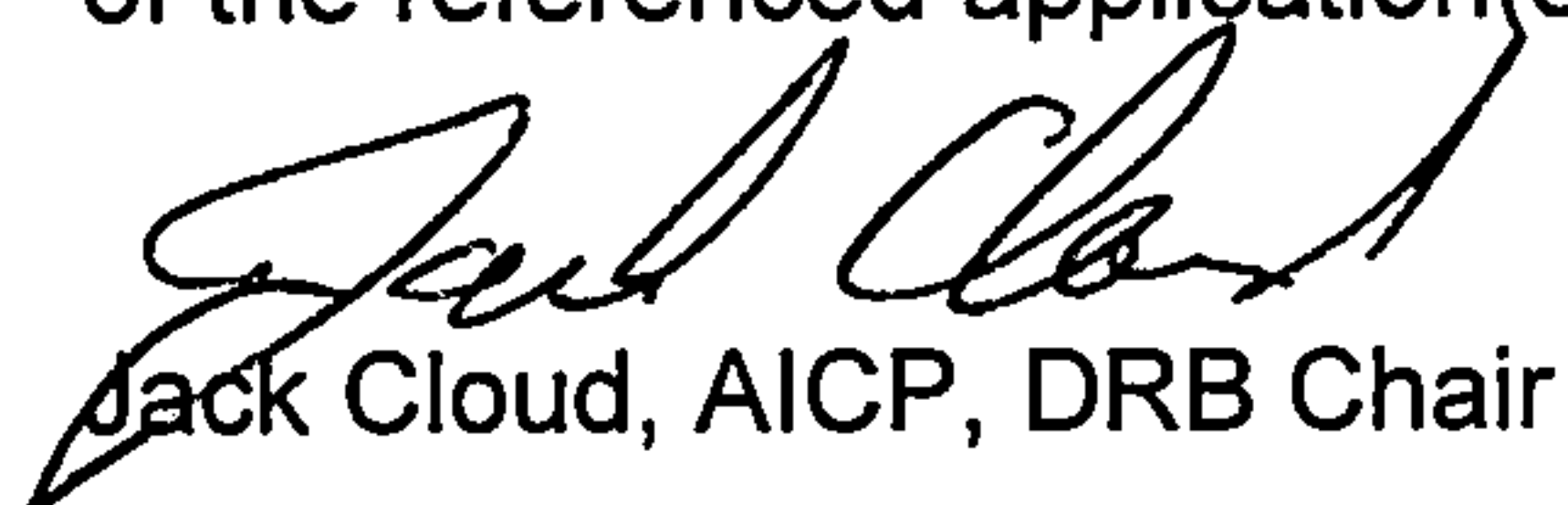
At the December 3, 2008 Development Review Board meeting, the one year extension
of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by December 18, 2008 in the manner
described below.

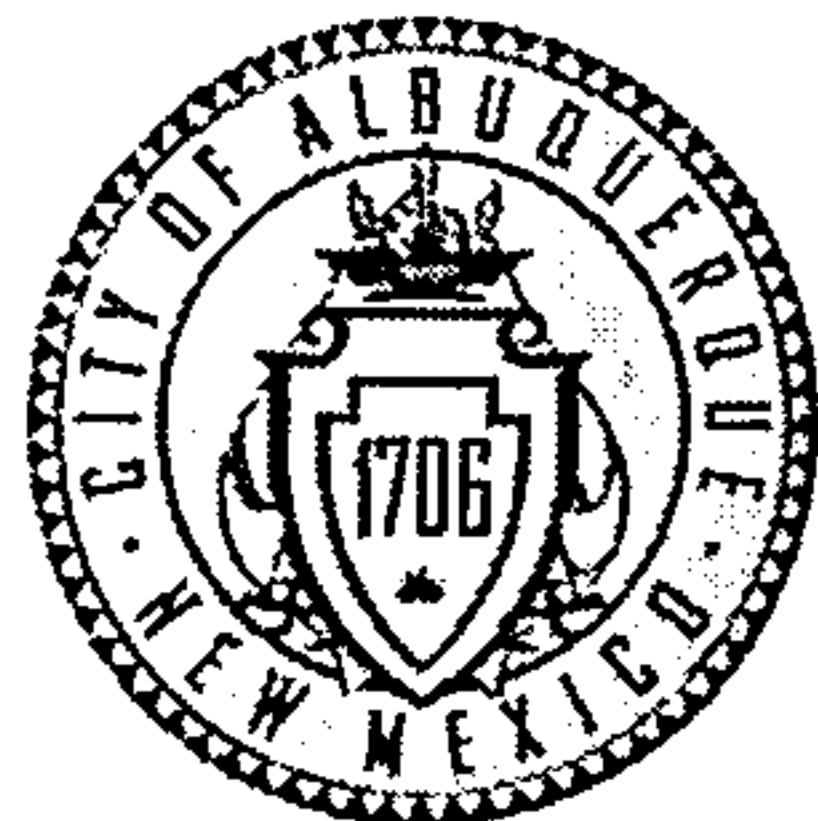
Appeal is to the Land Use Hearing Officer. Any person aggrieved with any
determination of the Development Review Board may file an appeal on the
Planning Department form, to the Planning Department, within 15 days of the
Development Review Board's decision. The date the determination in question is
issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System
Ordinance, the next working day is considered as the deadline for filing the appeal. Such
appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are
reminded that other requirements of the City must be complied with, even after approval
of the referenced application(s).


Jack Cloud, AICP, DRB Chair

Cc: Tierra West – 5571 Midway Park Place NE – Albuquerque, NM 87109
Cc: Fraternal Order Of Police Albuquerque Lodge 1 – 5900 Jefferson ST NE –
Albuquerque, NM 87109
Marilyn Maldonado
File



DEVELOPMENT REVIEW BOARD
Action Sheet

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

December 3, 2008 9:00 AM

MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department

Angela Gomez, Administrative Assistant

Kristal Metro, P.E. , Transportation Development
Brad Bingham, P.E., Hydrology/ Alternate City Engineer

Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA
Christina Sandoval, Parks/Municipal Development

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1001939**
08DRB-70478 VACATION OF PUBLIC EASEMENT
BOHANNAN HUSTON INC agent(s) for JD HOME BUILDER INC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 5, **CIELO OESTE SUBDIVISION**, zoned R-D, located on the north side of CASA FLORIDA PL NW BETWEEN CASA VISTOSA CT NW AND CASA LINDA CT NW containing approximately .12 acre. (H-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**

2. **~~Project# 1004801~~**
08DRB-70468 MAJOR - 2YR SUBD IMP AGMT EXT (2YR SIA)
TERRA WEST LLC agent(s) for FRATERNAL ORDER OF POLICE ALBUQUERQUE LODGE request(s) the above action(s) for all or a portion of Lot(s) 1-A,1-B,2-A & 2-B, **FRATERNAL ORDER OF POLICE ADDITION** zoned IP, located on NE CORNER JEFFERSON ST NE AND BEAR ARROYO containing approximately 9.73 acre(s). (E-17) **THE ONE YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

December 3, 2008

Project# 1004801

08DRB-70468 MAJOR - 1 YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS (1YR SIA)

TERRA WEST LLC agent(s) for THE FRATERNAL ORDER OF POLICE/ ALBUQUERQUE LODGE 1 request(s) the referenced/ above action(s) for all or a portion of Lot(s) 1-A,1-B,2-A & 2-B, **FRATERNAL ORDER OF POLICE ADDITION**, zoned IP, located on the east side of JEFFERSON ST NE AND the north side of the BEAR ARROYO containing approximately 9.6711 acre(s). (E-17)

AMAFCA

Fraternal Fraternal Order of Police Addition, Jefferson/Osuna, (E-17)

No objection to requested action. AMAFCA has a license with the owner for storm drain work in the Bear Canyon Arroyo. The work has been completed. AMAFCA is awaiting final as-built plans.

COG

MPO Project ID # 592.2 "Jefferson St Bike Lanes" has been identified in the 2030 MTP to construct bike lanes on Jefferson St. The lead agency for this project is City of Albuquerque DMD. Coordination with this agency is recommended to insure development consistent with this planned project. Since this project is scheduled for funding some time beyond the 2013 TIP, there is no programming information available.

For information purposes, Jefferson St has a functional classification of urban minor arterial.

TRANSIT

No comment.

ZONING ENFORCEMENT

No comment.

NEIGHBORHOOD COORDINATION

No comment.

APS

Fraternal Order of Police Addition, Lots 1-A, 1-B, 2-A, and 2-B, is located on Jefferson St NE and the north side of the Bear Canyon Arroyo. The owner of the above property requests a 1 Year Extension of Subdivision Improvements for a development that will consist of a Fraternal Order of Police Albuquerque Lodge #1. This will have no adverse impacts to the APS district.

POLICE DEPARTMENT

No comment.

FIRE DEPARTMENT

No comment.

PNM ELECTRIC & GAS

No comment.

COMCAST

No comment.

QWEST

No comment.

ENVIRONMENTAL HEALTH No comment.
M.R.G.C.D No Adverse Comments.
OPEN SPACE DIVISION Open Space has no adverse comments
CITY ENGINEER The Hydrology section has no objection to the extension request.
TRANSPORTATION DEVELOPMENT Clarify what has not yet been constructed.
PARKS AND RECREATION No objection.
ABCWUA No objection to Extension request. Be advised that the existing private sanitary sewer line along the south P/L must be converted to a public line in accordance with the Availability Statement dated September 15, 2008. This item was not included on the approved Infrastructure List.
PLANNING DEPARTMENT Refer to comments from affected agencies regarding proposed extension.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc:



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

February 28, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 9:50 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. Project # 1003790

07DRB-00118 Major-One Year SIA

BOHANNAN HUSTON INC agent(s) for HEALTHCARE SERVICE CORPORATION request(s) the above action(s) for all or a portion of Tract(s) A, B & C, **NORTH GATEWAY**, zoned IP, located on NORTH I-25 between BALLOON FIESTA PARKWAY NE and SAN MATEO DR NE containing approximately 38 acre(s). [REF: 05DRB-00165] (B-18) **A 1-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1004075**
06DRB-01537 Major-Vacation of Pub
Right-of-Way
06DRB-01539 Minor-Vacation of Private
Easements

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, 4B, 4C and 1 through 15, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25 SW, between BROADWAY BLVD SW and LOS PICAROS RD SW containing approximately 2,294 acre(s). [REF: 06DRB-00744] [Deferred from 11/15/06, 12/13/06, 1/3/07, 1/17/07, 2/7/07 & 2/28/07]. (R-16, Q-16, R-15, R-17, S-14, S-16, S-17, T-16) **DEFERRED AT THE AGENT'S REQUEST TO 3/21/07.**

3. **Project # 1005346**
07DRB-00084 Major-Bulk Land Variance
07DRB-00085 Major-Vacation of Public
Easements
07DRB-00086 Minor-Prelim & Final Plat
Approval

CONSENSUS PLANNING INC agent(s) for ALBUQUERQUE 50 LLC request(s) the above action(s) for all or a portion of Tract(s) D-2, **AEROSPACE TECHNOLOGY PARK** and Tract(s) D & S, **DOUBLE EAGLE AIRPORT AND ADJACENT LANDS**, zoned SU-1 FOR AIRPORT & RELATED FACILITIES, located on PASEO DEL VOLCAN NW, between 1-40 and the CITY OF RIO RANCHO containing approximately 50 acre(s). [REF: 04DRB01505, 04DRB01506] [Deferred from 2/21/07 & 3/7/07] (F-6) **DEFERRED AT THE AGENT'S REQUEST TO 3/07/07.**

4. **Project # 1000614**
06DRB-01670 Major-Vacation of Pub
Right-of-Way

TIERRA WEST LLC agent(s) for LA CUEVA OESTE HOMEOWNER'S ASSOCIATION request(s) the above action(s) for **LA CUEVA OESTE UNIT 4**, zoned R-D residential and related uses zone, developing area, located on HOLLY AVE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 1 acre(s). [REF: 05DRB-00982] [Deferred from 1/3/07 & 2/21/07] (C-18) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH THE FOLLOWING CONDITIONS: HOMEOWNER'S ASSOCIATION SHALL PURCHASE THE VACATED RIGHT-OF-WAY, AN INFRASTRUCTURE LIST IS REQUIRED UPON REPLAT, A PEDESTRIAN ACCESS IS REQUIRED, MUST CREATE A 25-FOOT WATER AND SEWER EASEMENT FOR EXISTING LINES.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1001523**
07DRB-00208 Minor-Amnd SiteDev Plan Subd
07DRB-00207 Minor-Prelim&Final Plat Approval
- MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or a portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1 FOR LIGHT INDUSTRIAL USES, located on UNSER BLVD NW, between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] [*Deferred from 2/28/07*] (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 3/14/07.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

6. ~~Project # 1004801~~
06DRB-01747 Minor- Final Plat Approval
- TIERRA WEST LLC agent(s) for FRATERNAL ORDER OF POLICE, ALBUQUERQUE LODGE 1 request(s) the above action(s) for all or a portion of Tract(s) 1 & 2, **FRATERNAL ORDER OF POLICE ADDITION**, zoned IP, located on JEFFERSON ST NE, between the BEAR ARROYO and **OSUNA NE** containing approximately 10 acre(s). [REF: 06EPC-01443, 06EPC-01441] [*Final Plat was indeferred for the SIA 1/3/07*] (E-17) **FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR EASEMENT LANGUAGE AND PLANNING TO RECORD.**
7. **Project # 1004228**
07DRB-00199 Minor-Amnd Prelim Plat Approval
- THE DESIGN GROUP agent(s) for HEADSTART ENTERPRISES, JAMES GUTHRIE request(s) the above action(s) for Lot(s) 11-17 and Tract(s) 89-A-2, 89-B-2, 89-B-3, 89-C-3, 89-C-4, **SUNRISE HEIGHTS SUBDIVISION**, zoned M-1, located on MONTANO RD NE, between EDITH BLVD NE and PAN AMERICAN FREEWAY NE (I-25) containing approximately 5 acre(s). [REF: 05DRB-00888, 05DRB-01394, 05DRB-01765, 06DRB-00937, 06DRB-01618] (F-15) **THE AMENDED PRELIMINARY PLAT**

WAS APPROVED WITH THE FOLLOWING CONDITION:
TWO WATER LINE EASEMENTS NEED TO BE
GRANTED TO THE CITY OF ALBUQUERQUE. THIS
AMENDMENT DOES NOT EXTEND THE EXPIRATION
DATE OF THE ALREADY APPROVED PRELIMINARY
PLAT.

8. **Project # 1005137**
07DRB-00205 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for FRANK
VENAGLIA request(s) the above action(s) for all or a
portion of Lot(s) 13-24 with vacated portion of Park Ave
SW, Block(s) 21, **NEW MEXICO TOWN COMPANY'S
ORIGINAL TOWNSITE**, zoned SU-3 SPECIAL CENTER
ZONE, located on GOLD ST SW, between 7TH ST SW and
8TH ST SW containing approximately 1 acre(s). [REF:
06DRB-01534] [*Indef deferred from 2/28/07*] (K-14)
**INDEFINITELY DEFERRED AT THE AGENT'S
REQUEST.**

9. **Project # 1005390**
07DRB-00206 Minor-Prelim&Final Plat
Approval

BORDENAVE DESIGNS agent(s) for TIMOTHY OTT
request(s) the above action(s) for all or a portion of Lot(s)
9, 10 & 12, **NZ OFFICE COMMERCIAL CENTER**, zoned
IP industrial park zone, located on RANDOLPH RD SE,
between YALE BLVD SE and UNIVERSITY BLVD SE
containing approximately 4 acre(s). [*Deferred from 2/28/07*]
(M-15) **DEFERRED AT THE AGENT'S REQUEST TO
3/07/07.**

10. **Project # 1003010**
06DRB-01290 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS INC agent(s) for THE ALBUQUERQUE LITTLE THEATRE INC request(s) the above action(s) for all or a portion of Tract(s) B (to be known as **TRACTS B-1 & B-2, LANDS OF ALBUQUERQUE LITTLE THEATRE**, zoned SU-1 & SU-2 for Albuquerque Little Theatre, located on SAN PASQUALE AVE SW, between CENTRAL AVE SW and CHACOMA PL SW containing approximately 3 acre(s). [REF: 04DRB-01687] [*Deferred from 9/13/06 & indef deferred on 9/27/06*] (J-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO UTILITIES DEVELOPMENT FOR A WATER AND SEWER EASEMENT IS REQUIRED ON THE NORTH EDGE OF TRACT B-1, ON THE PROPOSED 28-FOOT PRIVATE ACCESS EASEMENT AND ADD LANGUAGE FOR A PUBLIC WATER AND SEWER EASEMENT AND TRANSPORTATION DEVELOPMENT FOR REQUIRED PARKING AND SIDEWALK DEDICATION OR EASEMENT.**

11. **Project # 1004254**
06DRB-01569 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for CHARLES JAEGER request(s) the above action(s) for all or a portion of Lot(s) A-1, **ALVARADO GARDENS, UNIT 3**, zoned R-2 residential zone, located on VERANDA RD NW, between RIO GRANDE BLVD NW and GLENWOOD DR NW containing approximately 1 acre(s). [REF: 05DRB-00964] [*Indef deferred 11/8/06*] [*Deferred from 2/21/07*] (G-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/28/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/15/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION: AN APPLICATION NEEDS TO BE MADE FOR THE VACATION SHOWN ON THE PRELIMINARY PLAT PRIOR TO APPROVAL OF THE FINAL PLAT. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK . . .

12. Approval of the Development Review Board Minutes for February 21, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR 2/21/07 WERE APPROVED BY THE BOARD.**

ADJOURNED: 9:50 A.M.



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

Completed
3-1-07
[Signature]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **06DRB-01747 (P&F)**

Project # **1004801**

Project Name: **FRATERNAL ORDER OF POLICE ADDITION**

Agent: **Tierra West LLC**

Phone No: **858-3100**

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 2/28/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Measurement Language

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): Record



Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

OK

Project Number 1004801



DRB CASE ACTION LOG (PREL & FINAL)

REV 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-01747 (P&F)

Project # 1004801

Project Name: FRATERNAL ORDER OF POLICE ADDITION

Agent: Tierra West LLC

Phone No: 858-3100

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 2/28/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: Measurement language
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): Record
- _____
- _____
- _____

Project Number 1004801



Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
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- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
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- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

OK

**CITY OF ALUBQUERQUE
PLANNING DEPARTMENT
February 28, 2007
DRB Comments**

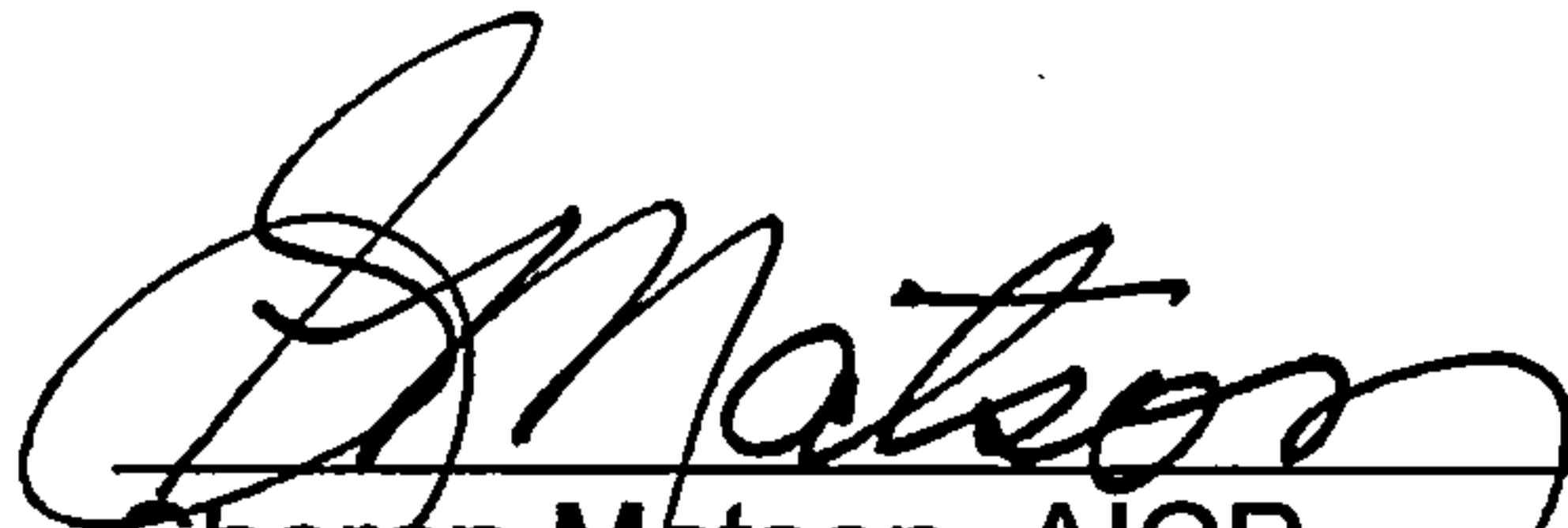
ITEM # 6

PROJECT # 1004801

APPLICATION # 06DRB-01747

RE: Tracts 1 & 2, FOP/final plat

Planning will take delegation to record the plat.



Sheran Matson, AICP

DRB Chair

924-3880 fax 924 3864

smatson@cabq.gov

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
February 28, 2007
DRB Comments**


ITEM # 6

PROJECT # 1004801

APPLICATION # 06DRB-01747

RE: Tracts 1 & 2, FOP/final plat

Planning will take delegation to record the plat.



Sheran Matson, AICP

DRB Chair

924-3880 fax 924 3864

smatson@cabq.gov

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004801

AGENDA ITEM NO: 6

SUBJECT:

Final Plat

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: FEBRUARY 28, 2007



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

January 3, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

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NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:20 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1000614**
06DRB-01670 Major-Vacation of Pub
Right-of-Way

TIERRA WEST LLC agent(s) for LA CUEVA OESTE HOMEOWNER'S ASSOCIATION request(s) the above action(s) for **LA CUEVA OESTE UNIT 4**, zoned R-D residential and related uses zone, developing area, located on HOLLY AVE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 1 acre(s). [REF: 05DRB-00982] [Deferred from 1/3/07] (C-18)
DEFERRED AT THE AGENT'S REQUEST TO 1/31/07.

2. **Project # 1000572**
06DRB-01714 Major – Bulk Land Variance
Approval
06DRB-01715 Minor-Prelim&Final Plat
Approval

ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES, request(s) the above action(s) for Lot(s) 1B, 2, 3, 5A, 6, 7 & 8, THE LENKURT PROPERTIES (to be known as **TRACTS A & B, THE PRESIDIO**), zoned SU-1 FOR PRD, located on CHICO RD NE, between EUBANK BLVD NE and MORRIS ST NE containing approximately 43 acre(s). [REF: 06DRB-01193, 06DRB-01038, 06DRB-01040, 06DRB-01041, 06DRB-01535, 06DRB-01538] (K-21) **THE BULK LAND VARIANCE WAS APPROVED. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

06DRB-01783 Minor-Amnd SiteDev Plan
Subd/EPC

CONSENSUS PLANNING agent(s) for CENTEX HOMES, T WATERMAN request(s) the above action(s) for LOTS 1B, 2, 3, & 6, LENKURT PROPERTIES, (to be known as **THE PRESIDIO**) zoned SU-1 FOR PRD & 1P, located on CHICO RD NE, between EUBANK BLVD NE and MORRIS ST NE containing approximately 3 acre(s). [REF: 06DRB-01715] [Catalina Lehner, EPC Case Planner] (K-21) **THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES.**

06DRB-01778 Minor-Amnd Prelim Plat
Approval
06DRB-01779 Minor-Sidewalk Waiver
06DRB-01781 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for LOTS 1B, 2, 3, 5A, 6, 7 & 8, THE LENKURT PROPERTIES, (to be known as bulk land plat of **TRACTS A & B, THE PRESIDIO**) zoned SU-1 FOR PRD, located on CHICO RD NE, between EUBANK BLVD NE and MORRIS ST NE containing approximately 24 acre(s). [REF: 06DRB-01714, 06DRB-01715] (K-21) **THE AMENDED PRELIMINARY PLAT WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT. THE AMENDED INFRASTRUCTURE LIST DATED 1/3/07 AND THE AMENDED GRADING PLAN ENGINEER STAMP DATED 11/13/06 WAS APPROVED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

3. **Project # 1003469**
06DRB-01668 Major-Vacation of Public
Easements

TERRAMETRICS OF NEW MEXICO agent(s) for
JEFFREY A. & LORRI M. ZUMWALT request(s) the above
action(s) for all or a portion of Lot(s) 7-A1 P1, **OAKLAND
HEIGHTS**, zoned RD (3DU/AC) located on OAK RIDGE
COURT NE, between BARSTOW ST NE and VENTURA
ST NE containing approximately 1 acre(s). [REF: 04DRB-
00891, 06DRB-00882] (C-20) **THE VACATION WAS
APPROVED AS SHOWN ON EXHIBIT B IN THE
PLANNING FILE.**

4. **Project # 1005271**
06DRB-01683 Major-Vacation of Public
Easements

WALDO GRIEGO request(s) the above action(s) for all or a
portion of Lot(s) 31, **WEAKS ADDITION**, zoned R-1,
located on 47TH ST NW, between CENTRAL AVE NW and
GLENDALE AVE NW. (K-12) **THE VACATION WAS
APPROVED AS SHOWN ON EXHIBIT B IN THE
PLANNING FILE.**

5. **Project # 1005273**
06DRB-01692 Major-Vacation of Pub
Right-of-Way

SURVEYS SOUTHWEST LTD agent(s) for MELLOY
BROS ENTERPRISES INC request(s) the above action(s)
for all or a portion of Block(s) 2, **PARIS ADDITION** &
Block(s) 4, **ROMERO ADDITION**, zoned C-2, located on
KINLEY AVE NW, between 5TH ST NW and 4TH ST NW
containing approximately 1 acre(s). [Deferred from 1/3/07]
(J-14) **DEFERRED AT THE AGENT'S REQUEST TO
2/21/07.**

6. **Project # 1005283**
06DRB-01716 Major-Vacation of Public
Easements

PRECISION SURVEYS INC agent(s) for JOURNAL
CENTER CORPORATION request(s) the above action(s)
for all or a portion of Tract(s) 2A-2A-2B-1, **JOURNAL
CENTER**, zoned IP industrial park zone, located on
JEFFERSON ST NE, between HEADLINE BLVD NE and
JOURNAL CENTER BLVD NE containing approximately 7
acre(s). (D-17) **THE VACATION WAS APPROVED AS
SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

7. **Project # 1003673**
06DRB-01660 Major-Vacation of Public
Easements

MOCK ASSOCIATES INC request(s) the above action(s)
for all or a portion of Lot(s) 6P1, **OAKLAND SOUTH
SUBDIVISION, UNIT 3**, zoned R-D residential and related
uses zone, developing area, located on OAKLAND AVE
NE, between VENTURA ST NE and BARSTOW ST NE
containing approximately 1 acre(s). [Deferred from
12/20/06] [REF: 05DRB-01212] [Deferred from 12/20/06]
(C-20) **THE VACATION WAS APPROVED AS SHOWN
ON EXHIBIT B IN THE PLANNING FILE.**

8. **Project # 1002739**
06DRB-01621 Major-Vacation of Public
Easements
06DRB-01622 Major-Vacation of Pub
Right-of-Way
06DRB-01623 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for KB HOME
NEW MEXICO INC request(s) the above action(s) for
ANDERSON HEIGHTS, UNIT 5A, zoned RD/RLT, located
on 118TH ST SW, between DENNIS CHAVES BLVD SW
and COLOBEL AVE SW containing approximately 41
acre(s). [REF: 06DRB-01431] [Deferred from 12/6/06 &
12/13/06 & 12/20/06] [Deferred from 1/3/07] (P-8)
DEFERRED AT THE BOARD'S REQUEST TO 1/10/07.

9. **Project # 1004075**
06DRB-01537 Major-Vacation of Pub
Right-of-Way
06DRB-01539 Major-Vacation of Public
Easements

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, 4B, 4C and 1 through 15, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25 SW, between BROADWAY BLVD SW and LOS PICAROS RD SW containing approximately 2,294 acre(s). [REF: 06DRB-00744] [Deferred from 11/15/06 & 12/13/06 & 1/3/07]. (R-16, Q-16, R-15, R-17, S-14, S-16, S-17, T-16) **DEFERRED AT THE AGENT'S REQUEST TO 1/17/07.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

10. ~~Project # 1004801~~
06DRB-01748 Minor-SiteDev Plan
Subd/EPC
06DRB-01747 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for FRATERNAL ORDER OF POLICE, ALBUQUERQUE LODGE 1 request(s) the above action(s) for all or a portion of Tract(s) 1 & 2, **FRATERNAL ORDER OF POLICE ADDITION**, zoned IP, located on JEFFERSON ST NE, between the BEAR ARROYO and OSUNA NE containing approximately 10 acre(s). [REF: 06EPC-01443, 06EPC-01441] [Deferred from 12/20/06] [Stephanie Shumsky, EPC Case Planner] (E-17) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PARKING CALCS AND PLANNING FOR 3 COPIES. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/3/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLATS

11. **Project # 1004354**
06DRB-01426 Minor- Final Plat Approval

TIERRA WEST LLC agent(s) for MONAHITI LLC request(s) the above action(s) for all or a portion of Lot(s) 22-26, Block(s) 9, **ORIGINAL TOWNSITE OF WESTLAND**, zoned SU-2 for C-2, IP uses, located on 98TH ST NW, between CENTRAL AVE NW and VOLCANO RD NW containing approximately 2 acre(s). [REF: 05DRB-01229, 05EPC-01234] [Final Plat Indef Deferred on 10/11/06 for SIA & deferred on 1/3/07 for agreement] (K-9) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

12. **Project # 1005228**
06DRB-01767 Minor-Prelim&Final Plat Approval

EDWIN G CHAVEZ agent(s) for MARIA F. T. LOPEZ & MARY FRANCIS MCDONALD request(s) the above action(s) for TRACTS 34-A, 34-B, 34-C & 34-D (to be known as **LANDS OF FRANCES AND THERESA**) zoned RA-2, located on SAN ISIDRO DR NW, between CANDELARIA RD NW and DON JUAN CT NW containing approximately 1 acre(s). (G-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO CHECK FOR OPENING OF 2 NEW ACCOUNTS AND CONSTRUCTION OF 2 ADDITIONAL WATER/SEWER SERVICE CONNECTIONS AND PLANNING FOR AGIS DXF FILE AND TO RECORD.**

13. **Project # 1003778**
06DRB-01744 Minor-Final Plat Approval

SHAKEEL RIZVI agent(s) for CLEARBROOK INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 21 & 22, Block(s) 2, **SHAHEEN NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). [Deferred from 12/20/06] (C-19) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

14. Project # 1005189
06DRB-01772 Minor-Pre & Final Plat
Approval

SURVEYS SOUTHWEST, LTD agent(s) for GERARD SULLIVAN request(s) the above action(s) for all or a portion of Lot(s) 1-10, Block(s) 45, **PEREA ADDITION**, zoned SU-1/SU-2 FOR 0-1 FOR FOUND HOUSE AND RELIGIOUS ACT, located on MOUNTAIN RD NW, between 14TH ST NW and 13TH ST NW containing approximately 1 acre(s). [REF: Z-89-100] (J-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR EPC CONDITION ON SITE PLAN.**

15. Project # 1005247
06DRB-01605 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for GILBERT LOVATO, K-RAM INC request(s) the above action(s) for all or a portion of Lot(s) 30, Block(s) 10, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-1 & M-1, located on OAKLAND AVE NE, between SAN MATEO BLVD NE and EAGLE AVE NE containing approximately 1 acre(s). [*Indef deferred from 11/15/06 & Indef deferred 1/3/07*] (C-18) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

16. Project # 1003257
06DRB-01720 Minor-Subd Design (DPM)
Variance

MARK GOODWIN & ASSOCIATES, PA agent(s) for SALTILLO, LLC request(s) the above action(s) for **SALTILLO, UNIT 2**, zoned R-1, located on BLACK ARROYO RD NW, between MCMAHON BLVD NW and CALABACILLAS ARROYO containing approximately 172 acre(s). [*Deferred from 12/20/06*] (A-10) **A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. **Project # 1003094**
06DRB-01787 Minor-Sketch Plat or Plan

TREVESTON ELLIOTT WORKSHOP ARCHITECTS agent(s) for S G PROPERTIES, ROMERO-ROSE request(s) the above action(s) for all or a portion of Lot(s) 1-24, Block(s) 30, **NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE**, zoned SU-3 special center zone, located on 2ND ST SW, between SILVER AVE SW and LEAD AVE SW containing approximately 2 acre(s). [REF: 03DRB-01997] (L-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1005185**
06DRB-01786 Minor-Sketch Plat or Plan

HARRIS SURVEYING INC agent(s) for W INVESTMENTS request(s) the above action(s) for PARCEL 2-A-1, LAND OF EDMUND I RADY (to be known as **CIELO VISTA**) zoned C-2 community commercial zone, located on MONTGOMERY BLVD NE, between TRAMWAY BLVD NE and BERMUDA RD NE containing approximately 3 acre(s). (F-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1005312**
06DRB-01771 Minor-Sketch Plat or Plan

PATRICK SERDO request(s) the above action(s) for all or a portion of Lot(s) 1, Block(s) 54, **FOUR HILLS 17TH INSTALLMENT**, zoned R-1, located on WAGON TRAIN DR SE, between CASTELLANO SE and CATRON SE containing approximately 1 acre(s). [Deferred from 1/3/07] (M-23) **DEFERRED AT THE AGENT'S REQUEST TO 1/10/07.**

20. **Project # 1005302**
06DRB-01742 Minor-Sketch Plat or Plan

SURVEYS SOUTHWEST LTD agent(s) for WILLIAM W DORN SR. request(s) the above action(s) for all or a portion of Lot(s) 7, Block(s) 26, **EASTERN ADDITION**, zoned SU-2 LCR, located on LEWIS AVE SE, between EDITH ST SE and WALTER ST SE containing approximately 1 acre(s). *[Deferred from 12/20/06]* (L-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project # 1005236**
06DRB-01690 Minor-Sketch Plat or Plan

NANCI STAHLMAN request(s) the above action(s) for Lot(s) H & I OF PLAT TRACT A-D & F-K and Lot(s) 5-A, 6-A, 19-A & 20-A, **LA CUESTA SUBDIVISION**, zoned RT, located on JUAN TABO BLVD NE, between INTERSTATE 40 FRWY and PAISANO NE containing approximately 3 acre(s). *[Deferred from 12/20/06]* (K-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. Approval of the Development Review Board Minutes for December 20, 2006. **THE DRB MINUTES FOR DECEMBER 20, 2006 WERE APPROVED.**

ADJOURNED: 11:20 A.M.



COMPLETED 01/10/07, STH
DRB CASE ACTION LOG (SITE PLAN SUBD.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-01748 (SPS)

Project # 1004801

Project Name FRATERNAL ORDER OF POLICE ADDITION

Agent: Tierra West LLC

Phone No.: 858-3100

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 1/3/07 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Parking CMCS ok

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): 3 Copies
J. Shermans initials

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1004801

~~10~~
#10

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004801

AGENDA ITEM NO: 10

SUBJECT:

Final Plat
Preliminary Plat
Site Plan for Subd

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

An approved grading and drainage plan dated 12-12-06 is on file for Preliminary Plat approval.
An executed SIA with Financial Guarantee is required for final plat action.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED X; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: JANUARY 3, 2007



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

December 20, 2006

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 11:00 A.M. Adjourned: 12:55 P.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000965**
06DRB-01658 Major-Two Year SIA
BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) 1, LANDS OF RAY GRAHAM III (to be known as **ANDALUCIA @ LA LUZ**) zoned SU-1 special use zone, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 85 acre(s). (F-11) **A ONE YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1003673**
06DRB-01660 Major-Vacation of Public Easements

MOCK ASSOCIATES INC request(s) the above action(s) for all or a portion of Lot(s) 6P1, **OAKLAND SOUTH SUBDIVISION, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA ST NE and BARSTOW ST NE containing approximately 1 acre(s). [Deferred from 12/20/06] [REF: 05DRB-01212] [Deferred from 12/20/06] (C-20) **DEFERRED AT THE BOARD'S REQUEST TO 1/3/07.**

3. **Project # 1005070**
06DRB-01154 Major-Preliminary Plat Approval
06DRB-01156 Minor-Sidewalk Waiver
06DRB-01155 Minor-Temp Defer SDWK

SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). [Deferred from 9/6/06 & 9/13/06 & 9/27/06 & 10/11/06 & 10/25/06 & 11/29/06 & 12/20/06] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 1/24/07.**

4. **Project # 1005031**
06DRB-01077 Major-Vacation of Public Easements

SURV-TEK agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS, UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018] [Deferred from 8/23/06 & 9/13/06 & 9/27/06 & 10/4/06 & 10/25/06 & 11/29/06 & 12/20/06] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 1/24/07.**

06DRB-01017 Major-Preliminary Plat
Approval
06DRB-01018 Minor-Temp Defer SDWK

SURV TEK & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL , located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). (Listed as Project 1004644 in error) [Deferred from 8/9/06 & 8/23/06 & 9/13/06 & 9/27/06 & 10/4/06 & 10/25/06 & 11/29/06 & 12/20/06] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 1/24/07.**

06DRB-01282 Minor-Subd Design (DPM)
Variance

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018, DRB-01077] *Deferred from 9/13/06 & 9/27/06 & 10/4/06 & 10/25/06 & 11/29/06 & 12/20/06* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 1/24/07.**

5. **Project # 1002739**
06DRB-01621 Major-Vacation of Public
Easements
06DRB-01622 Major-Vacation of Pub
Right-of-Way
06DRB-01623 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for **ANDERSON HEIGHTS, UNIT 5A**, zoned RD/RLT, located on 118TH ST SW, between DENNIS CHAVES BLVD SW and COLOBEL AVE SW containing approximately 41 acre(s). [REF: 06DRB-01431] *Deferred from 12/6/06 & 12/13/06 & 12/20/06* (P-8) **DEFERRED AT THE AGENT'S REQUEST TO 1/3/07.**

06DRB-01635 Minor-Amnd Prelim Plat
Approval
06DRB-01636 Minor-Sidewalk Waiver
06DRB-01637 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for PARCELS 7 & 8A, **ANDERSON HEIGHTS, UNIT 5**, zoned RD, R-LT, located on 118TH ST SW, between DENNIS CHAVEZ BLVD SW and COLOBEL AVE SW containing approximately 69 acre(s). [REF: 05DRB-01832, 05DRB-01834, 05DRB-01835] *Deferred from 11/29/06 & 12/6/06 & 12/13/06* (P-8) **THE AMENDED PRELIMINARY PLAT AND THE AMENDED GRADING PLAN DATED 12/8/06 AND THE AMENDED**

INFRASTRUCTURE LIST DATED 12/20/06 WERE APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARLY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1004801**
06DRB-01748 Minor-SiteDev Plan
Subd/EPC
06DRB-01747 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for FRATERNAL ORDER OF POLICE, ALBUQUERQUE LODGE 1 request(s) the above action(s) for all or a portion of Tract(s) 1 & 2, **FRATERNAL ORDER OF POLICE ADDITION**, zoned IP, located on JEFFERSON ST NE, between the BEAR ARROYO and **OSUNA NE** containing approximately 10 acre(s). [REF: 06EPC-01443, 06EPC-01441] [Deferred from 12/20/06] [Stephanie Shumsky, EPC Case Planner] (E-17) DEFERRED AT THE AGENT'S REQUEST TO 1/3/07.

7. **Project # 1005130**
06DRB-01687 Minor-SiteDev Plan
BldPermit/EPC

JLS ARCHITECTS agent(s) for NEW COVENANT CHURCH OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 7A & 25, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned SU-2 MIXED USE, located on HOLLY AVE NE between WYOMING BLVD NE and LOUISIANA NE containing approximately 3 acre(s). [REF: Z-99-29, DRB-96-19] [Petra Morris, EPC Case Planner] [Deferred from 12/13/06] (C-19) THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR EPC CASE PLANNERS INITIALS AND AND 3 COPIES OF PLAN.

