

VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD27) originated at the New Mexico State Highway Control Monument "NM448-N10".
- Distances are ground.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the Month of March, 2006.
- U.C.L.S. Log Number 2006271447.
- City of Albuquerque Zone Atlas Pages: B-13-Z
- This property is currently zoned "C-2", per the City of Albuquerque Zone Atlas, dated January 12, 2006.

Documents used in the preparation of this survey are as follows:

- Plat entitled "PLAT OF TRACT D-1, ADOBE WELLS SUBDIVISION, ALBUQUERQUE, NEW MEXICO, JULY, 1991", filed September 4, 1991, in Volume 91C, Folio 188, records of Bernalillo County, New Mexico.
- Plat entitled "PLAT OF TRACT D-1-A AND D-1-B, ADOBE WELLS SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JULY, 1995", filed August 2, 1995, in Volume 95C, Folio 285, records of Bernalillo County, New Mexico.
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- Plat entitled "REPLAT OF PORTION OF TRACTS 2 AND 3, EAGLE RANCH TO TRACTS F, G, H AND I, EAGLE RANCH, BERNALILLO COUNTY, NEW MEXICO, AUGUST, 1982", filed November 24, 1982, in Volume C20, Folio 102, records of Bernalillo County, New Mexico.
- Title Report prepared for this property by Commonwealth Land Title Insurance Company and underwritten by LandAmerica Albuquerque Title, Commitment for Title Insurance No. 6212000458, dated February 2, 2006.

2007075824
6657871
Page: 1 of 3
65/22/2007 09:31A
Bk-2007C Pa-131

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid

of the following:
101200630404340442
ACI MANAGEMENT LLC

Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PURPOSE OF PLAT

The purpose of this plat is to:

- Divide existing Tract D-1-B into two (2) tracts.
- Grant the New 20' Public Sanitary Sewer Easement for the benefit of Tracts D-1-B-1 and D-1-B-2 as shown hereon.
- Grant the New 10' Public Utility Easement as shown hereon.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
Russ P. Hugg
NMPS No. 9750
November 27, 2006

PLAT OF
TRACTS D-1-B-1 AND D-1-B-2
ADOBE WELLS SUBDIVISION

(BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION)

WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 2006

PROJECT NUMBER: 1004820

Application Number: 06DRB-01008

PLAT APPROVAL

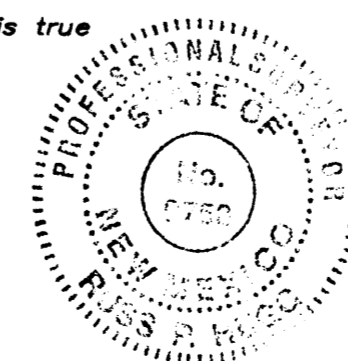
Utility Approvals:

<i>Leah D. Mott</i> PNM Gas and Electric Services	<u>12-14-06</u> Date
<i>Russell H. Salinas</i> QWest Corporation	<u>12/20/06</u> Date
<i>Janice Dalton</i> Comcast	<u>12-14-06</u> Date
<i>[Signature]</i> New Mexico Utilities	<u>12-25-06</u> Date

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals:

<i>[Signature]</i> City Surveyor	<u>12-14-06</u> Date
<i>N/A Sam</i> Real Property Division	<u>5/16/07</u> Date
<i>N/A Sam</i> M.R.C.C.D.	<u>5/16/07</u> Date
<i>[Signature]</i> Traffic Engineering, Transportation Division	<u>5-16-07</u> Date
<i>[Signature]</i> Utilities Development	<u>5/16/07</u> Date
<i>Christina Sandoval</i> Parks and Recreation Department	<u>5/16/07</u> Date
<i>Bradley D. Bingham</i> AMAFCA	<u>5/16/07</u> Date
<i>Bradley D. Bingham</i> City Engineer	<u>5/16/07</u> Date
<i>[Signature]</i> DRB Chairperson, Planning Department	<u>5/21/07</u> Date



SURV TEK, INC.

Consulting Surveyors
2984 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

PLAT OF
TRACTS D-1-B-1 AND D-1-B-2
ADOBE WELLS SUBDIVISION
(BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION)
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JUNE , 2006

LEGAL DESCRIPTION

"TRACT D-1-B" of ADOBE WELLS SUBDIVISION as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 2, 1995, in Map Book 95C, folio 285.

Said Tract contains 3.4473 acres, more or less.

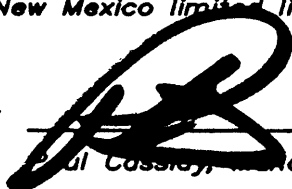
FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, PLAT OF TRACTS D-1-B-1 AND D-1-B-2, ADOBE WELLS SUBDIVISION (BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the Public Utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

ACI Management, LLC
a New Mexico limited liability company

BY:


Paul Cassidy, Managing Member

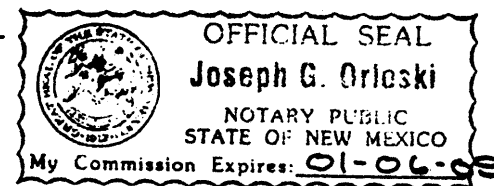
ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 23RD
day of June, 2006, by Paul Cassidy, Managing Member of
ACI Management, LLC


Notary Public

01-06-09
My commission expires



PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

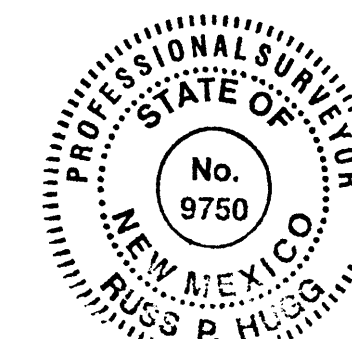
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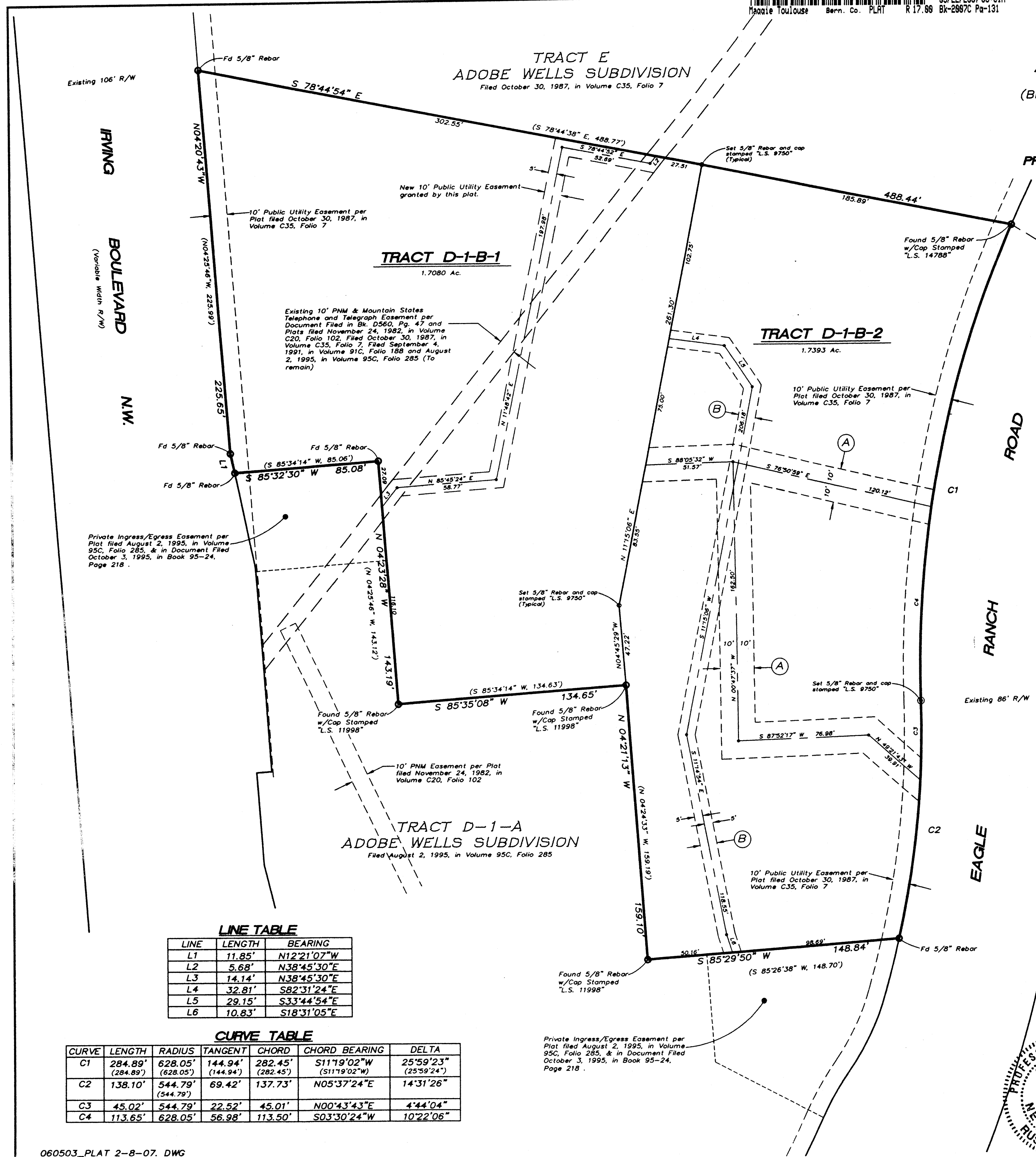


SHEET 2 OF 3

SURV●TEK, INC.

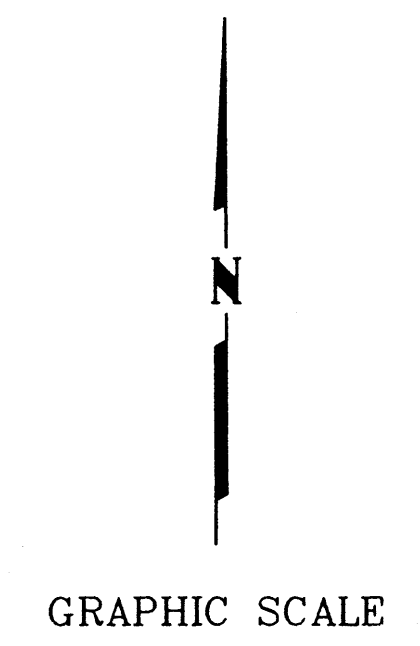
Consulting Surveyors
6304 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

PLAT OF
TRACTS D-1-B-1 AND D-1-B-2
ADOBE WELLS SUBDIVISION
 (BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION)
 WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER, 2006



Albuquerque Control Survey Monument
 "NM-448-N10"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 27) as published:
 Y = 1,524,161.52
 X = 377,788.84
 Z = 5045.51 (SLD 29)
 Delta Alpha = -00° 14' 09"
 Combined factor = 0.99967583

- (A) 20' Public Sanitary Sewer Easement granted to New Mexico Utilities, Inc. by Document filed February 22, 2007 in Book A132, Page 9115. Said easement is hereby granted to the City of Albuquerque by this plat.
- (B) 10' Private Drainage Easement granted by this plat for the benefit of Tract D-1-B-1. Maintenance of said easement to be the responsibility of the owner(s) of the owner(s) of said Tracts D-1-B-1 and D-1-B-2.



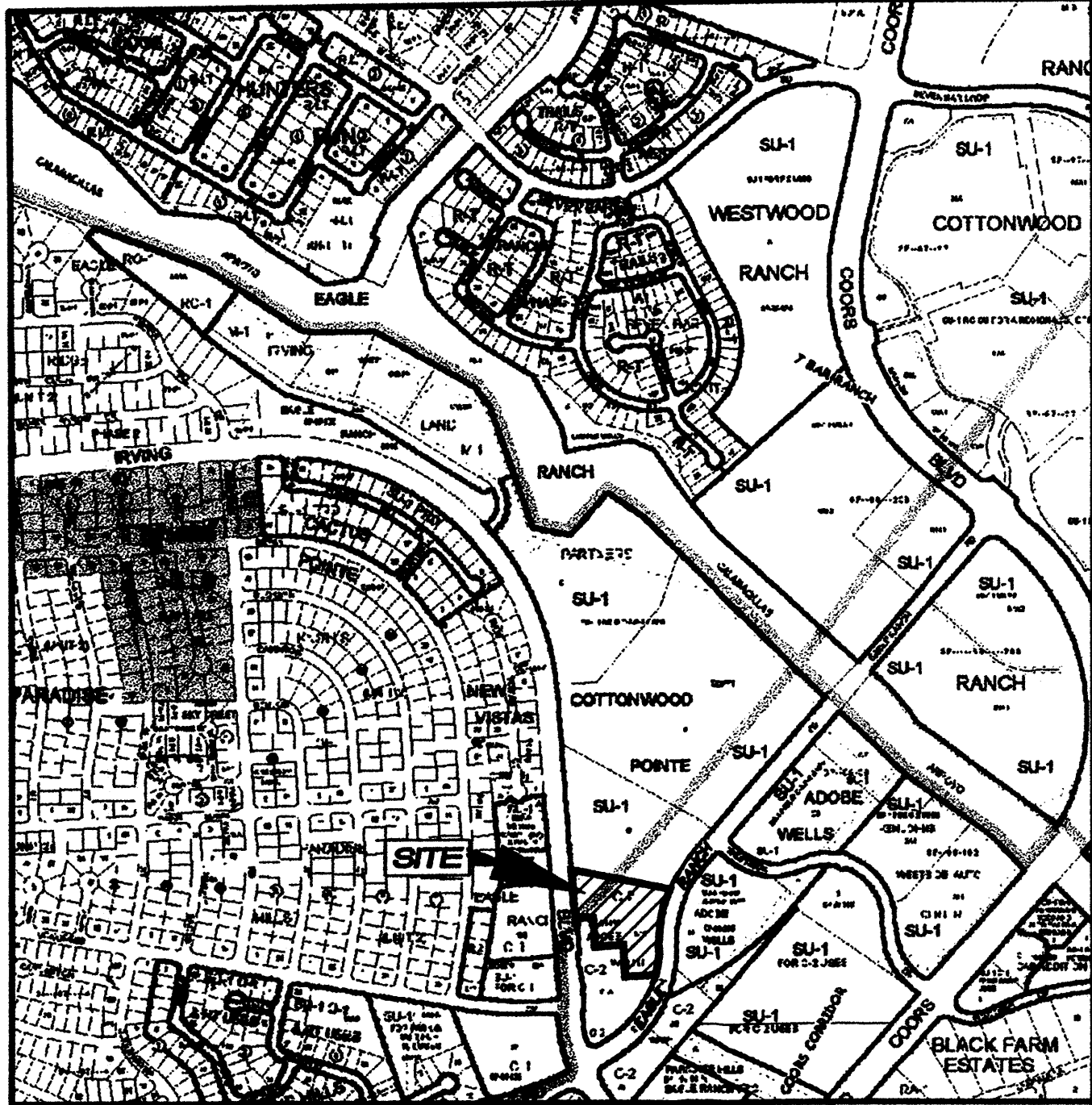
LINE TABLE

LINE	LENGTH	BEARING
L1	11.85'	N12°21'07"W
L2	5.68'	N38°45'30"E
L3	14.14'	N38°45'30"E
L4	32.81'	S82°31'24"E
L5	29.15'	S33°44'54"E
L6	10.83'	S18°31'05"E

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	284.89' (284.89')	628.05' (628.05')	144.94' (144.94')	282.45' (282.45')	S11°19'02"W (S11°19'02"W)	25°59'23" (25°59'24")
C2	138.10'	544.79' (544.79')	69.42'	137.73'	N05°37'24"E	14°31'26"
C3	45.02'	544.79'	22.52'	45.01'	N00°43'43"E	4°44'04"
C4	113.65'	628.05'	56.98'	113.50'	S03°30'24"W	10°22'06"





VICINITY MAP
NOT TO SCALE

GENERAL NOTES

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- Field surveys were performed during the Month of March, 2006.
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- This property is currently zoned "C-2", per the City of Albuquerque Zone Atlas, dated January 12, 2006.

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Page: 1 of 3
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TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

101200531001510042
ACI MANAGEMENT LLC
Bernalillo County Treasurer Date

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PURPOSE OF PLAT

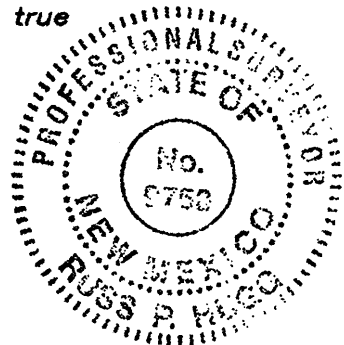
The purpose of this plat is to:

- Divide existing Tract D-1-B into two (2) tracts.
- Grant the New 20' Public Sanitary Sewer Easement for the benefit of Tracts D-1-B-1 and D-1-B-2 as shown hereon.
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Russ P. Hugg
NMPS No. 9750
November 29, 2006



PLAT OF
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(BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION)
WITHIN
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PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 2006

PROJECT NUMBER: 1004820

Application Number: 04DRB-01008

PLAT APPROVAL

Utility Approvals:

PNM Gas and Electric Services	<u>[Signature]</u>	12-14-06
		Date
QWest Corporation	<u>[Signature]</u>	12/20/06
		Date
Comcast	<u>[Signature]</u>	12-14-06
		Date
New Mexico Utilities	<u>[Signature]</u>	12-25-06
		Date

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals:

City Surveyor	<u>[Signature]</u>	12-14-06
		Date
Real Property Division	N/A	5/16/07
		Date
M.R.C.C.D.	N/A	5/16/07
		Date
Traffic Engineering, Transportation Division	<u>[Signature]</u>	5-16-07
		Date
Utilities Development	<u>[Signature]</u>	5/16/07
		Date
Parks and Recreation Department	<u>[Signature]</u>	5/16/07
		Date
AMAFCA	<u>[Signature]</u>	5/16/07
		Date
City Engineer	<u>[Signature]</u>	5/16/07
		Date
DRB Chairperson, Planning Department	<u>[Signature]</u>	5/21/07
		Date

PLAT OF
TRACTS D-1-B-1 AND D-1-B-2
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BERNALILLO COUNTY, NEW MEXICO
 JUNE , 2006

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Said Tract contains 3.4473 acres, more or less.

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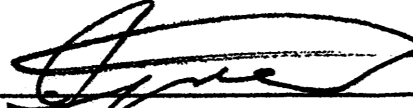
ACI Management, LLC
a New Mexico limited liability company

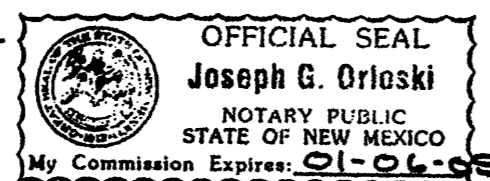
BY: 
Paul Cassidy, Managing Member

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 23RD day of June, 2006, by Paul Cassidy, Managing Member of ACI Management, LLC


Notary Public
01-06-09
My commission expires



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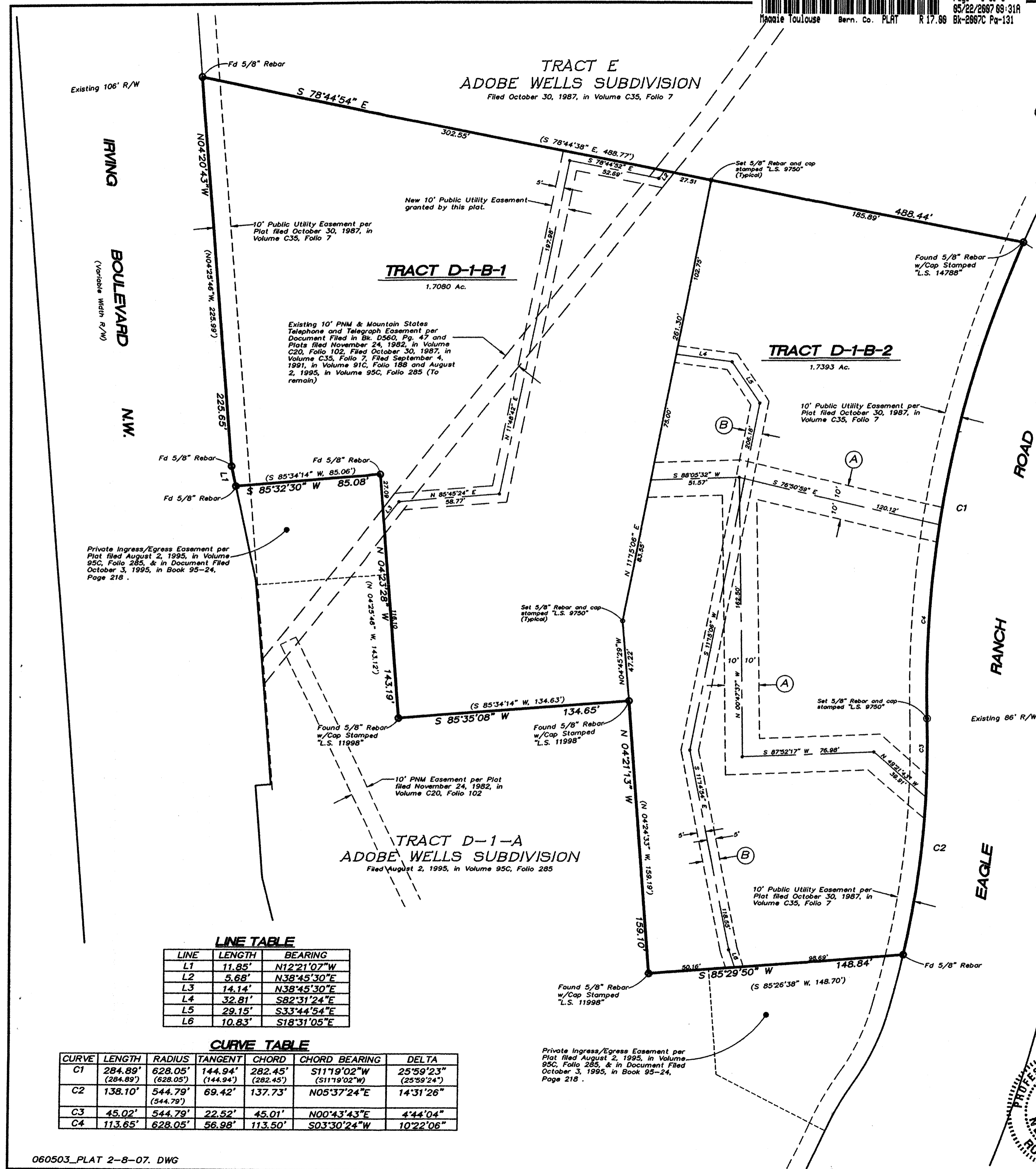
SHEET 2 OF 3

SURVOTEK, INC.

Consulting Surveyors Phone: 505-897-3366
9004 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

PLAT OF
TRACTS D-1-B-1 AND D-1-B-2
ADOBE WELLS SUBDIVISION
 (BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION)
 WITHIN
THE TOWN OF ALAMEDA GRANT
 IN
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2006

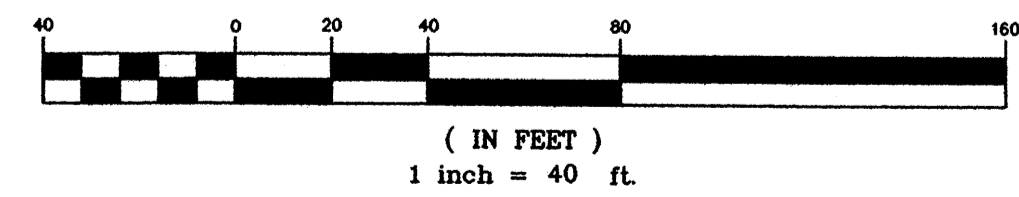


Albuquerque Control Survey Monument
 "NM-44B-N10"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 27) as published:
 Y = 1,524,161.52
 X = 377,788.84
 Z = 5045.51 (SLD 29)
 Delta Alpha = -00° 14' 09"
 Combined factor = 0.99967583

(A) 20' Public Sanitary Sewer Easement granted to New Mexico Utilities, Inc. by Document filed February 22, 2007 in Book A132, Page 9115. Said easement is hereby granted to the City of Albuquerque by this plat.
 (B) 10' Private Drainage Easement granted by this plat for the benefit of Tract D-1-B-1. Maintenance of said easement to be the responsibility of the owner(s) of the owner(s) of said Tracts D-1-B-1 and D-1-B-2.



GRAPHIC SCALE



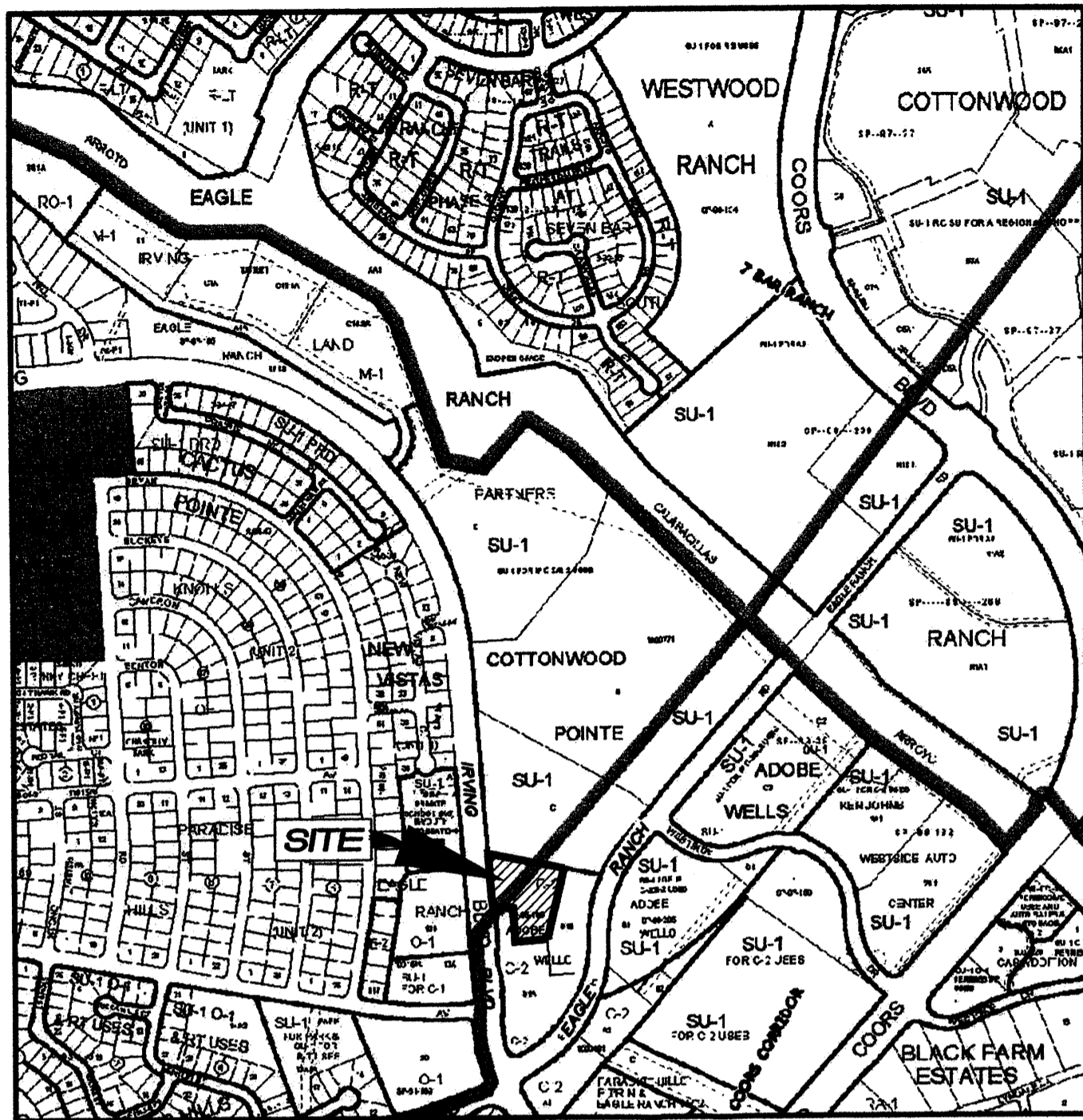
LINE TABLE

LINE	LENGTH	BEARING
L1	11.85'	N12°21'07"W
L2	5.68'	N38°45'30"E
L3	14.14'	N38°45'30"E
L4	32.81'	S82°31'24"E
L5	29.15'	S33°44'54"E
L6	10.83'	S18°31'05"E

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	284.89' (284.89')	628.05' (628.05')	144.94' (144.94')	282.45' (282.45')	S11°19'02"W (S11°19'02"W)	25°59'23" (25°59'24")
C2	138.10' (544.79')	544.79' (544.79')	69.42'	137.73'	N05°37'24"E	14°31'26"
C3	45.02'	544.79'	22.52'	45.01'	N00°43'43"E	4°44'04"
C4	113.65'	628.05'	56.98'	113.50'	S03°30'24"W	10°22'06"





VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD27) originated at the New Mexico State Highway Control Monument "NM448-N10".
- Distances are ground.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the Month of October, 2007.
- U.C.L.S. Log Number 2007450204
- City of Albuquerque Zone Atlas Pages: B-13-Z
- This property is currently zoned "C-2", per the City of Albuquerque Zone Atlas, amended through 9/6/2007.

Documents used in the preparation of this survey are as follows:

- Plat entitled "PLAT OF TRACT D-1, ADOBE WELLS SUBDIVISION, ALBUQUERQUE, NEW MEXICO, JULY, 1991", filed September 4, 1991, in Volume 91C, Folio 188, records of Bernalillo County, New Mexico.
- Plat entitled "PLAT OF TRACT D-1-A AND D-1-B, ADOBE WELLS SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JULY, 1995", filed August 2, 1995, in Volume 95C, Folio 285, records of Bernalillo County, New Mexico.
- Plat entitled "SUBDIVISION PLAT MAP FOR ADOBE WELLS SUBDIVISION ALBUQUERQUE, NEW MEXICO, FEBRUARY, 1986", filed October 30, 1987, in Volume C35, Folio 7, records of Bernalillo County, New Mexico.
- Plat entitled "REPLAT OF PORTION OF TRACTS 2 AND 3, EAGLE RANCH TO TRACTS F, G, H AND I, EAGLE RANCH, BERNALILLO COUNTY, NEW MEXICO, AUGUST, 1982", filed November 24, 1982, in Volume C20, Folio 102, records of Bernalillo County, New Mexico.
- Title Report prepared for this property by Commonwealth Land Title Insurance Company and underwritten by LandAmerica Albuquerque Title, Commitment for Title Insurance No. 6212000458, dated February 2, 2006.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

 Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

NO NEW EASEMENTS HAVE BEEN GRANTED BY THIS PLAT


PURPOSE OF PLAT

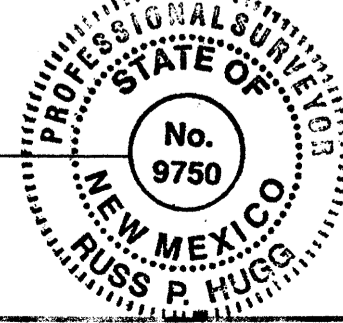
The purpose of this plat is to:

Show the easements vacated by 07DRB-70299

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.


 Russ P. Hugg
 NMPS No. 9750
 November 1, 2007



PLAT OF
 TRACT D-1-B-1-A
ADOBE WELLS SUBDIVISION
 (BEING A REPLAT OF TRACT D-1-B-1, ADOBE WELLS SUBDIVISION)
 WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER, 2007

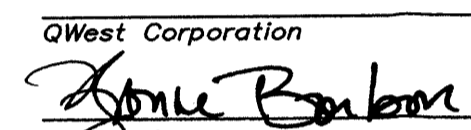
PROJECT NUMBER: 1004820


Application Number: 07DRB-70299

PLAT APPROVAL

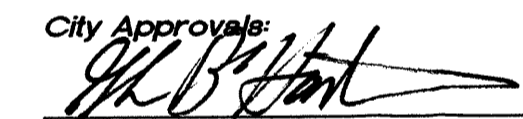
Utility Approvals:

 PNM Gas and Electric Services 11/19/07
 Date

QWest Corporation

 Comcast 11/19/07
 Date

New Mexico Utilities, Inc.

 Date 11-19-07

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals:

 City Surveyor 11-21-07
 Date

Real Property Division _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

Albuquerque Bernalillo County Water Utility Authority _____ Date _____

Parks and Recreation Department _____ Date _____

AMA FCA _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

PLAT OF
TRACT D-1-B-1-A
ADOBE WELLS SUBDIVISION

(BEING A REPLAT OF TRACT D-1-B-1, ADOBE WELLS SUBDIVISION)
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 2007

LEGAL DESCRIPTION

"TRACT D-1-B-1, ADOBE WELLS SUBDIVISION as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on May 22, 2007, in Plat Book 2007C, Page 131.

Said Tract contains 1.7080 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, PLAT OF TRACT D-1-B-1-A, ADOBE WELLS SUBDIVISION (BEING A REPLAT OF TRACT D-1-B-1, ADOBE WELLS SUBDIVISION) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

ACI Management, LLC
a New Mexico limited liability company

BY: [Signature]
Paul Cassidy, Managing Member

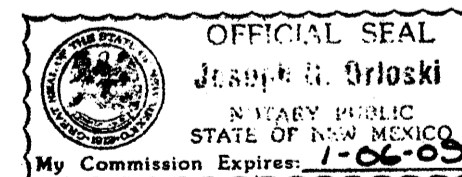
ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 20TH
day of NOVEMBER, 2007, by Paul Cassidy, Managing Member of
ACI Management, LLC

[Signature]
Notary Public

1-06-09
My commission expires



PNM GAS AND ELECTRIC SERVICES EASEMENT RELEASE APPROVAL

PNM Gas and Electric Services does hereby release, waive, quitclaim and discharge its right, title and interest in the easements (granted by prior plat, replat or document) shown to be vacated by this plat.

PNM GAS AND ELECTRIC SERVICES

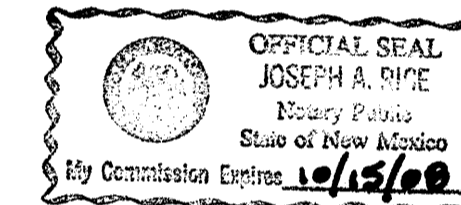
By: [Signature]

STATE OF NEW MEXICO
BERNALILLO COUNTY SS

The foregoing instrument was acknowledged before me this 19th day
of NOVEMBER, 2007, by FERNANDO VIGIL
of PNM Electric Services, a New Mexico Corporation, on behalf of
said corporation.

[Signature]
Notary Public

October 15, 2008
My commission expires



COMCAST EASEMENT RELEASE APPROVAL

Comcast does hereby release, waive, quitclaim and discharge its right, title and interest in the easements (granted by prior plat, replat or document) shown to be vacated by this plat.

COMCAST

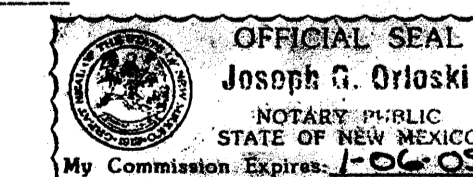
By: [Signature]

STATE OF NEW MEXICO
BERNALILLO COUNTY SS

The foregoing instrument was acknowledged before me this 20th day
of NOVEMBER, 2007, by YVONNE BORDON

[Signature]
Notary Public

1-06-09
My commission expires



SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision"



SHEET 2 OF 3

SURVOTEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

PLAT OF
TRACT D-1-B-1-A
ADOBE WELLS SUBDIVISION

(BEING A REPLAT OF TRACT D-1-B-1, ADOBE WELLS SUBDIVISION)

WITHIN
THE TOWN OF ALAMEDA GRANT
IN

PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2007

Albuquerque Control Survey Monument
"NM-448-N10"
New Mexico State Plane Coordinates, Central
Zone (NAD 27) as published:
Y = 1,524,161.52
X = 377,788.84
Z = 5045.51 (SLD 29)
Delta Alpha = -00° 14' 09"
Combined factor = 0.99967583

- (A) 20' Private Sanitary Sewer Easement for the benefit of Tracts D-1-B-1 and D-1-B-2 granted to the respective owner(s) of said Tracts by plat filed May 22, 2007 in Plat Book 2007C, Page 131
- (B) 10' Private Drainage Easement granted by plat filed May 22, 2007 in Plat Book 2007C, Page 131 for the benefit of Tract D-1-B-1.



GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

SHEET 3 OF 3

SURVOTEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

IRVING
BOULEVARD
(Variable Width R/W)
N.W.

ROAD
RANCH
EAGLE
N.W.
Existing 86' R/W

TRACT E
ADOBE WELLS SUBDIVISION
Filed October 30, 1987, in Volume C35, Folio 7

TRACT D-1-B-1
ADOBE WELLS SUBDIVISION
Filed May 22, 2007, in Plat Book 2007C, Page 131

TRACT D-1-B-1-A
1.7080 Ac.

