

**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, August 6, 2008**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project# 1000650

**08DRB-70316 MAJOR - 2YR EXTENSION
OF SUBDIVISION IMPROVEMENTS**

TIERRA WEST LLC agent(s) for WAL-MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) 1-A-1, **LANDS OF LAMONICA AND WENK** zoned SU-1 FOR C-1 PERMISSIVE USES, located in the southeast corner of COORS BLVD SW and RIO BRAVO BLVD SW containing approximately 20.05 acre(s). (P-10)

Project# 1002858

**08DRB-70314 MAJOR - 2YR EXTENSION
OF SUBDIVISION IMPROVEMENTS**

MARK GOODWIN AND ASSOCIATES PA agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of **MESA AT ANDERSON HILLS, UNIT 2**, (Lot 28) zoned SU-1/ C-1 & R-2, located on ANDERSON HILLS AVE SW east of UNSER BLVD SW AND DESERT DR SW. (N-09, P-09)

Project# 1004818

**08DRB-70319 MAJOR - 2YR EXTENSION
OF SUBDIVISION IMPROVEMENTS**

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 26, **MESA DEL SOL INNOVATION PARK**, zoned PC, located on UNIVERSITY EAST BLVD SE AND STRYKER DR SE containing approximately 28.28 acre(s). (R-16)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8334.


Jack Cloud, AICP, DRB Chair
Development Review Board

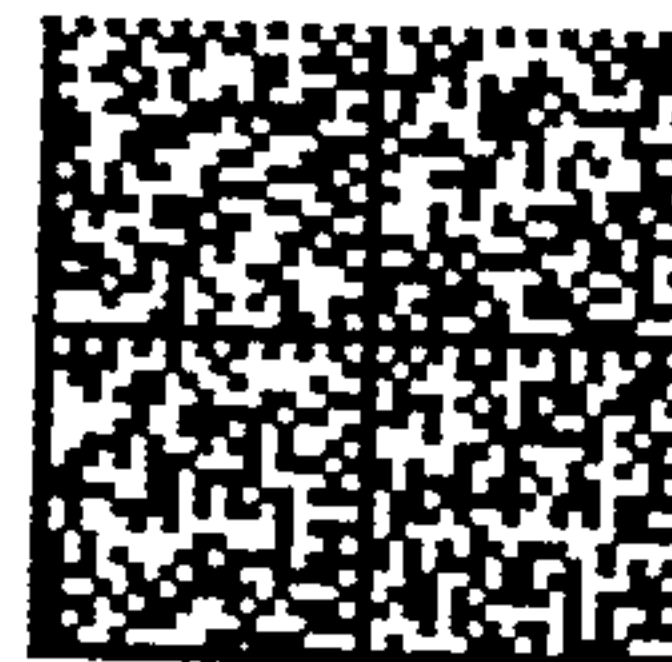
TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 21, 2008.

CITY OF ALBUQUERQUE



Planning Department

R.T.S.



02 1M \$ 00.42⁰⁰
0004261639 JUL 18 2008
MAILED FROM ZIP CODE 87102

DRB

OR CURRENT RESIDENT
101605128311440102
PACIFICA MESA STUDIOS LLC C/O
MATT RAUCHBERG
9336 WEST WASHINGTON BLVD
CULVER CITY, CA 90232

UTF

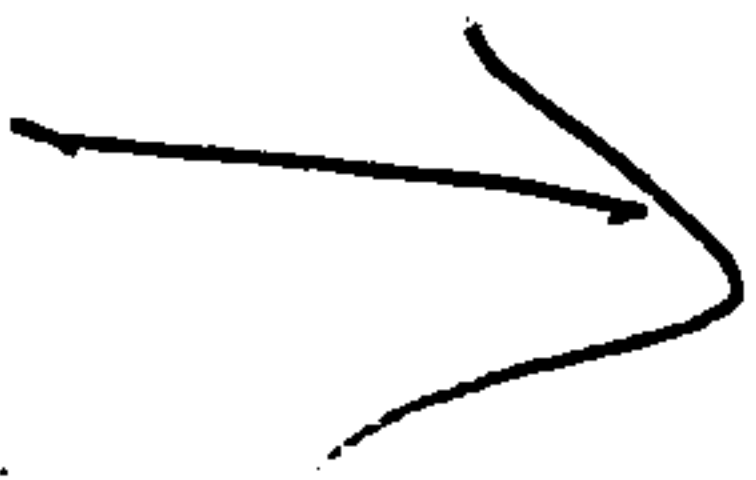
RETURN TO SENDER

NOT RECOMMENDED

~~SUBSCRIPTIONS COURTESY~~



P O Box 1293 Albuquerque New Mexico 87103



CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004818

AGENDA ITEM NO: 5

SUBJECT:

SIA Extension

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:() EXTN:(x) AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the subject request.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ^{1-y}; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR: _____

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: August 6, 2008

2. **Project# 1003688**
08DRB-70290 VACATION OF PUBLIC
EASEMENT
08DRB-70291 VACATION OF PRIVATE
EASEMENT

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9, **THE TRAILS Unit(s) 3A**, zoned SU-2 FOR SRSL 26, SU-1 FOR SCHOOL, PARK, OPEN SPACE & FUTURE ROW, located on WOODMONT AVE NW BETWEEN RAINBOW BLVD NW AND PASEO DEL NORTE NW containing approximately 25.25 acre(s). (C-9100906413032322306) [Deferred from 7/23/08 & 7/30/08] **THE VACATION OF PUBLIC EASEMENT, APPLICATION 08DRB-70290 WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE AS INDICATED ON REVISED EXHIBIT 'B'.**

THE VACATION OF PRIVATE EASEMENT, APPLICATION 08DRB-70291 WAS WITHDRAWN.

3. **Project# 1000650**
08DRB-70316 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

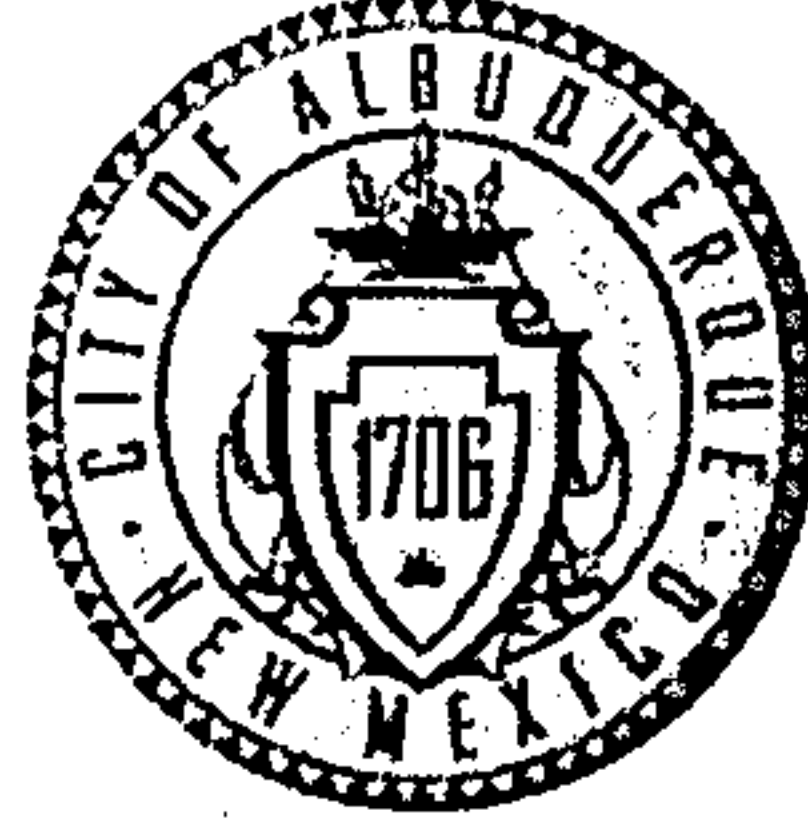
TIERRA WEST LLC agent(s) for WAL-MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) 1-A-1, **LANDS OF LAMONICA AND WENK** zoned SU-1 FOR C-1, PERMISSIVE USES, located on COORS BLVD SW BETWEEN RIO BRAVO SW AND LAMONICA RD SW containing approximately 20.05 acre(s). (P-10) **THE ONE YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

4. **Project# 1002858**
08DRB-70314 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

MARK GOODWIN AND ASSOCIATES PA agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of located on ANDERSON HILLS AVE SE BETWEEN UNSER SE AND DESERT DR SE **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

5. **Project# 1004818**
08DRB-70319 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 26, **MESA DEL SOL INNOVATION PARK** zoned PC, located on STRYKER DR SE BETWEEN UNIVERSITY AVE SE AND HAWKING DR SE containing approximately 28.28 acre(s). (R-16) **THE ONE YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED**



**DEVELOPMENT REVIEW BOARD
AGENDA**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 6, 2008 9:00 AM

MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department

Angela Gomez, Administrative Assistant

**Kristal Metro, P.E., Transportation Development
Brad Bingham, P.E., Hydrology/ Alternate City Engineer**

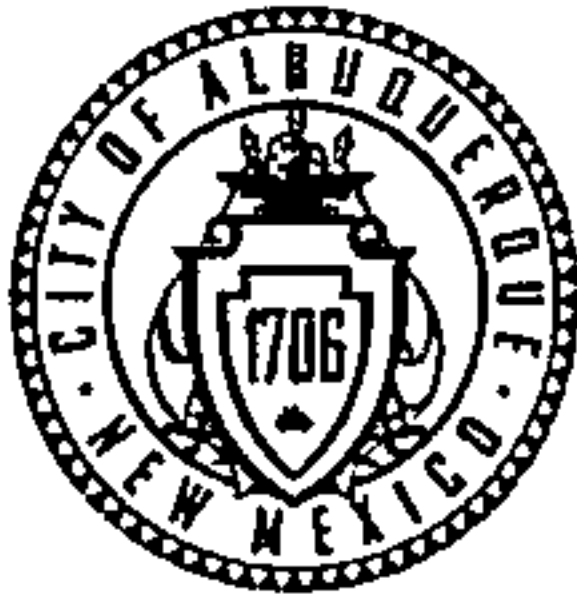
**Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA
Christina Sandoval, Parks/Municipal Development**

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. Project# 1003604
08DRB-70298 VACATION OF PUBLIC
EASEMENT**

ALPHA PROFESSIONAL SURVEYING agent(s) for ANTHONY MONTOYA JR request(s) the above action(s) for all or a portion of Lot(s) A, **MIRA MESA ESTATES** zoned R-2, located on TELSTAR LOOP NW BETWEEN 68TH ST NW AND GLENRIO RD NW containing approximately 0.2353 acre(s). (J-10)[*Deferred from 7/30/08.*] **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 6, 2008

Project# 1004818
08DRB-70319 MAJOR - 2YR EXTENSION OF SUBDIVISION
IMPROVEMENTS

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the
above action(s) for all or a portion of Tract(s) 26, **MESA DEL SOL
INNOVATION PARK**, zoned PC, located on UNIVERSITY EAST BLVD SE
AND STRYKER DR SE containing approximately 28.28 acre(s). (R-16)

At the August 6, 2008 Development Review Board meeting, a **one** year extension of the
Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by August 21, 2008 in the manner
described below:

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any
determination of the Development Review Board may file an appeal on the
Planning Department form, to the Planning Department, within 15 days of the
Development Review Board's decision. The date the determination in question is
issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System
Ordinance, the next working day is considered as the deadline for filing the appeal.
Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are
reminded that other requirements of the City must be complied with, even after approval
of the referenced application(s).

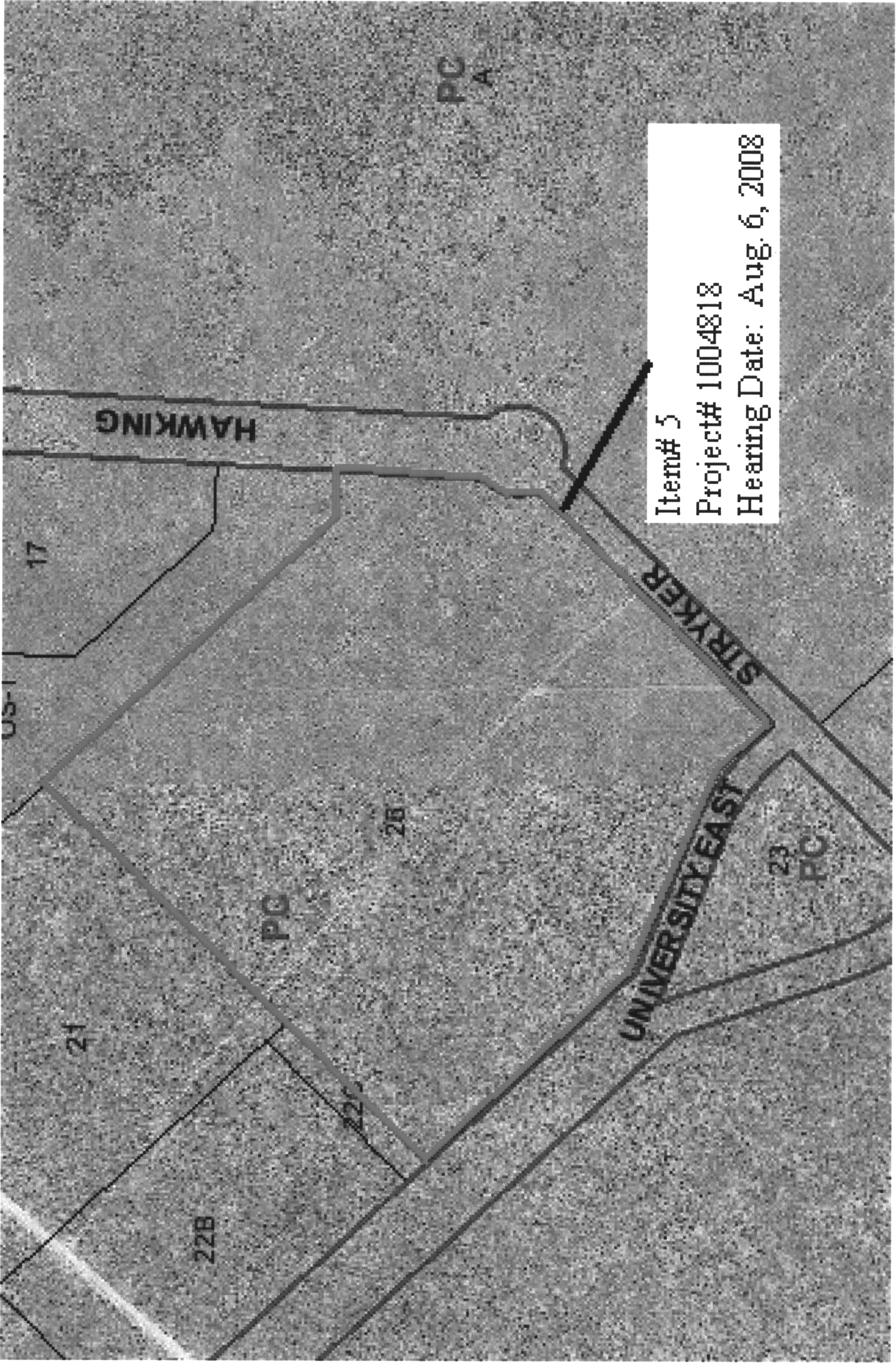

Jack Cloud, AICP, DRB Chair

Cc: Bohannan Huston Inc – 7500 Jefferson NE – Albuquerque, NM 87109
Cc: 801 University Blvd., SE Ste 200
Marilyn Maldonado
File

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1004818 AGENDA# 5 DATE: 8/6/08

1. Name: _____ Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____



Item# 5
Project# 1004818
Hearing Date: Aug. 6, 2008

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: August 6, 2008
Zone Atlas Page: R-16
Notification Radius: 100 Ft.

Project# 1004818
App#08DRB-70319

**Cross Reference and Location: STRYKER DR SE AND UNIVERSITY BETWEEN
STRYKER DR SE AND UNIVERSITY SE**

Applicant: MESA DEL SOL LLC
801 UNIVERSITY BLVD SE STE 200
ALBUQUERQUE, NM 87106

Agent: BOHANNAN HUSTON INC
7500 JEFFERSON NE
ALBUQUERQUE, NM 87109

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: JULY 18, 2008
Signature: ERIN TREMLIN

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z	ZONING & PLANNING
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	D	APPEAL / PROTEST of...
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal
STORM DRAINAGE (Form D)		
<input type="checkbox"/> Storm Drainage Cost Allocation Plan		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bohannon Huston, Inc. PHONE: (505) 823-1000
 ADDRESS: 7500 Jefferson NE FAX: (505) 898-7988
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____

APPLICANT: Mesa Del Sol, LLC PHONE: 400-3021
 ADDRESS: 801 University Blvd., SE STE 200 FAX: 242-2978
 CITY: Albuquerque STATE NM ZIP 87106 E-MAIL: _____
 Proprietary interest in site: owner List all owners: _____

DESCRIPTION OF REQUEST: SIA Extension Request & Approval - Albuquerque Studios

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 26 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Mesa del Sol Innovation Park
 Existing Zoning: PC Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): R16 UPC Code: 101605128311440102

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): _____
1004818

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: _____ Total area of site (acres): 28.28

LOCATION PROPERTY BY STREETS: On or Near: Stryker Drive, SE & University Avenue, SE
 Between: Stryker Drive, SE and University Avenue, SE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Michael Balakovits DATE 7/11/2008
 (Print) Michael Balakovits, P.E. Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>08-DRB-70319</u>	<u>SIA</u>	<u>5(2)</u>	<u>\$ 50.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>ADU</u>	_____	<u>\$ 75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CAH</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>08/06/08</u>	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 145.00</u>

Sandra Stuedley 07/11/08
 Planner signature / date

Project # 1004818

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

MICHAEL BAASKOVITS
Applicant name (print)
[Signature] 12/11/07
Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
081223 - 70319
_____-_____
_____-_____

[Signature] 07/11/08
Planner signature / date
Project # 1004818

R e c	UPC CODE	OWNER	OWNER ADDRESS	OWNE R CITY	O W N E R S T A T E	OW N E R Z I P C O D E	PRO P E R T Y C L A S S	TA X D I S T R I C T	LEGAL
1	1016051 2420273 0605	MESA DEL SOL LLC	801 UNIVERSIT Y BLVD SE SUI TE 200	ALBU QUER QUE	NM	871 06	V	A1A	TR 23 BULK LAND PLAT FOR MESA D EL SOL INNOVATION PARK(A REPLA T OF TRACTS 4-A-1 & 4- B MESA DEL SOL)CONT 3.2628 AC
2	1016050 2482802 0101	MESA DEL SOL LLC	801 UNIVERSIT Y BLVD SE SUI TE 200	ALBU QUER QUE	NM	871 06	V	A1A	TR A BULK LAND PLAT FOR MESA D EL SOL INNOVATION PARK(A REPLA T OF TRACTS 4-A-1 & 4- B MESA DEL SOL)CONT 1,989.5739 A C
3	1016051 2791804 0206	MESA DEL SOL LLC	801 UNIVERSIT Y BLVD SE SUI TE 200	ALBU QUER QUE	NM	871 06	V	A1A	TR OS- 1 BULK LAND PLAT FOR MESA DEL S OL INNOVATION PARK(A REPLAT OF TRACTS 4-A-1 & 4- B MESA DEL SOL)CONT 12.2092 AC
4	1016051 2831144 0102	PACIFICA MESA STUD IOS LLC C/O MATT RA UCHBERG	9336 WEST WA SHINGTON BL VD	CULV ER CI TY	CA	902 32	C	A1A	TR 26 BULK LAND PLAT FOR MESA D EL SOL INNOVATION PARK(A REPLA T OF TRACTS 4-A-1 & 4- B MESA DEL SOL)CONT 28.2756 AC
5	1016051 1842073 0303	MESA DEL SOL LLC	801 UNIVERSIT Y BLVD SE SUI TE 200	ALBU QUER QUE	NM	871 06	V	A1A	TR 21 BULK LAND PLAT FOR MESA D EL SOL INNOVATION PARK(A REPLA T OF TRACTS 4-A-1 & 4- B MESA DEL SOL)CONT 25.5254 AC
6	1016050 2715251 0101	MESA DEL SOL LLC	801 UNIVERSIT Y BLVD SE SUI TE 200	ALBU QUER QUE	NM	871 06	V	A1A	TR 24 BULK LAND PLAT FOR MESA D EL SOL INNOVATION PARK(A REPLA T OF TRACTS 4-A-1 & 4- B MESA DEL SOL)CONT 5.4454 AC
7	1016051 1401723 0202	MESA DEL SOL LLC	801 UNIVERSIT Y BLVD SE SUI TE 200	ALBU QUER QUE	NM	871 06	V	A1A	TR 22 BULK LAND PLAT FOR MESA D EL SOL INNOVATION PARK(A REPLA T OF TRACTS 4-A-1 & 4- B MESA DEL SOL)CONT 15.8242 AC

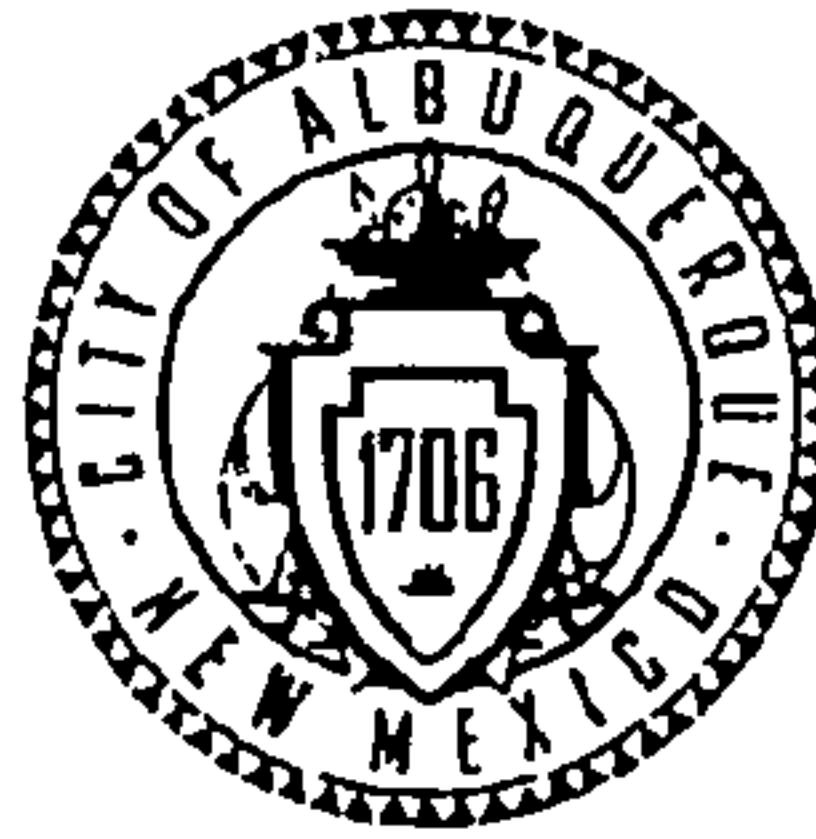
Project# 1004818
101605124202730605
MESA DEL SOL LLC
801 UNIVERSITY BLVD SE SUITE 200
ALBUQUERQUE, NM 87106

OR CURRENT RESIDENT
101605128311440102
PACIFICA MESA STUDIOS LLC C/O
MATT RAUCHBERG
9336 WEST WASHINGTON BLVD
CULVER CITY, CA 90232

Project# 1004818
BOHANNAN HUSTON INC
7500 JEFFERSON NE
ALBUQUERQUE, NM 87109

Project# 1004818
PATTY GRICE
Mountain View NA
206 FENTIMAN PL SE
ALBUQUERQUE, NM 87105

Project# 1004818
MARLA PAINTER
Mountain View NA
506 VALLEY HIGH ST SE
ALBUQUERQUE, NM 87106



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: 7-11-08

TO CONTACT NAME: Sally Salazar-Cass
COMPANY/AGENCY: Bohannon Huston LLC
ADDRESS/ZIP: 7500 Jefferson N.E. 87109
PHONE/FAX #: 798-7962

Thank you for your inquiry of 7-11-08 (date) requesting the names of ALL Affected

Neighborhood and/or Homeowner Associations who would be affected under the provisions of O-92 by your proposed project at Styrker a University TRACT 26 MESAVOL INNOVATION PARK zone map page(s) R-16.

Our records indicate that the Affected Neighborhood and/or Homeowner Associations affected by this proposal and the contact names are as follows:

Neighborhood or Homeowner Association

MOUNTAIN VIEW N.A. (MNV)
*Patty Grice
206 Fentiman Pl. SE/87105 452-9159 (h)
Marla Painter
506 Valley High St. SE/87106 220-3969 (c)

Neighborhood or Homeowner Association

Contacts:
[Blank lines for contact information]

See reverse side for additional Neighborhood and/or Homeowner Associations Information:

YES { } NO [X]

Please note that according to O-92 you are required to notify each of these contact persons by CERTIFIED MAIL. RETURN RECEIPT REQUESTED. BEFORE the Planning Department will accept your application filing. IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

[Signature]
OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

**NOTICE TO APPLICANTS - SUGGESTED INFORMATION FOR
NEIGHBORHOOD NOTIFICATION LETTERS**

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify **ALL AFFECTED NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS** PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood and/or homeowner associations may contact someone with questions or comments.


INFORMATION FROM THE OFFICE OF NEIGHBORHOOD COORDINATION

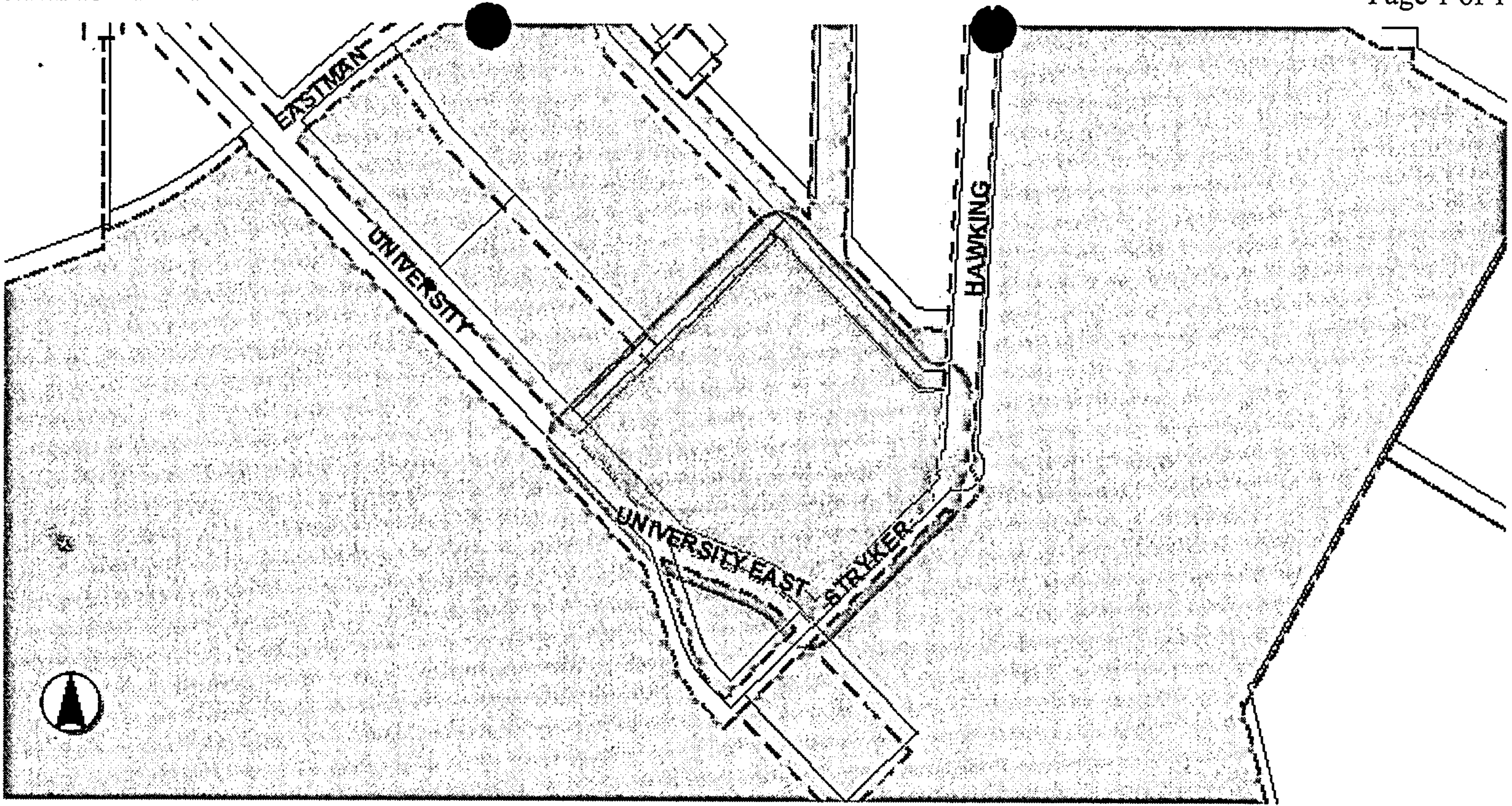
The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

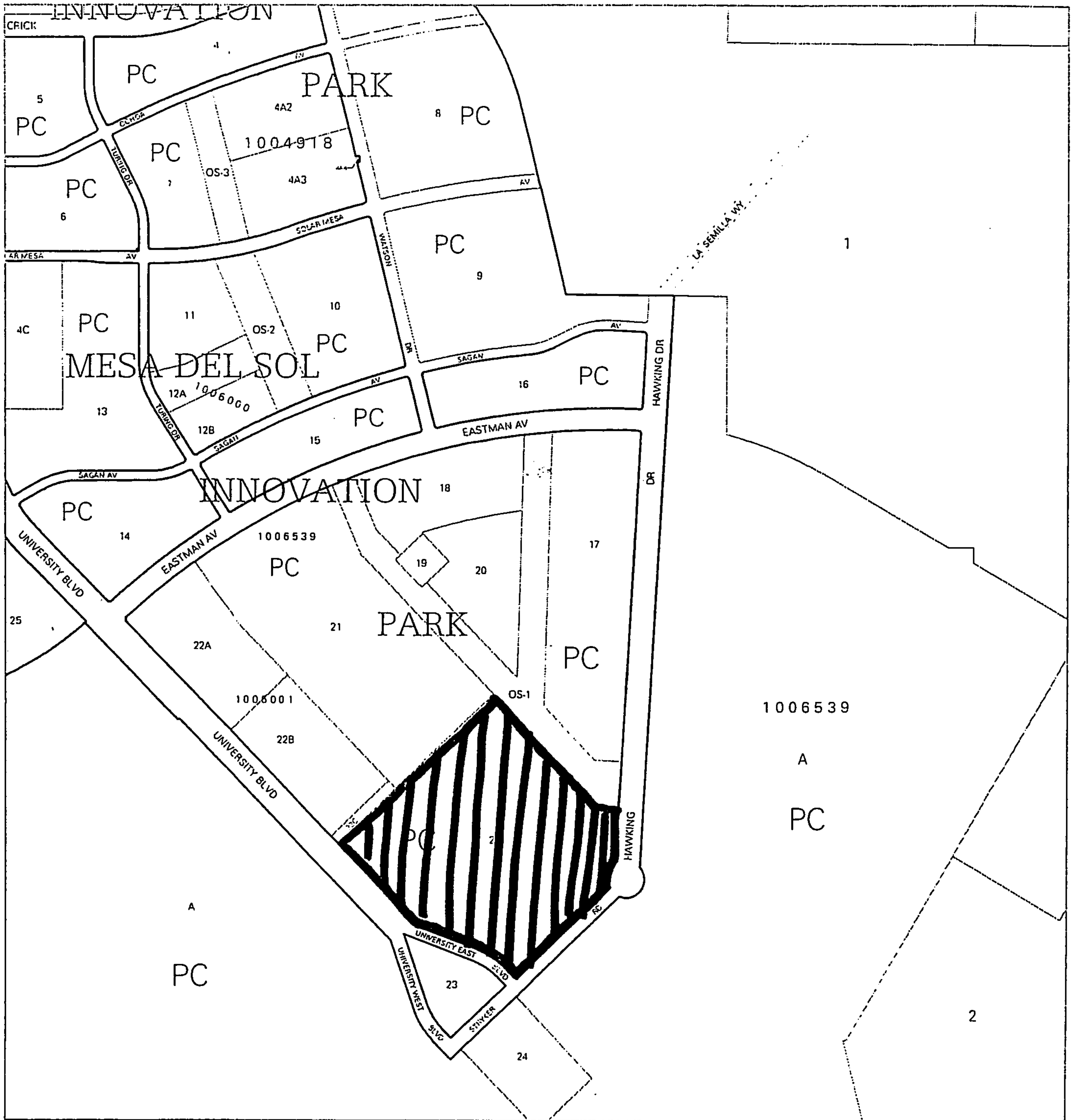
- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.
- Copies of the certified receipts to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

(Below this line for ONC use only)

Date of Inquiry: 7/11/08 Time Entered: 12:00PM ONC Rep. Initials: 





For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 6/13/2008

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
R-16-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1500 Feet

July 11, 2008

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, New Mexico 87103

Re: Subdivision Improvements Agreement Extension (Procedure B)
Tract 26, Mesa del Sol Innovation Park - DRB #1004818

Dear Mr. Cloud:

Submitted for DRB review and approval is a request for an extension to the Subdivision Improvements Agreement for the above referenced project.

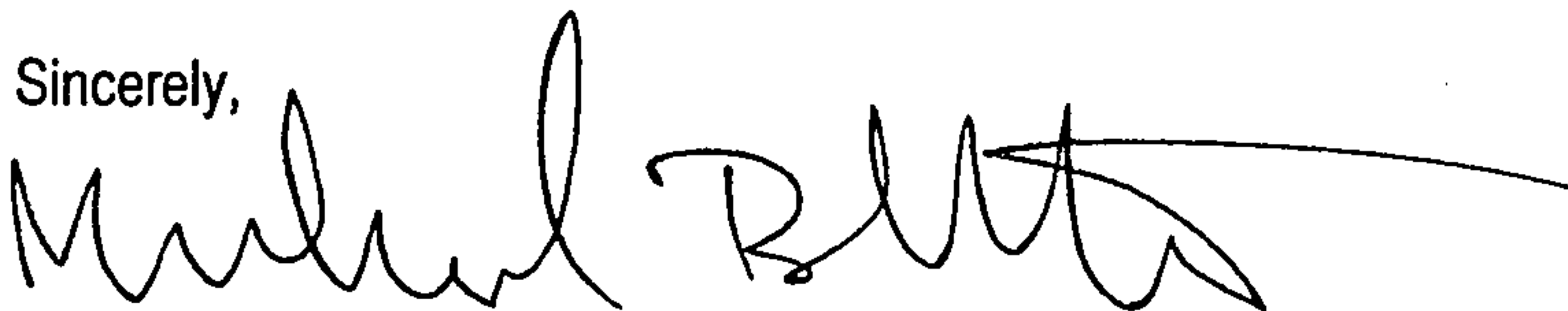
Enclosed is the following information:

- Applications for Development Review
- Reduced layout of site plan
- Zone Atlas sheet showing the project area
- Letter briefly describing, explaining, and justifying the request
- Official Notice from the Development Review Board
- Approved Infrastructure List
- Original SIA and Previous SIA extensions
- Neighborhood Notification information
- DRB Fee

We are requesting a one (1) year extension of the Subdivision Improvements Agreement (Procedure B) for the offsite infrastructure improvements for the above referenced project. We are requesting the extension because the required infrastructure has not been completed. Therefore, we are requesting the approval of a one year extension.

Please place this item on the DRB agenda to be heard on August 6, 2008. If you have any questions, or require further information, please call me.

Sincerely,



Michael J. Balaskovits, P.E.
Project Engineer
Community Development and Planning

MJB/cc

cc: Mesa Del Sol, LLC

Courtesy
7500 Jefferson St.
Albuquerque,
87109-4

www.bhinc.com

voice: 505.823.1
facsimile: 505.798.7
toll free: 800.877.5



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

August 6, 2008

Project# 1004818

08DRB-70319 MAJOR - 2YR EXTENSION OF SUBDIVISION IMPROVEMENTS

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 26, **MESA DEL SOL INNOVATION PARK**, zoned PC, located on UNIVERSITY EAST BLVD SE AND STRYKER DR SE containing approximately 28.28 acre(s). (R-16)

<p>AMAFCA No comment.</p>
<p>COG MRCOG staff have no comment on this proposal. For information purposes, University Bd north of Rio Bravo has a functional classification of urban minor arterial. City may want to address the functional classification of newly-built portions of University Bd in light of recent and anticipated development.</p>
<p>TRANSIT No comments received.</p>
<p>ZONING ENFORCEMENT No comments received.</p>
<p>NEIGHBORHOOD COORDINATION Letters sent to: Mountain View NA (R)</p>
<p>Mesa Del Sol Innovation Park, Tract 26, is located on University East Blvd SE and Stryker Dr SE. The developer requests a Major 2YR Extension of Subdivision Improvements for the development of the Mesa del Sol Film Studio. The film studio will cause no adverse impacts to the APS district. However, the residential portion of Mesa del Sol will have major impacts on the APS district.</p> <p>At full build-out of Mesa del Sol's Level B Plan (approximately 12,000 units over the next 20 years), Mesa del Sol is projected to generate over 5,000 students. Assuming the following standards:</p> <ul style="list-style-type: none"> o Elementary schools with the capacity to house 850 students (<u>Approximate cost minus land is \$14 million</u>) o Middle schools with the capacity to house 1,200 students (<u>Approximate cost minus land is \$35 million</u>) o High schools with the capacity to house 2,200 students (<u>Approximate cost minus land is \$115 million</u>) <p>Mesa del Sol would require three (3) elementary schools, (1) one middle school, and one (1) high school for the planned 12,000 units.</p> <p>APS has yet to identify funding for these facilities although APS is working with Forest City Covington NM, LLC to explore alternatives. The Educational Master Plan developed by Mesa del Sol specifies the building of smaller schools (smaller schools would generate the need for more schools than the numbers stated above). Smaller schools will generate larger costs to the taxpayers, including greater operational costs to run additional locations. To date, there are no provisions within the Mesa del Sol Educational Master Plan that address this issue (construction/operational costs of building and maintaining smaller schools).</p>

During the initial residential development phases at Mesa del Sol, APS will transport students from Mesa del Sol to existing schools within the Albuquerque High School Cluster until permanent educational facilities have been constructed within Mesa del Sol. The following schools have sufficient capacity to support this:

- High school: Albuquerque
- Middle school: Washington, Wilson
- Elementary school: East San Jose, Kirtland, Lowell

All planned additions to existing educational facilities are contingent upon taxpayer approval.

POLICE DEPARTMENT

No comments received.

FIRE DEPARTMENT

No comments received.

PNM ELECTRIC & GAS

MAJOR 2YR EXTENTION OF SUBDIVISION IMPROVEMENTS: NO COMMENT

COMCAST

No comments received.

QWEST

No comments received.

ENVIRONMENTAL HEALTH

No comments received.

M.R.G.C.D

No Adverse Comments.

OPEN SPACE DIVISION

Open Space has no adverse comments

CITY ENGINEER

The Hydrology section has no objection to the ext quest.

TRANSPORTATION DEVELOPMENT

No adverse comments.

PARKS AND RECREATION

No objection.

ABCWUA

No objection to Extension request.

PLANNING DEPARTMENT

Refer to comments from affected agencies (e.g. Transportation Development, ABCWUA, Hydrology/ City Engineer) regarding proposed extension.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc: Bohannon Huston Inc. – 7500 Jefferson NE – Albuquerque, NM 87109

Cc: Mesa Del Sol, LLC – 801 University Blvd., SE Ste 200 – Albuquerque, NM 87106

#8



COMPLETED 08/16/06 stt DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00799 (SBP) Project # 1004818
 Project Name: CULVER FILM STUDIO, MESA DEL SOL
 Agent: Denish & Kline Associates *Whitqueque Studios* Phone No: 842-6461

Project Number

1004818

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6/14/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: Utility Plan, Approval of Development Agreement by the ABCWA

CITY ENGINEER / AMAFCA: - S.I.A.
 - 3 Copies
 - radius @ connector A/University
 - SW esmt

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

#8



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00799 (SBP)

Project # 1004818

Project Name: CULVER FILM STUDIO, MESA

DEL SOL *Albany Studios*

Agent: Denish & Kline Associates

Phone No:

842-6461

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on *6/14/06* by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: *Utility Plan, Approval of Development Agreement by the ABCWA*

CITY ENGINEER / AMAFCA: - *S.I.A.*
 - *3 Copies*
 - *radius @ connector A/University*
 - *SW esmt*

PARKS / CIP: _____

PLANNING (Last to sign): _____

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
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- Tax printout from the County Assessor

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1004818



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

June 14, 2006

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 11:35 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000418**
06DRB-00705 Major-Two Year SIA
LEGACY CHURCH request(s) the above action(s) for all or a portion of Tract(s) A-1, **LANDS OF VICTORY LOVE FELLOWSHIP**, zoned SU-1 for Church and related facilities, located on CENTRAL AVE NW, between AIRPORT RD NW and UNSER BLVD NW containing approximately 15 acre(s). [REF: 00DRB-01145, 04DRB-00824, 03EPC-01471] (K-10)

WITHDRAWN AT THE AGENT'S REQUEST

2. **Project # 1000945**
06DRB-00710 Major-Two Year SIA

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for SCOTT G. COTE request(s) the above action(s) for all or a portion of Lot(s) 22, Block(s) 26, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/IP, located on EAGLE ROCK NE, between SAN PEDRO NE and LOUISIANA BLVD NW containing approximately 1 acre(s). [REF: DRB-99-75] (C-18) **TWO-YEAR SIA WAS APPROVED.**

3. **Project # 1003403**
06DRB-00707 Major-Two Year SIA

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) F, **THE RESERVE @ THE TRAILS**, zoned R-D residential and related uses zone, developing area, located on WOODMONT AVE NW, between RAINBOW BLVD NW and OAKRIDGE ST NW containing approximately 17 acre(s). [REF: O4DDRB01493] (C-9) **TWO-YEAR SIA WAS APPROVED.**

4. **Project # 1004556**
06DRB-00708 Major-Amended
SiteDev Plan BldPermit

BOHANNAN HUSTON agent(s) for MASTHEAD ROAD LAND PARTNERS LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between BARTLETT ST NE and WASHINGTON ST NE containing approximately 10 acre(s). [REF: 05DRB-01781] (D-17) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PRIVATE SANITARY SEWER EASEMENTS ON SITE PLAN AND LANDSCAPE PLAN, JOURNAL CENTER ARCHITECTURAL REVIEW COMMITTEE APPROVAL LETTER, 15-DAY APPEAL PERIOD AND 3 COPIES OF THE SITE PLAN.**

5. **Project # 1004496**
06DRB-00667 Major-Preliminary Plat Approval
06DRB-00668 Major-Vacation of Pub Right-of-Way
06DRB-00669 Major-Vacation of Public Easements
06DRB-00671 Minor-SiteDev Plan Subd/EPC
06DRB-00670 Minor-Sidewalk Waiver

GARCIA/KRAEMER & ASSOCIATES agent(s) for TRAMWAY ASSOCIATES INC request(s) the above action(s) for all or a portion of Lot(s) 1, 1A & 1B, Block(s) J & K, CENAROCA ADDITION (to be known as **THE BLUFFS AT ENCANTADO**) zoned SU-1, RT, located on TRAMWAY BLVD NE, between SKYLINE RD NE and ENCANTADO RD NE containing approximately 3 acre(s). [REF: 05EPC-01805, 06EPC-00138] [**Stephanie Shumsky, EPC Case Planner**] [*Deferred from 6/7/06 & 6/14/06*] (K-23/L-23) **DEFERRED AT THE AGENT'S REQUEST TO 6/21/06.**

6. **Project # 1004877**
06DRB-00634 Major-Vacation of Pub Right-of-Way
06DRB-00635 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES INC agent(s) for THE BOARD OF EDUCATION FOR THE CITY OF ALBUQUERQUE (APS REAL ESTATE OFFICE) request(s) the above action(s) for all or a portion of Lot(s) 1-10, Block(s) 3 and Lot(s) 1-9, Block(s) 4, **MANDELL ADDITION NO 2**, zoned M-1, located on WOODLAND AVE NW, between 4TH ST NW and 2ND ST NW containing approximately 4 acre(s). [*Deferred from 5/31/06 & 6/7/06*] (H-14) **THE VACATION OF 1ST STREET WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE VACATION OF THE ALLEY WAS WITHDRAWN AT THE BOARD'S REQUEST BY THE AGENT. THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE GIVEN.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1004928**
06DRB-00800 Minor-North Fourth Street Sector Development Plan

ARCHITECTUAL RESEARCH CONSULTANTS (ARC) agent(s) for CITY OF ALBUQUERQUE-REDEVELOPMENT AGENCY, PLANNING

Boundaries

DEPARTMENT, request(s) the above action(s) for the **NORTH 4TH ST. RANK THREE CORRIDOR PLAN**, North Fourth Street Sector Development Plan Boundaries from downtown to the City limits along North Fourth Street, area has multiple zoning, located on North 4th St NW between Lomas NW and Solar NW containing approximately 1,290 acre(s). (J-14, H-14, G-14, F-14, E-14) **THE DEVELOPMENT REVIEW BOARD RECOMMENDS APPROVAL OF THE NORTH FOURTH STREET SECTOR DEVELOPMENT PLAN BOUNDARIES, NORTH 4TH STREET, RANK 3 CORRIDOR PLAN, AS PRESENTED, TO THE ENVIRONMENTAL PLANNING COMMISSION.**

8. **Project # 1004818**
06DRB-00799 Minor-SiteDev Plan
BldPermit/EPC

DENISH & KLINE ASSOCIATES agent(s) for PACIFICA MESA STUDIOS LLC request(s) the above action(s) for all or a portion of Tract(s) 4B, MESA DEL SOL AND Tract(s) 4-A, 4-B & 4-C (to be known as **ALBUQUERQUE STUDIOS**) zoned SU-2 for PC, located at the intersection of UNIVERSITY BLVD SE, between BOBBY FOSTER RD SE and containing approximately 2 acre(s). [REF: 06EPC00466] [Russell Brito, EPC Case Planner] (R-16) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/14/06 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA, 3 COPIES OF THE SITE PLAN, RADII DIMENSIONS AND PAPER SIDEWALK EASEMENTS AND UTILITIES DEVELOPMENT FOR UTILITY PLAN REVISIONS AND APROVAL OF THE DEVELOPMENT AGREEMENT BY THE ABCWUA.**

9. **Project # 1002405**
06DRB-00796 Minor-SiteDev Plan
BldPermit/EPC

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for CRACKER BARREL OLD COUNTRY STORE INC request(s) the above action(s) for all or a portion of Tract(s) A-28-B-1-A, NORTHEAST UNIT, TOWN OF ATRISCO GRANT (to be known as **CRACKER BARREL**) zoned SU-1 FOR C-1 AUTO BODY REPAIR AND PAINTING, located on REDLANDS RD NW, between COORS BLVD NW and ATRISCO DR NW containing approximately 3 acre(s). [REF: DRB-94-398, Z-99-94, 06EPC00471] [**Carmen Marrone, EPC Case Planner**] [*Deferred from 6/14/06*] (G-11) **DEFERRED AT THE AGENT'S REQUEST TO 6/21/06.**

10. **Project # 1004937**
06DRB-00789 Minor-SiteDev Plan
BldPermit

JEFFREY HOWELL agent(s) for JEHOVAH'S WITNESSES, DESERT HILLS CONGREGATION request(s) the above action(s) for all or a portion of Lot(s) 28, Block(s) 11, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT A (to be known as **KINGDOM HALL OF JEHOVAH'S WITNESSES**) zoned RD, located on PALOMAS AVE NE, between SAN PEDRO NE and LOUISIANA NE containing approximately 1 acre(s). [REF: DRB-93-125] (D-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT TO ADDRESS COMMENTS ON THE COMMENT SHEET PROVIDED AT THE MEETING AND PLANNING TO ADDRESS PLANNING COMMENTS AND 3 COPIES OF THE SITE PLAN.**

11. **Project # 1004821**
06DRB-00804 Minor-SiteDev Plan
BldPermit/EPC

JACK HARRIS ARCHITECTS INC agent(s) for DR SHAWN HWANG request(s) the above action(s) for all or a portion of Lot(s) H-6A4A, RIVERVIEW (to be known as **DR SHAWN HWANG DENTAL OFFICE BUILDING**) zoned SU-1 for IP, located on the

northwest corner at the intersection of GOLF COURSE RD NW, between PASEO DEL NORTE NW and containing approximately 1 acre(s). [REF: 06EPC-0 0472, DRB-94-547] [Stephanie Shumsky, EPC Case Planner] (C-12) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR A COPY OF THE ACCESS DOCUMENT, ADA RAMPS WITHIN AN EASEMENT AND ADA RAMP DETAILS AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

- 12. Project # 1004532**
06DRB-00741 Minor-SiteDev Plan
BldPermit/EPC

FANNING BARD TATUM ARCHITECTS agent(s) for ASHCROFT REAL ESTATE & DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) B-1, MESA DEL NORTE ADDITION (to be known as **LOUISIANA PLACE**, zoned SU-2, R-2 & O-1, located on LOUISIANA BLVD NE, between CONSTITUTION BLVD NE and SUMMER AVE NE containing approximately 5 acre(s). [REF: 05EPC-01693] [Stephanie Shumsky, EPC Case Planner] [Deferred from 6/7/06 & 6/14/06] (J-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/21/06.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

13. Project # 1004233

06DRB-00793 Minor-Extension of Preliminary Plat

BOHANNAN HUSTON agent(s) for WESTLAND DEVELOPMENT CO request(s) the above action(s) for all or a portion of Tract(s) I-2, WESTLAND NORTH (to be known as **STORMCLOUD SUBDIVISION**, zoned SU-2, R-LT, located on TIERRA PINTADA ST SW, between ARROYO VISTA BLVD SW and LADERA DR SW containing approximately 107 acre(s). [REF:05DRB-00899] (H-9, J-8, J-9) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

06DRB-00646 Minor-Final Plat Approval

PRECISION SURVEYS INC agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) I-2, SUNDORO SUBDIVISION, UNIT 1 (to be known as **STORMCLOUD SUBDIVISION, UNIT 1**, zoned SU-2, R-LT, located on ARROYO VISTA BLVD NW, between TIERRA VISTA ST NW and LADERA DR NW containing approximately 164 acre(s). [REF: 05DRB-00899, 05DRB-00900, 05DRB-00901, 05DRB-00902] [*Indef Deferred on 5/17/06*] (H-8, H-9, J-8, J-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCA SIGNATURE AND PLANNING TO RECORD.**

14. Project # 1004940

06DRB-00794 Minor-Prelim&Final Plat Approval
06DRB-00795 Minor-Vacation of Private Easements

ISAACSON & ARFMAN PA agent(s) for SIGNATURE J HOMES INC request(s) the above action(s) for all or a portion of Tract(s) A, Lot(s) 30, 31 & 32 (to be known as **CHAMISA ENCANTADA**) zoned R-D residential and related uses zone, developing area, located on GRAYSON RD NW, between DUSKFIRE DR NW and TARRINGTON DR NW containing approximately 1 acre(s). (J-10) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

15. **Project # 1002632**
06DRB-00585 Minor-Final Plat
Approval

TIERRA WEST LLC agent(s) for CAPITAL ALLIANCE INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) 4-6, **SUNDANCE ESTATES, UNIT 1**, zoned R-LT residential zone, located on PARADISE BLVD NW, between LYONS BLVD NW and PROPOSED UNSER ALIGNMENT, containing approximately 36 acre(s). [REF: 03EPC00690, 03DRB01306, 04DRB00760, 04DRB00761, 04DRB01761] *[Deferred from 5/3/06 & 5/24/06 for SIA AND 15-Day Appeal period]* (B-11) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RECORDING OF THE UNSER EASEMENT AND APPROVAL BY THE CITY AND PLANNING TO RECORD THE PLAT.**

16. **Project # 1004909**
06DRB-00717 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS agent(s) for JOURNAL CENTER CORPORATION request(s) the above action(s) for all or a portion of Tract(s) 2A-2A-2B, **JOURNAL CENTER**, zoned IP, located on JEFFERSON NE, between HEADLINE NE and JOURNAL CENTER NE containing approximately 9 acre(s). *[Deferred from 5/31/06 & 6/7/06]* (D-17) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. **Project # 1004932**
06DRB-00775 Minor-Sketch Plat or
Plan

KIMCON INC AND/OR WALTER TILLEY agent(s) for ALAN MALOTT request(s) the above action(s) for all or a portion of Lot(s) B, Block(s) 5, **MONTE VISTA ADDITION**, zoned C-1, located on CAMPUS BLVD NE, between TULANE DR NE and CARLISLE NE containing approximately 1 acre(s). (K-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1004941**
06DRB-00797 Minor-Sketch Plat or
Plan

LARKIN GROUP NM INC agent(s) for JOHN W. DANIELS request(s) the above action(s) for all or a portion of Tract(s) A-1, **TRAMHILL TOWNHOMES**, zoned C-1, located on COPPER AVE NE, between MOUNTAINVIEW AVE NE and TRAMWAY BLVD NE containing approximately 1 acre(s). (K-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1004942**
06DRB-00798 Minor-Sketch Plat or
Plan

LARKIN GROUP NM INC agent(s) for ROBERT HILLS request(s) the above action(s) for all or a portion of Lot(s) 16 & 17, **COLES INDUSTRIAL SUBDIVISION**, zoned M-1, located on CANDELARIA RD NE, between VASSAR DR NE and GIRARD BLVD NE containing approximately 1 acre(s). (H-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **Project # 1004943**
06DRB-00801 Minor-Sketch Plat or
Plan

ISAAC BENTON & ASSOCIATES agent(s) for AMERI-CONTRACTORS request(s) the above action(s) for all or a portion of Tract(s) D, **VILLAGE CENTER NORTH**, zoned SU-1, R-2, located on PINNACLE PEAK NW, between SUMMER RIDGE NW and MCMAHON BLVD NW containing approximately 1 acre(s). (A-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project # 1004944**
06DRB-00803 Minor-Sketch Plat or
Plan

REX O LEWIS request(s) the above action(s) for all or a portion of Lot(s) 11 & 12, Block(s) 18, **EAST CENTRAL BUSINESS ADDITION**, zoned C-3 heavy commercial zone, located on MURIEL ST NE, between BUENA VENTURA RD NE and LINN NE containing approximately 1 acre(s). (K-21) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. Approval of the Development Review Board Minutes for June 7, 2006. **THE DRB MINUTES FOR JUNE 7, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:35 A.M.



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004818

AGENDA ITEM NO: 8

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off by City Engineer.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: June 14, 2006

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

07/11/2008 Issued By: PLNSDH

Permit Number: 2008 070 319 **Category Code 910**

Application Number: 08DRB-70319, Major - 2yr Subd Imp Agmt Ext (2yr Sia)

Address:

Location Description: STRYKER DR SE BETWEEN UNIVERSITY AVE SE AND HAWKING DR SE

Project Number: 1004818

Applicant

Mesa Del Sol Llc

801 University Blvd Se Ste 200
Albuquerque NM 87106
400-3021

Agent / Contact

Bohannon Huston Inc

Kevin Patton

7500 Jefferson Ne

Albuquerque NM 87108

kpatton@bhinc.com

Application Fees

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$50.00
TOTAL:		\$145.00

City Of Albuquerque
Treasury Division

7/11/2008 12:09PM LOC: ANNX
WSH 006 TRANSH 0031
RECEIPT# 00094796-00094796
PERMIT# 2008070319 TRSDMG
Trans Amt \$145.00
APN Fee \$75.00
Conflict Manag. Fee \$20.00
DRB Actions \$50.00
VI \$145.00
CHANCE \$0.00

Thank You

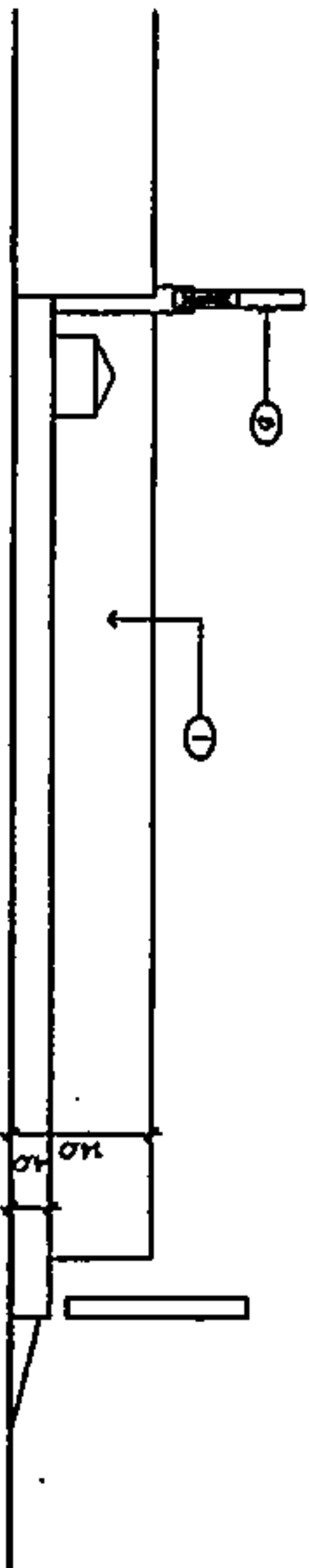


**Dekker
Perich
Sabatini**

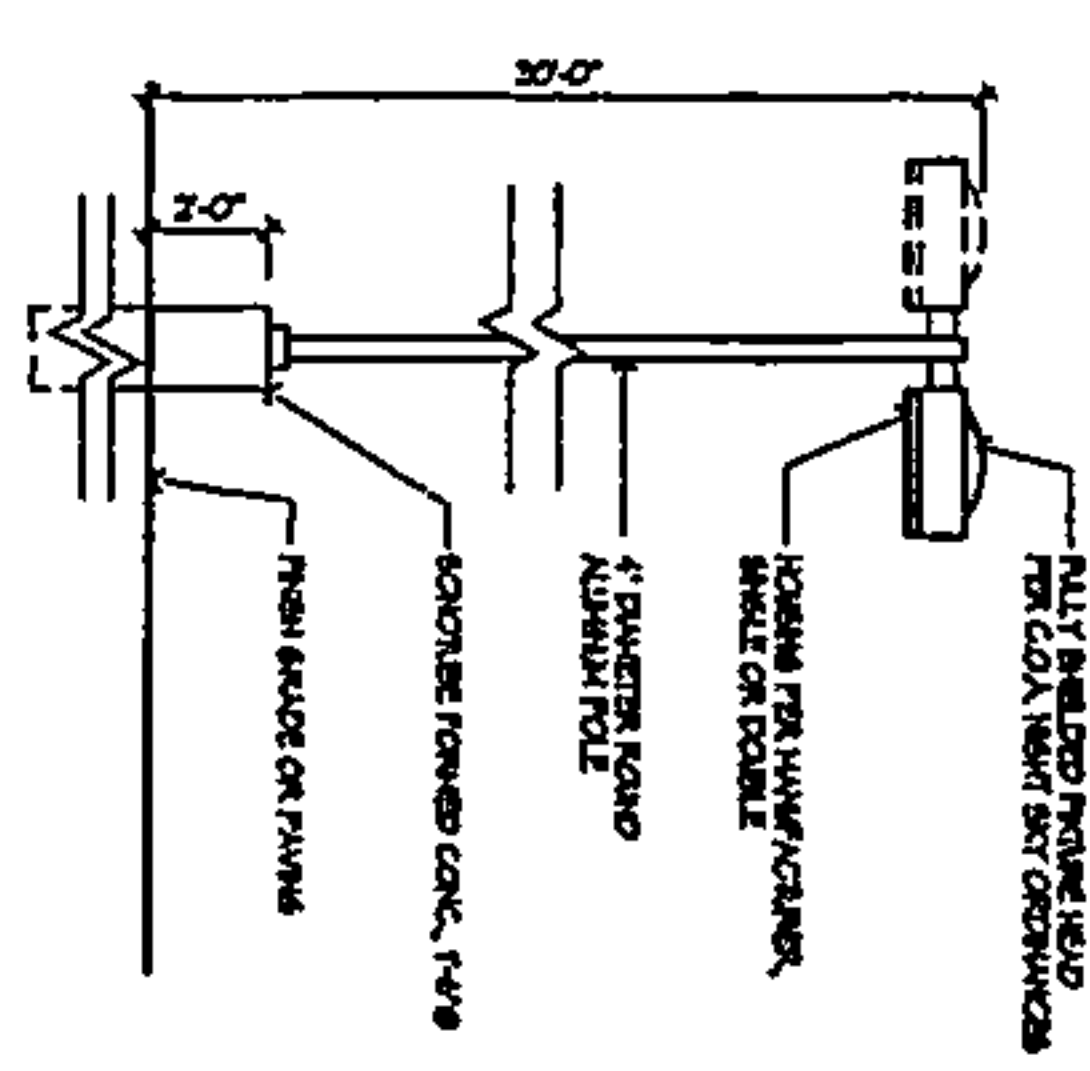
1811 Jefferson St.
Albuquerque, NM 87103
505.251-1318
505.251-1322
410@dsbsb.com

PROJECT: _____
DIVISION: _____

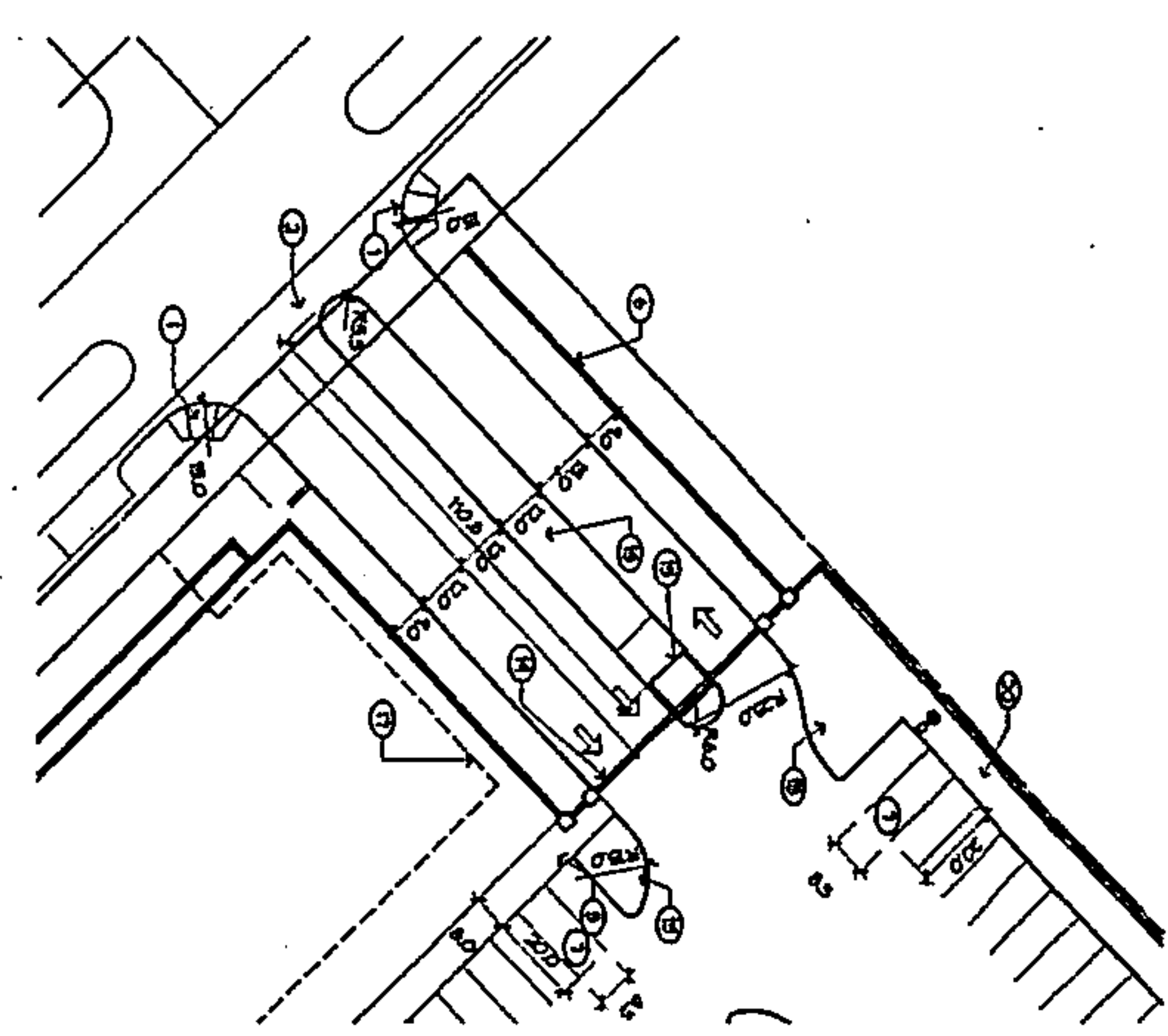
- KEYED NOTES**
1. TYPICAL ACCESSIBILITY RAMP PER COA STANDARD DETAIL 2411.
 2. TYPICAL CONCRETE EMBAYMENT PER COA STANDARD DETAIL 2426.
 3. CONCRETE EMBAYMENT 8" W/REINFORCING OTHER THAN 1/2" DIA.
 4. FINISHED FLOOR FINISH TO MATCH FINISH OF ADJACENT AREAS.
 5. FINISHED FLOOR FINISH TO MATCH FINISH OF ADJACENT AREAS. FINISH SHALL BE PLACE FOR A MINIMUM 3' BEYOND THE BOUNDARY OF THE CONCRETE EMBAYMENT.
 6. SECURITY WALL, SEE SHEET 02.
 7. TYPICAL CONCRETE BRIDGE ACCESSIBILITY RAMP, SEE SHEET 02.
 8. TYPICAL CONCRETE BRIDGE AND FOOT TO BE DETACHED WITH BRACKETS.
 9. FINISH FLOOR, CONCRETE 5'.
 10. BRIDGE FLOOR, CONCRETE 5'.
 11. BRIDGE FLOOR, SEE SITE DATA FOR QUANTITY.
 12. LANDSCAPED AREA.
 13. CONCRETE FINISH TO MATCH FINISH OF ADJACENT AREAS.
 14. FINISHED FLOOR FINISH TO MATCH FINISH OF ADJACENT AREAS. FINISH SHALL BE PLACE FOR A MINIMUM 3' BEYOND THE BOUNDARY OF THE CONCRETE EMBAYMENT.
 15. TYPICAL LIGHT POLE, SEE SHEET 15.
 16. TYPICAL LIGHT POLE, SEE SHEET 15.
 17. CONCRETE ACCESSIBILITY RAMP LOCATED ALONG PROPOSED PATH.
 18. CONCRETE ACCESSIBILITY RAMP LOCATED ALONG PROPOSED PATH.
 19. CONCRETE ACCESSIBILITY RAMP LOCATED ALONG PROPOSED PATH.
 20. CONCRETE ACCESSIBILITY RAMP LOCATED ALONG PROPOSED PATH.
 21. CONCRETE ACCESSIBILITY RAMP LOCATED ALONG PROPOSED PATH.
 22. CONCRETE ACCESSIBILITY RAMP LOCATED ALONG PROPOSED PATH.
 23. CONCRETE ACCESSIBILITY RAMP LOCATED ALONG PROPOSED PATH.
 24. OBSOLETE AS SHOWN.



