

Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS 7-L-15 AND 19-L16, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES () ARE PER THE PLAT OF CAVAN SUNPORT CENTRE, FILED IN BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 16, 1988 IN VOLUME C35, FOLIO 173.
6. GROSS AREA: 2.9833 ACRES
7. NUMBER OF EXISTING TRACTS: 2
8. NUMBER OF TRACTS CREATED: 1
9. PROPERTY IS ZONED: SU-1 FOR PERMISSIVE O-1, C-2 AND IP USES

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
 UPC#: 101005200171273010
 PROPERTY OWNER OF RECORD
 ALBUQUERQUE INNKEEPER
 BERNALILLO COUNTY TREASURERS OFFICE
 8-21-07

LEGAL DESCRIPTION

TRACTS 1-A AND 2-A, OF CAVAN SUNPORT CENTRE AS THE SAME IS SHOWN AND DESIGNATED ON THE SEPTEMBER, 1987 REPLAT OF CAVAN SUNPORT CENTRE WITHIN SECTION 27, T10N, R3E, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 16, 1988 IN PLAT BOOK C35, FOLIO 173.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER(S) SIGNATURE: John R. Curry John R. Curry, Managing member DATE: 5/23/07
 OWNER(S) PRINT NAME: Albuquerque Innkeeper I LLC
 ADDRESS: 2511 N Telshor Blvd, Las Grises, NM, 88011 TRACT: 1-A-1
 ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
 County of Bernalillo)
Dona Ana SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 23rd DAY OF May, 2007.
 BY: John R. Curry
 MY COMMISSION EXPIRES: 9/12/07



PLAT OF
 TRACT 1-A-1
 CAVAN SUNPORT CENTRE
 SECTION 27, T. 10 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY 2007
 SHEET 1 OF 2

DOC# 2007120634
 08/21/2007 09:14 AM Page: 1 of 2
 PLAT # \$12.00 B: 2007C P: 0231 M: Toulouse, Bernalillo County

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO COMBINE TWO (2) EXISTING TRACTS INTO ONE (1) NEW TRACT.

CITY APPROVALS: PROJECT NO.: 1004871 APPLICATION NO. 07DRB-70028

<u>[Signature]</u>	<u>5-29-07</u>
CITY SURVEYOR	DATE
<u>[Signature]</u>	<u>7/25/07</u>
TRAFFIC ENGINEERING	DATE
<u>Christina Sandoval</u>	<u>7/25/07</u>
PARKS & RECREATION DEPARTMENT	DATE
<u>Roger A. Dean</u>	<u>8-15-07</u>
WATER UTILITIES DEPARTMENT ATSCWUA	DATE
<u>Bradley D. Bingham</u>	<u>7/25/07</u>
A.M.A.F.C.A.	DATE
<u>Bradley D. Bingham</u>	<u>7/25/07</u>
CITY ENGINEER	DATE
<u>[Signature]</u>	<u>8/15/07</u>
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

SURVEYOR'S CERTIFICATION

I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Mitchell W. Reynolds 05-29-07
 Mitchell W. Reynolds Date
 New Mexico Professional Surveyor, 11224



SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E. PHONE: (505) 998-0303
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306
 87102

PLAT OF
TRACT 1-A-1
CAVAN SUNPORT CENTRE
SECTION 27, T. 10 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY 2007
SHEET 2 OF 2

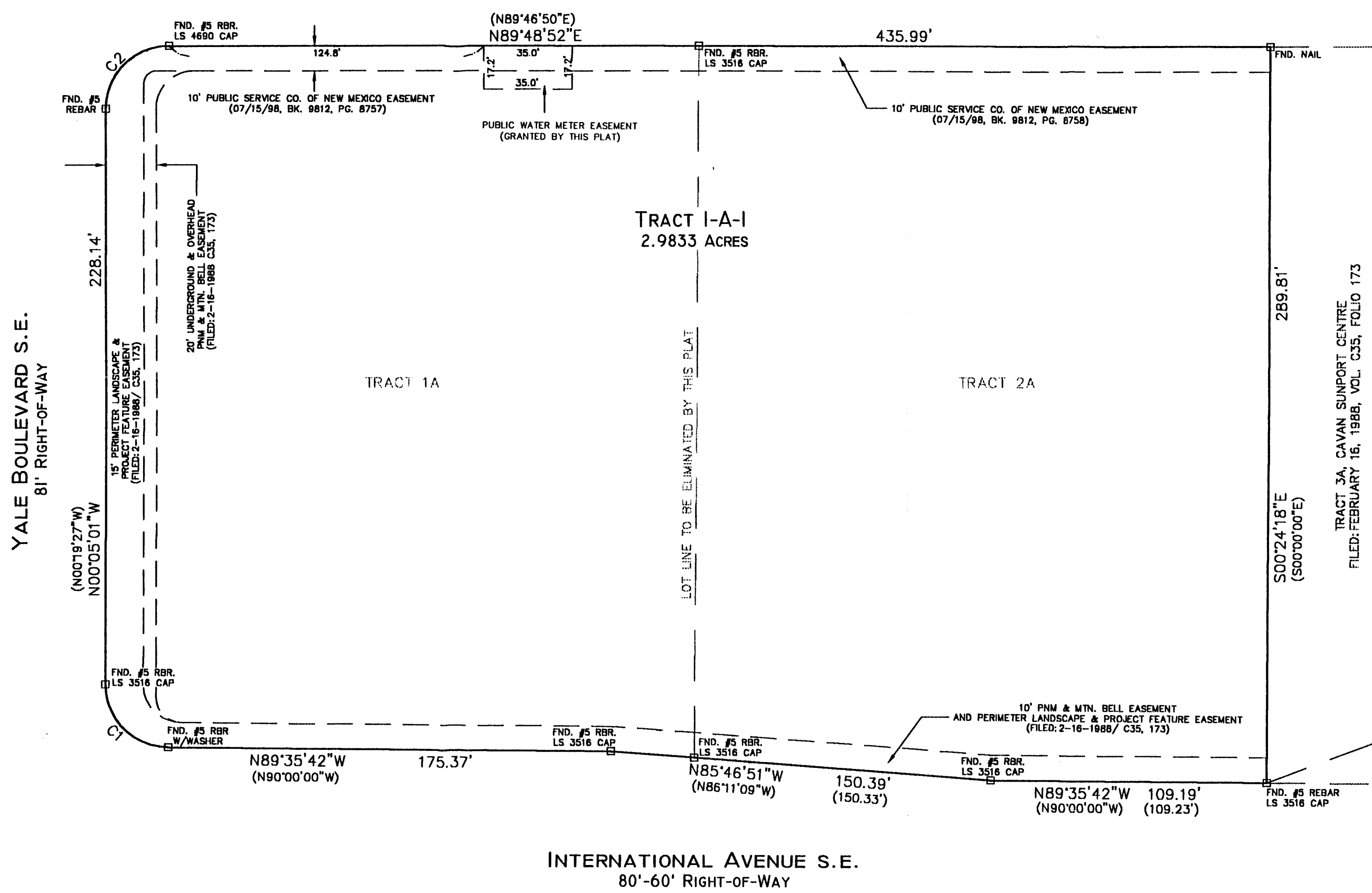
20 10 0 20 40
15 5 10 30
SCALE: 1" = 40'
PROJECT NO. 0604RS10
DRAWN BY AT
ZONE ATLAS: L-16-Z
CAVANSUN.CR5



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	25.00'	39.13'	89°40'43" (89°40'33")	N44°45'21"W	35.26'
C2	25.00'	39.32'	90°06'07" (90°05'16")	N45°08'05"E	35.39'

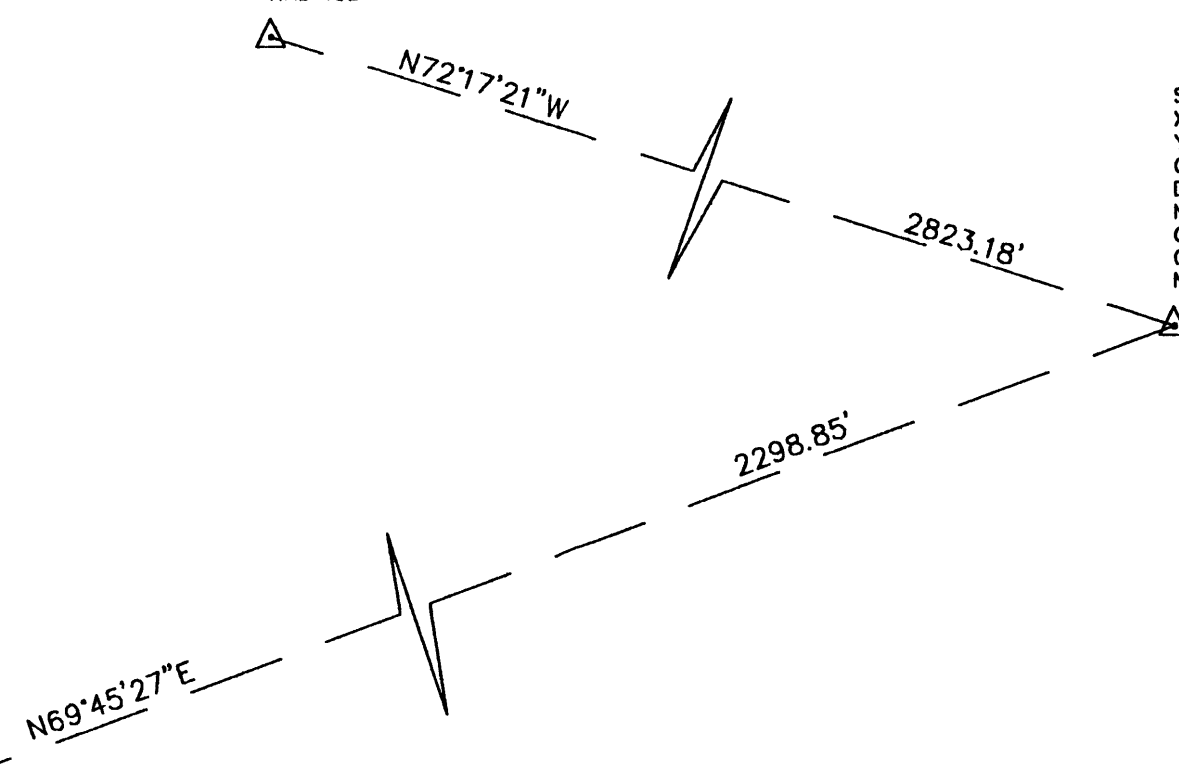
DOCH 2007120634
08/21/2007 09:14 AM Page: 2 of 2
PLAT R: \$12.00 B: 2007C P: 0231 A Toulouse, Bernalillo County

ROSS AVENUE S.E.
60' RIGHT-OF-WAY



STATION: 7-L-15
X = 388821.38
Y = 1479487.54
GROUND TO GRID = 0.9996673
DELTA ALPHA = -00°12'48"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927

STATION: 19-L-16
X = 391509.99
Y = 1478628.94
GROUND TO GRID = 0.9996602
DELTA ALPHA = -00°12'30"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927



INTERNATIONAL AVENUE S.E.
80'-60' RIGHT-OF-WAY

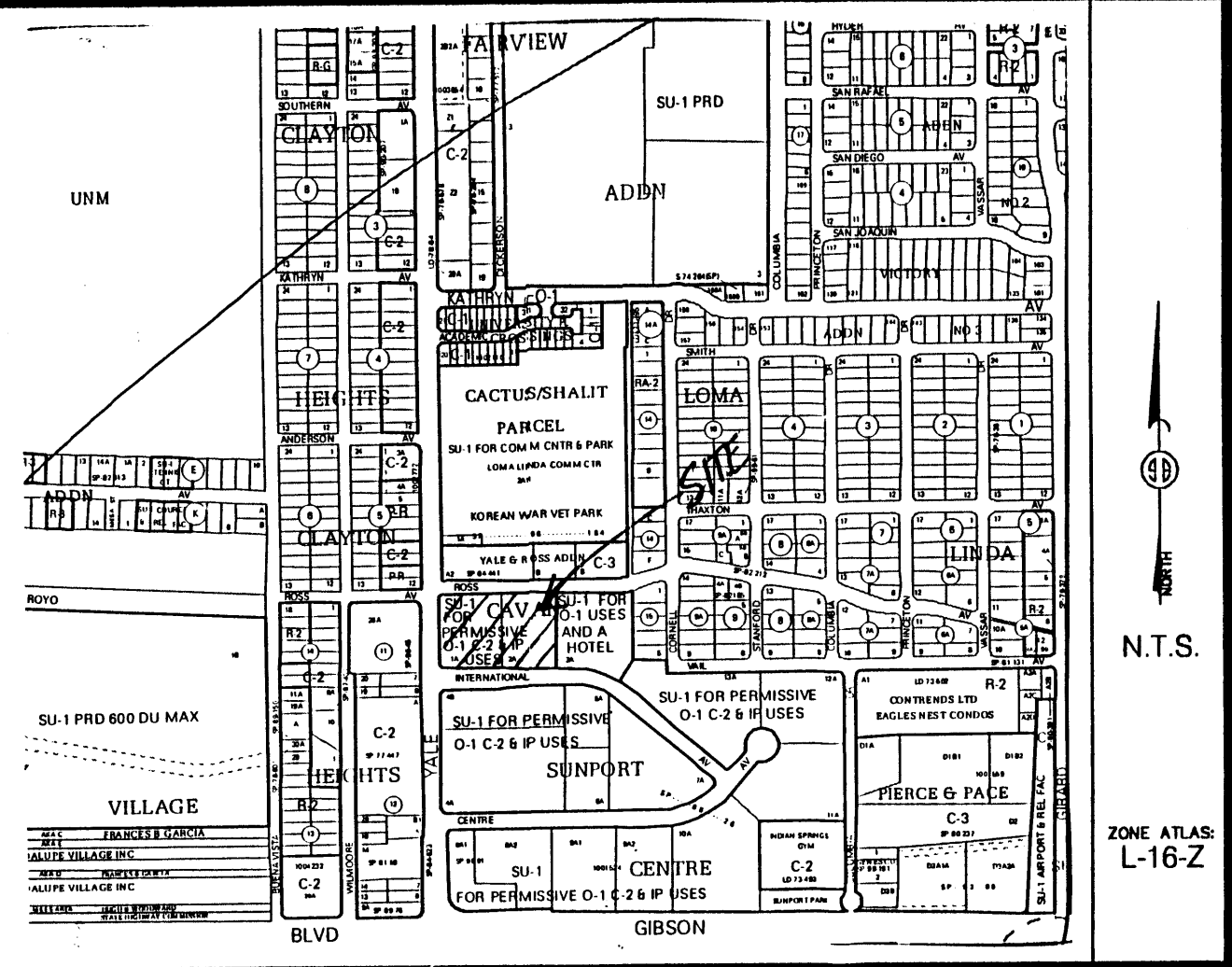
MONUMENT LEGEND

- △ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED

SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E. ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 998-0303
FAX: (505) 998-0306

