

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 9.6711 ACRES±  
 ZONE ATLAS INDEX NO: E-17-Z  
 NO. OF TRACTS CREATED: 0  
 NO. OF LOTS CREATED: 4  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: APRIL 2006

**Disclosure Statement:**

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO LOTS INTO FOUR NEW LOTS, AND TO GRANT EASEMENTS.

**Notes:**

- MISC. DATA: ZONING SU-1
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 26, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2006-10-052

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

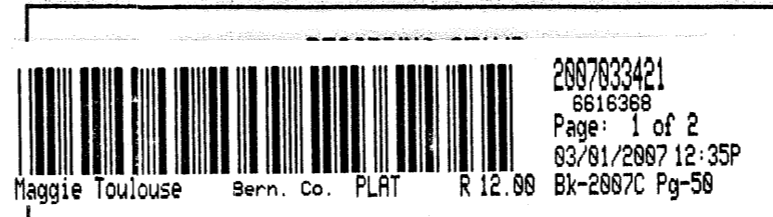
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEGARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



**Legal Description**

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 26, TOWNSHIP 11 NORTH RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO. COMPRISING OF LOTS ONE (1) AND TWO (2) OF FRATERNAL ORDER OF POLICE ADDITION, ALBUQUERQUE, BERNALILLO COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 11, 1977, IN PLAT BOOL C11, PAGE 173, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NE MEXICO STATE PLANE COORDINATE GRID BEARINGS (CENTRAL ZONE-NAVD 1927) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE NORTH RIGHT OF WAY LINE OF BEAR ARROYO, MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 1010", FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "NM367-1" BEARS S 80°50'43" W, DISTANCE OF 1,944.21 FEET;

THENCE ALONG SAID NORTH RIGHT OF WAY LINE, N 75°27'30" W, A DISTANCE OF 502.79 FEET TO A POINT OF CURVATURE MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 861.13 FEET, WITH AN ARC LENGTH OF 234.40 FEET, A DELTA ANGLE OF 15°35'46", HAVING A CHORD BEARING OF N 67°39'37" W, AND A CHORD LENGTH OF 233.68 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE EAST RIGHT OF WAY LINE OF JEFFERSON STREET, N.E. MARKED BY A SET NO. 4 WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG SAID EAST RIGHT OF WAY LINE, N 29°01'21" E, A DISTANCE OF 658.82 FEET TO THE NORTHWEST CORNER OF DESCRIBED PARCEL MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID EAST RIGHT OF WAY LINE, S 75°34'35" E A DISTANCE OF 511.48 FEET TO A POINT OF CURVATURE BEING THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 1010";

THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 1766.83 FEET, WITH AN ARC LENGTH OF 226.46 FEET, WITH A DELTA ANGLE OF 7°20'37", HAVING A CHORD BEARING OF S 07°13'57" W, AND A CHORD LENGTH OF 226.30 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 8686";

THENCE S 10°45'44" W A DISTANCE OF 186.52 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 8686";

THENCE S 10°48'05" W A DISTANCE OF 260.63 FEET TO THE POINT OF BEGINNING CONTAINING 9.6711 ACRES (421,272 SQUARE FEET), MORE OR LESS.

**Free Consent**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS, SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

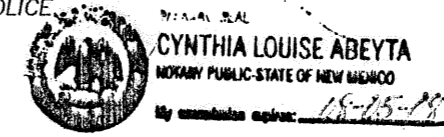
Toby Gallegos 8/22/2006  
 TOBY GALLEGOS DATE  
 PRESIDENT  
 ALBUQUERQUE LODGE NO. 1 OF THE FRATERNAL ORDER OF POLICE

**Acknowledgment**

STATE OF NEW MEXICO ) SS  
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 22<sup>ND</sup> DAY OF August, 2006 BY LODGE 1 PRESIDENT TOBY GALLEGOS, ALBUQUERQUE LODGE NO. 1 OF THE FRATERNAL ORDER OF POLICE.

BY Cynthia Louise Abeyta MY COMMISSION EXPIRES: 08-05-2008  
 NOTARY PUBLIC



Plat of  
 Lots 1-A, 1-B, 2-A, and 2-B  
**Fraternat Order of  
 Police Addition**  
 Albuquerque, Bernalillo County, New Mexico  
 August 2006

Project No. 1004801

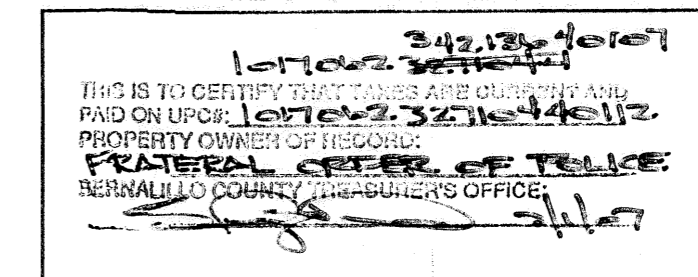
Application No. 26DRB-01477

**Utility Approvals**

|                          |         |
|--------------------------|---------|
| <u>James D. Marks</u>    | 11-7-06 |
| PNM ELECTRIC SERVICES    | DATE    |
| <u>James D. Marks</u>    | 11-7-06 |
| PNM GAS SERVICES         | DATE    |
| <u>James D. Marks</u>    | 9/15/06 |
| QWEST TELECOMMUNICATIONS | DATE    |
| <u>James D. Marks</u>    | 11-8-06 |
| COMCAST                  | DATE    |
| <u>James D. Marks</u>    |         |
| NEW MEXICO UTILITIES     | DATE    |

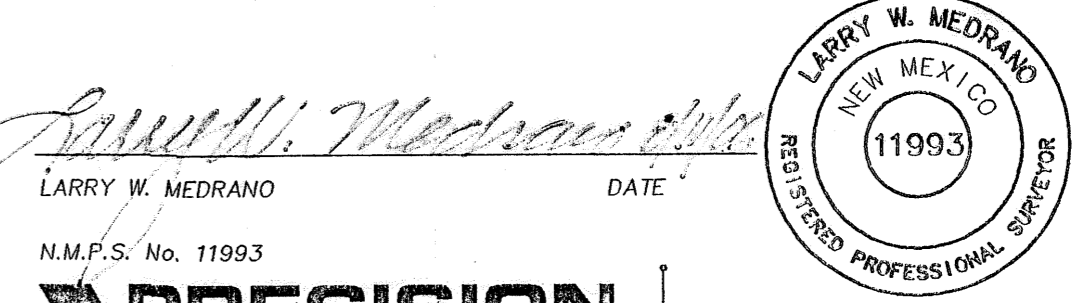
**City Approvals**

|  |         |
|--|---------|
| <u>James D. Marks</u>                          | 8-30-06 |
| CITY SURVEYOR                                  | DATE    |
| N/A  |         |
| REAL PROPERTY DIVISION                         | DATE    |
| N/A  |         |
| ENVIRONMENTAL HEALTH DEPARTMENT                | DATE    |
| <u>James D. Marks</u>                          | 2-28-07 |
| TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT | DATE    |
| <u>James D. Marks</u>                          | 2/25/07 |
| WATER UTILITY DEPARTMENT                       | DATE    |
| <u>Christina Blandford</u>                     | 2/28/07 |
| PARKS AND RECREATION DEPARTMENT                | DATE    |
| <u>James M. Mason</u>                          | 1-31-07 |
| AMAFCA   | DATE    |
| <u>Bradley D. Bingham</u>                      | 2/28/07 |
| CITY ENGINEER                                  | DATE    |
| <u>DRB Chairperson</u>                         | 8/01/07 |
| DRB CHAIRPERSON, PLANNING DEPARTMENT           |         |
| TREASURER'S CERTIFICATE                        |         |



**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.



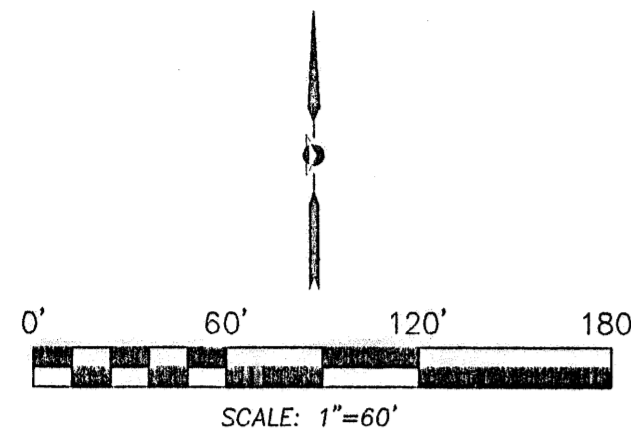
PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE  
 Albuquerque, NM 87113

866.422.8011 TOLL FREE  
 505.856.5700 PHONE  
 505.856.7900 FAX



Plat of  
 Lots 1-A, 1-B, 2-A, and 2-B  
**Fraternal Order of  
 Police Addition**  
 Albuquerque, Bernalillo County, New Mexico  
 December 2006



2687833421  
 6616398  
 Page: 2 of 2  
 83/81/2687 12:35P  
 R 12.88 BK-2687C Pg-58

**Legend**

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY

**Line Table**

| LINE | BEARING       | DISTANCE | LINE | BEARING       | DISTANCE |
|------|---------------|----------|------|---------------|----------|
| L1   | S 60°58'39" E | 25.35'   | L33  | S 75°33'55" E | 78.46'   |
| L2   | N 14°26'15" E | 15.13'   | L34  | S 60°50'15" E | 56.26'   |
| L3   | S 75°33'45" E | 20.00'   | L35  | N 14°26'05" E | 51.00'   |
| L4   | S 75°33'45" E | 16.31'   | L36  | N 75°33'55" W | 82.00'   |
| L5   | S 75°33'45" E | 3.69'    | L37  | N 89°39'05" W | 43.59'   |
| L6   | S 14°26'15" W | 15.13'   | L38  | S 40°03'34" E | 41.86'   |
| L7   | S 75°33'45" E | 29.59'   | L39  | S 75°33'55" E | 42.77'   |
| L8   | S 14°26'05" W | 37.13'   | L40  | N 14°26'05" E | 14.78'   |
| L9   | S 75°33'55" E | 4.38'    | L41  | S 66°43'52" W | 30.13'   |
| L10  | S 14°26'05" W | 10.00'   | L42  | S 23°20'29" E | 33.55'   |
| L11  | N 75°33'55" W | 4.38'    | L43  | N 75°33'55" W | 54.06'   |
| L12  | S 14°26'05" W | 34.61'   | L44  | N 30°33'45" W | 21.27'   |
| L13  | S 14°26'05" W | 20.00'   | L45  | N 75°33'45" W | 55.52'   |
| L14  | S 75°33'55" E | 20.00'   | L46  | S 75°33'55" E | 31.82'   |
| L15  | S 14°26'05" W | 103.00'  | L47  | S 69°57'12" W | 31.48'   |
| L16  | S 14°26'05" W | 20.00'   | L48  | S 11°10'04" E | 13.31'   |
| L17  | N 29°01'21" E | 20.00'   | L49  | N 75°33'55" W | 3.69'    |
| L18  | N 75°33'55" W | 11.11'   | L50  | N 14°26'05" E | 6.50'    |
| L19  | N 14°26'05" E | 20.00'   | L51  | S 75°33'55" E | 31.82'   |
| L20  | S 75°33'55" E | 11.11'   | L52  | N 64°29'37" E | 21.78'   |
| L21  | N 75°33'55" W | 11.27'   | L53  | N 60°58'39" W | 42.88'   |
| L22  | N 14°26'05" E | 10.00'   | L54  | S 29°01'21" W | 26.72'   |
| L23  | S 75°33'55" E | 11.27'   | L55  | S 75°33'55" E | 7.44'    |
| L24  | N 75°33'55" W | 23.09'   | L57  | N 60°49'49" W | 12.00'   |
| L25  | N 14°26'05" E | 10.00'   | L58  | S 29°10'11" W | 12.00'   |
| L26  | S 75°33'55" E | 23.09'   | L59  | N 60°49'49" W | 12.00'   |
| L27  | N 14°26'05" E | 30.16'   | L60  | S 29°10'11" W | 12.00'   |
| L28  | N 60°58'39" W | 27.91'   | L61  | N 60°49'49" W | 12.00'   |
| L29  | N 29°01'21" E | 20.00'   | L62  | N 29°10'11" E | 12.00'   |
| L30  | S 14°26'05" W | 20.00'   | L63  | N 60°49'49" W | 12.00'   |
| L31  | S 35°50'34" E | 35.73'   | L64  | N 29°10'11" E | 12.00'   |
| L32  | S 30°33'45" E | 18.44'   |      |               |          |

R=1766.83'  
 L=226.46' (226.49')  
 Δ=07°20'37"  
 T=113.38'  
 CH=S 07°13'57" W  
 226.30'

R=861.13'  
 L=234.40'  
 Δ=15°35'46"  
 T=117.93'  
 CH=N 67°39'37" W  
 233.68'

**Curve Table**

| CURVE | RADIUS | ARC LENGTH | DELTA ANGLE | TANGENT | CHORD LENGTH | CHORD BEARING |
|-------|--------|------------|-------------|---------|--------------|---------------|
| C1    | 49.00' | 76.97'     | 90°00'00"   | 49.00'  | 69.30'       | N 30°33'55" W |
| C2    | 42.16' | 39.79'     | 54°04'17"   | 21.52'  | 38.33'       | S 73°43'49" W |
| C3    | 24.08' | 26.25'     | 62°27'29"   | 14.60'  | 24.97'       | S 09°37'36" W |
| C4    | 89.50' | 65.82'     | 42°08'22"   | 34.48'  | 64.35'       | N 06°38'06" W |
| C5    | 42.50' | 66.76'     | 90°00'00"   | 42.50'  | 60.10'       | S 30°33'55" E |
| C6    | 24.00' | 37.72'     | 90°03'11"   | 24.02'  | 33.96'       | S 59°27'41" W |
| C7    | 10.00' | 3.96'      | 22°40'31"   | 2.01'   | 3.93'        | N 58°36'57" E |
| C8    | 16.00' | 11.44'     | 40°58'25"   | 5.98'   | 11.20'       | S 49°27'59" W |
| C9    | 16.00' | 11.21'     | 40°08'50"   | 5.85'   | 10.98'       | S 08°54'21" W |
| C10   | 10.00' | 9.29'      | 53°15'19"   | 5.01'   | 8.96'        | N 15°27'35" E |
| C11   | 23.50' | 25.57'     | 62°20'51"   | 14.22'  | 24.33'       | N 73°15'40" E |
| C12   | 9.00'  | 3.71'      | 23°36'11"   | 1.88'   | 3.68'        | N 52°41'32" E |
| C13   | 10.00' | 6.20'      | 35°32'00"   | 3.20'   | 6.10'        | S 46°43'37" W |
| C14   | 16.00' | 11.03'     | 39°29'03"   | 5.74'   | 10.81'       | S 09°13'06" W |
| C15   | 10.00' | 2.58'      | 14°46'44"   | 1.30'   | 2.57'        | N 03°08'03" W |

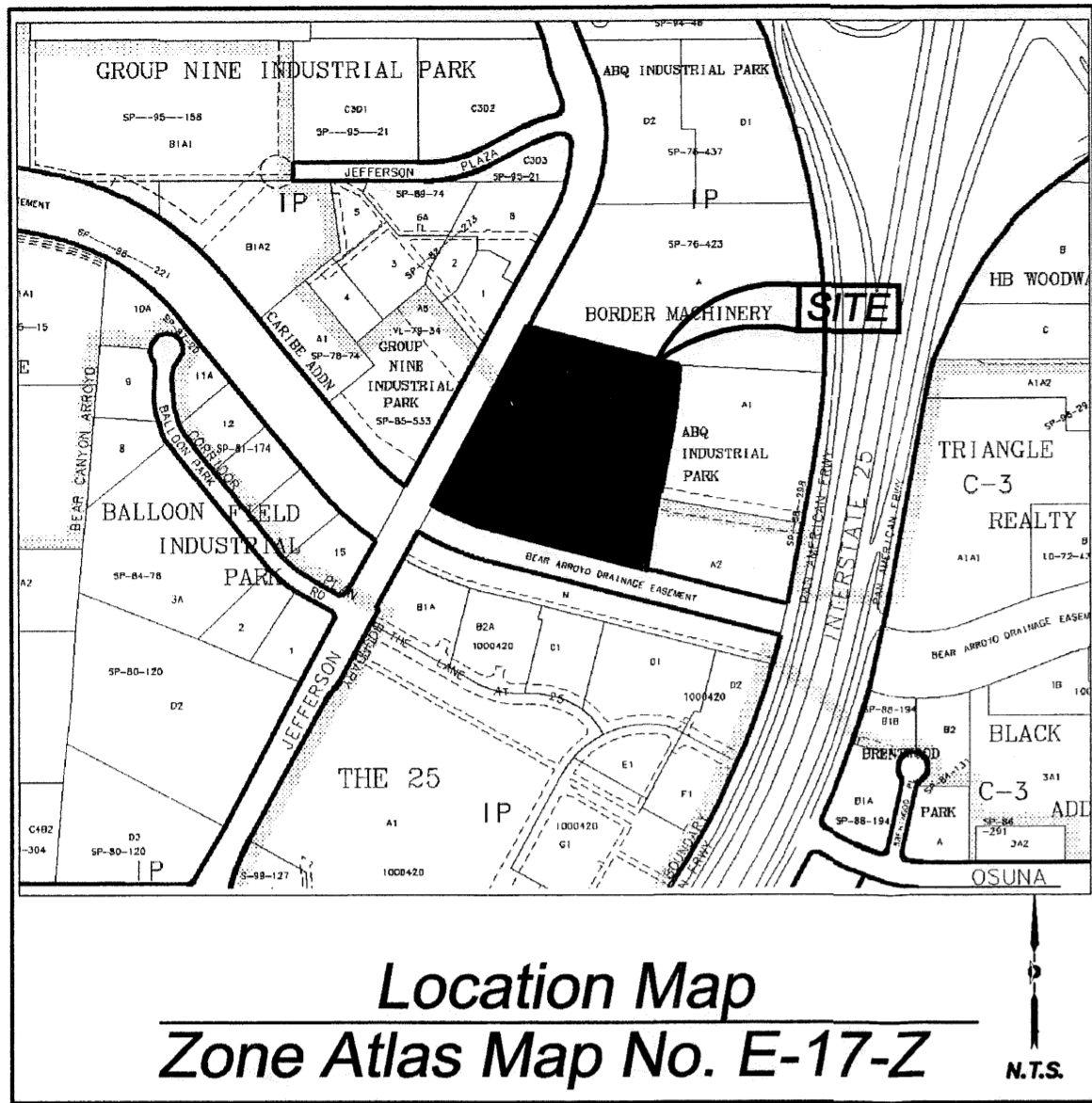
A.C.S. MONUMENT "NDC-13-ID2"  
 STANDARD A.C.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=363,930.90  
 Y=1,508,622.57  
 EL=5097.3  
 GROUND TO GRID FACTOR=0.99966914  
 DELTA ALPHA ANGLE=-0°12'15"

A.C.S. MONUMENT "NM367-1"  
 STANDARD A.C.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=399,603.43  
 Y=1,508,188.29  
 EL=5210.562  
 GROUND TO GRID FACTOR=0.99966232  
 DELTA ALPHA ANGLE=-0°11'36"



8500-A Jefferson Street, NE  
 Albuquerque, NM 87113

866.422.8011 TOLL FREE  
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**Easements**

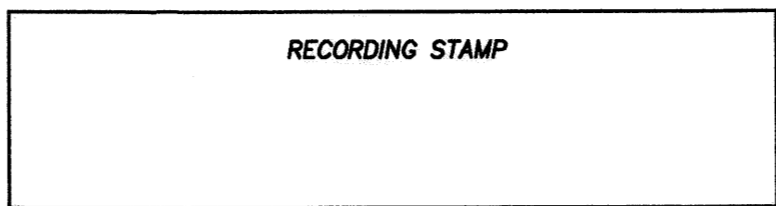
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**Legal Description**

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 26, TOWNSHIP 11 NORTH RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOTS ONE (1) AND TWO (2) OF FRATERNAL ORDER OF POLICE ADDITION, ALBUQUERQUE, BERNALILLO COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 11, 1977, IN PLAT BOOL C11, PAGE 173, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE GRID BEARINGS (CENTRAL ZONE-NAVD 1927) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE NORTH RIGHT OF WAY LINE OF BEAR ARROYO, MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 1010", FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "NM367-1" BEARS S 80°50'43" W, DISTANCE OF 1,944.21 FEET;

THENCE ALONG SAID NORTH RIGHT OF WAY LINE, N 75°27'30" W, A DISTANCE OF 502.79 FEET TO A POINT OF CURVATURE MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 861.13 FEET, WITH AN ARC LENGTH OF 234.40 FEET, A DELTA ANGLE OF 15°35'46", HAVING A CHORD BEARING OF N 67°39'37" W, AND A CHORD LENGTH OF 233.68 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE EAST RIGHT OF WAY LINE OF JEFFERSON STREET, N.E. MARKED BY A SET NO. 4 WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG SAID EAST RIGHT OF WAY LINE, N 29°01'21" E, A DISTANCE OF 658.82 FEET TO THE NORTHWEST CORNER OF DESCRIBED PARCEL MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID EAST RIGHT OF WAY LINE, S 75°34'35" E A DISTANCE OF 511.48 FEET TO A POINT OF CURVATURE BEING THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 1010";

THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 1766.83 FEET, WITH AN ARC LENGTH OF 226.46 FEET, WITH A DELTA ANGLE OF 7°20'37", HAVING A CHORD BEARING OF S 07°13'57" W, AND A CHORD LENGTH OF 226.30 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 8686";

THENCE S 10°45'44" W A DISTANCE OF 186.52 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 8686";

THENCE S 10°48'05" W A DISTANCE OF 260.63 FEET TO THE POINT OF BEGINNING CONTAINING 9.6711 ACRES (421,272 SQUARE FEET), MORE OR LESS.

**Free Consent**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

Toby Gallegos 8/22/2006  
 TOBY GALLEGOS PRESIDENT  
 ALBUQUERQUE LODGE NO. 1 OF THE FRATERNAL ORDER OF POLICE

**Acknowledgment**

STATE OF NEW MEXICO ) SS  
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 22<sup>ND</sup> DAY OF August, 2006 BY LODGE 1 PRESIDENT, TOBY GALLEGOS, ALBUQUERQUE LODGE NO. 1 OF THE FRATERNAL ORDER OF POLICE.