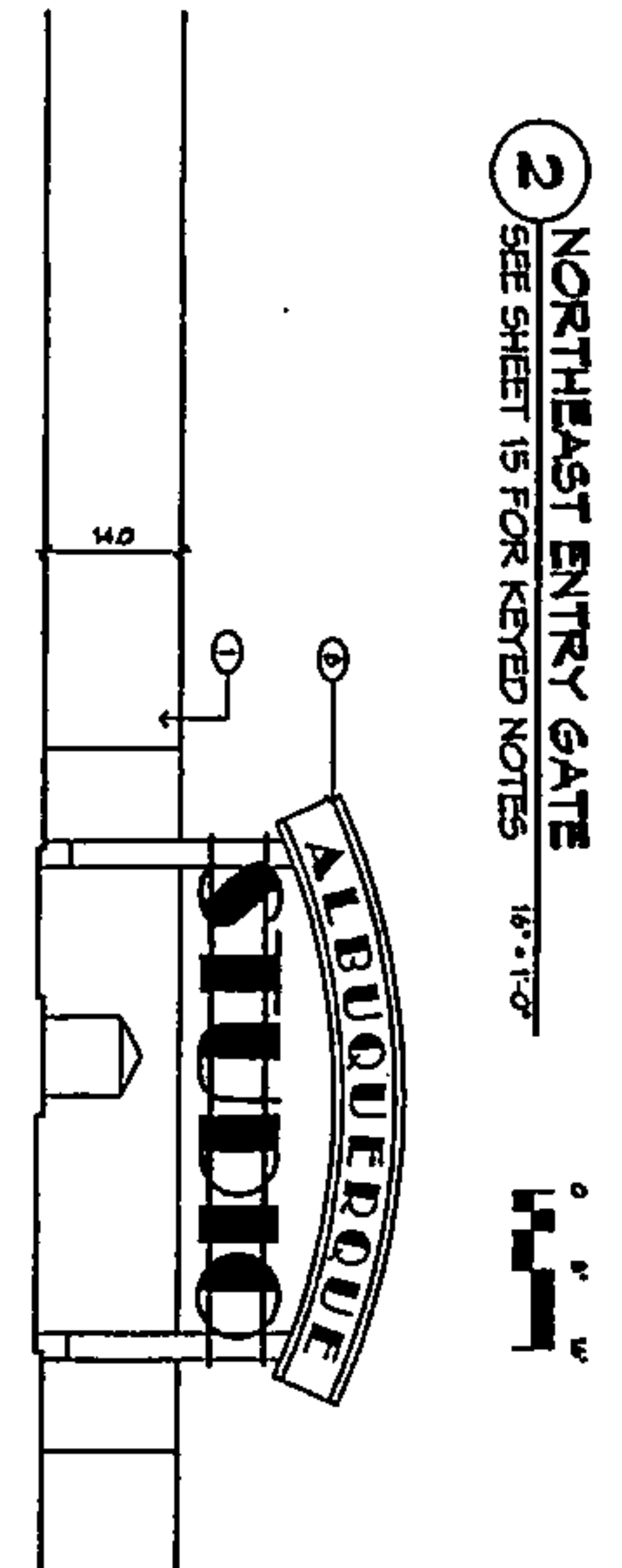
1 NORTHEAST ENTRY GATE
SEE SHEET 15 FOR KEYED NOTES
1/8" = 1'-0"



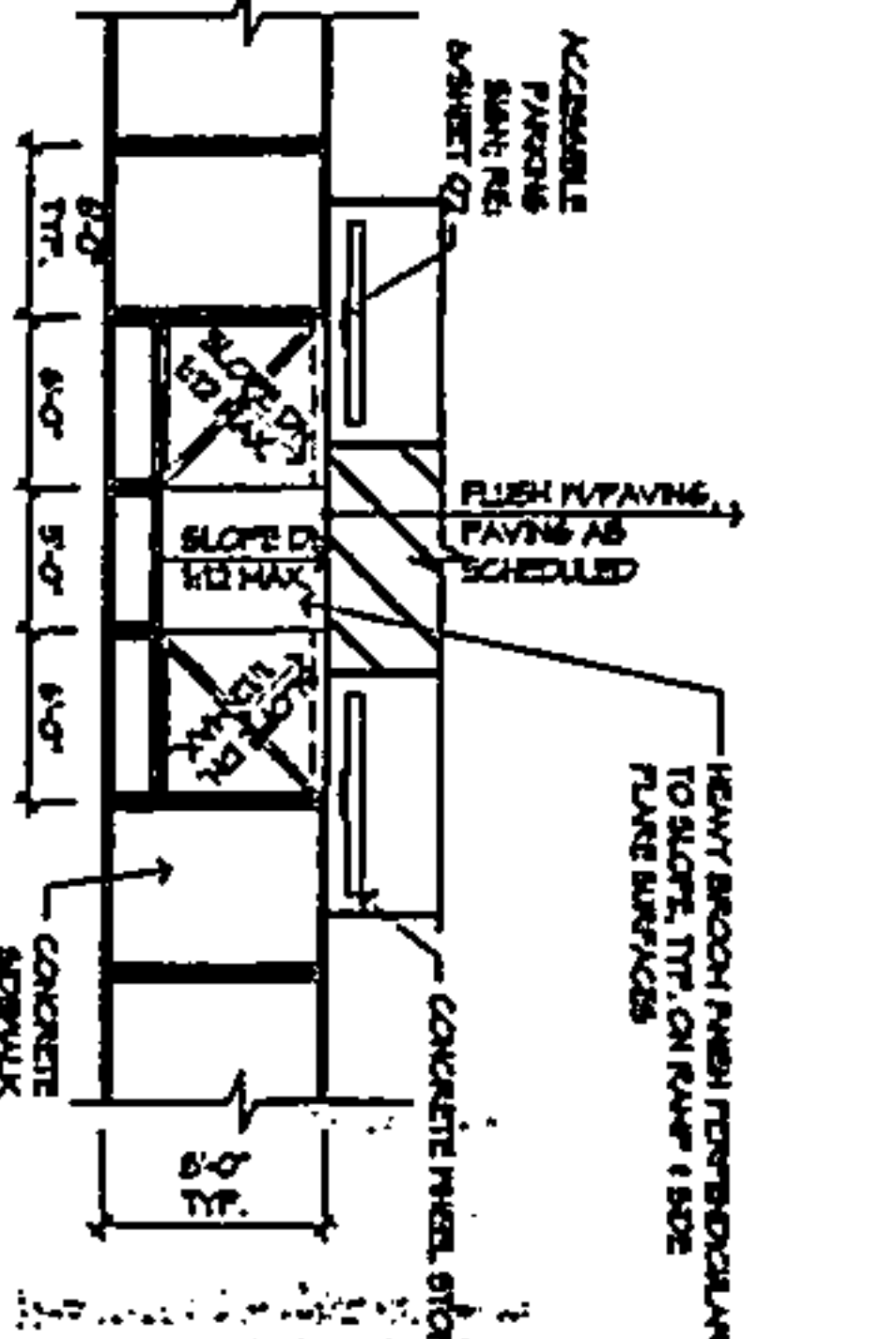
4 LIGHT POLE
1/4" = 1'-0"



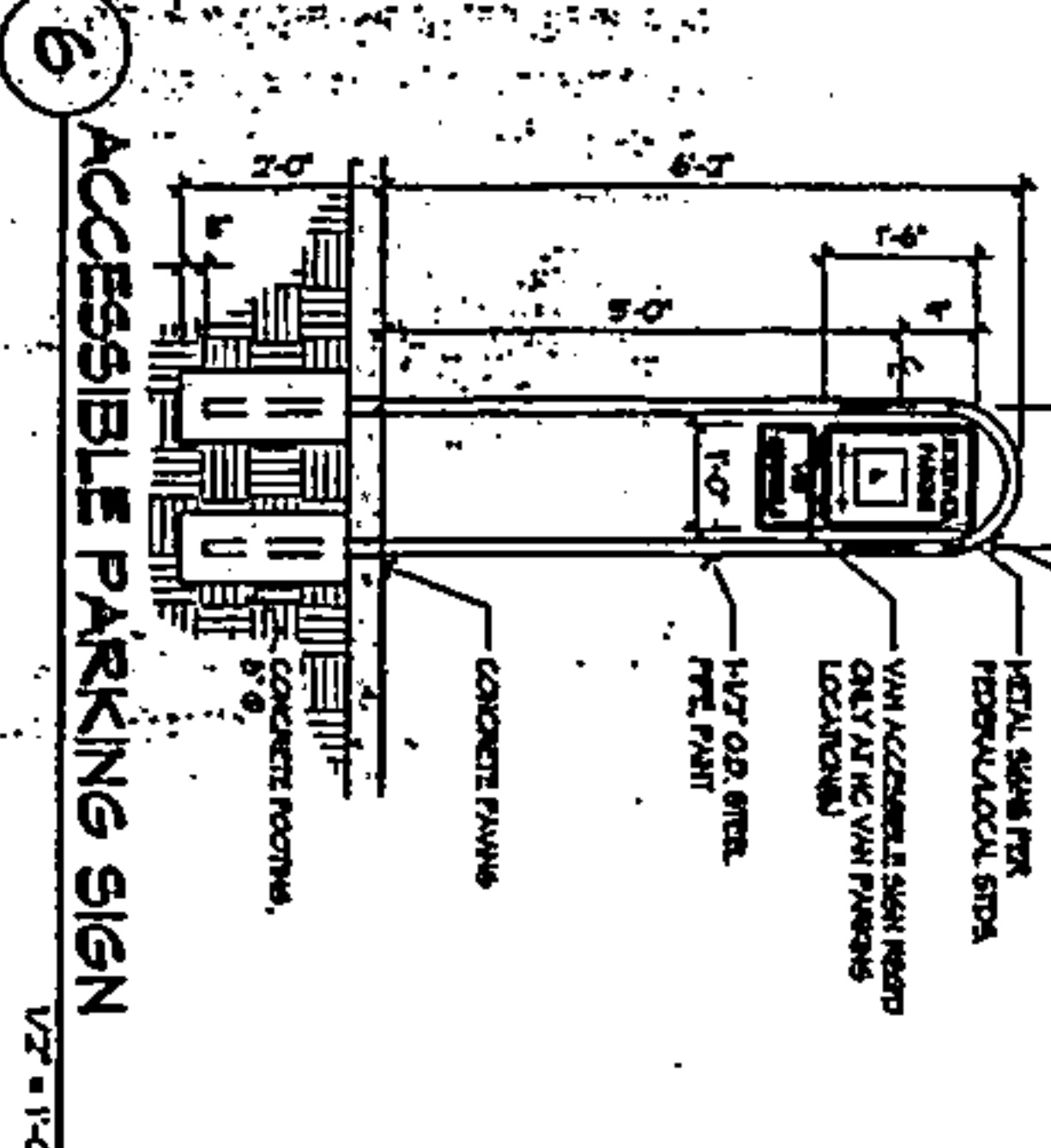
TYPICAL ENTRY GATE
1" = 50'-0"



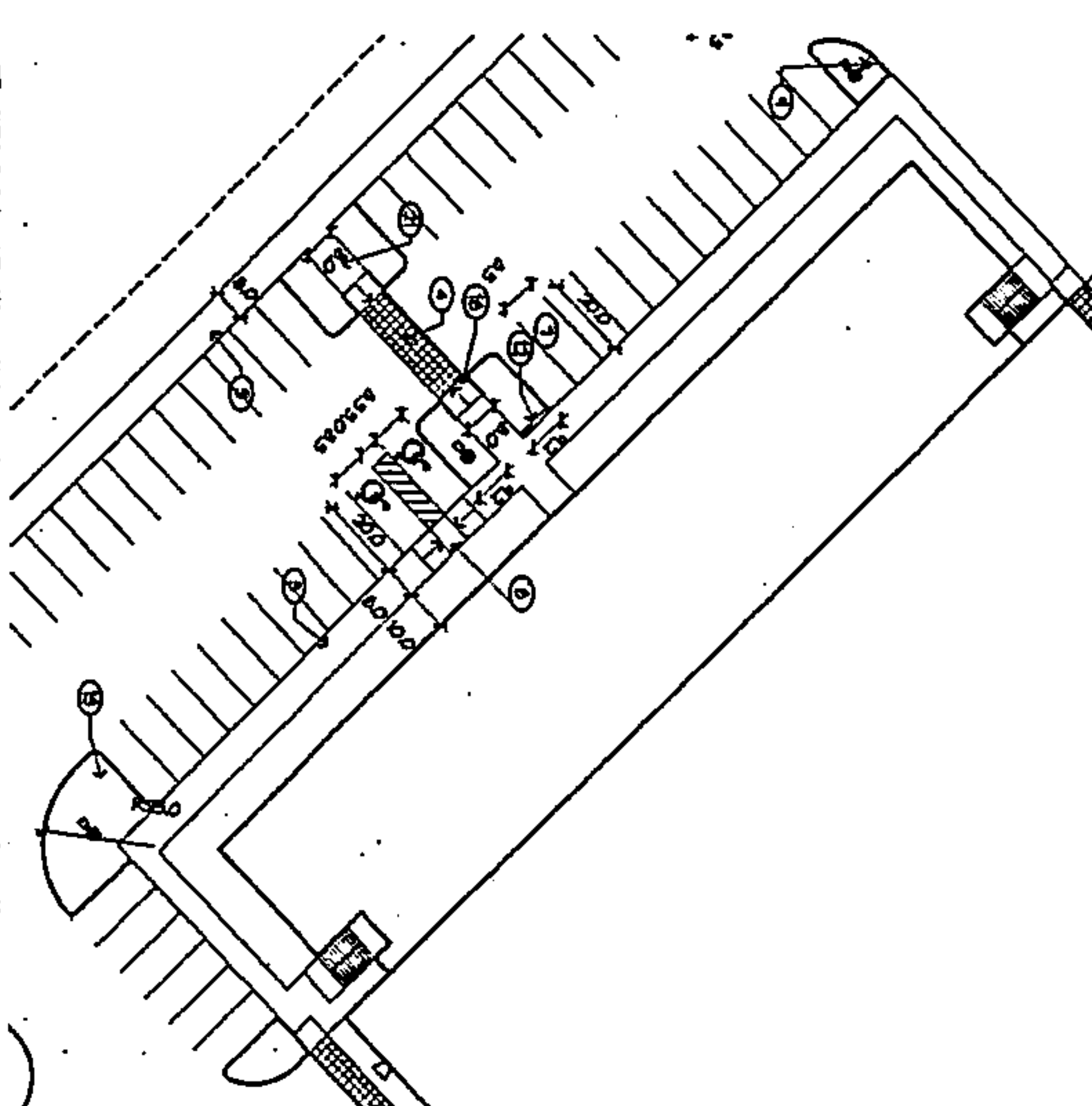
2 NORTHEAST ENTRY GATE
SEE SHEET 15 FOR KEYED NOTES
1/8" = 1'-0"



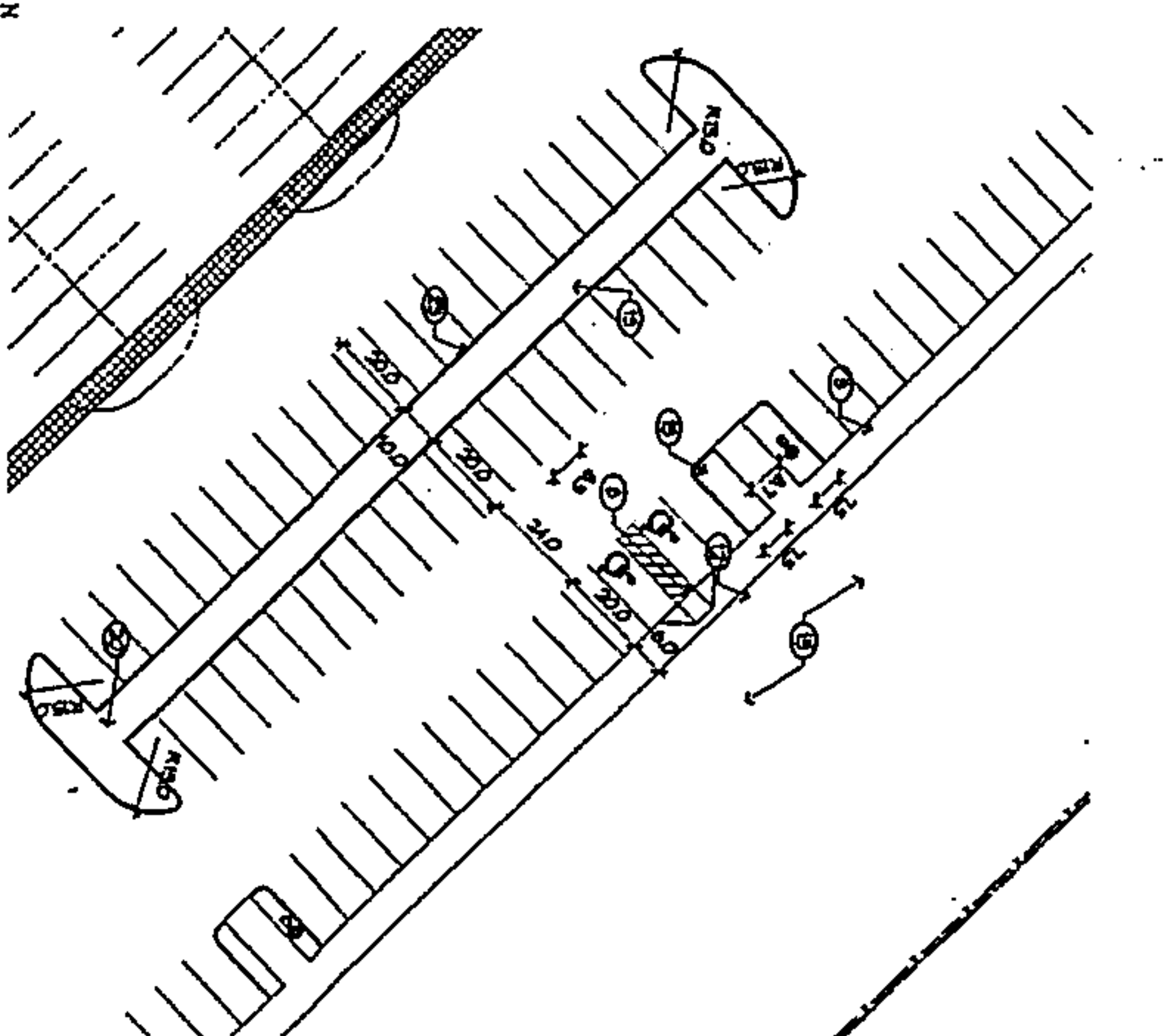
5 TYPICAL ACCESSIBLE PARKING
1/8" = 1'-0"



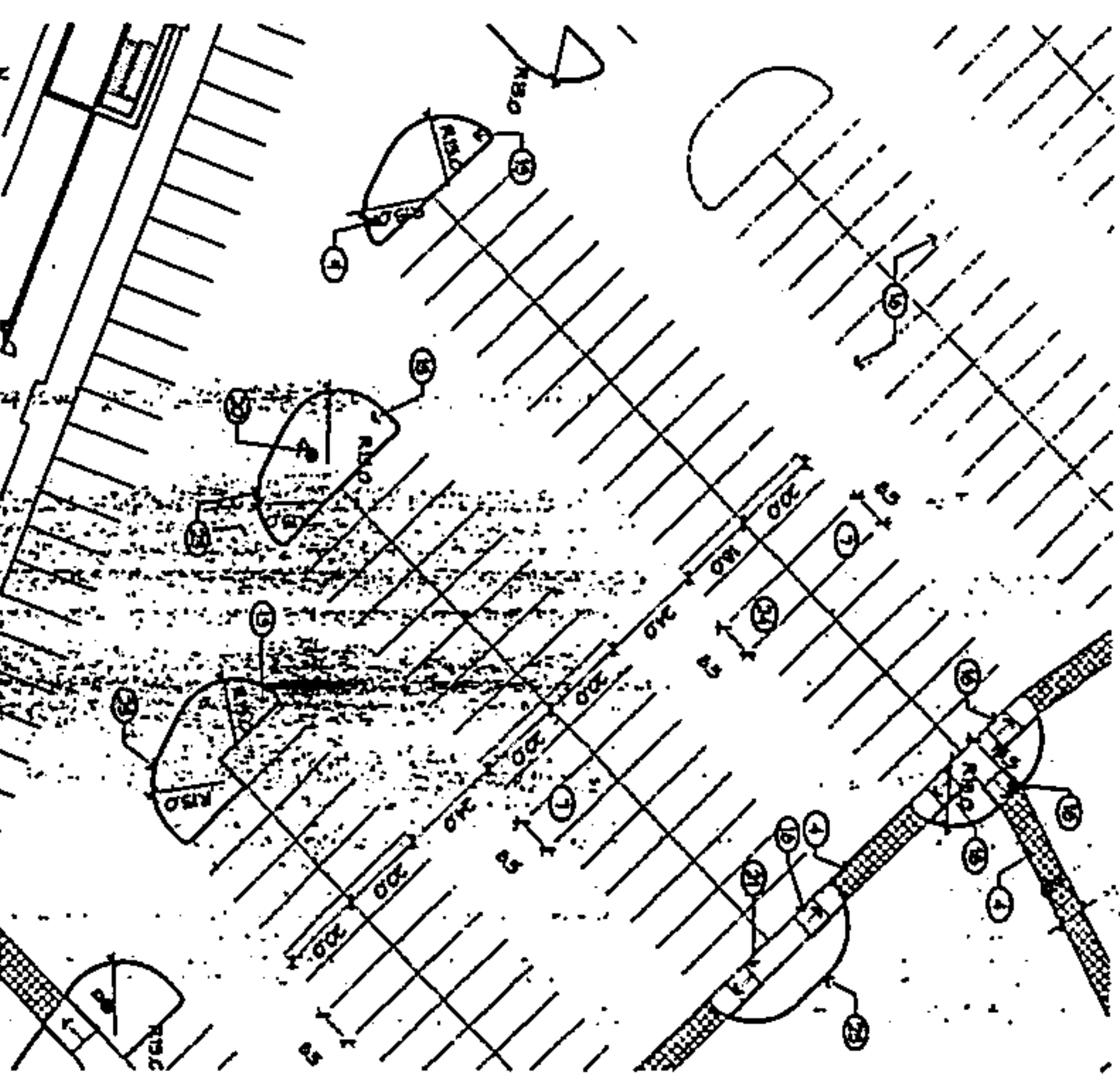
6 ACCESSIBLE PARKING SIGN
1/2" = 1'-0"



**TYPICAL BUILDING COMPLEX
(OFFICE/STAGE)**
1" = 50'-0"



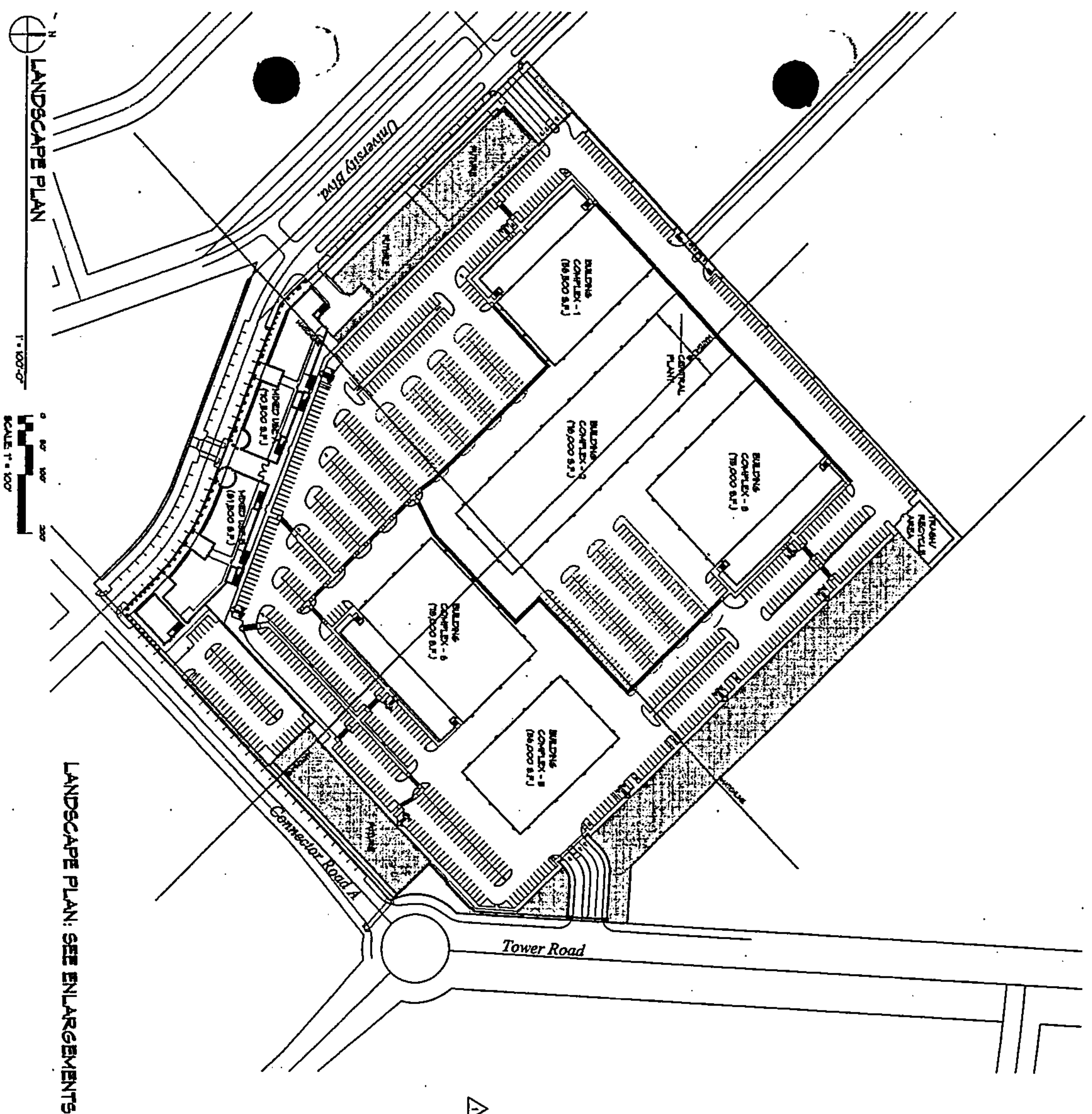
TYPICAL PARKING MEDIAN
1" = 50'-0"



TYPICAL PARKING MEDIAN
1" = 50'-0"

Mesa Del Sol
Film Studio
Albuquerque, New Mexico

DESIGNED BY	DEKKER PERICH SABATINI
DRAWN BY	DEKKER PERICH SABATINI
CHECKED BY	DEKKER PERICH SABATINI
DATE	06/06/06
PROJECT NO.	060606
DRAWING NO.	06025
ENLARGED SITE PLANS	



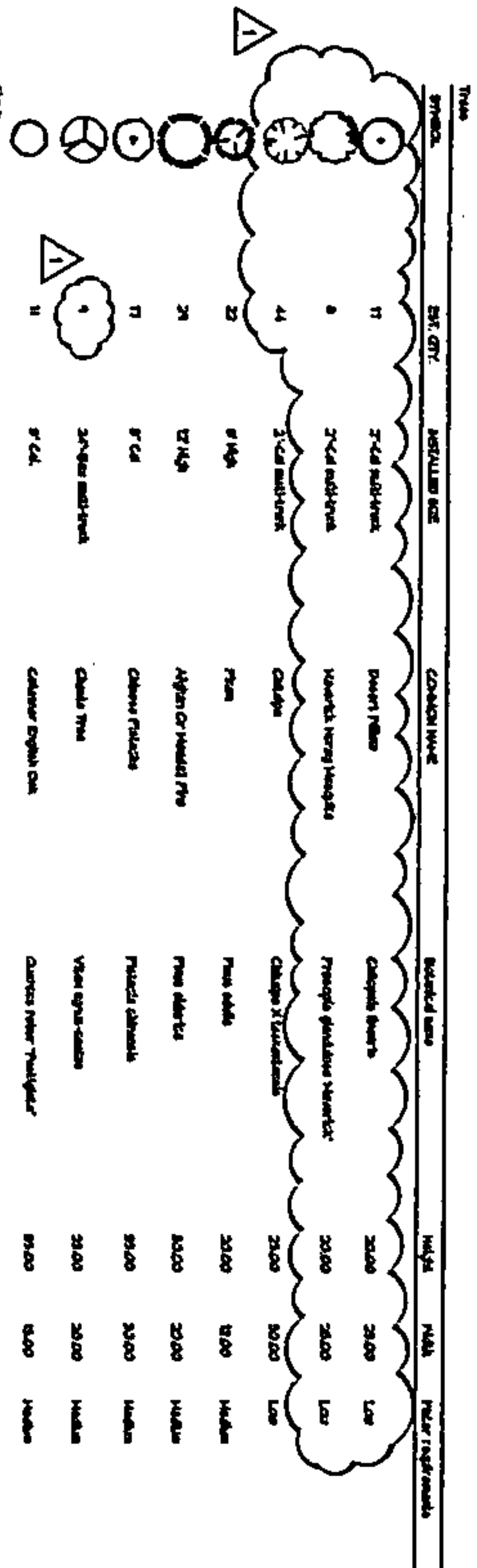
PLANTING NOTES

1. LANDSCAPE DESIGN WILL BE A MIXTURE OF NATIVE AND NON-NATIVE PLANTS TO PROVIDE VISUAL INTEREST AND COLOR. PLANTINGS SHALL BE SPECIFIED BY COMMON NAME, SCIENTIFIC NAME, SIZE, AND COLOR. PLANTINGS SHALL BE SPECIFIED BY COMMON NAME, SCIENTIFIC NAME, SIZE, AND COLOR. PLANTINGS SHALL BE SPECIFIED BY COMMON NAME, SCIENTIFIC NAME, SIZE, AND COLOR.
2. THERE IS NO LARGER SPECIFICATION ON THE SITE. THE DESIGN VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
3. MAINTENANCE AND HANDLING OF PLANTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. THE LANDSCAPE DESIGN SHALL COMPLETELY ADDRESS WATER CONSERVATION, LANDSCAPING AND PLANTING REQUIREMENTS.
5. THE USE OF HIGH PLANTS FOR PLANT MATERIALS SHALL BE LIMITED. THERE IS NO PLANTING TO BE USED ON THIS PROJECT.

KEYED NOTES

- 1. ASPHALT, CONCRETE
- 2. PLANT, NATURAL
- 3. SPECIAL PLANT
- 4. SCREEN WALL, SEE SITE PLAN
- 5. LANDSCAPE AREA, SEE SITE PLAN
- 6. FLOOR SLAB
- 7. FLOOR SLAB

PLANTING LEGEND



LANDSCAPE CALCULATIONS

SITE AREA: 120,000 SF
 BUILDING FOOTPRINTS TOTAL: 50,000 SF
 NET SITE AREA: 70,000 SF
 REQUIRED LANDSCAPE AREA: 81,750 SF
 (NET SITE AREA x 1.175)
 PROVIDED LANDSCAPE AREA: 81,400 SF

Symbol	Code	Description	Quantity	Height	Width	Plant Requirements
Circle with dot	11	2'-0" Redbud	200	20'	20'	Low
Circle with horizontal lines	12	2'-0" Redbud	200	20'	20'	Low
Circle with vertical lines	13	2'-0" Redbud	200	20'	20'	Low
Circle with diagonal lines	14	2'-0" Redbud	200	20'	20'	Low
Circle with cross-hatch	15	2'-0" Redbud	200	20'	20'	Low
Circle with wavy lines	16	2'-0" Redbud	200	20'	20'	Low
Circle with stippling	17	2'-0" Redbud	200	20'	20'	Low
Circle with solid fill	18	2'-0" Redbud	200	20'	20'	Low
Circle with dots	19	2'-0" Redbud	200	20'	20'	Low
Circle with horizontal lines	20	2'-0" Redbud	200	20'	20'	Low
Circle with vertical lines	21	2'-0" Redbud	200	20'	20'	Low
Circle with diagonal lines	22	2'-0" Redbud	200	20'	20'	Low
Circle with cross-hatch	23	2'-0" Redbud	200	20'	20'	Low
Circle with wavy lines	24	2'-0" Redbud	200	20'	20'	Low
Circle with stippling	25	2'-0" Redbud	200	20'	20'	Low
Circle with solid fill	26	2'-0" Redbud	200	20'	20'	Low
Circle with dots	27	2'-0" Redbud	200	20'	20'	Low
Circle with horizontal lines	28	2'-0" Redbud	200	20'	20'	Low
Circle with vertical lines	29	2'-0" Redbud	200	20'	20'	Low
Circle with diagonal lines	30	2'-0" Redbud	200	20'	20'	Low
Circle with cross-hatch	31	2'-0" Redbud	200	20'	20'	Low
Circle with wavy lines	32	2'-0" Redbud	200	20'	20'	Low
Circle with stippling	33	2'-0" Redbud	200	20'	20'	Low
Circle with solid fill	34	2'-0" Redbud	200	20'	20'	Low
Circle with dots	35	2'-0" Redbud	200	20'	20'	Low
Circle with horizontal lines	36	2'-0" Redbud	200	20'	20'	Low
Circle with vertical lines	37	2'-0" Redbud	200	20'	20'	Low
Circle with diagonal lines	38	2'-0" Redbud	200	20'	20'	Low
Circle with cross-hatch	39	2'-0" Redbud	200	20'	20'	Low
Circle with wavy lines	40	2'-0" Redbud	200	20'	20'	Low
Circle with stippling	41	2'-0" Redbud	200	20'	20'	Low
Circle with solid fill	42	2'-0" Redbud	200	20'	20'	Low
Circle with dots	43	2'-0" Redbud	200	20'	20'	Low
Circle with horizontal lines	44	2'-0" Redbud	200	20'	20'	Low
Circle with vertical lines	45	2'-0" Redbud	200	20'	20'	Low
Circle with diagonal lines	46	2'-0" Redbud	200	20'	20'	Low
Circle with cross-hatch	47	2'-0" Redbud	200	20'	20'	Low
Circle with wavy lines	48	2'-0" Redbud	200	20'	20'	Low
Circle with stippling	49	2'-0" Redbud	200	20'	20'	Low
Circle with solid fill	50	2'-0" Redbud	200	20'	20'	Low

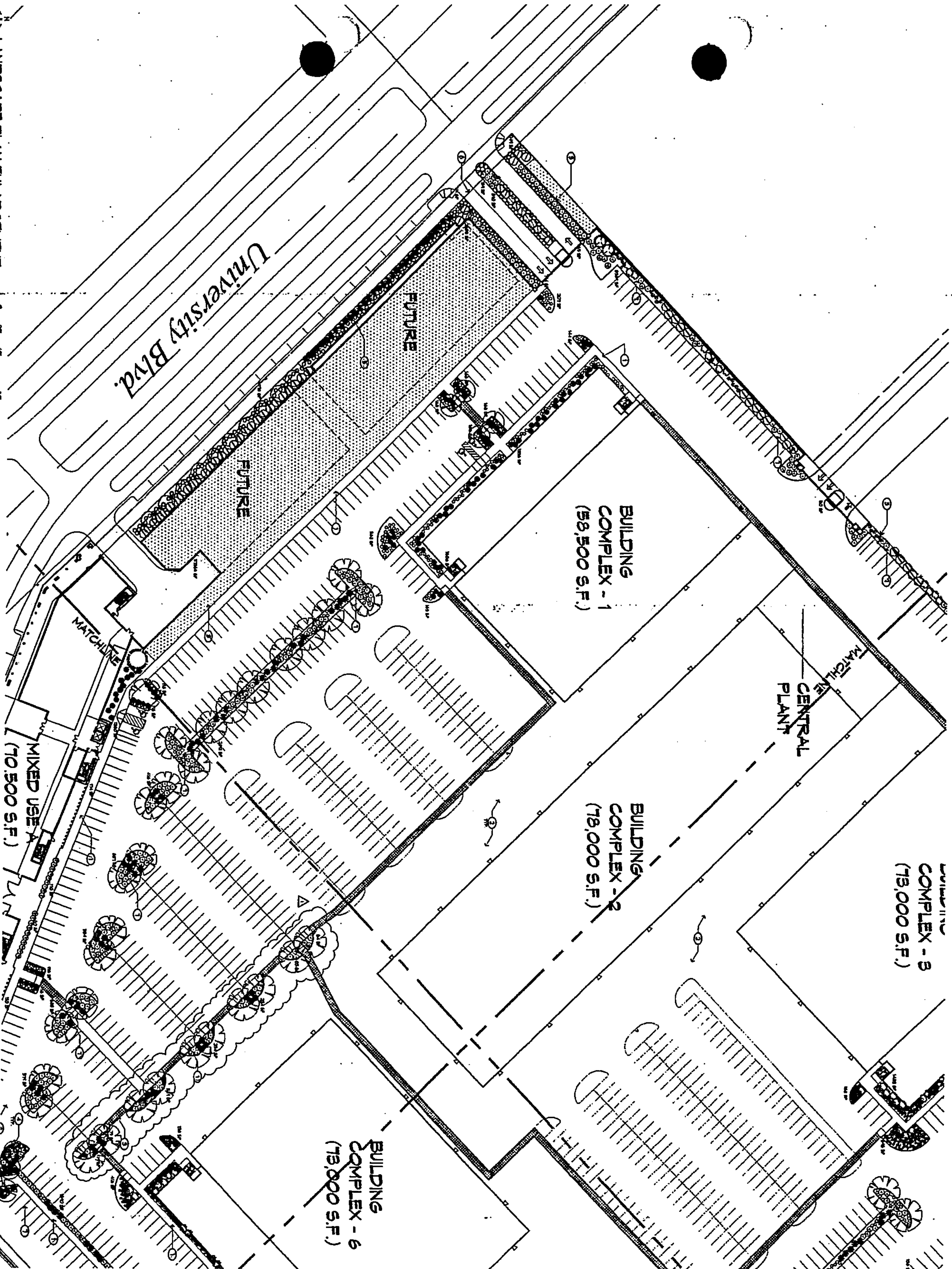
Symbol	Code	Description	Quantity	Height	Width	Plant Requirements
Circle with dot	51	2'-0" Redbud	200	20'	20'	Low
Circle with horizontal lines	52	2'-0" Redbud	200	20'	20'	Low
Circle with vertical lines	53	2'-0" Redbud	200	20'	20'	Low
Circle with diagonal lines	54	2'-0" Redbud	200	20'	20'	Low
Circle with cross-hatch	55	2'-0" Redbud	200	20'	20'	Low
Circle with wavy lines	56	2'-0" Redbud	200	20'	20'	Low
Circle with stippling	57	2'-0" Redbud	200	20'	20'	Low
Circle with solid fill	58	2'-0" Redbud	200	20'	20'	Low
Circle with dots	59	2'-0" Redbud	200	20'	20'	Low
Circle with horizontal lines	60	2'-0" Redbud	200	20'	20'	Low
Circle with vertical lines	61	2'-0" Redbud	200	20'	20'	Low
Circle with diagonal lines	62	2'-0" Redbud	200	20'	20'	Low
Circle with cross-hatch	63	2'-0" Redbud	200	20'	20'	Low
Circle with wavy lines	64	2'-0" Redbud	200	20'	20'	Low
Circle with stippling	65	2'-0" Redbud	200	20'	20'	Low
Circle with solid fill	66	2'-0" Redbud	200	20'	20'	Low
Circle with dots	67	2'-0" Redbud	200	20'	20'	Low
Circle with horizontal lines	68	2'-0" Redbud	200	20'	20'	Low
Circle with vertical lines	69	2'-0" Redbud	200	20'	20'	Low
Circle with diagonal lines	70	2'-0" Redbud	200	20'	20'	Low
Circle with cross-hatch	71	2'-0" Redbud	200	20'	20'	Low
Circle with wavy lines	72	2'-0" Redbud	200	20'	20'	Low
Circle with stippling	73	2'-0" Redbud	200	20'	20'	Low
Circle with solid fill	74	2'-0" Redbud	200	20'	20'	Low
Circle with dots	75	2'-0" Redbud	200	20'	20'	Low
Circle with horizontal lines	76	2'-0" Redbud	200	20'	20'	Low
Circle with vertical lines	77	2'-0" Redbud	200	20'	20'	Low
Circle with diagonal lines	78	2'-0" Redbud	200	20'	20'	Low
Circle with cross-hatch	79	2'-0" Redbud	200	20'	20'	Low
Circle with wavy lines	80	2'-0" Redbud	200	20'	20'	Low
Circle with stippling	81	2'-0" Redbud	200	20'	20'	Low
Circle with solid fill	82	2'-0" Redbud	200	20'	20'	Low
Circle with dots	83	2'-0" Redbud	200	20'	20'	Low
Circle with horizontal lines	84	2'-0" Redbud	200	20'	20'	Low
Circle with vertical lines	85	2'-0" Redbud	200	20'	20'	Low
Circle with diagonal lines	86	2'-0" Redbud	200	20'	20'	Low
Circle with cross-hatch	87	2'-0" Redbud	200	20'	20'	Low
Circle with wavy lines	88	2'-0" Redbud	200	20'	20'	Low
Circle with stippling	89	2'-0" Redbud	200	20'	20'	Low
Circle with solid fill	90	2'-0" Redbud	200	20'	20'	Low

Mesa Del Sol Film Studio
Albuquerque, New Mexico

499 Jefferson St
 Suite 108
 Albuquerque, NM 87109
 505 261-3118
 505 261-3119
 info@psa.com

DRAWN BY: AS
 REVISIONS: AS
 DATE: 04/04/05
 PROJECT NO: 06025
 DRAWING NAME: LANDSCAPE PLAN

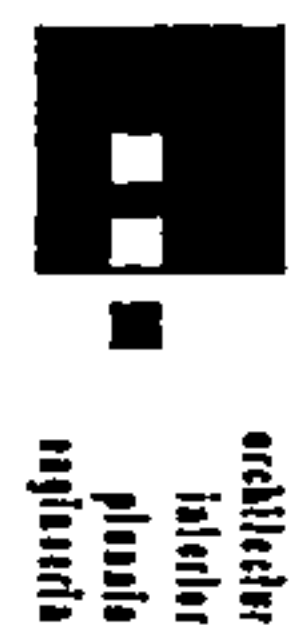
SHEET NO. 03
 OF 03



KEYED NOTES

- 1) ASPHALT CONC. DRIVE
- 2) ASPHALT DRIVE
- 3) ASPHALT DRIVE
- 4) ASPHALT DRIVE
- 5) ASPHALT DRIVE
- 6) ASPHALT DRIVE
- 7) ASPHALT DRIVE
- 8) ASPHALT DRIVE
- 9) ASPHALT DRIVE

Dekker Perich Sabatini
1801, Johnson St
Albuquerque, NM 87102
505 325-1222
1110@ppkpl.com

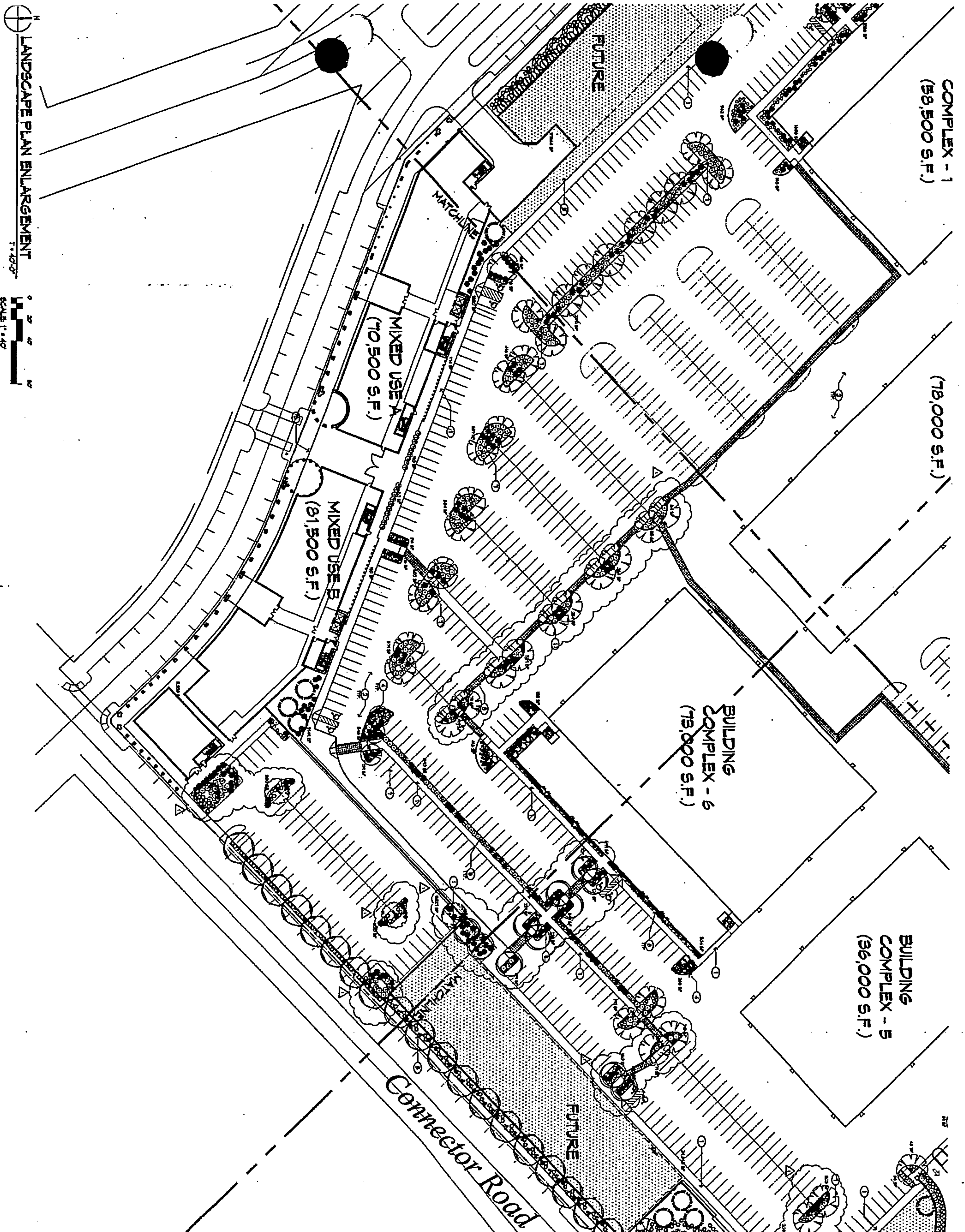


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Albuquerque, New Mexico

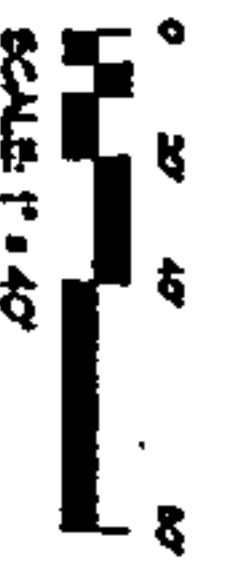
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1	08/03/05	JPS	ISSUE FOR PERMITS

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 CHECKED BY: JPS
 DATE: 08/03/05
 PROJECT NO.: 08025
 DRAWING TITLE: LANDSCAPE PLAN ENLARGEMENT #1

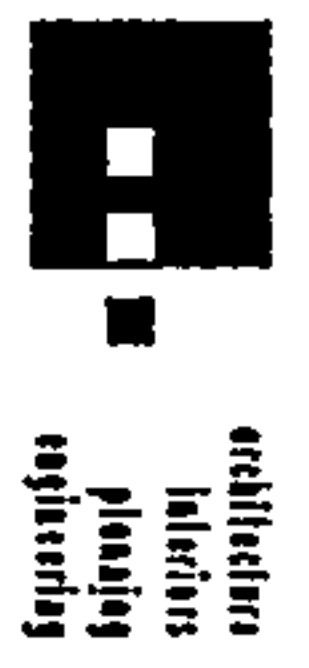
SHEET NO.: **04**
 OF



LANDSCAPE PLAN ENLARGEMENT
1" = 40'-0"



- KEYED NOTES**
- ① EXISTING CONDITIONS
 - ② PROPOSED PLANTING
 - ③ EXISTING UTILITIES
 - ④ PROPOSED UTILITIES
 - ⑤ EXISTING PAVEMENT
 - ⑥ PROPOSED PAVEMENT
 - ⑦ EXISTING LIGHTING
 - ⑧ PROPOSED LIGHTING

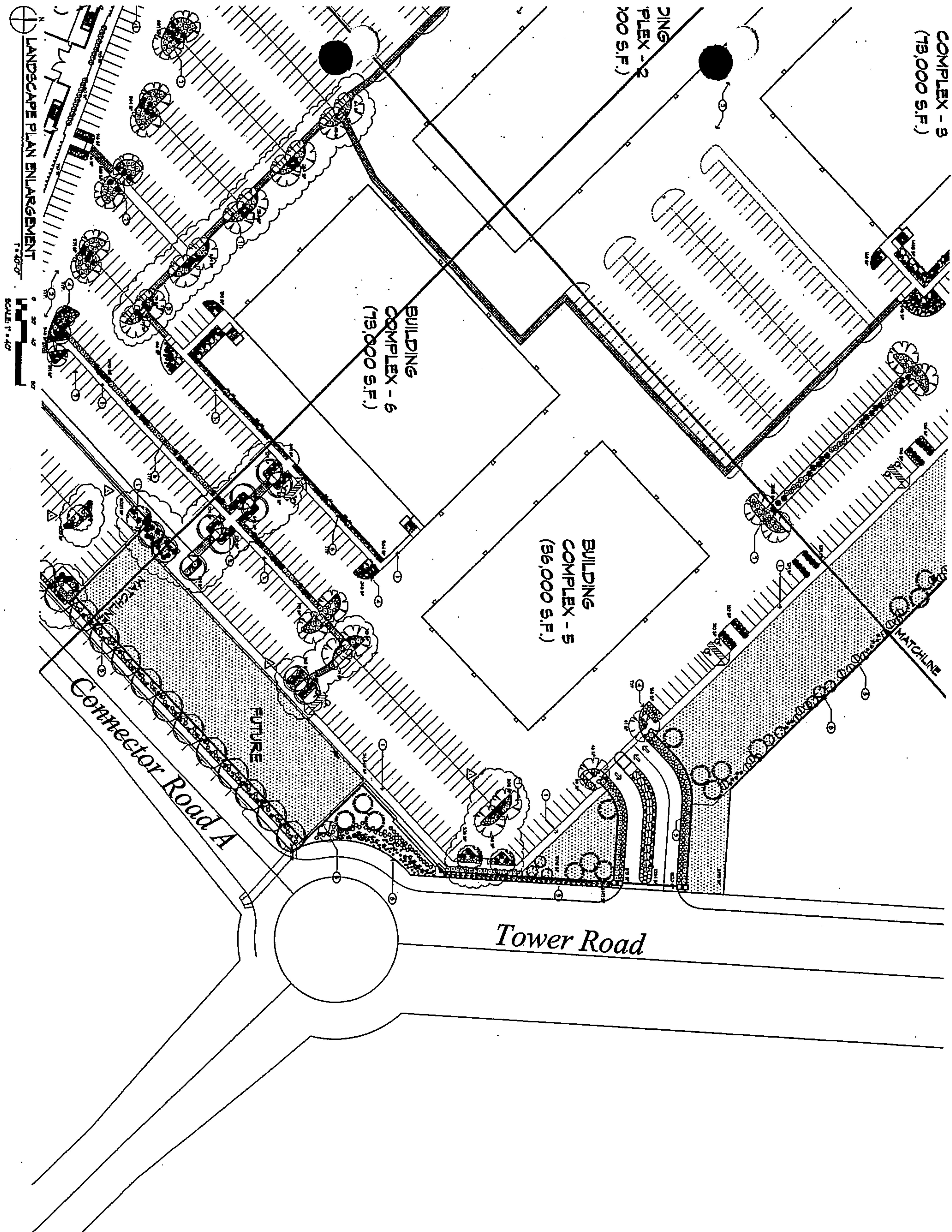


**Dekkor
Perich
Sabatini**

1801 Alameda SE
Suite 100
Albuquerque, NM 87105
Tel: 505-261-4222
Fax: 505-261-4223
www.dpkor.com

**Mesa Del Sol
Film Studio**
Albuquerque, New Mexico

DESIGNED BY: [Signature]
DRAWN BY: [Signature]
REVIEWED BY: [Signature]
DATE: 04/04/05
PROJECT NO.: 04023
DRAWING TITLE:
**LANDSCAPE PLAN
ENLARGEMENT #2**



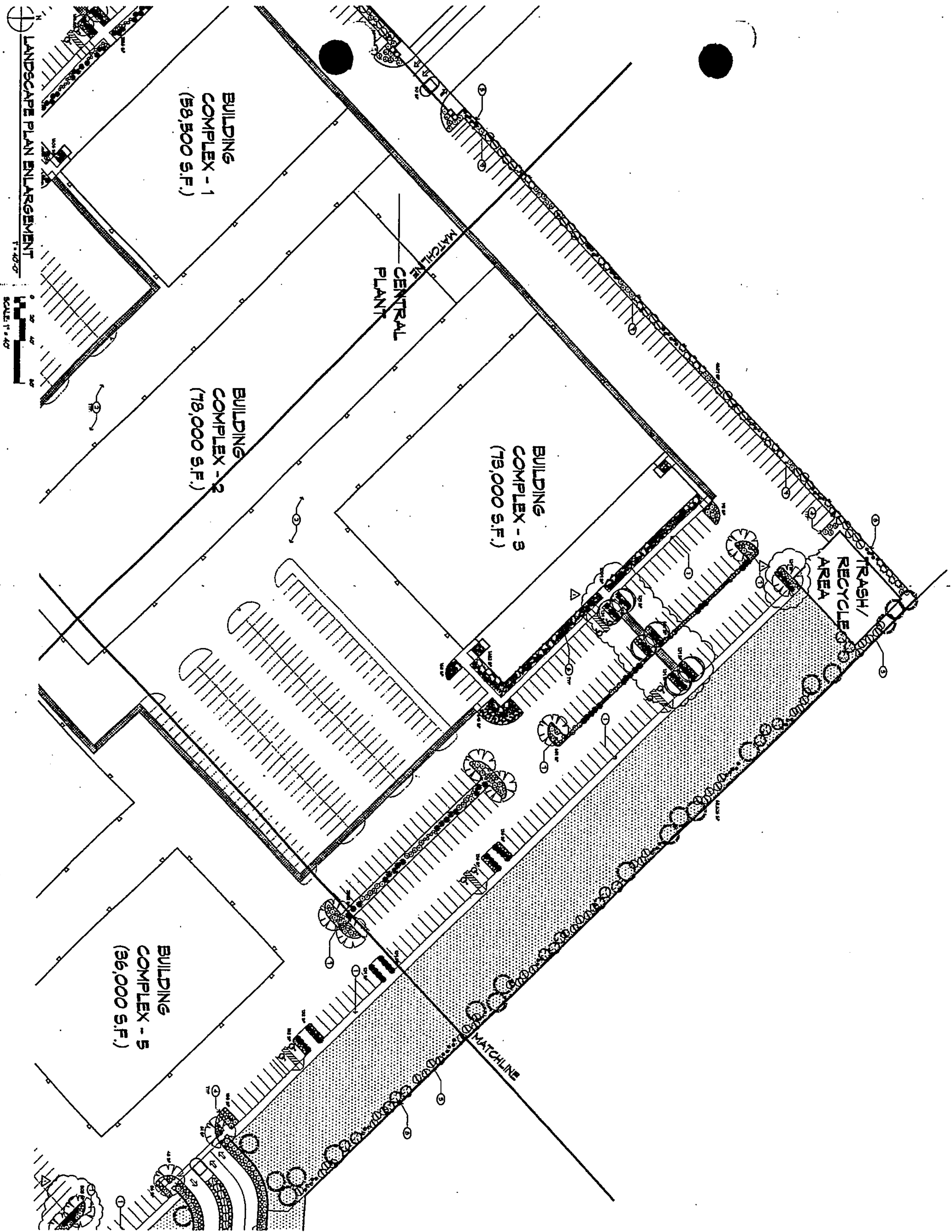
- KEYED NOTES**
- REPAIR CONCRETE
 - REPAIR PAINT
 - REPAIR PAVING
 - GRASS
 - SCARIFY PAVL, SEE SITE PLAN
 - REPAIR ASPH, SEE SITE PLAN
 - REPAIR CONC, SEE SITE PLAN
 - PROPERTY LINE

Mesa Del Sol
Film Studio
Albuquerque, New Mexico

Dekker Perich Sabatini
architects
interior
planning
engineering

1801 Jefferson St.
Albuquerque, NM 87102
505 251-1111
410 2nd Street SW
Albuquerque, NM 87102

DESIGNED BY	AS
DRAWN BY	AS
DATE	04/04/04
PROJECT NO.	04025
DRAWING NAME	LANDSCAPE PLAN ENLARGEMENT 45



- KEYED NOTES**
- SEWER/CONCRETE
 - PAVEMENT
 - SPECIAL FINISH
 - CURB
 - LANDSCAPE HILLS, SEE SITE PLAN
 - LANDSCAPE LIGHTS, SEE SITE PLAN
 - SITE LIGHTING, SEE SITE PLAN
 - FURNITURE, SEE SITE PLAN



**Dekker
Perich
Sabatini**

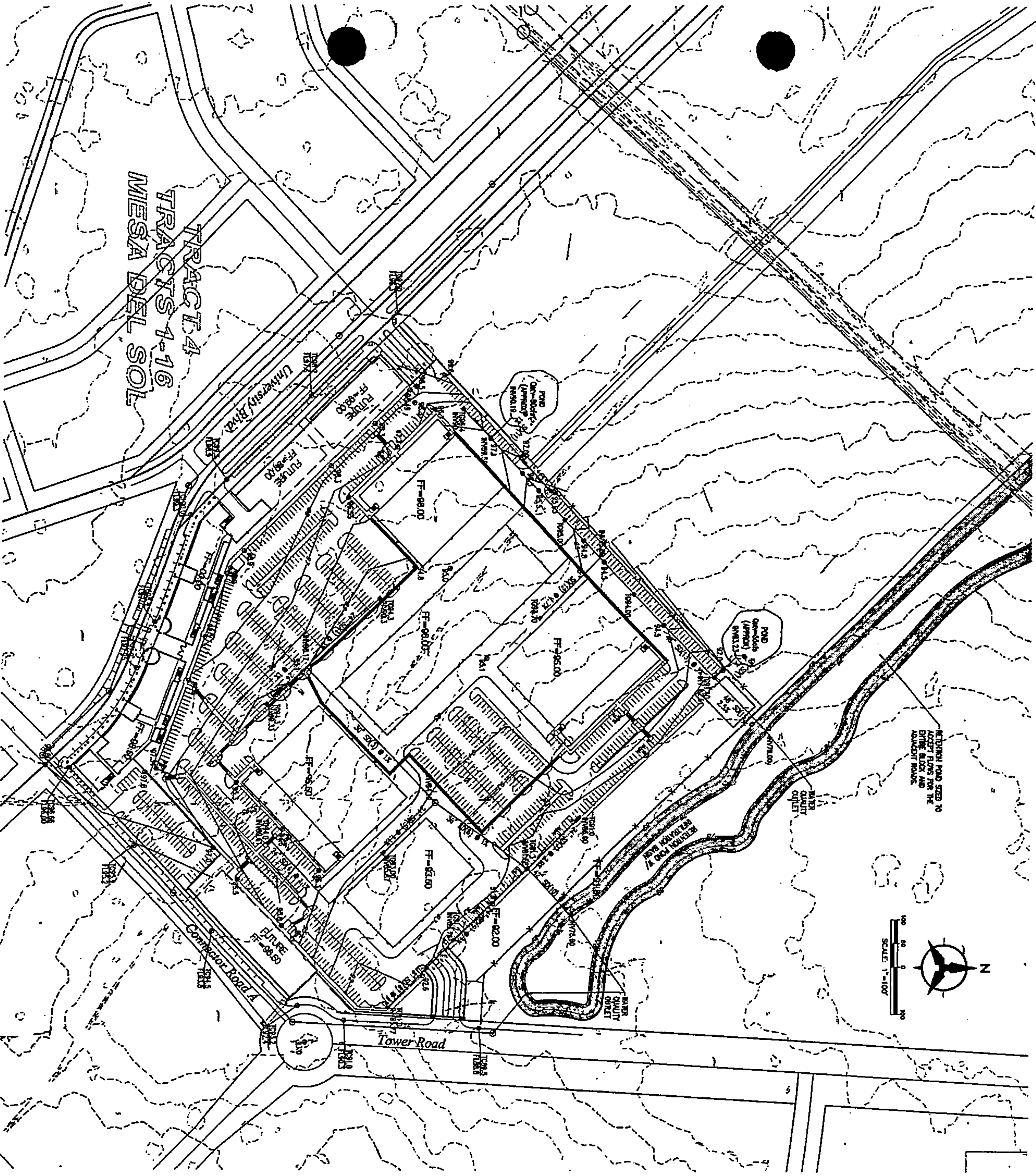
4411 Jefferson St.
Suite 100
Albuquerque, NM 87110
505 261-2728
1010 261-4222
info@psst.com

**Mesa Del Sol
Film Studio**
Albuquerque, New Mexico

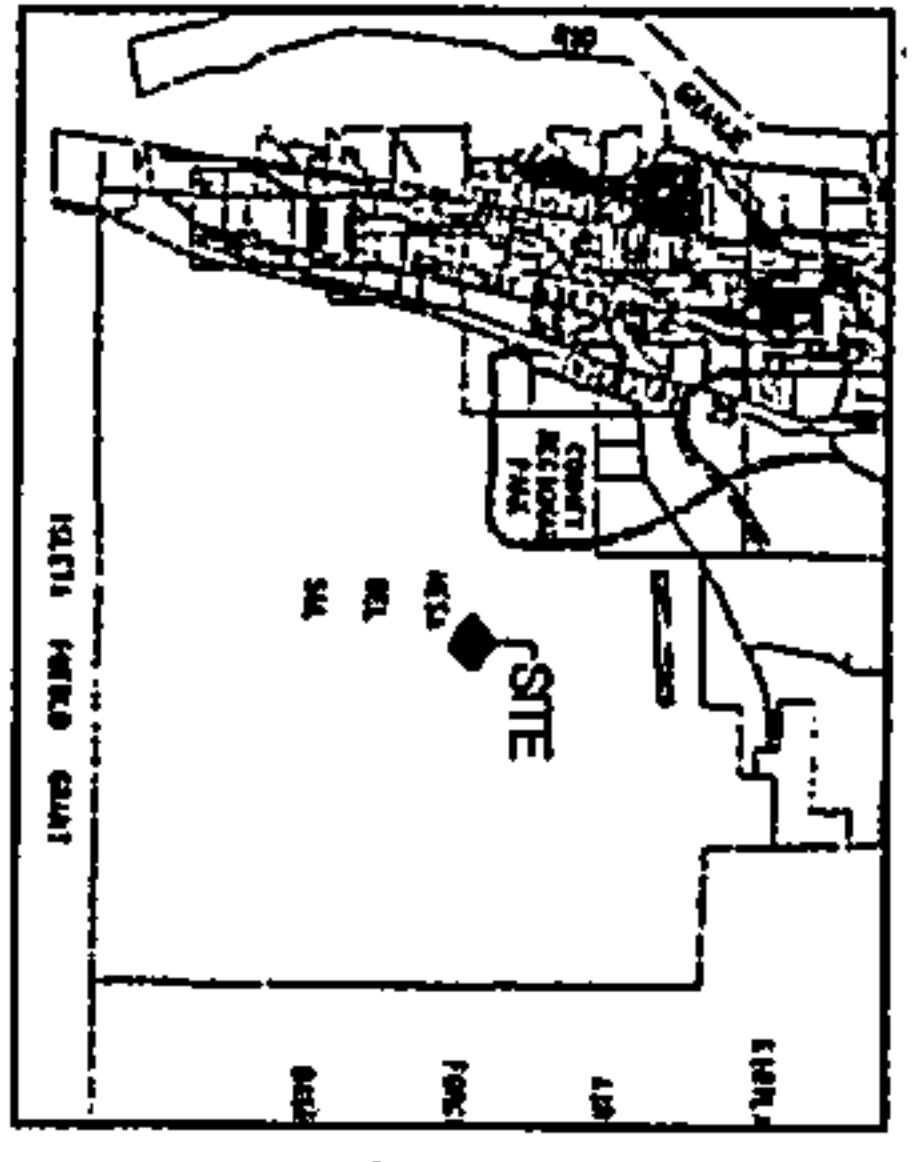
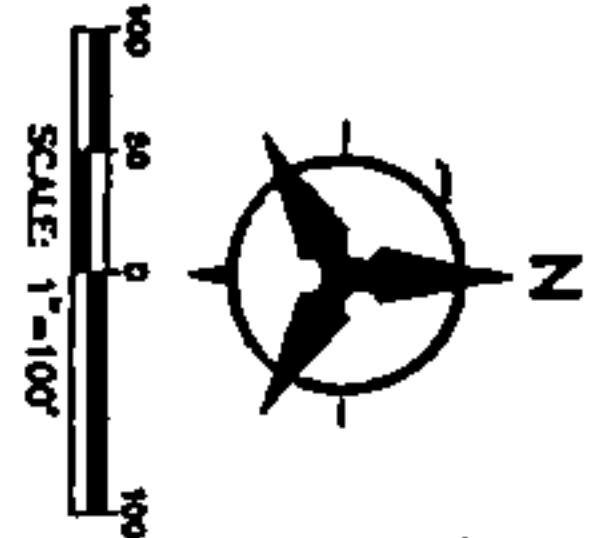
REVISIONS

△	ADD	DATE	BY
△	REMOVE	DATE	BY
△	CHANGE	DATE	BY

DATE: 06/04/08
PROJECT NO.: 04023
DRAWING TITLE: LANDSCAPE PLAN ENLARGEMENT #4



NEIGHBORING ROAD SEEDS TO
 ACCEPT FLOODS FOR THE
 DRIVE BLOCK AND
 ADJACENT ROADS.