T10N R3E SEC. 27



Vicinity Map

SUBDIVISION DATA / NOTES

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8. NUMBER OF TRACTS CREATED: 1
9. PROPERTY IS ZONED: SU-1 FOR PERMISSIVE O-1, C-2 AND IP USES

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
 UPC#: _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO COUNTY TREASURER'S OFFICE: _____

LEGAL DESCRIPTION

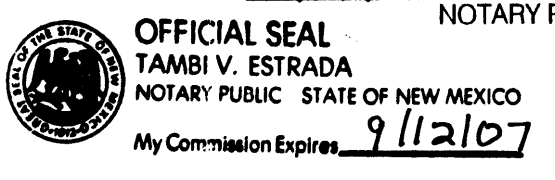
TRACTS 1-A AND 2-A, OF CAVAN SUNPORT CENTRE AS THE SAME IS SHOWN AND DESIGNATED ON THE SEPTEMBER, 1987 REPLAT OF CAVAN SUNPORT CENTRE WITHIN SECTION 27, T10N, R3E, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 16, 1988 IN PLAT BOOK C35, FOLIO 173.

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OWNER(S) SIGNATURE: John R. Curry, John R. Curry, Managing Member DATE: 5/23/07
 OWNER(S) PRINT NAME: Albuquerque Innkeeper I LLC
 ADDRESS: 2511 N Teishor Blvd, Las Cruces, NM, 88011 TRACT: 1-A-1
 ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
Donatna SS
 COUNTY OF BERNALILLO)

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 BY: John R. Curry
 MY COMMISSION EXPIRES: 9/12/07



PLAT OF
 TRACT 1-A-1
 CAVAN SUNPORT CENTRE
 SECTION 27, T. 10 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY 2007
 SHEET 1 OF 2

PRELIMINARY PLAT
 APPROVED BY DRB
 ON _____

DISCLOSURE STATEMENT
 THE PURPOSE OF THIS PLAT IS TO COMBINE TWO (2) EXISTING TRACTS INTO ONE (1) NEW TRACT.

CITY APPROVALS:	PROJECT NO.:	APPLICATION NO.:
<u>[Signature]</u>		<u>5-29-07</u>
CITY SURVEYOR		DATE
TRAFFIC ENGINEERING		DATE
PARKS & RECREATION DEPARTMENT		DATE
WATER UTILITIES DEPARTMENT		DATE
A.M.A.F.C.A.		DATE
CITY ENGINEER		DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT		DATE

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I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Mitchell W. Reynolds 05-29-07
 Mitchell W. Reynolds Date
 New Mexico Professional Surveyor, 11224



SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E. PHONE: (505) 998-0303
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306
 87102

PLAT OF
TRACT 1-A-1
CAVAN SUNPORT CENTRE
SECTION 27, T. 10 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY 2007
SHEET 2 OF 2

20 10 0 20 40

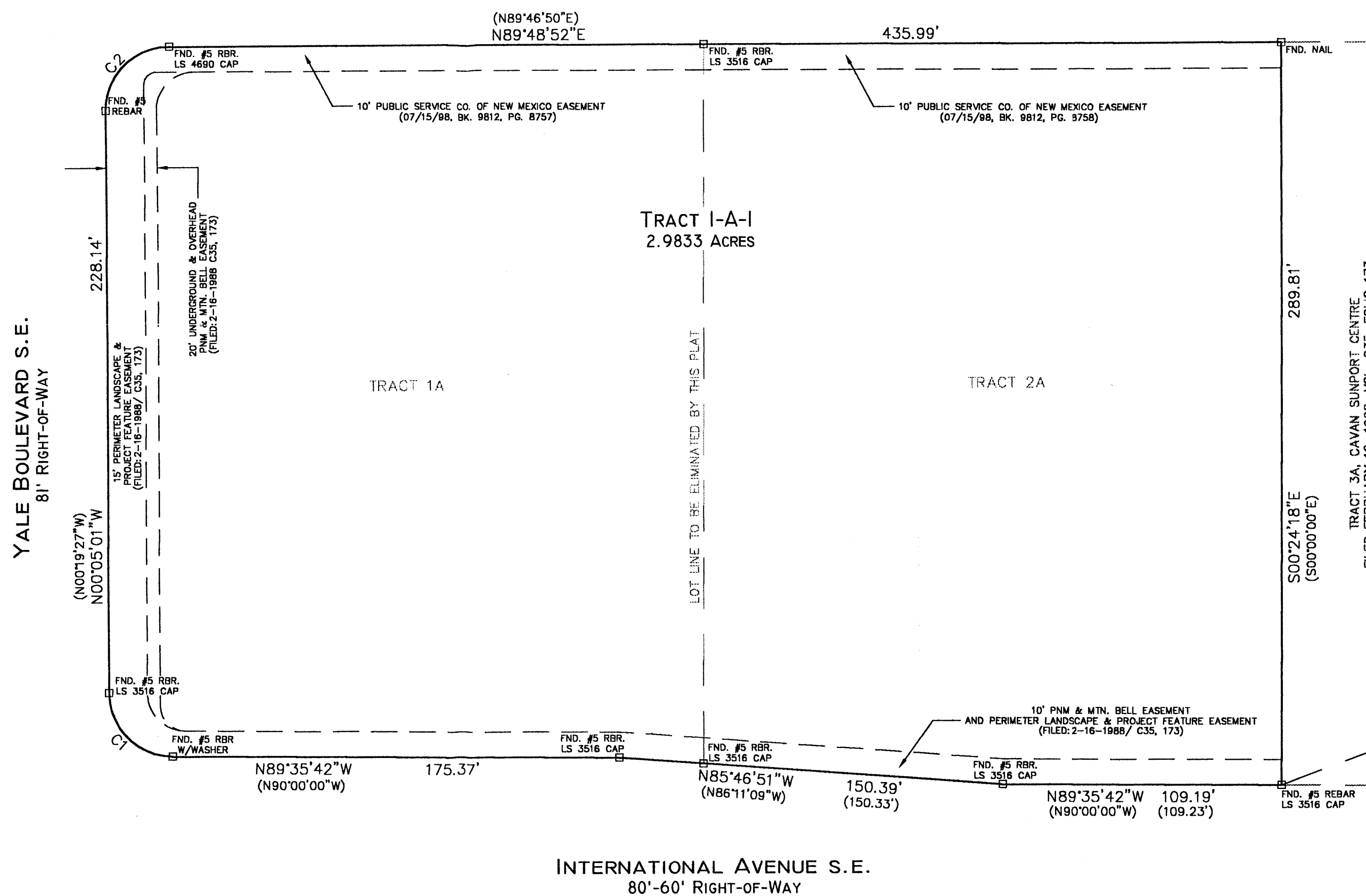


SCALE: 1" = 40'
PROJECT NO. 0604RS10
DRAWN BY AT
ZONE ATLAS: L-16-Z
CAVANSUN.CR5



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	25.00'	39.13'	89°40'43" (89°40'33")	N44°45'21"W	35.26'
C2	25.00'	39.32'	90°06'07" (90°05'16")	N45°08'05"E	35.39'

ROSS AVENUE S.E.
60' RIGHT-OF-WAY



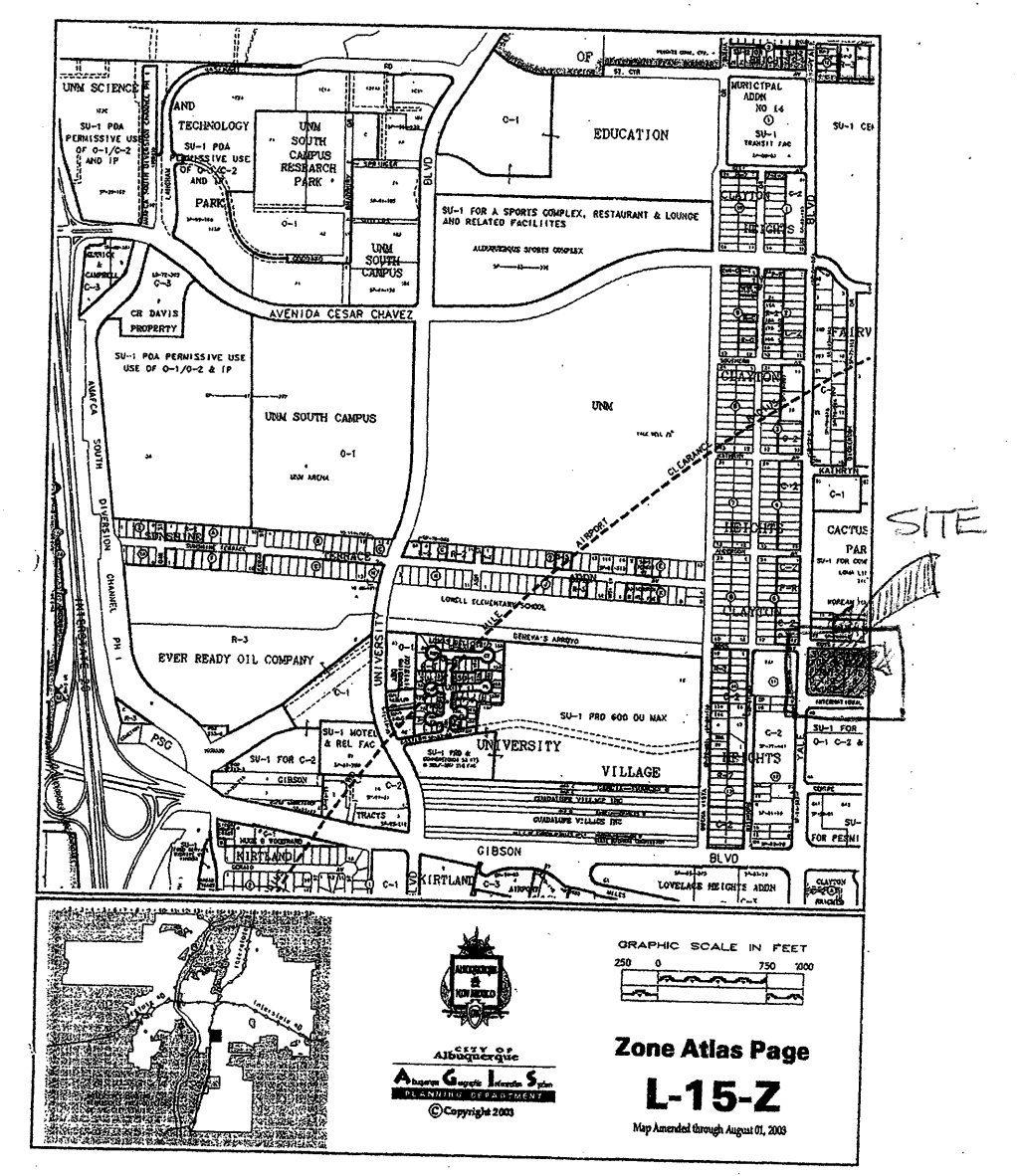
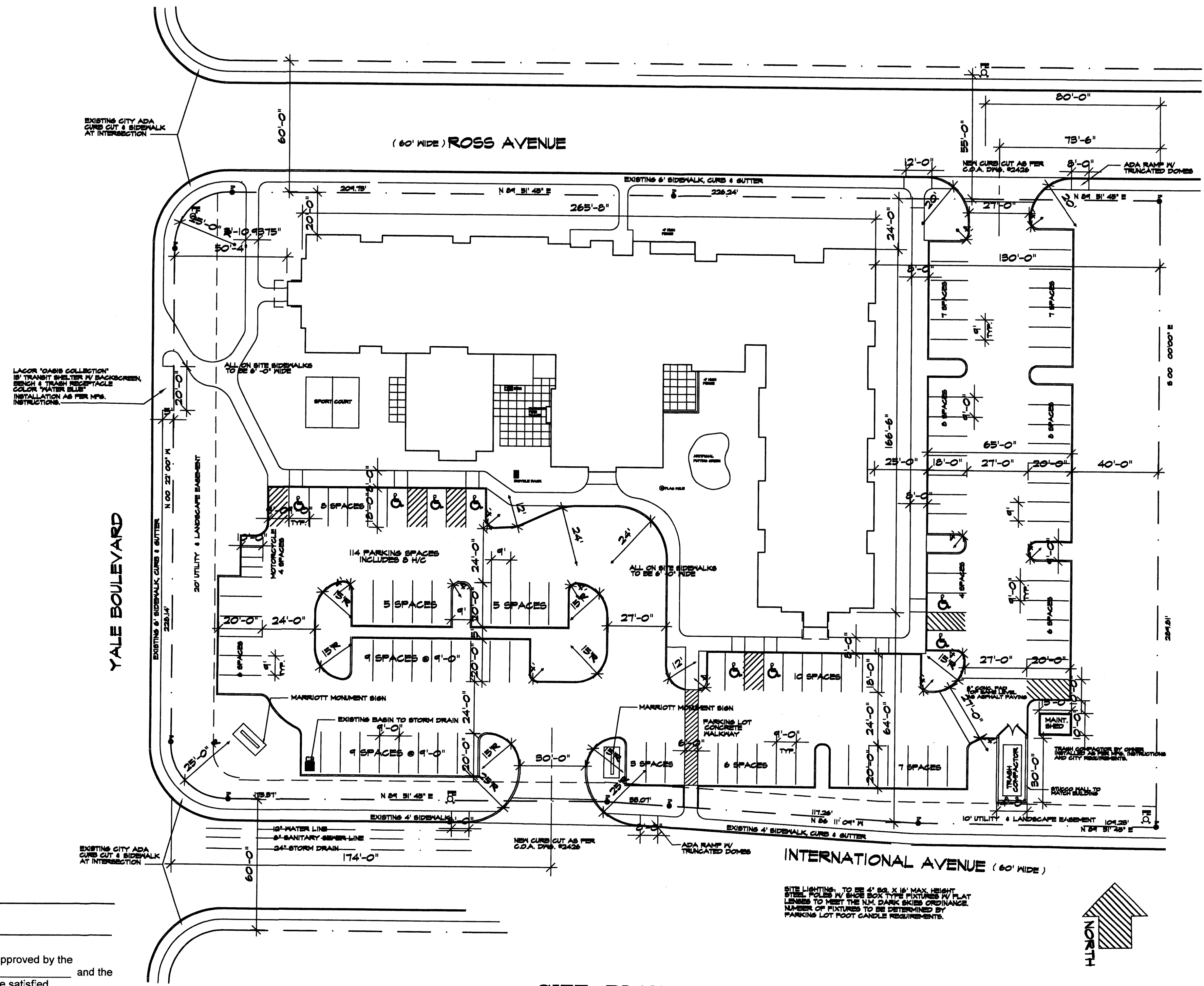
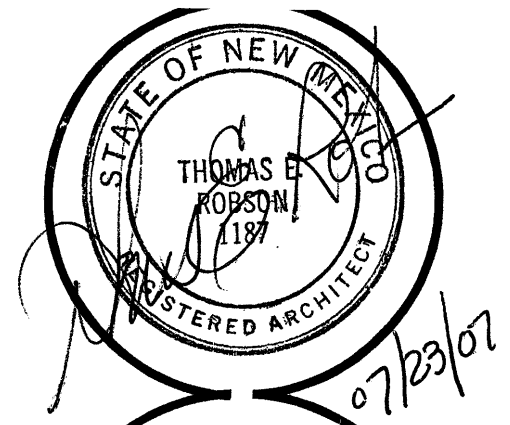
MONUMENT LEGEND