06DRB-01740 Minor-Prelim&Final Plat
Approval

JLS ARCHITECTS agent(s) for NEW COVENANT CHURCH OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 7A & 25, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned SU-2 MIXED USE, located on HOLLY AVE NE between WYOMING BLVD NE and LOUISIANA NE containing approximately 3 acre(s). [REF: Z-99-29, DRB-96-19, 06DRB-01687] (C-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/20/06 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

8. **Project # 1003272**
06DRB-01741 Minor-SiteDev Plan
BldPermit

CHARLIE M OTERO ARCHITECT agent(s) for EXPRESSIONS OF LIFE INC. request(s) the above action(s) for all or a portion of Lot(s) 3-A-2-A, **ALBUQUERQUE WEST, UNIT 2**, zoned SU-1 FOR C-3 USES, located on HIGH ASSETS WAY NW, between EAGLE RANCH and COORS RD NW containing approximately 1 acre(s). (C-13) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT TO ADDRESS COMMENTS AND PLANNING TO ADDRESS COMMENTS AND 3 COPIES OF THE SITE PLAN.**

9. **Project # 1003272**
06DRB-01682 Minor-SiteDev Plan
BldPermit

CLAUDIO VIGIL ARCHITECTS agent(s) for AMERI CONTRACTORS LLC request(s) the above action(s) for all or a portion of Lot(s) 2-A-1-B-2-B-2, **ALBUQUERQUE WEST, UNIT 2**, zoned SU-1 FOR PDA, C-3, R-2, located on HIGH ASSETS WAY NW, between ALL SAINTS RD NW and PASEO DEL NORTE NW containing approximately 1 acre(s). [REF: 06DRB-00941] [*Deferred from 12/13/06*] (C-13) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

10. **Project # 1003257**
06DRB-01720 Minor-Subd Design (DPM)
Variance

MARK GOODWIN & ASSOCIATES, PA agent(s) for SALTILLO, LLC request(s) the above action(s) for **SALTILLO, UNIT 2**, zoned R-1, located on BLACK ARROYO RD NW, between MCMAHON BLVD NW and CALABACILLAS ARROYO containing approximately 172 acre(s). *[Deferred from 12/20/06]* (A-10) **DEFERRED AT THE AGENT'S REQUEST TO 1/3/07.**

11. **Project # 1004228**
06DRB-01723 Minor-Extension of
Preliminary Plat

TERRAMETRICS OF NEW MEXICO agent(s) for HEADSTART ENTERPRISES request(s) the above action(s) for all or a portion of Lot(s) 11-17, SUNRISE HEIGHTS SUBDIVISION and Tract(s) 89-A-2, 89-B-2, 89-B-3, 89-C-3, 89-C-4, M.R.G.C.D. Map 32 (to be known as **GUTHRIE COMMERCE PARK, TRACT A**) zoned M-1 light manufacturing zone, located on MONTANO RD NE, between EDITH BLVD NE and MONTBEL NE containing approximately 5 acre(s). [REF: 05DRB-00888, 05DRB-01394, 05DRB-01765] **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

- 05DRB-01765 Minor- Final Plat
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for HEADSTART ENTERPRISES request(s) the above action(s) for all or a portion of Lot(s) 11-17, SUNRISE HEIGHTS SUBDIVISION and Tract(s) 89-A-2, 89-B-2, 89-B-3, 89-C-3, 89-C-4, M.R.G.C.D. Map 32 (to be known as **GUTHRIE COMMERCE PARK, TRACT A**) zoned M-1 light manufacturing zone, located on MONTANO RD NE, between EDITH BLVD NE and MONTBEL NE containing approximately 5 acre(s). [REF: 05DRB00888, 05DRB01394] *[Deferred from 11/30/05 & Final Plat Indef deferred from 12/7/05 to address comments] [Indef deferred on 12/20/06 for SIA]* (F-15) **FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

12. **Project # 1000418**
06DRB-00349 Minor- Final Plat Approval

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for JJ & J PROPERTIES LLC request(s) the above action(s) for all or a portion of Tract(s) B-1-B-1, **WEST 66 ADDITION**, zoned C-2 community commercial zone, located on CENTRAL AVE NW, between UNSER NW and AIRPORT NW containing approximately 7 acre(s). *[Was Indef deferred on 3/22/06] [Deferred from 9/13/06] [Heard under Project #1004760 no longer valid for this case] [Final Plat was Indef deferred for the SIA]* (K-10) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

13. **Project # 1003778**
06DRB-01744 Minor-Final Plat Approval

SHAKEEL RIZVI agent(s) for CLEARBROOK INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 21 & 22, Block(s) 2, **SHAHEEN NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). *[Deferred from 12/20/06]* (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 1/3/07.**

14. **Project # 1004091**
06DRB-01685 Minor-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for IRVING PARTNERS, LLC request(s) the above action(s) for **UNPLATTED LANDS OF AMALGAMATED PARTNERS**, zoned R-LT, located on IRVING BLVD NW, between RAINBOW RD NW and PASEO DEL OESTE NW containing approximately 12 acre(s). (A-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCA SIGNATURE AND PLANNING FOR NMU INC SIGNATURE, P-1 LOT DESIGNATIONS AND TO RECORD THE PLAT.**

15. **Project # 1005262**
06DRB-01745 Minor-Prelim&Final Plat
Approval

DON E GORMAN agent(s) for MIKE MIDANI request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, Block(s) 7, **DALE BELLAMAH ADDITION**, zoned R-3 residential zone, located on ALVARADO DR NE, between HANNETT NE and ASPEN NE containing approximately 1 acre(s). [REF: 06DRB-01653] (J-18) **PRELIMINARY AND FINAL PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR MAINTENANCE AND BENEFICIARIES AND TO PLANNING TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1005302**
06DRB-01742 Minor-Sketch Plat or Plan

SURVEYS SOUTHWEST LTD agent(s) for WILLIAM W DORN SR. request(s) the above action(s) for all or a portion of Lot(s) 7, Block(s) 26, **EASTERN ADDITION**, zoned SU-2 LCR, located on LEWIS AVE SE, between EDITH ST SE and WALTER ST SE containing approximately 1 acre(s). [Deferred from 12/20/06] (L-14) **DEFERRED AT THE BOARD'S REQUEST TO 1/3/07.**

17. **Project # 1005236**
06DRB-01690 Minor-Sketch Plat or Plan

NANCI STAHLMAN request(s) the above action(s) for Lot(s) H & I OF PLAT TRACT A-D & F-K and Lot(s) 5-A, 6-A, 19-A & 20-A, **LA CUESTA SUBDIVISION**, zoned SU-1, located on JUAN TABO BLVD NE, between INTERSTATE 40 FRWY and PAISANO NE containing approximately 3 acre(s). [Deferred from 12/20/06] (K-22) **DEFERRED AT THE BOARD'S REQUEST TO 1/3/07.**

18. **Project # 1005282**
06DRB-01713 Minor-Sketch Plat or Plan

ANISSA HOGELAND agent(s) for MIKE HOSNI request(s) the above action(s) for all or a portion of Tract(s) A-26-B1, **CACY SUBDIVISION**, zoned SU-1 special use zone, located on COORS BLVD NW, between QUAIL NW and PHEASANT NW containing approximately 2 acre(s). (G-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. Approval of the Development Review Board Minutes for December 13, 2006. **THE DRB MINUTES FOR DECEMBER 13, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 12:55 P.M.

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
December 20, 2006
DRB Comments

*Refer @
ALBU 1/3/07*

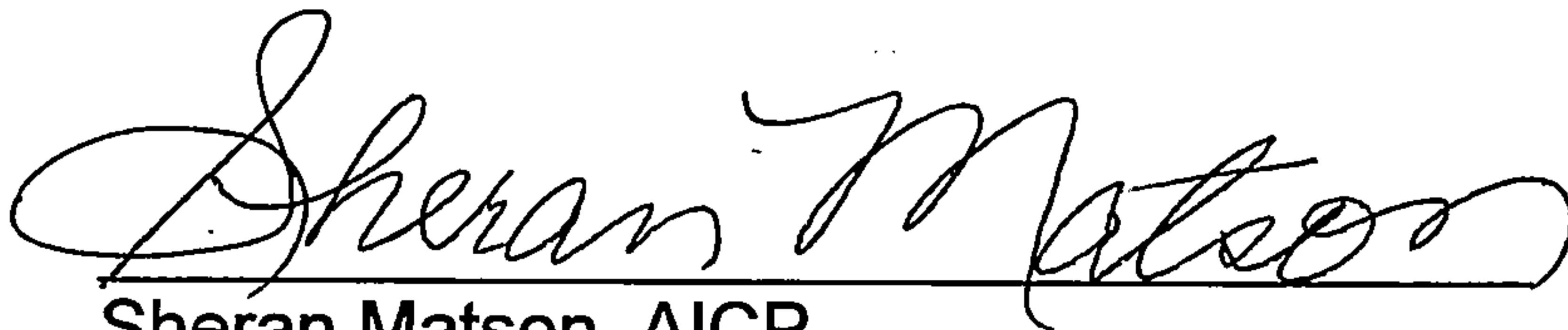
ITEM # 6

PROJECT # 1004801 APPLICATION # 06DRB-01747 & 01748

RE: Tracts 1 & 2, FOP Addition/sps & plat

The plat matches the SPS. The case planner for EPC has commented on the site plan.

Planning will record the plat. AGIS dxf approval is required.



Sheran Matson, AICP
DRB Chair
924-3880 smatson@cabq.gov

December 18, 2006

City of Albuquerque
Planning Department
Inter-Office Memorandum

TO: Sheran Matson, DRB Chair
FROM: Stephanie Shumsky, Planner
SUBJECT: Project # 1004801

On November 16, 2006, the Environmental Planning Commission approved Project # 1004801/06EPC-01441, a site development plan for subdivision, for an approximately 10-acre site located on Jefferson Street NE between the Bear Canyon Arroyo and Osuna Road NE. The EPC also recommended approval of an accompanying zone map amendment from SU-1 for Boys Club to IP (06EPC-01443), which requires replatting of the site as a concurrent DRB action.

The applicant has not satisfied all of the EPC conditions of approval.

- The Maximum F.A.R approved by the EPC is 0.35. On the DRB submittal, the applicant changed it to 0.25. The Maximum F.A.R must be changed back to what the EPC approved. Other minor changes were also made. The only changes to an EPC approved site plan should be in response to the EPC conditions of approval or in response to DRB requirements.
- Condition #5: "Site Signage Note b (3rd asterisk) on the Design Criteria Sheet must be clarified to reflect the accurate number of proposed monument signs."

This note is still not clear. The site plan shows three monument signs (one at each entrance) but the note implies that only 2 are allowed. The note should specify that one monument sign is allowed at each entrance (3 total).

- Condition #6: "The applicant shall provide comprehensive details about the wall design, colors, and/or materials on the site plan."

Details are provided about the wall. However, the proposed screen walls do not comply with the Bear Canyon Arroyo Plan (pgs. 52 and 53). Smooth face CMU is not permitted. The screen wall on the site plan is 3-foot while the detail describes it as 4' to 5'.

The screen wall along Jefferson should be 3' and should be a material identified in the Bear Canyon Arroyo Plan.

The screen wall along the arroyo conflicts with Condition #13d. The intent of Condition #13d is to eliminate the parking along the arroyo, bring the building patios up to the arroyo, and use the arroyo as an asset. Walls and parking areas are discouraged adjacent to the Arroyo and should be eliminated. The arroyo should be viewed as an asset to the development not something to be walled off.

- Condition #8: "The design criteria shall specify the amount of public outdoor space provided per lot. In addition, the specification shall state how the amount provided exceeds Zoning Code requirements."

The Office building is required to provide a minimum of 400 square feet of public outdoor space. The location of this area is not indicated on the site plan.

- Condition #9: "The architectural design theme shall be clarified to include more specific information about the thematic elements, overall colors, materials, development purpose, etc."

The correspondence mentioned in the applicant's letter is not attached to the submittal. It is not clear whether or not this condition is met.

- FYI: Condition #10: "Green building techniques shall be specified in the design criteria."

The Green Building techniques identified on the site plan do not go over and above the Zoning Code Requirements. The proposed development is not "Green".

- #Condition 13d.: "Buildings and parking at lots along the south border of the subject property shall be readjusted so that a patio or similar amenity faces toward the arroyo. This patio may be included in the landscape setback."

With this condition the EPC intended for the applicant to bring the building up to the arroyo, eliminate the parking and walls between the buildings and the arroyo, and utilize the arroyo as an amenity. Patios are required adjacent to the buildings and arroyo in order to increase the usability of the arroyo as a transportation route and as an inviting amenity for the on-site uses.

The buildings need to be adjacent to the landscape setback, the screen walls along the arroyo need to be eliminated, the parking along the arroyo needs to be eliminated and the patios need to be located adjacent to the arroyo AND the buildings.

- Condition #15a.: “Street trees shall be planted between the street curb and the sidewalk. The sidewalk shall be relocated to the edge of parking lot instead of the edge of street.”

The site plan was not modified to allow room for the street trees between Jefferson Street and the sidewalk. In addition, the required 14-foot landscape buffer along Jefferson Street is not provided for. The applicant should contact the City Forester to ensure that adequate space is provided for the Street Tree wells. Parking spaces should be eliminated to allow for ample space for the trees, landscape buffer, and sidewalk. An excess of parking is provided so eliminating spaces will not be a detriment to the functioning of the site.

- Condition #17: “Pedestrian walkways shall be porous pavement and/or patterned concrete.”

The applicant indicated in the letter to the DRB that I somehow waived this EPC condition. I do not recall doing this nor do I have the authority to do so. The alleged correspondence is not attached to the applicant's letter to the DRB. I would like to read this attachment before final sign off by the DRB.

If you should have any questions regarding this case, please do not hesitate to call me at 924-3933.

Thank you.



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004801

AGENDA ITEM NO: 6

SUBJECT:

Final Plat
Preliminary Plat
Site Plan for Subd

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

An approved grading and drainage plan dated 12-12-06 is on file for Preliminary Plat approval.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee**

DATE: DECEMBER 20, 2006



FRONT COUNTER ROUTING FAX FORM

TO: Serra West

FAX NUMBER: _____

SENT BY: Claude DATE: 12/21/06

PROJECT #: _____ APPLICATION # _____

Comments from 12/20/06

December 18, 2006

City of Albuquerque
Planning Department
Inter-Office Memorandum

TO: Sheran Matson, DRB Chair

FROM: Stephanie Shumsky, Planner

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Thank you.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
December 20, 2006
DRB Comments**

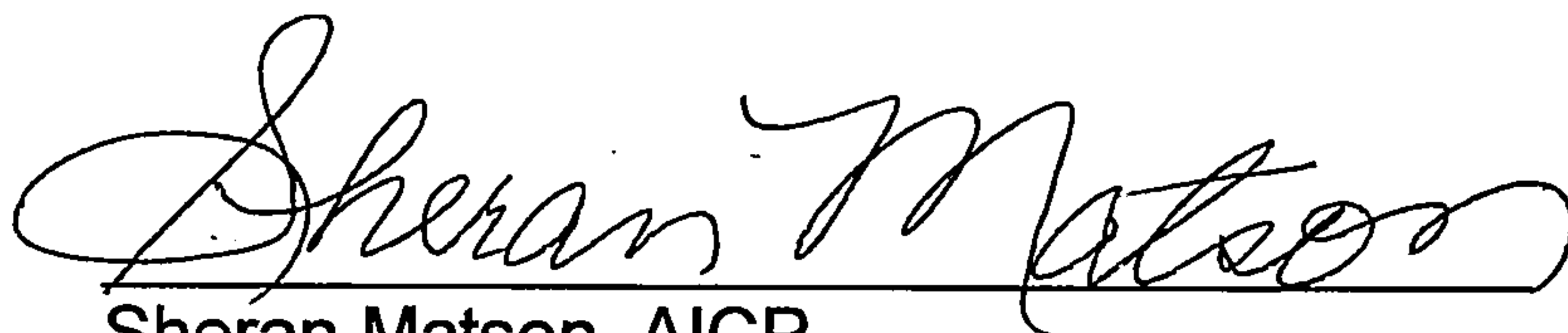
ITEM # 6

PROJECT # 1004801 APPLICATION # 06DRB-01747 & 01748

RE: Tracts 1 & 2, FOP Addition/sps & plat

The plat matches the SPS. The case planner for EPC has commented on the site plan.

Planning will record the plat. AGIS dxf approval is required.

A handwritten signature in cursive script that reads "Sheran Matson". The signature is written in black ink and is positioned above a horizontal line.

Sheran Matson, AICP

DRB Chair

924-3880 smatson@cabq.gov

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004801

AGENDA ITEM NO: 6

SUBJECT:

Final Plat
Preliminary Plat
Site Plan for Subd

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

An approved grading and drainage plan dated 12-12-06 is on file for Preliminary Plat approval.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ¹⁻³⁻⁰⁷ X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: DECEMBER 20, 2006

4801

DXF Electronic Approval Form

DRB Project Case #:

Subdivision Name:

Surveyor:

Contact Person:

Contact Information:

DXF Received:

Hard Copy Received:

Coordinate System:



Approved

Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc **4801** to agiscov on **12/12/2006** Contact person notified on **12/12/2006**

PLANNING TRACKING LOG

Date	Project Name & #	Action Request	Action Taken
4/12/06	Fraternals Order of Palace Proj. 1004801	Sketch	Comments given
12/20/06	Same	Site Plan Subd Prel + Final	

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**April 12, 2006
DRB Comments**

ITEM # 26

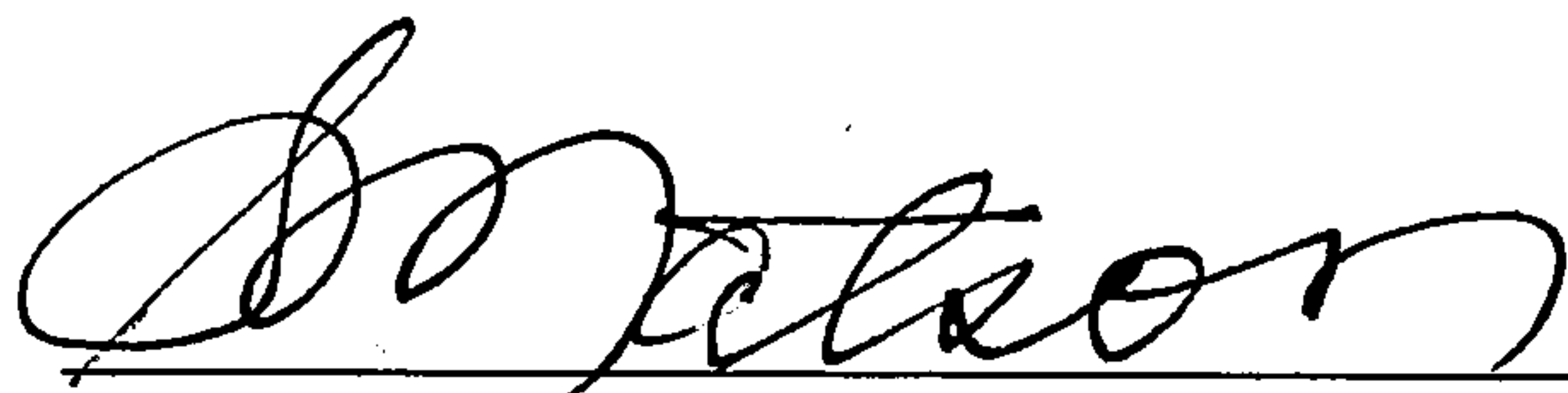
PROJECT # 1004801

APPLICATION # 06-00438

RE: Tracts 1 & 2, FOP/sketch

The SU1 zoning requires EPC approved site plans.

Any perimeter walls abutting the arroyo will require design approval.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov





IMPACT FEES – # 1004801

Development Review Board 4/12/06
Agenda Item # 26
Sketch Plat: Fraternal Order of Police
Tracts 1 & 2

The creation of new commercial buildings in this area will require that Impact Fees be paid at the time a building permit is issued for each building on each lot. Using the footprints of each building given, the use shown and approximating the impervious acreage for each building the estimated impact fees are as follows.

Bank

1. Roadway Facilities for the I-25 corridor area are approximately \$13,236.00
2. Public Safety Facilities for the Eastside are approximately \$300.00
3. Drainage Facilities for the Far NE area are approximately \$15,720.32

Two Story Office

1. Roadway Facilities for the I-25 corridor area are approximately \$205,620.00
2. Public Safety Facilities for the Eastside are approximately \$60,000.00
3. Drainage Facilities for the Far NE area are approximately \$32,053.12

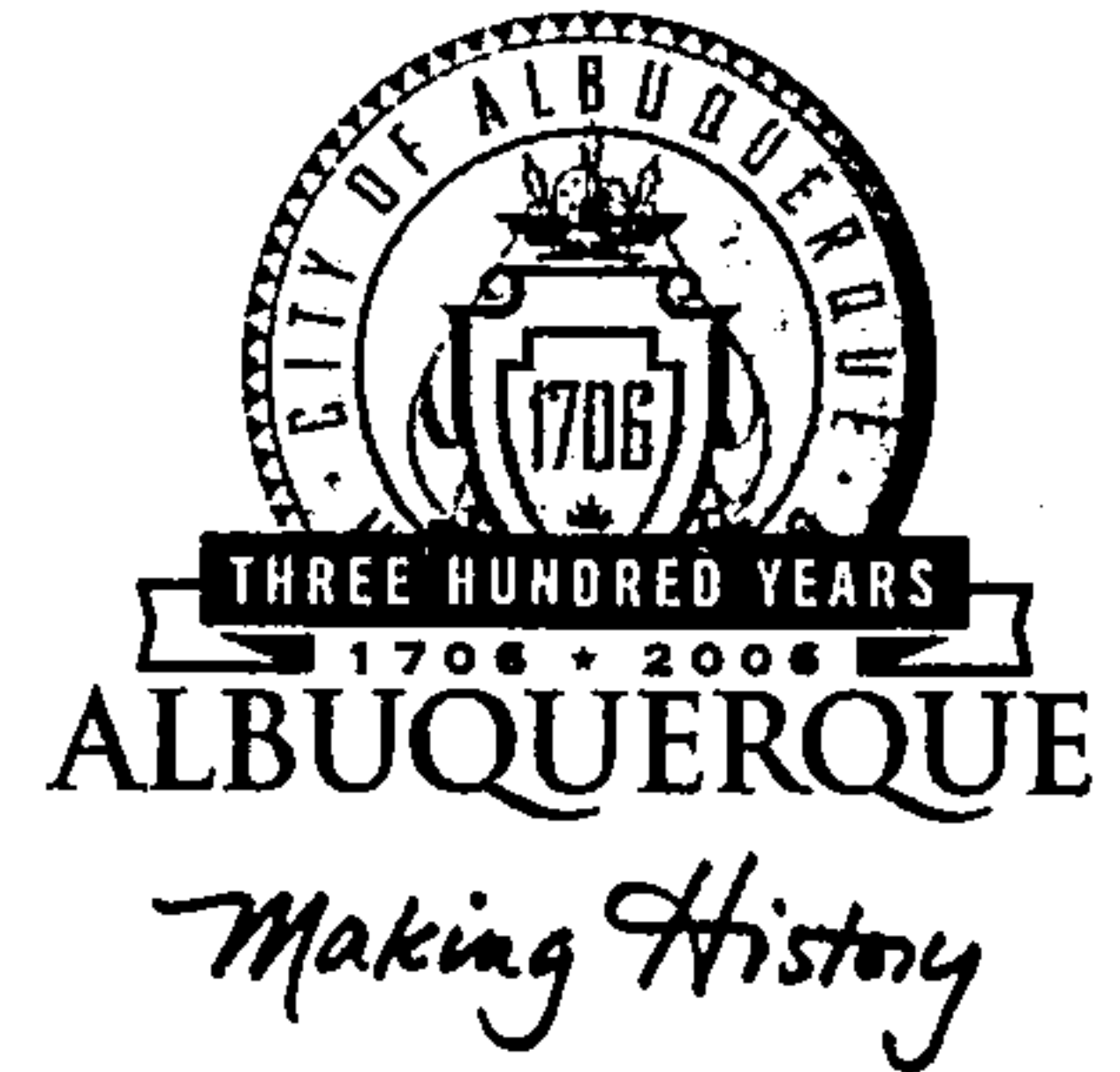
Two Restaurants

1. Roadway Facilities for the I-25 corridor area are approximately \$94,580.00
2. Public Safety Facilities for the Eastside are approximately \$4550.00
3. Drainage Facilities for the Far NE area are approximately \$31,951.04

F.O.P

1. Roadway Facilities for the I-25 corridor area are approximately \$62,680.00
2. Public Safety Facilities for the Eastside are approximately \$2,160.00
3. Drainage Facilities for the Far NE area are approximately \$19,599.36

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004801

AGENDA ITEM NO: 26

SUBJECT:

Sketch Plat/Plan

ACTION REQUESTED:

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

An approved drainage report is required for Preliminary Plat approval.
An approved infrastructure list is required for Preliminary Plat approval.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED X; WITHDRAWN

discussed

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: April 12, 2006

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature							City User Dept. Signature		
Date							Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

<u>Ronald R. Bohannon</u> NAME (print)	<u>Andrew Amic 1/3/07</u> DRB CHAIR - date	<u>Christina Sandoval 1/3/07</u> PARKS & RECREATION - date
<u>Tierra West LLC</u> FIRM	<u>Jeff Sy 1-3-07</u> TRANSPORTATION DEVELOPMENT - date	_____ AMAFCA - date
<u>[Signature]</u> SIGNATURE - date	<u>Roger L. Green 1/3/07</u> UTILITY DEVELOPMENT - date	_____ - date
	<u>Bradley L. Bisher 1/3/07</u> CITY ENGINEER - date	_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER
A	8.5.09	A Woodall	Bradley Bisher	Keith D. Krueger

SIGN POSTING REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property, which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from Nov 18th 2008 To Dec 3, 2008

[Handwritten signature]
KDK

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Heidi D. Krueger, 10/30/08
(Applicant or Agent) (Date)

I issued 1 signs for this application, 10/30/08 Sandy Handley
(Date) (Staff Member)

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

01/15/2010 Issued By: PLNSDH 65804

Permit Number: 2010 070 019

Category Code 910

Application Number: 10DRB-70019, Major - 2yr Subd Imp Agmt Ext (2yr Sia)

Address:

Location Description: JEFFERSON ST NE BETWEEN BEAR ARROYO AND PRESIDENTIAL DR NE

Project Number: 1004801

Applicant

Fraternal Order Of Police Albuquerque Lodge No. 1

6743 Academy Rd Ne Suite A
Albuquerque NM 87111
459-5249

Agent / Contact

Tierra West Llc
Ronald Bohannon
5571 Midway Park Pl Ne
Albuquerque NM 87109

twllc@tierrawestllc.com

Application Fees

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$50.00
TOTAL:		\$145.00

City Of Albuquerque
Treasury Division

1/15/2010 10:14AM LOC: ANNX
WS# 006 TRANSH 0012
RECEIPT# 00114667-00114667
PERMIT# 2010070019 TRSLJS
Trans Amt \$145.00
AFN Fee \$75.00
Conflict Manag. Fee \$20.00
DRB Actions \$50.00
CK \$145.00
CHANGE \$0.00

Thank You



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

February 10, 2010

Project# 1004801

10DRB-70019 MAJOR – 6 MONTH EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR SIA)

TIERRA WEST LLC agent(s) for THE FRATERNAL ORDER OF POLICE/
ALBUQUERQUE LODGE 1 request(s) the referenced/ above action(s) for all or a
portion of Lot(s) 1-A,1-B,2-A & 2-B, **FRATERNAL ORDER OF POLICE
ADDITION**, zoned IP, located on the east side of JEFFERSON ST NE and the north
side of the BEAR ARROYO containing approximately 9.6711 acre(s). (E-17)

At the February 10, 2010 Development Review Board meeting, a six month extension
of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by February 25, 2010 in the manner
described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any
determination of the Development Review Board may file an appeal on the
Planning Department form, to the Planning Department, within 15 days of the
Development Review Board's decision. The date the determination in question is
issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System
Ordinance, the next working day is considered as the deadline for filing the appeal. Such
appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are
reminded that other requirements of the City must be complied with, even after approval
of the referenced application(s).

Richard Dourte, P.E. City Engineer, Acting DRB Chair

Cc: Tierra West LLC – 5571 Midway Park Place NE – Albuquerque, NM 87109

Cc: Fraternal Order of Police Albuquerque Lodge No. 1 – 6743 Academy Rd. NE Ste. A
– Albuquerque, NM 87111

Marilyn Maldonado

File



SUBDIVISION

- ___ Major Subdivision action
- ___ Minor Subdivision action
- ___ Vacation
- ___ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ___ for Subdivision
- ___ for Building Permit
- ___ Administrative Amendment (AA)
- ___ IP Master Development Plan
- ___ Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- ___ Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

- ___ Annexation
- ___ County Submittal
- ___ EPC Submittal
- ___ Zone Map Amendment (Establish or Change Zoning)
- ___ Sector Plan (Phase I, II, III)
- ___ Amendment to Sector, Area, Facility or Comprehensive Plan
- ___ Text Amendment (Zoning Code/Sub Regs)
- ___ Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- ___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Tierra West LLC PHONE: 505-858-3100
 ADDRESS: 5571 Midway Park Place NE FAX: 505-858-1118
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____

APPLICANT: Fraternal Order of Police Albuquerque Lodge No. 1 PHONE: 505-459-5249
 ADDRESS: 6743 Academy Rd. NE, Suite A FAX: _____
 CITY: Albuquerque STATE NM ZIP 87111 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Extension of Subdivision Improvements Agreement

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. X No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots 1-A, 1-B, 2-A and 2-B Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Fraternal Order of Police Addition
 Existing Zoning: IP Proposed zoning: No Change MRGCD Map No _____
 Zone Atlas page(s): E-17 UPC Code: 101706233114840107/101706235713540112
101706232011740105/101706235110240106

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): SP-77-71/Z-76-130
CZ-76-47/ZA-86-116/Z-70-61/06EPC-01441, 01443/06DRB-01747/08DRB-70468/Project # 1004801

CASE INFORMATION:

Within city limits? X Yes Within 1000FT of a landfill? No
 No. of existing lots: 4 No. of proposed lots: 4 Total area of site (acres): 9.73 +/-
 LOCATION OF PROPERTY BY STREETS: On or Near: Jefferson St. NE
 Between: Bear Arroyo and _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 1/15/10
 (Print) Ronald R. Bohannon, P.E. Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>10DRB - 70019</u>	<u>SIA</u>	___	<u>\$ 50.00</u>
<input type="checkbox"/> All fees have been collected	___	<u>ADV</u>	___	<u>\$ 75.00</u>
<input type="checkbox"/> All case #s are assigned	___	<u>CMF</u>	___	<u>\$ 20.00</u>
<input type="checkbox"/> AGIS copy has been sent	___	___	___	\$ _____
<input type="checkbox"/> Case history #s are listed	___	___	___	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	___	___	___	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	___	___	___	Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>February 10, 2010</u>	___	___	<u>\$ 145.00</u>

[Signature] 1-15-10 Project # 1004801
 Planner signature / date

SIGN POSTING REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property, which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from January 26, 2010 To February 10, 2010

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Keeli D. Krueger, 1/15/10
(Applicant or Agent) (Date)

I issued 1 signs for this application, 1-15-10, [Signature]
(Date) (Staff Member)

SIGN POSTING REQUIREMENTS

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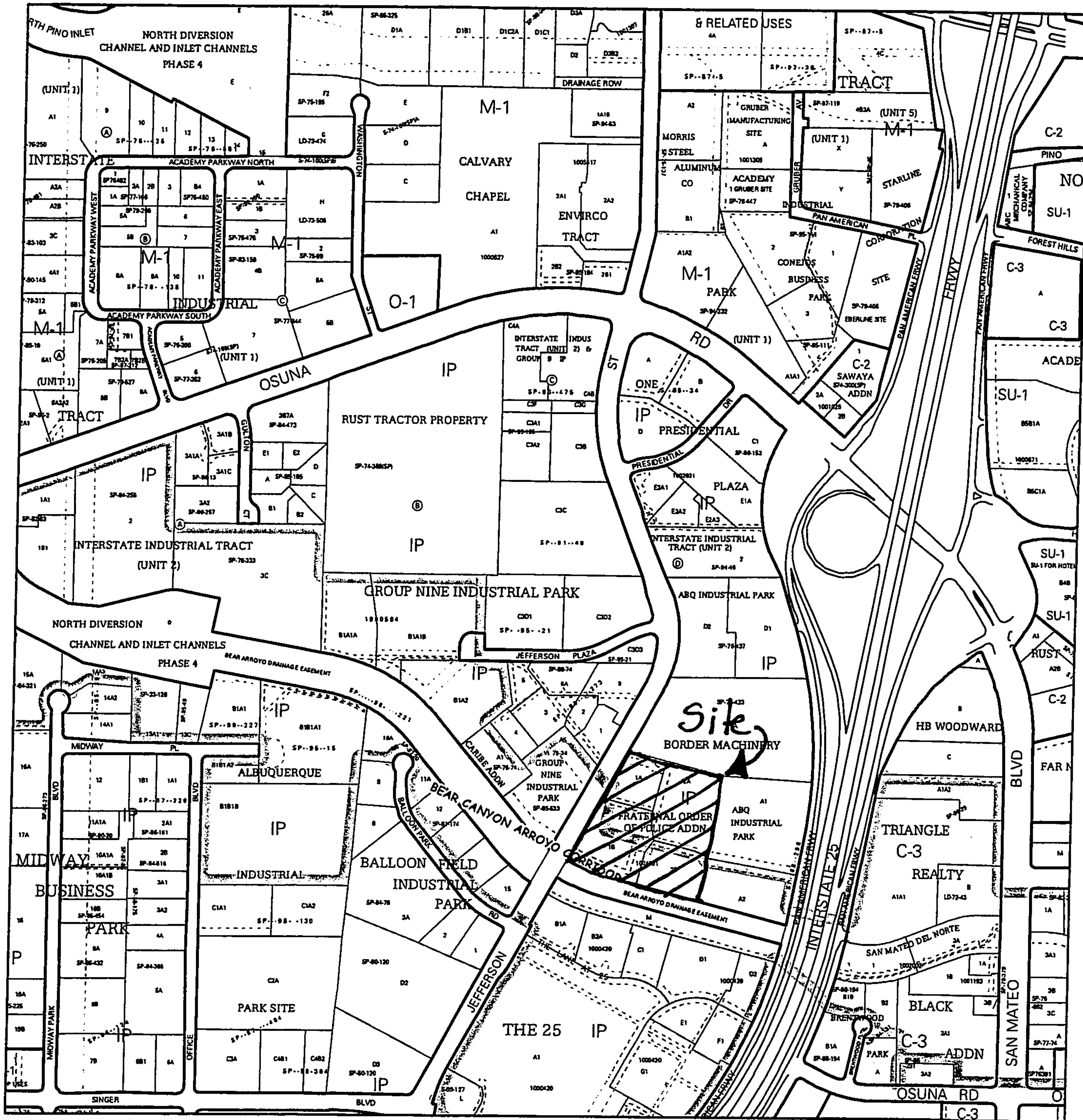
5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

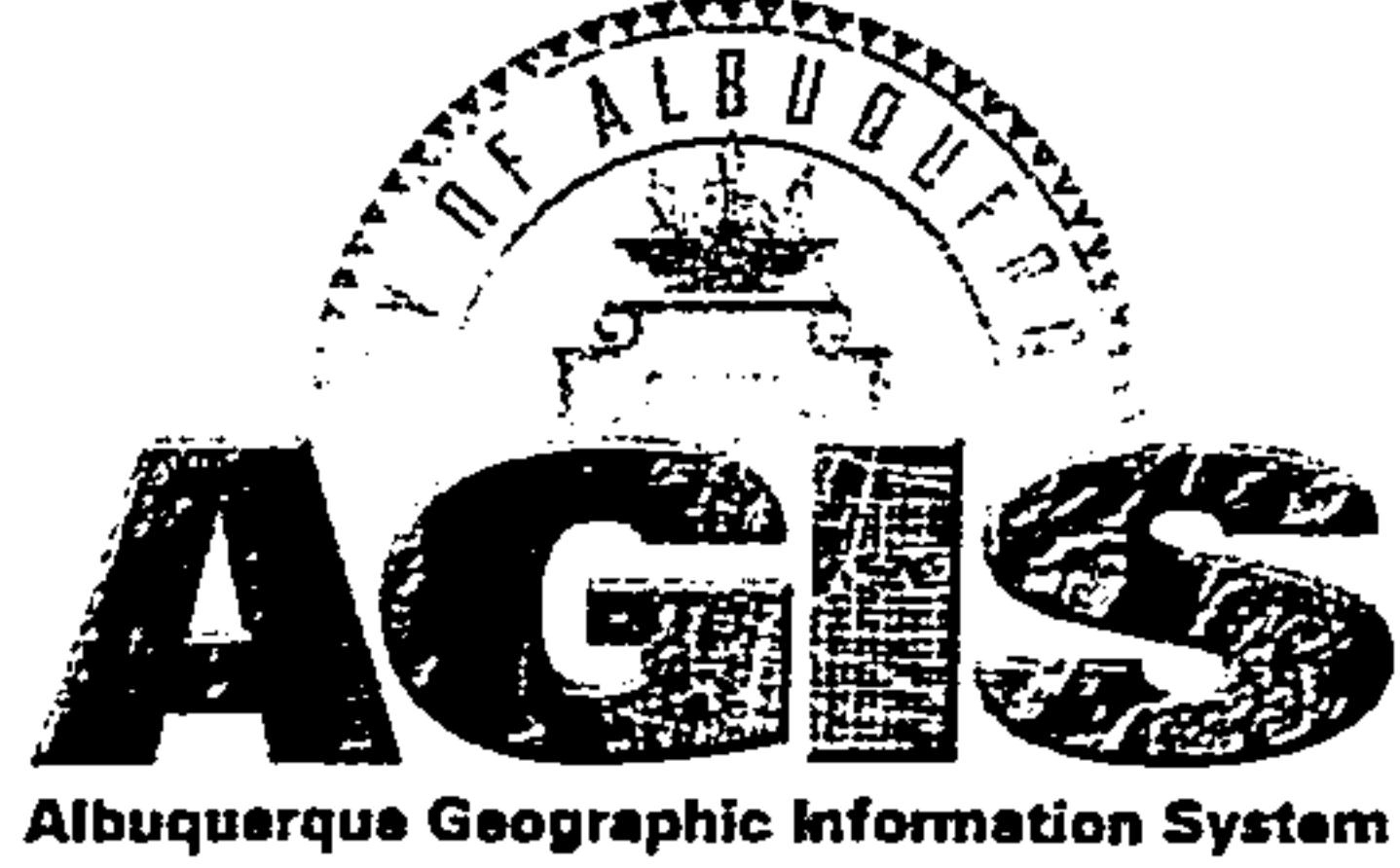
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Keeli D. Krueger, 1/15/10
(Applicant or Agent) (Date)

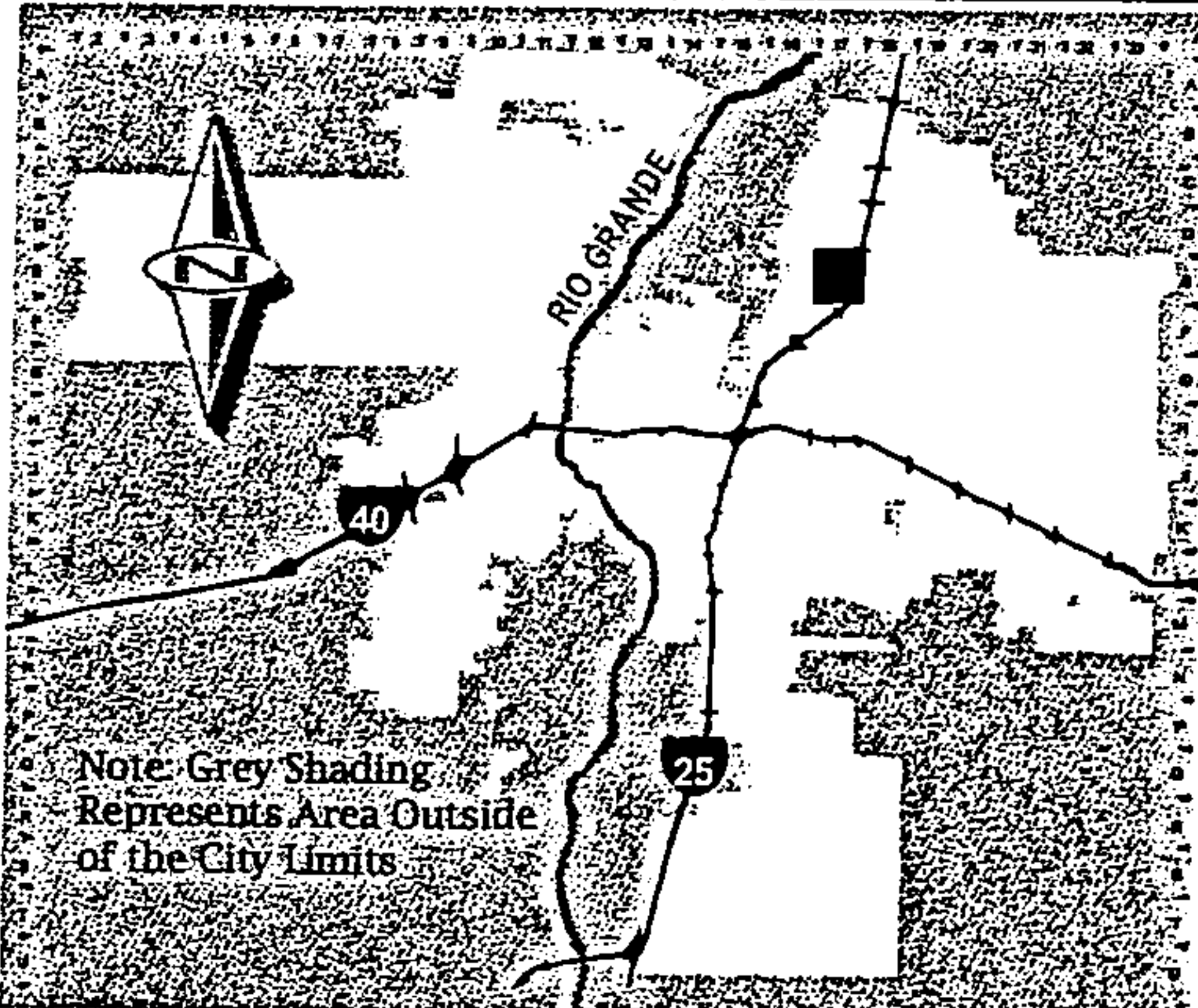
I issued 1 signs for this application, 1-15-10, [Signature]
(Date) (Staff Member)



For more current information and more details visit: <http://www.cabq.gov/gis>






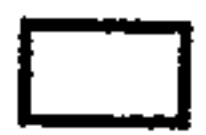

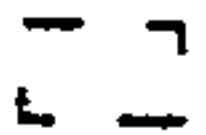



Map amended through: 6/13/2008



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
E-17-Z

Selected Symbols

 SECTOR PLANS	 Escarpment
 Design Overlay Zones	 2 Mile Airport Zone
 City Historic Zones	 Airport Noise Contours
 H-1 Buffer Zone	 Wall Overlay Zone
 Petroglyph Mon.	