TRACT D-1-B-2
ADOBE WELLS SUBDIVISION
Filed May 22, 2007, in Plat Book 2007C, Page 131

TRACT D-1-A
ADOBE WELLS SUBDIVISION
Filed August 2, 1995, in Volume 95C, Folio 285

S 78°44'54" E
302.55'

225.65'

N 04°20'43" W

N 12°21'07" W
11.85'

S 85°32'30" W
85.08'

143.19'

N 04°23'28" W

S 85°35'08" W
134.65'

47.22'

S 04°45'29" E

S 117°5'06" W

267.30'

N 61°10'03" W

1597.40'

Existing 106' R/W

Set 5/8" Rebar and cap stamped "L.S. 9750" (Typical)

Found 5/8" Rebar w/Cap Stamped "L.S. 14788"

10' Public Utility Easement per Plat filed October 30, 1987, in Volume C35, Folio 7

New 10' Public Utility Easement granted by plat filed May 22, 2007 in Plat Book 2007C, Page 131.
VACATED BY 07DRB-70299 and Quitclaim deed filed on November 2, 2007 as Document No. 2007153059

10' PNM & Mountain States Telephone and Telegraph Easement per Document Filed in Bk. D560, Pg. 47 and Plats filed November 24, 1982, in Volume C20, Folio 102; Filed October 30, 1987, in Volume C35, Folio 7; Filed September 4, 1991, in Volume 91C, Folio 188 and August 2, 1995, in Volume 95C, Folio 285.
VACATED BY 07DRB-70299 and Quitclaim Deed filed on November 2, 2007 as Document No. 2007153059

Private Ingress/Egress Easement per Plat filed August 2, 1995, in Volume 95C, Folio 285, & in Document Filed October 3, 1995, in Book 95-24, Page 218.

Set 5/8" Rebar and cap stamped "L.S. 9750" (Typical)

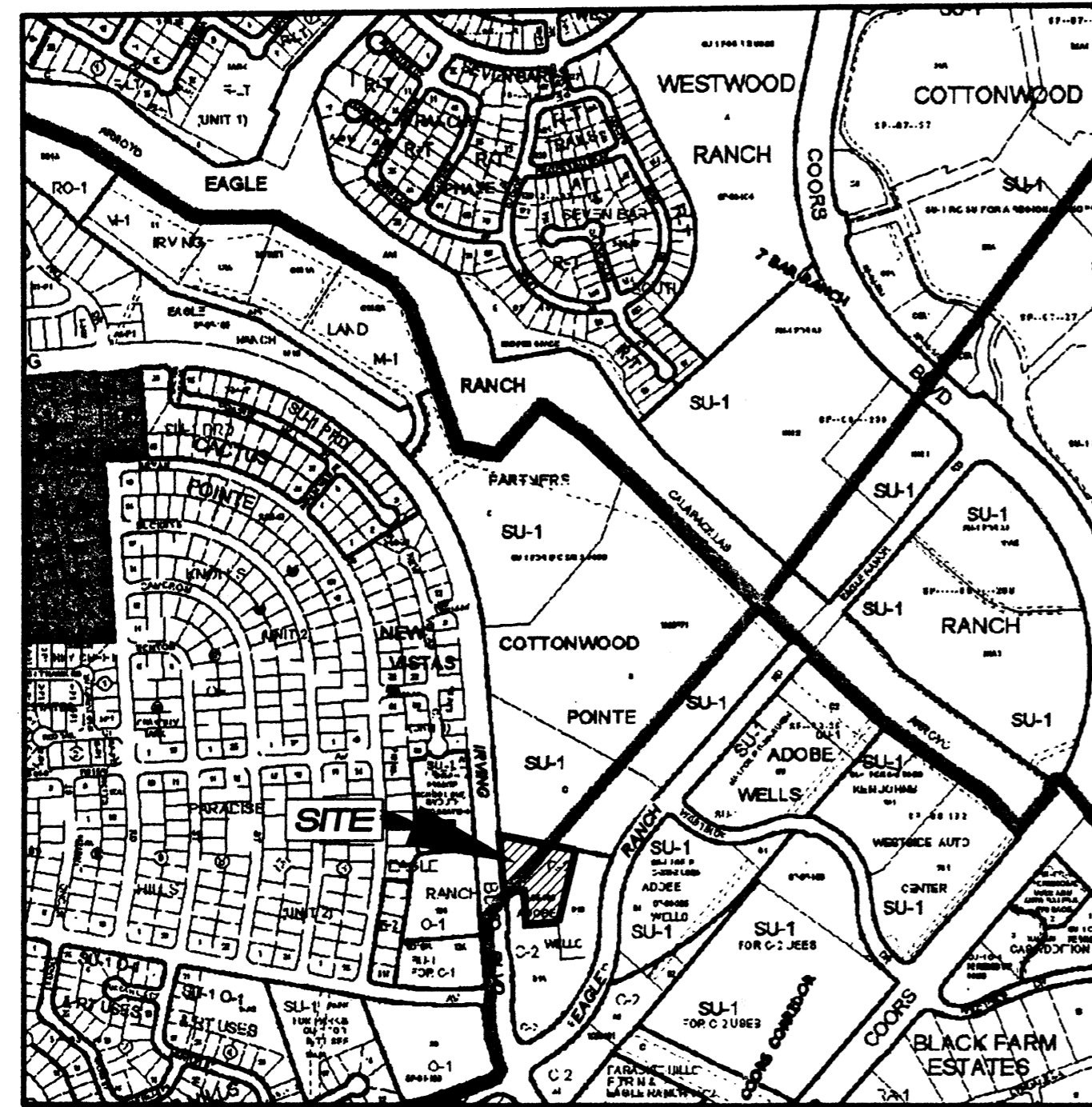
Set 5/8" Rebar and cap stamped "L.S. 9750"

Found 5/8" Rebar w/Cap Stamped "L.S. 11998"

Found 5/8" Rebar w/Cap Stamped "L.S. 11998"

Found 5/8" Rebar w/Cap Stamped "L.S. 11998"

Fd 5/8" Rebar



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD27) originated at the New Mexico State Highway Control Monument "NM448-N10".
- Distances are ground.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the Month of October, 2007.
- U.C.L.S. Log Number 2007450204
- City of Albuquerque Zone Atlas Pages: B-13-Z
- This property is currently zoned "C-2", per the City of Albuquerque Zone Atlas, amended through 9/6/2007.

Documents used in the preparation of this survey are as follows:

- Plat entitled "PLAT OF TRACT D-1, ADOBE WELLS SUBDIVISION, ALBUQUERQUE, NEW MEXICO, JULY, 1991", filed September 4, 1991, in Volume 91C, Folio 188, records of Bernalillo County, New Mexico.
- Plat entitled "PLAT OF TRACT D-1-A AND D-1-B, ADOBE WELLS SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JULY, 1995", filed August 2, 1995, in Volume 95C, Folio 285, records of Bernalillo County, New Mexico.
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- Title Report prepared for this property by Commonwealth Land Title Insurance Company and underwritten by LandAmerica Albuquerque Title, Commitment for Title Insurance No. 6212000458, dated February 2, 2006.

070796.dwg

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:
1013063 30404340442
ACI Management LLC
St. Cy 12/4/07
 Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

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- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
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Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

NO NEW EASEMENTS HAVE BEEN GRANTED BY THIS PLAT

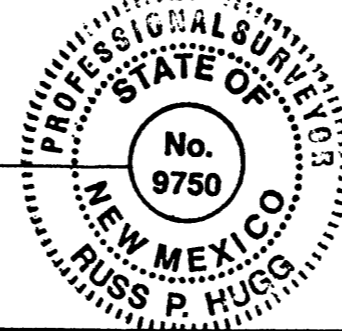
PURPOSE OF PLAT

The purpose of this plat is to:
 Show the easements vacated by 07DRB-70299

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
 Russ P. Hugg
 NMPS No. 9750
 November 1, 2007



PLAT OF
 TRACT D-1-B-1-A
 ADOBE WELLS SUBDIVISION
 (BEING A REPLAT OF TRACT D-1-B-1, ADOBE WELLS SUBDIVISION)
 WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER, 2007

PROJECT NUMBER: 1004820

Application Number: 07DRB-70299

PLAT APPROVAL

Utility Approvals:
[Signature] 11/19/2007
 PNM Gas and Electric Services Date
[Signature] 11/30/07
 QWest Corporation Date
[Signature] 11/19/07
 Comcast Date
 New Mexico Utilities, Inc. 11-19-07
 Date

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals:
[Signature] 11-21-07
 City Surveyor Date

N/A
 Real Property Division Date

[Signature] 12/5/07
 Traffic Engineering, Transportation Division Date

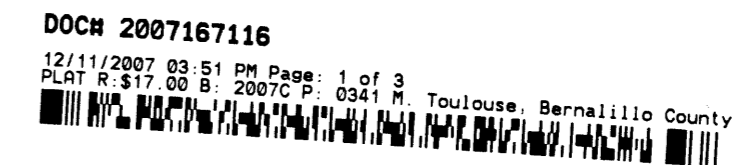
N/A
 Albuquerque Bernalillo County Water Utility Authority Date

[Signature] 12-5-07
 Parks and Recreation Department Date

[Signature] 12/5/07
 AMAFCA Date

[Signature] 12/5/07
 City Engineer Date

[Signature] 12/11/07
 DRB Chairperson, Planning Department Date



PLAT OF
TRACT D-1-B-1-A
ADOBE WELLS SUBDIVISION
(BEING A REPLAT OF TRACT D-1-B-1, ADOBE WELLS SUBDIVISION)
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 2007

LEGAL DESCRIPTION

"TRACT D-1-B-1, ADOBE WELLS SUBDIVISION as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on May 22, 2007, in Plat Book 2007C, Page 131.

Said Tract contains 1.7080 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, PLAT OF TRACT D-1-B-1-A, ADOBE WELLS SUBDIVISION (BEING A REPLAT OF TRACT D-1-B-1, ADOBE WELLS SUBDIVISION) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

ACI Management, LLC
a New Mexico limited liability company

BY: [Signature]
Paul Cassidy, Managing Member

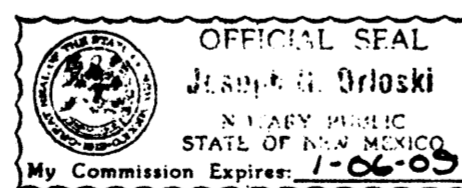
ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 20TH day of NOVEMBER, 2007, by Paul Cassidy, Managing Member of ACI Management, LLC

[Signature]
Notary Public

1-06-09
My commission expires



SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision"

PNM GAS AND ELECTRIC SERVICES EASEMENT RELEASE APPROVAL

PNM Gas and Electric Services does hereby release, waive, quitclaim and discharge its right, title and interest in the easements (granted by prior plat, replat or document) shown to be vacated by this plat.

PNM GAS AND ELECTRIC SERVICES

By: [Signature]

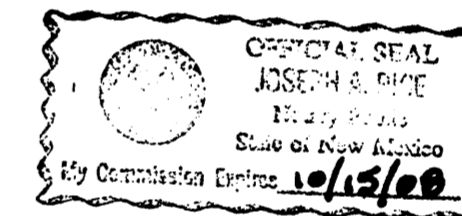
STATE OF NEW MEXICO
BERNALILLO COUNTY SS

The foregoing instrument was acknowledged before me this 19th day of NOVEMBER, 2007, by Fernando Vigil

of PNM Electric Services, a New Mexico Corporation, on behalf of said corporation.

[Signature]
Notary Public

October 15, 2008
My commission expires



COMCAST EASEMENT RELEASE APPROVAL

Comcast does hereby release, waive, quitclaim and discharge its right, title and interest in the easements (granted by prior plat, replat or document) shown to be vacated by this plat.

COMCAST

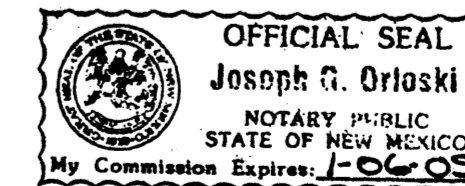
By: [Signature]

STATE OF NEW MEXICO
BERNALILLO COUNTY SS

The foregoing instrument was acknowledged before me this 20TH day of NOVEMBER, 2007, by YVONNE GORDON

[Signature]
Notary Public

1-06-09
My commission expires



DOCH 2007167116
12/11/2007 03:51 PM Page: 2 of 3
PLAT R-\$17.00 B: 2007C P: 0341 M: Toulouse, Bernalillo County

SHEET 2 OF 3



SURVOTEK, INC.

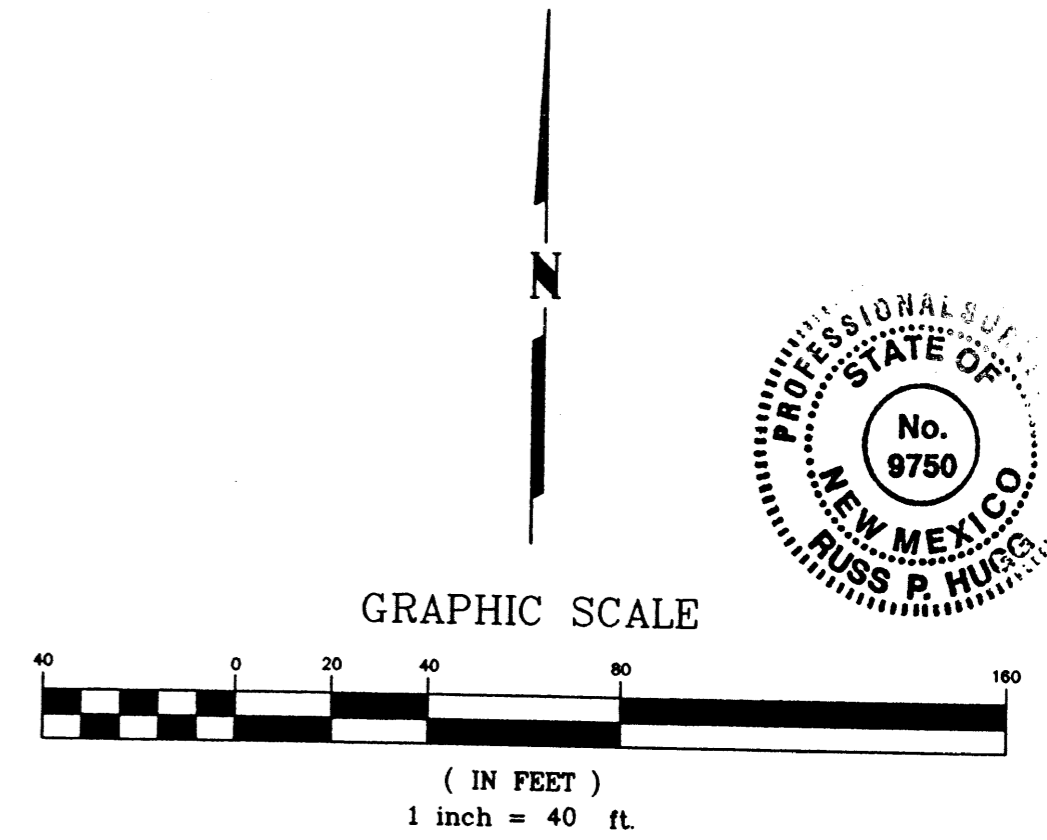
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

PLAT OF
TRACT D-1-B-1-A
ADOBE WELLS SUBDIVISION
(BEING A REPLAT OF TRACT D-1-B-1, ADOBE WELLS SUBDIVISION)
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 2007

Albuquerque Control Survey Monument
"NM-448-N10"
New Mexico State Plane Coordinates, Central
Zone (NAD 27) as published:
Y = 1,524,161.52
X = 377,788.84
Z = 5045.51 (SLD 29)
Delta Alpha = -00° 14' 09"
Combined factor = 0.99987583

- (A) 20' Private Sanitary Sewer Easement for the benefit of Tracts D-1-B-1 and D-1-B-2 granted to the respective owner(s) of said Tracts by plat filed May 22, 2007 in Plat Book 2007C, Page 131
- (B) 10' Private Drainage Easement granted by plat filed May 22, 2007 in Plat Book 2007C, Page 131 for the benefit of Tract D-1-B-1.

DOCM 2007167116
12/11/2007 03:51 PM Page: 3 of 3
PLAT R \$17.00 B: 2007C P: 0341 M. Toulouse, Bernalillo County



PROFESSIONAL SURVEYOR
STATE OF
No.
9750
NEW MEXICO
RUSS P. HURG

TRACT E
ADOBE WELLS SUBDIVISION
Filed October 30, 1987, in Volume C35, Folio 7

TRACT D-1-B-1
ADOBE WELLS SUBDIVISION
Filed May 22, 2007, in Plat Book 2007C, Page 131

TRACT D-1-B-1-A
1.7080 Ac.

TRACT D-1-B-2
ADOBE WELLS SUBDIVISION
Filed May 22, 2007, in Plat Book 2007C, Page 131

TRACT D-1-A
ADOBE WELLS SUBDIVISION
Filed August 2, 1995, in Volume 95C, Folio 285

IRVING
BOULEVARD
NW.
(Variable width R/W)
Existing 106' R/W

RANCH
ROAD
NW.
N61°10'03"W
1597.40'

Existing 86' R/W

EAGLE

New 10' Public Utility Easement
granted by plat filed May 22,
2007 in Plat Book 2007C,
Page 131.
VACATED BY 07DRB-70299
and Quitclaim deed filed on
November 2, 2007 as
Document No. 2007153059

10' PNM & Mountain States Telephone and
Telegraph Easement per Document filed in
Bk. D560, Pg. 47 and Plats filed November
24, 1992, in Volume C20, Folio 102, Filed
October 30, 1987, in Volume C35, Folio 7,
Filed September 4, 1991, in Volume 91C,
Folio 188 and August 2, 1995, in Volume
95C, Folio 285.
VACATED BY 07DRB-70299
and Quitclaim Deed filed on November 2,
2007 as Document No. 2007153059

Private Ingress/Egress Easement per
Plat filed August 2, 1995, in Volume
95C, Folio 285, & in Document Filed
October 3, 1995, in Book 95-24,
Page 218

Set 5/8" Rebar and cap
stamped "L.S. 9750"
(Typical)

Found 5/8" Rebar
w/Cap Stamped
"L.S. 14788"

Set 5/8" Rebar and cap
stamped "L.S. 9750"
(Typical)

Set 5/8" Rebar and cap
stamped "L.S. 9750"

Found 5/8" Rebar
w/Cap Stamped
"L.S. 11998"

Found 5/8" Rebar
w/Cap Stamped
"L.S. 11998"

Found 5/8" Rebar
w/Cap Stamped
"L.S. 11998"

Fd 5/8" Rebar

Fd 5/8" Rebar

Fd 5/8" Rebar

Fd 5/8" Rebar

N12°21'07"W
11.85'

S85°32'30"W 85.08'

N 04°23'28" W 143.19'

S 85°35'08" W 134.65'

S 117°06" W

47.22'

S 04°45'29"E

47.22'

S 04°45'29"E

47.22'

261.30'

S 117°06" W

47.22'

225.65'

N 04°20'43"W

302.55'

S 78°44'54" E

PLAT OF
TRACT D-1-B-2-A
ADOBE WELLS SUBDIVISION
(BEING A REPLAT OF TRACT D-1-B-2, ADOBE WELLS SUBDIVISION)
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2008


PROJECT NUMBER: _____
Application Number: _____

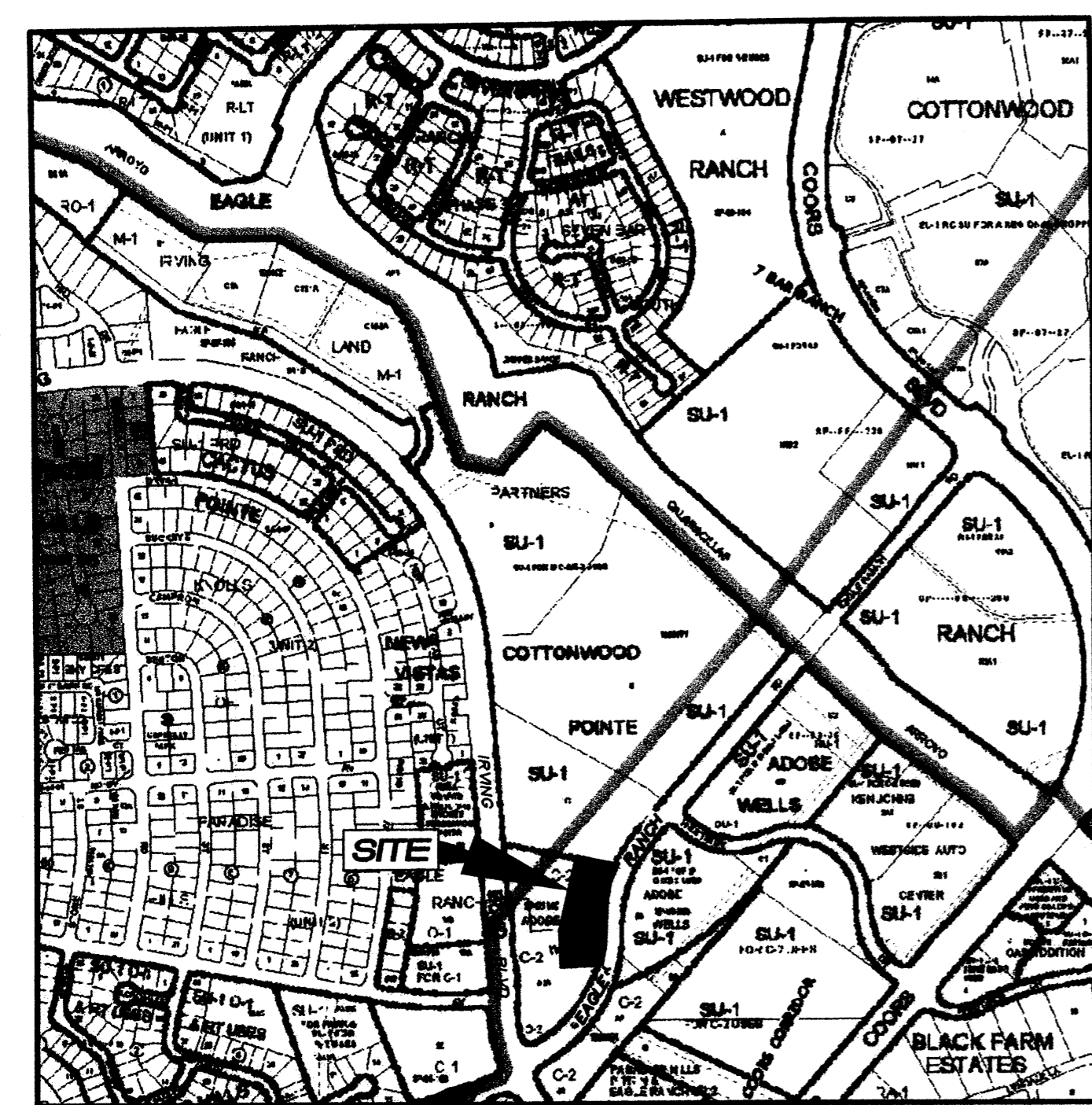
PLAT APPROVAL

Utility Approvals:

PNM Gas Services	_____	Date	_____
PNM Electric Services	_____	Date	_____
QWest Corporation	_____	Date	_____
Comcast	_____	Date	_____
New Mexico Utilities	_____	Date	_____

City Approvals:

	_____	Date	3-28-08
City Surveyor	_____	Date	_____
Real Property Division	_____	Date	_____
Traffic Engineering, Transportation Division	_____	Date	_____
Albuquerque Bernalillo County Water Utility Authority	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
AMAFCA	_____	Date	_____
City Engineer	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD83) originated at the New Mexico State Highway Control Monument "NM448-N10".
- Distances are ground.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the Month of March, 2008.
- U.C.L.S. Log Number 200811256
- City of Albuquerque Zone Atlas Pages: B-13-Z

Documents used in the preparation of this survey are as follows:

- Plat entitled "PLAT OF TRACT D-1, ADOBE WELLS SUBDIVISION, ALBUQUERQUE, NEW MEXICO, JULY, 1991", filed September 4, 1991, in Volume 91C, Folio 188, records of Bernalillo County, New Mexico.
- Plat entitled "PLAT OF TRACT D-1-A AND D-1-B, ADOBE WELLS SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JULY, 1995", filed August 2, 1995, in Volume 95C, Folio 285, records of Bernalillo County, New Mexico.
- Plat entitled "PLAT OF TRACT D-1-B-1 AND D-1-B-2, ADOBE WELLS SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed May 22, 2007 in Plat Book 2007C, page 131.
- Plat entitled "PLAT OF TRACT D-1-B-1-A, ADOBE WELLS SUBDIVISION, ALBUQUERQUE, NEW MEXICO", filed December 11, 2007 in Plat Book 2007C, page 341.
- Plat entitled "SUBDIVISION PLAT MAP FOR ADOBE WELLS SUBDIVISION ALBUQUERQUE, NEW MEXICO, FEBRUARY, 1986", filed October 30, 1987, in Volume C35, Folio 7, records of Bernalillo County, New Mexico.
- Plat entitled "REPLAT OF PORTION OF TRACTS 2 AND 3, EAGLE RANCH TO TRACTS F, G, H AND I, EAGLE RANCH, BERNALILLO COUNTY, NEW MEXICO, AUGUST, 1982", filed November 24, 1982, in Volume C20, Folio 102, records of Bernalillo County, New Mexico.
- Title Report prepared for this property by Commonwealth Land Title Insurance Company and underwritten by LandAmerica Albuquerque Title, Commitment for Title Insurance No. 6212000458, dated February 2, 2006.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer _____ Date _____

PUBLIC UTILITY EASEMENTS

- PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:
- PNM Electric Services for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
 - PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
 - QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
 - Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
 - New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

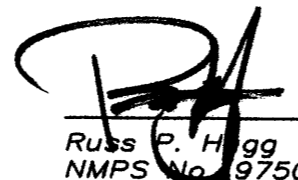
NO NEW EASEMENTS HAVE BEEN GRANTED BY THIS PLAT

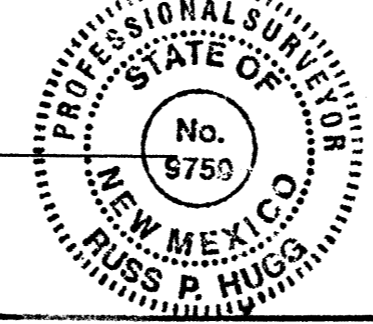
PURPOSE OF PLAT

The purpose of this plat is to:
Show the Private sanitary sewer easement vacated by 08DRB-_____

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.


Russ P. Hugg
NMPSS No. 9750
March 12, 2008



SURVOTEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3388 Fax: 505-897-3377

PLAT OF
TRACT D-1-B-2-A
ADOBE WELLS SUBDIVISION
 (BEING A REPLAT OF TRACT D-1-B-2, ADOBE WELLS SUBDIVISION)
 WITHIN
THE TOWN OF ALAMEDA GRANT
 IN
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 MARCH , 2008

LEGAL DESCRIPTION

TRACT D-1-B-2, ADOBE WELLS SUBDIVISION as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on May 22, 2007, in Plat Book 2007C, Page 131.

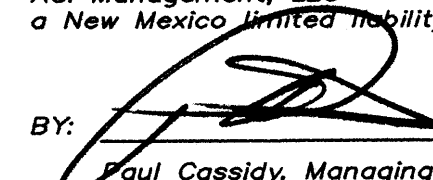
Said Tract contains 1.7393 acres, more or less.

FREE CONSENT

SURVEYED and REPLATTED and now comprising, PLAT OF TRACT D-1-B-2-A, ADOBE WELLS SUBDIVISION (BEING A REPLAT OF TRACT D-1-B-2, ADOBE WELLS SUBDIVISION) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)


ACI Management, LLC
 a New Mexico limited liability company

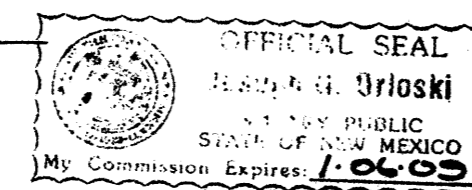
BY: 
 Paul Cassidy, Managing Member

ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

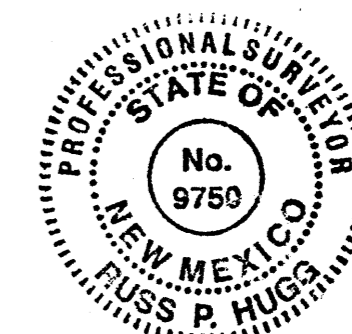
The foregoing instrument was acknowledged before me this 27TH
 day of MARCH, 2008, by Paul Cassidy, Managing Member of
 ACI Management, LLC


 Notary Public
1-06-09
 My commission expires



SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

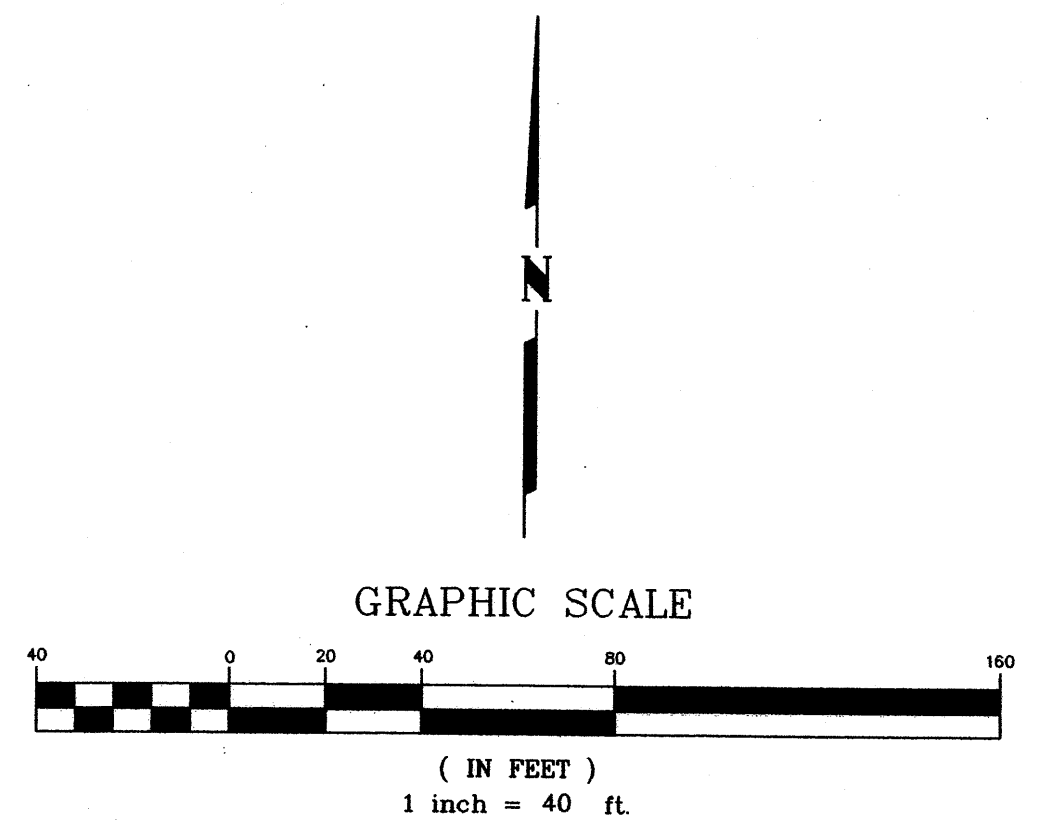


PLAT OF
TRACT D-1-B-2-A
ADOBE WELLS SUBDIVISION

(BEING A REPLAT OF TRACT D-1-B-2, ADOBE WELLS SUBDIVISION)
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2008

Albuquerque Control Survey Monument
"NM-448-N10"
New Mexico State Plane Coordinates, Central
Zone (NAD 83) as published:
N = 1,524,223.963
E = 1,518,034.682
Elevation = 5048.205 (NAVD 88)
Delta Alpha = -00'14.09.76
Combined factor = 0.999679581

- (A) 20' Private Sanitary Sewer Easement for the benefit of Tracts D-1-B-1 and D-1-B-2 granted to the respective owner(s) of said Tracts by plat filed May 22, 2007 in Plat Book 2007C, Page 131 (Cross Hatched Area) VACATED BY O&DRB-
- (B) 10' Private Drainage Easement granted by plat filed May 22, 2007 in Plat Book 2007C, Page 131 for the benefit of Tract D-1-B-1.



TRACT E
ADOBE WELLS SUBDIVISION
Filed October 30, 1987, in Volume C35, Folio 7

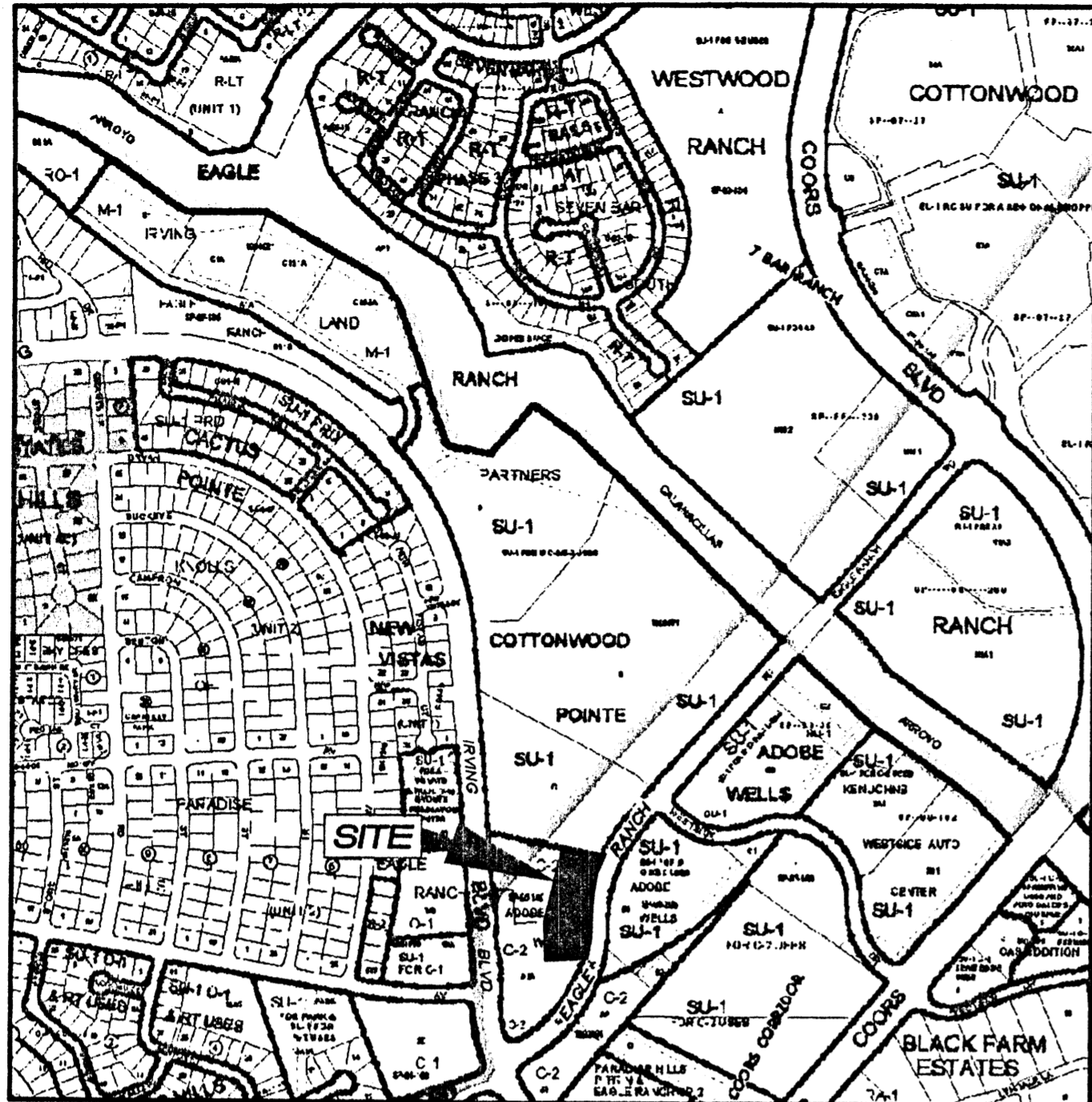
TRACT D-1-B-1-A
ADOBE WELLS SUBDIVISION
Filed December 11, 2007, in Plat Book 2007C, Page 341

TRACT D-1-B-2
ADOBE WELLS SUBDIVISION
Filed May 22, 2007, in Plat Book 2007C, Page 131

TRACT D-1-B-2-A
1.7393 Ac.