BY Cynthia Louise Abeyta MY COMMISSION EXPIRES: 08-05-2008  
 NOTARY PUBLIC

Plat of  
 Lots 1-A, 1-B, 2-A, and 2-B  
**Fraternal Order of Police Addition**  
 Albuquerque, Bernalillo County, New Mexico  
 August 2006

Project No. \_\_\_\_\_

Application No. \_\_\_\_\_

**Utility Approvals**

|                          |         |
|--------------------------|---------|
| <u>Land 93. Marks</u>    | 11-7-06 |
| PNM ELECTRIC SERVICES    | DATE    |
| <u>Land 93. Marks</u>    | 11-7-06 |
| PNM GAS SERVICES         | DATE    |
| <u>David H. Holden</u>   | 9/27/06 |
| QWEST TELECOMMUNICATIONS | DATE    |
| <u>Ken Duman</u>         | 11-6-06 |
| COMCAST                  | DATE    |
| NEW MEXICO UTILITIES     | DATE    |

**City Approvals**

Dr. B. Fat  
 CITY SURVEYOR

APPROVED BY DRB  
 ON 8-30-06  
2/20/07

|  |      |
|--|------|
| REAL PROPERTY DIVISION                         | DATE |
| ENVIRONMENTAL HEALTH DEPARTMENT                | DATE |
| TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT | DATE |
| WATER UTILITY DEPARTMENT                       | DATE |
| PARKS AND RECREATION DEPARTMENT                | DATE |
| AMAFCA   | DATE |
| CITY ENGINEER                                  | DATE |
| DRB CHAIRPERSON, PLANNING DEPARTMENT           |      |
| TREASURER'S CERTIFICATE                        |      |

**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano  
 LARRY W. MEDRANO DATE

N.M.P.S. No. 11993  
**PRECISION SURVEYS, INC.**

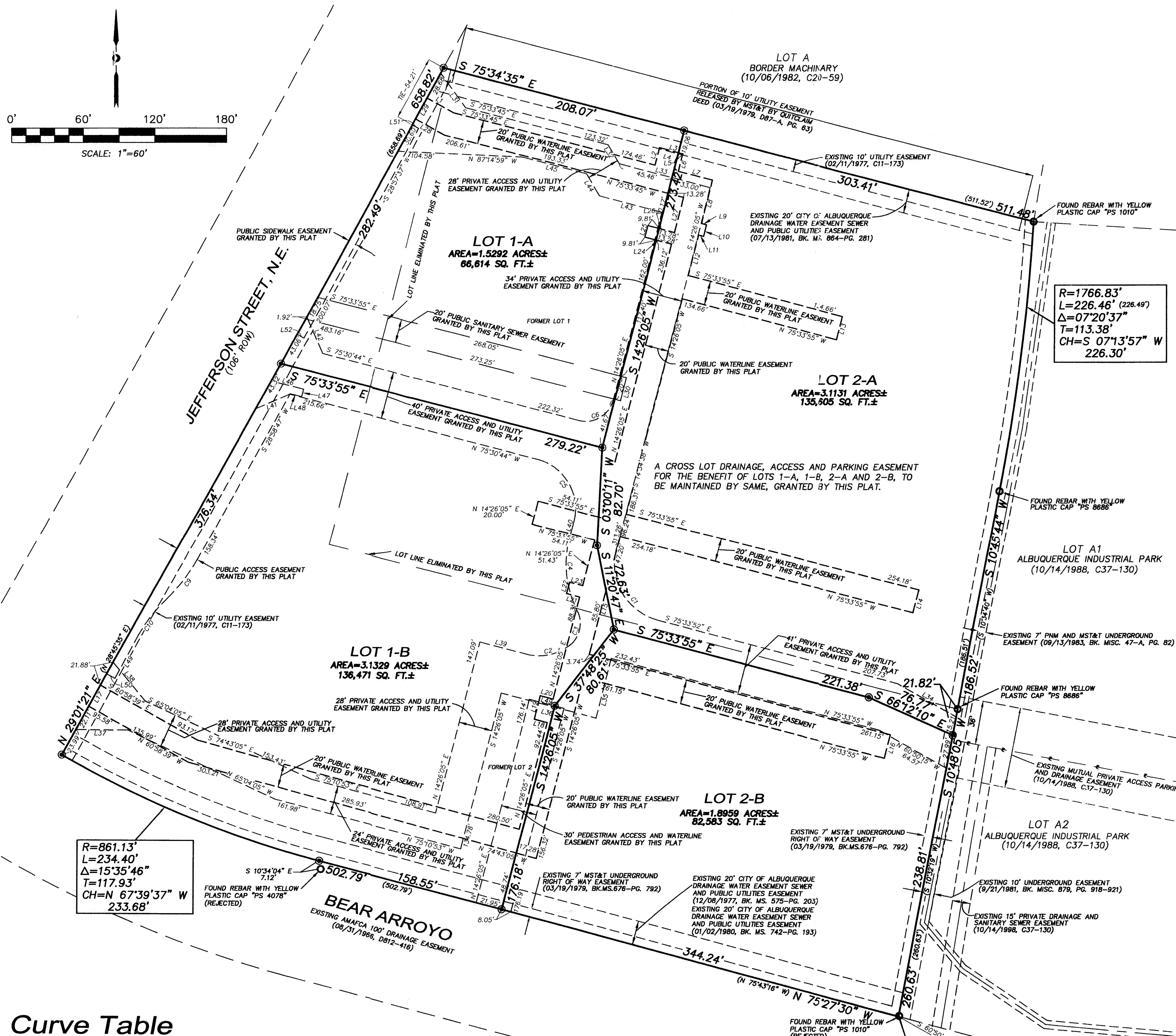
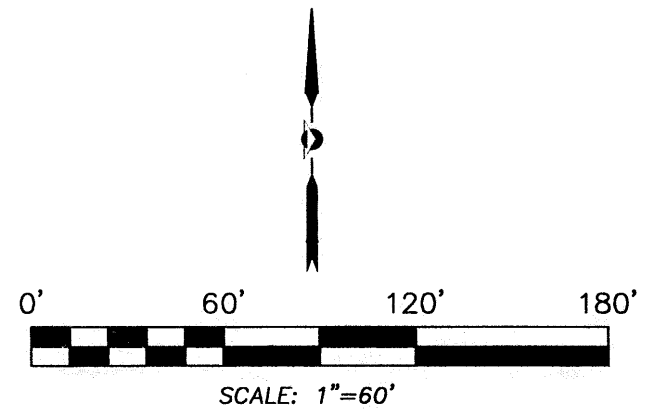


8500-A Jefferson Street, NE  
 Albuquerque, NM 87113

866.422.8011 TOLL FREE  
 505.856.5700 PHONE  
 505.856.7900 FAX



Plat of  
 Lots 1-A, 1-B, 2-A, and 2-B  
**Fraternal Order of  
 Police Addition**  
 Albuquerque, Bernalillo County, New Mexico  
 December 2006



**Legend**

|                 |  |
|-----------------|--|
| (N 90°00'00" E) | RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES                     |
| N 90°00'00" E   | MEASURED BEARINGS AND DISTANCES AS DESIGNATED                          |
| ○               | FOUND AND USED MONUMENT AS DESIGNATED                                  |
| ⊙               | DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY |

**Line Table**

| LINE | BEARING       | DISTANCE |
|------|---------------|----------|
| L1   | S 60°58'39" E | 25.35'   |
| L2   | N 14°26'15" E | 15.13'   |
| L3   | S 75°33'45" E | 20.00'   |
| L4   | S 75°33'45" E | 16.31'   |
| L5   | S 75°33'45" E | 3.69'    |
| L6   | S 14°26'15" W | 15.13'   |
| L7   | S 75°33'45" E | 29.59'   |
| L8   | S 14°26'05" W | 37.13'   |
| L9   | S 75°33'55" E | 4.38'    |
| L10  | S 14°26'05" W | 10.00'   |
| L11  | N 75°33'55" W | 4.38'    |
| L12  | S 14°26'05" W | 34.61'   |
| L13  | S 14°26'05" W | 20.00'   |
| L14  | S 14°26'05" W | 20.00'   |
| L15  | S 14°26'05" W | 103.00'  |
| L16  | S 14°26'05" W | 20.00'   |
| L17  | N 29°01'21" E | 20.00'   |
| L18  | N 75°33'55" W | 11.11'   |
| L19  | N 14°26'05" E | 20.00'   |
| L20  | S 75°33'55" E | 11.11'   |
| L21  | N 75°33'55" W | 11.27'   |
| L22  | N 14°26'05" E | 10.00'   |
| L23  | S 75°33'55" E | 11.27'   |
| L24  | N 75°33'55" W | 23.09'   |
| L25  | N 14°26'05" E | 10.00'   |
| L26  | S 75°33'55" E | 23.09'   |
| L27  | N 14°26'05" E | 30.16'   |
| L28  | N 60°58'39" W | 27.91'   |
| L29  | N 29°01'21" E | 20.00'   |
| L30  | S 14°26'05" W | 20.00'   |
| L31  | S 35°50'34" E | 35.73'   |
| L32  | S 30°33'45" E | 18.44'   |
| L33  | S 75°33'55" E | 78.46'   |
| L34  | S 60°50'15" E | 56.26'   |
| L35  | N 14°26'05" E | 51.00'   |
| L36  | N 75°33'55" W | 82.00'   |
| L37  | N 89°39'05" W | 43.59'   |
| L38  | S 40°03'34" E | 41.86'   |
| L39  | S 75°33'55" E | 42.77'   |
| L40  | N 14°26'05" E | 14.78'   |
| L41  | S 66°43'52" W | 30.98'   |
| L42  | S 23°20'29" E | 33.55'   |
| L43  | N 75°33'55" W | 54.06'   |
| L44  | N 30°33'45" W | 21.27'   |
| L45  | N 75°33'45" W | 55.52'   |
| L46  | S 75°33'55" E | 28.14'   |
| L47  | N 14°26'05" E | 6.50'    |
| L48  | S 75°33'55" E | 9.92'    |
| L49  | S 28°13'20" W | 42.15'   |
| L50  | N 60°58'39" W | 8.07'    |
| L51  | N 60°58'39" W | 6.30'    |
| L52  | N 60°58'39" W | 6.52'    |

$R=861.13'$   
 $L=234.40'$   
 $\Delta=15^{\circ}35'46"$   
 $T=117.93'$   
 $CH=N 67^{\circ}39'37" W$   
 $233.68'$

$R=1766.83'$   
 $L=226.46'$  (226.49')  
 $\Delta=07^{\circ}20'37"$   
 $T=113.38'$   
 $CH=S 07^{\circ}13'57" W$   
 $226.30'$

**Curve Table**

| CURVE | RADIUS  | ARC LENGTH | DELTA ANGLE | TANGENT | CHORD LENGTH | CHORD BEARING |
|-------|---------|------------|-------------|---------|--------------|---------------|
| C1    | 49.00'  | 76.97'     | 90°00'00"   | 49.00'  | 69.30'       | N 30°33'55" W |
| C2    | 42.16'  | 39.79'     | 54°04'17"   | 21.52'  | 38.33'       | S 73°43'49" W |
| C3    | 24.08'  | 26.25'     | 62°27'29"   | 14.60'  | 24.97'       | S 09°37'36" W |
| C4    | 89.50'  | 65.82'     | 42°08'22"   | 34.48'  | 64.35'       | N 06°38'06" W |
| C5    | 42.50'  | 66.72'     | 89°56'49"   | 42.46'  | 60.08'       | S 30°32'19" E |
| C6    | 24.00'  | 37.72'     | 90°03'11"   | 24.02'  | 33.96'       | S 59°27'41" W |
| C7    | 156.50' | 44.41'     | 16°15'37"   | 22.36'  | 44.26'       | S 37°06'35" W |
| C8    | 143.50' | 37.55'     | 14°59'41"   | 18.89'  | 37.45'       | N 37°44'33" E |

A.C.S. MONUMENT "ND-13-102" STANDARD A.C.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) X=393,930.80 Y=1,508,622.57 EL=5097.3 GROUND TO GRID FACTOR=0.99966914 DELTA ALPHA ANGLE=-0°12'15"

A.C.S. MONUMENT "NM367-1" STANDARD A.C.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) X=399,803.43 Y=1,508,188.29 EL=5210.562 GROUND TO GRID FACTOR=0.99966232 DELTA ALPHA ANGLE=-0°11'36"



8500-A Jefferson Street, NE  
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ALTA/ACSM Land Title Survey  
 Lots 1 and 2  
**Fraternal Order of Police Addition**  
 Albuquerque, Bernalillo County, New Mexico  
 May 2006

**Notes Corresponding to Schedule B**

- | SCH. B-2 ITEM NO. | DESCRIPTION   |
|-------------------|---|
| 11                | RESERVATIONS AND EXCEPTIONS IN THE PATENT BY THE UNITED STATES OF AMERICA RECORDED ON OCTOBER 27, 1923, IN BOOK 80, PAGE 353, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.   |
| 12                | EASEMENTS, AND INCIDENTAL PURPOSES THERETO, RESERVED ALONG THE INSURED PREMISES, AS SHOWN ON THE RECORDED PLAT, RECORDED IN PLAT BOOK C11, PAGE 173, AND AMENDED BY QUITCLAIM DEED RECORDED MARCH 19, 1979, IN BOOK 087-A, PAGE 63, AS DOC. NO. 79-19492, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.   |
| 13                | GRANT OF HIGHWAY EASEMENT, AND INCIDENTAL PURPOSES THERETO, GRANTED TO THE COUNTY OF BERNALILLO, STATE OF NEW MEXICO, RECORDED FEBRUARY 21, 1962, IN BOOK R/W 143, PAGE 1, AS DOC. NO. 70359, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. UNABLE TO PLOT DUE TO AMBIGUOUS DESCRIPTION UNABLE TO LOCATE  |
| 14                | RIGHT OF WAY EASEMENT, AND INCIDENTAL PURPOSES THERETO, GRANTED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, RECORDED MARCH 19, 1979, IN BOOK MISC. 676, PAGE 792, AS DOC. NO. 79-19503, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.   |
| 15                | GRANT OF EASEMENT FOR DRAINAGE, WATER, SEWER AND PUBLIC UTILITIES, AND INCIDENTAL PURPOSES THERETO, BY AND BETWEEN ALBUQUERQUE LODGE NO. 1 OF FRATERNAL ORDER OF POLICE AND THE CITY OF ALBUQUERQUE, A MUNICIPAL CORPORATION, RECORDED DECEMBER 8, 1977, IN BOOK MISC. 575, PAGE 203, AS DOC. NO. 77-76433, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.   |
| 16                | GRANT OF EASEMENT FOR DRAINAGE, WATER, SEWER AND PUBLIC UTILITIES, AND INCIDENTAL PURPOSES THERETO, BY AND BETWEEN ALBUQUERQUE LODGE NO. 1 OF FRATERNAL ORDER OF POLICE AND THE I-25 INVESTMENT GROUP, A PARTNERSHIP, RECORDED MARCH 17, 1981, IN BOOK MISC. 837, PAGE 782, AS DOC. NO. 81-13877, AND CORRECTION RECORDED JULY 13, 1981, IN BOOK MISC. 864, PAGE 281, AS DOC. NO. 81-37082, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. |
| 17                | GRANT OF EASEMENT FOR DRAINAGE, WATER, SEWER AND PUBLIC UTILITIES, AND INCIDENTAL PURPOSES THERETO, BY AND BETWEEN ALBUQUERQUE LODGE NO. 1 OF FRATERNAL ORDER OF POLICE AND THE I-25 INVESTMENT GROUP, A PARTNERSHIP, RECORDED MARCH 17, 1981, IN BOOK MISC. 837, PAGE 782, AS DOC. NO. 81-13877, AND CORRECTION RECORDED JULY 13, 1981, IN BOOK MISC. 864, PAGE 281, AS DOC. NO. 81-37082, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. |
| 18                | GROUNDWATER MONITORING WELL PERMIT BY AND BETWEEN THE CITY OF ALBUQUERQUE, A NEW MEXICO MUNICIPAL CORPORATION, AND DIGITAL EQUIPMENT CORPORATION, RECORDED APRIL 4, 1994, IN BOOK 94-11, PAGE 154, AS DOC. NO. 94-43335, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.  |
| 19                | GRANT OF LICENSE TO BROOKS FIBER COMMUNICATION OF NEW MEXICO, INC. CABLE INSTALLATION ON EXISTING PNM POLES, ACROSS THE AMAFCA BEAR CANYON ARROYO REACH 2 CHANNEL, BY AND BETWEEN ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY, AND BROOKS FIBER COMMUNICATIONS OF NEW MEXICO, INC. RECORDED JUNE 11, 1996, IN BOOK 96-16, PAGE 3332, AS DOC. NO. 96-65092, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.                      |
| 20                | RIGHTS OF PARTIES UNDER ANY UNRECORDED RENTAL AND/OR LEASE AGREEMENTS.  |

- AFFECTS SUBJECT PROPERTY: AS SHOWN
- AFFECTS SUBJECT PROPERTY: NON-SURVEY MATTER
- △ DOES NOT AFFECT SUBJECT PROPERTY

**Legal Description**

LOTS NUMBERED ONE (1) AND TWO (2) OF FRATERNAL ORDER OF POLICE ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESCRIBED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 11, 1977, IN PLAT BOOK C11, PAGE 173.

**Access Note**

INGRESS AND EGRESS TO THE PREMISES IS PROVIDED BY JEFFERSON STREET, N.E., THE SAME BEING A PAVED AND DEDICATED RIGHT OF WAY MAINTAINED BY THE CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT.

**Statement of Encroachments**

- (A) ENCROACHMENT OF OVERHEAD UTILITY LINE ON SUBJECT PROPERTY
- (B) ENCROACHMENT OF CHAINLINK FENCE ON SUBJECT PROPERTY
- (C) ENCROACHMENT OF UTILITY PEDESTAL ON SUBJECT PROPERTY

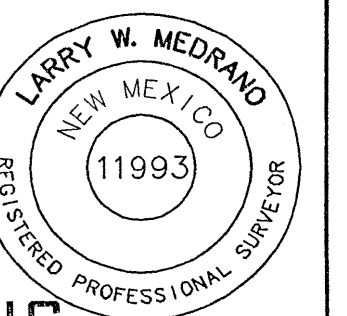
**Surveyor's Certificate**

I, LARRY W. MEDRANO, A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF NEW MEXICO, LICENSE NUMBER 11993, DO HEREBY CERTIFY TO ALBUQUERQUE LODGE NO. 1 OF THE FRATERNAL ORDER OF POLICE AND STEWART TITLE GUARANTY COMPANY, AS FOLLOWS:

THAT THE ALTA/ACSM LAND TITLE SURVEY ON WHICH THIS CERTIFICATE APPEARS (THE SURVEY) IS BASED UPON A FIELD SURVEY CONDUCTED BY ME OR UNDER MY SUPERVISION IN APRIL 2006 AND THAT SUCH FIELD SURVEY AND THIS SURVEY WERE MADE IN ACCORDANCE WITH THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ADOPTED BY ALTA AND ACSM IN 2005, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7 (a), 8, 9, 10, AND 16, OF TABLE A THEREOF. THE UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF NEW MEXICO, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

FOR PURPOSES OF IDENTIFYING EASEMENTS, RESERVATIONS AND PRIVATE RESTRICTIONS OF RECORD, I HAVE REVIEWED AND AMEND TO FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NUMBER 6050195 DATED MAY 8, 2006. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARD REQUIREMENTS FOR LAND SURVEYS AS ADOPTED BY THE NEW MEXICO BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS.

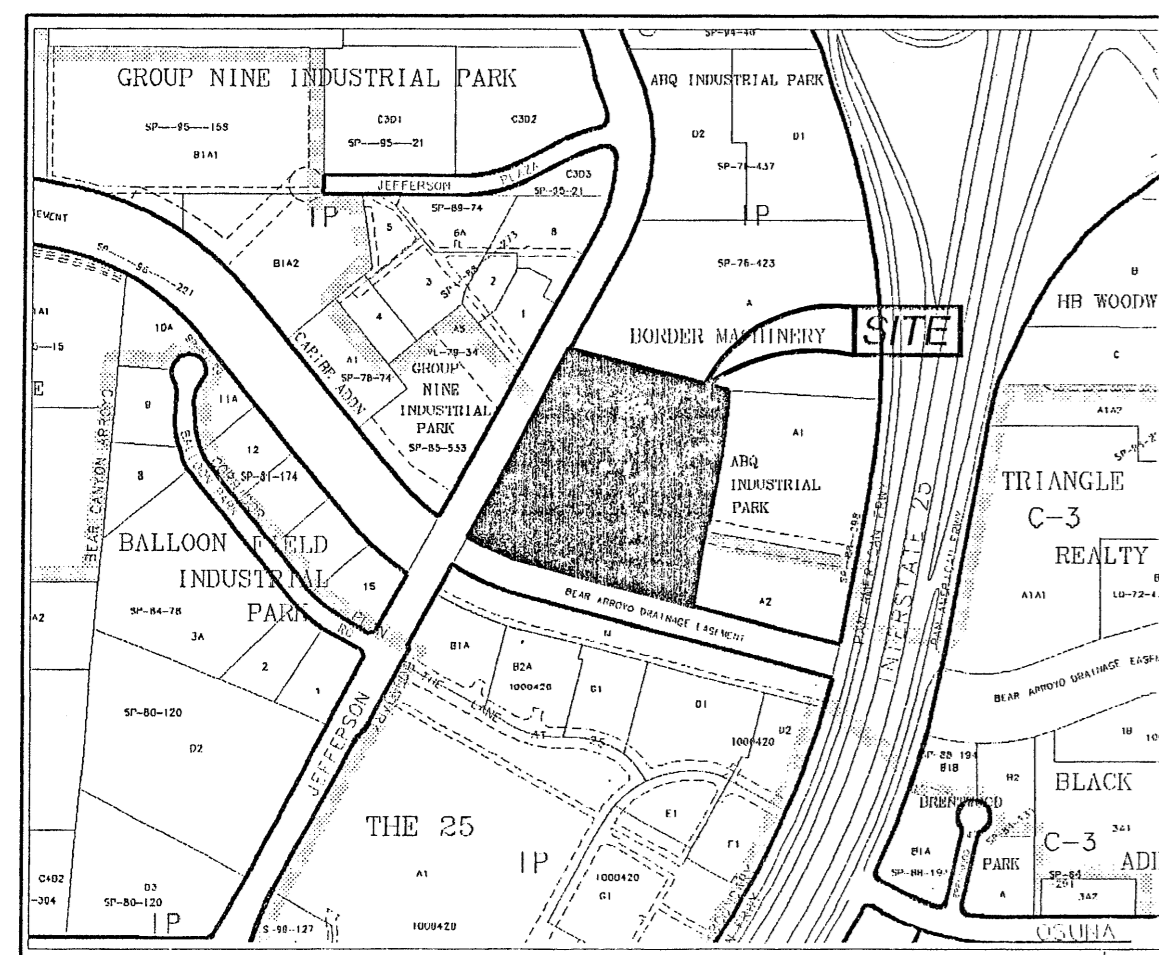
LARRY W. MEDRANO DATE  
 N.M.P.S. No. 11993