0 750 1,500 Feet

gwr

TIERRA WEST, LLC

January 15, 2010

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: 6 Month Extension of
Subdivision Improvements Agreement
Fraternal Order of Police
Project # 1004801**

Dear Mr. Cloud:

Tierra West LLC on behalf of the Fraternal Order of Police Albuquerque Lodge No. 1, requests approval of a six month extension to the Subdivision Improvements Agreement for the above-referenced project. The project was split into two separate work orders, both of which required financial guarantees. Construction on the first work order is complete and the work associated with that work order has been accepted by the City of Albuquerque and the accompanying SIA has been released. Construction on the second work order is complete and our office is working on comments issued by the Albuquerque Bernalillo County Water Utility Authority.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



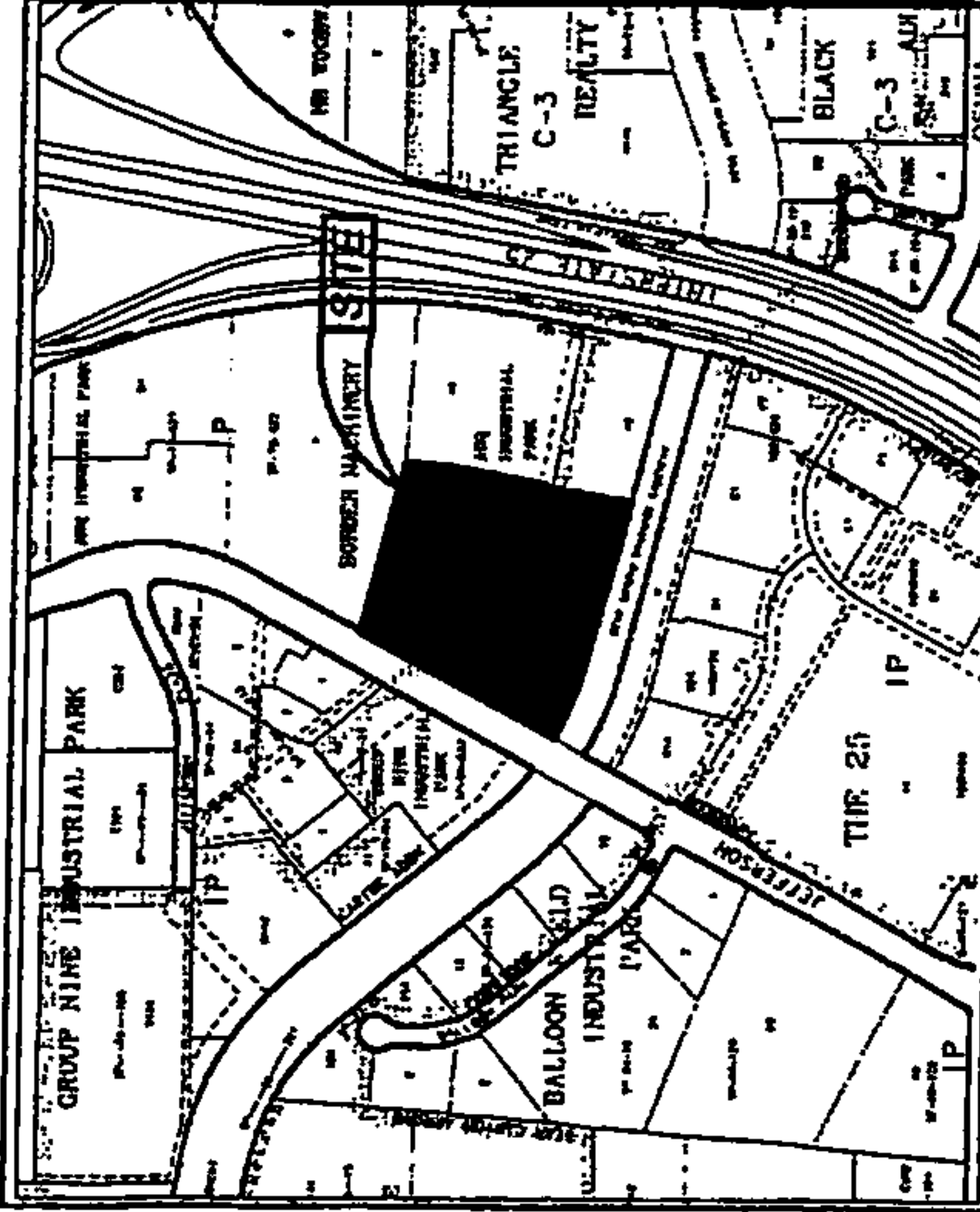
Ronald R. Bohannon, P.E.

Enclosure/s

cc: Rick Leverick
Harry Tipton

JN: 25016
RRB/kdk

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com



Location Map
Zone Atlas Map No. E-17-Z

Subdivision Data:
GROSS SUBDIVISION ACRES: 9.6711 ACRES
ZONE: UAS
NO. OF TRACTS CREATED: 0
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: APRIL 2006

Disclosure Statement:

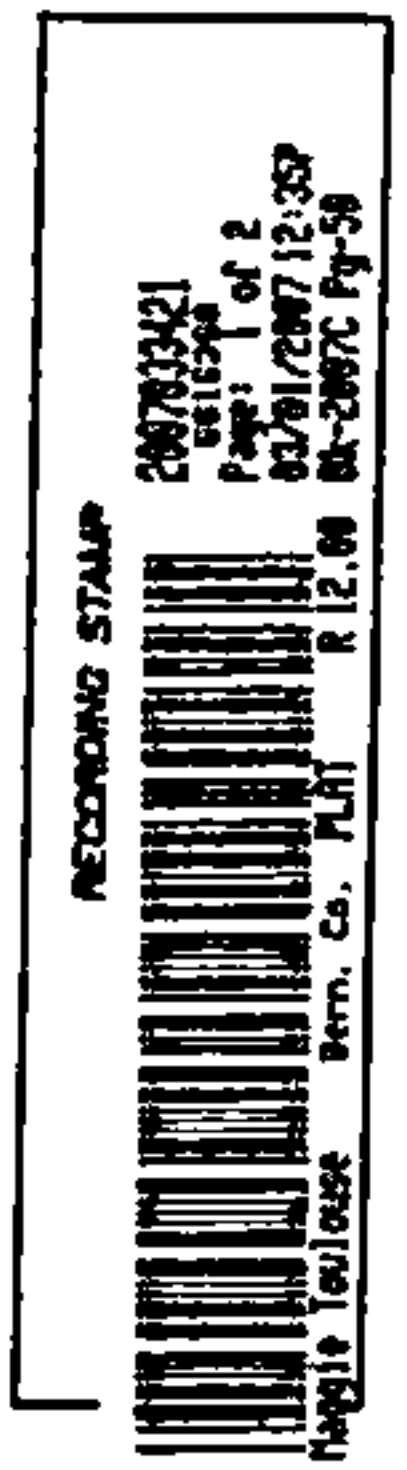
THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO LOTS INTO FOUR NEW LOTS, AND TO GRANT EASEMENTS.

Notes:

1. HSEC DATA: ZONING SU-1
2. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
3. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
4. THIS PROPERTY LIES WITHIN PROJECTED SECTION 28, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA CALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
5. PLAT SHOWS ALL EASEMENTS OF RECORD.
6. SP NO. 2005-16088

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED. PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF: 1. PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE. 2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS. 3. QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURRED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDSTALS AND CLOSURES. 4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE. INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MOODY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT MORNING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO: 1. BUILD AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN; 2. BUILD, SHUT, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES OR SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOW SHALL ANY WELL BE DRILLED FOR OIL, GAS, WATER, PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL PROPERTY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT. EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE. IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DO NOT CONDUIT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT HAVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA CALLEGOS GRANT, PROJECTED SECTION 28, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOTS ONE (1) AND TWO (2) OF FRATERNAL ORDER OF POLICE ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, CITY OF ALBUQUERQUE, NEW MEXICO, ON FEBRUARY 11, 1977, IN PLAT 800L C11, PAGE 173, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE GRID BEARINGS (CENTRAL ZONE-NAD 1927) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE NORTH RIGHT OF WAY LINE OF BEAR ARROYO, MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 1010", DISTANCE OF 1,844.21 FEET;
THENCE ALONG SAID NORTH RIGHT OF WAY LINE, N 75°27'30" W, A DISTANCE OF 502.79 FEET TO A POINT OF CURVATURE MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";
THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 881.13 FEET, WITH AN ARC LENGTH OF 210.40 FEET, A DELTA ANGLE OF 15°35'46" HAVING A CHORD BEARING OF N 67°39'37" W, AND A CHORD LENGTH OF 231.64 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE EAST RIGHT OF WAY LINE OF JEFFERSON STREET, N.E. MARKED BY A SET NO. 4 WITH YELLOW PLASTIC CAP "PS 11993";
THENCE ALONG SAID EAST RIGHT OF WAY LINE, N 29°01'21" E, A DISTANCE OF 658.02 FEET TO THE NORTHWEST CORNER OF DESCRIBED PARCEL MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";
THENCE LEAVING SAID EAST RIGHT OF WAY LINE, S 75°14'35" E, A DISTANCE OF 511.48 FEET TO A POINT OF CURVATURE BEING THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 8686";
THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 1786.83 FEET, WITH AN ARC LENGTH OF 228.46 FEET, WITH A DELTA ANGLE OF 7°20'37" HAVING A CHORD BEARING OF S 07°13'37" W, AND A CHORD LENGTH OF 226.30 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 8686";
THENCE S 10°45'44" W, A DISTANCE OF 186.52 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 8686";
THENCE S 10°48'05" W, A DISTANCE OF 280.63 FEET TO THE POINT OF BEGINNING CONTAINING 9.6711 ACRES (421,272 SQUARE FEET), MORE OR LESS.

Plat of
Lots 1-A, 1-B, 2-A, and 2-B
**Fraternal Order of
Police Addition**
Albuquerque, Bernalillo County, New Mexico
August 2006

Project No. 1004801
Application No. 06DRB-01747
Utility Approvals

PNM ELECTRIC SERVICES	1-17-06	DATE
PNM GAS SERVICES	1-17-06	DATE
WEST TELECOMMUNICATIONS	9/27/06	DATE
COMCAST	11-6-06	DATE
NEW MEXICO UTILITIES		DATE

City Approvals

CITY SURVEYOR	8-30-06	DATE
N/A		DATE
REAL PROPERTY DIVISION		DATE
N/A		DATE
ENVIRONMENTAL HEALTH DEPARTMENT		DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	2-28-07	DATE
WATER UTILITY DEPARTMENT	2/28/07	DATE
PARKS AND RECREATION DEPARTMENT	2/28/07	DATE
AMAFCA	1-31-07	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	2/28/07	DATE
TREASURER'S CERTIFICATE	8/01/07	DATE

THIS IS TO CERTIFY THAT THESE ARE PLAT AND PROPERTY OWNERS RECORDS. REGISTERED PROFESSIONAL SURVEYOR LARRY W. MEDRANO, ALBUQUERQUE, NEW MEXICO.

Surveyor's Certificate

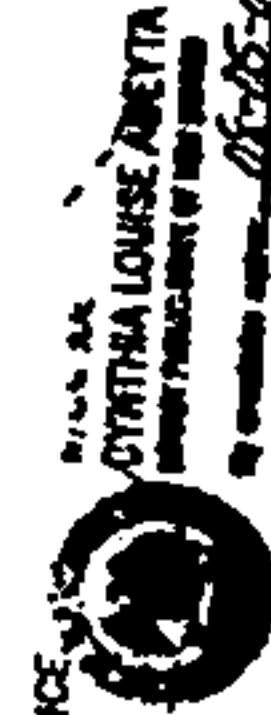
LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR DOCUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE. SURVEYING PERFORMANCE AND STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSING ENGINEERS AND SURVEYORS FOR IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.



LARRY W. MEDRANO
DATE: 8/22/2006

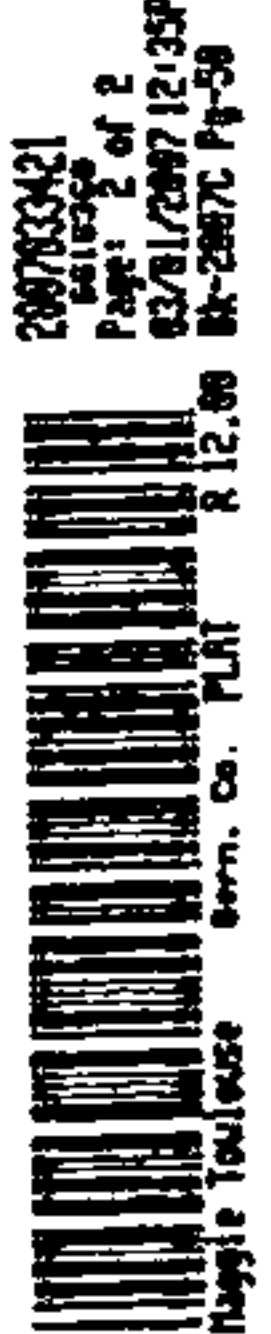
PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
Albuquerque, NM 87113
866.422.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 27th DAY OF August, 2006 BY LOUPE I PRESIDENT, TOBY CALLEGOS, ALBUQUERQUE LODGE NO. 1 OF THE FRATERNAL ORDER OF POLICE, BY [Signature] MY COMMISSION EXPIRES: 12-05-2008

Plat of
Lois 1-A, 1-B, 2-A, and 2-B
Fraternal Order of
Police Addition
 Albuquerque, Bernalillo County, New Mexico
 December 2006



Legend

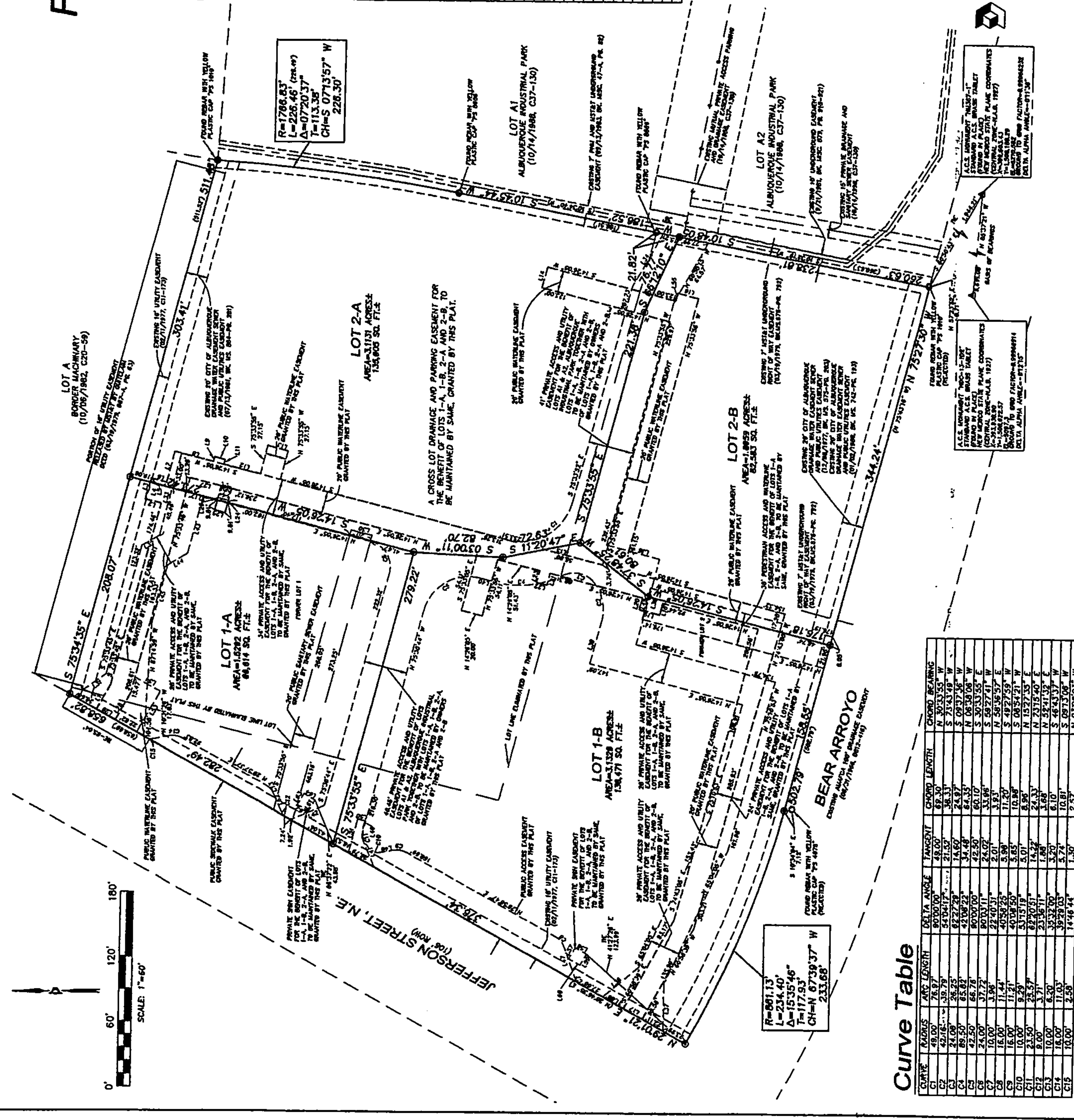
(N INTERIOR) (1)
 N 80°00'00" E

RECORD BEARINGS AND DISTANCES
 SHOWN IN PARANTHESES
 MEASURED BEARINGS AND DISTANCES
 AS INDICATED

FOUND AND SET MONUMENT
 SPOKES NO. 3 YELLOW WITH YELLOW PLASTIC
 CAP 75 INCHES SET THIS SURVEY

Line Table

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 60°58'39" E	25.35	L33	S 75°33'55" E	78.46
L2	N 14°28'05" W	15.15	L34	S 60°58'39" E	56.28
L3	S 75°33'55" E	20.00	L35	N 14°28'05" E	51.00
L4	S 75°33'55" E	16.31	L36	N 75°33'55" W	82.00
L5	S 75°33'55" E	3.89	L37	N 89°38'05" W	43.58
L6	S 14°28'05" W	15.15	L38	S 40°33'54" E	41.86
L7	S 75°33'55" E	28.59	L39	S 75°33'55" E	42.77
L8	S 14°28'05" W	37.13	L40	N 14°28'05" E	14.78
L9	S 75°33'55" E	4.38	L41	S 68°43'52" W	30.13
L10	S 14°28'05" W	10.00	L42	S 23°20'29" E	33.55
L11	N 75°33'55" W	4.38	L43	N 75°33'55" W	54.06
L12	S 14°28'05" W	34.61	L44	N 30°33'45" W	21.27
L13	S 14°28'05" W	20.00	L45	N 75°33'45" W	55.62
L14	S 75°33'55" E	20.00	L46	S 75°33'55" E	31.82
L15	S 14°28'05" W	103.00	L47	S 40°33'54" E	15.31
L16	S 14°28'05" W	20.00	L48	S 11°30'24" E	6.50
L17	N 29°01'21" E	20.00	L49	N 75°33'55" W	31.82
L18	N 75°33'55" W	11.11	L50	N 14°28'05" E	21.78
L19	N 14°28'05" E	20.00	L51	S 75°33'55" E	42.88
L20	S 75°33'55" E	11.11	L52	N 64°29'37" E	26.72
L21	N 75°33'55" W	11.27	L53	N 60°58'39" W	7.44
L22	N 14°28'05" E	10.00	L54	S 29°01'21" W	12.00
L23	S 33°33'55" E	11.27	L55	S 75°33'55" E	12.00
L24	S 33°33'55" E	23.09	L56	S 29°01'21" W	12.00
L25	N 14°28'05" E	10.00	L57	N 60°48'49" W	12.00
L26	S 75°33'55" E	23.09	L58	S 29°01'21" W	12.00
L27	N 14°28'05" E	30.16	L59	N 60°48'49" W	12.00
L28	N 75°33'55" E	27.91	L60	S 29°01'21" W	12.00
L29	N 60°58'39" W	20.00	L61	N 60°48'49" W	12.00
L30	S 14°28'05" W	20.00	L62	N 29°01'21" E	12.00
L31	S 14°28'05" W	20.00	L63	N 60°48'49" W	12.00
L32	S 35°50'34" E	35.73	L64	N 29°01'21" E	12.00
L33	S 30°33'45" E	18.44			



Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	CHORD BEARING
C1	49.00	76.97	49.00	N 30°33'55" W
C2	42.16	39.79	21.52	S 71°43'19" W
C3	24.08	28.29	14.60	S 09°37'36" W
C4	89.50	85.83	64.33	N 06°33'08" E
C5	42.50	66.78	42.50	S 03°10'11" E
C6	24.00	37.72	24.00	S 58°27'11" W
C7	10.00	3.96	2.01	N 51°56'57" E
C8	16.00	11.21	5.90	N 49°27'59" E
C9	10.00	9.29	4.08	S 04°52'31" W
C10	10.00	11.21	5.90	N 51°56'57" E
C11	23.50	23.57	14.22	N 13°27'35" E
C12	9.00	3.71	1.88	N 29°19'40" E
C13	10.00	6.30	3.20	N 35°41'32" E
C14	16.00	11.03	5.74	S 46°43'37" W
C15	10.00	2.50	1.30	N 03°08'03" W

PRECISION SURVEYING, INC.

8500-A Jefferson Street, NE
 Albuquerque, NM 87113
 866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

9. **Project # 1004075**
06DRB-01537 Major-Vacation of Pub
Right-of-Way
06DRB-01539 Major-Vacation of Public
Easements

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, 4B, 4C and 1 through 15, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25 SW, between BROADWAY BLVD SW and LOS PICAROS RD SW containing approximately 2,294 acre(s). [REF: 06DRB-00744] [Deferred from 11/15/06 & 12/13/06 & 1/3/07]. (R-16, Q-16, R-15, R-17, S-14, S-16, S-17, T-16) **DEFERRED AT THE AGENT'S REQUEST TO 1/17/07.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

10. **Project # 1004801**
06DRB-01748 Minor-SiteDev Plan
Subd/EPC
06DRB-01747 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for FRATERNAL ORDER OF POLICE, ALBUQUERQUE LODGE 1 request(s) the above action(s) for all or a portion of Tract(s) 1 & 2, **FRATERNAL ORDER OF POLICE ADDITION**, zoned IP, located on JEFFERSON ST NE, between the BEAR ARROYO and **OSUNA NE** containing approximately 10 acre(s). [REF: 06EPC-01443, 06EPC-01441] [Deferred from 12/20/06] [Stephanie Shumsky, EPC Case Planner] (E-17) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PARKING CALCS AND PLANNING FOR 3 COPIES. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/3/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

1-3-07

ORIGINAL
Nur

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 8-20-06)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: 1/3/07
Date Site Plan Approved: 1/3/07
Date Preliminary Plat Approved: 01-03-07
Date Preliminary Plat Expires: 01-03-08
DRB Project No.: 1004801
DRB Application No.: 06 DRB-01747

Fraternal Order of Police Site Plan for Subdivision
~~PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN~~

Fraternal Order of Police Addition, Tracts 1 and 2
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>

Size	Type of Improvement	Location	From	To
	COA Project # 6324.81			
12' F-EOA	Left turn bay (incl. curb and gutter)	Jefferson Street	425' N. of Bear Canyon Arroyo N. PL	600' N. of Bear Canyon Arroyo N. PL
12' F-EOA	Right turn bay (incl. curb and gutter)	Jefferson Street	200' N. of Bear Canyon Arroyo N. PL	340' N. of Bear Canyon Arroyo N. PL
6'	Sidewalk	East side of Jefferson St	Bear Canyon Arroyo N. PL	660' N. of Bear Canyon Arroyo N. PL
	COA Project # 6324.82			
36"	RCP Storm Drain Outfall	Bear Canyon Arroyo	Bear Canyon Arroyo Outfall near Jefferson	NE 60' to PL
8"	Waterline Loop through Project	On-site in Public Water Line Easement	Jefferson - 55' N. of Bear Canyon Arroyo N. PL	Jefferson - 620' N. of Bear Canyon Arroyo N. PL
8"	Sanitary Sewer	On-site in Public Sanitary Sewer Easement	Jefferson - 460' N. of Bear Canyon Arroyo N. PL	270' East of FOP West PL

Construction Certification		
Private Inspector	P.E.	City Cnst Engineer
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

Approval of Creditable Items:

Impact Fee Administrator Signature _____ Date _____

Approval of Creditable Items:

City User Dept. Signature _____ Date _____

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

Ronald R Bohannon
NAME (print)

Andrew Amos 1/3/07
DRB CHAIR - date

Christina Sandoral 1/3/07
PARKS & RECREATION - date

Tieria West LLC
FIRM

[Signature] 1-3-07
TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

[Signature]
SIGNATURE - date

Roger L. [Signature] 1/3/07
UTILITY DEVELOPMENT - date

_____ - date

Bradley L. Bigham 1/3/07
CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

FIGURE 18
1st EXTENSION AGREEMENT

25016
SIA

PROJECT NO. 6234.82

This Agreement made this ^{29th} day of December, 20 08, by and between the City of Albuquerque, New Mexico, a municipal corporation ("City") and [name of developer/subdivider:] Fraternal Order of Police Albuquerque Lodge No. 1 ("Developer"), whose address is 5900 Jefferson St. NE, Albuquerque, NM 87109 and whose telephone number is 505-345-2639, is made in Albuquerque, New Mexico and is entered into as of the date of final execution of this Agreement.

WHEREAS, the City and the Developer entered into an Agreement on the 8TH day of February, 2007, which was recorded in the office of the Clerk of Bernalillo County, New Mexico on February 13, 2007 at Book Misc. A132, pages 3978 through —, ("Earlier Agreement"), by which the Developer agreed to complete the construction of certain infrastructure improvements on or before the day of December 5, 20 08; and

WHEREAS, the Earlier Agreement was amended by an Assignment and Amendment dated February 11, 2008, recorded February 12, 2008, Document Number 2008016277, pages 1 thru 4, records of Bernalillo County, New Mexico, correcting the name of the Subdivider; and

WHEREAS, it appears that the Developer will be unable to complete construction of the improvements by the deadline specified in the Agreement; and

WHEREAS, the City is willing to grant Developer an extension of time in which to complete construction of all or part of the improvements, provided the Developer posts an acceptable financial guarantee, as required by the City's Subdivision Ordinance and the Development Process Manual; and

WHEREAS, the Developer is able to provide the required financial guaranty:

NOW THEREFORE in consideration of the above and the mutual promises contained herein, the parties agree:

1. The required completion date for construction of the improvements, as set forth in paragraph A of the Earlier Agreement, is extended [Complete either A or B:]

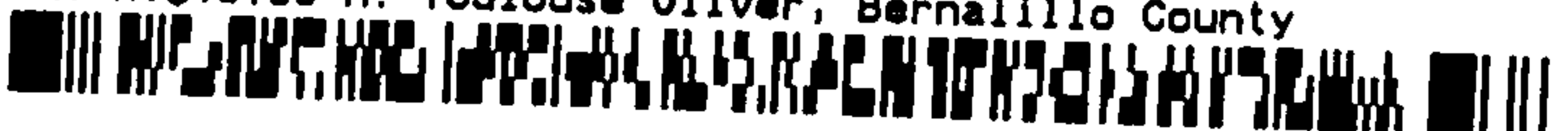
A. for all improvements, the 5 th day of December, 2009.

B. on portions of the improvements as follows:

<u>IMPROVEMENTS</u>	<u>COMPLETION DATE</u>
<u>Infrastructure Improvements</u>	_____
_____	_____
_____	_____

Doc# 2009001089

01/06/2009 11:14 AM Page: 1 of 4
EXT R:\$15.00 M. Toulouse Oliver, Bernalillo County



2. With this Extension Agreement, Developer has provided the City with the following financial guaranty:

Type of Financial Guaranty: Municipal Lien

Amount: \$ 382,735.80

Name of Financial Institution or Surety providing Guaranty:

Date City first able to call Guaranty: December 5, 2009

[Construction Completion Deadline]: December 5, 2009

If Guarantee other than a Bond, last day City able to call on Guaranty is:

February 5, 2010

Additional Information: _____

3. The parties agree that all terms and conditions of the Earlier Agreement not in conflict with this Extension Agreement shall remain valid, in force, and binding upon the parties. By executing this Agreement, the parties only intention is to extend the construction completion deadline established in the Earlier Agreement and establish a revised financial guarantee for the benefit of the City.

Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER:
Fraternal Order of Police Albuquerque
Lodge No. 1

By [Signature]: Tobias Gallegos
Name: Tobias Gallegos
Title: President
Dated: 12 3 08

CITY OF ALBUQUERQUE

Approved by: [Signature]

Dated: 12-29-08

WJL 12/29/08

12-17-08

SUBDIVIDER'S NOTARY

STATE OF New Mexico)
) ss.
COUNTY OF Bernalillo)

This instrument was acknowledged before me on 3rd day of December, 2008 by
[name(s) of person(s):] Tobias Gallegos, President of [Subdivider:] Fraternal Order of
Police Albuquerque Lodge No. 1.

Keli D. Krueger
Notary Public

My Commission Expires:

March 6, 2010



OFFICIAL SEAL
KELI D. KRUEGER
NOTARY PUBLIC - STATE OF NEW MEXICO
My Commission Expires: March 6, 2010

CITY'S NOTARY

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 29th day of December, 2008 by
Richard Dante, City Engineer, of the City of Albuquerque, a municipal corporation, on
behalf of said corporation.

Pindora J. Jones
Notary Public

My Commission Expires:

10-07-12



EXHIBIT "A"

OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

December 3, 2008

Project# 1004801
08DRB-70468 MAJOR - 1 YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS
(1YR SIA)

TERRA WEST LLC agent(s) for THE FRATERNAL ORDER OF POLICE/
ALBUQUERQUE LODGE 1 request(s) the referenced/ above action(s) for all or a
portion of Lot(s) 1-A,1-B,2-A & 2-B, **FRATERNAL ORDER OF POLICE**
ADDITION, zoned IP, located on the east side of JEFFERSON ST NE AND the north
side of the BEAR ARROYO containing approximately 9.6711 acre(s). (E-17)

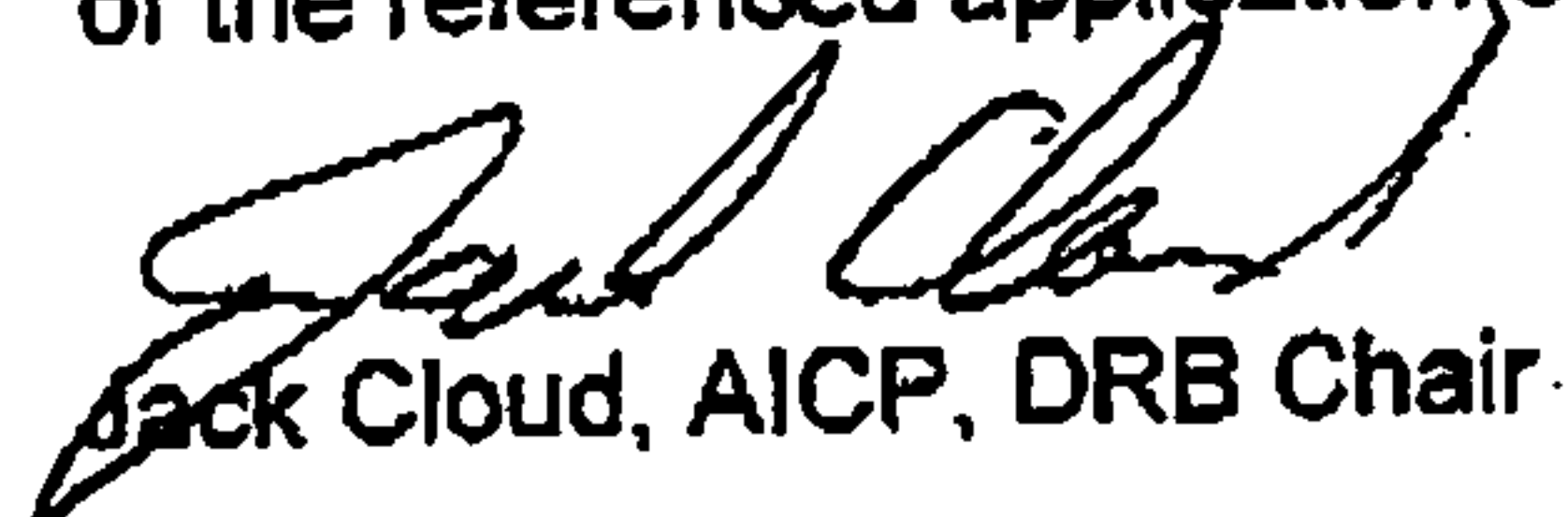
At the December 3, 2008 Development Review Board meeting, the one year extension
of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by December 18, 2008 in the manner
described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any
determination of the Development Review Board may file an appeal on the
Planning Department form, to the Planning Department, within 15 days of the
Development Review Board's decision. The date the determination in question is
issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System
Ordinance, the next working day is considered as the deadline for filing the appeal. Such
appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are
reminded that other requirements of the City must be complied with, even after approval
of the referenced application(s).


Jack Cloud, AICP, DRB Chair

Cc: Tierra West - 5571 Midway Park Place NE - Albuquerque, NM 87109
Cc: Fraternal Order Of Police Albuquerque Lodge 1 - 5900 Jefferson ST NE -
Albuquerque, NM 87109
Marilyn Maldonado
File

CLAIM AND NOTICE OF LIEN

TITLE OF PROJECT: Fraternal Order of Police
SUBDIVIDER: Fraternal Order of Police Albuquerque Lodge No. 1
CITY PROJECT NO.: 632482

The City of Albuquerque ("City") claims a lien ("City Lien") on the real property described below for 125% of the cost of construction of all infrastructure improvements ("Improvements") required in connection with the development of (name of subdivision) Fraternal Order of Police Addition, said Improvements being more particularly described in that certain Subdivision Improvements Agreement ("Agreement") between the City of Albuquerque and (name of owner and/or subdivider) Fraternal Order of Police Albuquerque Lodge No. 1, and recorded in the Office of the Clerk of Bernalillo County, New Mexico in Book A132, at page 3979, on February, 2007 as Document No. 2007024022. This City Lien is established pursuant to Article 14-14-3 of the Revised Ordinances of Albuquerque, New Mexico, 1994, as amended and is claimed as assurance for the satisfactory completion of construction of the Improvements by the construction completion deadline as required by the Agreement.

OWNER: Fraternal Order of Police Albuquerque Lodge No. 1

ADDRESS OF OWNER: 5900 Jefferson St. NE, Albuquerque, NM 87109

LEGAL DESCRIPTION: Lots 1-A, 1-B, 2-A & 2-B, Fraternal Order of Police Addition

RECORDING INFORMATION: Recorded in the Office of the Clerk of Bernalillo County, New Mexico in Book 2007C, at page 50, on March 1, 2007, as Document No. 2007033421.

FORMER LEGAL DESCRIPTION: Lots 1 & 2, Fraternal Order of Police Addition

RECORDING INFORMATION: Recorded in the Office of the Clerk of Bernalillo County, New Mexico in Book C11, at page 173, on February 11, 1977, as Document No. 1977007560.

AMOUNT: \$ 382,735.80, plus any costs incurred for a title search and update, which amount shall bear interest at the rate of twelve percent (12%) per year from the date of filing of this Claim and Notice of Lien.