LOCATION MAP
 ZONE ATLAS INDEX MAP R-16
 NOT TO SCALE

GRADING NOTES

1. EXCEPT AS PROVIDED HEREON, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DIRT AND EROSION CONTROL MEASURES SHALL BE INCORPORATED INTO THE PROJECT COST.
3. ALL WORK RELATIVE TO REMAINING CONSTRUCTION, SITE PREPARATION, AND PRELIMINARY INSTALLATION AS SHOWN ON THIS PLAN SHALL BE COMPLETED IN ACCORDANCE WITH THE PRELIMINARY GRADING AND DRAINAGE PLAN. ALL OTHER WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CONSTRUCTION SPECIFICATIONS AND APPROVED BY THE CONTRACTOR. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE (CWA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND EDITION).
4. DRAIN SIZES SHALL NOT EXCEED 3 INCHES, TO 1 VERTICAL, UNLESS SHOWN OTHERWISE.
5. IF THE HEIGHT OF THESE PLANS THAT THE CONSTRUCTION SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONSTRUCTION IS TO BE DONE THAT NO SOIL EROSION FROM THE SITE ORTO ADJACENT PROPERTY OF THE PROPERTY BOUNDARIES SHALL BE CAUSED BY CONSTRUCTION. EROSION CONTROL MEASURES ON SITE SHALL BE AT THE PROPERTY LINES AND SETTING THE ONE TO PREVENT IT FROM SOIL EROSION.
7. A NEUTRAL SITE FOR AIR & ALL DRAINAGE EXHAUSTION MATERIAL, AND UNDESIRABLE MATERIAL AND/OR CONTAMINANTS SHALL BE REMOVED FROM THE SITE AND STORED IN A CONTAINER. ALL CONTAMINANTS SHALL BE REMOVED FROM THE SITE AND STORED IN A CONTAINER. ALL CONTAMINANTS SHALL BE REMOVED FROM THE SITE AND STORED IN A CONTAINER.
8. PAVING AND ROADSIDE GRASS SHALL BE +/- AT FROM PLAN ELEVATIONS. THE ELEVATION SHALL BE +/- 4" FROM BUSHING PAV. ELEVATION.
9. ALL PROPOSED CONCRETE PAVEMENT SHALL BE PERFORMED WITHIN THE PROPERTY BOUNDARIES AND MUST BE ADJUSTED FOR SLOPING AND DRAINAGE.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASES OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

NOTE: OTHER STAFFS OF UNIVERSITY BLDG WILL
 BE REQUIRED IN UNDER PLANNED DRAINAGE FACILITY
 (LOCATED WEST OF UNIVERSITY BLDG)

Bohannan & Huston
 Civil Engineers & Surveyors
 7800 Johnson Ave. NE, Albuquerque, NM 87109-4338
 ENGINEERS & SURVEYORS & ADVANCED TECHNOLOGIES

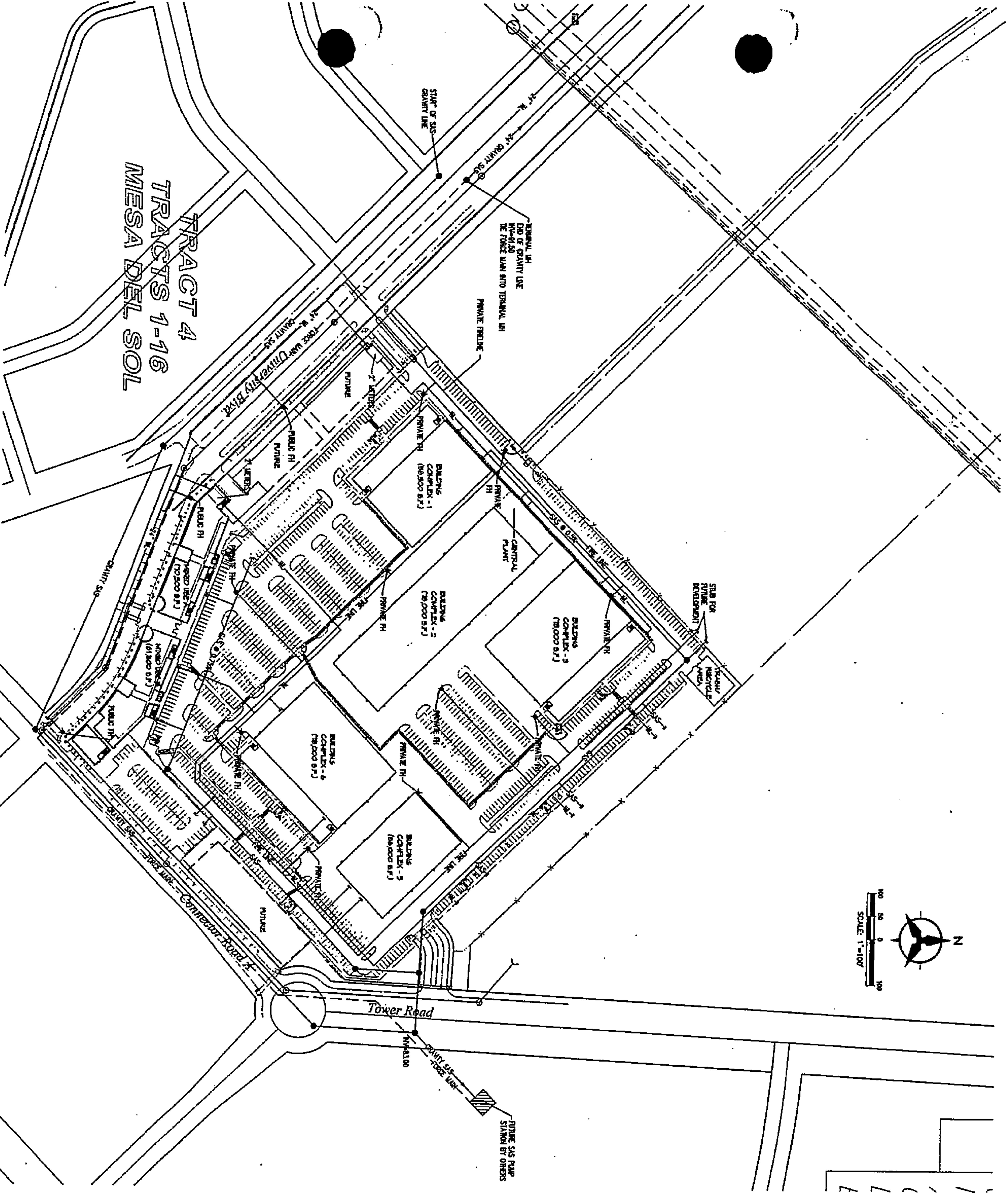
**Mesa Del Sol
 Film Studio**
 Albuquerque, New Mexico

Dekker Perich Sabatini
 3901 Alvarado SE
 Suite 100
 Albuquerque, NM 87110
 505-261-3111
 www.dpsubmittal.com

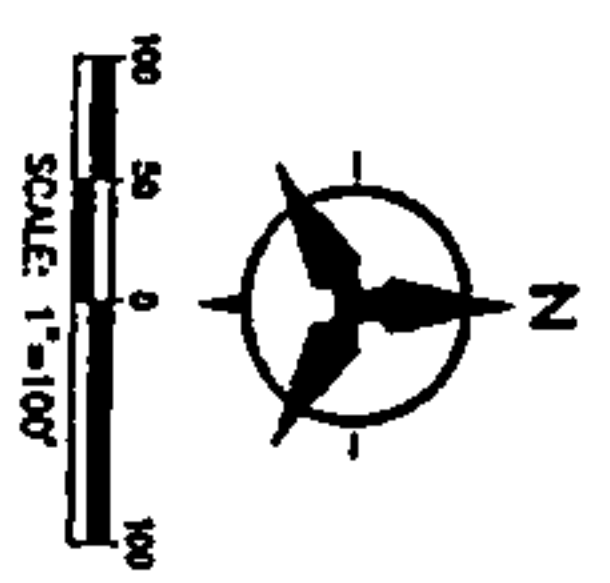
establishing
 quality
 planning
 relationships

**CONCEPTUAL
 GRADING AND
 DRAINAGE
 PLAN**

PROJECT NO. 08228
 DRAWING NAME
 DATE
 REVIEWED BY: JLM
 DESIGNED BY: JLM
 SHEET NO. 08



TRACT 4
 TRACTS 1-16
 MESA DEL SOL



Bohannon & Huston
 CONSULTING ENGINEERS & ARCHITECTS
 1000 Johnson St., NE Albuquerque, NM 87104-1000
 505-843-2000 - FAX 505-843-2000

NOTE: OTHER UTILITIES TO BE LOCATED BY SEPARATE CONTRACT

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DESIGNED BY	DATE	PROJECT NO.	DRAWING NAME
DRAWN BY	DATE	PROJECT NO.	DRAWING NAME
REVIEWED BY	DATE	PROJECT NO.	DRAWING NAME
APPROVED BY	DATE	PROJECT NO.	DRAWING NAME

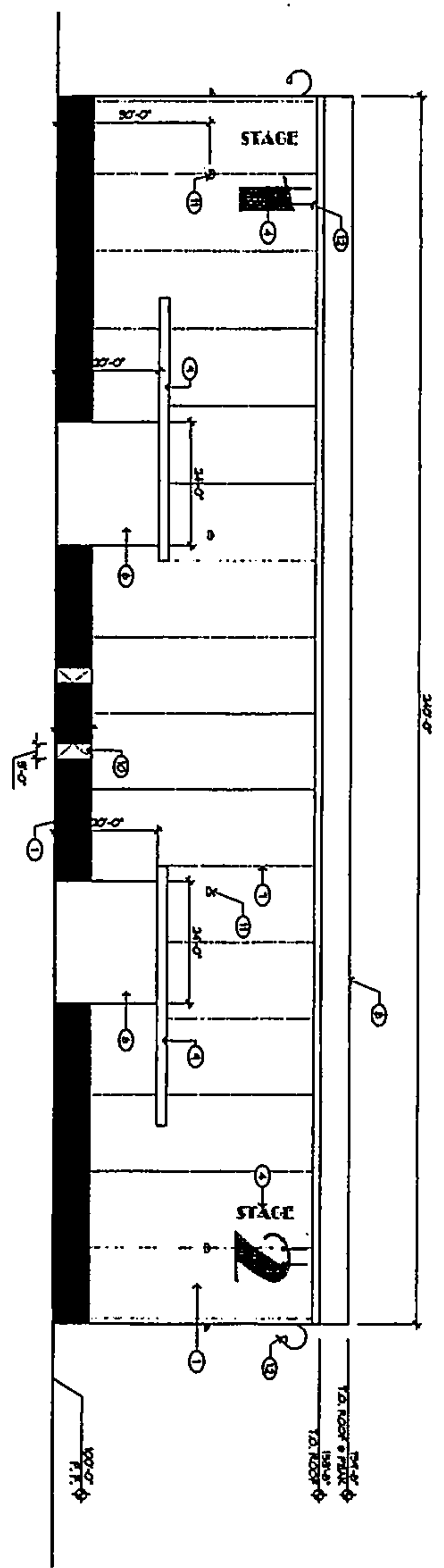
CONCEPTUAL
 UTILITY PLAN

SHEET NO. **09**
 OF

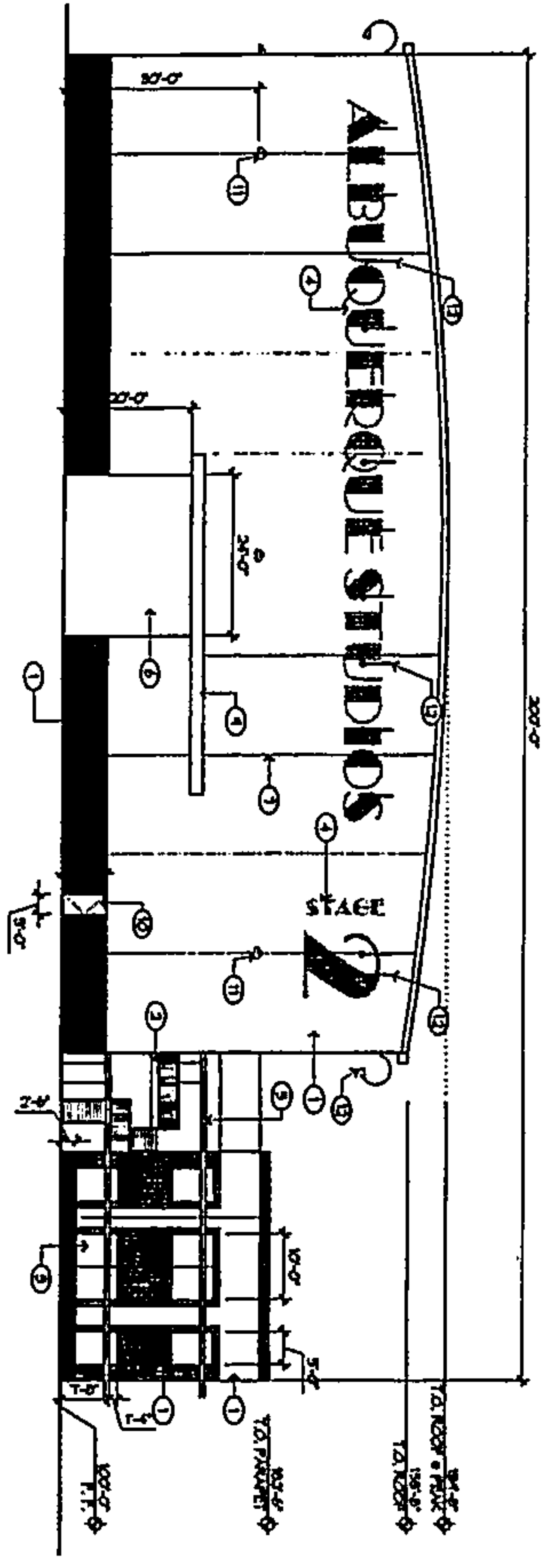
Dekker Perich Sabatini
 ARCHITECT
 1111 Jefferson St.
 Albuquerque, NM 87104
 505-241-2111
 505-241-2112
 505-241-2113

production selection planning engineering

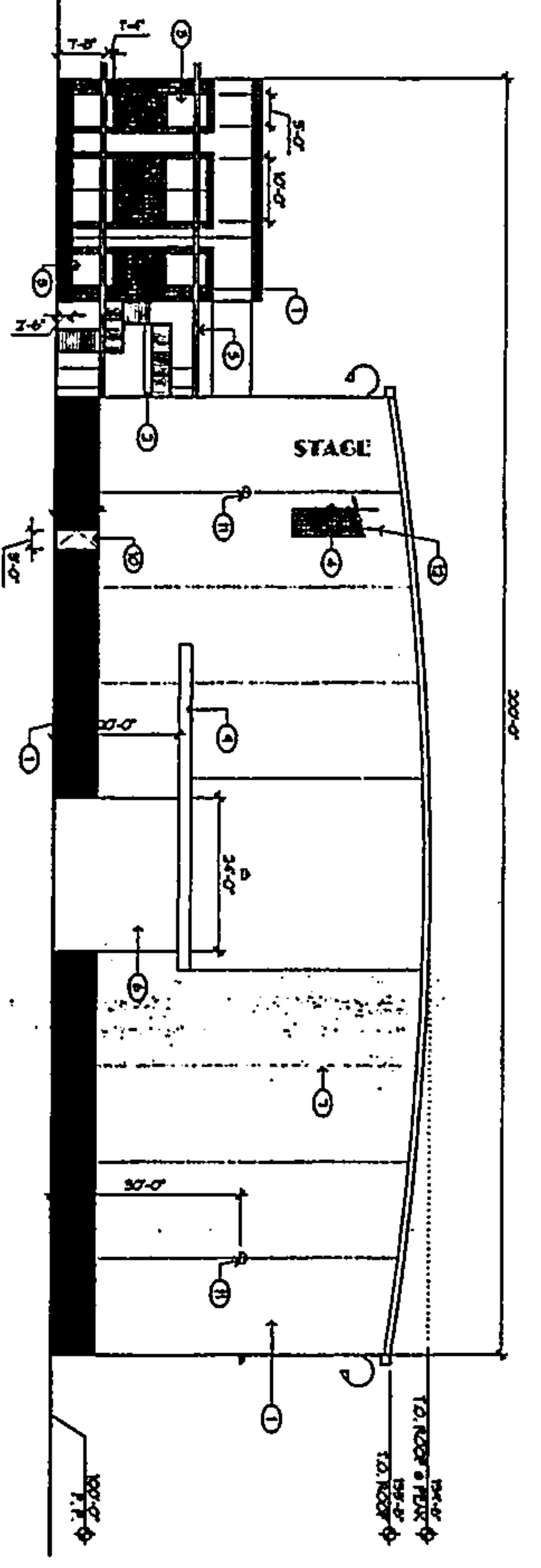
PROJECT
 DRAWER
 DATE
 DRS
 SUBMITTAL



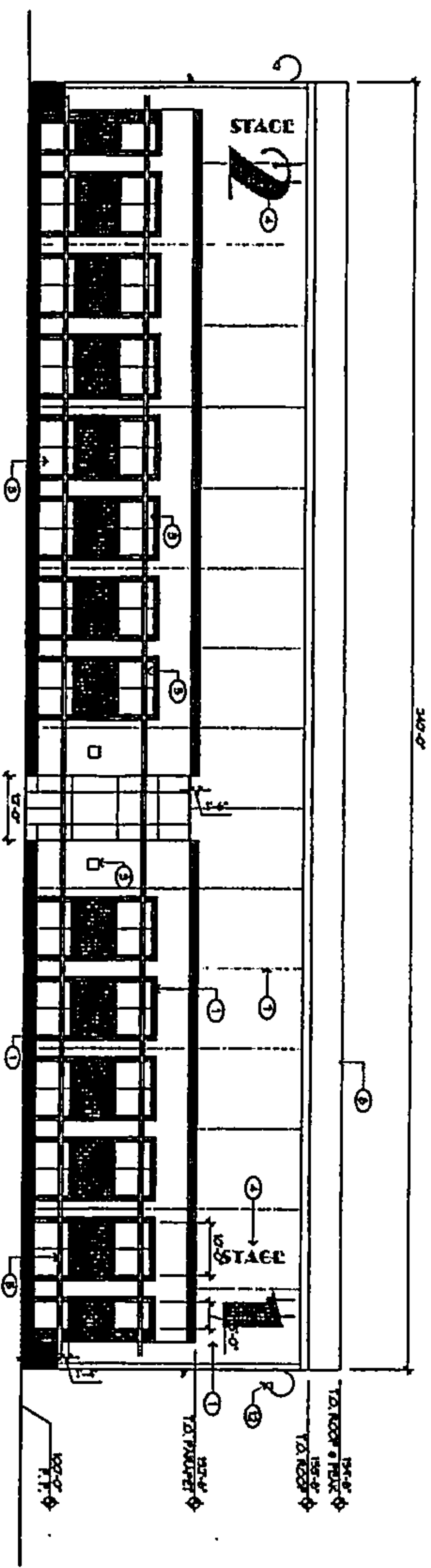
1 EAST ELEVATION



2 NORTH ELEVATION



3 SOUTH ELEVATION






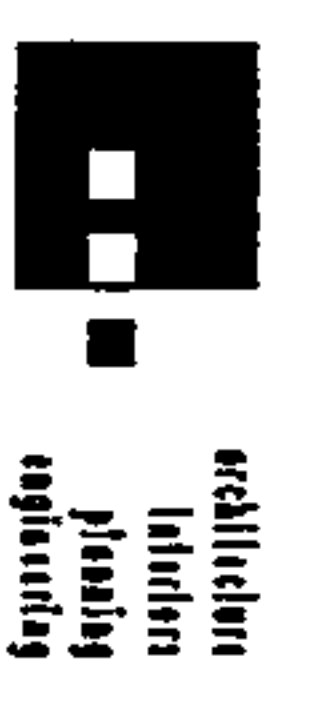
4 WEST ELEVATION

KEYED NOTES

1. CONCRETE TYPAR PANEL FINISH
2. STEEL STAIRS FINISHED TO OUTSIDE
3. ALUMINUM SCREENING SYSTEM
4. PAINTED FLOOR BOARDING
5. STEEL WAGON WHEEL SYSTEM
6. STEEL ALUMINUM DOOR
7. CONCRETE PANEL JOINT TYP.
8. ROOF FLOOR FINISH
9. STEEL DOOR THICK AND HEAVY SWAY
10. HOLLOW METAL DOOR AND FRAME
11. FLOOR MOUNTED LIGHT FIXTURES SHALL BE NIGHT SKY COMPLIANT
12. WALL MOUNTED 'VOCABULARY' LIGHT FIXTURES SHALL BE NIGHT SKY COMPLIANT

COLOR LEGEND

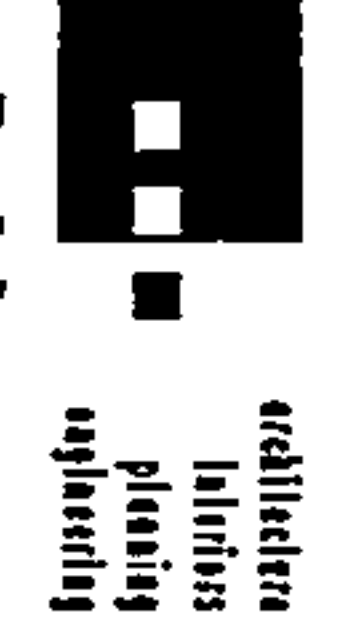
	COLOR IN CREAM
	COLOR IN DARK TYP.
	COLOR IN MEDIUM BROWN



Dekker Perich Sabatini
 ARCHITECTS
 5011 ALBUQUERQUE BL.
 SUITE 100
 ALBUQUERQUE, NM 87109
 505.251.9228
 505.251.9223
 dps@psdhs.com

PROJECT
Mesa Del Sol
Film Studio
 Albuquerque, New Mexico

REVISIONS	
△ describe the condition	
△	
△	
△	
DRAWN BY	
REVIEWED BY	
DATE	06/06/06
PROJECT NO.	06073
DRAWING NAME	
ELEVATIONS-	
BUILDINGS	
COMPLEX - 1	



Dekker Perich Sabatini
 ARCHITECTS
 5011 Alameda NE
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 Fax: 505.261.4322
 info@psa.com

**Mesa Del Sol
 Film Studio**
 Albuquerque, New Mexico

REVISIONS
 Δ Outside of Location
 Δ Inside of Location

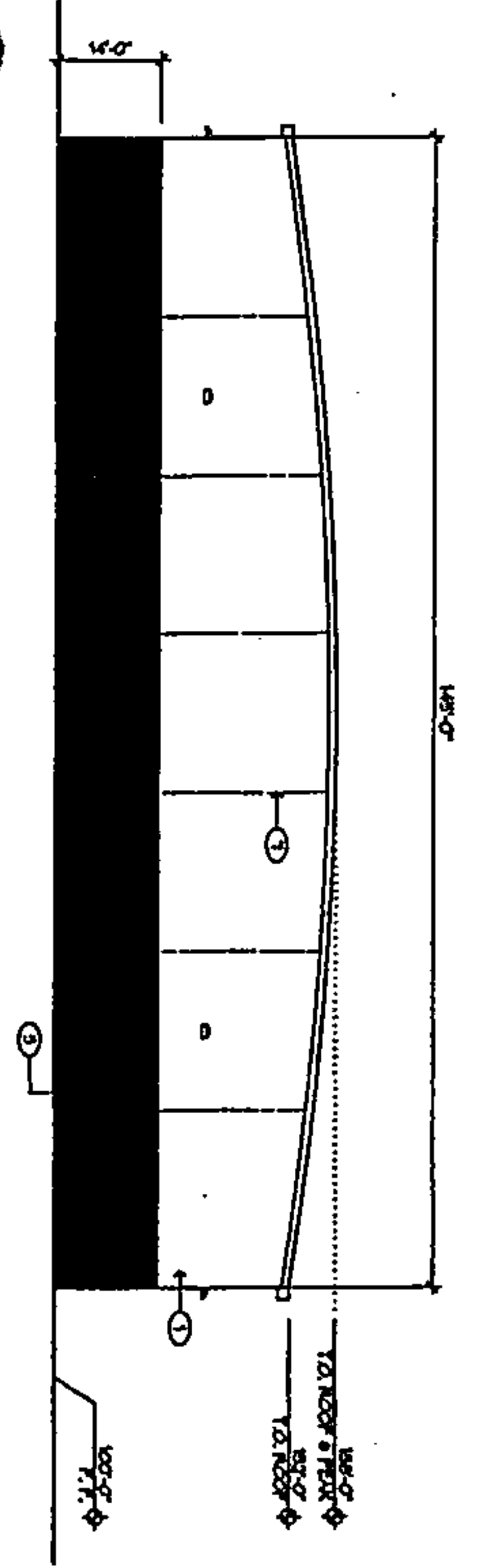
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 CHECKED BY: [Blank]
 DATE: 06/06/06
 PROJECT NO.: 06029
 DRAWING NAME: ELEVATIONS-BUILDING COMPLEX - 2

- KEYED NOTES** ○
1. CONCRETE TILT-UP PANEL SYSTEM
 2. STEEL STUDS BRACKETED TO CONCRETE
 3. ALUMINUM STRUCTURE WITH 1/2" INSULATION
 4. PAINTED INSIDE EXTERIOR
 5. COIL WALL WITH BRICK FINISH
 6. STEEL ROLLUP DOOR
 7. CONCRETE PANEL, JOIST TYPE
 8. ROOF FUNK SYSTEM
 9. HOLLOW METAL ROOF AND FLOOR
 10. FLOOR MOUNTED LIGHT FIXTURES SHALL BE LIGHT BAY COMPLIANT

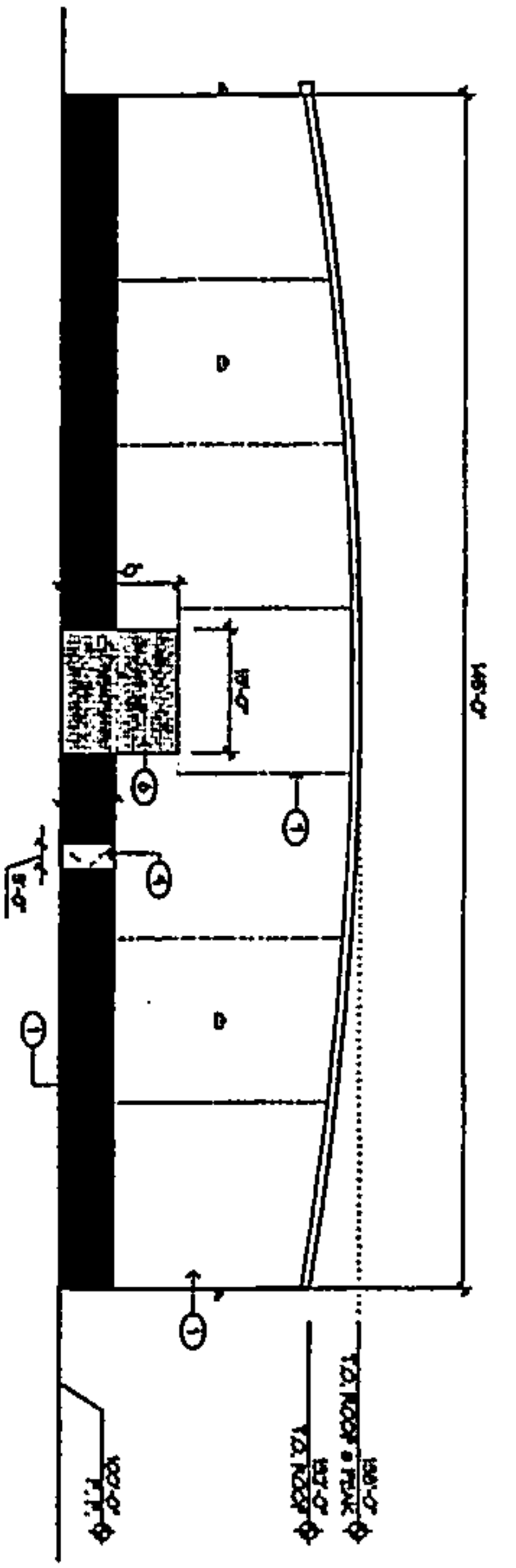
COLOR LEGEND

- COLOR #1 CREAM
- COLOR #2 DARK TAN
- COLOR #3 MEDIUM BROWN

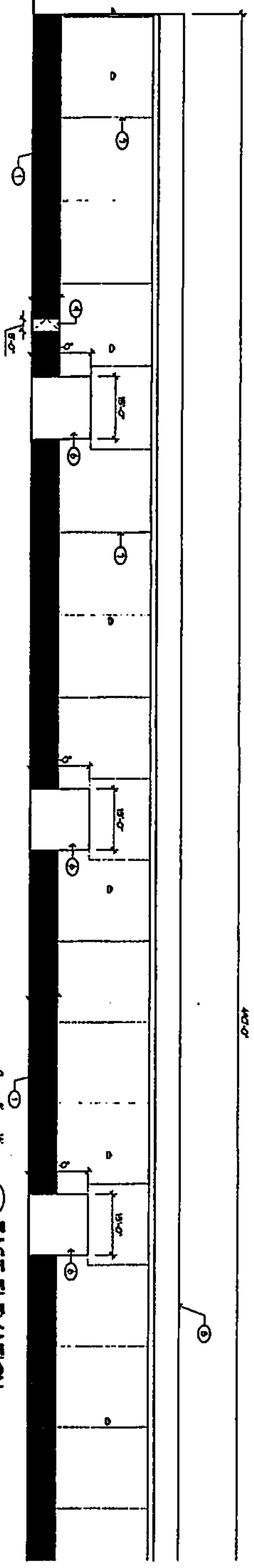
1 NORTH ELEVATION
 V.I.B. = 1'-0"



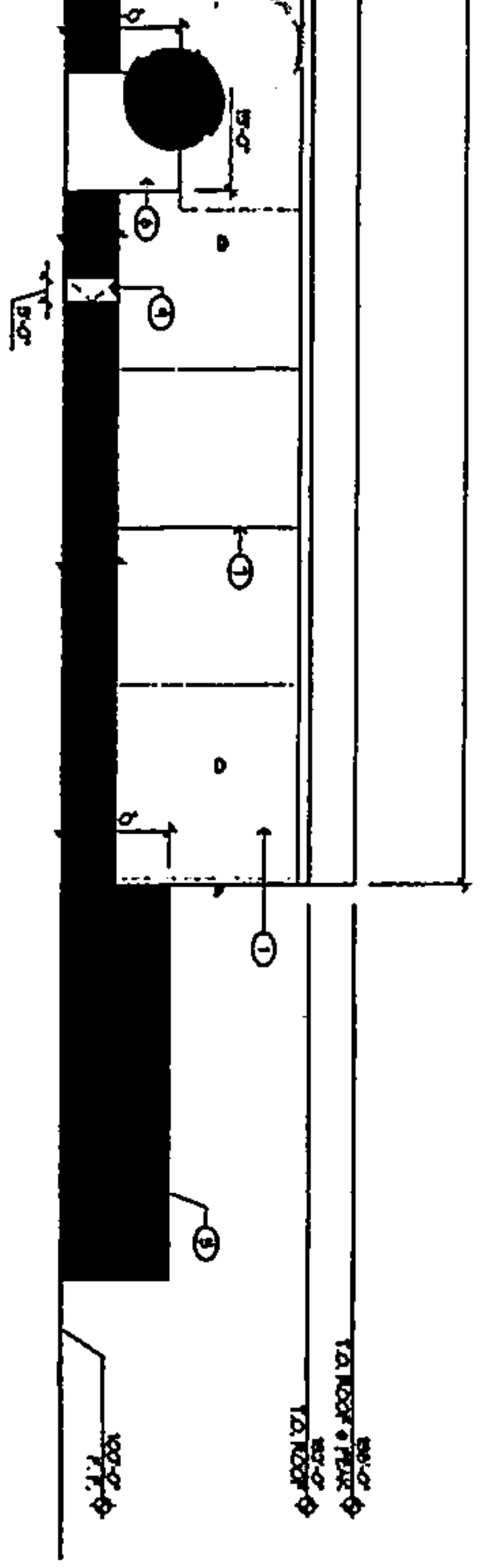
2 SOUTH ELEVATION
 V.I.B. = 1'-0"



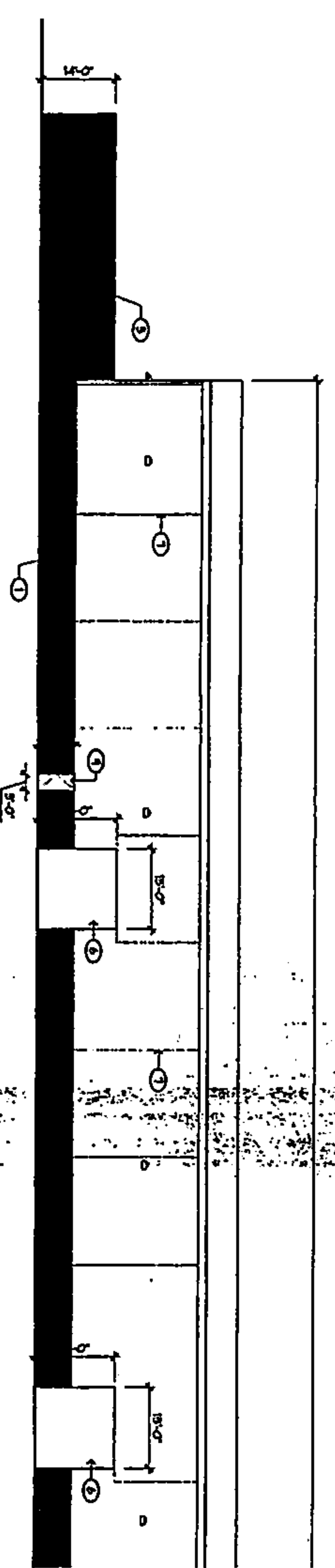
3 EAST ELEVATION
 V.I.B. = 1'-0"



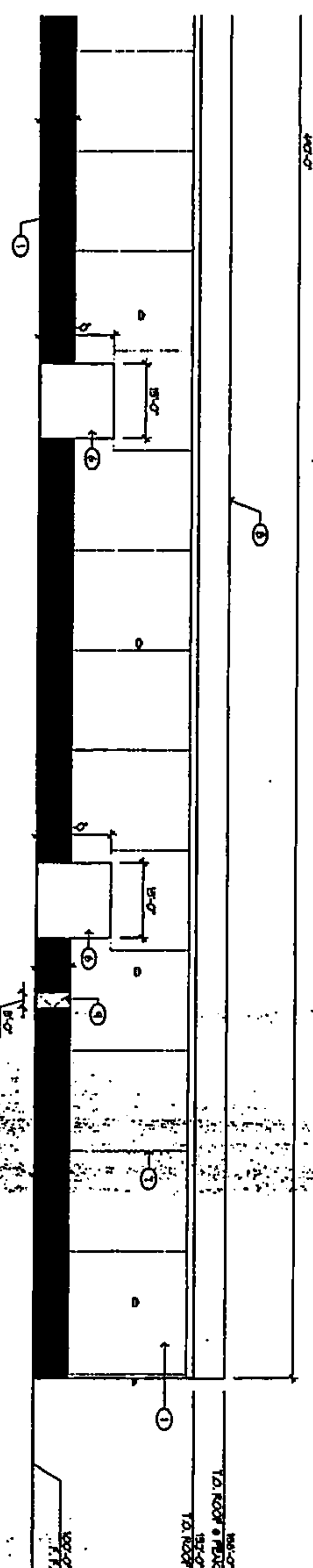
4 EAST ELEVATION (CONT.)
 V.I.B. = 1'-0"

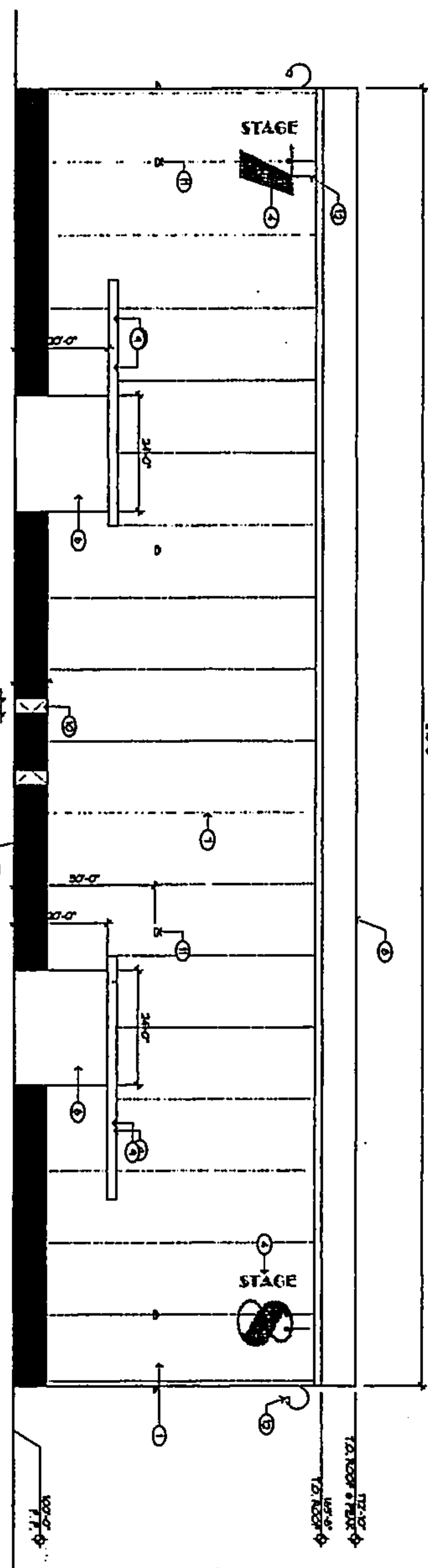


5 WEST ELEVATION
 V.I.B. = 1'-0"

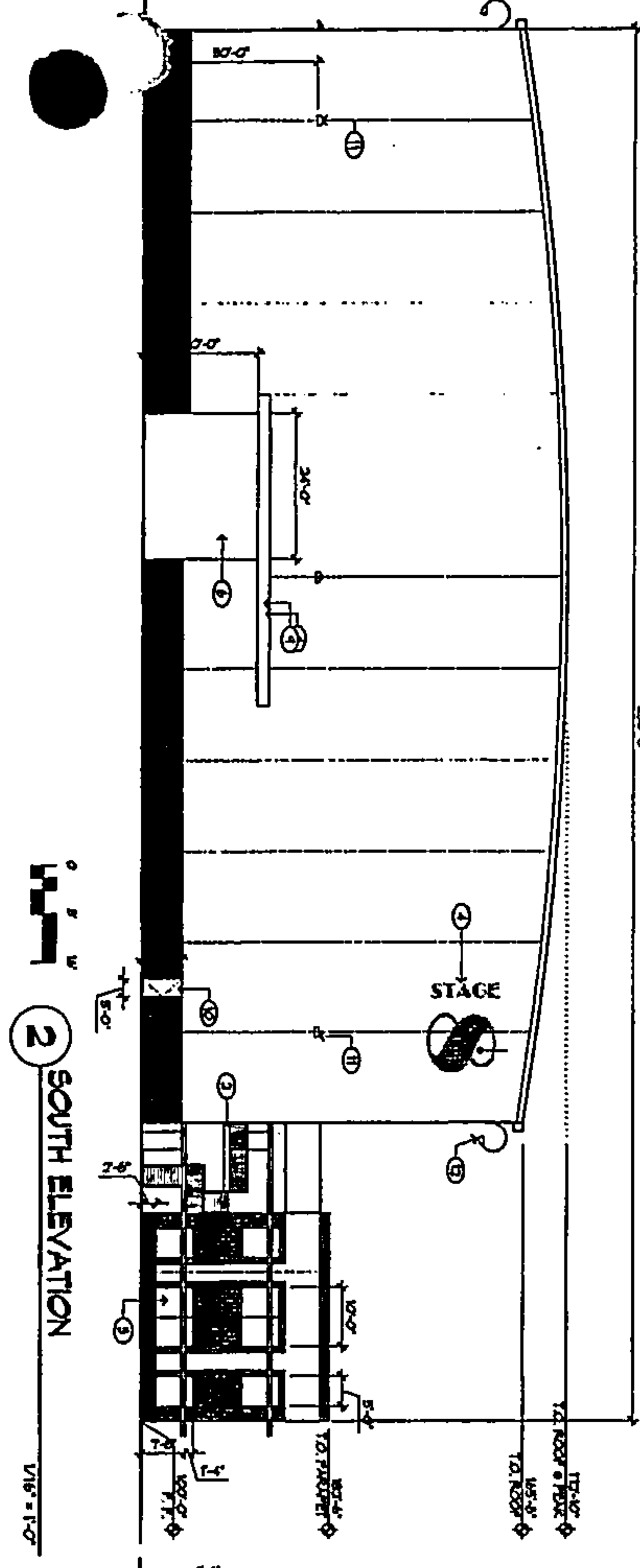


6 WEST ELEVATION (CONT.)
 V.I.B. = 1'-0"

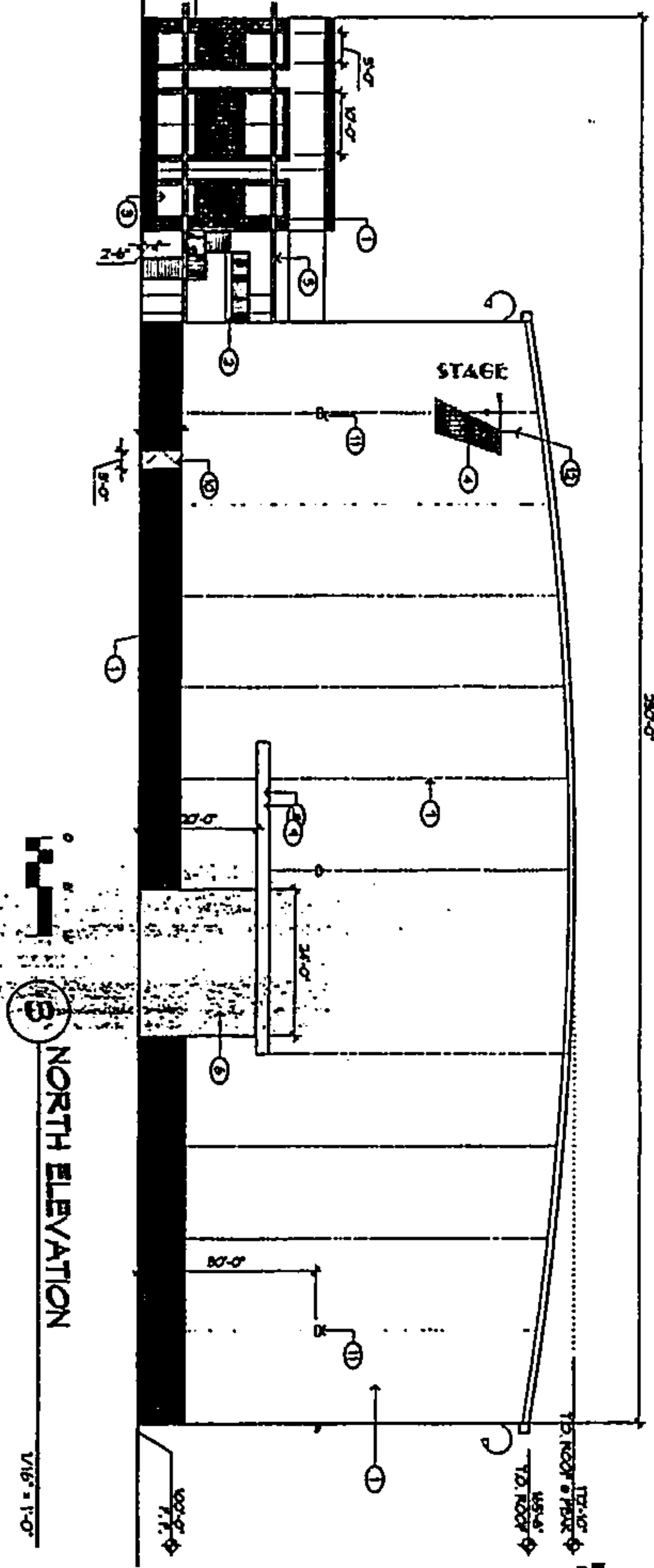




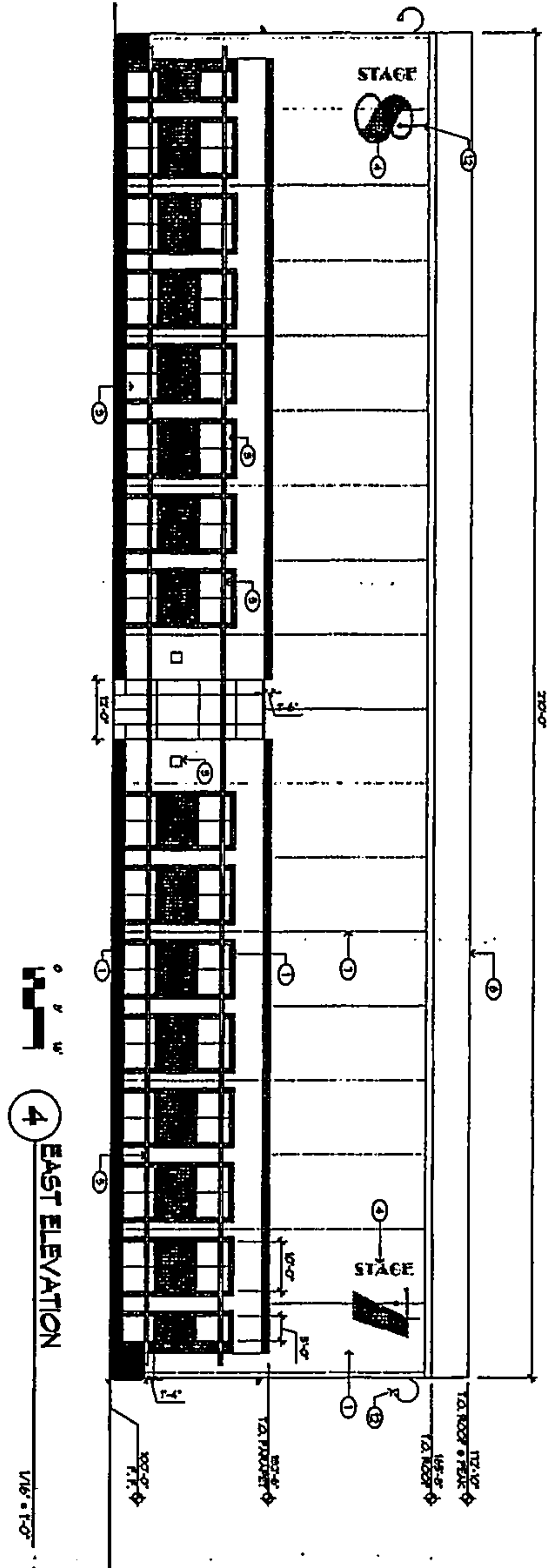
1 WEST ELEVATION
V.I.B. = 1'-0"



2 SOUTH ELEVATION
V.I.B. = 1'-0"



3 NORTH ELEVATION
V.I.B. = 1'-0"

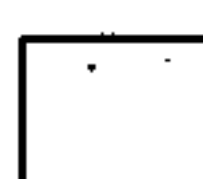




4 EAST ELEVATION
V.I.B. = 1'-0"

KEYED NOTES

- 1. CONCRETE TILT-UP PANEL SYSTEM
- 2. STEEL STUDS PROVIDED TO OUTSIDE
- 3. ALUMINUM SIGNMOUNT SYSTEMS
- 4. PAINTED FACIAGE DETAILS
- 5. STEEL PNEUMATIC LAMINATE SYSTEMS
- 6. STEEL ALUMINUM DOOR
- 7. CONCRETE PANEL, JOINT TYP.
- 8. ROOF PAVILION BENCH
- 9. STEEL DOOR TRACK AND REINFORCING
- 10. HOLDING METAL DOOR AND FRAME
- 11. WINDOW MOUNTED LIGHT FIXTURES SHALL BE NIGHT SKY COMPLIANT
- 12. WINDOW MOUNTED ACCESSORY LIGHT FIXTURES SHALL BE NIGHT SKY COMPLIANT

COLOR LEGEND

	COLOR #1 CREAM
	COLOR #2 DARK TAN
	COLOR #3 MEDIUM BROWN



Dekkor Perich Sabatini
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 NE 21st Avenue, Box 1
 853 11-2718
 4100 9th Avenue NE
 85218-1118

Mesa Del Sol
Film Studio
 Albuquerque, New Mexico

REVISIONS
 Δ CHANGE PER CONSULTANT
 Δ CHANGE
 Δ CHANGE

DRAWN BY _____
 REVIEWED BY _____ DATE _____
 PROJECT NO. 06/00
 DRAWING TITLE: ELEVATIONS-BUILDING COMPLEX - 5

SHEET NO. 11
 OF 12

Dekker Perich Sabatini
5001 Jillette Ave
Suite 100
Albuquerque, NM 87110
505 261-2228
505 261-2222
info@psa.com

PROJECT

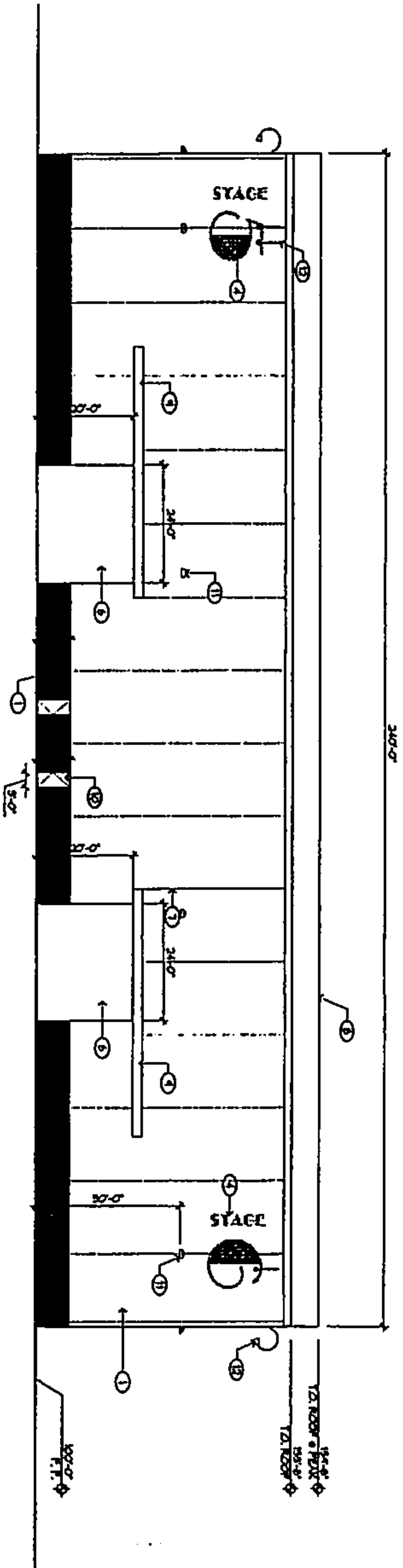
DRAWER

PROJECT

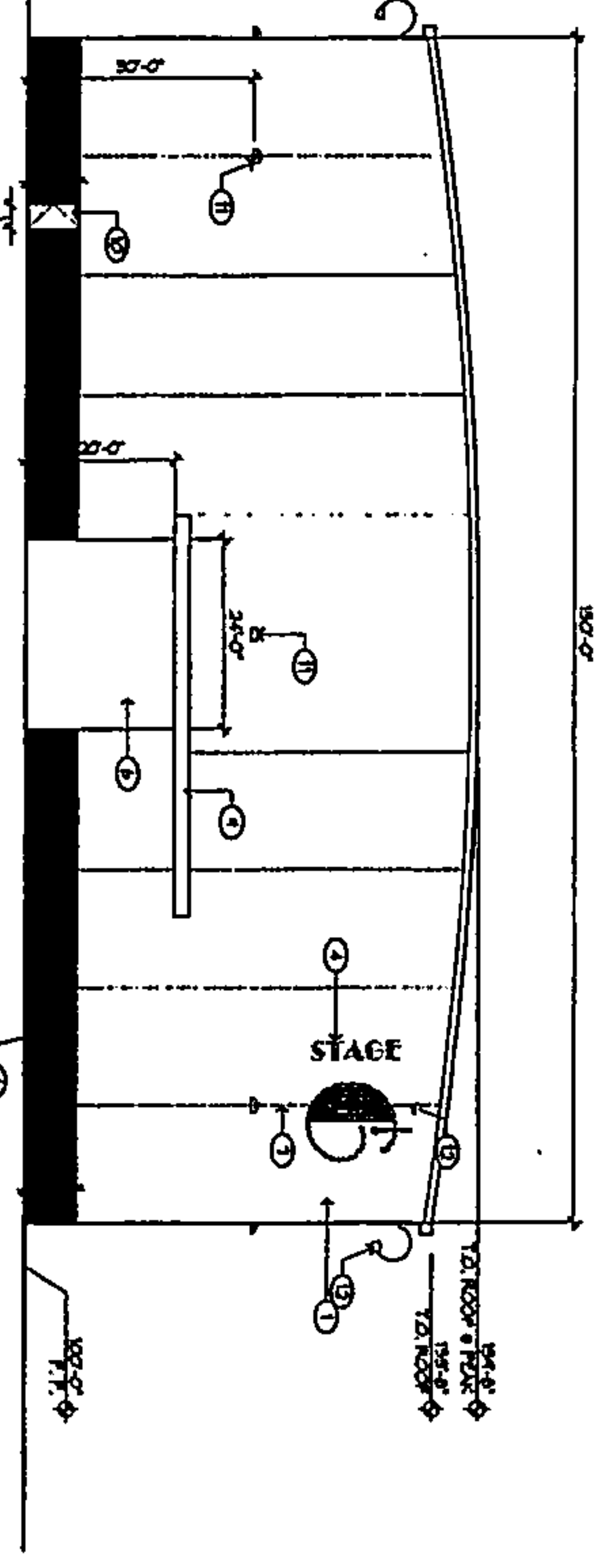
Mesa Del Sol
Film Studio
Albuquerque, New Mexico

REVISIONS
 Δ outside enclosure
 Δ

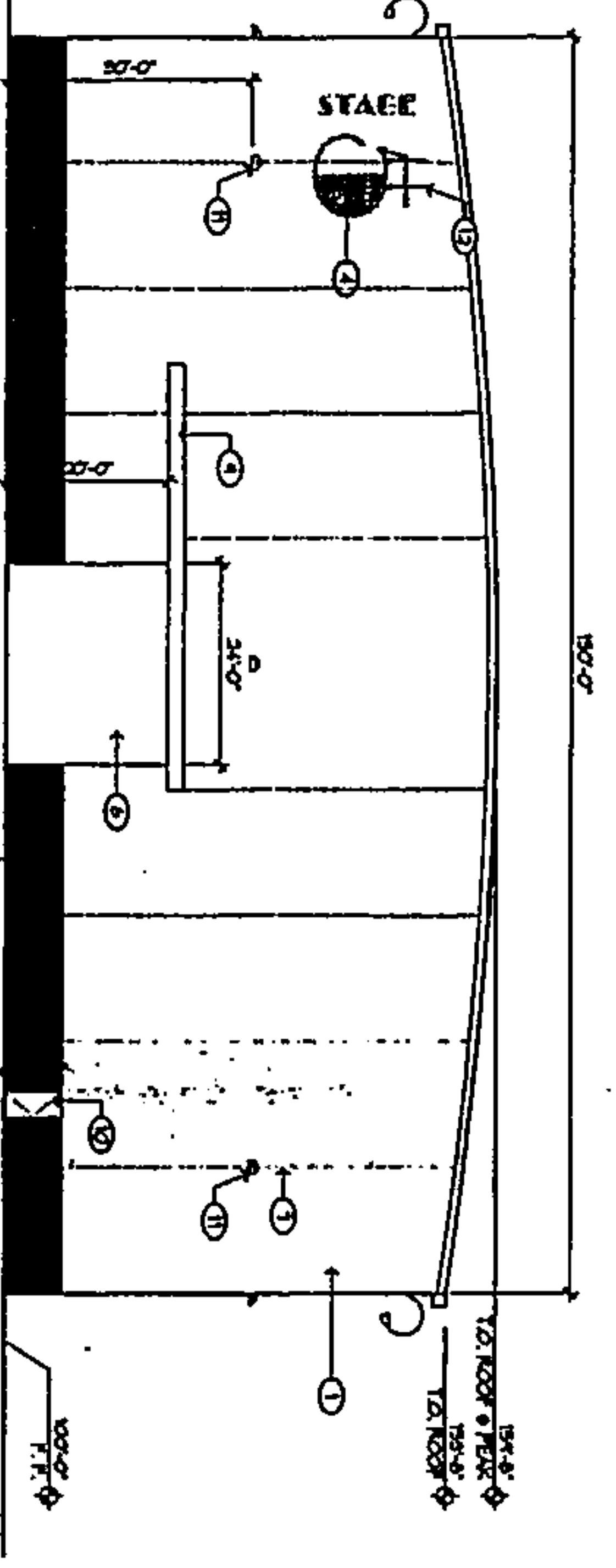
DRAWN BY
 REVIEWED BY
 DATE
 PROJECT NO.
 DRAWING NO.
 ELEVATIONS-
 BUILDING
 COMPLEX - 5



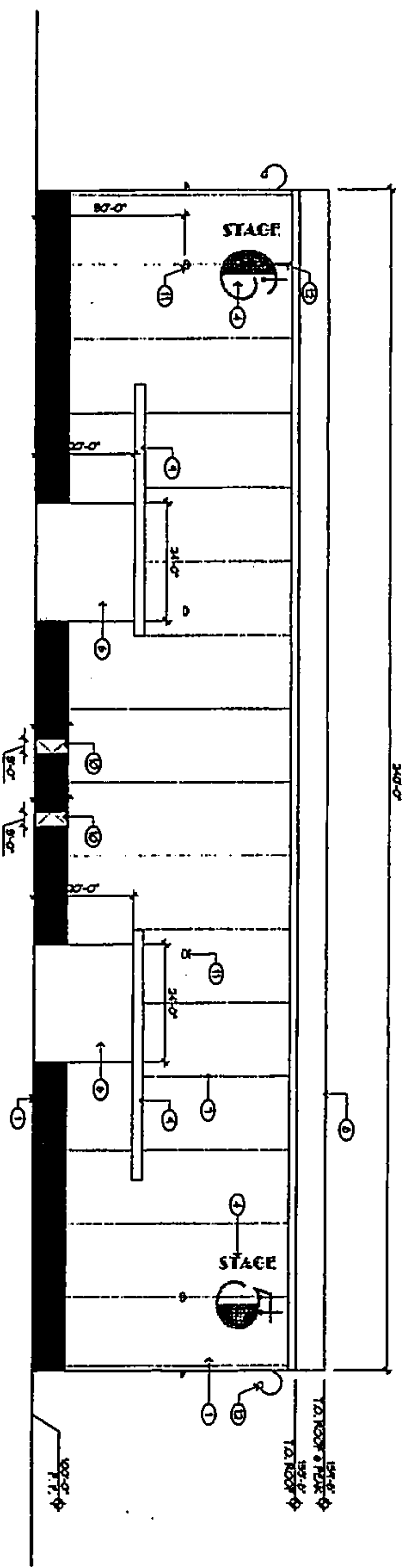
1 WEST ELEVATION
 1/16" = 1'-0"



2 SOUTH ELEVATION
 1/16" = 1'-0"



3 NORTH ELEVATION
 1/16" = 1'-0"

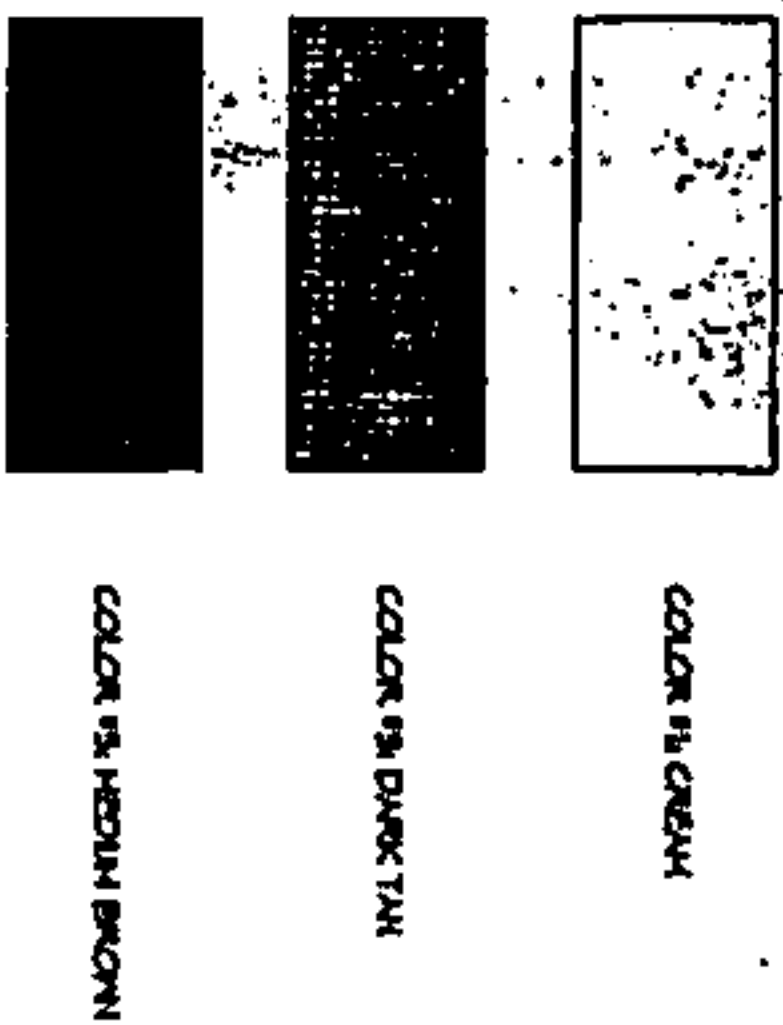


4 EAST ELEVATION
 1/16" = 1'-0"

KEYED NOTES ○

1. CONCRETE TILT-UP PANEL SYSTEM
2. STEEL STRIPS BRIDGE TO CURB
3. ALUMINUM BRIDGE/FRONT BRUSH
4. PAINTED ALUMINUM BRUSH
5. STEEL WINDOW FRAME SYSTEM
6. STEEL ALUMINUM DOOR
7. CONCRETE PANEL JOINT TYP.
8. ROOF PANEL BRIDGE
9. STEEL DOOR THRESH AND HANGER BRAND
10. HOLD UP METAL DOOR AND FRAME
11. FLOORS MOUNTED LIGHT FIXTURES SHALL BE INERT SBT COMPLIANT
12. FLOORS MOUNTED SCISSOR/LIGHT FIXTURES SHALL BE INERT SBT COMPLIANT

COLOR LEGEND








Dekker Perich Sabatini
 550 Jefferson St.
 Albuquerque, NM 87102
 505 263-1222
 505 263-1223
 info@psstc.com

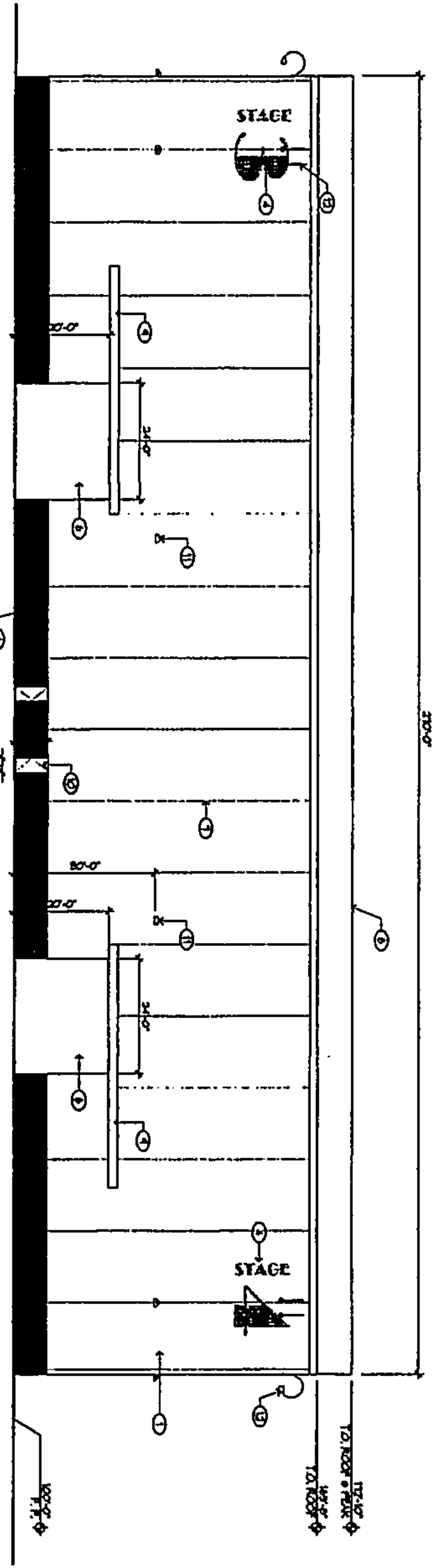
architect
 interior
 planning
 engineering

KEYED NOTES

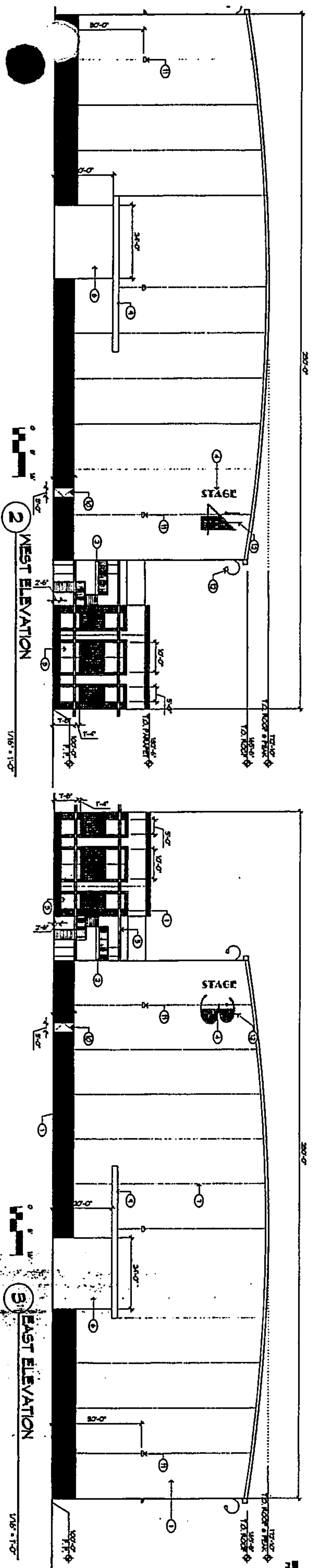
- 1. CONCRETE TILT-UP PANEL SYSTEM
- 2. STEEL STRAPS EXPOSED TO OUTSIDE
- 3. ALUMINUM BRONZE/BLACK SYSTEM
- 4. PAINTED FLUORE ALUMINUMS
- 5. STEEL WINDOW SYSTEM
- 6. STEEL SLIDING DOOR
- 7. CONCRETE PANEL, LIGHT TYP.
- 8. ROOF PANEL SYSTEM
- 9. STEEL DOOR TRACK AND HANGING GUID
- 10. HOLLOW METAL DOOR AND FRAME
- 11. FLUORE MOUNTED LIGHT FIXTURES SHALL BE NIGHT SKY COMPLIANT
- 12. FLUORE MOUNTED VERTICAL LIGHT FIXTURES SHALL BE NIGHT SKY COMPLIANT

COLOR LEGEND

	COLOR #1: GREY
	COLOR #2: DARK TAN
	COLOR #3: MEDIUM BROWN

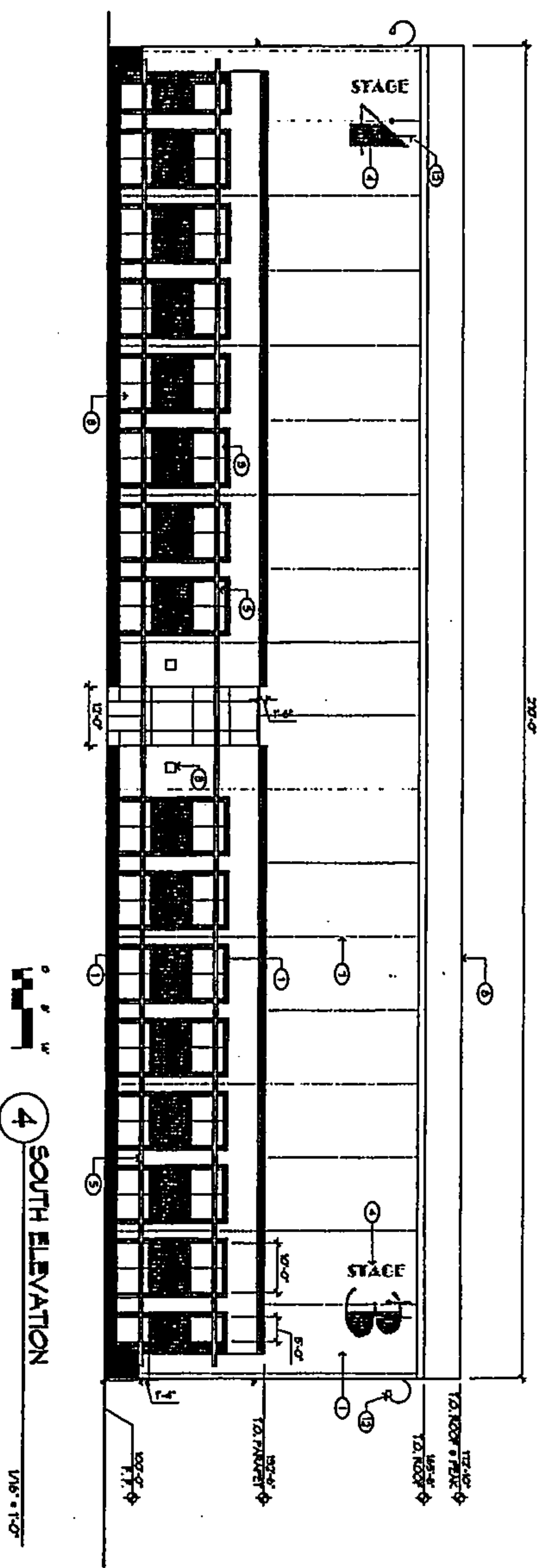


1 NORTH ELEVATION



2 WEST ELEVATION

3 EAST ELEVATION



4 SOUTH ELEVATION

Mesa Del Sol
Film Studio
 Albuquerque, New Mexico

REVISIONS
 Δ addition or deletion
 □ deletion
 ○ deletion

DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 DATE: 04/09/06
 PROJECT NO: 01025
 DRAWING TITLE: ELEVATIONS-BUILDING COMPLEX - 6

establish
hidden
planning
opportunities



**Dekker
Perich
Sabatini**

501 Alamosa NE
Suite 100
Albuquerque, NM 87109
505.251.1188
505.251.1122
info@psa.com

ARCHITECT

OWNER

PROJECT

Mesa Del Sol
Film Studio
Albuquerque, New Mexico

REVISIONS
 △ outside of location
 △ inside of location

DRAWN BY
 CHECKED BY
 DATE 04/24/09
 PROJECT NO. 06023
 DRAWING NAME
**ELEVATIONS-
 MIXED-USE
 BUILDING A**

SHEET NO.