**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 6700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

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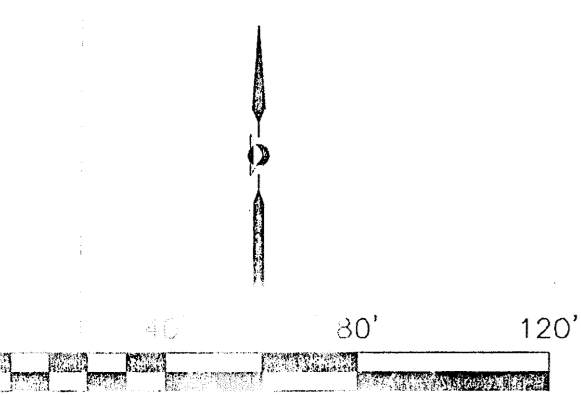
Location Map  
 Zone Atlas Map No. E-17-Z

**Zoning Data**

ZONING DESIGNATION = SU-1  
 NUMBER OF REGULAR STRIPED PARKING SPACES = 147  
 NUMBER OF HANDICAP STRIPED PARKING SPACES = 2  
 NUMBER OF TOTAL STRIPED PARKING SPACES = 149

**Legend**

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- (N 90°00'00" E) MEASURED BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES 4" REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- SEWER MANHOLE
- GAS METER
- CABLE TELEVISION BOX
- UNKNOWN VALVE
- UTILITY POLE
- LIGHT POLE
- WATER METER
- FIRE HYDRANT
- WATER VALVE
- IRRIIGATION CONTROL VALVE
- CLEANOUT
- ANDOIR
- OVERHEAD UTILITY LINES
- CURB
- CHAINLINK FENCE

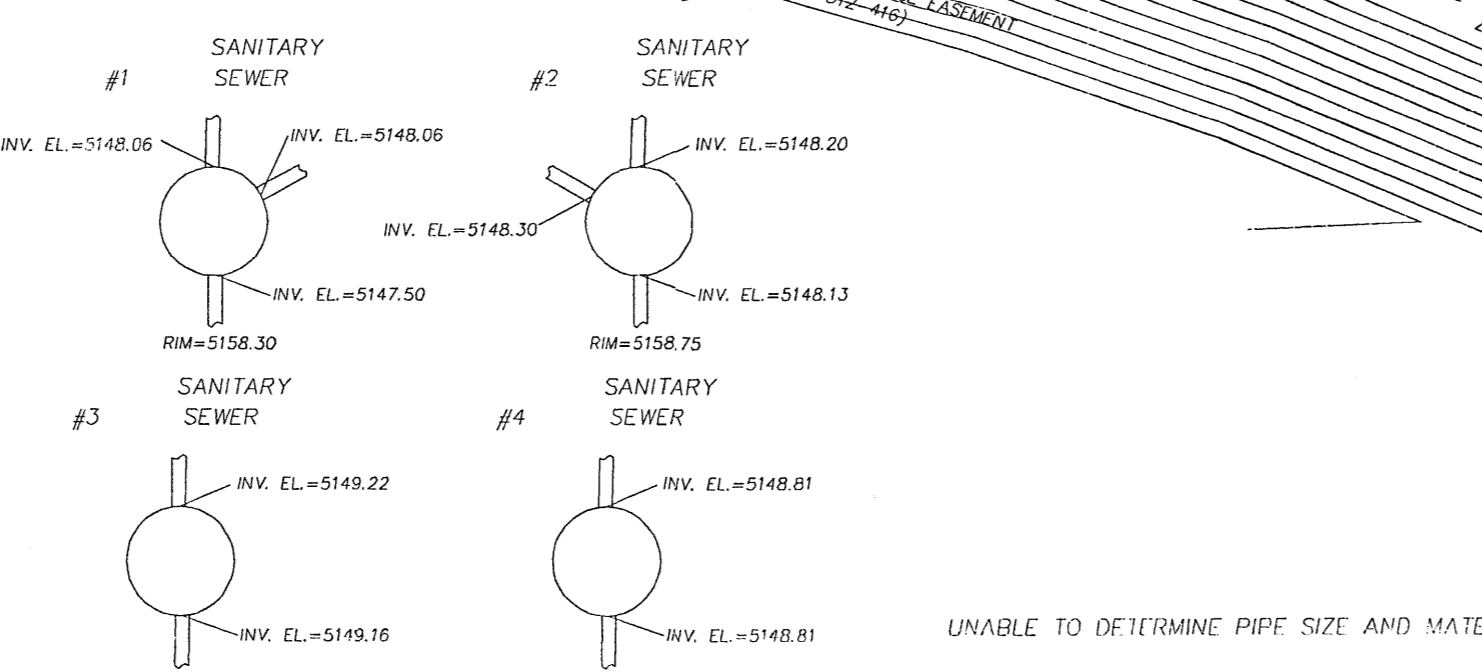
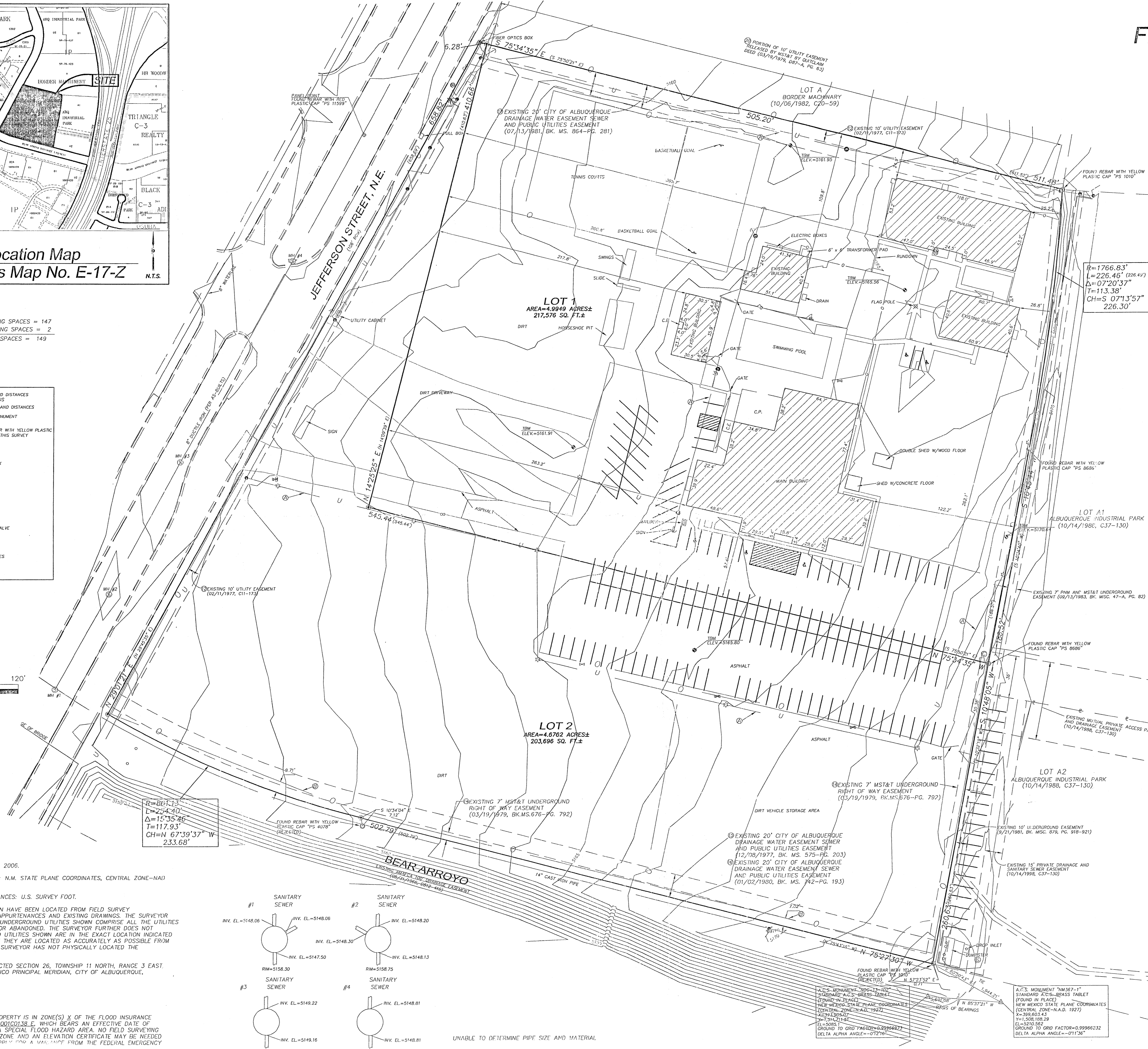


**Notes**

- FIELD SURVEY PERFORMED IN APRIL 2006.
- ALL BEARINGS ARE (G)M BEARINGS: N.M. STATE PLANE COORDINATES, CENTRAL ZONE-NAD 83.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION OF ABOVE GROUND APPURTENANCES AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 26, TOWNSHIP 11 NORTH, RANGE 3 EAST ELENA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

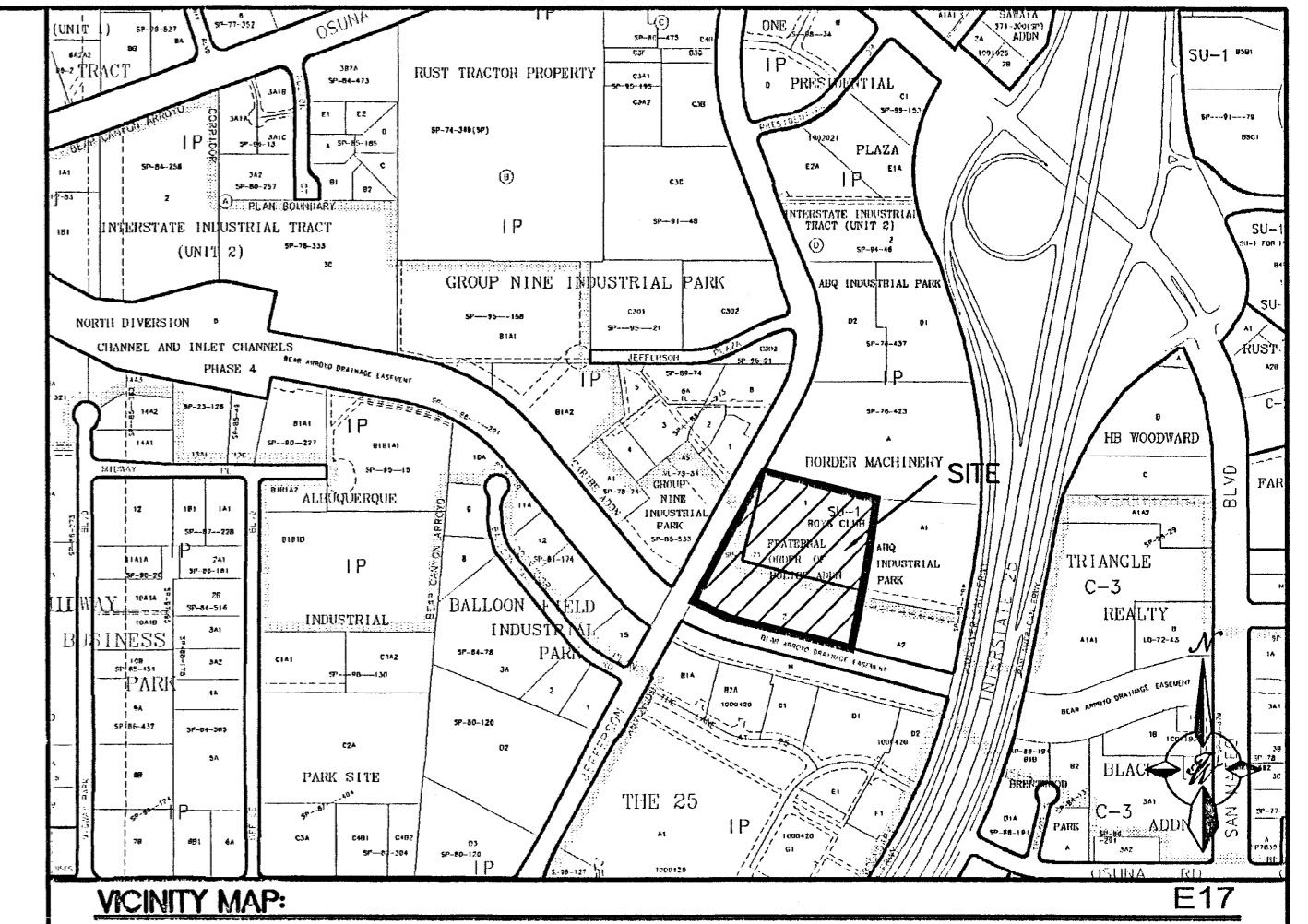
**Flood Note**

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0128 E, WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 19, 2003 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO DETERMINE THE APPLICABLE FLOOD HAZARD FROM THE FEDERAL EMERGENCY



UNABLE TO DETERMINE PIPE SIZE AND MATERIAL





**LEGAL DESCRIPTION:**  
FRATERNAL ORDER OF POLICE, TRACTS 1 AND 2

- LEGEND**
- EXISTING CURB & GUTTER
  - ==== PROPOSED CURB & GUTTER
  - - - - BOUNDARY LINE
  - - - - EXISTING BOUNDARY LINE
  - - - - EASEMENT
  - - - - CENTERLINE
  - - - - RIGHT-OF-WAY
  - - - - LOT LINES
  - - - - SETBACK LINE
  - - - - STRIPING
  - ▭ PROPOSED BUILDING
  - ▨ EXISTING SIDEWALK
  - ▨ PROPOSED SIDEWALK
  - ▨ PROPOSED CROSSWALK (PATTERN CONCRETE)
  - PROPOSED BIKERACK
  - PROPOSED FIRE HYDRANT
  - ▨ PROPOSED SCREEN WALL
  - ▨ PROPOSED RETAINING WALL
  - \* PROPOSED PARKING LOT LIGHTING

**SITE DATA:**  
PROPOSED USAGE: COMMERCIAL  
TOTAL AREA: 9.70± AC  
ZONING: SU-1 FOR IP

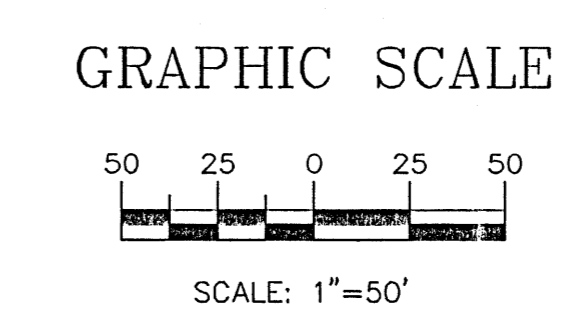
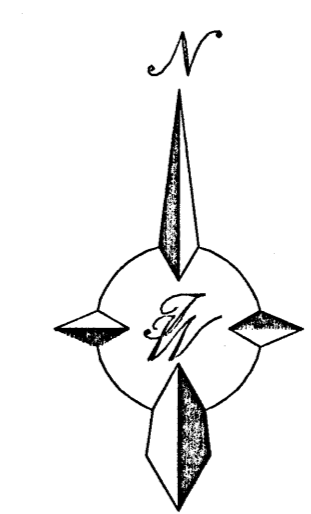
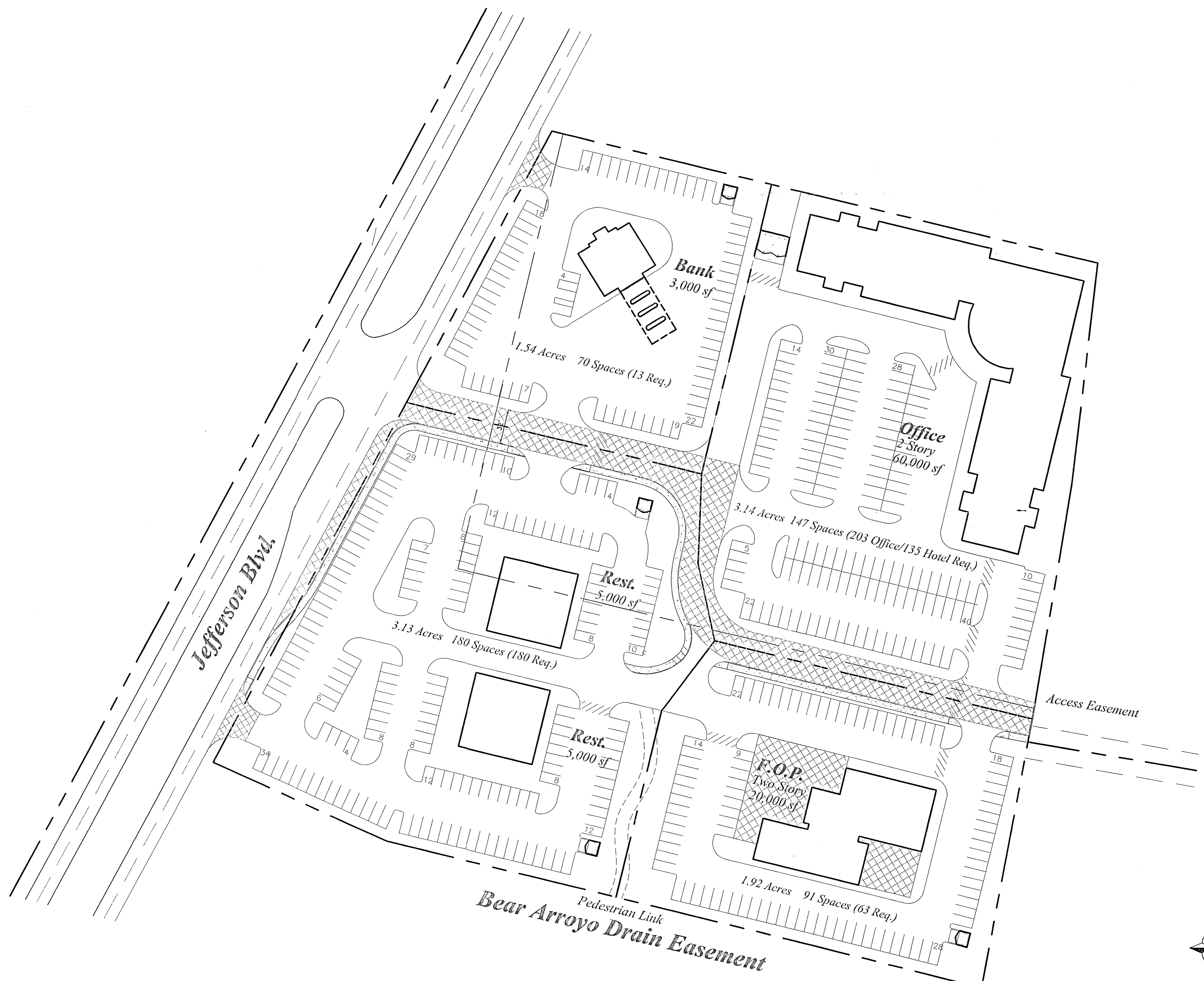
**PROJECT NUMBER:** xxxxxxxxxxxx  
**APPLICATION NUMBER:** xxxxxxxxxxxx

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

|   |      |
|---|------|
| Traffic Engineer, Transportation Division       | Date |
| Water Utility Development                       | Date |
| Parks & Recreation Department                   | Date |
| City Engineer                                   | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management                          | Date |
| DRB Chairperson, Planning Department            | Date |

\* Environmental Health, if necessary



|                                  |                           |              |          |
|----------------------------------|---------------------------|--------------|----------|
| ENGINEER'S SEAL                  | FRATERNAL ORDER OF POLICE | DRAWN BY     | DY       |
|                                  |                           | DATE         | 04-03-06 |
| RONALD R. BOHANNAN<br>P.E. #7868 | SKETCH PLAT               | 2516-SPB.dwg |          |
|                                  |                           | SHEET #      | X        |
|                                  |                           | JOB #        | 2516     |

