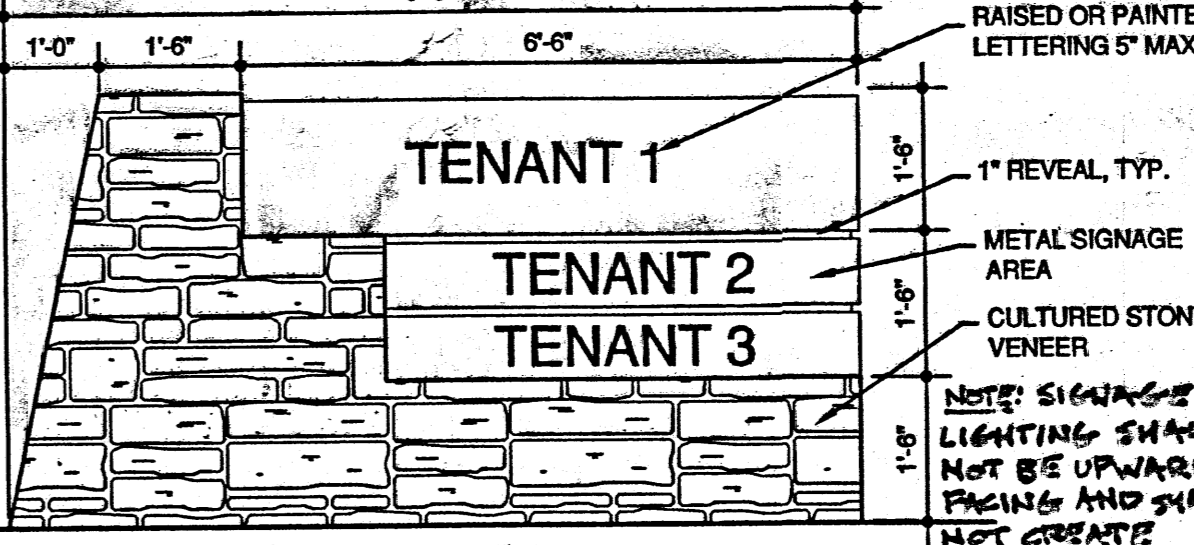
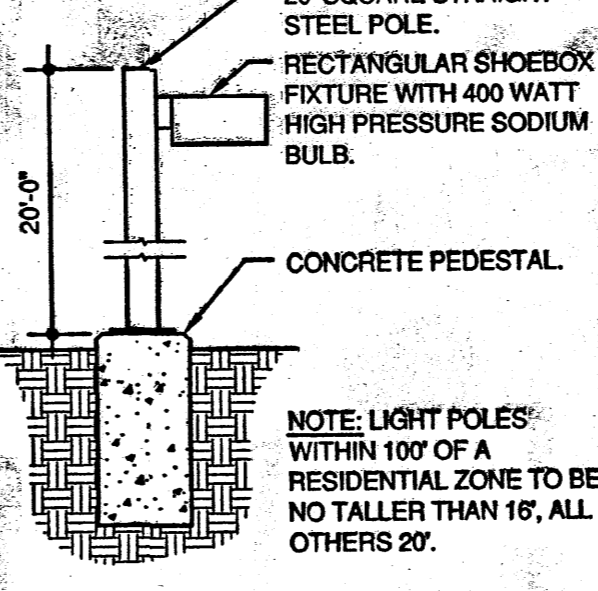
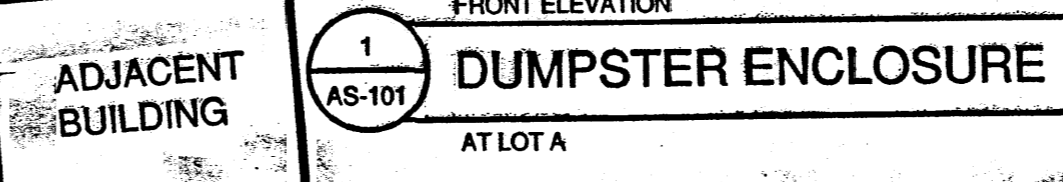