Doc# 2009001090

01/06/2009 11:14 AM Page: 1 of 2
LIEN R:\$11.00 M. Toulouse Oliver, Bernalillo County





DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 – will need the following information **BEFORE** neighborhood and/or homeowner association information will be released to the applicant/agent on any project being presented to the Planning Department of the City of Albuquerque. If you have any questions, please feel free to contact our office at (505) 924-3914. **Your Developer Inquiry is for the following:**

Cell Tower & Type: Free-Standing Tower -OR- Concealed Tower

Private Development EPC DRB LUCC Liquor Submittal
 Administrative Amendments (AA's)

City Project Special Exception Application (ZHE)

CONTACT NAME: Keli Krueger

COMPANY NAME: Tierra West LLC

ADDRESS/ZIP: 5571 Midway Park Place NE Albuquerque, NM 87109

PHONE: 505-858-3100 FAX: 505-858-1118

LEGAL DESCRIPTION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION IN THE AREA OF THE PROPERTY DESCRIBED BELOW:
Lots 1-A, 1-B, 2-A & 2-B, Fraternal Order of Police Addition

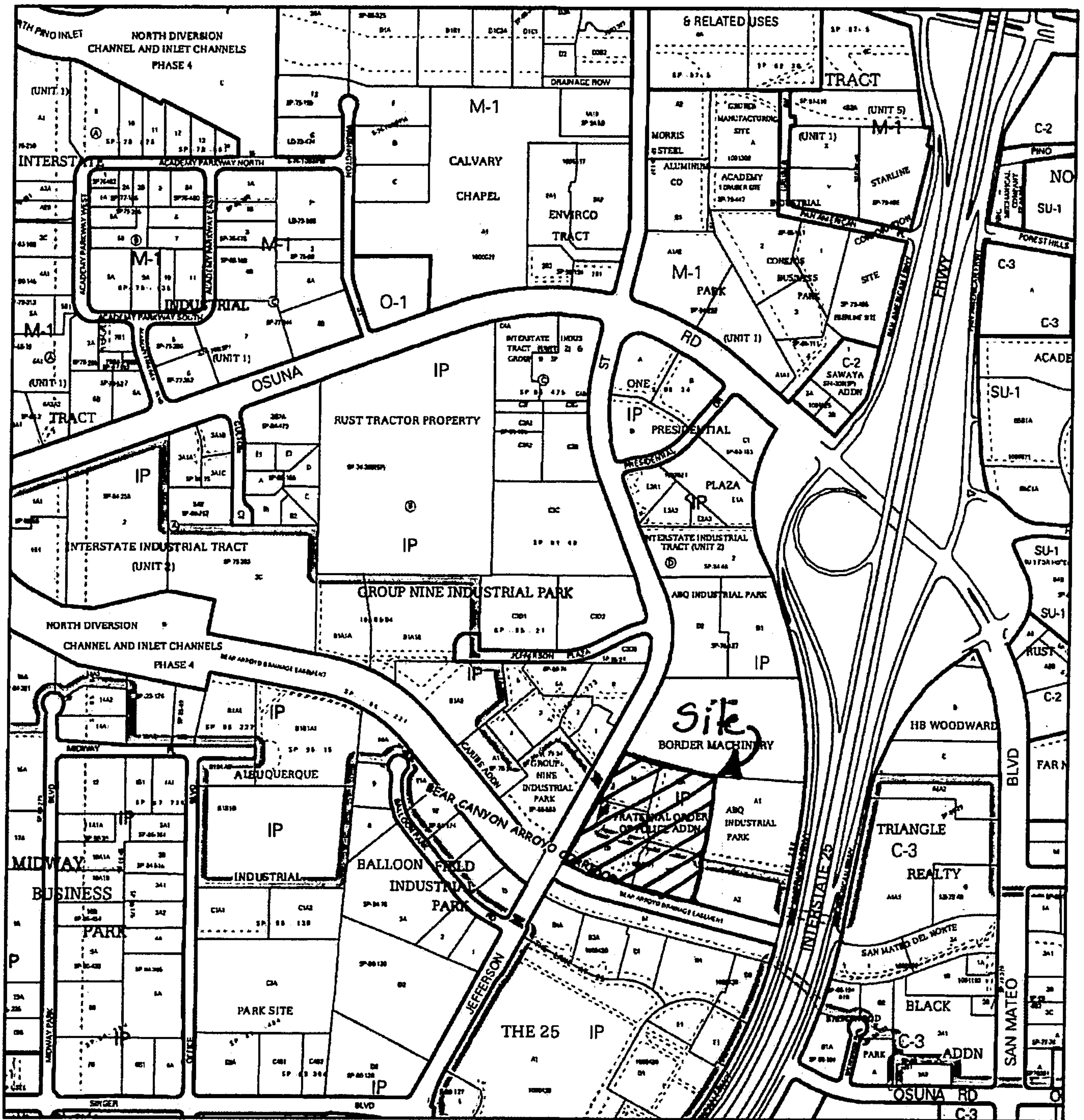
LEGAL DESCRIPTION

LOCATED ON Jefferson St. NE
STREET NAME OR OTHER IDENTIFYING LANDMARK

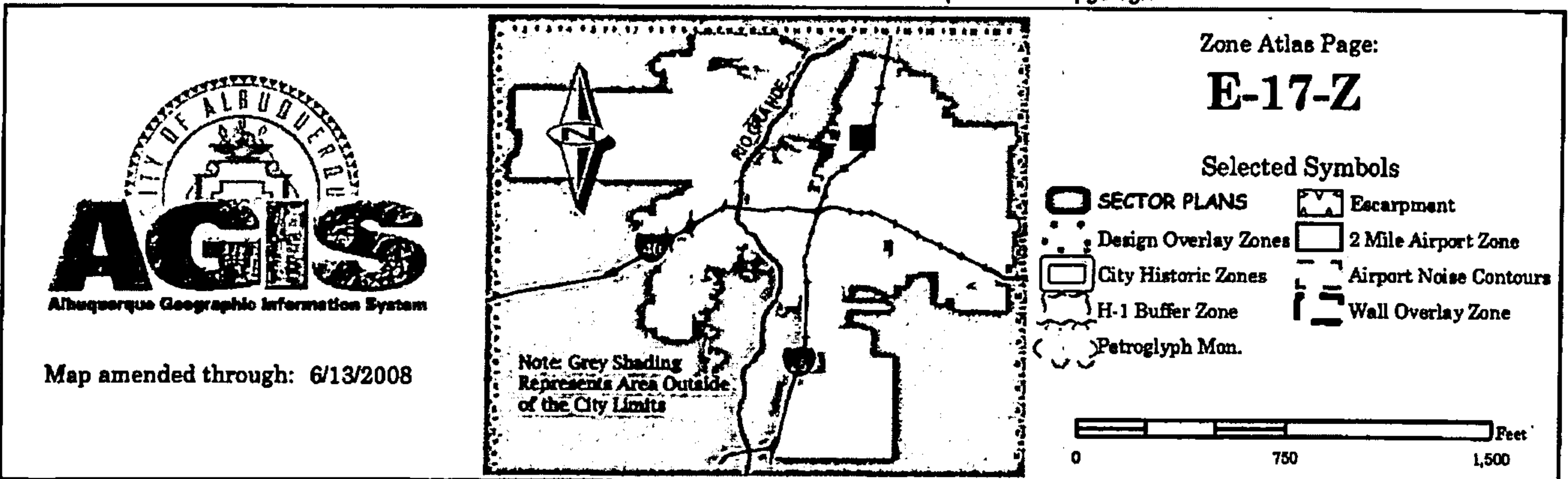
BETWEEN Bear Arroyo AND
STREET NAME OR OTHER IDENTIFYING LANDMARK

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (E-17).
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)
(Zone Map **MUST** be provided with request)



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/13/2008

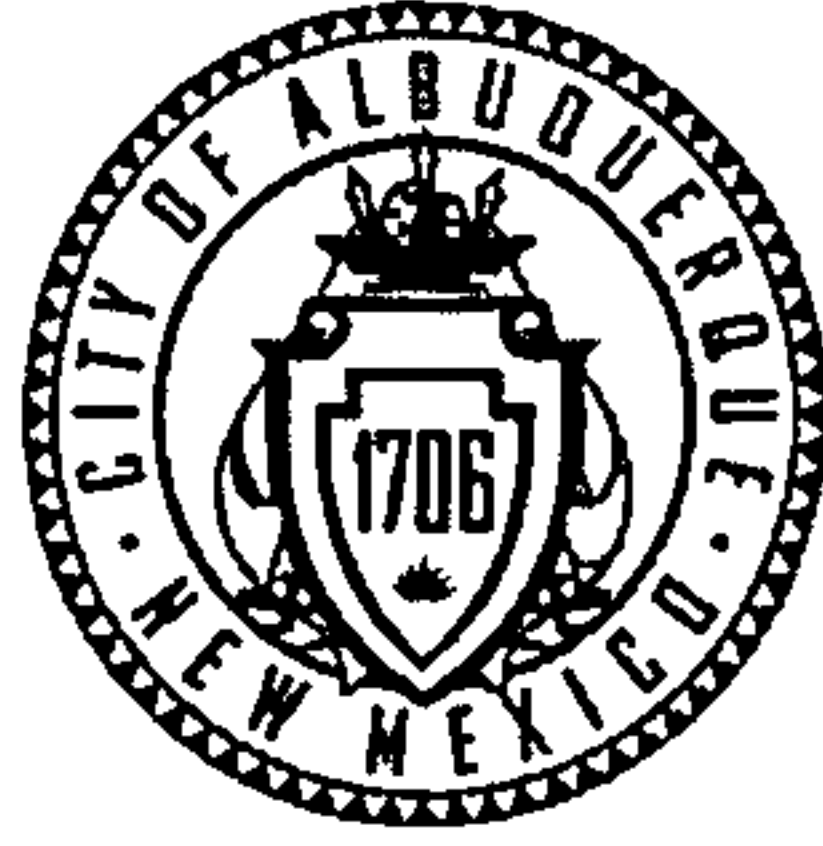
Zone Atlas Page:

E-17-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

January 14, 2010

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on **January 14, 2010:**

Contact Name: KELI KRUEGER

Company or Agency: TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE/87109
PHONE: 858-3100/FAX: 858-1118
E-mail: kkrueger@tierrawestllc.com

contacted the Office of Neighborhood Coordination requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – LOTS 1-A, 1-B, 2-A AND 2-B, FRATERNAL ORDER OF POLICE ADDITION, LOCATED ON JEFFERSON STREET NE AND BEAR ARROYO** zone map E-17.

Our records indicate that as of January 14, 2010, there were no Neighborhood and/or Homeowner Associations in this area.

If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
PLANNING DEPARTMENT

planningnrnaform(01/22/08)

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant (*if there are associations*). A copy must be submitted with application packet -OR-
- [X] **The ONC "Official" Letter (*if there are no associations*). A copy must be submitted with application packet.**
- [] Copies of Letters to Neighborhood and/or Homeowners Associations (*if there are associations*). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood and/or Homeowners Associations (*if there are associations*). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: 01/14/10 Time Entered: 1:40 p.m. ONC Rep. Initials: siw

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

10/30/2008 Issued By: PLNSDH

Permit Number: 2008 070 468

Category Code 910

Application Number: 08DRB-70468, Major - 2yr Subd Imp Agmt Ext (2yr Sia)

Address:

Location Description: NE CORNER JEFFERSON ST NE AND BEAR ARROYO

Project Number: 1004801

Applicant
Fraternal Order Of Police Albuquerque Lodge

Agent / Contact
Terra West Lic

5900 Jefferson St Ne
Albuquerque NM 87108
345-2838

5571 Midway Park Pl Ne

858-3100

Application Fees

441018/4871000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$50.00
TOTAL:		\$145.00

City Of Albuquerque
Treasury Division

10/30/2008 9:27AM LOC: ANNX
WSH 006 TRANS# 0005
RECEIPT# 00099577-00099577
PERMIT# 2008070468 TRSSVG
Trans Amt \$145.00
APN Fee \$75.00
Conflict Manag. Fee \$20.00
DRB Actions \$50.00
CK \$145.00
CHANGE \$0.00

Thank You

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Tierra West LLC PHONE: 505-858-3100
 ADDRESS: 5571 Midway Park Place NE FAX: 505-858-1118
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: jniski@tierrawest.com

APPLICANT: Fraternal Order of Police Albuquerque Lodge 1 PHONE: 505-345-2639
 ADDRESS: 5900 Jefferson St. NE FAX: 505-345-4724
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: One year extension of Subdivision Improvements Agreement

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots 1-A, 1-B, 2-A & 2-B Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Fraternal Order of Police Addition
 Existing Zoning: IP Proposed zoning: No Change MRGCD Map No _____
 Zone Atlas page(s): E-17 UPC Code: 101706233114840107/101706235713540112/101706232011740105/101706235110240106

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): SP-77-71/Z-76-130/ CZ-76-47/ZA-86-116/Z-70-61/06EPC-01441,01443/06DRB-01747/Project # 1004801

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 4 No. of proposed lots: 4 Total area of site (acres): +/-9.73
 LOCATION OF PROPERTY BY STREETS: On or Near: Jefferson Street NE
 Between: Bear Arroyo and _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 10/25/08
 (Print) Ronald R. Bohannon, PE Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>08DRB 70468</u>	<u>SIA</u>	<u>5(2)</u>	<u>\$ 50.00</u>
_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
_____	<u>CME</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____

Hearing date 11/26/08

Total \$ 145.00

Sandy Handley 10/30/08
 Planner signature / date

Project # 1004801

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.


MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Behannan, PE
 Applicant name (print)

 Applicant signature / date 10/29/08

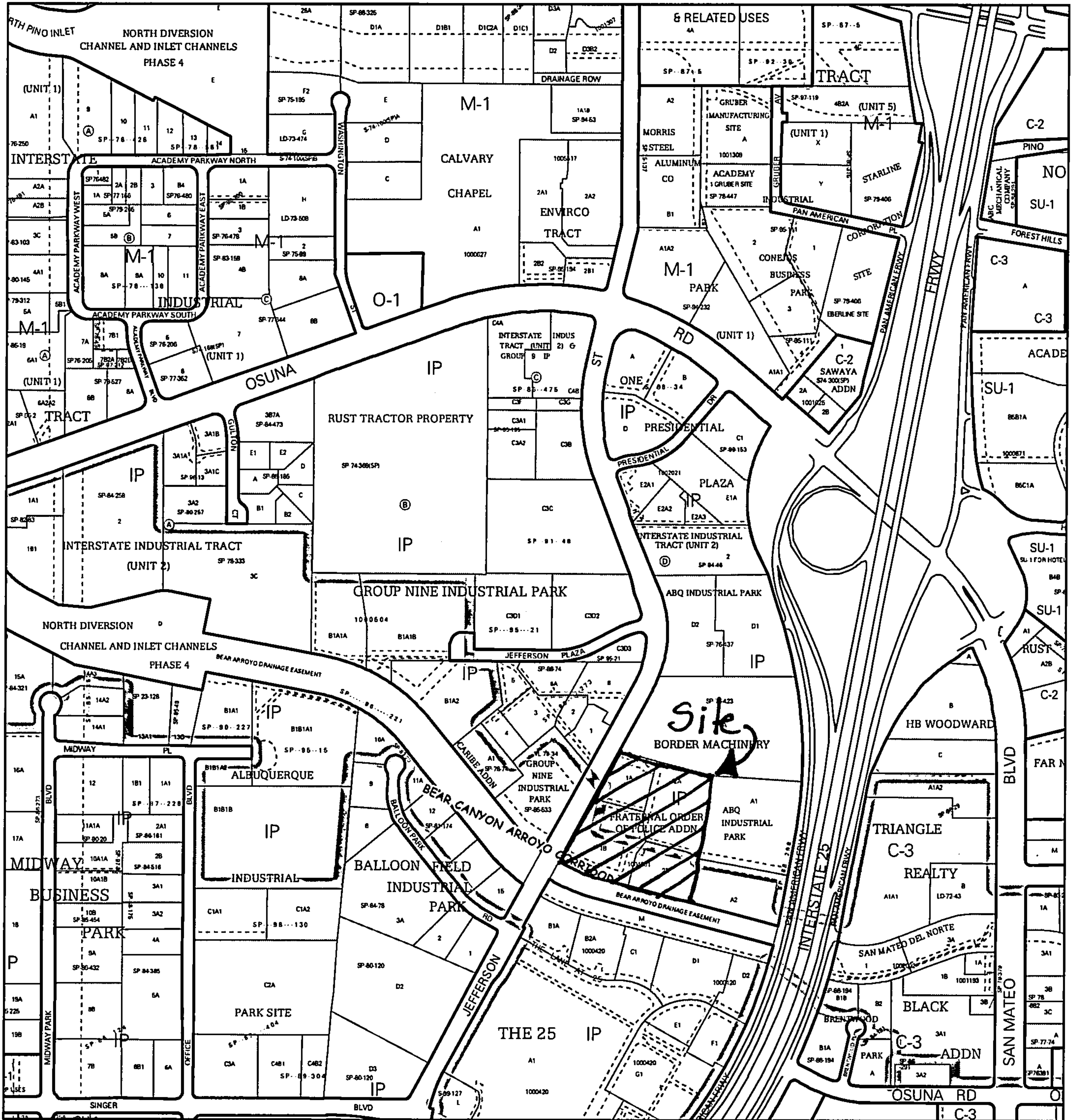


Form revised **October 2007**

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
081213 - 70968
 _____ - _____
 _____ - _____

Sandy Handley 10/30/08
 Planner signature / date
 Project # 1004801



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 6/13/2008

Note: Grey Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
E-17-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

gan

TIERRA WEST, LLC

October 29, 2008

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

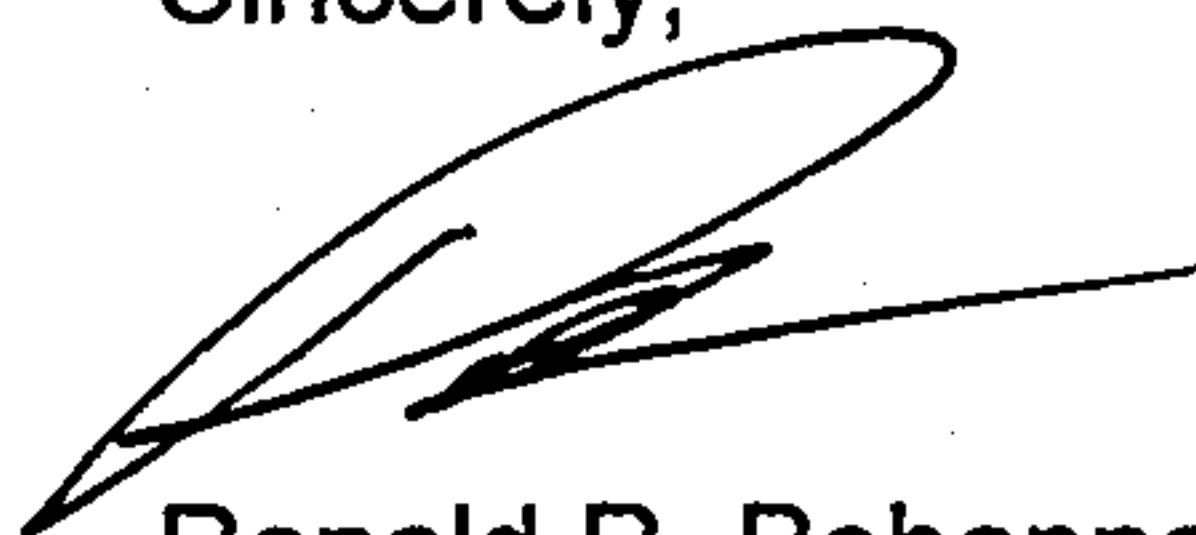
**RE: One Year Extension of
Subdivision Improvements Agreement
Fraternal Order of Police
Project # 1004801**

Dear Mr. Cloud:

Tierra West LLC on behalf of the Fraternal Order of Police Albuquerque Lodge #1, requests approval of a one year extension to the Subdivision Improvements Agreement for the above-referenced project. The project was split into two separate work orders, both of which required financial guarantees. Construction on the first work order is complete and the close out package has been submitted to the City and our office is currently working on comments on that package. Construction on the second work order is not yet complete.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

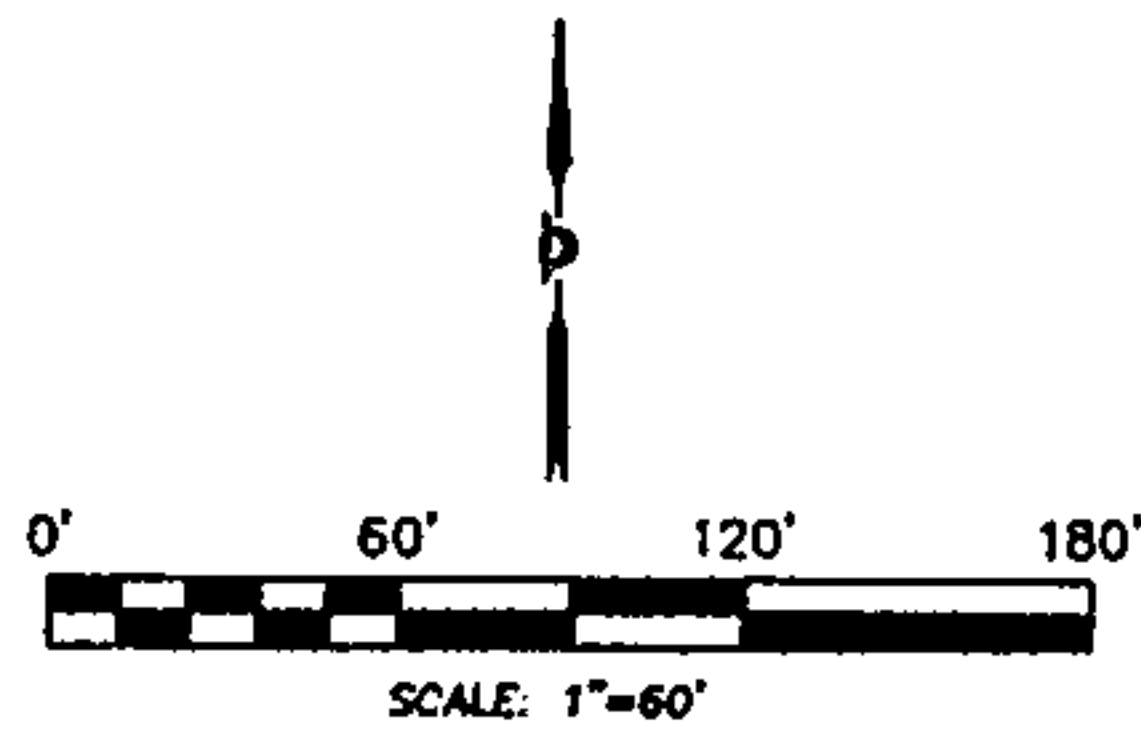
Enclosure/s

cc: Rick Leverick
Harry Tipton

JN: 25016
RRB/kdk

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Plat of
 Lots 1-A, 1-B, 2-A, and 2-B
**Fraternal Order of
 Police Addition**
 Albuquerque, Bernalillo County, New Mexico
 December 2006



Legend

(1) 90°00'00" E	RECORD BEARINGS AND DISTANCES SHOWN IN PARENTSSES
N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
⊙	NOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "S 11993" SET THIS SURVEY

Line Table

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 60°58'39" E	25.35'	L33	S 75°33'55" E	78.46'
L2	N 14°26'15" E	15.13'	L34	S 60°50'15" E	56.26'
L3	S 75°33'45" E	20.00'	L35	N 14°26'05" E	51.00'
L4	S 75°33'45" E	16.31'	L36	N 75°33'55" W	82.00'
L5	S 75°33'45" E	3.69'	L37	N 89°38'05" W	43.50'
L6	S 14°26'15" W	15.13'	L38	S 40°33'34" E	41.06'
L7	S 75°33'45" E	29.59'	L39	S 75°33'55" E	42.77'
L8	S 14°26'05" W	37.13'	L40	N 14°26'05" E	14.78'
L9	S 75°33'55" E	4.38'	L41	S 66°43'52" W	30.13'
L10	S 14°26'05" W	10.00'	L42	S 23°20'29" E	33.55'
L11	N 75°33'55" W	4.38'	L43	N 75°33'55" W	54.06'
L12	S 14°26'05" W	34.61'	L44	N 30°33'45" W	21.27'
L13	S 14°26'05" W	20.00'	L45	N 75°33'45" W	55.52'
L14	S 75°33'55" E	20.00'	L46	S 75°33'55" E	31.82'
L15	S 14°26'05" W	103.00'	L47	S 69°57'12" W	31.48'
L16	S 14°26'05" W	20.00'	L48	S 11°00'04" E	13.31'
L17	N 29°01'21" E	20.00'	L49	N 75°33'55" W	3.69'
L18	N 75°33'55" W	11.11'	L50	N 14°26'05" E	6.50'
L19	N 14°26'05" E	20.00'	L51	S 75°33'55" E	31.82'
L20	S 75°33'55" E	11.11'	L52	N 64°29'37" E	21.78'
L21	N 75°33'55" W	11.27'	L53	N 60°58'39" W	42.86'
L22	N 14°26'05" E	10.00'	L54	S 29°01'21" W	26.72'
L23	S 75°33'55" E	11.27'	L55	S 75°33'55" E	7.44'
L24	N 75°33'55" W	23.09'	L57	N 60°49'49" W	12.00'
L25	N 14°26'05" E	10.00'	L58	S 29°10'11" W	12.00'
L26	S 75°33'55" E	23.09'	L59	N 60°49'49" W	12.00'
L27	N 14°26'05" E	30.16'	L60	S 29°10'11" W	12.00'
L28	N 60°58'39" W	27.81'	L61	N 60°49'49" W	12.00'
L29	N 29°01'21" E	20.00'	L62	N 29°10'11" E	12.00'
L30	S 14°26'05" W	20.00'	L63	N 60°49'49" W	12.00'
L31	S 35°50'34" E	35.73'	L64	N 29°10'11" E	12.00'
L32	S 30°33'45" E	18.44'			

R=1786.83'
 L=226.46' (226.09)
 Δ=07°20'37"
 T=113.38'
 CH=S 07°13'57" W
 228.30'

R=861.13'
 L=234.40'
 Δ=15°35'48"
 T=117.93'
 CH=N 87°39'37" W
 233.68'

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	49.00'	76.97'	90°00'00"	49.00'	69.30'	N 30°33'55" W
C2	42.16'	39.79'	54°04'17"	21.52'	38.33'	S 73°43'49" W
C3	24.06'	26.25'	62°27'29"	14.60'	24.97'	S 09°37'36" W
C4	89.50'	85.82'	42°08'22"	34.48'	64.35'	N 08°38'06" W
C5	42.50'	66.78'	90°00'00"	42.50'	60.10'	S 30°33'55" E
C6	24.00'	37.72'	90°03'11"	24.02'	33.96'	S 58°27'41" W
C7	10.00'	3.96'	22°40'31"	2.01'	3.93'	N 58°38'57" E
C8	16.00'	11.44'	40°58'25"	5.98'	11.20'	S 49°27'59" W
C9	16.00'	11.21'	40°08'50"	5.85'	10.98'	S 08°54'21" W
C10	10.00'	9.29'	53°15'19"	5.01'	8.96'	N 15°27'35" E
C11	23.50'	25.57'	82°20'51"	14.22'	24.33'	N 73°15'40" E
C12	9.00'	3.71'	23°38'11"	1.88'	3.68'	N 52°41'52" E
C13	10.00'	6.20'	35°32'00"	3.20'	6.10'	S 48°43'37" W
C14	16.00'	11.03'	39°29'03"	5.74'	10.81'	S 09°13'06" W
C15	10.00'	2.58'	14°46'44"	1.30'	2.57'	N 03°00'03" W

A.C.S. MONUMENT "100-13-102" STANDARD A.C.S. BRASS TABLET (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.B. 1927)
 X=383,830.90
 Y=1,508,672.57
 CL=8087
 GROUND TO GND FACTOR=0.99994914
 DELTA ALPHA ANGLE=01°15'

A.C.S. MONUMENT "10157-1" STANDARD A.C.S. BRASS TABLET (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.B. 1927)
 X=388,804.43
 Y=1,508,188.29
 CL=5278.582
 GROUND TO GND FACTOR=0.99996232
 DELTA ALPHA ANGLE=01°15'



8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

January 3, 2007 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 11:20 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000614**
06DRB-01670 Major-Vacation of Pub
Right-of-Way
TIERRA WEST LLC agent(s) for LA CUEVA OESTE HOMEOWNER'S ASSOCIATION request(s) the above action(s) for **LA CUEVA OESTE UNIT 4**, zoned R-D residential and related uses zone, developing area, located on HOLLY AVE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 1 acre(s). [REF: 05DRB-00982] [Deferred from 1/3/07] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 1/31/07.**

3. **Project # 1003469**
06DRB-01668 Major-Vacation of Public Easements

TERRAMETRICS OF NEW MEXICO agent(s) for JEFFREY A. & LORRI M. ZUMWALT request(s) the above action(s) for all or a portion of Lot(s) 7-A1 P1, **OAKLAND HEIGHTS**, zoned RD (3DU/AC) located on OAK RIDGE COURT NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). [REF: 04DRB-00891, 06DRB-00882] (C-20) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1005271**
06DRB-01683 Major-Vacation of Public Easements

WALDO GRIEGO request(s) the above action(s) for all or a portion of Lot(s) 31, **WEAKS ADDITION**, zoned R-1, located on 47TH ST NW, between CENTRAL AVE NW and GLENDALE AVE NW. (K-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

5. **Project # 1005273**
06DRB-01692 Major-Vacation of Pub Right-of-Way

SURVEYS SOUTHWEST LTD agent(s) for MELLOY BROS ENTERPRISES INC request(s) the above action(s) for all or a portion of Block(s) 2, **PARIS ADDITION & Block(s) 4, ROMERO ADDITION**, zoned C-2, located on KINLEY AVE NW, between 5TH ST NW and 4TH ST NW containing approximately 1 acre(s). [*Deferred from 1/3/07*] (J-14) **DEFERRED AT THE AGENT'S REQUEST TO 2/21/07.**

6. **Project # 1005283**
06DRB-01716 Major-Vacation of Public Easements

PRECISION SURVEYS INC agent(s) for JOURNAL CENTER CORPORATION request(s) the above action(s) for all or a portion of Tract(s) 2A-2A-2B-1, **JOURNAL CENTER**, zoned IP industrial park zone, located on JEFFERSON ST NE, between HEADLINE BLVD NE and JOURNAL CENTER BLVD NE containing approximately 7 acre(s). (D-17) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

7. **Project # 1003673**
06DRB-01660 Major-Vacation of Public Easements

MOCK ASSOCIATES INC request(s) the above action(s) for all or a portion of Lot(s) 6P1, **OAKLAND SOUTH SUBDIVISION, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA ST NE and BARSTOW ST NE containing approximately 1 acre(s). *[Deferred from 12/20/06]* [REF: 05DRB-01212] *[Deferred from 12/20/06]* (C-20) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

8. **Project # 1002739**
06DRB-01621 Major-Vacation of Public Easements
06DRB-01622 Major-Vacation of Pub Right-of-Way
06DRB-01623 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for **ANDERSON HEIGHTS, UNIT 5A**, zoned RD/RLT, located on 118TH ST SW, between DENNIS CHAVES BLVD SW and COLOBEL AVE SW containing approximately 41 acre(s). [REF: 06DRB-01431] *[Deferred from 12/6/06 & 12/13/06 & 12/20/06]* *[Deferred from 1/3/07]* (P-8) **DEFERRED AT THE BOARD'S REQUEST TO 1/10/07.**

9. **Project # 1004075**
06DRB-01537 Major-Vacation of Pub
Right-of-Way
06DRB-01539 Major-Vacation of Public
Easements

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, 4B, 4C and 1 through 15, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25 SW, between BROADWAY BLVD SW and LOS PICAROS RD SW containing approximately 2,294 acre(s). [REF: 06DRB-00744] *[Deferred from 11/15/06 & 12/13/06 & 1/3/07]*. (R-16, Q-16, R-15, R-17, S-14, S-16, S-17, T-16) **DEFERRED AT THE AGENT'S REQUEST TO 1/17/07.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

10. **Project # 1004801**
06DRB-01748 Minor-SiteDev Plan
Subd/EPC
06DRB-01747 Minor-Prelim & Final Plat
Approval

TIERRA WEST LLC agent(s) for FRATERNAL ORDER OF POLICE, ALBUQUERQUE LODGE 1 request(s) the above action(s) for all or a portion of Tract(s) 1 & 2, **FRATERNAL ORDER OF POLICE ADDITION**, zoned IP, located on JEFFERSON ST NE, between the BEAR ARROYO and **OSUNA NE** containing approximately 10 acre(s). [REF: 06EPC-01443, 06EPC-01441] *[Deferred from 12/20/06]* [Stephanie Shumsky, EPC Case Planner] (E-17) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PARKING CALCS AND PLANNING FOR 3 COPIES. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/3/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1004354**
06DRB-01426 Minor- Final Plat Approval
- TIERRA WEST LLC agent(s) for MONAHITI LLC request(s) the above action(s) for all or a portion of Lot(s) 22-26, Block(s) 9, **ORIGINAL TOWNSITE OF WESTLAND**, zoned SU-2 for C-2, IP uses, located on 98TH ST NW, between CENTRAL AVE NW and VOLCANO RD NW containing approximately 2 acre(s). [REF: 05DRB-01229, 05EPC-01234] *[Final Plat Indef Deferred on 10/11/06 for SIA & deferred on 1/3/07 for agreement]* (K-9) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
12. **Project # 1005228**
06DRB-01767 Minor-Prelim&Final Plat Approval
- EDWIN G CHAVEZ agent(s) for MARIA F. T. LOPEZ & MARY FRANCIS MCDONALD request(s) the above action(s) for TRACTS 34-A, 34-B, 34-C & 34-D (to be known as **LANDS OF FRANCES AND THERESA**) zoned RA-2, located on SAN ISIDRO DR NW, between CANDELARIA RD NW and DON JUAN CT NW containing approximately 1 acre(s). (G-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO CHECK FOR OPENING OF 2 NEW ACCOUNTS AND CONSTRUCTION OF 2 ADDITIONAL WATER/SEWER SERVICE CONNECTIONS AND PLANNING FOR AGIS DXF FILE AND TO RECORD.**
13. **Project # 1003778**
06DRB-01744 Minor-Final Plat Approval
- SHAKEEL RIZVI agent(s) for CLEARBROOK INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 21 & 22, Block(s) 2, **SHAHEEN NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). *[Deferred from 12/20/06]* (C-19) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

14. **Project # 1005189**
06DRB-01772 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST, LTD agent(s) for GERARD SULLIVAN request(s) the above action(s) for all or a portion of Lot(s) 1-10, Block(s) 45, **PEREA ADDITION**, zoned SU-1/SU-2 FOR 0-1 FOR FOUND HOUSE AND RELIGIOUS ACT, located on MOUNTAIN RD NW, between 14TH ST NW and 13TH ST NW containing approximately 1 acre(s). [REF: Z-89-100] (J-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR EPC CONDITION ON SITE PLAN.**

15. **Project # 1005247**
06DRB-01605 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for GILBERT LOVATO, K-RAM INC request(s) the above action(s) for all or a portion of Lot(s) 30, Block(s) 10, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-1 & M-1, located on OAKLAND AVE NE, between SAN MATEO BLVD NE and EAGLE AVE NE containing approximately 1 acre(s). [*Indef deferred from 11/15/06 & Indef deferred 1/3/07*] (C-18) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

16. **Project # 1003257**
06DRB-01720 Minor-Subd Design (DPM)
Variance

MARK GOODWIN & ASSOCIATES, PA agent(s) for SALTILLO, LLC request(s) the above action(s) for **SALTILLO, UNIT 2**, zoned R-1, located on BLACK ARROYO RD NW, between MCMAHON BLVD NW and CALABACILLAS ARROYO containing approximately 172 acre(s). [*Deferred from 12/20/06*] (A-10) **A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. Project # 1003094
06DRB-01787 Minor-Sketch Plat or Plan

TREVESTON ELLIOTT WORKSHOP ARCHITECTS agent(s) for S G PROPERTIES, ROMERO-ROSE request(s) the above action(s) for all or a portion of Lot(s) 1-24, Block(s) 30, **NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE**, zoned SU-3 special center zone, located on 2ND ST SW, between SILVER AVE SW and LEAD AVE SW containing approximately 2 acre(s). [REF: 03DRB-01997] (L-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. Project # 1005185
06DRB-01786 Minor-Sketch Plat or Plan

HARRIS SURVEYING INC agent(s) for W INVESTMENTS request(s) the above action(s) for PARCEL 2-A-1, LAND OF EDMUND I RADY (to be known as **CIELO VISTA**) zoned C-2 community commercial zone, located on MONTGOMERY BLVD NE, between TRAMWAY BLVD NE and BERMUDA RD NE containing approximately 3 acre(s). (F-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. Project # 1005312
06DRB-01771 Minor-Sketch Plat or Plan

PATRICK SERDO request(s) the above action(s) for all or a portion of Lot(s) 1, Block(s) 54, **FOUR HILLS 17TH INSTALLMENT**, zoned R-1, located on WAGON TRAIN DR SE, between CASTELLANO SE and CATRON SE containing approximately 1 acre(s). [Deferred from 1/3/07] (M-23) **DEFERRED AT THE AGENT'S REQUEST TO 1/10/07.**

20. **Project # 1005302**
06DRB-01742 Minor-Sketch Plat or Plan

SURVEYS SOUTHWEST LTD agent(s) for WILLIAM W DORN SR. request(s) the above action(s) for all or a portion of Lot(s) 7, Block(s) 26, **EASTERN ADDITION**, zoned SU-2 LCR, located on LEWIS AVE SE, between EDITH ST SE and WALTER ST SE containing approximately 1 acre(s). *[Deferred from 12/20/06]* (L-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project # 1005236**
06DRB-01690 Minor-Sketch Plat or Plan

NANCI STAHLMAN request(s) the above action(s) for Lot(s) H & I OF PLAT TRACT A-D & F-K and Lot(s) 5-A, 6-A, 19-A & 20-A, **LA CUESTA SUBDIVISION**, zoned RT, located on JUAN TABO BLVD NE, between INTERSTATE 40 FRWY and PAISANO NE containing approximately 3 acre(s). *[Deferred from 12/20/06]* (K-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. Approval of the Development Review Board Minutes for December 20, 2006. **THE DRB MINUTES FOR DECEMBER 20, 2006 WERE APPROVED.**

ADJOURNED: 11:20 A.M.

ORIGINAL
Nur

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Submitted: 1/3/07
Date Site Plan Approved: 1/3/07
Date Preliminary Plat Approved: 01-03-07
Date Preliminary Plat Expires: 01-03-08
DRB Project No.: 1004801
DRB Application No.: 06 DRB-01747

Fraternal Order of Police Site Plan for Subdivision
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Fraternal Order of Police Addition, Tracts 1 and 2
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To
			COA Project # 6324.81			
		12' F-EOA	Left turn bay (incl. curb and gutter)	Jefferson Street	425' N. of Bear Canyon Arroyo N. PL	600' N. of Bear Canyon Arroyo N. PL
		12' F-EOA	Right turn bay (incl. curb and gutter)	Jefferson Street	200' N. of Bear Canyon Arroyo N. PL	340' N. of Bear Canyon Arroyo N. PL
		6'	Sidewalk	East side of Jefferson St	Bear Canyon Arroyo N. PL	660' N. of Bear Canyon Arroyo N. PL
			COA Project # 6324.82			
		36"	RCP Storm Drain Outfall	Bear Canyon Arroyo	Bear Canyon Arroyo Outfall near Jefferson	NE 60' to PL
		8"	Waterline Loop through Project	On-site in Public Water Line Easement	Jefferson - 55' N. of Bear Canyon Arroyo N. PL	Jefferson - 620' N. of Bear Canyon Arroyo N. PL
		8"	Sanitary Sewer	On-site in Public Sanitary Sewer Easement	Jefferson - 460' N. of Bear Canyon Arroyo N. PL	270' East of FOP West PL

Construction Certification		
Private		City Cnst Engineer
Inspector	P.E.	
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Crst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

Approval of Creditable Items:

Impact Fee Administrator Signature _____ Date _____

Approval of Creditable Items:

City User Dept. Signature _____ Date _____

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
 Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

Ronald R Bohannon
 NAME (print)

Tierra West LLC
 FIRM

[Signature]
 SIGNATURE - date

Andrew Amos 1/3/07
 DRB CHAIR - date

[Signature] 1-3-07
 TRANSPORTATION DEVELOPMENT - date

Roger L Green 1/3/07
 UTILITY DEVELOPMENT - date

Bradley L. Bisher 1/3/07
 CITY ENGINEER - date

Christina Sandoval 1/3/07
 PARKS & RECREATION - date

 AMAFCA - date

 - date

 - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

FIGURE 12
SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 8th day of Feb, 2007, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Fraternal Order of Police Lodge #1 ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] Not For Profit Corporation, whose address is 5900 Jefferson St. NE, Albuquerque, NM 87109 and whose telephone number is 505-345-2639, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [describe:] Fraternal Order of Police Addition, recorded on February 11, 19 77 in the records of the Bernalillo County Clerk at Book C11, Folio 173 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] Fraternal Order of Police Lodge #1 ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Fraternal Order of Police describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private Improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 5th day of December, 2008 ("Construction Completion Deadline"), at no cost to the City. The improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 632482.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board (DRB), unless the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for



the extension.

Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured's. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

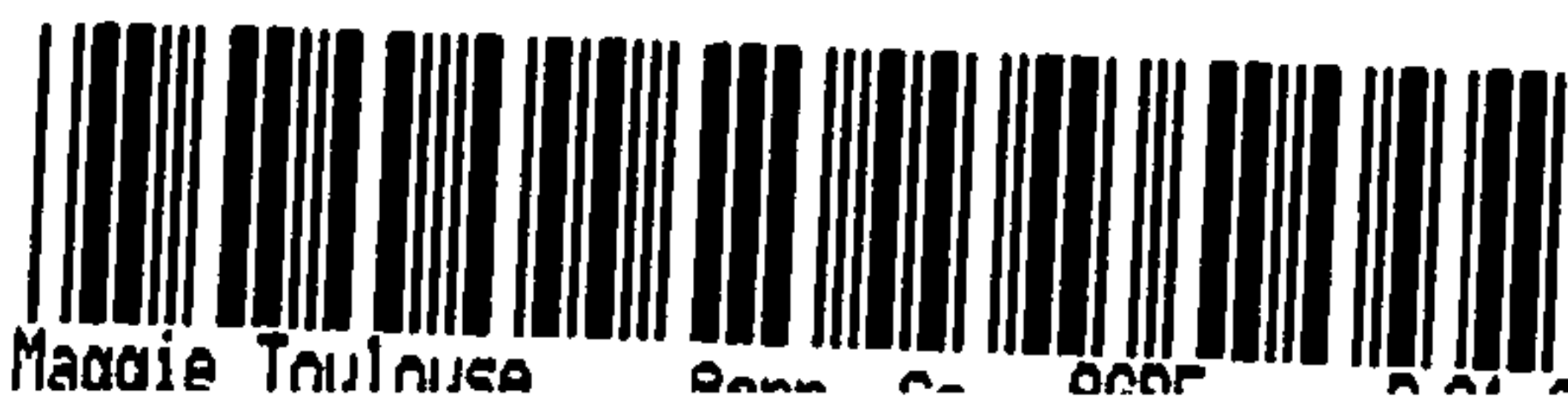
<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation & Sidewalk Fees</u>	<u>As required per City-approved estimate</u>
<u>Street Restoration Fees</u>	<u>As required per City-approved estimate (Fig. 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the Public Improvements.)

4. Surveying, Inspection and Testing. The improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the Public Improvements shall be performed by Precision Surveys, and construction surveying of the Private Improvements shall be performed by Precision Surveys. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection methods. Inspection of the construction of the Public Improvements shall be performed by Tierra West LLC, and inspection of the Private Improvements shall be performed by Tierra West LLC, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider shall ensure that the inspecting entity provides all inspection results, reports and related data to the City, which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection



performed by the City.

C. Field Testing. Field-testing of the construction of the Public Improvements shall be performed by Terracon, and field testing of the Private Improvements shall be performed by Terracon, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for the Public Works Construction. If any field-testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports, and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field-testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable and the Subdivider shall pay the City a reasonable fee therefore.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guarantee:"

Type of Financial Guaranty: Municipal Lien

Amount: \$ 382,735.80

Name of Financial Institution or Surety providing Guaranty: _____

Date City first able to call Guaranty: December 5, 2008

[Construction Completion Deadline]: December 5, 2008

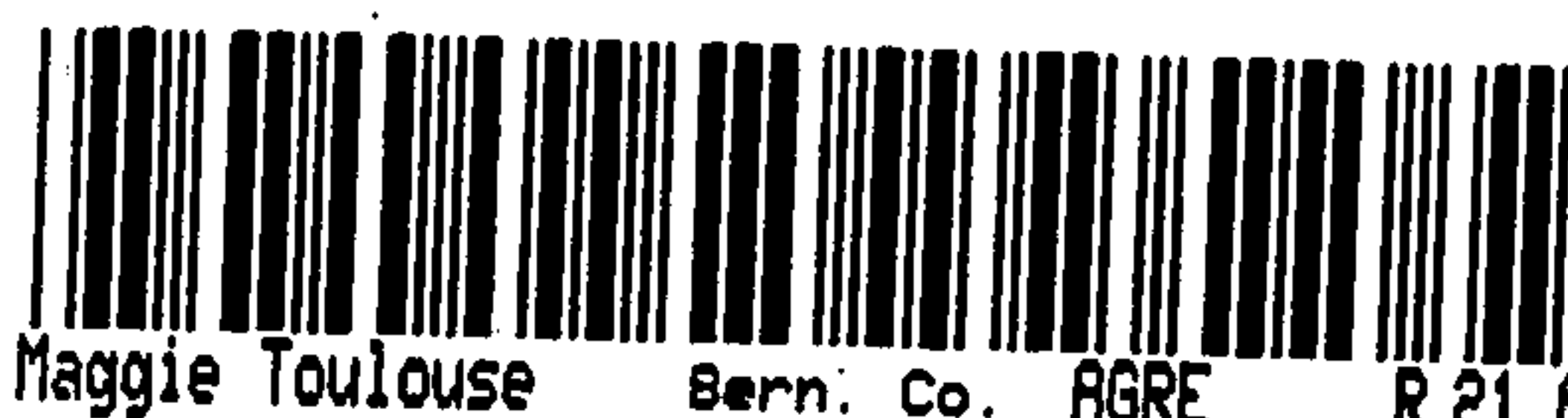
If Guarantee other than a Bond, last day City able to call on Guaranty is:

February 5, 2009

Additional information: _____

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the Public Improvements and a Certificate of Completion for the Private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.



8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the Public Improvements are constructed, the Subdivider will convey to the city all real and personal property rights which the City deems reasonably necessary, and all Public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the Public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guaranty other than a loan reserve letter has been provided, the completed Improvements must be freestanding, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements, which have been, completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

- (1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;
- (2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.
- (3) Conveyance of real and personal property rights which meet the requirements of Section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed Public Improvements and a Certificate of Partial Completion for the completed Private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of



any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety, which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has posted a suitable financial guaranty and entered into a Subdivision Improvements Agreement with the City. Thereafter, when the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to the Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

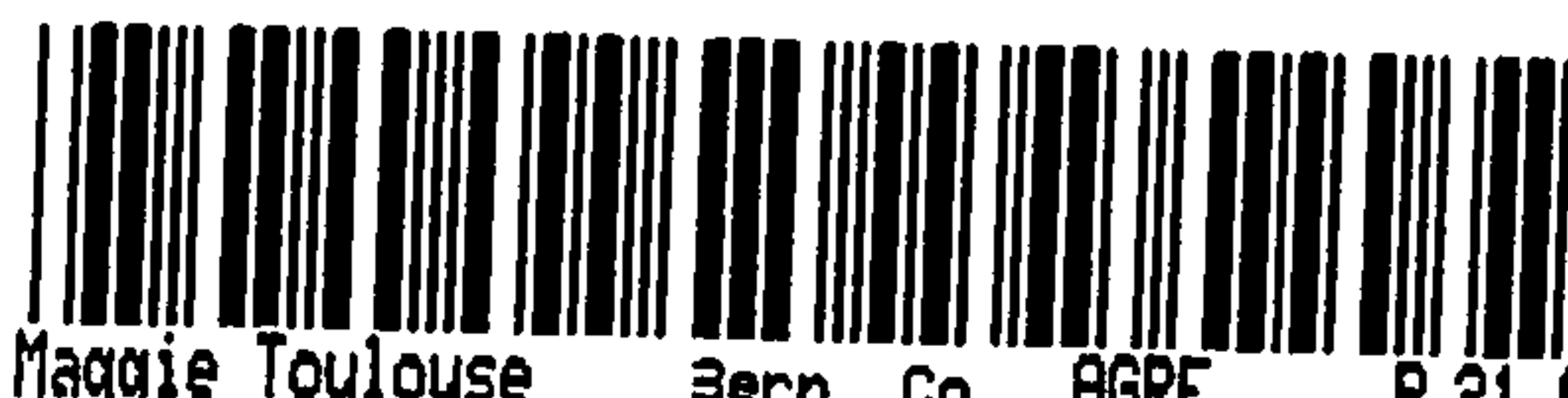
16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding



unless initialed by the Subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.

Executed on the date stated in the first paragraph of this Agreement.

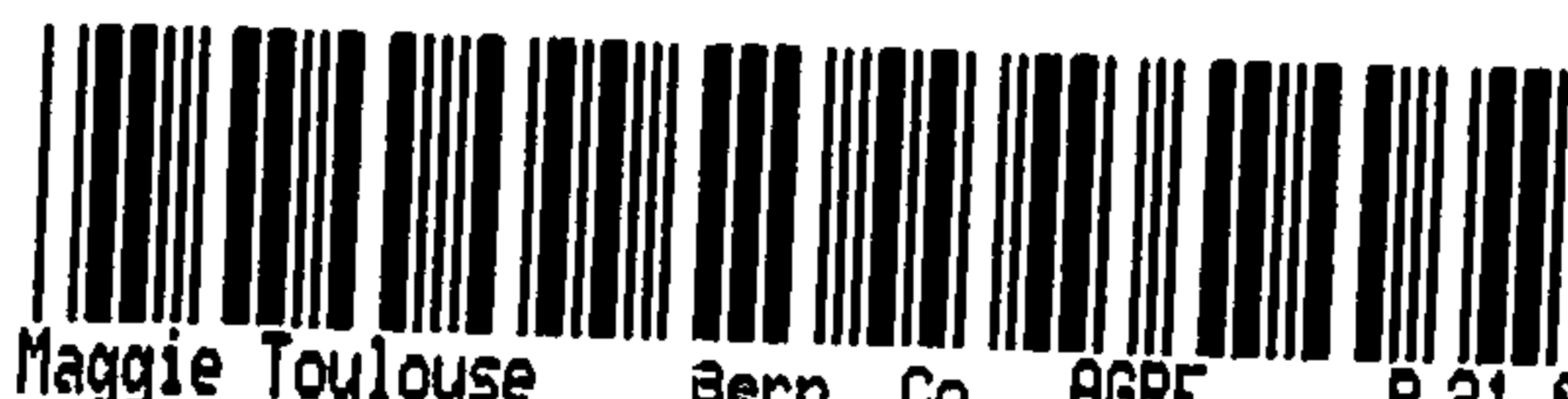
SUBDIVIDER:

CITY OF ALBUQUERQUE

By [Signature]: Tobias Gallegos
Name: Tobias Gallegos
Title: President
Dated: 2/5/07

Approved by: [Signature]
City Engineer
Dated: 2-08-07

WJ
2-6-07



SUBDIVIDER'S NOTARY

STATE OF New Mexico)
) ss.
COUNTY OF Bernalillo)

This instrument was acknowledged before me on 5th day of February, 2007
by [name(s) of person(s):] Tobias Gallegos, [title or capacity, for instance, "President"
or "Owner":] President of [Subdivider:] Fraternal Order of Police Lodge #1.

Keli D. Krueger
Notary Public

My Commission Expires:

March 6, 2010



OFFICIAL SEAL
KELI D. KRUEGER
NOTARY PUBLIC - STATE OF NEW MEXICO
My Commission Expires: 3/6/2010

CITY'S NOTARY

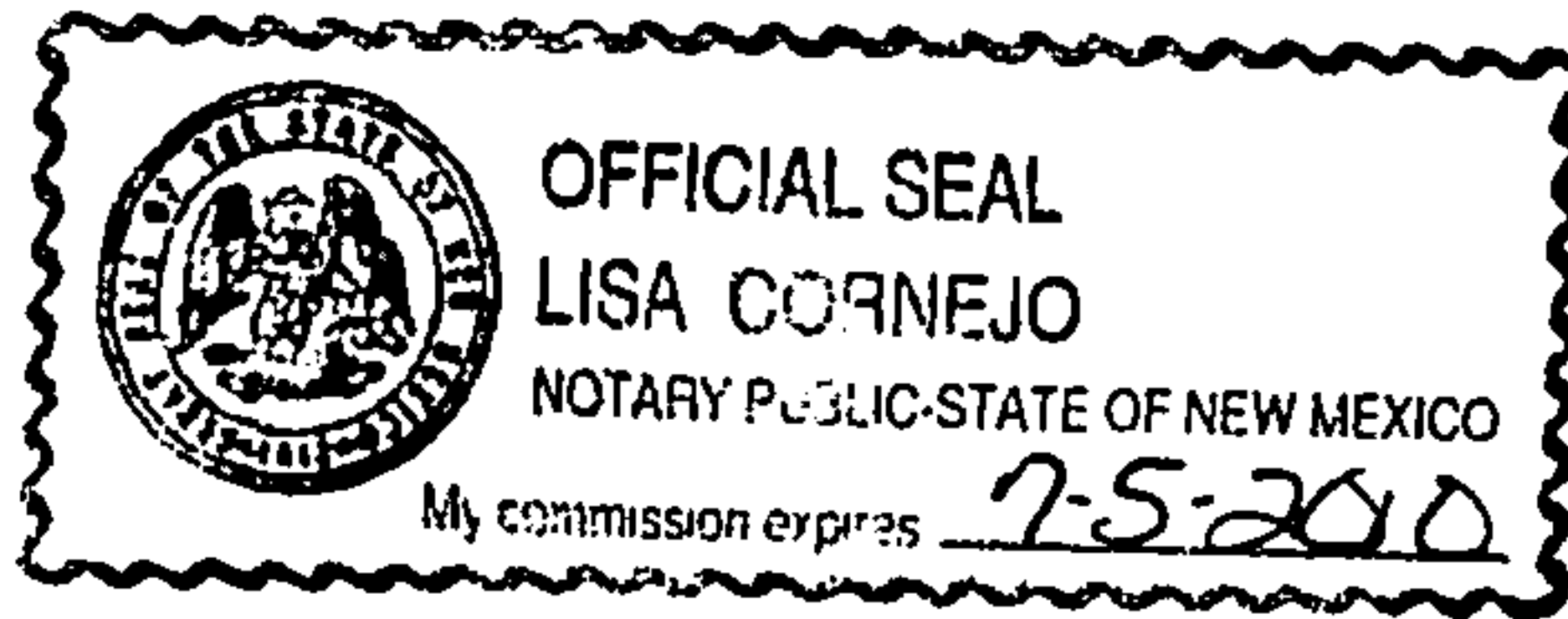
STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 8 day of February, 2007 by
Richard Duarte, City Engineer, of the City of Albuquerque, a municipal corporation, on
behalf of said corporation.

Lisa Cornejo
Notary Public

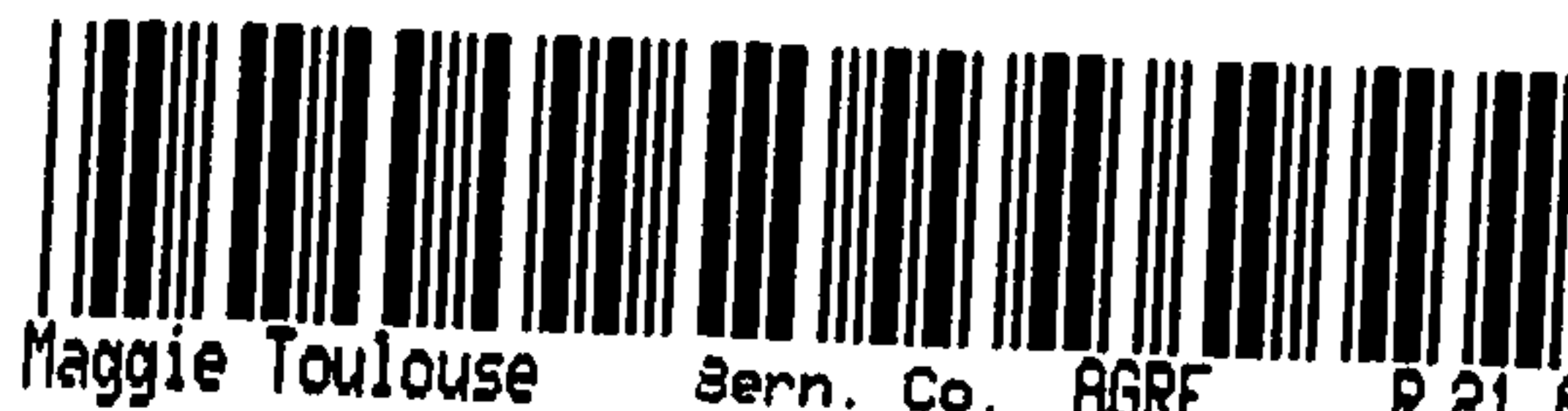
My Commission Expires:

July 5, 2010



OFFICIAL SEAL
LISA CORNEJO
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires 7-5-2010

EXHIBIT A AND POWER OF ATTORNEY ATTACHED



CLAIM AND NOTICE OF LIEN

TITLE OF PROJECT: Fraternal Order of Police
SUBDIVIDER: Fraternal Order of Police Lodge # 1
CITY PROJECT NO.: 632482

The City of Albuquerque ("City") claims a lien ("City Lien") on the real property described below for 125% of the cost of construction of all infrastructure improvements ("Improvements") required in connection with the development of (name of subdivision) Fraternal Order of Police Addition, said Improvements being more particularly described in that certain Subdivision Improvements Agreement ("Agreement") between the City of Albuquerque and (name of owner and/or subdivider) Fraternal Order of Police Lodge # 1, and recorded in the Office of the Clerk of Bernalillo County, New Mexico in Book _____, at page _____, on _____, 20____, as Document No. _____. This City Lien is established pursuant to Article 14-14-3 of the Revised Ordinances of Albuquerque, New Mexico, 1994, as amended and is claimed as assurance for the satisfactory completion of construction of the Improvements by the construction completion deadline as required by the Agreement.

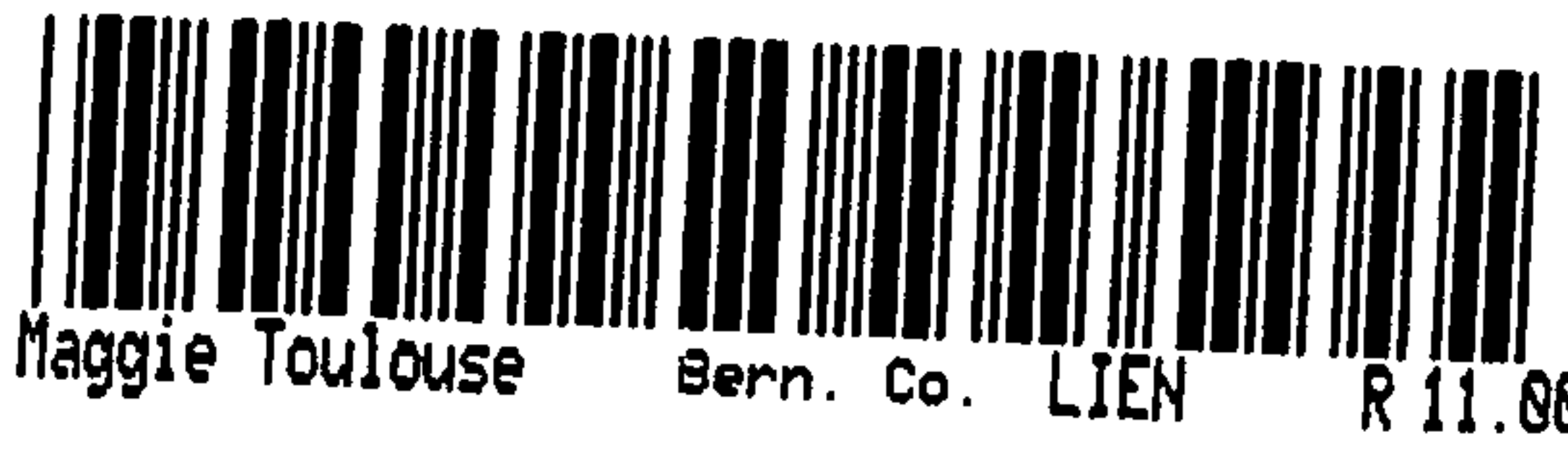
OWNER: Fraternal Order of Police Lodge # 1

ADDRESS OF OWNER: 5900 Jefferson St. NE, Albuquerque, NM 87109

LEGAL DESCRIPTION: Lots 1-A, 1-B, 2-A & 2-B, Fraternal Order of Police Addition

RECORDING INFORMATION: Recorded in the Office of the Clerk of Bernalillo County, New Mexico in Book Pending, at page _____, on _____, 20____, as Document No. _____.

FORMER LEGAL DESCRIPTION: Lots 1 & 2, Fraternal Order of Police Addition



2007024022
6666989
Page: 1 of 2
02/13/2007 03:09P
Bk-A132 Pn-2070

RECORDING INFORMATION: Recorded in the Office of the Clerk of Bernalillo County, New Mexico in Book C11, at page 173, on February 11, 1977, as Document No. 1977007560.

AMOUNT: \$ 382,735.80, plus any costs incurred for a title search and update, which amount shall bear interest at the rate of twelve percent (12%) per year from the date of filing of this Claim and Notice of Lien.

PERIOD OF TIME COVERED: Expiration of construction completion deadline February 5, 2009. Notwithstanding the expiration date for the construction completion deadline, the City may record this Claim and Notice of Lien at anytime the City determines that any alternative Financial Guaranty does not provide adequate assurance that construction of the Improvements will occur.

WITNESS my hand and seal this 8th day of February, 2007

Mildred Santillanes
City Clerk
City of Albuquerque
Bernalillo County, New Me

APPROVED:

Richard Dourte
Richard Dourte, City Engineer

Date: 2-08-07

12/07

2-6-07

STATE OF NEW MEXICO)
)ss
COUNTY OF BERNALILLO)

On this the 8th day of February, 2007, before me appeared Richard Dourte to me personally known, who being by me duly sworn or affirmed did say that she is the City Clerk of the City of Albuquerque, County of Bernalillo, State of New Mexico, and that said instrument was signed and sealed in behalf of said City of Albuquerque by authority of its City Council and the laws of the State of New Mexico and of said City of Albuquerque, and the County Clerk acknowledges said instrument to be the free act and Claim and Notice of Lien of the City of Albuquerque.

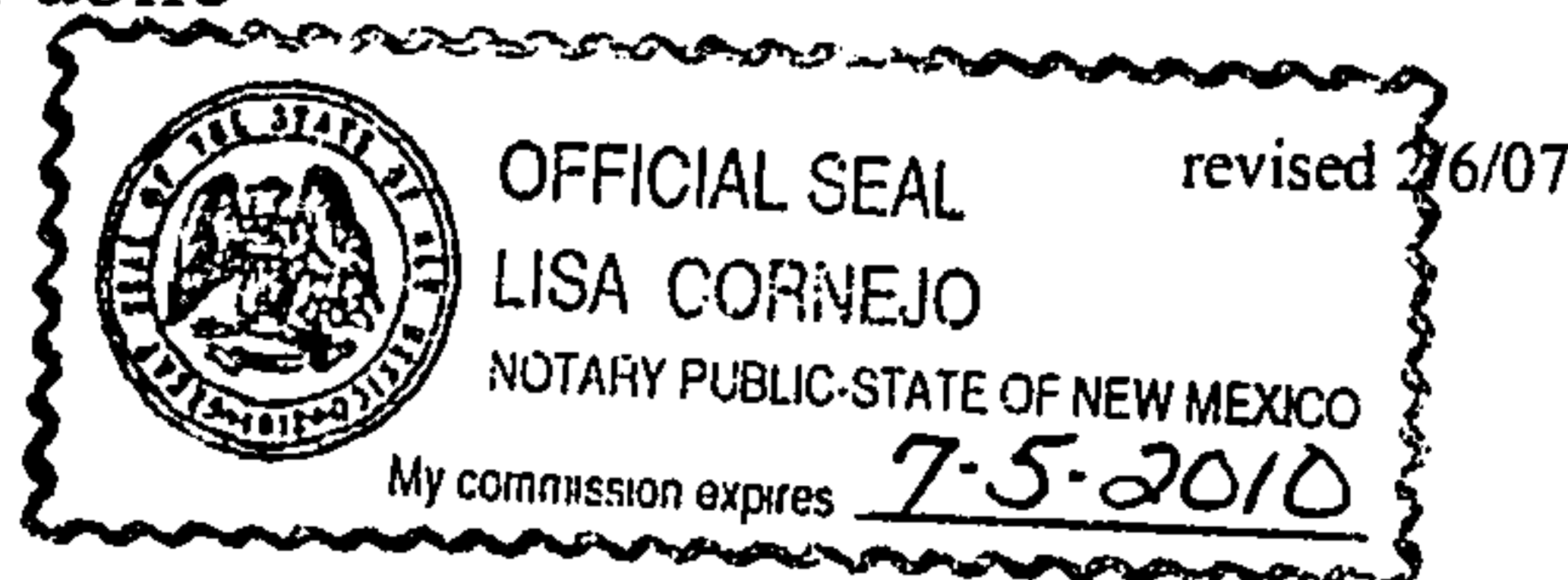
(SEAL)

My Commission Expires:

July 5, 2010

Lisa Cornejo
Notary Public

X:\RELU\SHARE\AGREKJC\claim notice of lien figure 30.doc



2007024022
6606969
Page: 2 of 2
02/13/2007 03:09P
Bk-A132 Pg-3979

ORIGINAL
Nur

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Submitted: 1/3/07
Date Site Plan Approved: 1/3/07
Date Preliminary Plat Approved: 01-03-07
Date Preliminary Plat Expires: 01-03-08
DRB Project No.: 1004801
DRB Application No.: 02 DRB - 01747

Fraternal Order of Police Site Plan for Subdivision
~~PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN~~

Fraternal Order of Police Addition, Tracts 1 and 2
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

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Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
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			COA Project # 6324.81						
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		12' F-EOA	Right turn bay (incl. curb and gutter)	Jefferson Street	200' N. of Bear Canyon Arroyo N. PL	340' N. of Bear Canyon Arroyo N. PL	/	/	/
		6'	Sidewalk	East side of Jefferson St	Bear Canyon Arroyo N. PL	660' N. of Bear Canyon Arroyo N. PL	/	/	/
			COA Project # 6324.82						
		36"	RCP Storm Drain Outfall	Bear Canyon Arroyo	Bear Canyon Arroyo Outfall near Jefferson	NE 60' to PL	/	/	/
		8"	Waterline Loop through Project	On-site in Public Water Line Easement	Jefferson - 55' N. of Bear Canyon Arroyo N. PL	Jefferson - 620' N. of Bear Canyon Arroyo N. PL	/	/	/
		8"	Sanitary Sewer	On-site in Public Sanitary Sewer Easement	Jefferson - 460' N. of Bear Canyon Arroyo N. PL	270' East of FOP West PL	/	/	/
							/	/	/
							/	/	/

FINANCIAL GUARANTY AMOUNT

01/19/2007

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

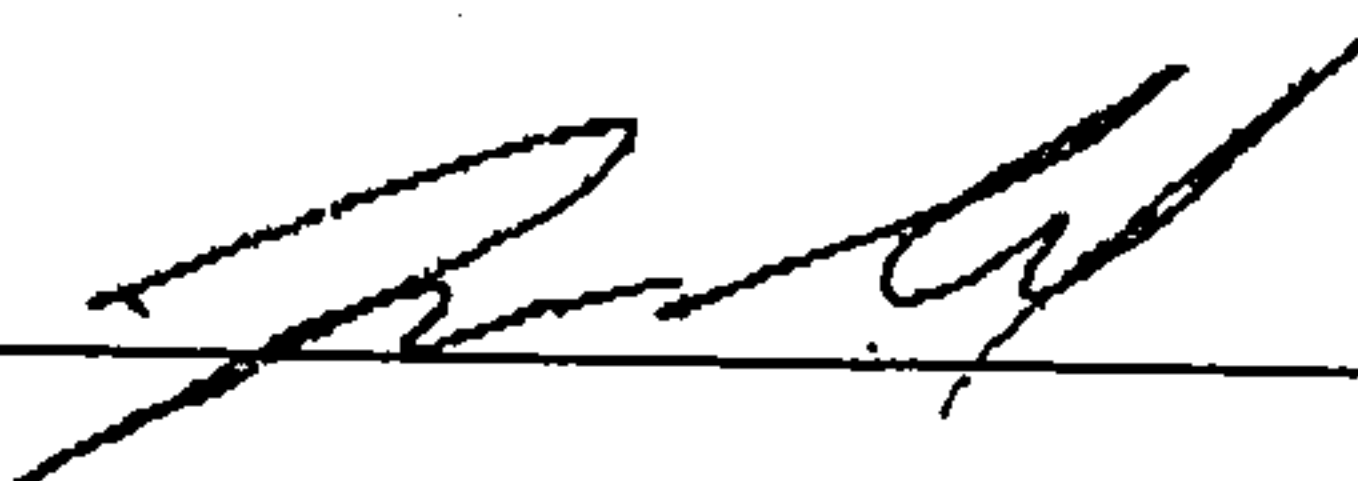
Project ID #: 632482, Fraternal Order of Police On-site, Phase/Unit #: 1

Requested By: Marcella Chavez, PE w/ Tierra West LLC

Approved estimate amount:		\$239,822.79
Contingency Amount:	10.00%	\$23,982.28
Subtotal:		\$263,805.07
NMGRT	6.875%	\$18,136.60
Subtotal:		\$281,941.67
Engineering Fee	6.60%	\$18,608.15
Testing Fee	2.00%	\$5,638.83
Subtotal:		\$306,188.64
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$382,735.80</u>

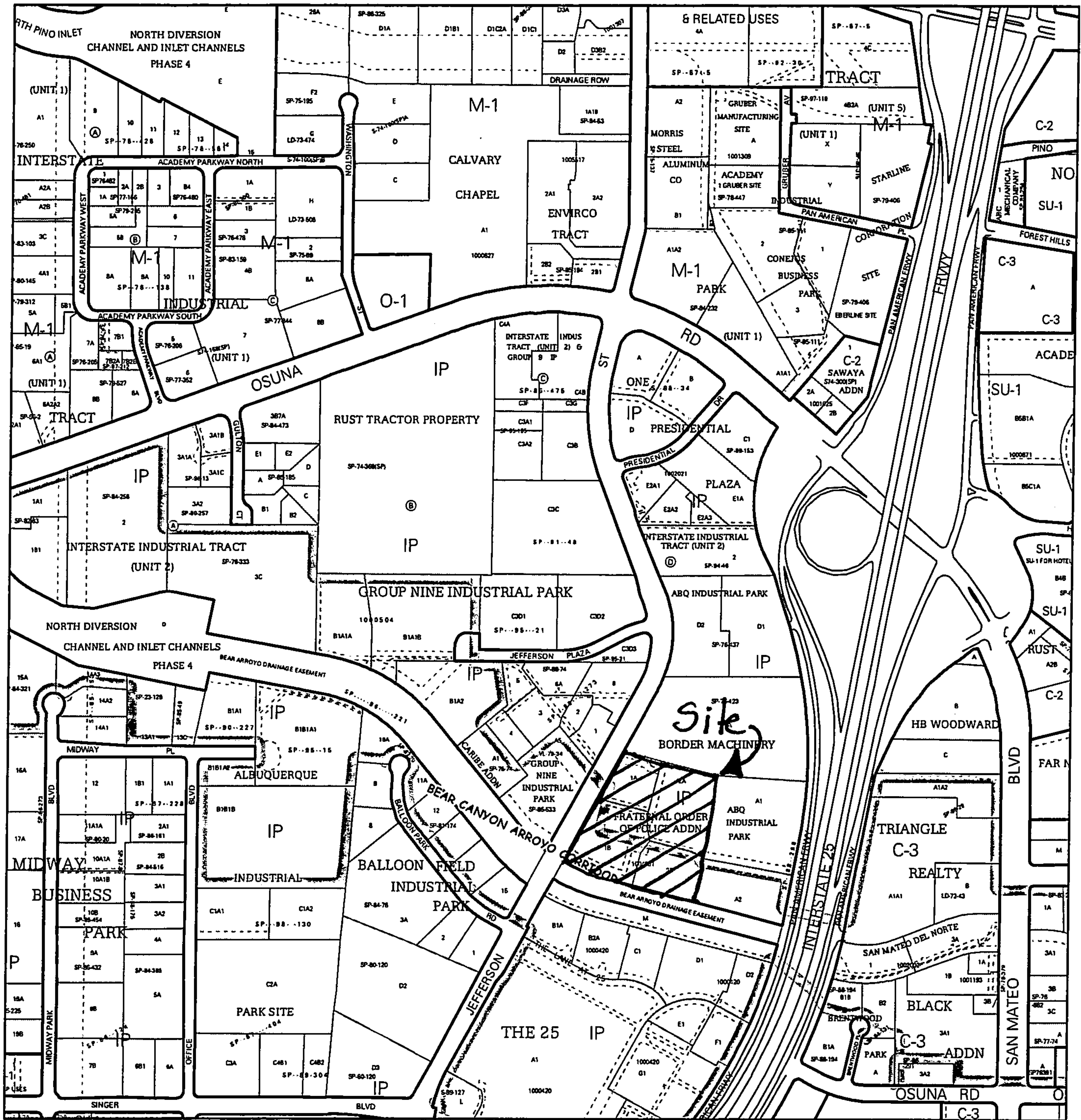
APPROVAL:

DATE:



01-19-2007

Notes: 10% contingency, plans not approved.



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 6/13/2008

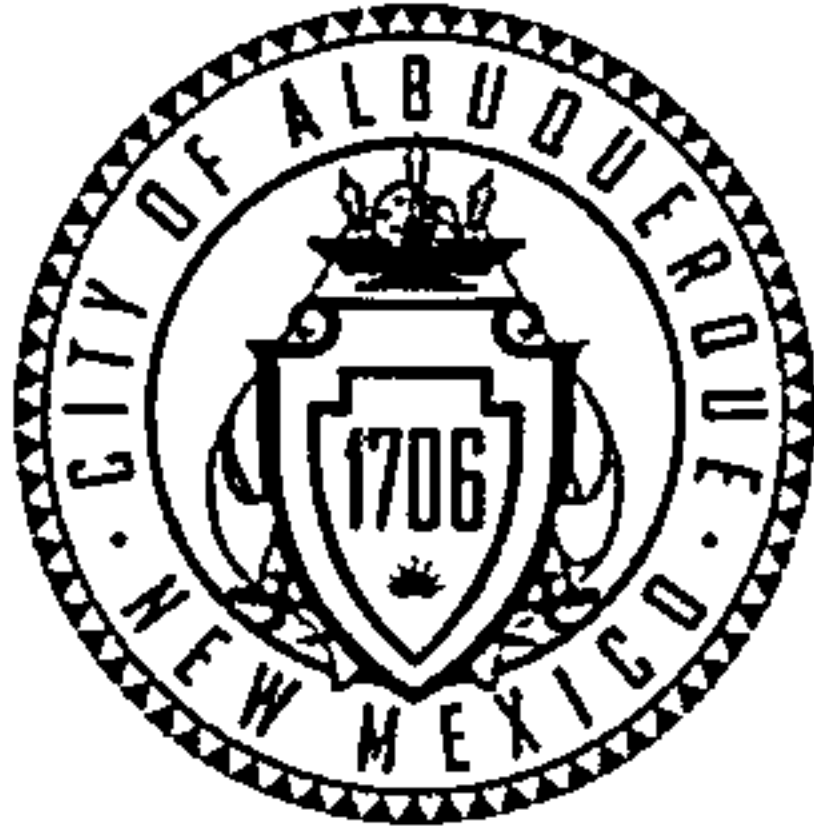
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
E-17-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

October 27, 2008

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on **October 27, 2008:**

Contact Name: KELI KRUEGER

Company or Agency: TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE/87109
PHONE: 858-3100/FAX: 858-1118
E-mail: kkrueger@tierrawestllc.com

contacted the Office of Neighborhood Coordination requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **LOTS 1-A, 1-B, 2-A AND 2-B, FRATERNAL ORDER OF POLICE ADDITION, LOCATED ON JEFFERSON STREET NE BETWEEN THE BEAR ARROYO** zone map E-17.

Our records indicate that as of October 27, 2008, there were no Neighborhood and/or Homeowner Associations in this area.

If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
PLANNING DEPARTMENT

planningnrnaform(01/22/08)

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant (*if there are associations*). A copy must be submitted with application packet -OR-
- [X] **The ONC "Official" Letter (*if there are no associations*). A copy must be submitted with application packet.**
- [] Copies of Letters to Neighborhood and/or Homeowners Associations (*if there are associations*). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood and/or Homeowners Associations (*if there are associations*). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **10/27/08** Time Entered: **8:50 a.m.** ONC Rep. Initials: **SW**

SIGN POSTING REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property, which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from Nov 11th, 2008 to Nov. 26, 2008

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Heidi D. Krueger, 10/30/08
(Applicant or Agent) (Date)

I issued 1 signs for this application, 10/30/08 Sandy Handley
(Date) (Staff Member)

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME _____

AGENT _____

ADDRESS _____

PROJECT & APP # _____

PROJECT NAME _____

Tierra West LLC
1004801 / 06DRB 01747
Fraternity Order of Police

\$ _____ 441032/3424000 Conflict Management Fee

\$ 50⁰⁰ 441006/4983000 DRB Actions *Deferred*

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 50⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

TIERRA WEST LLC
8509 JEFFERSON NE
ALBUQUERQUE, NM 87113
PH (505) 858-3100

2570
95-877/1070

DATE 2/15/07

PAY TO THE ORDER OF

City of Albuquerque

\$ 50.⁰⁰

Fifty DOLLARS

City of Albuquerque
Treasury Division

HIGH DESERT STATE BANK
Member FDIC
8110 Ventura NE
Albuquerque, NM 87122

FOR 25016 FOP Referral Fee

#505 ⑈002570⑈ ⑈107006677⑈

2/15/07 3:17
RECEIPT 00071317
ACCT #
2018130000
TRCLUB

CHK	150.00
CHANGE	150.00
	10.00

Thank You

Current DRC
Project Number:

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 9-20-06)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Submitted: 1/3/07
Date Site Plan Approved: 1/3/07
Date Preliminary Plat Approved: 01-03-07
Date Preliminary Plat Expires: 01-03-08
DRB Project No.: 1004801
DRB Application No.: 06 DRB-01747

ORIGINAL

~~Fraternal Order of Police Site Plan for Subdivision
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN~~

~~Fraternal Order of Police Addition, Tracts 1 and 2
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION~~

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
COA Project # 6324.81									
<input type="text"/>	<input type="text"/>	12' F-EOA	Left turn bay (Incl. curb and gutter)	Jefferson Street	425' N. of Bear Canyon Arroyo N. PL	600' N. of Bear Canyon Arroyo N. PL	/	/	/
<input type="text"/>	<input type="text"/>	12' F-EOA	Right turn bay (Incl. curb and gutter)	Jefferson Street	200' N. of Bear Canyon Arroyo N. PL	340' N. of Bear Canyon Arroyo N. PL	/	/	/
<input type="text"/>	<input type="text"/>	6'	Sidewalk	East side of Jefferson St	Bear Canyon Arroyo N. PL	660' N. of Bear Canyon Arroyo N. PL	/	/	/
COA Project # 6324.82									
<input type="text"/>	<input type="text"/>	36"	RCP Storm Drain Outfall	Bear Canyon Arroyo	Bear Canyon Arroyo Outfall near Jefferson	NE 60' to PL	/	/	/
<input type="text"/>	<input type="text"/>	8"	Waterline Loop through Project	On-site in Public Water Line Easement	Jefferson - 55' N. of Bear Canyon Arroyo N. PL	Jefferson - 620' N. of Bear Canyon Arroyo N. PL	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewer	On-site in Public Sanitary Sewer Easement	Jefferson - 460' N. of Bear Canyon Arroyo N. PL	270' East of FOP West PL	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Ronald P. Bohannon
NAME (print)

Andrew Amos 1/3/07
DRB CHAIR - date

Christina Bandoral 1/3/07
PARKS & RECREATION - date

Tieria West LLC
FIRM

[Signature] 1-3-07
TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

[Signature]
SIGNATURE - date

Roger L. [Signature] 4/3/07
UTILITY DEVELOPMENT - date

- date

Bradley L. Blythe 1/3/07
CITY ENGINEER - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



"Keli Krueger"
<kkrueger@tierrawestllc.com>

12/20/2006 08:32 AM

To "Sheran Matson" <smatson@cabq.gov>, <csenova@cabq.gov>, <bbbingham@cabq.gov>
cc "Ron Bohannon" <rrb@tierrawestllc.com>, "Marcella Chavez" <mchavez@tierrawestllc.com>, "Marco Ortiz" <MarcoOrtiz@tierrawestllc.com>

bcc

Subject Fraternal Order of Police DRB # 1004801

Good Morning Sheran -

We would like to defer this project until the January 3, 2007.