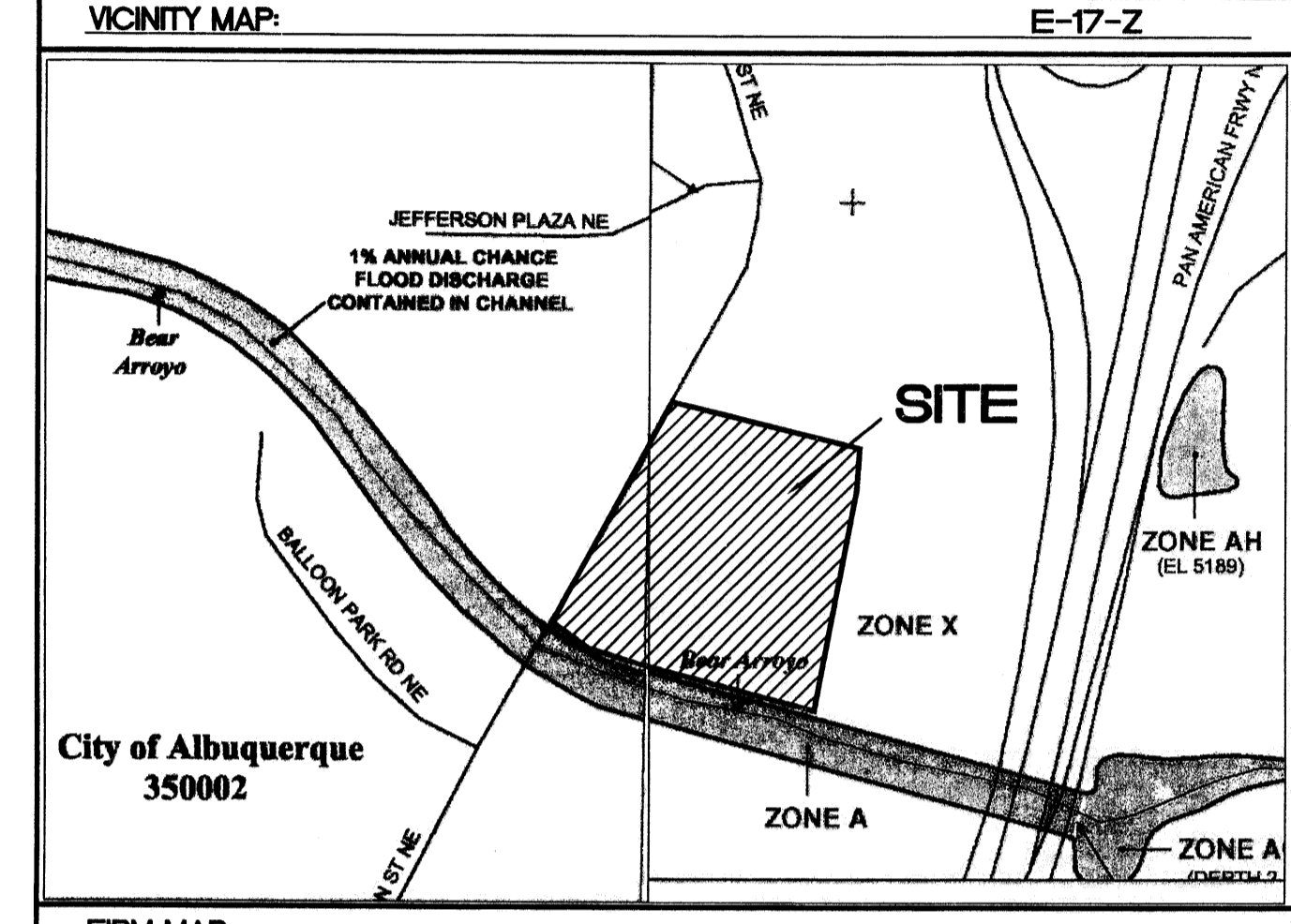
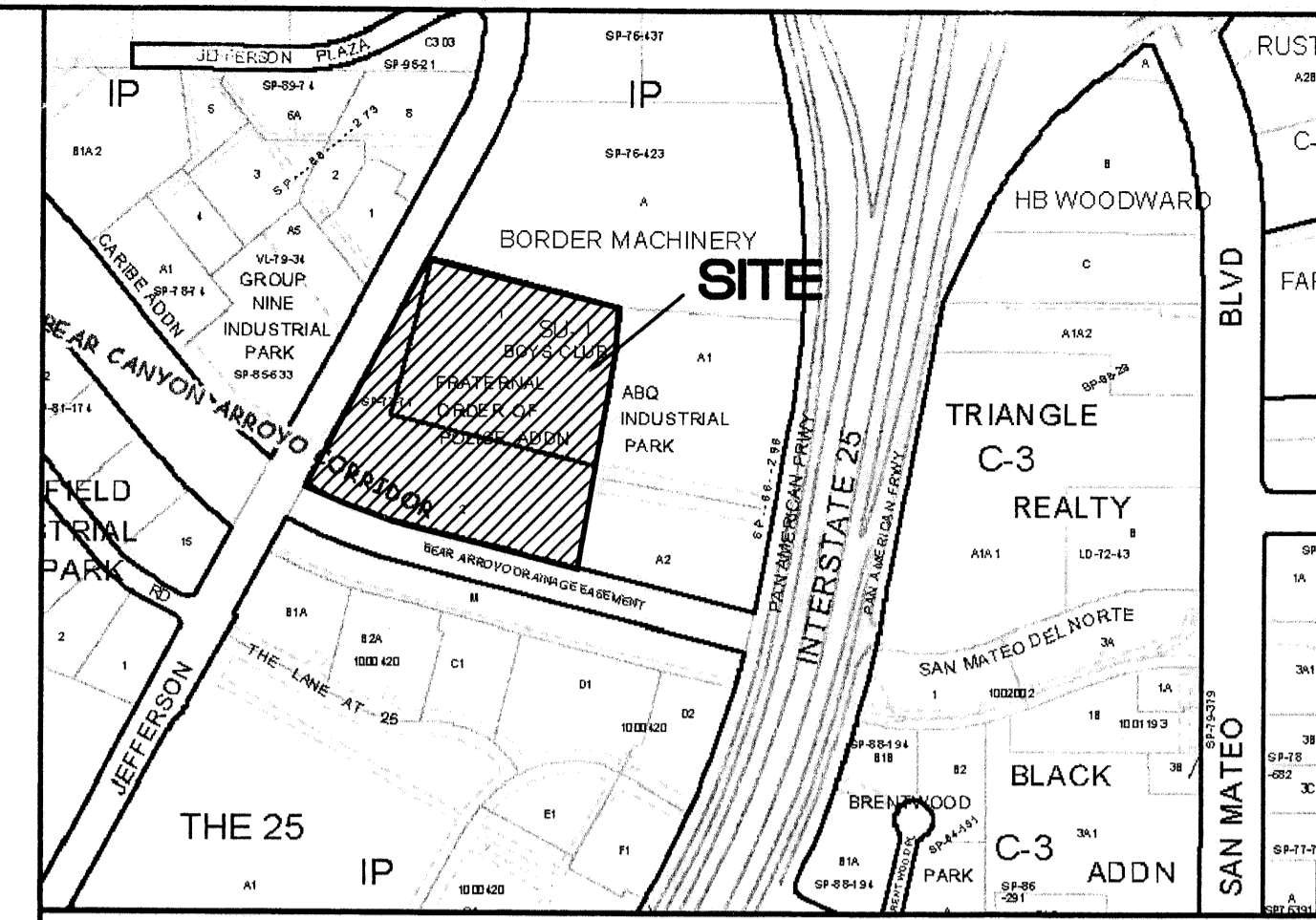
Z:\2005\25016 Drawings\DRB\2516-SPB.dwg 4/3/2006 3:05:27 PM MDT



1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**EROSION CONTROL NOTES:**

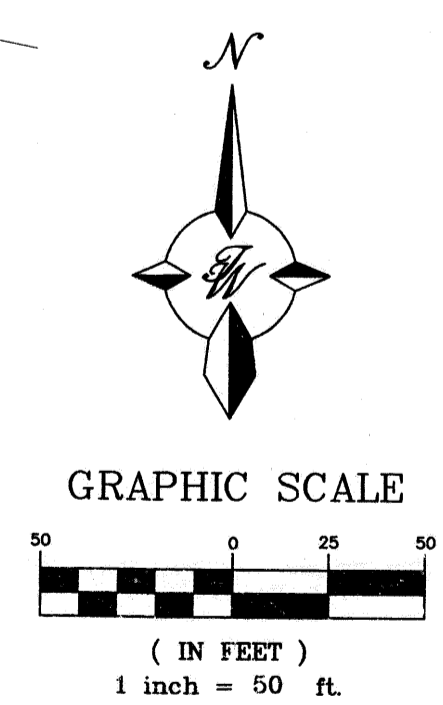
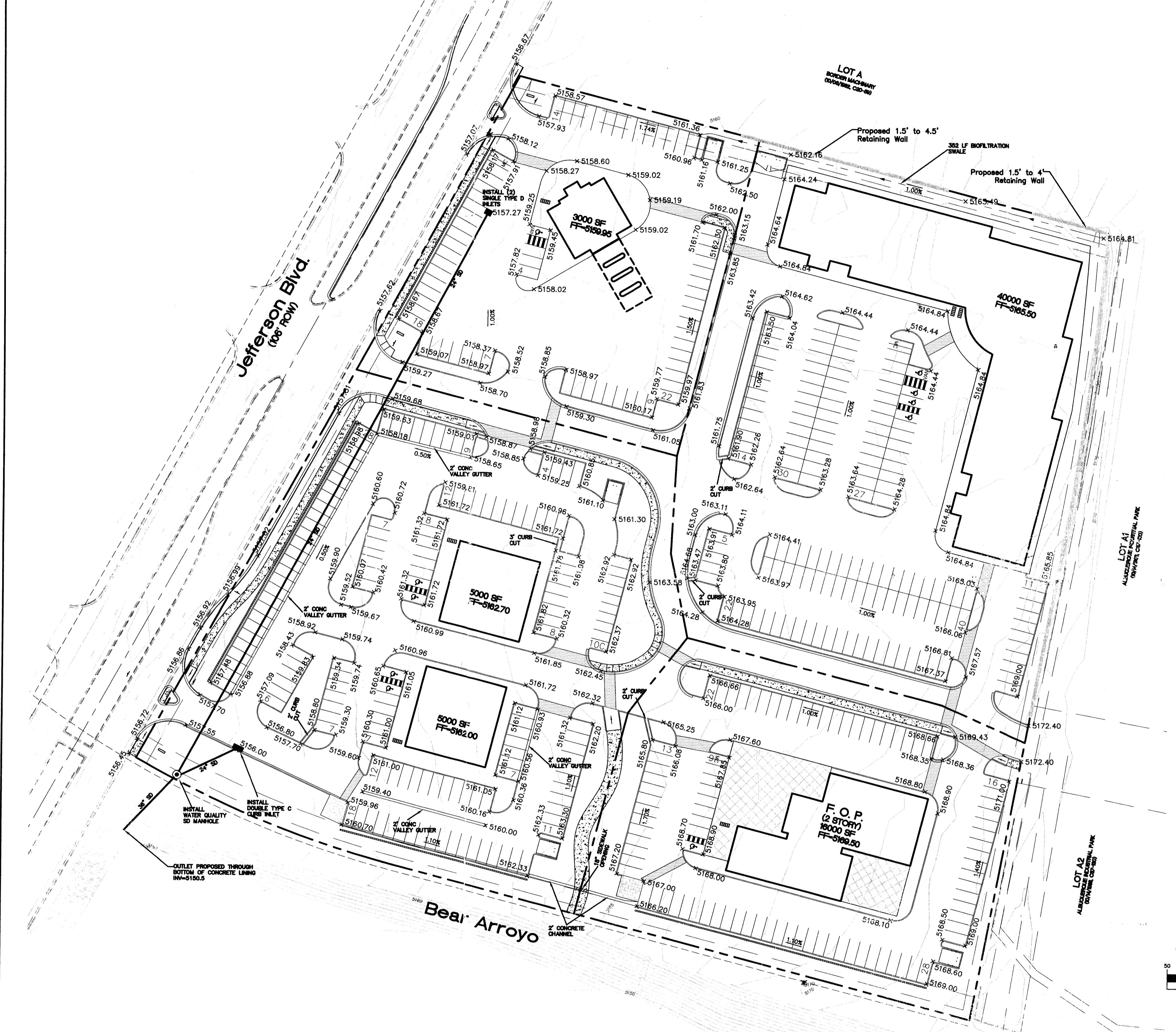
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6. ALL EPA REGULATIONS WILL BE REQUIRED ON THE PROJECT. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WILL BE PREPARED IDENTIFYING ALL CONTROL MEASURES ON THE PROJECT.
7. A PLAN IDENTIFYING THE STAGING AREA LOCATION OF THE CONSTRUCTION WORK AREA WILL BE PREPARED AND SUBMITTED TO THE CITY OF SANTA FE WITH THE BUILDING PERMIT.



**LEGEND**

|  |  |
|--|--|
|  | EXISTING CURB & GUTTER                   |
|  | PROPOSED CURB & GUTTER                   |
|  | BOUNDARY LINE                            |
|  | EXISTING BOUNDARY LINE                   |
|  | EASEMENT                                 |
|  | CENTERLINE                               |
|  | STRIPING                                 |
|  | PROPOSED BUILDING                        |
|  | EXISTING SIDEWALK                        |
|  | PROPOSED SIDEWALK                        |
|  | PROPOSED CROSSWALK (PATTERN CONCRETE)    |
|  | PROPOSED SPOT ELEVATION                  |
|  | TOP OF CURB ELEVATION FLOWLINE ELEVATION |
|  | EXISTING SPOT ELEVATION                  |
|  | EXISTING INDEX CONTOUR                   |
|  | EXISTING CONTOUR                         |
|  | EXISTING RETAINING WALL                  |
|  | PROPOSED RETAINING WALL                  |

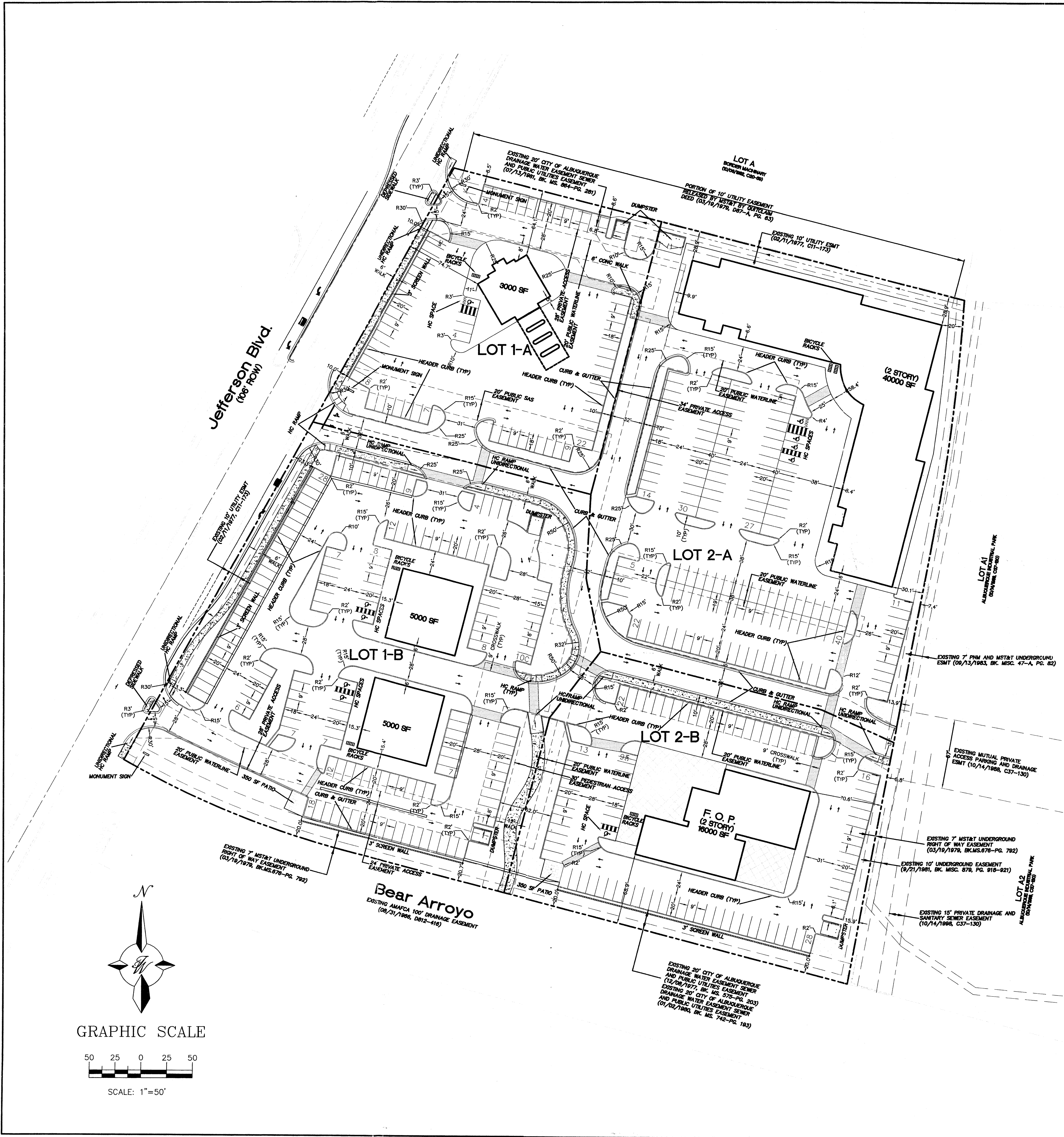
**NOTE**  
ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE INDICATED IN PLANS.



**ROUGH GRADING APPROVAL** \_\_\_\_\_ DATE \_\_\_\_\_

|  |   |  |
|--|---|--|
|  | <b>FRATERNAL ORDER OF POLICE</b><br><b>GRADING PLAN</b>   | DRAWN BY PM<br>DATE 10-2-06                |
|  | <br>TIERRA WEST, LLC<br>5571 MIDWAY PARK PLACE NE<br>ALBUQUERQUE, NEW MEXICO 87109<br>(505)858-3100 | SHEET #<br><b>2 of 5</b><br>JOB #<br>25016 |

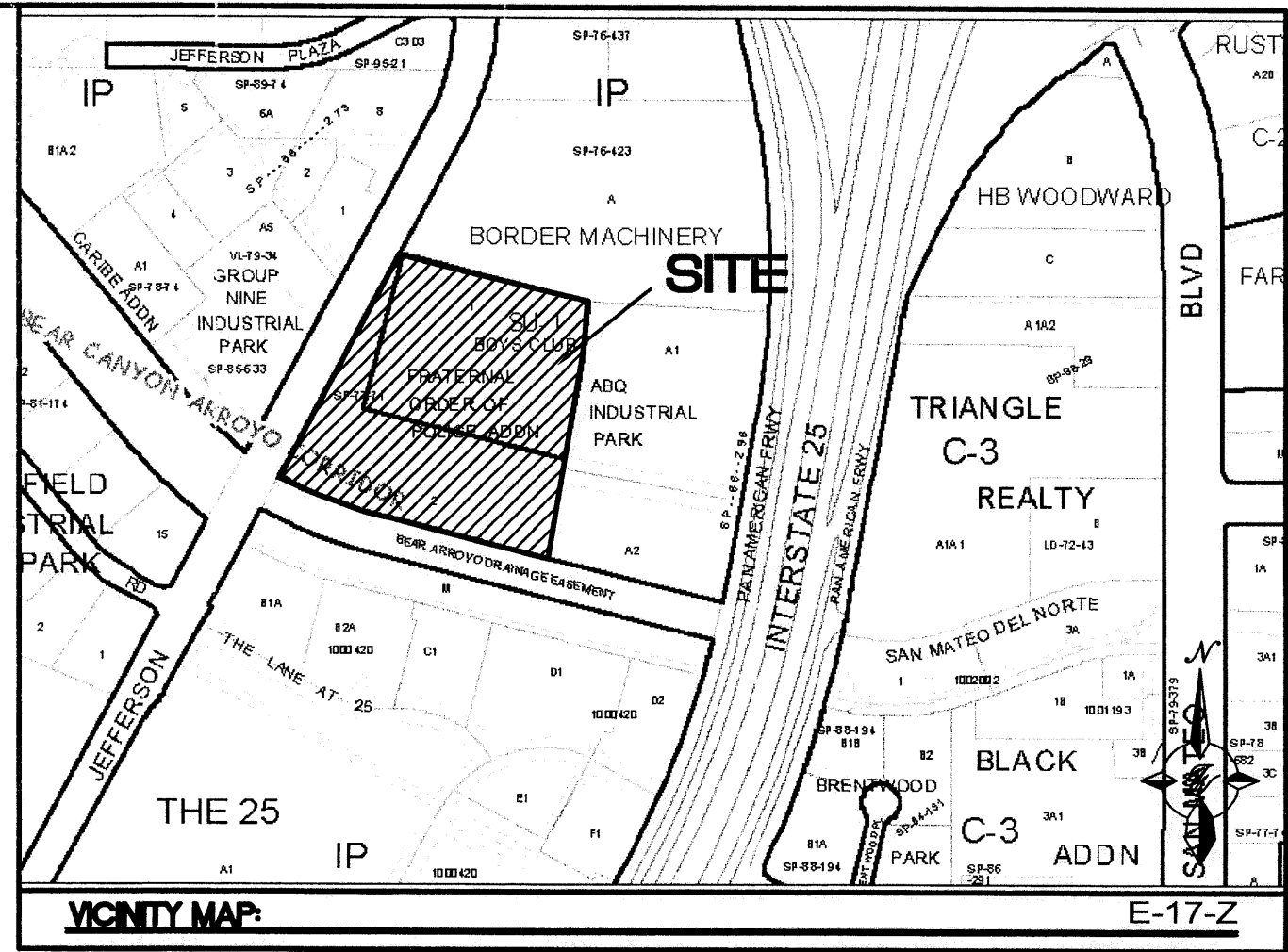




**SITE DATA:**

|                          |                                    |
|--------------------------|------------------------------------|
| PROPOSED USAGE           | COMMERCIAL                         |
| LOT AREAS                |                                    |
| LOT 1-A                  | 66614 SF (1.53 AC)                 |
| LOT 1-B                  | 136471 SF (3.13 AC)                |
| LOT 2-A                  | 135605 SF (3.11 AC)                |
| LOT 2-B                  | 82583 SF (1.90 AC)                 |
| TOTAL SITE               | 421273 SF (9.67 AC)                |
| ZONING                   | IP                                 |
| MAXIMUM FAR              | 0.25                               |
| MAXIMUM BUILDING HEIGHT  | 45'                                |
| MINIMUM BUILDING SETBACK | 20'                                |
| LANDSCAPING REQUIREMENTS |                                    |
| REQUIRED                 | 15% OF PAVED SURFACE AND BUILDINGS |

- GENERAL NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
  - PEDESTRIAN ACCESS WILL BE PROVIDED ACROSS ALL LOTS INTERNALLY IN THE APPROVED SITE PLAN.
  - LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
  - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
  - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
  - BUS STOPS ADJACENT TO THE PROPERTY, -ROUTE 151 BUS STOPS AT SINGER AVE AND JEFFERSON BLVD AND OSUNA AVE AND JEFFERSON BLVD
  - TRAFFIC STOP SIGNS TO BE PLACED AT ALL INTERSECTIONS.
  - A CROSS LOT DRAINAGE, ACCESS AND PARKING EASEMENT FOR THE BENEFIT OF LOTS 1-A, 1-B, 2-A AND 2-B SHALL BE MAINTAINED BY SAME, GRANTED BY PLAT.