GENERAL NOTES

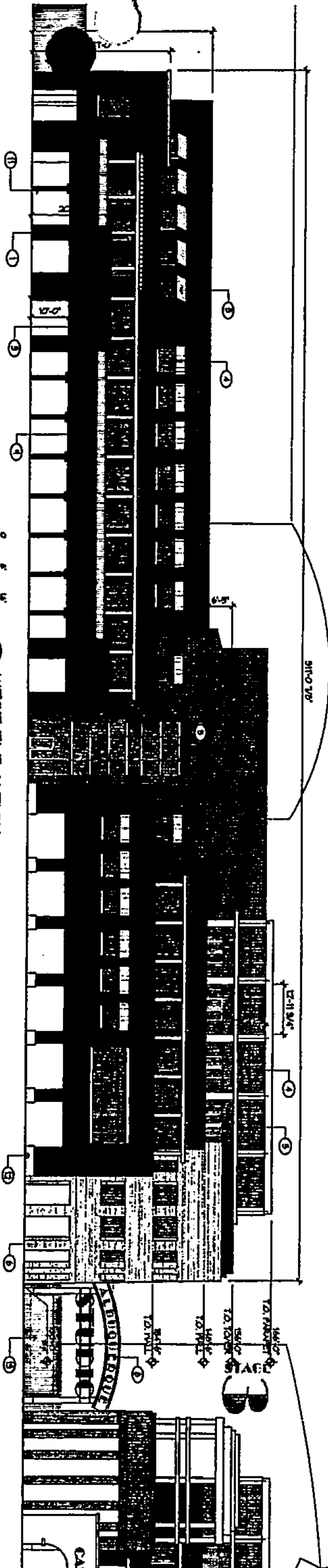
1. ALL SIGNAGE SHALL BE INTERNALLY LIT. FACES MOUNTED
 COLOR AND SIZE OF TRIMM SHALL BE REVIEWED
 BY ARCHITECT PRIOR TO INSTALLATION. ALL SIGNAGE SHALL
 BE REVIEWED BY ARCHITECT PRIOR TO INSTALLATION.
 AND THE ARCHITECT'S SIGN OFF.

KEYED NOTES

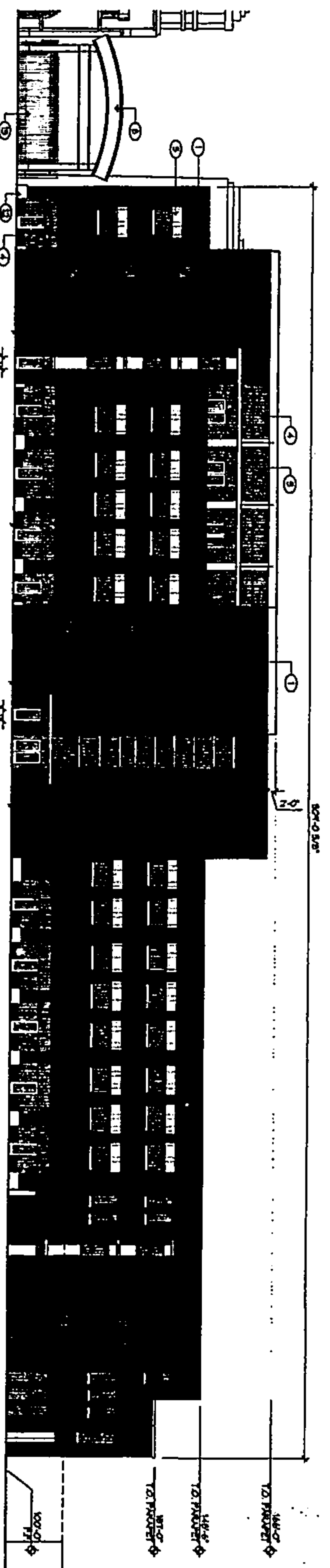
1. STUCCO FINISH, SEE COLOR LATCHED BELOW
2. PRECAST CONCRETE WALL, SEE COLOR LATCHED BELOW
3. ALUMINUM WINDOW/DOOR, CLASH AVOIDED
4. METAL WINDOW/DOOR, CLASH AVOIDED
5. STUCCO STONE VENEER, AVOID FINISH
6. STUCCO STONE VENEER, AVOID FINISH
7. STUCCO STONE VENEER, AVOID FINISH
8. STUCCO STONE VENEER, AVOID FINISH
9. STUCCO STONE VENEER, AVOID FINISH
10. STUCCO STONE VENEER, AVOID FINISH
11. PRECAST CONCRETE PANELS, SEE COLOR LATCHED BELOW
12. PRECAST CONCRETE PANELS, SEE COLOR LATCHED BELOW
13. PRECAST CONCRETE PANELS, SEE COLOR LATCHED BELOW

COLOR LEGEND

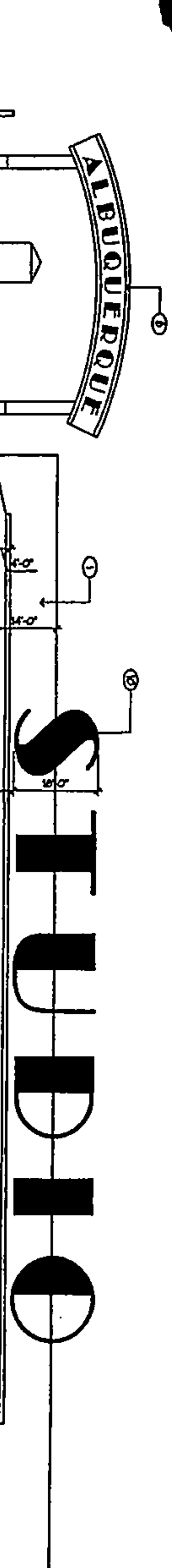
- COLOR 11: CREAM
- COLOR 12: DARK BROWN
- COLOR 13: MEDIUM BROWN
- COLOR 14: LIGHT BROWN
- COLOR 15: MEDIUM BROWN
- COLOR 16: MEDIUM BROWN
- COLOR 17: MEDIUM BROWN
- COLOR 18: MEDIUM BROWN
- COLOR 19: MEDIUM BROWN
- COLOR 20: MEDIUM BROWN
- COLOR 21: MEDIUM BROWN
- COLOR 22: MEDIUM BROWN
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- COLOR 24: MEDIUM BROWN
- COLOR 25: MEDIUM BROWN
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- COLOR 98: MEDIUM BROWN
- COLOR 99: MEDIUM BROWN
- COLOR 100: MEDIUM BROWN



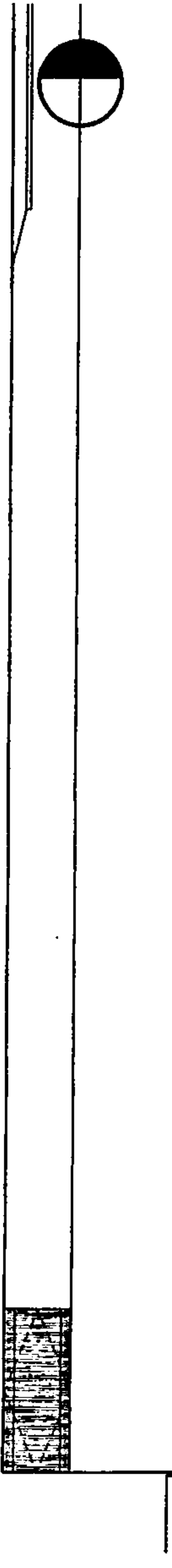
1 WEST ELEVATION



2 EAST ELEVATION



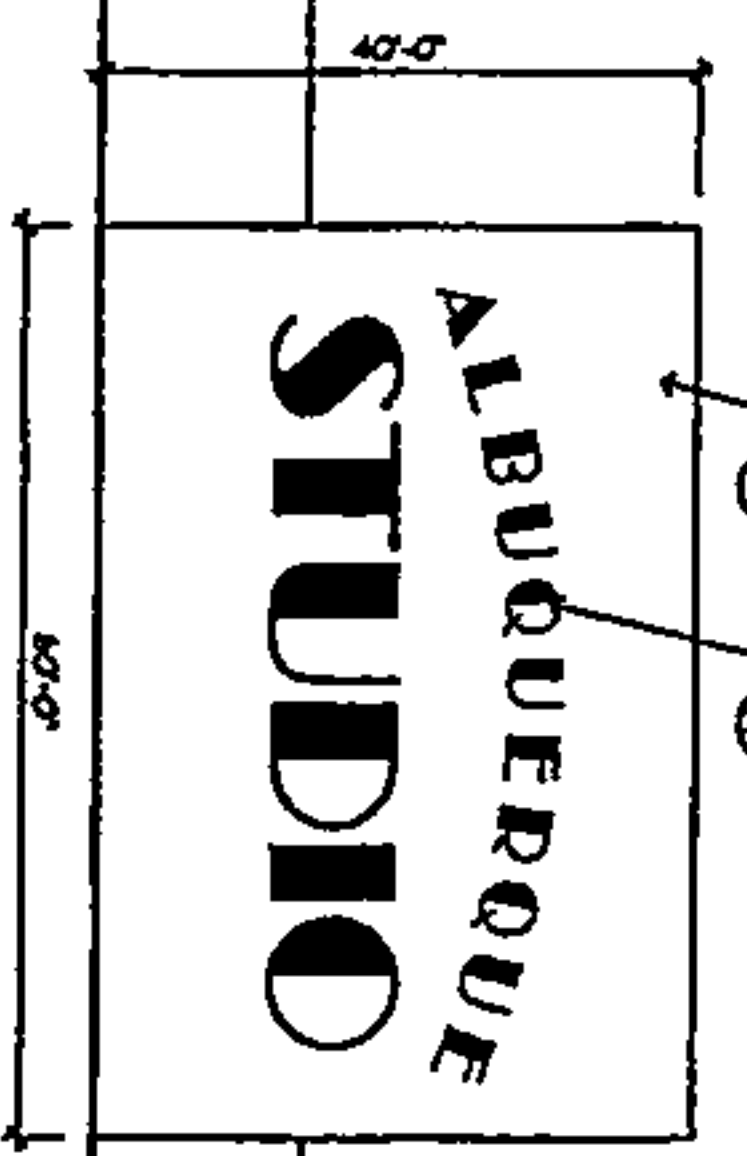
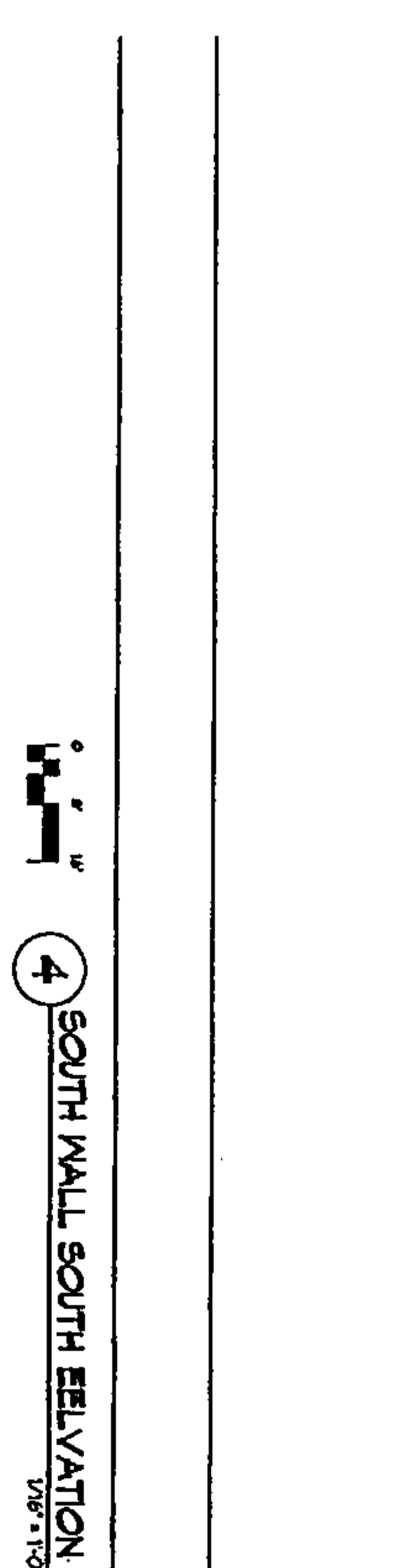
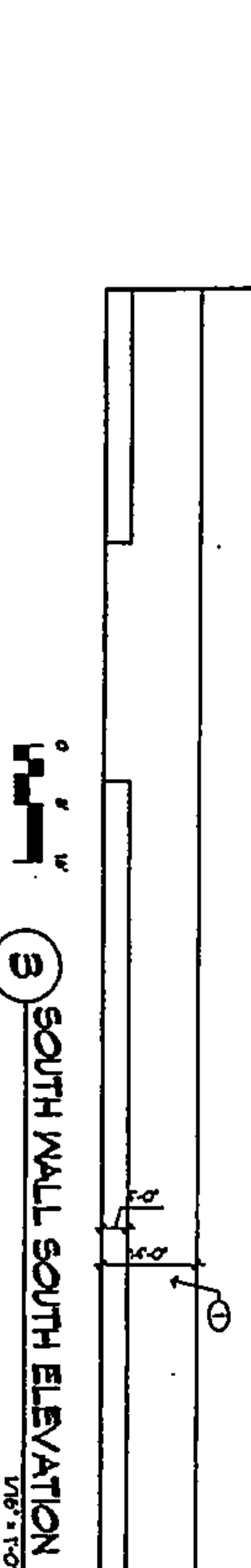
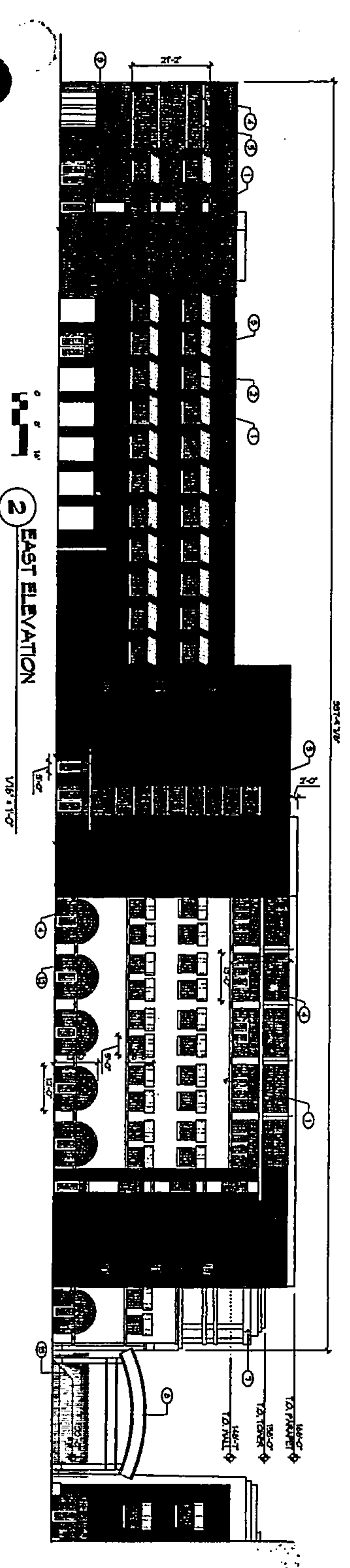
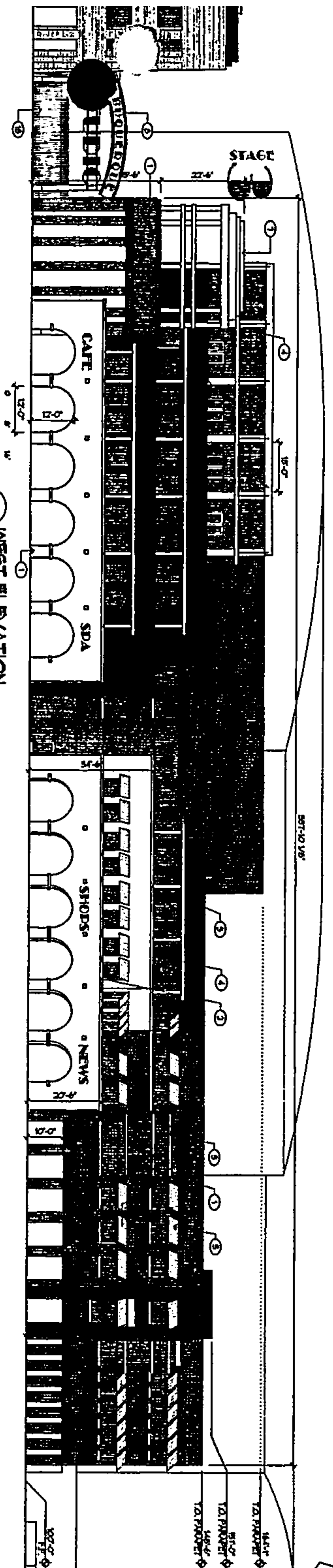
3 NORTHWEST GATE/WALL WEST ELEVATION



4 NORTHWEST GATE/WALL WEST ELEVATION



5 SOUTH ELEVATION



GENERAL NOTES

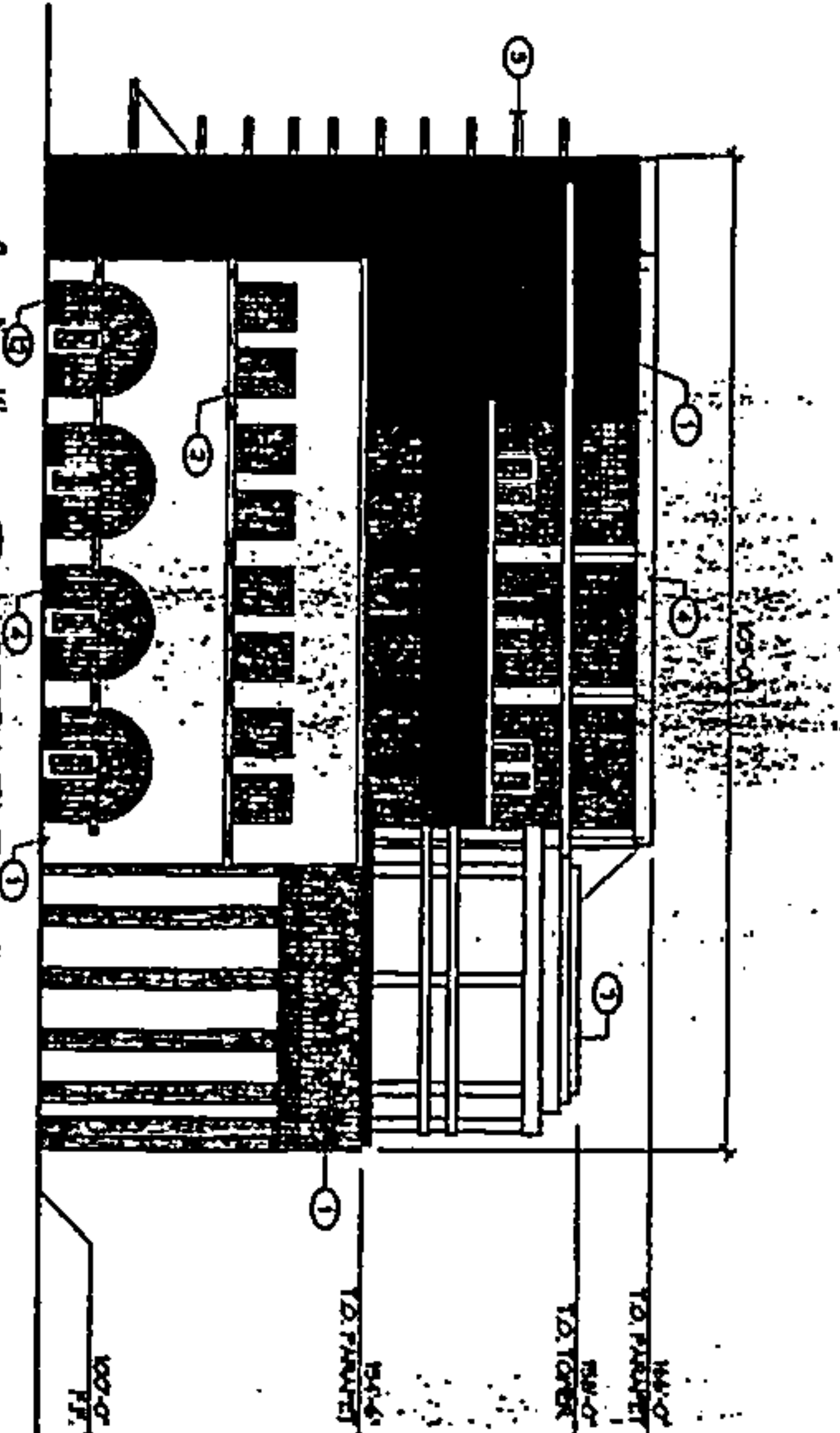
1. ALL SHAWNS SHALL BE IMPERMEABLE FLOOR FINISHES.
2. COLORS AND SIZE OF TRIMM SHALL BE REVIEWED AT ARCHITECT'S OFFICE PRIOR TO APPROVAL.
3. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.

KEYED NOTES

1. FINISH FLOOR, SEE COLOR LIBRARY BELOW
2. PRECAST CONCRETE WALL, SEE COLOR LIBRARY BELOW
3. PRECAST CONCRETE LINTEL, SEE COLOR LIBRARY BELOW
4. ALUMINUM WINDOW/DOOR, CLEAN ANODIZED
5. STEEL WINDOW/DOOR, CLEAN ANODIZED
6. STAINED BRICK VENEER, ANAVAL FINISH
7. STEEL STRUCTURE BRACING, SEE COLOR LIBRARY BELOW
8. STEEL STRUCTURE BRACING, SEE COLOR LIBRARY BELOW
9. SAWHOLE LOCATION AND SIZE TO BE DETERMINED WITH BRACING
10. SCALFING, STEEL, LINTEL, COLUMN AND ROOF TO BE DETERMINED WITH BRACING
11. PRECAST CONCRETE POSTS AND BEAMS, SEE COLOR LIBRARY BELOW
12. PRECAST CONCRETE MANHOLE, SEE COLOR LIBRARY BELOW
13. MANHOLE RISE 64 IN.

COLOR LEGEND

	COLOR 1: LIGHT GRAY
	COLOR 2: DARK TAN
	COLOR 3: MEDIUM BROWN
	COLOR 4: LIGHT BROWN
	COLOR 5: DARK BROWN



REVISIONS

NO. 1	DATE	BY	REASON

PROJECT INFORMATION

PROJECT NO. 06-05/05
 DRAWING NAME ELEVATIONS- MIXED-USE BUILDING B
 DATE 06-05/05
 DRAWN BY
 CHECKED BY
 PROJECT NO. 06028

Mesa Del Sol
 Film Studio
 Albuquerque, New Mexico

Architect

Dekker Perich Sabatini

1001 Alameda SE
 Suite 100
 Albuquerque, NM 87105
 505.261.1111
 505.261.1112
 info@dpstudio.com

Architect

collaborate
 include
 planning
 efficiently

FIGURE 12
SUBDIVISION IMPROVEMENTS
AGREEMENT- PUBLIC AND/OR PRIVATE
(Procedure B)

No. of Lots:
Nearest Major Streets

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 3rd day of August, 2006
by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation,
whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103,
and MESA DEL SOL, LLC ("Subdivider"), [state the type of business entity, for instance,
"New Mexico corporation," "general partnership," "joint venture," "individual," etc.], a
New Mexico limited liability company, whose address is 801 University, SE, Suite 200,
Albuquerque, New Mexico, 87106, and whose telephone number is 505-4500-3021, is
made in Albuquerque, New Mexico, and is entered into as of the date of final execution
of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of
Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:]
Tract 4-B, Plat of Mesa del Sol Tracts 4-A, 4-B & 4-C, recorded on June 22, 2006, in
the records of the Bernalillo County Clerk at Book 2006-C, pages 197 through _____
(the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the
name of the present real property owner exactly as shown on the real estate document
conveying title in the Subdivision to the present owner:] Pacifica Mesa Studios, LLC, a
California limited liability company ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or
Site Development Plan identified as Mesa del Sol Film Studio, Project No. 775482
describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance
("S.O.") and/or the Zoning Code, Section 40K, require the Subdivider, at no cost to the
City, to install certain public and/or private Improvements, which are reasonably related
to the development of the Subdivision, or to financially guarantee the construction of the
public and/or private Improvements as a prerequisite to approval of the final plat of, or
the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install
and complete the public and/or private improvements described in Exhibit A, the
required infrastructure listing ("Improvements"), to the satisfaction of the City, on or

before the 1st day of May, 2007 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 775482.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage to any member of the public as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insureds. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking and testing fees, and other related City fees and price adjustment for asphalt and concrete paving, if applicable, and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation and Sidewalk Ordinance, Street Restoration</u>	<u>As required per City approved estimate (Figure 7)</u>

(Note: The Subdivider must pay the City all City fees and price adjustments for asphalt and concrete paving, if applicable, which have been incurred during construction before the City will accept the public Improvements.)

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by Cartesian Surveys, and construction



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Bern. Co. AGRE

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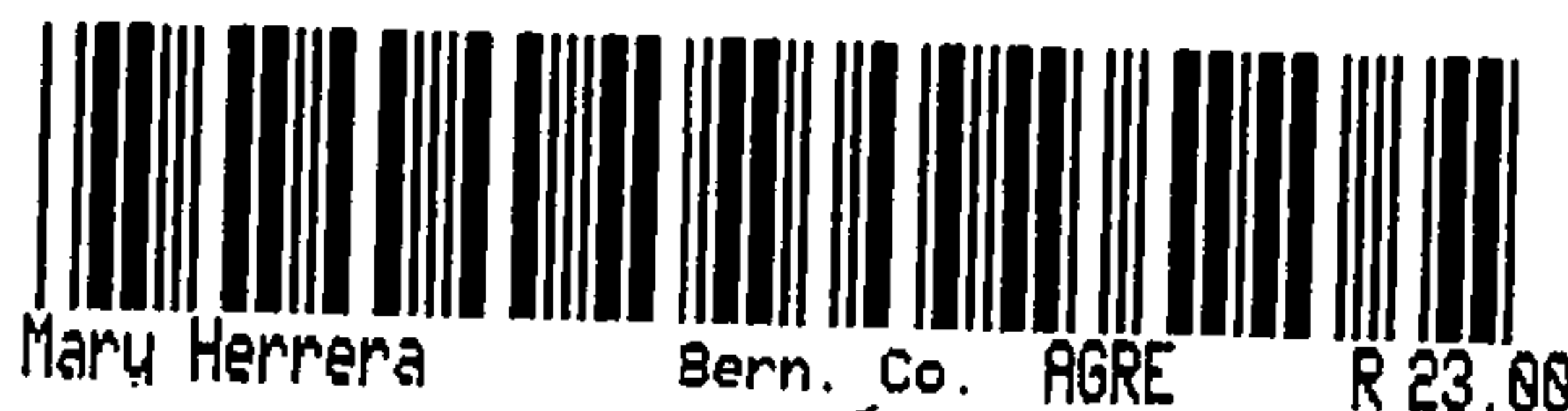
surveying of the private Improvements shall be performed by Cartesian Surveys. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Bohannan & Huston, Inc., and inspection of the private Improvements shall be performed by Bohannan & Huston, Inc. both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for any inspections performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Vinyard and Associates, and field testing of the private Improvements shall be performed by Vinyard and Associates, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City reserves the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a FDIC or FSLIC-insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.



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To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guarantee:"

Type of Financial Guaranty: Subdivision Bond: NO. 8852634

Amount: \$ 3,198,907.60

Name of Financial Institution or Surety providing Guaranty:

Fidelity and Deposit Company of Maryland

Date City first able to call Guaranty: _____

[Construction Completion Deadline]: May 1, 2007.

If Guaranty other than a Bond, last day City able to call Guaranty is:

_____, 20 _____

Additional information: _____

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange for a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guaranty which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.

8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:



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A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing functionally independent of any improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, and determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the Subdivider must submit the following documents to the City for review and approval:

(1) A revised Financial Guaranty in an amount of not less than 125 percent of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Certificate of Partial Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officers, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 N.M.S.A. 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable



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insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

11. Assignment. This Agreement shall not be assigned without the prior written consent of the City, the Guarantor and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider or the Guarantor's financial guaranty from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has posted a suitable financial guaranty and entered into a Subdivision Improvements Agreement with the City. Thereafter, when the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications and the Guarantor shall be jointly and severally liable to pay to and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. Any surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to the Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six (6) days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.



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17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the Subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.

Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER:

~~CITY OF ALBUQUERQUE~~

MESA DEL SOL, LLC
a New Mexico limited liability company

By: ~~_____~~
Director, Public Works

By: FC Covington Manager, LLC, a New Mexico limited liability company, Member

Approved by:
Raul Rouse
City Engineer

By: FC Mesa, Inc., a New Mexico corporation, Member

Date: June 29, 2006

H. R. 2100 *on*
8-2-06

By: *Harry Relkin*
Harry Relkin
Director Land Development

Date: June 29, 2006



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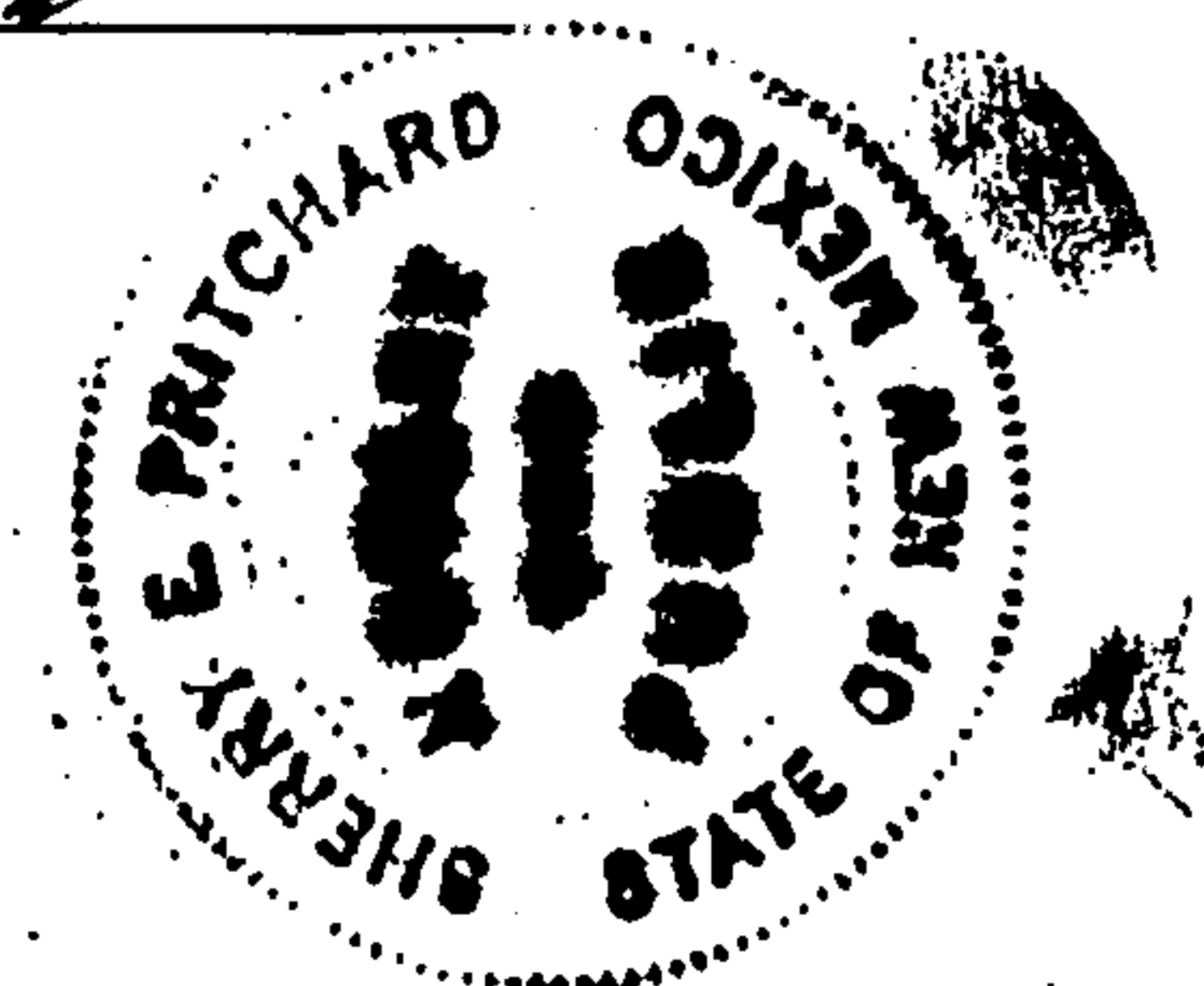
SUBDIVIDER'S NOTARY

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me on the 29TH day of June, 2006 by Harry Relkin, Director of Land Development of FC Mesa, Inc. a New Mexico corporation, as Member of FC Covington Manager, LLC, as Member of Forest City Covington, NM, LLC, a New Mexico limited liability company,

[Signature]
Notary Public

My Commission Expires:
12/20/09



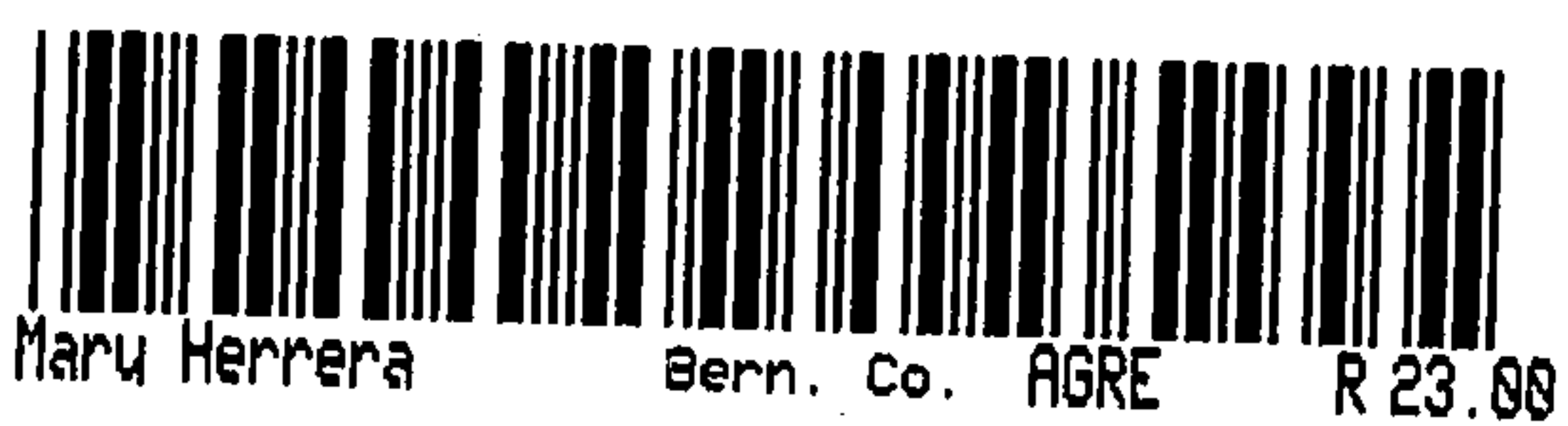
CITY'S NOTARY

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

City Engineer This instrument was acknowledged before me on August 3, 2006 by Richard Douro *Director, Public Works Department*, of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

Notary Public *Gloria D. Saavedra*

My Commission Expires: 11-25-2007



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Current DRC Project No. N.A.

Date Submitted: June 14, 2006
 Date Site Plan for Bldg Permit App: 6/17/06
 Date Site Plan for Sub. Approved: N.A.

Date Preliminary Plat Approved: N.A.

Date Preliminary Plat Expires: N.A.

DRB Project No. 1004818
 App # 06 DRB-00799

ORIGINAL

Figure 12
INFRASTRUCTURE LIST

EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Albuquerque Studios **SITE PLAN**
 (Mesa del Sol)

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC ROADWAY IMPROVEMENTS									
75482	775482	28' EOP-EOP	PAVED ROADWAY, NO CURBS, NO SIDEWALKS, NO STREET LIGHTS (5,100 LF APPROX)	UNIVERSITY BLVD. (EAST SIDE OF ROW)	SOUTH TERMINUS OF CITY PROJECT #732502 (UNIVERSITY BLVD. EXTENSION)	GATE 1 (NW CORNER OF SITE)	/	/	/
		46' F-F	PAVED ROADWAY, STRIPING, CURB AND GUTTER, SIDEWALK (10' MIN.), STREET LIGHTS (1,200 LF APPROX.)	UNIVERSITY BLVD.	GATE 1 (NW CORNER OF SITE)	FUTURE CONNECTOR ROAD A	/	/	/
PUBLIC SANITARY SEWER IMPROVEMENTS									
		24" DIA	SANITARY SEWER LINE, AS REQ'D	UNIVERSITY BLVD.	SOUTH TERMINUS OF CITY WO PROJECT # 775481 (SW CORNER OF ADVENT SITE)	END OF GRAVITY EXTENSION NORTH OF GATE 1 (NORTH OF NW CORNER OF SITE)	/	/	/
PUBLIC WATERLINE IMPROVEMENTS									
		24" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S, STUB OUTS TO STUDIO SITE	UNIVERSITY BLVD.	SOUTH TERMINUS OF CITY WO PROJECT # 775481 (SW CORNER OF ADVENT SITE)	FUTURE CONNECTOR ROAD A	/	/	/
PUBLIC/PRIVATE STORM DRAIN IMPROVEMENTS (NOT TO BE FINANCIALLY GUARANTEED)									
			TEMPORARY DRAINAGE IMPROVEMENTS (UPSTREAM RETENTION PONDS AND/OR SWALES TO PROTECT ROAD EXTENSION AND SITE)				/	/	/

75482

PRIVATE IMPROVEMENTS (NOT TO BE FINANCIALLY GUARANTEED)

TEMPORARY PRIVATE ONSITE LIFT/PUMP STATION AND FORCE MAIN EXTENDED TO PUBLIC GRAVITY SYSTEM IN UNIVERSITY BLVD.



AGENT/OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

JEFFERY L. MULBERY 6/14/2006 *Matson* 6/14/06 *Christina Sandoval* 6/14/06
 PREPARED BY: PRINT NAME DATE DRB CHAIR DATE PARKS & GENERAL SERVICES DATE

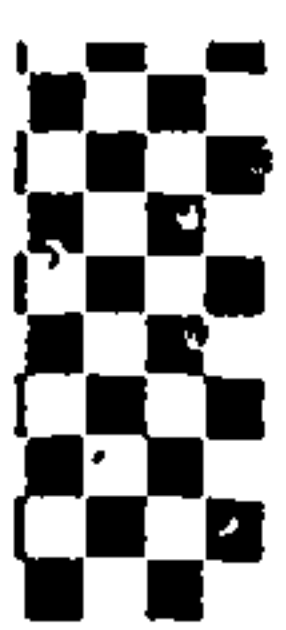
BOHANNAN HUSTON INC. *6-14-06* *Will* 6-14-06 *Bradley S. Bingham* 6/14/06
 FIRM: SIGNATURE TRANSPORTATION DEVELOPMENT DATE AMAFCA DATE
UTILITY DEVELOPMENT DATE CITY ENGINEER DATE

MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION DATE



DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



FINANCIAL GUARANTY AMOUNT

06/28/2006

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

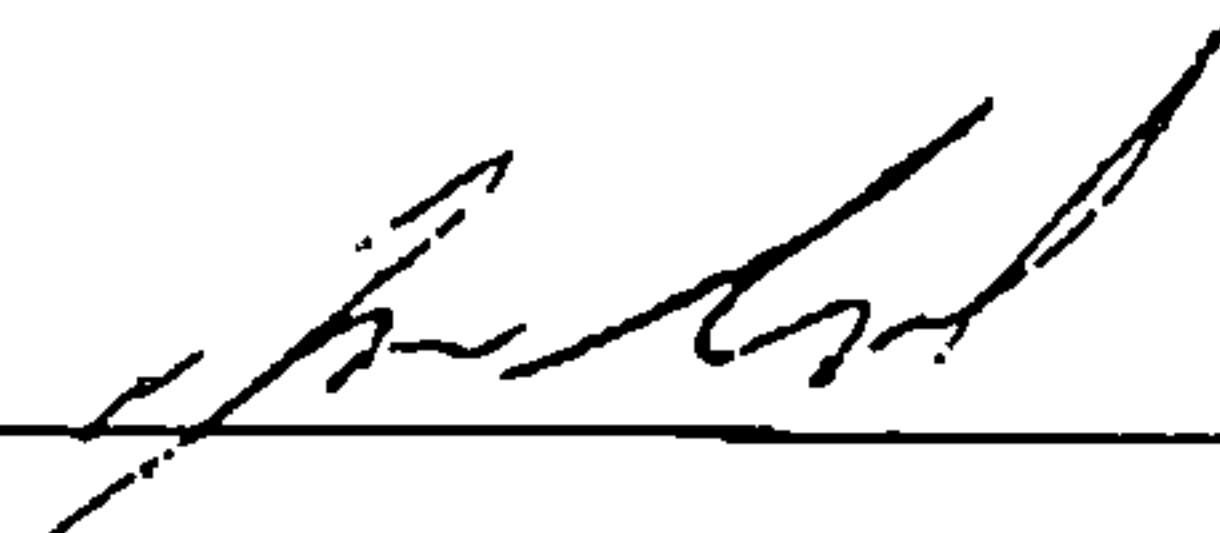
Project ID #: 775482, Mesa delSol-Albuq.StudiosPub Infrstr Imp, Phase/U

Requested By: Jeff Mulbery, PE w/ Bohannon Huston Inc.

Approved estimate amount:		\$2,006,787.00
Contingency Amount:	10.00%	\$200,678.70
Subtotal:		\$2,207,465.70
NMGRT	6.75%	\$149,003.94
Subtotal:		\$2,356,469.64
Engineering Fee	6.60%	\$155,527.00
Testing Fee	2.00%	\$47,129.39
Subtotal:		\$2,559,126.08
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$.00
TOTAL FINANCIAL GUARANTY REQUIRED		\$3,198,907.60

APPROVAL:

DATE:



6-28-2006

Notes: 10% contingency, plans not approved.

NATURE SAVER™ FAX MEMO 01616		Date: 6-28-06	Page: 1
To: James Top Miller	From: James Root		
Co./Dept: BHI	Co: CCA		
Phone: 823-1000	Phone: 924-3992		
Fax: 798-2933	Fax: 924-3440		

FIGURE 16

CIRCLE ONE:
SUBDIVISION BOND FOR:
SIA, SW'S, SPCL.AGRMT.

BOND NO. (SURETYS NO.): 8852634

CONTACT PERSON'S NAME: _____

SUBDIVISION IMPROVEMENTS BOND

KNOW ALL MEN BY THESE PRESENTS: That we Mesa del Sol, LLC ("SUBDIVIDER") a [state type of business entity, for instance, "New Mexico corporation," "general partnership", "joint venture", "individual", etc.:] New Mexico limited liability company as "Principal", and Fidelity and Deposit Company of Maryland ("NAME OF SURETY"), a corporation organized and existing under and by virtue of the laws of the State of MD, and authorized to do business in the State of New Mexico, as "Surety," whose address is 3910 Keswick Road, Baltimore, MD, 21203, and whose telephone number is 614-734-3386, are held and firmly bound unto the CITY OF ALBUQUERQUE in the penal sum of Three Million One Hundred Ninety-Eight Thousand Nine Hundred Seven and 60/100 Dollars (WRITTEN AMOUNT) Dollars, \$3,198,907.60 (AMOUNT OF FIGURES), as amended by change orders approved by the Surety or changes to the infrastructure list approved by the City Development Review Board, the payment of which is well and truly to be made, and each of us bind ourselves, our and each of our heirs, executors, administrators, successors and assigns, jointly and severally, and firmly by these presents.

NOW, THEREFORE, the condition of the above obligation is such that:

WHEREAS, the Principal is the owner and/or is interest in or is developing land and premises known as Mesa del Sol Film Studio, City Project No. 775482 (Name of Subdivision and City Project No; and

WHEREAS, said Subdivision is subject to the provisions and conditions of the ordinance of the CITY OF ALBUQUERQUE known as the Subdivision Ordinance, the requirements of which include the installation of various other improvements by the Principal; and

WHEREAS, the Subdivision Ordinance also requires the Principal to install and construct the following improvements at the Subdivision: [list the improvements, e.g., water, sewer, pavement, sidewalks:] public roadway improvements - University Blvd.; public sanitary sewer improvements; public waterline improvements and public and private storm drain improvements ("IMPROVEMENTS")

All construction shall be performed in accordance with the Agreement to Construct Public and/or Private Subdivision Improvements Agreement entered into between Mesa del Sol, LLC ("NAME OF SUBDIVIDER") and the CITY OF ALBUQUERQUE, as recorded in the office of the Clerk of Bernalillo County, New Mexico, in Book Misc. (leave blank) _____, pages _____ through _____, as amended by change orders or amendments to the Agreement.

NOW, THEREFORE, if the Principal completes construction of the Improvements and facilitates and performs the work herein above specified to be performed, all on or before [Construction Completion Deadline established in Agreement or as amended; May 1, 2007 ("the Construction Completion Deadline"), then this

obligation shall be null and void; if the Principal does not complete construction by or before the Construction Completion Date, the City may call on this obligation until released by the City.

Figure 16 - Page 1

07/02

IN WITNESS WHEREOF, this bond has been executed this 29TH day of June, 2006.

SUBDIVIDER:

MESA DEL SOL, LLC, a New Mexico limited liability company,

By: FC Covington Manager, LLC, a New Mexico limited liability company, Member

By: FC Mesa, Inc., a New Mexico corporation, Member

By: Harry Relkin
Harry Relkin

Director Land Development

Date: June 29TH 2006

SURETY: FIDELITY AND DEPOSIT COMPANY OF MARYLAND

By [signature:] Linda Iser

Name: Linda Iser

Title: Attorney-in-Fact

Dated: June 29, 2006

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

Subscribed and sworn to before me this 29TH day of June, 2006 by, Harry Relkin, Director of Land Development, of FC Mesa, Inc., a New Mexico corporation, as member of FC Covington Manager, LL, a New Mexico limited liability company, as member of Mesa del Sol, LLC, a New Mexico limited liability company.

Sherry E. Hutchard
Notary Public

My Commission Expires:
12/20/09

*NOTE: Power of Attorney for Surety must be attached.



**Power of Attorney
FIDELITY AND DEPOSIT COMPANY OF MARYLAND**

KNOW ALL MEN BY THESE PRESENTS: That the FIDELITY AND DEPOSIT COMPANY OF MARYLAND, a corporation of the State of Maryland, by WILLIAM J. MILLS, Vice President, and ERIC D. BARNES, Assistant Secretary, in pursuance of authority granted by Article VI, Section 2, of the By-Laws of said Company, which are set forth on the reverse side hereof and are hereby certified to be in full force and effect on the date hereof, does hereby nominate, constitute and appoint Sandra MARTINEZ, Linda ISER, Kathleen J. MAILES, Karen DANIEL, Susan J. PREIKSA, Susan A. WELSH, Robert E. DUNCAN, Joellen M. MENDOZA, James A. CUTHBERTSON and Geoffrey E. HEEKIN, all of Chicago, Illinois, EACH its true and lawful agent and Attorney-in-Fact, to make, execute, seal and deliver, for, and on its behalf as surety, and as its act and deed: any and all bonds and undertakings, and the execution of such bonds or undertakings in pursuance of these presents, shall be as binding upon said Company, as fully and amply, to all intents and purposes, as if they had been duly executed and acknowledged by the regularly elected officers of the Company at its office in Baltimore, Md., in their own proper persons. This power of attorney revokes that issued on behalf of Sandra MARTINEZ, Linda ISER, Kathleen J. MAILES, Karen DANIEL, Susan J. PREIKSA, Susan A. WELSH, Robert E. DUNCAN, Joellen M. MENDOZA, James A. CUTHBERTSON, Geoffrey E. HEEKIN, dated April 17, 2003.

The said Assistant Secretary does hereby certify that the extract set forth on the reverse side hereof is a true copy of Article VI, Section 2, of the By-Laws of said Company, and is now in force.

IN WITNESS WHEREOF, the said Vice-President and Assistant Secretary have hereunto subscribed their names and affixed the Corporate Seal of the said FIDELITY AND DEPOSIT COMPANY OF MARYLAND, this 24th day of November, A.D. 2004.

ATTEST:

FIDELITY AND DEPOSIT COMPANY OF MARYLAND



Eric D. Barnes

Eric D. Barnes Assistant Secretary

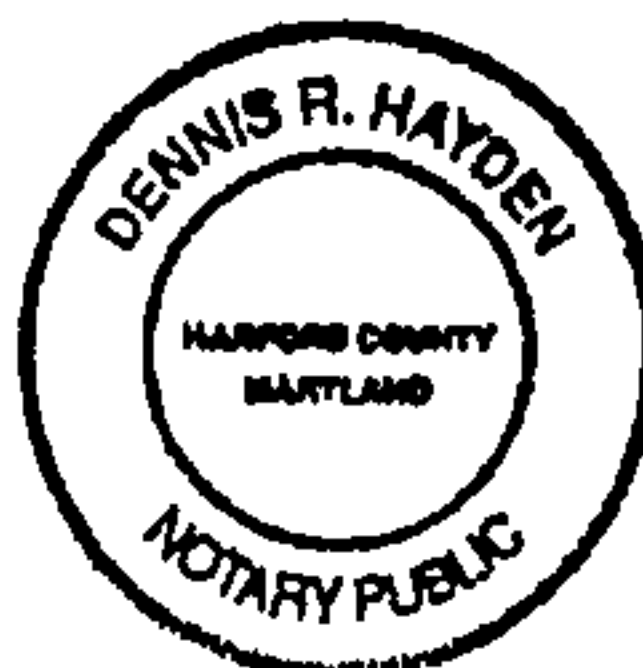
William J. Mills

By: William J. Mills Vice President

State of Maryland }
City of Baltimore } ss:

On this 24th day of November, A.D. 2004, before the subscriber, a Notary Public of the State of Maryland, duly commissioned and qualified, came WILLIAM J. MILLS, Vice President, and ERIC D. BARNES, Assistant Secretary of the FIDELITY AND DEPOSIT COMPANY OF MARYLAND, to me personally known to be the individuals and officers described in and who executed the preceding instrument, and they each acknowledged the execution of the same, and being by me duly sworn, severally and each for himself depose and saith, that they are the said officers of the Company aforesaid, and that the seal affixed to the preceding instrument is the Corporate Seal of said Company, and that the said Corporate Seal and their signatures as such officers were duly affixed and subscribed to the said instrument by the authority and direction of the said Corporation.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my Official Seal the day and year first above written.



Dennis R. Hayden

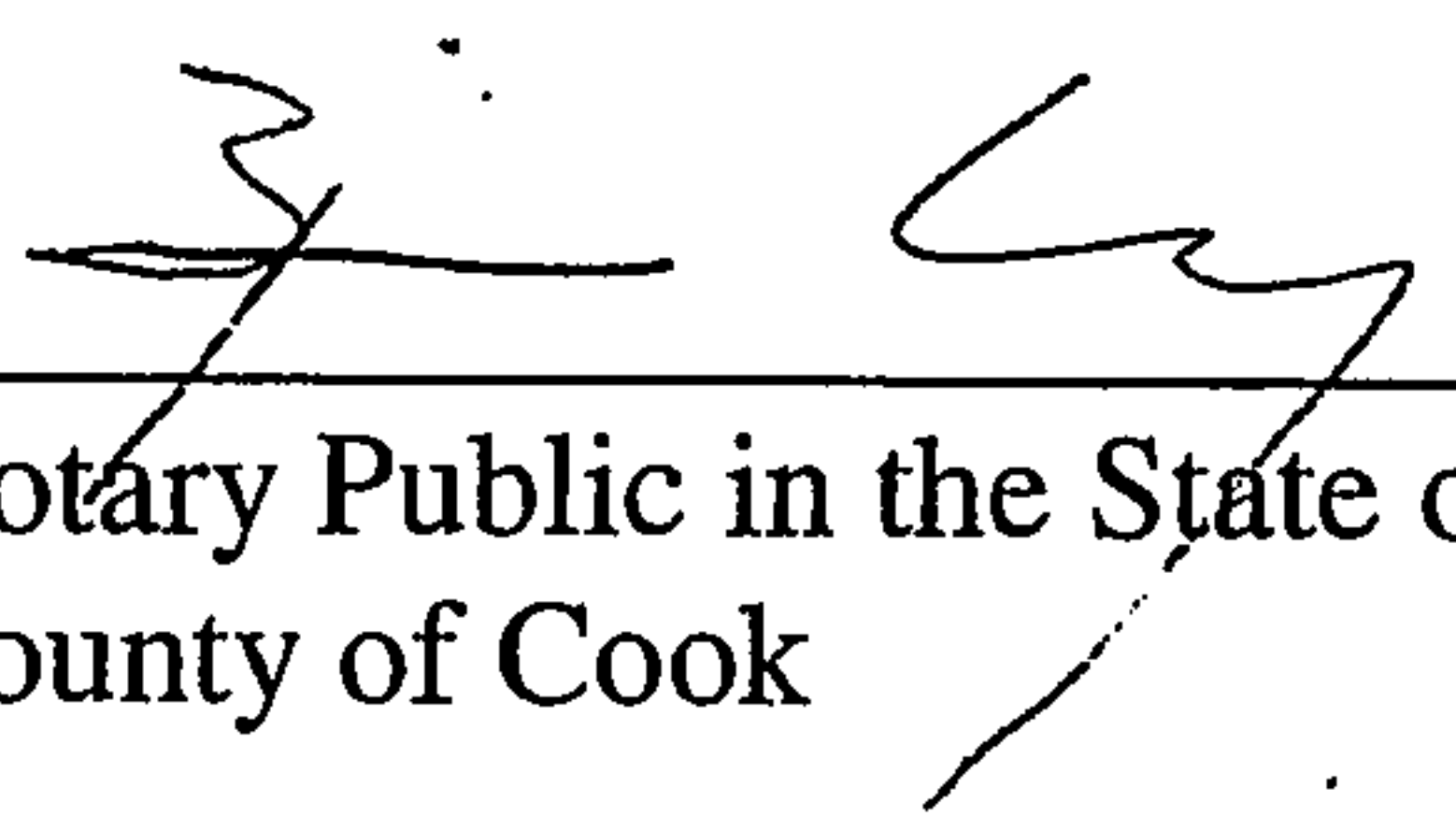
Dennis R. Hayden Notary Public
My Commission Expires: February 1, 2009

ACKNOWLEDGEMENT BY SURETY

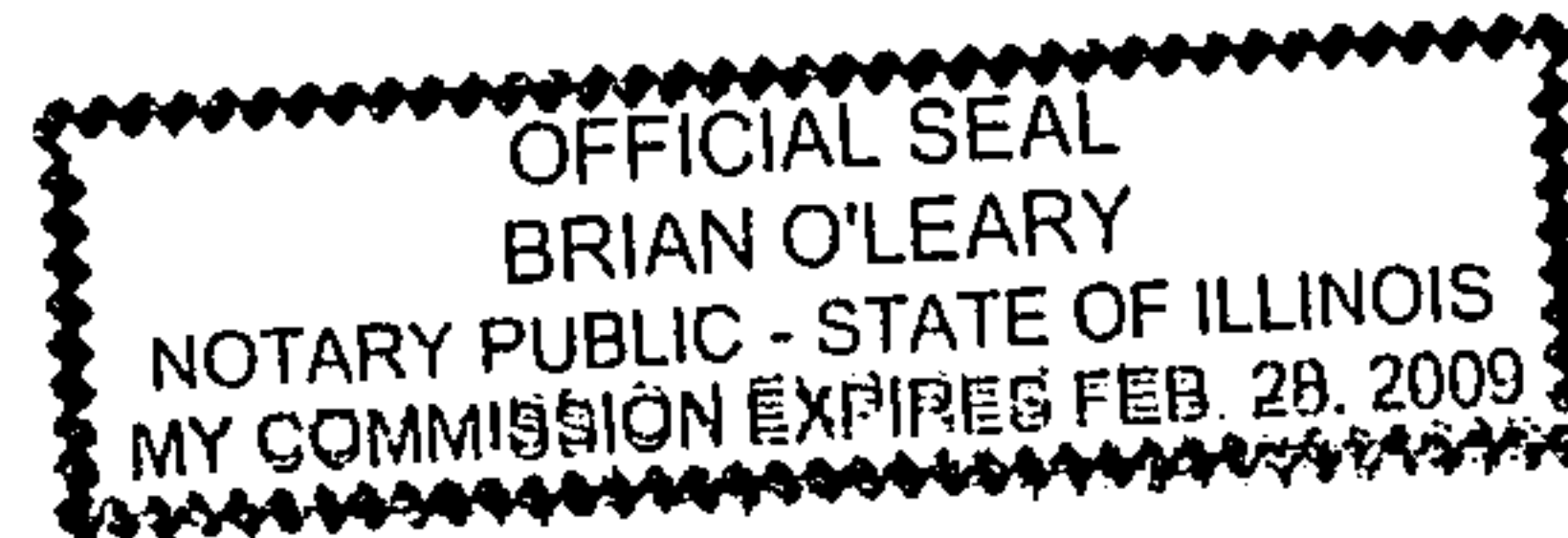
STATE OF ILLINOIS
COUNTY OF COOK

On this 29th day of June, 2006, before me, Brian O'Leary, a Notary Public, within and for said County and State, personally appeared Linda Iser to me personally known to be the Attorney-in-Fact of and for Fidelity and Deposit Company of Maryland acknowledged that she executed the said instrument as the free act and deed of said Company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, at my office in the aforesaid County, the day and year in this certificate first above written.



Notary Public in the State of Illinois
County of Cook





FIDELITY AND DEPOSIT COMPANY
OF MARYLAND
3910 KESWICK ROAD, BALTIMORE, MD 21203

Statement of Financial Condition
As Of December 31, 2004

ASSETS	
Bonds	\$ 139,004,313
Stocks	38,155,527
Cash in Banks and Offices and Short Term Investments	113,921
Reinsurance Recoverable	21,253,764
Other Accounts Receivable	17,975,790
TOTAL ADMITTED ASSETS	\$ 216,503,315
LIABILITIES, SURPLUS AND OTHER FUNDS	
Reserve for Taxes and Expenses	\$ 235,362
Ceded Reinsurance Premiums Payable	37,528,151
TOTAL LIABILITIES	\$ 37,763,513
Capital Stock, Paid Up	\$ 5,000,000
Surplus	173,739,802
Surplus as regards Policyholders	178,739,802
TOTAL	\$ 216,503,315

Securities carried at \$20,480,048 in the above statement are deposited as required by law.

Securities carried on the basis prescribed by the National Association of Insurance Commissioners. On the basis of December 31, 2004 market quotations for all bonds and stocks owned, the Company's total admitted assets would be \$218,087,578 and surplus as regards policyholders \$180,324,065.

I, DAVID A. BOWERS, Corporate Secretary of the FIDELITY AND DEPOSIT COMPANY OF MARYLAND, do hereby certify that the foregoing statement is a correct exhibit of the assets and liabilities of the said Company on the 31st day of December, 2004.



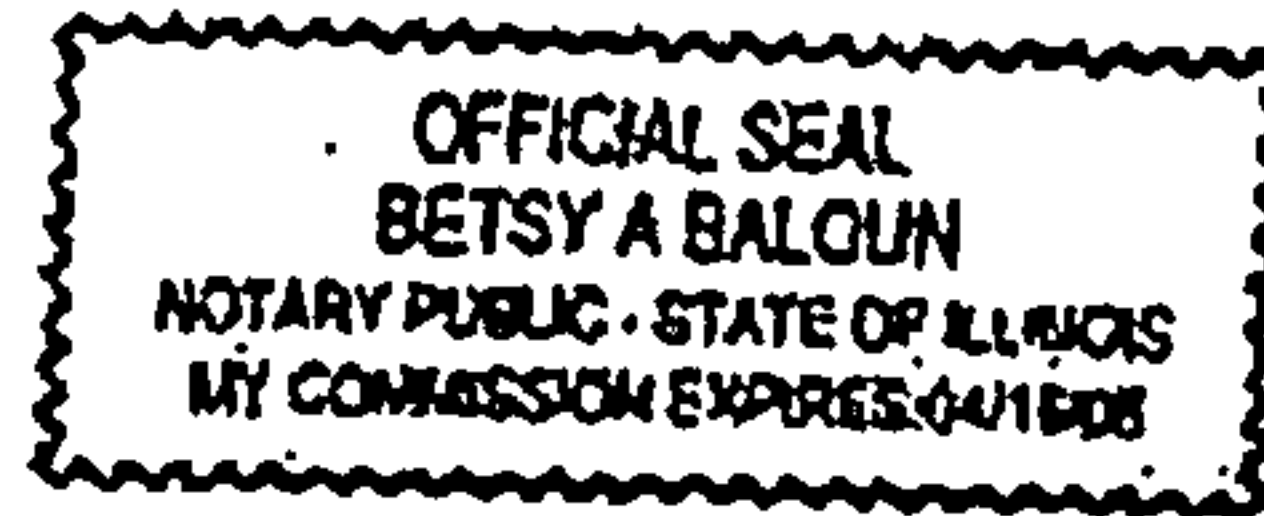
Corporate Secretary

State of Illinois }
City of Schaumburg } SS:

Subscribed and sworn to, before me, a Notary Public of the State of Illinois, in the City of Schaumburg, this 5th day of April, 2005.



Notary Public



Jun 22 06 01:53p

Jamie Inforzato

909-697-6705

p. 2
2/2

Jun-22-2006 05:41 PM

Mesa Del Sol / FCC

5052422978

MESA DEL SOL, LLC

RESOLUTION

WHEREAS, Mesa Del Sol, LLC (the "Company"), a limited liability company formed under the laws of New Mexico, is at the present time a single member LLC; and

WHEREAS, FC Covington Manager, LLC ("Manager"), a limited liability company formed under the laws of New Mexico, is at the present time the sole member of the Company.


BE IT RESOLVED, that the Manager be and hereby is authorized to act on behalf of the Company to execute and deliver all documents, instruments and agreement relating to the sale by the Company of approximately 53.293 acres of land to Pacifica Mesa Studios, LLC, aka Culver Studios for \$5,445,000, and to do all things necessary or desirable to complete said transaction; and

BE IT FURTHER RESOLVED, that FC Mesa, Inc., a New Mexico corporation, a member of the Manager, acting through Michael Daly, its Chief Operating Officer, and Harry Reikin, Director of Land Development, or either one of them acting alone, be and hereby is authorized to execute and deliver all documents, instruments and agreements necessary or desirable to complete said transaction.

FOREST CITY COVINGTON NM, LLC,
a New Mexico limited liability company

By: FC Covington Manager, LLC,
its Sole Member

By: Covington NM, LLC, a Nevada
limited liability company

By: 
Name: HARRY REIKIN
Title: Director of Land Development

By: FC Mesa, Inc.,
a New Mexico corporation, Member

By: 
Michael Daly
Chief Operating Officer

POWER OF ATTORNEY

NOTE: Must be signed and notarized by the owner if the subdivider is not the owner of Subdivision.

STATE OF CALIFORNIA)
) ss.
COUNTY OF LOS ANGELES)



[State name of present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] PACIFICA MESA STUDIOS, LLC, a California limited liability company ("Owner"), of [address:] c/o Hal Katersky, 9336 West Washington Blvd. [city:] Culver City, [state:] California [zip code:] 92032 hereby makes, constitutes and appoints [name of subdivider:] Mesa del Sol, LLC, a New Mexico limited liability company, ("Subdivider") as our true and lawful attorney in fact, for me and in my name, place and stead, giving unto the Subdivider full power to do and perform all and every act that I may legally do through an attorney in fact, and every proper power necessary to meet the City of Albuquerque's ("City") subdivision requirements regarding the real estate owned by us and described in Section 1 of the Subdivision Improvements Agreement ("Agreement") above, including executing the Agreement and related documents required by the City, with full power of substitution and revocation, hereby ratifying and affirming what the Subdivider lawfully does or causes to be done by virtue of the power herein conferred upon the Subdivider.

This power of attorney can only be terminated: (1) by a sworn document signed and notarized by the Owner, which shall be promptly delivered to the City Planner in order to provide notice to City of the termination of this power of attorney; or (2) upon release of the Agreement by the City.


NOTE: Alternate wording may be acceptable, but must be submitted to the City Legal Department for review and approval before the final contract package is submitted to the City for review. The City may require evidence of ownership and/or authority to execute the Power of Attorney, if the Owner is not the Subdivider. If Owner is a corporation, the Power of Attorney must be signed by the president or by someone specifically empowered by the Board of Directors, in which case the corporate Secretary's certification and a copy of the Board's resolution empowering execution must accompany this document.

OWNER

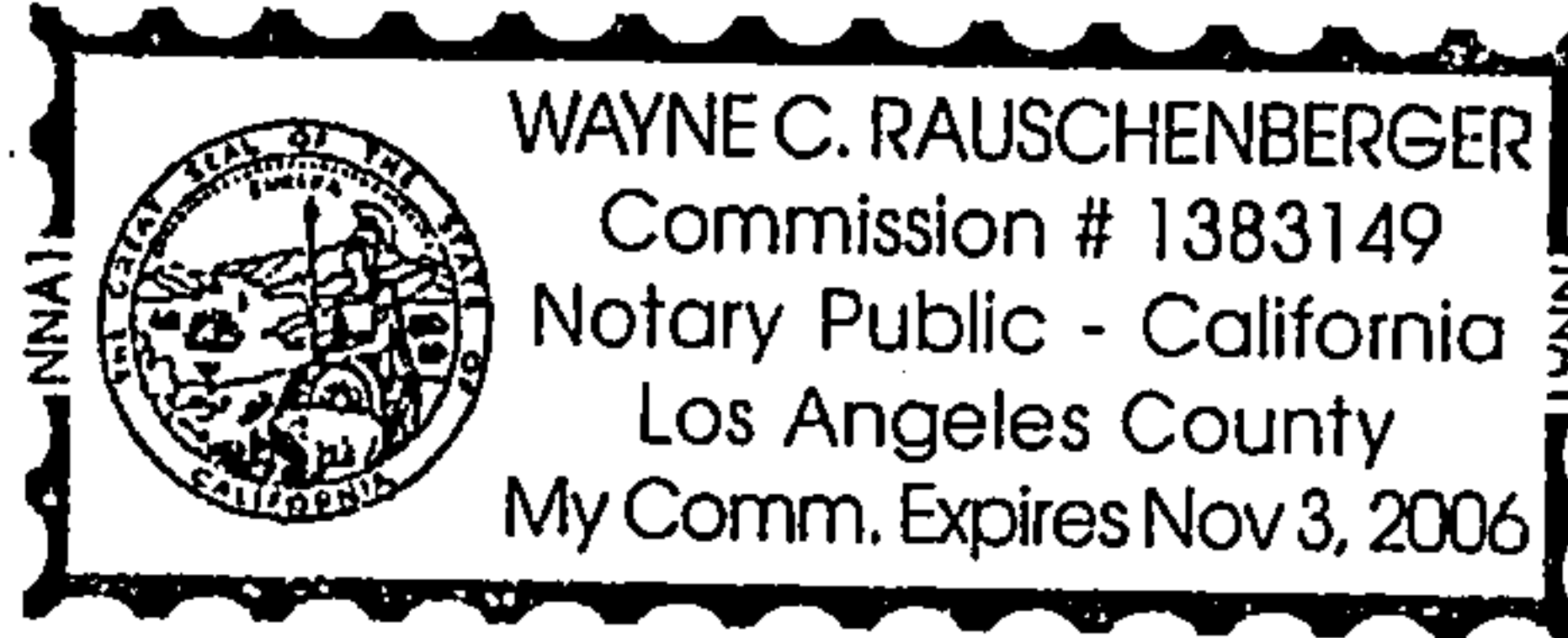
PACIFICA MESA STUDIOS, LLC, a California limited liability company

By: 
Its: 

~~June~~ ^{July} The foregoing Power of Attorney was acknowledged before me 7th day of ~~June~~, 2006 by [name of person:] HAL KATERSKY, [title or capacity, for instance "President":] MANAGER [Owner:] of Pacifica Mesa Studios, LLC, a California corporation.