- △ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED

SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 998-0303
FAX: (505) 998-0306

T10N R3E SEC. 27



LEGEND

SQUARE FOOTAGE:

LAND AREA	=	129,808 SQ. FT.
BUILDING FOOTPRINT	=	23,640 S.F.
PARKING / PAVEMENT AREA	=	44,500 S.F.
DECK, SPORT COURT & PATIOS	=	2,950 S.F.
LANDSCAPE AREA	=	59,408 S.F.

PARKING:

REQUIRED	=	120 - 10% = 108 SPACES
PROVIDED	=	111 SPACES INCL. 8 H/C

LANDSCAPING:

REQUIRED	=	15,900 SQ. FT.
PROVIDED	=	59,408 SQ. FT.

HOTEL STATISTICS

HOTEL SQUARE FOOTAGE	=	82,071 S.F.
STUDIOS	=	60 SUITES
INCLUDES 2 H/C	=	
ONE BEDROOMS	=	24 SUITES
INCLUDES 3 H/C	=	
TWO BEDROOMS	=	21 SUITES
INCLUDES 1 H/C	=	
TOTAL SUITES	=	110 SUITES

SITE PLAN
LEGAL DESCRIPTION:
 TRACTS #1 & #2 OF THE CAYAN SUPPORT CENTRE
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



7/3/07
 Michael Holton, double check, examine, required
SOLID WASTE MANAGEMENT
 NEW PLANS CHECKING OFFICE
 824-2611
 APPROVED (UNAPPROVED)
 (HYDRAUS) ONLY
 Signature: [Signature] 7-2-07
 SIGNATURE & DATE

 FIRE MARSHAL

PROJECT NUMBER: 1004871
 Application Number: 70105

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	_____	Date	_____
ABCWUA	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
City Engineer	_____	Date	_____
* Environmental Health Department (conditional)	_____	Date	_____
Solid Waste Management	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

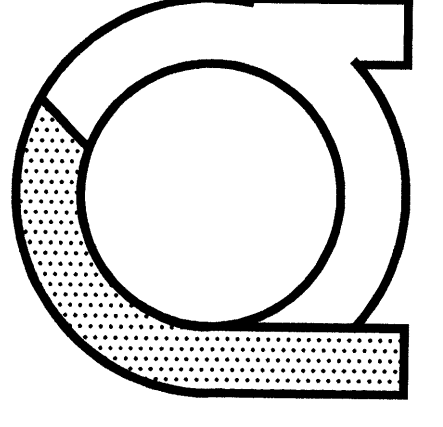
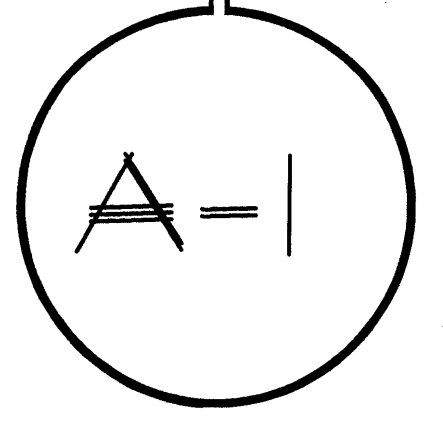
JOB NO.: TER
 DRAWN: 11-28-06
 DATE: 11-28-06
 REVISED: 01-08-07, 07-14-07

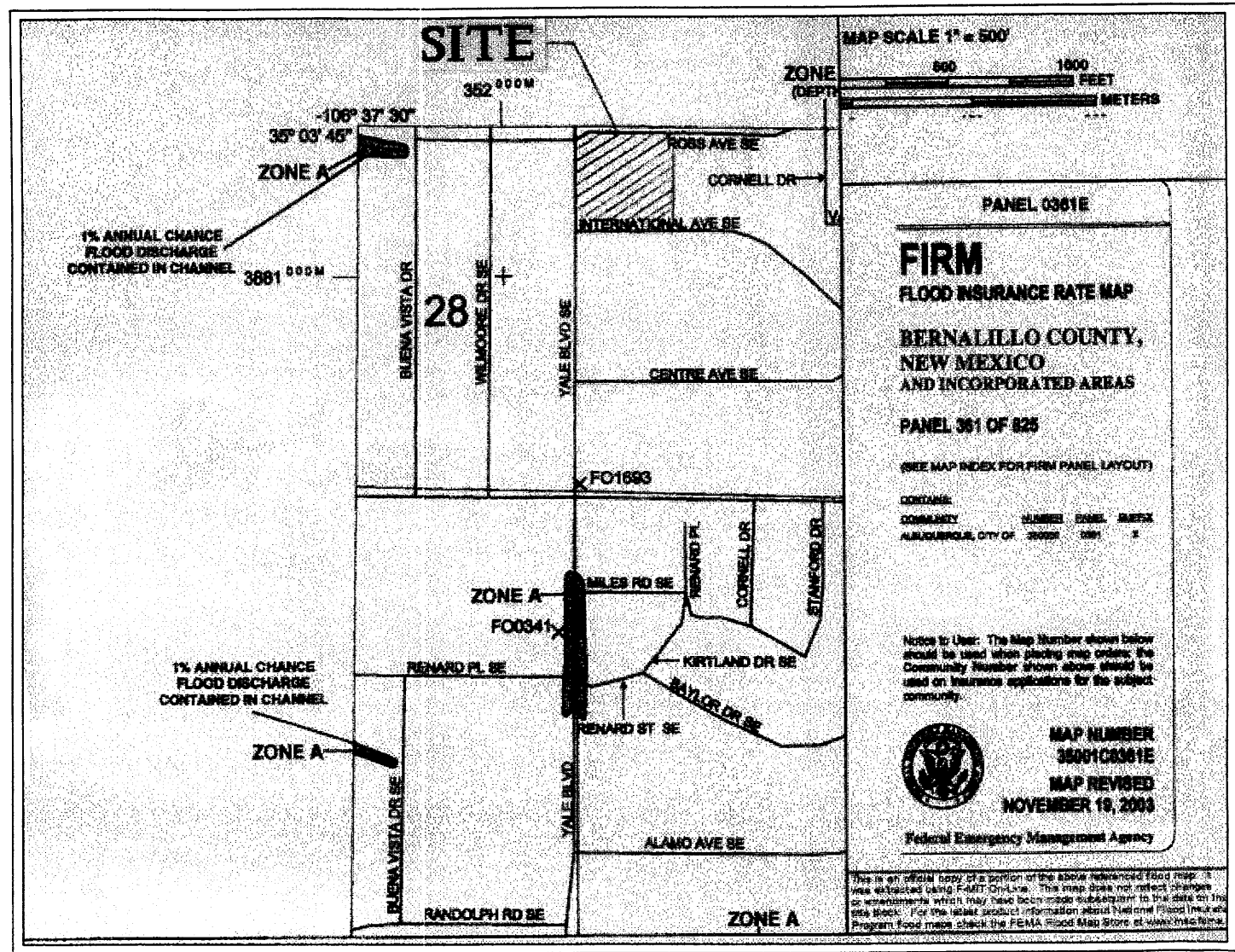
ROBSON & ASSOCIATES - ARCHITECTS
 2801 JUAN TABO, N.E. SOUTH SUITE
 ALBUQUERQUE, NEW MEXICO 87112
 505 - 933 - 1176

TITLE: **MARRIOTT RESIDENCE INN**

SHEET TITLE:
 SITE PLAN SCALE: 1" = 30'-0"