**LEGAL DESCRIPTION:**  
FRATERNAL ORDER OF POLICE ADDITION, TRACTS 1 AND 2

**LEGEND**

|  |                                       |
|--|---------------------------------------|
|  | EXISTING CURB & GUTTER                |
|  | PROPOSED CURB & GUTTER                |
|  | BOUNDARY LINE                         |
|  | EXISTING BOUNDARY LINE                |
|  | EASEMENT                              |
|  | CENTERLINE                            |
|  | RIGHT-OF-WAY                          |
|  | LOT LINES                             |
|  | SETBACK LINE                          |
|  | STRIPING                              |
|  | PROPOSED BUILDING                     |
|  | EXISTING SIDEWALK                     |
|  | PROPOSED SIDEWALK                     |
|  | PROPOSED CROSSWALK (PATTERN CONCRETE) |
|  | PROPOSED BIKERACK                     |
|  | PROPOSED FIRE HYDRANT                 |
|  | PROPOSED SCREEN WALL                  |
|  | PROPOSED PARKING LOT LIGHTING         |
|  | LANDSCAPING                           |

**PROJECT NUMBER:** 1004801  
**APPLICATION NUMBER:**

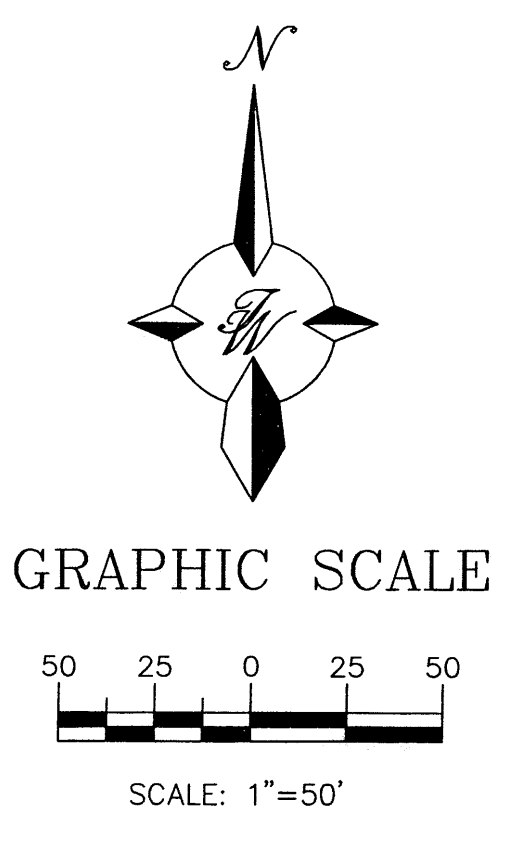
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

|   |      |
|---|------|
| Traffic Engineer, Transportation Division       | Date |
| Water Utility Development                       | Date |
| Parks & Recreation Department                   | Date |
| City Engineer                                   | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management                          | Date |
| DRB Chairperson, Planning Department            | Date |

\* Environmental Health, if necessary



- INDEX TO DRAWINGS**
- C1 SITE PLAN FOR BUILDING PERMIT
  - C2 GRADING AND DRAINAGE PLAN
  - C3 MASTER UTILITY PLAN
  - C4 DESIGN REQUIREMENTS
  - C5 CONSTRUCTION DETAILS

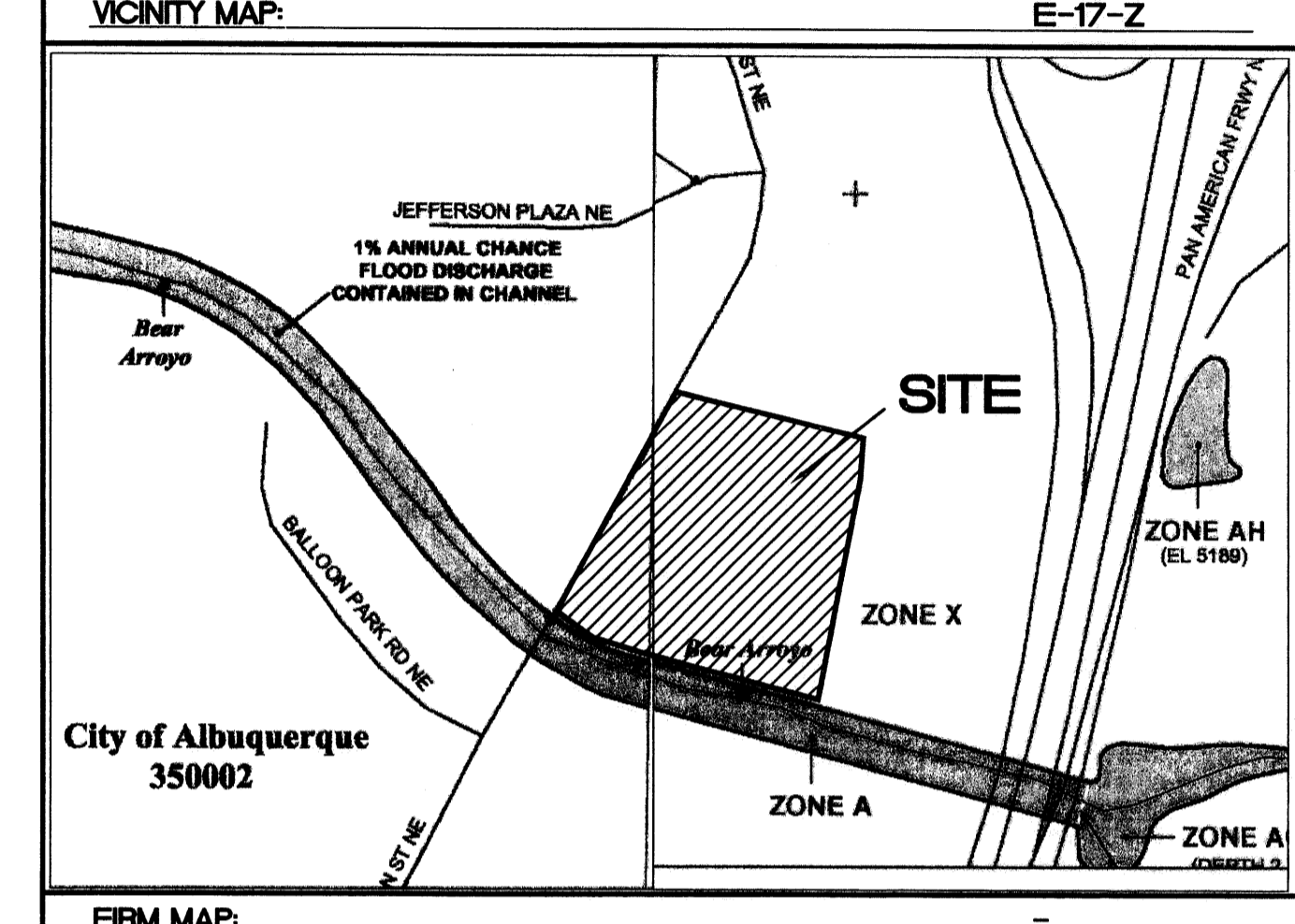
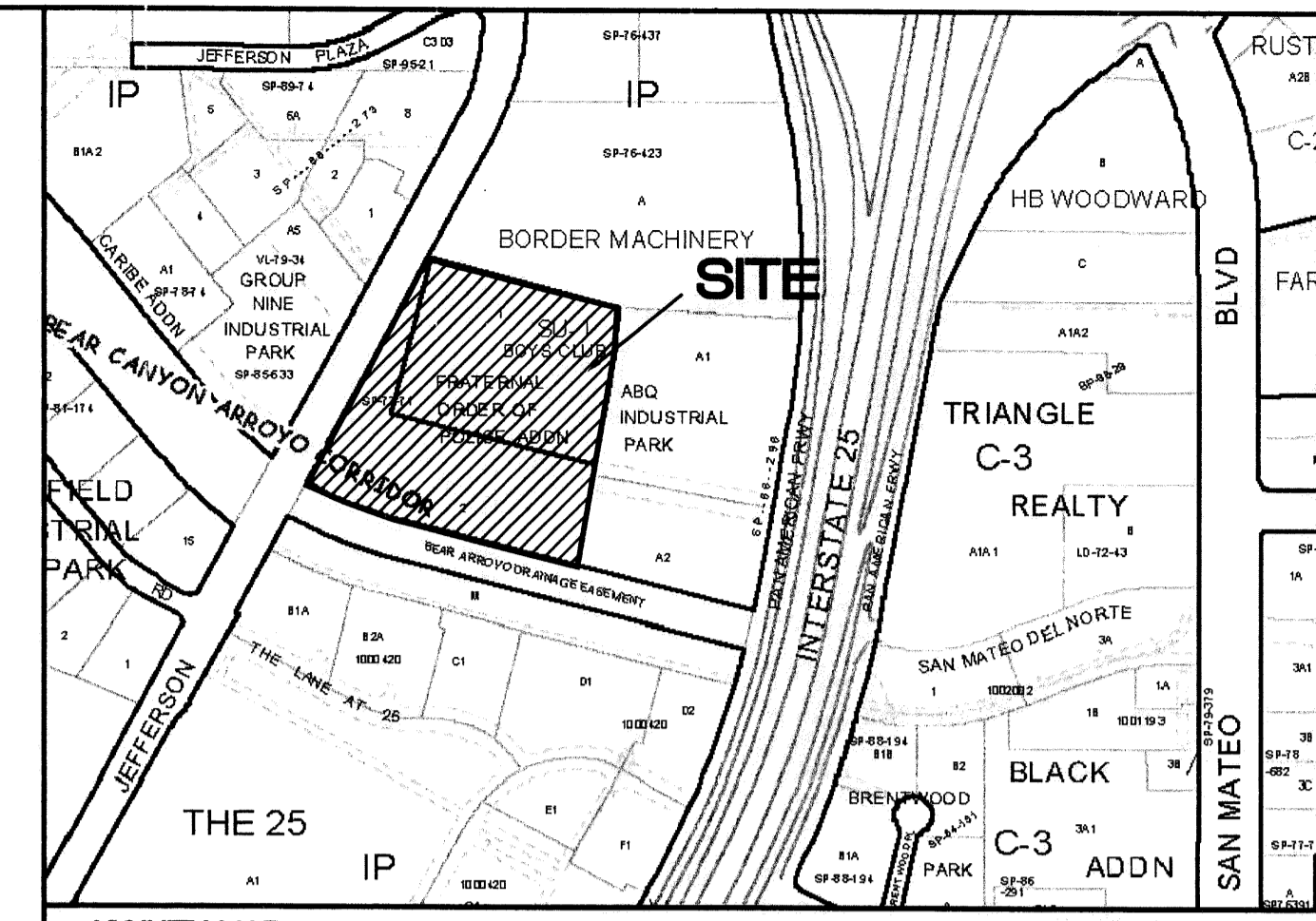
|  |   |   |
|--|---|---|
|  | <b>FRATERNAL ORDER OF POLICE</b><br><b>SITE PLAN FOR SUBDIVISION</b>        | DRAWN BY DY<br>DATE 12-5-06<br>2516-SPB.dwg |
|  | 5571 MIDWAY PARK PLACE NE<br>ALBUQUERQUE, NEW MEXICO 87109<br>(505)858-3100 | SHEET #<br><b>1 of 5</b><br>JOB # 25016     |



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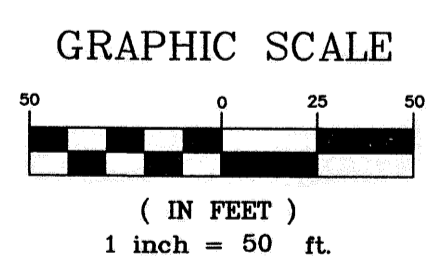
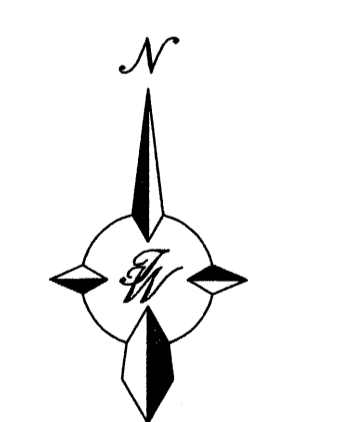
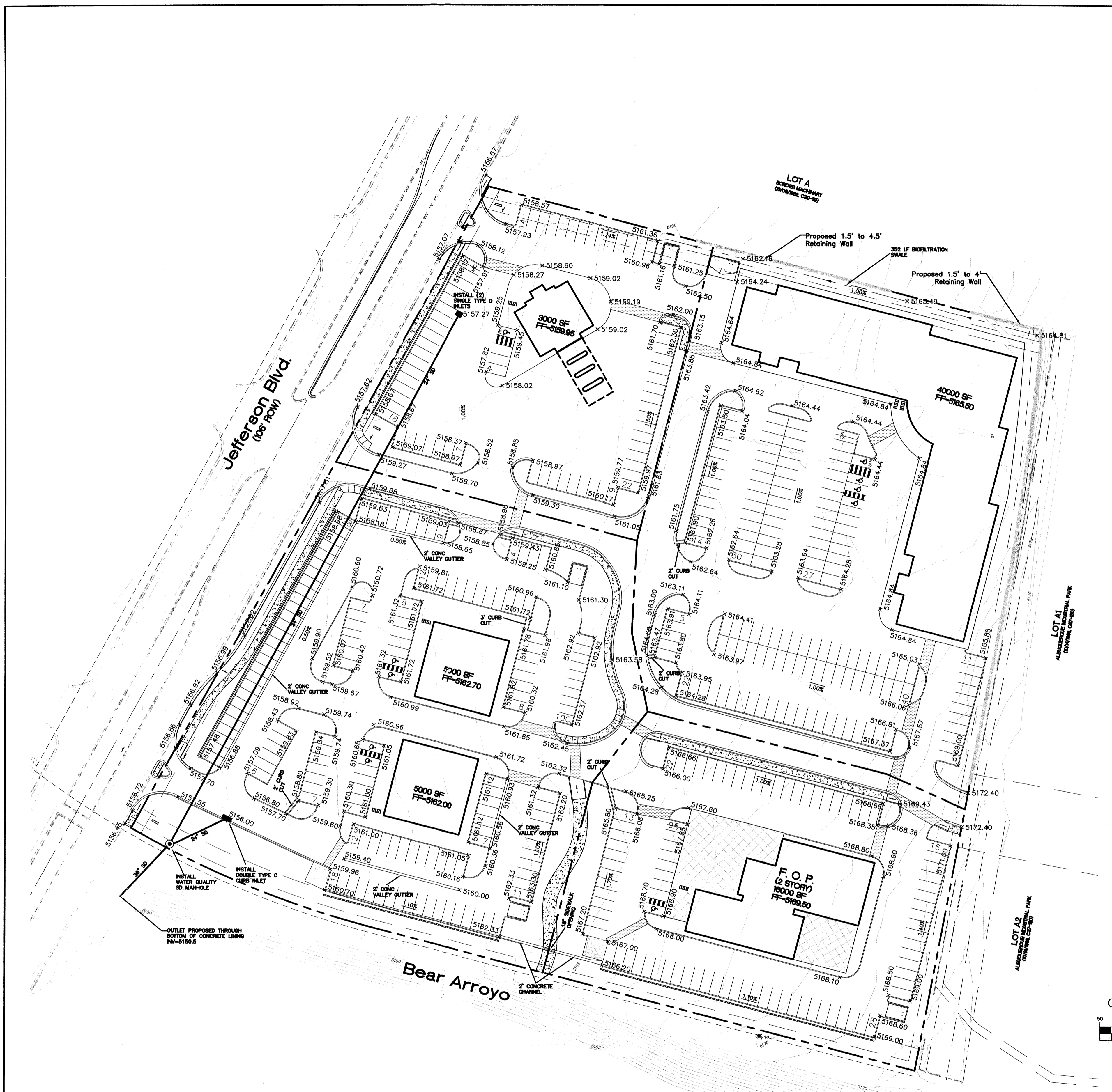
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**LEGEND**

|  |  |
|--|--|
|  | EXISTING CURB & GUTTER                   |
|  | PROPOSED CURB & GUTTER                   |
|  | BOUNDARY LINE                            |
|  | EXISTING BOUNDARY LINE                   |
|  | EASEMENT                                 |
|  | CENTERLINE                               |
|  | STRIPING                                 |
|  | PROPOSED BUILDING                        |
|  | EXISTING SIDEWALK                        |
|  | PROPOSED SIDEWALK                        |
|  | PROPOSED CROSSWALK (PATTERN CONCRETE)    |
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|  | EXISTING SPOT ELEVATION                  |
|  | EXISTING INDEX CONTOUR                   |
|  | EXISTING CONTOUR                         |
|  | EXISTING RETAINING WALL                  |
|  | PROPOSED RETAINING WALL                  |

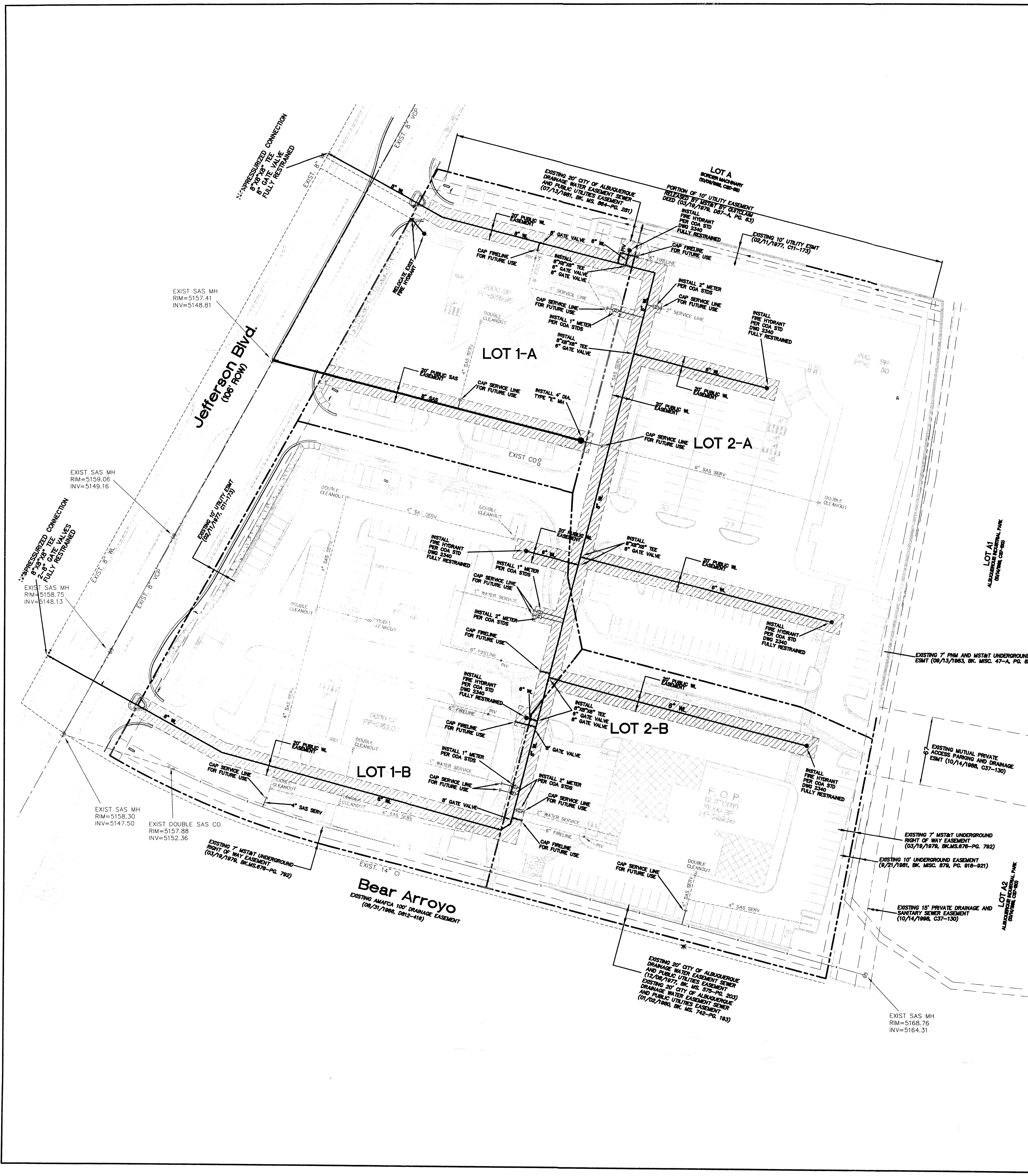
**NOTE**  
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**ROUGH GRADING APPROVAL** \_\_\_\_\_ DATE \_\_\_\_\_

|                                  |   |              |
|----------------------------------|---|--------------|
| ENGINEER'S SEAL                  | <b>FRATERNAL ORDER OF POLICE</b><br><b>GRADING PLAN</b>   | DRAWN BY PM  |
|                                  |   | DATE 10-2-06 |
|                                  |   |              |
| RONALD R. BOHANNAN<br>P.E. #7868 | TIERRA WEST, LLC<br>5571 MIDWAY PARK PLACE NE<br>ALBUQUERQUE, NEW MEXICO 87109<br>(505)858-3100 | JOB # 25016  |





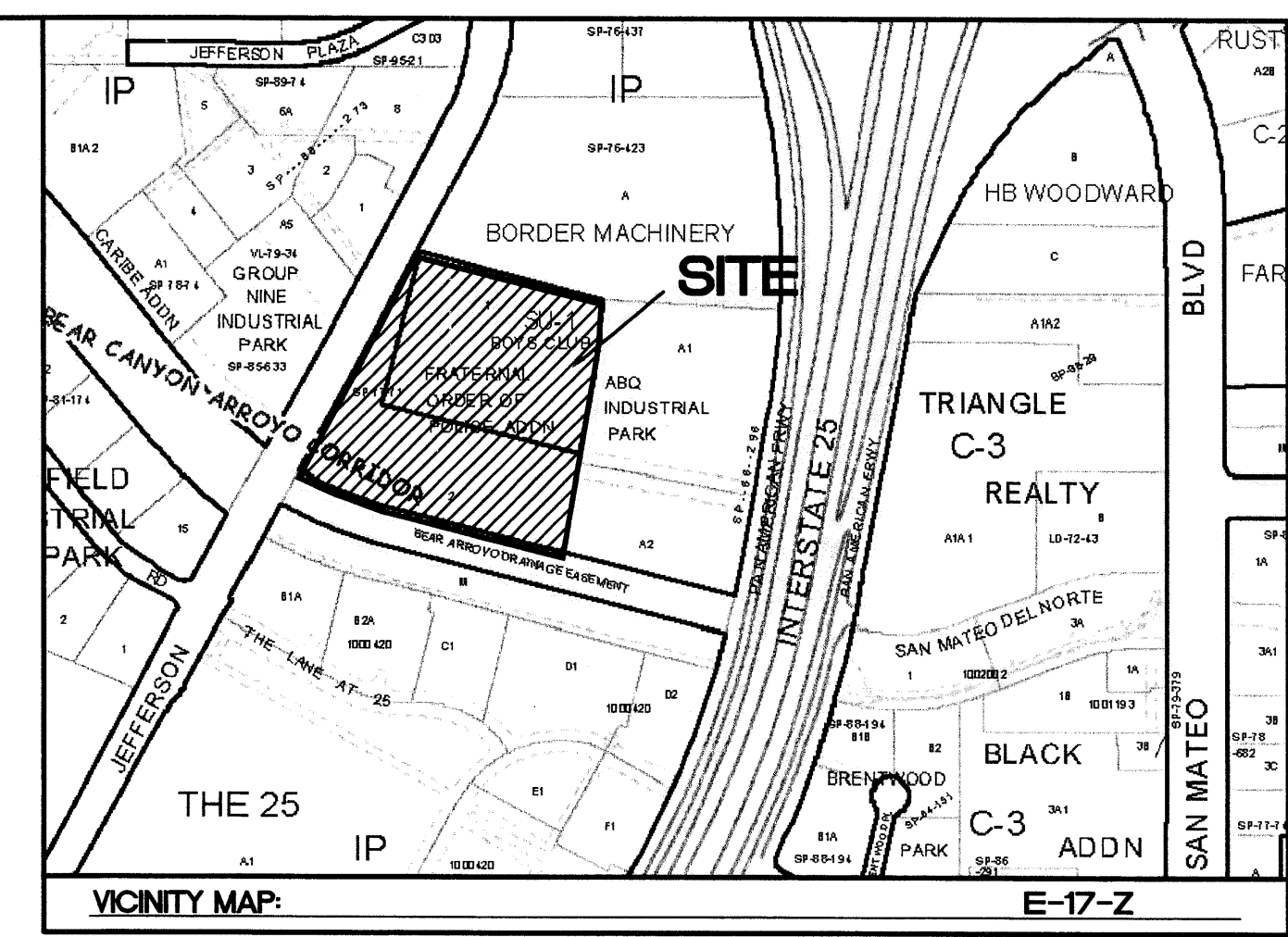
- NOTES:
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
  3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
  4. SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

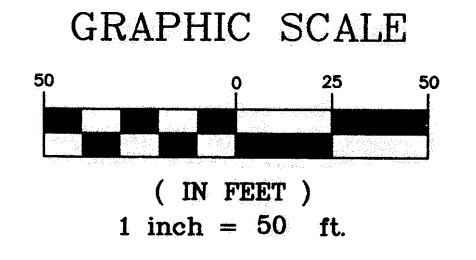
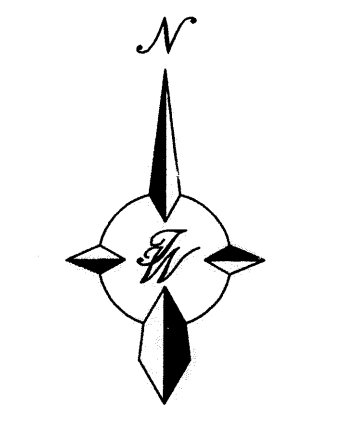
**GENERAL NOTES:**

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.