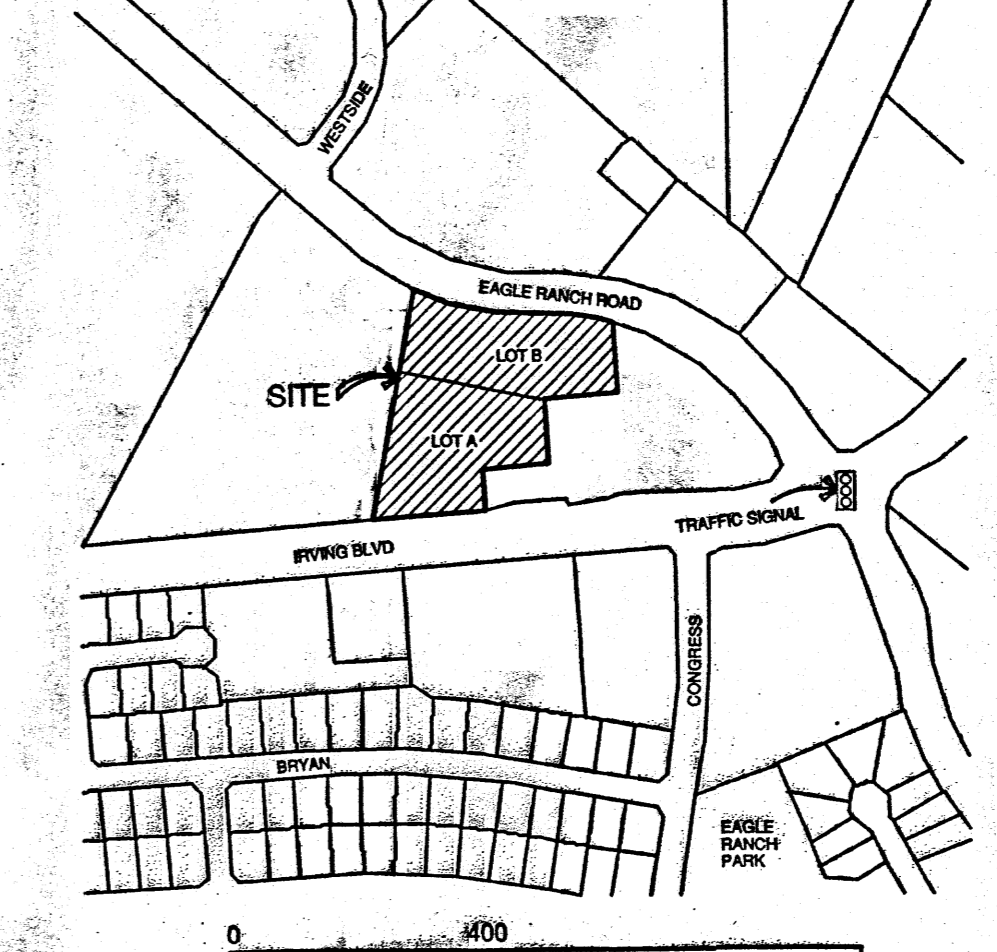
**KEYED NOTES**

1. EXISTING PROPERTY LINE
2. PROPOSED PROPERTY LINE
3. EXISTING CONCRETE CURB
4. NEW CONCRETE CURB
5. EXISTING CONCRETE SIDE WALK
6. NEW CONCRETE SIDEWALK - 6' wide, per COA st. Obs.
7. NEW ASPHALT PAVING
8. 10' PUBLIC UTILITY EASEMENT
9. 10' PNM EASEMENT
10. 10' PNM & MOUNTAIN STATES TELEPHONE AND TELEGRAPH EASEMENT TO BE RELOCATED.
11. PRIVATE INGRESS/EGRESS EASEMENT.
12. EXISTING LIGHT POLE
13. EXISTING POWER POLE
14. EXISTING POWER POLE W/FEED
15. EXISTING ELECTRIC METER TO BE RELOCATED BY CRICKET COMMUNICATIONS.
16. NEW PARKING LOT LIGHTING. SEE DETAIL 2AS-101 THIS SHEET.
17. EXISTING FIRE HYDRANT
18. EXISTING FENCE TO BE REMOVED
19. EXISTING WIRELESS COMMUNICATIONS TOWER
20. EXISTING BLOCK WALL ENCLOSURE AND COMMUNICATIONS EQUIPMENT TO BE RELOCATED BY CRICKET COMMUNICATIONS.
21. GRAVEL ACCESS AND PARKING AREA ENCROACH TO BE REMOVED BY CRICKET COMMUNICATIONS.
22. REMOVE EXISTING SIGN
23. ACCESSIBLE PARKING SIGN TYPICAL AT ALL ACCESSIBLE PARKING SPACES.
24. DEMO. EXISTING CURB
25. BICYCLE PARKING FOR 5 BICYCLES
26. DUMPSTER
27. NEW MONUMENT SIGN. SEE DETAIL 3/AS-101 THIS SHEET.
28. 8' HIGH WROUGHT IRON FENCE AND GATE
29. 6' HIGH YARD WALL W/STUCCO VENEER TO MATCH BUILDING COLOR.
30. NEW MEDIAN CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARDS.
31. NEW MEDIAN CONCRETE PAVING TO MATCH NEARBY PAVING.
32. BENCH
33. PUBLIC/EMPLOYEE OUTDOOR SPACE.
34. 6" THICK CONCRETE SLAB
35. 6" THICK CONCRETE APRON
36. 4' HIGH, 6" THICK STEEL BOLLARDS
37. PAINTED METAL DOOR
38. NEW ACCESSIBLE RAMP
39. 6' HIGH YARD WALL TO BE CONSTRUCTED BY ADJACENT PROPERTY OWNER.
40. NEW VALLEY GUTTER PER CITY OF ALBUQUERQUE STANDARDS
41. WOOD OR SYNTHETIC WOOD DOOR OF COMPATIBLE COLOR TO THE BUILDING.
42. NEW 10' ELECTRICAL EASEMENT
43. NEW 10' SAS EASEMENT
44. NO LEFT TURN SIGN POST
45. EXISTING SITE DRIVE
46. MOTORCYCLE PARKING SIGN
47. CONCRETE PARKING BUMPER
48. RETAINING WALL
49. NEW FIRE HYDRANT

<input type="checkbox"/> ADDRESS	4111 IRVING BLVD. NW ALBUQUERQUE, NM 87114	<input type="checkbox"/> PARKING - LOT A	OFFICE BUILDING A 9451 NSF/200 = 47
<input type="checkbox"/> OWNER	AQUATIC CONSULTANTS, INC 4415 HAWKINS ST. NE, SUITE D, ALBUQUERQUE, NM 87109		VEHICLE STORAGE 6693 NSF/2000 = 3
<input type="checkbox"/> LEGAL DESCRIPTION	TRACT D-1-B ADOBE WELLS SUBDIVISION		TOTAL PARKING REQUIRED = 50
<input type="checkbox"/> SEIZURE ZONE	2B		TOTAL PARKING PROVIDED = 50
<input type="checkbox"/> ZONING	C-2 COMMUNITY COMMERCIAL ZONE		ACCESSIBLE PARKING REQUIRED = 3
<input type="checkbox"/> LOT SIZE	LOT A - 1.71 ACRES LOT B - 1.73 ACRES		ACCESSIBLE PARKING PROVIDED = 3
<input type="checkbox"/> BUILDING HEIGHT	28' AT ANY LEGAL LOCATION		VAN ACCESSIBLE PARKING REQUIRED = (1)
<input type="checkbox"/> BUILDING SETBACK	5' MIN. - FRONT AND SIDE 11' MIN. - FROM DRIVEWAY/ALLEY/ PUBLIC SIDEWALK		VAN ACCESSIBLE PARKING PROVIDED = (1)
			MOTOR CYCLE PARKING REQUIRED = 2
			MOTOR CYCLE PARKING PROVIDED = 2
			BICYCLE PARKING REQUIRED = 3
			BICYCLE PARKING PROVIDED = 3
			TOTAL PARKING PROVIDED = 10



SIGN AREA = 38 SQUARE FEET  
LIGHTING - EXTERNAL GROUND MOUNTED, BOTH FACES



**ARCHITECTS**  
Fanning Bard Tatum Architects AIA, Ltd.  
6100 Indian School Rd. NE Ste 210  
Albuquerque NM 87110  
Phone 505/883.5200  
Facsimile 505/884.5390  
Web www.fbtarch.com

Project # 1004820  
DRB SITE DEVELOPMENT PLAN  
SIGNOFF APPROVAL:  
Application # 06DRB-01007

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION  
7/19/06 DATE

WATER UTILITY DEPARTMENT  
Bradley A. Bingham DATE 7/19/06

PARKS AND RECREATION City Engr. DEPARTMENT  
Christine Sanborn 7/19/06 DATE

OFF ENGINEER Parks & Rec. Dept  
N/A DATE

ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)  
Michael Holton 8/21/07 DATE

SOLID WASTE MANAGEMENT  
Mark Andrew Juarez 12/11/07 DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT

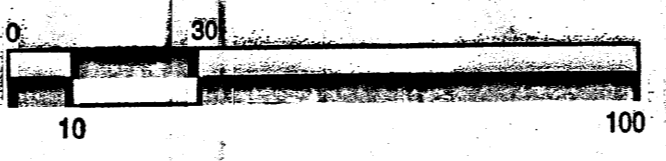
PROJECT NUMBER 1004820  
APPLICATION NUMBER 06 DRB - 01007, 01008, 01009  
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated May 19, 2006 and the Findings and Conditions in the Official Notification of Decision are satisfied.  
Is an Infrastructure List Required? ( ) Yes ( ) No  
If yes, then a set of approved ORC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**AQUATIC CONSULTANTS, INC**  
OFFICE BUILDING/ COMPLEX  
4411 IRVING BLVD. NW  
ALBUQUERQUE, NEW MEXICO 87114  
EPC CASE NO. 06EPC 00470  
ORIGINAL EPC CASE NO. Z-91-6  
TRACT D-1-B ADOBE WELLS SUBDIVISION  
JULY 2006

SHEET TITLE  
SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT

AS-101

**SITE PLAN** 1" = 30'-0"



**VICINITY MAP**

AQUATIC CONSULTANTS, INC OFFICE BUILDING/ COMPLEX



**LANDSCAPE LEGEND**

QTY	SIZE	COMMON/BOTANICAL	H2O USE
15	2" cal	Chitalpa <i>Chilopsis X Catalpa</i>	M
7	2" cal	Chinese Pistache <i>Pistachia chinensis</i>	M
6	6 - 8'	Austrian Pine <i>Pinus nigra</i>	M
9	4 - 6'	Pinon Pine <i>Pinus edulis</i>	M
30	2" cal	Desert Willow <i>Chilopsis linearis</i>	L
25	10-12'	Trinity Pear <i>Pyrus calleryana 'Trinity'</i>	M
53	5 Gal	Blue-spiraea <i>Caryopteris x clandonensis</i>	M
83	5 Gal	India Hawthorn <i>Raphiolepis indica</i>	M
139	5 Gal	Buffalo Juniper <i>Juniperus tamariscifolia 'Buffalo'</i>	M
14	5 Gal	Dwarf Butterfly Bush <i>Buddleia davidii nanhoensis</i>	M
96	5 Gal	Dwarf Feathertop <i>Pennisetum villosum</i>	M
52	5 Gal	Cherry Sage <i>Salvia greggii</i>	M
48	5 Gal	Rosemary <i>Rosmarinus officinalis</i>	M
52	5 Gal	English Lavender <i>Lavandula angustifolia</i>	L
9	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	L
64	5 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	L