Thank you

Keli D. Krueger
Tierra West LLC
5571 Midway Park Place NE
Albuquerque, NM 87109
Phone - (505)858-3100
Fax - (505)858-1118
kkrueger@tierrawestllc.com

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Fraternal Order of Police Albuquerque Lodge 1 PHONE: 505-345-2639
 ADDRESS: 5900 Jefferson St. NE FAX: 505-345-4724
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: SAME
 AGENT (if any): Tierra West LLC PHONE: 505-858-3100
 ADDRESS: 5571 Midway Park Place NE FAX: 505-858-1118
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____

DESCRIPTION OF REQUEST: DRB Final Sign Off of Site Plan for Subdivision, Preliminary/Final Plat Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tracts 1 & 2 Block: _____ Unit: _____
 Subdiv. / Addn. Fraternal Order of Police Addition
 Current Zoning: IP Proposed zoning: SAME
 Zone Atlas page(s): E-17 No. of existing lots: 2 No. of proposed lots: 4
 Total area of site (acres): 9.73 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 101706232710440112,101706234213640107 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: Jefferson Street NE
 Between: the Bear Arroyo and Osuna NE

CASE HISTORY: Stephanie Shumsky EPC Case Planner
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): SP-77-71/276-130
CZ-76-47/ZA-86-116/Z70-61/SP77-71/06EPC-01443,01441/ # 1004801

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE [Signature] DATE 12/5/06
 (Print) Ronald B. Bohannon, PE Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>06 DRB - 01747</u>	<u>P/F</u>	<u>5(3)</u>	<u>\$ 425.⁰⁰</u>
<u>06 DRB - 01748</u>	<u>SPS</u>	<u>7(3)</u>	<u>\$ 0</u>
_____	<u>CMF</u>	_____	<u>\$ 20.⁰⁰</u>
_____	_____	_____	<u>\$ _____</u>
_____	_____	_____	<u>\$ _____</u>
_____	_____	_____	<u>\$ _____</u>
Hearing date <u>12/20/06</u>	_____	_____	Total <u>\$ 445.⁰⁰</u>

[Signature]

12-20-06

Project # **1004801**

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (**verify with DRB Engineer**) **NO INTERNAL ROUTING**

panel

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon, PE



Applicant name (print)

12/5/06
Applicant signature / date



Form revised 8/04, 1/05, 10/05 & NOV 06

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
06DKB - - 01747

Andrew Garcia 12-12-06
Planner signature / date
Project # 1004801

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon, PE



Applicant name (print)

12/5/06
Applicant signature / date

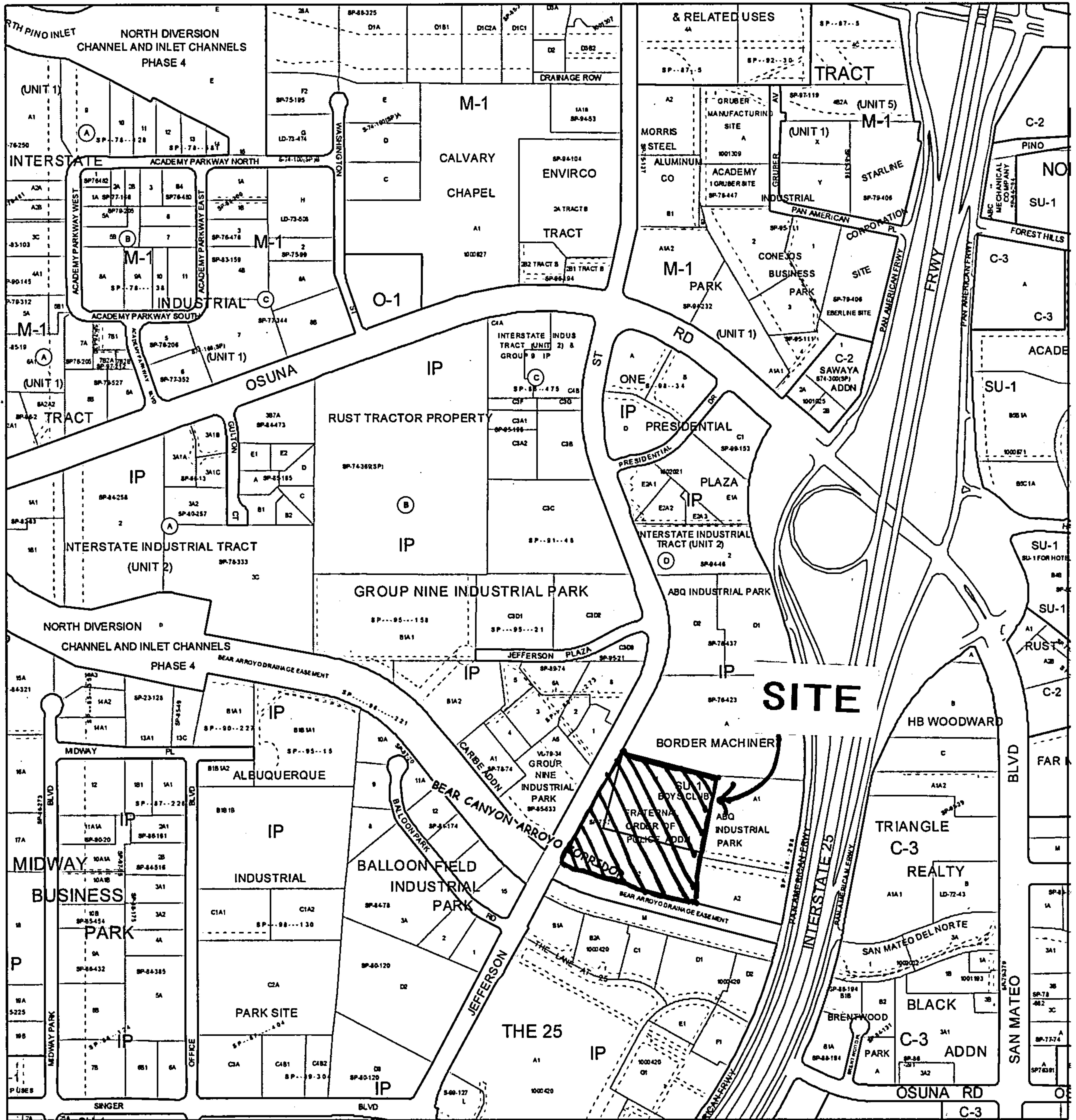


Form revised JUNE 2005

- | | |
|---|---|
| <input checked="" type="checkbox"/> Checklists complete | Application case numbers |
| <input checked="" type="checkbox"/> Fees collected | <u>06DRB</u> - <u> </u> - <u>01748</u> |
| <input checked="" type="checkbox"/> Case #s assigned | <u> </u> - <u> </u> - <u> </u> |
| <input checked="" type="checkbox"/> Related #s listed | <u> </u> - <u> </u> - <u> </u> |

Planner signature / date

Project # 1004801



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 5/1/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
E-17-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

December 12, 2006

Mr. Sheran Matson
Planning Manager, DRB Chair
City of Albuquerque
Plaza Del Sol
600 Second Street NW
Albuquerque, NM 87102

**RE: Fraternal Order of Police Albuquerque Lodge 1
5900 Jefferson Street NE
City Project #: 1004801
EPC #: 06EPC-01441 – Site Development Plan – Subdivision
EPC #: 06EPC-01443 – Zone Map Amendment**

Dear Ms. Matson:

In response to your letter of Official Notice of Decision dated November 17, 2006 regarding the Zone Map Amendment from SU-1 for Boys Club to IP Uses for Tract 1, Fraternal Order of Police Addition, our response to your condition follows.

1. Replat of the subject site shall be a concurrent DRB action with final sign-off of the accompanying Site Development Plan for Subdivision (06EPC-01441).
The DRB submittal for replat and the Site Development Plan for Subdivision will be concurrent.

In response to your letter of Official Notice of Decision dated November 17, 2006 regarding the Site Development Plan for Subdivision for Tracts 1 and 2, Fraternal Order of Police Addition, Zone IP, our response to your conditions follow.

1. The EPC delegates final sign-off authority of this Site Development Plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the Site Plan since the EPC hearing, including how the Site Plan has been modified to meet each of the EPC conditions. Unauthorized changes to this Site Plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
This letter specifies each of the modifications to the plans to meet the EPC conditions.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
Tierra West met with the staff planner on Monday, December 4, 2006 to ensure all the conditions of the approval were met.

3. The design criteria for high water use turf up to 25% of the landscaped area shall be revised to allow low water use turf up to 20% of the landscaped area. The water conservation methods must be specified more clearly and shall be required.
The design criteria were revised to allow low water use turf up to 20% of the landscaped area. The water conservation methods were also specified.
4. Delete the first sentence of General Note #3 on Sheet 1 of 4.
The first sentence of General Note #3 on Sheet 1 of 4 was deleted.
5. Site Signage Note B (3rd asterisk) on the Design Criteria Sheet must be clarified to reflect the accurate number of proposed monument signs.
The Design Criteria Sheet was clarified to reflect the accurate number of proposed monument signs.
6. The applicant shall provide comprehensive details about the wall design, colors, and/or materials on the Site Plan.
A wall detail did not fit on the Site Plan so an additional detail sheet was added to the plan set and includes details about the wall design, colors, and/or materials.
7. A note in the design criteria shall be added which states that parking stalls shall not be located in areas that would require drivers to back out into the primary drive aisles.
A note was added in the design criteria which states "All parking spaces shall be located to avoid drivers having to back into major drive aisles."
8. The design criteria shall specify the amount of public outdoor space provided per lot. In addition, the specification shall state how the amount provided exceeds Zoning Code requirements.
The plans were revised to include the amount of public outdoor space provided per lot and state the amount provided that exceeds the zoning code requirements in the General Criteria section.
9. The architectural design theme shall be clarified to include more specific information about the thematic elements, overall colors, materials, development purpose, etc.
Further communications between the architect, Dekker/Perich/Sabatini, and the staff planner determined the architectural design theme to be adequate as currently exists on the plans (see attached correspondence).
10. Green building techniques shall be specified in the design criteria.
Green building techniques have been specified in the Design Criteria.
11. The design criteria shall specify materials, colors, maximum sign face area, and maximum height of all building mounted and free standing signs. The maximum signage area shall not exceed 15% of all façade.
The design criteria has been revised to specify materials, colors, maximum sign face area, and maximum height of all building mounted and free-standing signs. A note was added that states that signage shall not exceed 15% of façade area.
12. The Design Criteria Sheet shall be relabeled Sheet 4 of 4.
The Design Criteria Sheet was relabeled as 4 of 5. One sheet was added to the plan set for details.
13. In order to ensure compliance with the Bear Canyon Arroyo Corridor Plan:
 - a. Unless substantial grading is necessary to accommodate trails prior to beginning construction on private land adjacent to the corridor, the property owner shall construct a temporary barricade at the site boundary adjacent to the corridor right-of-way or easement edge to protect it from heavy equipment and to preserve groundcover.
A SWPPP will be prepared prior to grading and will include a silt fence around the site to protect the adjacent land from heavy equipment and to preserve the groundcover.

b. Site Development Plans shall indicate all measures which will be undertaken during construction to comply with this provision. The property owner shall mitigate any damage that does occur by reseeding. The property owner shall maintain the revegetated area for two years according to a maintenance plan approved by the City Parks and Recreation Department or the City Open Space Division depending upon location.

A SWPPP will be prepared prior to grading and will include reseeding and damage during reseeding. The plan will call for the owner to maintain the revegetated area for two years.

c. A 20-foot minimum landscape set back adjacent to the arroyo as required.
The plans were revised to include a 20-foot landscape set-back adjacent to the arroyo.

d. Buildings and parking at lots along the south border of the subject property shall be readjusted so that a patio or similar amenity faces toward the arroyo. This patio may be included in the landscape set back.

The plans were revised to include two patio areas in the landscape set-backs adjacent to the arroyo.

14. Conditions from the City Engineer, Municipal Development, Water Authority and NMDOT:

a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.

All requirements of previous actions taken by EPC and/or DRB have been completed and/or provided for.

b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed Site Development Plan for Subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include, but are not limited to, sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).

The plans with the improvements to the adjacent transportation facilities have been submitted to DRC.

c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
Improvements identified in the TIS are included in the plans submitted to DRC and on the Infrastructure List.

d. Cross access to all tracts will be provided per note on Site Plan for Subdivision and future plat.
A public access easement is called out on both the Site Plan for Subdivision and the plat.

e. 23' private access and utility easement to be 24' minimum.
The plans have been revised to show the private access and utility easement to be 24' minimum.

f. Site drives shall be designed and located per TIS. Left turn and right turn deceleration lanes to be designed and provided per TIS and DPM.
The site drives are designed and located per the TIS. The left turn and right turn deceleration lanes are designed and provided per TIS and DPM.

g. Site Plan shall comply and be designed per DPM Standards.
The Site Plan complies with and is designed per DPM Standards.

15. Conditions from the City Forester:

a. Street trees shall be planted between the street curb and the sidewalk. The sidewalk shall be relocated to the edge of parking lot instead of the edge of street.

The sidewalk was relocated to the edge of the parking lot on the plans to allow for street trees.

b. The parking area shall be broken up with parking lot trees (1 tree/10 spaces minimum). **This note was added to the Design Criteria under the Landscape Design Criteria section.**

c. The landscaping shall be watered adequately to establish healthy growth. The irrigation notes shall state who is responsible for setting the timing of the irrigation system.

This note was added to the Design Criteria under the Landscape Design Criteria section.

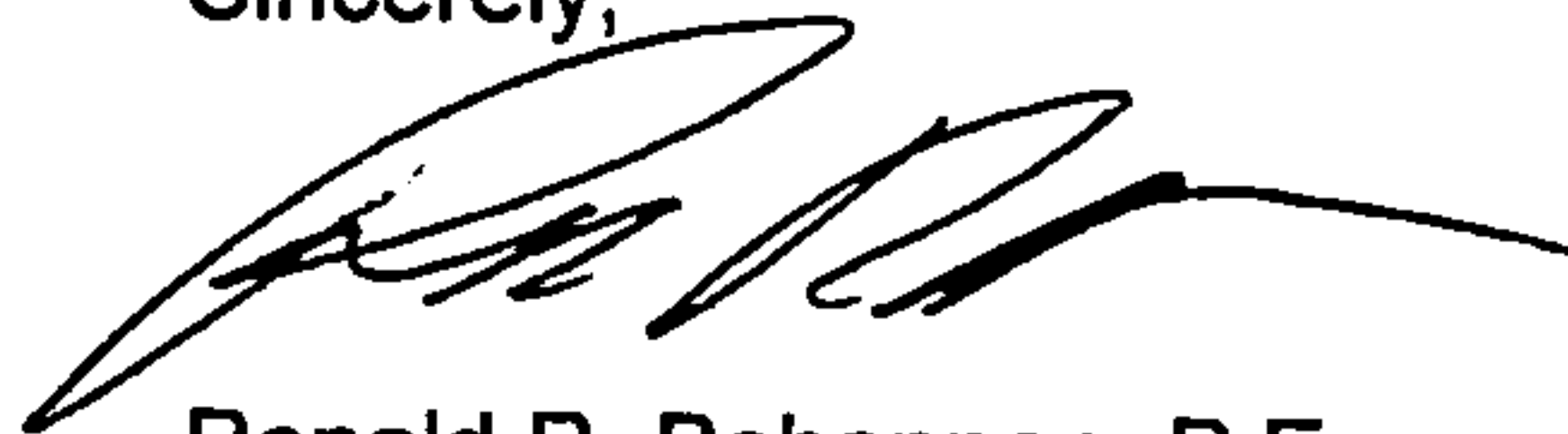
16. Pedestrian connections from Jefferson Street and the Arroyo Trail Corridor shall be provided to adjacent parcels. Pedestrian connections shall be provided between each parcel and through parking areas. Parking areas shall be broken up into smaller segments by landscaping and pedestrian walkways. **Pedestrian connections from Jefferson Street, the Arroyo Trail Corridor, each parcel, and through parking areas were provided. Parking areas have been broken up by landscaping and pedestrian walkways.**

17. Pedestrian walkways shall be porous pavement and/or patterned concrete.

Through further communications between the architect, Dekker/Perich/Sabatini, and the staff planner it was determined that the walkways would not be porous pavement and/or patterned concrete (see attached correspondence).

If you have any questions or require additional information, please do not hesitate to contact me.

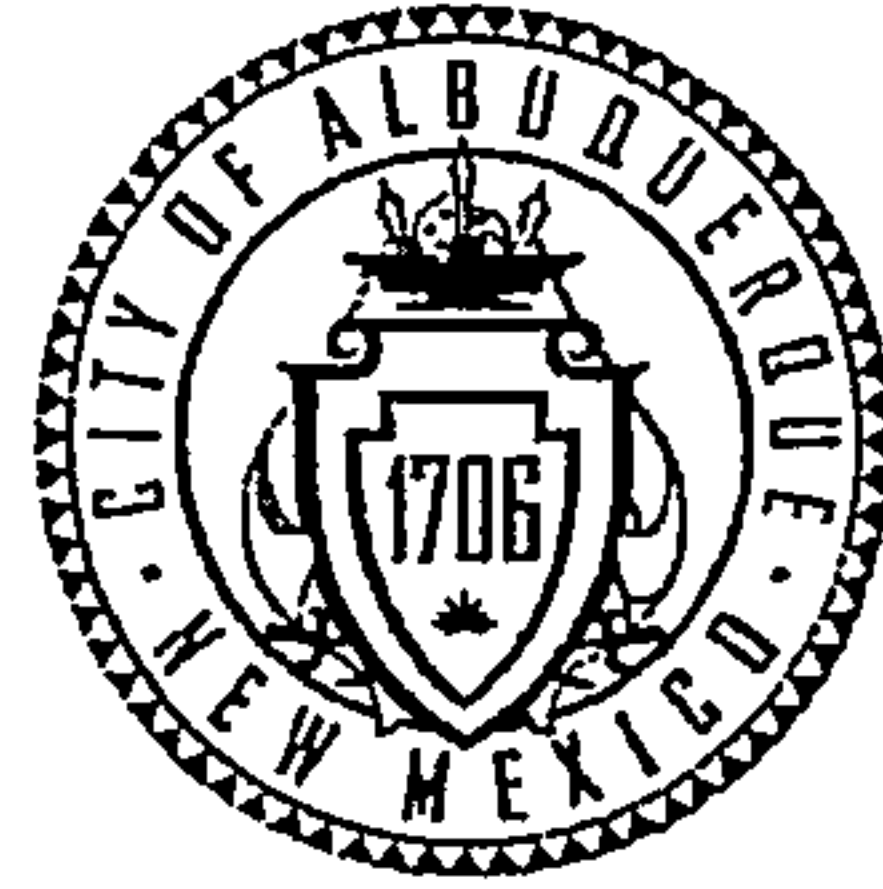
Sincerely,



Ronald R. Bohannon, P.E.

JN: 25016
MVC/bd

1st copy
25014



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: November 17, 2006

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1004801*
06EPC-01441 EPC Site Development Plan-
Subdivision
06EPC-01443 Zone Map Amendment

Fraternal Order of Police Albuquerque Lodge 1
5900 Jefferson St. NE
Albuquerque, NM 87109

LEGAL DESCRIPTION: for all or a portion of
Tracts 1 & 2, **Fraternal Order of Police**
Addition, a zone map amendment from SU-1 for
Boys Club to IP, located on JEFFERSON ST. NE,
between BEAR CANYON ARROYO and OSUNA
RD. NE, containing approximately 10 acres. (E-17)
Stephanie Shumsky, Staff Planner

On November 16, 2006 the Environmental Planning Commission voted to approve Project 1004801/ 06 EPC-01443, a zone map amendment from SU-1 for Boys Club to IP Uses, for Tract 1, Fraternal Order of Police Addition, based on the following Findings and subject to the following Condition:

FINDINGS:

1. This request for a zone map amendment from SU-1 Boys Club to IP is for Tract 1 an approximately 5-acre site located on Jefferson Street between Osuna Road NE and the Bear Canyon Arroyo Drainage Easement.
2. This request is accompanied by a site development plan for subdivision (master development plan) (06EPC-01441).
3. The Comprehensive Plan's Established Urban Area goal and policy e is furthered by this request because the proposed IP zoning will allow for a greater diversity of land uses and because the subject site is adjacent to existing urban facilities.
4. The Comprehensive Plan's Transportation and Transit goal and policy g are furthered by the zone change because IP zoning allows uses that compliment existing uses in the surrounding area and that compliment the adjacent roadway design and nearby commercial and retail services.

5. The Comprehensive Plan's Economic Development goal and policy a is furthered by a change to IP zoning because a diversity of uses will allow for greater economic development opportunities. The existing zoning (SU-1 for Boys Club) does not allow for many economic development opportunities since it is so restrictive.
6. The North Valley Area Plan's General Goal 11 is furthered because the subject site is located near the I-25 corridor in an area already zoned for IP uses. Zoning and Land Use Policy 3 is furthered for much the same reason. Transportation Policy 2 is furthered because the adjacent roadway (Jefferson Street) can accommodate, and was designed for more intense development on the subject site.
7. The request does not conflict with the Facility Plan for Arroyos. Because the facility plan does not address site-specific development or zoning.
8. The request does not conflict with applicable elements of the Bear Canyon Arroyo Corridor Plan. IP zoning is appropriate along the corridor as long as development occurs according to the requirements of the plan.
9. The request is justified as required by Resolution 270-1980:
 - a. Policy A because the proposed zoning (IP) is consistent with surrounding zoning. This zoning allows a variety of light manufacturing, warehousing, commercial, office, and retail uses as regulated by Zoning Code Section 14-16-2-19. These uses, when operated in compliance with applicable regulations, are generally not considered harmful to the health, safety, morals, and general welfare of the City.
 - b. Policy B because the applicant provided sufficient evidence as to why this zone change request is justified. City goals and policies are furthered by the proposed change and the change will eliminate a spot zone. A master development plan accompanies the zone change request as required by Zoning Code section 14-16-2-19 (H), which provides further evidence as to the appropriateness of the zone change and the inappropriateness of the existing (SU-1 for Boys Club zoning).
 - c. Policy C because the proposed zone change to IP zoning is not in conflict with the Comprehensive Plan or other City master plans. It furthers goals and policies of the Comprehensive Plan, North Valley Area Plan, and Bear Canyon Arroyo Corridor Plan.
 - d. Policy D because the applicant demonstrated that a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other city master plan. Several Comprehensive Plan goals and policies are furthered by this request. Analysis of these goals and policies is provided in the preceding findings.
 - e. Policy E because the proposed zoning (IP) is consistent with surrounding zoning. This zoning allows a variety of light manufacturing, warehousing, commercial, office, and retail uses as regulated by Zoning Code Section 14-16-2-19. These uses, when operated in compliance with applicable regulations, are generally not considered harmful to adjacent property, the neighborhood, or the Community.

- f. Policy F because no major or unprogrammed capital expenditures are required for development of this site.
 - g. Policy G because the cost of land is not the determining factor in this zone change request.
 - h. Policy H because the site's location on an arterial street is not in itself reason for the request.
 - i. Policy I because the proposed IP zoning will eliminate an existing unjustified spot zone (SU-1 for Boys Club) and will not create a new spot zone.
 - j. Policy J because the proposed zone change to IP will not create a strip zone since the subject site is surrounded by IP zoning.
10. There is no known neighborhood or other opposition to this request.

CONDITION:

1. Replat of the subject site shall be a concurrent DRB action with final sign off of the accompanying site development plan for subdivision (06EPC-01441).
-

On November 16, 2006 the Environmental Planning Commission voted to approve Project 1004801/06EPC-01441, a site development plan for subdivision, for Tracts 1 and 2, Fraternal Order of Police Addition, zoned IP based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request for a site development plan for subdivision with design criteria is for an approximately 10-acre site, zoned IP, located on Jefferson Street between Osuna Road NE and the Bear Canyon Arroyo Drainage Easement.
2. This request is accompanied by a zone map amendment to change the zoning on the site from SU-1 for Boys Club and IP to IP (06EPC-01443).
3. The request furthers some Comprehensive Plan goals and policies:
 - i. The Established Urban Area policies d and e are furthered by the proposed development. Policy d is furthered because a connection to the Bear Canyon Arroyo Trail Corridor is proposed and policy e is furthered because the subject site is adjacent to existing urban facilities and is surrounded by IP zoning, thereby ensuring that the integrity of the industrial park "neighborhood" is maintained.

- ii. The Transportation and Transit policy g is furthered by the proposed development because pedestrian walkways are proposed in the design standards to connect each lot and connect to the adjacent roadway and trail corridor.
 - iii. The Economic Development goal and policy a will be furthered by the proposed development because the proposed uses provide employment and economic development opportunities to the area.
 - iv. The proposed development furthers North Valley Area Plan Transportation Policy 2 because the adjacent roadway (Jefferson Street) can accommodate, and was designed for the proposed intensity of development on the subject site.
4. The proposed development does not conflict with Facility Plan for Arroyos. Efforts to integrate the development with the existing trail corridor are proposed in the design criteria.
 5. The proposed development furthers some applicable goals, policies, regulations, and guidelines of the Bear Canyon Arroyo Corridor Plan:
 - i. Goal 1 is furthered because the proposed development provides a convenient connection to the trail corridor and the design criteria require that buildings are designed to provide entrances, windows, patios, etc. that face the trail corridor.
 - ii. Objective C is furthered because the proposed development will add to the existing mix of employment and service uses that are linked together by the trail corridor.
 - iii. Goal 2 is partially furthered by the proposed landscaping criteria. The landscaping criteria encourage the use of low water use vegetation and encourage water harvesting, when possible.
 - iv. Drainage Policy 9 is partially furthered since a preliminary Drainage Plan was submitted for EPC review. A final plan is required for review by the City Hydrology Engineer at DRB.
 - v. The Design Overlay Zone regulations and guidelines are adequately addressed in the proposed Design Criteria section titled "Requirements for Bear Canyon Arroyo Plan". Conditions of approval are recommended to encourage greater compliance with the plan.
 6. Full Compliance with the Comprehensive Plan, North Valley Area Plan, and Bear Canyon Arroyo Corridor Plan Goals and Policies require revisions and additions of language as outlined in the recommended conditions of approval.
 7. There are no recognized neighborhood associations in the area. There is no known neighborhood or other opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The design criteria for high water use turf up to 25% of the landscaped area shall be revised to allow low water use turf up to 20% of the landscaped area. The water conservation methods must be specified more clearly and shall be required.
4. Delete the first sentence of General Note # 3 on Sheet 1 of 4.
5. Site Signage Note b (3rd asterisk) on the Design Criteria Sheet must be clarified to reflect the accurate number of proposed monument signs.
6. The applicant shall provide comprehensive details about the wall design, colors, and/or materials on the site plan.
7. A note in the design criteria shall be added which states that parking stalls shall not be located in areas that would require drivers to back out into the primary drive aisles.
8. The design criteria shall specify the amount of public outdoor space provided per lot. In addition, the specification shall state how the amount provided exceeds Zoning Code requirements.
9. The architectural design theme shall be clarified to include more specific information about the thematic elements, overall colors, materials, development purpose, etc.
10. Green building techniques shall be specified in the design criteria.
11. The design criteria shall specify materials, colors, maximum sign face area, and maximum height of all building mounted and free standing signs. The maximum signage area shall not exceed 15% of the façade.
12. The Design Criteria Sheet shall be relabeled Sheet 4 of 4.
13. In order to insure compliance with the Bear Canyon Arroyo Corridor Plan:
 - a. Unless substantial grading is necessary to accommodate trails, prior to beginning construction on private land adjacent to the corridor, the property owner shall construct a temporary barricade at the site boundary adjacent to the corridor right-of-way or easement edge to protect it from heavy equipment and to preserve groundcover.
 - b. Site development plans shall indicate all measures, which will be undertaken during construction to comply with this provision. The property owner shall mitigate any damage that does occur by reseeded. The property owner shall maintain the revegetated area for two years according to a maintenance plan approved by the City Parks and Recreation Department or the City Open Space Division depending upon location.
 - c. A 20 foot minimum landscape setback adjacent to the arroyo as required.

- d. Buildings and parking at lots along the south border of the subject property shall be readjusted so that a patio or similar amenity faces toward the arroyo. This patio may be included in the landscape setback.
14. Conditions from the City Engineer, Municipal development, Water Authority and NMDOT:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - d. Cross access to all tracts will be provided per note on Site Plan for Subdivision and future plat.
 - e. 23' private access and utility easement to be 24' minimum.
 - f. Site drives shall be designed and located per TIS. Left turn and right turn deceleration lanes to be designed and provided per TIS and DPM.
 - g. Site plan shall comply and be designed per DPM Standards.
 15. Conditions from the City Forester:
 - a. Street trees shall be planted between the street curb and the sidewalk. The sidewalk shall be relocated to the edge of parking lot instead of the edge of street
 - b. The parking area shall be broken up with parking lot trees (1 tree/10 spaces minimum).
 - c. The landscaping shall be watered adequately to establish healthy growth. The irrigation notes shall state who is responsible for setting the timing of the irrigation system.
 16. Pedestrian connections from Jefferson Street and the Arroyo Trail Corridor shall be provided to adjacent parcels. Pedestrian connections shall be provided between each parcel and through parking areas. Parking areas shall be broken up into smaller segments by landscaping and pedestrian walkways.
 17. Pedestrian walkways shall be porous pavement and/or patterned concrete.

OFFICIAL NOTICE OF DECISION
NOVEMBER 16, 2006
PROJECT #1004801
PAGE 7 OF 7


IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **DECEMBER 1, 2006** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

for 
Richard Dineen
Planning Director

RD/SS/ac

cc: Tierra West LLC, 5571 Midway Park Pl. NE, Albuquerque, NM 87109

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME Fraternal Order of Police Lodge 1
 AGENT Tierra West LLC
 ADDRESS 5571 Midway Park Place NE
 PROJECT & APP # 1004801 / 06 DRB 01747, 01748
 PROJECT NAME Fraternal Order of Police

\$ 20⁰⁰ 441032/3424000 Conflict Management Fee
 \$ 425⁰⁰ 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 445⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

12/12/2006
 RECEIPT # 00068327
 ACCOUNT # 441006
 ACTIVITY # 4983000
 TRANS AMT \$445.00
 J24 MIS \$425.00

TIERRA WEST LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NM 87113
 PH (505) 858-3100

CITY OF ALBUQUERQUE
 Security Division

2519
 95-677/1070

DUPLICATE
 DATE 12/12/06
 City of Albuquerque
 Treasury Division

12/12/2006 12:04PM
 \$ 445.00 LOC: ANN
 RECEIPT# 00068327 DOLLARS TRANS# 0025
 Account 441006 Fund 0110
 Activity 4983000 TRSLJS
 Trans Amt \$445.00
 J24 Mis \$425.00
 CHANGE \$445.00
 \$0.00

TO THE ORDER OF City of Albuquerque
Four Hundred & Forty Five and
 FOR 25016 Submittal Fee

High Desert State Bank
 Member FDIC
 8110 Ventura NE
 Albuquerque, NM 87122

Donna Bohannon

Thank You

002519 1070066771 201813

Project
1004/801

FIGURE 12
SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 5th day of Feb, 2008, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Fraternal Order of Police Lodge #1 ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] Not For Profit Corporation, whose address is 5900 Jefferson St. NE, Albuquerque, NM 87109 and whose telephone number is 505-345-2639, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [describe:] Fraternal Order of Police Addition, recorded on February 11, 1977 in the records of the Bernalillo County Clerk at Book C11, Folio 173 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] Fraternal Order of Police Lodge #1 ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Fraternal Order of Police describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private Improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 5th day of December, 2008 ("Construction Completion Deadline"), at no cost to the City. The improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 632481.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board (DRB), unless the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for



the extension.

Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured's. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation & Sidewalk Fees</u>	<u>As required per City-approved estimate</u>
<u>Street Restoration Fees</u>	<u>As required per City-approved estimate (Fig. 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the Public Improvements.)

4. Surveying, Inspection and Testing. The improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the Public Improvements shall be performed by Precision Surveys, and construction surveying of the Private Improvements shall be performed by Precision Surveys. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection methods. Inspection of the construction of the Public Improvements shall be performed by Tierra West LLC, and inspection of the Private Improvements shall be performed by Tierra West LLC, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider shall ensure that the inspecting entity provides all inspection results, reports and related data to the City, which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection



performed by the City.

C. Field Testing. Field-testing of the construction of the Public Improvements shall be performed by Terracon, and field testing of the Private Improvements shall be performed by Terracon, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for the Public Works Construction. If any field-testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports, and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field-testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable and the Subdivider shall pay the City a reasonable fee therefore.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guarantee:"

Type of Financial Guaranty: Municipal Lien
Amount: \$ 273,982.81
Name of Financial Institution or Surety providing Guaranty:

December 5, 2008
Date City first able to call Guaranty: December 5, 2008
[Construction Completion Deadline]: December 5, 2008
If Guarantee other than a Bond, last day City able to call on Guaranty is:
February 5, 2009
Additional information:

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the Public Improvements and a Certificate of Completion for the Private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.



8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the Public Improvements are constructed, the Subdivider will convey to the city all real and personal property rights which the City deems reasonably necessary, and all Public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the Public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

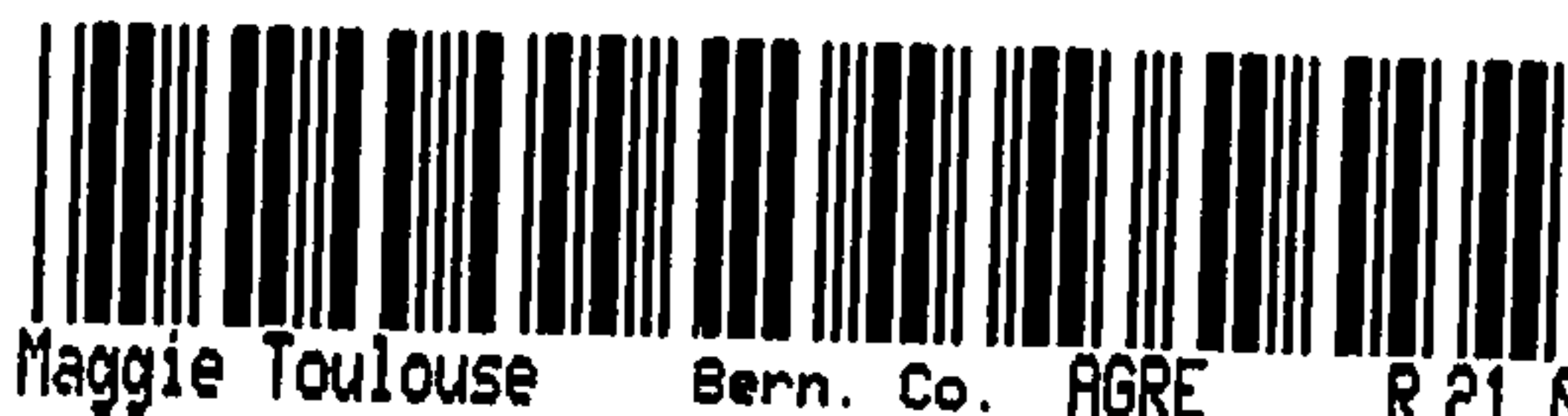
A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guaranty other than a loan reserve letter has been provided, the completed Improvements must be freestanding, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements, which have been, completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

- (1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;
- (2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.
- (3) Conveyance of real and personal property rights which meet the requirements of Section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed Public Improvements and a Certificate of Partial Completion for the completed Private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of



any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety, which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has posted a suitable financial guaranty and entered into a Subdivision Improvements Agreement with the City. Thereafter, when the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to the Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding



unless initialed by the Subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.

Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER:

CITY OF ALBUQUERQUE

By [Signature]: Tobias Gallegos
Name: Tobias Gallegos
Title: President
Dated: 2/5/07

Approved by: [Signature]
City Engineer
Dated: 2-08-07

WJ 2/6/07

JW
2-7-07



SUBDIVIDER'S NOTARY

STATE OF New Mexico)
) ss.
COUNTY OF Bernalillo)

This instrument was acknowledged before me on 5th day of February, 2007 by [name(s) of person(s):] Tobias Gallegos, [title or capacity, for instance, "President" or "Owner":] President of [Subdivider:] Fraternal Order of Police Lodge #1.

Keli D. Krueger
Notary Public

My Commission Expires:

March 6, 2010



OFFICIAL SEAL
KELI D. KRUEGER
NOTARY PUBLIC - STATE OF NEW MEXICO
My Commission Expires: 3/6/2010

CITY'S NOTARY

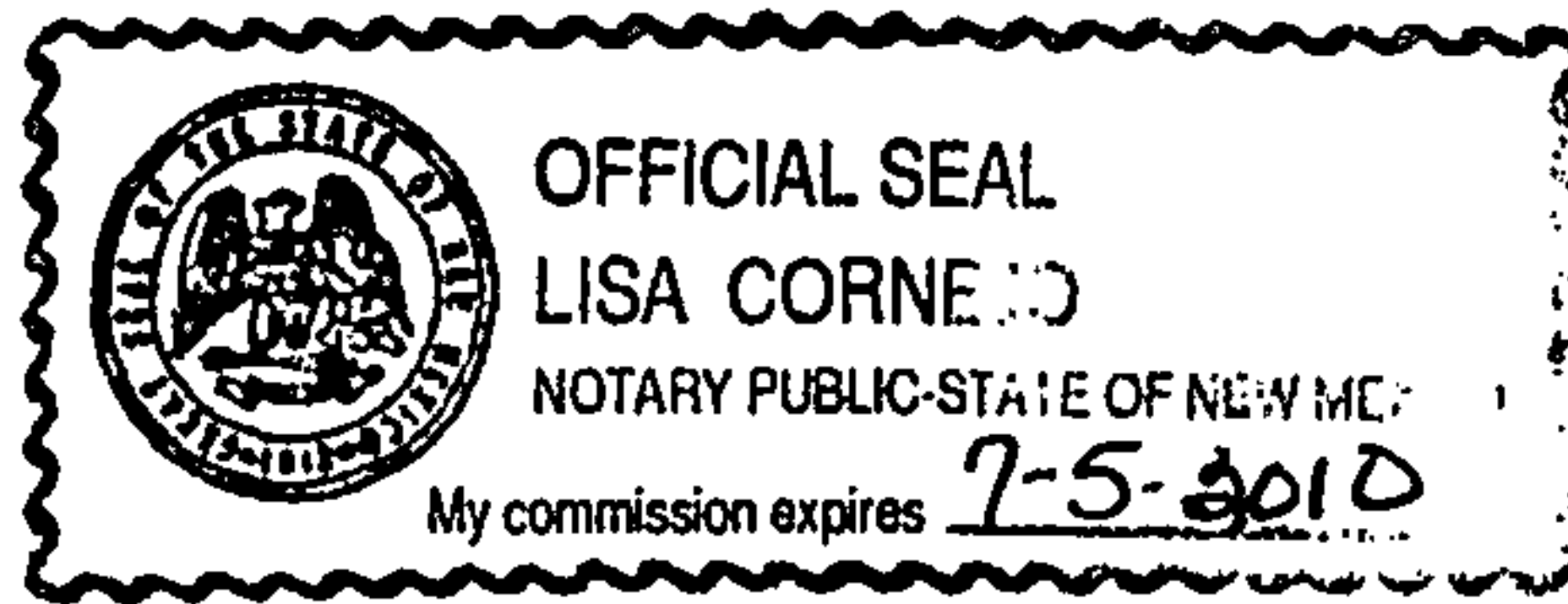
STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 8 day of February, 2007 by Richard Douete, City Engineer, of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

Lisa Cornejo
Notary Public

My Commission Expires:

July 5, 2010



OFFICIAL SEAL
LISA CORNEJO
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires 7-5-2010

EXHIBIT A AND POWER OF ATTORNEY ATTACHED



CLAIM AND NOTICE OF LIEN

TITLE OF PROJECT: Fraternal Order of Police
SUBDIVIDER: Fraternal Order of Police Lodge # 1
CITY PROJECT NO.: 632481

The City of Albuquerque ("City") claims a lien ("City Lien") on the real property described below for 125% of the cost of construction of all infrastructure improvements ("Improvements") required in connection with the development of (name of subdivision) Fraternal Order of Police Addition, said Improvements being more particularly described in that certain Subdivision Improvements Agreement ("Agreement") between the City of Albuquerque and (name of owner and/or subdivider) Fraternal Order of Police Lodge # 1, and recorded in the Office of the Clerk of Bernalillo County, New Mexico in Book _____, at page _____, on _____, 20____, as Document No. _____. This City Lien is established pursuant to Article 14-14-3 of the Revised Ordinances of Albuquerque, New Mexico, 1994, as amended and is claimed as assurance for the satisfactory completion of construction of the Improvements by the construction completion deadline as required by the Agreement.