TRACT D-1-A
ADOBE WELLS SUBDIVISION
Filed August 2, 1995, in Volume 95C, Folio 285

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	284.89'	628.05'	144.94'	282.45'	S11°19'02"W	25°59'23"
C2	138.10'	544.79'	69.42'	137.73'	S05°37'24"W	14°31'26"



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD83) originated at the New Mexico State Highway Control Monument "NM448-N10".
2. Distances are ground.
3. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
4. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
5. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. Field surveys were performed during the Month of March, 2008.
7. U.C.L.S. Log Number 200811256
8. City of Albuquerque Zone Atlas Pages: B-13-Z

Documents used in the preparation of this survey are as follows:

1. Plat entitled "PLAT OF TRACT D-1, ADOBE WELLS SUBDIVISION, ALBUQUERQUE, NEW MEXICO, JULY, 1991", filed September 4, 1991, in Volume 91C, Folio 188, records of Bernalillo County, New Mexico.
2. Plat entitled "PLAT OF TRACT D-1-A AND D-1-B, ADOBE WELLS SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JULY, 1995", filed August 2, 1995, in Volume 95C, Folio 285, records of Bernalillo County, New Mexico.
3. Plat entitled "PLAT OF TRACT D-1-B-1 AND D-1-B-2, ADOBE WELLS SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed May 22, 2007 in Plat Book 2007C, page 131.
4. Plat entitled "PLAT OF TRACT D-1-B-1-A, ADOBE WELLS SUBDIVISION, ALBUQUERQUE, NEW MEXICO", filed December 11, 2007 in Plat Book 2007C, page 341.
5. Plat entitled "SUBDIVISION PLAT MAP FOR ADOBE WELLS SUBDIVISION ALBUQUERQUE, NEW MEXICO, FEBRUARY, 1986", filed October 30, 1987, in Volume C35, Folio 7, records of Bernalillo County, New Mexico.
6. Plat entitled "REPLAT OF PORTION OF TRACTS 2 AND 3, EAGLE RANCH TO TRACTS F, G, H AND I, EAGLE RANCH, BERNALILLO COUNTY, NEW MEXICO, AUGUST, 1982", filed November 24, 1982, in Volume C20, Folio 102, records of Bernalillo County, New Mexico.
7. Title Report prepared for this property by Commonwealth Land Title Insurance Company and underwritten by LandAmerica Albuquerque Title, Commitment for Title Insurance No. 6212000458, dated February 2, 2006.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid

on the following:
1004820 Adobe Wells Subdivision
AD Management, LLC

 Bernalillo County Treasurer Date 3/6/08

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
2. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
4. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
5. New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

NO NEW EASEMENTS HAVE BEEN GRANTED BY THIS PLAT

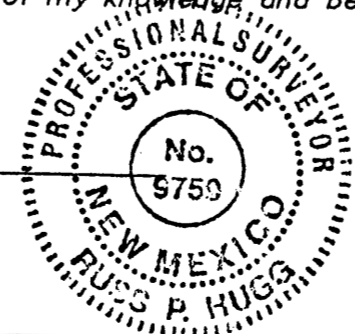
PURPOSE OF PLAT

The purpose of this plat is to:
 Show the Public sanitary sewer easement vacated by 08DRB-

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
 Russ P. Hugg
 NMPS No. 9750
 March 12, 2008



PLAT OF
 TRACT D-1-B-2-A
ADOBE WELLS SUBDIVISION
 (BEING A REPLAT OF TRACT D-1-B-2, ADOBE WELLS SUBDIVISION)
 WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2008

PROJECT NUMBER: 1004820

Application Number: OB DRB-70157

PLAT APPROVAL

Utility Approvals:

<u>[Signature]</u> PNM Gas Services	<u>4-9-2008</u> Date
<u>[Signature]</u> PNM Electric Services	<u>4-9-2008</u> Date
<u>[Signature]</u> QWest Corporation	<u>4/9/08</u> Date
<u>[Signature]</u> Comcast	<u>4-8-08</u> Date
<u>[Signature]</u> New Mexico Utilities	<u>4/4/08</u> Date

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals:

<u>[Signature]</u> City Surveyor	<u>3-28-08</u> Date
<u>N/A</u> Real Property Division	_____ Date
<u>[Signature]</u> Traffic Engineering, Transportation Division	<u>5/7/08</u> Date
<u>[Signature]</u> Albuquerque Bernalillo County Water Utility Authority	<u>5-07-08</u> Date
<u>[Signature]</u> Parks and Recreation Department	<u>5/7/08</u> Date
<u>[Signature]</u> AMAFA	<u>5/7/08</u> Date
<u>[Signature]</u> City Engineer	<u>5/7/08</u> Date
<u>[Signature]</u> DRB Chairperson, Planning Department	<u>5/5/08</u> Date

DOCH 2008064115
 06/06/2008 09:14 AM Page: 1 of 3
 CityPLAT R \$17.00 B: 2008C P: 0123 M: Toulous Olivere, Bernalillo Cou

PLAT OF
TRACT D-1-B-2-A
ADOBE WELLS SUBDIVISION
(BEING A REPLAT OF TRACT D-1-B-2, ADOBE WELLS SUBDIVISION)
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH , 2008

LEGAL DESCRIPTION

TRACT D-1-B-2, ADOBE WELLS SUBDIVISION as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on May 22, 2007, in Plat Book 2007C, Page 131.

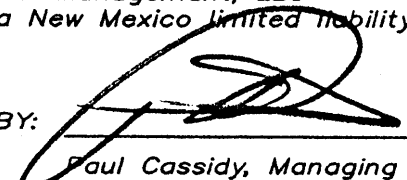
Said Tract contains 1.7393 acres, more or less.

FREE CONSENT

SURVEYED and REPLATTED and now comprising, PLAT OF TRACT D-1-B-2-A, ADOBE WELLS SUBDIVISION (BEING A REPLAT OF TRACT D-1-B-2, ADOBE WELLS SUBDIVISION) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

ACI Management, LLC
a New Mexico limited liability company

BY: 
Paul Cassidy, Managing Member


SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

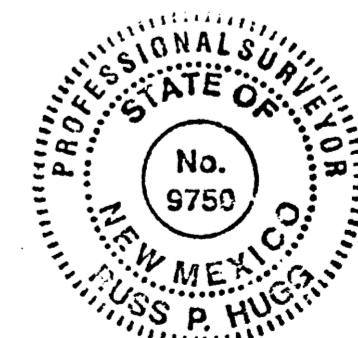
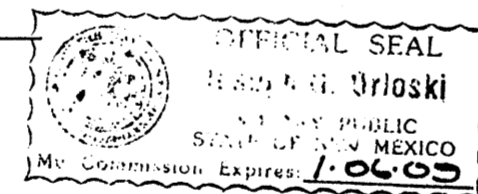
"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 27TH
day of MARCH, 2008, by Paul Cassidy, Managing Member of
ACI Management, LLC


Notary Public
1-06-09
My commission expires



SHEET 2 OF 3

DOCN 2008064115
06/06/2008 09:14 AM Page: 2 of 3
PLAT R 517 00 B 2008C P 0123 M Toulous Olivere, Bernalillo Cou

SURV+TEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

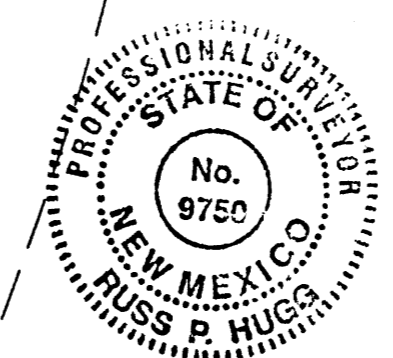
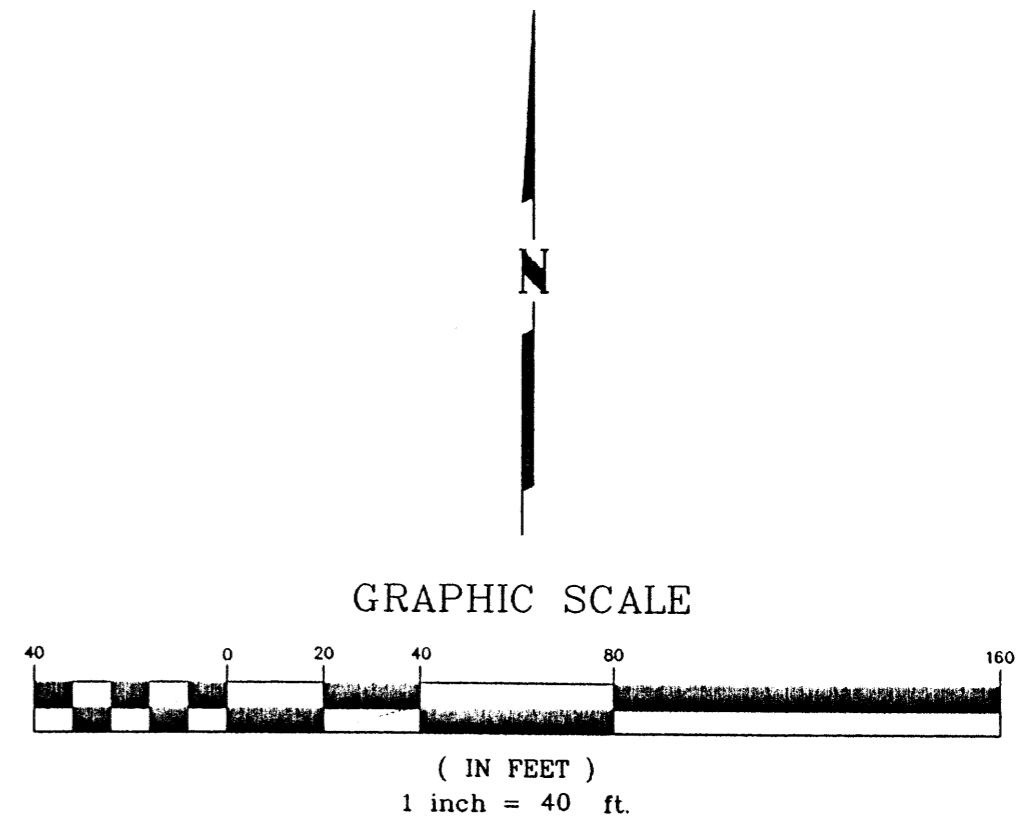
PLAT OF
TRACT D-1-B-2-A
ADOBE WELLS SUBDIVISION

(BEING A REPLAT OF TRACT D-1-B-2, ADOBE WELLS SUBDIVISION)
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NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

MARCH, 2008

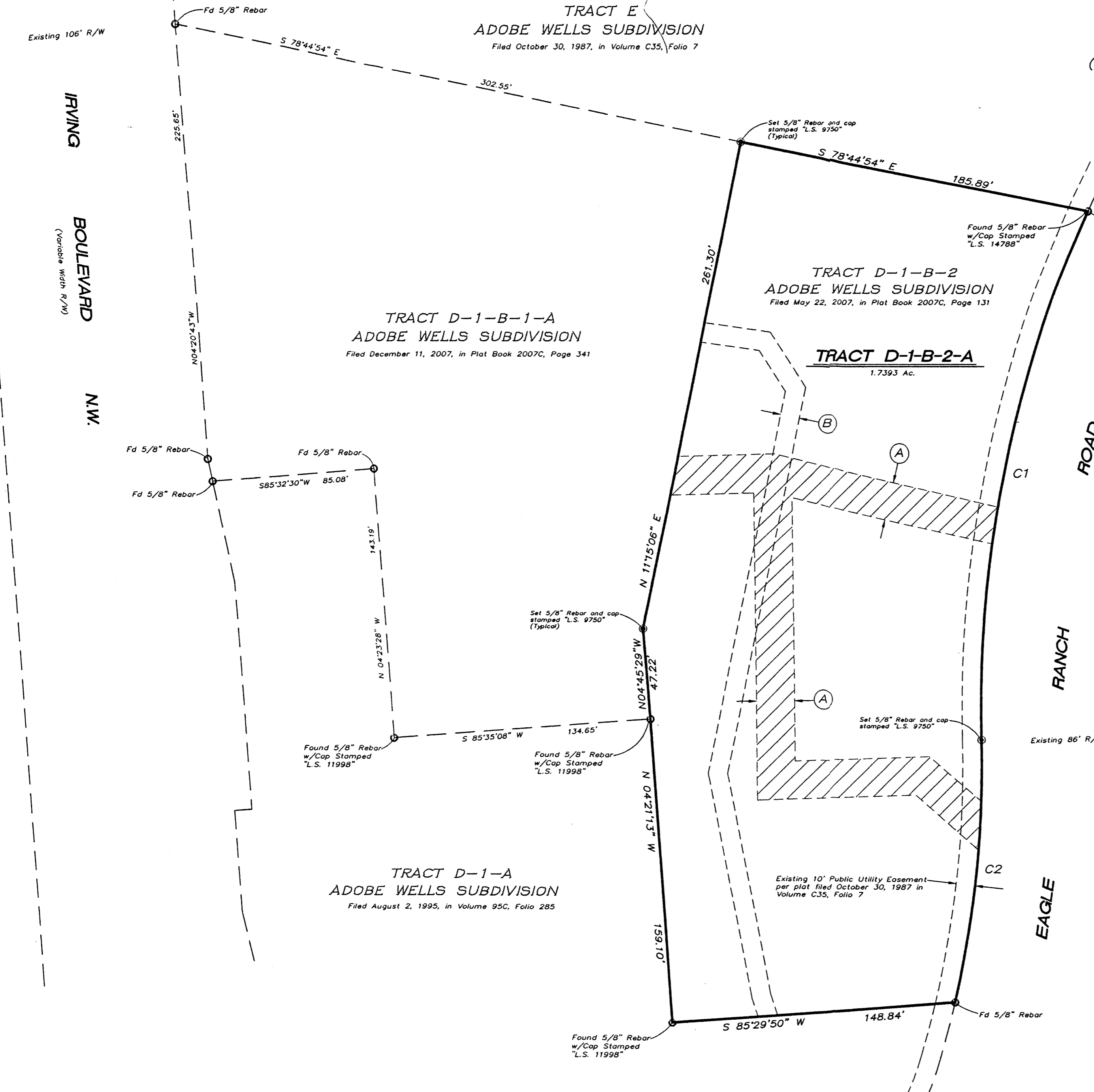
Albuquerque Control Survey Monument
"NM-448-N10"
New Mexico State Plane Coordinates, Central
Zone (NAD 83) as published:
N = 1,524,223.963
E = 1,518,034.682
Elevation = 5048.205 (NAVD 88)
Delta Alpha = -0014'09.76
Combined factor = 0.999679581

- (A) 20' Public Sanitary Sewer Easement for the benefit of Tracts D-1-B-1 and D-1-B-2 granted to the respective owner(s) of said Tracts by plat filed May 22, 2007 in Plat Book 2007C, Page 131 (Cross Hatched Area) VACATED BY 08DRB-----
- (B) 10' Private Drainage Easement granted by plat filed May 22, 2007 in Plat Book 2007C, Page 131 for the benefit of Tract D-1-B-1.



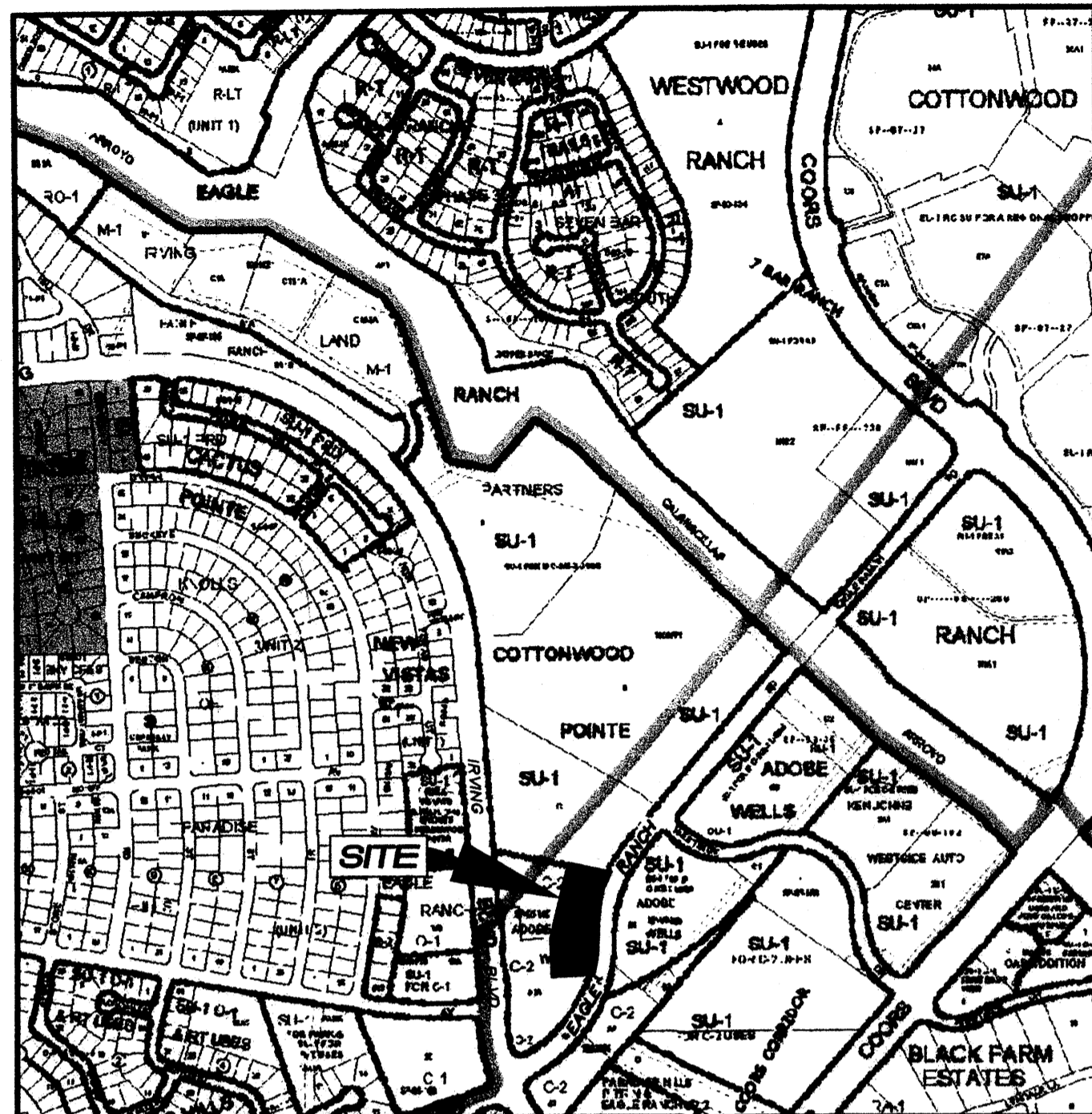
SHEET 3 OF 3

SURV+TEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377



CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	284.89'	628.05'	144.94'	282.45'	S11°19'02"W	25°59'23"
C2	138.10'	544.79'	69.42'	137.73'	S05°37'24"W	14°31'26"

DOCH 2008064115
06/05/2008 09:14 AM Page 3 of 3
PLAT R 517 00 B 2008C P 0123 R Toulous Olivere, Bernalillo Co



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD83) originated at the New Mexico State Highway Control Monument "NM448-N10".
- Distances are ground.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the Month of March, 2008.
- U.C.L.S. Log Number 200811256
- City of Albuquerque Zone Atlas Pages: B-13-Z

Documents used in the preparation of this survey are as follows:

- Plat entitled "PLAT OF TRACT D-1, ADOBE WELLS SUBDIVISION, ALBUQUERQUE, NEW MEXICO, JULY, 1991", filed September 4, 1991, in Volume 91C, Folio 188, records of Bernalillo County, New Mexico.
- Plat entitled "PLAT OF TRACT D-1-A AND D-1-B, ADOBE WELLS SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JULY, 1995", filed August 2, 1995, in Volume 95C, Folio 285, records of Bernalillo County, New Mexico.
- Plat entitled "PLAT OF TRACT D-1-B-1 AND D-1-B-2, ADOBE WELLS SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed May 22, 2007 in Plat Book 2007C, page 131.
- Plat entitled "PLAT OF TRACT D-1-B-1-A, ADOBE WELLS SUBDIVISION, ALBUQUERQUE, NEW MEXICO", filed December 11, 2007 in Plat Book 2007C, page 341.
- Plat entitled "SUBDIVISION PLAT MAP FOR ADOBE WELLS SUBDIVISION ALBUQUERQUE, NEW MEXICO, FEBRUARY, 1986", filed October 30, 1987, in Volume C35, Folio 7, records of Bernalillo County, New Mexico.
- Plat entitled "REPLAT OF PORTION OF TRACTS 2 AND 3, EAGLE RANCH TO TRACTS F, G, H AND I, EAGLE RANCH, BERNALILLO COUNTY, NEW MEXICO, AUGUST, 1982", filed November 24, 1982, in Volume C20, Folio 102, records of Bernalillo County, New Mexico.
- Title Report prepared for this property by Commonwealth Land Title Insurance Company and underwritten by LandAmerica Albuquerque Title, Commitment for Title Insurance No. 6212000458, dated February 2, 2006.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

 Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

NO NEW EASEMENTS HAVE BEEN GRANTED BY THIS PLAT

PURPOSE OF PLAT

The purpose of this plat is to:
 Show the Public sanitary sewer easement vacated by 08DRB-_____

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
 NMPS No. 9750
 March 12, 2008



PLAT OF
 TRACT D-1-B-2-A
 ADOBE WELLS SUBDIVISION

(BEING A REPLAT OF TRACT D-1-B-2, ADOBE WELLS SUBDIVISION)
 WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

MARCH, 2008

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PNM Gas Services _____ Date _____

PNM Electric Services _____ Date _____

QWest Corporation _____ Date _____

Comcast _____ Date 4-8-08

New Mexico Utilities _____ Date _____

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals: _____ Date 3-28-08

City Surveyor _____ Date _____

Real Property Division _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

Albuquerque Bernalillo County Water Utility Authority _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFCA _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

SURVOTEK, INC.
 Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366 Fax: 505-897-3377

PLAT OF
TRACT D-1-B-2-A
ADOBE WELLS SUBDIVISION

(BEING A REPLAT OF TRACT D-1-B-2, ADOBE WELLS SUBDIVISION)

WITHIN

THE TOWN OF ALAMEDA GRANT

IN

PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

MARCH, 2008

LEGAL DESCRIPTION

TRACT D-1-B-2, ADOBE WELLS SUBDIVISION as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on May 22, 2007, in Plat Book 2007C, Page 131.

Said Tract contains 1.7393 acres, more or less.

FREE CONSENT

SURVEYED and REPLATTED and now comprising, PLAT OF TRACT D-1-B-2-A, ADOBE WELLS SUBDIVISION (BEING A REPLAT OF TRACT D-1-B-2, ADOBE WELLS SUBDIVISION) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

ACI Management, LLC
a New Mexico limited liability company

BY:


Paul Cassidy, Managing Member

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

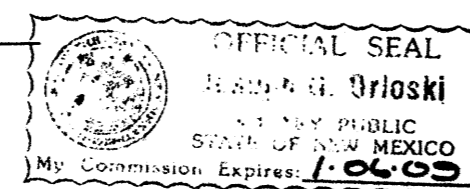
The foregoing instrument was acknowledged before me this 27TH

day of MARCH, 2008, by Paul Cassidy, Managing Member of
ACI Management, LLC


Notary Public

1-06-09

My commission expires



**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE
INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."



SHEET 2 OF 3

SURVOTEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

PLAT OF
TRACT D-1-B-2-A
ADOBE WELLS SUBDIVISION

(BEING A REPLAT OF TRACT D-1-B-2, ADOBE WELLS SUBDIVISION)

WITHIN
THE TOWN OF ALAMEDA GRANT
IN

PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

MARCH, 2008

Albuquerque Control Survey Monument
"NM-448-N10"
New Mexico State Plane Coordinates, Central
Zone (NAD 83) as published:
N = 1,524,223.963
E = 1,518,034.682
Elevation = 5048.205 (NAVD 88)
Delta Alpha = -00°14'09.76"
Combined factor = 0.999679581

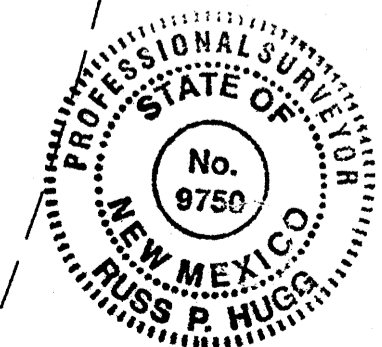
- (A) 20' Public Sanitary Sewer Easement for the benefit of Tracts D-1-B-1 and D-1-B-2 granted to the respective owner(s) of said tracts by plat filed May 22, 2007 in Plat Book 2007C, Page 131 (Cross Hatched Area) VACATED BY 08DRB-
- (B) 10' Private Drainage Easement granted by plat filed May 22, 2007 in Plat Book 2007C, Page 131 for the benefit of Tract D-1-B-1.



GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.



SHEET 3 OF 3

SURVOTEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

TRACT E
ADOBE WELLS SUBDIVISION
Filed October 30, 1987, in Volume C35, Folio 7

TRACT D-1-B-2
ADOBE WELLS SUBDIVISION
Filed May 22, 2007, in Plat Book 2007C, Page 131

TRACT D-1-B-2-A
1.7393 Ac.

TRACT D-1-B-1-A
ADOBE WELLS SUBDIVISION
Filed December 11, 2007, in Plat Book 2007C, Page 341

TRACT D-1-A
ADOBE WELLS SUBDIVISION
Filed August 2, 1995, in Volume 95C, Folio 285

TRACT D-1-A

Existing 106' R/W

IRVING

BOULEVARD
(Variable Width R/W)

N.W.

ROAD

RANCH

EAGLE

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	284.89'	628.05'	144.94'	282.45'	S11°19'02"W	25°59'23"
C2	138.10'	544.79'	69.42'	137.73'	S05°37'24"W	14°31'26"

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:
101601030401340442
ACI MANAGEMENT LLC
 Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PURPOSE OF PLAT

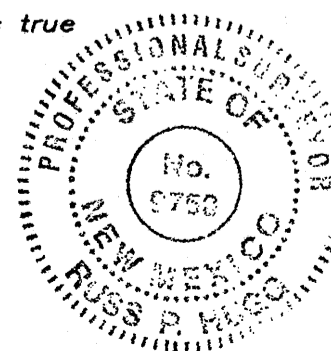
The purpose of this plat is to:

- Divide existing Tract D-1-B into two (2) tracts.
- Grant the New 20' Public Sanitary Sewer Easement for the benefit of Tracts D-1-B-1 and D-1-B-2 as shown hereon.
- Grant the New 10' Public Utility Easement as shown hereon.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
 Russ P. Hugg
 NMPS No. 9750
 November 24, 2006



PLAT OF TRACTS D-1-B-1 AND D-1-B-2 ADOBE WELLS SUBDIVISION

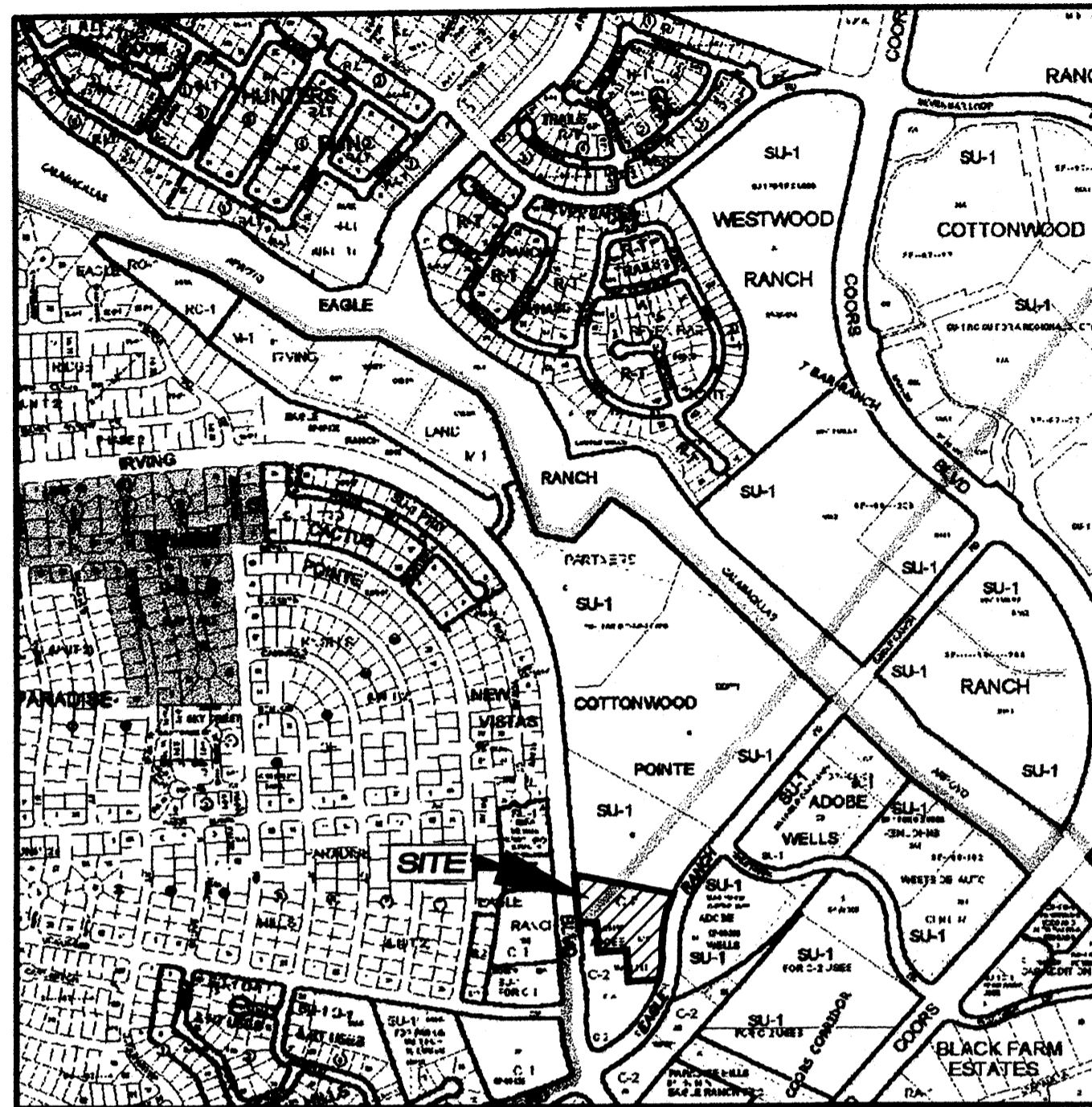
(BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO NOVEMBER, 2006

PROJECT NUMBER: 1004820
 Application Number: 06DRB-01008

PLAT APPROVAL

Utility Approvals:
Leah D. M... 12-14-06
 PNM Gas and Electric Services Date
Deborah... 12/20/06
 QWest Corporation Date
Janie... 12-14-06
 Comcast Date
[Signature] 12-25-06
 New Mexico Utilities Date

City Approvals:
[Signature] 12-14-06
 City Surveyor Date
N/A 5/16/07
 Red Property Division Date
N/A 5/16/07
 M.R.G.C.D. Date
[Signature] 5-16-07
 Traffic Engineering, Transportation Division Date
[Signature] 5/16/07
 Utilities Development Date
Christina... 5/16/07
 Parks and Recreation Department Date
Bradley D. Bingham 5/16/07
 AMAFCA Date
Bradley D. Bingham 5/16/07
 City Engineer Date
[Signature] 5/21/07
 DRB Chairperson, Planning Department Date



VICINITY MAP
 NOT TO SCALE

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD27) originated at the New Mexico State Highway Control Monument "NM448-N10".
- Distances are ground.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the Month of March, 2006.
- U.C.L.S. Log Number 2006271447.
- City of Albuquerque Zone Atlas Pages: B-13-Z
- This property is currently zoned "C-2", per the City of Albuquerque Zone Atlas, dated January 12, 2006.

Documents used in the preparation of this survey are as follows:

- Plat entitled "PLAT OF TRACT D-1, ADOBE WELLS SUBDIVISION, ALBUQUERQUE, NEW MEXICO, JULY, 1991", filed September 4, 1991, in Volume 91C, Folio 188, records of Bernalillo County, New Mexico.
- Plat entitled "PLAT OF TRACT D-1-A AND D-1-B, ADOBE WELLS SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JULY, 1995", filed August 2, 1995, in Volume 95C, Folio 285, records of Bernalillo County, New Mexico.
- Plat entitled "SUBDIVISION PLAT MAP FOR ADOBE WELLS SUBDIVISION ALBUQUERQUE, NEW MEXICO, FEBRUARY, 1986", filed October 30, 1987, in Volume C35, Folio 7, records of Bernalillo County, New Mexico.
- Plat entitled "REPLAT OF PORTION OF TRACTS 2 AND 3, EAGLE RANCH TO TRACTS F, G, H AND I, EAGLE RANCH, BERNALILLO COUNTY, NEW MEXICO, AUGUST, 1982", filed November 24, 1982, in Volume C20, Folio 102, records of Bernalillo County, New Mexico.
- Title Report prepared for this property by Commonwealth Land Title Insurance Company and underwritten by LandAmerica Albuquerque Title, Commitment for Title Insurance No. 6212000458, dated February 2, 2006.

PLAT OF
TRACTS D-1-B-1 AND D-1-B-2
ADOBE WELLS SUBDIVISION
(BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION)
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2006

LEGAL DESCRIPTION

"TRACT D-1-B" of ADOBE WELLS SUBDIVISION as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 2, 1995, in Map Book 95C, folio 285.

Said Tract contains 3.4473 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, PLAT OF TRACTS D-1-B-1 AND D-1-B-2, ADOBE WELLS SUBDIVISION (BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the Public Utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

ACI Management, LLC
a New Mexico limited liability company

BY:


Paul Cassidy, Managing Member

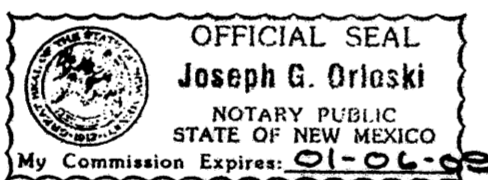
ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 23RD day of June, 2006, by Paul Cassidy, Managing Member of ACI Management, LLC


Notary Public

01-06-09
My commission expires



PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

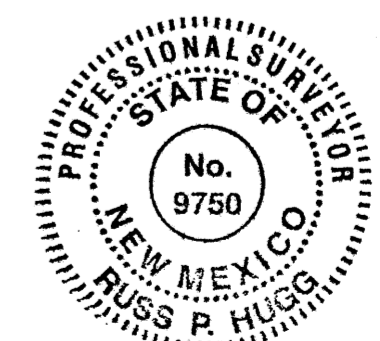
- A. PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- E. New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool, decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.



SHEET 2 OF 3

SURVOTEK, INC.

Consulting Surveyors
9304 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

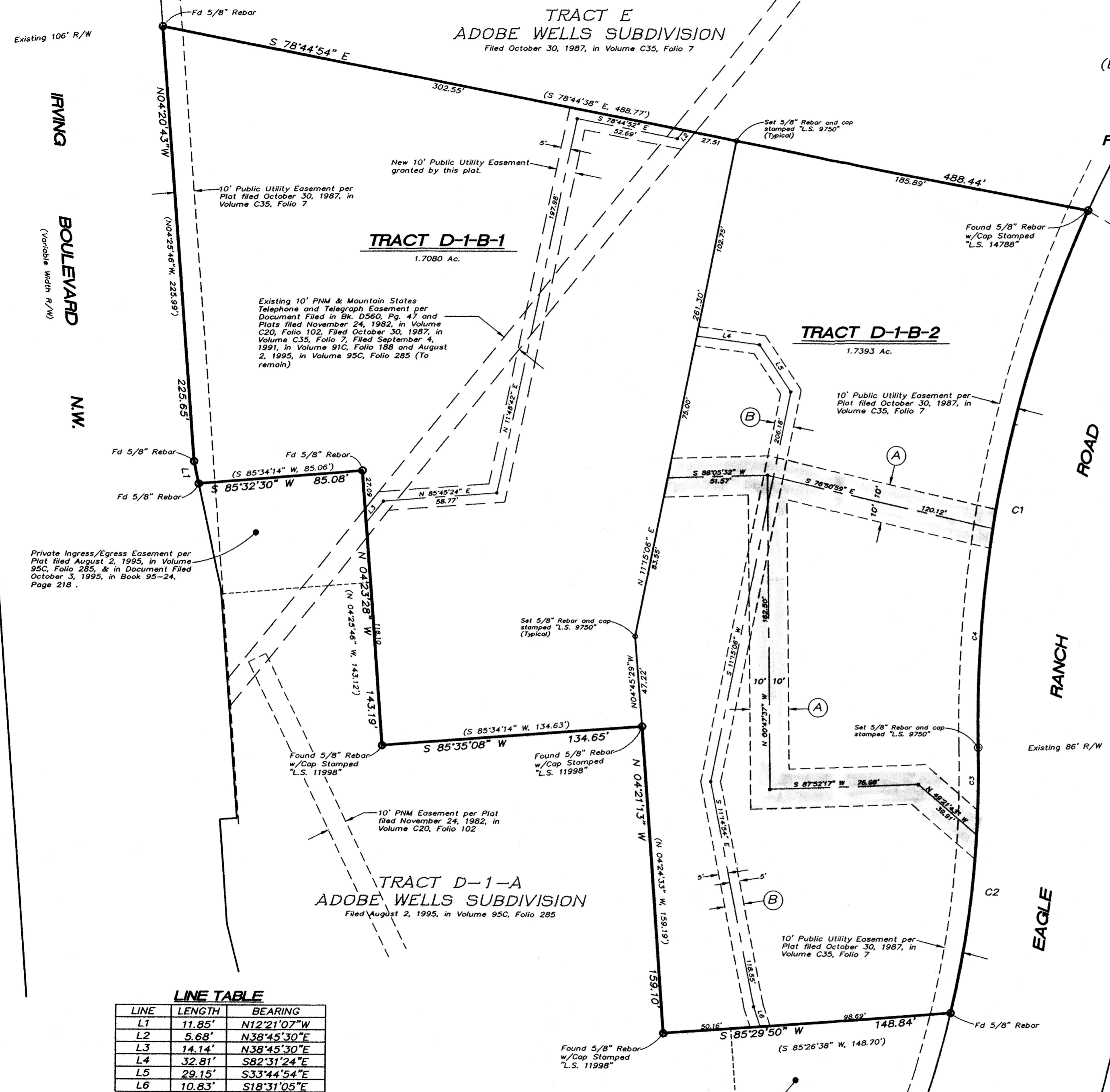
PLAT OF
TRACTS D-1-B-1 AND D-1-B-2
ADOBE WELLS SUBDIVISION

(BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION)

WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN

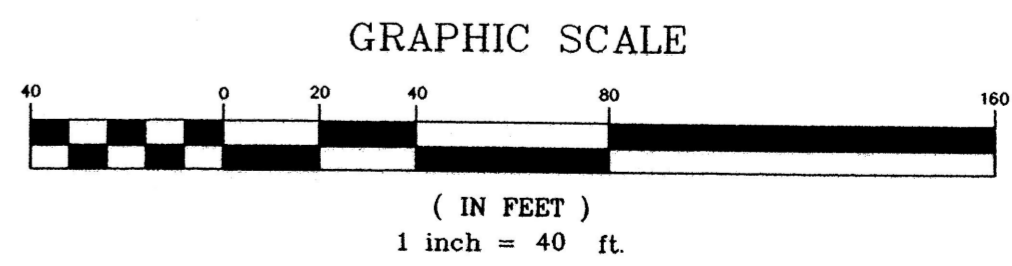
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2006



Albuquerque Control Survey Monument
 "NM-448-N10"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 27) as published:
 Y = 1,524,161.52
 X = 377,788.84
 Z = 5045.51 (SLD 29)
 Delta Alpha = -00° 14' 09"
 Combined factor = 0.99967583

- (A) 20' Public Sanitary Sewer Easement granted to New Mexico Utilities, Inc. by Document filed February 22, 2007 in Book A132, Page 9115. Said easement is hereby granted to the City of Albuquerque by this plat.
- (B) 10' Private Drainage Easement granted by this plat for the benefit of Tract D-1-B-1. Maintenance of said easement to be the responsibility of the owner(s) of the owner(s) of said Tracts D-1-B-1 and D-1-B-2.