	Crusher Fines, 3" min. depth, no fabric. Sample to be approved by Owner or Owner Representative prior to placement
	Moss Rock Paving on Slope
	Buffalo Grass-Native Lawn with sprinklers ( 5252 sf )
	Moss Rock Boulders
	Dry Stream Beds with Cobble Stone
	Annual and Perennial Color Beds

**LANDSCAPE NOTES**

Landscape and Irrigation System maintenance shall be the responsibility of the Owner.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees and shrubs shall be zoned separately. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Point of connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor prior to construction.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Prior to construction, Landscape Contractor shall verify location of all Utility Lines.

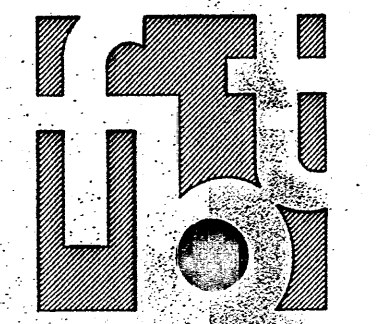
Landscape shall be installed according to the approved plan. Any change to the approved plan require the written approval of the Landscape Architect.

Landscape areas in excess of 36 square feet shall be planted so as to achieve 75% Live Ground Cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

**LANDSCAPE CALCULATIONS**

TRACT A	
TOTAL LOT AREA (sf)	74,495
TOTAL BUILDING AREA (sf)	16,899
LOT AREA (sf)	57,596
LANDSCAPE REQUIREMENT (%)	15
TOTAL LANDSCAPE REQUIRED (sf)	8,639
TOTAL LANDSCAPE PROVIDED (sf)	25,998
TRACT B	
TOTAL LOT AREA (sf)	75,670
TOTAL BUILDING AREA (sf)	16,092
LOT AREA (sf)	59,578
LANDSCAPE REQUIREMENT (%)	15
TOTAL LANDSCAPE REQUIRED (sf)	8,937
TOTAL LANDSCAPE PROVIDED (sf)	27,151



**ARCHITECTS**  
**Fanning Bard Tatum Architects AIA, Ltd.**  
 6100 Indian School Rd. NE Ste 210  
 Albuquerque NM 87110  
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 Facsimile 505/884.5390  
 Web www.fbtarch.com

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

PROJECT NUMBER	1004820
APPLICATION NUMBER	

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

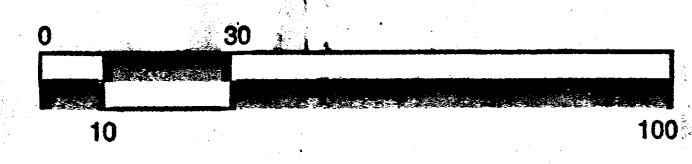
Is an Infrastructure List Required? ( ) Yes ( ) No  
 If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**AQUATIC CONSULTANTS, INC**  
 OFFICE BUILDING/ COMPLEX  
 4411 IRVING BLVD. NW  
 ALBUQUERQUE, NEW MEXICO 87114  
 EPC CASE NO. 06EPC 00470  
 ORIGINAL EPC CASE NO. Z-91-6  
 TRACT D-1-B ADOBE WELLS SUBDIVISION  
 JULY 2006