**LEGEND**

|  |   |
|--|---|
|  | EXISTING CURB & GUTTER                      |
|  | PROPOSED CURB & GUTTER                      |
|  | BOUNDARY LINE                               |
|  | EXISTING BOUNDARY LINE                      |
|  | EASEMENT                                    |
|  | CENTERLINE                                  |
|  | RIGHT-OF-WAY                                |
|  | LOT LINES                                   |
|  | SETBACK LINE                                |
|  | STRIPING                                    |
|  | PROPOSED BUILDING                           |
|  | EXISTING SIDEWALK                           |
|  | PROPOSED SIDEWALK                           |
|  | PROPOSED CROSSWALK                          |
|  | PROPOSED BIKERACK                           |
|  | PROPOSED FIRE HYDRANT                       |
|  | PROPOSED SCREEN WALL                        |
|  | PROPOSED PARKING LOT LIGHTING               |
|  | EXISTING SAS MANHOLE                        |
|  | EXISTING SANITARY SEWER LINE                |
|  | PROPOSED SANITARY SEWER LINE                |
|  | EXISTING VALVE W/BOX                        |
|  | EXISTING FIRE HYDRANT                       |
|  | EXISTING WATER LINE                         |
|  | PROPOSED METER                              |
|  | PROPOSED VALVE W/BOX                        |
|  | PROPOSED WATER LINE                         |
|  | SERVICE                                     |
|  | FUTURE USE                                  |
|  | TO BE CONSTRUCTED WITH COA PROJECT #6324.82 |



|  |   |  |
|--|---|--|
|  | <b>FRATERNAL ORDER OF POLICE</b><br><b>MASTER UTILITY PLAN</b>                                  | DRAWN BY PM<br>DATE 12-5-06<br>25016-MUB.DWG |
|  | TIERRA WEST, LLC<br>5571 MIDWAY PARK PLACE NE<br>ALBUQUERQUE, NEW MEXICO 87109<br>(505)858-3100 | SHEET #<br><b>3 of 5</b><br>JOB #<br>25016   |



## Site Design Criteria

### Zoning and Building Codes

All development shall meet or exceed the established City of Albuquerque Zoning Code, the International Building Code, other applicable local codes, and all applicable accessibility standards adopted and required by the City of Albuquerque. All site design and structures shall conform to the following additional more restrictive criteria:

#### Building Setbacks (1)

Are to be established by the Zoning Ordinance or by the following whichever is greater:

- \*Adjacent to Jefferson Blvd.: 20'-0" min. from R.O.W. line
- \*Adjacent to interior access easement: 20'-0" min. from line of easement
- \*Adjacent to interior private streets: 20'-0" min. from face of curb
- \*Adjacent to private access drives: 15'-0" min. from face of curb

#### Off-Street Parking (2)

For automobiles, motorcycles, and bicycles shall be provided as required by the City of Albuquerque Zoning Code. Parking and parking lot design shall conform to the Albuquerque Development Process Manual. Parking shall be buffered from adjacent street and public view as much as practical by the use of landscaping, screen walls, art work or buildings. Drive aisle lengths shall not exceed 300 feet without internal circulation between aisles.

The following measures are strongly encouraged to reduce pollution and land development impacts from automobile use:

- \* Provide only the minimum amount of parking required by the Zoning Code. The maximum allowed parking is to Code plus 5%.
- \* Provide preferred parking in the amount of 1% of the parking spaces provided for low emitting and/or alternate fuel vehicles. Provide pole mounted signage for preferred parking spaces.

Parking setbacks are to be established by the Zoning Ordinance or by the following whichever is greater:

- \*Adjacent to Jefferson Blvd.: 10'-0" from R.O.W. line
- \*Adjacent to interior access easement: 10'-0" from R.O.W. line
- \*Adjacent to interior private streets: 10'-0" from face of curb
- \*Adjacent to private access drives: 10'-0" from face of curb

Parking and traffic circulation shall be designed to promote the smooth flow of traffic, minimize visual impact, and facilitate parking once and walking to multiple destination. Main entrance drives are to feature trees to promote a sense of arrival. Parking shall be placed on at least two sides of a building. Large parking areas shall not dominate street frontages. All parking spaces shall be located to avoid drivers having to back into major drive aisles. All traffic layouts are subject to review and approval by the City of Albuquerque Traffic Engineer.

#### Site Screening (3)

All on-site trash, recyclable material, and storage enclosures or areas shall be enclosed by a solid wall constructed of materials similar to materials of the buildings they serve and have a minimum height of 6'-0". Enclosures shall be located in inconspicuous locations as possible within the site and a minimum of 50'-0" from the Public R.O.W. The location and construction of trash and recyclable material enclosures are subject to review and approval by the City of Albuquerque Solid Waste Department.

All on-site utility equipment shall be located out of view from the Public R.O.W. Where utility equipment, not required by the Fire Marshal (i.e. transformers, switchgear, hot boxes, back flow preventers) must be exposed to public view they shall be screened. A combination of solid screens and landscaping shall be utilized to screen such equipment from public view.

All on-site mechanical equipment such as generators and HVAC equipment shall be screened with structural enclosures of materials and finishes similar to the building for which they serve; and be of sufficient height to screen the equipment from public view.

All site walls shall be of integrally colored, split face cmu block, (color: CORAL by Utility Block Company) nominal dimension of 8" x 8" x 16". The top of the wall shall be capped with a 4" high cap stone of the same color. There shall be a minimum of 20% color variation in bands incorporated into the wall design. Burnished block shall be allowed for a maximum of 20% of the pattern design, and common face block shall be allowed for a maximum of 15% of the pattern design.

#### Pedestrian Walks and Linkages

Sidewalks shall be provided on all sites to insure adequate pedestrian linkages between adjacent buildings by way of public and private streets, and pedestrian plazas. Pedestrian plazas shall be of integrally colored concrete.

Pedestrian linkages in the form of sidewalks shall be provided from the bus stop to the building entries. The use of plazas at building entries is encouraged. Pedestrian plazas shall be well lit and feature bench seating and landscaping.

Buildings shall be located in close proximity to plazas and streets. Provide for an organized and continuously interconnected pedestrian connection.

All sidewalks (4) and pedestrian paths will meet Zoning Code, applicable accessibility standards and Development Process Manual requirements.

All sidewalks shall be of patterned concrete.

All sidewalks shall have adjacent landscaping (5) and have adjacent shade trees as required by the Zone Code.

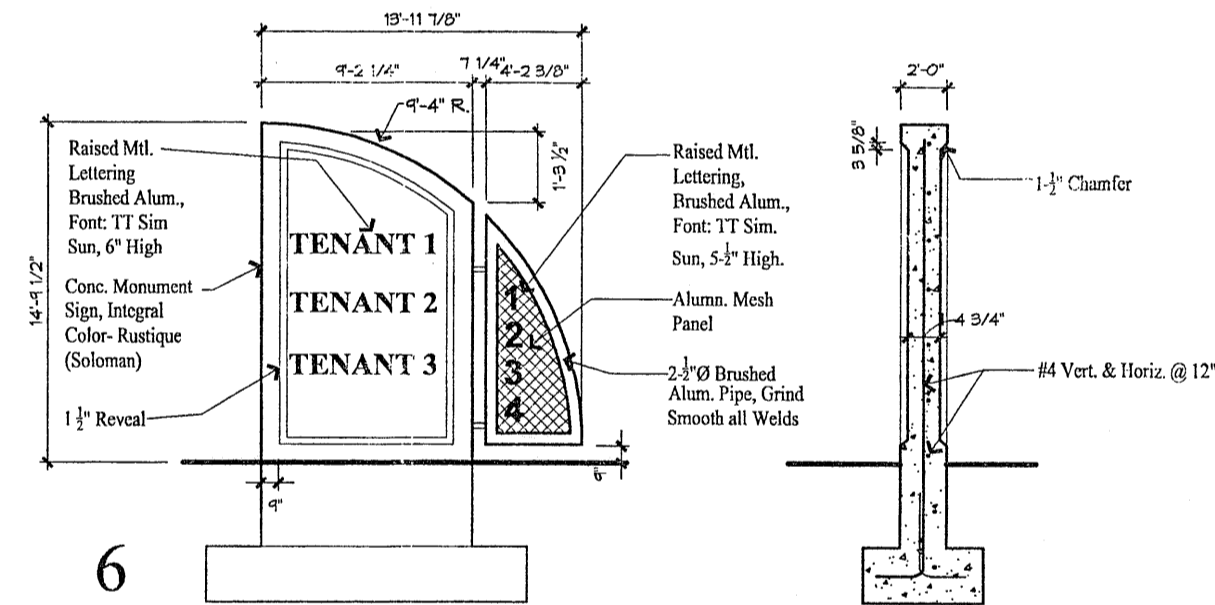
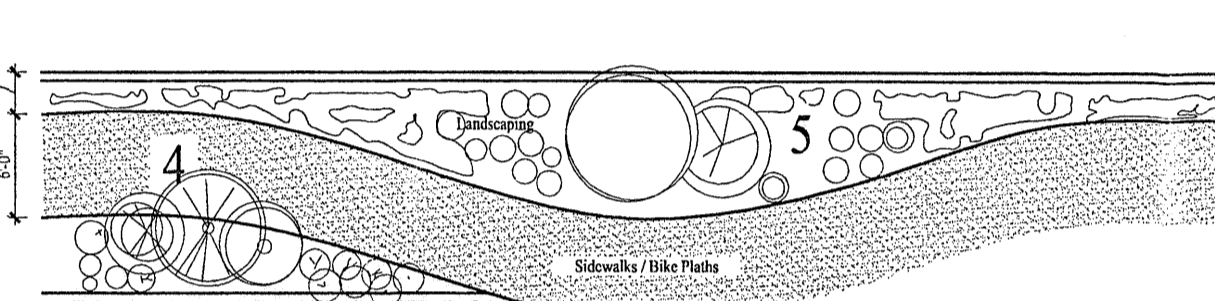
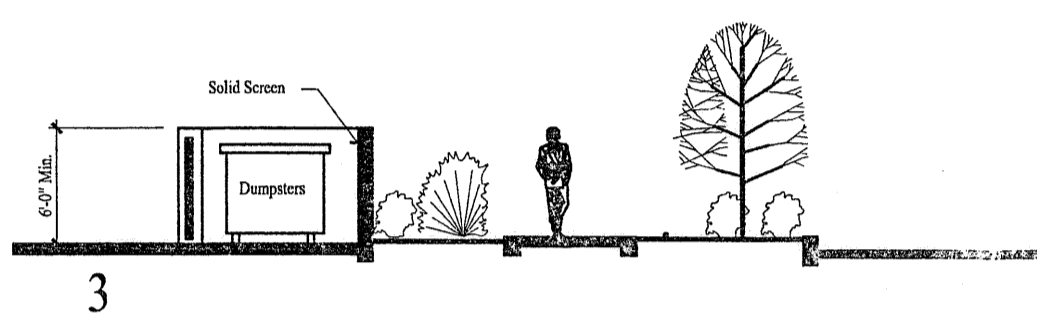
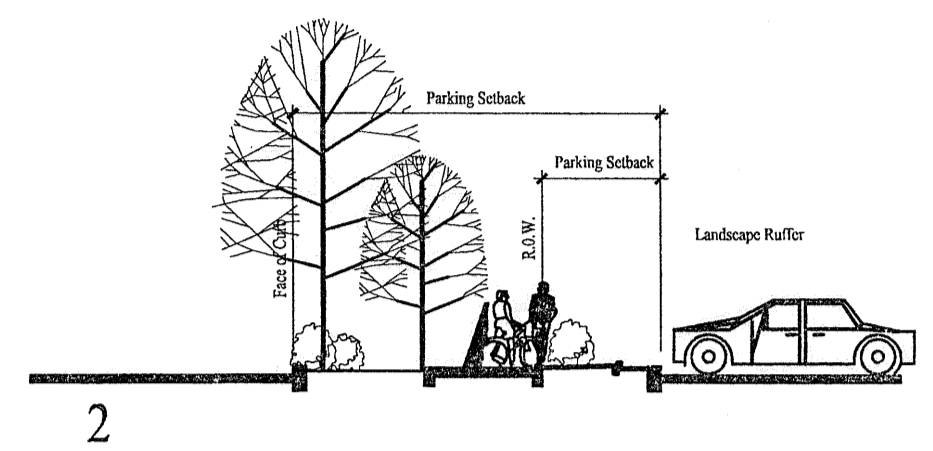
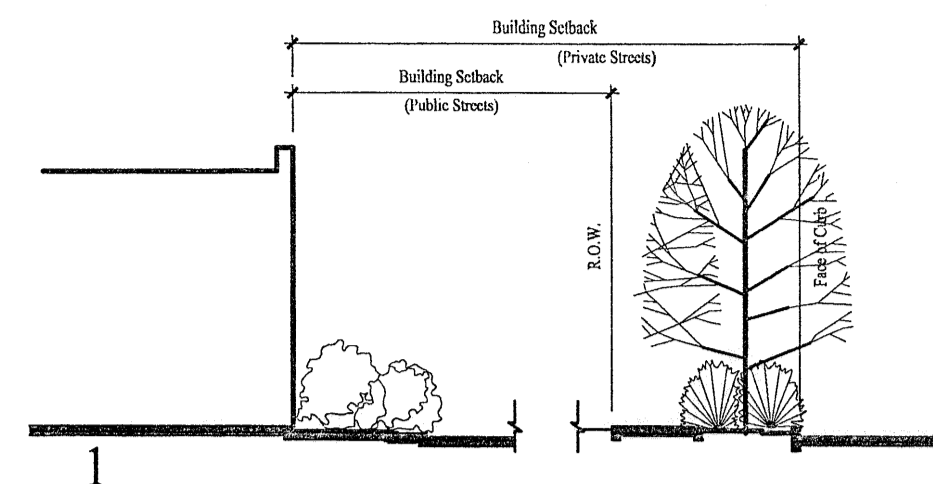
Where possible, sidewalks shall be meandering rather than straight, especially when adjacent to public streets.

The use of paving materials other than poured gray concrete (i.e. stone, brick, integrally colored concrete) are acceptable and encouraged at building entry plazas. Entry plazas shall be located adjacent to the main entry of every building, shall be of integrally colored concrete (colors shall be a mixture of the following: Desert Tan, Cedar, Dark Redwood, and Rustique by Soloman Colors and shall be patterned). The paving material shall be at least as durable as the concrete and be architecturally consistent with the structure for which it serves in material and color. Sidewalks adjacent to street frontages shall be rough finished.

#### Site Lighting...

In addition to lighting regulations in the Zoning Ordinance, the following shall apply

- \* Site lighting of parking lots, drives, plazas and entries shall be provided to insure adequate lighting for both pedestrian and vehicular traffic after dark.
- \* Fixtures shall be metal halide type fixtures. Fixture housing and pole shall be of a white finish. Housing shall be of the "shoe box" type.
- \* The following height restrictions supercede those found in the Zoning Code:
  - \* In parking areas the top of housing shall be 25'-0" above grade. Concrete base shall be 1'-6" diameter and 3'-0" tall above grade.
  - \* Light fixtures for along pedestrian walkways shall be 16'-0" in height; and at pedestrian plazas low level bollard or landscape lighting between 3'-0" and 16'-0" in height shall be used.
- \* The use of landscape and building exterior lighting shall be used to accent building features, significant landscape features and art work.
- \* All lighting shall avoid glare into buildings by utilizing cut-off shields or other means.



#### Signage

##### Building Mounted Signage (D)

Signage where allowed by other portions of this masterplan, shall conform to the Zoning Ordinance and the following:

- \* Height of any portion of the sign shall not exceed 4'-0".
- \* Signage face area shall not exceed 15% of the facade area.
- \* All illuminated building mounted signage shall be internally illuminated and constructed of individual raised aluminum channel letters, with acrylic facing. Transformers for such signage shall be located on the interior side of the parapet to which the sign is attached or in the interior of the building.
- \* Non internally illuminated building mounted signage shall be of individual raised aluminum channels letters as well. Transformers for such signage shall be located on the interior side of the parapet to which the sign is attached or in the interior of the building.
- \* No part of the sign shall protrude more than 1'-0" from the building surface to which it is attached.
- \* Colors: raised aluminum letter shall be clear anodized.

##### Site Signage

On each lot shall comply with the Zoning Code in addition to the following more restrictive criteria:

- \* Free-Standing signs shall be limited in height to twenty-six (26) feet, and be limited to one per lot. Free-Standing signs shall not be: motioning, or neon. The sign area shall not exceed seventy-five (75) square feet. The colors and materials of the free standing signs shall be consistent with the building colors and materials for which the signs serves, refer to the Architectural Design Criteria for a listing and description of these materials and colors.
- \* Each individual lot development which includes a free standing sign shall be limited to the following additional signage:
  - a. A maximum of two (2) building mounted signs, see detail D
  - b. No additional site mounted monument signs.
- \* Each individual lot development which does not include a free-standing sign shall be allowed the following additional signage:
  - a. A maximum of three (3) building mounted wall signs, see detail D.
  - b. A maximum of two (2) site mounted monument signs total, with one (1) located at each lot entry point. See detail (6) for a description of allowable materials.

- \* Off-premise signage is allowed with approval from the City of Albuquerque Planning Director.
- \* Bill boards, projecting signs, roof signs, are prohibited in any portion of this development.

## Architectural Design Criteria

### Architectural Design

Architectural Design Criteria are established to promote a visual and aesthetic consistency with in the development and to avoid incompatible design concepts and elements harmful to the overall and individual developments. This shall be accomplished by establishing a uniform design criteria for the entire development as outlined below.

The architectural theme of this development shall be Southwest Contemporary; in keeping with the recent trend of development design in the Jefferson Corridor. This theme shall exclude traditional New Mexican vernaculars, i.e. Spanish Pueblo and Santa Fe Territorial. Southwest Contemporary features construction materials common to New Mexico in their natural hues, integrated with modern materials and tasteful features of bold color. All building design and exterior building treatments shall be of durable and established commercial grade construction standards as well as being architecturally compatible within site development buildings and between buildings on separate sites. All buildings need not be identical but shall be designed to promote architectural harmony and compatibility in the development. In this vein no generic franchise building designs will be allowed within the development.

The first architectural project approved by the City of Albuquerque Development Review Board shall establish the architectural design and site design direction for all subsequent buildings.

#### Building Heights (A)

Building heights shall fall within the solar access angle plane guidelines as set forth in the Zoning Code, but no building shall be over 120'-0", including parapets and equipment screens.

#### Opaque Exterior Building Materials (B)

Opaque exterior building materials shall be consistent with commonly used materials in Albuquerque, New Mexico. These include stucco, EIFS with synthetic stucco finishes, brick, stone masonry or veneer, concrete masonry with architectural exterior treatment, precast architectural concrete, concrete, and aluminum curtain wall systems.

Concrete masonry units with architectural exterior treatment, and non integrally colored concrete, and non colored pre-cast concrete panels are limited to 35% of the area of a buildings exterior facade.

Materials not allowed on the predominant facades: smooth face concrete masonry units.

Materials not allowed as the predominant material of any facade: ceramic tile veneer, reflective glazing, painted concrete or metal paneling.

Accent walls and accent architectural elements introduced into the building for detail may utilize any of the allowable materials above as well as: pre-finished metal, stainless steel, ceramic tile veneer or integrally colored concrete.

Windows and storefronts shall have tinted glass and be of clear anodized or pre-finished metal frames. Glass colors shall be compatible with the overall color scheme of the building. Curtain walls shall not exceed 50% of the area of the entire facade of the building. Glass curtain walls may have reflective glass of a color compatible with other glass used in windows and storefronts.

#### Building Colors

Of major facades shall be of earth tones or pastel colors; the use of primary colors and other bright or brilliant colors are prohibited.

Architectural accent walls, detached entry walls, or colonnades or attached accent elements (i.e. sun shades, entry canopies) meant to introduce detail may be of primary or brilliant colors.

#### Roofs

Roofs may be either flat or pitched. Flat roofs shall have a perimeter parapet, that screens entirely the roof it surrounds.

Pitched roofs shall be pre-finished standing seam metal panels, clay tiles, or concrete tiles. The colors of the roof shall be consistent and complimentary of the building's colors. Metal roofs shall not have a reflective surface.