ADDRESS:
 2801 INTERNATIONAL DRIVE, S.E.
 ALBUQUERQUE, NEW MEXICO

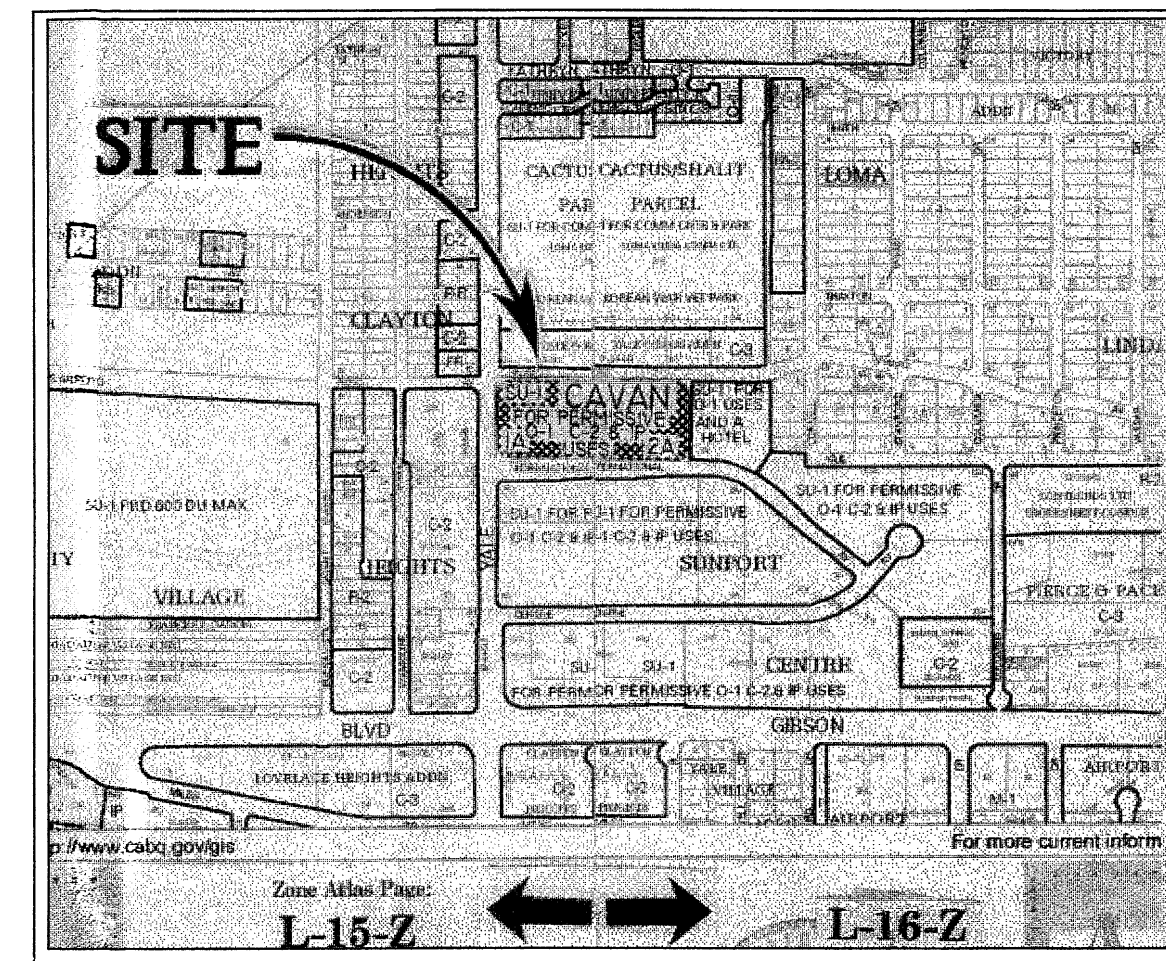




FIRM MAP NUMBER 35001C0361E

KEYED NOTES

- 6" CONCRETE CURB.
- EAST-WEST RETAINING WALL. SEE DETAILS. SHEET 3 OF 3.
- NORTH-SOUTH RETAINING WALL. SEE DETAILS. SHEET 3 OF 3.
- 2'-0" WIDE ALLEY GUTTER PER C.D.A. STD. DWG. 2415. PROVIDE 1' WIDE CONC. RUNDWNS FROM DOWNSPOUT TO A.G.
- SINGLE "D" INLET @ 45° TO C.L. VALLEY GUTTER. GRATE EL. = 85.90 INV. EL. = 84.40 CONSTRUCT PER C.D.A. STD DWG. 2206.
- 10" DIA. X 32' LONG SCH. 40 PVC PIPE. HI. INV. = 84.4 LOW INV. = 84.0 CONNECT TO EXISTING CATCH BASIN PER C.D.A. STD. DWG. 2237.
- 8" PVC PIPE TO INTERCEPT DOWNSPOUT FLOW. PROVIDE CLEANTU AT E. END.
- SINGLE "D" INLET @ 45° TO C.L. VALLEY GUTTER. GRATE EL. = 78.50 INV. EL. = 76.50 CONSTRUCT PER C.D.A. STD DWG. 2206.
- 12" DIA. X 32' LONG SCH. 40 PVC PIPE. HI. INV. = 84.4 LOW INV. = 84.0 CONNECT TO EXISTING CATCH BASIN PER C.D.A. STD. DWG. 2237.
- 6" PVC PIPE TO INTERCEPT DOWNSPOUT FLOW.
- MARRIOTT MONUMENT SIGN.
- REFUSE ENCLOSURE. STUCCO WALL TO MATCH BUILDING
- EXISTING SINGLE D INLET. REMOVE, AN UTILIZE FRAME AND GRATE WHERE NEEDED.
- CONSTRUCT DOUBLE D INLET PER C.D.A. STD DWG 2206. GRATE ELEV. = 96.05 INV. ELEV. = 84.00.
- 12" SCH. 40 PVC PIPE. INV. IN = 84.00 INV. OUT 82.50. CONNECT TO BACK OF EXISTING TYPE C CATCH BASIN PER C.D.A. STD. DWG. 2237.
- 24" SIDEWALK CULVERT PER C.D.A. STD. DWG. 2236. INV. IN = 80.81 INV. OUT 80.62.
- 2' WIDE X 8" DEEP CONCRETE CHANNEL W/ 6" SIDES AND BOTTOM. REINFORCE CONCRETE AS FOLLOWS: NO. 4 BARS AT 6" LONGITUDINAL AND NO. 4 BARS @ 12" TRANSVERSE.
- 2' WIDE CONCRETE CHANNEL FOR DRAINAGE.
- STANDARD CURB AND GUTTER WHERE FLOW IS AGAINST CURB.
- ASPHALT PAVEMENT.
- PROPERTY LINE.
- 12" SIDEWALK CULVERT.



VICINITY MAP ZONE ATLAS L-15-Z AND L-16-Z

HYDROLOGY LEGEND:

EXISTING	NEW	DESCRIPTION
---	M	CONTOUR
---	84.00	SPOT ELEVATION
---	---	PROPERTY LINE
---	---	SWALE
---	---	SHEET FLOW
---	---	ROOF FLOW
---	---	DOWNSPOUT

SPOT ELEVATION LEGEND

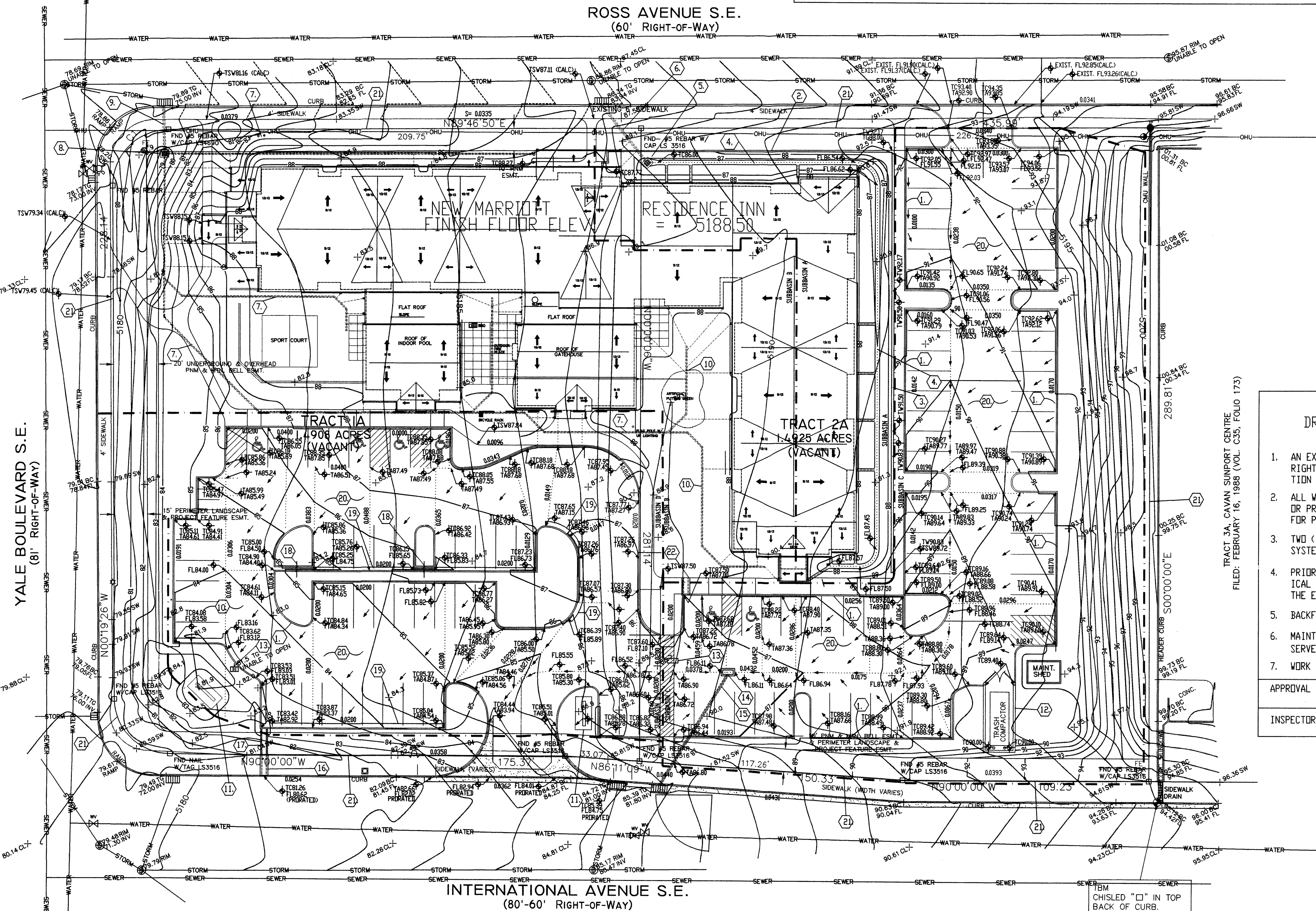
+100.0	= ELEVATION AT GROUND
+100.00	= ELEVATION AT TOP OF FINISHED SURFACE
+100.00 SW	= ELEVATION AT TOP OF SIDEWALK
+100.00 CL	= ELEVATION AT CENTERLINE OF DRIVING LANE
+100.00 BC	= ELEVATION AT BACK OF CURB
+100.00 FL	= ELEVATION AT FLOWLINE OF CURB
+100.0	= ELEVATION AT TOP OF GRATE
+100.00 TW	= ELEVATION AT TOP OF WALL
05.00 RW	= ELEVATION AT RIM OF

SYMBOLS LEGEND

○	= LIGHT POLE
●	= POWER POLE
-OHU-	= OVERHEAD UTILITY LINE
-STORM-	= UNDERGROUND STORM DRAIN LINE
-SEWER-	= UNDERGROUND SEWER LINE
-WATER-	= UNDERGROUND WATER LINE
—	= ANCHOR
⊙	= SEWER MANHOLE
⊕	= DRAINAGE MANHOLE
⊞	= WATER METER
⊚	= WATER VALVE
⊛	= FIRE HYDRANT
⊜	= DROP INLET
—	= BLOCK WALL
-x-	= FENCE

MONUMENT LEGEND

⊕	= TEMPORARY BENCH MARK
⊞	= FOUND MONUMENT AS NOTED
⊚	= SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MIR 11224" UNLESS OTHERWISE NOTED



CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	25.00'	39.32'	90°06'16"	25.05'	N44°43'42"E	35.39'
C2	25.00'	39.13'	89°40'33"	24.86'	N45°09'42"W	35.26'

**CITY OF ALBUQUERQUE
DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY (S.O. 19)
NOTICE TO CONTRACTORS**

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THIS PLAN TO BE PERFORMED UNDER CONTRACT, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREIN. SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS UPDATED THROUGH REVISION NO. 6.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, INC., 260-1990, FOR LOCATION FOR EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

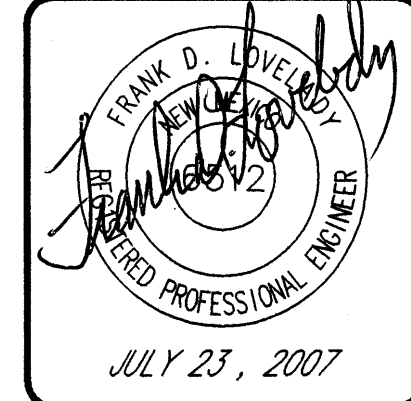
APPROVAL FOR SW CULVERTS	NAME	DATE

INSPECTOR:	NAME	DATE

LEGAL DESCRIPTION
TRACT 1A & 2A CAVAN SUNPORT CENTER, SECTION 27, T. 10 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

UTILITY INFORMATION SHOWN HEREON PER FIELD INSPECTION AND CITY OF ALBUQUERQUE UTILITY RECORDS. ACTUAL LOCATION SHOULD BE FURTHER VERIFIED BEFORE BEGINNING CONSTRUCTION AND ANY DISCREPANCIES REPORTED TO THE SURVEYOR.

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 11-16, THE PUBLISHED ELEVATION OF WHICH IS 5273.40 (NAVD88), AND IS LOCATED IN THE SOUTH SOUTH-WEST QUADRANT OF VAIL AVE S.E. & GIRARD BLVD. S.E. BEING A CHISELED 'SQUARE' CUT ON TOP OF CURB.



GRADING AND DRAINAGE PLAN
MARRIOTT RESIDENCE INN
2301 INTERNATIONAL DRIVE SE
ALBUQUERQUE, NEW MEXICO

FRANK D. LOVELADY, P.E.
345-2267 • Fax (505) 345-2115 • 300 ALAMOSA RD. NW • ALBUQUERQUE, NM • 87107

JOB NO: 704

DATE: JULY 23, 2007

REVISIONS

SHEET NO.
1 of 3

C:\All Proj\Proj676-700\Proj676MARRIOTT... CP.DWG (JULY 23, 2007)

DRAINAGE CALCULATIONS:

EXISTING CONDITIONS:

The site is located on Tracts A-1 and A-2 Cavan Support Center on the East side of Yale between Ross Avenue and International Avenue, SE. All streets adjacent to the site are paved with curb and gutter. The lot to the east is developed. No off-site flow comes from this lot. The development of the property included interim drainage improvements including detention ponding and a double D inlet to convey water to the storm drain system in the adjacent streets. The storm inlet is now totally filled with sand and silt and will have to be cleaned but appears to be in a suitable location to drain a portion of the developed site.

PROPOSED CONDITIONS:

It is proposed to construct a hotel on the site as shown on the grading and drainage plan. The majority of the site will drain to the SW corner of the parking lot where it will be collected by the existing double 'D' inlet. Other drainage subbasins will drain to inlets on the north side and the northeast corner of the site which will be connected to existing catch basins in the street.

DRAINAGE CRITERIA:

The calculations shown on this plan were prepared in accordance with Section 22.2, Hydrology, of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque in cooperation with Bernalillo County, New Mexico and the Metropolitan Arroyo Flood Control Authority, January, 1993.

PRECIPITATION ZONE:

The site is between the Rio Grande River and San Mateo Blvd. and is, therefore, in Precipitation Zone 2.

LAND TREATMENT AREAS, ETC.:

The peak discharge per acre and excess precipitation are shown for the four land treatments in Zone 2 in the table below, and the values shown are from the City of Albuquerque D.P.M. Also shown are the existing and proposed land treatment areas.