SHEET TITLE  
**LANDSCAPE PLAN**

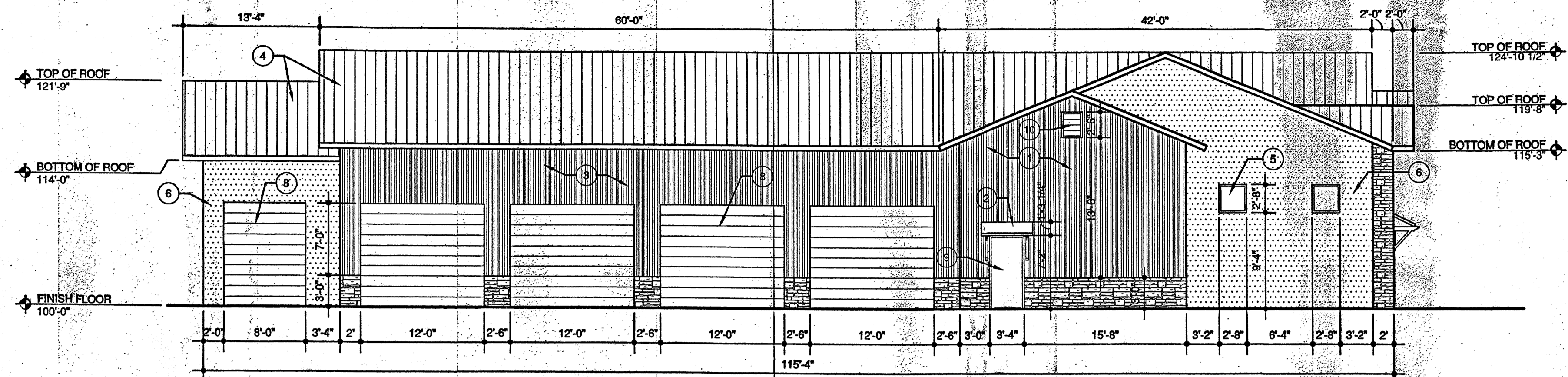
**L-101**

**LANDSCAPE PLAN** 1" = 30'-0"

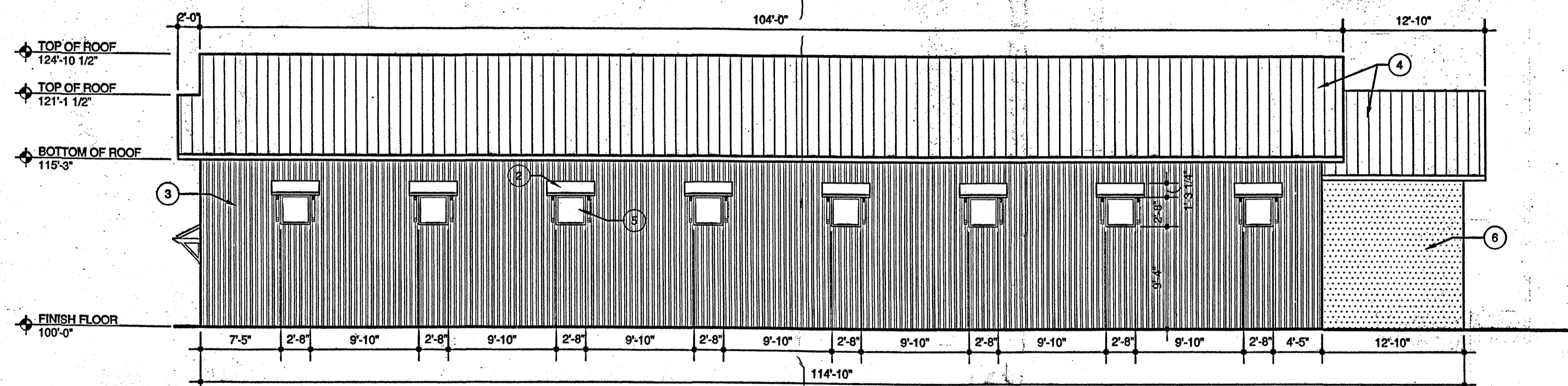


AQUATIC CONSULTANTS, INC - OFFICE BUILDING/ COMPLEX

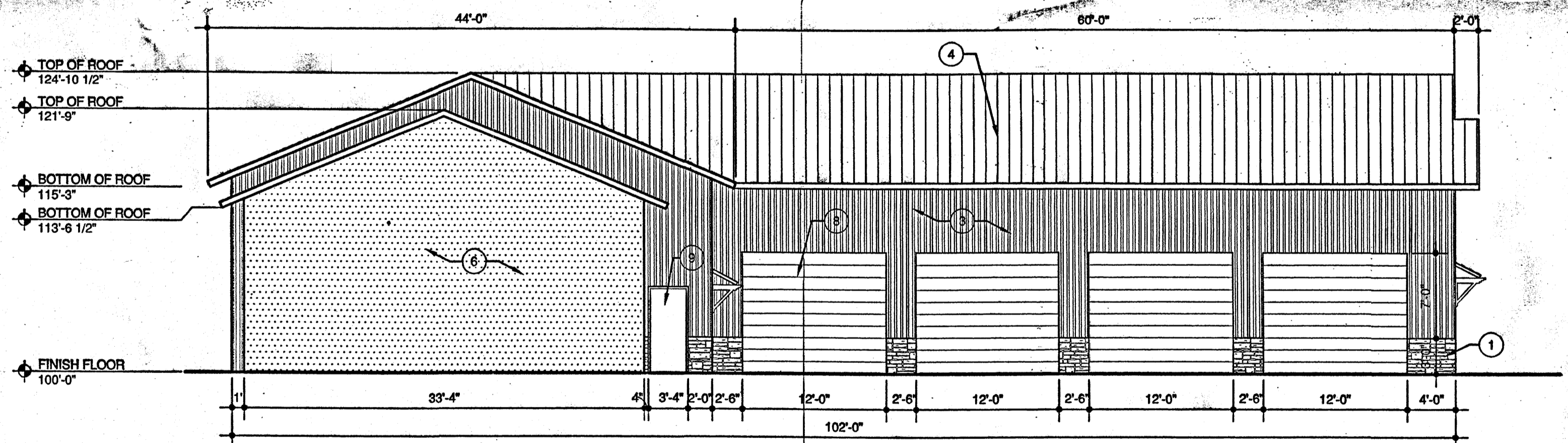




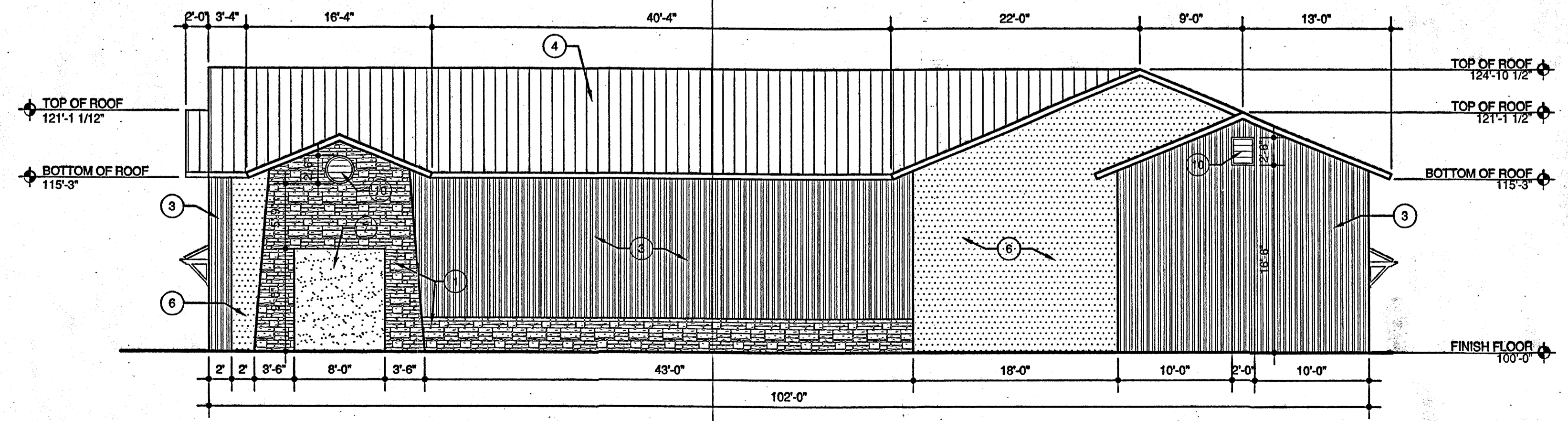
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2 SOUTH ELEVATION - VEHICLE STORAGE 1/8"=1'-0"

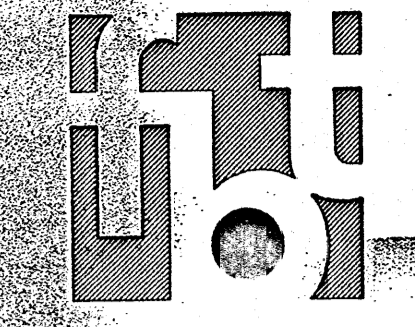


3 EAST ELEVATION - VEHICLE STORAGE 1/8"=1'-0"



4 WEST ELEVATION - VEHICLE STORAGE 1/8"=1'-0"

- KEYED NOTES**
1. CULTURED STONE VENEER.
  2. METAL SUNSHADE TYP.
  3. CORRUGATED VERTICAL METAL SIDING (GALVANIZED).
  4. STANDING SEAM METAL ROOF SYSTEM (GALVANIZED).
  5. ALUMINUM WINDOW WITH INSULATED GLAZING/ GREY TINT TYP.
  6. TAN COLOR STUCCO TYP.
  7. DARK BROWN STUCCO COLOR.
  8. OVERHEAD DOOR/ PAINT GRAY
  9. HOLLOW METAL DOOR/ PAINT GRAY
  10. VENT



ARCHITECTS

Fanning Bard Tatum Architects AIA, Ltd.

6100 Indian School Rd. NE Ste 210  
Albuquerque NM 87110

Phone 505/883.5200  
Facsimile 505/884.5390  
Web www.fbtarch.com

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

DATE	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

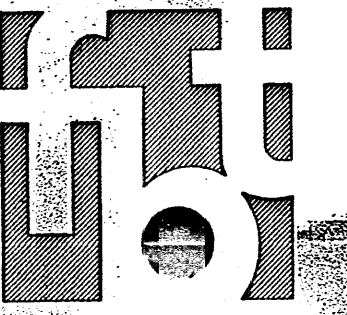
PROJECT NUMBER 1004820  
APPLICATION NUMBER  
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.  
Is an Infrastructure List Required? ( ) Yes ( ) No  
If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**AQUATIC CONSULTANTS, INC**  
OFFICE BUILDING/ COMPLEX  
4411 IRVING BLVD. NW  
ALBUQUERQUE, NEW MEXICO 87114