LINE TABLE

LINE	LENGTH	BEARING
L1	11.85'	N12°21'07"W
L2	5.68'	N38°45'30"E
L3	14.14'	N38°45'30"E
L4	32.81'	S82°31'24"E
L5	29.15'	S33°44'54"E
L6	10.83'	S18°31'05"E

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	284.89' (284.89')	628.05' (628.05')	144.94' (144.94')	282.45' (282.45')	S11°19'02"W (S11°19'02"W)	25°59'23" (25°59'24")
C2	138.10'	544.79' (544.79')	69.42'	137.73'	N05°37'24"E	14°31'26"
C3	45.02'	544.79'	22.52'	45.01'	N00°43'43"E	4°44'04"
C4	113.65'	628.05'	56.98'	113.50'	S03°30'24"W	10°22'06"



SHEET 3 OF 3
SURVOTEK, INC.
 Consulting Surveyors

VACATION EXHIBIT

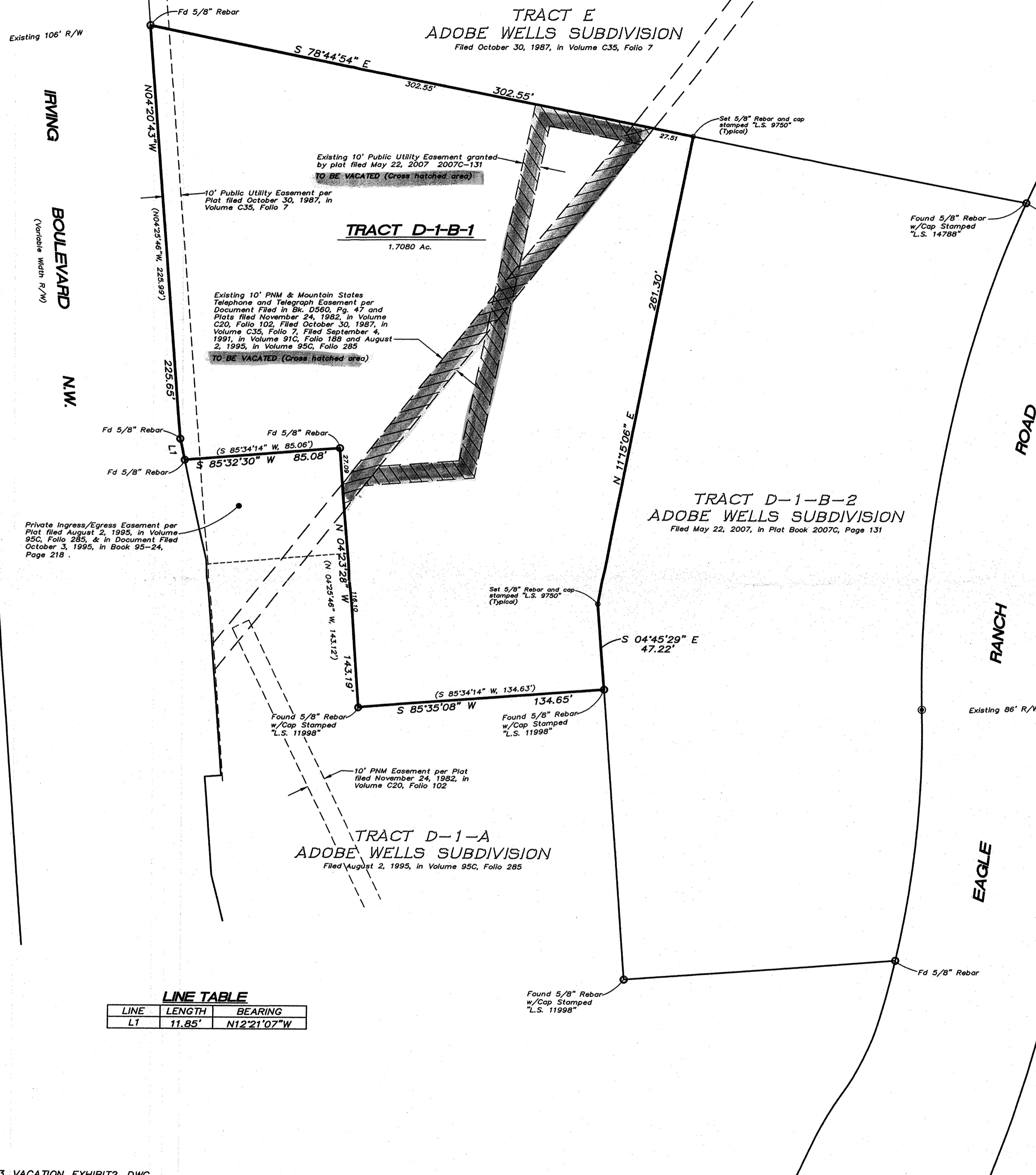
TRACT D-1-B-1
ADOBE WELLS SUBDIVISION

WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2007

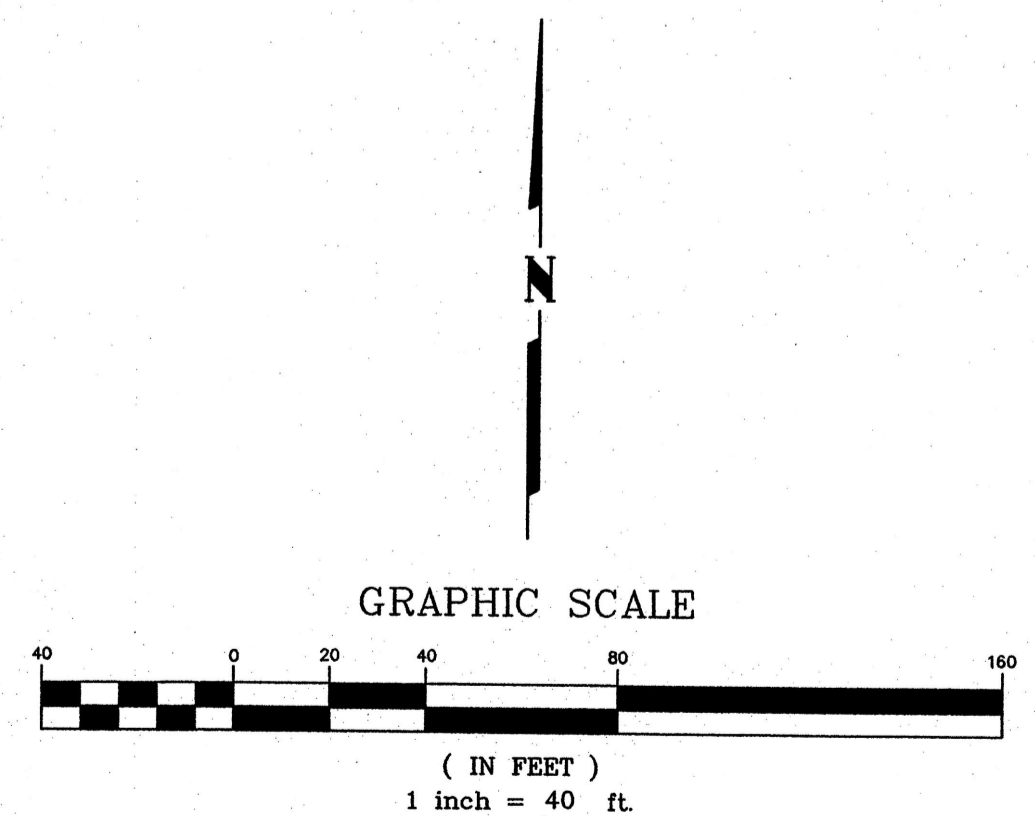
VACATION
EXHIBIT B
Date 10/12/07

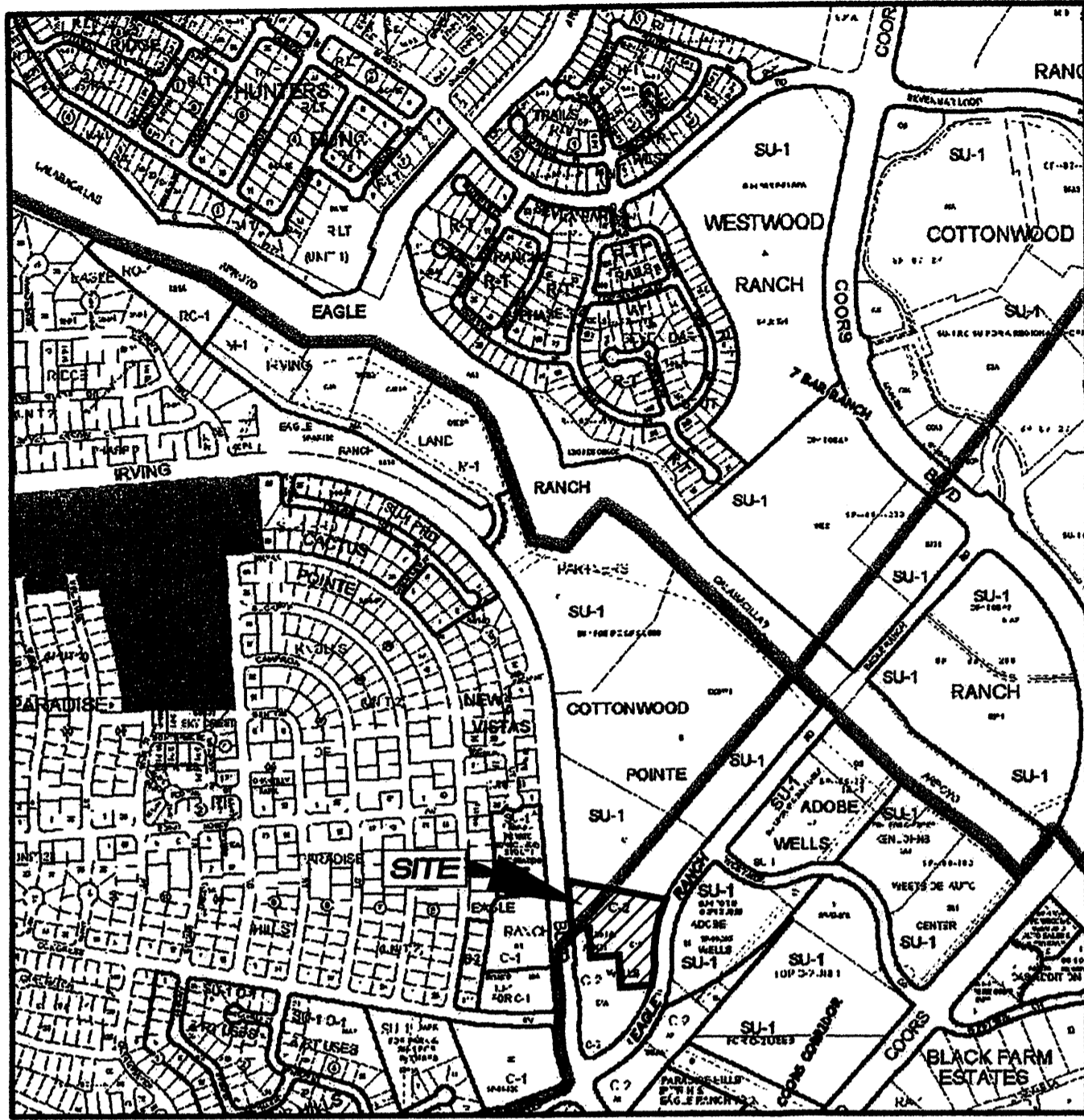
Albuquerque Control Survey Monument
"NM-448-N10"
New Mexico State Plane Coordinates, Central
Zone (NAD 27) as published:
Y = 1,524,161.52
X = 377,788.84
Z = 5045.51 (SLD 29)
Delta Alpha = -00° 14' 09"
Combined factor = 0.99967583



LINE TABLE

LINE	LENGTH	BEARING
L1	11.85'	N12°21'07"W





VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD27) originated at the New Mexico State Highway Control Monument "NM448-N10".
- Distances are ground.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the Month of March, 2006.
- U.C.L.S. Log Number 2006 2714A7
- City of Albuquerque Zone Atlas Pages: B-13-Z
- This property is currently zoned "C-2", per the City of Albuquerque Zone Atlas, dated January 12, 2006.

Documents used in the preparation of this survey are as follows:

- Plat entitled "PLAT OF TRACT D-1, ADOBE WELLS SUBDIVISION, ALBUQUERQUE, NEW MEXICO, JULY, 1991", filed September 4, 1991, in Volume 91C, Folio 188, records of Bernalillo County, New Mexico.
- Plat entitled "PLAT OF TRACT D-1-A AND D-1-B, ADOBE WELLS SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JULY, 1995", filed August 2, 1995, in Volume 95C, Folio 285, records of Bernalillo County, New Mexico.
- Plat entitled "SUBDIVISION PLAT MAP FOR ADOBE WELLS SUBDIVISION ALBUQUERQUE, NEW MEXICO, FEBRUARY, 1986", filed October 30, 1987, in Volume C35, Folio 7, records of Bernalillo County, New Mexico.
- Plat entitled "REPLAT OF PORTION OF TRACTS 2 AND 3, EAGLE RANCH TO TRACTS F, G, H AND I, EAGLE RANCH, BERNALILLO COUNTY, NEW MEXICO, AUGUST, 1982", filed November 24, 1982, in Volume C20, Folio 102, records of Bernalillo County, New Mexico.
- Title Report prepared for this property by Commonwealth Land Title Insurance Company and underwritten by LandAmerica Albuquerque Title, Commitment for Title Insurance No. 6212000458, dated February 2, 2006.

060503_PLAT.DWG

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

 Bernalillo County Treasurer Date

PNM GAS AND ELECTRIC SERVICES EASEMENT RELEASE APPROVAL

PNM Gas and Electric Services does hereby release, waive, quitclaim and discharge its right, title and interest in the easements (granted by prior plat, replat or document) shown to be vacated on this plat.

PNM GAS AND ELECTRIC SERVICES

By: _____

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this _____ day of _____, 2006, by _____ of the PNM Gas and Electric Services, a New Mexico Corporation, on behalf of said corporation.

_____ My commission expires _____

Notary Public

COMCAST CABLE EASEMENT RELEASE APPROVAL

Comcast Cable does hereby release, waive, quitclaim and discharge its right, title and interest in the easements (granted by prior plat, replat or document) shown to be vacated on this plat.

COMCAST CABLE

By: _____

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this _____ day of _____, 2006, by _____

_____ My commission expires _____

Notary Public

PURPOSE OF PLAT

The purpose of this plat is to:

- Show the Vacation of the 10' Public Easement granted, which was Vacated by 06DRB-_____.
- Grant the New 20' Public Sanitary Sewer Easement for the benefit of Tracts D-1-B-1 and D-1-B-2 as shown hereon.
- Grant the New 10' Public Utility Easement as shown hereon.

PLAT OF
 TRACTS D-1-B-1 AND D-1-B-2
 ADOBE WELLS SUBDIVISION

(BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION)

WITHIN

THE TOWN OF ALAMEDA GRANT

IN

PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

JUNE, 2006

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PNM Electric Services

_____ Date

PNM Gas Services

_____ Date

QWest Corporation

_____ Date

Comcast

_____ Date

City Approvals:

[Signature]
 City Surveyor

6/27/06
 Date

Real Property Division

_____ Date

M.R.G.C.D.

_____ Date

Traffic Engineering, Transportation Division

_____ Date

Utilities Development

_____ Date

Parks and Recreation Department

_____ Date

AMAFCA

_____ Date

City Engineer

_____ Date

DRB Chairperson, Planning Department

_____ Date

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.



[Signature]
 Russ P. Hugg
 License No. 9750
 June 5, 2006

SHEET 1 OF 3

SURV TEK, INC.

Consulting Surveyors

8884 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366

Fax: 505-897-3377

PLAT OF
TRACTS D-1-B-1 AND D-1-B-2
ADOBE WELLS SUBDIVISION
(BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION)
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE , 2006

LEGAL DESCRIPTION

"TRACT D-1-B" of ADOBE WELLS SUBDIVISION as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 2, 1995, in Map Book 95C, folio 285.

Said Tract contains 3.4473 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, PLAT OF TRACTS D-1-B-1 AND D-1-B-2, ADOBE WELLS SUBDIVISION (BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the Public Utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

ACI Management, LLC
a New Mexico limited liability company

BY: 

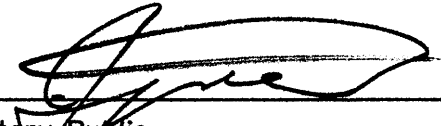
Paul Cassidy, Managing Member

ACKNOWLEDGMENT

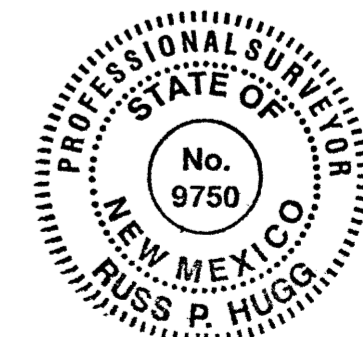
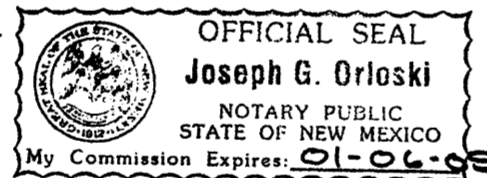
STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this _____

day of June, 2006, by Paul Cassidy, Managing Member of
ACI Management, LLC


Notary Public

01-06-09
My commission expires

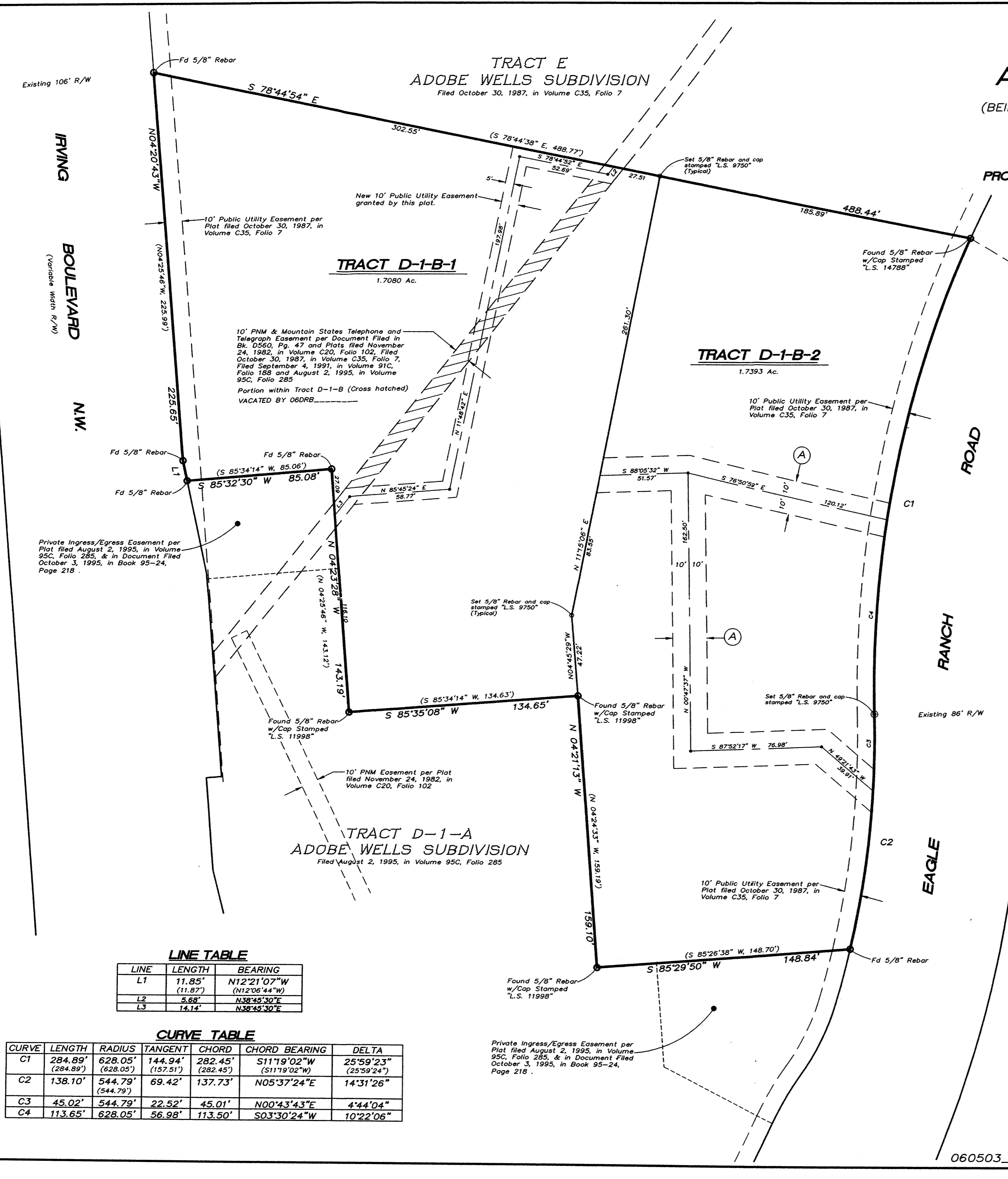


SHEET 2 OF 3

SURV TEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

PLAT OF
TRACTS D-1-B-1 AND D-1-B-2
ADOBE WELLS SUBDIVISION
 (BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION)
 WITHIN
THE TOWN OF ALAMEDA GRANT
 IN
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2006



Albuquerque Control Survey Monument
 "NM-448-N10"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 27) as published:
 Y = 1,524,161.52
 X = 377,788.84
 Z = 5045.51 (SLD 29)
 Delta Alpha = -00° 14' 09"
 Combined factor = 0.99967583

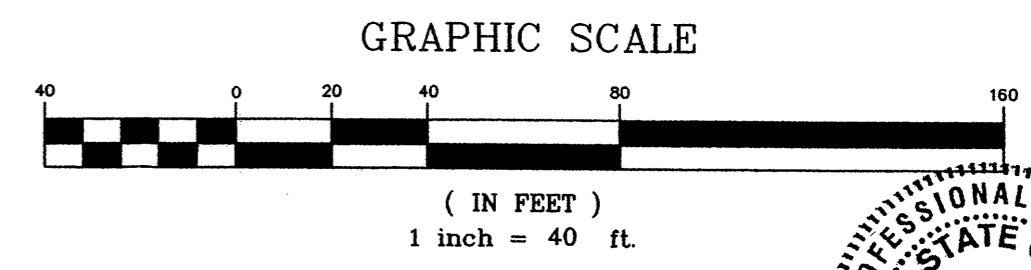
(A) 20' Public Sanitary Sewer Easement for the
 benefit of Tracts D-1-B-1 and D-1-B-2
 granted to New Mexico Utilities and the
 Albuquerque Bernalillo County Water Utility
 Authority by this plat.

LINE TABLE

LINE	LENGTH	BEARING
L1	11.85' (11.87')	N12°21'07"W (N12°06'44"W)
L2	5.68'	N38°45'30"E
L3	14.14'	N38°45'30"E

CURVE TABLE

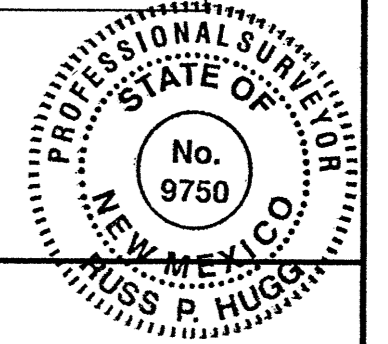
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	284.89' (284.89')	628.05' (628.05')	144.94' (157.51')	282.45' (282.45')	S11°19'02"W (S11°19'02"W)	25°59'23" (25°59'24")
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C3	45.02'	544.79'	22.52'	45.01'	N00°43'43"E	4°44'04"
C4	113.65'	628.05'	56.98'	113.50'	S03°30'24"W	10°22'06"



SHEET 3 OF 3

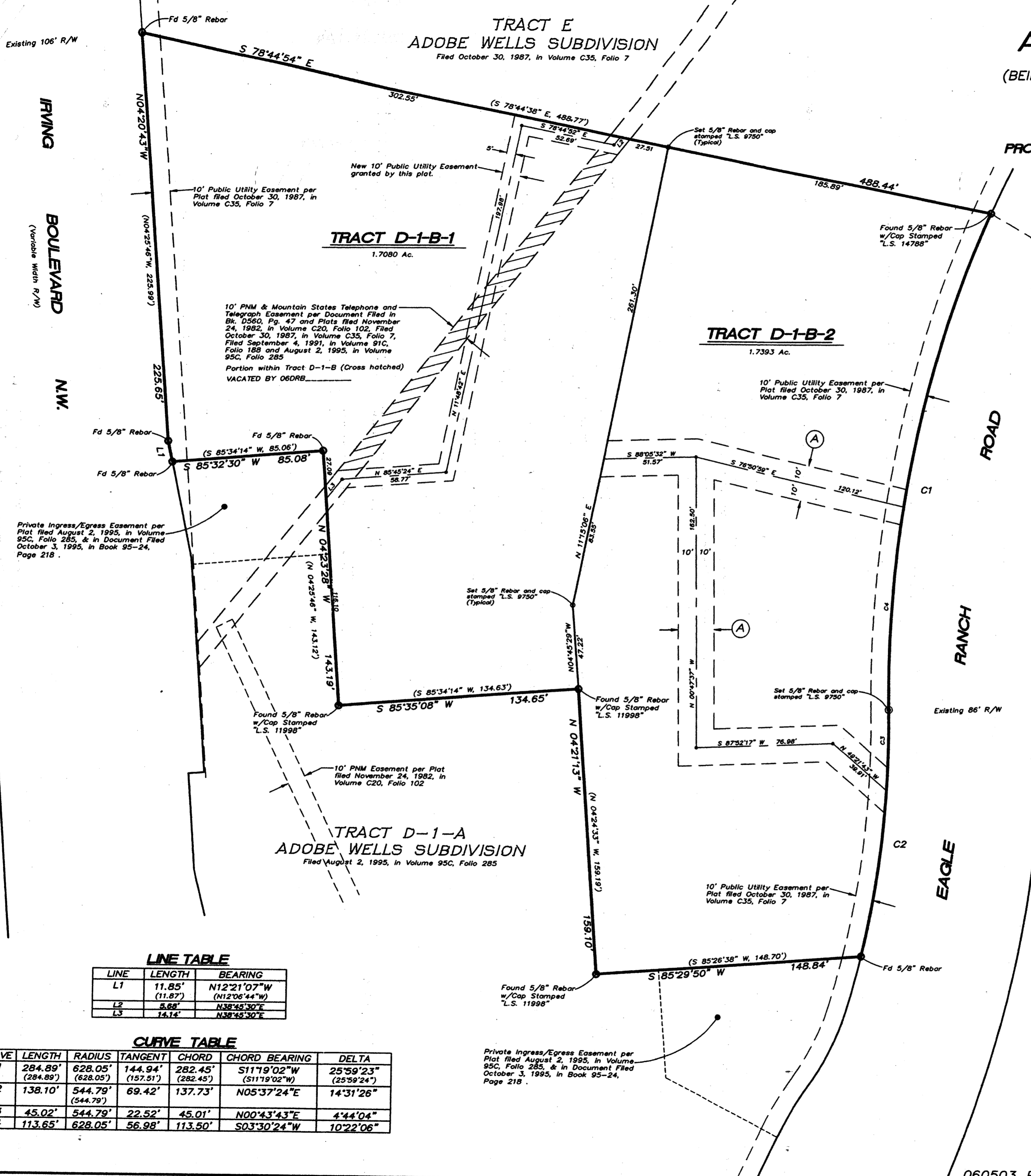
SURV+TEK, INC.

Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366
 Fax: 505-897-3377



PLAT OF
TRACTS D-1-B-1 AND D-1-B-2
ADOBE WELLS SUBDIVISION
 (BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION)
 WITHIN
THE TOWN OF ALAMEDA GRANT
 IN
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JUNE, 2006



Albuquerque Control Survey Monument
 "M4-44B-N10"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 27) as published:
 Y = 1,524,161.52
 X = 377,788.84
 Z = 5045.51 (SLD 29)
 Delta Alpha = -00° 14' 09"
 Combined factor = 0.99967583

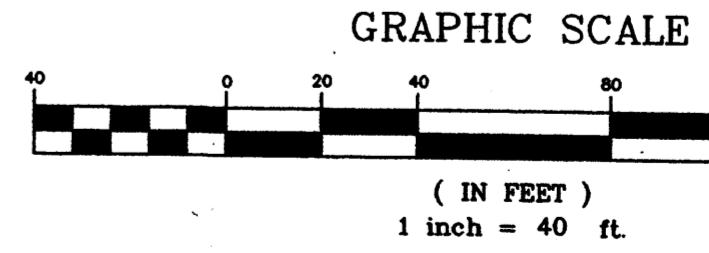
(A) 20' Public Sanitary Sewer Easement for the
 benefit of Tracts D-1-B-1 and D-1-B-2
 granted to New Mexico Utilities and the
 Albuquerque Bernalillo County Water Utility
 Authority by this plat.

LINE TABLE

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L2	5.68'	N38°45'30"E
L3	14.14'	N38°45'30"E

CURVE TABLE

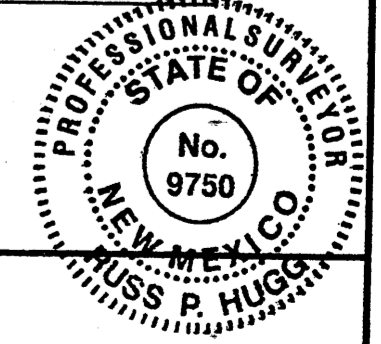
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	284.89' (284.89')	628.05' (628.05')	144.94' (157.51')	282.45' (282.45')	S11°19'02"W (S11°19'02"W)	25°59'23" (25°59'24")
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C3	45.02'	544.79'	22.52'	45.01'	N00°43'43"E	4°44'04"
C4	113.65'	628.05'	56.98'	113.50'	S03°30'24"W	10°22'06"



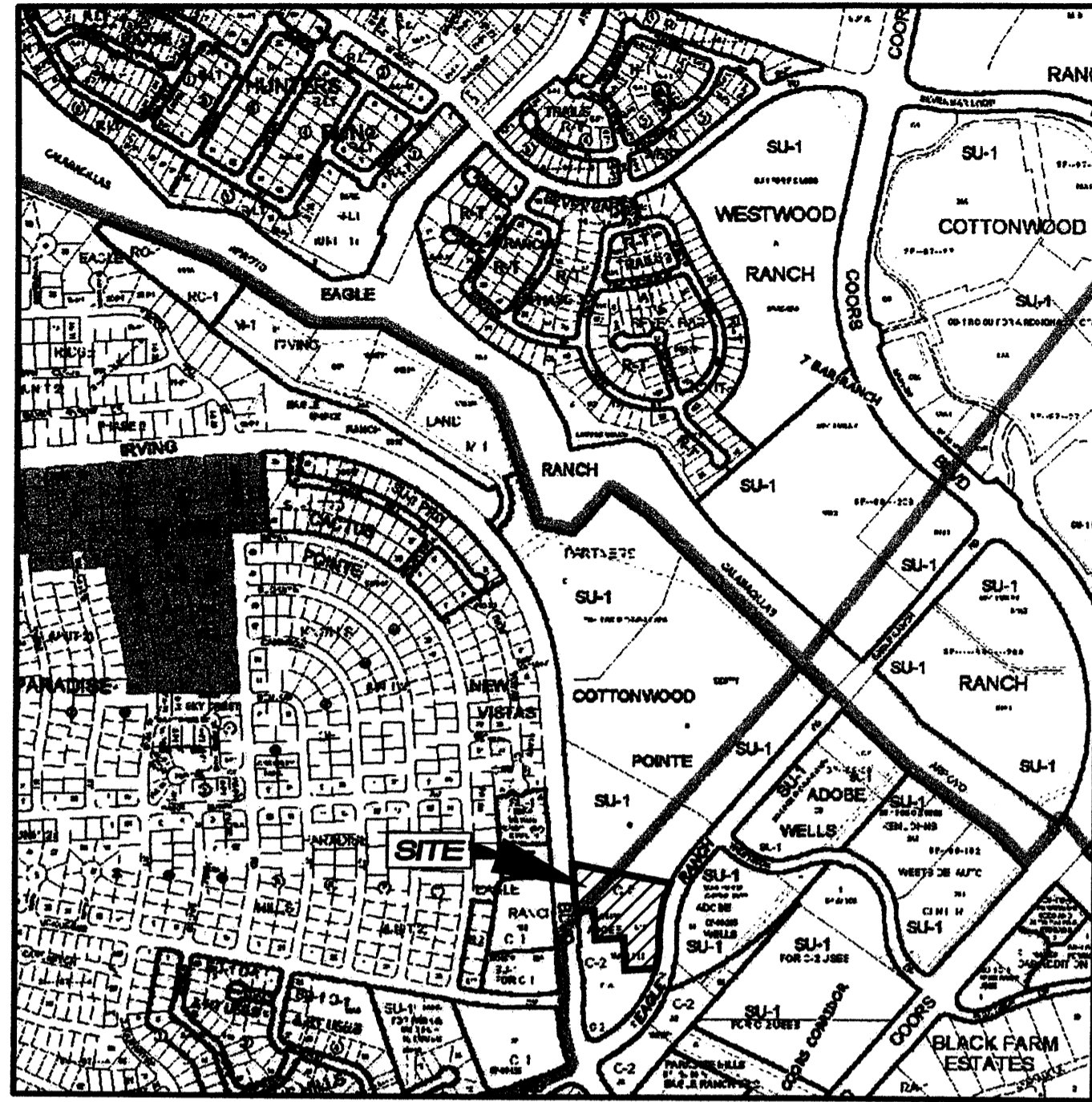
SHEET 3 OF 3

SURV TEK, INC.

Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366 Fax: 505-897-3377



060503_PLAT. DWG



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD27) originated at the New Mexico State Highway Control Monument "NM448-N10".
- Distances are ground.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the Month of March, 2006.
- U.C.L.S. Log Number 2006271447.
- City of Albuquerque Zone Atlas Pages: B-13-Z
- This property is currently zoned "C-2", per the City of Albuquerque Zone Atlas, dated January 12, 2006.