#### Roof Equipment Screens (C)

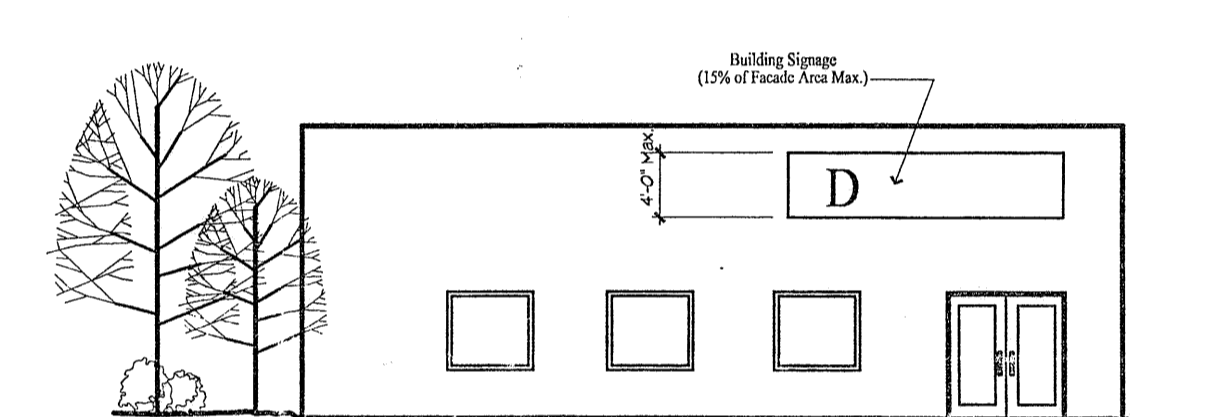
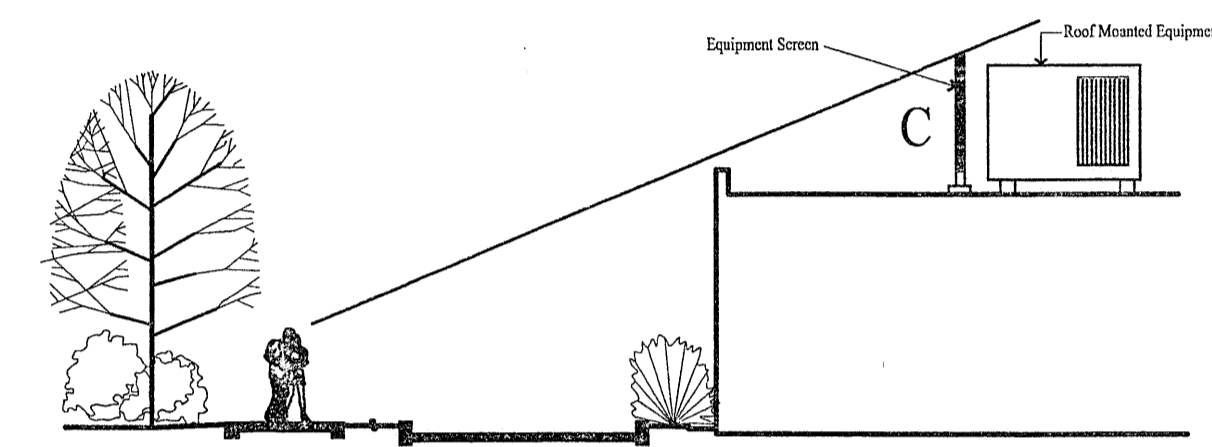
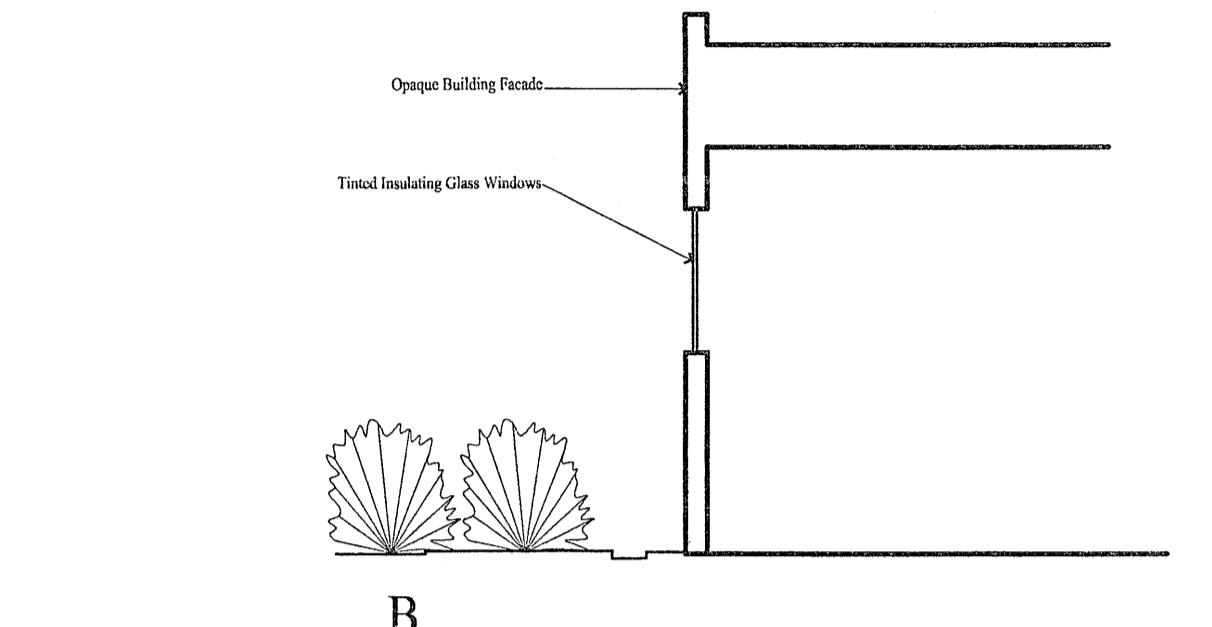
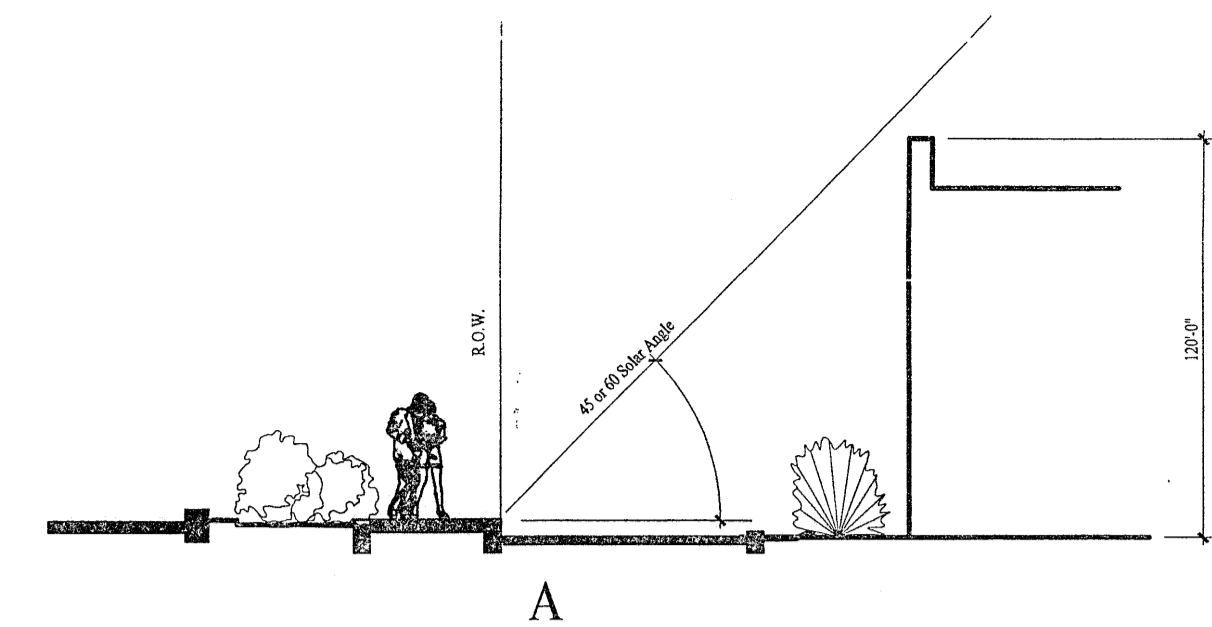
Mechanical equipment on roofs shall be screened from public view. Roof equipment screens shall be as high as the highest part of the equipment including attachments to equipment. Roof top screen materials shall be compatible with the building in finish, color, and material. Exhaust vents, exhaust fans, and other such equipment shall be screened from public view by a parapet; or in the case of a pitched roof, be located away from public view.

#### General Criteria

- \* All Buildings shall provide for its employees an outdoor gathering area with seating and shade for 25% of the area; such space shall be a minimum of 350 sf. In addition, separate outdoor smoking area with an ash urn and bench at least 25 feet from any operable window or building entry shall be provided; such space shall be a minimum of 50 sf. Both requirements together constitute an increase of 33% over the minimum Zoning Code requirements.
- \* All antenna for individual projects shall be located to avoid view from the public R.O.W., or be screened from view with a screen of building materials and finishes compatible with the building which it serves.
- \* Drive through canopies are to be designed to be architecturally compatible in terms of color, exterior finish, and material with the building which it serves.
- \* Wireless telecommunications facilities are prohibited on the site.
- \* Service areas shall not be oriented to a public street or a residential zone.
- \* Where multiple buildings are proposed on a site and where public spaces are proposed, the public spaces shall be combined to form a single public space area that will serve as the focal point for the development.

#### Requirements for Bear Canyon Arroyo Plan...

- \* A 4 foot solid wall, fence and/or hedge is required to screen the parking area from the Arroyo.
- \* Building facades that face the Arroyo shall contain primary or secondary entrances, windows, patios, landscaped areas, etc. Parking areas should not completely separate the arroyo from building entrances.
- \* Access to the trail system shall be provided from the site.
- \* An approved Grading and Drainage Plan is required by the City's Hydrology Engineer.



#### Landscape Design Criteria

The landscaping shall be met or exceed the requirements set forth in the Zoning Code. In addition to the Zoning Code, the following more restrictive requirements shall be met:

- \* High water use sod shall be limited to 20% of the landscaped area.
- \* High water use trees, or shrubs are prohibited.
- \* On individual lots, using one of the following green design practices: reclaimed, recycled water, surface run-off or captured roof run-off, for irrigation of any portion or all of the landscaped area is encouraged.
- \* Where practical, based on standard professional engineering practices, surface run-off shall be directed into water harvesting areas provided in parking lot end caps and medians utilizing curb cuts. Curb cuts shall be located by a professional engineer/landscape architect at the time of submittal to DRB for Site Plan for Building Permit.
- \* All parking areas shall be required to have trees for shading and to relieve the adverse visual impact of large expanses of pavement and parked cars. One tree per ten (10) parking spaces min., shall be provided.
- \* All watering and maintenance of landscaping shall be the responsibility of the property owner. Landscaping shall be watered adequately to establish healthy growth. Plant beds shall achieve a 75% ground cover at maturity.

#### Additional Green Building Techniques...

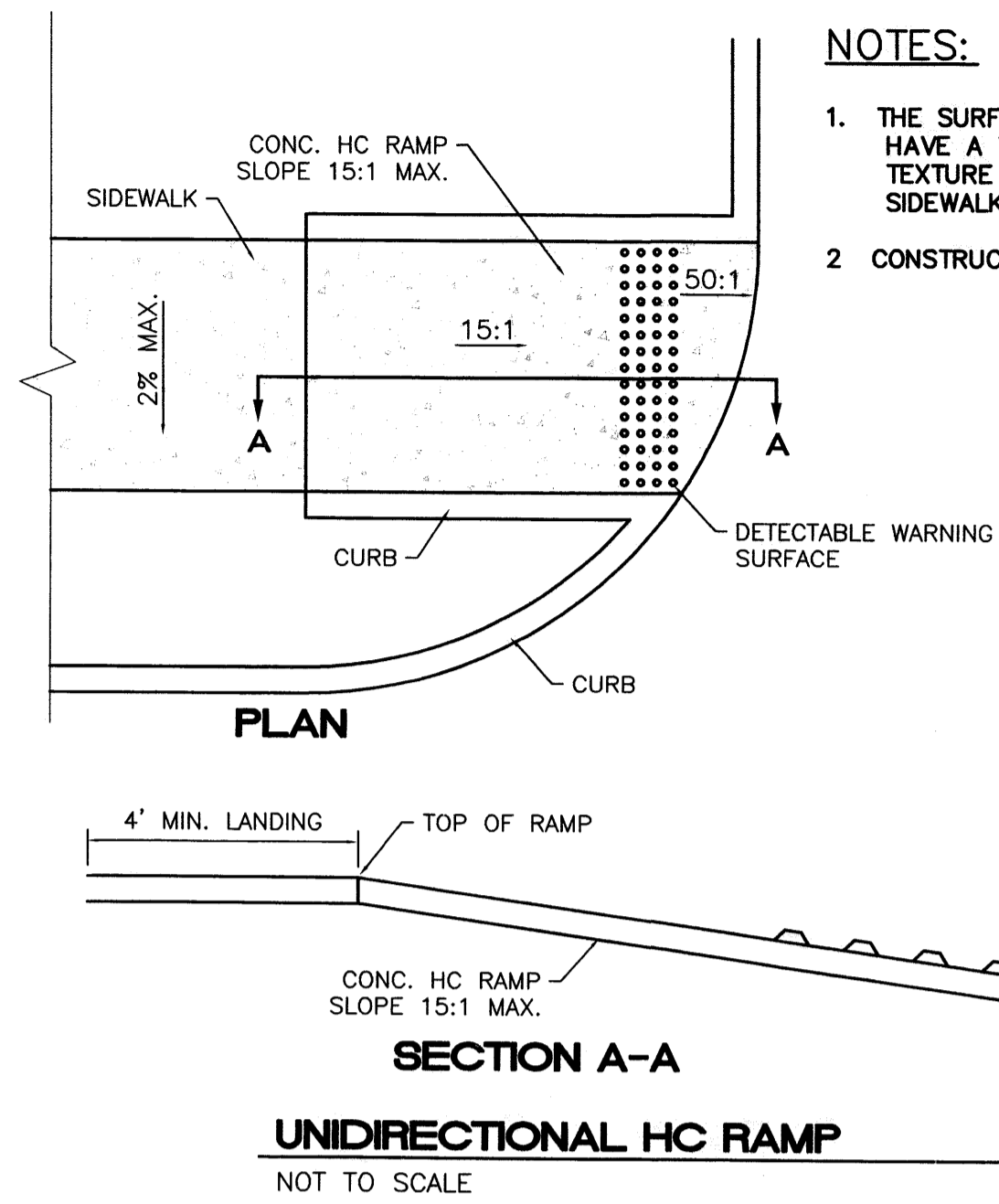
In order to promote a sustainable environment; in addition to the green building techniques already mentioned herein and in addition to the Zoning Code, the following more restrictive requirements shall be met:

- \* During the construction of all buildings and utility infrastructure all General Contractors shall employ a Construction Waste Management Plan in order to divert waste from landfill. Debris (i.e. plastic, aluminum, paper) to the maximum extent possible shall be diverted to recycling centers for recycling. Construction waste (i.e. concrete, asphalt, scarified dirt) shall be redistributed for reuse.
- \* The use of high performance low-e, insulated glazing, is required for all buildings.
- \* All trash enclosures shall be sized to accommodate an area for the pick up of debris for delivery to a recycling center. This area shall be screened from view and have a separate entrance from the main enclosure. The entire enclosure shall be approved by the Solid Waste Department.
- \* Low flow toilet room plumbing fixtures (i.e. lavatories, urinals, and water closets) shall be installed in all buildings requiring more than six (6) water closets.

|                                  |  |                |
|----------------------------------|--|----------------|
| ENGINEER'S SEAL                  | FRATERNAL ORDER OF POLICE  | DRAWN BY       |
|                                  |  | DATE           |
| RONALD R. BOHANNAN<br>P.E. #7868 | SITE DEVELOPMENT PLAN FOR SUBDIVISION  | SHEET #        |
|                                  |  | 4 of 5         |
|                                  | TERRA WEST, LLC<br>5571 MIDWAY PARK PLACE NE<br>ALBUQUERQUE, NEW MEXICO 87109<br>(505)858-3100 | JOB #<br>25016 |

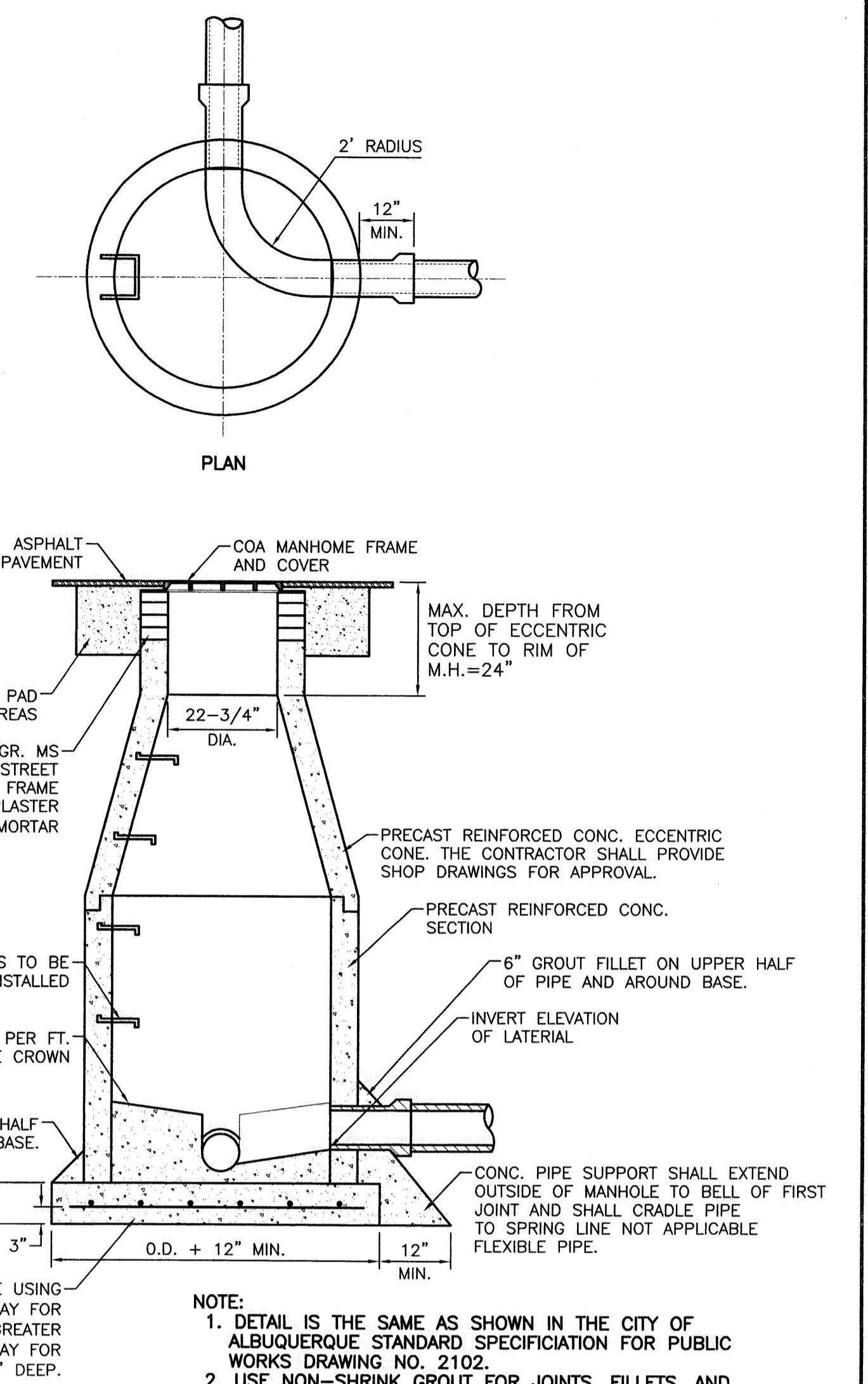
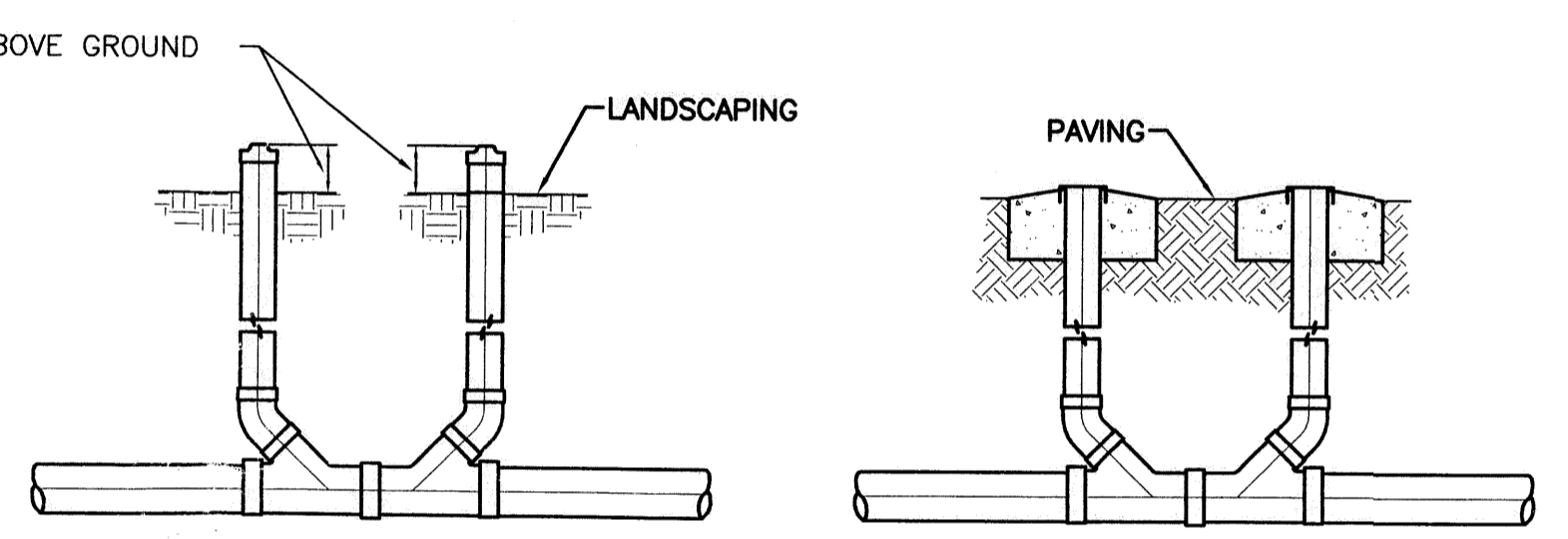
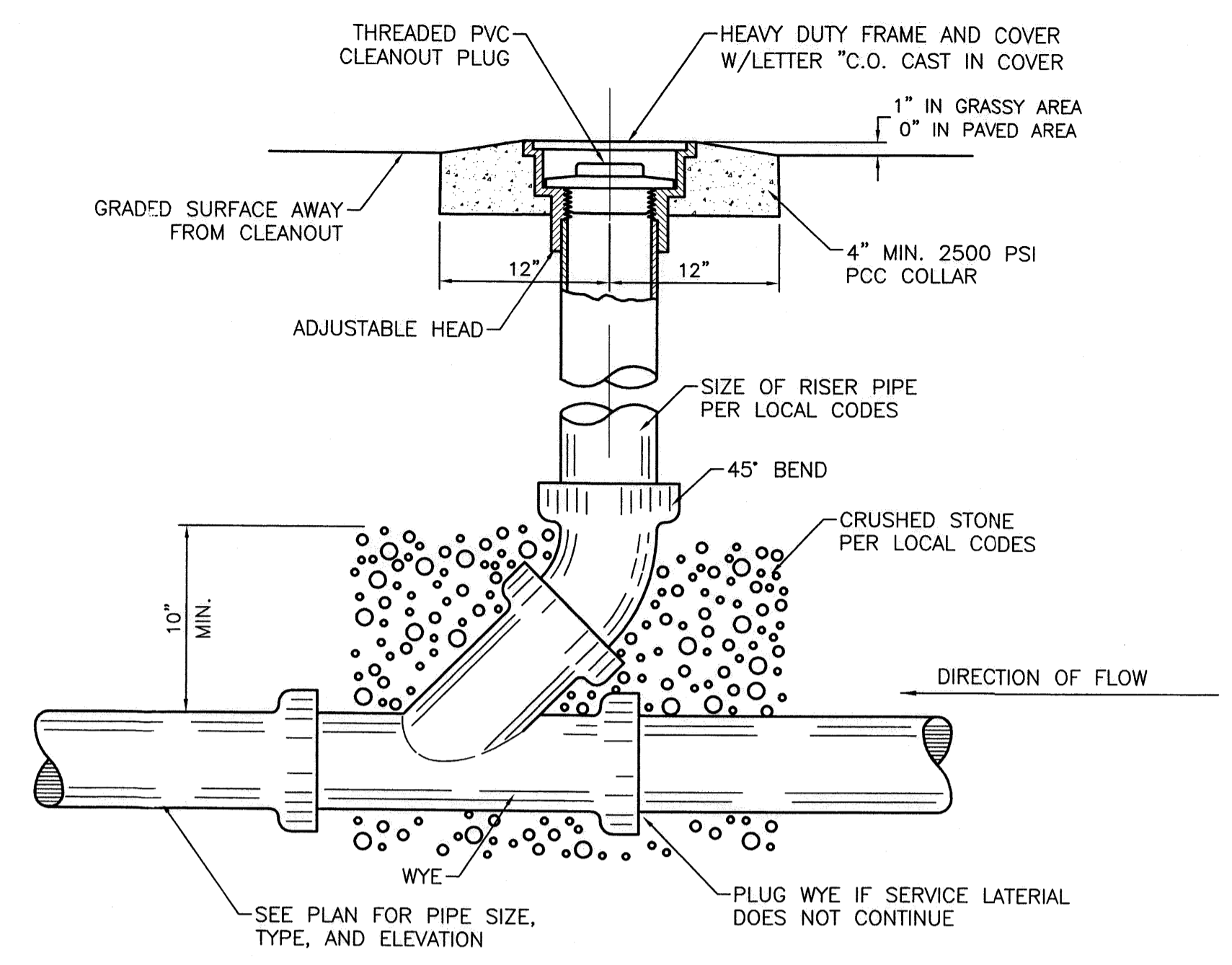
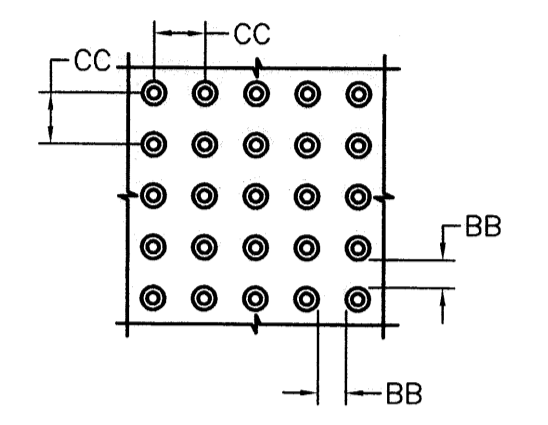
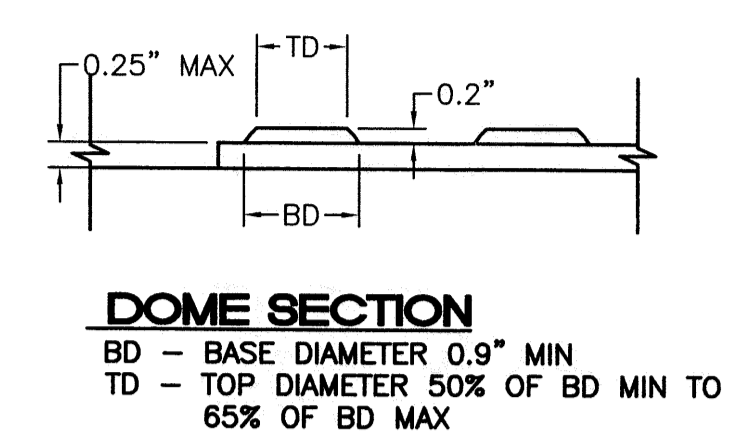
**Dekker/Perich/Sabatini**  
architecture • interiors • landscape • planning • engineering