OWNER: Fraternal Order of Police Lodge # 1

ADDRESS OF OWNER: 5900 Jefferson St. NE, Albuquerque, NM 87109

LEGAL DESCRIPTION: Lots 1-A, 1-B, 2-A & 2-B, Fraternal Order of Police Addition

RECORDING INFORMATION: Recorded in the Office of the Clerk of Bernalillo County, New Mexico in Book Pending, at page _____, on _____, 20____, as Document No. _____.

FORMER LEGAL DESCRIPTION: Lots 1 & 2, Fraternal Order of Police Addition



2007024020
6666967
Page: 1 of 2
02/13/2007 03:09P
Bk-A132 Pg-3977

ORIGINAL
Nur

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 9-20-06)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Submitted: 1/3/07
 Date Site Plan Approved: 1/3/07
 Date Preliminary Plat Approved: 01-03-07
 Date Preliminary Plat Expires: 01-03-08
 DRB Project No.: 1004801
 DRB Application No.: 06 DRB - 01747

Fraternal Order of Police Site Plan for Subdivision

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Fraternal Order of Police Addition, Tracts 1 and 2

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Const Engineer	
			COA Project # 6324.81							
		12' F-EOA	Left turn bay (incl. curb and gutter)	Jefferson Street	425' N. of Bear Canyon Arroyo N. PL	600' N. of Bear Canyon Arroyo N. PL	/	/	/	
		12' F-EOA	Right turn bay (incl. curb and gutter)	Jefferson Street	200' N. of Bear Canyon Arroyo N. PL	340' N. of Bear Canyon Arroyo N. PL	/	/	/	
		6'	Sidewalk	East side of Jefferson St	Bear Canyon Arroyo N. PL	660' N. of Bear Canyon Arroyo N. PL	/	/	/	
			COA Project # 6324.82							
		36"	RCP Storm Drain Outfall	Bear Canyon Arroyo	Bear Canyon Arroyo Outfall near Jefferson	NE 60' to PL	/	/	/	
		8"	Waterline Loop through Project	On-site in Public Water Line Easement	Jefferson - 55' N. of Bear Canyon Arroyo N. PL	Jefferson - 620' N. of Bear Canyon Arroyo N. PL	/	/	/	
		8"	Sanitary Sewer	On-site in Public Sanitary Sewer Easement	Jefferson - 460' N. of Bear Canyon Arroyo N. PL	270' East of FOP West PL	/	/	/	
							/	/	/	
							/	/	/	

FINANCIAL GUARANTY AMOUNT

01/18/2007

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

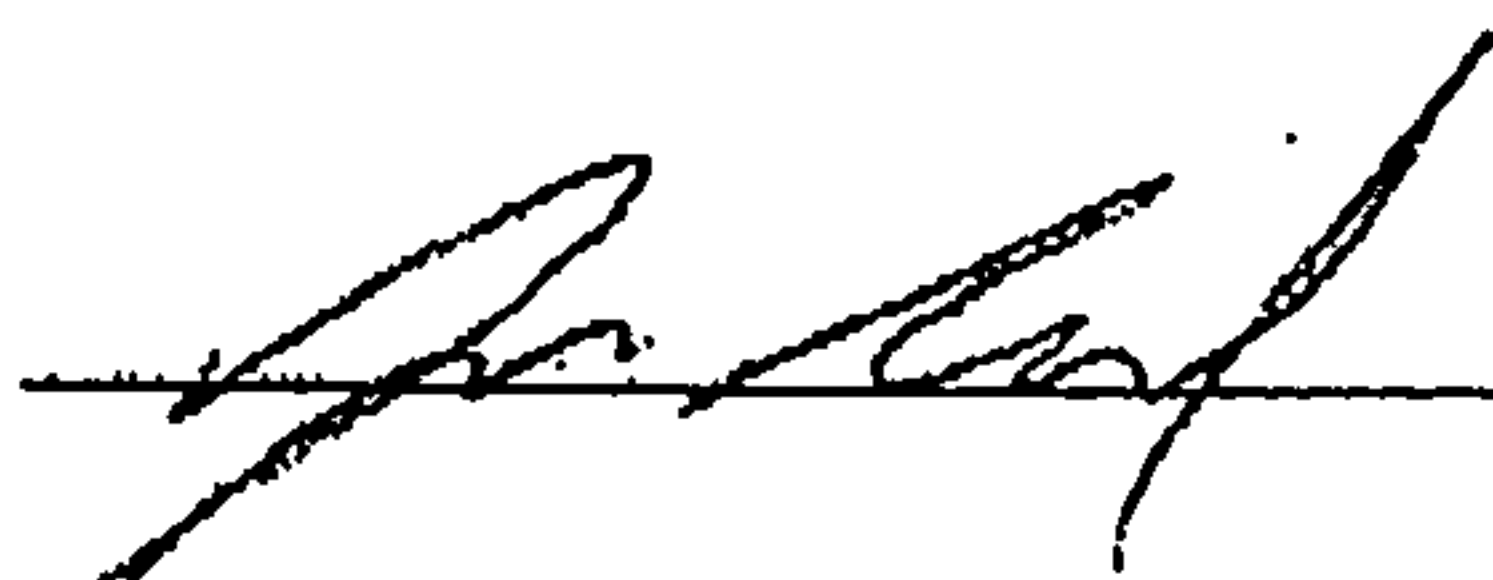
Project ID #: 632481, Fraternal Order of Police Off-site, Phase/Unit #: 1

Requested By: Marcella Chavez, PE w/ Tierra West LLC

Approved estimate amount:		\$171,678.02
Contingency Amount:	10.00%	\$17,167.80
Subtotal:		\$188,845.82
NMGRT	6.875%	\$12,983.15
Subtotal:		\$201,828.97
Engineering Fee	6.60%	\$13,320.71
Testing Fee	2.00%	\$4,036.58
Subtotal:		\$219,186.25
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$273,982.81</u>

APPROVAL:

DATE:



1-18-07

Notes: 10% contingency, plans not approved.

FIGURE 12
SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
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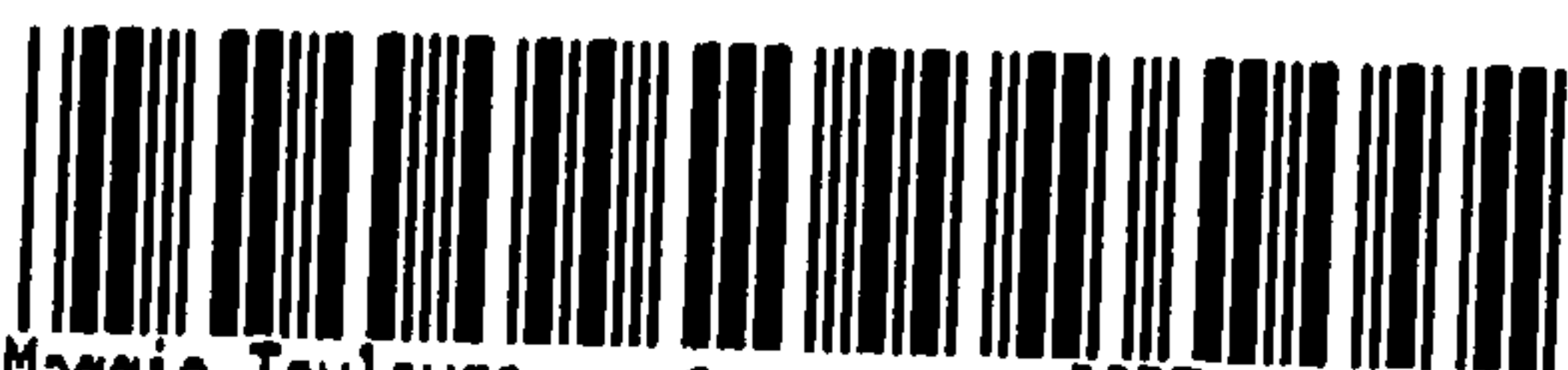
<u>Type of Fee</u>	<u>Amount</u>
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B. Construction Inspection methods. Inspection of the construction of the Public Improvements shall be performed by Tierra West LLC, and inspection of the Private Improvements shall be performed by Tierra West LLC, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider shall ensure that the inspecting entity provides all inspection results, reports and related data to the City, which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection



performed by the City.

C. Field Testing. Field-testing of the construction of the Public Improvements shall be performed by Terracon, and field testing of the Private Improvements shall be performed by Terracon, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for the Public Works Construction. If any field-testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports, and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field-testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable and the Subdivider shall pay the City a reasonable fee therefore.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guarantee:"

Type of Financial Guaranty: Municipal Lien
Amount: \$ 382,735.80
Name of Financial Institution or Surety providing Guaranty: _____
Date City first able to call Guaranty: December 5, 2008
[Construction Completion Deadline]: December 5, 2008
If Guarantee other than a Bond, last day City able to call on Guaranty is:
February 5, 2009
Additional information: _____

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the Public Improvements and a Certificate of Completion for the Private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.



8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the Public Improvements are constructed, the Subdivider will convey to the city all real and personal property rights which the City deems reasonably necessary, and all Public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the Public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guaranty other than a loan reserve letter has been provided, the completed Improvements must be freestanding, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements, which have been, completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

- (1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;
- (2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.
- (3) Conveyance of real and personal property rights which meet the requirements of Section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed Public Improvements and a Certificate of Partial Completion for the completed Private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of



any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety, which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has posted a suitable financial guaranty and entered into a Subdivision Improvements Agreement with the City. Thereafter, when the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to the Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

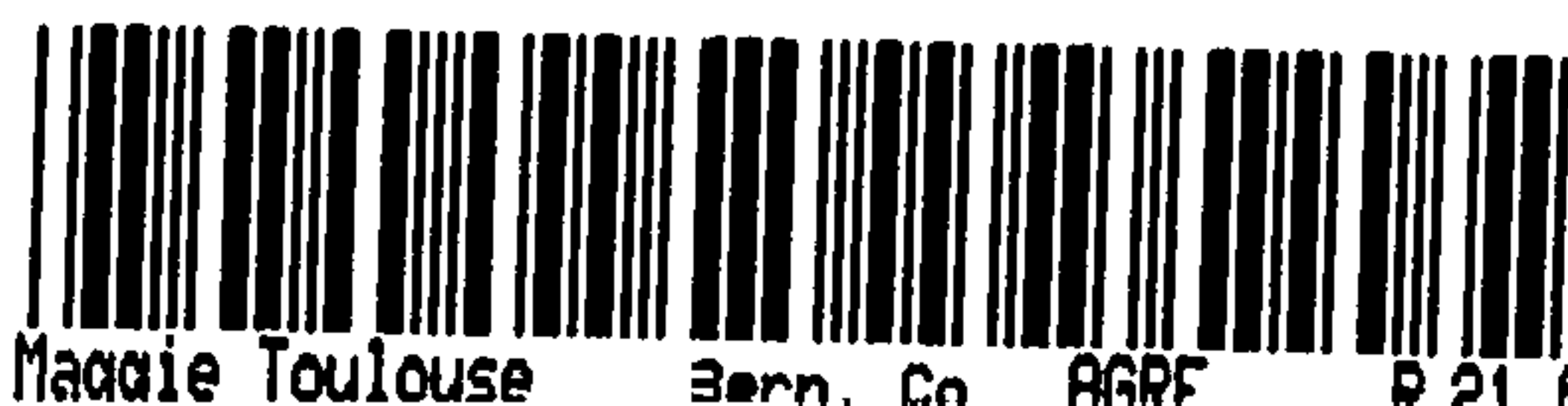
16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding



unless initialed by the Subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.

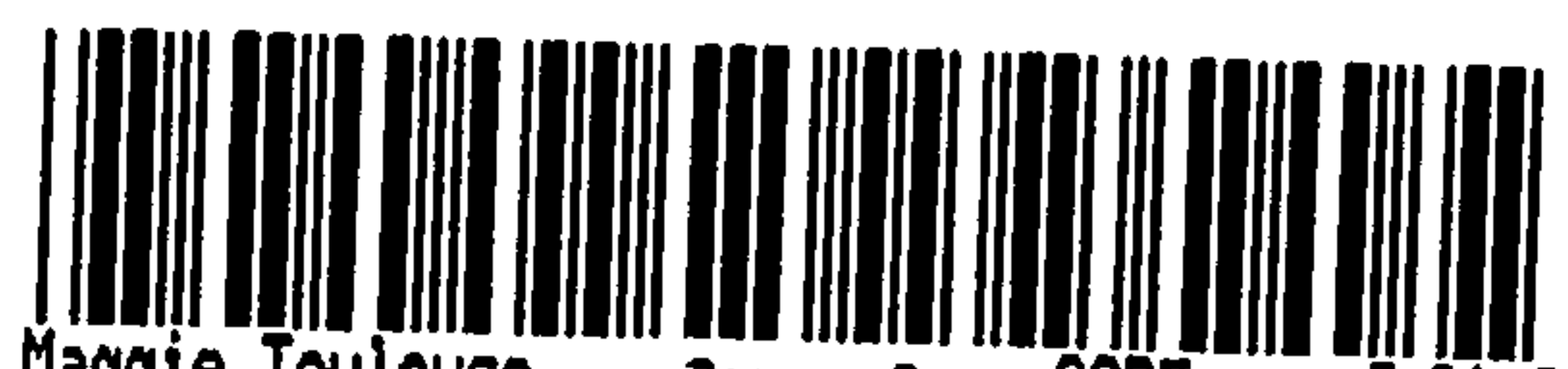
Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER:

CITY OF ALBUQUERQUE

By [Signature]: Tobias Gallegos
Name: Tobias Gallegos
Title: President
Dated: 2/5/07

Approved by: [Signature]
City Engineer
Dated: 2-08-07
WJ 2/8/07 2-6-07



SUBDIVIDER'S NOTARY

STATE OF New Mexico)
) ss.
COUNTY OF Bernalillo)

This instrument was acknowledged before me on 5th day of February, 2007
by [name(s) of person(s):] Tobias Gallegos, [title or capacity, for instance, "President"
or "Owner":] President of [Subdivider:] Fraternal Order of Police Lodge #1.

Keli D. Krueger
Notary Public

My Commission Expires:

March 6, 2010



OFFICIAL SEAL
KELI D. KRUEGER
NOTARY PUBLIC - STATE OF NEW MEXICO
My Commission Expires: 3/6/2010

CITY'S NOTARY

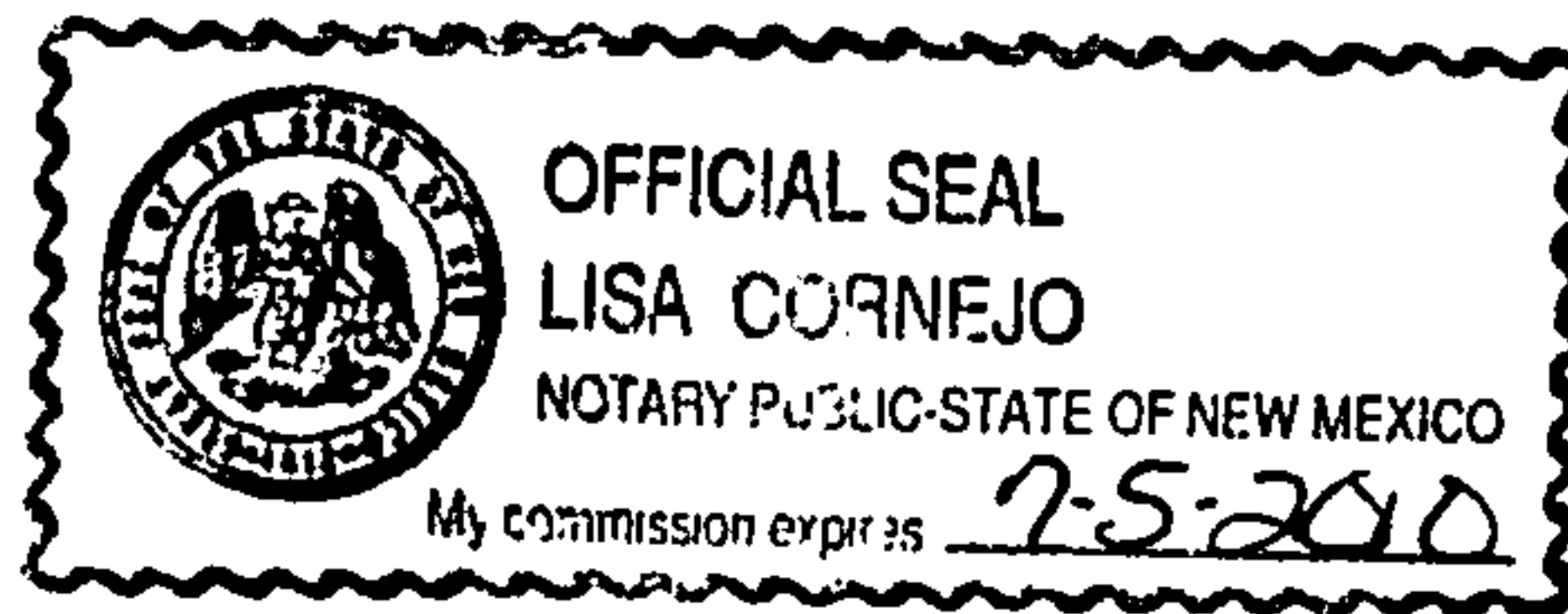
STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 8 day of February, 2007 by
Richard Douste, City Engineer, of the City of Albuquerque, a municipal corporation, on
behalf of said corporation.

Lisa Cornejo
Notary Public

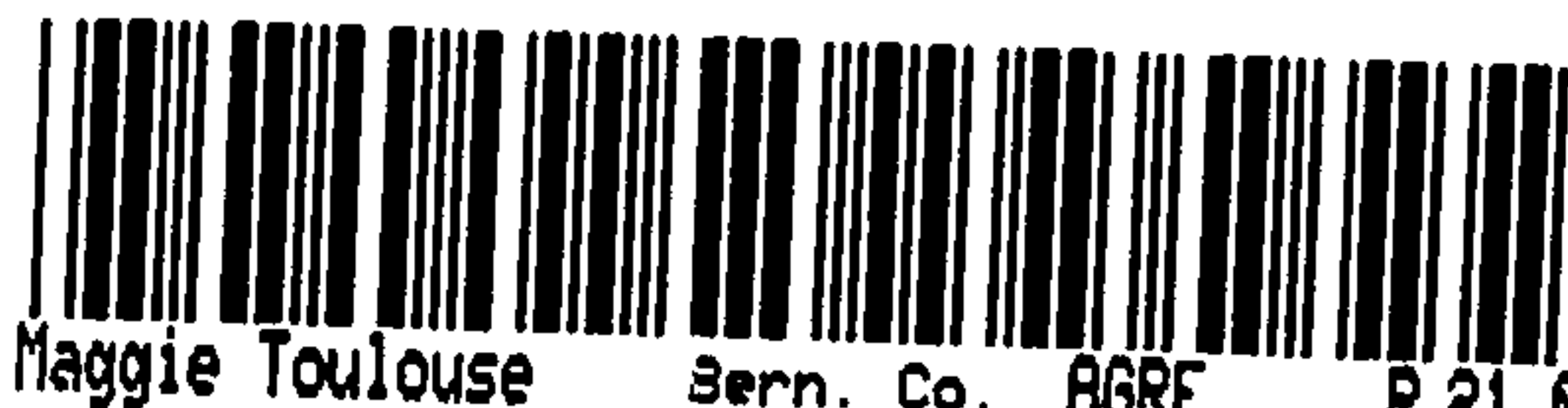
My Commission Expires:

July 5, 2010



OFFICIAL SEAL
LISA CORNEJO
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires 7-5-2010

EXHIBIT A AND POWER OF ATTORNEY ATTACHED



CLAIM AND NOTICE OF LIEN

TITLE OF PROJECT: Fraternal Order of Police
SUBDIVIDER: Fraternal Order of Police Lodge # 1
CITY PROJECT NO.: 632482

The City of Albuquerque ("City") claims a lien ("City Lien") on the real property described below for 125% of the cost of construction of all infrastructure improvements ("Improvements") required in connection with the development of (name of subdivision) Fraternal Order of Police Addition, said Improvements being more particularly described in that certain Subdivision Improvements Agreement ("Agreement") between the City of Albuquerque and (name of owner and/or subdivider) Fraternal Order of Police Lodge # 1, and recorded in the Office of the Clerk of Bernalillo County, New Mexico in Book _____, at page _____, on _____, 20____, as Document No. _____. This City Lien is established pursuant to Article 14-14-3 of the Revised Ordinances of Albuquerque, New Mexico, 1994, as amended and is claimed as assurance for the satisfactory completion of construction of the Improvements by the construction completion deadline as required by the Agreement.

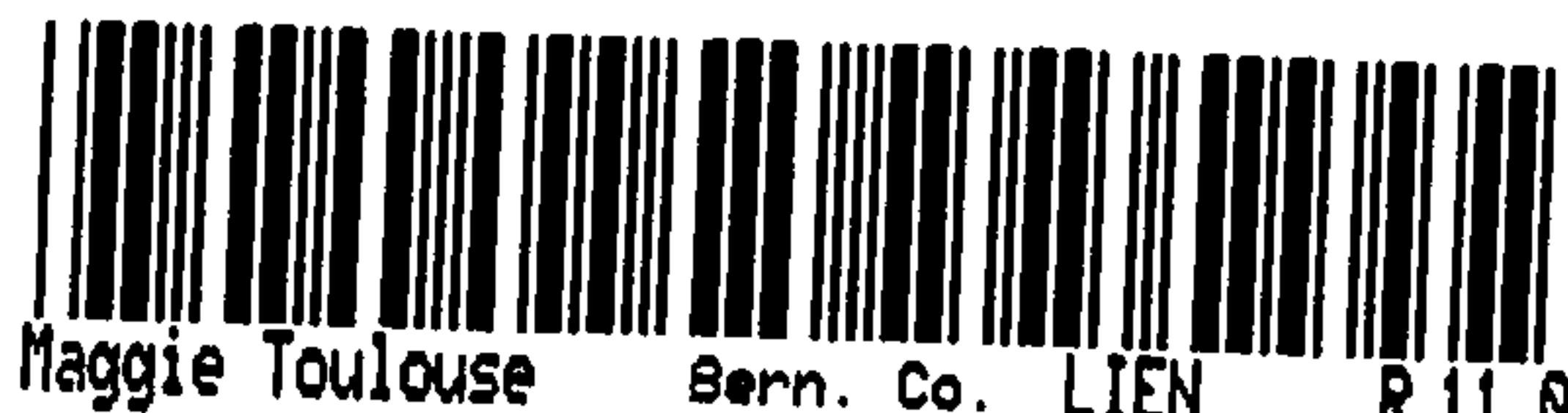
OWNER: Fraternal Order of Police Lodge # 1

ADDRESS OF OWNER: 5900 Jefferson St. NE, Albuquerque, NM 87109

LEGAL DESCRIPTION: Lots 1-A, 1-B, 2-A & 2-B, Fraternal Order of Police Addition

RECORDING INFORMATION: Recorded in the Office of the Clerk of Bernalillo County, New Mexico in Book Pending, at page _____, on _____, 20____, as Document No. _____.

FORMER LEGAL DESCRIPTION: Lots 1 & 2, Fraternal Order of Police Addition



2007024022
6806969
Page: 1 of 2
02/13/2007 03:09P
Bk-A132 Pn-2970

ORIGINAL

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 9-20-06)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Submitted: 1/3/07
 Date Site Plan Approved: 1/3/07
 Date Preliminary Plat Approved: 01-03-07
 Date Preliminary Plat Expires: 01-03-08
 DRB Project No.: 1004801
 DRB Application No.: 06 DRB-01747

Fraternal Order of Police Site Plan for Subdivision
~~PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN~~

Fraternal Order of Police Addition, Tracts 1 and 2
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
			COA Project # 6324.81							
		12' F-EOA	Left turn bay (incl. curb and gutter)	Jefferson Street	425' N. of Bear Canyon Arroyo N. PL	600' N. of Bear Canyon Arroyo N. PL	/	/	/	
		12' F-EOA	Right turn bay (incl. curb and gutter)	Jefferson Street	200' N. of Bear Canyon Arroyo N. PL	340' N. of Bear Canyon Arroyo N. PL	/	/	/	
		6'	Sidewalk	East side of Jefferson St	Bear Canyon Arroyo N. PL	660' N. of Bear Canyon Arroyo N. PL	/	/	/	
			COA Project # 6324.82							
		36"	RCP Storm Drain Outfall	Bear Canyon Arroyo	Bear Canyon Arroyo Outfall near Jefferson	NE 60' to PL	/	/	/	
		8"	Waterline Loop through Project	On-site in Public Water Line Easement	Jefferson - 55' N. of Bear Canyon Arroyo N. PL	Jefferson - 620' N. of Bear Canyon Arroyo N. PL	/	/	/	
		8"	Sanitary Sewer	On-site in Public Sanitary Sewer Easement	Jefferson - 460' N. of Bear Canyon Arroyo N. PL	270' East of FOP West PL	/	/	/	
							/	/	/	
							/	/	/	

FINANCIAL GUARANTY AMOUNT

01/19/2007

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

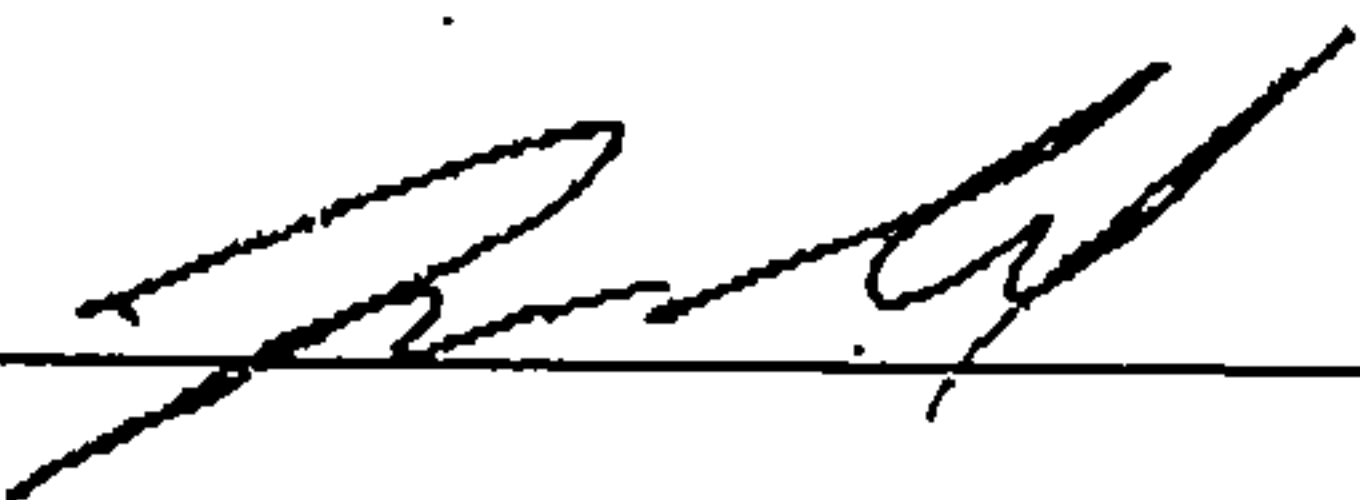
Project ID #: 632482, Fraternal Order of Police On-site, Phase/Unit #: 1

Requested By: Marcella Chavez, PE w/ Tierra West LLC

Approved estimate amount:		\$239,822.79
Contingency Amount:	10.00%	\$23,982.28
Subtotal:		\$263,805.07
NMGRT	6.875%	\$18,136.60
Subtotal:		\$281,941.67
Engineering Fee	6.60%	\$18,608.15
Testing Fee	2.00%	\$5,638.83
Subtotal:		\$306,188.64
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$382,735.80</u>

APPROVAL:

DATE:



01-19-2007

Notes: 10% contingency, plans not approved.



"Bob Feinberg"
<bfeinberg@nmrea.com
>
03/24/2006 09:19 PM

To <rdineen@cabq.gov>
cc <minn470@hotmail.com>, <tobiasmg@yahoo.com>,
<fop1@qwest.net>, <tom.jones@grubb-ellis.com>
bcc
Subject FOP Land on Jefferson

Dear Richard:

Thanks for discussing the FOP property with me today. Per our talk, I have attached several exhibits here. My immediate goal is to get the lot line adjustment done immediately. Once that is done, we will come in with an EPC application for a site plan for subdivision approval. The reason we need this lot line adjustment approved administratively so quickly is because of a very unusual agreement to sell this piece, and the existing Subdivision Ordinance. We have a buyer for the readjusted 3.7+/- acre parcel, that will allow us to use the entire Purchase Price which he will pay now, for up to two years, while we are getting the rest of the deal marketed, and the new FOP building built. The FOP needs to sell this piece to pay for infrastructure and other on site costs. They are not allowed, because of their tax free structure, to incur debt, except for their own building.

We don't think there will be any neighborhood adversity to our site plan, and BMW and Cort Furniture are excited about the prospect of having a pass through to and from Jefferson. The Cort Furniture Landlord, wants to roll his sleeves up and start redeveloping his site more towards retail.

I am going to be out of town until next Thursday. Please take a look at this info, and please reach me on my cell at 238.7707 with your thoughts. If you have any questions, please contact Tom Jones in my office at 259.4935. He is most familiar with all the aspects of this site plan and project.

Thanks so much for you help on this Richard.

Sincerely,

Bob

*Robert H. (Bob) Feinberg
Sr. Vice-President/Principal
Grubb & Ellis|New Mexico*

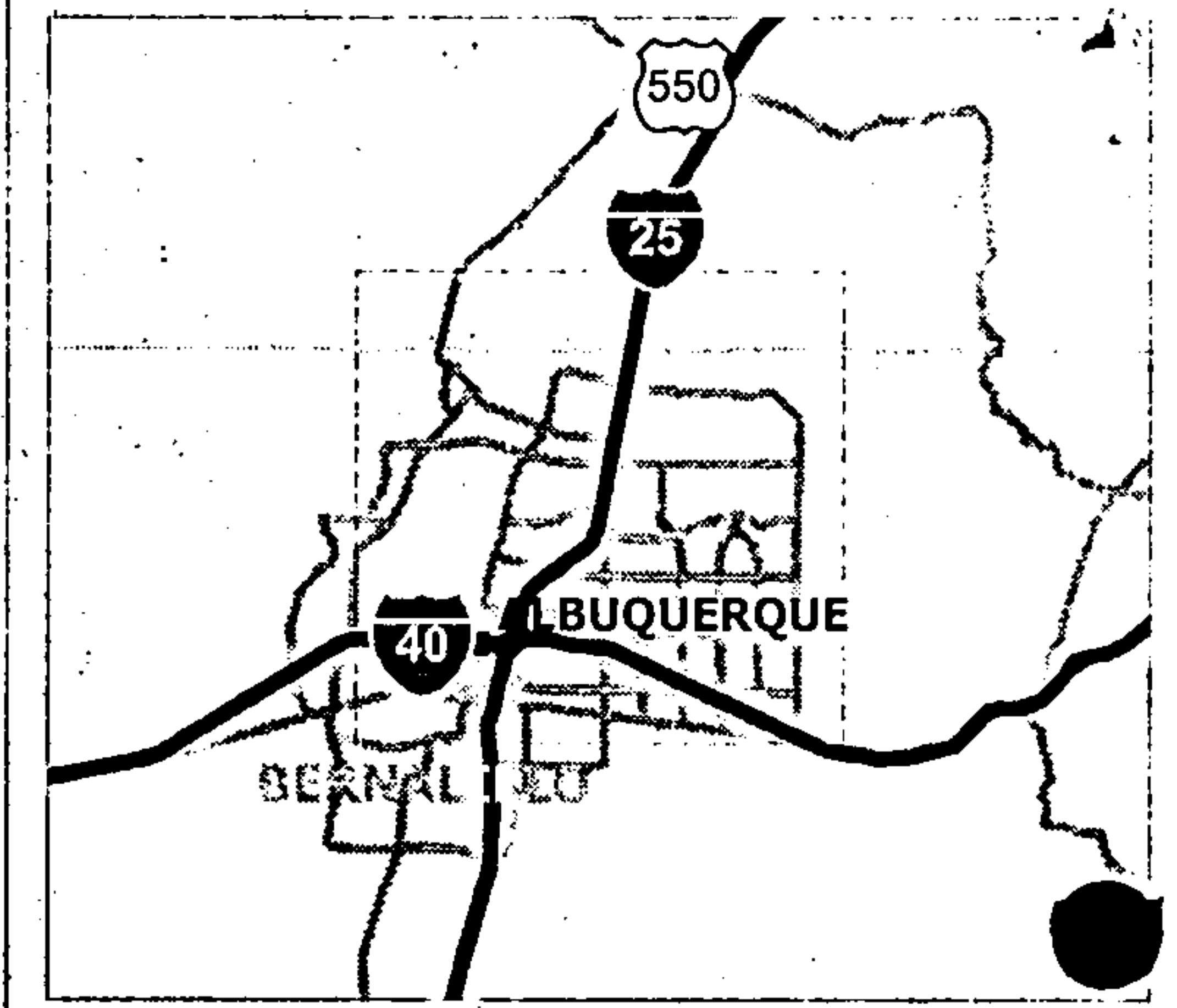
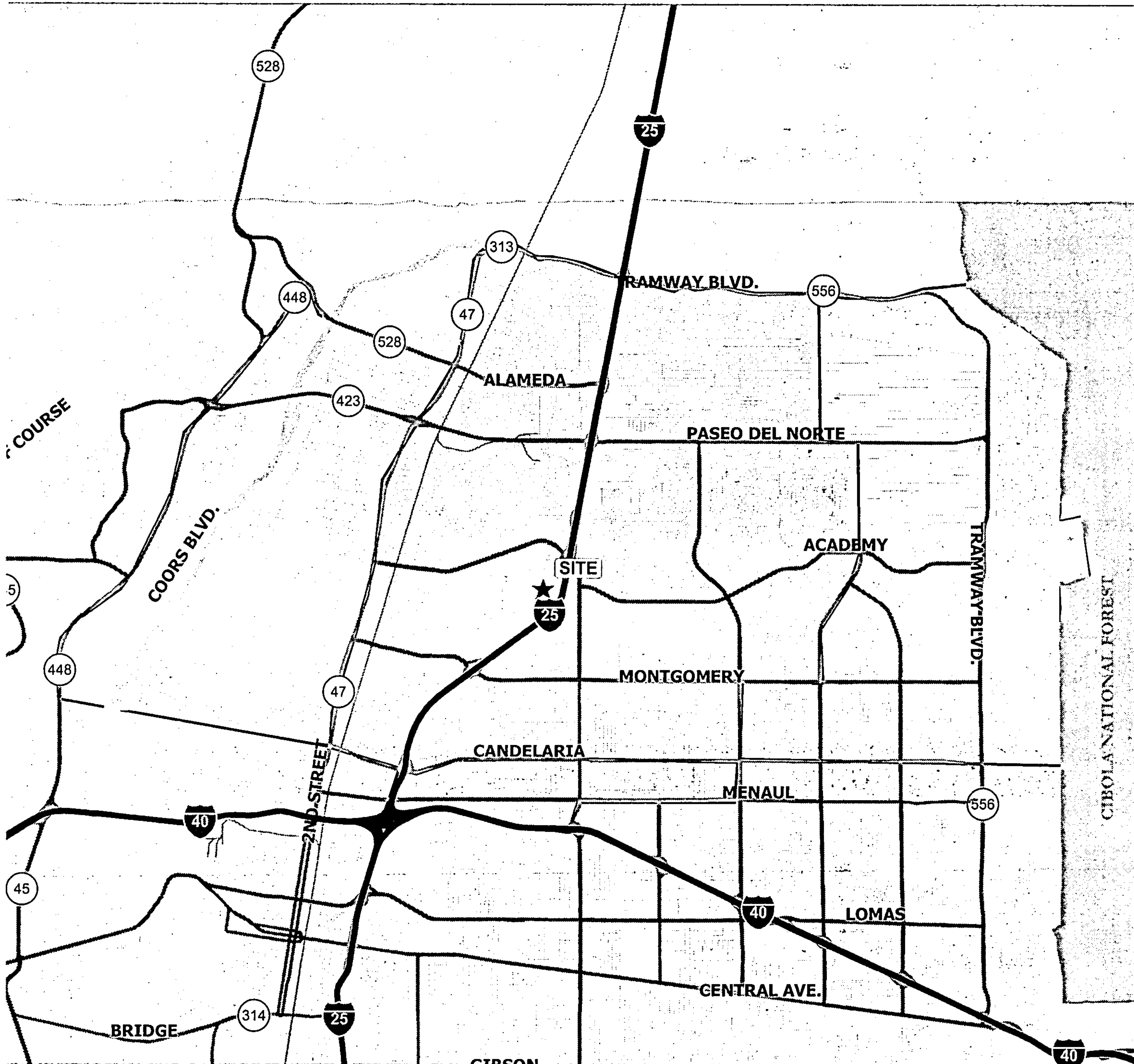