LAND TREAT.	100-yr. 10-yr.	q(cfs/acre)	E (in)	Existing Site Areas	Developed Site Areas			
				Sq. Ft.	Sq. Ft.			
A	1.56	0.38	0.53	0.13	0.0	0.0000	0.0	0.0000
B	2.28	0.95	0.78	0.28	0.0	0.0000	31.0	40,349
C	3.14	1.71	1.13	0.52	100.0	129,953	2,9833	8.5
D	4.70	3.14	2.12	1.34	0.0	0.0000	60.5	78,604
Totals				100.0	129,953	2,9833	100.0	129,953

PEAK DISCHARGE:

EXISTING CONDITIONS:

Q100 = 2.9833 * 3.14 = 9.37 cfs
Q10 = 2.9833 * 1.71 = 5.10 cfs

DEVELOPED CONDITIONS:

Q100 = 0.9263 * 2.28 + 0.2525 * 3.14 + 1.8045 * 4.70 = 11.39 cfs
Q10 = 0.9263 * 0.95 + 0.2525 * 1.71 + 1.8045 * 3.14 = 6.98 cfs

VOLUME, 100-YEAR AND 10-YEAR, 6-HOUR:

EXISTING CONDITIONS:

V100 = (129,953 * 1.13) / 12 = 12,237 cf
V10 = (129,953 * 0.52) / 12 = 5,631 cf

DEVELOPED CONDITIONS:

V100 = (40,349 * 0.78 + 11,000 * 1.13 + 78,604 * 2.12) / 12 = 17,545 cf
V10 = (40,349 * 0.28 + 11,000 * 0.52 + 78,604 * 1.34) / 12 = 10,196 cf

SUMMARY OF ON-SITE VOLUMES AND DISCH. RATES:

	V100(CF)	V10(CF)	Q100(CFS)	Q10(CFS)
DEVELOPED	17,545	10,196	11.39	6.98
EXISTING	12,237	5,631	9.37	5.10
INCREASE	5,308	4,565	2.02	1.88

OFF-SITE FLOW:

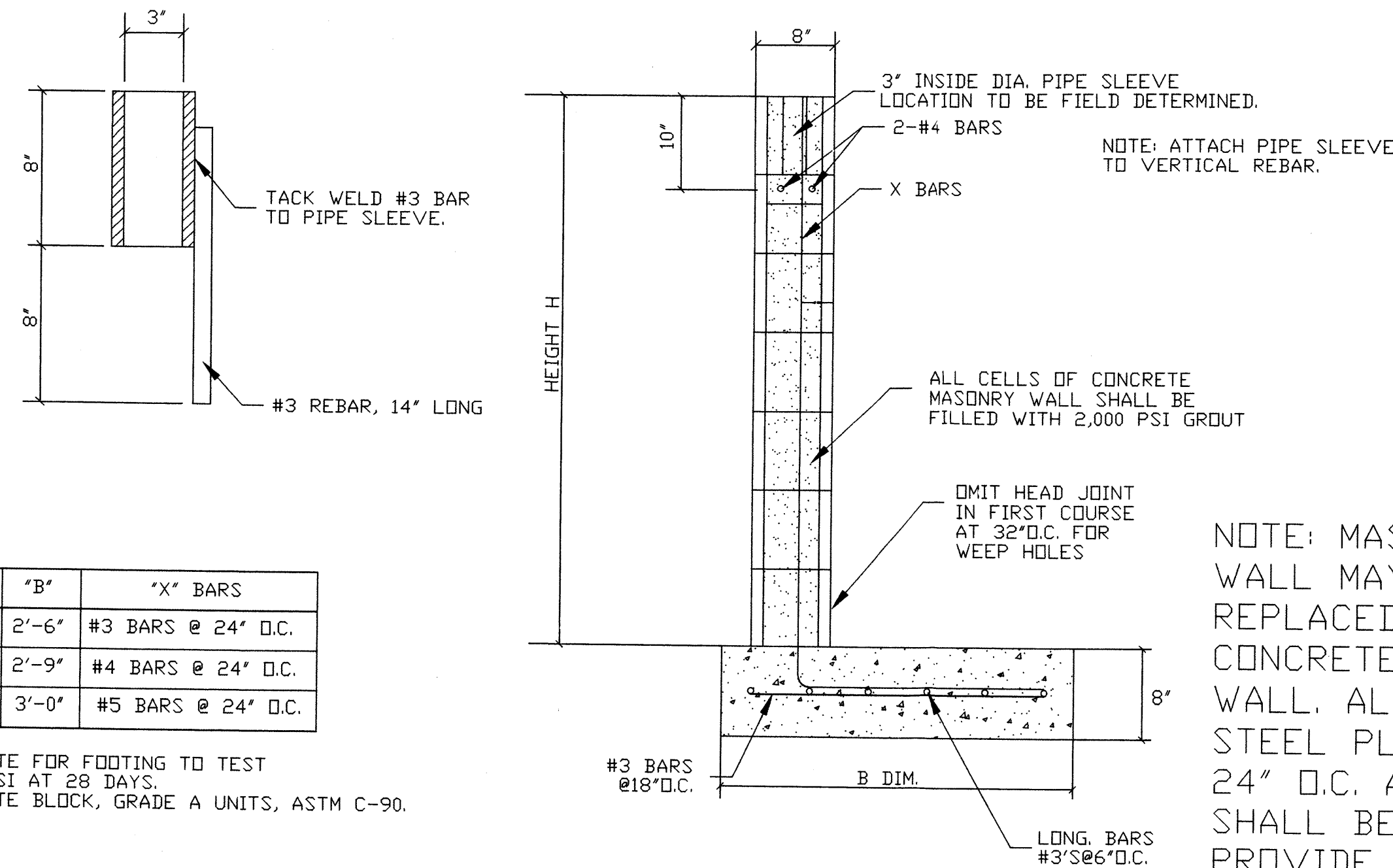
There is no off-site flow associated with this site. The lot east of the site drains to Ross & International.

DOWNSTREAM CAPACITY:

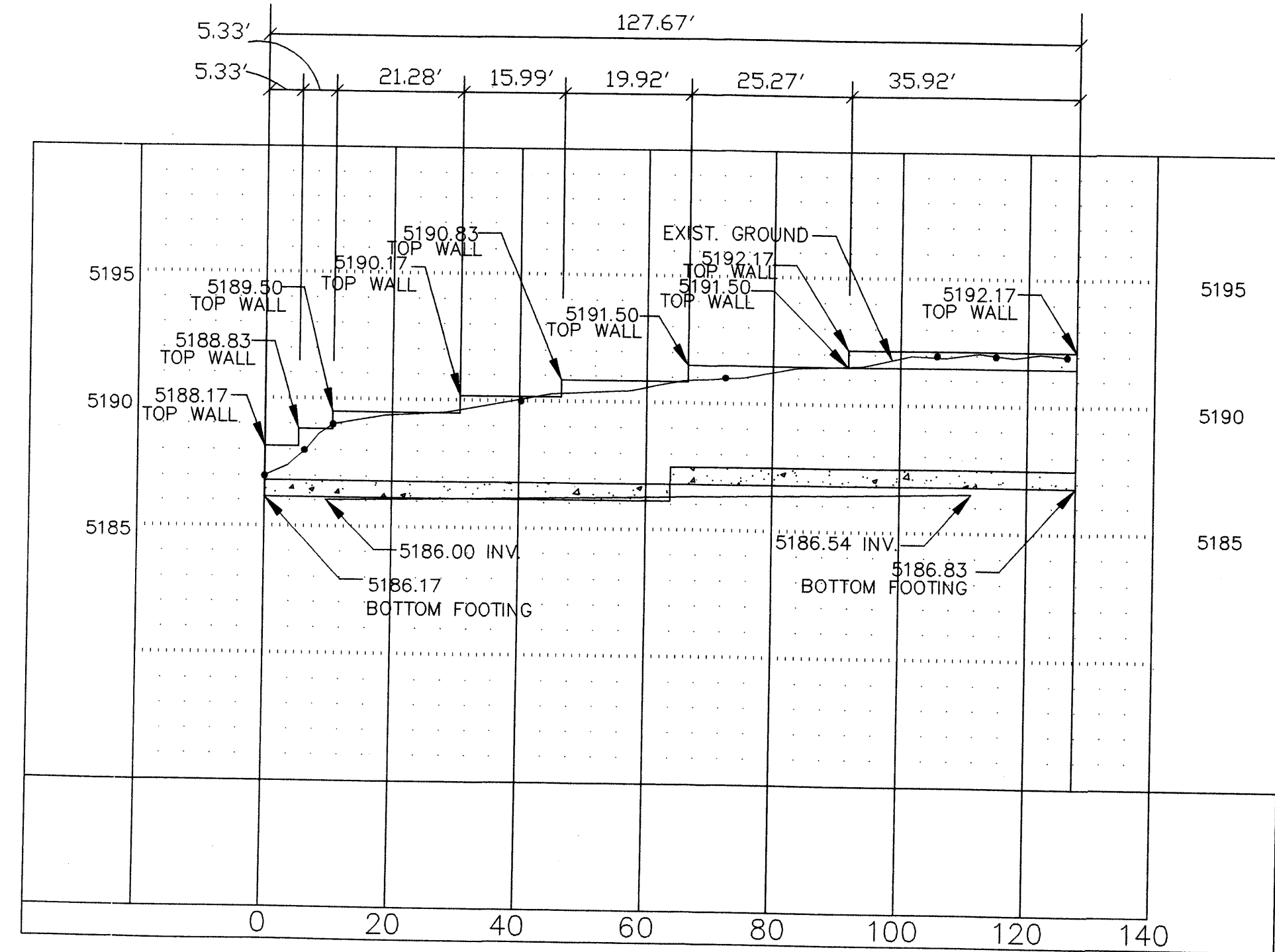
Flow from the site enters into the storm drainage system in Ross and International which drains into the storm drain in Yale.

DRAINAGE SUBBASINS:

- SUBBASIN A:**
THIS IS THE AREA BETWEEN THE WALLS AND THE RIDGE OF THE BUILDING. AREA = 13,563 SF
- SUBBASIN B:**
THIS IS ESSENTIALLY THE BUILDING AND THE AREA AROUND IT.
- SUBBASIN C:** AREA = 40,747 SF. THIS AREA IS ONLY NECESSARY BECAUSE THE WALKWAY REQUIRES A SLOPE NOT EXCEEDING 2% WHICH ESSENTIALLY BLOCKS THE FLOW CHANNEL IN THE CENTER OF THE DRIVEWAY. THE D INLET USED TO COLLECT FLOW FROM SUBBASIN C. IF THE DEPTH GETS MORE THAN 4" THE FLOW WILL CROSS THE SOUTH END OF THE WALKWAY.
- SUBBASIN D:**
SOME OF THIS SUBBASIN WILL FLOW OUT THROUGH THE DRIVEWAY AND THE REST WILL FLOW OUT VIA THE SW CULV.



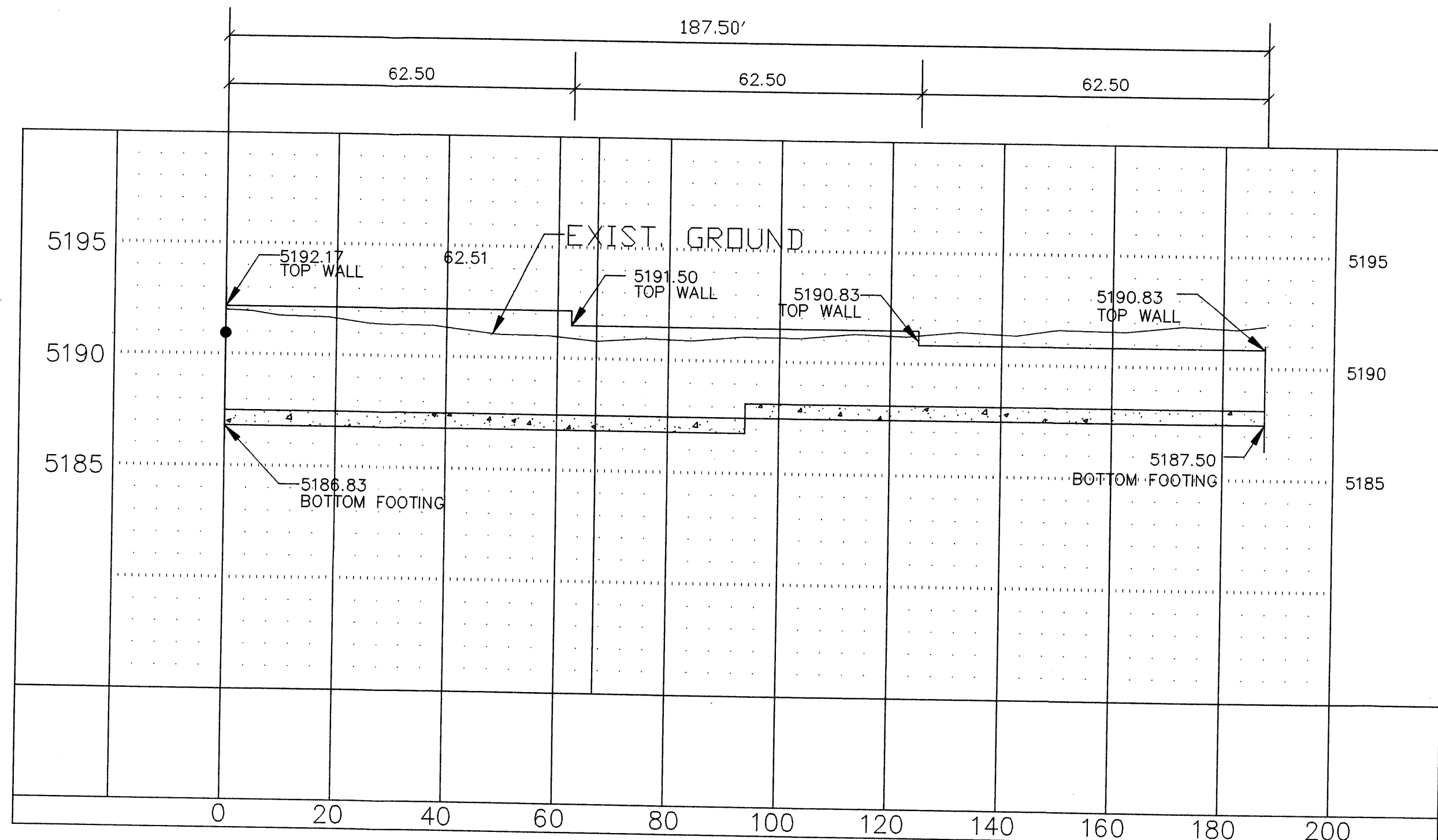
MASONRY WALL DETAILS



E-W RETAINING WALL PROFILE

VIEWING NORTH

SCALE:
1" = 5' HOR
1" = 5' VER



N-S RETAINING WALL PROFILE

VIEWING EAST

SCALE:
1" = 5' HOR
1" = 5' VER

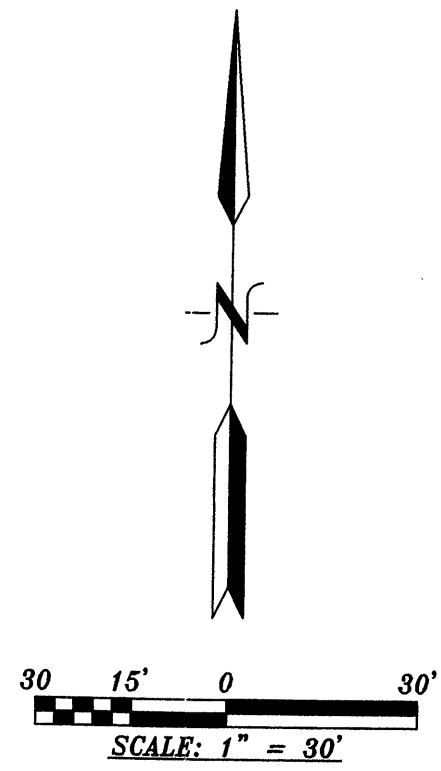


CALCULATIONS AND DETAILS
MARRIOTT RESIDENCE INN
2301 INTERNATIONAL DRIVE SE
ALBUQUERQUE, NEW MEXICO

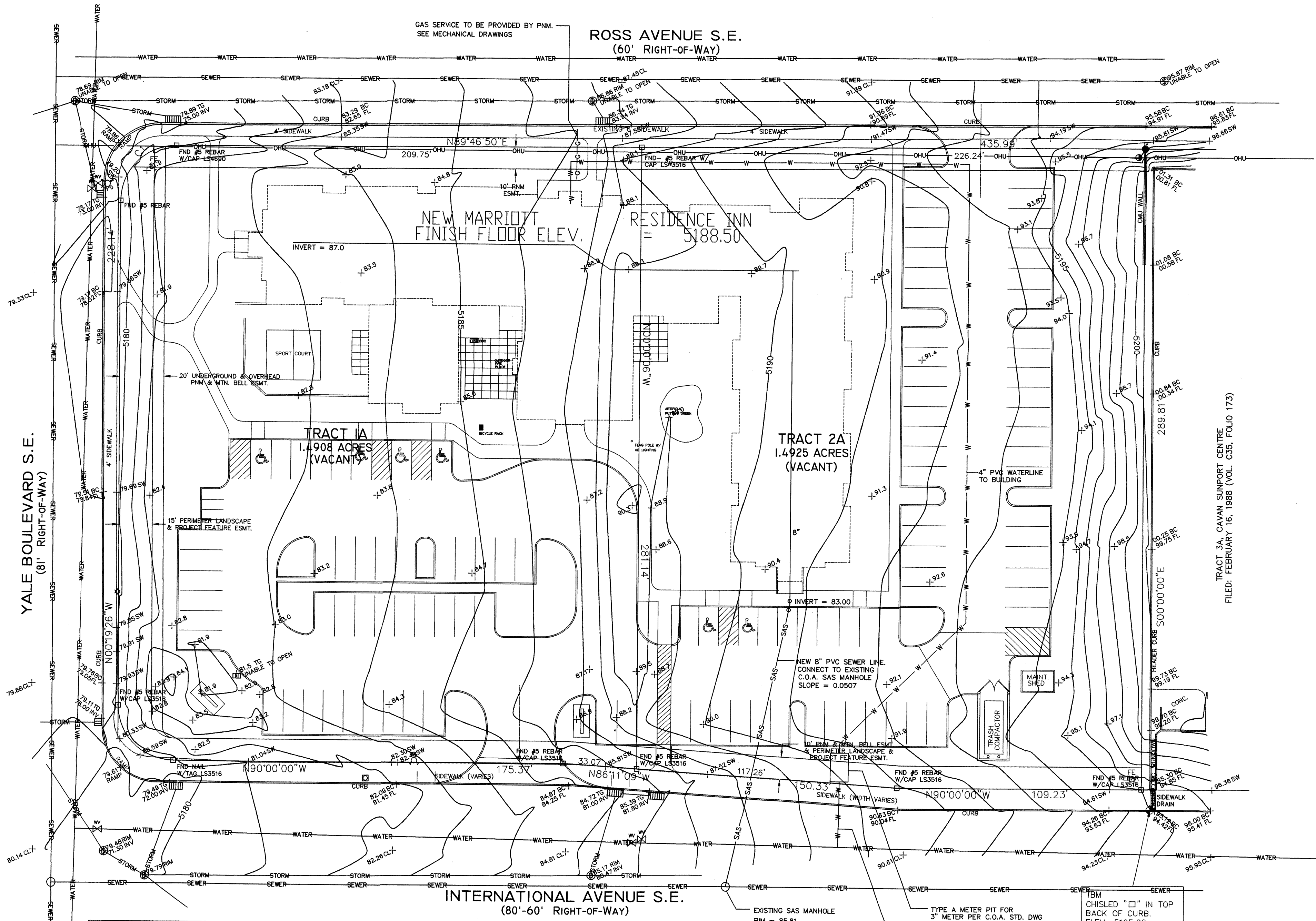
FRANK D. LOVELADY, P.E.
(505) 345-2287 • Fax (505) 345-2115 • 300 ALAMOSA RD. NW • ALBUQUERQUE, NM • 87107

JOB NO: 704
DATE: JULY 23, 2007
REVISIONS

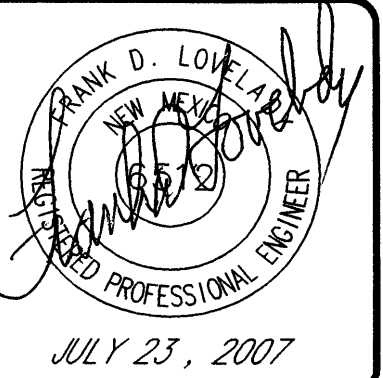
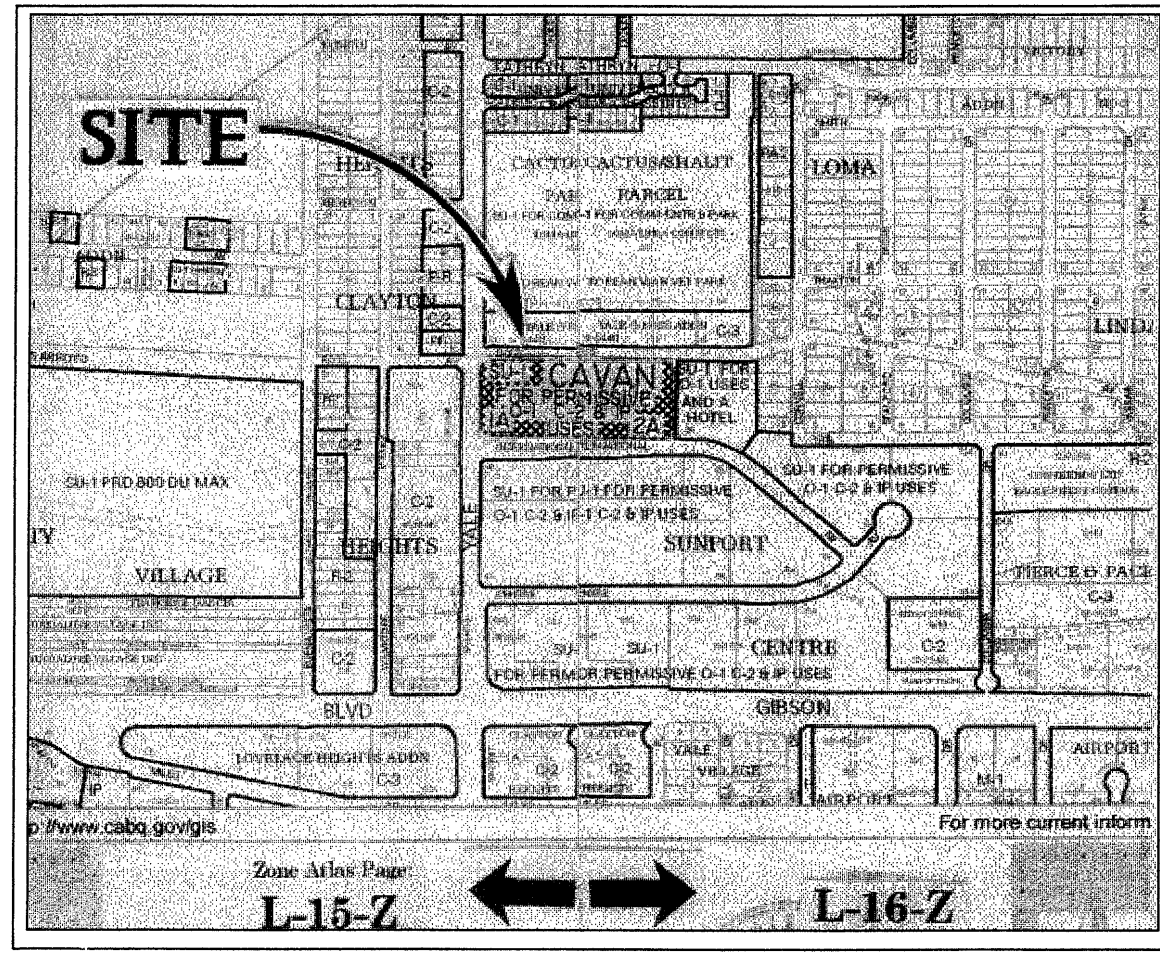
SHEET NO.
2 of 3



+ MANHOLE



CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	25.00'	39.32'	90°06'16"	25.05'	N44°43'42"E	35.39'
C2	25.00'	39.13'	89°40'33"	24.86'	N45°09'42"W	35.26'



UTILITY PLAN
MARRIOTT RESIDENCE INN
 2301 INTERNATIONAL DRIVE SE
ALBUQUERQUE, NEW MEXICO

FRANK D. LOVELADY, P.E.
 (505) 345-2267 • Fax (505) 345-2115 • 300 ALAMOSA RD. NW • Albuquerque, NM • 87107

LEGAL DESCRIPTION
 TRACT 1A & 2A CAVAN SUNPORT CENTER, SECTION 27, T. 10 N., R. 3 E., N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

UTILITY INFORMATION SHOWN HEREON PER FIELD INSPECTION AND CITY OF ALBUQUERQUE UTILITY RECORDS. ACTUAL LOCATION SHOULD BE FURTHER VERIFIED BEFORE BEGINNING CONSTRUCTION AND ANY DISCREPANCIES REPORTED TO THE SURVEYOR.

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 11-4-16, THE PUBLISHED ELEVATION OF WHICH IS 5273.40 (NAVD88), AND IS LOCATED IN THE SOUTH-SOUTH-WEST QUADRANT OF VAIL AVE S.E. & GIRARD BLVD. S.E. BEING A CHISELED 'SQUARE' CUT ON TOP OF CURB.

JOB NO: **704**

DATE: JULY 23, 2007

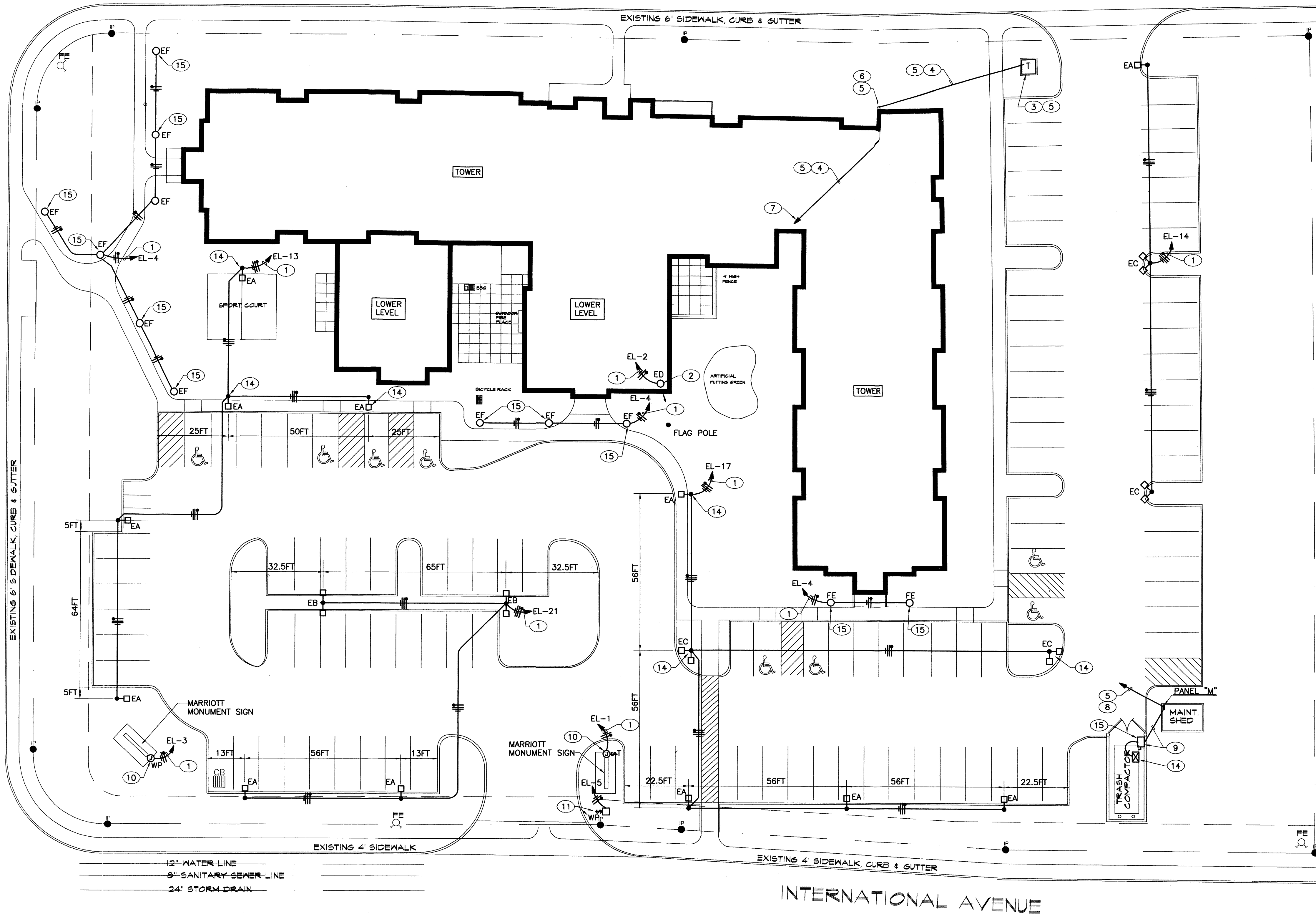
REVISIONS	

SHEET NO.
3 of 3

C:\All Proj\Proj676700\Proj704\MARRIOTT_CD.DWG (JUNE 19, 2007)

ROSS AVENUE

YALE BOULEVARD

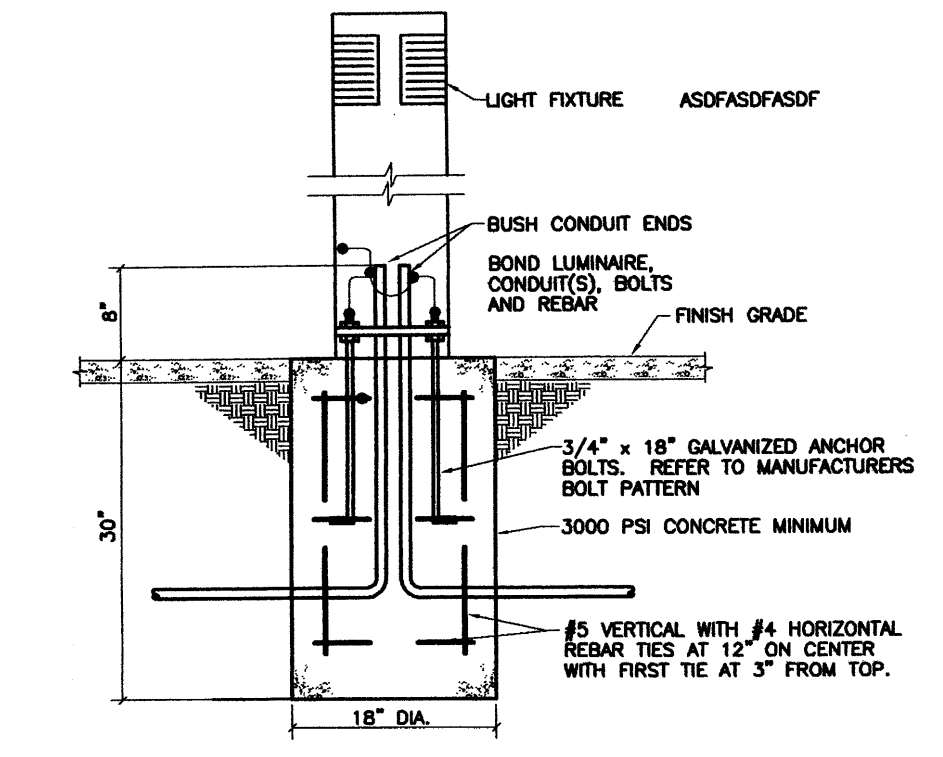


12" WATER LINE
 6" SANITARY SEWER LINE
 24" STORM DRAIN

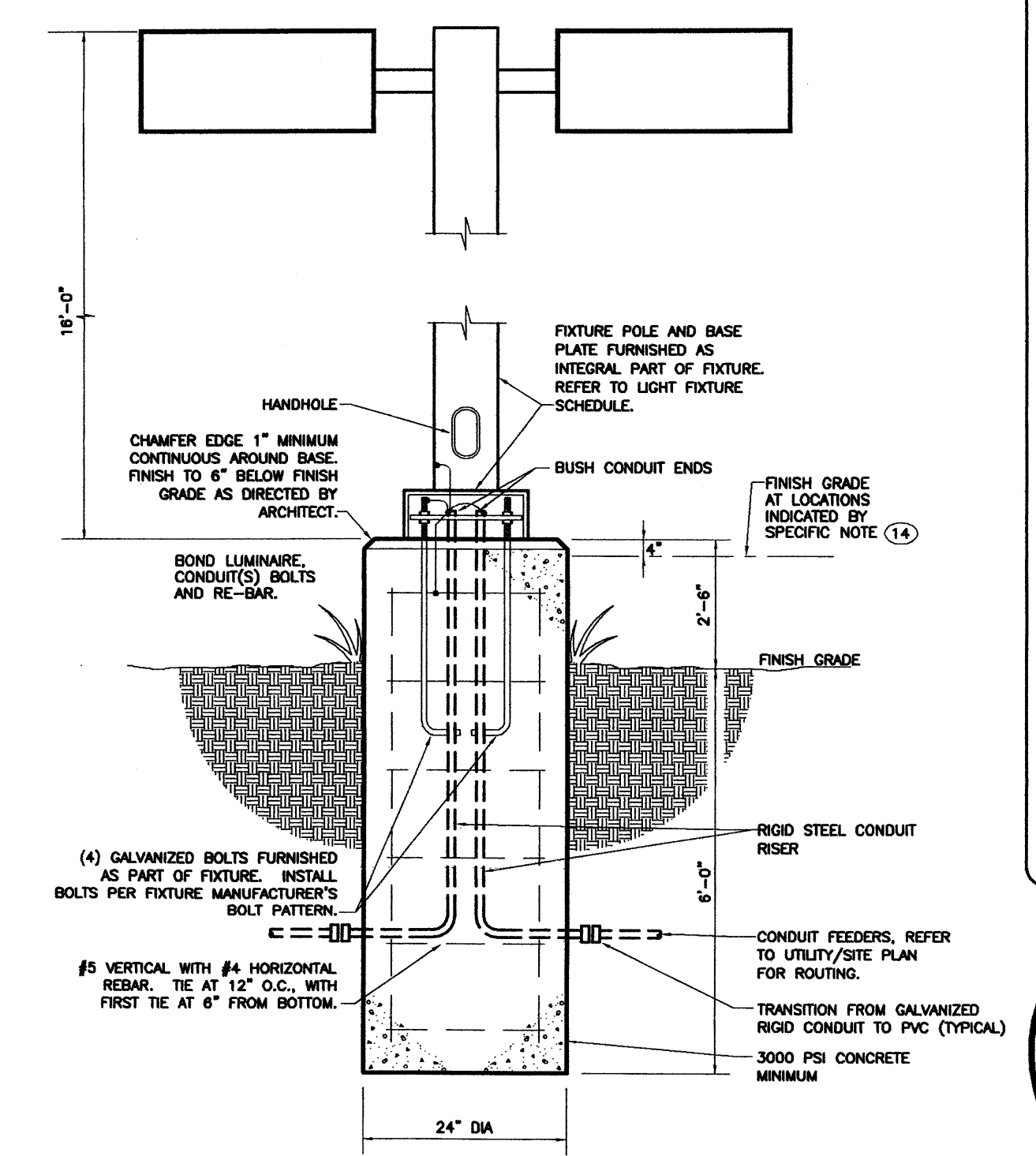
INTERNATIONAL AVENUE

KEYED NOTES

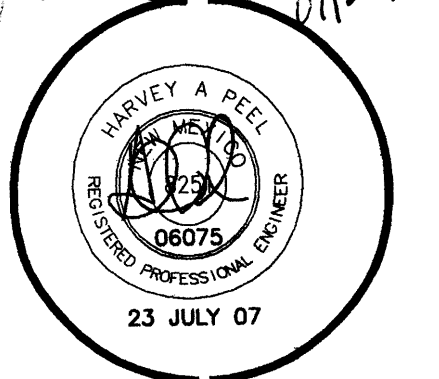
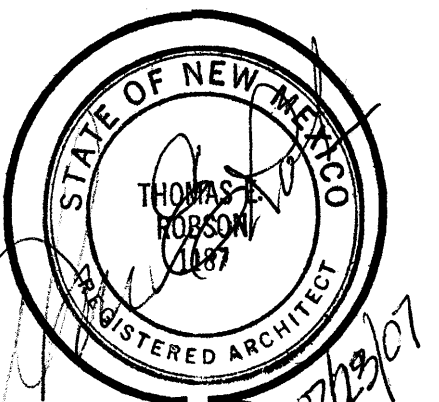
- 1 EXTEND TO BRANCH CIRCUIT INDICATED THRU EXTERIOR LIGHTING CONTROL.
- 2 INSTALL LUMINAIRE ON TOP OF GATEHOUSE ROOF AND FIELD AIM FOR FLAG ILLUMINATION.
- 3 PROPOSED LOCATION OF PUBLIC SERVICE CO. OF NEW MEXICO PADMOUNT TRANSFORMER.
- 4 UNDERGROUND SERVICE ENTRANCE FEEDER.
- 5 REFERENCE POWER RISER DIAGRAM/SHEET E12 FOR REQUIREMENTS.
- 6 LOCATION OF C.T./METERING ENCLOSURE.
- 7 TERMINATE FEEDER AT MAIN DISTRIBUTION SWITCHBOARD/PANEL "MDP".
- 8 PANEL "M" UNDERGROUND FEEDER FROM "MDP".
- 9 EXTEND 1" CONDUIT UNDERGROUND FROM PANEL "M" INTO DUMPSTER LOCATION AT 24" ABOVE FINISH GRADE AND TERMINATE IN NEMA 3R FUSIBLE DISCONNECT.
- 10 PROVIDE 4" SQUARE WEATHERPROOF JUNCTION BOX AT MOUNTMENTS SIGN AND EXTEND 1" CONDUIT TO PANEL "CP".
- 11 EXTEND 120 VOLT BRANCH CIRCUIT TO DOMESTIC WATER SYSTEM "HOT BOX" AND TERMINATE IN WEATHERPROOF DISCONNECT SWITCH; COORDINATE EXACT LOCATION OF "HOT BOX".
- 12 EXTEND (3) 4" CONDUITS UNDERGROUND FROM BACKBOARD IN ELEC. EQUIPMENT/TV/CAMERA ROOM TO PROPERTY LINE.
- 13 COORDINATE UTILITY INTERFACE POINT WITH VOICE AND TELEVISION SERVING UTILITIES; CAP CONDUITS AT TERMINATION.
- 14 MOTOR CONTROLLER FURNISHED INTEGRAL WITH TRASH COMPACTOR.
- 15 30 AMP, 250 VOLT, 3 POLE SN +GROUND, NEMA 3R FUSIBLE DISCONNECT SWITCH.



BOLLARD MOUNTING DETAIL TYPE "EF"
 NOT TO SCALE



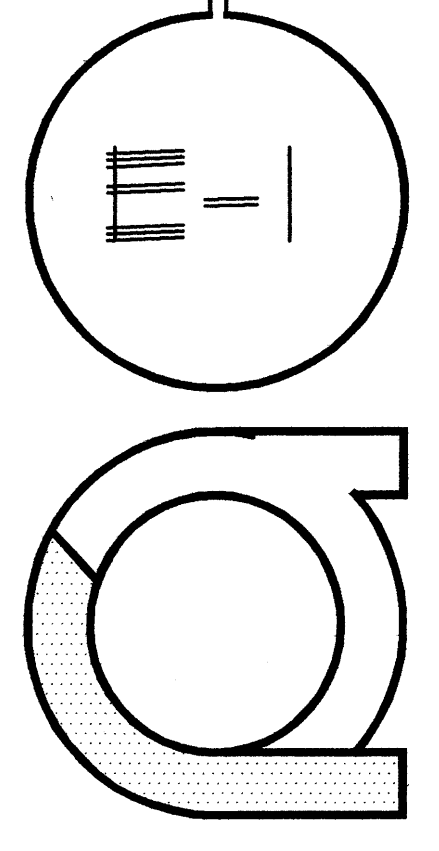
TYPE "EA"/"EB"/"EC" LUMINAIRE MOUNTING DETAIL
 NOT TO SCALE



JOB NO.: IBM
 DRAWN: IBM
 DATE: 07-23-07/07-01-07
 REVISION:
 ROBSON & ASSOCIATES - ARCHITECTS
 2301 JUAN TABO N.E. SOUTH
 ALBUQUERQUE, NEW MEXICO 87112
 505 - 932 - 1116