Notary Public

My Commission Expires:
NOV. 3, 2006



H:\forestcity\jam\Culver Studio\Legal\culverpoa.doc\6/29/2006 5:42 PM

70039-005-02

FIGURE 18

18 EXTENSION AGREEMENT
Procedure "B"
PROJECT NO. 7154.82

This Agreement made this 8th day of May, 2007, by and between the City of Albuquerque, New Mexico, a municipal corporation ("City") and (name of developer/subdivider:) MESA DEL SOL, LLC. ("Developer"), whose address is 801 UNIVERSITY OF STATE 200, ABO, NM 87106 and whose telephone number is 400-3021 is made in Albuquerque, New Mexico and is entered into as of the date of final execution of this Agreement.

WHEREAS, the City and the Developer entered into an Agreement on the 3 day of August 2006, which was recorded in the office of the Clerk of Bernalillo County, New Mexico on August 3, 2006, at Book Misc. 1121, pages 6249 through XXV, ("Earlier Agreement"), by which the Developer agreed to complete the construction of certain infrastructure improvements on or before the 1 day of May 2007; and

WHEREAS, the Earlier Agreement was amended by an Extension Agreement dated _____ recorded _____, in Book Misc. _____, pages _____ through _____, records of Bernalillo County, New Mexico, extending the construction deadline to _____; and

WHEREAS, it appears that the Developer will be unable to complete construction of the improvements by the deadline specified in the Agreement; and

WHEREAS, the City is willing to grant Developer an extension of time in which to complete construction of all or part of the improvements, provided the Developer posts an acceptable financial guaranty, as required by the City's Subdivision Ordinance and the Development Process Manual; and

WHEREAS, the Developer is able to provide the required financial guaranty;

NOW THEREFORE in consideration of the above and the mutual promises contained herein, the parties agree:

1. The required completion date for construction of the improvements, as set forth in the attached Exhibit A, is extended (Complete either A or B:)

A. for all improvements, the 3 day of August, 2008.

B. on portions of the improvements as follows:
IMPROVEMENTS COMPLETION DATE

<u>IMPROVEMENTS</u>	<u>COMPLETION DATE</u>
_____	_____
_____	_____
_____	_____



2. With this Extension Agreement, Developer has provided the City with the following financial guaranty:

Type of Financial Guaranty: Rider to Bond # 88521034
Amount: \$ 350,874.25 Name of Financial Institution or Surety providing Guaranty: Fidelity and Deposit Company of Maryland
Date City first able to call Guaranty (Construction Completion Deadline): August 3, 2008
If Guaranty other than a Bond, last day City able to call Guaranty is: October 3, 2008
Additional information: _____

3. The parties agree that all terms and conditions of the Earlier Agreement not in conflict with this Extension Agreement shall remain valid, in force, and binding upon the parties. By executing this Agreement, the parties only intention is to extend the construction completion deadline established in the Earlier Agreement and establish a revised financial guaranty for the benefit of the City.

Executed on the date stated in the first paragraph of this Agreement.

DEVELOPER:

By (Signature): _____
Name: _____
Title: _____
Dated: _____

CITY OF ALBUQUERQUE:
[Signature]
City Engineer
Dated: 5-08-07

See attached

[Signature]

5-7-07



Mesa Del Sol, LLC., a
New Mexico limited liability company

By: FC Covington Manager, LLC, a New Mexico
Limited liability company, Member

City of Albuquerque:

By: FC Mesa, Inc., a New Mexico
Corporation, Member

By: _____
Chief Engineer

Dated: _____

By: _____
Michael D. Daly
Chief Operating Officer

DEVELOPER'S NOTARY

STATE OF NEW MEXICO)
)ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on the 26 day of April, 2007, by Michael D. Daly, Chief Operating Officer of FC Mesa, Inc., a New Mexico corporation, Member, of FC Covington Manager, LLC, a New Mexico limited liability company, Member of Mesa del Sol, LLC, a New Mexico limited liability company.

Debra J. Gleason
Notary Public

My Commission Expires: 6-6-10



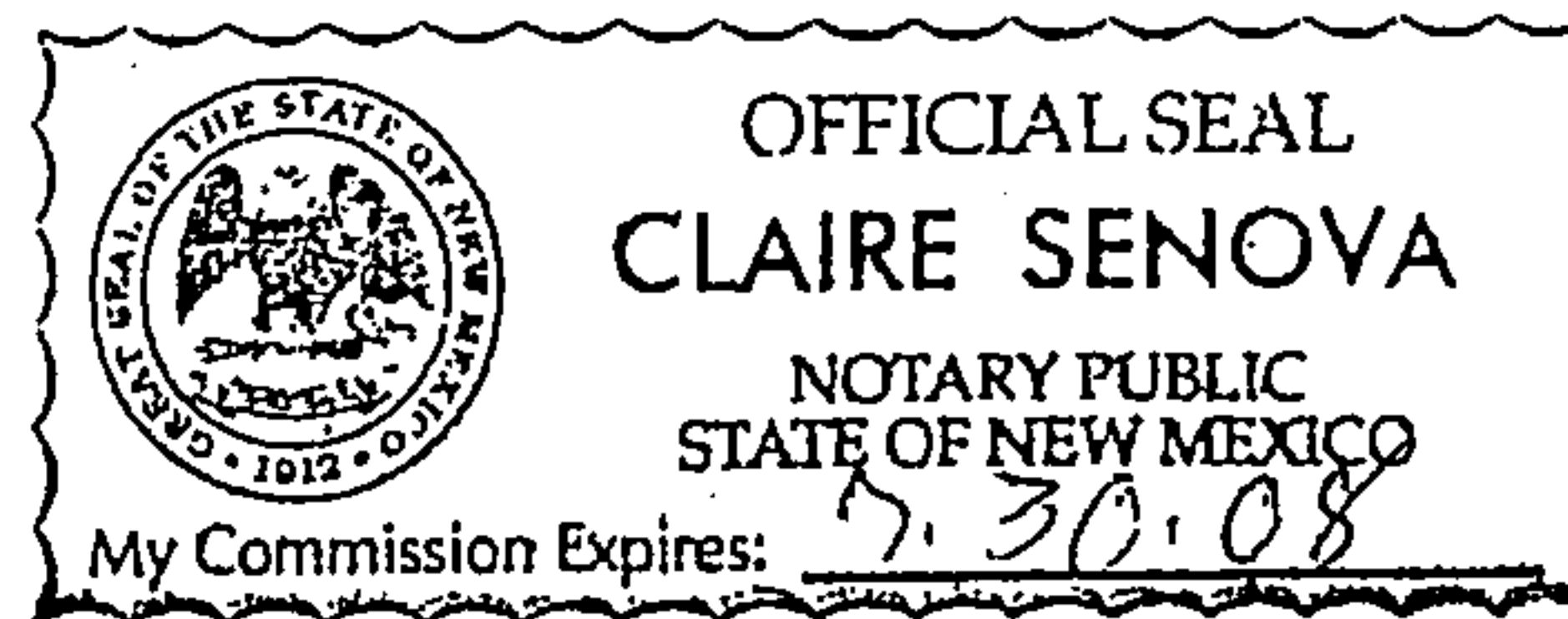
CITY'S NOTARY

STATE OF NEW MEXICO)
)ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on this 8 day of May, 2007 by Richard Duarte, Engineer, City of Albuquerque, a municipal corporation, on behalf of said corporation.

Claire Senova
Notary Public

My Commission Expires: 7.30.2008



Maggie Toulouse

Bern. Co. AGRE

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Page: 3 of 3
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Bk-A137 Pg-632

RIDER

To be attached to and form part of:

Bond Number 8852634
dated 6/29/2006

issued by the FIDELITY AND DEPOSIT COMPANY OF MARYLAND
in the amount of \$3,198,907.53

on behalf of MESA DEL SOL, LLC
(Principal)

and in favor of CITY OF ALBUQUERQUE
(Obligee)

Now therefore, it is agreed that in consideration of the premium charged, the attached bond shall be amended as follows:

The bond amount shall be amended:
FROM: \$3,198,907.53

TO: \$850,874.25

The Construction Completion Deadline shall be amended:
FROM: May 1, 2007

TO: August 3, 2008

It is further understood and agreed that all other terms and conditions of this bond shall remain unchanged.

This Rider is to be Effective this 26th day of April, 2007.

Signed, Sealed & Dated this 26th day of April, 2007.

MESA DEL SOL, LLC

By: _____
(Principal)

FIDELITY AND DEPOSIT COMPANY OF MARYLAND
(Surety)

By: Susan A. Welsh
Susan A. Welsh, Attorney-in-Fact



Power of Attorney
FIDELITY AND DEPOSIT COMPANY OF MARYLAND

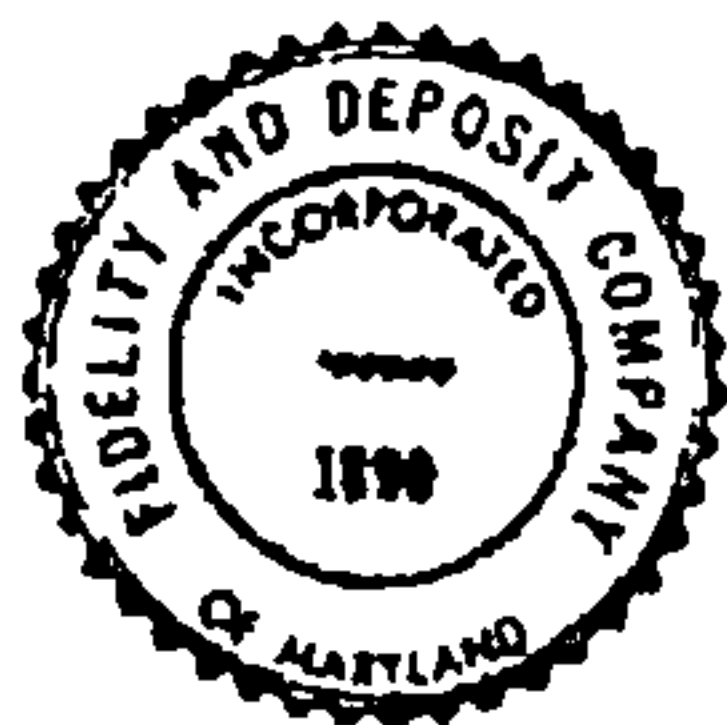
KNOW ALL MEN BY THESE PRESENTS: That the FIDELITY AND DEPOSIT COMPANY OF MARYLAND, a corporation of the State of Maryland, by WILLIAM J. MILLS, Vice President, and ERIC D. BARNES, Assistant Secretary, in pursuance of authority granted by Article VI, Section 2, of the By-Laws of said Company, which are set forth on the reverse side hereof and are hereby certified to be in full force and effect on the date hereof, does hereby nominate, constitute and appoint **Sandra MARTINEZ, Linda ISER, Kathleen J. MAILES, Karen DANIEL, Susan J. PREIKSA, Susan A. WELSH, Robert E. DUNCAN, Joellen M. MENDOZA, James A. CUTHBERTSON and Geoffrey E. HEEKIN, all of Chicago, Illinois, EACH** its true and lawful agent and Attorney-in-Fact, to make, execute, seal and deliver, for, and on its behalf as surety, and as its act and deed: **any and all bonds and undertakings**, and the execution of such bonds or undertakings in pursuance of these presents, shall be as binding upon said Company, as fully and amply, to all intents and purposes, as if they had been duly executed and acknowledged by the regularly elected officers of the Company at its office in Baltimore, Md., in their own proper persons. This power of attorney revokes that issued on behalf of Sandra MARTINEZ, Linda ISER, Kathleen J. MAILES, Karen DANIEL, Susan J. PREIKSA, Susan A. WELSH, Robert E. DUNCAN, Joellen M. MENDOZA, James A. CUTHBERTSON, Geoffrey E. HEEKIN, dated April 17, 2003.

The said Assistant Secretary does hereby certify that the extract set forth on the reverse side hereof is a true copy of Article VI, Section 2, of the By-Laws of said Company, and is now in force.

IN WITNESS WHEREOF, the said Vice-President and Assistant Secretary have hereunto subscribed their names and affixed the Corporate Seal of the said FIDELITY AND DEPOSIT COMPANY OF MARYLAND, this 24th day of November, A.D. 2004.

ATTEST:

FIDELITY AND DEPOSIT COMPANY OF MARYLAND



Eric D. Barnes

Eric D. Barnes Assistant Secretary

By:

William J. Mills

William J. Mills

Vice President

State of Maryland }
City of Baltimore } ss:

On this 24th day of November, A.D. 2004, before the subscriber, a Notary Public of the State of Maryland, duly commissioned and qualified, came WILLIAM J. MILLS, Vice President, and ERIC D. BARNES, Assistant Secretary of the FIDELITY AND DEPOSIT COMPANY OF MARYLAND, to me personally known to be the individuals and officers described in and who executed the preceding instrument, and they each acknowledged the execution of the same, and being by me duly sworn, severally and each for himself depose and saith, that they are the said officers of the Company aforesaid, and that the seal affixed to the preceding instrument is the Corporate Seal of said Company, and that the said Corporate Seal and their signatures as such officers were duly affixed and subscribed to the said instrument by the authority and direction of the said Corporation.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my Official Seal the day and year first above written.



Dennis R. Hayden

Dennis R. Hayden

Notary Public

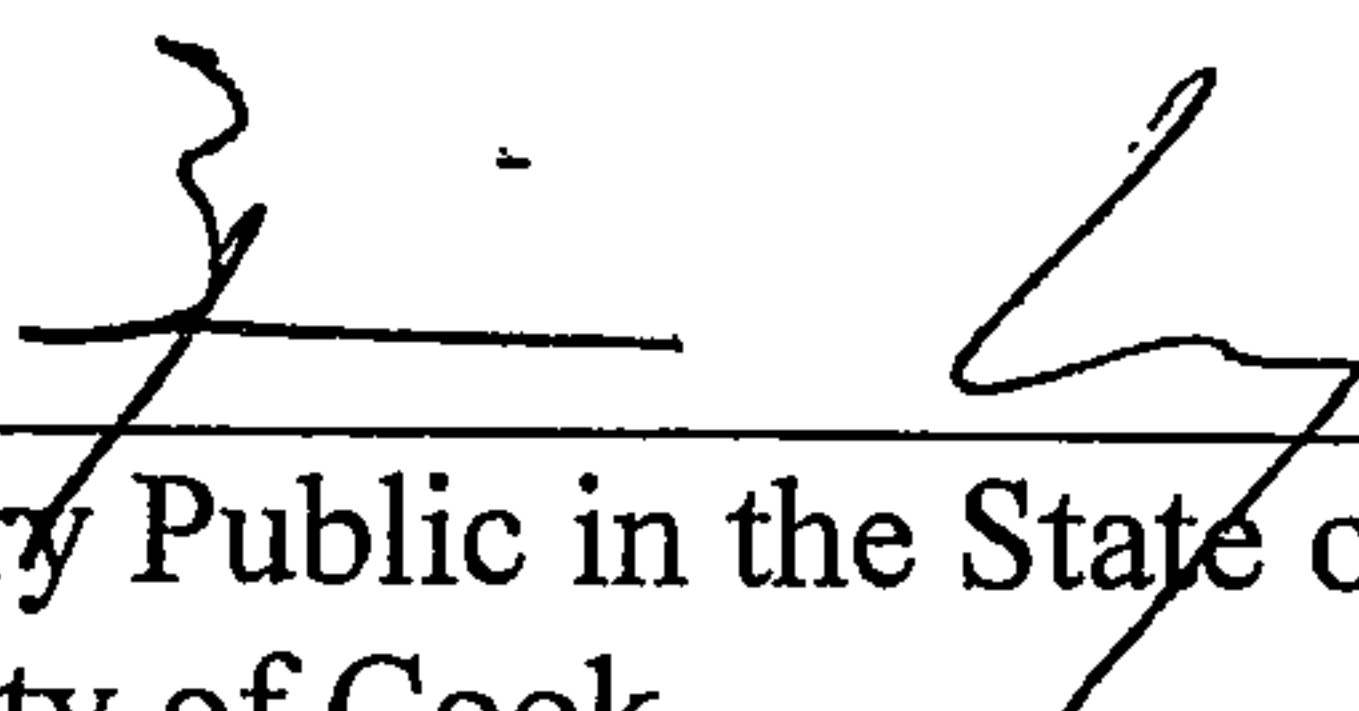
My Commission Expires: February 1, 2009

ACKNOWLEDGEMENT BY SURETY

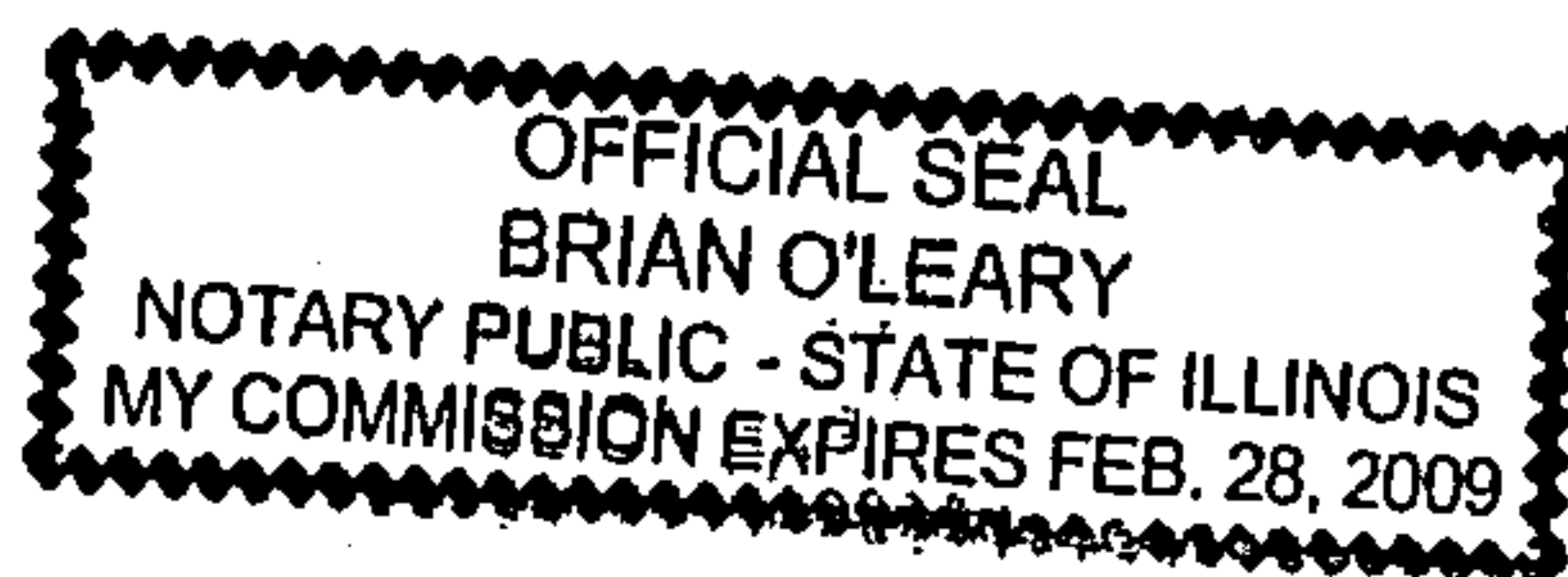
STATE OF ILLINOIS
COUNTY OF COOK

On this 26th day of April, 2007, before me, Brian O'Leary, a Notary Public, within and for said County and State, personally appeared Susan A. Welsh to me personally known to be the Attorney-in-Fact of and for Fidelity and Deposit Company of Maryland acknowledged that she executed the said instrument as the free act and deed of said Company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, at my office in the aforesaid County, the day and year in this certificate first above written.



Notary Public in the State of Illinois
County of Cook



FINANCIAL GUARANTY AMOUNT

04/18/2007

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

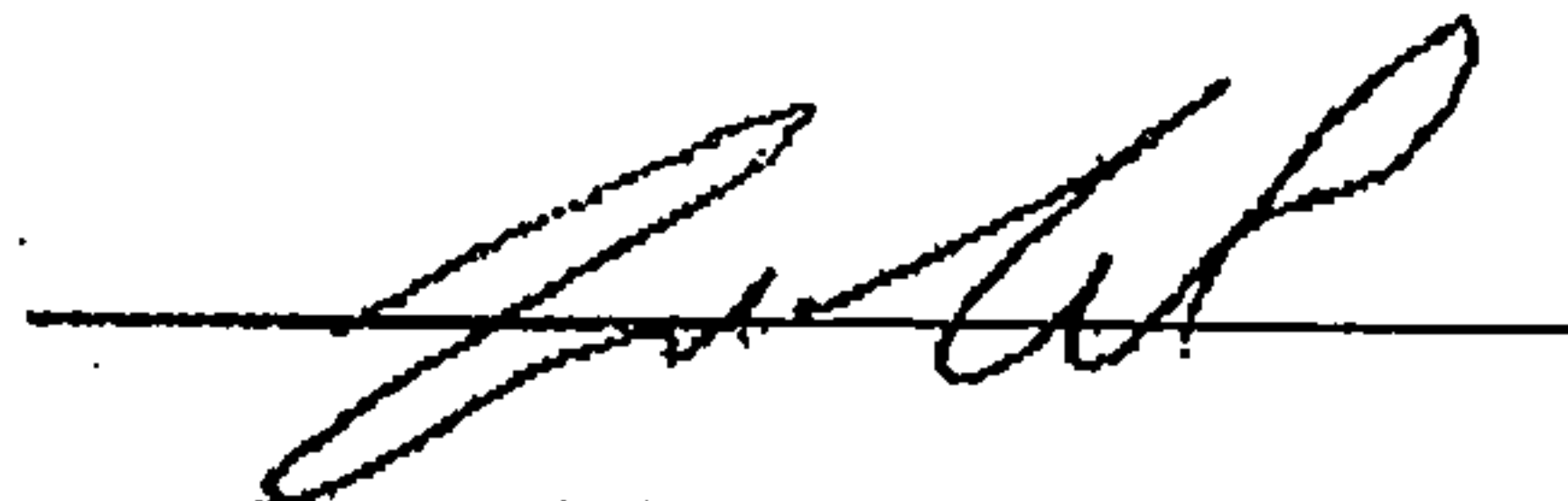
Project ID #: 775482, Mesa del Sol/UniversityBd.Extensn, Phase/Unit #: 1

Requested By: Jeff Mulbery, PE w/ Bohannan Huston

Approved estimate amount:		\$533,159.00
Contingency Amount:	10.00%	\$53,315.90
	Subtotal:	\$586,474.90
NMGRT	6.875%	\$40,320.15
	Subtotal:	\$626,795.05
Engineering Fee	6.60%	\$41,368.47
Testing Fee	2.00%	\$12,535.90
	Subtotal:	\$680,699.40
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$0.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$850,874.25</u>

APPROVAL:

DATE:



4-18-2007

Notes: Financial Guaranty reduction

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

S Z

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

P

D

L A

APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bohannon Huston, Inc. PHONE: (505) 823-1000
 ADDRESS: 7500 Jefferson NE FAX (505) 898-7988
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____

APPLICANT: Mesa Del Sol, LLC PHONE: 400-3021
 ADDRESS: 801 University Blvd., SE STE 200 FAX: 242-2978
 CITY: Albuquerque STATE NM ZIP 87106 E-MAIL: _____

Proprietary interest in site: owner List all owners: _____

DESCRIPTION OF REQUEST: SIA Extension Request & Approval - Albuquerque Studios

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 26 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Mesa del Sol Innovation Park
 Existing Zoning: PC Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): R16 UPC Code: 101605128311440102

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____
1004818

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: _____ Total area of site (acres): 28.28

LOCATION PROPERTY BY STREETS: On or Near: Stryker Drive, SE & University Avenue, SE
 Between: Stryker Drive, SE and University Avenue, SE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Michael Balakovits, P.E. DATE 7/11/2008
 (Print) _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>08DRB-70319</u>	<u>SIA</u>	<u>3(2)</u>	<u>\$ 50.00</u>
_____	<u>ADU</u>	_____	<u>\$ 75.00</u>
_____	<u>CME</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>08/06/08</u>	_____	_____	Total <u>\$ 145.00</u>

Sandy Handley 07/11/08
 Planner signature/ date

Project # 1004818

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

MICHAEL BAASKOVITS
Applicant name (print)
[Signature] / 1/11/08
Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
08122B - 70319
_____-_____
_____-_____

Sandy Handley 07/11/08
Planner signature / date
Project # 1004818

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from JULY 22, 2008 To AUGUST 06, 2008

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

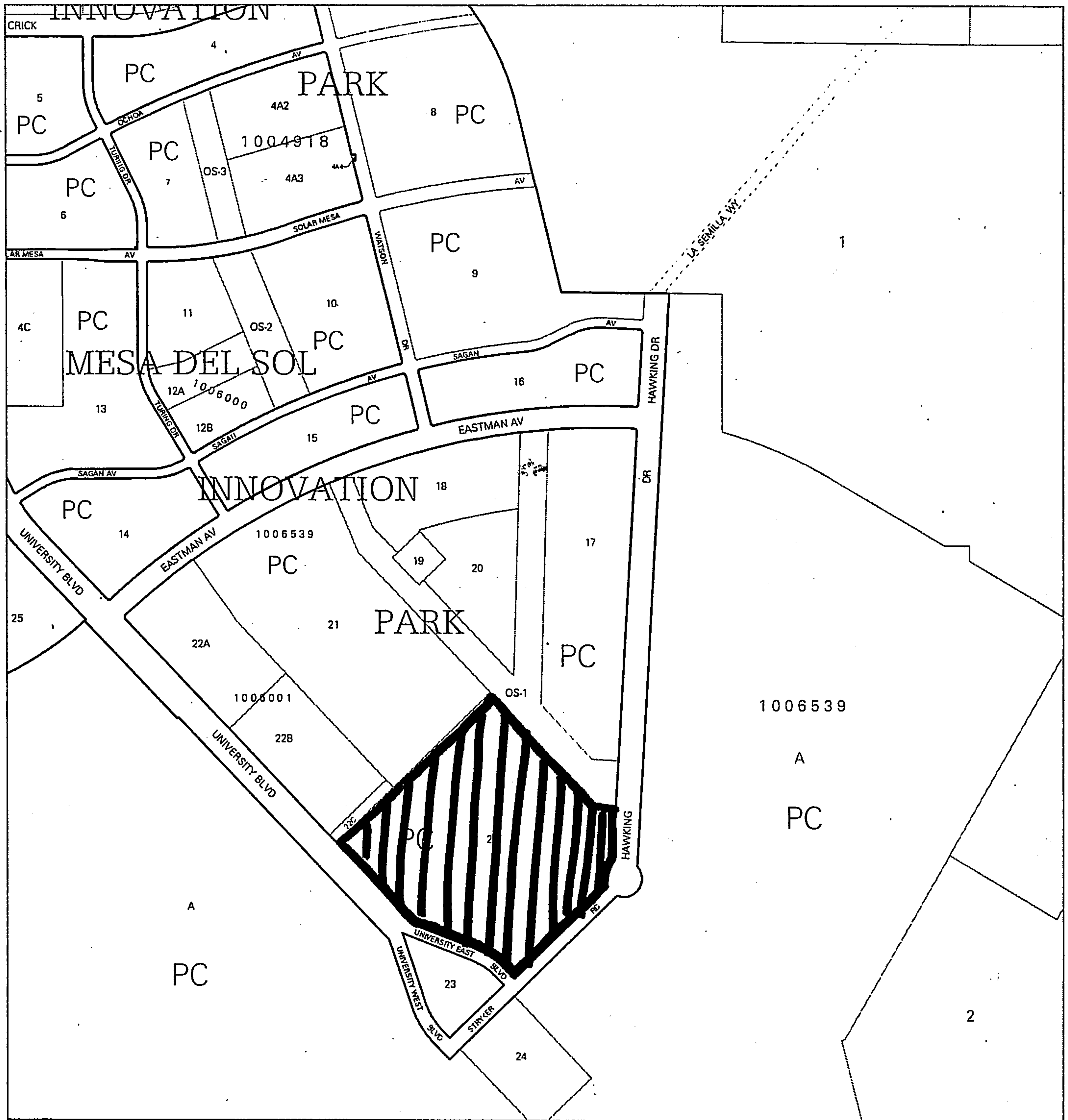
I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature]
(Applicant or Agent)

7/11/08
(Date)

I issued 2 signs for this application, 07/11/08 Sandy Hurdley
(Date) (Staff Member)

DRB PROJECT NUMBER: 1004818



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
R-16-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Map amended through: 6/13/2008

July 11, 2008

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, New Mexico 87103

Re: Subdivision Improvements Agreement Extension (Procedure B)
Tract 26, Mesa del Sol Innovation Park - DRB #1004818

Dear Mr. Cloud:

Submitted for DRB review and approval is a request for an extension to the Subdivision Improvements Agreement for the above referenced project.

Enclosed is the following information:

- Applications for Development Review
- Reduced layout of site plan
- Zone Atlas sheet showing the project area
- Letter briefly describing, explaining, and justifying the request
- Official Notice from the Development Review Board
- Approved Infrastructure List
- Original SIA and Previous SIA extensions
- Neighborhood Notification information
- DRB Fee

We are requesting a one (1) year extension of the Subdivision Improvements Agreement (Procedure B) for the offsite infrastructure improvements for the above referenced project. We are requesting the extension because the required infrastructure has not been completed. Therefore, we are requesting the approval of a one year extension.

Please place this item on the DRB agenda to be heard on August 6, 2008. If you have any questions, or require further information, please call me.

Sincerely,



Michael J. Balaskovits, P.E.
Project Engineer
Community Development and Planning

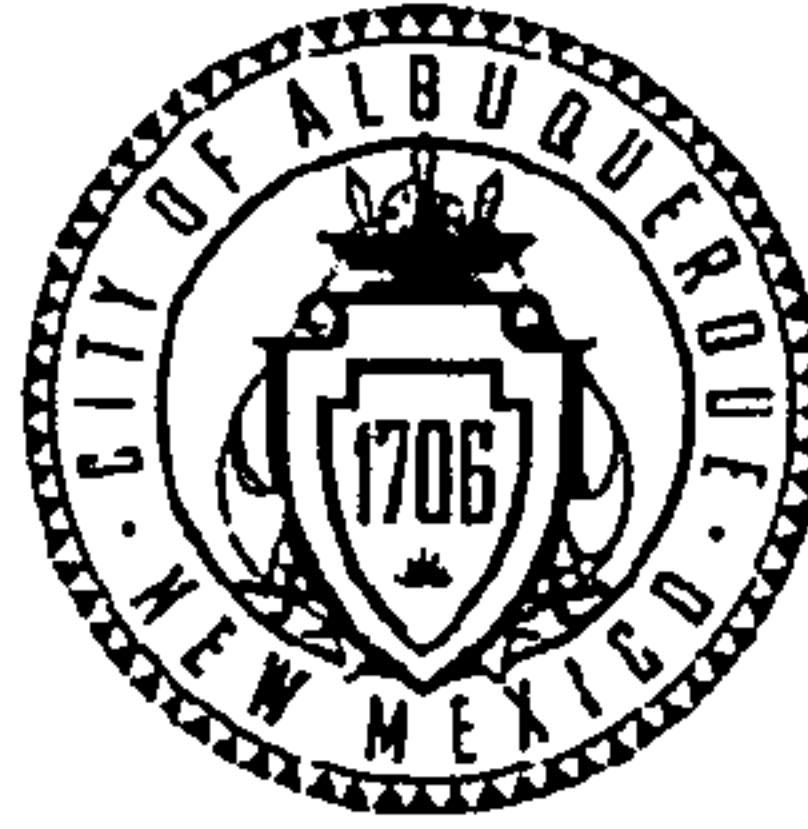
MJB/cc

cc: Mesa Del Sol, LLC

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: 7-11-08

TO CONTACT NAME: SALLY SAHAZAR-CASS
COMPANY/AGENCY: Bohannon Huston PWC
ADDRESS/ZIP: 7500 Jefferson N.E. 87109
PHONE/FAX #: 798-7962

Thank you for your inquiry of 7-11-08 (date) requesting the names of ALL Affected

Neighborhood and/or Homeowner Associations who would be affected under the provisions of O-92 by your proposed project at Strucker a University TRACT 26 MESADOL VAL INNOVATION PARK zone map page(s) R-16

Our records indicate that the Affected Neighborhood and/or Homeowner Associations affected by this proposal and the contact names are as follows:

Neighborhood or Homeowner Association

MOUNTAIN VIEW N.A. (MNV)
Patty Grice
206 Fentiman Pl. SE/87105 452-9159 (h)
Marla Painter
506 Valley High St. SE/87106 220-3969 (c)

Neighborhood or Homeowner Association

Contacts:
[Blank lines for contact information]

See reverse side for additional Neighborhood and/or Homeowner Associations Information:

YES { } NO {X}

Please note that according to O-92 you are required to notify each of these contact persons by CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE the Planning Department will accept your application filing. IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

[Signature of Patricia Montez]
OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

Additional Neighborhood or Homeowner Association Information

Neighborhood or Homeowner Association

Contacts: _____

Neighborhood or Homeowner Association

Contacts: _____

Neighborhood or Homeowner Association

Contacts: _____

Neighborhood or Homeowner Association

Contacts: _____

Neighborhood or Homeowner Association

Contacts: _____

Neighborhood or Homeowner Association

Contacts: _____

Neighborhood or Homeowner Association

Contacts: _____

Neighborhood or Homeowner Association

Contacts: _____

**NOTICE TO APPLICANTS - SUGGESTED INFORMATION FOR
NEIGHBORHOOD NOTIFICATION LETTERS**

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify **ALL AFFECTED NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS** PRIOR TO FILING THE APPLICATION TO THE **PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood and/or homeowner associations may contact someone with questions or comments.

INFORMATION FROM THE OFFICE OF NEIGHBORHOOD COORDINATION

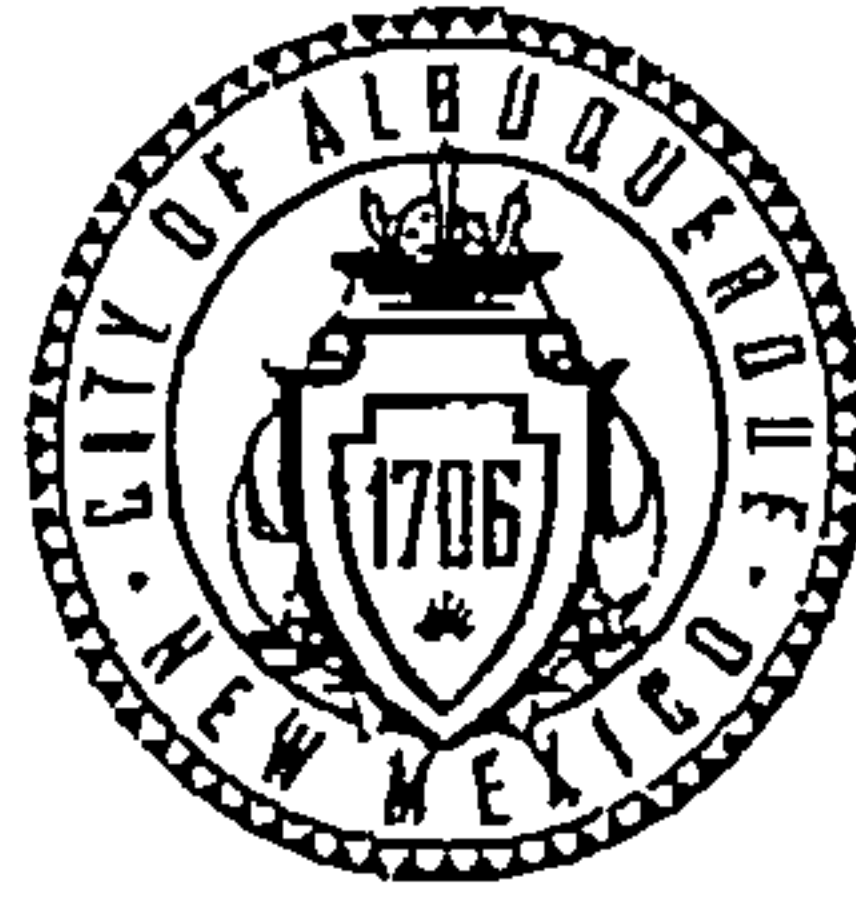
The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.
- Copies of the certified receipts to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

(Below this line for ONC use only)

Date of Inquiry: 7/11/08 Time Entered: 12:00pm ONC Rep. Initials: [Signature]



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: May 19, 2006

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1004818***
06EPC-00466 EPC Site Development Plan-
Building Permit

Pacifica Mesa Studios LLC
9336 W. Washington Blvd.
Culver City, CA 90232

LEGAL DESCRIPTION: for all or a portion of Tract 3A, **Mesa del Sol Subdivision**, zoned SU-1 for IP and SU-2 for PC, located at the SE INTERSECTION UNIVERSITY SE and BOBBY FOSTER RD. SE, containing approximately 28 acres. (R-16) Russell Brito, Staff Planner

On May 18, 2006 the Environmental Planning Commission voted to approve Project 1004818/06EPC 00466, a site development plan for building permit, for Tract 3A, Mesa del Sol Subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a proposal for an approximately 28-acre motion picture studio within the employment center that is located immediately to the northeast of the designated Community Center for the Mesa del Sol planned community.
2. Over 470,000 square feet of building area is proposed with this request.
3. The subject site and the proposed use will more than likely act as a catalyst for development of the Community Center (*Comprehensive Plan*, Reserve Area and Economic Development Goals and *Mesa del Sol Level A Plan*, Economic Development and Diversity and Balance Goals).
4. The studio and its employees will need commercial services including restaurants and retail uses. Employees who do not wish to commute from outside of the planned community area may also create a demand for nearby housing (*Comprehensive Plan*, Activity Centers Goal and *Mesa del Sol Level A Plan*, District and Neighborhood Structure Goal).

OFFICIAL NOTICE OF DECISION

MAY 18, 2006

PROJECT #1004818

PAGE 2 OF 5

5. The overall layout and design of the site will create a high standard for the community's built environment (*Comprehensive Plan, Developed Landscape Goal*).
6. The subject site is immediately adjacent to University Blvd., the major corridor for the Mesa del Sol community, which will enhance its status as future transit corridor (*Comprehensive Plan, Transportation and Transit Goal*).
7. The urban layout of buildings along University Blvd. will enhance provision of transit service and use (*Comprehensive Plan, Transportation and Transit Goal*).
8. Most of the shrubs and ground cover plants are low water use varieties with a few medium use plants (*Comprehensive Plan, Water Management Goal*). An amendment to the tree palette to include a majority of low water use trees that are drought and salt tolerant will improve the water conservation potential of the site.
9. The architecture of the external mixed-use buildings can be described as contemporary southwestern deco with Mediterranean elements, for lack of a better term. This design theme will set the tone for future development in this community (*Comprehensive Plan, Community Identity and Urban Design Goal*).
10. Pedestrians should have no problems relating to the public buildings as even the base, ground floor is broken up by recessed entries and portales/arcades that will provide relief from summer sun (*Mesa del Sol Level A Plan, Human Scale Goal*).
11. There are no outstanding or adverse comments from any City department or outside agency. The applicant attended the 26 April 2006 pre-hearing discussion.
12. There is no known neighborhood or other opposition to this request.
13. A cornerstone of the Level "A" Master Plan is the goal of creating a transportation system balancing the needs of motorists, transit users, bicyclists, and pedestrians; accordingly the Level "B" Plans(s) shall establish standards limiting turning lanes, acceleration lanes, and deceleration lanes to the extent possible consistent with this goal.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION
MAY 18, 2006
PROJECT #1004818
PAGE 3 OF 5

2. The applicant shall meet with the staff planner prior to submittal of the plan to DRB for final sign-off to ensure that conditions of approval are satisfactorily met.
3. The submittal shall indicate that the temporary chain link fence may remain in place for three years maximum. The submittal shall provide a description of a chain link fence screening material that excludes metal, vinyl or plastic slats.
4. Motorcycle parking shall be provided throughout the site as required by the Zoning Code.
5. The site plan shall designate all internal pedestrian walkways as to be clearly distinguishedalbe from driveway paving by pattern or color.
6. Bicycle parking shall be provided adjacent to the retail parking area at the southwestern corner of the site.
7. Lighting and Signage:
 - a. The site plan shall show any additional, proposed lighting on the site, including pedestrian-level lighting, building-mounted lighting and security lighting with details prior to final sign-off at the Development Review Board (DRB).
 - b. Specific details regarding colors and content of all signage shall be provided prior to final sign-off at the DRB. Any proposed lighting for these signs shall exclude any lighting that will directly illuminate the night sky beyond the surface of the sign.
8. Landscaping:
 - a. The applicant shall amend the tree palette to include Mesquite and Desert Willow species of by including a majority of low water use trees that are drought and salt tolerant.
 - b. Parking lot trees shall be provided as required by the Zoning Code's Landscaping Regulations (14-16-3-10).
9. Transit Conditions:
 - a. The site plan shall show pedestrian facilities for crossing at the University/Connector A intersection.
 - b. The site plan shall show pedestrian facilities (including crossings) at the Tower/Connector A round-about.
 - c. The applicant shall contact the Transit Department to coordinate future participation in the TDM program to facilitate ridesharing and future transit use.
10. City Engineer/DMD Conditions:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The improvements, both temporary and permanent, are identified in the attached Bohannan-Huston, Albuquerque Studio, Mesa del sol infrastructure commitment letter, dated May 10, 2006 and signed by James Topmiller, and shall be constructed in accordance with that letter.

OFFICIAL NOTICE OF DECISION
MAY 18, 2006
PROJECT #1004818
PAGE 4 OF 5

Obligation

*acknowledged by Forest
City Covington LLC*

- c. The Master Developer, Forest City Covington LLC, shall be responsible for completion of the permanent and/or temporary transportation system improvements that are agreed upon in Level "B" development agreement, notwithstanding that these improvements have not been identified or required as a condition of the approval of this development and notwithstanding that this development may be owned by a third party, pursuant to the letter from Myers, Oliver, & Price, P.C. dated May 10, 2006, signed by Michael Daly.
 - d. An apparent error in the April 4, 2006 Traffic Impact Analysis (TIS) for the Mesa del Sol Phase One Employment Center Initial Developments needs to be corrected as a condition of approval of this case. This error which we believe to be a carryover from previous studies, results in a sizeable discrepancy in the number of eastbound morning through vehicles at the Rio Bravo/West Ramp Intersection and the Rio Bravo/East Ramp Intersection. The number of vehicles in question appears sufficiently large that it could translate to more than a full roadway lane of capacity.
 - e. Site plan shall comply with and be designed per the standards of the Mesa del Sol Level A Master Plan and its Technical Appendix.
11. Water harvesting methods or other sustainable methods that utilize storm water runoff shall be incorporated into the site plan.
 12. Solar Panels for purposing of water heating or cooling, space heating or cooling or power generation are permitted and encouraged.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JUNE 2, 2006 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
MAY 18, 2006
PROJECT #1004818
PAGE 5 OF 5

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

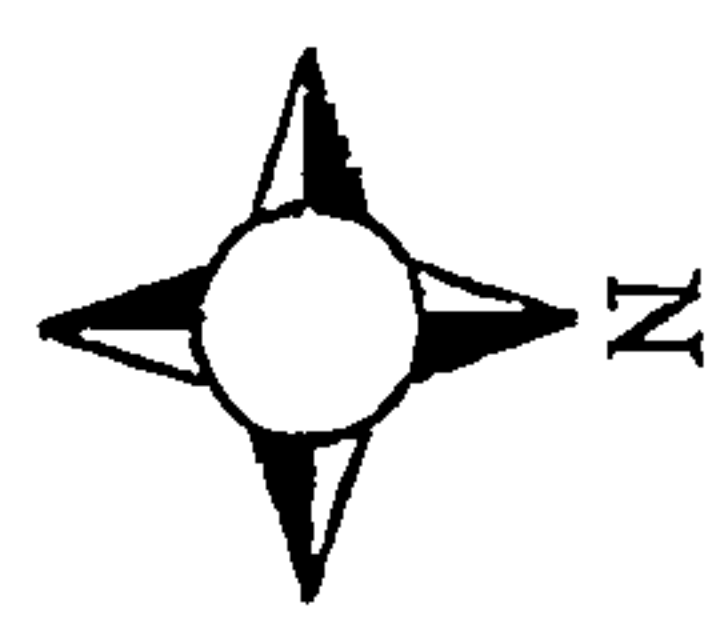
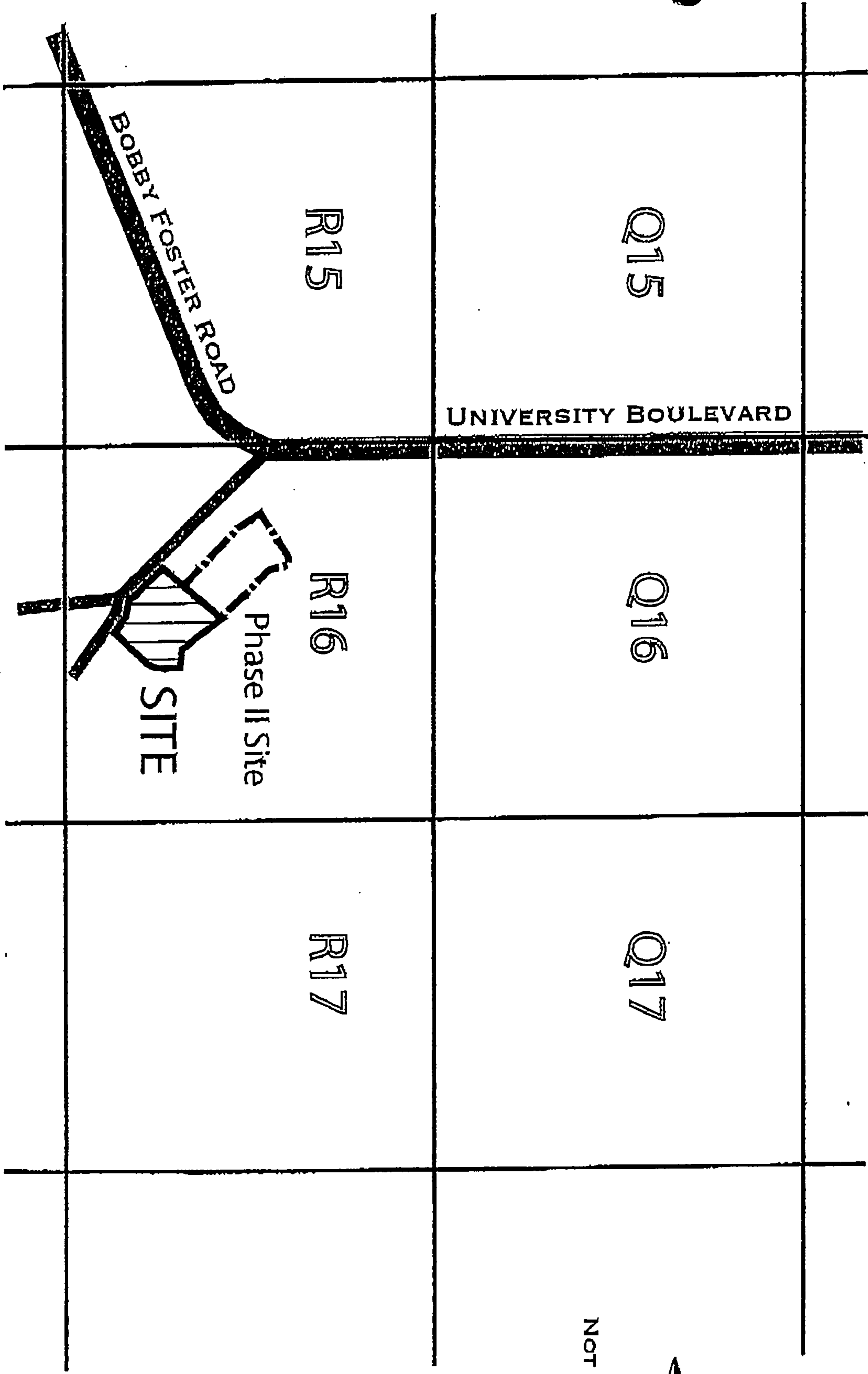
Sincerely,

CMarone

for Richard Dineen
Planning Director

RD/RB/ac

cc: Denish + Kline Associates, P.O. Box 2001, Albuquerque, NM 87103
Patty Grice, Mountain View NA, 206 Fentiman Pl. SE, Albuquerque, NM 87105
Rick Watson, Mountain View NA, 225 Sunny Slope SE, Albuquerque, NM 87105
Simon Shima, Tribal Planner, Isleta Pueblo, P.O. Box 1270, Isleta, NM 87022



NOT TO SCALE

Boundaries

DEPARTMENT, request(s) the above action(s) for the **NORTH 4TH ST. RANK THREE CORRIDOR PLAN**, North Fourth Street Sector Development Plan Boundaries from downtown to the City limits along North Fourth Street, area has multiple zoning, located on North 4th St NW between Lomas NW and Solar NW containing approximately 1,290 acre(s). (J-14, H-14, G-14, F-14, E-14) **THE DEVELOPMENT REVIEW BOARD RECOMMENDS APPROVAL OF THE NORTH FOURTH STREET SECTOR DEVELOPMENT PLAN BOUNDARIES, NORTH 4TH STREET, RANK 3 CORRIDOR PLAN, AS PRESENTED, TO THE ENVIRONMENTAL PLANNING COMMISSION.**

8. **Project # 1004818**
06DRB-00799 Minor-SiteDev Plan
BldPermit/EPC

DENISH & KLINE ASSOCIATES agent(s) for PACIFICA MESA STUDIOS LLC request(s) the above action(s) for all or a portion of Tract(s) 4B, MESA DEL SOL AND Tract(s) 4-A, 4-B & 4-C (to be known as **ALBUQUERQUE STUDIOS**) zoned SU-2 for PC, located at the intersection of UNIVERSITY BLVD SE, between BOBBY FOSTER RD SE and containing approximately 2 acre(s). [REF: 06EPC00466] [Russell Brito, EPC Case Planner] (R-16) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/14/06 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA, 3 COPIES OF THE SITE PLAN, RADII DIMENSIONS AND PAPER SIDEWALK EASEMENTS AND UTILITIES DEVELOPMENT FOR UTILITY PLAN REVISIONS AND APROVAL OF THE DEVELOPMENT AGREEMENT BY THE ABCWUA.**



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

June 14, 2006

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
 - B. Changes and/or Additions to the Agenda
 - C. New or Old Business
- Adjourned: 11:35 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000418**
06DRB-00705 Major-Two Year SIA
LEGACY CHURCH request(s) the above action(s) for all or a portion of Tract(s) A-1, **LANDS OF VICTORY LOVE FELLOWSHIP**, zoned SU-1 for Church and related facilities, located on CENTRAL AVE NW, between AIRPORT RD NW and UNSER BLVD NW containing approximately 15 acre(s). [REF: 00DRB-01145, 04DRB-00824, 03EPC-01471] (K-10)

WITHDRAWN AT THE AGENT'S REQUEST

Current DRC Project No. N.A.

Date Submitted: June 14, 2006
 Date Site Plan for Bldg Permit App: 6/14/06
 Date Site Plan for Sub. Approved: N.A.

Date Preliminary Plat Approved: N.A.

Date Preliminary Plat Expires: N.A.

DRB Project No. 1004818
 App # 06 DRB-00799

ORIGINAL

Figure 12

INFRASTRUCTURE LIST

EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Albuquerque Studios (Mesa del Sol) **SITE PLAN**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the Infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC ROADWAY IMPROVEMENTS									
775482	775482	28' EOP-EOP	PAVED ROADWAY, NO CURBS, NO SIDEWALKS, NO STREET LIGHTS (5,100 LF APPROX)	UNIVERSITY BLVD. (EAST SIDE OF ROW)	SOUTH TERMINUS OF CITY PROJECT #732502 (UNIVERSITY BLVD. EXTENSION)	GATE 1 (NW CORNER OF SITE)	/	/	/
		46' F-F	PAVED ROADWAY, STRIPING, CURB AND GUTTER, SIDEWALK (10' MIN.), STREET LIGHTS (1,200 LF APPROX.)	UNIVERSITY BLVD.	GATE 1 (NW CORNER OF SITE)	FUTURE CONNECTOR ROAD A	/	/	/
PUBLIC SANITARY SEWER IMPROVEMENTS									
		24" DIA	SANITARY SEWER LINE, AS REQ'D	UNIVERSITY BLVD.	SOUTH TERMINUS OF CITY WO PROJECT # 775481 (SW CORNER OF ADVENT SITE	END OF GRAVITY EXTENSION NORTH OF GATE 1 (NORTH OF NW CORNER OF SITE)	/	/	/
PUBLIC WATERLINE IMPROVEMENTS									
		24" DIA	WATERLINE W/ NEC. VALVES FHS, MJS & RJS, STUB OUTS TO STUDIO SITE	UNIVERSITY BLVD.	SOUTH TERMINUS OF CITY WO PROJECT # 775481 (SW CORNER OF ADVENT SITE	FUTURE CONNECTOR ROAD A	/	/	/
PUBLIC/PRIVATE STORM DRAIN IMPROVEMENTS (NOT TO BE FINANCIALLY GUABANTEED)									
			TEMPORARY DRAINAGE IMPROVEMENTS (UPSTREAM RETENTION PONDS AND/OR SWALES TO PROTECT ROAD EXTENSION AND SITE)				/	/	/

7.3-1

PRIVATE IMPROVEMENTS (NOT TO BE FINANCIALLY GUARANTEED)

TEMPORARY PRIVATE ONSITE LIFT/PUMP STATION AND FORCE MAIN EXTENDED TO PUBLIC GRAVITY SYSTEM IN UNIVERSITY BLVD.

AGENT/OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

JEFFERY L. MULBERY
PREPARED BY: PRINT NAME

6/14/2006
DATE

J. Mason
DRB CHAIR

6/14/06
DATE

Christina Dandora
PARKS & GENERAL SERVICES
6/14/06
DATE

BOHANNAN HUSTON INC.

FIRM: *Bohannon*
6-14-06
SIGNATURE: *Jeffery L. Mulbery*

Will Sey
TRANSPORTATION DEVELOPMENT
6-14-06
DATE

Roger Lee
UTILITY DEVELOPMENT
6/14/06
DATE

AMAFCA
Bradley S. Brigham
CITY ENGINEER
6/14/06
DATE

MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION

DATE

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

July 11, 2008

Ms. Marla Painter
506 Valley High Street SE
Albuquerque, NM 87106

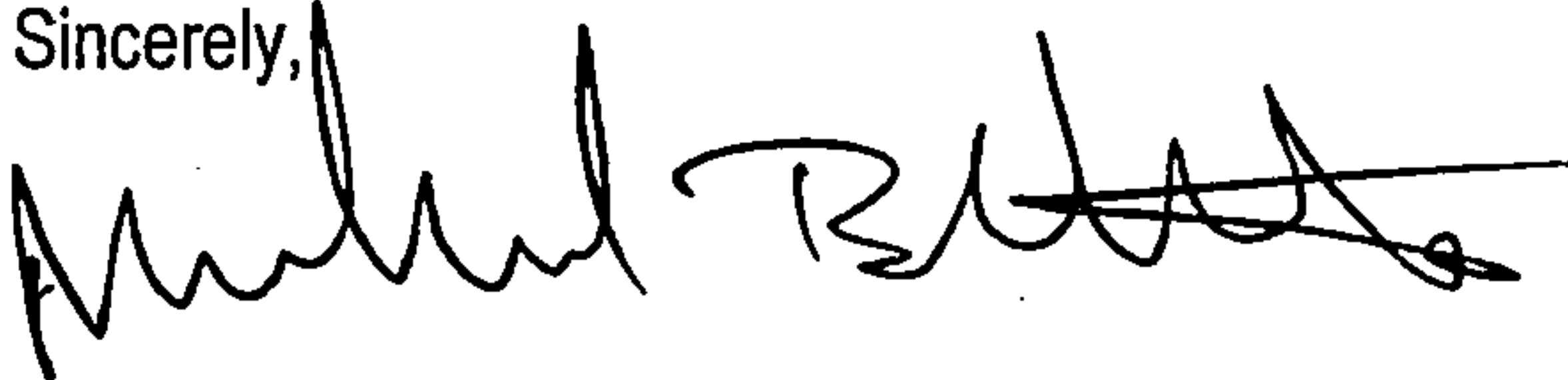
RE: Subdivision Improvements Agreement Extension
Mesa del Sol Film Studio, Project # 775482

Dear Ms. Painter:

We are requesting a one (1) year extension of the Subdivision Improvements Agreement (Procedure B) for the offsite infrastructure improvements for the above referenced project. The infrastructure for the above mentioned project has not been completed. Therefore, we are requesting the approval of a one year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



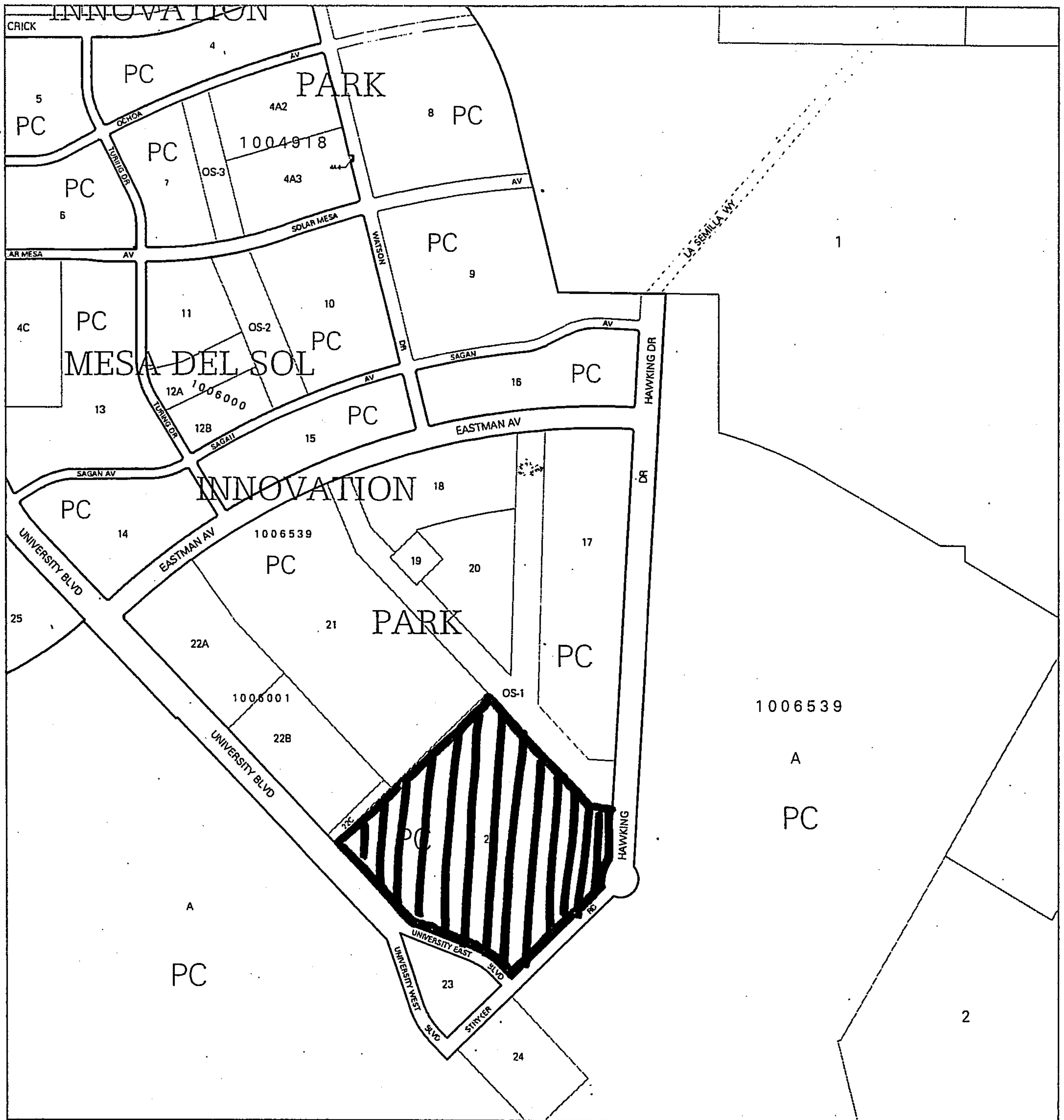
Michael J. Balaskovits, P.E.
Engineer
Community Development and Planning

MJB/cc
Enclosures

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 6/13/2008

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
R-16-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1500 Feet

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Marla Painter
 506 Valley High ST SE
 Albg. NM 87106

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent
 Addressee
X

B. Received by (*Printed Name*) C. Date of Delivery

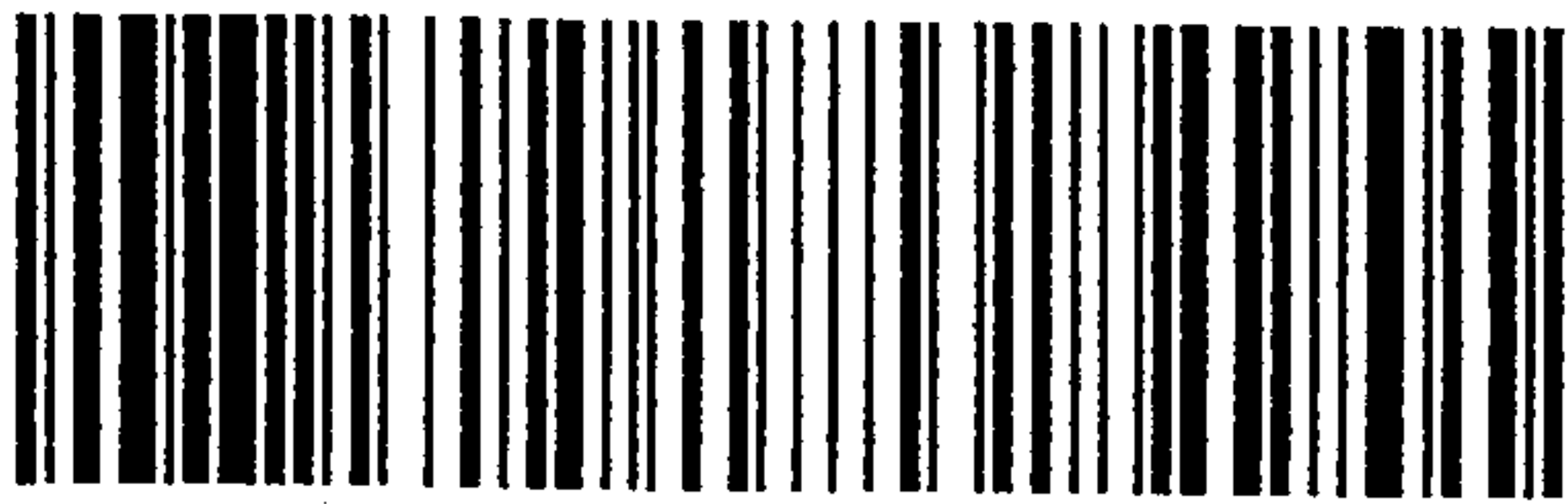
D. Is delivery address different from Item 1? Yes
 If YES, enter delivery address below: No

3. Service Type
 Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

4. Restricted Delivery? (*Extra Fee*) Yes

2. Article Number 91 7108 2133 3935 6709 4227
 (*Transfer from service label*)

CERTIFIED MAIL



91 7108 2133 3935 6709 4227



.NE

Ms. Marla Painter
 506 Valley High Street SE
 Albuquerque, NM 87106

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

July 11, 2008

Ms. Patty Grice
206 Fentiman Place SE
Albuquerque, NM 87105

RE: Subdivision Improvements Agreement Extension
Mesa del Sol Film Studio, Project # 775482

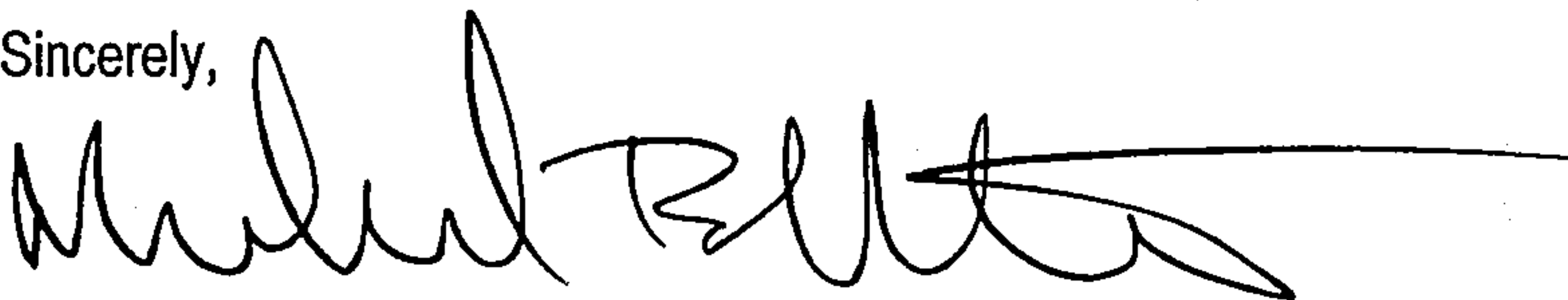
Dear Ms. Grice:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the MOUNTAIN VIEW N.A.

We are requesting a one (1) year extension of the Subdivision Improvements Agreement (Procedure B) for the offsite infrastructure improvements for the above referenced project. The infrastructure for the above mentioned project has not been completed. Therefore, we are requesting the approval of a one year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



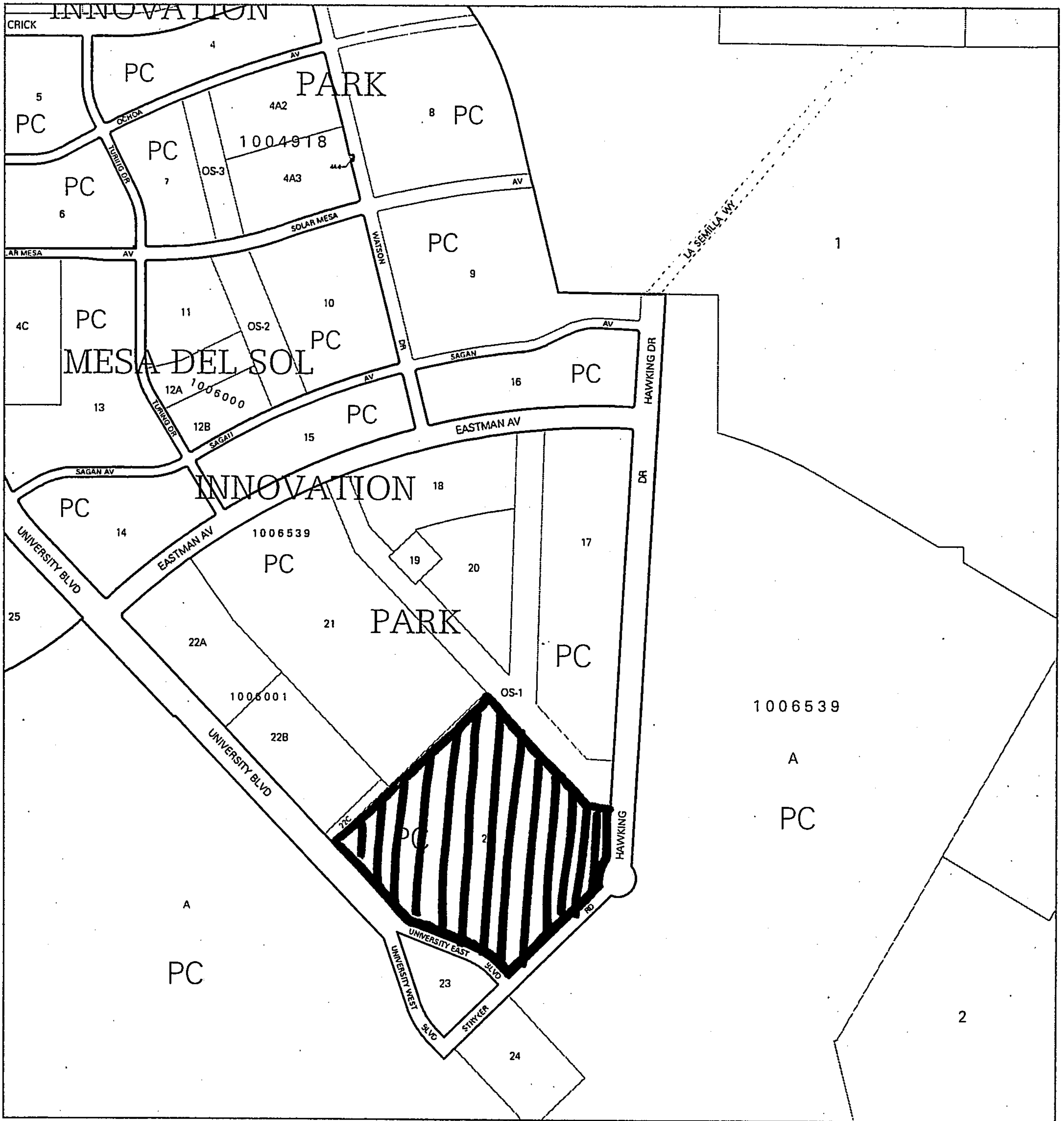
Michael J. Balaskovits, P.E.
Engineer
Community Development and Planning

MJB/cc
Enclosures

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Map amended through: 6/13/2008

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
R-16-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

*Patty Grice
206 Fentiman Pl SE
Albq. NM 87105*

2. Article Number
(Transfer from service label)

91 7108 2133 3935 6709 4210

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

Agent

Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

Certified Mail

Express Mail

Registered

Return Receipt for Merchandise

Insured Mail

C.O.D.