Documents used in the preparation of this survey are as follows:

- Plat entitled "PLAT OF TRACT D-1, ADOBE WELLS SUBDIVISION, ALBUQUERQUE, NEW MEXICO, JULY, 1991", filed September 4, 1991, in Volume 91C, Folio 188, records of Bernalillo County, New Mexico.
- Plat entitled "PLAT OF TRACT D-1-A AND D-1-B, ADOBE WELLS SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JULY, 1995", filed August 2, 1995, in Volume 95C, Folio 285, records of Bernalillo County, New Mexico.
- Plat entitled "SUBDIVISION PLAT MAP FOR ADOBE WELLS SUBDIVISION ALBUQUERQUE, NEW MEXICO, FEBRUARY, 1986", filed October 30, 1987, in Volume C35, Folio 7, records of Bernalillo County, New Mexico.
- Plat entitled "REPLAT OF PORTION OF TRACTS 2 AND 3, EAGLE RANCH TO TRACTS F, G, H AND I, EAGLE RANCH, BERNALILLO COUNTY, NEW MEXICO, AUGUST, 1982", filed November 24, 1982, in Volume C20, Folio 102, records of Bernalillo County, New Mexico.
- Title Report prepared for this property by Commonwealth Land Title Insurance Company and underwritten by LandAmerica Albuquerque Title, Commitment for Title Insurance No. 6212000458, dated February 2, 2006.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer _____ Date _____

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PURPOSE OF PLAT

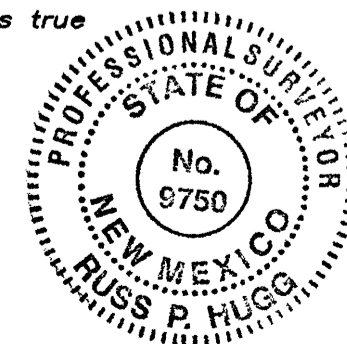
The purpose of this plat is to:

- Divide existing Tract D-1-B into two (2) tracts.
- Grant the New 20' Public Sanitary Sewer Easement for the benefit of Tracts D-1-B-1 and D-1-B-2 as shown hereon.
- Grant the New 10' Public Utility Easement as shown hereon.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
Russ P. Hugg
NMPS No. 9750
November 27, 2006



**PLAT OF
TRACTS D-1-B-1 AND D-1-B-2
ADOBE WELLS SUBDIVISION**

(BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION)

WITHIN
THE TOWN OF ALAMEDA GRANT
IN
**PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**
NOVEMBER, 2006

PROJECT NUMBER: _____

Application Number: _____

**PRELIMINARY PLAT
APPROVED BY DRB
ON 5/16/07**

PLAT APPROVAL

Utility Approvals:

<i>Paul D. Metz</i> PNM Gas and Electric Services	12-14-06 Date
<i>Russell B. Salter</i> QWest Corporation	12/20/06 Date
<i>Kevin D. Burson</i> Comcast	12-14-06 Date
<i>[Signature]</i> New Mexico Utilities	12-28-06 Date

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals:

[Signature]
City Surveyor 12-14-06
Date

Real Property Division _____ Date _____

M.R.G.C.D. _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

Utilities Development _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFCA _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

PLAT OF
TRACTS D-1-B-1 AND D-1-B-2
ADOBE WELLS SUBDIVISION
 (BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION)
 WITHIN
THE TOWN OF ALAMEDA GRANT
 IN
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 JUNE , 2006

LEGAL DESCRIPTION

"TRACT D-1-B" of ADOBE WELLS SUBDIVISION as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 2, 1995, in Map Book 95C, folio 285.

Said Tract contains 3.4473 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, PLAT OF TRACTS D-1-B-1 AND D-1-B-2, ADOBE WELLS SUBDIVISION (BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the Public Utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

ACI Management, LLC
 a New Mexico limited liability company

BY: 

Paul Cassidy, Managing Member

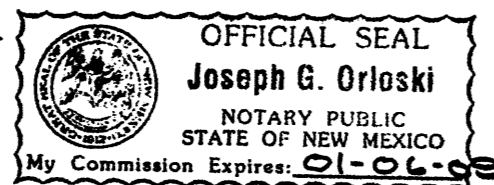
ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 23RD day of June, 2006, by Paul Cassidy, Managing Member of ACI Management, LLC


 Notary Public

01-06-09
 My commission expires



PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

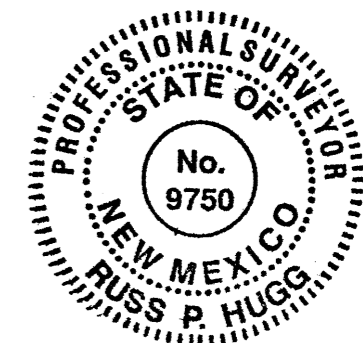
- A. PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- E. New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

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SHEET 2 OF 3

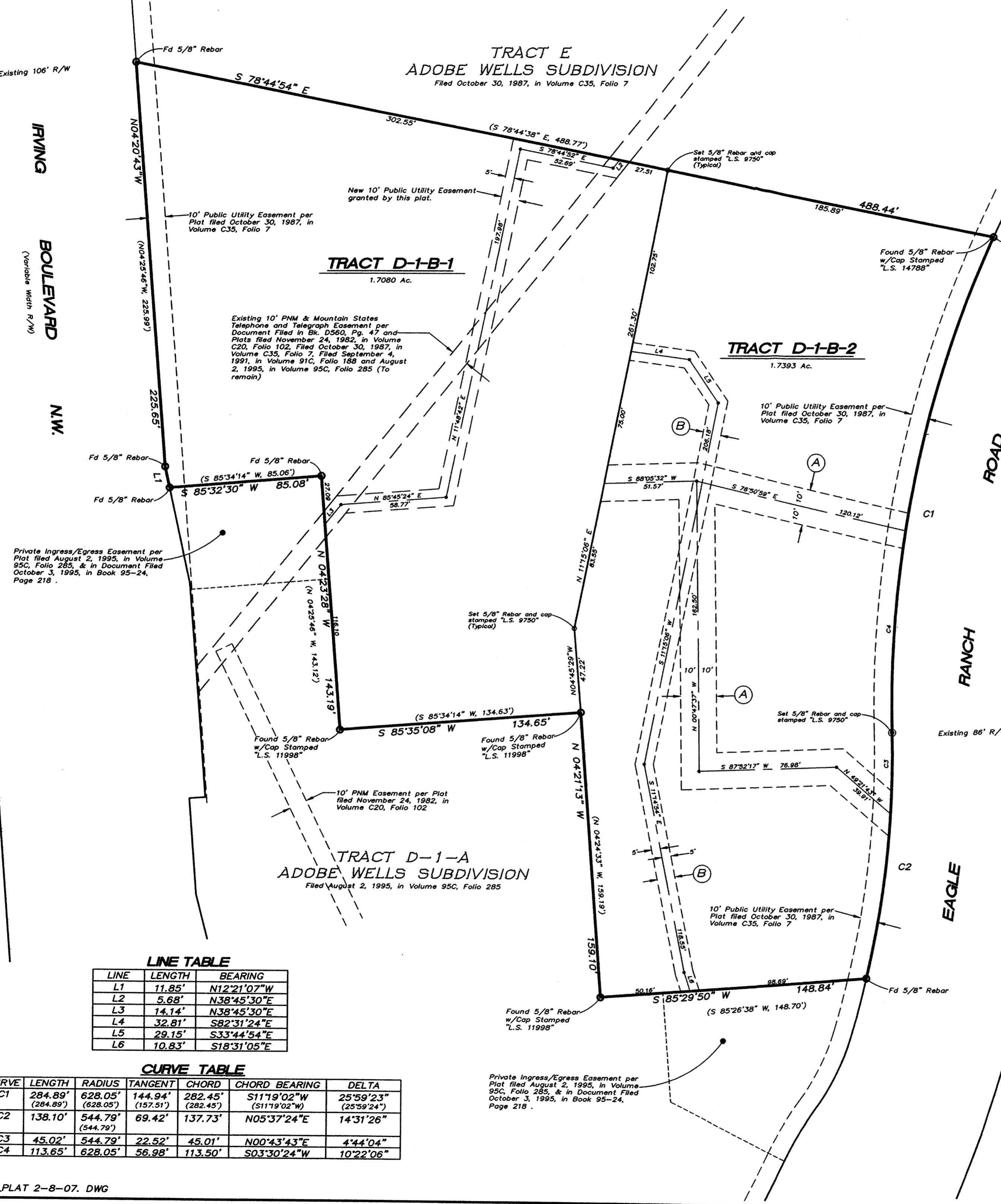
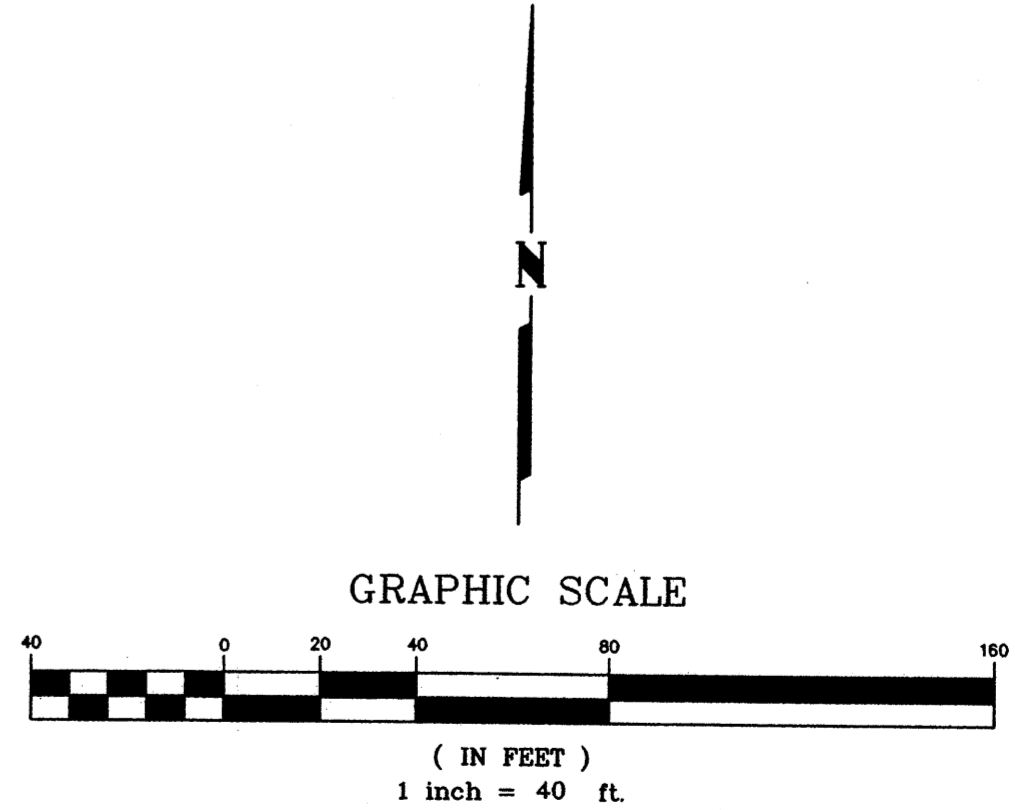
SURV●TEK, INC.

Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366 Fax: 505-897-3377

**PLAT OF
TRACTS D-1-B-1 AND D-1-B-2
ADOBE WELLS SUBDIVISION**
(BEING A REPLAT OF TRACT D-1-B, ADOBE WELLS SUBDIVISION)
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 2006

Albuquerque Control Survey Monument
"NM-448-N10"
New Mexico State Plane Coordinates, Central
Zone (NAD 27) as published:
Y = 1,524,161.52
X = 377,788.94
Z = 5045.51 (SLD 29)
Delta Alpha = -00° 14' 09"
Combined factor = 0.99967583

- (A) 20' Public Sanitary Sewer Easement granted to New Mexico Utilities, Inc. by Document Filed _____
- (B) 10' Private Drainage Easement granted by this plat for the benefit of Tract D-1-B-1. Maintenance of said easement to be the responsibility of the owner(s) of the owner(s) of said Tracts D-1-B-1 and D-1-B-2.

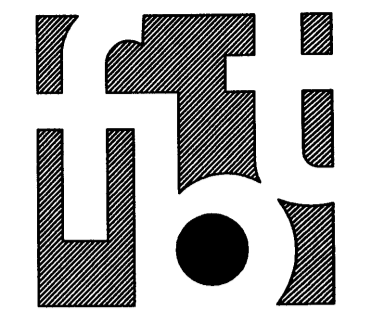


LINE TABLE

LINE	LENGTH	BEARING
L1	11.85'	N12°21'07"W
L2	5.68'	N38°45'30"E
L3	14.14'	N38°45'30"E
L4	32.81'	S82°31'24"E
L5	29.15'	S33°44'54"E
L6	10.83'	S18°31'05"E

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	284.89' (284.89')	628.05' (628.05')	144.94' (157.51')	282.45' (282.45')	S11°19'02"W (S11°19'02"W)	25°59'23" (25°59'24")
C2	138.10'	544.79' (544.79')	69.42'	137.73'	N05°37'24"E	14°31'26"
C3	45.02'	544.79'	22.52'	45.01'	N00°43'43"E	4°44'04"
C4	113.65'	628.05'	56.98'	113.50'	S03°30'24"W	10°22'06"



ARCHITECTS

Fanning Bard Tatum Architects AIA, Ltd.

6100 Indian School Rd. NE Ste 210
Albuquerque NM 87110

Phone 505/883.5200
Facsimile 505/884.5390
Web www.fbtarch.com

DRB SITE DEVELOPMENT PLAN
SIGNOFF APPROVAL:

DATE	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

PROJECT NUMBER 1004820

APPLICATION NUMBER
This plan is consistent with the specific Site Development Plan approved by the
Environmental Planning Commission (EPC), dated and the Findings and
Conditions in the Official Notification of Decision are satisfied.

an Infrastructure List Required? Yes () No ()
Yes, then a set of approved DRB plans with a work order is required for any
construction within Public Right-of-Way or for construction of public improvements.

ASig block

AQUATIC
CONSULTANTS, INC

OFFICE BUILDING/ COMPLEX
4411 IRVING BLVD. NW
ALBUQUERQUE, NEW MEXICO 87114

PRELIMINARY PLAN
APPROVED BY DRB
ON

EPC CASE NO. 06EPC 00470
ORIGINAL EPC CASE NO. Z-91-6
TRACT D-1-B ADOBE WELLS SUBDIVISION

JULY 2006

SHEET TITLE

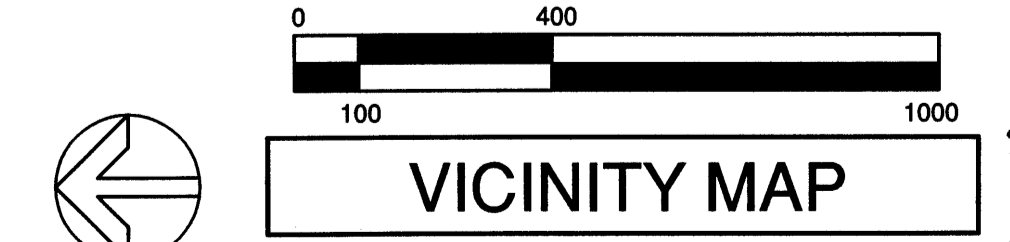
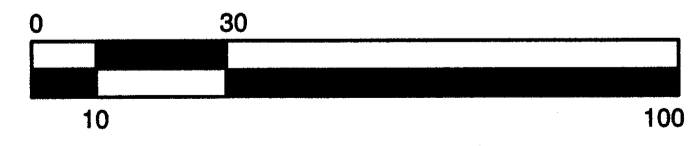
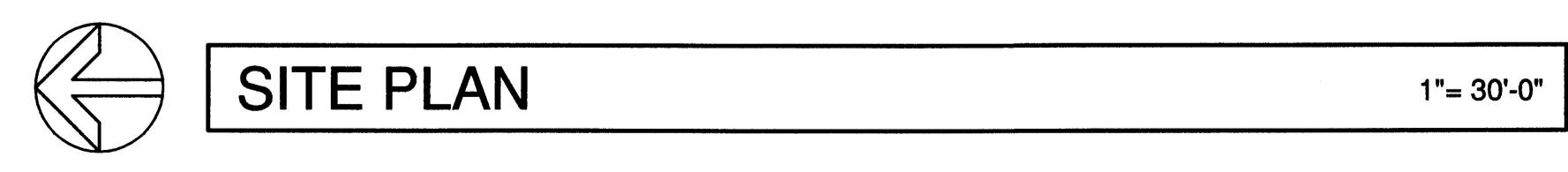
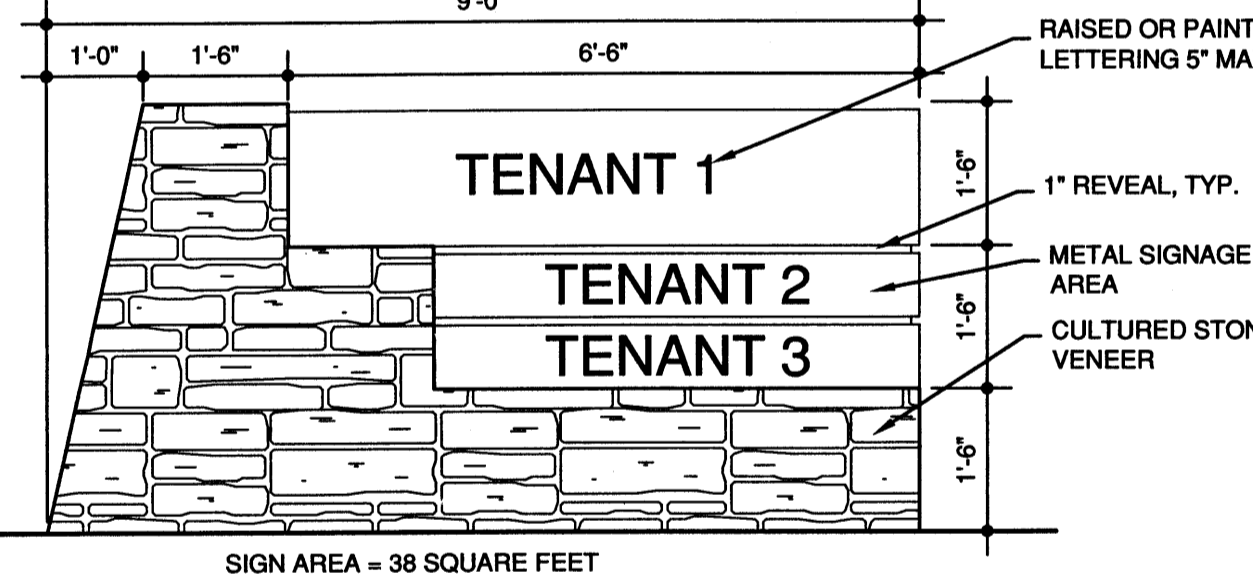
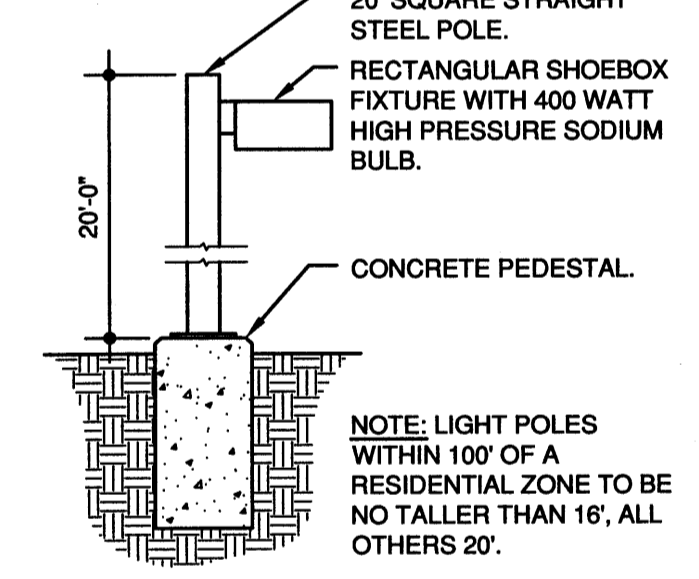
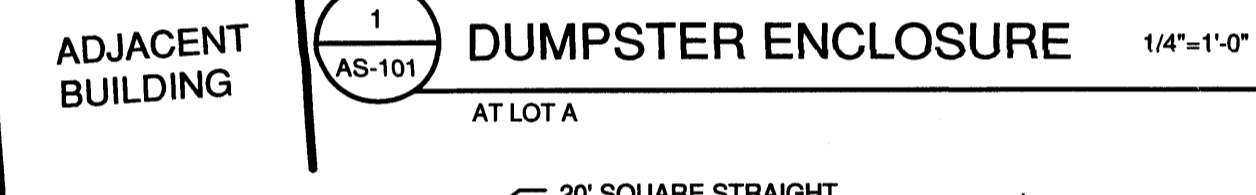
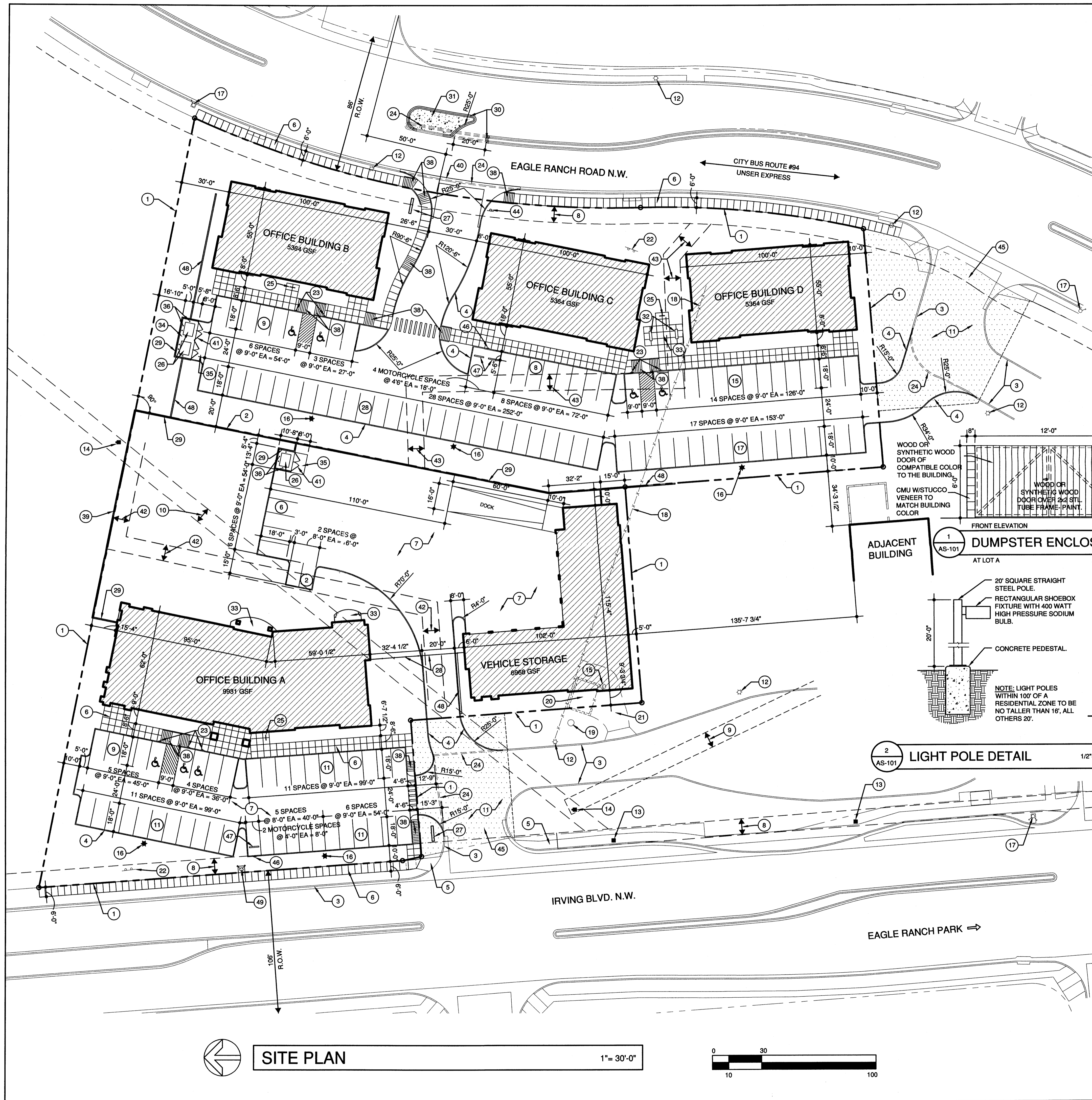
SITE PLAN FOR
BUILDING PERMITS

AS-101

KEYED NOTES

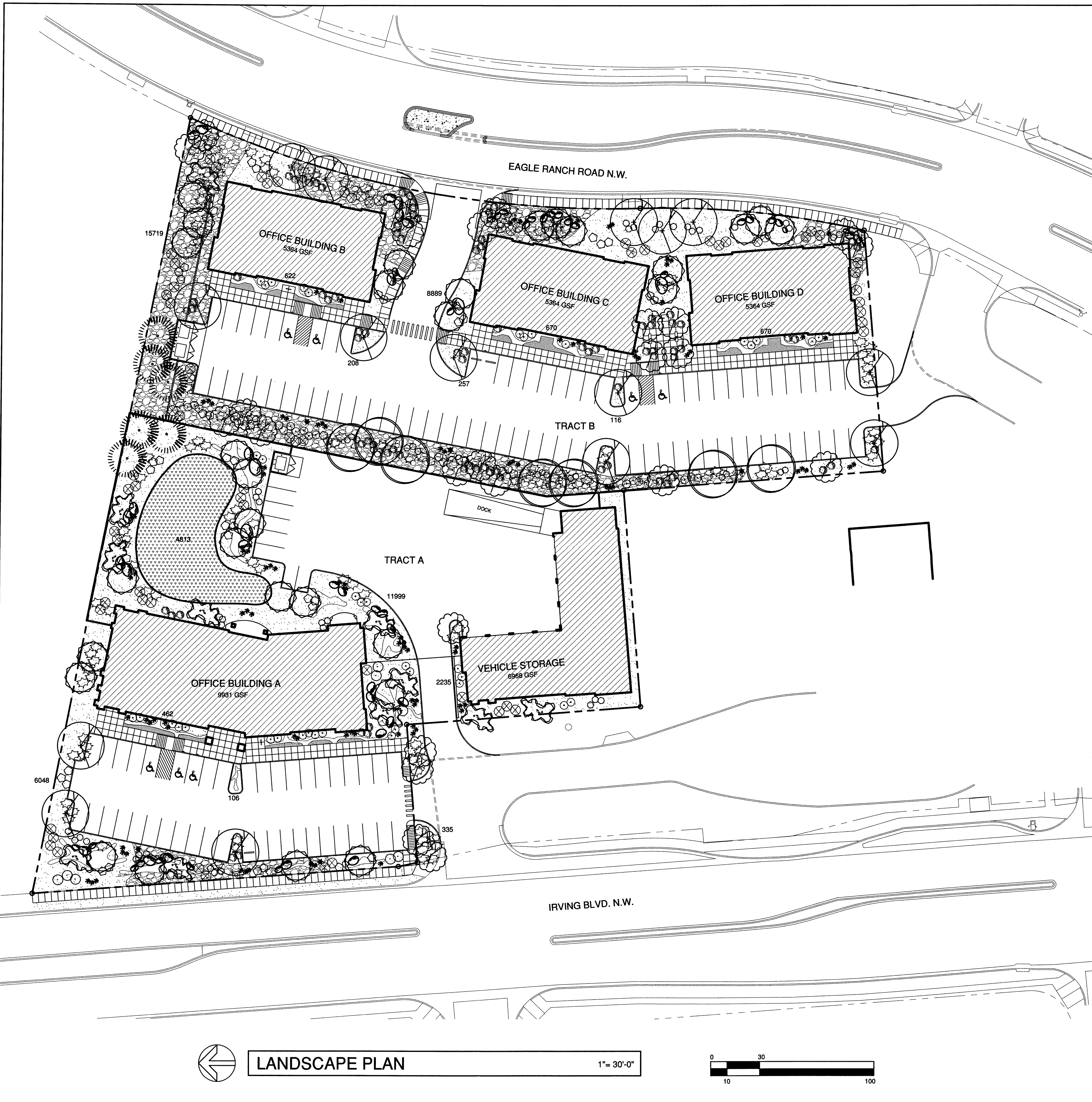
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING CONCRETE CURB
- NEW CONCRETE CURB
- EXISTING CONCRETE SIDE WALK
- NEW CONCRETE SIDEWALK
- NEW ASPHALT PAVING
- 10' PUBLIC UTILITY EASEMENT
- 10' PNM EASEMENT
- 10' PNM & MOUNTAIN STATES TELEPHONE AND TELEGRAPH EASEMENT TO BE RELOCATED
- PRIVATE INGRESS/ EGRESS EASEMENT.
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING POWER POLE W/FEED
- EXISTING ELECTRIC METER TO BE RELOCATED BY CRICKET COMMUNICATIONS.
- NEW PARKING LOT LIGHTING. SEE DETAIL 2/AS-101 THIS SHEET.
- EXISTING FIRE HYDRANT
- EXISTING FENCE TO BE REMOVED
- EXISTING WIRELESS COMMUNICATIONS TOWER
- EXISTING BLOCK WALL ENCLOSURE AND COMMUNICATIONS EQUIPMENT TO BE RELOCATED BY CRICKET COMMUNICATIONS.
- GRAVEL ACCESS AND PARKING AREA ENCROACH TO BE REMOVED BY CRICKET COMMUNICATIONS.
- REMOVE EXISTING SIGN
- ACCESSIBLE PARKING SIGN TYPICAL AT ALL ACCESSIBLE PARKING SPACES.
- DEMO. EXISTING CURB
- BICYCLE PARKING FOR 5 BICYCLES
- DUMPSTER
- NEW MONUMENT SIGN. SEE DETAIL 3/AS-101 THIS SHEET.
- 6" HIGH WROUGHT IRON FENCE AND GATE
- 6" HIGH YARD WALL W/STUCCO VENEER TO MATCH BUILDING COLOR.
- NEW MEDIAN CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARDS.
- NEW MEDIAN CONCRETE PAVING TO MATCH NEARBY PAVING.
- BENCH
- PUBLIC/ EMPLOYEE OUTDOOR SPACE.
- 6" THICK CONCRETE SLAB
- 6" THICK CONCRETE AFFRON
- 4" HIGH, 6" THICK STEEL BOLLARDS
- PAINTED METAL DOOR
- NEW ACCESSIBLE RAMP
- 6" HIGH YARD WALL TO BE CONSTRUCTED BY ADJACENT PROPERTY OWNER.
- NEW VALLEY GUTTER PER CITY OF ALBUQUERQUE STANDARDS
- WOOD OR SYNTHETIC WOOD DOOR OF COMPATIBLE COLOR TO THE BUILDING.
- NEW 10' ELECTRICAL EASEMENT
- NEW 10' SAS EASEMENT
- NO LEFT TURN SIGN POST
- EXISTING SITE DRIVE
- MOTORCYCLE PARKING SIGN
- CONCRETE PARKING BUMPER
- RETAINING WALL
- NEW FIRE HYDRANT

<input type="checkbox"/> ADDRESS	4411 IRVING BLVD. NW ALBUQUERQUE, NM 87114	<input type="checkbox"/> PARKING - LOT A	OFFICE BUILDING A 9451 NSF/200 VEHICLE STORAGE 6693 NSF/2000 TOTAL PARKING REQUIRED TOTAL PARKING PROVIDED ACCESSIBLE PARKING PROVIDED VAN ACCESSIBLE PARKING PROVIDED MOTOR CYCLE PARKING PROVIDED BICYCLE PARKING PROVIDED
<input type="checkbox"/> OWNER	AQUATIC CONSULTANTS, INC 4415 HAWKINS ST. NE, SUITE D, ALBUQUERQUE, NM 87109	<input type="checkbox"/> PARKING - LOT B	OFFICE BUILDING B 5200 NSF/200 OFFICE BUILDING C 5200 NSF/200 OFFICE BUILDING D 5200 NSF/200 TOTAL PARKING REQUIRED 10% TRANSIT REDUCTION TOTAL PARKING PROVIDED W/ REDUCTION TOTAL PARKING PROVIDED ACCESSIBLE PARKING PROVIDED ACCESSIBLE PARKING PROVIDED VAN ACCESSIBLE PARKING PROVIDED MOTOR CYCLE PARKING PROVIDED MOTOR CYCLE PARKING PROVIDED BICYCLE PARKING PROVIDED
<input type="checkbox"/> LEGAL DESCRIPTION	TRACT D-1-B ADOBE WELLS SUBDIVISION		
<input type="checkbox"/> SEIZMIC ZONE	2B		
<input type="checkbox"/> ZONING	C-2 COMMUNITY COMMERCIAL ZONE		
<input type="checkbox"/> LOT SIZE	LOT A - 1.71 ACRES LOT B - 1.73 ACRES		
<input type="checkbox"/> BUILDING HEIGHT	26' AT ANY LEGAL LOCATION		
<input type="checkbox"/> BUILDING SETBACK	5' MIN. - FRONT AND SIDE 11' MIN. - FROM DRIVEWAY/ ALLEY/ PUBLIC SIDEWALK		



Handwritten notes:
 Approved by DRB
 Building Permits
 AS-101

AQUATIC CONSULTANTS, INC - OFFICE BUILDING COMPLEX



LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
15	2" cal	Chitalpa <i>Chilopsis X Catalpa</i>	M
7	2" cal	Chinese Platane <i>Platanus chinensis</i>	M
6	6 - 8'	Austrian Pine <i>Pinus nigra</i>	M
9	4 - 6'	Pinon Pine <i>Pinus edulis</i>	M
30	2" cal	Desert Willow <i>Chilopsis linearis</i>	L
25	10-12'	Trinity Pear <i>Pyrus calleryana 'Trinity'</i>	M
53	5 Gal	Blue-spiraea <i>Corydalis x clandonensis</i>	M
83	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	M
139	5 Gal	Buffalo Juniper <i>Juniperus tamariscifolia 'Buffalo'</i>	M
14	5 Gal	Dwarf Butterfly Bush <i>Buddleia davidii nanhoensis</i>	M
96	5 Gal	Dwarf Feathertop <i>Fennestatum villosum</i>	M
52	5 Gal	Cherry Sage <i>Salvia greggii</i>	M
48	5 Gal	Rosemary <i>Rosmarinus officianalis</i>	M
52	5 Gal	English Lavender <i>Lavendula angustifolia</i>	L
9	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	L
64	5 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	L

	Crusher Fines, 3" min. depth, no fabric. Sample to be approved by Owner or Owner Representative prior to placement
	Moss Rock Plating on Slope
	Buffalo Grass Native Lawn with sprinklers (5252 sf)
	Moss Rock Boulders
	Dry Stream Beds with Cobble Stone
	Annual and Perennial Color Beds

LANDSCAPE NOTES

Landscape and Irrigation System maintenance shall be the responsibility of the Owner.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees and shrubs shall be zoned separately. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Point of Connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor prior to construction.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Prior to Construction, Landscape Contractor shall verify location of all Utility Lines.

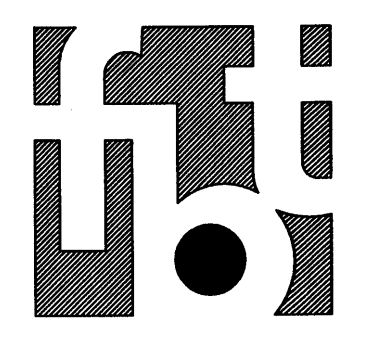
Landscape shall be installed according to the approved plan. Any change to the approved plan require the written approval of the Landscape Architect.

Landscape areas in excess of 36 square feet shall be planted so as to achieve 75% Live Ground Cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

LANDSCAPE CALCULATIONS

TRACT A	
TOTAL LOT AREA (sf)	74,495
TOTAL BUILDING AREA (sf)	16,899
LOT AREA (sf)	57,596
LANDSCAPE REQUIREMENT (%)	15
TOTAL LANDSCAPE REQUIRED (sf)	8,639
TOTAL LANDSCAPE PROVIDED (sf)	25,998
TRACT B	
TOTAL LOT AREA (sf)	75,670
TOTAL BUILDING AREA (sf)	16,092
LOT AREA (sf)	59,578
LANDSCAPE REQUIREMENT (%)	15
TOTAL LANDSCAPE REQUIRED (sf)	8,937
TOTAL LANDSCAPE PROVIDED (sf)	27,151



ARCHITECTS

Fanning Bard Tatum Architects AIA, Ltd.

6100 Indian School Rd. NE Ste 210
Albuquerque NM 87110

Phone 505/883.5200
Facsimile 505/884.5390
Web www.fbtarch.com

**DRB SITE DEVELOPMENT PLAN
SIGNOFF APPROVAL:**

DATE	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

PROJECT NUMBER	1004820
APPLICATION NUMBER	
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.	
Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	

**AQUATIC
CONSULTANTS, INC**

OFFICE BUILDING/ COMPLEX
4411 IRVING BLVD. NW
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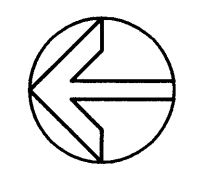
EPC CASE NO. 06EPC 00470
ORIGINAL EPC CASE NO. Z-91-6
TRACT D-1-B ADOBE WELLS SUBDIVISION

JULY 2006

SHEET TITLE

LANDSCAPE PLAN

L-101

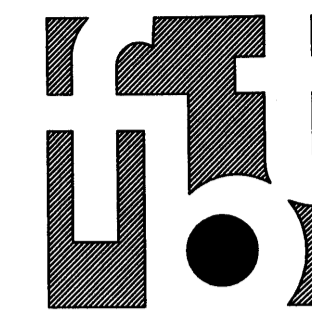


LANDSCAPE PLAN

1" = 30'-0"



AQUATIC CONSULTANTS, INC - OFFICE BUILDING/ COMPLEX



ARCHITECTS

Fanning Bard Tatum Architects AIA, Ltd.

6100 Indian School Rd. NE Ste 210
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Phone 505/883.5200
Facsimile 505/884.3390
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DRB SITE DEVELOPMENT PLAN
SIGNOFF APPROVAL:

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AQUATIC CONSULTANTS, INC

OFFICE BUILDING/ COMPLEX

4411 IRVING BLVD. NW
ALBUQUERQUE, NEW MEXICO 87114

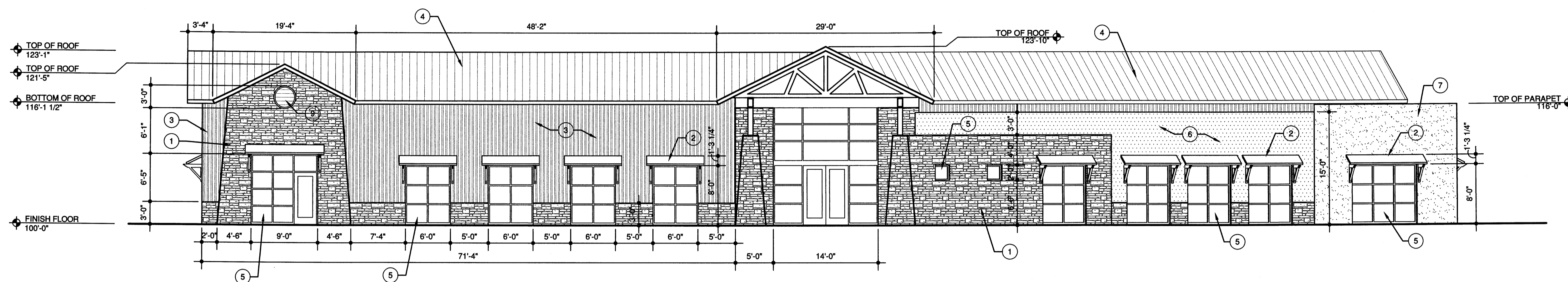
EPC CASE NO. 06EPC 00470
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TRACT D-1-B ADOBE WELLS SUBDIVISION

JULY 2006

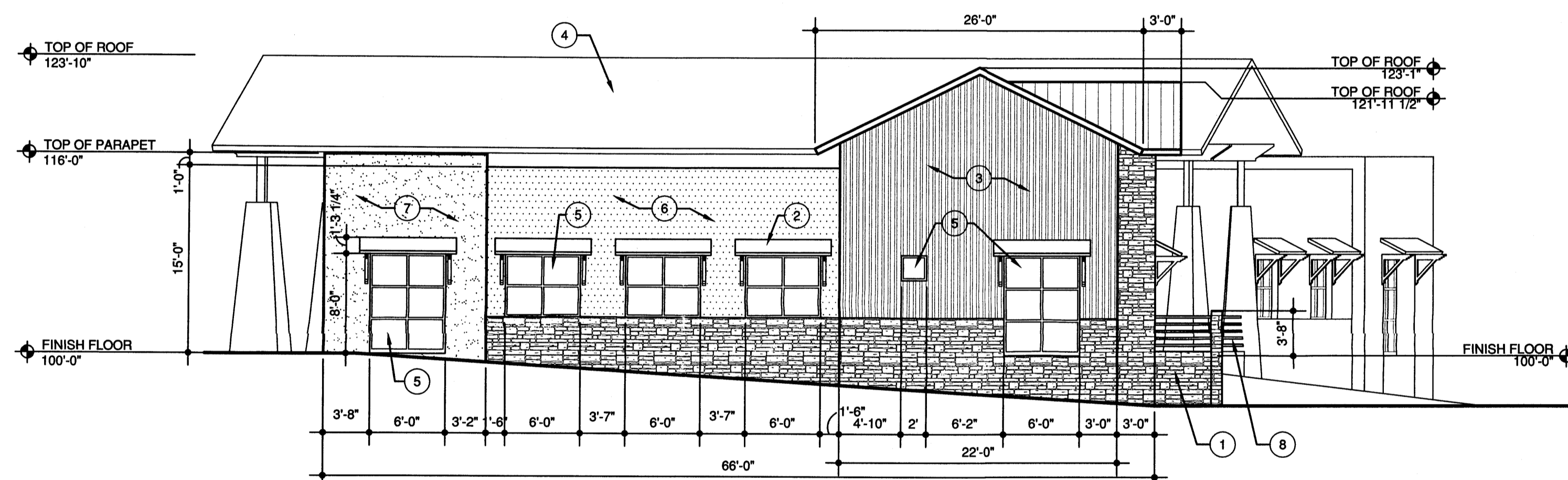
SHEET TITLE

OFFICE BUILDING A
BUILDING ELEVATIONS

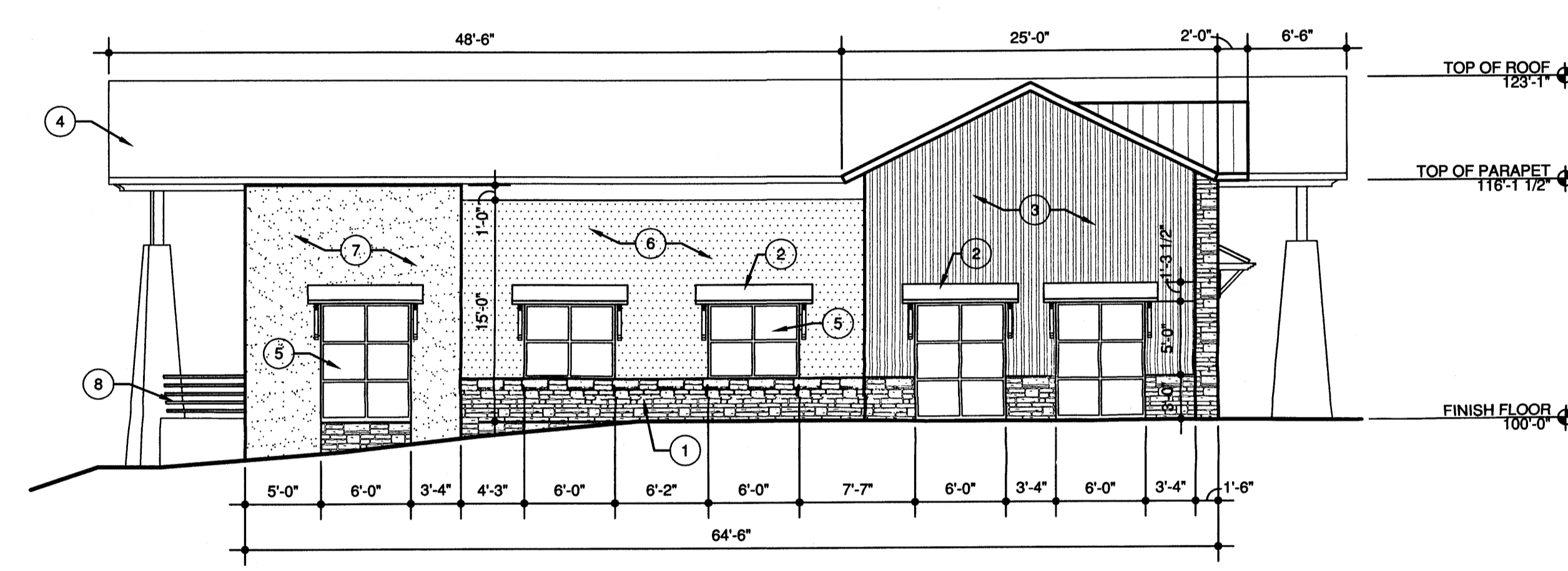
A-201



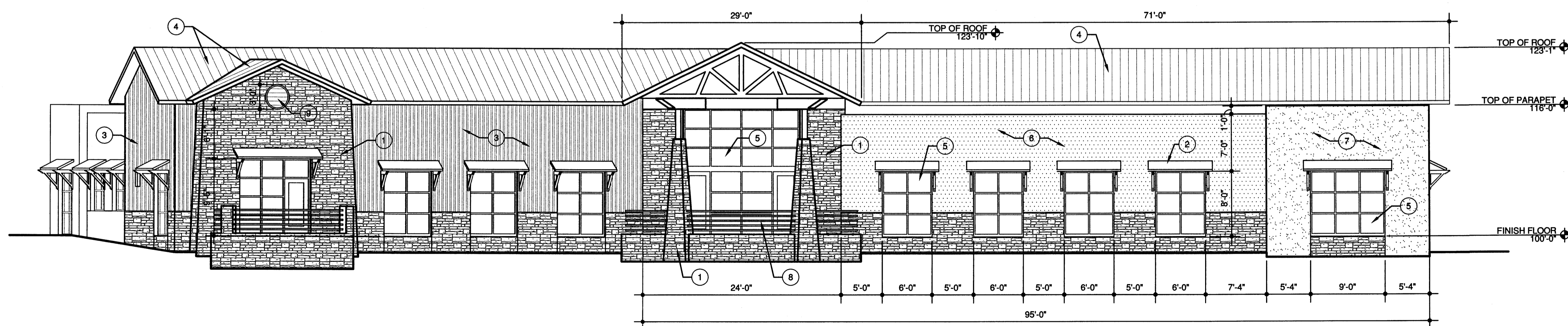
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2 SOUTH ELEVATION - BUILDING A 1/8"=1'-0"



3 NORTH ELEVATION - BUILDING A 1/8"=1'-0"

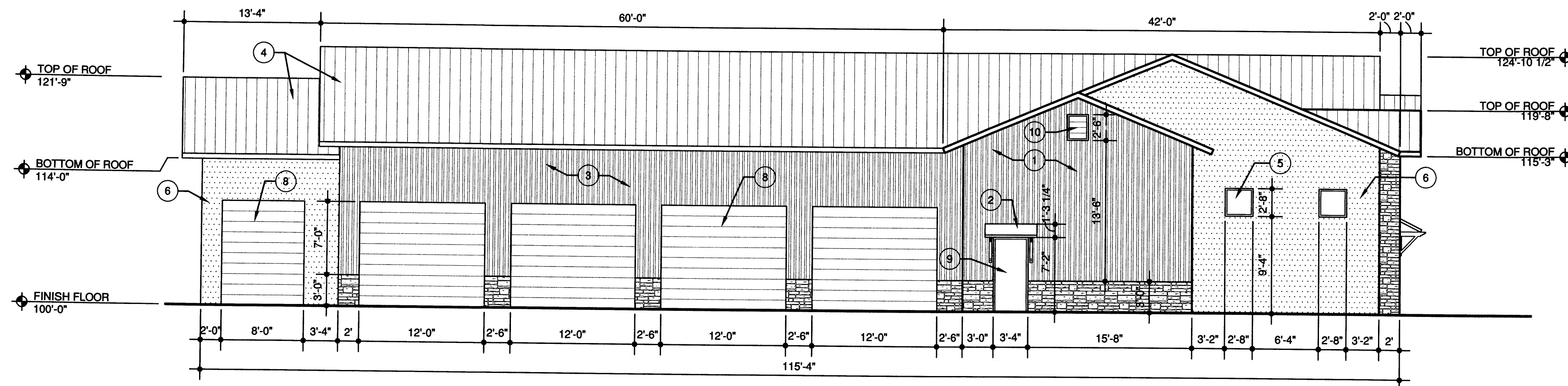


4 EAST ELEVATION - BUILDING A 1/8"=1'-0"

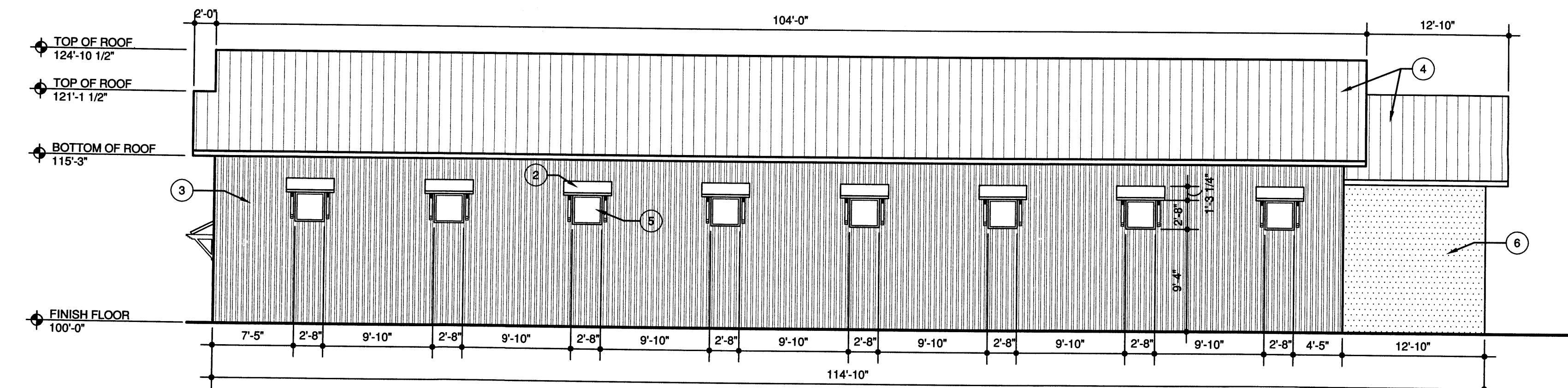
KEYED NOTES

1. CULTURED STONE VENEER.
2. METAL SUNSHADE TYP.
3. CORRUGATED VERTICAL METAL SIDING (GALVANIZED).
4. STANDING SEAM METAL ROOF SYSTEM (GALVANIZED).
5. ALUMINUM WINDOW WITH INSULATED GLAZING/ GREY TINT TYP.
6. TAN COLOR STUCCO TYP.
7. DARK BROWN STUCCO COLOR.
8. METAL HAND RAIL.
9. VENT

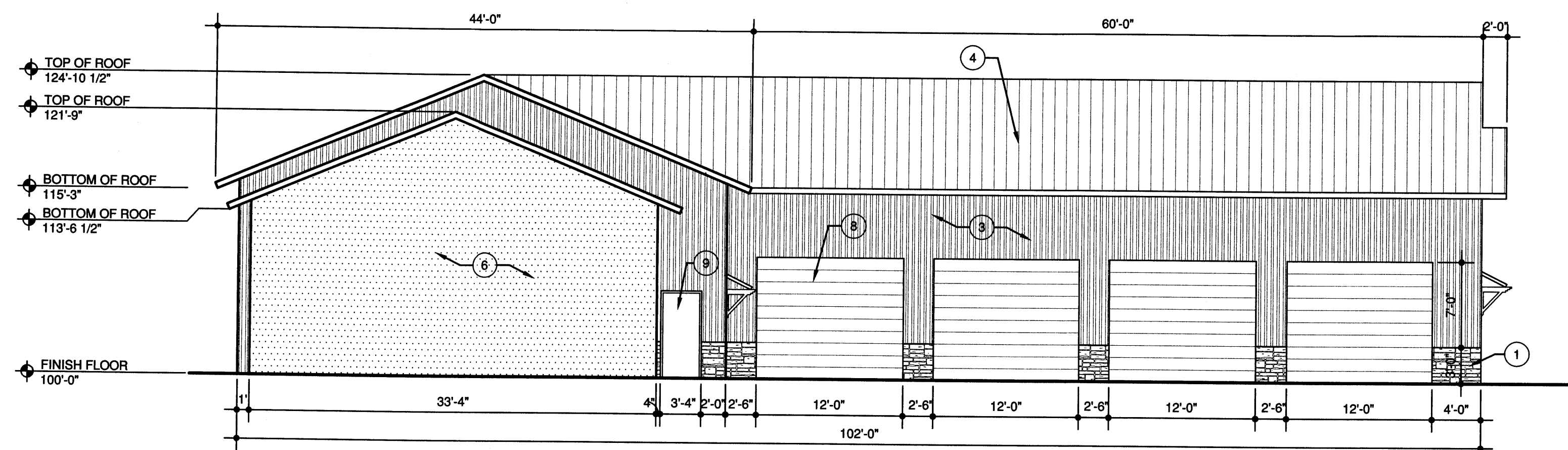
AQUATIC CONSULTANTS, INC - OFFICE BUILDING/ COMPLEX



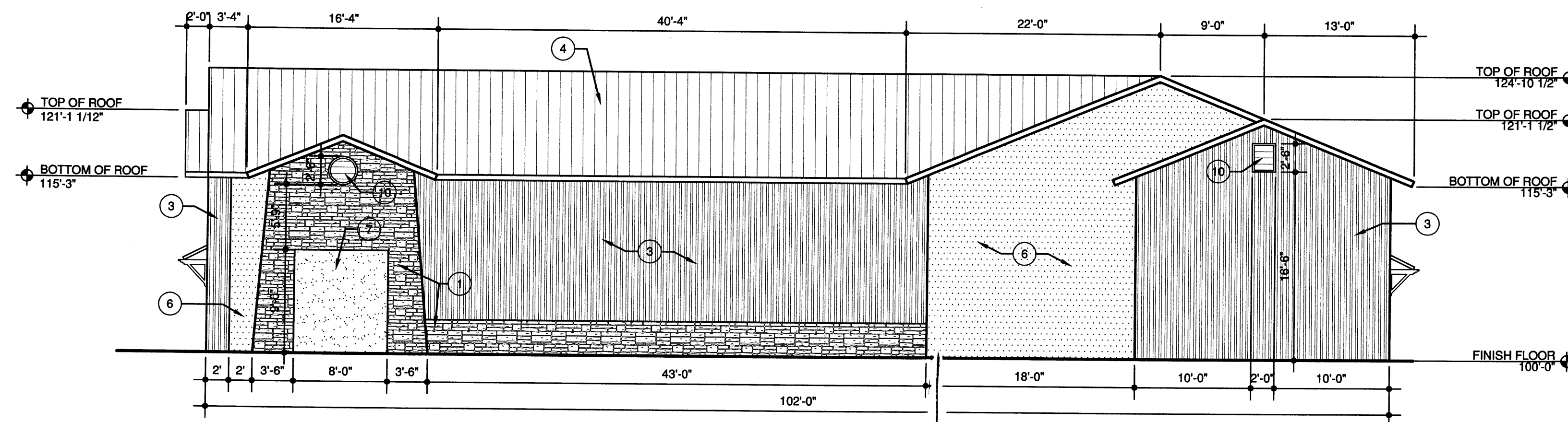
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2 SOUTH ELEVATION - VEHICLE STORAGE 1/8"=1'-0"



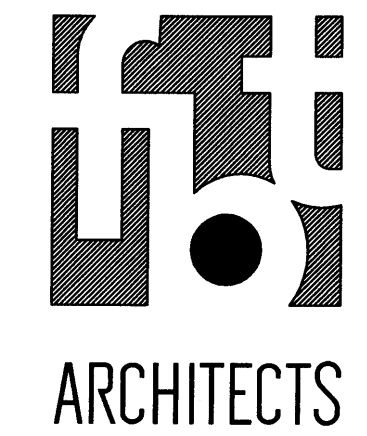
3 EAST ELEVATION - VEHICLE STORAGE 1/8"=1'-0"



4 WEST ELEVATION - VEHICLE STORAGE 1/8"=1'-0"

KEYED NOTES

1. CULTURED STONE VENEER.
2. METAL SUNSHADE TYP.
3. CORRUGATED VERTICAL METAL SIDING (GALVANIZED).
4. STANDING SEAM METAL ROOF SYSTEM (GALVANIZED).
5. ALUMINUM WINDOW WITH INSULATED GLAZING/ GREY TINT TYP.
6. TAN COLOR STUCCO TYP.
7. DARK BROWN STUCCO COLOR.
8. OVERHEAD DOOR/ PAINT GRAY
9. HOLLOW METAL DOOR/ PAINT GRAY
10. VENT



Fanning Bard Tatum Architects AIA, Ltd.

6100 Indian School Rd. NE Ste 210
Albuquerque NM 87110

Phone 505/883.5200
Facsimile 505/884.5390
Web www.fbtarch.com

DRB SITE DEVELOPMENT PLAN
SIGNOFF APPROVAL:

DATE	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

PROJECT NUMBER 1004820

APPLICATION NUMBER

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List Required? () Yes () No
If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

AQUATIC
CONSULTANTS, INC

OFFICE BUILDING/ COMPLEX
4411 IRVING BLVD. NW
ALBUQUERQUE, NEW MEXICO 87114

EPC CASE NO. 06EPC 00470
ORIGINAL EPC CASE NO. Z-91-6
TRACT D-1-B ADOBE WELLS SUBDIVISION

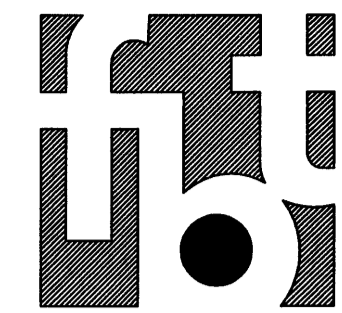
JULY 2006

SHEET TITLE

VEHICLE STORAGE
BUILDING ELEVATIONS

A-202

AQUATIC CONSULTANTS, INC - OFFICE BUILDING/ COMPLEX



ARCHITECTS

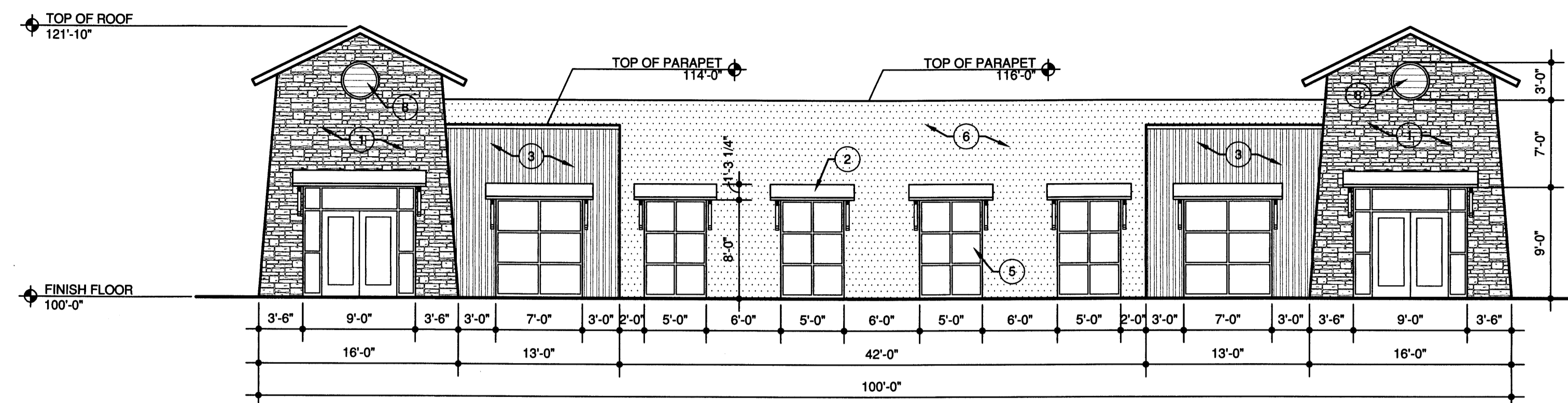
Fanning Bard Tatum Architects AIA, Ltd.

6100 Indian School Rd. NE Ste 210
Albuquerque NM 87110

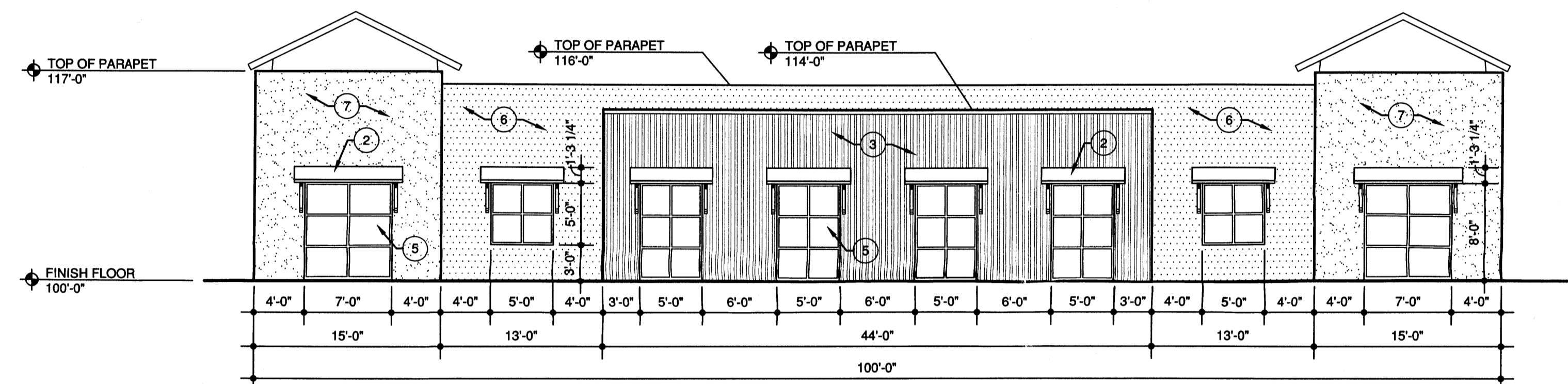
Phone 505/883.5200
Facsimile 505/884.5390
Web www.fbtarch.com

KEYED NOTES

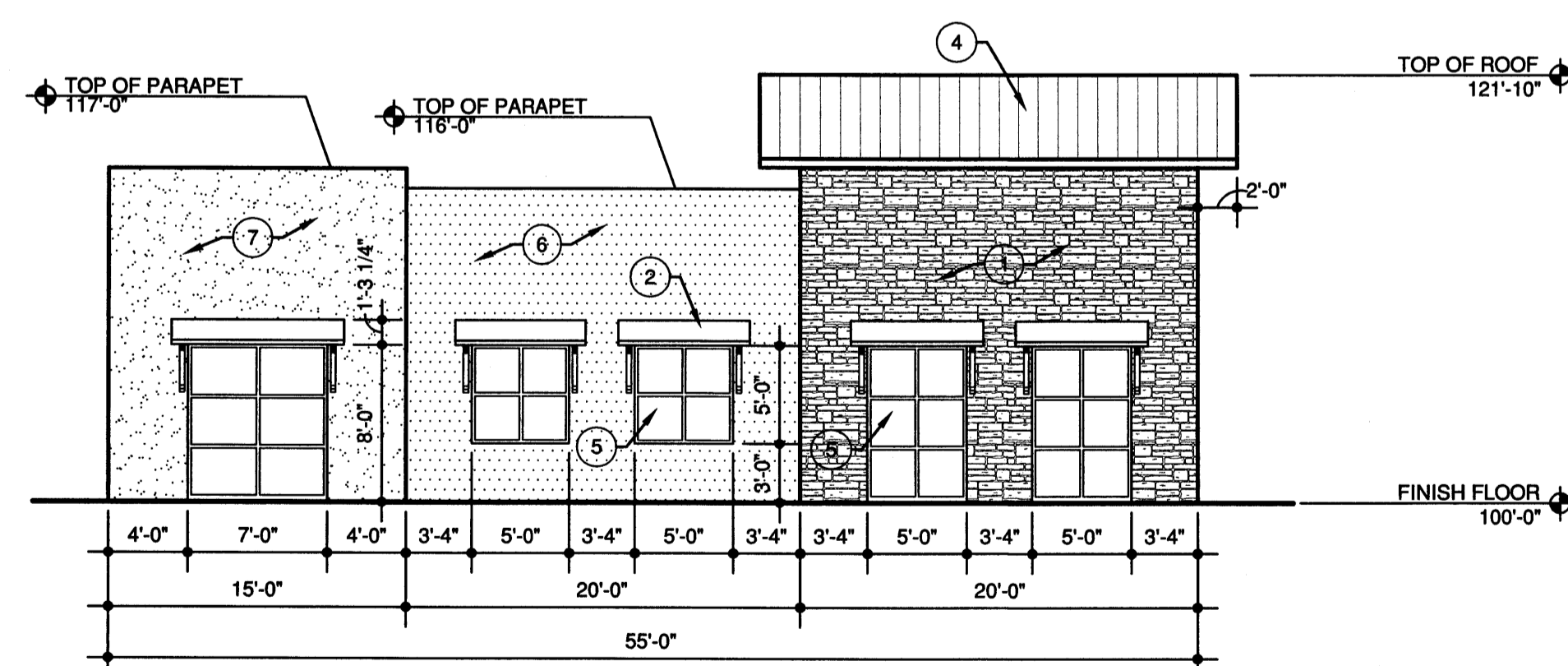
1. CULTURED STONE VENEER.
2. METAL SUNSHADE TYP.
3. CORRUGATED VERTICAL METAL SIDING (GALVANIZED).
4. STANDING SEAM METAL ROOF SYSTEM (GALVANIZED).
5. ALUMINUM WINDOW WITH INSULATED GLAZING/ GREY TINT TYP.
6. TAN COLOR STUCCO TYP.
7. DARK BROWN STUCCO COLOR.
8. VENT.



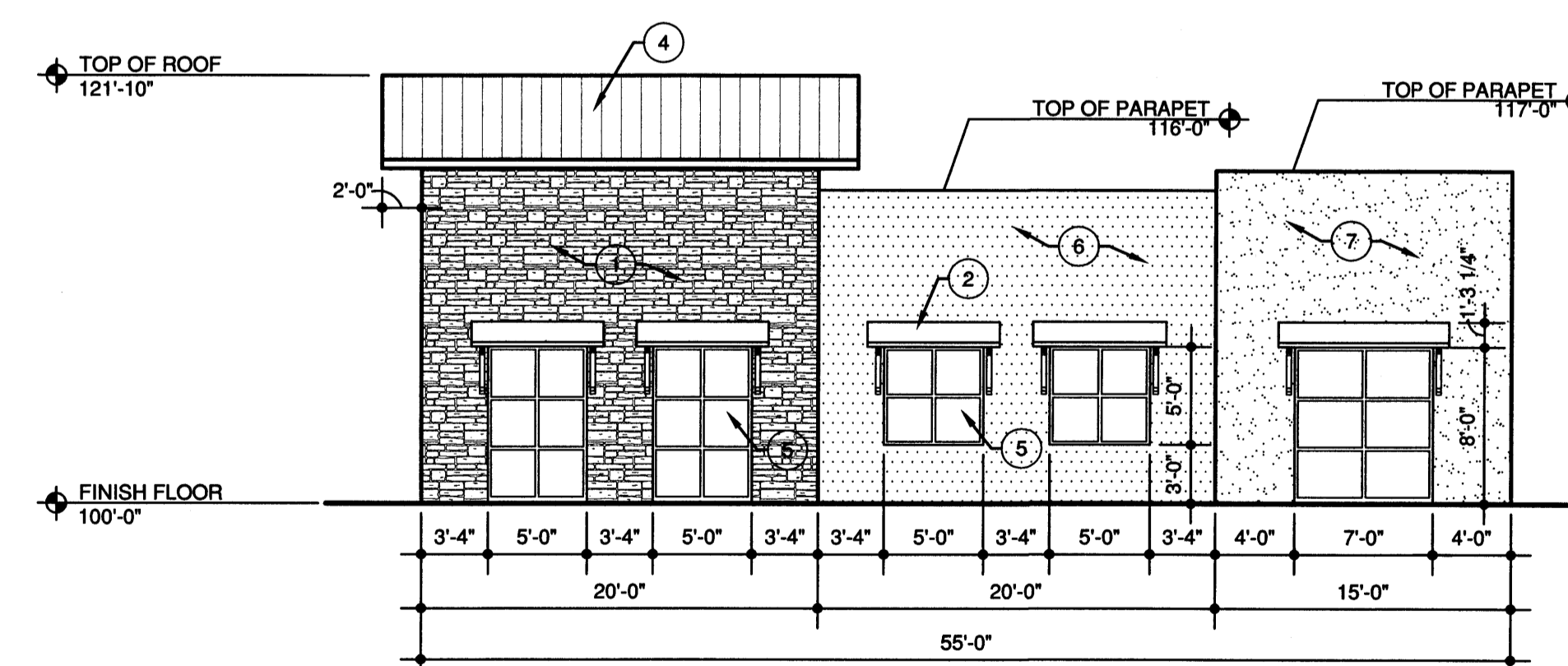
1 WEST ELEVATION - BUILDING B, C & D 1/8"=1'-0"



2 EAST ELEVATION - BUILDING B, C & D 1/8"=1'-0"



3 NORTH ELEVATION - BUILDING B, C & D 1/8"=1'-0"



4 SOUTH ELEVATION - BUILDING B, C & D 1/8"=1'-0"

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

DATE	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

PROJECT NUMBER	1004820
APPLICATION NUMBER	
<small>This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.</small>	
<small>Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.</small>	

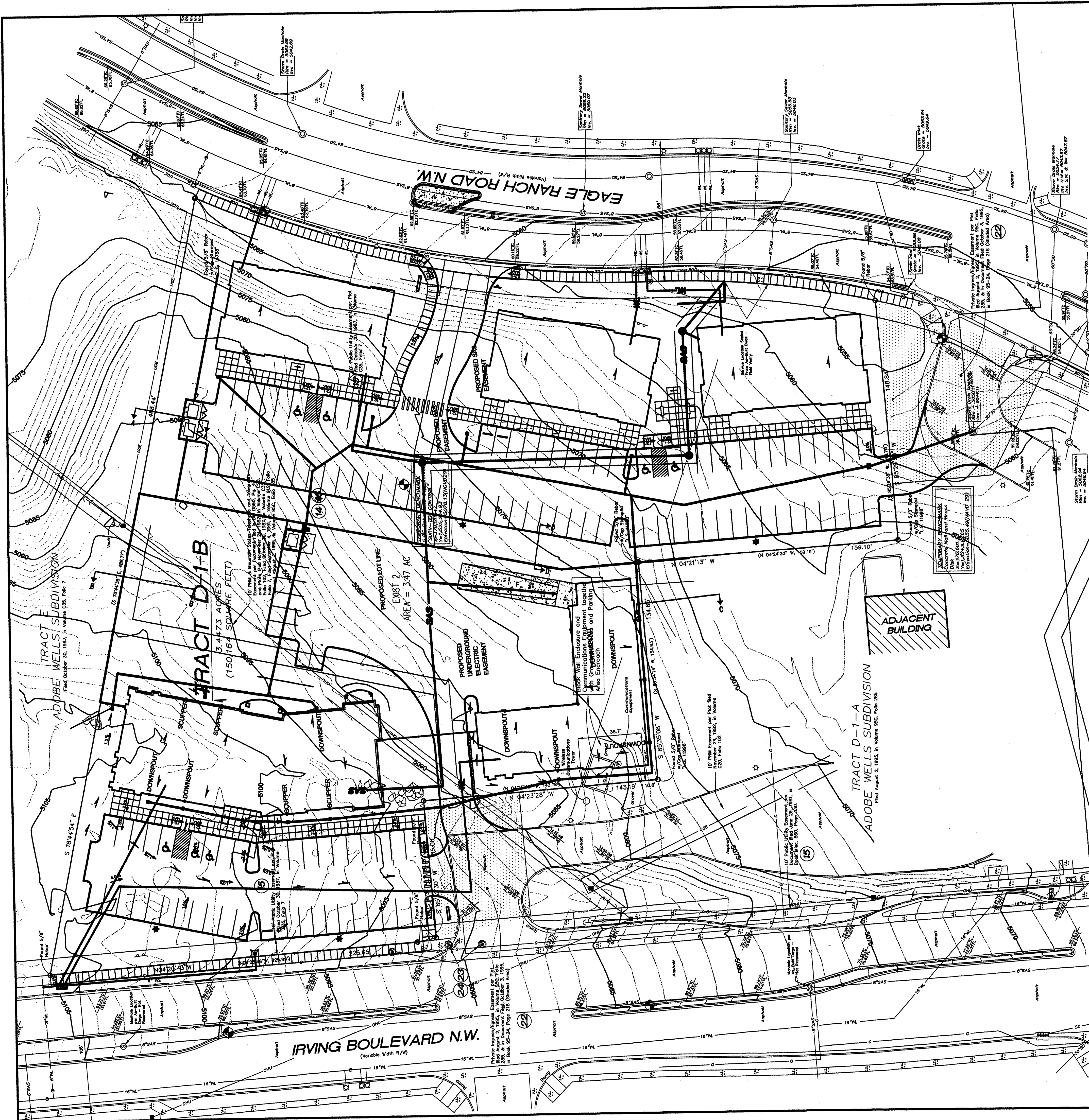
AQUATIC CONSULTANTS, INC
OFFICE BUILDING/ COMPLEX
4411 IRVING BLVD. NW
ALBUQUERQUE, NEW MEXICO 87114

EPC CASE NO. 06EPC 00470
ORIGINAL EPC CASE NO. Z-91-6
TRACT D-1-B ADOBE WELLS SUBDIVISION
JULY 2006

SHEET TITLE
OFFICE BUILDING B,C & D
BUILDING ELEVATIONS

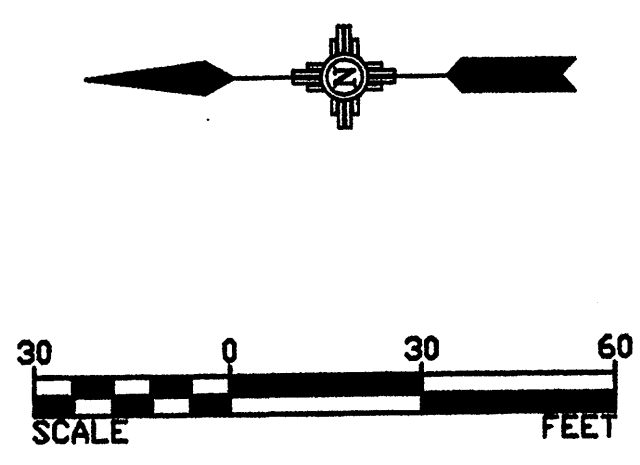
A-203

AQUATIC CONSULTANTS, INC - OFFICE BUILDING/ COMPLEX



LEGEND

- ▲ POWER POLE W/FEED
- ★ LIGHT POLE
- DROP INLET
- ⊙ STORM DRAIN MANHOLE
- ⊕ SANITARY SEWER MANHOLE
- ⊗ GAS VALVE
- MONITOR WELL
- WATER METER
- ◇ WATER VALVE
- HYDRANT
- ⋄ GUY WIRE
- POWER POLE



ARCHITECTS

Fanning Bard Tatum Architects AIA, Ltd.

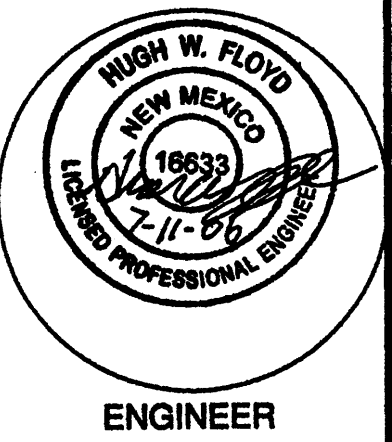
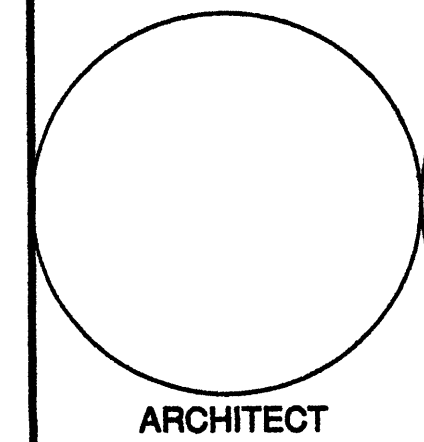
6100 Indian School Rd. NE Ste 210
Albuquerque NM 87110

Phone 505/883.5200
Facsimile 505/884.5390
Web www.fbtarch.com

CONSULTANT

CIVIL:
EASTERLING CONSULTANTS LLC
3613 NM 528 NW, SUITE E-2
ALBUQUERQUE, NM 87114

LANDSCAPE:
SUNRISE LANDSCAPE MAINTENANCE
620 COSO AVENUE SE, SUITE D
ALBUQUERQUE, NM 87105



MARK	DATE	DESCRIPTION

AQUATIC CONSULTANTS, INC
OFFICE BUILDING/ COMPLEX
4411 IRVING BLVD. NW
ALBUQUERQUE, NEW MEXICO 87114

ORIGINAL EPC CASE NO. Z-91-6
TRACT D-1-B ADOBE WELLS SUBDIVISION
MAY 2006

SHEET TITLE

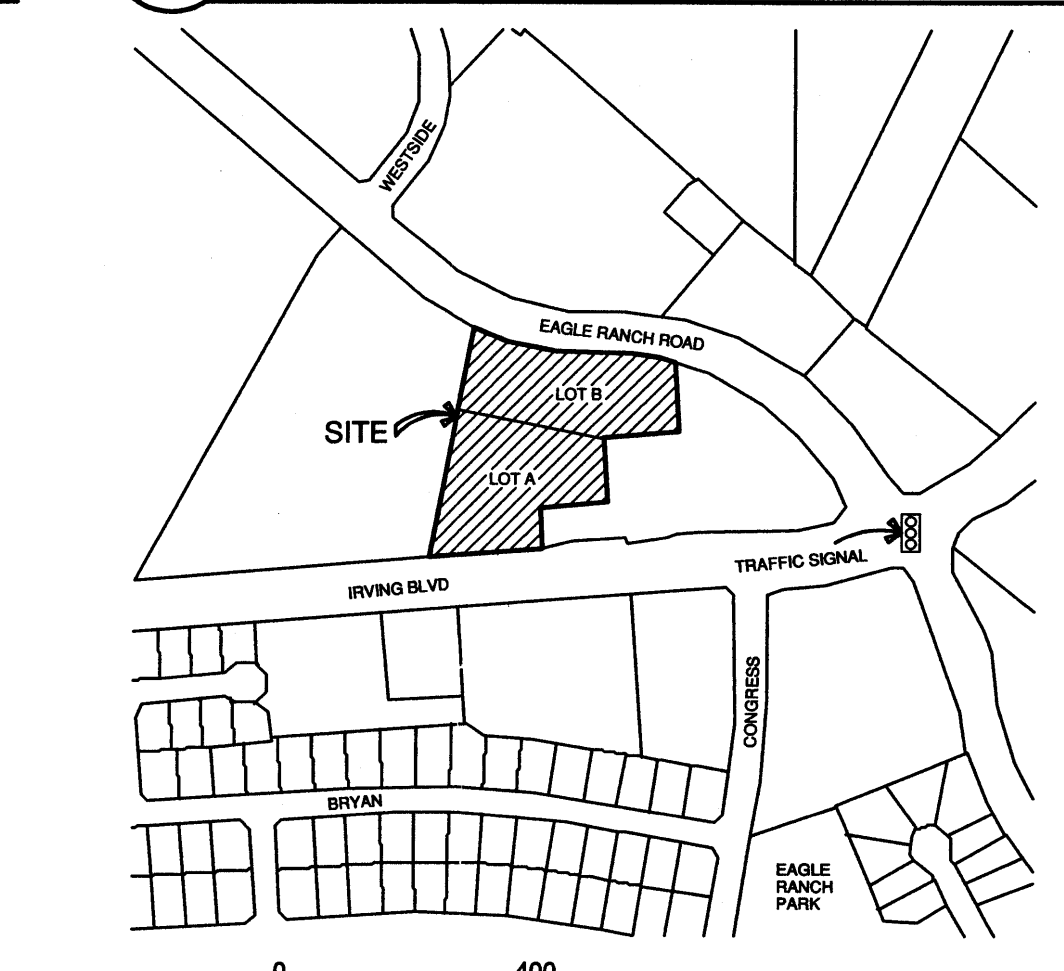
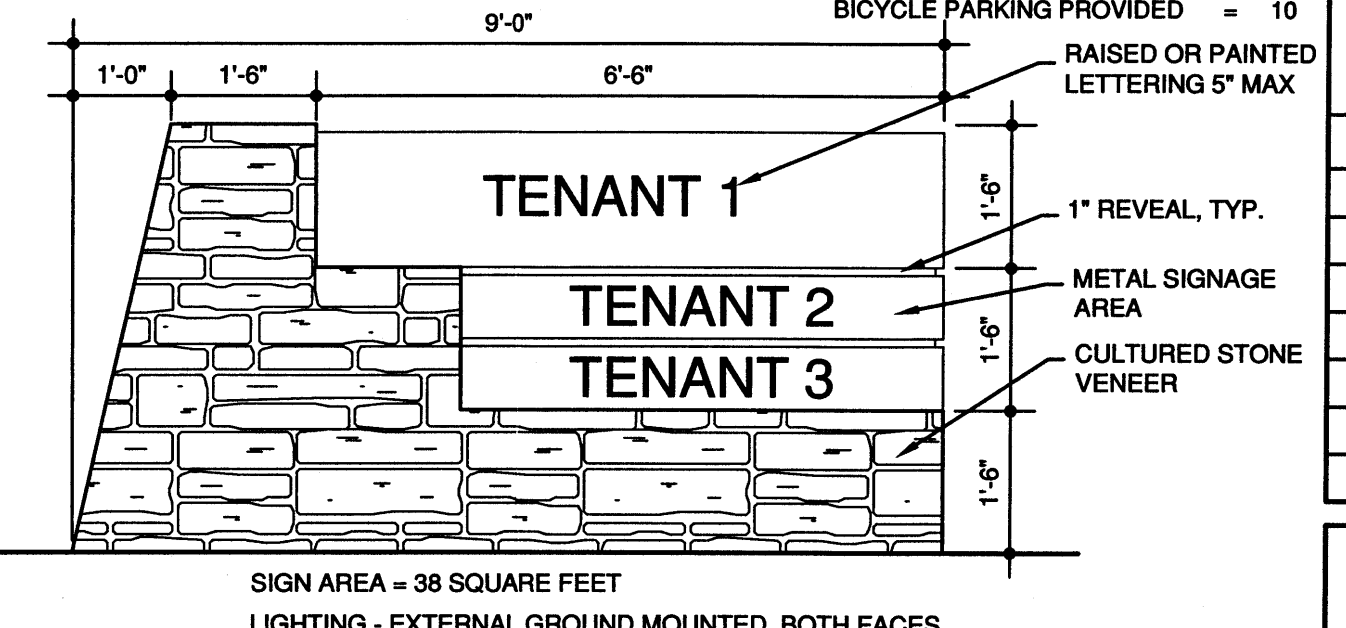
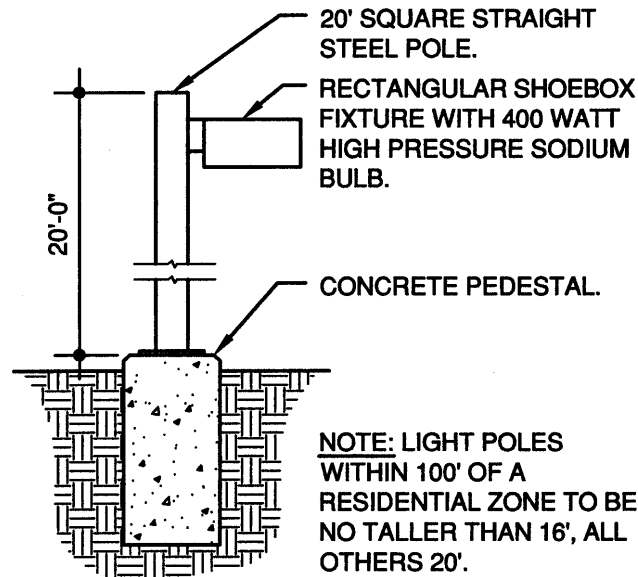
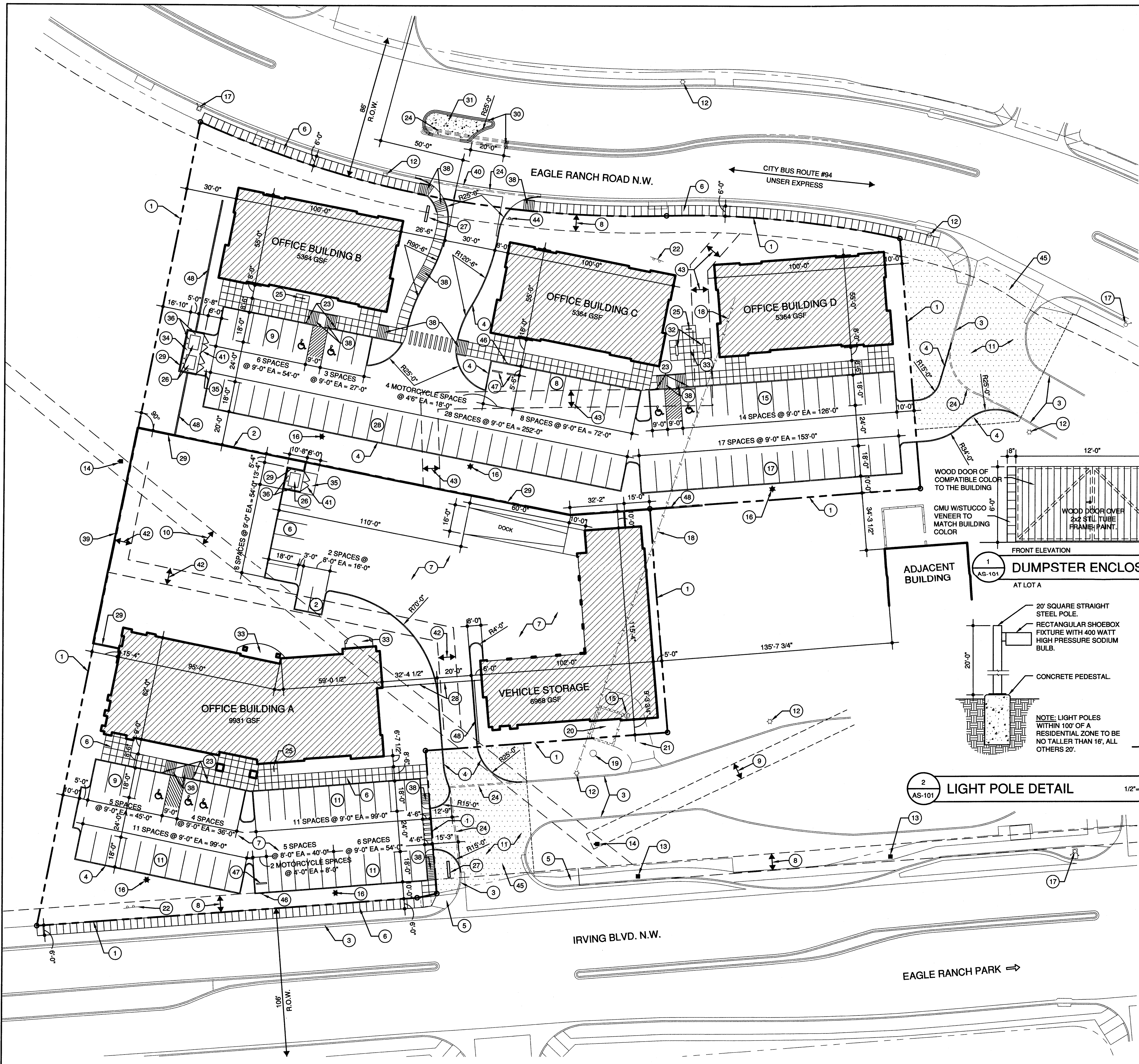
PRELIMINARY UTILITY PLAN

C-104

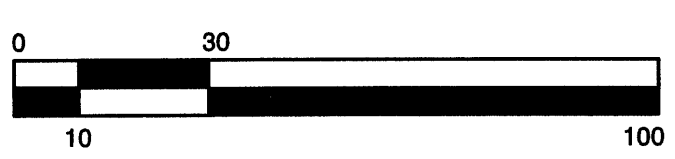
KEYED NOTES

1. EXISTING PROPERTY LINE
2. PROPOSED PROPERTY LINE
3. EXISTING CONCRETE CURB
4. NEW CONCRETE CURB
5. EXISTING CONCRETE SIDE WALK
6. NEW CONCRETE SIDEWALK
7. NEW ASPHALT PAVING
8. 10' PUBLIC UTILITY EASEMENT
9. 10' PNM EASEMENT
10. 10' PNM & MOUNTAIN STATES TELEPHONE AND TELEGRAPH EASEMENT TO BE RELOCATED.
11. PRIVATE INGRESS/ EGRESS EASEMENT.
12. EXISTING LIGHT POLE
13. EXISTING POWER POLE
14. EXISTING POWER POLE W/FEED
15. EXISTING ELECTRIC METER TO BE RELOCATED BY CRICKET COMMUNICATIONS.
16. NEW PARKING LOT LIGHTING. SEE DETAIL 2/AS-101 THIS SHEET.
17. EXISTING FIRE HYDRANT
18. EXISTING FENCE TO BE REMOVED
19. EXISTING WIRELESS COMMUNICATIONS TOWER
20. EXISTING BLOCK WALL ENCLOSURE AND COMMUNICATIONS EQUIPMENT TO BE RELOCATED BY CRICKET COMMUNICATIONS.
21. GRAVEL ACCESS AND PARKING AREA ENCROACH TO BE REMOVED BY CRICKET COMMUNICATIONS.
22. REMOVE EXISTING SIGN
23. ACCESSIBLE PARKING SIGN TYPICAL AT ALL ACCESSIBLE PARKING SPACES.
24. DEMO. EXISTING CURB
25. BICYCLE PARKING FOR 5 BICYCLES
26. DUMPSTER
27. NEW MONUMENT SIGN. SEE DETAIL 3/AS-101 THIS SHEET.
28. 6" HIGH WROUGHT IRON FENCE AND GATE
29. 6" HIGH YARD WALL W/TUCCO VENEER TO MATCH BUILDING COLOR.
30. NEW MEDIAN CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARDS.
31. NEW MEDIAN CONCRETE PAVING TO MATCH NEARBY PAVING.
32. BENCH
33. PUBLIC/EMPLOYEE OUTDOOR SPACE.
34. 6" THICK CONCRETE SLAB
35. 6" THICK CONCRETE APRON
36. 4" HIGH, 2" THICK STEEL BOLLARDS
37. PAINTED METAL DOOR
38. NEW ACCESSIBLE RAMP
39. 6" HIGH YARD WALL TO BE CONSTRUCTED BY ADJACENT PROPERTY OWNER
40. NEW VALLEY GUTTER PER CITY OF ALBUQUERQUE STANDARDS
41. WOOD DOOR OF COMPATIBLE COLOR TO THE BUILDING.
42. NEW 10' ELECTRICAL EASEMENT
43. NEW 10' GAS EASEMENT
44. NO LEFT TURN SIGN POST
45. EXISTING SITE DRIVE
46. MOTORCYCLE PARKING SIGN
47. CONCRETE PARKING BUMPER
48. RETAINING WALL

ADDRESS	PARKING - LOT A
4411 IRVING BLVD. NW ALBUQUERQUE, NM 87114	OFFICE BUILDING A 9451 NSF/200 = 47
OWNER AQUATIC CONSULTANTS, INC 4415 HAWKINS ST. NE, SUITE D, ALBUQUERQUE, NM 87109	VEHICLE STORAGE 6689 NSF/2000 = 3
LEGAL DESCRIPTION TRACT D-1-B ADOBE WELLS SUBDIVISION	TOTAL PARKING REQUIRED = 50
SEISMIC ZONE 2B	TOTAL PARKING PROVIDED = 50
ZONING C-2 COMMUNITY COMMERCIAL ZONE	ACCESSIBLE PARKING REQUIRED = 3
LOT SIZE LOT A - 1.71 ACRES LOT B - 1.73 ACRES	ACCESSIBLE PARKING PROVIDED = 3
BUILDING HEIGHT 28' AT ANY LEGAL LOCATION	VAN ACCESSIBLE PARKING REQUIRED = (1)
BUILDING SETBACK 5' MIN. - FRONT AND SIDE 11' MIN. - FROM DRIVEWAY/ ALLEY/ PUBLIC SIDEWALK	VAN ACCESSIBLE PARKING PROVIDED = (1)
	MOTOR CYCLE PARKING REQUIRED = 2
	MOTOR CYCLE PARKING PROVIDED = 2
	BICYCLE PARKING REQUIRED = 3
	BICYCLE PARKING PROVIDED = 5
	PARKING - LOT B
	OFFICE BUILDING B 5200 NSF/200 = 26
	OFFICE BUILDING C 5200 NSF/200 = 26
	OFFICE BUILDING D 5200 NSF/200 = 26
	TOTAL PARKING REQUIRED = 78
	10% TRNSIT REDUCTION = (8)
	TOTAL PARKING PROVIDED = 70
	W/ REDUCTION = 79
	TOTAL PARKING REQUIRED = 4
	ACCESSIBLE PARKING PROVIDED = 4
	VAN ACCESSIBLE PARKING REQUIRED = (1)
	VAN ACCESSIBLE PARKING PROVIDED = (2)
	MOTOR CYCLE PARKING REQUIRED = 3
	MOTOR CYCLE PARKING PROVIDED = 4
	BICYCLE PARKING REQUIRED = 4
	BICYCLE PARKING PROVIDED = 10



SITE PLAN 1" = 30'-0"



CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 6/28/06
M.H.

VICINITY MAP

ARCHITECTS
Fanning Bard Tatum Architects AIA, Ltd.
6100 Indian School Rd. NE Ste 210
Albuquerque NM 87110
Phone 505/883.5200
Facsimile 505/884.5390
Web www.fbtarch.com

NOT FOR CONSTRUCTION

ARCHITECT ENGINEER

MARK	DATE	DESCRIPTION

AQUATIC CONSULTANTS, INC
OFFICE BUILDING/ COMPLEX
4411 IRVING BLVD. NW
ALBUQUERQUE, NEW MEXICO 87114
ORIGINAL EPC CASE NO. Z-91-6
TRACT D-1-B ADOBE WELLS SUBDIVISION
JUNE 2006

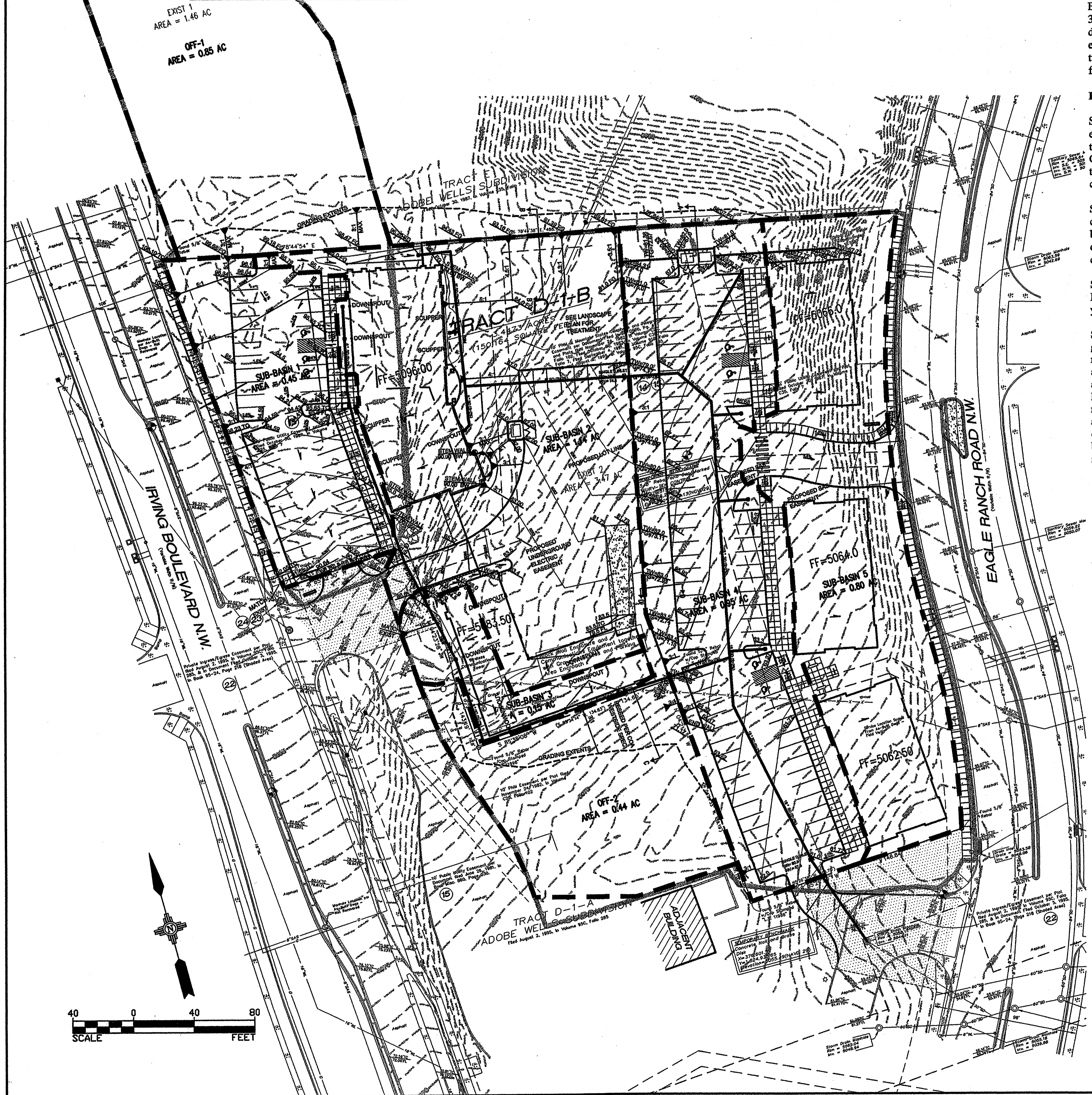
SHEET TITLE
SITE PLAN

AS-101

AQUATIC CONSULTANTS, INC - OFFICE BUILDING/ COMPLEX

HYDROLOGY SUMMARY												
PROJECT NAME:	Aquatics Office Building											
JOB NUMBER:	0	AREA	LAND TREATMENTS				10 YEAR		100 YEAR			
BASIN	COND.	(acres)	A	B	C	D	Q	VOLUME (ac.ft.)	Q	VOLUME (ac.ft.)		
EXIST to CU	UNDEV	1.46	85.0%	0.0%	15.0%	0.0%	0.6	0.016	0.016	2.23	0.064	0.064
EXIST to ER	UNDEV	3.47	85.0%	0.0%	15.0%	0.0%	1.5	0.039	0.039	5.30	0.151	0.151
Sub 1	DEV	0.45	0.0%	0.0%	15.0%	85.0%	1.2	0.042	0.052	1.87	0.068	0.083
Sub 2	DEV	1.14	0.0%	0.0%	25.0%	75.0%	2.9	0.098	0.120	4.53	0.163	0.196
Sub 3	DEV	0.15	0.0%	0.0%	5.0%	95.0%	0.8	0.027	0.034	1.16	0.043	0.053
Sub 4	DEV	0.95	0.0%	0.0%	30.0%	70.0%	2.3	0.079	0.096	3.72	0.133	0.158
Sub 5	DEV	0.80	0.0%	0.0%	42.0%	58.0%	1.8	0.060	0.072	2.98	0.103	0.121
OFF-1	UNDEV	0.85	100.0%	0.0%	0.0%	0.0%	0.2	0.006	0.006	1.10	0.031	0.031
OFF-2	UNDEV	0.44	100.0%	0.0%	0.0%	0.0%	0.1	0.003	0.003	0.57	0.016	0.016
		0.00	0.0%	0.0%	0.0%	0.0%	0.0	0.000	0.000	0.00	0.000	0.000

INPUT DATA:	RAINFALL DEPTHS (INCHES) AT 100-YEAR STORM				
	1 HOUR	6 HOUR	24 HOUR	4 DAY	
	1.87	2.20	2.66	3.12	



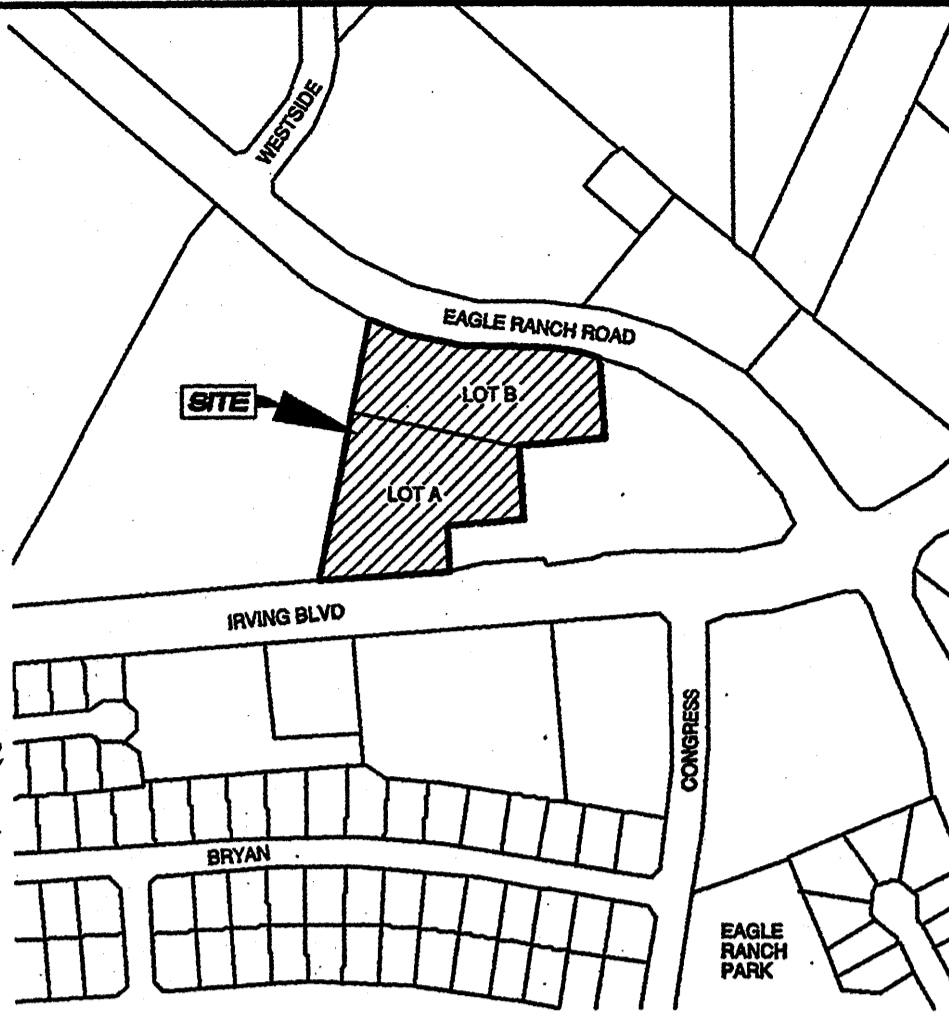
The project area is designated as Tract D-1-B of Adobe Wells. It is covered by SAD 224 which called for the new 84" storm drain in Eagle Ranch Road and allows free discharge from Adobe Wells. A 30" RCP sub connected to the Eagle Ranch storm drain system extends to a manhole near the southern edge of this property. This manhole is located in Tract D-1-A, in the Eagle Ranch entrance. A cross drainage easement is granted by Tract D-1-A to Tract D-1-B by plat dated 07-07-95 with a DRB Case No. of 95-333. Tract D-1-B is 3.4473 acres and will be split into two lots with the lower granting a cross drainage easement to the upper (western lot).

Hydrology calculations were performed based on the Albuquerque DPM Chapter 22.2. Tract D-1-B is in Zone 1 (Figure A-1 of DPM). A rainfall of 2.66" is used for the 100-yr 24-hr storm. The site is broken into seven sub-basins for analysis. The areas and calculated runoff volumes and peak flow rates are shown in the adjacent table along with two existing sub-basins.

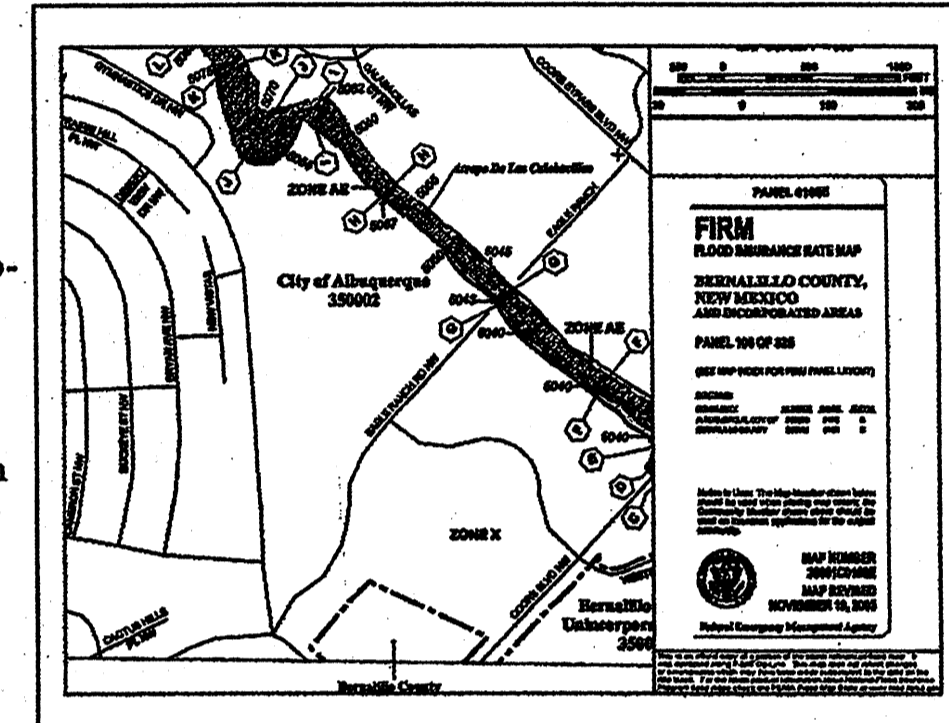
Existing condition
The existing site slopes steeply (approx. 8%) to the east and south. Per Sheet 12 of the Soil Survey of Bernalillo County (USDA, 1977) the soil on site is Bluepoint-Kokan (BKD) which is a gravelly sand mix. Per FIRM Map Number 35001C0108E there is no flood zone on this property. Currently runoff discharges over the curb into Eagle Ranch Road (EXIST 2) and to the existing entrance to Irving Boulevard (EXIST 1) which drains through Tract D-1-A to two a Double D inlet at the downstream edge of the site. The 100-yr, 24-hr flow rates are 5.31 and 2.23 cfs respectively.

Proposed Conditions
Sub-basins 2, 3, 4, OFF-1, and OFF-2 ultimately drain to the manhole in the existing entrance to Eagle Ranch. This manhole has a 30" RCP connection to the storm drain system in Eagle Ranch Road and was constructed as a part of City Project No. 4296.90 which was completed in 1991. The total discharge to this point is 11 cfs. The existing 30" SD has a slope of 4% and thus a pipe full capacity of 88 cfs.
Sub-basin 1 drains to the existing entrance off of Irving Boulevard. This is the current discharge point of the EXIST 1 sub-basin as mentioned above. This sub-basin includes part of this site and the adjacent site to the north. The existing discharge to this point is 2.23 cfs, and is reduced to 1.87 cfs in the proposed condition.
Sub-basin 5 drains to Eagle Ranch Road. The existing flow rate to Eagle Ranch Road is 5.31 cfs, whereas the discharge from Sub-basin 5 is 2.98 cfs in the 100-yr, 24-hr storm.

Site grading incorporates 3:1 slopes, retaining walls and stem walls, but generally tends to slope in the same direction as the existing site. There is a retaining wall between the upper and lower lots. There is also a stem wall associated with Building A along the south and east sides that varies between 2' and 4' of depth. There is also a retaining wall along the northern edge of the lower lot. The grading plan shows a cut slope into the adjacent property to the north. This cut has been coordinated with the owner of this lot and the plan aims to match the planned grades on the adjacent lot. There is also a fill slope on the adjacent lot to the south (TRACT D-1-A). This grading is being allowed by the adjacent property owner. Signature blocks are shown for each of these sites to show concurrence by the respective owners.



VICINITY MAP
NOT TO SCALE

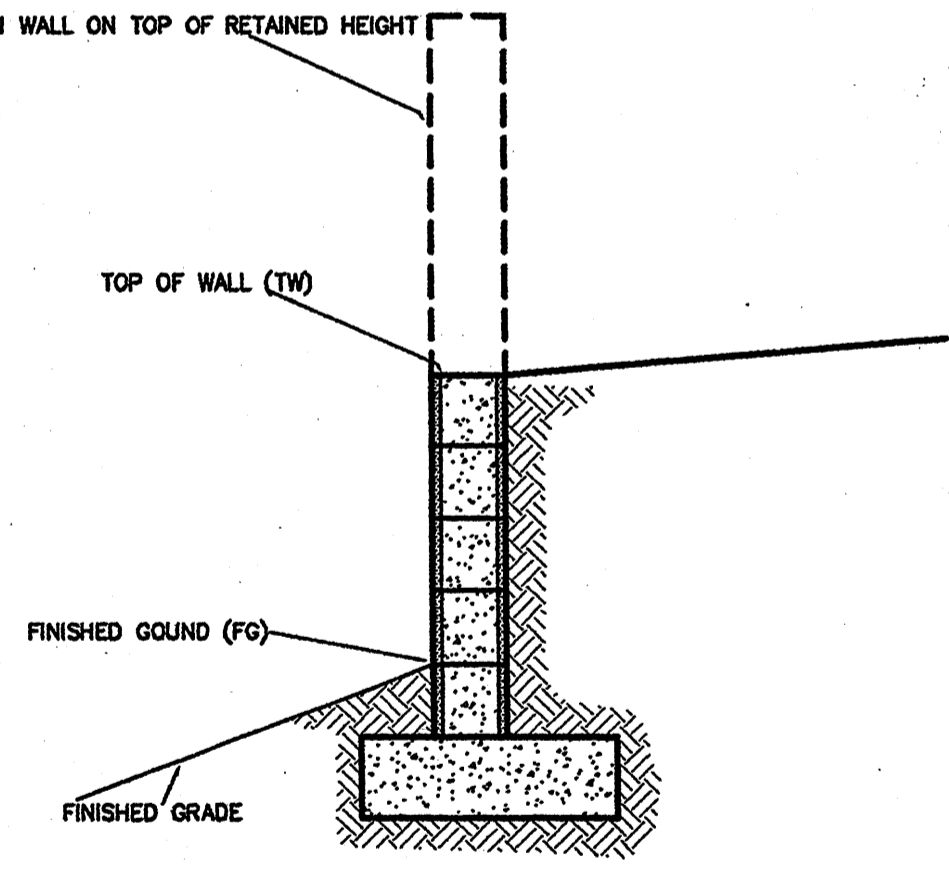


FIRM
FLOOD HAZARD MAP
BERNILLICO COUNTY, NEW MEXICO
ALBUQUERQUE, NM 87105
DATE: 10-20-06
SCALE: 1" = 100'

LEGEND

- 40.35 SPOT ELEVATION
- TC TOP OF CURB/CONCRETE
- FG FINISHED GROUND
- FL FLOWLINE
- ▲ SLOPE DIRECTION
- FLOW ARROW
- EXISTING BASIN BOUNDARY
- BASIN BOUNDARY

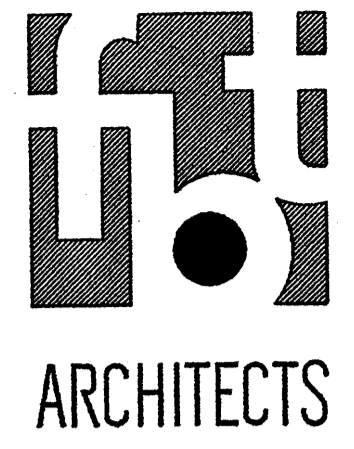
NOTE:
ALL SPOT ELEVATIONS ARE
FLOWLINE UNLESS OTHERWISE
DESIGNATED.



RETAINING WALL TYPICAL DESIGNATIONS
SEE STRUCTURAL SHEET FOR WALL DESIGN

I, *James E. Rouse*, representative for TRACT D-1-A, ADOBE WELLS SUBDIVISION, consent to the grading extents and slopes as displayed on this plan.
SIGNATURE: *James E. Rouse* DATE: 6-20-06

I, *Charles S. Gars*, representative for TRACT E, ADOBE WELLS SUBDIVISION, consent to the grading extents and slopes as displayed on this plan.
SIGNATURE: *Charles S. Gars* DATE: *6/20/06*



Fanning Bard Tatum Architects AIA, Ltd.

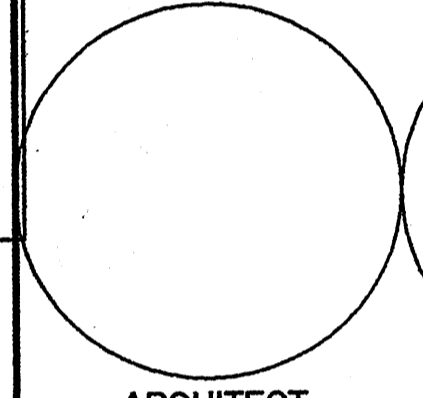
6100 Indian School Rd. NE Ste 210
Albuquerque NM 87110

Phone 505/883.5200
Facsimile 505/884.5390
Web www.fbtarch.com

CONSULTANT

CIVIL:
EASTERLING CONSULTANTS LLC
3613 NM 528 NW, SUITE E-2
ALBUQUERQUE, NM 87114

LANDSCAPE:
SUNRISE LANDSCAPE MAINTENANCE
620 COSO AVENUE SE, SUITE D
ALBUQUERQUE, NM 87105



ARCHITECT



ENGINEER

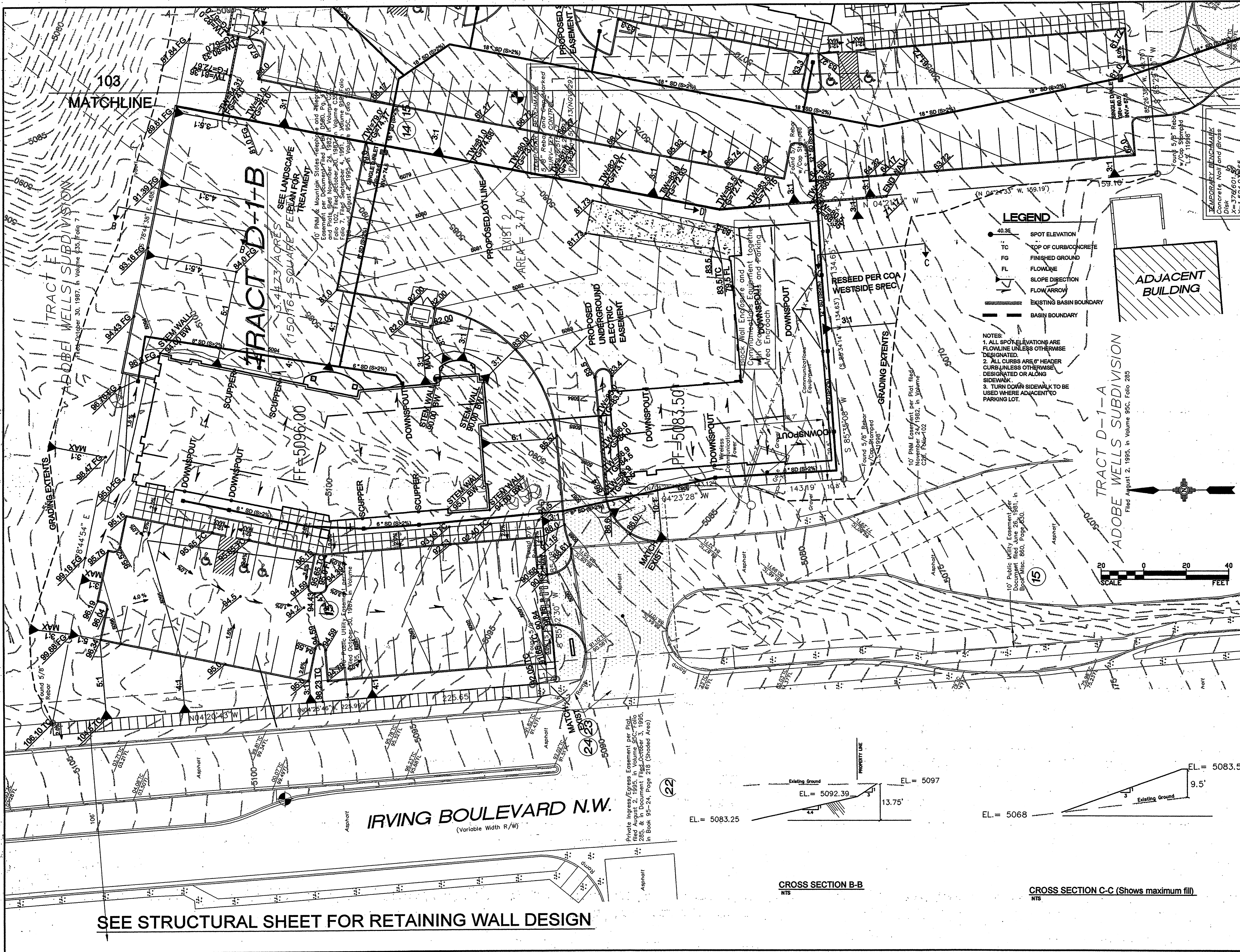
MARK	DATE	DESCRIPTION

AQUATIC CONSULTANTS, INC
OFFICE BUILDING/ COMPLEX
4411 IRVING BLVD. NW
ALBUQUERQUE, NEW MEXICO 87114

ORIGINAL EPC CASE NO. Z-91-6
TRACT D-1-B ADOBE WELLS SUBDIVISION
MAY 2006

SHEET TITLE
DRAINAGE PLAN

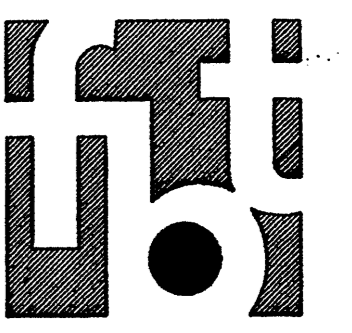
C-101



SEE STRUCTURAL SHEET FOR RETAINING WALL DESIGN

CROSS SECTION B-B
NTS

CROSS SECTION C-C (Shows maximum fill)
NTS



ARCHITECTS

Fanning Bard Tatum Architects AIA, Ltd.

6100 Indian School Rd. NE Ste 210
Albuquerque NM 87110

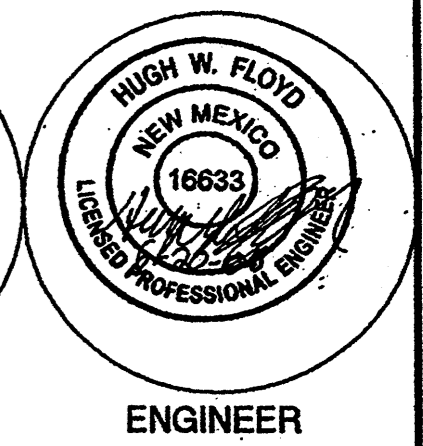
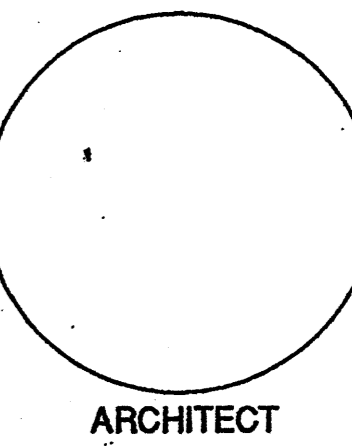
Phone 505/883.5200
Facsimile 505/884.5390
Web www.fbtarch.com

CONSULTANT

CIVIL:
EASTERLING CONSULTANTS LLC
3613 NM 528 NW, SUITE E-2
ALBUQUERQUE, NM 87114

LANDSCAPE:

SUNRISE LANDSCAPE MAINTENANCE
620 COSO AVENUE SE, SUITE D
ALBUQUERQUE, NM 87105



MARK	DATE	DESCRIPTION

AQUATIC CONSULTANTS, INC

OFFICE BUILDING/ COMPLEX
4411 IRVING BLVD. NW
ALBUQUERQUE, NEW MEXICO 87114

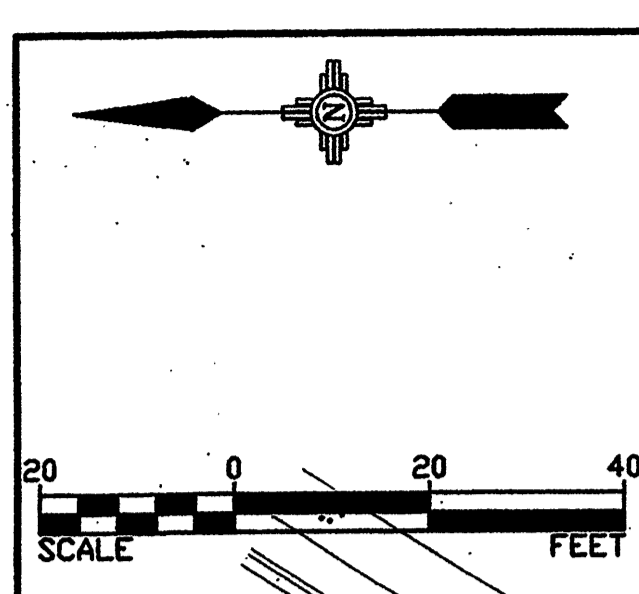
ORIGINAL EPC CASE NO. Z-91-6
TRACT D-1-B ADOBE WELLS SUBDIVISION

MAY 2006

SHEET TITLE

GRADING PLAN - SHEET 1

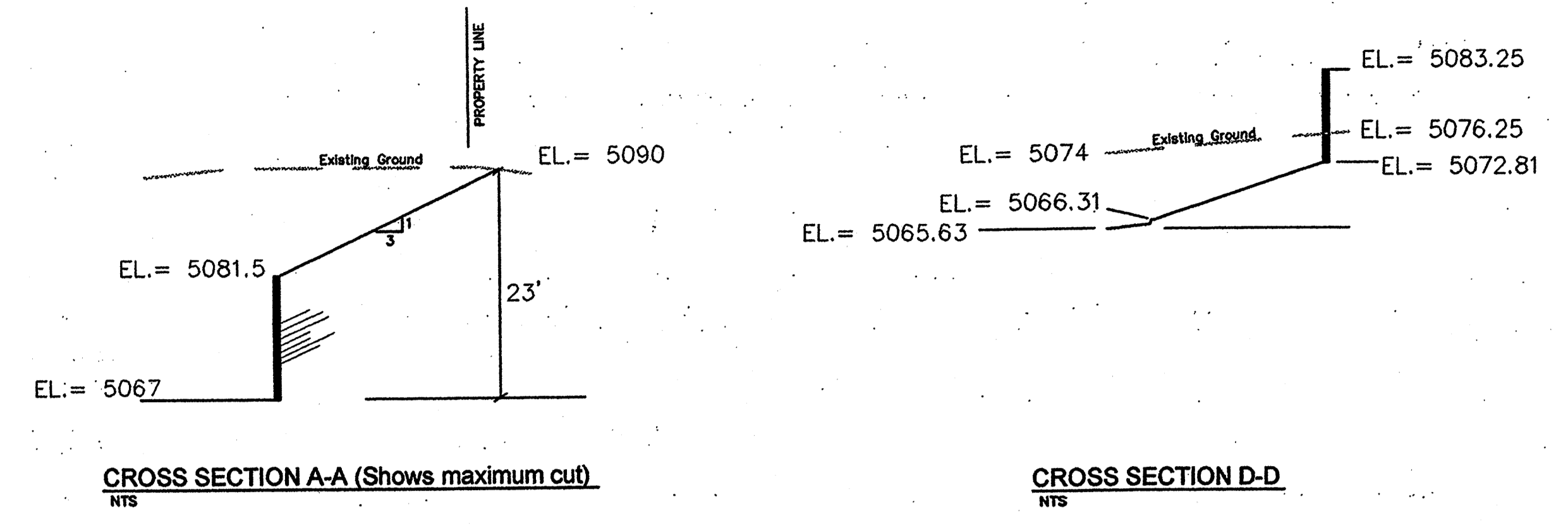
C-102



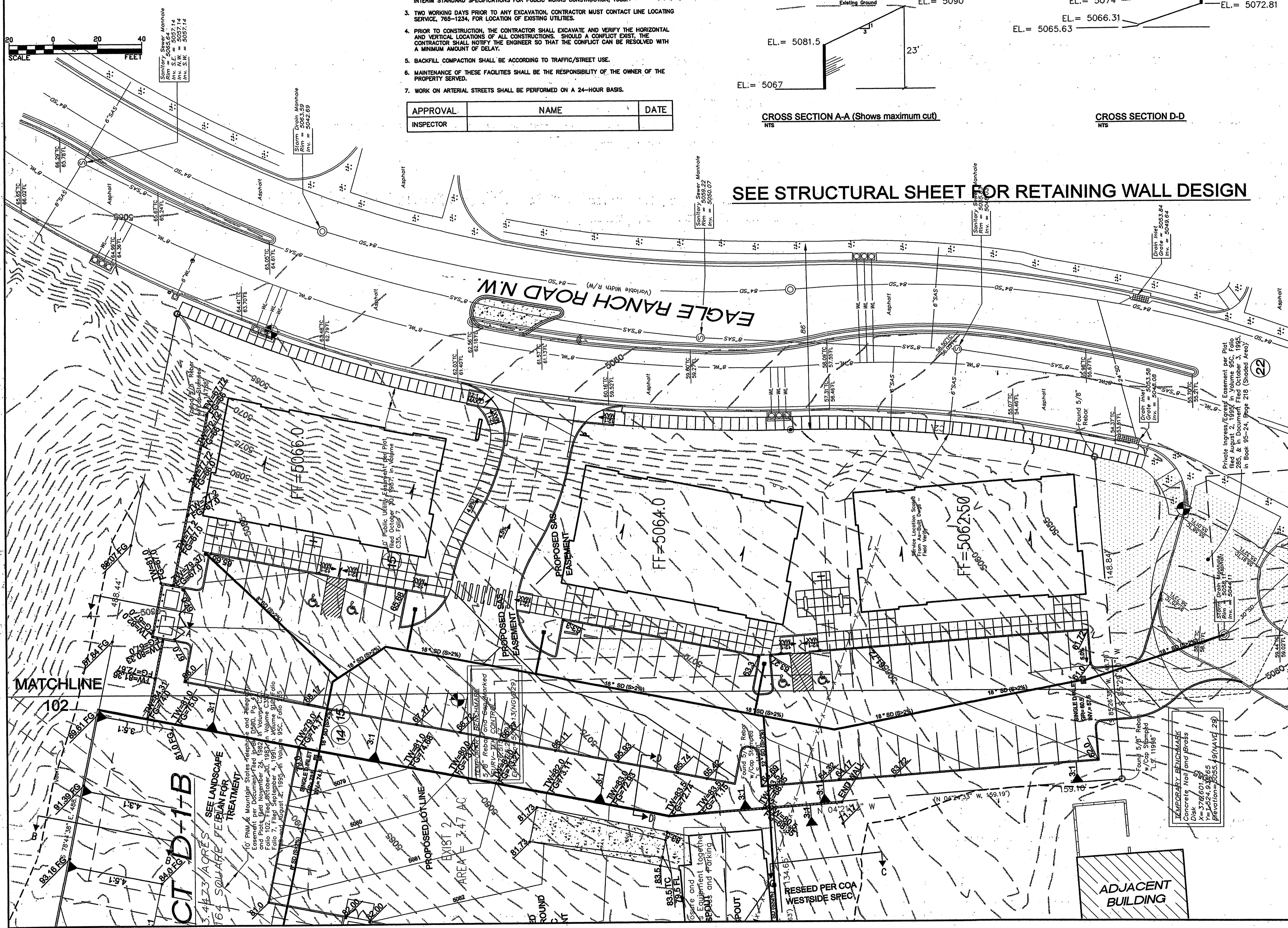
80-19
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		



SEE STRUCTURAL SHEET FOR RETAINING WALL DESIGN



ARCHITECTS
Fanning Bard Tatum Architects AIA, Ltd.
6100 Indian School Rd. NE Ste 210
Albuquerque NM 87110
Phone 505/883.5200
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Web www.fbtarch.com

CONSULTANT

CIVIL:
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ALBUQUERQUE, NM 87114

LANDSCAPE:
SUNRISE LANDSCAPE MAINTENANCE
620 COSO AVENUE SE, SUITE D
ALBUQUERQUE, NM 87105

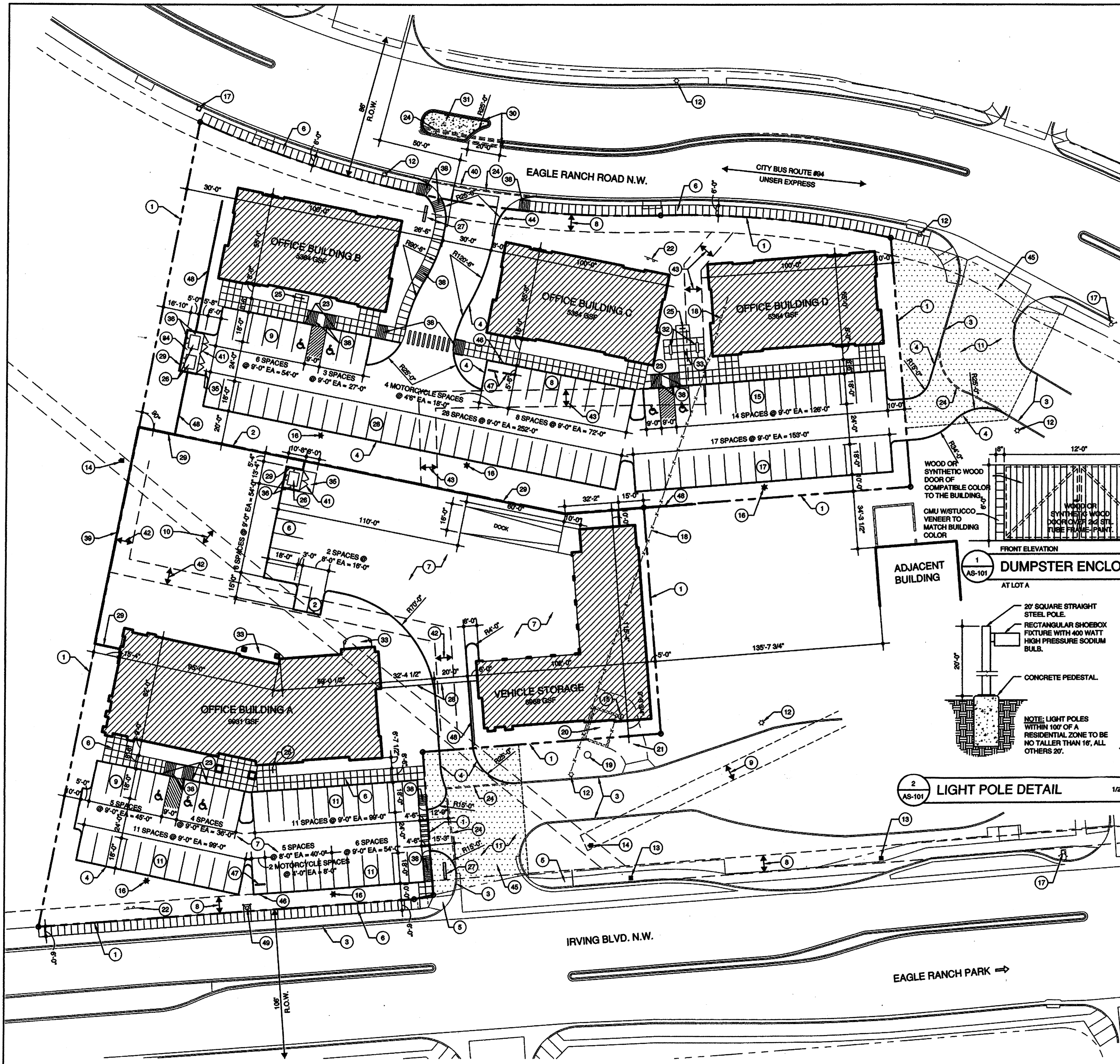
ARCHITECT
ENGINEER

MARK	DATE	DESCRIPTION

AQUATIC CONSULTANTS, INC
OFFICE BUILDING/ COMPLEX
4411 IRVING BLVD. NW
ALBUQUERQUE, NEW MEXICO 87114
ORIGINAL EPC CASE NO. Z-91-6
TRACT D-1-B ADOBE WELLS SUBDIVISION
MAY 2006

SHEET TITLE
GRADING PLAN - SHEET 2

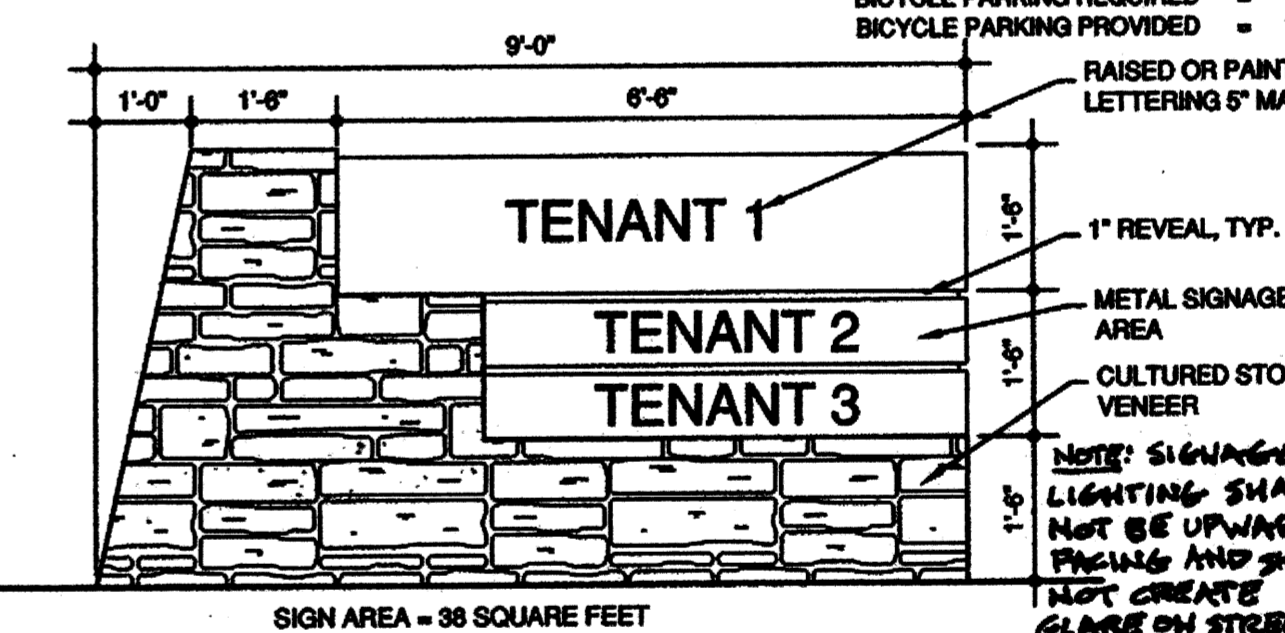
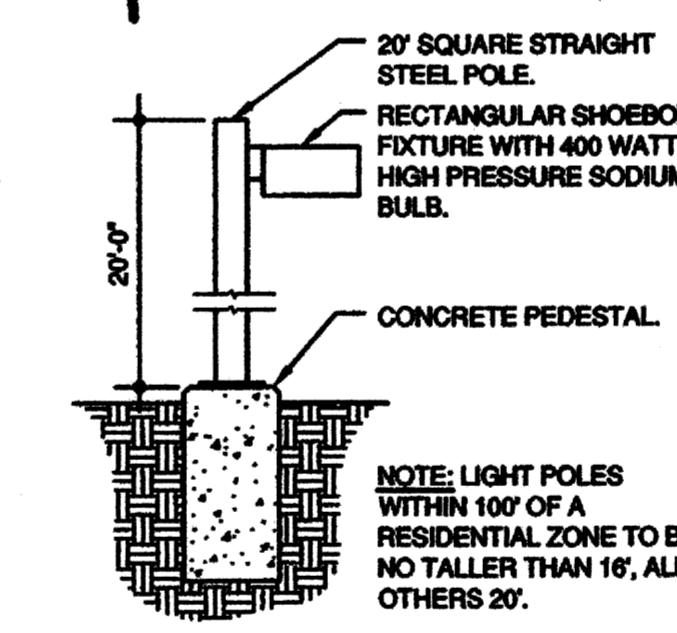
C-103



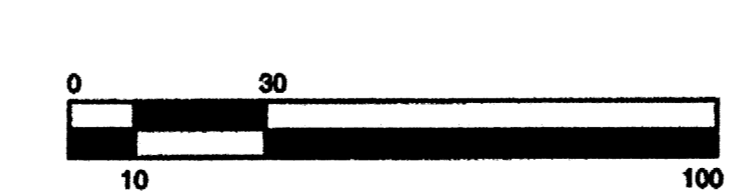
KEYED NOTES

1. EXISTING PROPERTY LINE
2. PROPOSED PROPERTY LINE
3. EXISTING CONCRETE CURB
4. NEW CONCRETE CURB
5. EXISTING CONCRETE SIDE WALK
6. NEW CONCRETE SIDEWALK
7. NEW ASPHALT PAVING
8. 10' PUBLIC UTILITY EASEMENT
9. 10' PNM EASEMENT
10. 10' PNM & MOUNTAIN STATES TELEPHONE AND TELEGRAPH EASEMENT TO BE RELOCATED.
11. PRIVATE INGRESS/ EGRESS EASEMENT.
12. EXISTING LIGHT POLE
13. EXISTING POWER POLE
14. EXISTING POWER POLE W/FEED
15. EXISTING ELECTRIC METER TO BE RELOCATED BY CRICKET COMMUNICATIONS.
16. NEW PARKING LOT LIGHTING. SEE DETAIL 2/AS-101 THIS SHEET.
17. EXISTING FIRE HYDRANT
18. EXISTING FENCE TO BE REMOVED
19. EXISTING WIRELESS COMMUNICATIONS TOWER
20. EXISTING BLOCK WALL ENCLOSURE AND COMMUNICATIONS EQUIPMENT TO BE RELOCATED BY CRICKET COMMUNICATIONS.
21. GRAVEL ACCESS AND PARKING AREA ENCROACH TO BE REMOVED BY CRICKET COMMUNICATIONS.
22. REMOVE EXISTING SIGN
23. ACCESSIBLE PARKING SIGN TYPICAL AT ALL ACCESSIBLE PARKING SPACES.
24. DEMO. EXISTING CURB
25. BICYCLE PARKING FOR 5 BICYCLES
26. DUMPSTER
27. NEW MONUMENT SIGN. SEE DETAIL 3/AS-101 THIS SHEET.
28. 6" HIGH WROUGHT IRON FENCE AND GATE
29. 6" HIGH YARD WALL W/STUCCO VENEER TO MATCH BUILDING COLOR.
30. NEW MEDIAN CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARDS.
31. NEW MEDIAN CONCRETE PAVING TO MATCH NEARBY PAVING.
32. BENCH
33. PUBLIC/EMPLOYEE OUTDOOR SPACE.
34. 6" THICK CONCRETE SLAB
35. 6" THICK CONCRETE APRON
36. 4" HIGH, 6" THICK STEEL BOLLARDS
37. PAINTED METAL DOOR
38. NEW ACCESSIBLE RAMP
39. 6" HIGH YARD WALL TO BE CONSTRUCTED BY ADJACENT PROPERTY OWNER.
40. NEW VALLEY GUTTER PER CITY OF ALBUQUERQUE STANDARDS
41. WOOD OR SYNTHETIC WOOD DOOR OF COMPATIBLE COLOR TO THE BUILDING.
42. NEW 10' SAG EASEMENT
43. NEW 10' SAG EASEMENT
44. NO LEFT TURN SIGN POST
45. EXISTING SITE DRIVE
46. MOTORCYCLE PARKING SIGN
47. CONCRETE PARKING BUMPER
48. NEW FIRE HYDRANT

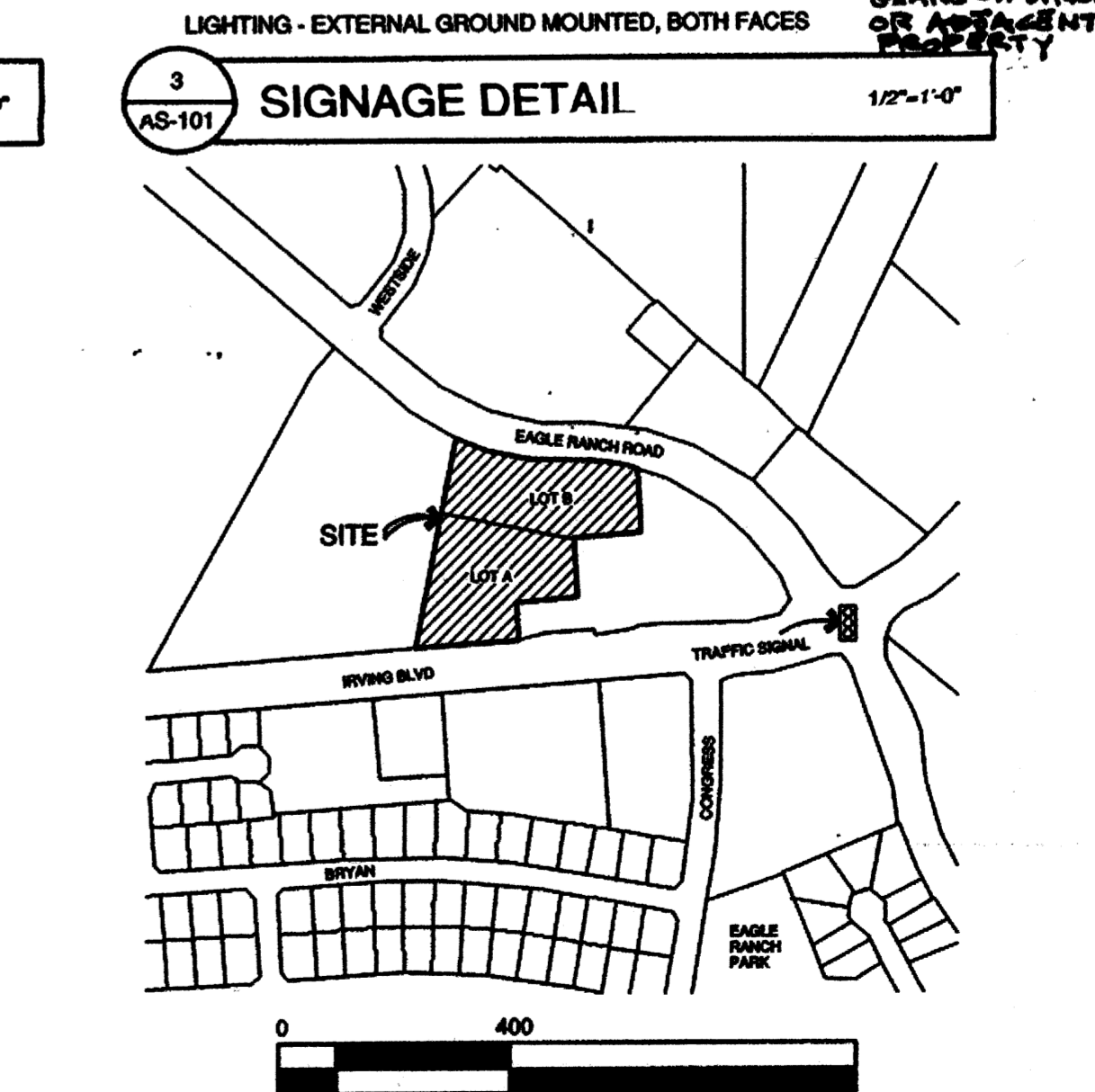
<input type="checkbox"/> ADDRESS	4411 IRVING BLVD. NW ALBUQUERQUE, NM 87114	<input type="checkbox"/> PARKING - LOT A	OFFICE BUILDING A 9451 NSF/200	- 47
<input type="checkbox"/> OWNER	AQUATIC CONSULTANTS, INC 4415 HAWKINS ST. NE, SUITE D, ALBUQUERQUE, NM 87109		VEHICLE STORAGE 6669 NSF/2000	- 3
<input type="checkbox"/> LEGAL DESCRIPTION	TRACT D-1-B ADOBE WELLS SUBDIVISION		TOTAL PARKING PROVIDED	- 50
<input type="checkbox"/> SEIZURE ZONE	2B		ACCESSIBLE PARKING REQUIRED	- 3
<input type="checkbox"/> ZONING	C-2 COMMUNITY COMMERCIAL ZONE		ACCESSIBLE PARKING PROVIDED	- 3
<input type="checkbox"/> LOT SIZE	LOT A - 1.71 ACRES LOT B - 1.73 ACRES		VAN ACCESSIBLE PARKING REQUIRED	- (1)
<input type="checkbox"/> BUILDING HEIGHT	26' AT ANY LEGAL LOCATION		VAN ACCESSIBLE PARKING PROVIDED	- (1)
<input type="checkbox"/> BUILDING SETBACK	5' MIN. - FRONT AND SIDE 11' MIN. - FROM DRIVEWAY/ ALLEY/ PUBLIC SIDEWALK		MOTOR CYCLE PARKING REQUIRED	- 2
			MOTOR CYCLE PARKING PROVIDED	- 2
			BICYCLE PARKING REQUIRED	- 3
			BICYCLE PARKING PROVIDED	- 3
			TOTAL PARKING REQUIRED	- 78
			10% TRANSIT REDUCTION	- (8)
			TOTAL PARKING REQUIRED W/ REDUCTION	- 70
			TOTAL PARKING PROVIDED	- 79
			ACCESSIBLE PARKING REQUIRED	- 4
			ACCESSIBLE PARKING PROVIDED	- 4
			VAN ACCESSIBLE PARKING REQUIRED	- (1)
			VAN ACCESSIBLE PARKING PROVIDED	- (2)
			MOTOR CYCLE PARKING REQUIRED	- 3
			MOTOR CYCLE PARKING PROVIDED	- 4
			BICYCLE PARKING REQUIRED	- 4
			BICYCLE PARKING PROVIDED	- 10



SITE PLAN 1" = 30'-0"



VICINITY MAP



fbt ARCHITECTS
 Fanning Bard Tatum Architects AIA, Ltd.
 6100 Indian School Rd. NE Ste 210
 Albuquerque NM 87110
 Phone 505/883.5200
 Facsimile 505/884.5390
 Web www.fbtarch.com

Project # 1004820
DRB SITE DEVELOPMENT PLAN
 SIGNOFF APPROVAL:
 Application # 06025-01007

7-19-06 DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
 7/19/06 DATE

WATER UTILITY DEPARTMENT
 Bradley A. Brigham DATE 7/19/06

PARK AND RECREATION City Department
 Christine Sandoral 7/19/06 DATE

OFF ENGINEER Parks & Rec. Dept DATE

ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE

SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT

PROJECT NUMBER 1004820
 APPLICATION NUMBER 06 DRB - 01007, 01008, 01009

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated May 16, 2006 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List Required? () Yes () No
 If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

AQUATIC CONSULTANTS, INC
 OFFICE BUILDING/ COMPLEX
 4411 IRVING BLVD. NW
 ALBUQUERQUE, NEW MEXICO 87114

EPC CASE NO. 06EPC 00470
 ORIGINAL EPC CASE NO. Z-91-6
 TRACT D-1-B ADOBE WELLS SUBDIVISION

JULY 2006

SHEET TITLE
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

AS-101

AQUATIC CONSULTANTS, INC - OFFICE BUILDING/ COMPLEX