EPC CASE NO. 06EPC 00470  
ORIGINAL EPC CASE NO. Z-91-6  
TRACT D-1-B ADOBE WELLS SUBDIVISION  
JULY 2006

SHEET TITLE  
**VEHICLE STORAGE BUILDING ELEVATIONS**

**A-202**



ARCHITECTS

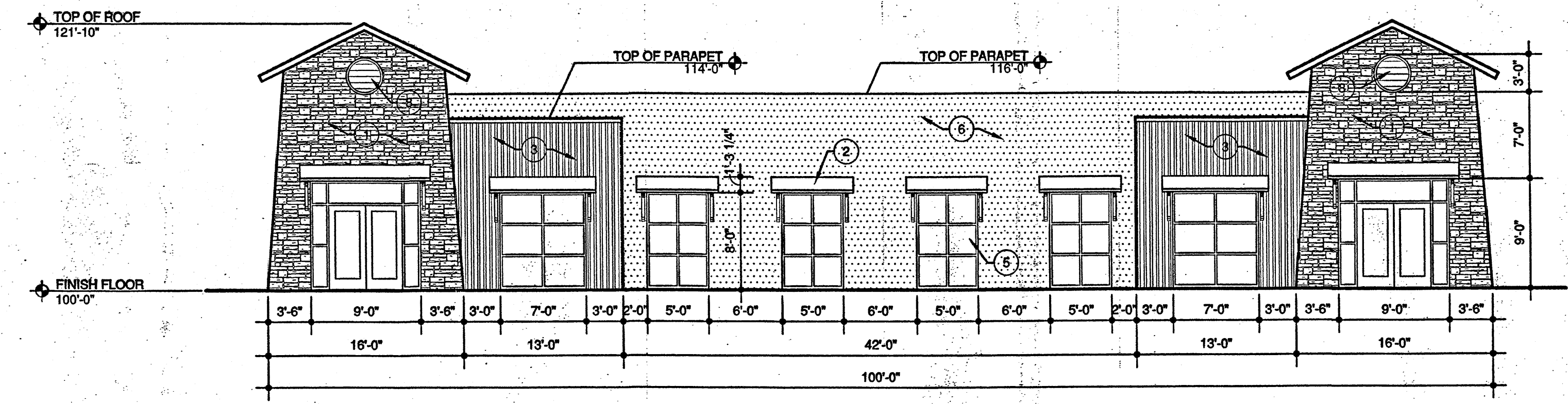
Fanning Bard Tatum Architects AIA, Ltd.

6100 Indian School Rd. NE Ste 210  
Albuquerque NM 87110

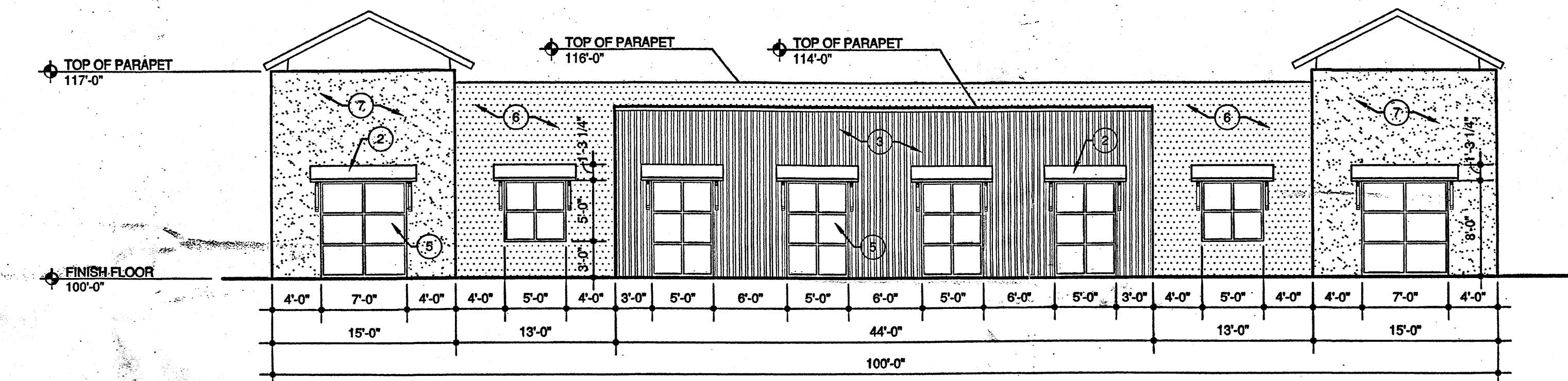
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KEYED NOTES

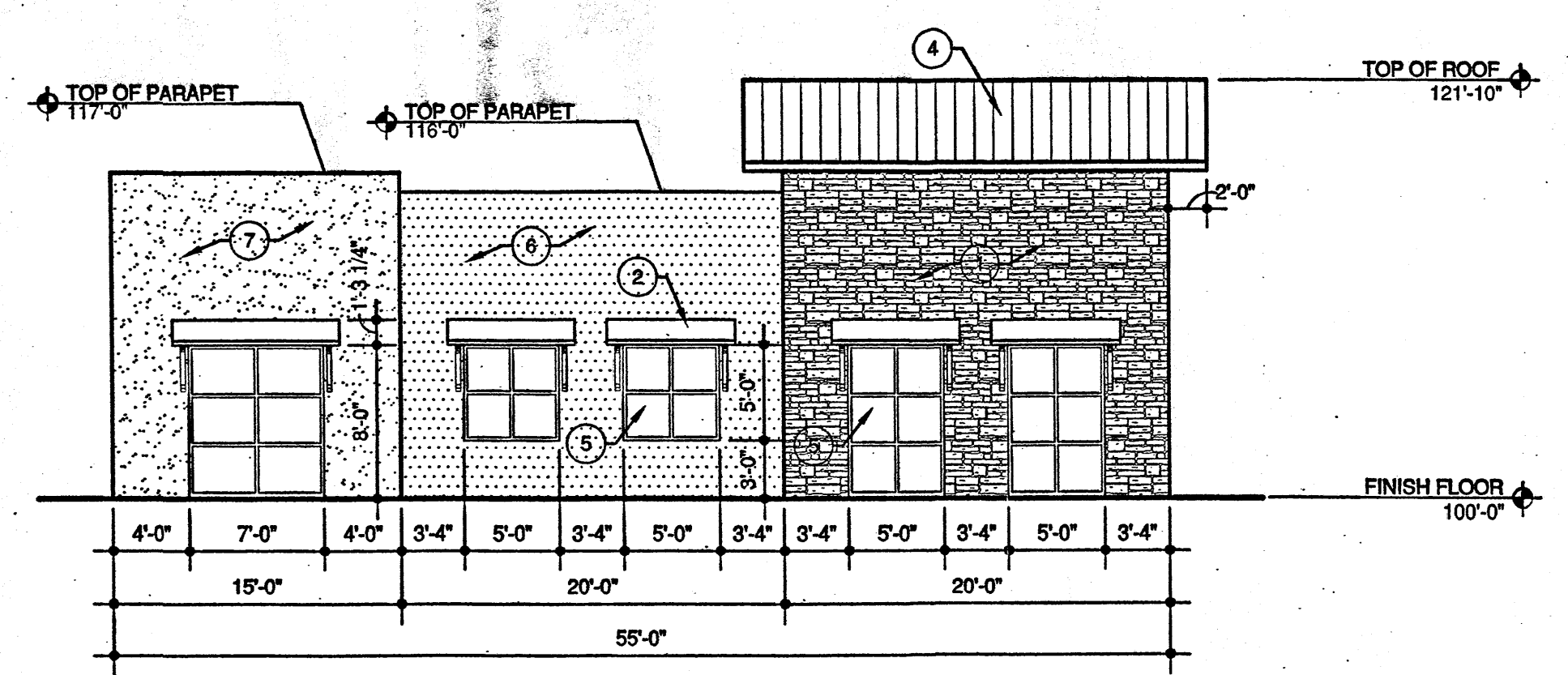
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6. TAN COLOR STUCCO TYP.
7. DARK BROWN STUCCO COLOR.
8. VENT.