4. Restricted Delivery? (Extra Fee)

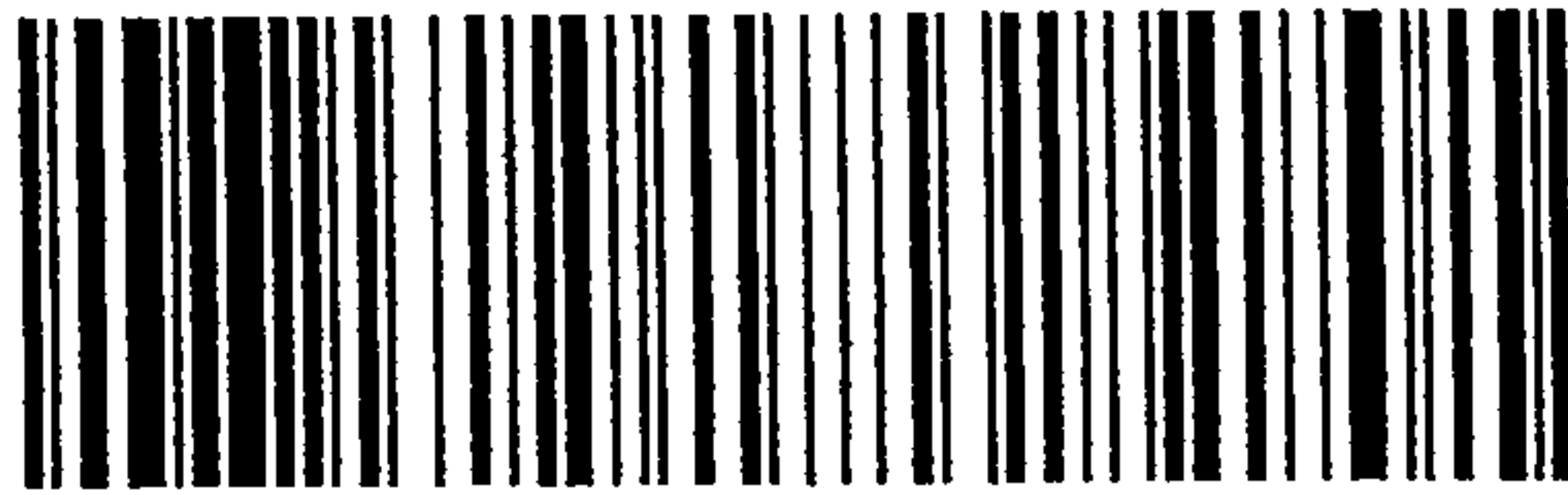
Yes

PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540

CERTIFIED MAIL



91 7108 2133 3935 6709 4210

Ms. Patty Grice
206 Fentiman Place SE
Albuquerque, NM 87105



Current DRC Project No. N.A.

Claire

Date Submitted: June 14, 2008
 Date Site Plan for Bldg Permit App: 6/17/08
 Date Site Plan for Sub. Approved: N.A.
 Date Preliminary Plat Approved: N.A.
 Date Preliminary Plat Expires: N.A.

#8

ORIGINAL

Figure 12
INFRASTRUCTURE LIST
 EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Albuquerque Studios **SITE PLAN**
 (Mesa del Sol)

DRB Project No. 1004818
 App # 06 DRB-00799

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC ROADWAY IMPROVEMENTS									
		28' EOP-EOP	PAVED ROADWAY, NO CURBS, NO SIDEWALKS, NO STREET LIGHTS (5,100 LF APPROX)	UNIVERSITY BLVD. (EAST SIDE OF ROW)	SOUTH TERMINUS OF CITY PROJECT #732502 (UNIVERSITY BLVD. EXTENSION)	GATE 1 (NW CORNER OF SITE)	/	/	/
		46' F-F	PAVED ROADWAY, STRIPING, CURB AND GUTTER, SIDEWALK (10' MIN.), STREET LIGHTS (1,200 LF APPROX.)	UNIVERSITY BLVD.	GATE 1 (NW CORNER OF SITE)	FUTURE CONNECTOR ROAD A	/	/	/
PUBLIC SANITARY SEWER IMPROVEMENTS									
		24" DIA	SANITARY SEWER LINE, AS REQ'D	UNIVERSITY BLVD.	SOUTH TERMINUS OF CITY WO PROJECT # 775481 (SW CORNER OF ADVENT SITE)	END OF GRAVITY EXTENSION NORTH OF GATE 1 (NORTH OF NW CORNER OF SITE)	/	/	/
PUBLIC WATERLINE IMPROVEMENTS									
		24" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S, STUB OUTS TO STUDIO SITE	UNIVERSITY BLVD.	SOUTH TERMINUS OF CITY WO PROJECT # 775481 (SW CORNER OF ADVENT SITE)	FUTURE CONNECTOR ROAD A	/	/	/
PUBLIC/PRIVATE STORM DRAIN IMPROVEMENTS (NOT TO BE FINANCIALLY GUARANTEED)									
			TEMPORARY DRAINAGE IMPROVEMENTS (UPSTREAM RETENTION PONDS AND/OR SWALES TO PROTECT ROAD EXTENSION AND SITE)				/	/	/

ORIGINAL

PRIVATE IMPROVEMENTS (NOT TO BE FINANCIALLY GUARANTEED)

TEMPORARY PRIVATE ONSITE LIFT/PUMP STATION AND FORCE MAIN EXTENDED TO PUBLIC GRAVITY SYSTEM IN UNIVERSITY BLVD.



AGENT/OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
-------------	---

JEFFERY L. MULBERY PREPARED BY: PRINT NAME	6/14/2006 DATE	<i>[Signature]</i> DRB CHAIR	6/14/06 DATE	<i>[Signature]</i> PARKS & GENERAL SERVICES	6/14/06 DATE
---	-------------------	---------------------------------	-----------------	--	-----------------

BOHANNAN HUSTON INC. FIRM	6-14-06 DATE	<i>[Signature]</i> TRANSPORTATION DEVELOPMENT	6-14-06 DATE	<i>[Signature]</i> AMAFCA	6/14/06 DATE
<i>[Signature]</i> SIGNATURE		<i>[Signature]</i> UTILITY DEVELOPMENT	6/14/06 DATE	<i>[Signature]</i> CITY ENGINEER	6/14/06 DATE

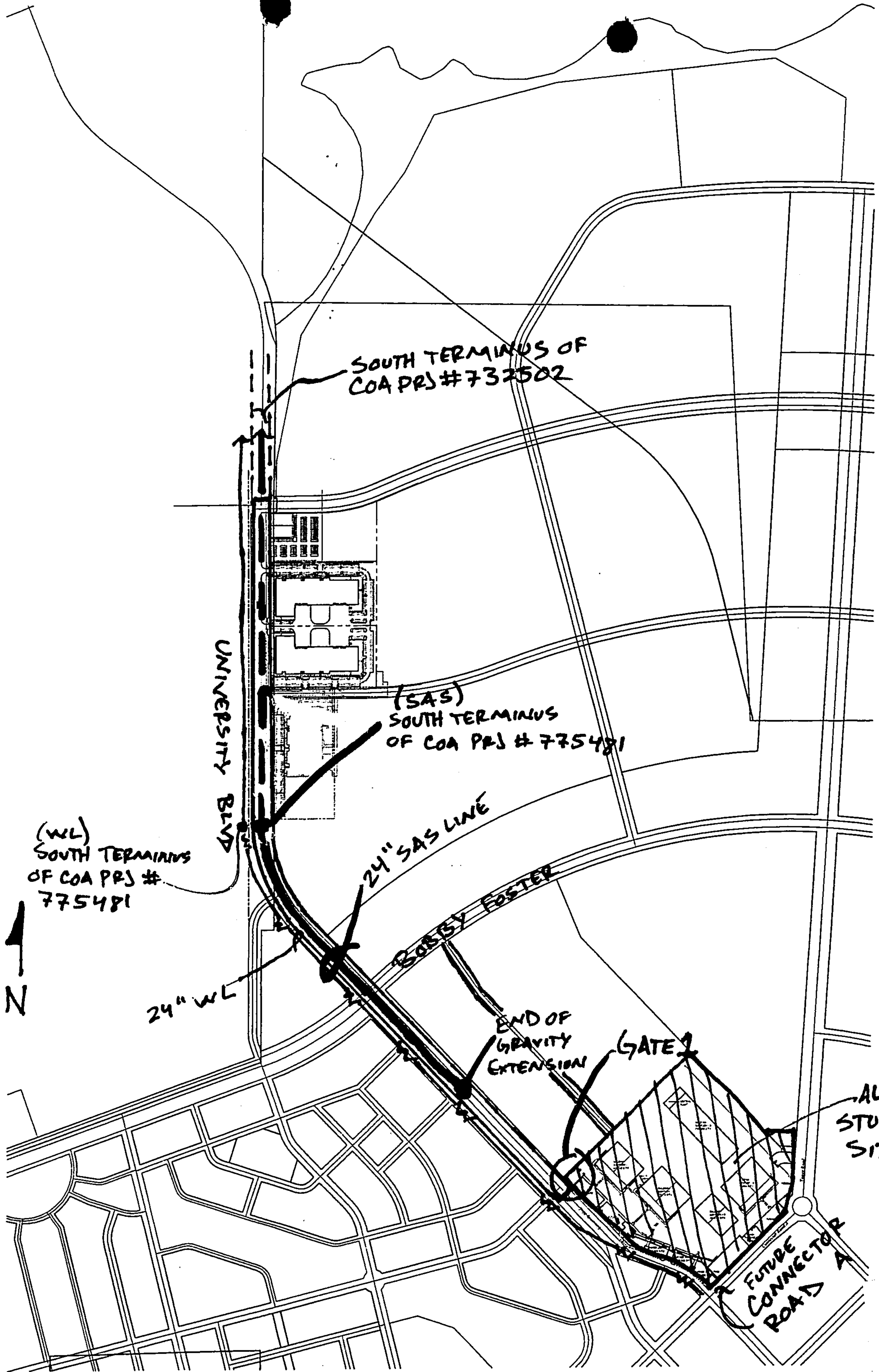
MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION

	DATE
--	------



DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



SOUTH TERMINUS OF
COA PRJ # 732502

UNIVERSITY BLVD

(SAS)
SOUTH TERMINUS
OF COA PRJ # 775481

(WL)
SOUTH TERMINUS
OF COA PRJ #
775481

24" SAS LINE

BOBBY FOSTER

24" WL

END OF
GRAVITY
EXTENSION

GATE

ALBUQ.
STUDIOS
SITE

FUTURE
CONNECTOR
ROAD A

ORIGINAL

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S	Z	ZONING & PLANNING
___ Major Subdivision action	___	___	___ Annexation
___ Minor Subdivision action	___	___	___ County Submittal
___ Vacation	V	___	___ EPC Submittal
___ Variance (Non-Zoning)	___	___	___ Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	___	___ Sector Plan (Phase I, II, III)
___ for Subdivision Purposes	___	___	___ Amendment to Sector, Area, Facility or Comprehensive Plan
X for Building Permit	___	___	___ Text Amendment (Zoning Code/Sub Regs)
___ IP Master Development Plan	___	___	___ Street Name Change (Local & Collector)
___ Cert. of Appropriateness (LUCC)	L	A	APPEAL / PROTEST of...
STORM DRAINAGE	D	___	___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
___ Storm Drainage Cost Allocation Plan	___	___	___

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: PACIFICA MESA STUDIOS LLC PHONE: (310) 202.3316
 ADDRESS: 9336 W. WASHINGTON BLVD. FAX: (310) 202.3336
 CITY: CULVER CITY STATE CA ZIP 90232 E-MAIL: NICK-smerigan@theculverstudios.com
 Proprietary interest in site: CONTRACT PURCHASER List all owners: UNIVERSITY OF NEW MEXICO, STATE LAND OFFICE
 AGENT (if any): DENISH + KLINE ASSOCIATES PHONE: (505) 842.6461
 ADDRESS: PO BOX 2001 FAX: (505) 842.6471
 CITY: ALBUQUERQUE STATE NM ZIP 87103 E-MAIL: JK@denishkline.com

DESCRIPTION OF REQUEST: FINAL SIGN OFF FOR BUILDING PERMIT FOR MOTION PICTURE FILM STUDIO

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. **X** No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. SEE ATTACHED Block: ___ Unit: ___
 Subdiv. / Adn. PROPOSED TRACT 4B OF MESA DEL SOL TRACTS 4-A, 4-B, 4C
 Current Zoning: SU-2 FOR PC Proposed zoning: PC (SEPARATE APPLICATION)
 Zone Atlas page(s): R-16 No. of existing lots: ___ No. of proposed lots: ___
 Total area of site (acres): 28.1877 Density if applicable: dwellings per gross acre: 0 dwellings per net acre: 0
 Within city limits? **X** Yes. No ___ but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. ___ MRGCD Map No. ___

LOCATION OF PROPERTY BY STREETS: On or Near: SE OF INTERSECTION OF UNIVERSITY AND BOBBY FOSTER ROAD

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): Russell Britz Epc Case Planner 1004260, 1004818

Check-off if project was previously reviewed by Sketch Plat/Plan, ? or Pre-application Review Team ? . Date of review: PRT 3/21/06

SIGNATURE Herb M. Denish DATE 06-06-06
 (Print) HERB M. DENISH ___ Applicant ___ Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB-00799</u>	<u>SBP</u>	<u>8(3)</u>	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	___	<u>CWF</u>	___	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	___	___	___	\$ ___
<input checked="" type="checkbox"/> AGIS copy has been sent	___	___	___	\$ ___
<input checked="" type="checkbox"/> Case history #s are listed	___	___	___	\$ ___
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	___	___	___	\$ ___
<input checked="" type="checkbox"/> F.H.D.P. density bonus	___	___	___	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>6-14-06</u>	___	___	\$ <u>20.00</u>

Y-35 6/6/06

Project # 1004818

TRIK MESA DEL SOL FILM STUDIO

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

HERB M. DEVISH Applicant name (print)
H.M. Devish Applicant signature / date 06-06-09



Form revised JUNE 2005

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
DRB-00799

KE S'S 6/6/09 Planner signature / date
Project # 1004818

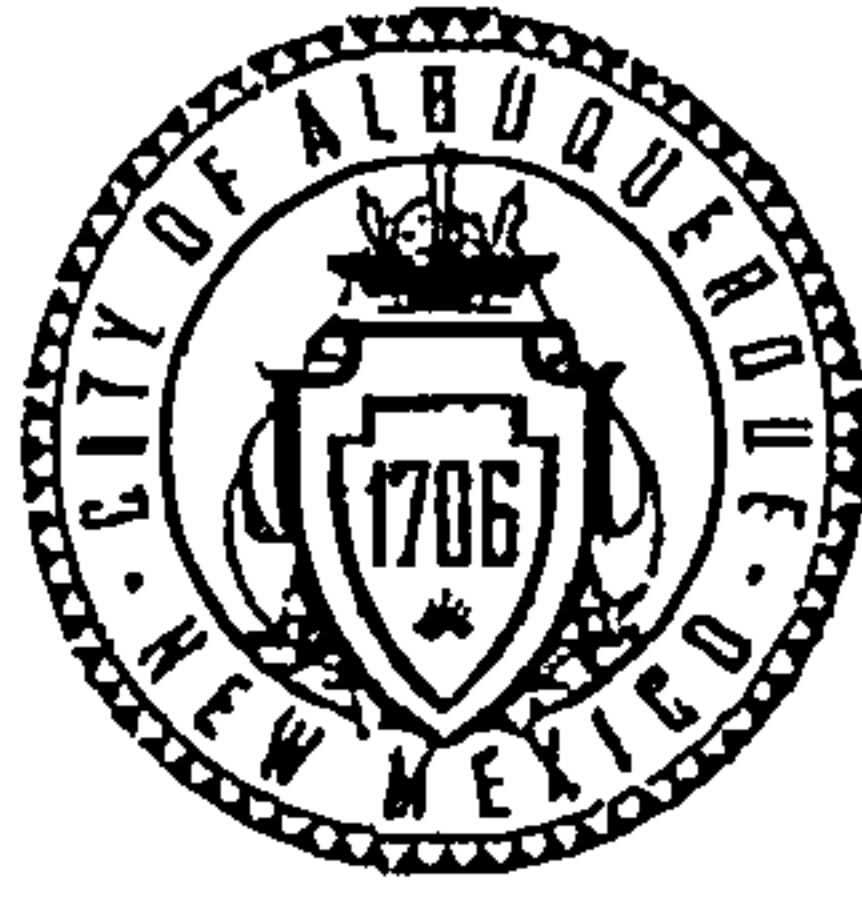
Tract 4-B

DESCRIPTION

A certain tract of land being a portion of the south one-half of Section 22, Township 9 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising all of TRACT 4-B of PLAT OF TRACTS 4-A, 4-B & 4-C, MESA DEL SOL, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on _____, 2006 in Book _____, Page _____ as Document No. _____ and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone, NAD 83) and ground distances as follows:

BEGINNING at the most northerly corner of the tract herein described, whence the City of Albuquerque survey monument "1-R16", having New Mexico State Plane Grid Coordinates for the Central Zone: X=1,532,715.520, Y=1,453,439.511, bears N37°35'49"E a distance of 1538.77 feet; thence, S43°57'36"E a distance of 818.98 feet; thence, S86°42'58"E a distance of 100.00 feet to the most easterly corner of the tract herein described; thence, S03°17'02"W a distance of 303.06 feet to a point of curvature (non-tangent); thence, 127.95 feet along the arc of a tangent curve to the left having a radius of 95.00 feet and a chord bearing S10°41'40"W a distance of 118.49 feet and an interior angle of 77°09'57" to a point of non-tangency; thence, S46°00'53"W a distance of 690.71 feet to a point of curvature being the most southerly corner of the tract herein described; thence, 7.86 feet along the arc of a tangent curve to the right having a radius of 5.00 feet and a chord bearing N88°58'22"W a distance of 7.07 feet and an interior angle of 90°01'31" to a point of tangency; thence, N43°57'36"W a distance of 69.00 feet to a point of curvature; thence, 191.99 feet along the arc of a tangent curve to the left, having a radius of 440.00 feet and a chord bearing N56°27'36"W a distance of 190.47 feet and an interior angle of 25°00'00" to a point of tangency; thence, N68°57'36"W a distance of 340.25 feet; thence, N43°57'36"W a distance of 59.62 feet; thence, N46°00'53"E a distance of 6.02 feet; thence, N43°57'36"W a distance of 539.06 feet to the most westerly corner of the tract herein described; thence, N46°02'24"E a distance of 1126.00 feet to the point and place of beginning.

This tract contains 28.1877 acres, more or less.



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: May 19, 2006

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1004818***
06EPC-00466 EPC Site Development Plan-
Building Permit

Pacifica Mesa Studios LLC
9336 W. Washington Blvd.
Culver City, CA 90232

LEGAL DESCRIPTION: for all or a portion of Tract 3A, Mesa del Sol Subdivision, zoned SU-1 for IP and SU-2 for PC, located at the SE INTERSECTION UNIVERSITY SE and BOBBY FOSTER RD. SE, containing approximately 28 acres. (R-16) Russell Brito, Staff Planner

On May 18, 2006 the Environmental Planning Commission voted to approve Project 1004818/06EPC 00466, a site development plan for building permit, for Tract 3A, Mesa del Sol Subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a proposal for an approximately 28-acre motion picture studio within the employment center that is located immediately to the northeast of the designated Community Center for the Mesa del Sol planned community.
2. Over 470,000 square feet of building area is proposed with this request.
3. The subject site and the proposed use will more than likely act as a catalyst for development of the Community Center (*Comprehensive Plan*, Reserve Area and Economic Development Goals and *Mesa del Sol Level A Plan*, Economic Development and Diversity and Balance Goals).
4. The studio and its employees will need commercial services including restaurants and retail uses. Employees who do not wish to commute from outside of the planned community area may also create a demand for nearby housing (*Comprehensive Plan*, Activity Centers Goal and *Mesa del Sol Level A Plan*, District and Neighborhood Structure Goal).

OFFICIAL NOTICE OF DECISION

MAY 18, 2006

PROJECT #1004818

PAGE 2 OF 5

5. The overall layout and design of the site will create a high standard for the community's built environment (*Comprehensive Plan, Developed Landscape Goal*).
6. The subject site is immediately adjacent to University Blvd., the major corridor for the Mesa del Sol community, which will enhance its status as future transit corridor (*Comprehensive Plan, Transportation and Transit Goal*).
7. The urban layout of buildings along University Blvd. will enhance provision of transit service and use (*Comprehensive Plan, Transportation and Transit Goal*).
8. Most of the shrubs and ground cover plants are low water use varieties with a few medium use plants (*Comprehensive Plan, Water Management Goal*). An amendment to the tree palette to include a majority of low water use trees that are drought and salt tolerant will improve the water conservation potential of the site.
9. The architecture of the external mixed-use buildings can be described as contemporary southwestern deco with Mediterranean elements, for lack of a better term. This design theme will set the tone for future development in this community (*Comprehensive Plan, Community Identity and Urban Design Goal*).
10. Pedestrians should have no problems relating to the public buildings as even the base, ground floor is broken up by recessed entries and portales/arcades that will provide relief from summer sun (*Mesa del Sol Level A Plan, Human Scale Goal*).
11. There are no outstanding or adverse comments from any City department or outside agency. The applicant attended the 26 April 2006 pre-hearing discussion.
12. There is no known neighborhood or other opposition to this request.
13. A cornerstone of the Level "A" Master Plan is the goal of creating a transportation system balancing the needs of motorists, transit users, bicyclists, and pedestrians; accordingly the Level "B" Plans(s) shall establish standards limiting turning lanes, acceleration lanes, and deceleration lanes to the extent possible consistent with this goal.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION
MAY 18, 2006
PROJECT #1004818
PAGE 3 OF 5

2. The applicant shall meet with the staff planner prior to submittal of the plan to DRB for final sign-off to ensure that conditions of approval are satisfactorily met.
3. The submittal shall indicate that the temporary chain link fence may remain in place for three years maximum. The submittal shall provide a description of a chain link fence screening material that excludes metal, vinyl or plastic slats.
4. Motorcycle parking shall be provided throughout the site as required by the Zoning Code.
5. The site plan shall designate all internal pedestrian walkways as to be clearly distinguishedalbe from driveway paving by pattern or color.
6. Bicycle parking shall be provided adjacent to the retail parking area at the southwestern corner of the site.
7. **Lighting and Signage:**
 - a. The site plan shall show any additional, proposed lighting on the site, including pedestrian-level lighting, building-mounted lighting and security lighting with details prior to final sign-off at the Development Review Board (DRB).
 - b. Specific details regarding colors and content of all signage shall be provided prior to final sign-off at the DRB. Any proposed lighting for these signs shall exclude any lighting that will directly illuminate the night sky beyond the surface of the sign.
8. **Landscaping:**
 - a. The applicant shall amend the tree palette to include Mesquite and Desert Willow species of by including a majority of low water use trees that are drought and salt tolerant.
 - b. Parking lot trees shall be provided as required by the Zoning Code's Landscaping Regulations (14-16-3-10).
9. **Transit Conditions:**
 - a. The site plan shall show pedestrian facilities for crossing at the University/Connector A intersection.
 - b. The site plan shall show pedestrian facilities (including crossings) at the Tower/Connector A round-about.
 - c. The applicant shall contact the Transit Department to coordinate future participation in the TDM program to facilitate ridesharing and future transit use.
10. **City Engineer/DMD Conditions:**
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The improvements, both temporary and permanent, are identified in the attached Bohannan-Huston, Albuquerque Studio, Mesa del sol infrastructure commitment letter, dated May 10, 2006 and signed by James Topmiller, and shall be constructed in accordance with that letter.

OFFICIAL NOTICE OF DECISION
MAY 18, 2006
PROJECT #1004818
PAGE 4 OF 5

Obligation acknowledged by Forest City Covington LLC

- c. The Master Developer, Forest City Covington LLC, shall be responsible for completion of the permanent and/or temporary transportation system improvements that are agreed upon in Level "B" development agreement, notwithstanding that these improvements have not been identified or required as a condition of the approval of this development and notwithstanding that this development may be owned by a third party, pursuant to the letter from Myers, Oliver, & Price, P.C. dated May 10, 2006, signed by Michael Daly.
 - d. An apparent error in the April 4, 2006 Traffic Impact Analysis (TIS) for the Mesa del Sol Phase One Employment Center Initial Developments needs to be corrected as a condition of approval of this case. This error which we believe to be a carryover from previous studies, results in a sizeable discrepancy in the number of eastbound morning through vehicles at the Rio Bravo/West Ramp Intersection and the Rio Bravo/East Ramp Intersection. The number of vehicles in question appears sufficiently large that it could translate to more than a full roadway lane of capacity.
 - e. Site plan shall comply with and be designed per the standards of the Mesa del Sol Level A Master Plan and its Technical Appendix.
11. Water harvesting methods or other sustainable methods that utilize storm water runoff shall be incorporated into the site plan.
 12. Solar Panels for purposing of water heating or cooling, space heating or cooling or power generation are permitted and encouraged.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JUNE 2, 2006 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
MAY 18, 2006
PROJECT #1004818
PAGE 5 OF 5

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

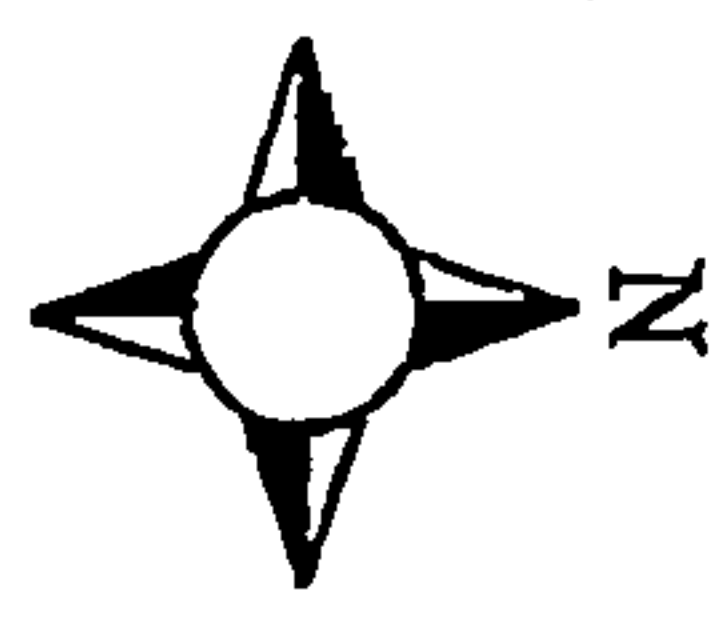
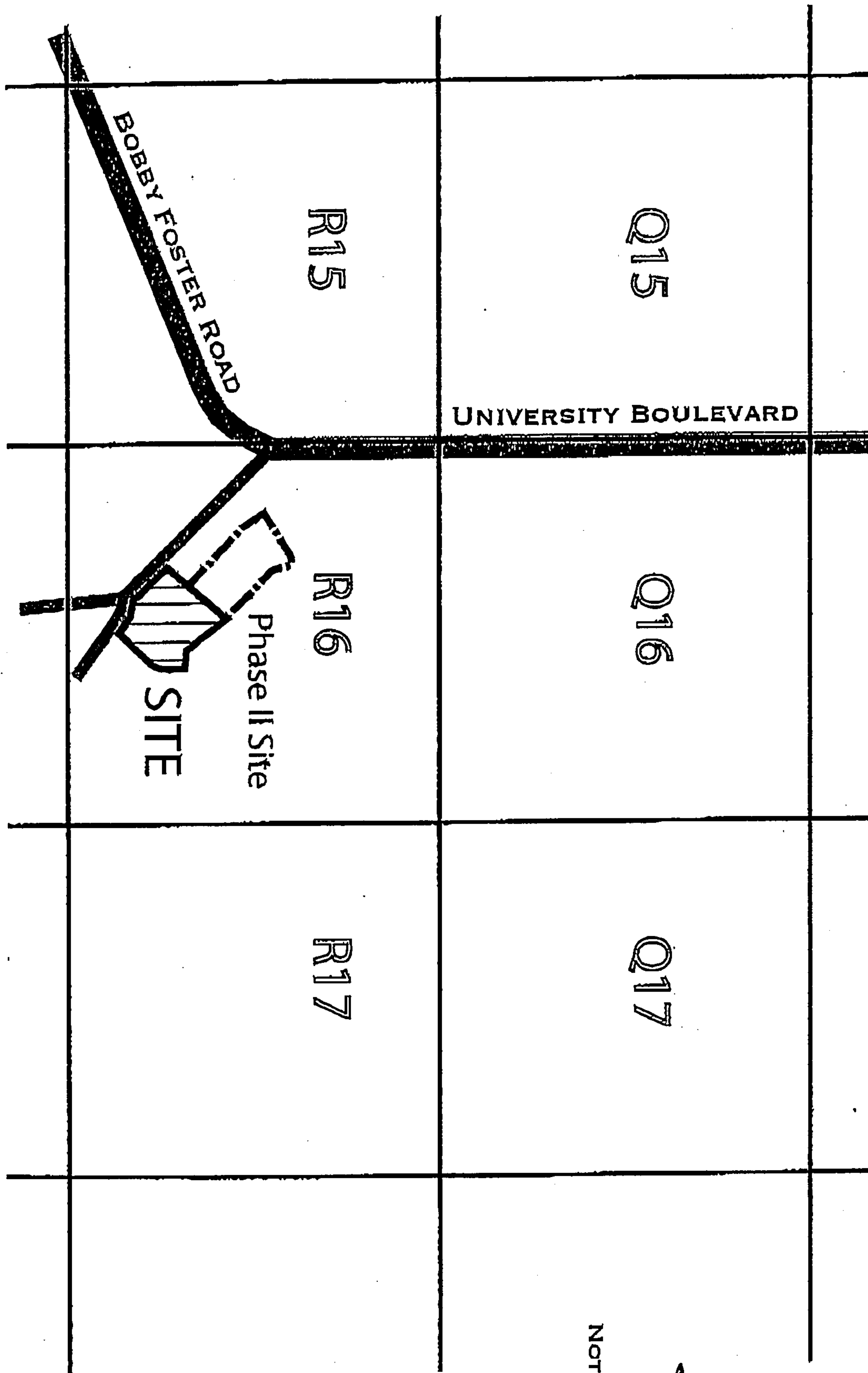
Sincerely,

CMarone

for Richard Dineen
Planning Director

RD/RB/ac

cc: Denish + Kline Associates, P.O. Box 2001, Albuquerque, NM 87103
Patty Grice, Mountain View NA, 206 Fentiman Pl. SE, Albuquerque, NM 87105
Rick Watson, Mountain View NA, 225 Sunny Slope SE, Albuquerque, NM 87105
Simon Shima, Tribal Planner, Isleta Pueblo, P.O. Box 1270, Isleta, NM 87022



NOT TO SCALE

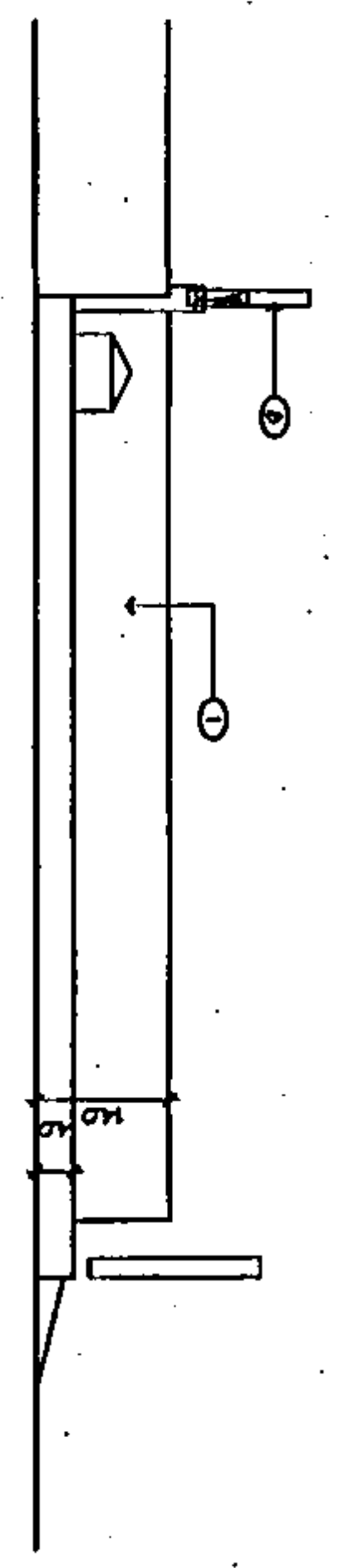
Mesa Del Sol
Film Studio
 Albuquerque, New Mexico

NOTES:
 1. All dimensions are in feet unless otherwise noted.

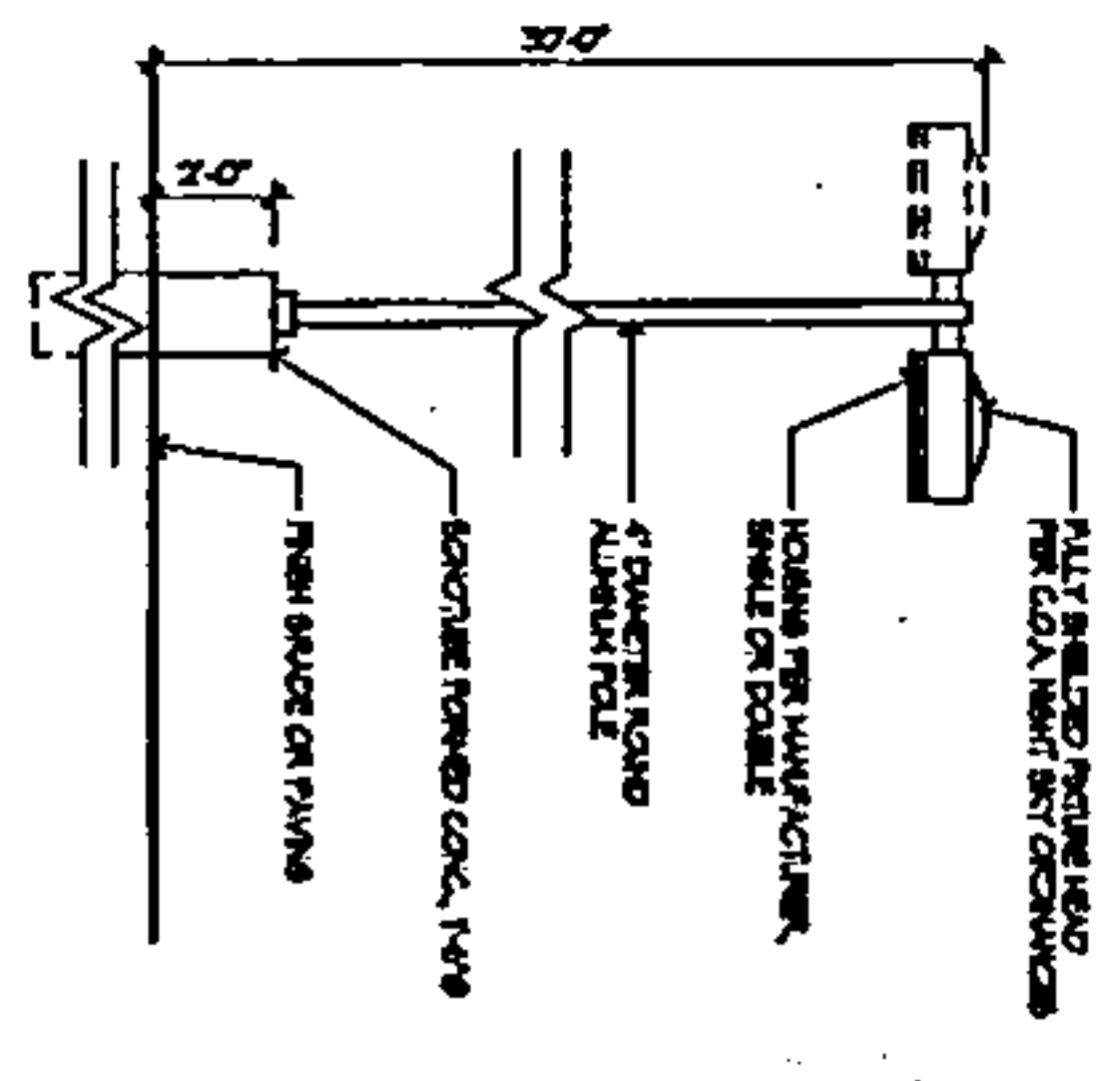
DRAWN BY: []
 CHECKED BY: []
 DATE: 04/20/05
 PROJECT NO.: 04023
 DRAWING TITLE:
 ENLARGED SITE PLANS

SHEET NO.

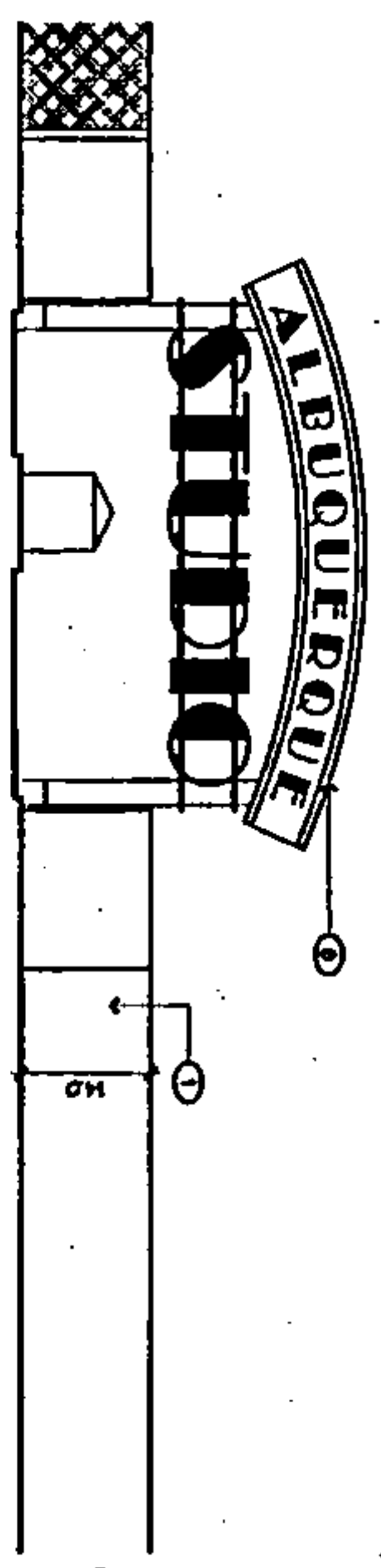
- KEYED NOTES**
1. TYPICAL ACCESSIBILITY RAMP PER COA STANDARD DETAIL 2411.
 2. TYPICAL CONCRETE FINISH PER COA STANDARD DETAIL 2416.
 3. CONCRETE REINFORCEMENT PER COA STANDARD DETAIL 2416.
 4. FINISH PER ARCHITECT'S SCHEDULE.
 5. FINISH PER ARCHITECT'S SCHEDULE.
 6. FINISH PER ARCHITECT'S SCHEDULE.
 7. FINISH PER ARCHITECT'S SCHEDULE.
 8. FINISH PER ARCHITECT'S SCHEDULE.
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 21. FINISH PER ARCHITECT'S SCHEDULE.
 22. FINISH PER ARCHITECT'S SCHEDULE.
 23. FINISH PER ARCHITECT'S SCHEDULE.
 24. FINISH PER ARCHITECT'S SCHEDULE.



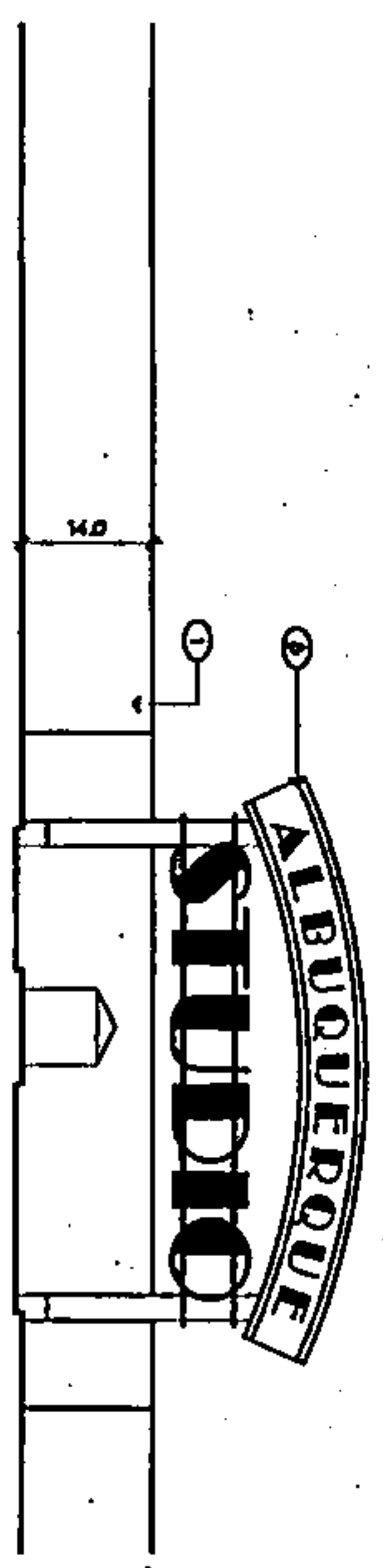
1 NORTHEAST ENTRY GATE
SEE SHEET 15 FOR KEYED NOTES



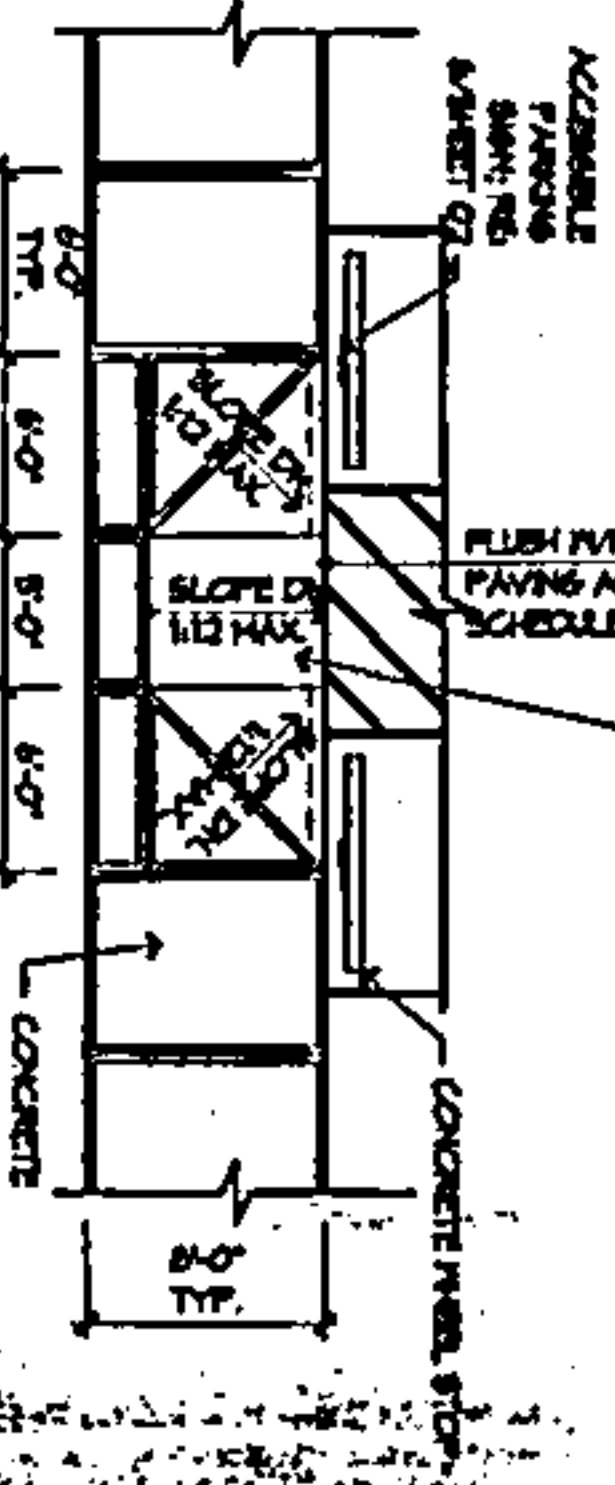
4 LIGHT POLE



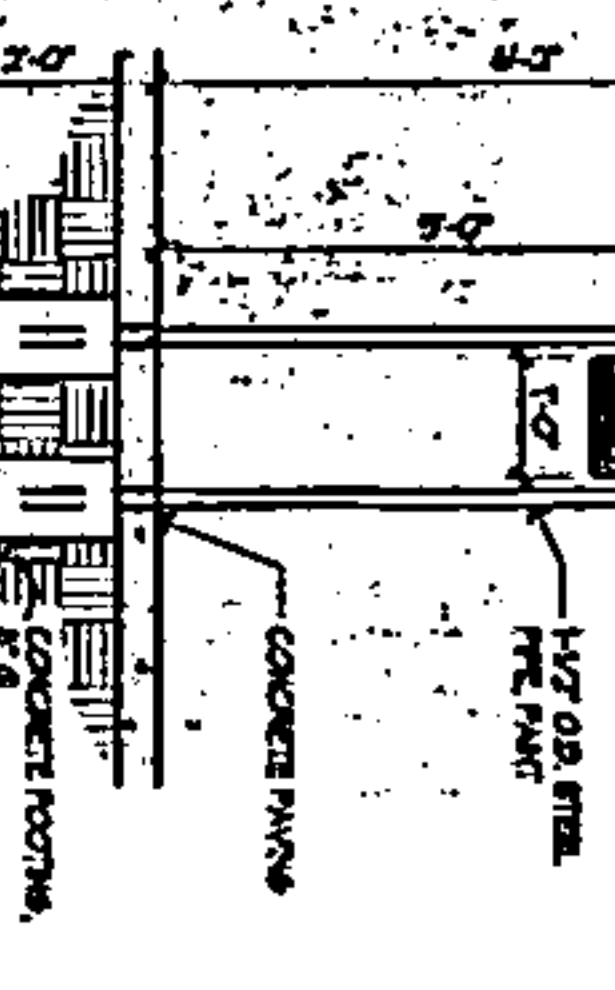
2 NORTHEAST ENTRY GATE
SEE SHEET 15 FOR KEYED NOTES



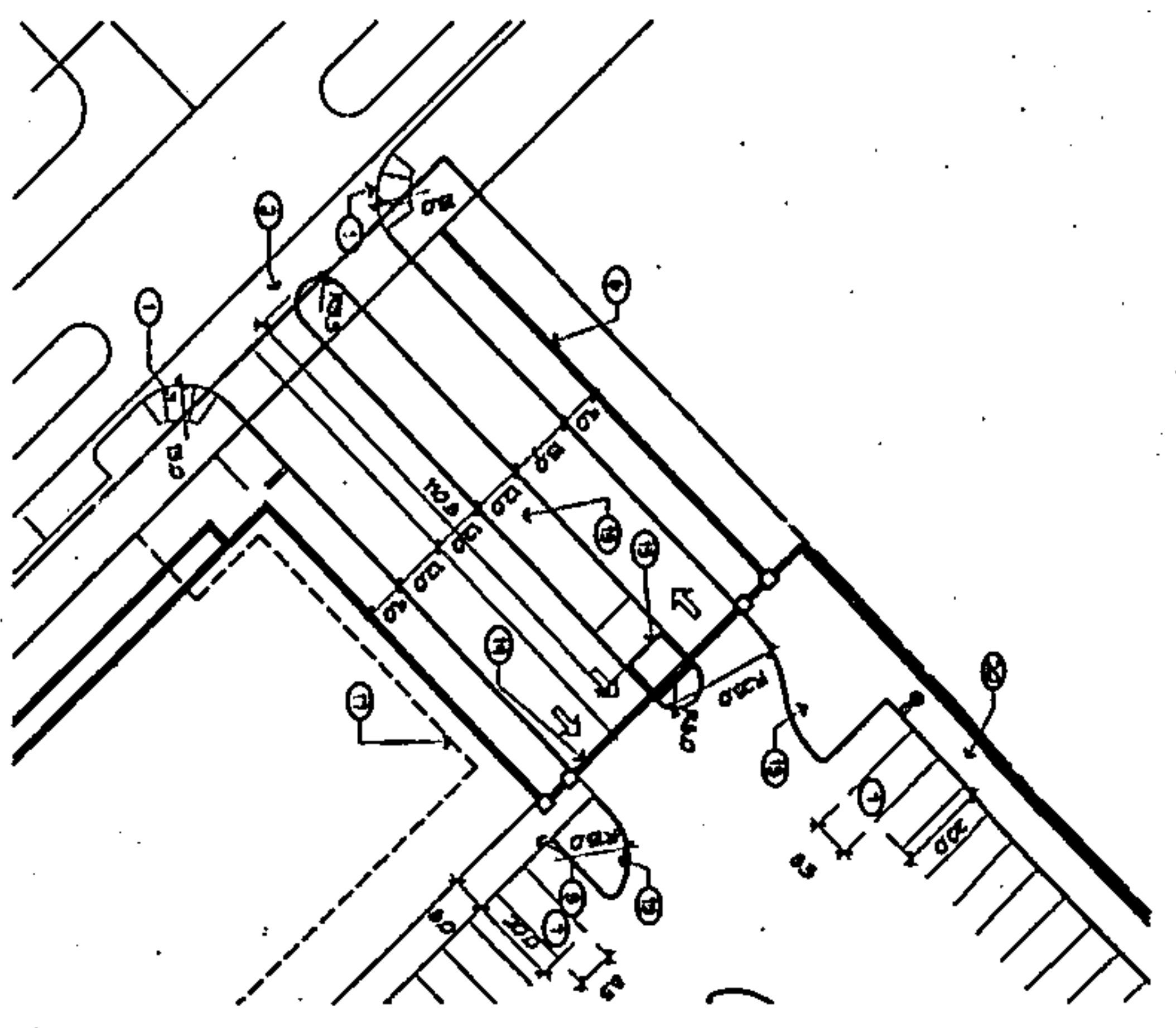
3 SOUTHEAST ENTRY GATE
SEE SHEET 15 FOR KEYED NOTES



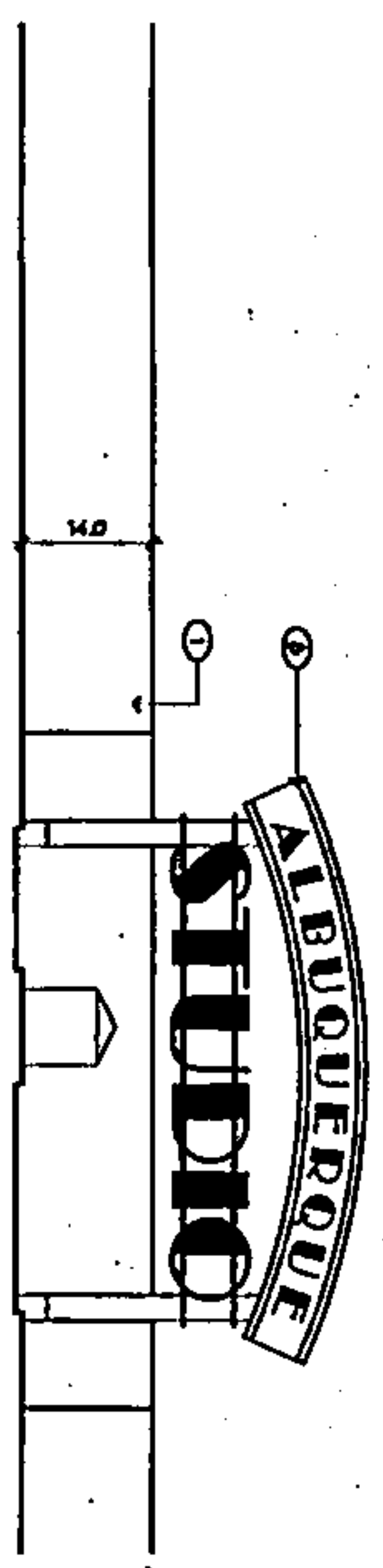
5 TYPICAL ACCESSIBLE PARKING



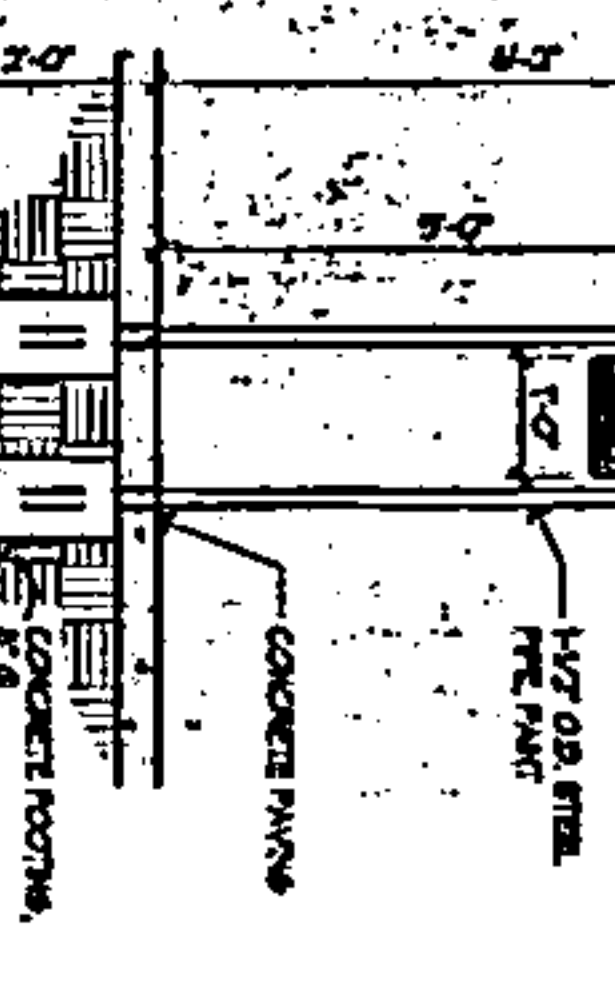
6 ACCESSIBLE PARKING SIGN



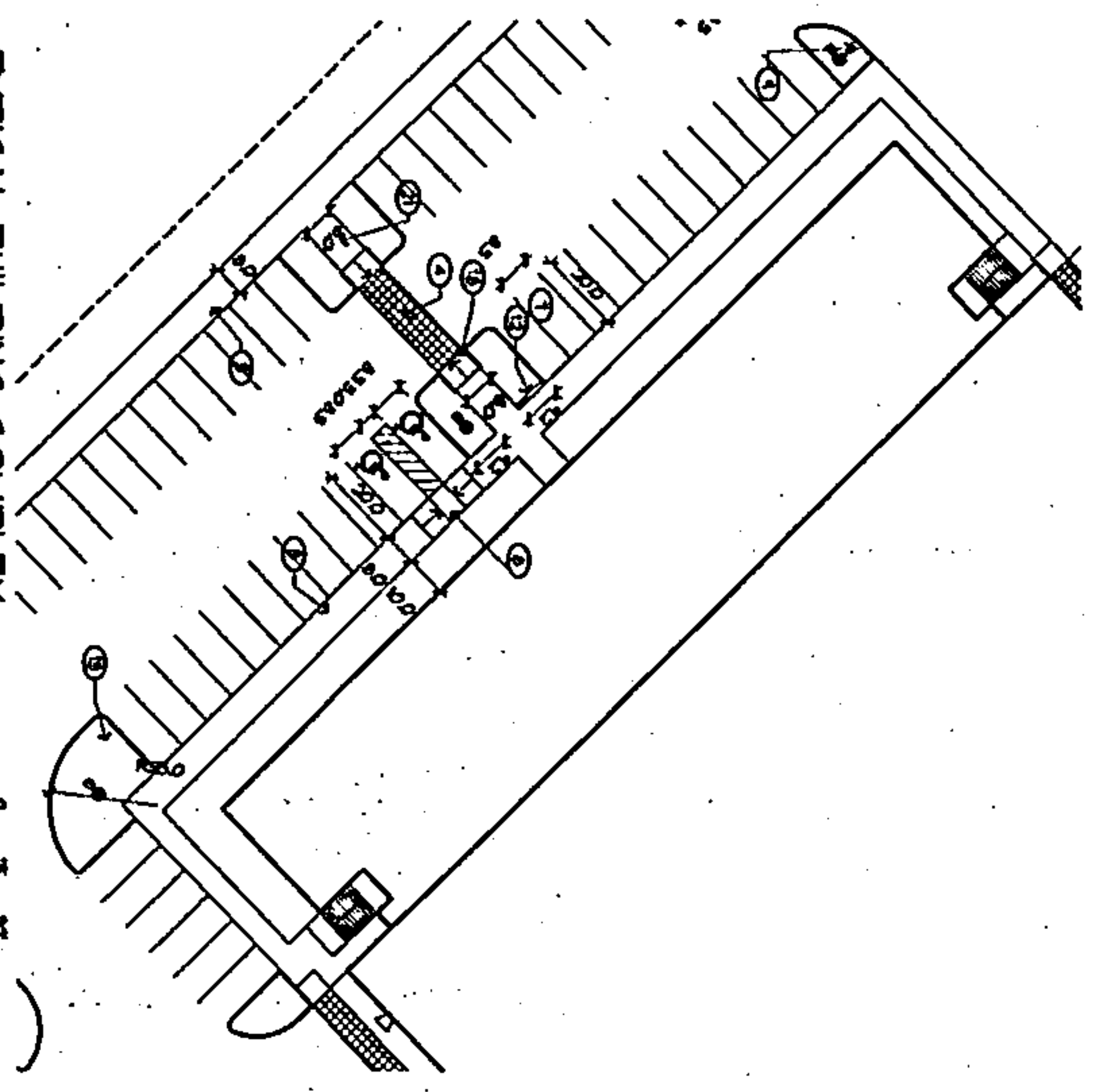
1 TYPICAL ENTRY GATE



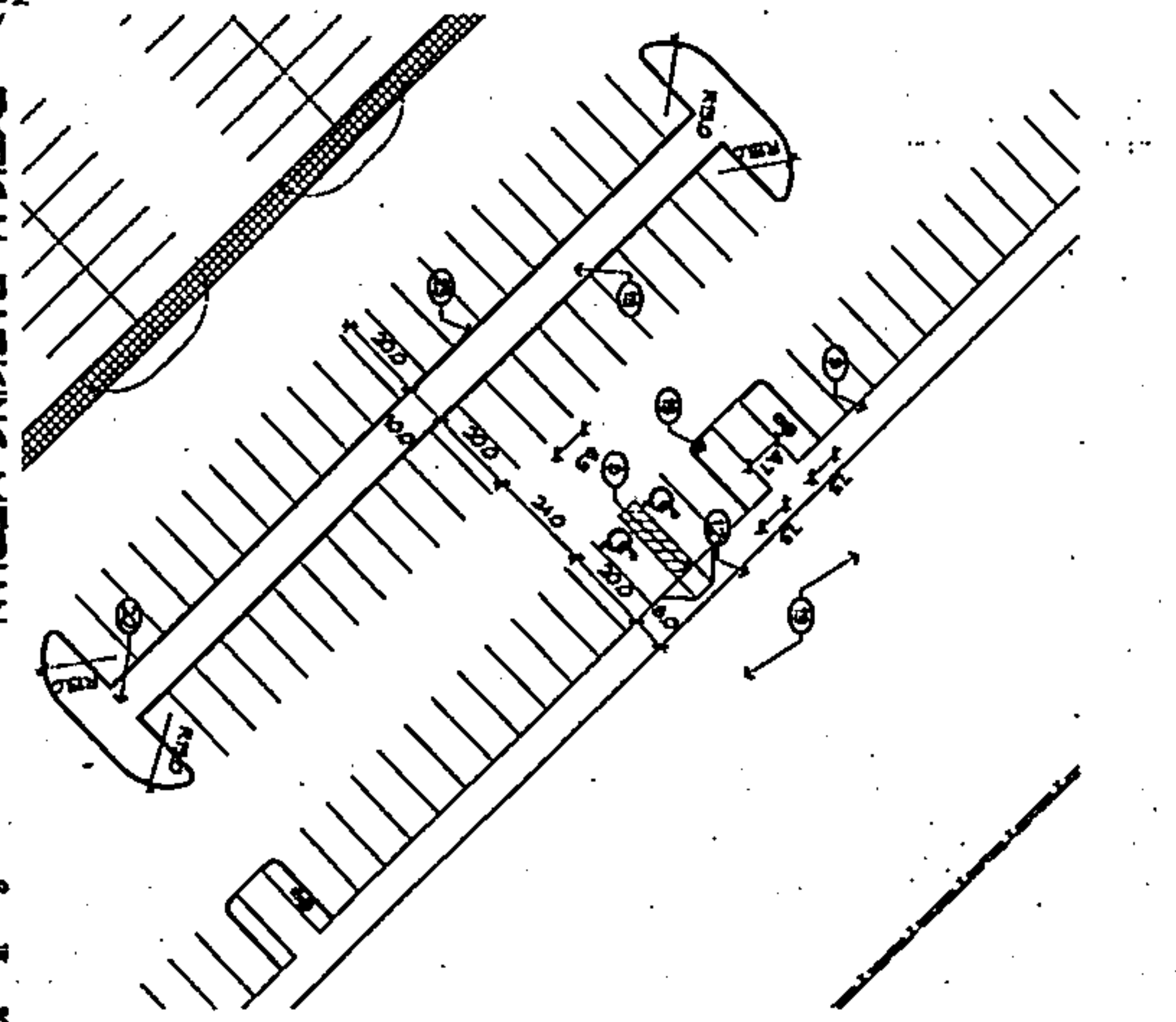
5 TYPICAL ACCESSIBLE PARKING



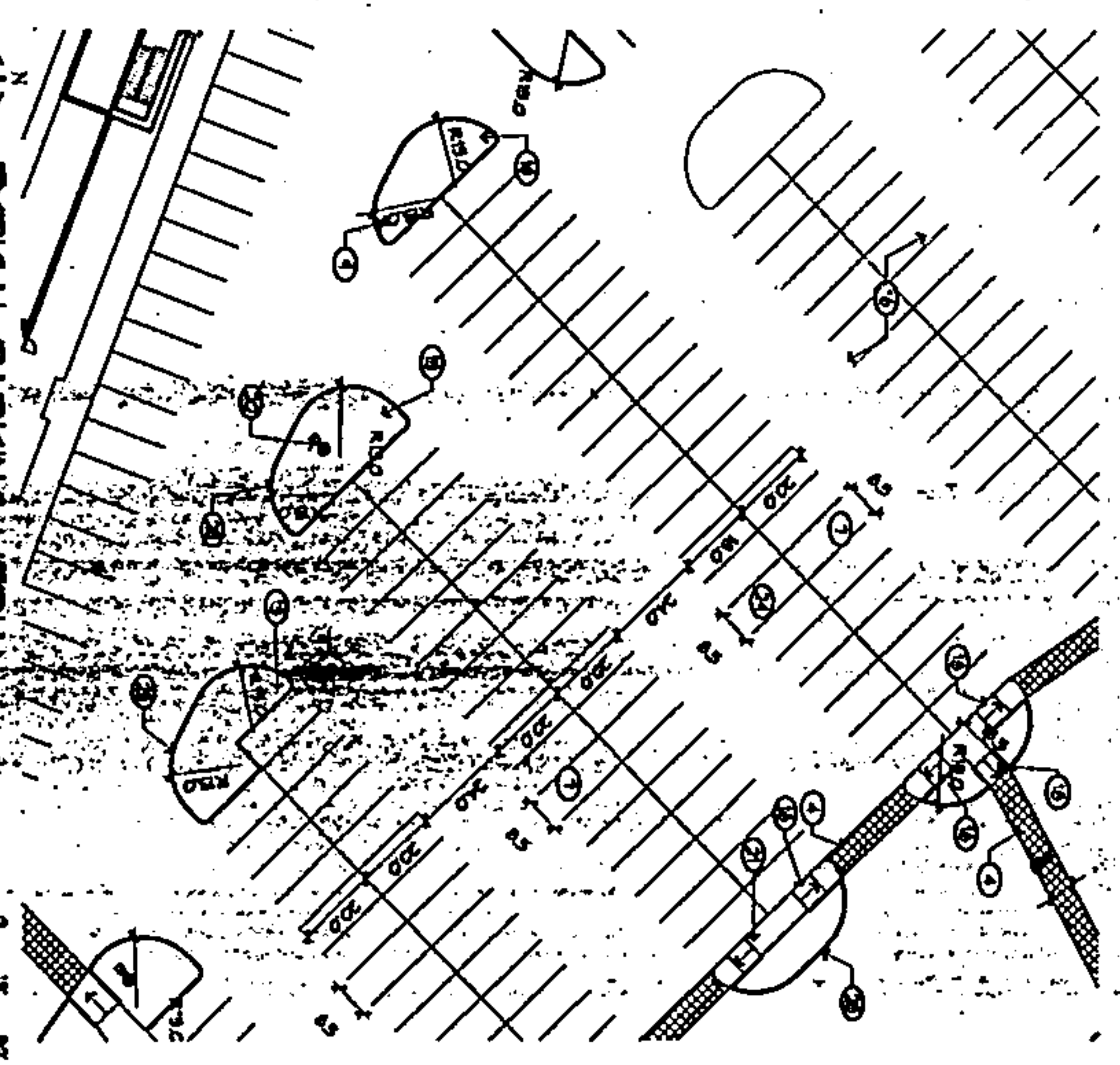
6 ACCESSIBLE PARKING SIGN



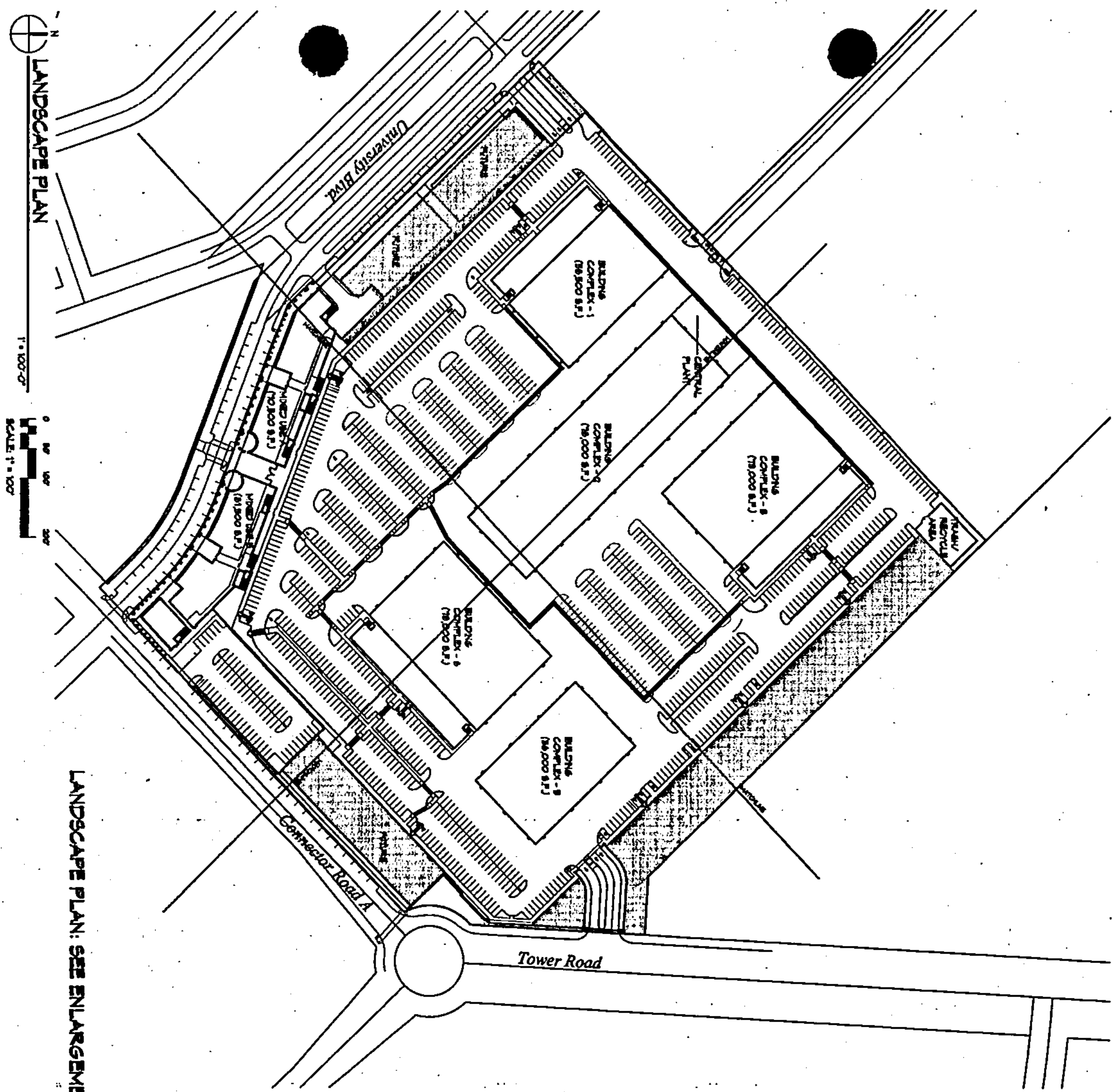
TYPICAL BUILDING COMPLEX
(OFFICE/STAGE)



TYPICAL PARKING MEDIAN



TYPICAL PARKING MEDIAN



LANDSCAPE PLAN
SCALE: 1" = 100'-0"

LANDSCAPE PLAN: SEE ENLARGEMENTS

PLANTING NOTES

1. LANDSCAPE DESIGN UTILIZES HEAVY USE OF NATIVE PLANTS TO REDUCE THE ENVIRONMENTAL IMPACT OF THE PROJECT AND TO PROVIDE A SUSTAINABLE AND RESILIENT LANDSCAPE.
2. THE DESIGN VISION FOR THE SITE IS TO PROVIDE A LANDSCAPE THAT IS BOTH BEAUTIFUL AND FUNCTIONAL, WITH A FOCUS ON WATER EFFICIENCY AND SUSTAINABILITY.
3. THE LANDSCAPE DESIGN SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND STANDARDS.
4. THE USE OF NATIVE PLANTS IS ENCOURAGED TO SUPPORT LOCAL ECOSYSTEMS AND TO PROVIDE A LANDSCAPE THAT IS RESILIENT TO CLIMATE CHANGE.
5. THE USE OF NATIVE PLANTS IS ENCOURAGED TO SUPPORT LOCAL ECOSYSTEMS AND TO PROVIDE A LANDSCAPE THAT IS RESILIENT TO CLIMATE CHANGE.