505.238.7707 Cell 3.4.05 FOP SITE-ORTHO w-overlay.pdf 3.16.06 Aerial from Jefferson to I-25.pdf



5.18.05 FOP Temp Marketing Package.pdf

Trade Area Map



Albuquerque Map Layers

- Rio Grande
- Railroads
- Streets
- Major Arteries
- Major Highways
- ★ SITE

Trade Areas

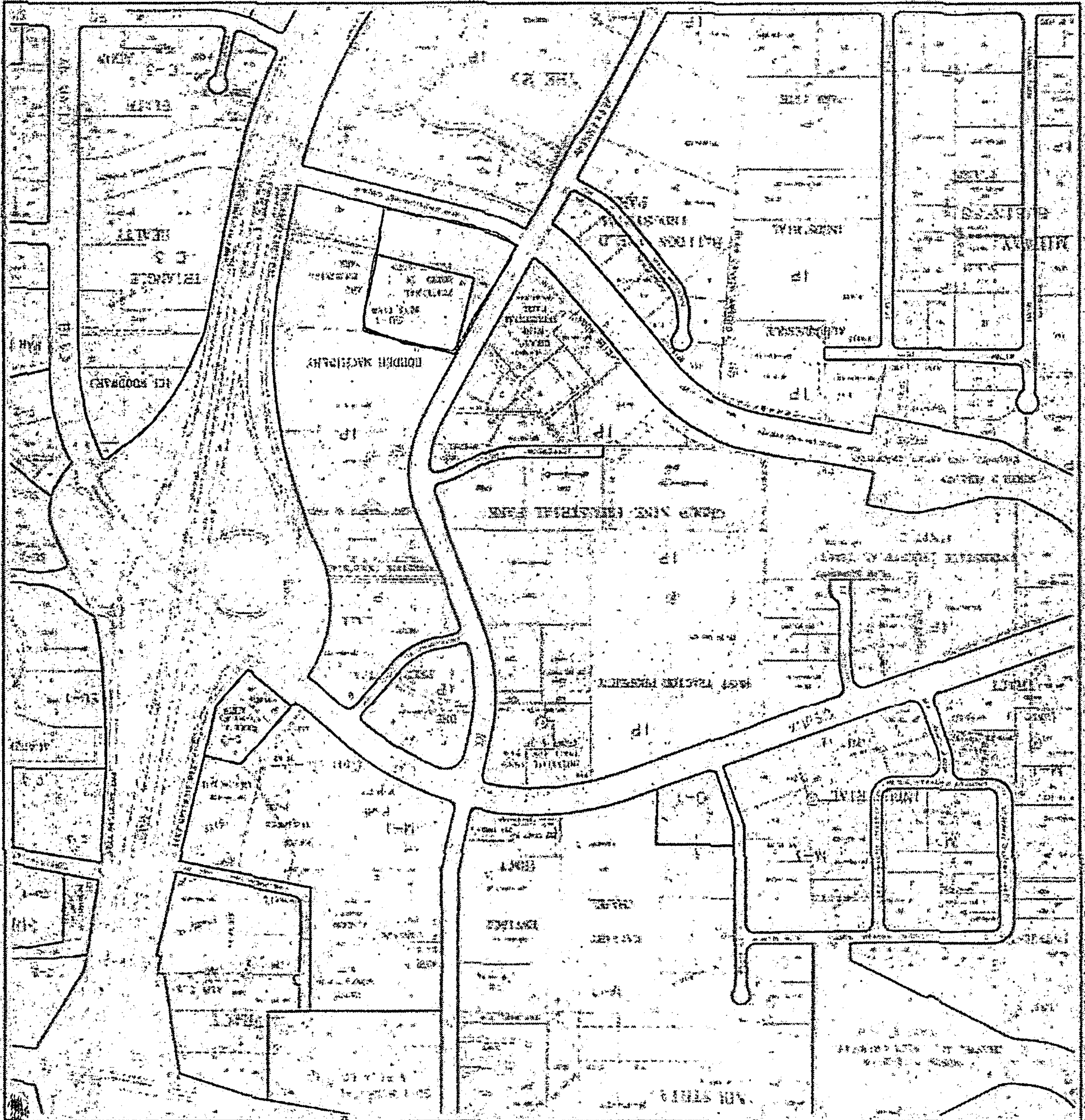
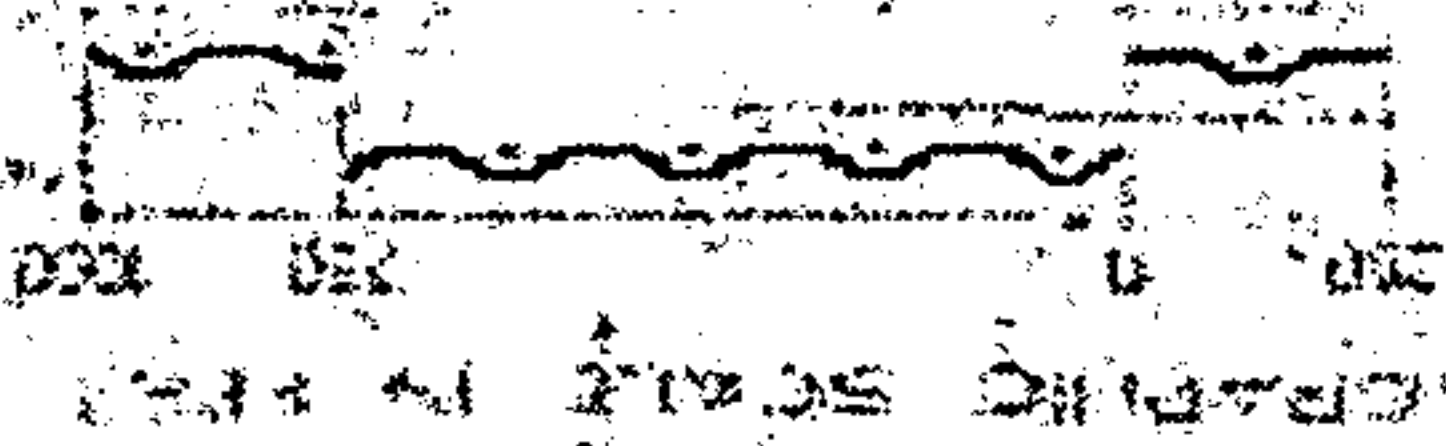
- Primary Trade Area
- Secondary Trade Area

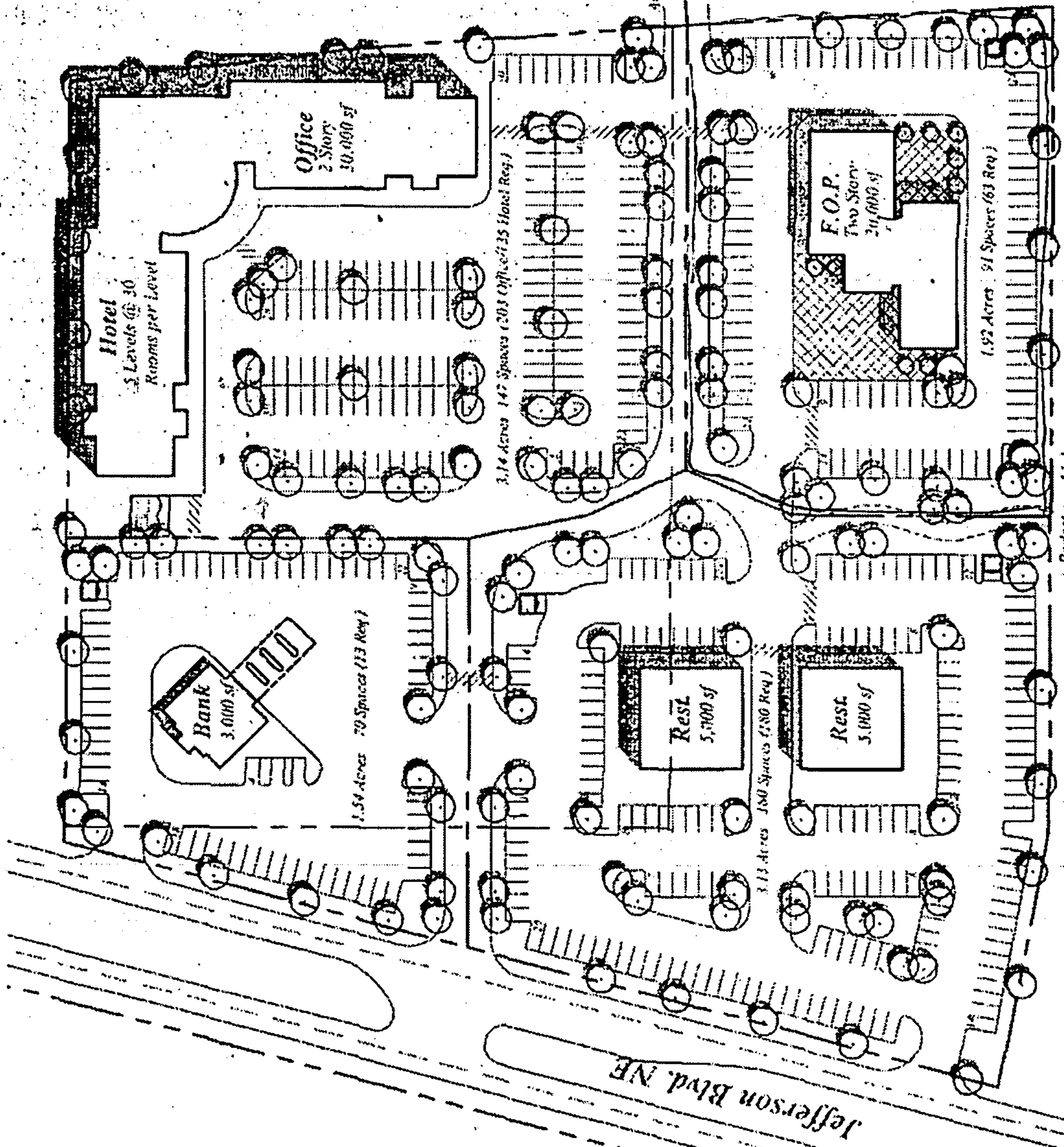
Parks

- ▨ National Park
- ▨ State Park

Zone Atlas Page
E-17-Z

ALBUQUERQUE
NEW MEXICO
A-C
S
Copyright 1950





Site Data
 Zoning: SU-1
 Land Area: 9.70± acres
 Gross Building Area: Varies
 FAR: Varies

Dekker/Perich/Sabatini



Bear Arroyo Drain Easement
 Pedestrian Link

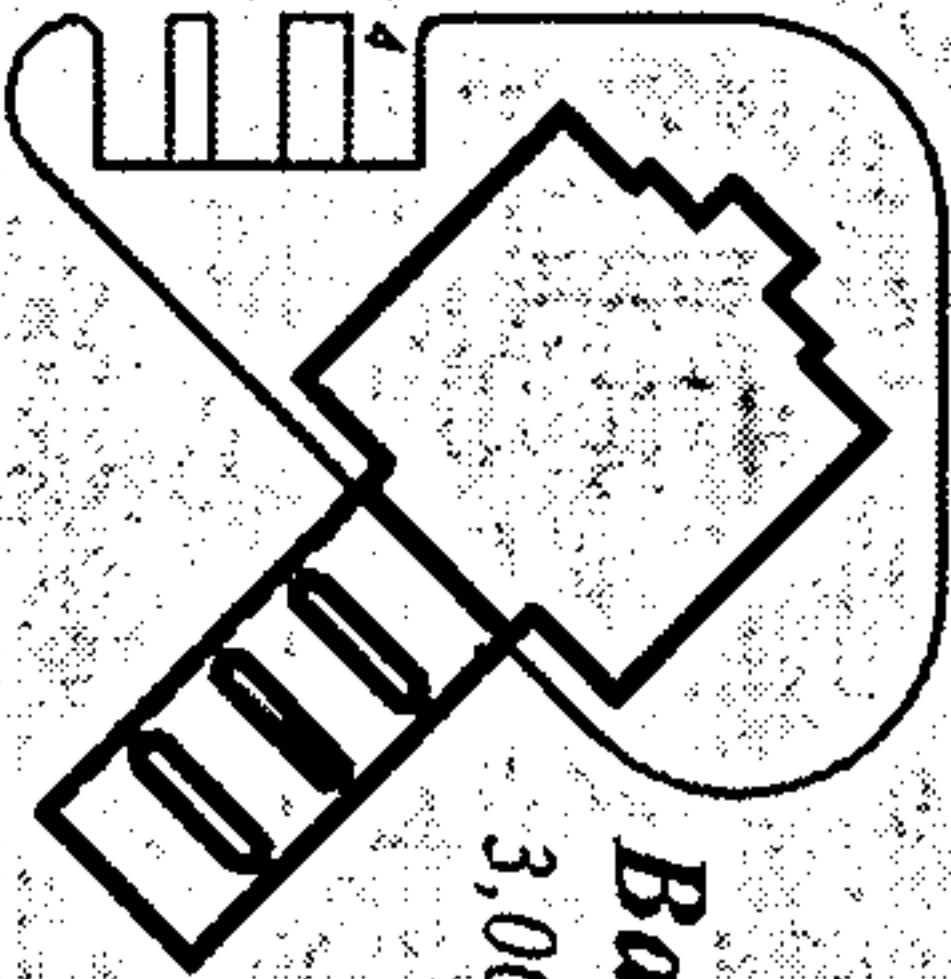
Fraternal Order of Police - Site Study
 5900 Jefferson Blvd. NE, Albuquerque, NM Job # P04035 Feb. 10, 2005

Jefferson Blvd. NE

Access Easement

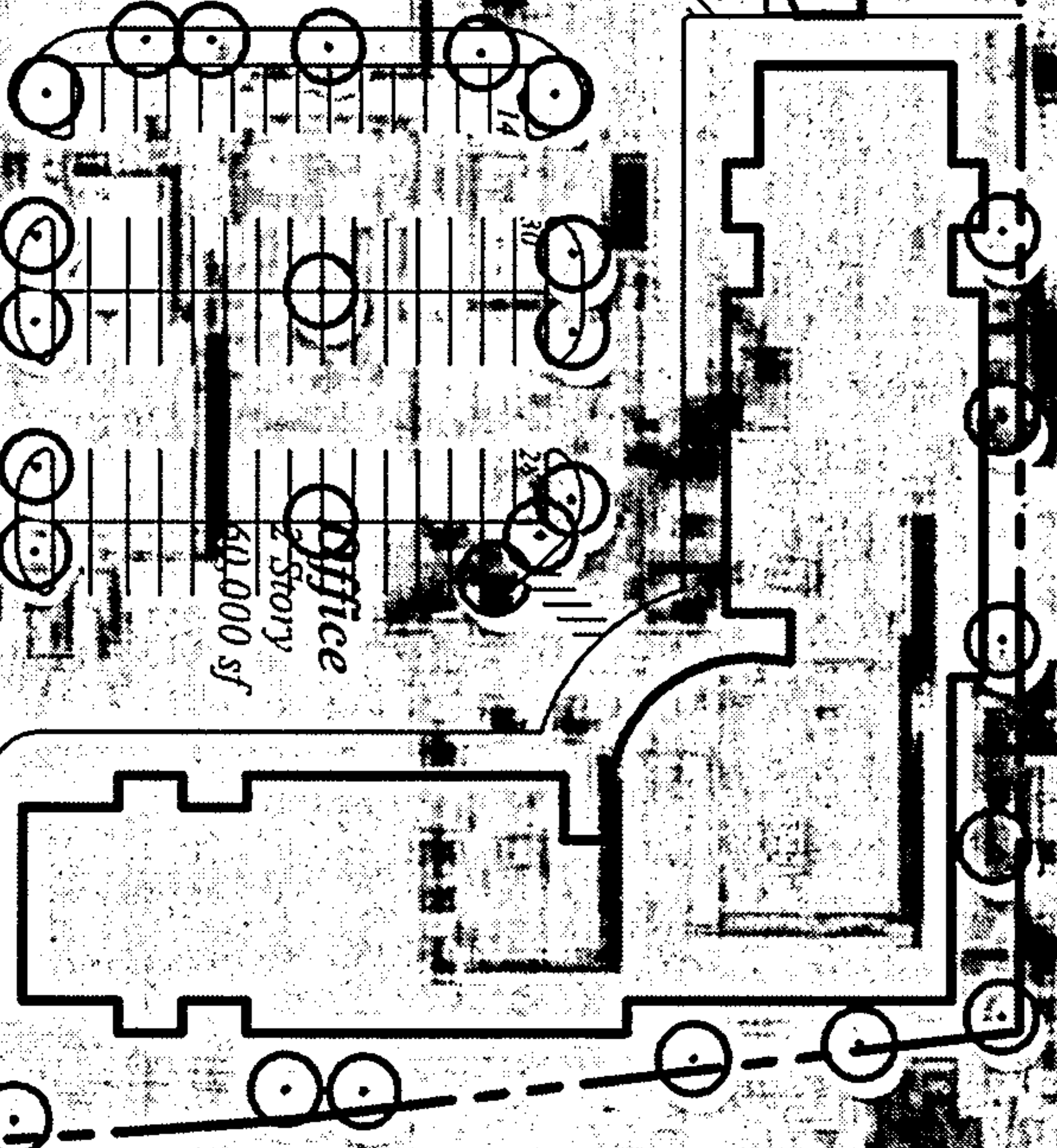
5 Levels @ 30
Rooms per Level

1.54 Acres 70 Spaces (13 Req.)



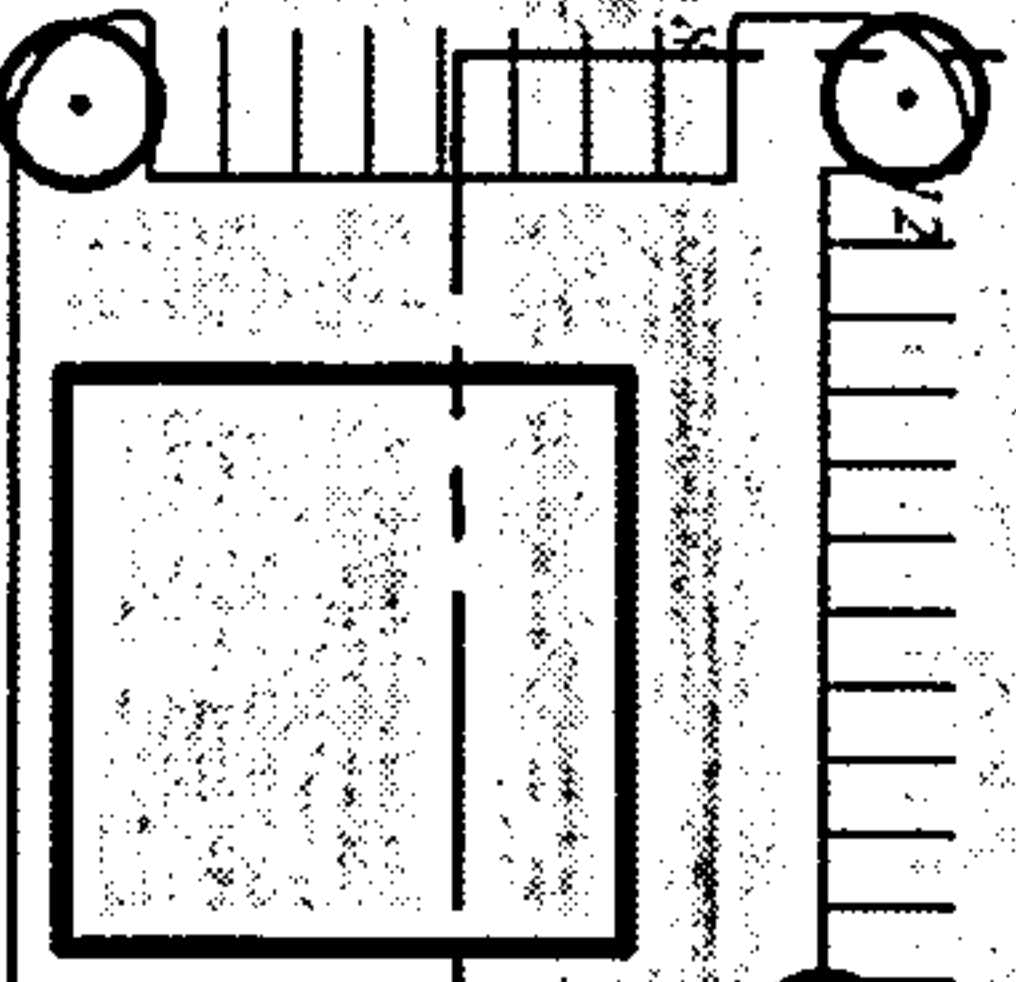
Bank
3,000 sf

3.14 Acres 147 Spaces (203 Office/135 Hotel Req.)



Office
40,000 sf
2 story

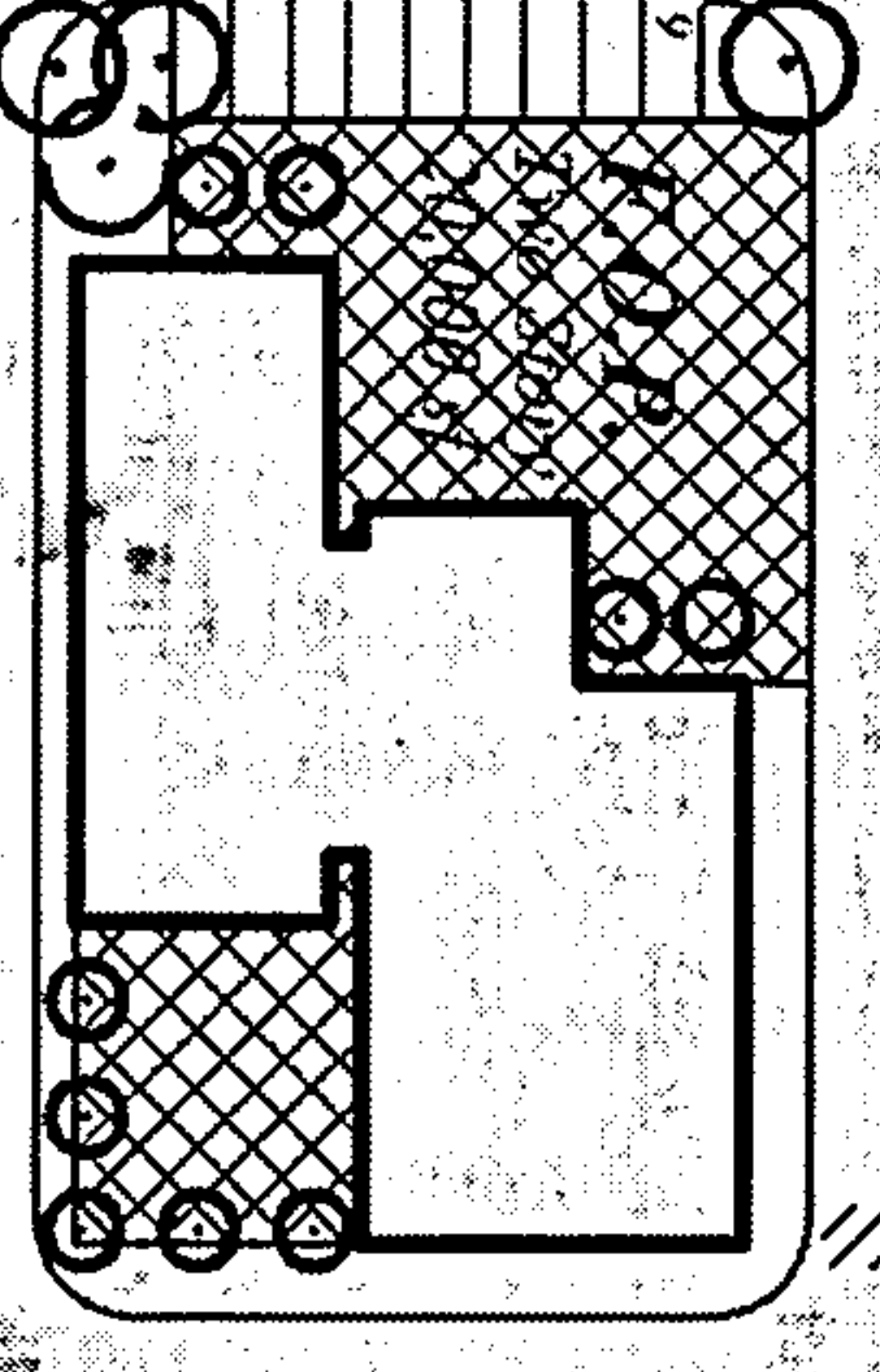
180 Spaces (180 Req.)



Rest
5,000 sf

Rest
5,000 sf

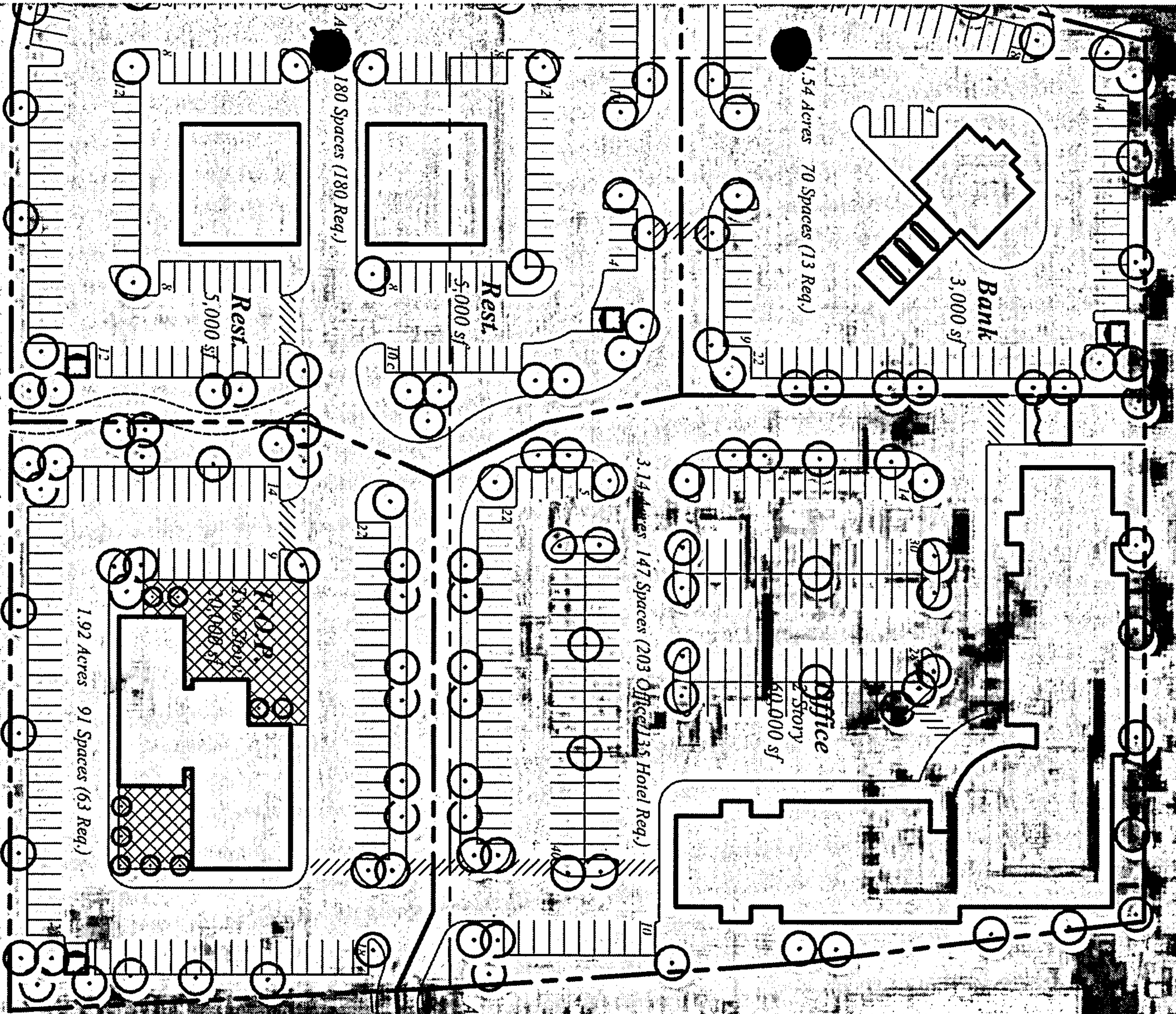
1.92 Acres 91 Spaces (63 Req.)

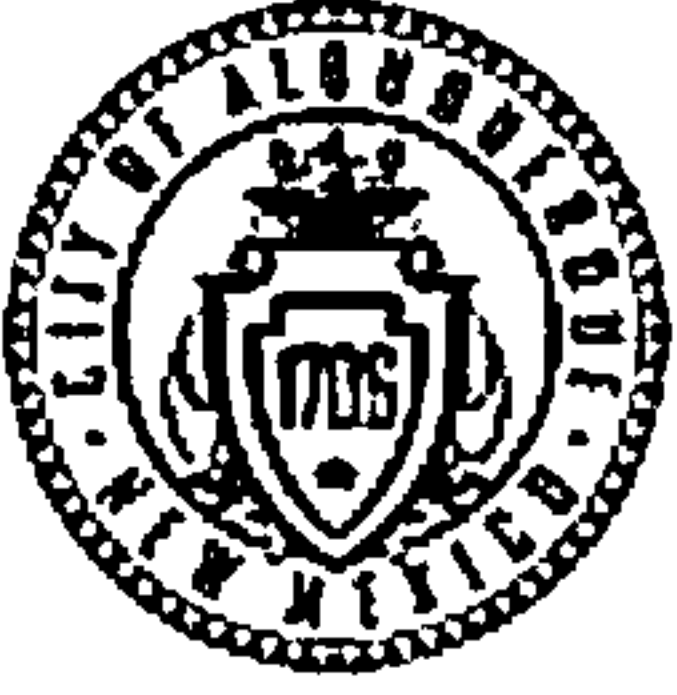


Rest
10,000 sf

Pedestrian Link

Bear Arroyo Drain Easement





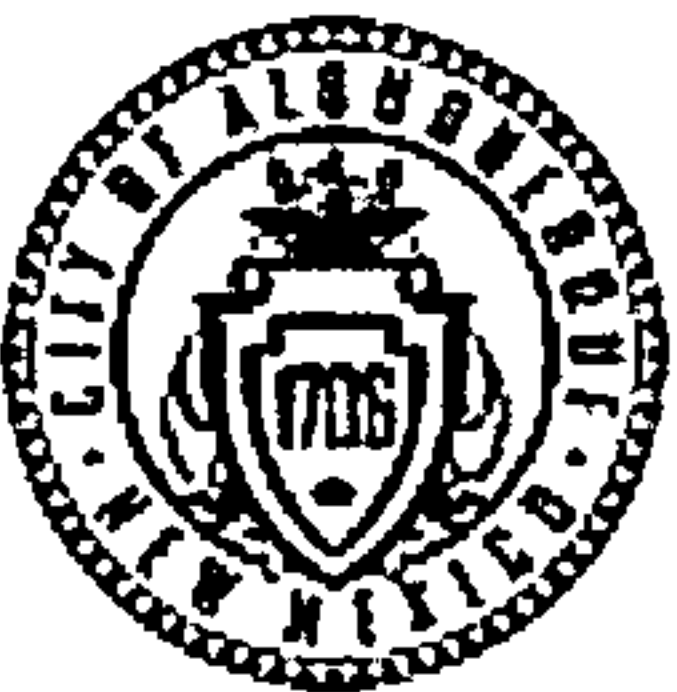
Richard H.
Dourte/PWD/CABQ
03/29/2006 09:09 AM

To Margaret D. Garcia/PLN/CABQ@COA
cc SMatson@cabq.gov@COA
bcc
Subject Re: Fw: FOP Lot Line Request

Close enough.

Have a good one,

Richard Dourte
Development and Building Services Div.
Planning Dept.
Margaret D. Garcia/PLN/CABQ



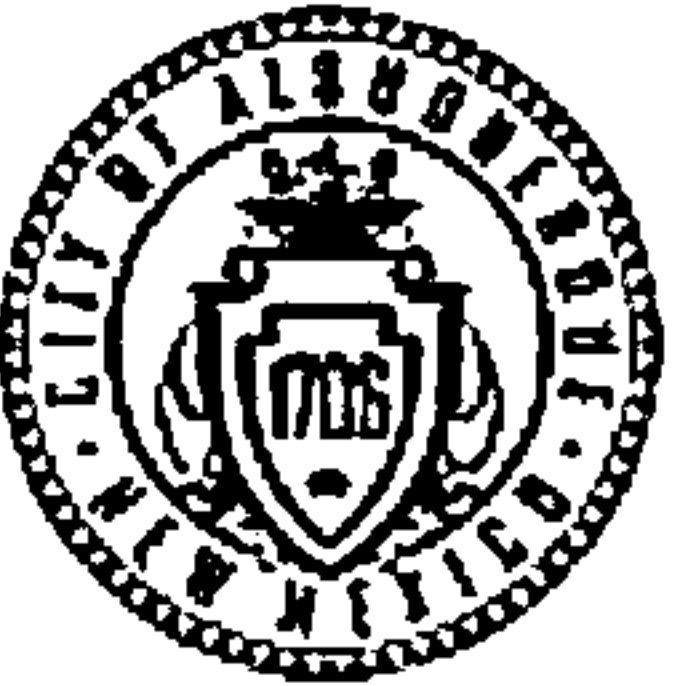
Margaret D.
Garcia/PLN/CABQ
03/29/2006 08:35 AM

To Richard H. Dourte/PWD/CABQ@COA
cc
Subject Fw: FOP Lot Line Request

Does this coincide with what you told me? Seems so....

Margaret D. Garcia
Executive Assistant
Planning Director's Office
(505) 924-3936

— Forwarded by Margaret D. Garcia/PLN/CABQ on 03/29/2006 08:35 AM —



"Bob Feinberg"
<bfeinberg@nmrea.com>
>
03/28/2006 07:42 PM

To "Ric Leverick" <rleverick@levemuss.com>
cc "John Ransom" <jransom@nmrea.com>, <tim.with@grubb-ellis.com>, <tom.jones@grubb-ellis.com>, <larry@mlins.com>, <minn470@hotmail.com>, <fop1@qwest.net>, <rdineen@cabq.gov>
Subject FOP Lot Line Request

Dear Ric:

After receiving your e-mail last week regarding the replatting of the FOP property, I sent Richard Dineen a very long, and detailed (verbal and pictorial) e-mail package regarding the plans the FOP has approved for their property on Jefferson. My question to him was could we get a lot line adjustment administratively, to define and plat the Lujan parcel, and then subsequent to that DRB approval process, go through the entire EPC process for the balance of the property to get it rezoned, replatted, and site planned for subdivision? Richard said that he would check with his PNZ group to see if this request could be accommodated. As you know I have been in South Carolina with Alex, getting her registered and enrolled at USC. I put in a call to Richard today, and although he couldn't take the call because of an interview process he was just going into, he did have Margaret his assistant tell me the following about my request for the lot line adjustment.

Basically, we CAN get an administrative approval for this, and to do so must perform the following process, which can go quite quickly. We should get a full survey of the property (which we will need anyway) immediately, probably an ALTA, so we can use the same Survey for our ultimate EPC hearings. Once the field work of that survey has been completed, the surveyor will draw a property line for the Lujan parcel to equal approximately 3.7 acres, and give it a legal description. At that point we can bring it in to DRB for that approval process, and basically be done with the lot line division, and thus have a legal parcel to sell.

Once we have completed that process, we can open escrow with the Lujans, with a good legal description, and deliverable deed. Coinciding with that escrow, we can also begin making our EPC application for the balance of the property.

Richard, the above explanation is what I understood from Margaret earlier this evening (Tuesday). Please comment (Reply to All) here as to the accuracy of my interpretation, and if correct, or close to correct, please let us all know if we can go ahead and order the ALTA Survey, once the FOP approves that expenditure, and simultaneously begin our work on the EPC application for the balance of the property. Finally, if in fact the above statement is accurate, I want to thank you, and tell you how much we all appreciate so very much your immediate attention to this matter!

Sincerely,

Bob

*Robert H. (Bob) Feinberg
Sr. Vice-President/Principal
Grubb & Ellis|New Mexico
505.238.7707 Cell*

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Fraternal Order of Police Albuquerque Lodge 1 PHONE: 505-345-2639
 ADDRESS: 5900 Jefferson St. NE FAX: 505-345-4724
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: SAME
 AGENT (if any): Tierra West LLC PHONE: 505-858-3100
 ADDRESS: 8509 Jefferson St. NE FAX: 505-858-1118
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: _____

DESCRIPTION OF REQUEST: Sketch Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tracts 1 & 2 Block: _____ Unit: _____
 Subdiv. / Addn. Fraternal Order of Police Addition
 Current Zoning: SU1 for IP Proposed zoning: SAME
 Zone Atlas page(s): E-17 No. of existing lots: 2 No. of proposed lots: 4
 Total area of site (acres): 9.73 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 101706232710440112,101706234213640107 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: Jefferson Street NE
 Between: Bear Arroyo and _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): SP-77-71

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE Donna Bohannan DATE 4.4.06
 (Print) for Ronald R. Bohannan, PE Donna Bohannan Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06 DRB</u>	<u>SK</u>	_____	\$ <u>0-</u>
<input type="checkbox"/> All fees have been collected	<u>00438</u>	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>4-12-06</u>			Total	\$ <u>0-</u>

Clare Senora 4/4/06 Project # 1004801

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Signed** Pre-Annexation Agreement if Annexation required.
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon, PE

Applicant name (print)

Ronald R. Bohannon

4.4.06

Applicant signature / date

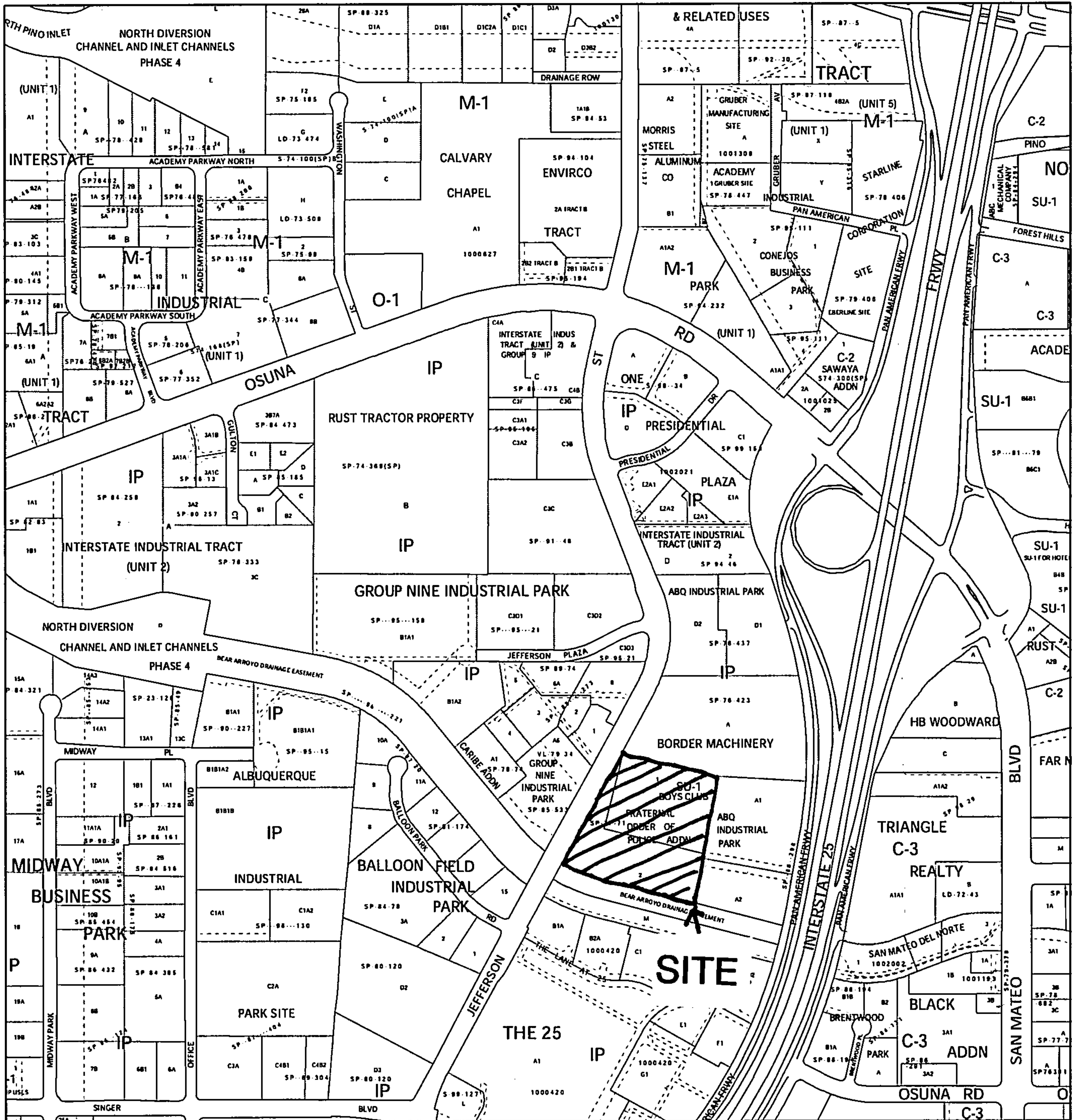


Form revised 11/04

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
06 DRB - 00438

Clare Senora 4/4/06
 Planner signature / date
Project # 1004801



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: Apr 22, 2005

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
E-17-Z

Selected Symbols

Outside City Limits	Petroglyph Mon.
Sector Plans	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zone	Airport Noise Contours
KKKH-1 Buffer Zone	Wall Overlay Zone

0 750 1,500 Feet

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

April 4, 2006

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87102

**RE: Sketch Plat Review & Comments
Fraternal Order of Police
Zone Atlas Page E17**

Dear Ms. Matson:

Tierra West LLC, on behalf of the Fraternal Order of Police Albuquerque Lodge 1, requests review and comments on the Sketch Plat for the above-referenced project. This site is located on Jefferson Street NE and is bordered on the south by the Bear Arroyo. The site is zoned SU1 for IP and contains 9.73 acres. The proposed use for the site is commercial/office.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,

Donna Bohannon
for Ronald R. Bohannon, PE

Enclosure/s

cc: Tom Jones

JN: 25016
RRB/kdk

2005:25016s.matsonsketchplat040406