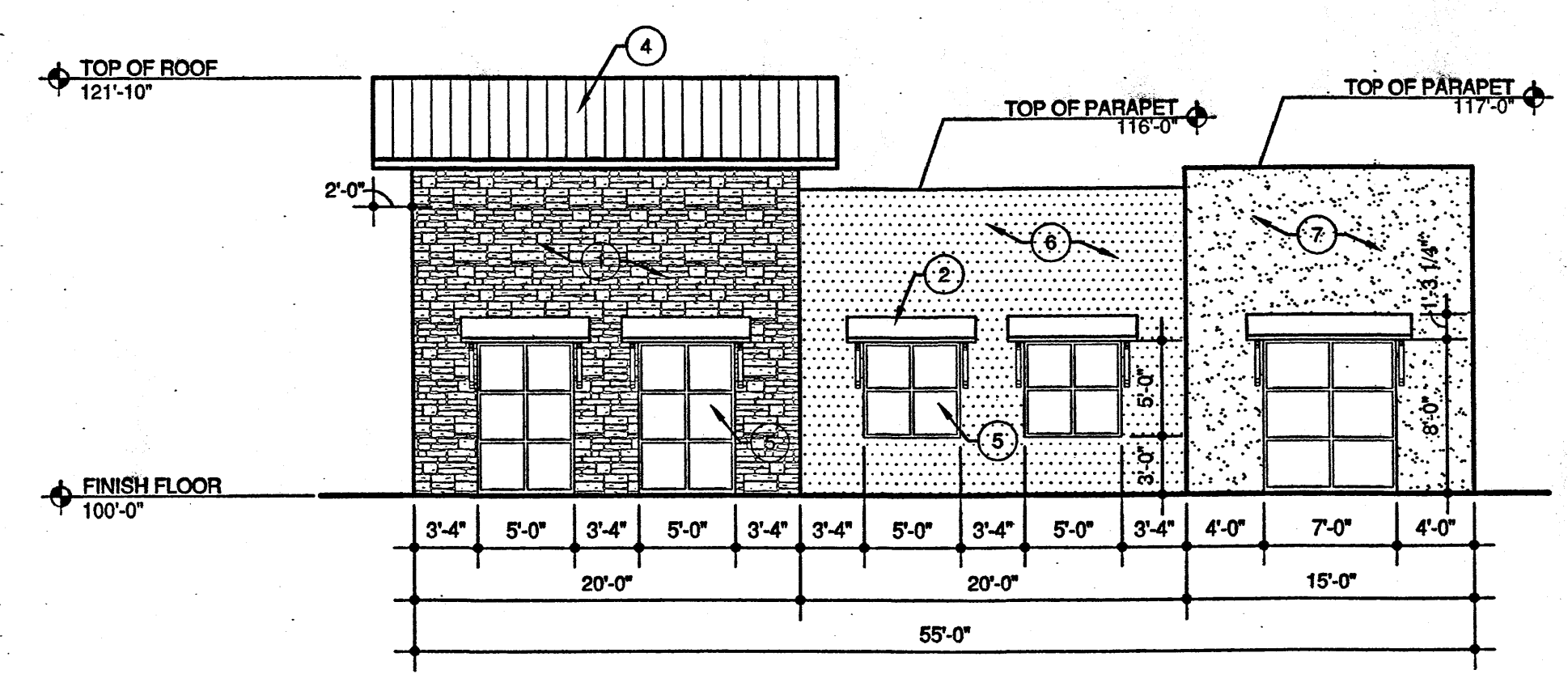
1 WEST ELEVATION - BUILDING B, C & D 1/8"=1'-0"



2 EAST ELEVATION - BUILDING B, C & D 1/8"=1'-0"



3 NORTH ELEVATION - BUILDING B, C & D 1/8"=1'-0"



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DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

DATE	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

PROJECT NUMBER 1004820

APPLICATION NUMBER

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List Required? ( ) Yes ( ) No  
If yes, then a set of approved DRD plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

AQUATIC CONSULTANTS, INC

OFFICE BUILDING/ COMPLEX  
4411 IRVING BLVD. NW  
ALBUQUERQUE, NEW MEXICO 87114

EPC CASE NO. 06EPC 00470  
ORIGINAL EPC CASE NO. Z-91-6  
TRACT D-1-B ADOBE WELLS SUBDIVISION

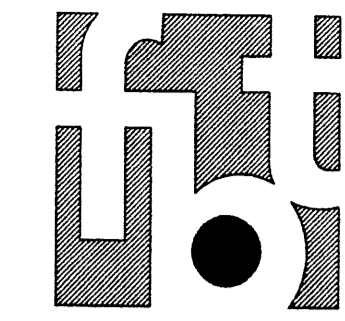
JULY 2006

SHEET TITLE

OFFICE BUILDING B,C & D  
BUILDING ELEVATIONS

A-203





ARCHITECTS

Fanning Bard Tatum Architects AIA, Inc.

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Albuquerque NM 87110

Phone 505/883.5200  
Facsimile 505/884.5390  
Web www.fbtarch.com

Project # 1004820  
DRB SITE DEVELOPMENT PLAN  
SIGNOFF APPROVAL:  
Application # 0602B-01007

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION <i>Roger J. Shan</i>	DATE 7/19/06
WATER UTILITY DEPARTMENT <i>Bradley D. Bughan</i>	DATE 7/19/06
PARKS AND RECREATION DEPARTMENT <i>Christina Danaher</i>	DATE 7/19/06
CITY ENGINEER <i>N/A</i>	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) <i>Michael Holton</i>	DATE 8/21/07
SOLID WASTE MANAGEMENT <i>Mick Andrew Gyure</i>	DATE 12/11/07
DRB CHAIRPERSON, PLANNING DEPARTMENT	

PROJECT NUMBER 1004820  
APPLICATION NUMBER 06 DRB - 01007, 01008, 01009

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated May 19, 2006 and the Findings and Conditions in the Official Notification of Decision are satisfied.  
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OFFICE BUILDING/ COMPLEX  
4411 IRVING BLVD. NW  
ALBUQUERQUE, NEW MEXICO 87114