KEYED NOTES

- 1. ASPHALT DRIVEWAY
- 2. ASPHALT DRIVEWAY
- 3. ASPHALT DRIVEWAY
- 4. ASPHALT DRIVEWAY
- 5. ASPHALT DRIVEWAY
- 6. ASPHALT DRIVEWAY
- 7. ASPHALT DRIVEWAY
- 8. ASPHALT DRIVEWAY
- 9. ASPHALT DRIVEWAY
- 10. ASPHALT DRIVEWAY

PLANTING LEGEND

SYMBOL	DESCRIPTION	QUANTITY	PLANT SPECIES	PLANT SIZE	PLANTING DATE
1	Small tree	100	Quercus agrifolia	12" DBH	2024
2	Medium tree	50	Juniperus monosperma	18" DBH	2024
3	Large tree	20	Pinus ponderosa	24" DBH	2024
4	Shrub	200	Artemisia tridentata	6" H	2024
5	Ground cover	1000	Yucca elata	12" H	2024
6	Perennial	500	Salvia leucantha	18" H	2024
7	Annual	1000	Portulaca oleraceae	6" H	2024
8	Grass	2000	Bouteloua curtipendula	12" H	2024
9	Decorative rock	100	Various	12" DIA	2024
10	Decorative wall	100	Various	12" H	2024

LANDSCAPE CALCULATIONS

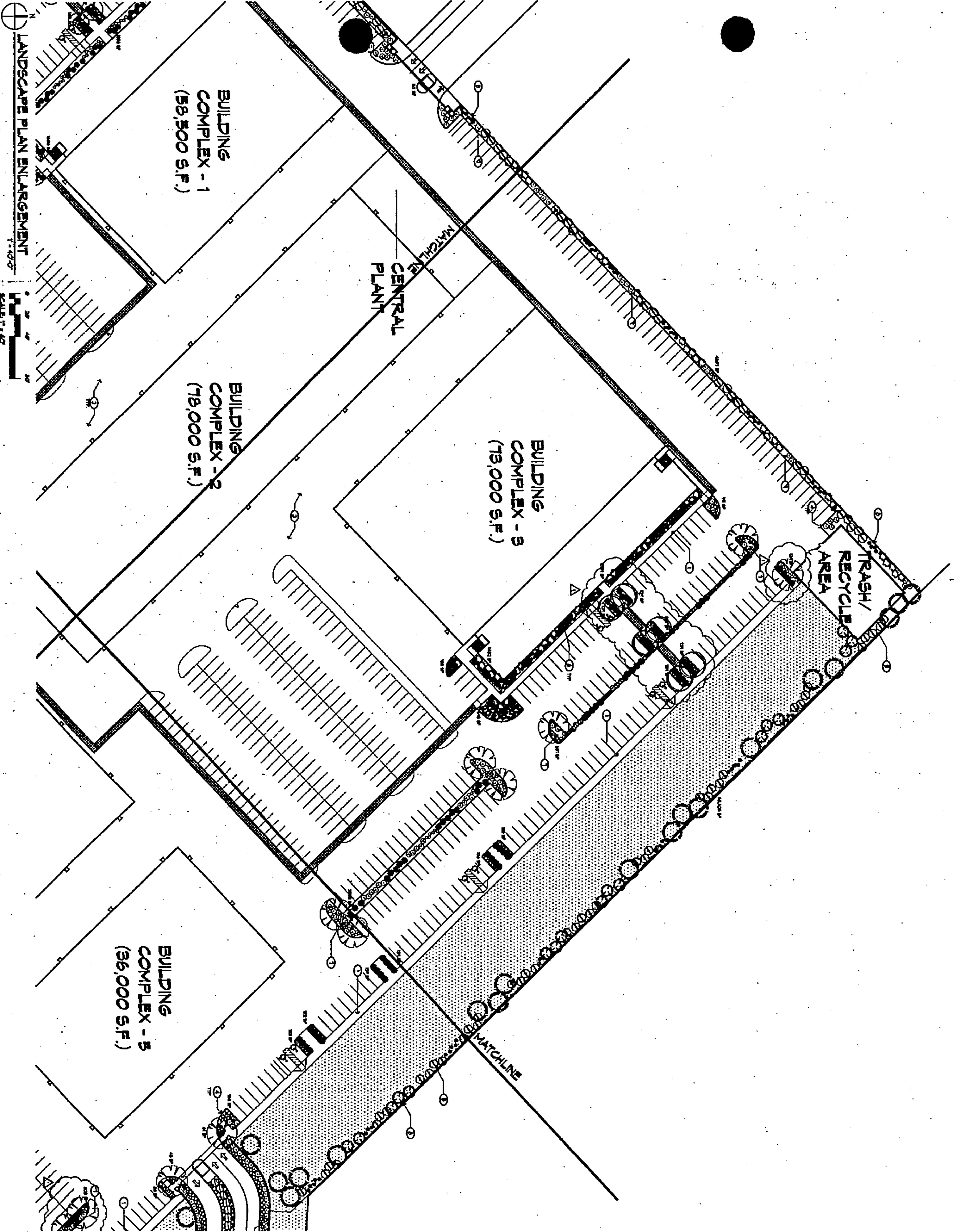
SITE AREA: 120,000 SQ FT
 PLANTING FOOTPRINT: 10,000 SQ FT
 PLANTING DENSITY: 10 PLANTS PER 100 SQ FT
 TOTAL PLANTING QUANTITY: 10,000 PLANTS

SYMBOL	DESCRIPTION	QUANTITY	PLANT SPECIES	PLANT SIZE	PLANTING DATE
11	Small tree	100	Quercus agrifolia	12" DBH	2024
12	Medium tree	50	Juniperus monosperma	18" DBH	2024
13	Large tree	20	Pinus ponderosa	24" DBH	2024
14	Shrub	200	Artemisia tridentata	6" H	2024
15	Ground cover	1000	Yucca elata	12" H	2024
16	Perennial	500	Salvia leucantha	18" H	2024
17	Annual	1000	Portulaca oleraceae	6" H	2024
18	Grass	2000	Bouteloua curtipendula	12" H	2024
19	Decorative rock	100	Various	12" DIA	2024
20	Decorative wall	100	Various	12" H	2024

Mesa Del Sol
 Film Studio
 Albuquerque, New Mexico

Deker Perich Sabatini
 ARCHITECTS
 5010 10th NE
 Albuquerque, NM 87109
 505.261.4333
 505.261.4334
 505.261.4335

DESIGNED BY: [Signature]
 DATE: 06/06/2025
 PROJECT NO: 06025
 DRAWING NAME: LANDSCAPE PLAN



- KEYED NOTES**
- ASPHALT CONCRETE
 - PAVED ASPHALT
 - GRASS
 - GRASS WITH ASP SITE PLAN
 - LANDSCAPE AREA
 - SITE LIGHTING AND SITE PLAN
 - FLOORSIDE LINE

architect
interior
planning
engineering

**Dekker
Perich
Sabatini**

1811 Jefferson St
Suite 100
Albuquerque, NM 87102
505 221-1211
fax 505 221-1211
www.dpsa.com

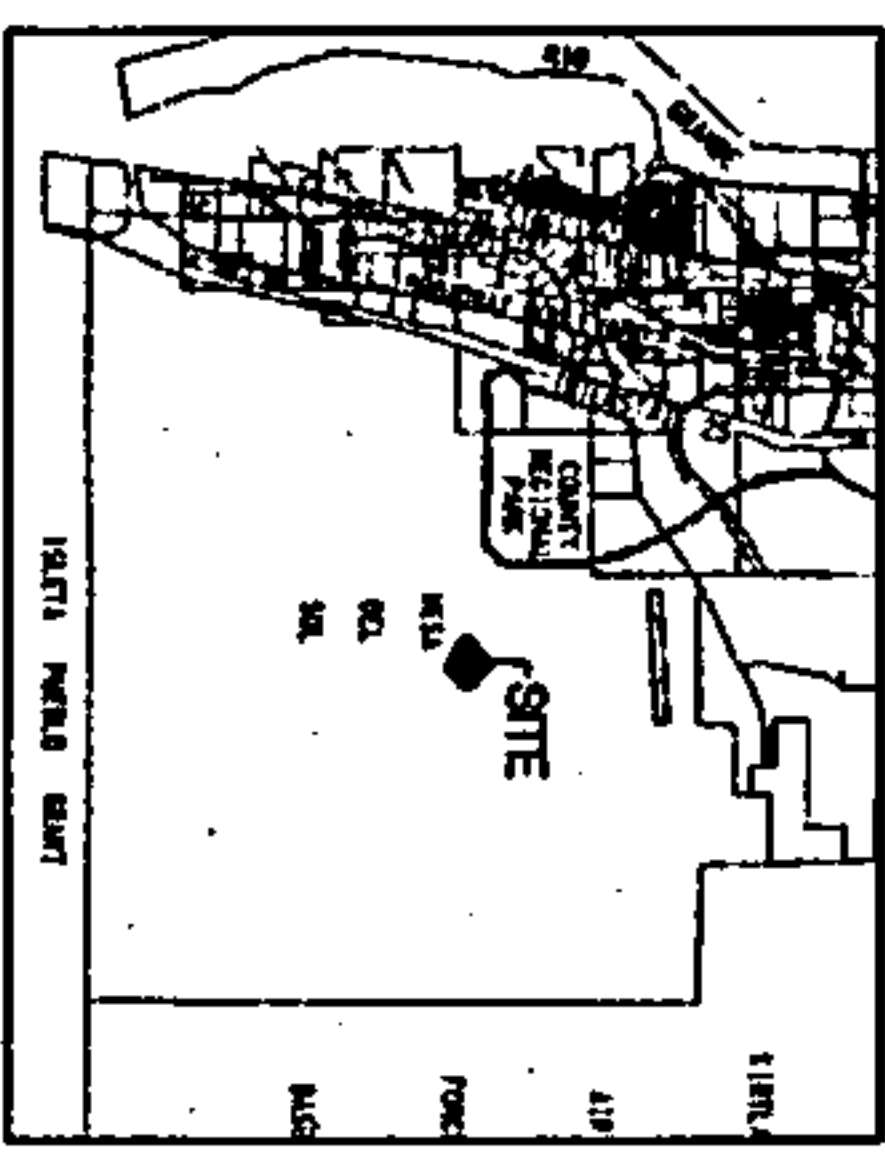
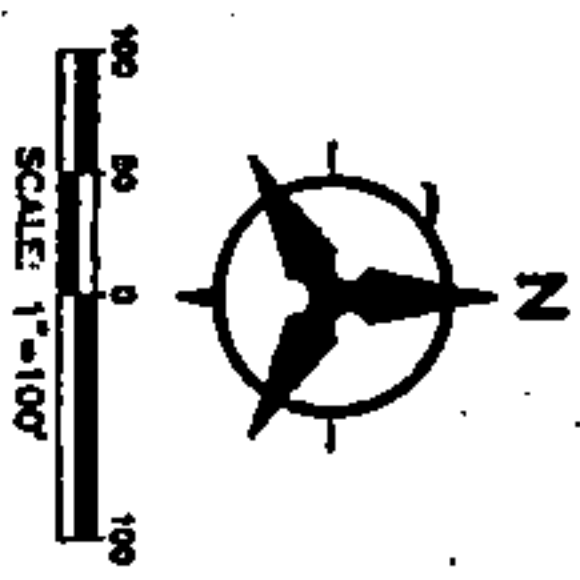
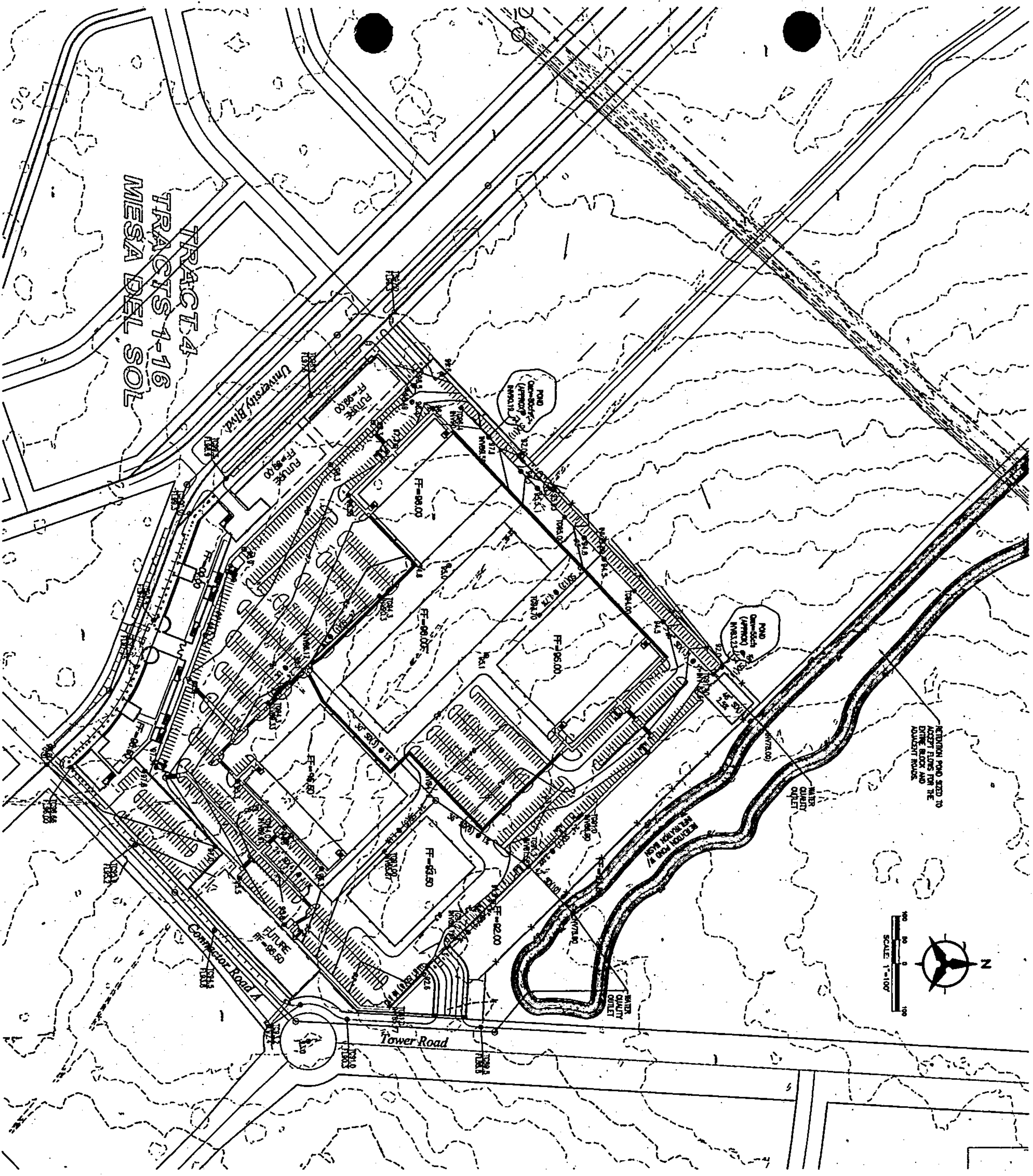
**Mesa Del Sol
Film Studio**
Albuquerque, New Mexico

REVISIONS

△	ADDENDUM REVISION
△	
△	

DESIGN BY	SL
REVIEWED BY	MB
DATE	06/04/06
PROJECT NO.	06029
DRAWING SIZE	

LANDSCAPE PLAN ENLARGEMENT #4



LOCATION MAP
ZONE ATLAS INDEX MAP R-16
NOT TO SCALE

- GRADING NOTES**
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
 - THE COST FOR REQUIRED CONSTRUCTION COST AND EROSION CONTROL MEASURES SHALL BE NECESSARY TO THE PROJECT COST.
 - ALL WORK RELATIVE TO PREPARATION, CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION, AS PROVIDED BY THE CONTRACTOR OR OWNER. ALL OTHER WORK SHALL UNLESS OTHERWISE SPECIFIED, BE PERFORMED IN ACCORDANCE WITH THE PROJECT (THIS PROJECT) SPECIFICATIONS AND/OR THE CITY OF ALBUQUERQUE (CITY) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND EDITION).
 - EARTH STOPS SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
 - IF THE SLOPE OF ANY EARTH STOP THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROJECT BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
 - THE CONTRACTOR IS TO ENSURE THAT NO SOIL EXPOSED FROM THE SITE ORTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY, SHALL BE EXPOSED BY CONSTRUCTION TEMPORARY FENCES OR SIGN FENCE AT THE PROJECT SITES AND RETURN THE SOIL TO PROTECT IT FROM EROSION.
 - A DEDICATED SITE FOR ART & ALL OTHER EXHIBITION MATERIAL, AND UNLIMITED MATERIAL, AND/OR A DEDICATED SITE FOR APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONTRACTOR, ALL COSTS SHALL BE FOR THE CONTRACTOR'S ACCOUNT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
 - PAVING AND ROADWAY GRADINGS SHALL BE +/- 6" FROM FINISH ELEVATIONS. PAVEMENT SHALL BE +/- 1" FROM FINISH ELEVATIONS.
 - ALL IMPROVED CONCRETE SURFACE TOP OF FINISH ELEVATIONS IN THE FINISH AREA AND MUST BE ADJUSTED FOR SETBACKS AND SLOPES.
 - ALL NEWLY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION POINT TO REMAINING CONSTRUCTION.

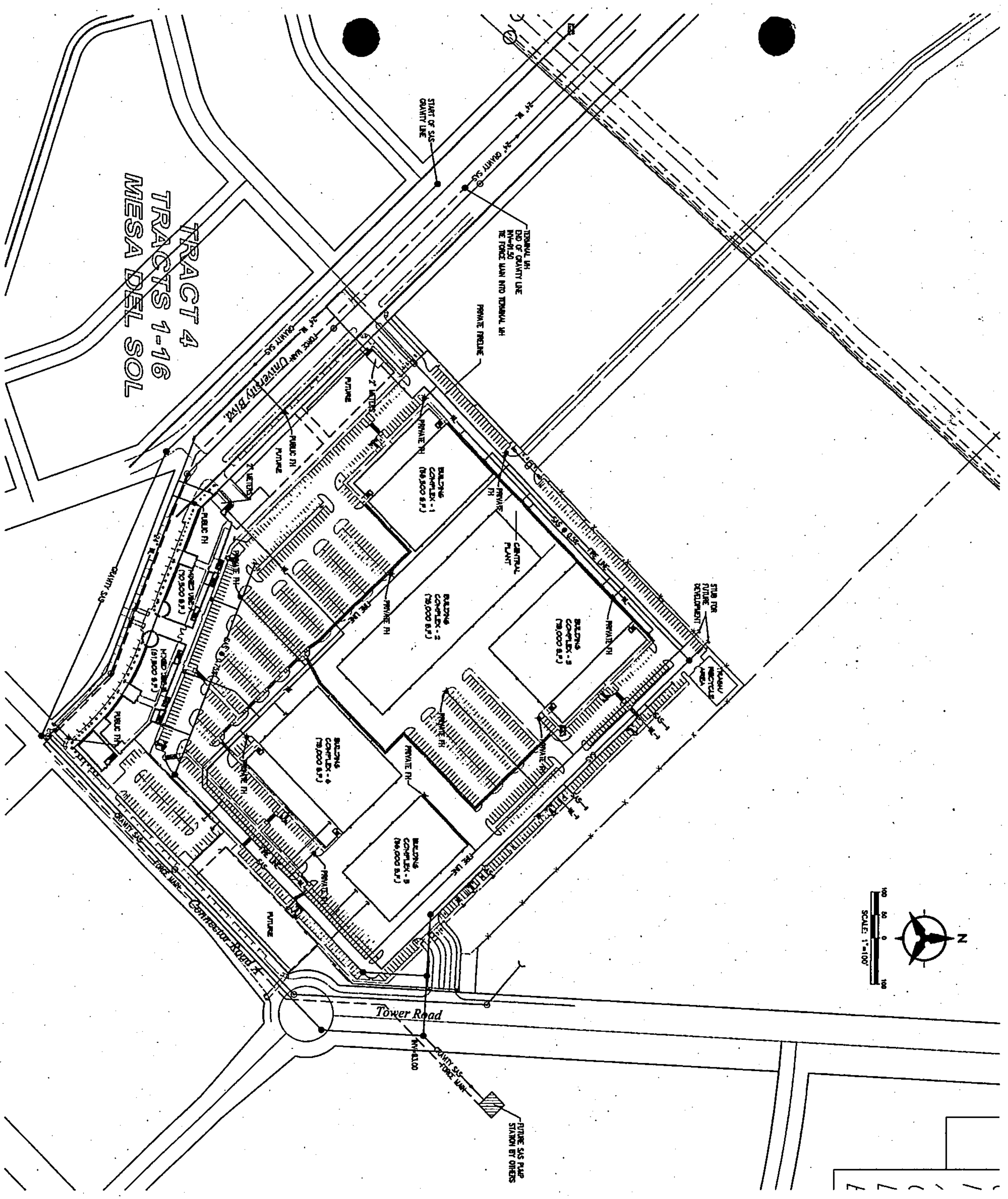
NOTE: OFF-SITE FLOWS UPSTREAM OF UNIVERSITY BLVD WILL BE RETAINED IN EXISTING PAVED DRAINAGE FACILITY (LOCATED WEST OF UNIVERSITY BLVD)

Bohannon & Huston
 Conceptual Grading and Drainage Plans
 1000 University Blvd, Albuquerque, NM 87102-4300
 505-263-1000 • FAX 505-263-1001 • WWW.BOHANNONANDHUSTON.COM

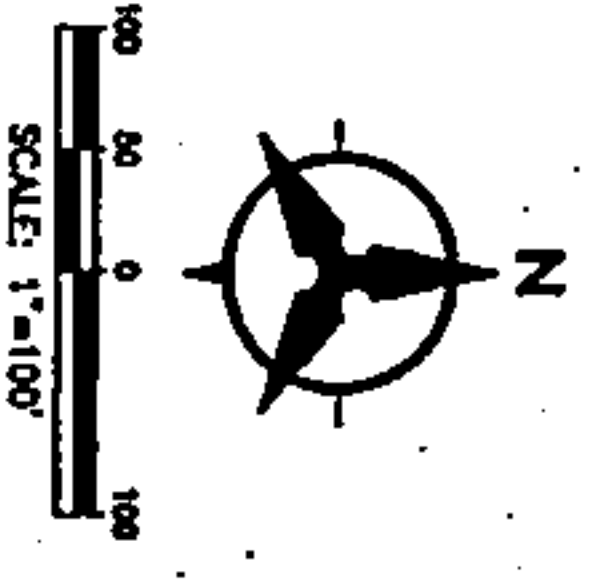
Dekker Perich Sabatini
 1000 University Blvd
 Albuquerque, NM 87102
 505-263-1000
 505-263-1001
 www.dps.com

**Mesa Del Sol
 Film Studio
 Albuquerque, New Mexico**

PROJECT	Mesa Del Sol Film Studio
DATE	10/20/00
DESIGNED BY	Bohannon & Huston
DRAWN BY	LM
CHECKED BY	LM
DATE	10/20/00
PROJECT NO.	08
DRAWING NO.	08
SHEET NO.	08



TRACT 4
TRACTS 1-16
MESA DEL SOL



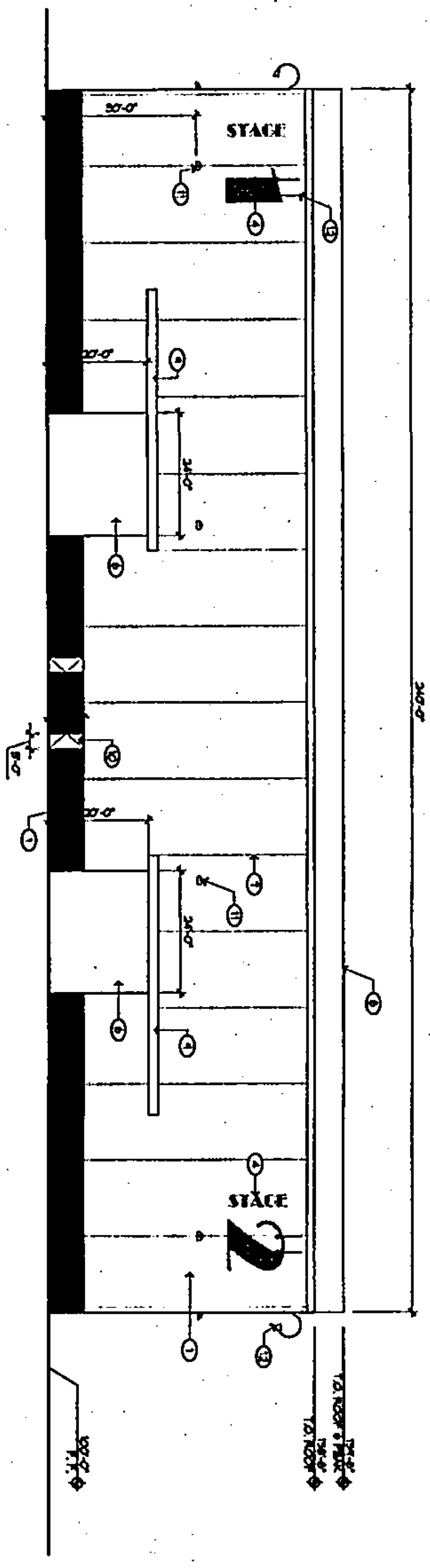
Mesa Del Sol
Film Studio
 Albuquerque, New Mexico

CONCEPTUAL UTILITY PLAN

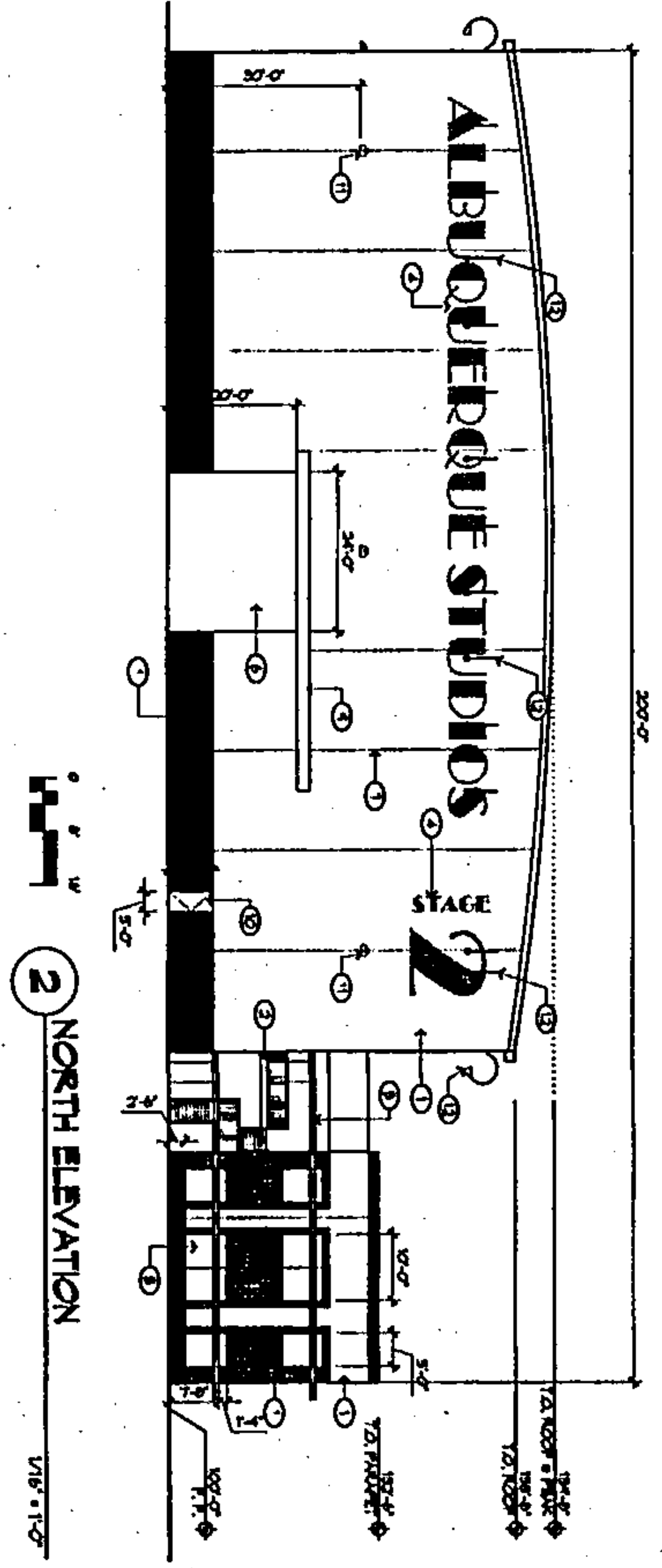
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 CHECKED BY: [blank]
 PROJECT NO.: 040808
 DRAWING TYPE: [blank]

Bohannon & Huston
 Conceptual Utility Plan
 1000 University Blvd., Suite 1000
 Albuquerque, NM 87106-2000
 Tel: 505-243-2000 - Fax: 505-243-2000

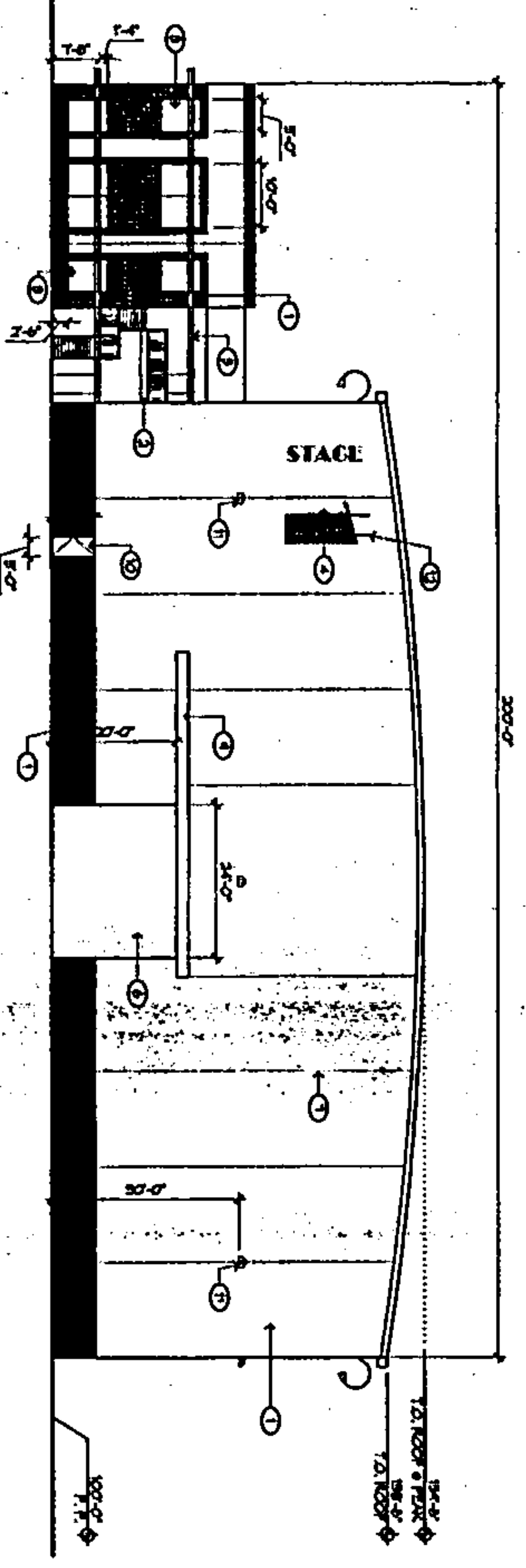
Dekker Perich Sabatini
 Architects
 1111 Alameda SE
 Albuquerque, NM 87106
 Tel: 505-243-2222
 Fax: 505-243-2222
 ds@psab.com



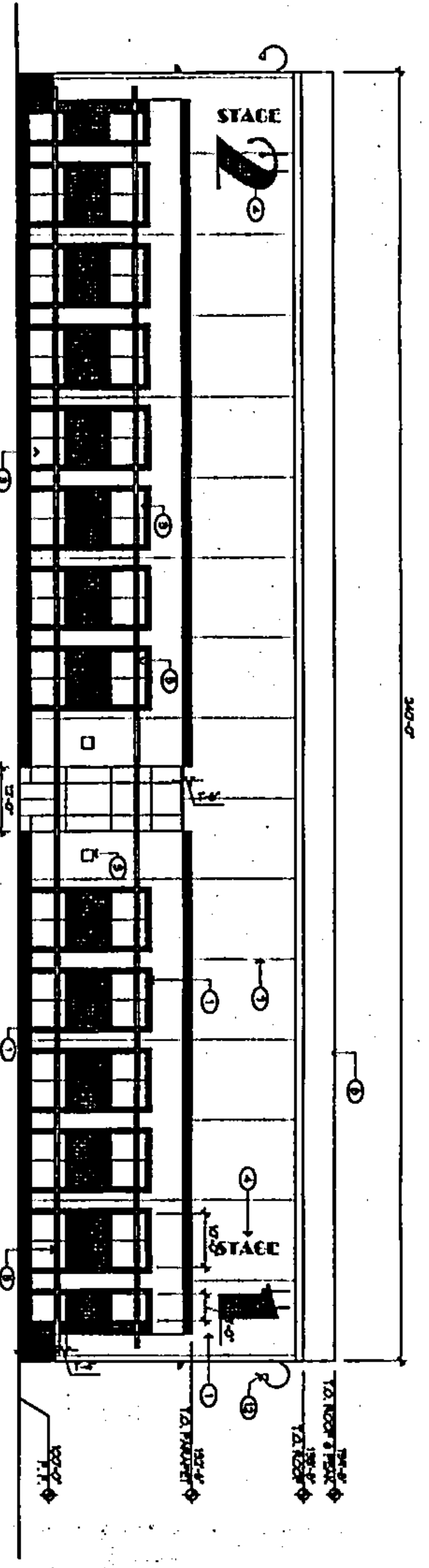
1 EAST ELEVATION



2 NORTH ELEVATION



3 SOUTH ELEVATION

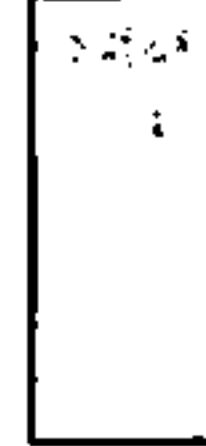




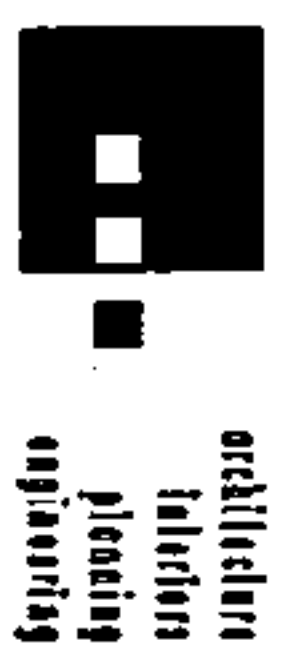
4 WEST ELEVATION

KEYED NOTES

1. CONCRETE TILT-UP PANEL SYSTEM
 2. STEEL STRIPS BRIDGED TO OUTSIDE
 3. FURNISH STRIPLIGHT SYSTEM
 4. FURNISH PROSCENIUM STRUCTURE
 5. STEEL, INDOOR AVENUE STRUCTURE
 6. STEEL, ALIENING DOOR
 7. CONCRETE PANEL, JOINT TYPE
 8. ROOF TRUSS STRUCTURE
 9. STEEL DOOR, TRUCK AND WHEELER GUARD
 10. HOLD UP METAL DOOR AND FRAME
- PROSCENIUM MOUNTED LIGHT FIXTURES SHALL BE NEARBY BUT COMPLIANT
 INDOOR AVENUE MOUNTED LIGHT FIXTURES SHALL BE NEARBY BUT COMPLIANT

COLOR LEGEND

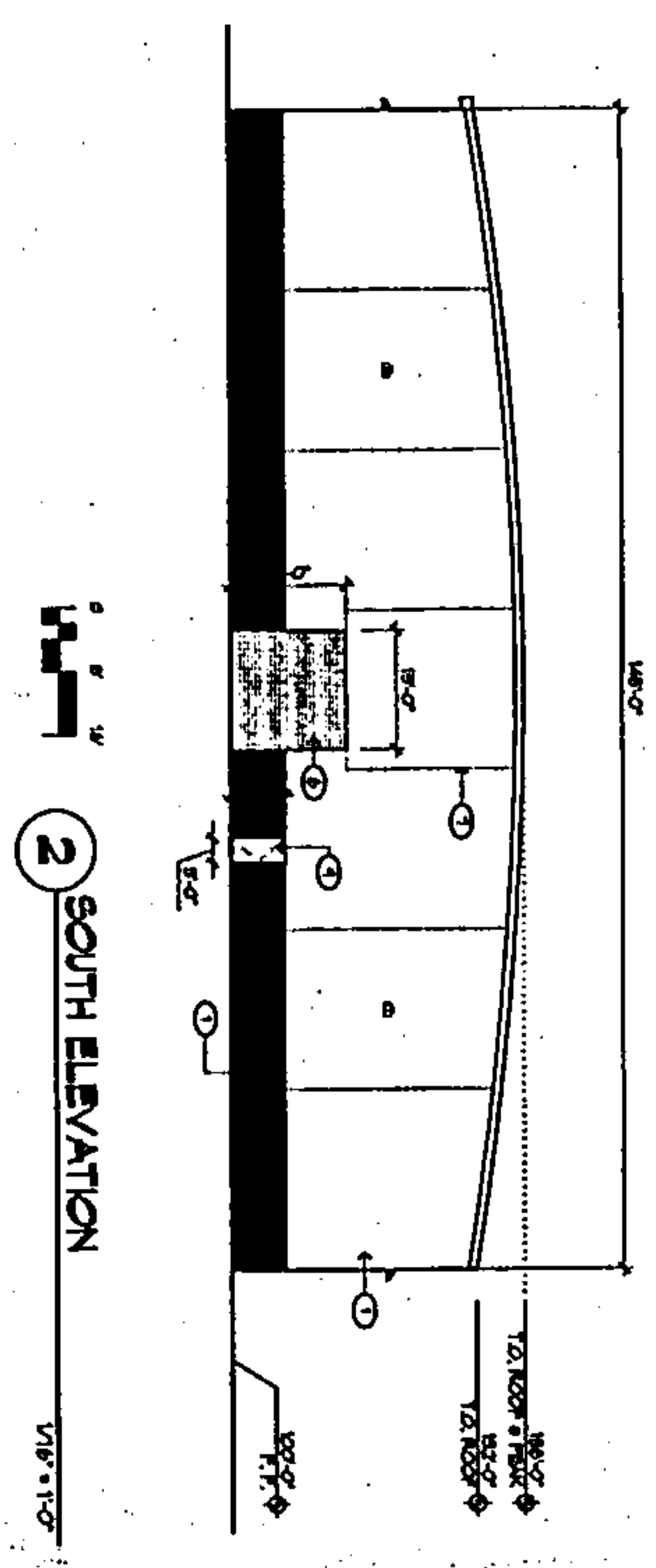
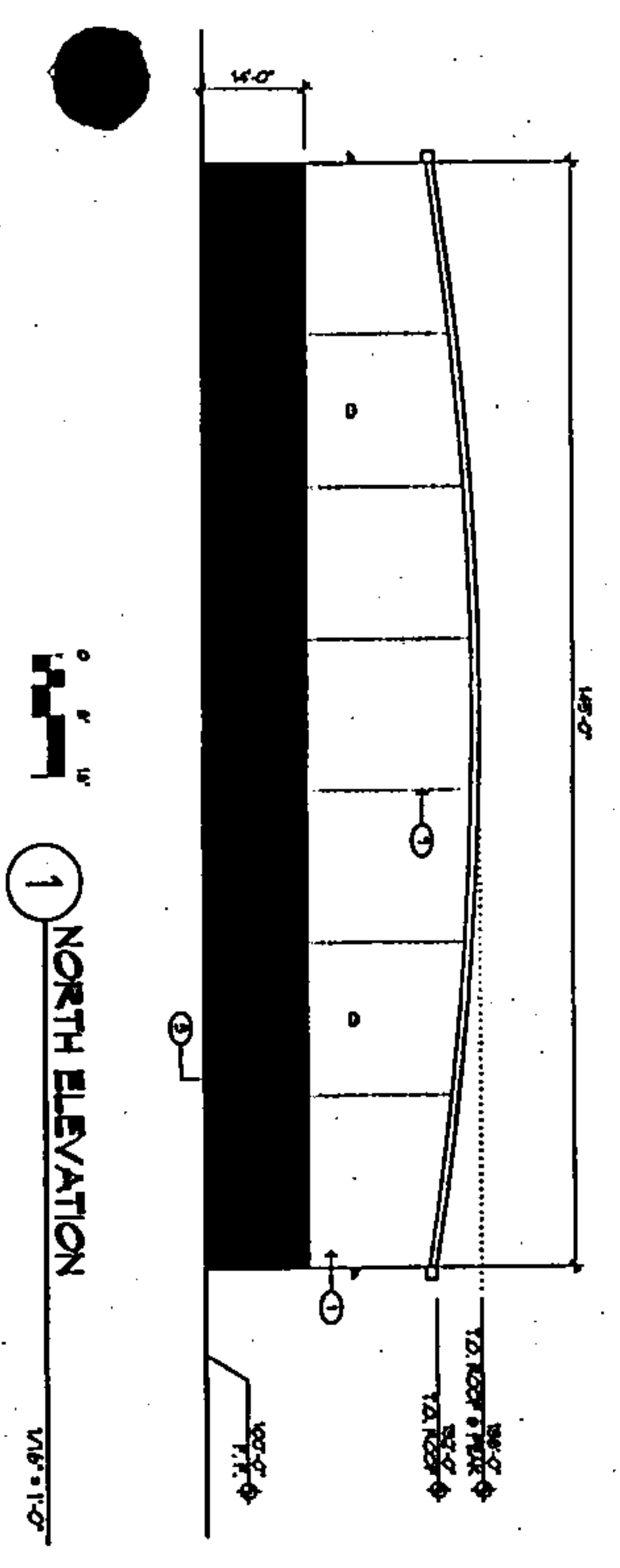
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	COLOR IS DARK TINI
	COLOR IS MEDIUM BROWN



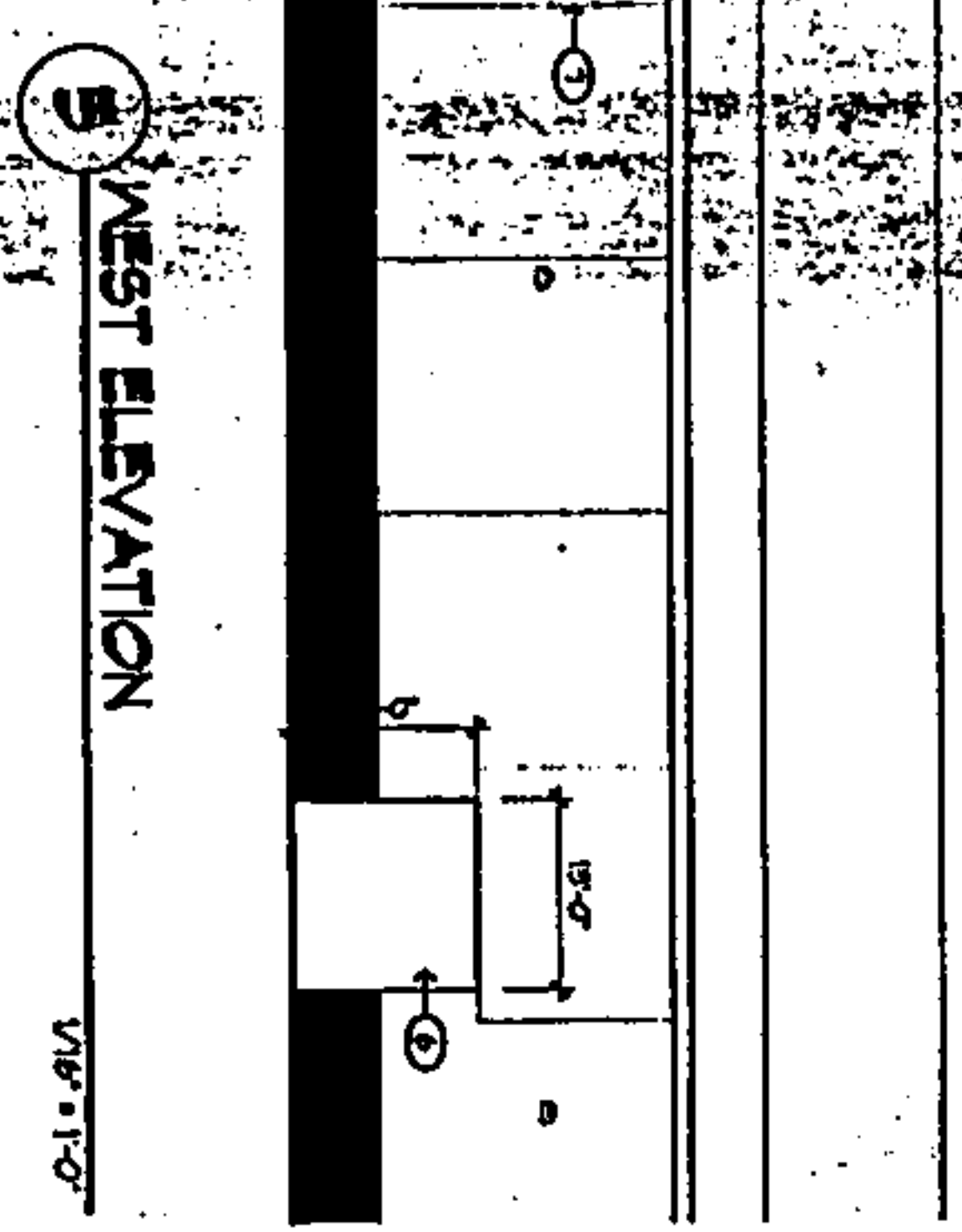
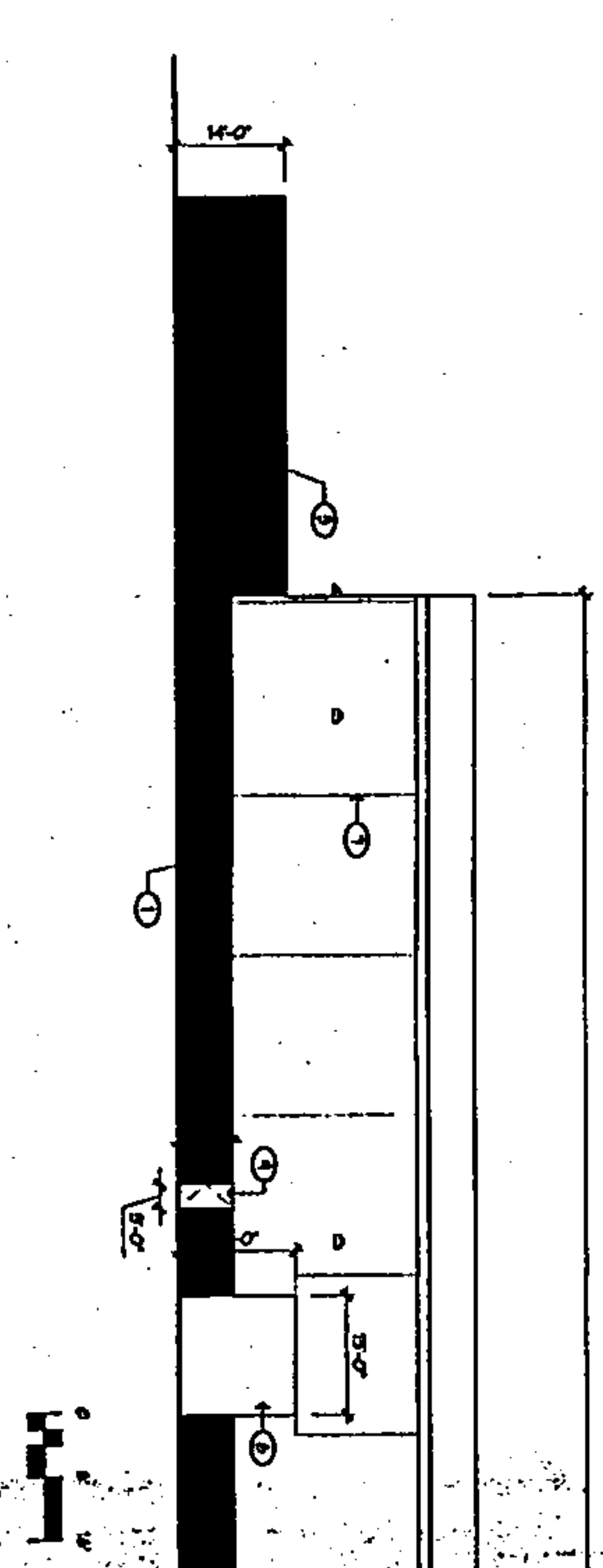
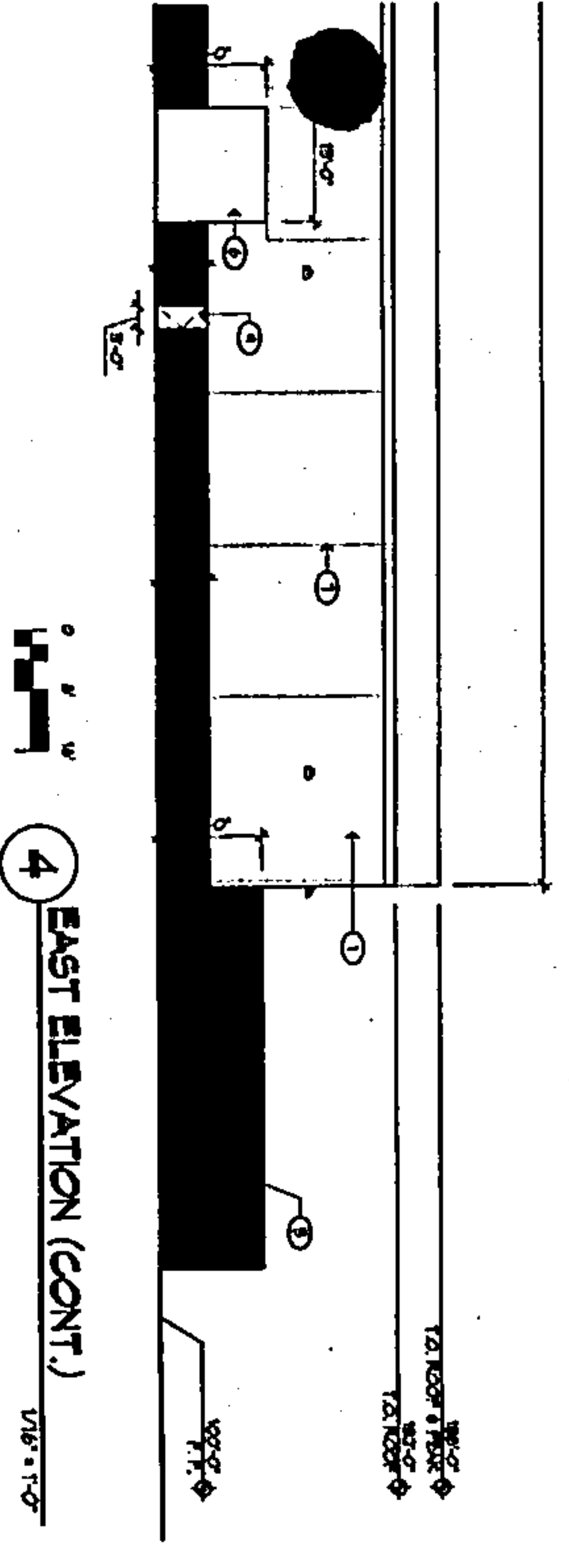
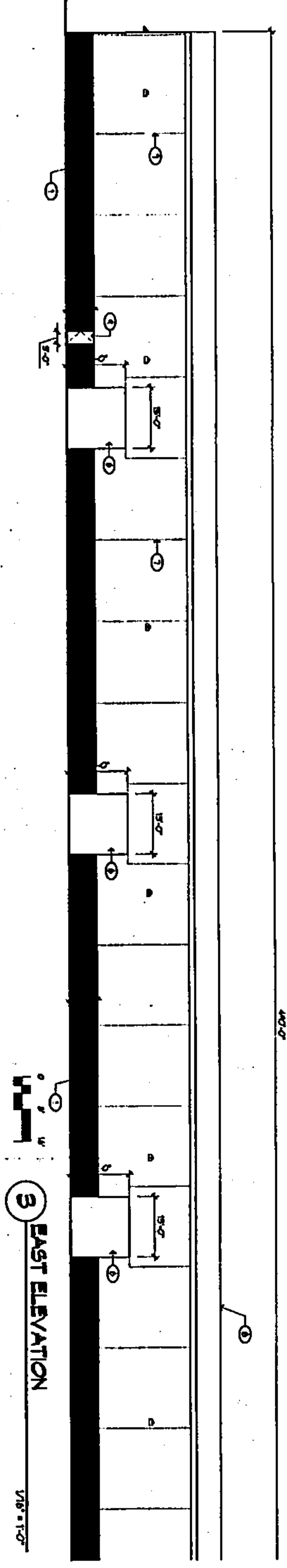
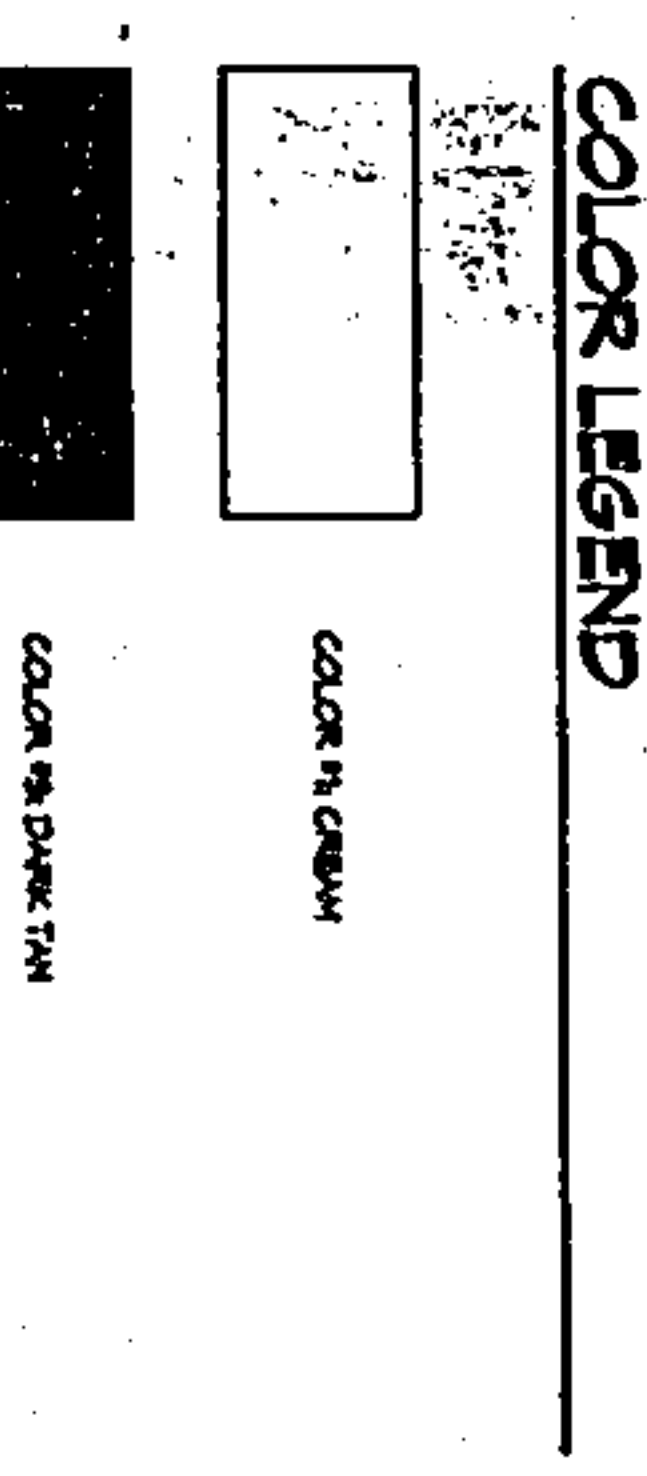
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 architectural planning engineering
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 Albuquerque, NM 87109
 505 261-3700
 fax 505 261-4333
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 Film Studio
 Albuquerque, New Mexico

NOTES	△ available per condition
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PROJECT	
DATE	04/20/05
REVIEWED BY	
DRAWN BY	
PROJECT NO.	06025
DRAWING NAME	ELEVATIONS- BUILDING COMPLEX - 1
SHEET NO.	10



- KEYED NOTES** ○
1. CONCRETE TILT-UP PANEL SYSTEM
 2. STEEL STRAPS EXPOSED TO OUTSIDE
 3. ALUMINUM FINISHMENT SYSTEM
 4. PAINTED FINISH SYSTEM
 5. (2x) WALL WITH STUCCO FINISH
 6. STEEL SCALLOP DOOR
 7. CONCRETE PANEL JOINT TYP.
 8. ROOF PANEL SECTION
 9. HOLLOW METAL DOOR AND FRAME
 10. FLOOR MOUNTED LIGHT FIXTURE SHALL BE NEARBY AND COMPLIANT.