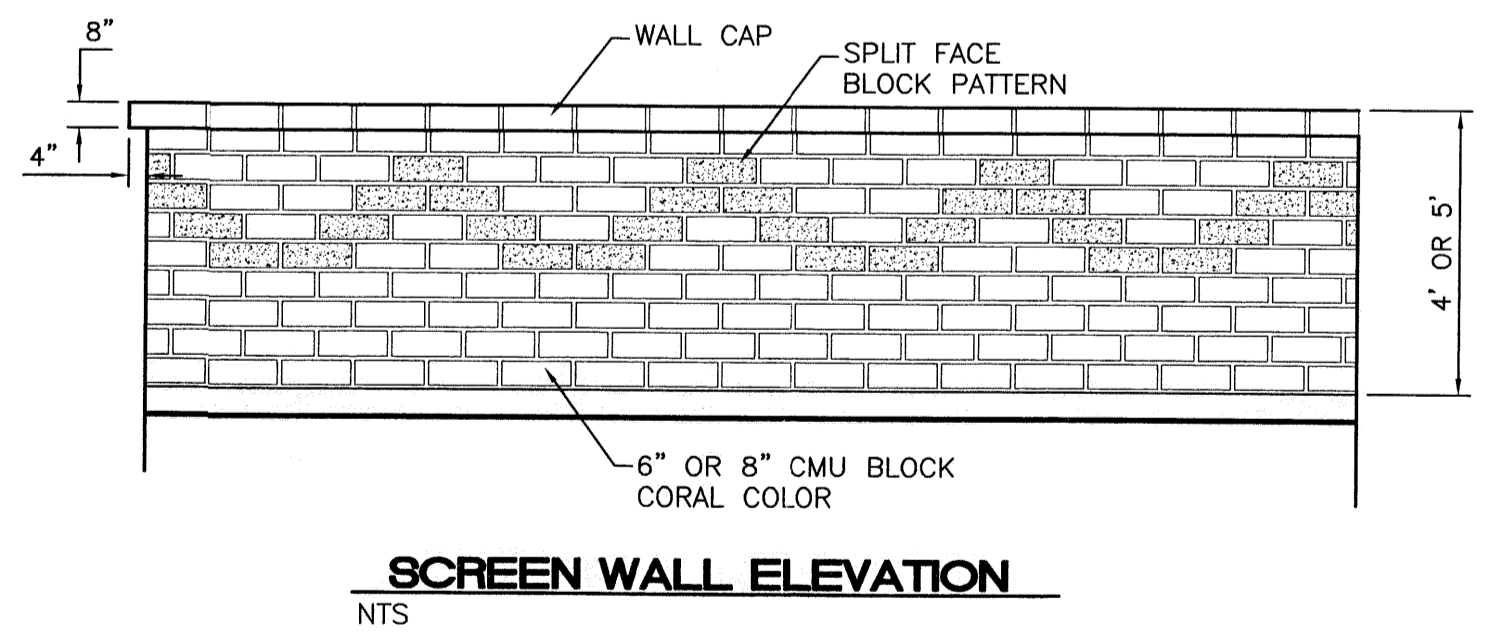
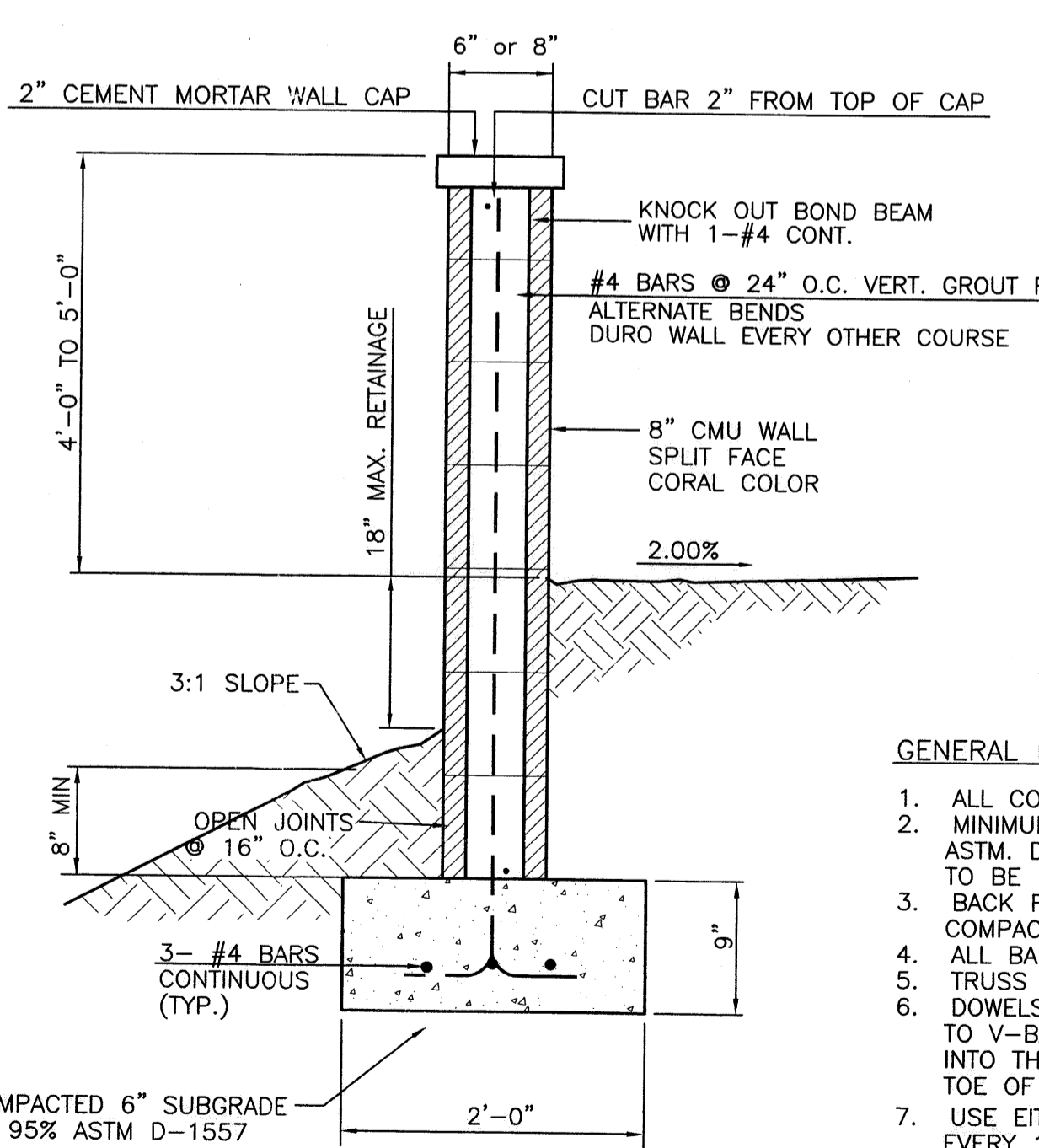
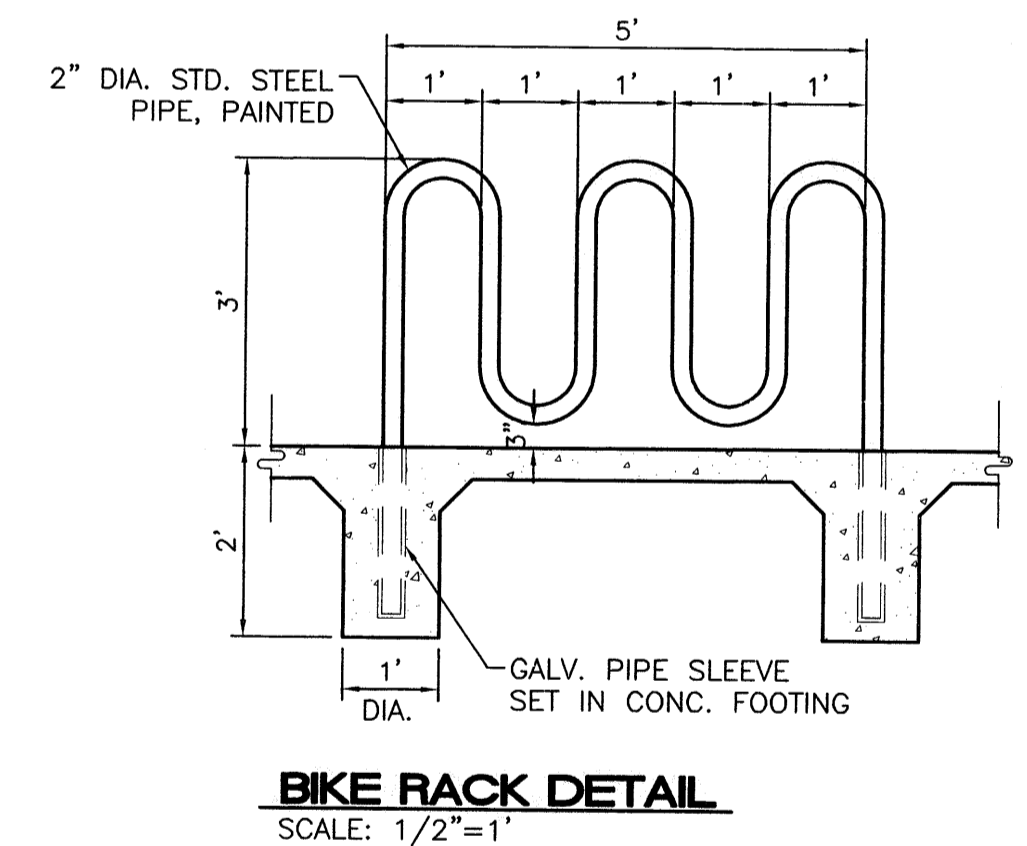
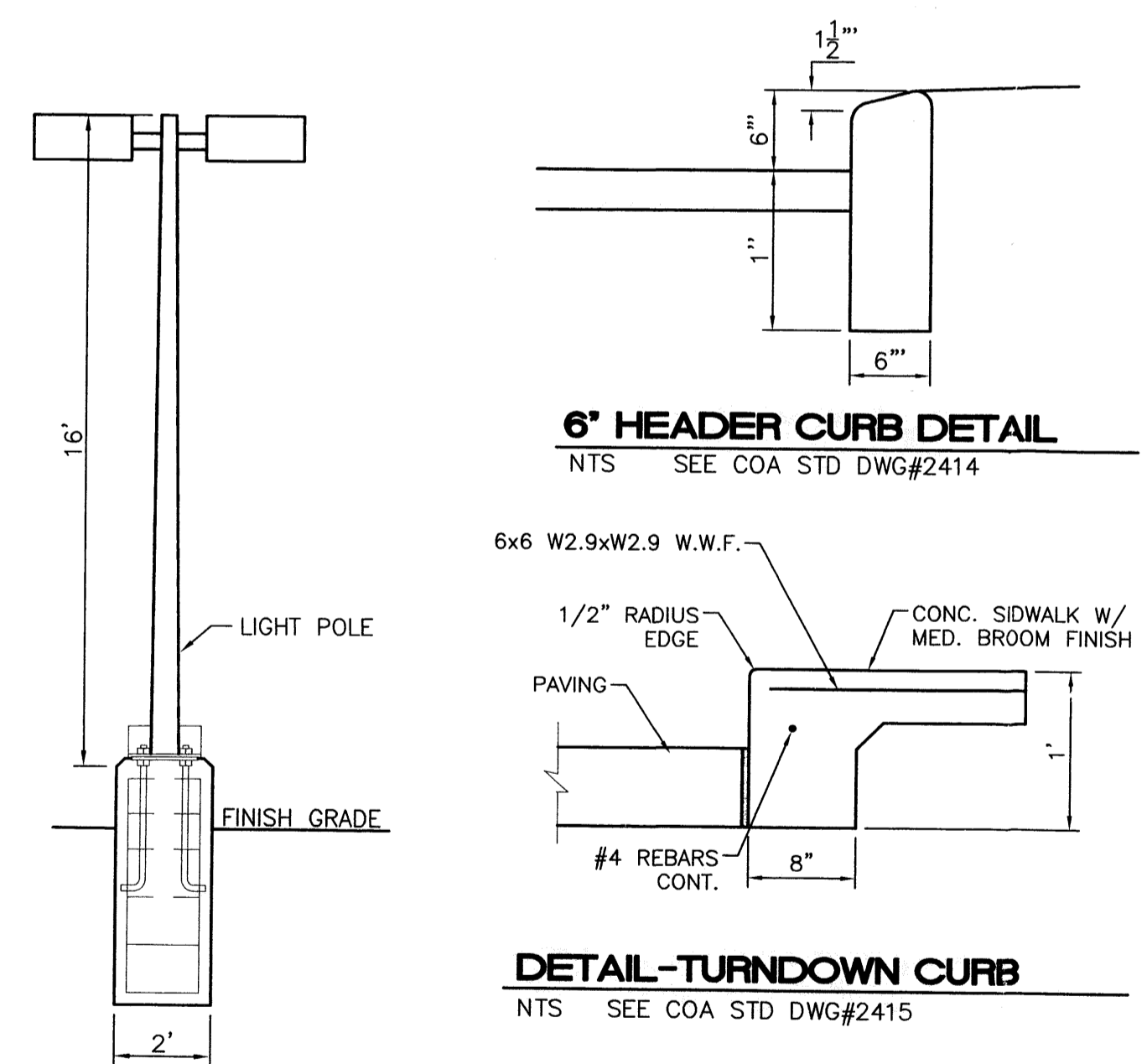
**NOTES:**

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



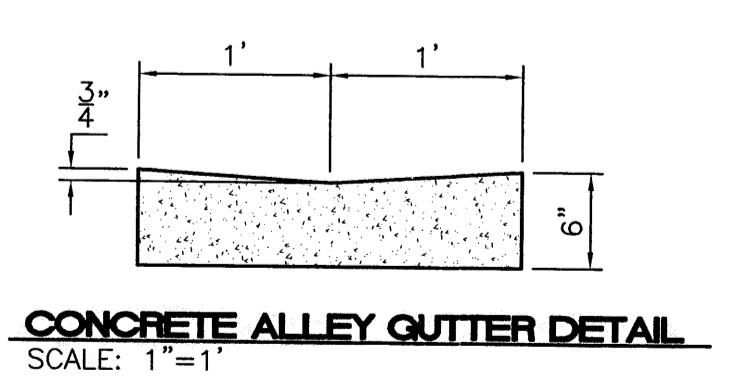
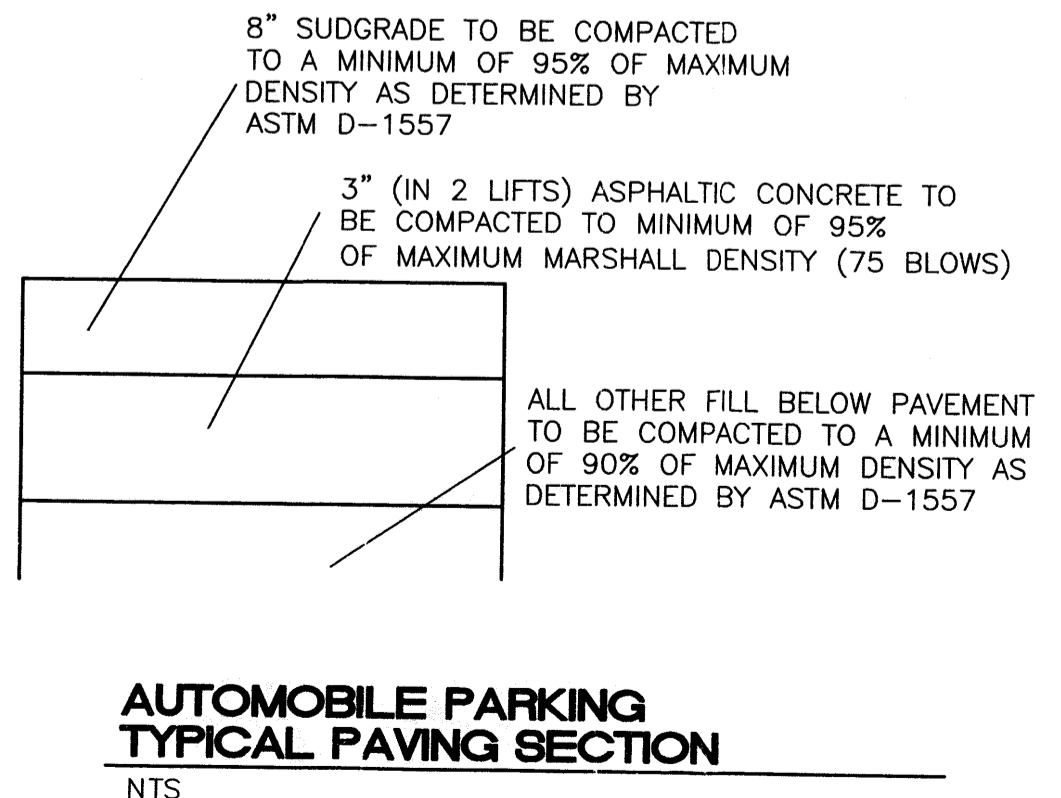
**NOTE:**

1. DETAIL IS THE SAME AS SHOWN IN THE CITY OF ALBUQUERQUE STANDARD SPECIFICATION FOR PUBLIC WORKS DRAWING NO. 2102.
2. USE NON-SHRINK GROUT FOR JOINTS, FILLETS, AND PIPE PENETRATIONS
3. COMPACT ALL BACKFILL AROUND MANHOLES TO 95%.
4. POSITION MANHOLE OPENING OVER THE UPSTREAM SIDE OF MAIN LINE.



**GENERAL NOTES:**

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK-FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



|   |  |   |
|---|--|---|
|   | <b>FRATERNAL ORDER OF POLICE</b><br>CONSTRUCTION DETAILS | DRAWN BY DY<br>DATE 12-5-06<br>2516-Details.dwg |
|   | SHEET #<br><b>5 of 5</b>                                 | JOB #<br>2516                                   |
| <b>TERRA WEST, LLC</b><br>8509 JEFFERSON NE<br>ALBUQUERQUE, NEW MEXICO 87113<br>(505)858-3100 |  |   |