EPC CASE NO. 06EPC 00470  
ORIGINAL EPC CASE NO. Z-91-96  
TRACT D-1-B ADOBE WELLS SUBDIVISION

JULY 2006

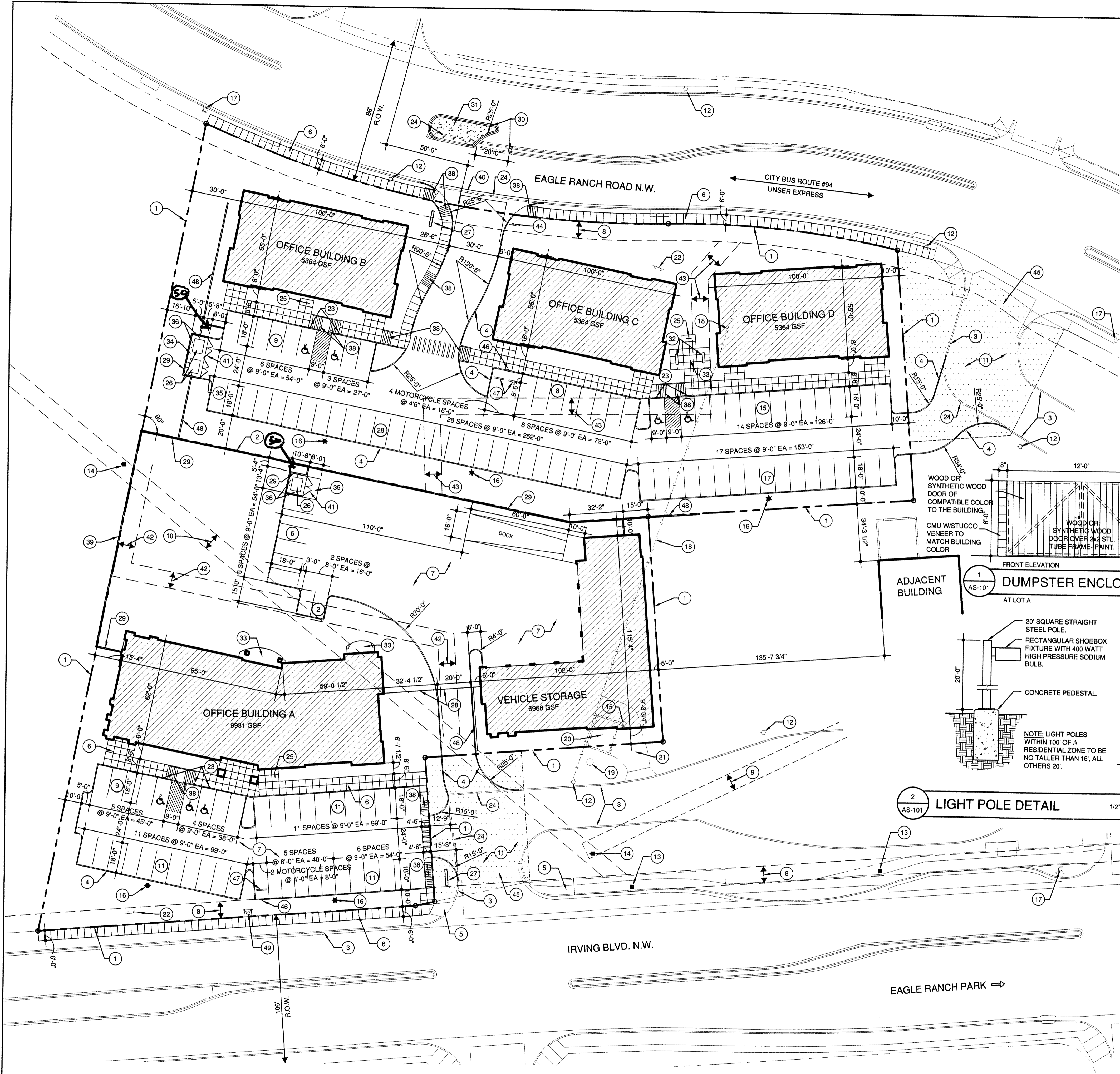
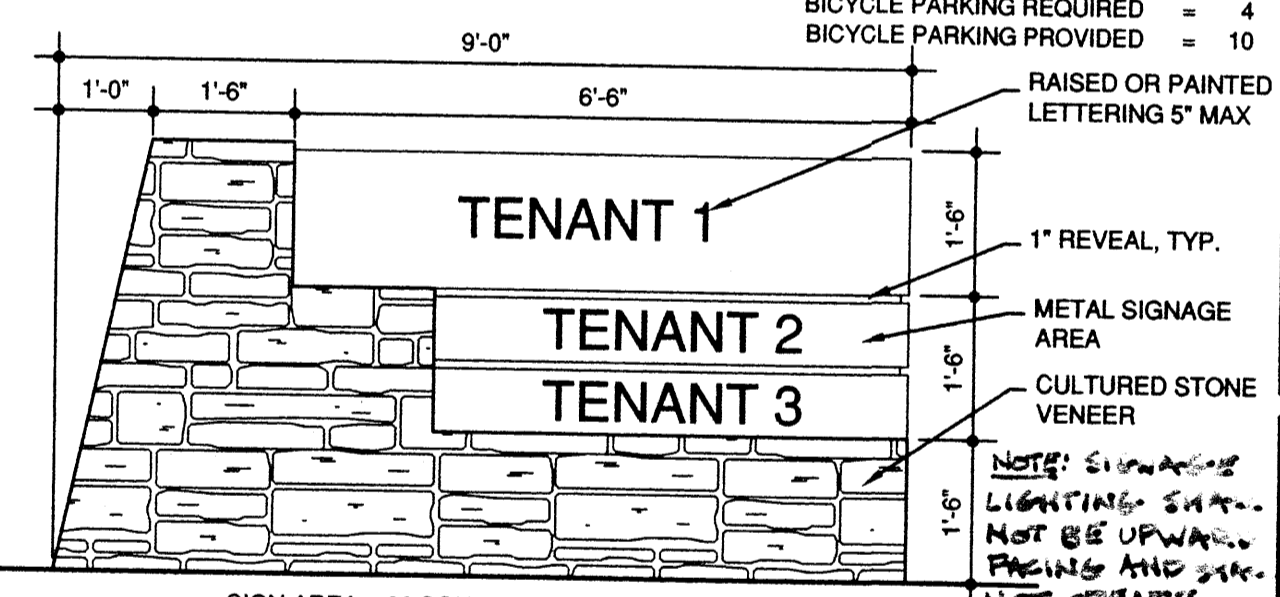
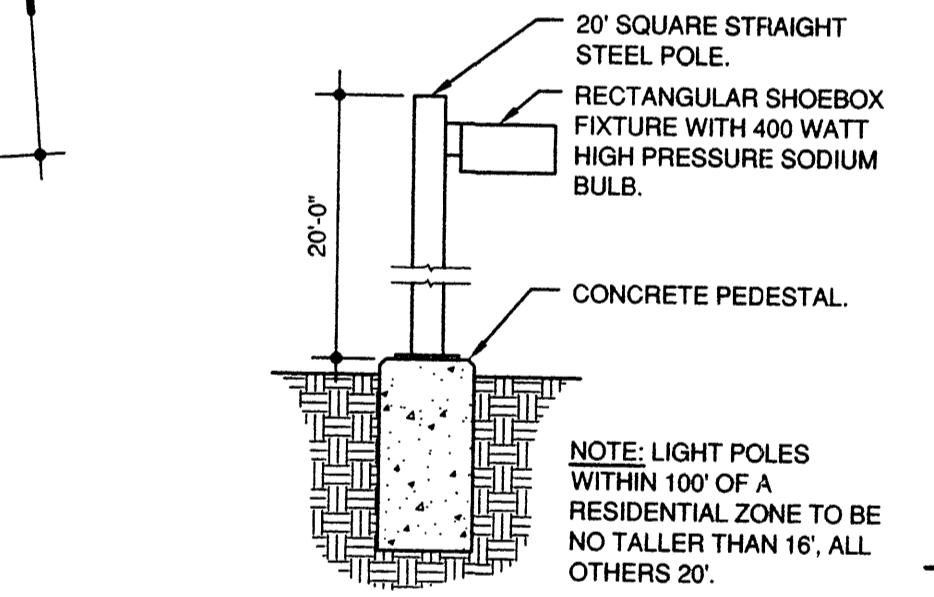
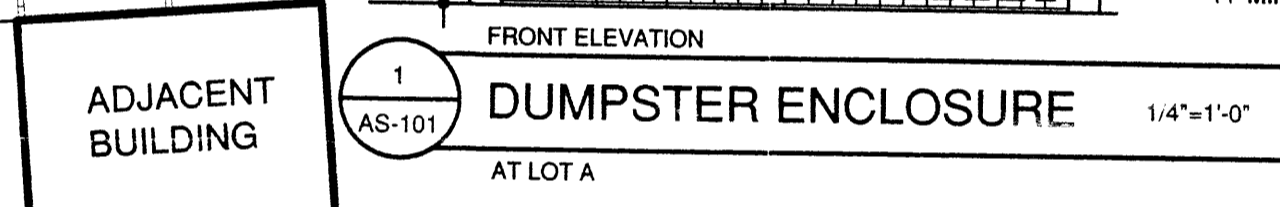
SHEET TITLE  
SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT

AS-101

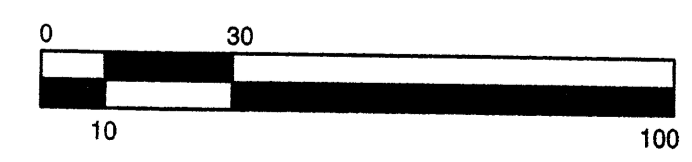
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- NEW CONCRETE SIDEWALK - 6' wide, per COA set. 04/03/02
- NEW ASPHALT PAVING
- 10' PUBLIC UTILITY EASEMENT 2430-2
- 10' PHM EASEMENT
- 10' PHM & MOUNTAIN STATES TELEPHONE AND TELEGRAPH EASEMENT TO BE RELOCATED.
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- NEW FIRE HYDRANT

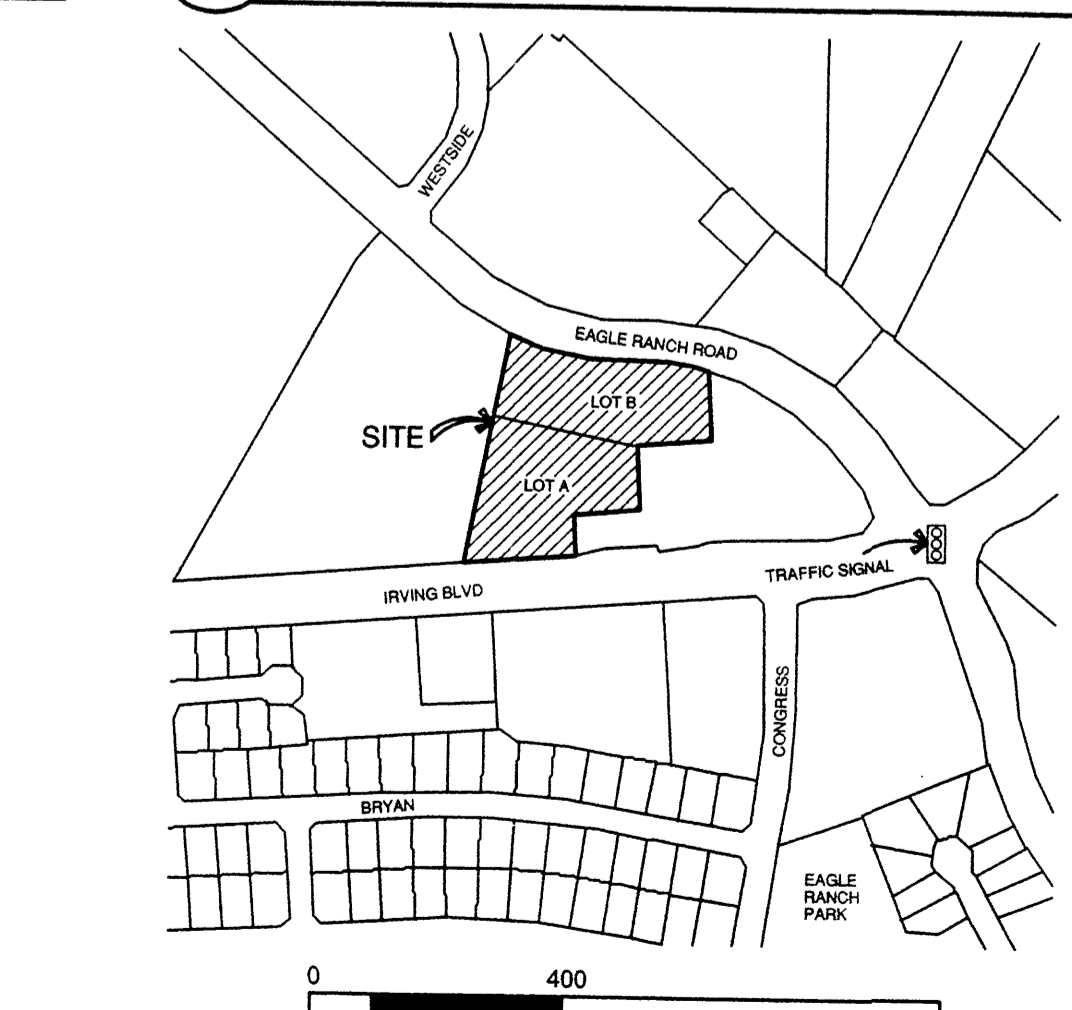
ADDRESS	4411 IRVING BLVD. NW ALBUQUERQUE, NM 87114
OWNER	AQUATIC CONSULTANTS, INC 4415 HAWKINS ST. NE, SUITE D, ALBUQUERQUE, NM 87109
LEGAL DESCRIPTION	TRACT D-1-B ADOBE WELLS SUBDIVISION
SEIZURE ZONE	2B
ZONING	C-2 COMMUNITY COMMERCIAL ZONE
LOT SIZE	LOT A - 1.71 ACRES LOT B - 1.73 ACRES
BUILDING HEIGHT	26' AT ANY LEGAL LOCATION
BUILDING SETBACK	5' MIN. - FRONT AND SIDE 11' MIN. - FROM DRIVEWAY/ ALLEY/ PUBLIC SIDEWALK
PARKING - LOT A	OFFICE BUILDING A 9451 NSF/200 = 47 VEHICLE STORAGE 6693 NSF/2000 = 3 TOTAL PARKING REQUIRED = 50 TOTAL PARKING PROVIDED = 50 ACCESSIBLE PARKING REQUIRED = 3 ACCESSIBLE PARKING PROVIDED = 3 VAN ACCESSIBLE PARKING REQUIRED = (1) VAN ACCESSIBLE PARKING PROVIDED = (1) MOTOR CYCLE PARKING REQUIRED = 2 MOTOR CYCLE PARKING PROVIDED = 2 BICYCLE PARKING REQUIRED = 5 BICYCLE PARKING PROVIDED = 5
PARKING - LOT B	OFFICE BUILDING B 5200 NSF/200 = 26 OFFICE BUILDING C 5200 NSF/200 = 26 OFFICE BUILDING D 5200 NSF/200 = 26 TOTAL PARKING REQUIRED = 78 10% TRANSIT REDUCTION = (8) TOTAL PARKING REQUIRED W/ REDUCTION = 70 TOTAL PARKING PROVIDED = 79 ACCESSIBLE PARKING REQUIRED = 4 ACCESSIBLE PARKING PROVIDED = 4 VAN ACCESSIBLE PARKING REQUIRED = (1) VAN ACCESSIBLE PARKING PROVIDED = (2) MOTOR CYCLE PARKING REQUIRED = 3 MOTOR CYCLE PARKING PROVIDED = 4 BICYCLE PARKING REQUIRED = 10 BICYCLE PARKING PROVIDED = 10



SITE PLAN 1" = 30'-0"



VICINITY MAP



AQUATIC CONSULTANTS, INC. BUILDING/ COMPLEX 1004820