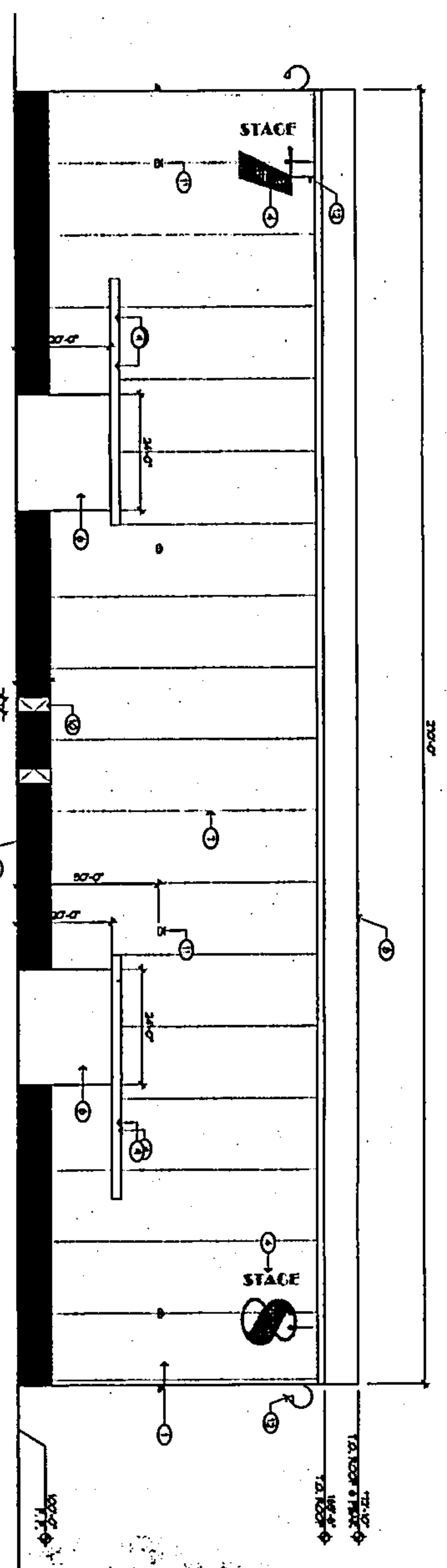


- NOTES**
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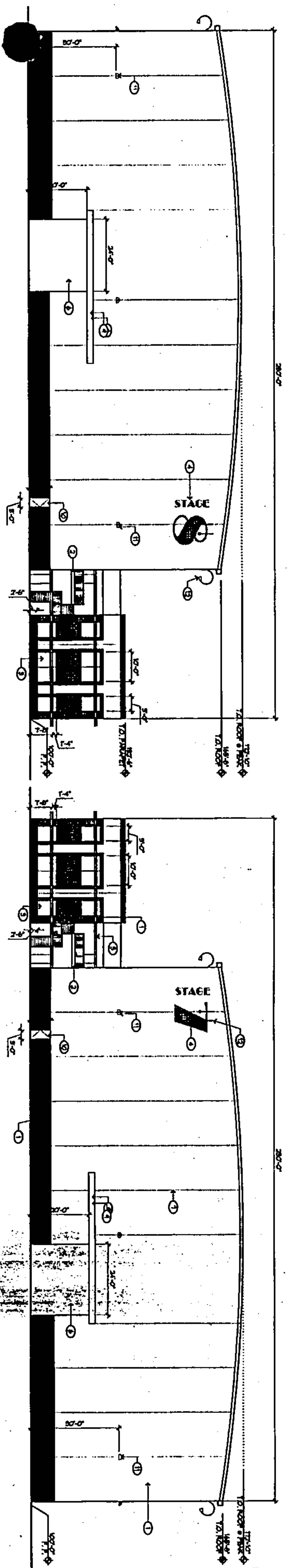
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DESIGNED BY: [Redacted]
DRAWN BY: [Redacted]
DATE: 08/04/06
PROJECT NO.: 06025
DRAWING NAME: ELEVATIONS-BUILDINGS-COMPLEX-2

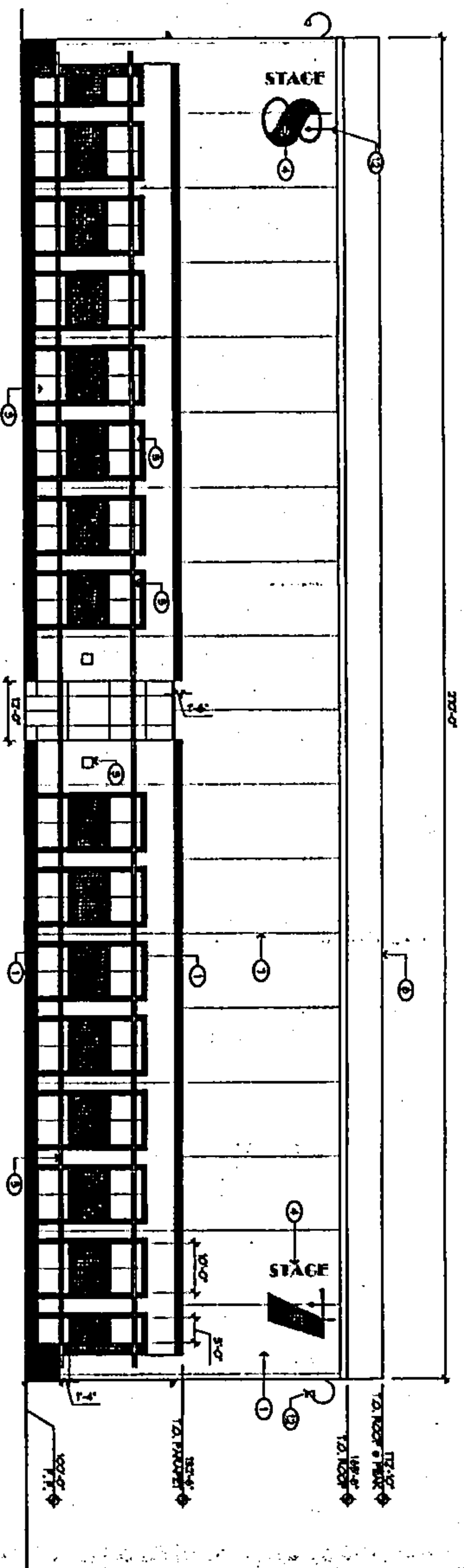


1 WEST ELEVATION



2 SOUTH ELEVATION

3 NORTH ELEVATION

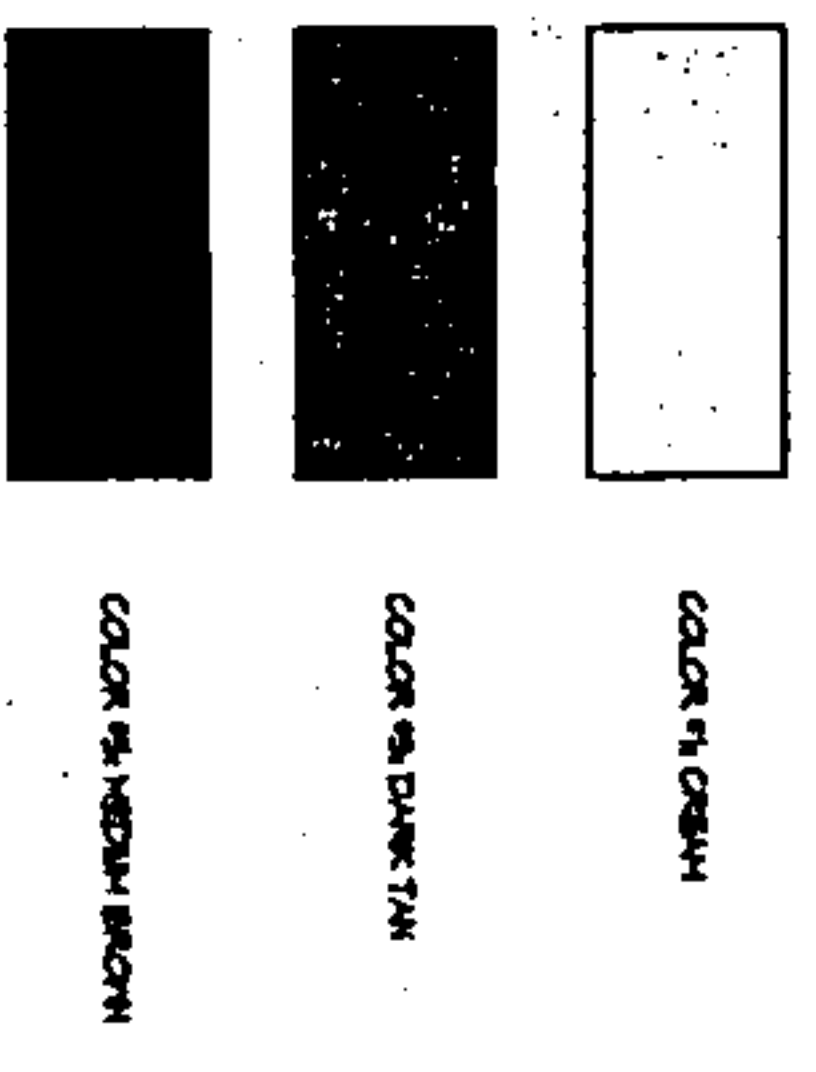



4 EAST ELEVATION

KEYED NOTES

1. CONCRETE SLAB PANEL BRUSH
2. STEEL STUDS SPACED TO CENTER
3. ALUMINUM STRONGPOINT BRUSH
4. PAINTED POLYURETHANE FINISH
5. STEEL INDOOR AIRWAY SYSTEM
6. STEEL SLIDE DOOR
7. CONCRETE PANEL JOINT TRF.
8. ROOF RAKE BRUSH
9. STEEL DOOR TRACK AND INSULATED GUARD
10. HOLDON METAL DOOR AND FRAME
11. POLYURETHANE LIGHT FIXTURE SHALL BE NIGHT SKY COMPLIANT
12. POLYURETHANE VACUUM-BLOCK LIGHT FIXTURE SHALL BE NIGHT SKY COMPLIANT

COLOR LEGEND





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 505 325-3333

 505 325-3334

 505 325-3335

 505 325-3336

 505 325-3337

 505 325-3338

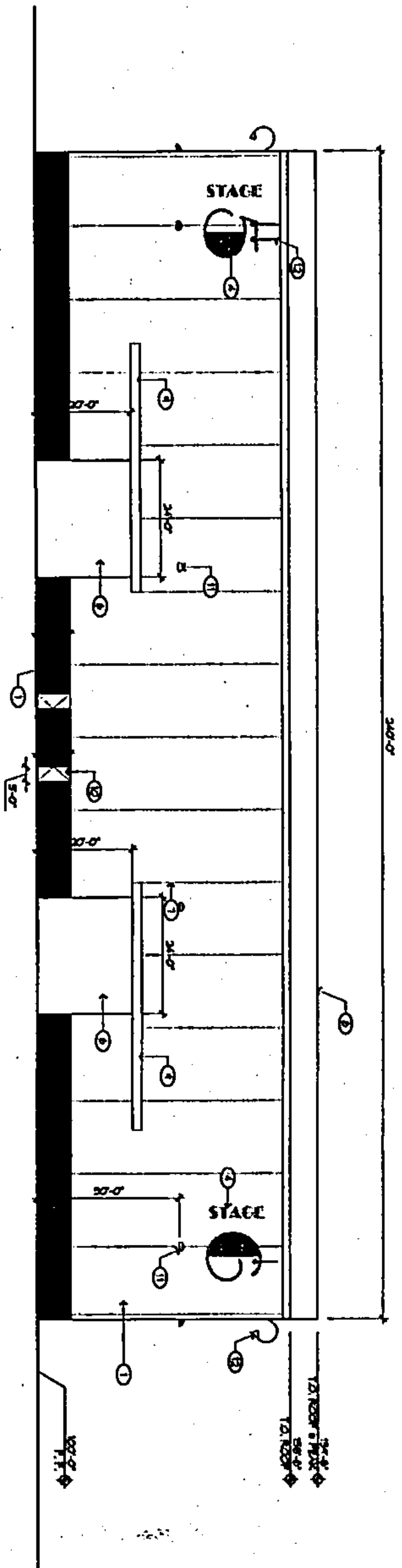
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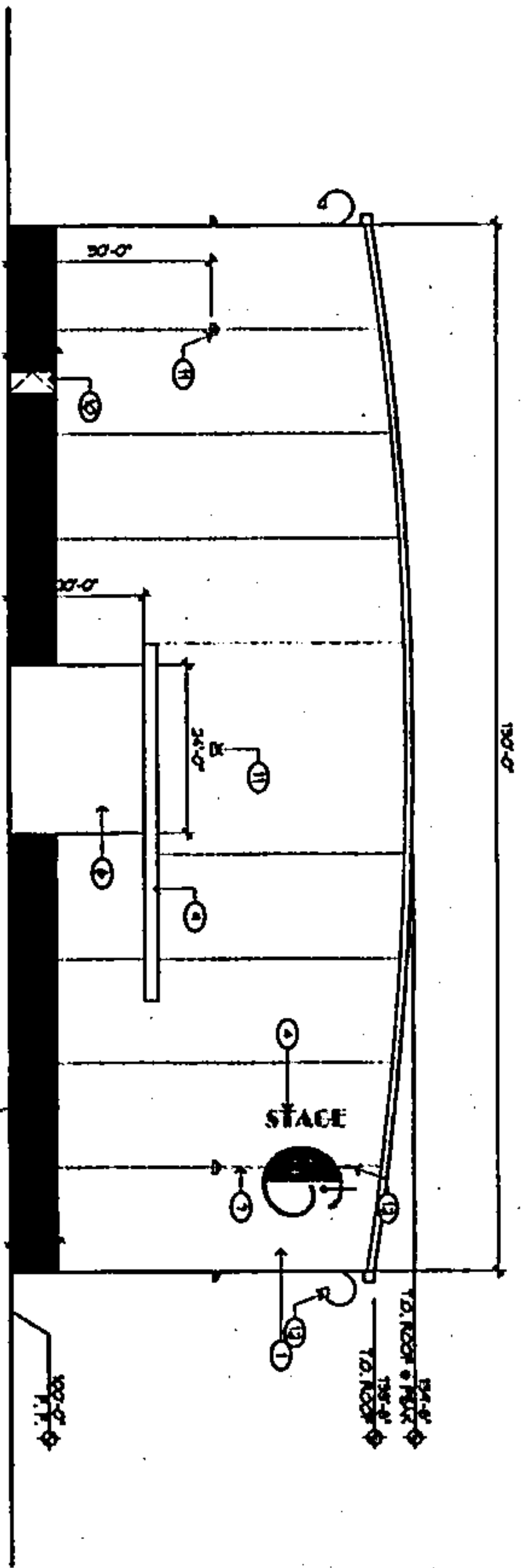
 ARCHITECT

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 Albuquerque, New Mexico

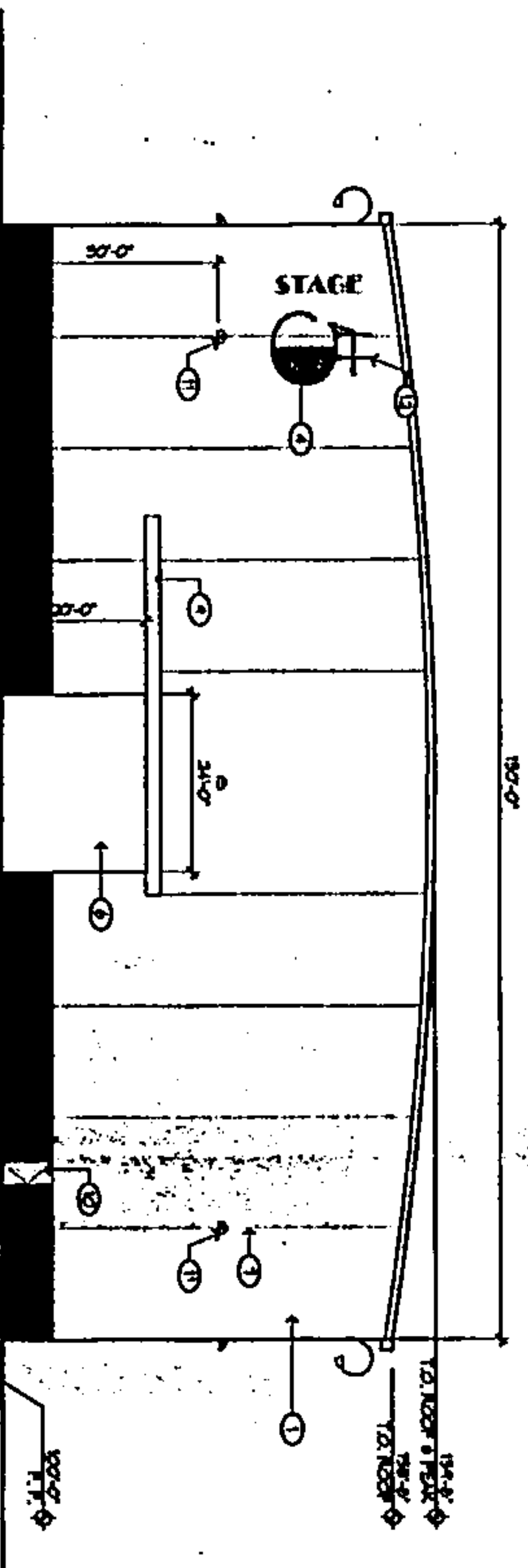
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 Δ Airborne PVC Coatings
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 DRAWN BY
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 DATE
 PROJECT NO. 06/02
 DRAWING NO. 06
 PROJECT NAME
**ELEVATIONS-
 BUILDING
 COMPLEX - 5**
 SHEET NO. 11
 OF 11



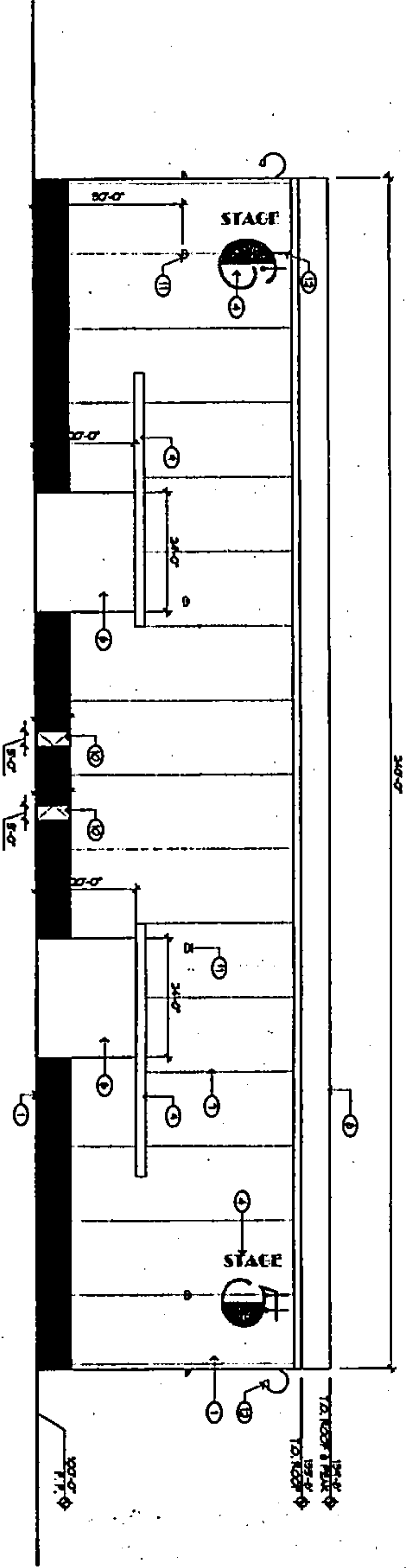
1 WEST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



4 EAST ELEVATION
1/8" = 1'-0"

KEYED NOTES

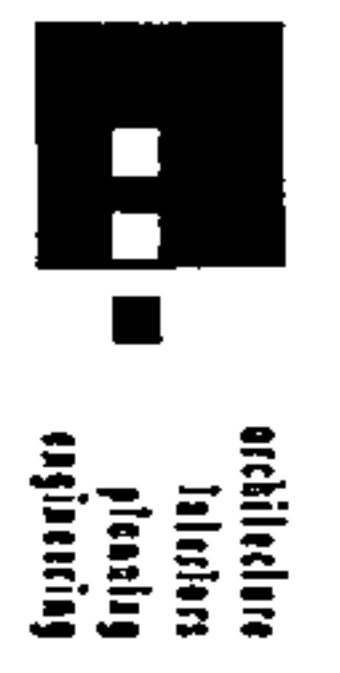
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2. STEEL STRAPS SPACED TO CENTER
3. ALUMINUM STRONGWALL SYSTEM
4. PAINTED FLOOR DECKING
5. STEEL WAGON WHEELS SYSTEM
6. STEEL SLIDING DOORS
7. CONCRETE PANEL JOINT TYP.
8. ROOF PANEL SECTION
9. STEEL DOOR TRACK AND ROLLER GUIDE
10. HOLD UP METAL DOOR AND FRAME
11. FLOOR MOUNTED LIGHT FIXTURES SHALL BE HEIGHT NOT COMPLIANT
12. FLOOR MOUNTED SOUNDBLOCK LIGHT FIXTURES SHALL BE HEIGHT NOT COMPLIANT

COLOR LEGEND

COLOR 11, CREAM

COLOR 19, DARK TAN

COLOR 19, MEDIUM BROWN



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REVISIONS	DATE	BY	DESCRIPTION

DRAWN BY: []
 CHECKED BY: []
 DATE: []
 PROJECT NO.: 08023
 DRAWING NAME: ELEVATIONS- BUILDING COMPLEX - 5



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ARCHITECT

BARBER




PROJECT

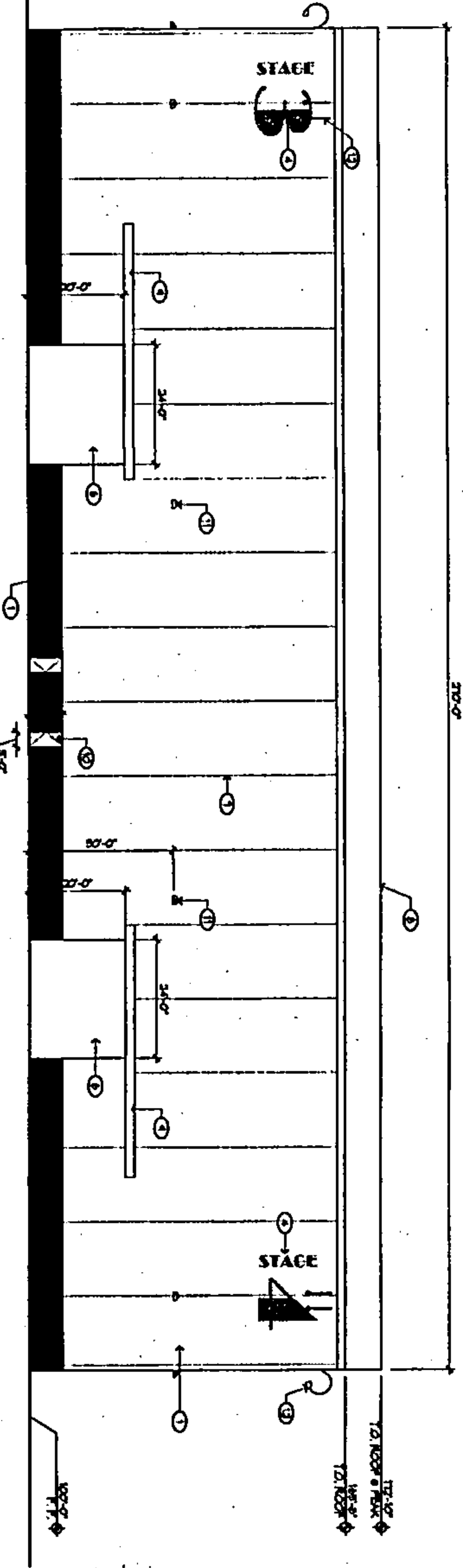
**Mesa Del Sol
Film Studio**
Albuquerque, New Mexico

KEYED NOTES

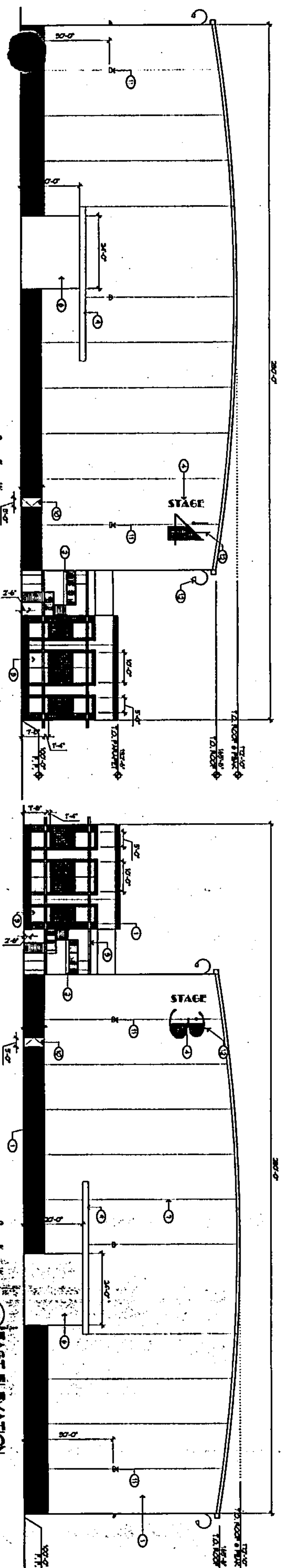
1. CONCRETE TYPICAL PANEL SYSTEM
2. STEEL STRONG FLOOR TO OUTSIDE
3. ALUMINUM STRUCTURAL SYSTEM
4. PAINTED FLOOR FINISH
5. STEEL WOOD ANCHOR SYSTEM
6. STEEL ALUMINUM DOOR
7. CONCRETE PANEL JOINT TYP.
8. ROOF FLOOR FINISH
9. STEEL DOOR THICK AND REINFORCED
10. HOLLOW METAL DOOR AND FRAME
11. FLOOR MOUNTED LIGHT FIXTURE SHALL BE LIGHT FIX COMPLIANT
12. FLOOR MOUNTED VOICEMAIL LIGHT FIXTURE SHALL BE LIGHT FIX COMPLIANT

COLOR LEGEND

	COLOR IS GRAY
	COLOR IS DARK TAN
	COLOR IS MEDIUM BROWN

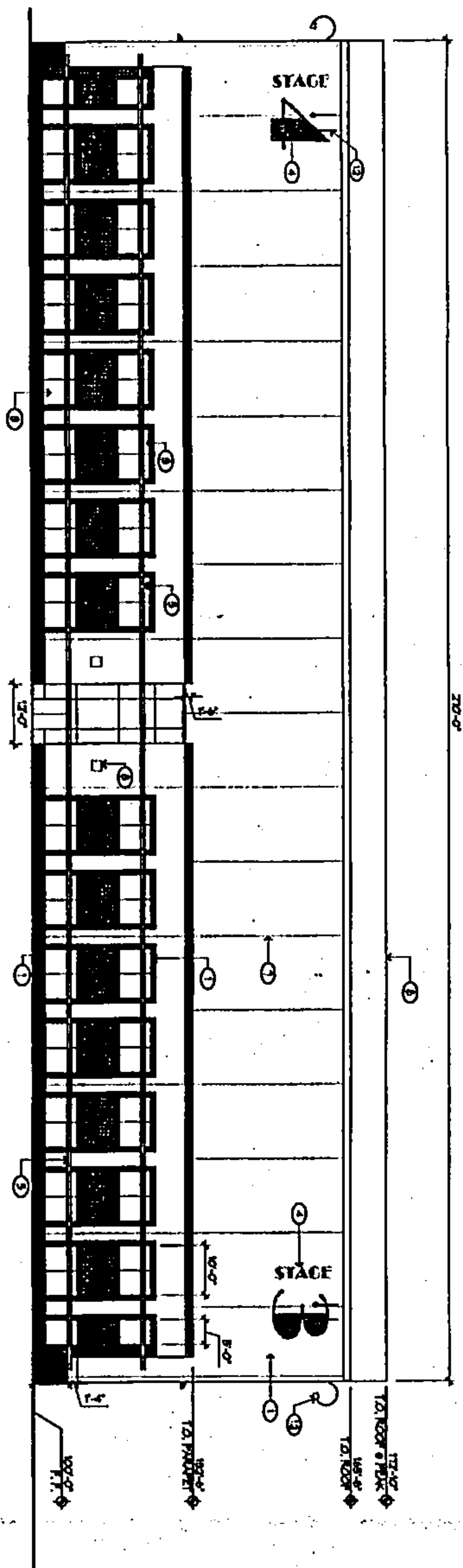


1 NORTH ELEVATION



2 WEST ELEVATION

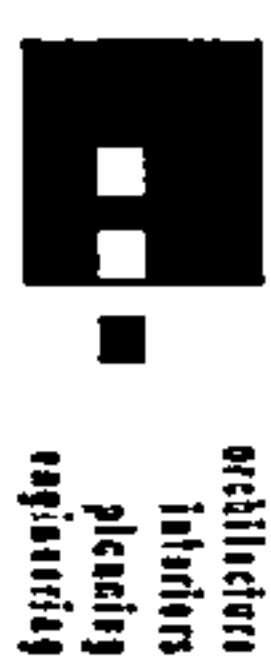
3 EAST ELEVATION



4 SOUTH ELEVATION

NOTES
 ▲ double for condition
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DESIGNED BY
 DRAWN BY
 DATE
 PROJECT NO. 040206
 DRAWING NO. 040206
 ELEVATIONS-
 BUILDING
 COMPLEX - 6



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505 261-1112
505 261-1113

**Mesa Del Sol
Film Studio**
Albuquerque, New Mexico

PROJECT

ARCHITECT

REVISIONS
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DRAWN BY
 REVIEWED BY
 DATE 06/06/06
 PROJECT NO. 060726
 DRAWING NAME
 ELEVATIONS-
 MIXED-USE
 BUILDING A

SHEET NO. 15

GENERAL NOTES

1. ALL SHAWNEE SHALL BE INTERNALLY UT PIGEON MOUNTED COLOR AND RED OR TRAVERTE SHAWNEE SHALL BE REVERSED ALL SHAWNEE SHALL COME FROM THE SAME LOT PER CONTRACT AND THE ALBUQUERQUE ZONING CODE.

KEYED NOTES

1. STUCCO FINISH, SEE COLOR LIBRARY BELOW
2. PRECAST CONCRETE SILL, SEE COLOR LIBRARY BELOW
3. PRECAST CONCRETE LINTEL, SEE COLOR LIBRARY BELOW
4. ALUMINUM WINDOW/DOOR, CLEAN FINISHED
5. STUCCO FINISH, MATCH EXISTING, UNPAINTED
6. STUCCO FINISH, MATCH EXISTING, UNPAINTED
7. STEEL STRUCTURE BRACING, SEE COLOR LIBRARY BELOW
8. STEEL SHAWNEE STRUCTURE, COLOR TO BE DETERMINED WITH BRANCHING
9. SHAWNEE, LOCATION AND USE TO BE DETERMINED, SHALL HAVE 300% COVERAGE
10. GALVALUM STEEL, LETTERS, COLOR AND FONT TO BE DETERMINED WITH BRANCHING
11. PRECAST CONCRETE FORM AND BEAMS, SEE COLOR LIBRARY BELOW
12. PRECAST CONCRETE PARAPETS, SEE COLOR LIBRARY BELOW
13. PRECAST CONCRETE RISERS

COLOR LEGEND

	COLOR 01 CREAM
	COLOR 02 TAN
	COLOR 03 DARK BROWN
	COLOR 04 LIGHT BROWN
	COLOR 05 MEDIUM BROWN
	COLOR 06 DARK BROWN

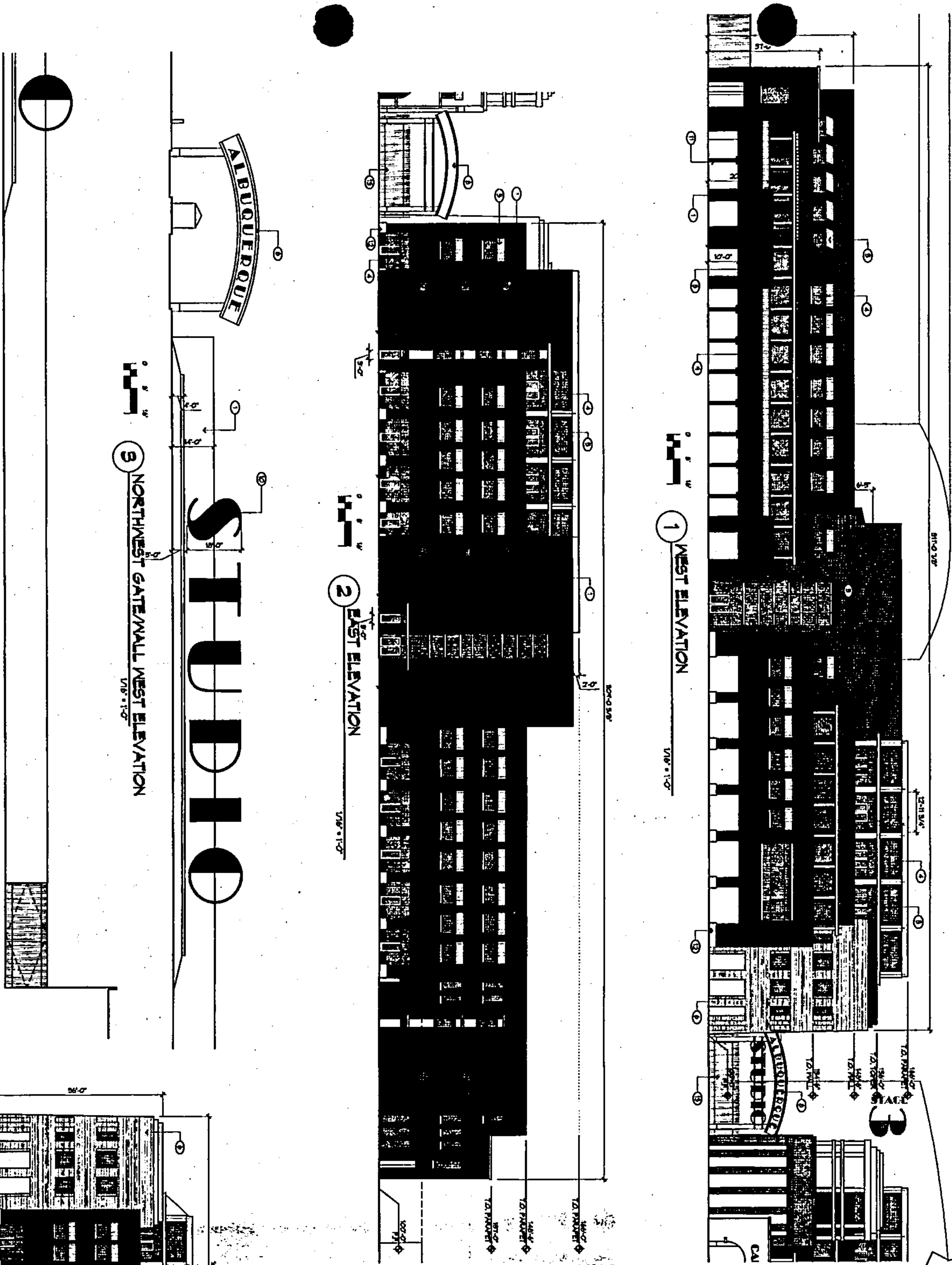
1 WEST ELEVATION
 1/8" = 1'-0"

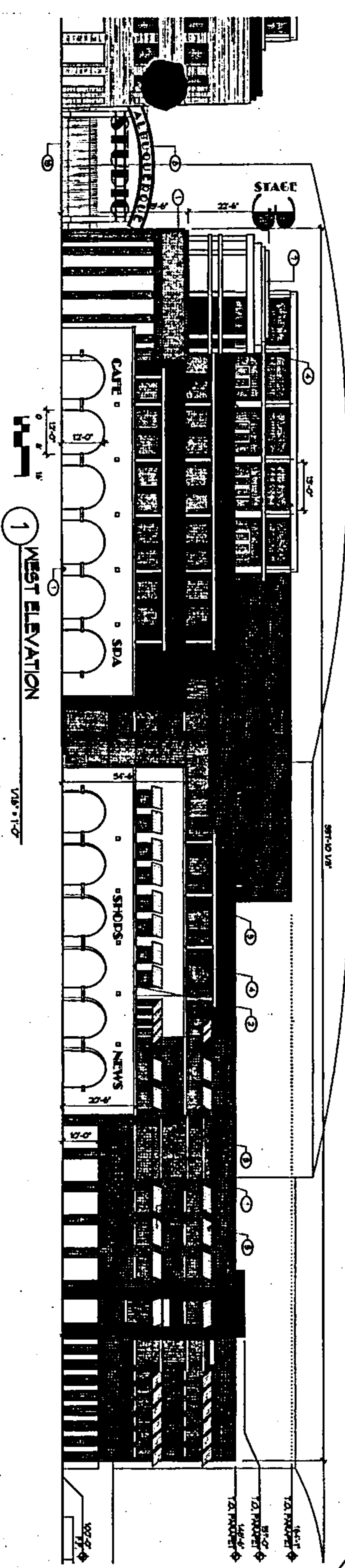
2 EAST ELEVATION
 1/8" = 1'-0"

3 NORTHWEST GATE/WALL WEST ELEVATION
 1/8" = 1'-0"

4 NORTHWEST GATE/WALL WEST ELEVATION
 1/8" = 1'-0"

5 SOUTH ELEVATION
 1/8" = 1'-0"



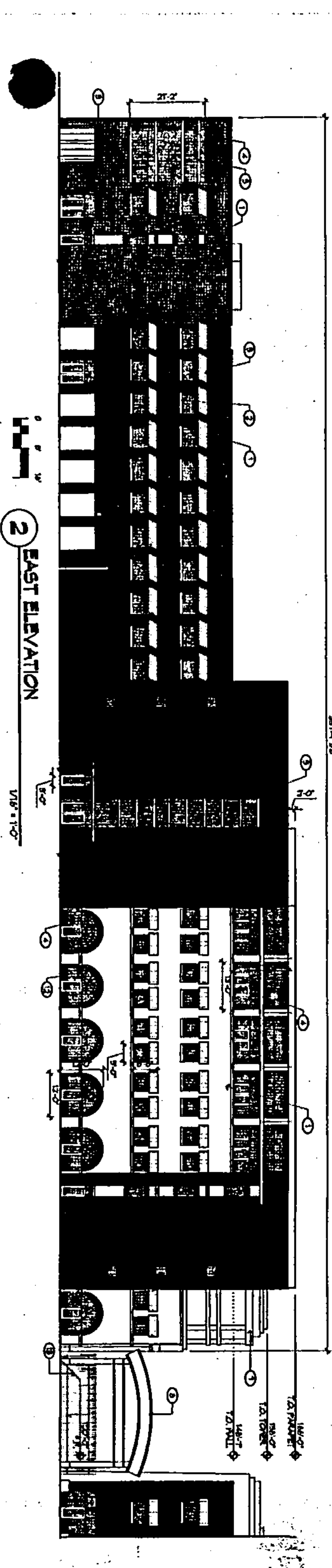


- GENERAL NOTES**
1. STUCCO FINISH, SEE COLOR LEGEND BELOW
 2. PRECAST CONCRETE WALL, SEE COLOR LEGEND BELOW
 3. PRECAST CONCRETE LINTEL, SEE COLOR LEGEND BELOW
 4. ALUMINUM WINDOW/DOOR, CLASH AVOIDANCE
 5. STUCCO FINISH, SEE COLOR LEGEND BELOW
 6. STUCCO FINISH, SEE COLOR LEGEND BELOW
 7. STUCCO FINISH, SEE COLOR LEGEND BELOW
 8. STUCCO FINISH, SEE COLOR LEGEND BELOW
 9. STUCCO FINISH, SEE COLOR LEGEND BELOW
 10. STUCCO FINISH, SEE COLOR LEGEND BELOW
 11. PRECAST CONCRETE ROOF AND BEAMS, SEE COLOR LEGEND BELOW
 12. PRECAST CONCRETE PANELS, SEE COLOR LEGEND BELOW
 13. PRECAST CONCRETE WALLS

KEYED NOTES

COLOR LEGEND

- COLOR 1: CREAM
- COLOR 2: TAN
- COLOR 3: DARK TAN
- COLOR 4: LIGHT BROWN
- COLOR 5: MEDIUM BROWN
- COLOR 6: REDDISH BROWN
- COLOR 7: DARK BROWN

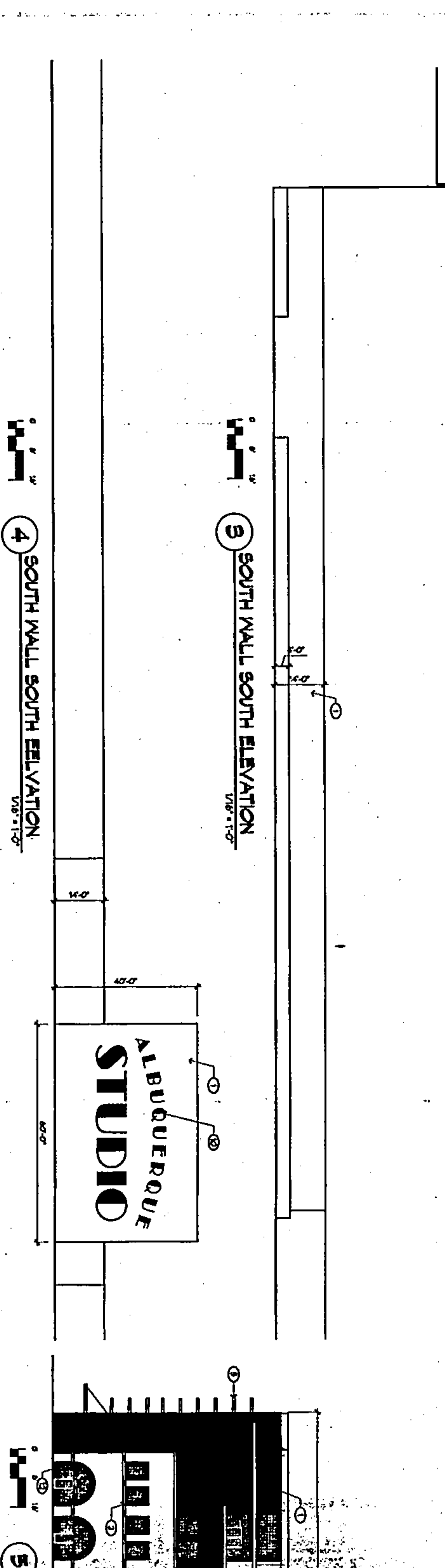


- GENERAL NOTES**
1. STUCCO FINISH, SEE COLOR LEGEND BELOW
 2. PRECAST CONCRETE WALL, SEE COLOR LEGEND BELOW
 3. PRECAST CONCRETE LINTEL, SEE COLOR LEGEND BELOW
 4. ALUMINUM WINDOW/DOOR, CLASH AVOIDANCE
 5. STUCCO FINISH, SEE COLOR LEGEND BELOW
 6. STUCCO FINISH, SEE COLOR LEGEND BELOW
 7. STUCCO FINISH, SEE COLOR LEGEND BELOW
 8. STUCCO FINISH, SEE COLOR LEGEND BELOW
 9. STUCCO FINISH, SEE COLOR LEGEND BELOW
 10. STUCCO FINISH, SEE COLOR LEGEND BELOW
 11. PRECAST CONCRETE ROOF AND BEAMS, SEE COLOR LEGEND BELOW
 12. PRECAST CONCRETE PANELS, SEE COLOR LEGEND BELOW
 13. PRECAST CONCRETE WALLS

KEYED NOTES

COLOR LEGEND

- COLOR 1: CREAM
- COLOR 2: TAN
- COLOR 3: DARK TAN
- COLOR 4: LIGHT BROWN
- COLOR 5: MEDIUM BROWN
- COLOR 6: REDDISH BROWN
- COLOR 7: DARK BROWN



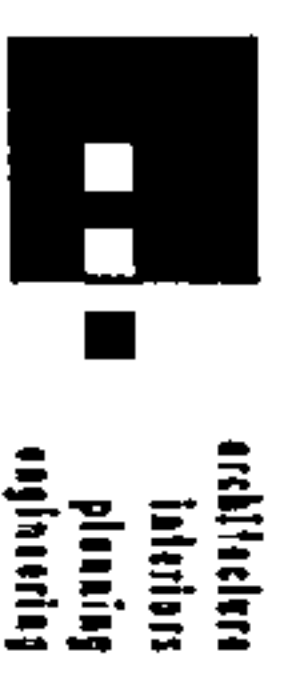
- GENERAL NOTES**
1. STUCCO FINISH, SEE COLOR LEGEND BELOW
 2. PRECAST CONCRETE WALL, SEE COLOR LEGEND BELOW
 3. PRECAST CONCRETE LINTEL, SEE COLOR LEGEND BELOW
 4. ALUMINUM WINDOW/DOOR, CLASH AVOIDANCE
 5. STUCCO FINISH, SEE COLOR LEGEND BELOW
 6. STUCCO FINISH, SEE COLOR LEGEND BELOW
 7. STUCCO FINISH, SEE COLOR LEGEND BELOW
 8. STUCCO FINISH, SEE COLOR LEGEND BELOW
 9. STUCCO FINISH, SEE COLOR LEGEND BELOW
 10. STUCCO FINISH, SEE COLOR LEGEND BELOW
 11. PRECAST CONCRETE ROOF AND BEAMS, SEE COLOR LEGEND BELOW
 12. PRECAST CONCRETE PANELS, SEE COLOR LEGEND BELOW
 13. PRECAST CONCRETE WALLS

KEYED NOTES

COLOR LEGEND

- COLOR 1: CREAM
- COLOR 2: TAN
- COLOR 3: DARK TAN
- COLOR 4: LIGHT BROWN
- COLOR 5: MEDIUM BROWN
- COLOR 6: REDDISH BROWN
- COLOR 7: DARK BROWN

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505 251-4224

REVISIONS

DATE

BY

DESCRIPTION

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June 6, 2006



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

Sheran Matson
Chair, Design Review Board
City of Albuquerque
Plaza del Sol
600 2nd St. NW
Albuquerque, NM 87103

Sheran Matson:

This letter addresses the conditions that the Environmental Planning Commission (EPC) required the applicant to address on the EPC submittal for the Pacifica/Culver Studio Site Plan for Building Permit at Mesa del Sol (Project # 1004818 - 06EPC# 00466)– Notice of Decision dated May 19, 2006).

Following is a brief, bulleted summary of the submittal to date:

- On April 6th, 2006, the applicant submitted plans for site plan for building permit.
- On May 18th, 2006, the EPC recommended approval of the project.

Listed below are the conditions and the applicant's responses.

1. **CONDITION:** The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

RESPONSE: This letter shall accompany the modifications to the Site Development Plan for DRB final sign-off specifying how each EPC condition was met.

2. **CONDITION:** The applicant shall meet with the staff planner prior to submittal of the plan to DRB for final signoff to ensure that conditions of approval are satisfactorily met.

RESPONSE: Kevin Kofchur met with Russell Brito on Monday, June 5, 2006 to review all the conditions and discuss how they are being met.

3. **CONDITION:** The submittal shall indicate that the temporary chain link fence may remain in place for three years maximum. The submittal shall provide a description of a chain link fence screening material that excludes metal, vinyl, or plastic slats.

RESPONSE: The allowed screening material is described in keyed Note Five on Sheet One.

4. **CONDITION:** Motorcycle parking shall be provided throughout the site as required by the Zoning Code.

■ ■ ■
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505 761.9700
fax 761.4222
dps@dpsabq.com

RESPONSE: The site plan has been updated to show motorcycle parking spaces and referenced in Keyed Note 27.



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5. **CONDITION:** The site plan shall designate all internal pedestrian walkways as to be clearly distinguishable from driveway paving by pattern or color.

RESPONSE: The site plan has been updated to delineate all pedestrian walkways with paving or color.

6. **CONDITION:** Bicycle parking shall be provided adjacent to the retail parking area at the southwestern corner of the site.

RESPONSE: The site plan has been updated to show bicycle parking at the southwestern corner.

7. **CONDITION:** Lighting and Signage:

- a. The site plan shall show any additional, proposed lighting on the site, including pedestrian level lighting, building mounted lighting, and security lighting with details prior to final sign off at the Development Review Board (DRB).

RESPONSE: The updated site plan shows lighting for the interior of the site. Sheets 10 – 14 show lighting fixtures on building elevations and are referenced in keyed Notes 11 & 12. Light pole details are shown in Detail Four on Sheet Two. Final details on lighting for the retail/mixed use buildings along the perimeter of the site will be provided at the time of submittal for building permit for those buildings.

- b. Specific details regarding colors and content of all signage shall be provided prior to final sign off at the DRB. Any proposed lighting for these signs shall exclude any lighting that will directly illuminate the night sky beyond the surface of the sign.

RESPONSE: Signage will comply with dark sky ordinance. Signage details are provided on Sheets 15 & 16. Signage details will be provided for all buildings prior to request for building permit.

8. **CONDITION:** Landscaping:

- a. The applicant shall amend the tree palette to include Mesquite and Desert Willow species by including a majority of low water use trees that are drought and salt tolerant.

RESPONSE: Landscaping plan was updated to include Mesquite and Desert Willow.

- b. Parking lot trees shall be provided as required by the Zoning Code's Landscaping regulations (14-16-3-10)

RESPONSE: The revised landscape plan includes 147 trees for 899 total parking spaces. This is a ratio of 1 tree for every 6.11 spaces. The interior parking lot site plan, and the landscape areas within it, are designed in a non-traditional manner in order to accommodate the widest possible variety of service and filming scenarios that might occur on the property. These parking areas are screened from view from the street.

■ ■ ■
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9. Transit Conditions:

- a. The site plan shall show pedestrian facilities for crossings at the University/Connector A intersection.

RESPONSE: Site Plan updated to show pedestrian crossings at the intersection.

- b. The site plan shall show pedestrian facilities (including crossings) at the Tower/Connector A round-about.

RESPONSE: Site Plan updated to show pedestrian crossings at the intersection.

10. City Engineer/DMD Conditions:

- a. All the requirements of previous actions taken by the EPC and or the DRB must be completed and/or provided for.

RESPONSE: The applicant will ensure that all previous actions related to this submittal shall be completed and/or provided for. This is noted in General Note "D" on Sheet One.

- b. The improvements, both temporary and permanent, are identified in the attached Bohannon-Huston, Albuquerque Studio, Mesa del Sol infrastructure commitment letter, dated May 10, 2006 and signed by James Topmiller, and shall be constructed in accordance with that letter.

RESPONSE: Improvements shall be constructed in accordance with the infrastructure commitment letter, dated May 10, 2006

- c. The Master Developer, FCC, LLC, shall be responsible for completion of the permanent and/or temporary transportation system improvements that are agreed upon in Level "B" development agreement, notwithstanding that these improvements have not been identified or required as a condition of the approval of this development and notwithstanding that this development may be owned by a third party, pursuant to the letter form Myers, Oliver & Price, P.C. dated May 10, 2006 signed by Michael Daly.

RESPONSE: Obligation has been acknowledged by Forest City Covington NM, LLC.

- d. An apparent error in the April 4, 2006 Traffic Impact Analysis (TIS) for the Mesa del Sol Phase One Employment Center Initial Developments needs to be corrected as a condition of approval in this case. This error which we believe to be a carryover from previous studies, results in a sizeable discrepancy in the number of eastbound morning through vehicles at the Rio Bravo/West Ramp intersection and the Rio Bravo/East Ramp intersection. The number of vehicles in question appears sufficiently large that it could translate to more than a full roadway of capacity.

RESPONSE: It is recommended that after the construction of the University Blvd. Extension is complete, that new turning movement counts be performed and all subsequent traffic analysis use those counts as the existing traffic baseline upon which approved development and background growth is added. (See attached Table for Intersection Capacity Analysis)

- e. Site plan shall comply with and be designed per the standards of the Mesa del Sol Level A Master Plan and its Technical Appendix.

RESPONSE: Will Comply

6801 Jefferson NE
Suite 100
Albuquerque NM
87109
505 761.9700
fax 761.4222
dps@dpsabq.com



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

11. **CONDITION:** Water Harvesting methods or other sustainable methods that utilize storm water runoff shall be incorporated into the site plan.

RESPONSE: General Note "B" on Sheet One references water harvesting. Additionally, the stormwater ponding area to the east of the site will have stormwater infiltration galleries that will direct the stormwater underground and assist with groundwater recharge.

12. **CONDITION:** Solar Panels for the purpose of water heating or cooling, space heating or cooling or power generation are permitted and encouraged.

RESPONSE: General Note "C" on Sheet One references that the site plan will comply and encourage the use of photovoltaics whenever possible on the site.

Very truly yours,

Dekker/Perich/Sabatini Ltd.

Will Gleason, AICP
Urban Planner

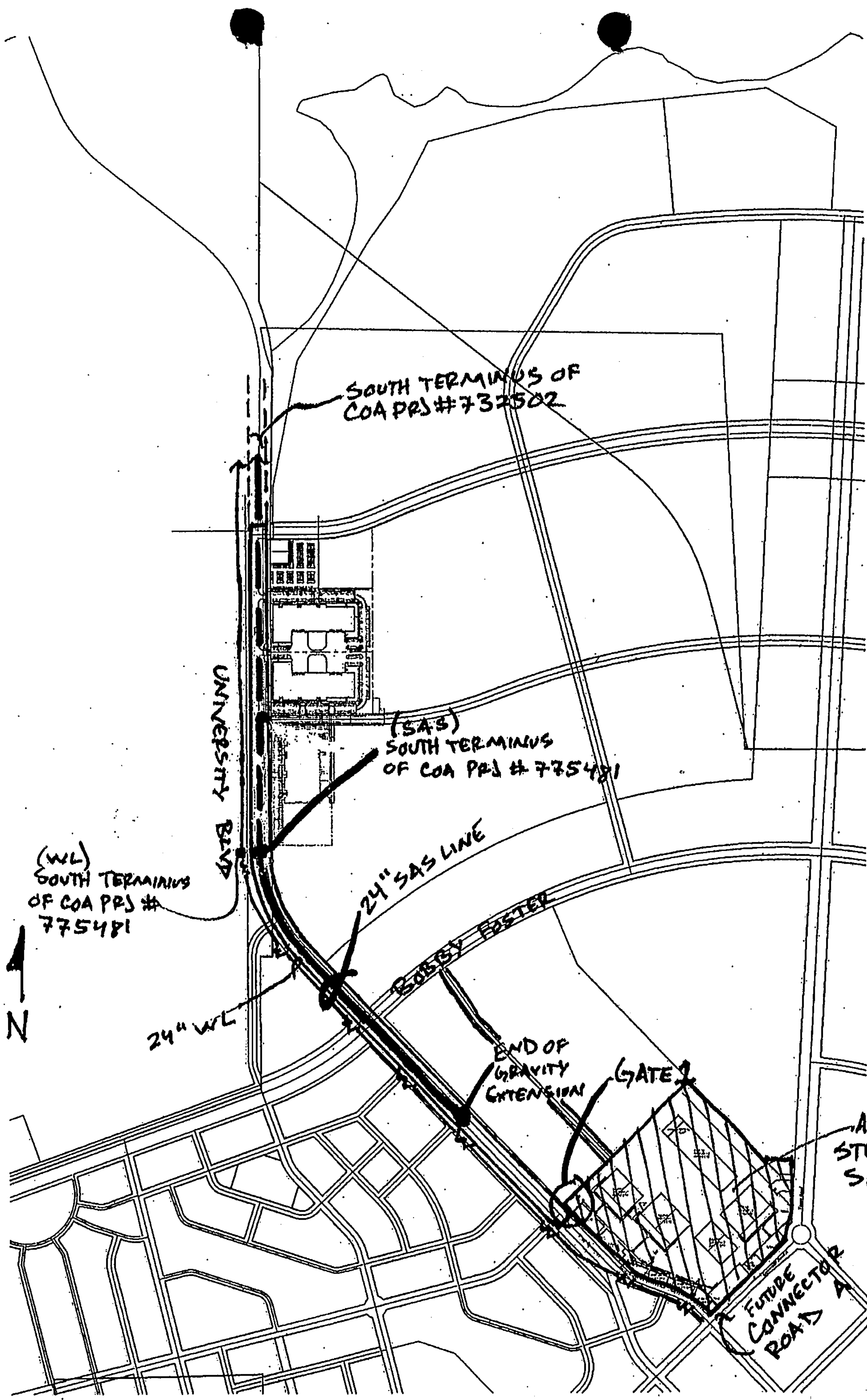
Attachments: Table I: Signalized Intersection Capacity Analysis Results

■ ■ ■
6801 Jefferson NE
Suite 100
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505 761.9700
fax 761.4222
dps@dpsabq.com

TABLE 1 – SIGNALIZED INTERSECTION CAPACITY ANALYSIS RESULTS RIO BRAVO & I-25 RAMPS						
Signalized Intersections	2007 AM Peak			2007 PM Peak		
	Delay (sec.)	V/C	LOS	Delay (sec.)	V/C	LOS
2007 No Build (Marketplace TIA Results*)						
Rio Bravo & West (SB) Ramp	91.4	1.08	F	4.6	0.44	A
Rio Bravo & East (NB) Ramp	12.8	0.62	B	32.2	0.76	C
2007 No Build (Synchro Results) – Using Marketplace TIA Counts						
Rio Bravo & West (SB) Ramp	80.1	1.00	F	6.6	0.76	A
Rio Bravo & East (NB) Ramp	12.9	0.66	B	24.1	0.76	C
2007 No Build (Synchro Results) – Using University Report Counts						
Rio Bravo & West (SB) Ramp	8.0	0.77	A	7.2	0.79	A
Rio Bravo & East (NB) Ramp	14.6	0.67	B	24.2	0.77	C
* - Results from Marketplace @ Anderson Farms TIA by Terry Brown						

TABLE 2 – BUILD SIGNALIZED INTERSECTION CAPACITY ANALYSIS RESULTS						
Signalized Intersections	2007 AM Peak			2007 PM Peak		
	Delay (sec.)	V/C	LOS	Delay (sec.)	V/C	LOS
Using Anderson Farm Counts						
Rio Bravo & West Ramp – 2007 Build	204.7	1.41	F	22.2	0.80	C
3 rd EB Through	81.0	1.11	F	22.4	0.80	C
Dual SB Lefts	126.3	1.23	F	25.0	0.80	C
Dual SB Lefts & 3 rd EB Through	29.3	0.92	C**	23.4	0.80	C
Rio Bravo & East Ramp – 2007 Build						
Committed Geometry	22.3	0.72	C	32.8	0.72	C
2 nd EB Through	17.7	0.62	B	35.8	0.72	D
Using University Report Counts						
Rio Bravo & West (SB) Ramp	72.5	1.13	E**	20.2	0.84	C
Dual SB Lefts	25.8	0.92	C*			
Rio Bravo & East (NB) Ramp	26.7	0.79	C	35.8	0.74	D
* - one or more movements LOS E						

It can be seen that the results for the counts from the University Extension report (with approved development and background growth) show that the Rio Bravo interchange operates at a much better level of service than with the counts from the Marketplace at Anderson Farms TIA. It is recommended that after construction of the University Extension is complete that new turning movement counts be performed and all subsequent traffic analysis use those counts as the existing traffic baseline upon which approved development and background growth is added.



SOUTH TERMINUS OF
COA PRJ # 732502

UNIVERSITY BLVD

(SAS)
SOUTH TERMINUS
OF COA PRJ # 775481

(WL)
SOUTH TERMINUS
OF COA PRJ #
775481

N

24" SAS LINE

24" WL

BOBBY FOSTER

END OF
GRAVITY
EXTENSION

GATE 1

ALBUCA
STUDIOS
SITE

FUTURE
CONNECTOR
ROAD A

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME PACIFICA MESA STUDIOS
AGENT DENISH KLINE Assoc.
ADDRESS _____
PROJECT & APP # 1004818 / DRB - 00787
PROJECT NAME MESA DEL SOL FILM STUDIO

\$ 20.00 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 20.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque
Treasury Division

6/6/2006 11:43AM LOC: ANNX
RECEIPT# 00063828 W5# 007 TRANS# 0016
Account 441032 Fund 0110
Activity 3424000 TRSKAL
Trans Amt \$20.00
J24 Misc

\$20.00

CK \$20.00
CHANGE \$0.00

Thank You

MEMO

Date: 13 June 2006
To: Sheran Matson, DRB Chair
From: Russell Brito, Division Manager
RE: Project # 1004818 (06DRB-00799)

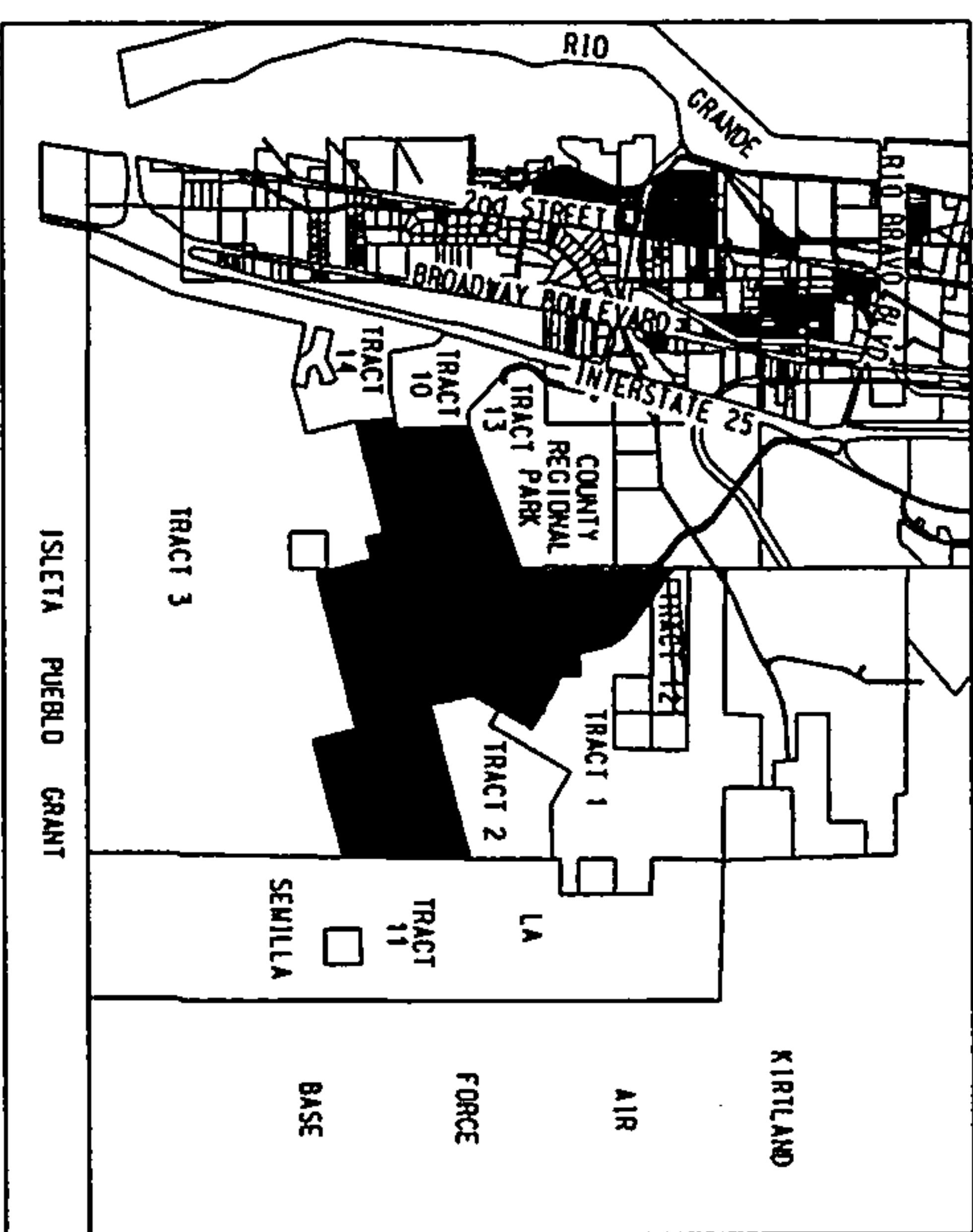
RS

#8

The applicant and the staff planner met on 5 June 2006 to review the site development plan and the EPC Conditions of Approval.

Site Development Plan for Building Permit

- The applicant has adequately addressed and responded to the EPC Conditions of Approval.
- Please ensure that the items contained in Condition #10 are adequately addressed and resolved to the satisfaction of the City Engineer and the Dept. of Municipal Development



ZONE ATLAS INDEX MAPS
Q-16, R-15, R-16, R-17, S-14,
S-15, S-16, S-17, T-16, T-17
NOT TO SCALE

NOTES

- 1. Bearings shown hereon are New Mexico State Plane Grid Bearings (Central Zone, NAD 83).
2. Distances are ground distances.
3. Project Ground to Grid Factor is .99995215.
4. The Gross Area of this tract is 224,458.88 sq. ft.
5. The Gross Area of this tract is 224,458.88 sq. ft.
6. All easements shown hereon were provided by Fidelity National Title included in Schedule B II of the Commitment for The Insurance No. 03-1033883-B-RAD effective Date July 17, 2003 and updated in Schedule B II of the Commitment for The Insurance No. 06-1063176-B-RAD effective date May 16, 2005, and Schedule B II of the Commitment for The Insurance No. 03-1033883-B-RAD effective date May 16, 2005. Other documents not of public record were provided by the State Land Office as noted on Sheet 2 of 2.

DISCLOSURE STATEMENT

The purpose of this plat is to combine TRACTS 4 & 9 of the BULK LAND PLAT OF MESA DEL SOL, TRACTS 1-15, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on 2006 in Book _____ Page _____ and Document No. _____ and create 3 new tracts with required ingress and egress access easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the proposed easement herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete and wood decks, nor stall any well be drilled or operated thereon. Property owners shall be solely responsible for connecting any violators of National Electric Safety Code caused by construction of poles, decking, or any structures adjacent to or near easements shown on this plat.
Easements for electric transformers/switchgear, as installed shall extend ten feet (10') in front of transformer/switchgear doors and the feet (5') on each side.

DESCRIPTION

A certain tract of land being a portion of Sections 15, 21, 22, 23, 26, 27, 28, 29, 34 and 35, Township 9 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising all of TRACTS 4 & 9 of BULK LAND PLAT OF MESA DEL SOL, TRACTS 1-15, Albuquerque, New Mexico, as the same is shown and designated on the plat hereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on 2006 in Book _____ Page _____ and Document No. _____ and being more particularly described by the said State Plane Grid Bearings (Central Zone, NAD 83) and produced distances as follows:

BEGINNING at the most northerly corner of the tract hereon described, being a point on the west boundary line of said Section 15, whence the City of Albuquerque survey monument 3-Q16, 1984, having New Mexico State Plane Grid coordinates for the Central Zone, X=1,534,025.878, Y=1,457,516.701 bears S78°51'47"E a distance of 4510.47 feet; thence leaving west boundary line of said Section 15, S82°53'55"E a distance of 2884.11 feet to a point of curvature; thence S00°02'05"E a distance of 654.63 feet; thence S89°39'06"E a distance of 654.63 feet; thence S00°02'05"E a distance of 716.21 feet to a point of curvature; thence S24°13'20"E a distance of 656.86 feet along the arc of a non-tangent curve to the right having a radius of 2413.20 feet and a chord bearing S07°23'00"E a distance of 635.02 feet and an interior angle of 15°07'15" to a point of tangency; thence S58°42'29"E a distance of 694.35 feet; thence S58°42'29"E a distance of 135.42 feet to a point on the easterly boundary line of said Section 15, S00°00'00"E a distance of 78.25 feet; thence leaving said easterly boundary line, S30°14'02'30"E a distance of 680.37 feet; thence S30°14'02'30"E a distance of 17.45 feet; thence S75°56'04"W a distance of 1800.02 feet; thence S14°03'55"E a distance of 5971.26 feet to a found No.4 rebar marking the corner common to said Sections 23, 24, 25 and 26; thence along the boundary line common to said Sections 23 and 26, S00°50'53"W a distance of 4676.28 feet to the southeast corner of the tract hereon described; thence along the southerly boundary line of the tract herein described, S75°56'07"W a distance of 4471.09 feet to a point of curvature; thence S75°56'07"W a distance of 190.48 feet along the arc of a non-tangent curve to the left having a radius of 2544.00 feet and a chord bearing N1°55'11"W a distance of 190.48 feet and an interior angle of 04°17'24" to a point of tangency; thence N14°03'53"W a distance of 1464.40 feet; thence N14°03'53"W a distance of 6073.82 feet; thence N12°58'57"W a distance of 6073.82 feet; thence S75°56'07"W a distance of 6073.82 feet; thence S75°56'07"W a distance of 4180.00 feet; thence S05°17'28"W a distance of 401.10 feet; thence N05°27'33"E a distance of 2679.42 feet; thence N01°55'34"W a distance of 5493.48 feet to a point on the westerly boundary line of said Section 22; thence along the said westerly boundary line, N00°07'15"W a distance of 831.77 feet to a point on the southerly right-of-way line of University Boulevard SE; thence along said southerly right-of-way line, S08°47'27"E a distance of 76.00 feet to SE corner of the easterly right-of-way line on University Boulevard SE; thence along the easterly right-of-way line, N00°07'15"W a distance of 2631.35 feet to a point on the northerly boundary line of said Section 22; thence along said northerly boundary line, S69°26'45"E a distance of 18.75 feet; thence leaving the northerly boundary line of said Section 22, S00°59'25"E a distance of 86.76 feet; thence N05°00'55"W a distance of 20.00 feet to a point on the easterly right-of-way line of said University Boulevard SE; thence along the easterly right-of-way line, N03°50'28"E a distance of 1463.23 feet to a point of curvature; thence S01°02'00"E a distance of 1463.23 feet to a point of tangency; thence S01°02'00"E a distance of 443.72 feet and an interior angle of 23°45'17" to a point of non-tangency on the westerly boundary line of said Section 15; thence along the westerly boundary, N00°27'39"E a distance of 732.42 feet to the point and place of beginning.

Said tract contains 2294.3699 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing plat of land hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) hereof, said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this plat is the true act and deed and said owner(s) and/or proprietor(s) do hereby consent to the City of Albuquerque in the amount of the City of Albuquerque and do hereby grant, any access, utility, and drainage easements as may be shown hereon, inspect, and maintain facilities therein; and any Public Utility easements as may be shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and/or overhead distribution lines, conduits, pipes for underground and/or overhead utilities as may be shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever work it deems necessary, without liability to the City. If work effects any improvements or encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or encroachments. If in the opinion of the City, the work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the improvements or encroachments. Those signing as owner(s) warrant that the hold among them complete and irrevocable title in fee simple to the land described. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this dedication is with their free act and deed.

DEVELOPER: FOREST CITY CONVENTION NM, LLC, a New Mexico limited liability company

By: FC Convention Manager, LLC, a New Mexico corporation, Member

By: Michael D. Dwyer, Chief Operating Officer, State of New Mexico

This instrument was acknowledged before me on _____ day of _____, 2006, by Michael D. Dwyer, Chief Operating Officer, of FC Convent, Inc., a New Mexico corporation, as a member of Forest City Convention NM, LLC, a New Mexico limited liability company. My Commission Expires: _____ Notary Public

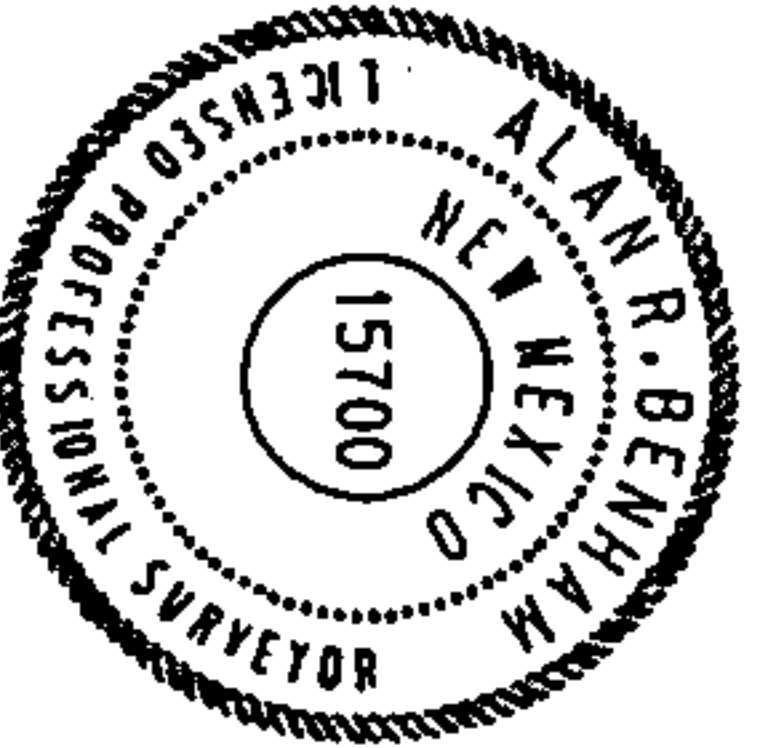
LANDFILL DISCLOSURE STATEMENT

The subject property is located near or is a former landfill site. Due to the subject property being on or near a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Minimum Guidelines for Development within 1000 feet of Landfills") shall be consulted prior to development of the site.

SURVEYOR'S CERTIFICATION

I, Alan R. Bohanan, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision. I am a member of the National Professional Surveyors in October, 2000 and meets the minimum requirements for registration and surveys contained in the Albuquerque subdivision ordinance, and is true and accurate to the best of my knowledge and belief.

Bohanan-Huston, Inc.
Surveyor
7500 Jefferson Street, N.E.
Albuquerque, New Mexico 87109
(505)263-1000



PLAT OF
MESA DEL SOL
TRACTS 4-A, 4-B & 4-C
SECTIONS 15, 21-23, 26-29, 34, 35,
TOWNSHIP 9 NORTH, RANGE 3 EAST, N.M.P.M.
(A REPEAT OF TRACTS 4 AND 9, BULK LAND
PLAT OF MESA DEL SOL, TRACTS 1-15)
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2008

PROJECT NUMBER
APPLICATION NUMBER
PLAT APPROVAL
UTILITY APPROVALS
BEST TELECOMMUNICATIONS
CONCRETE CABLE
PNEUMATIC SERVICES
PNEUMATIC SERVICES
CITY APPROVALS
CITY SURVEYOR
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
ALBUQUERQUE BERNALILLO COUNTY
WATER UTILITY AUTHORITY
PLANS & RECONSTRUCTION DEPARTMENT
A.L.A.F.C.A.
CITY ENGINEER
DRP CHAIRPERSON, PLANNING DEPARTMENT
REAL PROPERTY DIVISION
ENVIRONMENTAL HEALTH DEPARTMENT
TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC /
PROPERTY OWNER OF RECORD
BERNALILLO COUNTY TREASURER'S OFFICE
DATE

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohanan & Huston
Countywide 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES