

FIRST FLOOR PLAN

LEGEND

- STUDIO = 14 SUITES INCLUDES 2 ACCESSIBLE
- ONE BEDROOM = 6 SUITES
- TWO BEDROOM = 3 SUITES INCLUDES 1 ACCESSIBLE
- TOTAL = 23 SUITES

SCALE: 1" = 10'-0"

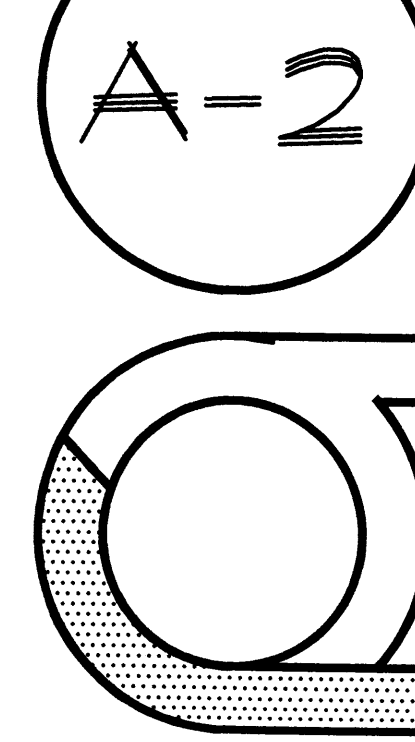
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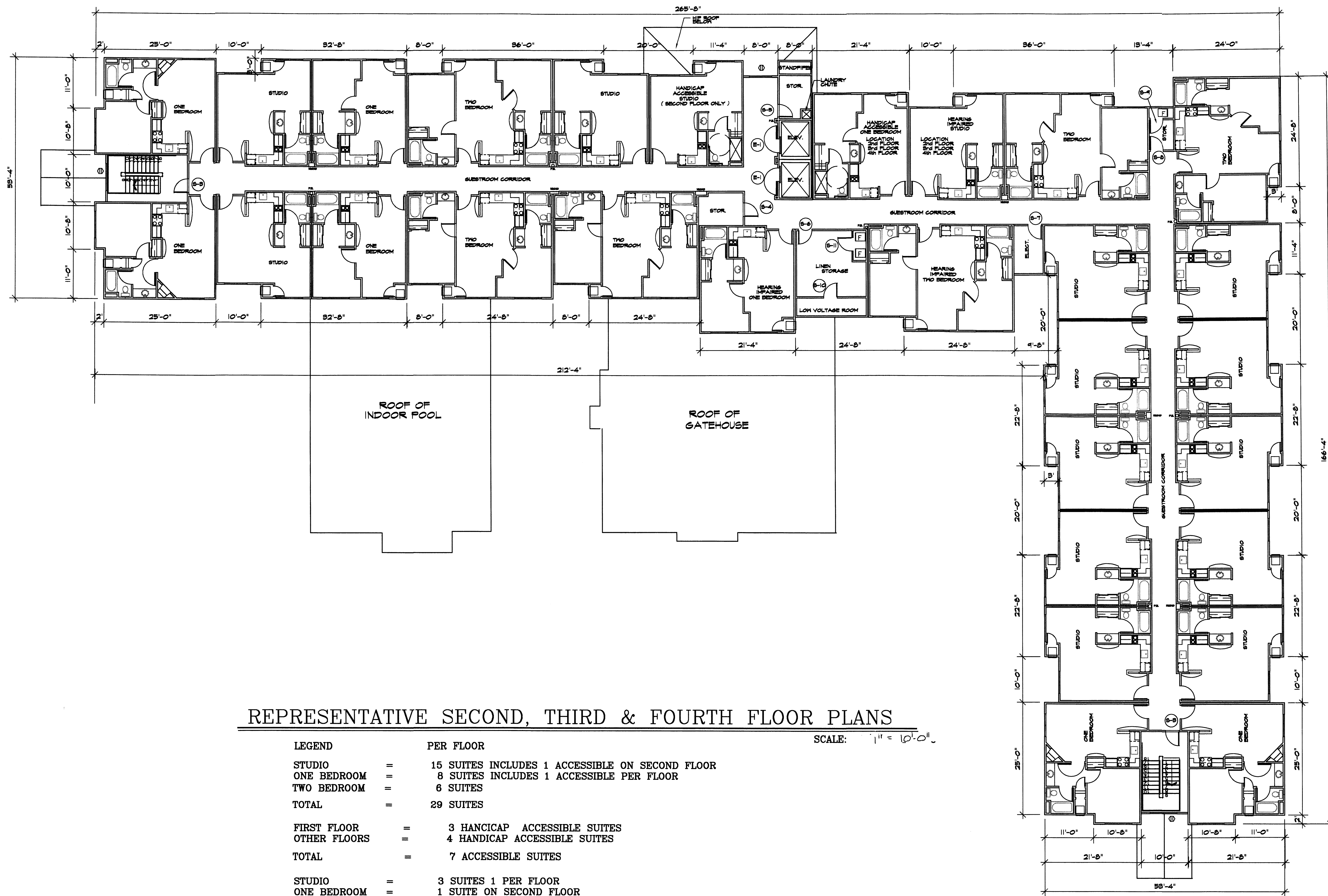
ADDRESS: 2801 INTERNATIONAL AVE. S.E.
ALBUQUERQUE, NEW MEXICO

SHEET TITLE:
FIRST FLOOR PLAN

JOB NO.:
DRAWN: TER
DATE: 11-28-06
REVISED: 01-08-07, 04-30-07

ROBSON & ASSOCIATES - ARCHITECTS
2801 JUAN TABO, N.E. SOUTH SUITE
ALBUQUERQUE, NEW MEXICO 87112
505 - 953 - 1176





REPRESENTATIVE SECOND, THIRD & FOURTH FLOOR PLANS

LEGEND	PER FLOOR
STUDIO	= 15 SUITES INCLUDES 1 ACCESSIBLE ON SECOND FLOOR
ONE BEDROOM	= 8 SUITES INCLUDES 1 ACCESSIBLE PER FLOOR
TWO BEDROOM	= 6 SUITES
TOTAL	= 29 SUITES
FIRST FLOOR	= 3 HANCIP ACCESSIBLE SUITES
OTHER FLOORS	= 4 HANCIP ACCESSIBLE SUITES
TOTAL	= 7 ACCESSIBLE SUITES
STUDIO	= 3 SUITES 1 PER FLOOR
ONE BEDROOM	= 1 SUITE ON SECOND FLOOR
TWO BEDROOM	= 1 SUITE ON SECOND FLOOR
TOTAL	= 5 HEARING IMPAIRED SUITES

SCALE: 1" = 10'-0"

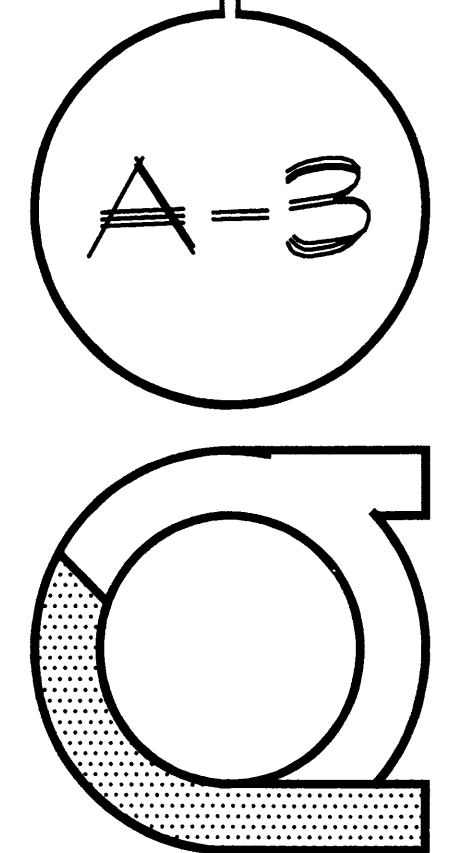
JOB NO.: ITR
 DRAWN: ITR
 DATE: 11-28-06
 REVISED: 01-09-07, 04-30-07

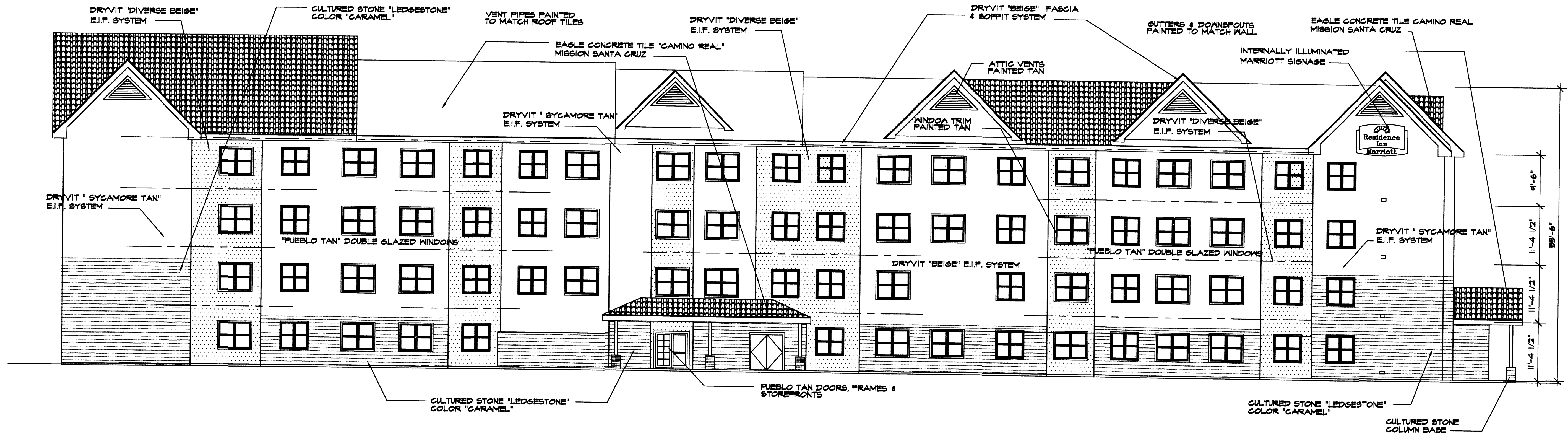
ROBSON & ASSOCIATES - ARCHITECTS
 2301 JUAN TABO, N.E. SOUTH SUITE
 ALBUQUERQUE, NEW MEXICO 87112
 505-352-1176

TITLE: MARRIOTT RESIDENCE INN

SHEET TITLE:
 REPRESENTATIVE FLOOR PLAN

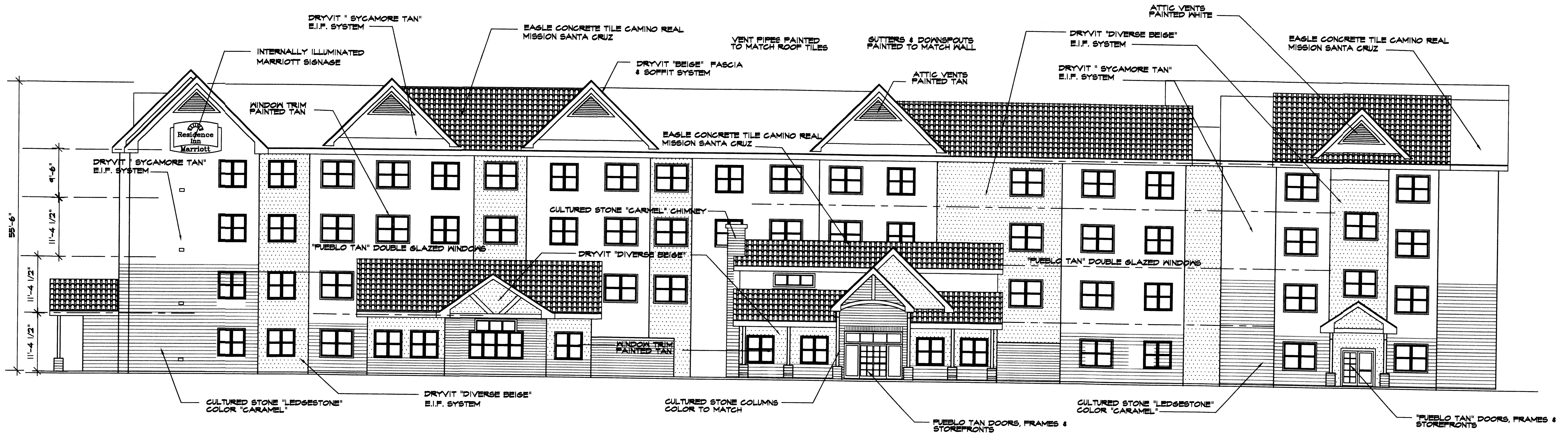
ADDRESS:
 YALE BLVD. & INTERNATIONAL AVE., S.E.
 ALBUQUERQUE, NEW MEXICO





PROPOSED REAR / NORTH ELEVATION

SCALE: 1" = 10'-0"



PROPOSED FRONT / SOUTH ELEVATION

SCALE: 1" = 10'-0"

SEE SHEET S-16 FOR
SIDE ELEVATION OF GATEHOUSE

JOB NO.: TER
DRAWN: TER
DATE: 11-28-06
REVISED: 01-08-07, 05-10-07

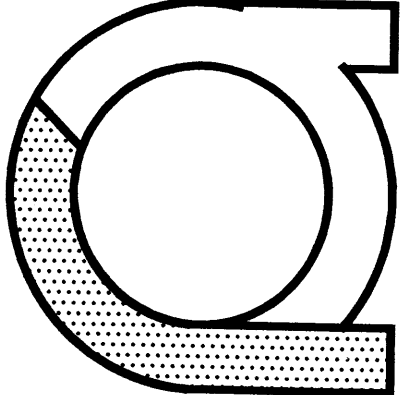
BOBSON & ASSOCIATES - ARCHITECTS
2801 JUAN TABO, N.E. SOUTH SUITE
ALBUQUERQUE, NEW MEXICO 87112
505 - 852 - 1176

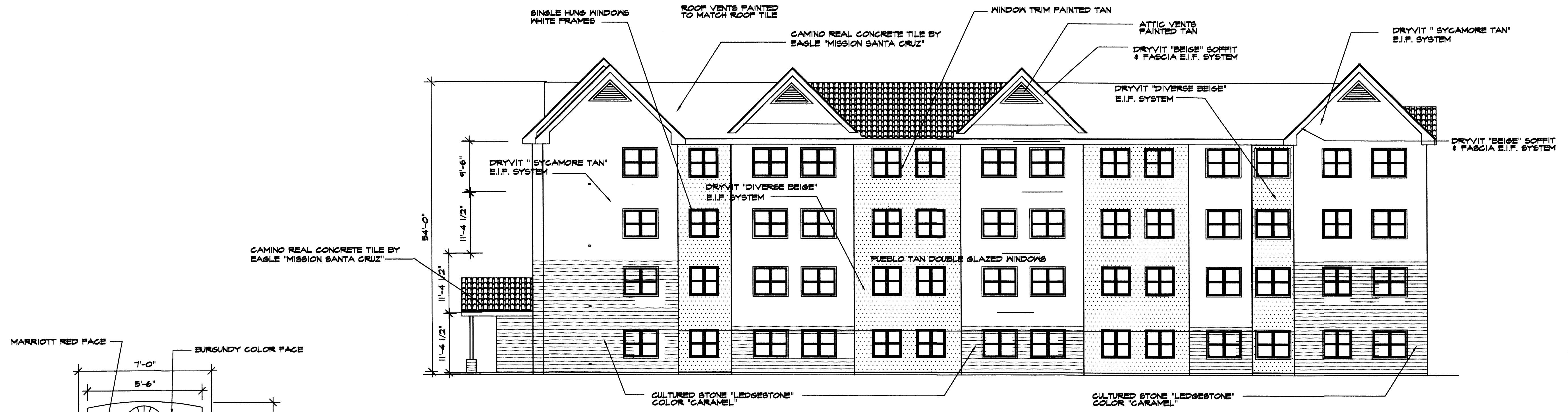
SHEET TITLE:
EXTERIOR ELEVATIONS
1/8" SCALE

TITLE: MARRIOTT RESIDENCE INN

ADDRESS:
2801 INTERNATIONAL DRIVE, S.E.
ALBUQUERQUE, NEW MEXICO

A-20

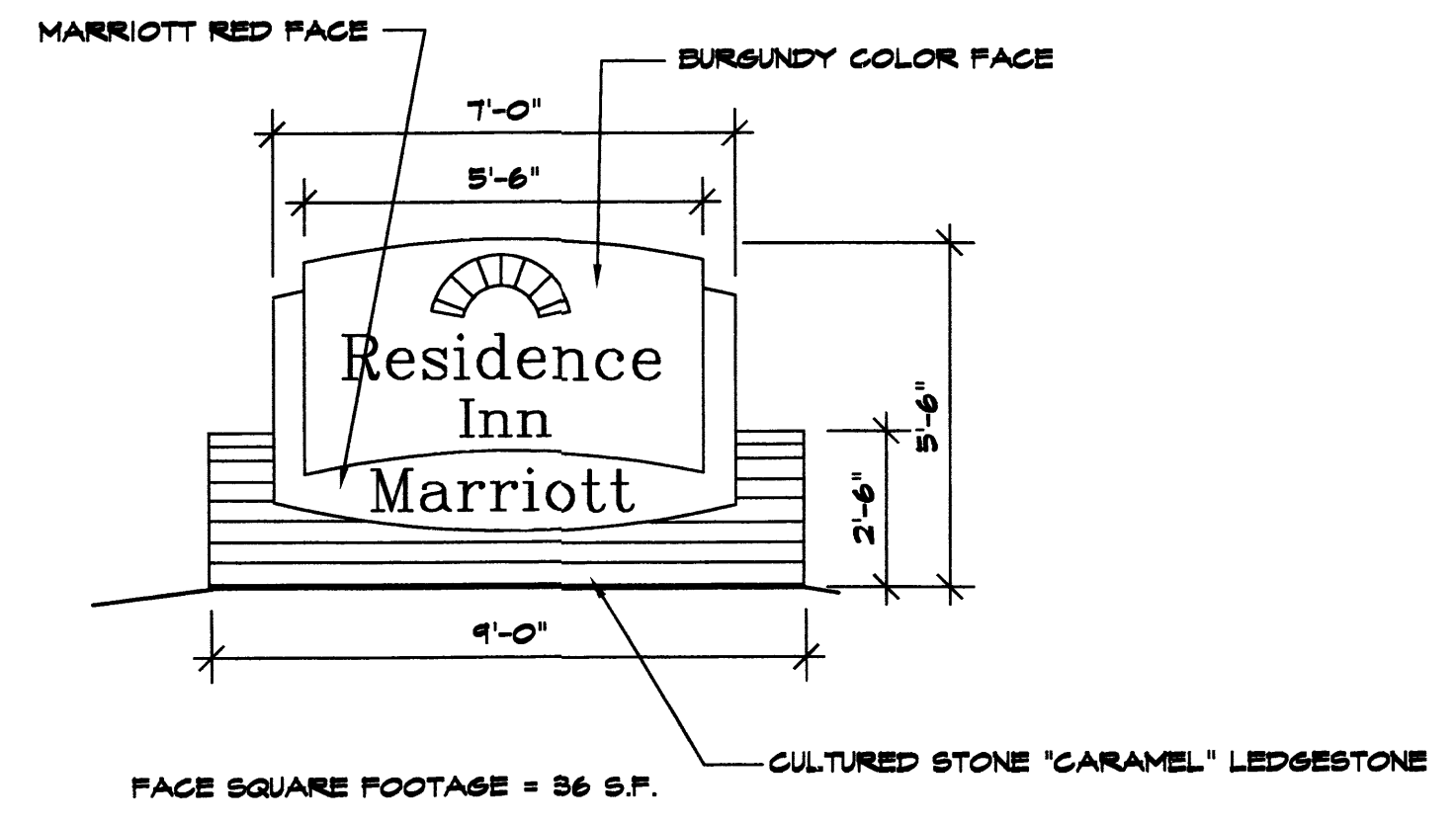




PROPOSED EAST ELEVATION

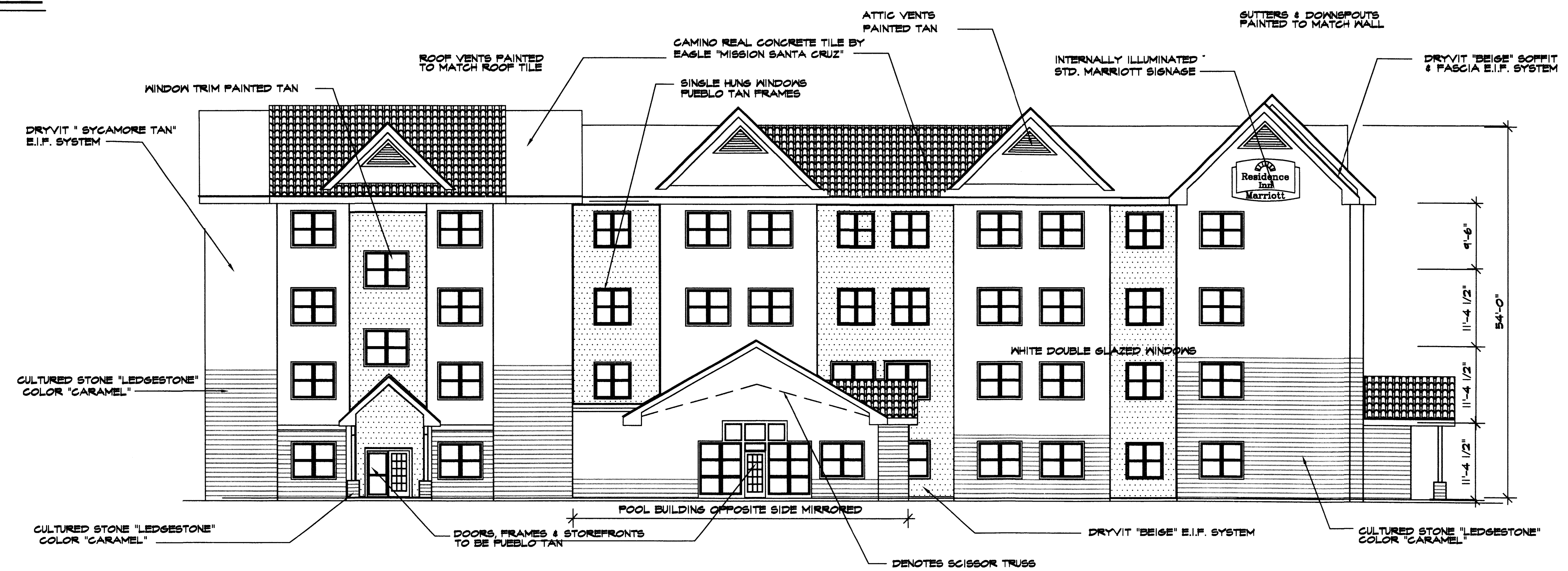
SCALE: 1/4" = 10' - 0"

SEE SHEET S-16 FOR
SIDE ELEVATION OF GATEHOUSE



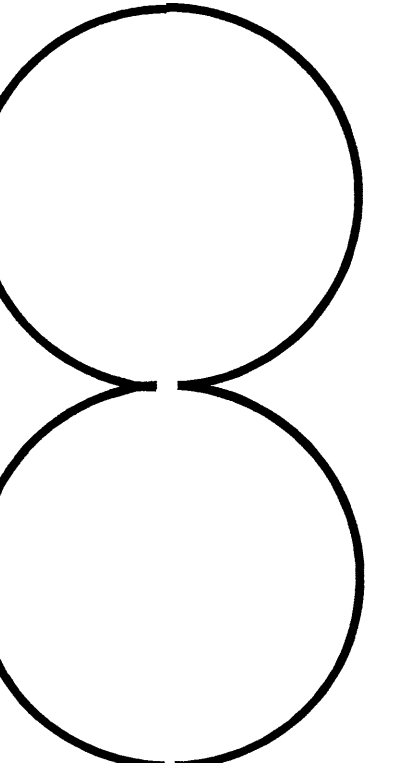
PROPOSED SIGNAGE

SCALE: 1/4" = 1' - 0"



PROPOSED WEST ELEVATION

SCALE: 1/4" = 10' - 0"



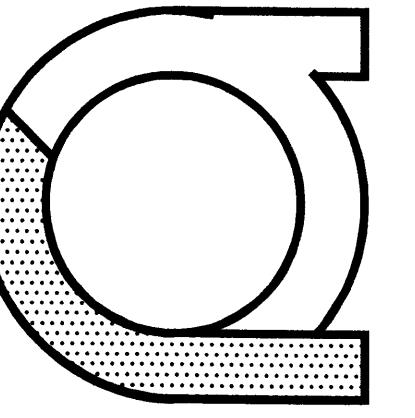
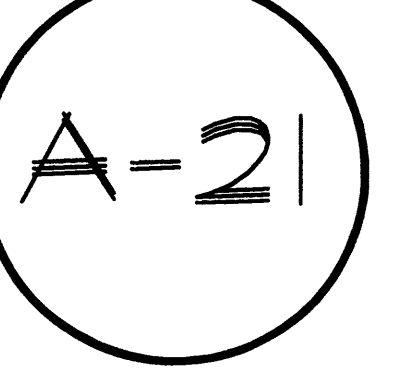
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DRAWN: 11-28-06
DATE: 11-28-06
REVISED: 01-08-07, 05-10-07

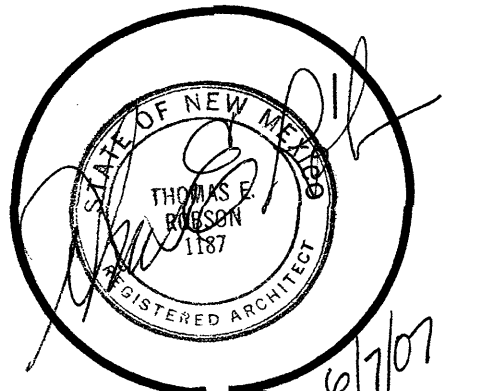
ROBSON & ASSOCIATES - ARCHITECTS
2501 JUAN TABO, N.E. SOUTH SUITE
ALBUQUERQUE, NEW MEXICO 87112
505 - 992 - 1176

TITLE: **MARRIOTT RESIDENCE INN**

SHEET TITLE:
EXTERIOR ELEVATIONS
1/8" SCALE

ADDRESS:
2501 INTERNATIONAL DRIVE, S.E.
ALBUQUERQUE, NEW MEXICO





JOB NO.: TER
 DRAWN: 10-12-06
 DATE: 01-08-07
 REVISED: 01-08-07

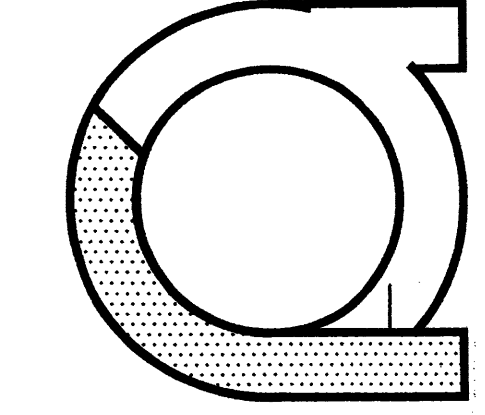
ROBSON & ASSOCIATES - ARCHITECTS
 2801 JUAN TABO, N.E. SOUTH SUITE
 ALBUQUERQUE, NEW MEXICO 87112
 505 - 992 - 1176

TITLE: **MARRIOTT RESIDENCE INN**

SHEET TITLE: **SITE DETAILS**

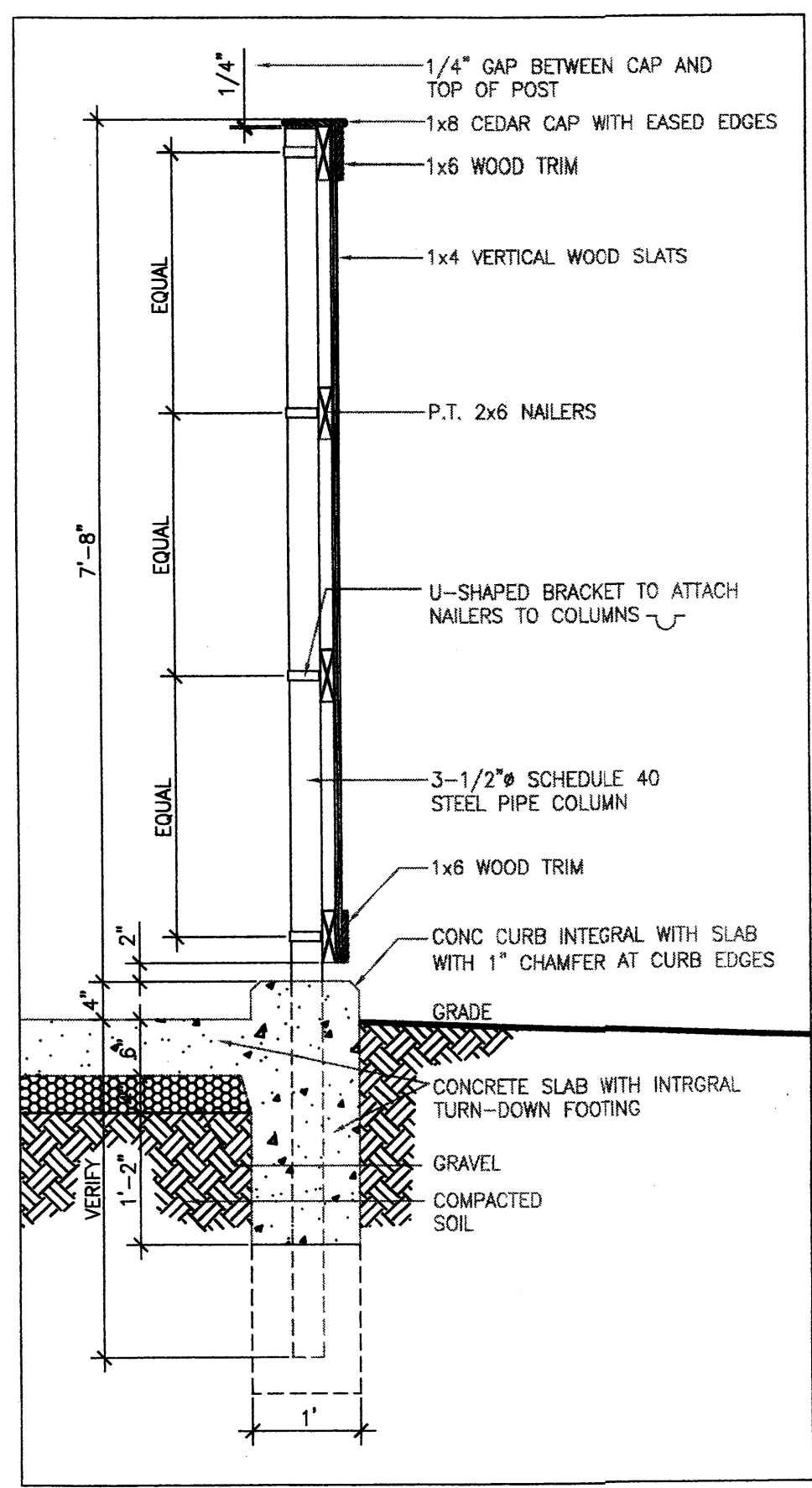
ADDRESS: 2801 INTERNATIONAL DRIVE, SE.
 ALBUQUERQUE, NEW MEXICO

A-26

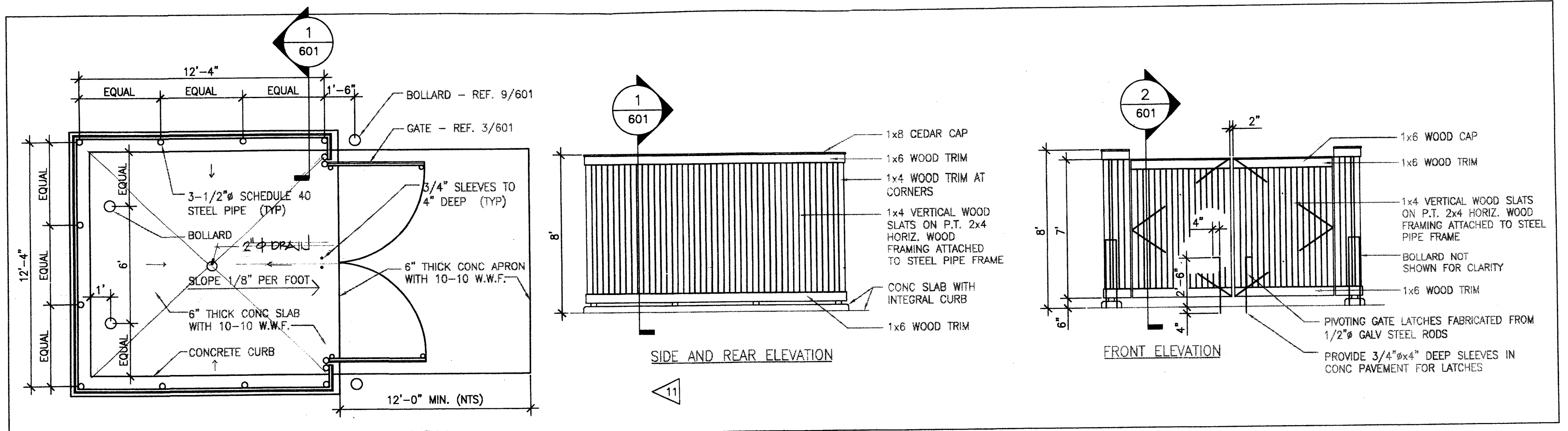


CRITERIA NOTES

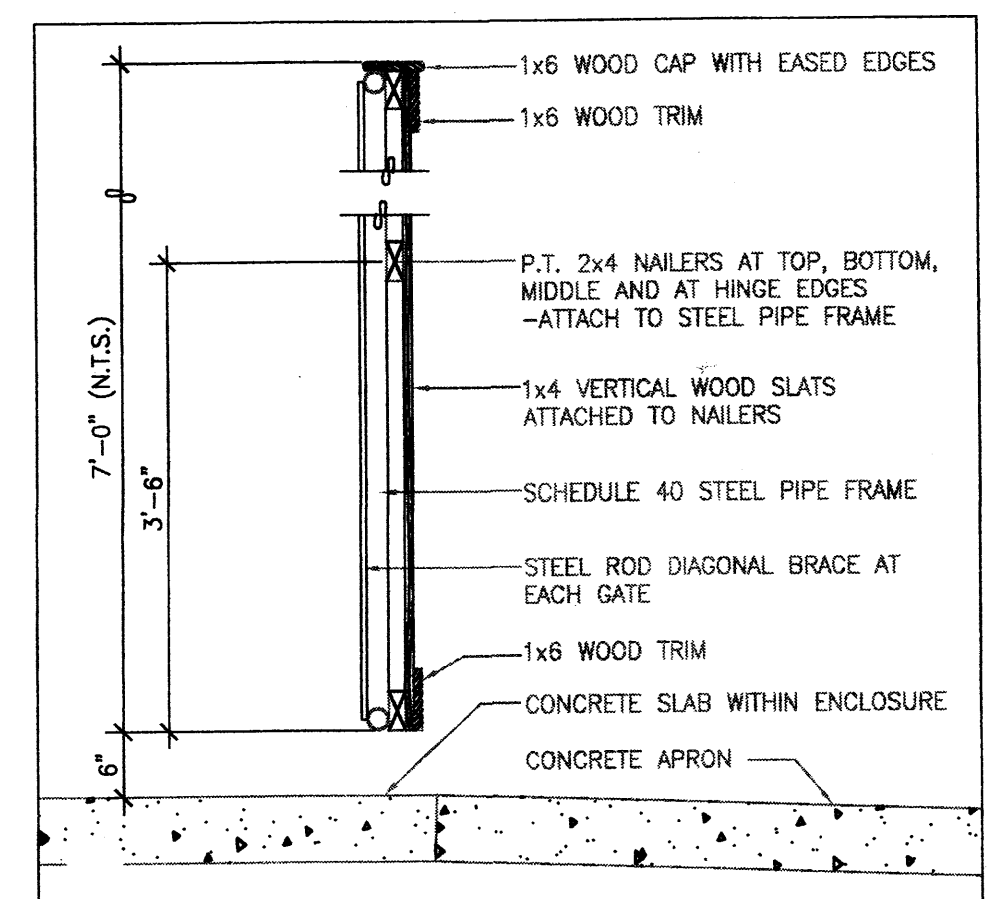
- 1 COORDINATE LOCATION WITH SITE PLAN.
- 2 STAIN FINISH OR PAINT TO MATCH GUESTBUILDING (SEE EXTERIOR FINISH SCHEDULE).
- 3 PROVIDE DECAY RESISTANT WOOD (CEDAR OR TREATED MATERIAL)
- 4 ALL ACCESS GATES ARE LOCATED ON THE SPA LAYOUT PLAN.
- 5 ALL GATES SHALL HAVE HEAVY DUTY SELF-CLOSING HINGES.
- 6 ALL GATES SHALL HAVE A SELF-LATCHING MECHANISM MOUNTED AT LEAST 54"
- 7 ABOVE FINISH GRADE AND A 60" CLEAR SPACE ON THE LATCH SIDE OF THE GATE TO POSITION A WHEELCHAIR.
- 8 GRIND ALL WELDS SMOOTH-- PAINT ASSEMBLY WITH 2 COATS OF PRIMER AND 1 COAT OF FINISH PAINT
- 9 CONDENSER FENCE TO TERMINATE 1'-0" FROM THE FACE OF BUILDING WALL (U.N.O.)
- 10 FENCE TO BE PAINTED PER EXTERIOR FINISH SCHEDULE.
- 11 SIZE INDICATED IS MINIMUM. PROVIDE LARGER ENCLOSURE OR DIFFERENT PROPORTIONS AS REQ'D BY LOCAL JURISDICTION FOR DUMPSTER SIZES AND QUANTITIES, OR AS REQUIRED DUE TO SITE RESTRAINTS.



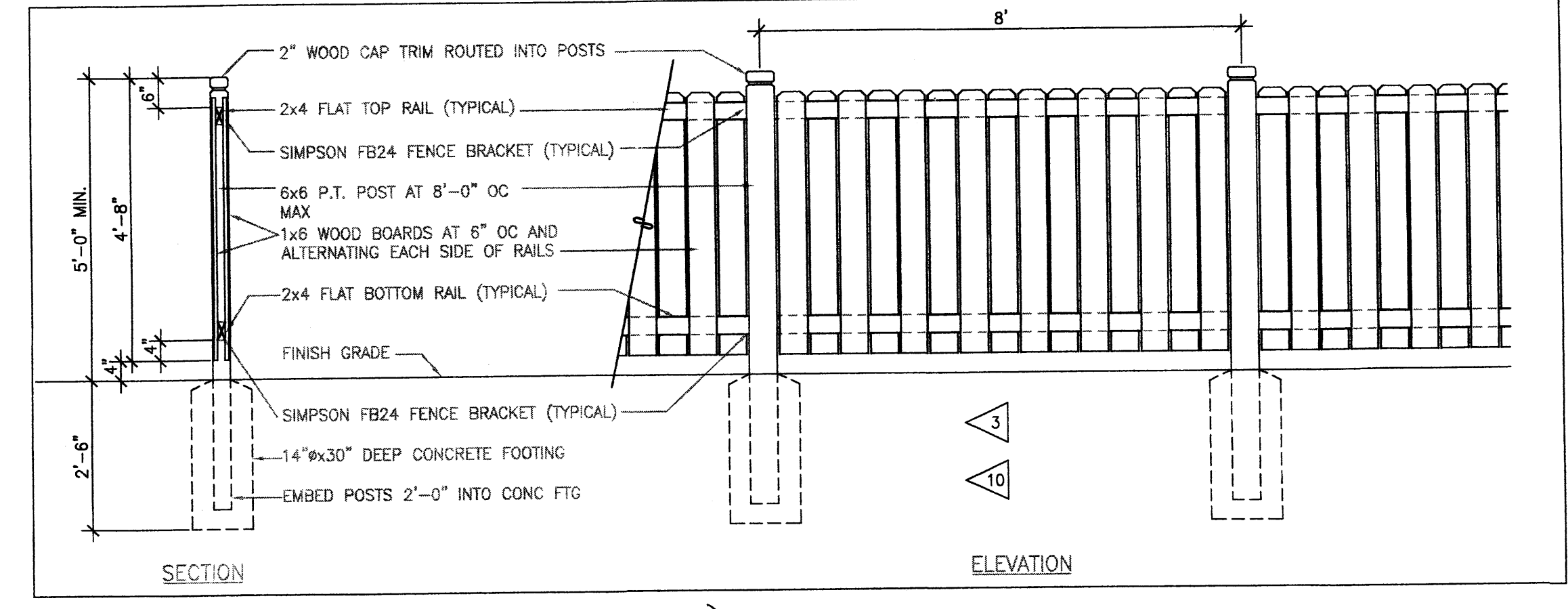
1 TRASH ENCLOSURE SECTION
 SCALE: 3/4" = 1'-0"



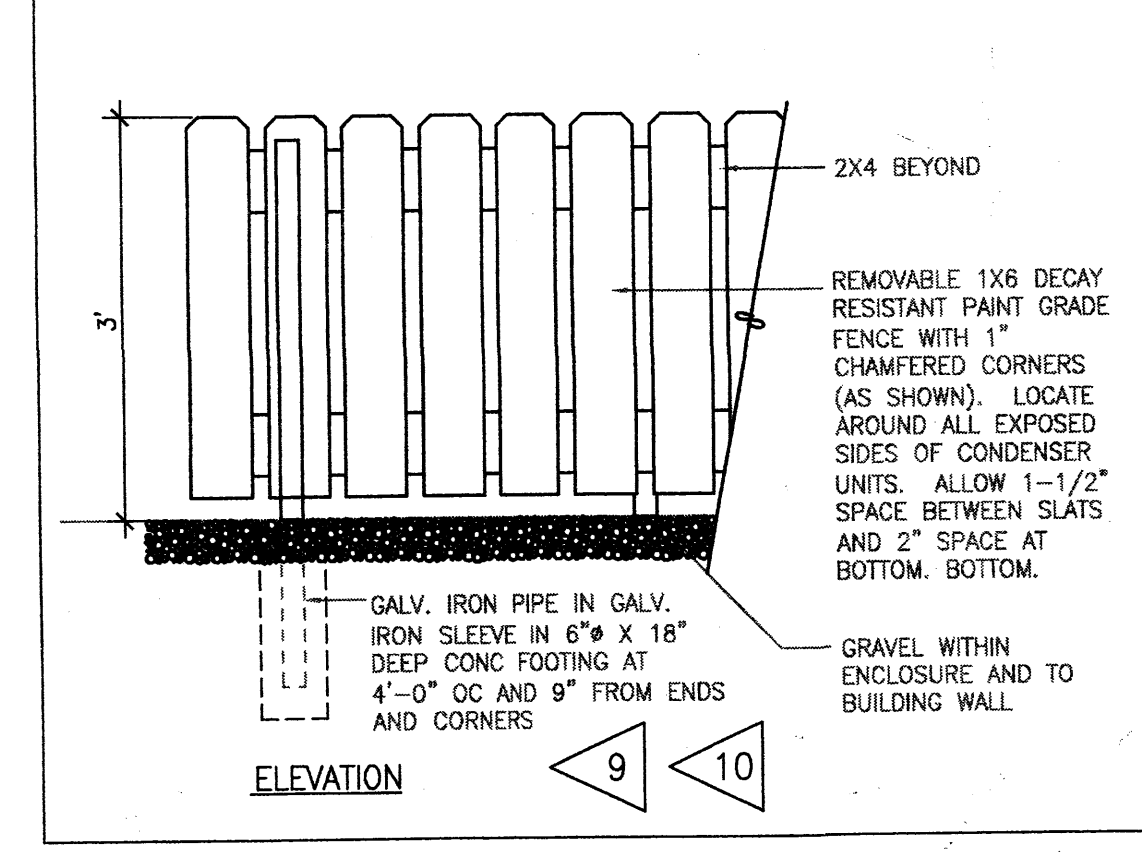
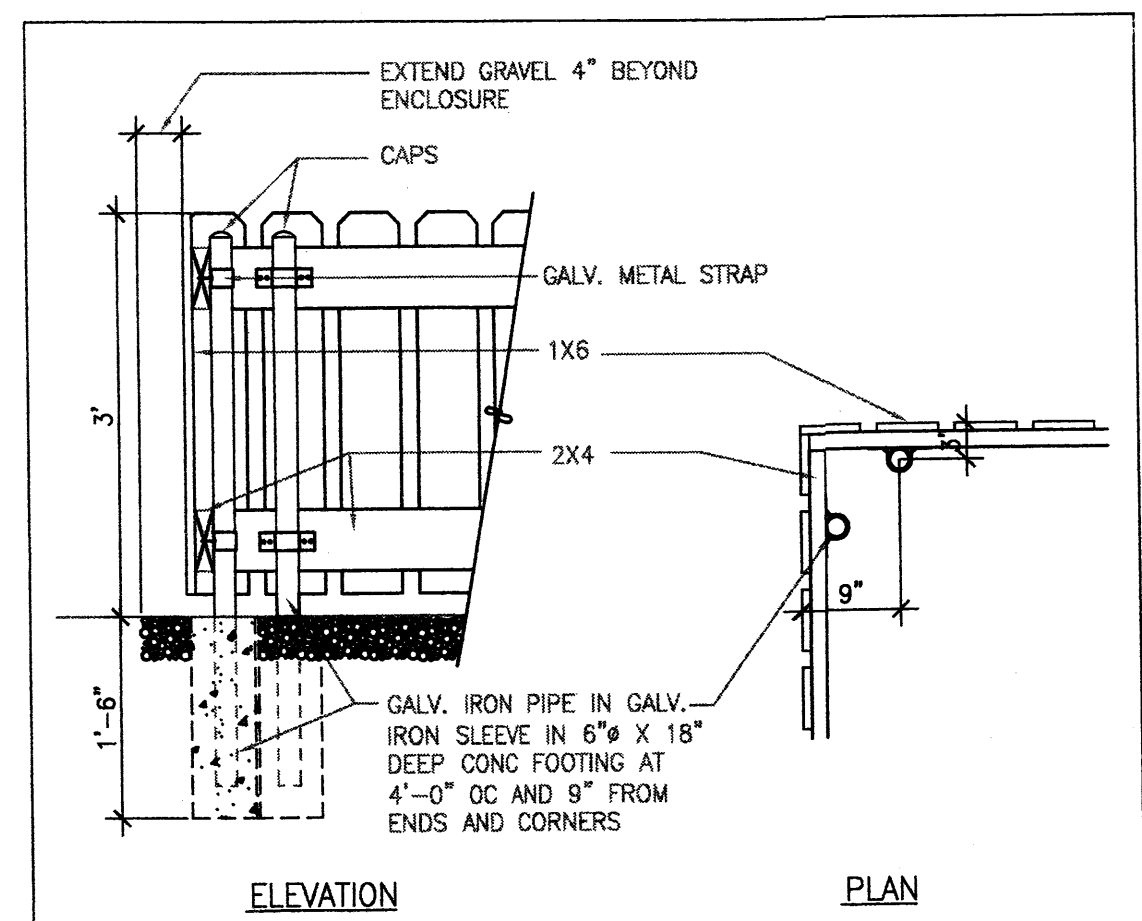
2 TRASH ENCLOSURE PLAN AND ELEVATION
 SCALE: 1/2" = 1'-0"



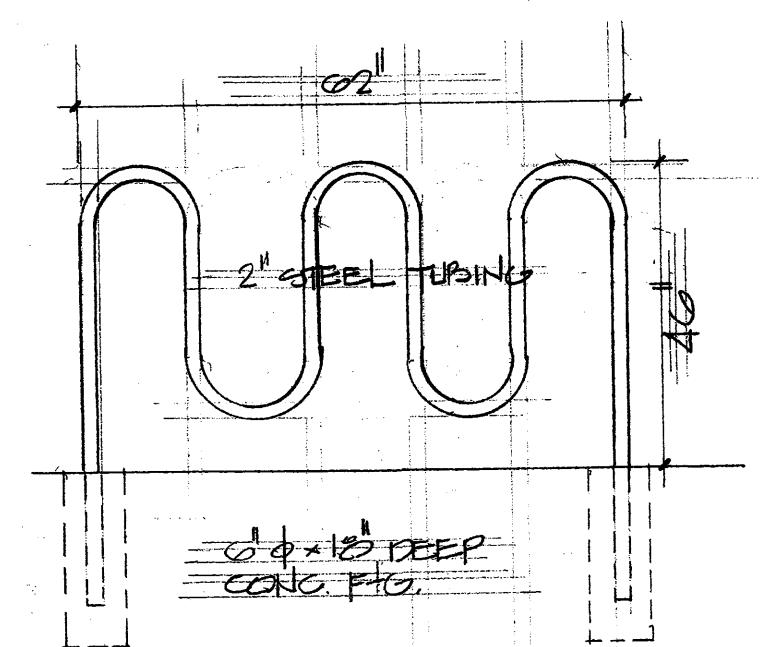
3 TRASH ENCLOSURE GATE SECTION
 SCALE: 3/4" = 1'-0"



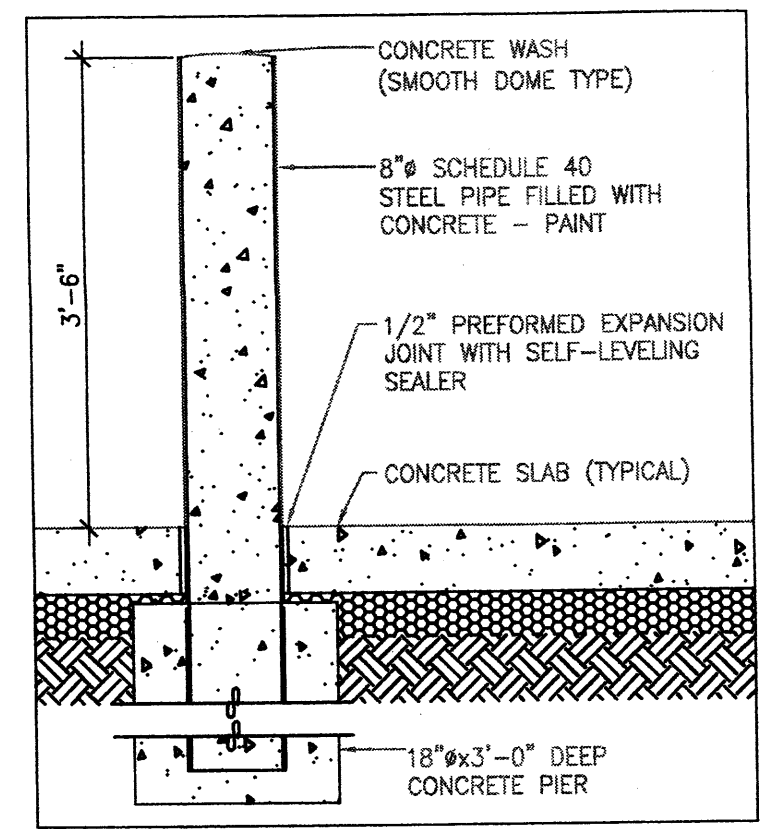
4 PERIMETER FENCE DETAIL (AS INDICATED)
 SCALE: 1/2" = 1'-0"



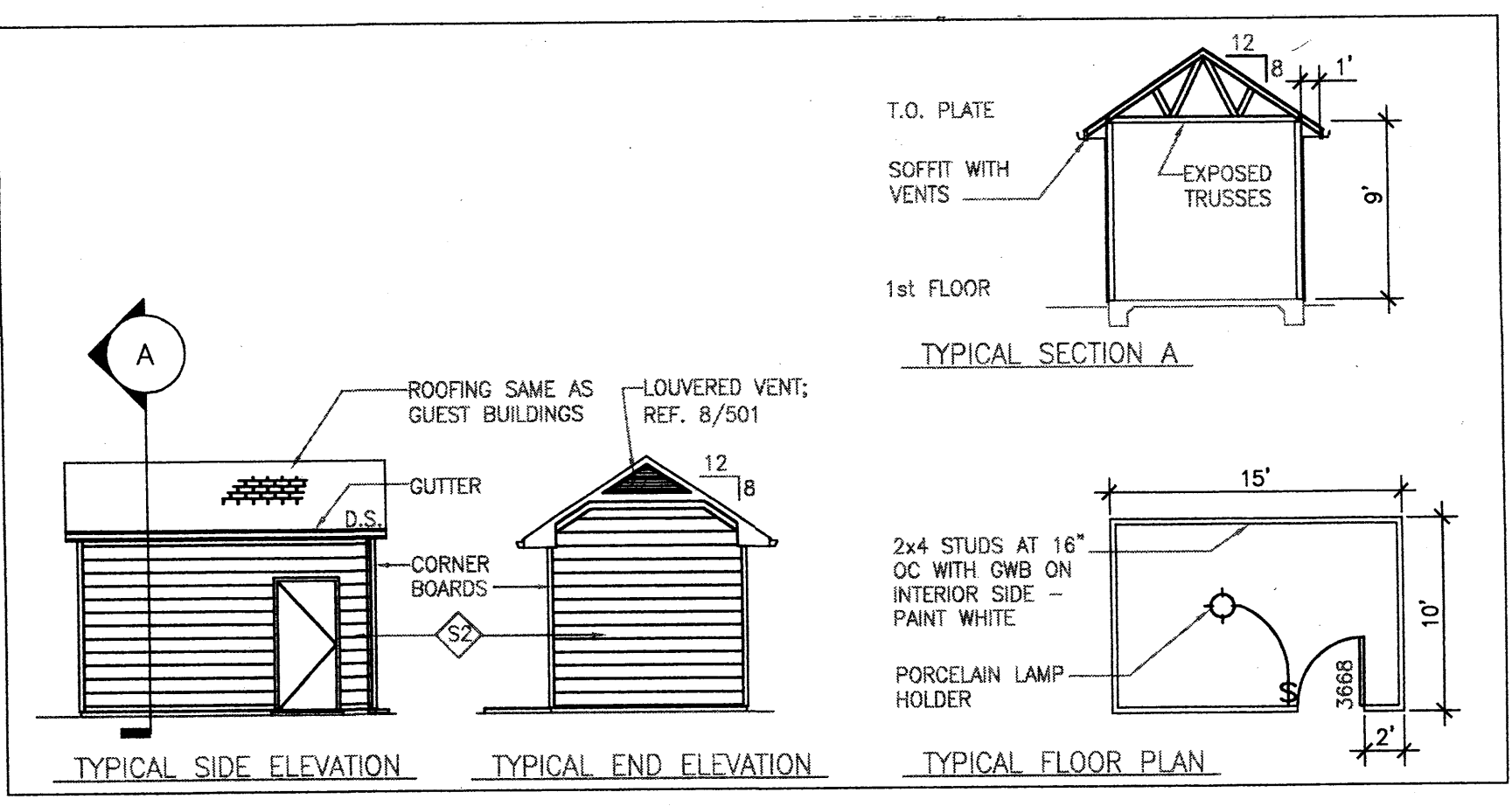
5 CONDENSER FENCE DETAIL
 SCALE: 3/4" = 1'-0"



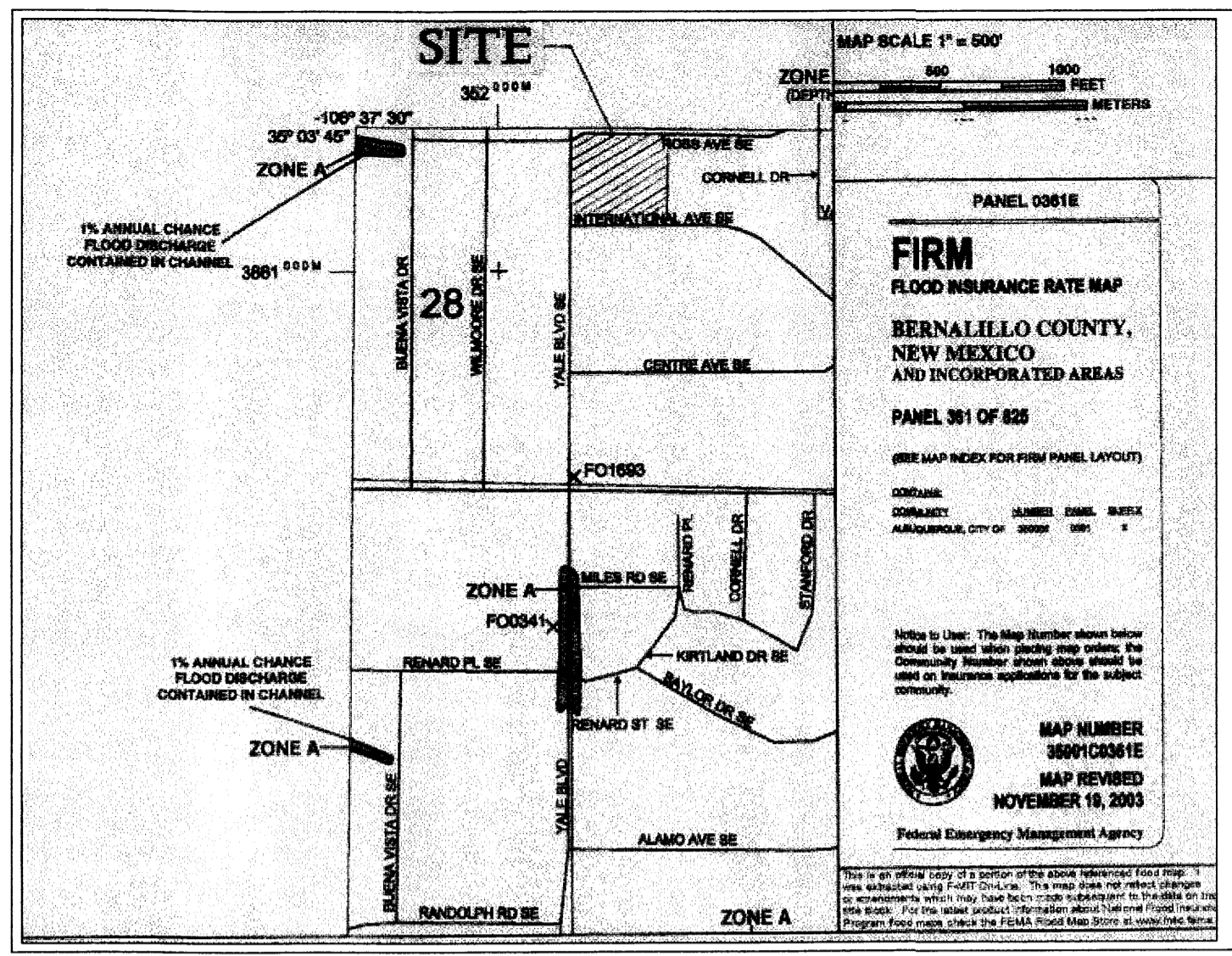
6 BIKE RACK
 SCALE: 3/4" = 1'-0"



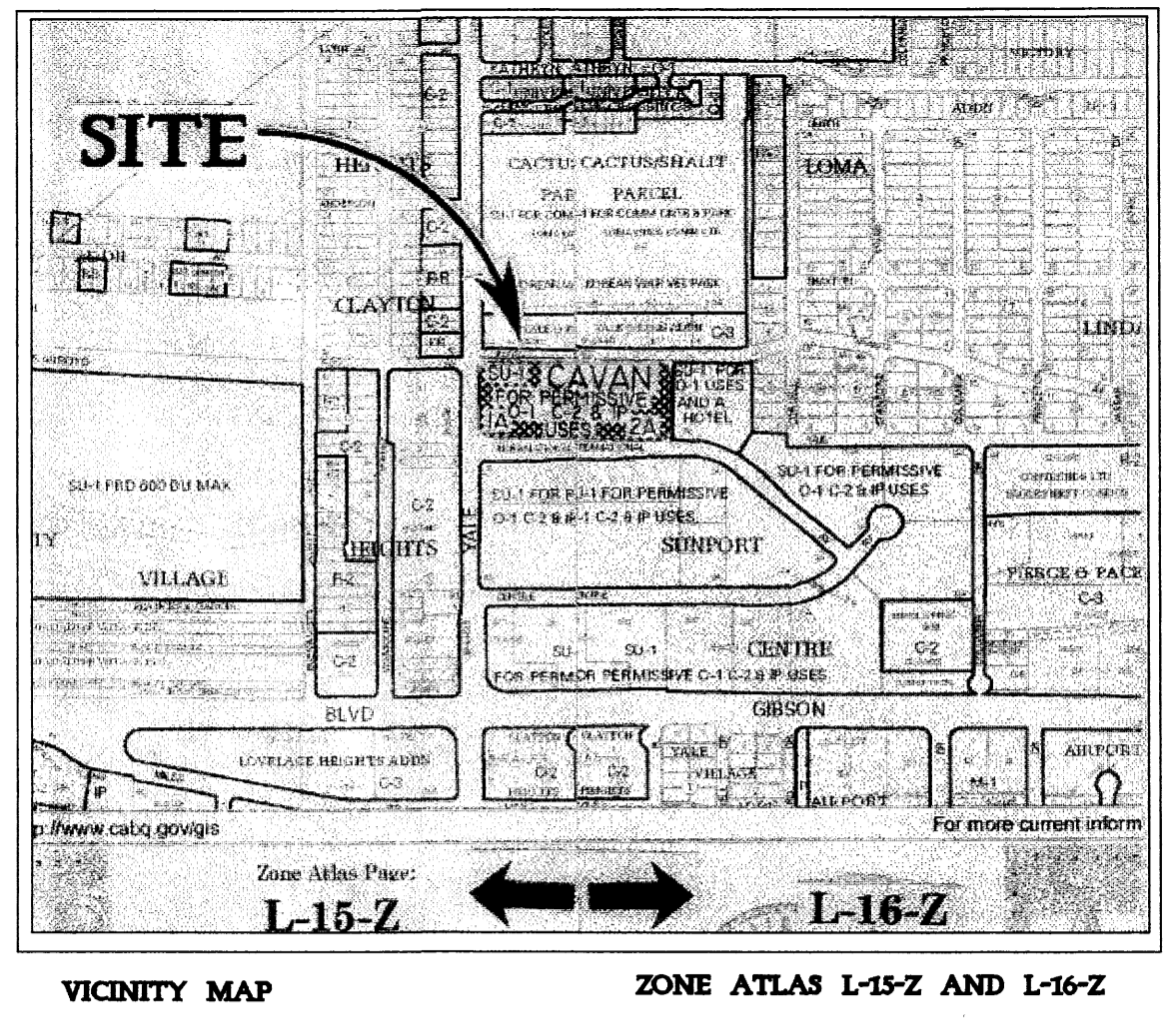
9 BOLLARD DETAIL
 SCALE: 3/4" = 1'-0"



10 LANDSCAPE / STORAGE BUILDING
 SCALE: 1/8" = 1'-0"



- ### KEYED NOTES
- 6" CONCRETE CURB.
 - EAST-WEST RETAINING WALL. SEE DETAILS. SHEET 3 OF 3.
 - NORTH-SOUTH RETAINING WALL. SEE DETAILS. SHEET 3 OF 3.
 - 2'-0" WIDE ALLEY GUTTER PER C.D.A. STD. DWG. 2415. PROVIDE 1" WIDE CONC. RUNDOWNS FROM DOWNSPOUT TO A.G.
 - SINGLE 'D' INLET @ 45° TO C.L. VALLEY GUTTER. GRATE EL. = 85.90 INV. EL. = 84.40 CONSTRUCT PER C.D.A. STD DWG. 2206.
 - 10" DIA. X 32' LONG SCH. 40 PVC PIPE. HI. INV. = 84.4 LOW INV. = 84.0 CONNECT TO EXISTING CATCH BASIN PER C.D.A. STD. DWG. 2237.
 - 8" PVC PIPE TO INTERCEPT DOWNSPOUT FLOW. PROVIDE CLEANDUT AT E. END.
 - SINGLE 'D' INLET @ 45° TO C.L. VALLEY GUTTER. GRATE EL. = 78.50 INV. EL. = 76.50 CONSTRUCT PER C.D.A. STD DWG. 2206.
 - 12" DIA. X 32' LONG SCH. 40 PVC PIPE. HI. INV. = 84.4 LOW INV. = 84.0 CONNECT TO EXISTING CATCH BASIN PER C.D.A. STD. DWG. 2237.
 - 6" PVC PIPE TO INTERCEPT DOWNSPOUT FLOW.
 - MARRIOTT MONUMENT SIGN.
 - REFUSE ENCLOSURE. STUCCO WALL TO MATCH BUILDING.
 - EXISTING SINGLE D INLET. REMOVE, AN UTILIZE FRAME AND GRATE WHERE NEEDED.
 - CONSTRUCT DOUBLE D INLET PER C.D.A. STD DWG 2206. GRATE ELEV. = 86.05 INV. ELEV. = 84.00.
 - 12" SCH. 40 PVC PIPE. INV. IN = 84.00 INV. OUT 82.50. CONNECT TO BACK OF EXISTING TYPE C CATCH BASIN PER C.D.A. STD. DWG. 2237.
 - 24" SIDEWALK CULVERT PER C.D.A. STD. DWG. 2236. INV. IN = 80.81 INV. OUT 80.62.
 - 2' WIDE X 8' DEEP CONCRETE CHANNEL W/ 6" SIDES AND BOTTOM. REINFORCE CONCRETE AS FOLLOWS: NO. 4 BARS AT 6' LONGITUDINAL AND NO. 4 BARS @ 12' TRANSVERSE.
 - 2' WIDE CONCRETE CHANNEL FOR DRAINAGE.
 - STANDARD CURB AND GUTTER WHERE FLOW IS AGAINST CURB.
 - ASPHALT PAVEMENT.
 - PROPERTY LINE.
 - 12" SIDEWALK CULVERT.



HYDROLOGY LEGEND

EXISTING	NEW	DESCRIPTION
---5884---	---	CONTOUR
---M.M.	84.00	SPOT ELEVATION
---	---	PROPERTY LINE
---	---	SWALE
---	---	SHEET FLOW
---	---	ROOF FLOW
---	---	DOWNSPOUT

SPOT ELEVATION LEGEND

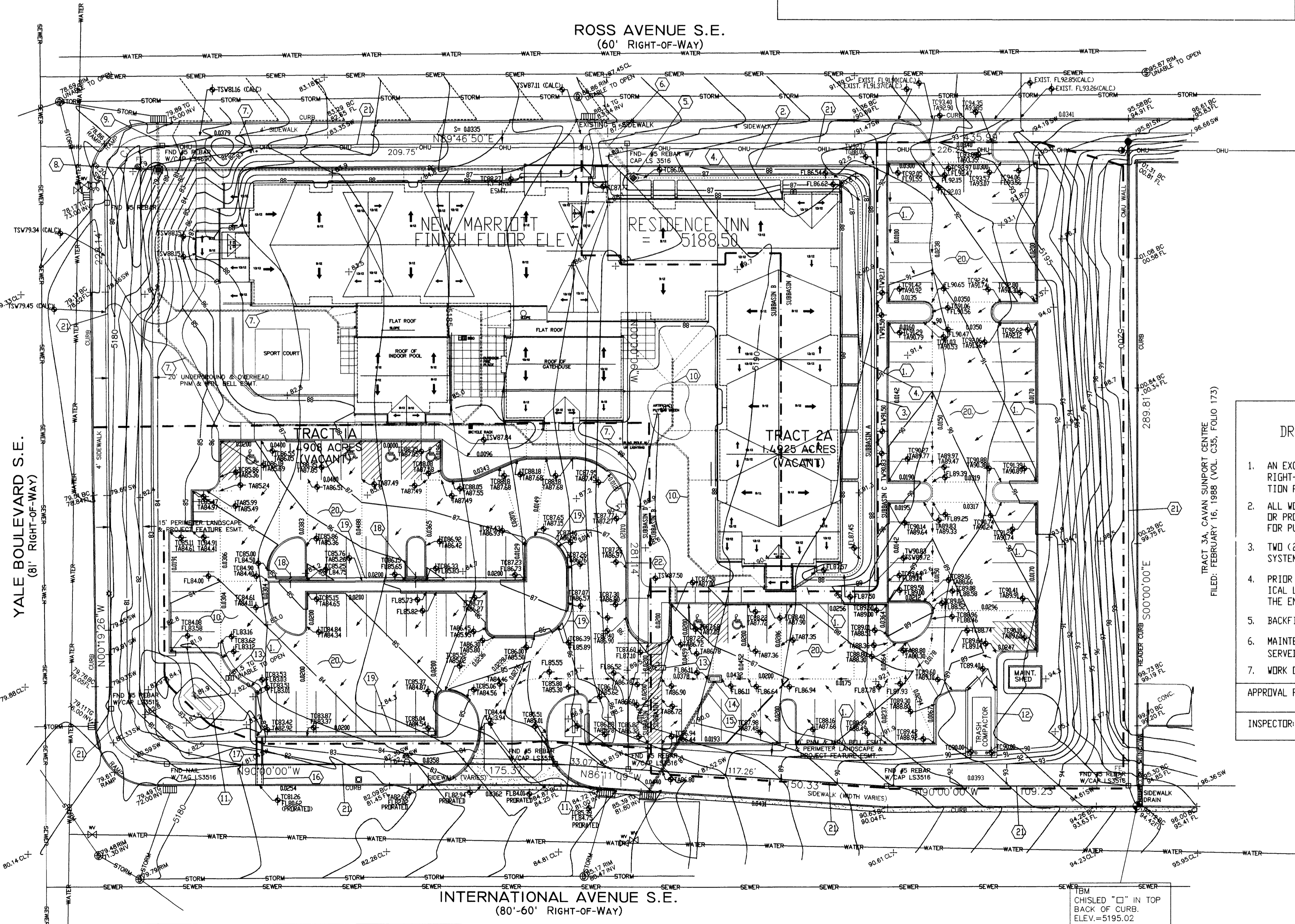
+200.0	= ELEVATION AT GROUND
+500.00	= ELEVATION AT TOP OF FINISHED SURFACE
+200.00 SW	= ELEVATION AT TOP OF SIDEWALK
+200.00 CL	= ELEVATION AT CENTERLINE OF DRIVING LANE
+200.00 BC	= ELEVATION AT BACK OF CURB
+200.00 FL	= ELEVATION AT FLOWLINE OF CURB
+200.0 TO	= ELEVATION AT TOP OF GRATE
+200.0 TM	= ELEVATION AT TOP OF WALL
00.00 RM	= ELEVATION AT RIM OF

SYMBOLS LEGEND

⊙	= LIGHT POLE
⊙	= POWER POLE
-OHU-	= OVERHEAD UTILITY LINE
-STORM-	= UNDERGROUND STORM DRAIN LINE
-SEWER-	= UNDERGROUND SEWER LINE
-WATER-	= UNDERGROUND WATER LINE
---	= ANCHOR
⊙	= SEWER MANHOLE
⊙	= DRAINAGE MANHOLE
⊙	= WATER METER
⊙	= WATER VALVE
⊙	= FIRE HYDRANT
⊙	= DROP INLET
---	= BLOCK WALL
-x-	= FENCE

MONUMENT LEGEND

⊙	= TEMPORARY BENCH MARK
⊙	= FOUND MONUMENT AS NOTED
⊙	= SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MWR 11224" UNLESS OTHERWISE NOTED



CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	25.00'	39.32'	90°06'16"	25.05'	N44°43'42"E	35.39'
C2	25.00'	39.13'	89°40'33"	24.86'	N45°09'42"W	35.26'

CITY OF ALBUQUERQUE
DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY (S.O. 19)
NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THIS PLAN TO BE PERFORMED UNDER CONTRACT, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREIN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS UPDATED THROUGH REVISION NO. 6.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, INC., 260-1990, FOR LOCATION FOR EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL FOR SW CULVERTS	NAME	DATE

INSPECTOR: _____

LEGAL DESCRIPTION
TRACT 1A & 2A CAVAN SUNPORT CENTER, SECTION 27, T. 10 N., R. 3 E., N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

UTILITY INFORMATION SHOWN HEREON PER FIELD INSPECTION AND CITY OF ALBUQUERQUE UTILITY RECORDS. ACTUAL LOCATION SHOULD BE FURTHER VERIFIED BEFORE BEGINNING CONSTRUCTION AND ANY DISCREPANCIES REPORTED TO THE SURVEYOR.

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 11-116, THE PUBLISHED ELEVATION OF WHICH IS 5273.40 (NAVD88), AND IS LOCATED IN THE SOUTH-SOUTHWEST QUADRANT OF VAILE AVE S.E. & GIRARD BLVD. S.E. BEING A CHISELED "SQUARE" CUT ON TOP OF CURB.

FRANK D. LOVELADY, P.E.
REGISTERED PROFESSIONAL ENGINEER
JULY 23, 2007

GRADING AND DRAINAGE PLAN
MARRIOTT RESIDENCE INN
2301 INTERNATIONAL DRIVE SE
ALBUQUERQUE, NEW MEXICO

FRANK D. LOVELADY, P.E.
(505) 345-2267 • Fax (505) 345-2115 • 300 ALAMOSA RD. NW • Albuquerque, NM • 87107

JOB NO: 704
DATE: JULY 23, 2007

REVISIONS

SHEET NO.
1 of 3

C:\All Proj\696-700\Proj\696-MARRIOTT - CP.DWG (JULY 23, 2007)

DRAINAGE CALCULATIONS:

EXISTING CONDITIONS:

The site is located on Tracts A-1 and A-2 Cavan Support Center on the East side of Yale between Ross Avenue and International Avenue, SE. All streets adjacent to the site are paved with curb and gutter. The lot to the east is developed. No off-site flow comes from this lot. The development of the property included interim drainage improvements including detention ponding and a double D inlet to convey water to the storm drain system in the adjacent streets. The storm inlet is now totally filled with sand and silt and will have to be cleaned but appears to be in a suitable location to drain a portion of the developed site.

PROPOSED CONDITIONS:

It is proposed to construct a motel on the site as shown on the grading and drainage plan. The majority of the site will drain to the SW corner of the parking lot where it will be collected by the existing double 'D' inlet. Other drainage subbasins will drain to inlets on the north side and the northeast corner of the site which will be connected to existing catch basins in the street.

DRAINAGE CRITERIA:

The calculations shown on this plan were prepared in accordance with Section 22.2, Hydrology, of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque in cooperation with Bernalillo County, New Mexico and the Metropolitan Arroyo Flood Control Authority, January, 1993.

PRECIPITATION ZONE:

The site is between the Rio Grande River and San Mateo Blvd. and is, therefore, in Precipitation Zone 2.

LAND TREATMENT AREAS, ETC.:

The peak discharge per acre and excess precipitation are shown for the four land treatments in Zone 2 in the table below, and the values shown are from the City of Albuquerque D.P.M. Also shown are the existing and proposed land treatment areas.

LAND TREAT.	q (cfs/acre)		E (in)		Existing Site Areas		Developed Site Areas	
	100-yr.	10-yr.	100-yr.	10-yr.	%	Sq. Ft.	%	Sq. Ft.
A	1.56	0.38	0.53	0.13	0.0	0	0.0000	0.0
B	2.28	0.95	0.78	0.28	0.0	0	0.0000	31.0
C	3.14	1.71	1.13	0.52	100.0	129,953	2,9833	8.5
D	4.70	3.14	2.12	1.34	0.0	0	0.0000	60.5
Totals					100.0	129,953	2,9833	100.0

PEAK DISCHARGE:

EXISTING CONDITIONS:
 $Q100 = 2.9833 \times 3.14 = 9.37$ cfs
 $Q10 = 2.9833 \times 1.71 = 5.10$ cfs

DEVELOPED CONDITIONS:
 $Q100 = 0.9263 \times 2.28 + 0.2525 \times 3.14 + 1.8045 \times 4.70 = 11.39$ cfs
 $Q10 = 0.9263 \times 0.95 + 0.2525 \times 1.71 + 1.8045 \times 3.14 = 6.98$ cfs

VOLUME, 100-YEAR AND 10-YEAR, 6-HOUR:

EXISTING CONDITIONS:
 $V100 = (129,953 \times 1.13) / 12 = 12,237$ cf
 $V10 = (129,953 \times 0.52) / 12 = 5,631$ cf

DEVELOPED CONDITIONS:
 $V100 = (40,349 \times 0.78 + 11,000 \times 1.13 + 78,604 \times 2.12) / 12 = 17,545$ cf
 $V10 = (40,349 \times 0.28 + 11,000 \times 0.52 + 78,604 \times 1.34) / 12 = 10,196$ cf

SUMMARY OF ON-SITE VOLUMES AND DISCH. RATES:

	V100(CF)	V10(CF)	Q100(CFS)	Q10(CFS)
DEVELOPED	17,545	10,196	11.39	6.98
EXISTING	12,237	5,631	9.37	5.10
INCREASE	5,308	4,565	2.02	1.88

OFF-SITE FLOW:

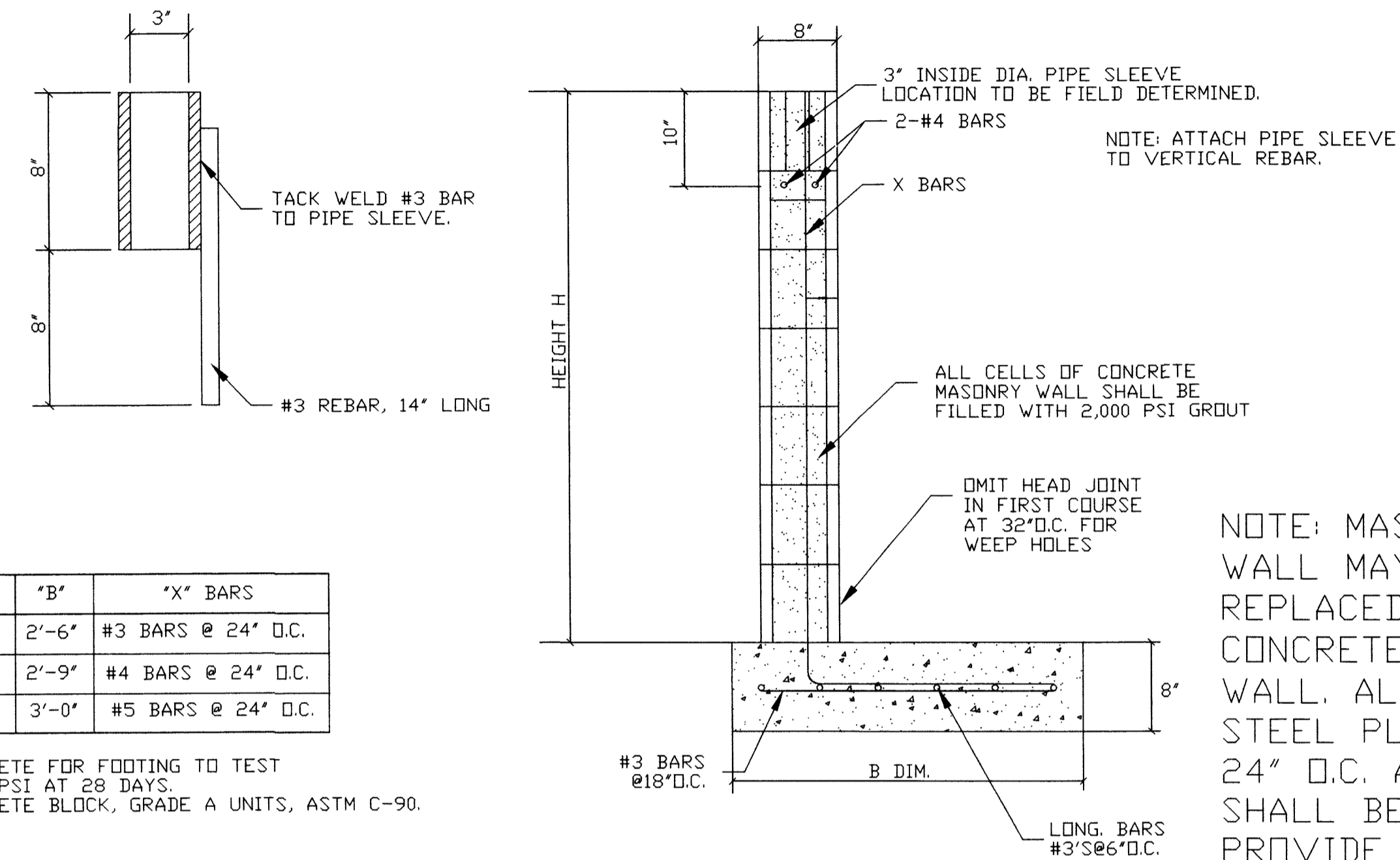
There is no off-site flow associated with this site. The lot east of the site drains to Ross & International.

DOWNSTREAM CAPACITY:

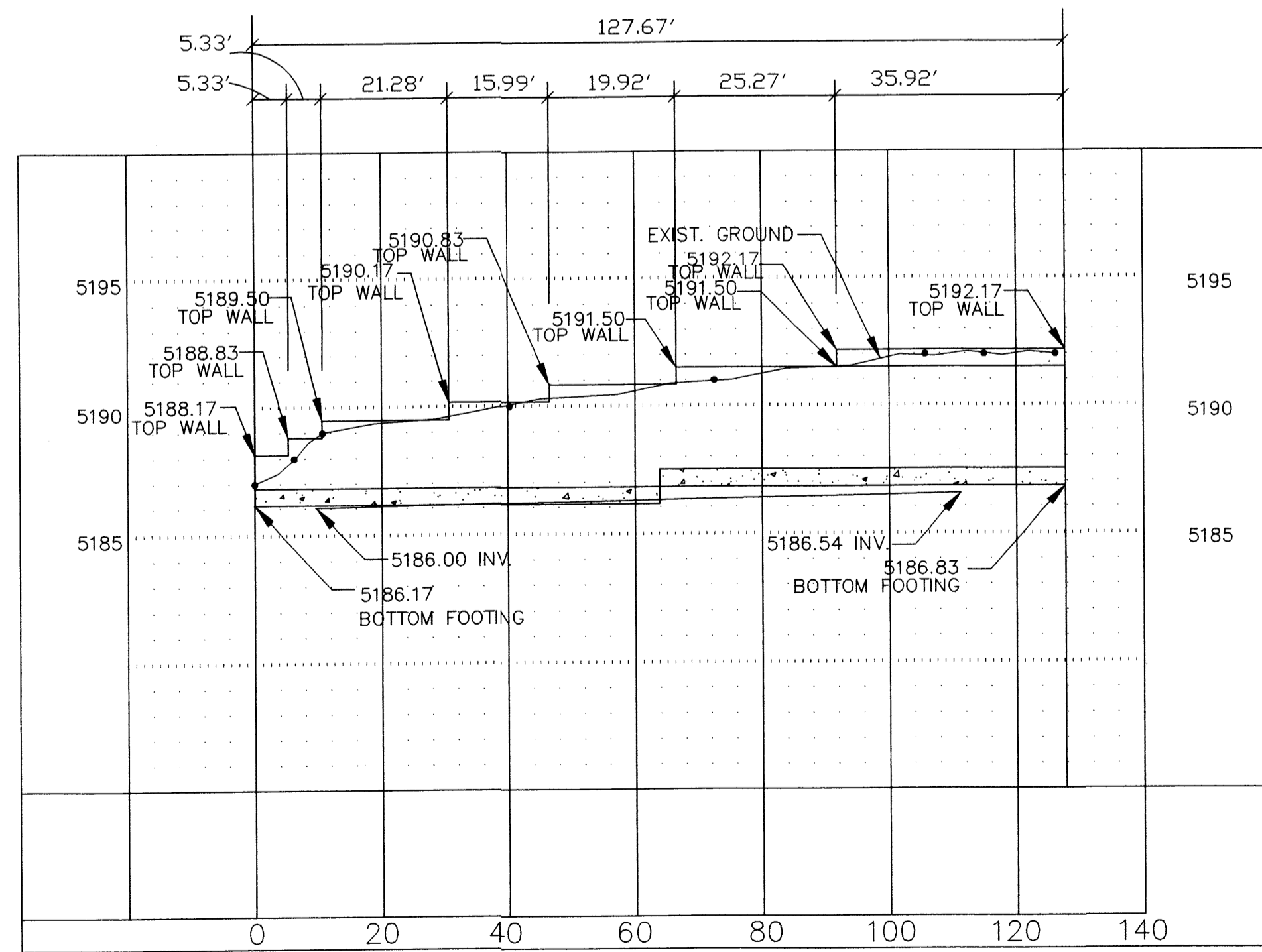
Flow from the site enters into the storm drainage system in Ross and International which drains into the storm drain in Yale.

DRAINAGE SUBBASINS:

- SUBBASIN A:**
THIS IS THE AREA BETWEEN THE WALLS AND THE RIDGE OF THE BUILDING. AREA = 13,563 SF
- SUBBASIN B:**
THIS IS ESSENTIALLY THE BUILDING AND THE AREA AROUND IT.
- SUBBASIN C:** AREA = 40,747 SF. THIS AREA IS ONLY NECESSARY BECAUSE THE WALKWAY REQUIRES A SLOPE NOT EXCEEDING 2% WHICH ESSENTIALLY BLOCKS THE FLOW CHANNEL IN THE CENTER OF THE DRIVEWAY. THE 'D' INLET USED TO COLLECT FLOW FROM SUBBASIN C. IF THE DEPTH GETS MORE THAN 4" THE FLOW WILL CROSS THE SOUTH END OF THE WALKWAY.
- SUBBASIN D:**
SOME OF THIS SUBBASIN WILL FLOW OUT THROUGH THE DRIVEWAY AND THE REST WILL FLOW OUT VIA THE SW CULV.

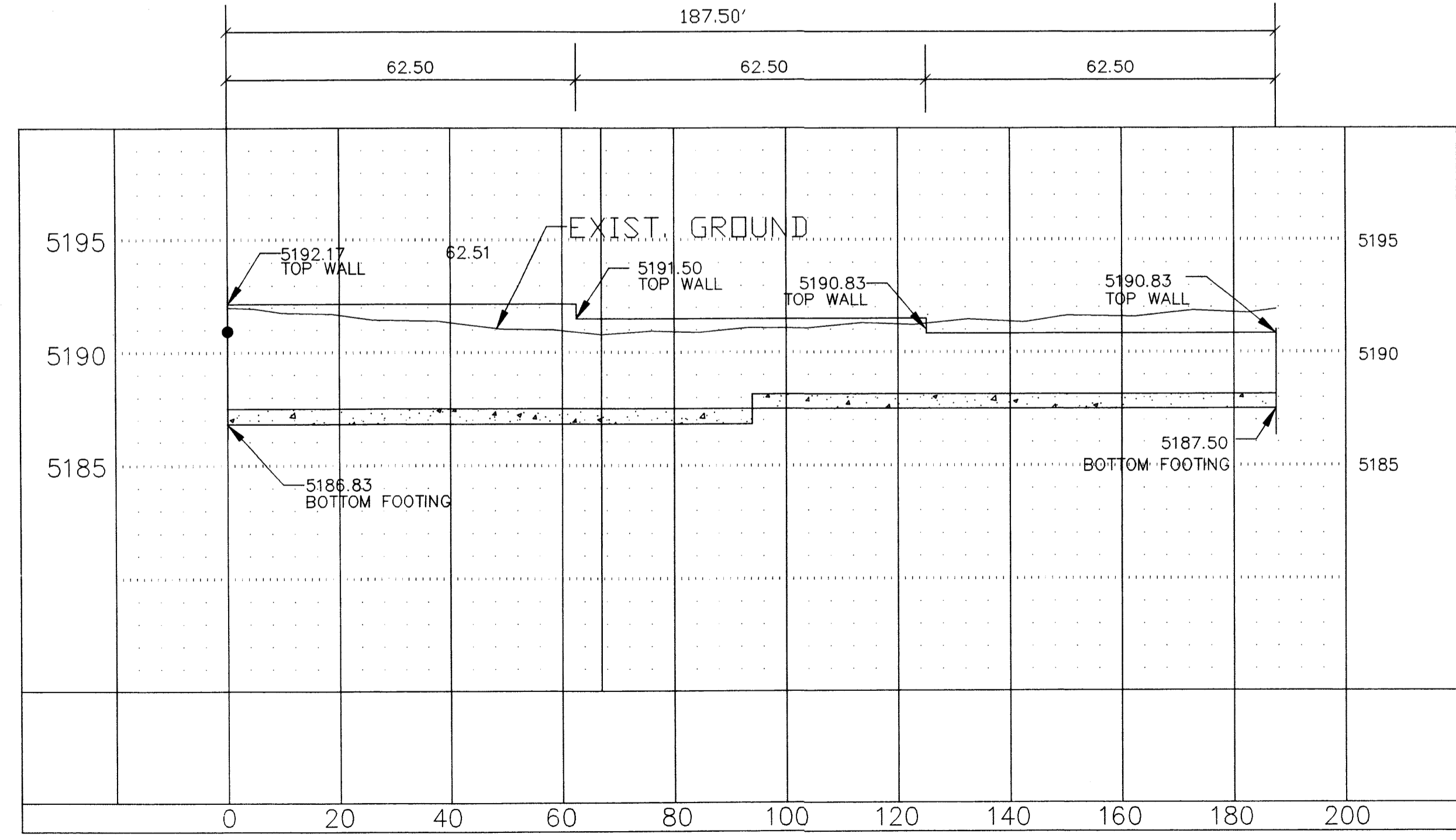


MASONRY WALL DETAILS



E-W RETAINING WALL PROFILE

VIEWING NORTH
 SCALES:
 1" = 5' HOR
 1" = 5' VER



N-S RETAINING WALL PROFILE

VIEWING EAST
 SCALES:
 1" = 5' HOR
 1" = 5' VER



CALCULATIONS AND DETAILS
MARRIOTT RESIDENCE INN
 2301 INTERNATIONAL DRIVE SE
ALBUQUERQUE, NEW MEXICO

FRANK D. LOVELADY, P.E.
 (505) 345-2267 • Fax (505) 345-2115 • 300 ALAMOGOSA RD. NW • ALBUQUERQUE, NM • 87107

JOB NO:	704
DATE:	JULY 23, 2007
REVISIONS	

SHEET NO.
2 of **3**

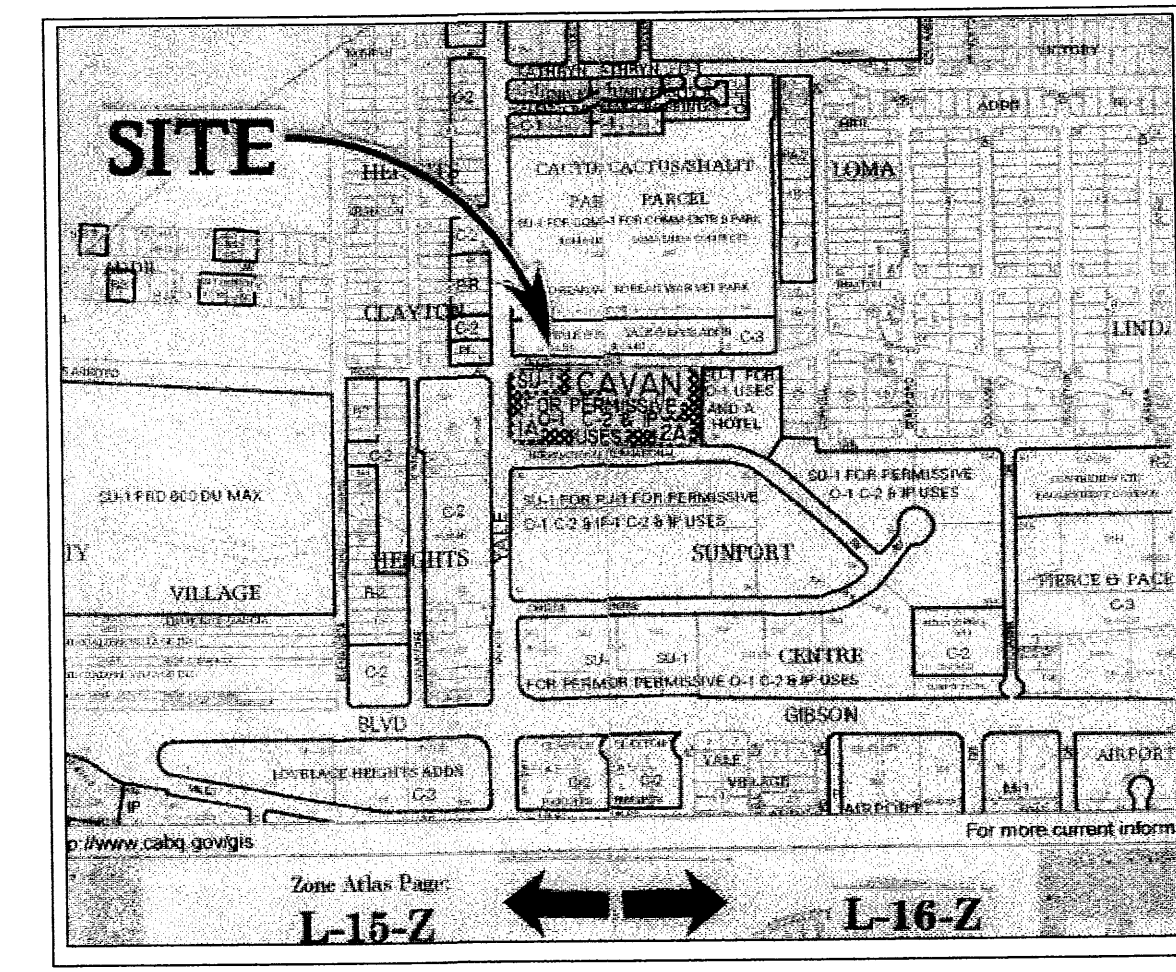


UTILITY PLAN
 MARRIOTT RESIDENCE INN
 2301 INTERNATIONAL DRIVE SE
 ALBUQUERQUE, NEW MEXICO

FRANK D. LOVELADY, P.E.
 (505) 345-2267 • Fax (505) 345-2115 • 300 ALAMOGA RD. NW • Albuquerque, NM • 87107

JOB NO: 704
 DATE: AUGUST 07, 2007
 REVISIONS

SHEET NO.
 1 of 1

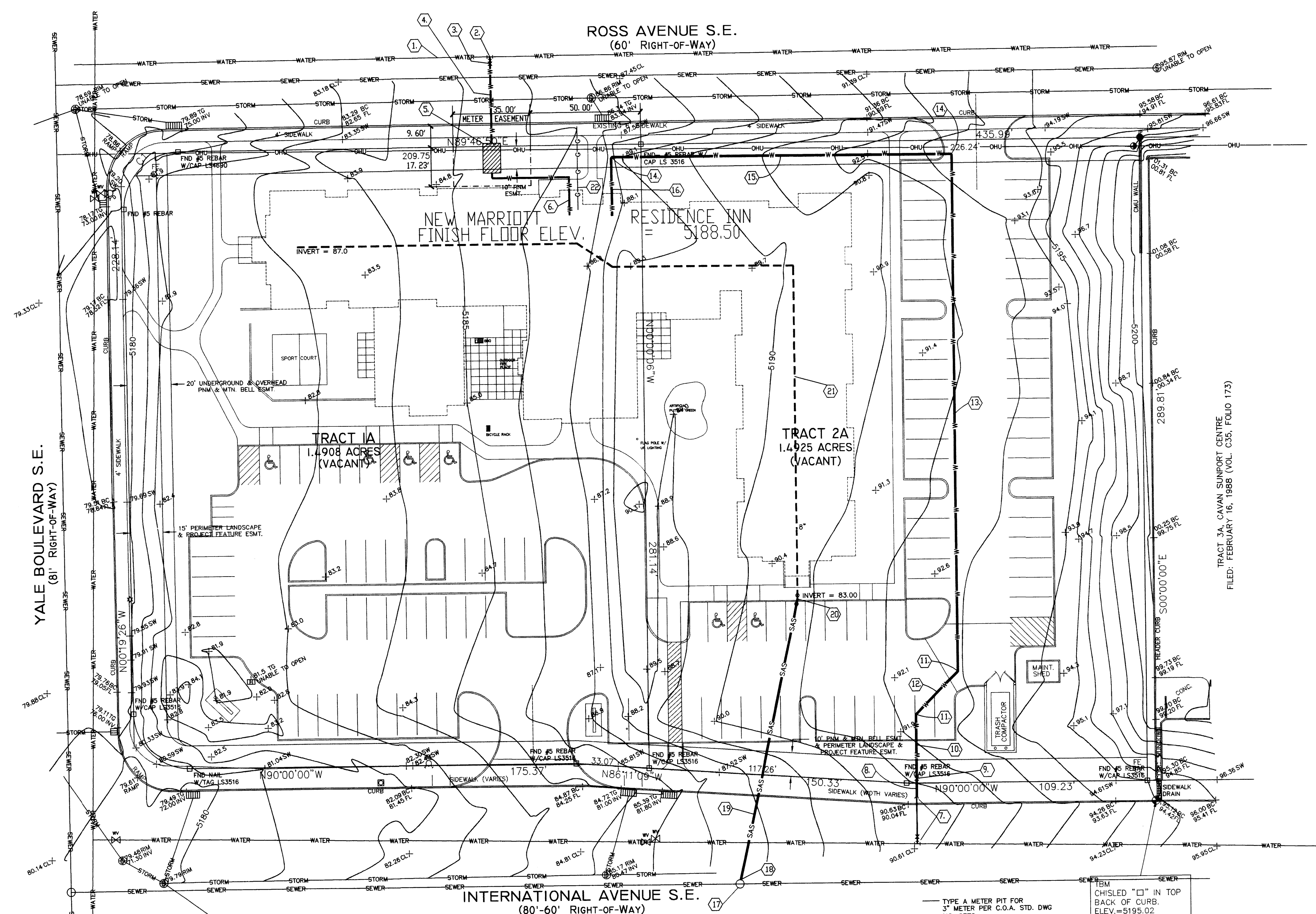
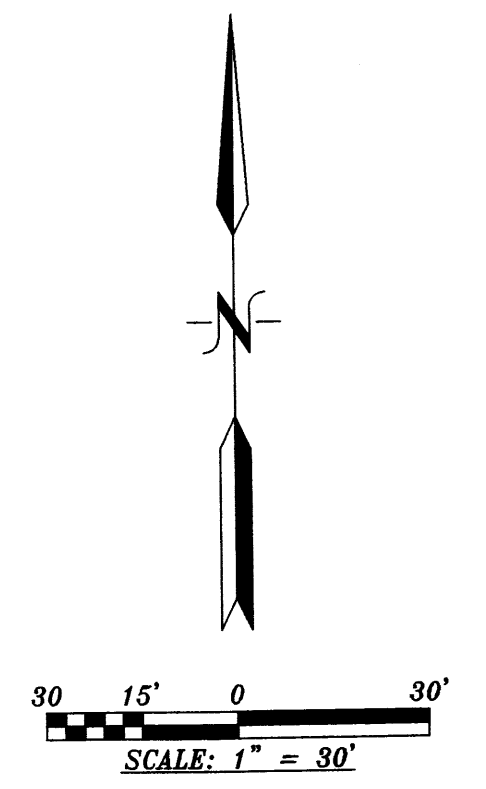


VICINITY MAP ZONE ATLAS PAGE L-15-Z AND L-16-Z

- KEYED NOTES - WATER SERVICE CONNECTION.**
- EXISTING 6" C.I. WATERLINE.
 - INSTALL 6" X 6" X 3" TAPPING TEE MJ FOR DOMESTIC WATER SERVICE.
 - 3" TAPPING GATE VALVE, MJ.
 - 35 LF OF 3" PVC WATERLINE.
 - CONSTRUCT TYPE A METER PIT FOR 3" METER PER C.O.A. STD. DWG. 2370.
 - 4" WATER LINE - TO CW RISER IN BUILDING.
- KEYED NOTES - FIRE SPRINKLER CONNECTION.**
- EXISTING WATERLINE STUBOUT - FROM C.O.A. AS-BUILT PLAN 3006, SHEET 12 OF 16, 385 FEET EAST OF C.L. YALE BLVD. AND 10' NORTH OF INTERNATIONAL AVE., AS FOLLOWS:
 1 - 12" X 12" X 8" TEE
 1 - 8" GATE VALVE
 1 - TYPE "A" VALVE BOX
 1 - 8" END CAP
 20 LF OF 8" WATERLINE.
 - 10 LF (+/-) 8" PVC WATERLINE.
 - 8" GATE VALVE AND TYPE "B" VALVE BOX.
 - 27 LF 8" PVC WATERLINE.
 - 8" 45° BEND.
 - 26 LF 8" PVC WATERLINE.
 - 233 LF 8" PVC WATERLINE.
 - 8" 90° BEND.
 - 153 LF 8" PVC WATERLINE.
 - 8" PVC WATERLINE TP FIRE SPRINKLER CONNECTION IN BUILDING.

- KEYED NOTES - SAS SERVICE CONNECTION.**
- EXISTING MANHOLE.
 RIM ELEV. = 85.81
 INVERT ELEV. AT CENTER MANHOLE = 76.37
 - CONNECT TO EXISTING MANHOLE. INVERT ELEVATION TO MATCH TOP OF EXISTING PIPE IN INTERNATIONAL.
 INVERT ELEV. AT CENTER MANHOLE = 76.37 + 0.67 = 77.04
 - 130 LF OF 8" PVC SEWER SERVICE LINE FROM BUILDING. INVERT AT BLDG. = 83.00
 SLOPE = (83.00 - 77.04) / 130.00 = 0.0458
 - CONNECT BUILDING SEWER TO SEWER SERVICE LINE. INVERT AT BLDG. = 83.00
 - BUILDING SEWER. SEE MECHANICAL PLAN.

- KEYED NOTES - GAS SERVICE CONNECTION.**
- CONTRACTOR TO MAKE APPLICATION TO PNM BY USING THE FOLLOWING FORM:
 PNM SERVICE APPLICATION FOR COMMERCIAL AND INDUSTRIAL PROJECTS.



CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	25.00'	39.32'	90°06'18"	25.05'	N44°43'42"E	35.39'
C2	25.00'	39.13'	89°40'33"	24.86'	N45°09'42"W	35.26'

LEGAL DESCRIPTION
 TRACT 1A & 2A CAVAN SUNPORT CENTER, SECTION 27, T. 10 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

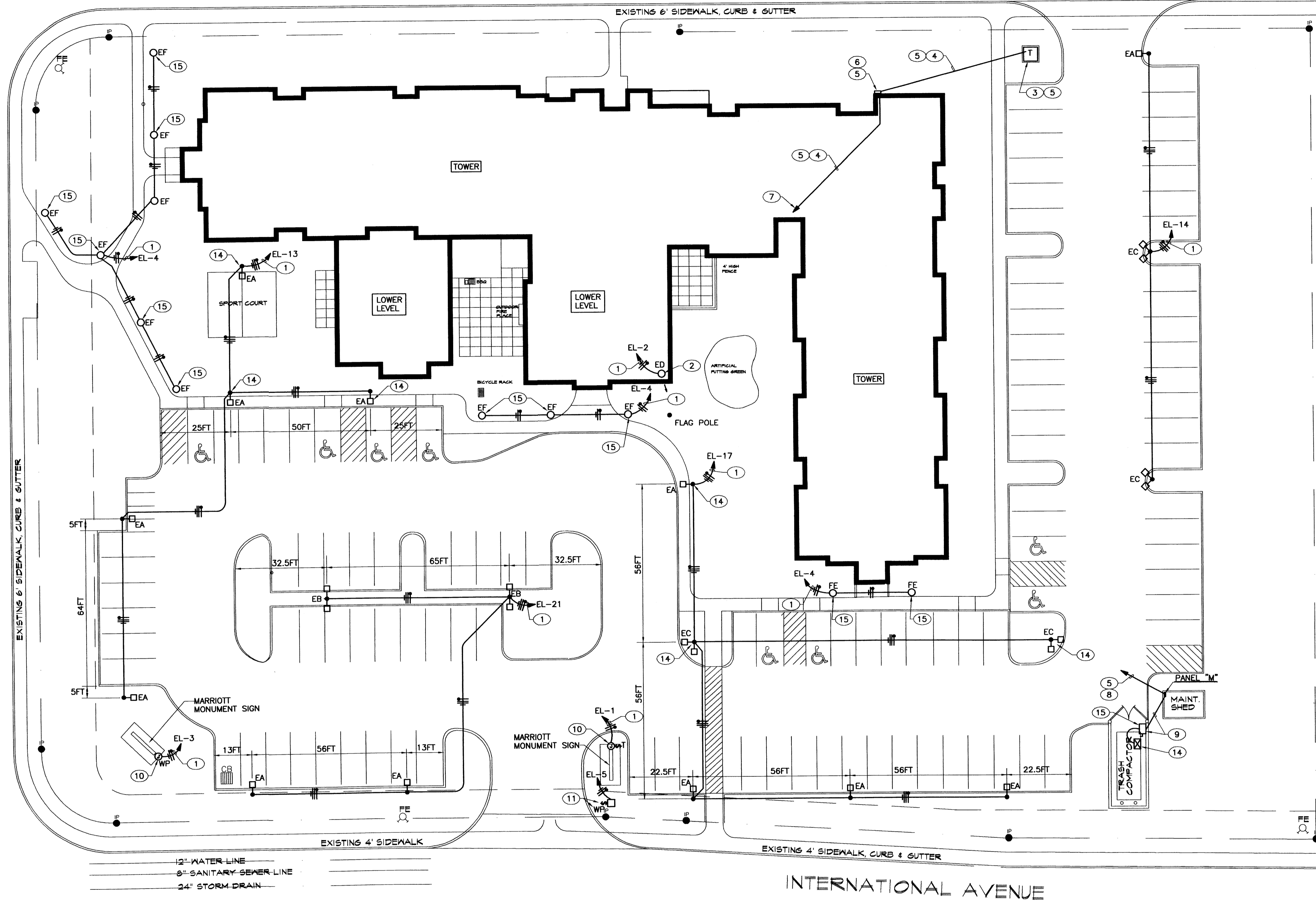
UTILITY INFORMATION SHOWN HEREON PER FIELD INSPECTION AND CITY OF ALBUQUERQUE UTILITY RECORDS. ACTUAL LOCATION SHOULD BE FURTHER VERIFIED BEFORE BEGINNING CONSTRUCTION AND ANY DISCREPANCIES REPORTED TO THE SURVEYOR.

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 11-116. THE PUBLISHED ELEVATION OF WHICH IS 5273.40 (NAVD88), AND IS LOCATED IN THE SOUTH-SOUTHWEST QUADRANT OF YALE AVE S.E. & GIRARD BLVD. S.E. BEING A CHISELED 'SQUARE' CUT ON TOP OF CURB.

C:\All Proj\Prof\67-7001\Prof\06MARRIOTT UTILITIES.DWG (AUGUST 7, 2007)

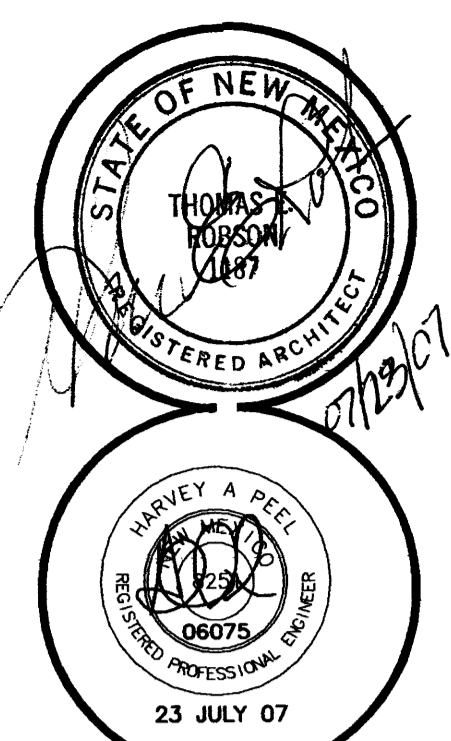
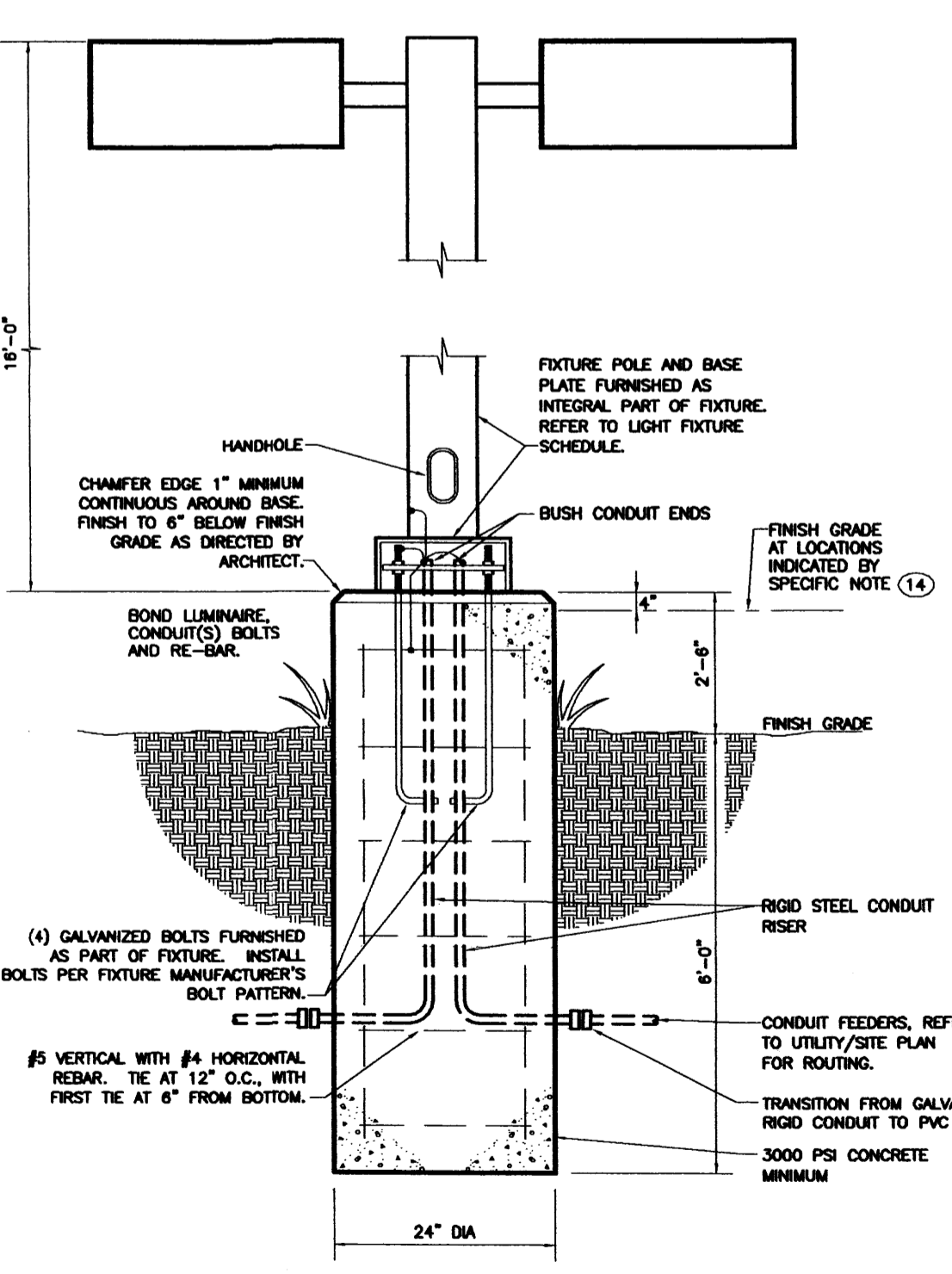
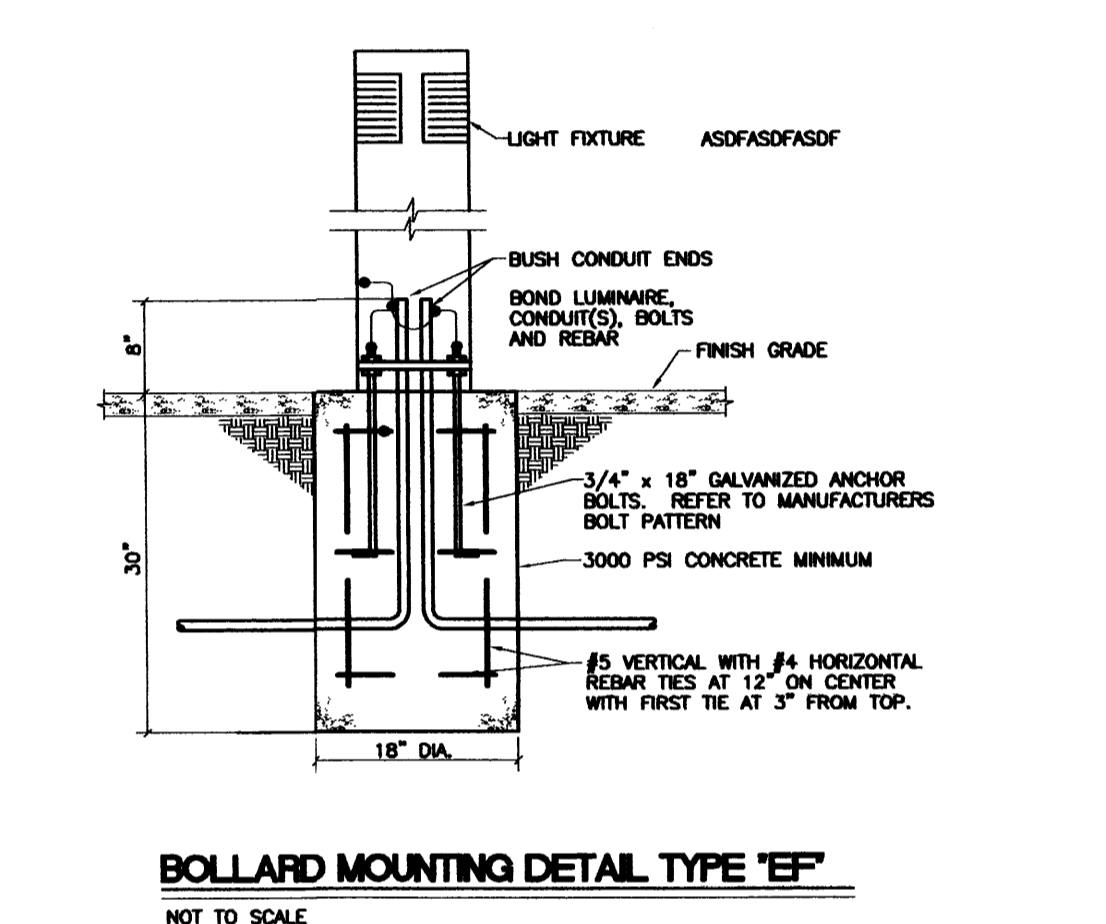
ROSS AVENUE

YALE BOULEVARD



12" WATER LINE
8" SANITARY SEWER LINE
24" STORM DRAIN

- KEYED NOTES**
- 1 EXTEND TO BRANCH CIRCUIT INDICATED THRU EXTERIOR LIGHTING CONTROL.
 - 2 INSTALL LUMINAIRE ON TOP OF GATEHOUSE ROOF AND FIELD AIM FOR FLAG ILLUMINATION.
 - 3 PROPOSED LOCATION OF PUBLIC SERVICE CO. OF NEW MEXICO PADMOUNT TRANSFORMER.
 - 4 UNDERGROUND SERVICE ENTRANCE FEEDER.
 - 5 REFERENCE POWER RISER DIAGRAM/SHET E12 FOR REQUIREMENTS.
 - 6 LOCATION OF C.T./METERING ENCLOSURE.
 - 7 TERMINATE FEEDER AT MAIN DISTRIBUTION SWITCHBOARD/PANEL "MDP".
 - 8 PANEL "M" UNDERGROUND FEEDER FROM "MDP".
 - 9 EXTEND 1" CONDUIT UNDERGROUND FROM PANEL "M" INTO DUMPSTER LOCATION AT 24" ABOVE FINISH GRADE AND TERMINATE IN NEMA 3R FUSIBLE DISCONNECT.
 - 10 PROVIDE 4" SQUARE WEATHERPROOF JUNCTION BOX AT MOUNTMENTS SIGN AND EXTEND 1" CONDUIT TO PANEL "CP".
 - 11 EXTEND 120 VOLT BRANCH CIRCUIT TO DOMESTIC WATER SYSTEM "HOT BOX" AND TERMINATE IN WEATHERPROOF DISCONNECT SWITCH; COORDINATE EXACT LOCATION OF "HOT BOX".
 - 12 EXTEND (3) 4" CONDUITS UNDERGROUND FROM BACKBOARD IN ELEC. EQUIPMENT/TV/CAMERA ROOM TO PROPERTY LINE.
 - 13 COORDINATE UTILITY INTERFACE POINT WITH VOICE AND TELEVISION SERVING UTILITIES; CAP CONDUITS AT TERMINATION.
 - 14 MOTOR CONTROLLER FURNISHED INTEGRAL WITH TRASH COMPACTOR.
 - 15 30 AMP, 250 VOLT, 3 POLE SN +GROUND, NEMA 3R FUSIBLE DISCONNECT SWITCH.



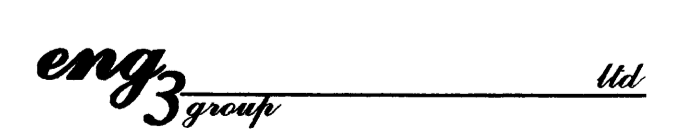
JOB NO: 07-28-07/01-07
DRAWN BY: BM
DATE: 07-28-07/01-07
REVISION:
ROBSON & ASSOCIATES - ARCHITECTS
2801 JUAN TABO NE, SOUTH 87112
ALBUQUERQUE, NEW MEXICO
505 - 552 - 1116

TITLE: MARRIOTT RESIDENCE INN
SHEET TITLE: ELECTRICAL UTILITIES PLAN

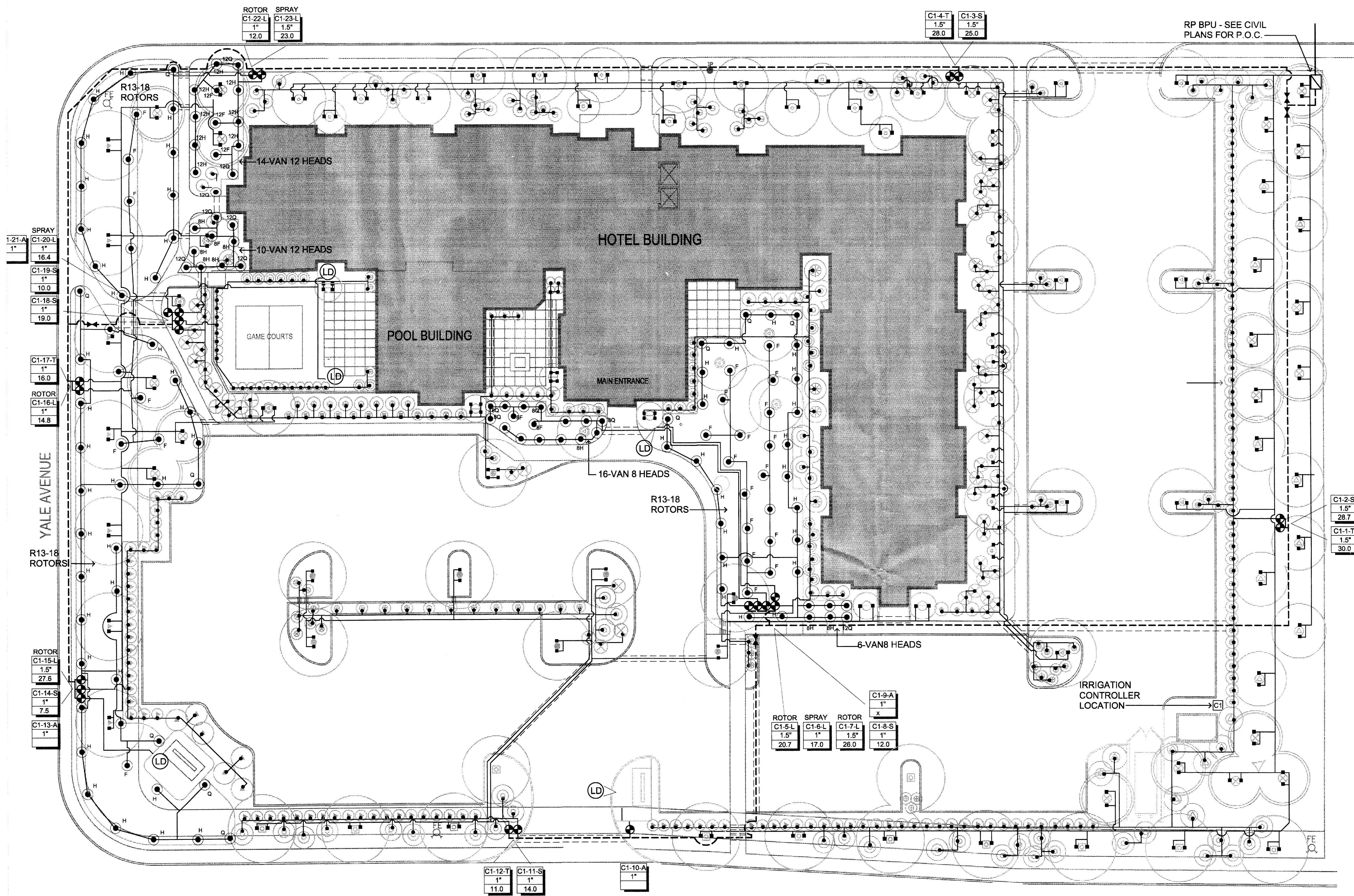
ADDRESS: YALE BLVD. & INTERNATIONAL AVE., S.E.
ALBUQUERQUE, NEW MEXICO

ELECTRICAL UTILITIES PLAN

SCALE: 1"=20'



400 PASAD DEL NORTE N.E.
ALBUQUERQUE, NEW MEXICO 87113
OFFICE: 798-0361
CELL: 336-6883
FAX: 798-0802



IRRIGATION LEGEND

SYMBOL	TYPE
[Square with 'C']	Controller
[Square with 'X']	RP DEVICE and Master Valve
[Circle with 'E']	Electric Valve
[Circle with 'G']	Gate Valve
[Circle with 'R']	Rotor
[Circle with 'S']	Spray Head
[Circle with 'B']	Bubbler head
[Circle with 'B']	Bubbler head
[Circle with 'LD']	Landscape Dripline
[Circle with 'TV']	Terminal Drain Valve
[Line with 'S']	Sleeve
[Line with 'L']	Lateral
[Line with 'M']	Mainline (PVC)

JOB NO.:
 DRAWN BY: RAB
 DATE: 7/23/07
 REVISED: 7/23/07

ROBSON & ASSOCIATES - ARCHITECTS
 2301 JUAN TABO, N.E. SOUTH SUITE
 ALBUQUERQUE, NEW MEXICO 87112
 505 - 332 - 1176

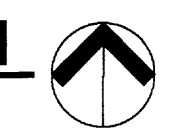
TITLE: **MARRIOTT RESIDENCE INN**

ADDRESS: _____

SHEET TITLE: **IRRIGATION PLAN**

IRRIGATION PLAN

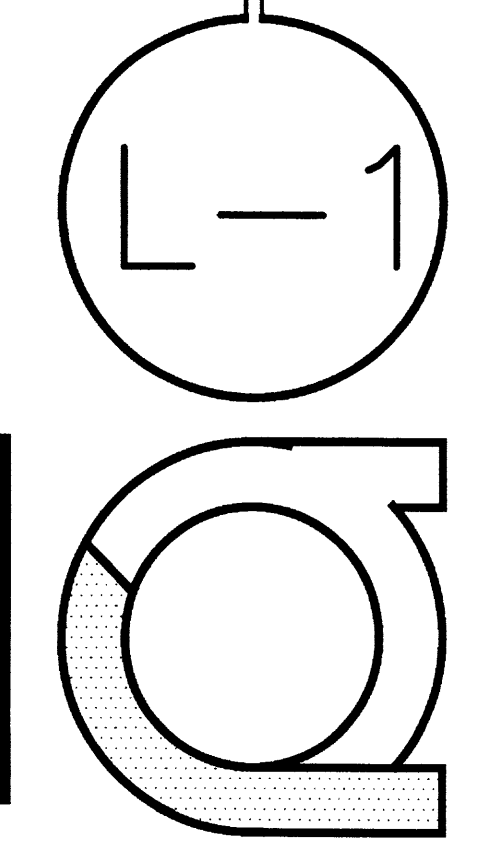
SCALE: 1" = 20'

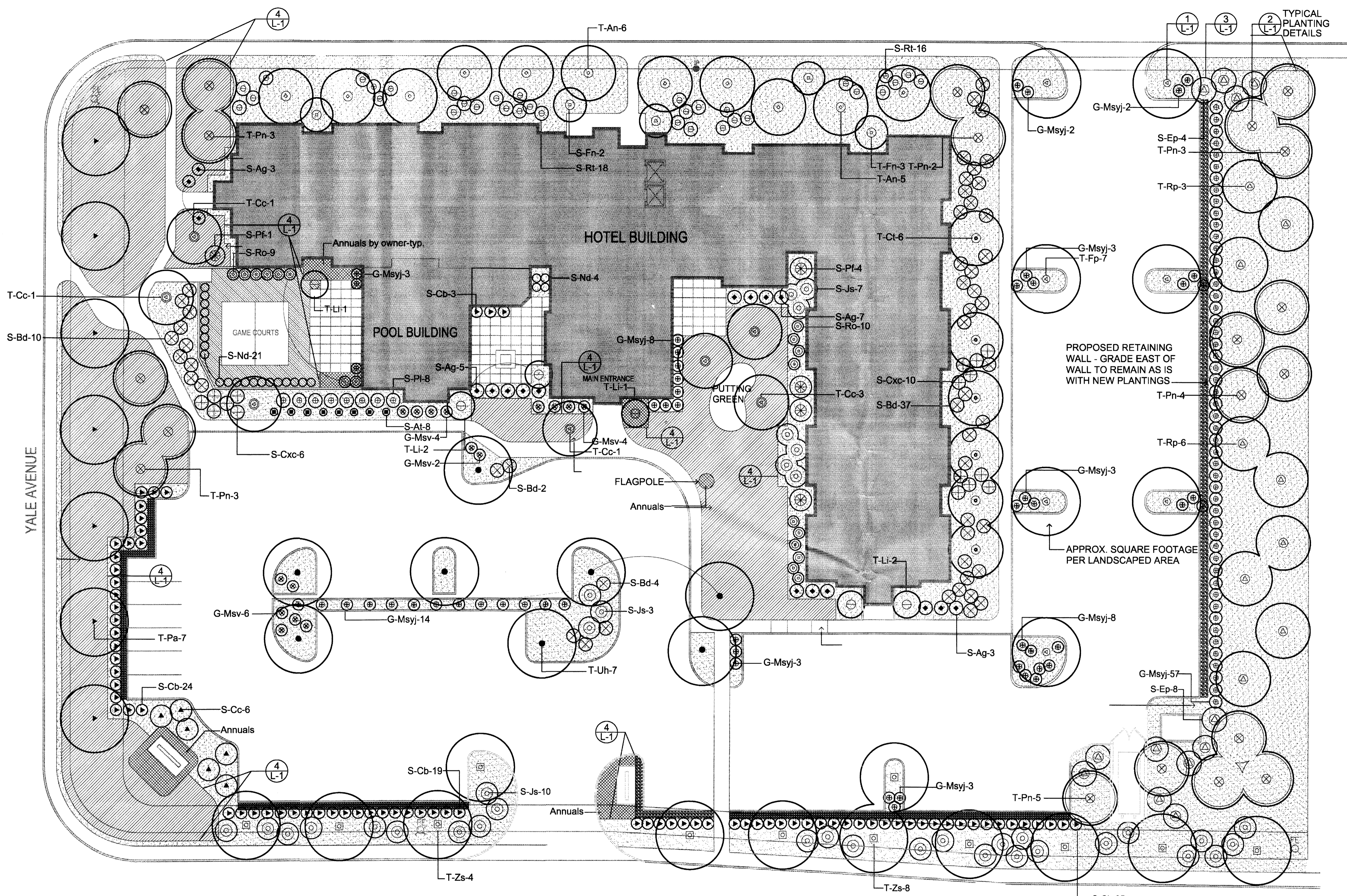


VALVE KEY

[Square with 'C']	Controller, Station #, Plant Type
[Square with 'T']	T=Tree; S=Shrub; L=Lawn; A=Annuals
[Square with 'V']	Valve Size
[Square with 'GPM']	Total GPM Per Valve Zone

**G. ROBERT
 JOHNS, FASLA**
 LANDSCAPE ARCHITECT
 2317 Camino de los Artesanos
 Albuquerque, New Mexico 87107
 tel: (505) 306-4650





PLANT LEGEND

Trees

SYMBOL	BOTANICAL NAME	COMMON NAME
⊙	T-Fn	Forestiera neomexicana New Mexican olive
⊙	T-An	Acer negundo Sensation maple
⊙	T-Rp	Robinia pseudoacacia Purple robe locust
⊙	T-Li	Lagerstroemia indica Crape myrtle
⊙	T-Cc	Cercis canadensis Eastern redbud
⊙	T-Pn	Pinus nigra Austrian pine
●	T-Uh	Ulmus hybrid Frontier elm
⊙	T-Zs	Zelcova serrata Saw-leaf zelcova
⊙	T-Fp	Fraxinus pennsylvanica Urbanite ash
▶	T-Pa	Platanus acerifolia London plane tree
⊙	T-Ct	Chitalpa tashentensis Morning cloud chitalpa

Shrubs

SYMBOL	BOTANICAL NAME	COMMON NAME
⊙	S-Ag	Abelia grandiflora Glossy abelia
⊙	S-Cb	Cotoneaster buxifolia Greyleaf cotoneaster
⊙	S-Pl	Philadelphus lewisii Native mock orange
⊙	S-Ro	Rosemarinus officinalis Bush rosemary
⊙	S-At	Achillea tageta Moonshine yarrow
⊙	S-Js	Juniperus sabina Buffalo juniper
⊙	S-Bd	Buddleia davidi Dwarf butterflybush
⊙	S-Cc	Cotinus coggygria Smoke tree
⊙	S-Pf	Photenia fraseri Japanese photenia
⊙	S-Rt	Rhus trilobata Three-leaf sumac
⊙	S-Cxc	Caryopteris x clandonensis Blue mist
⊙	S-At	Nandina domestica Heavenly bamboo
⊙	S-At	Annuals Heavenly bamboo
⊙	S-Ep	Eleaegnus pungens Silverberry

Ornamental Grasses

SYMBOL	BOTANICAL NAME	COMMON NAME
⊙	G-MsYj	Miscanthus sinensis Yuka jima maidengrass
⊙	G-Msv	Miscanthus sinensis variegatus Variegated maidengrass

ANNUAL BEDS

SEASONAL ANNUALS IN 4" POTS - APPROXIMATELY 200 PLANTS

PLANTING PLAN
SCALE: 1" = 20'

JOB NO.: RAB
DRAWN: 7/15/07
DATE: 7/25/07
REVISED:

ROBSON & ASSOCIATES - ARCHITECTS
2301 JUAN TABO, N.E. SOUTH SUITE
ALBUQUERQUE, NEW MEXICO 87112
505 - 332 - 1176

TITLE: MARRIOTT RESIDENCE INN

ADDRESS:

1-3

G. ROBERT JOHNS, FASLA
LANDSCAPE ARCHITECT
2317 Camino de los Artesanos
Albuquerque, New Mexico 87107
tel: (505) 306-4650