TITLE: **MARRIOTT RESIDENCE INN**
 SHEET TITLE: **ELECTRICAL UTILITIES PLAN**

ADDRESS: **YALE BLVD. & INTERNATIONAL AVE., S.E.**
ALBUQUERQUE, NEW MEXICO

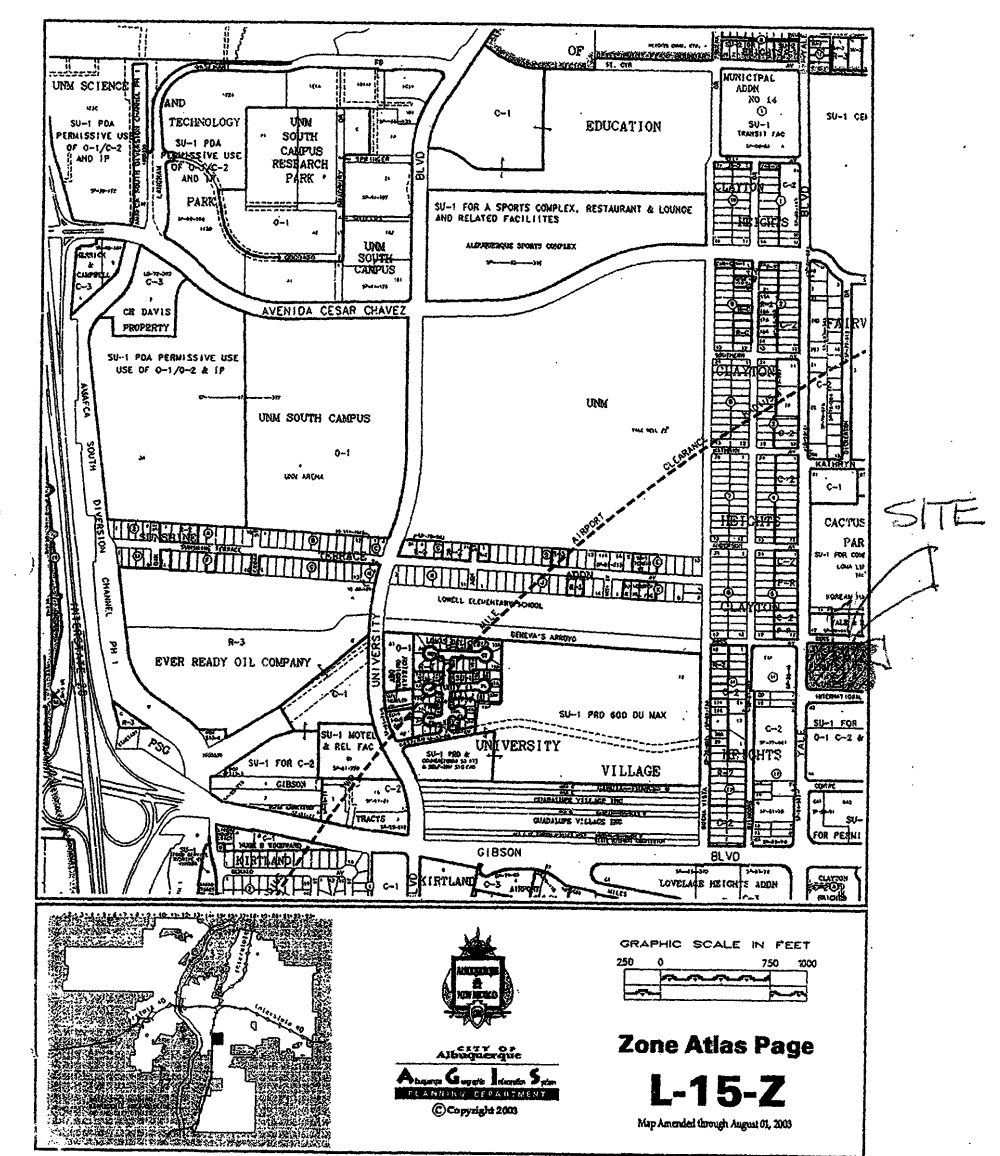
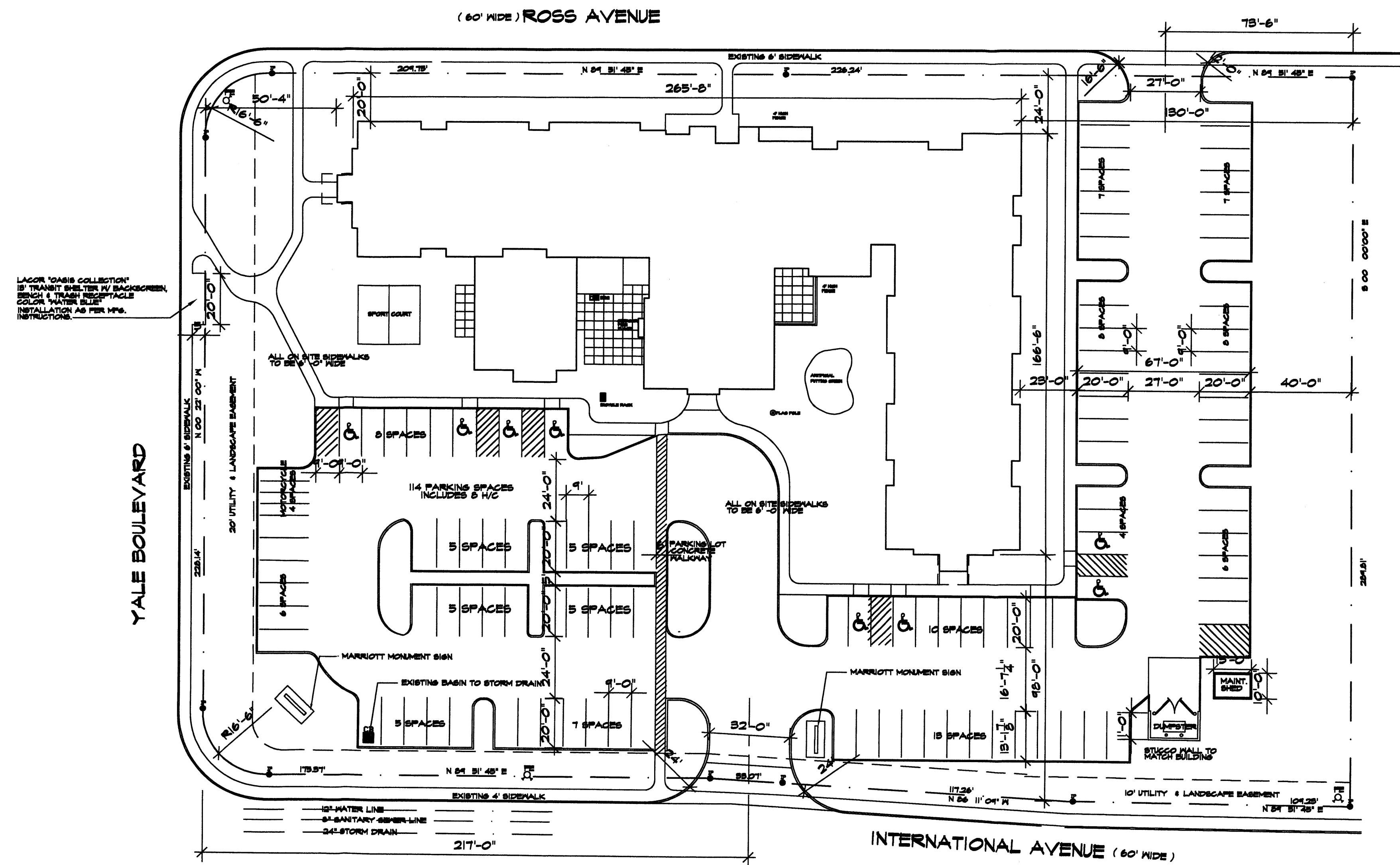


ELECTRICAL UTILITIES PLAN

SCALE: 1"=20'

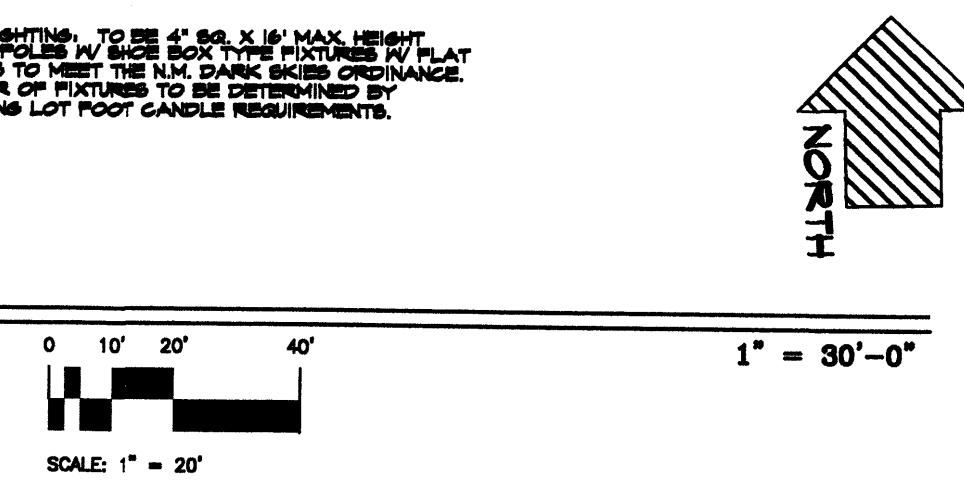
eng3 group
 4300 PASO DEL NORTE N.E.
 ALBUQUERQUE, NEW MEXICO 87113
 OFFICE: 788-6381
 CELL: 350-6383
 FAX: 788-0802

SIGNATURE BLOCK
will BE ADDED PRIOR
TO HEARING.



SITE PLAN

LEGAL DESCRIPTION:
TRACTS #1 & #2 OF THE GAVAN SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



LEGEND

SQUARE FOOTAGE:

LAND AREA	=	129,808 SQ. FT.
BUILDING FOOTPRINT	=	23,640 S.F.
PARKING / PAVEMENT AREA	=	44,500 S.F.
DECK, SPORT COURT & PATIOS	=	2,950 S.F.
LANDSCAPE AREA	=	59,408 S.F.

PARKING:

REQUIRED	=	120 - 10% = 108 SPACES
PROVIDED	=	114 SPACES INCL. 8 H/C

LANDSCAPING:

REQUIRED	=	15,900 SQ. FT.
PROVIDED	=	59,408 SQ. FT.

HOTEL STATISTICS

HOTEL SQUARE FOOTAGE	=	82,071 S.F.
STUDIOS	=	60 SUITES
INCLUDES 2 H/C		
ONE BEDROOMS	=	29 SUITES
INCLUDES 3 H/C		
TWO BEDROOMS	=	21 SUITES
INCLUDES 1 H/C		
TOTAL SUITES	=	110 SUITES

PROJECT # 1004871
06EPC-00617
A SITE DEVELOPMENT PLAN
SIGN OFF SHEET WILL BE ON
THE ORIGINAL SITE PLAN SHEET.

SOLID WASTE MANAGEMENT

A/D PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRA(N)IC(S) ONLY
Inspector M. [Signature] 7-2-07
SIGNATURE & DATE

FIRE MARSHAL

TITLE: MARRIOTT RESIDENCE INN

ADDRESS: 2801 INTERNATIONAL DRIVE, S.E. ALBUQUERQUE, NEW MEXICO

JOB NO.: [Blank]

DRAWN BY: TEP

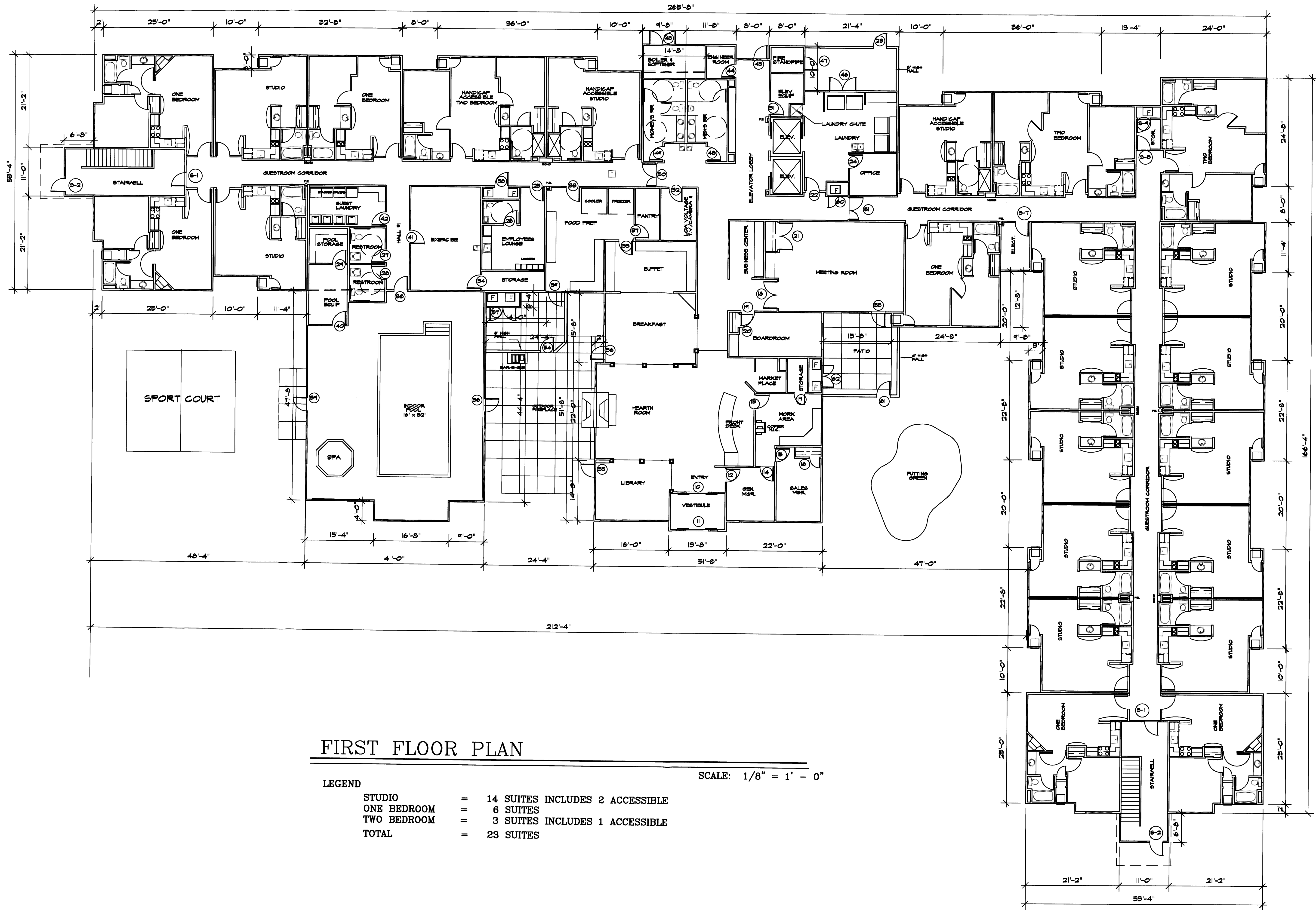
DATE: 11-28-06

REVISED: 01-08-07, 04-30-07

SHEET TITLE: SITE PLAN SCALE: 1" = 20'-0"

ROBSON & ASSOCIATES - ARCHITECTS
2801 JUAN TABO, N.E. SOUTH SUITE
ALBUQUERQUE, NEW MEXICO 87112
505-932-1176

A-1



FIRST FLOOR PLAN

SCALE: 1/8" = 1' - 0"

LEGEND

STUDIO	=	14 SUITES INCLUDES 2 ACCESSIBLE
ONE BEDROOM	=	6 SUITES
TWO BEDROOM	=	3 SUITES INCLUDES 1 ACCESSIBLE
TOTAL	=	23 SUITES

JOB NO.:
DRAWN: TER
DATE: 11-28-06
REVISED: 01-08-07, 04-30-07

ROBSON & ASSOCIATES - ARCHITECTS
2801 JUAN TABO, N.E. SOUTH SUITE
ALBUQUERQUE, NEW MEXICO 87112
505 - 952 - 1176

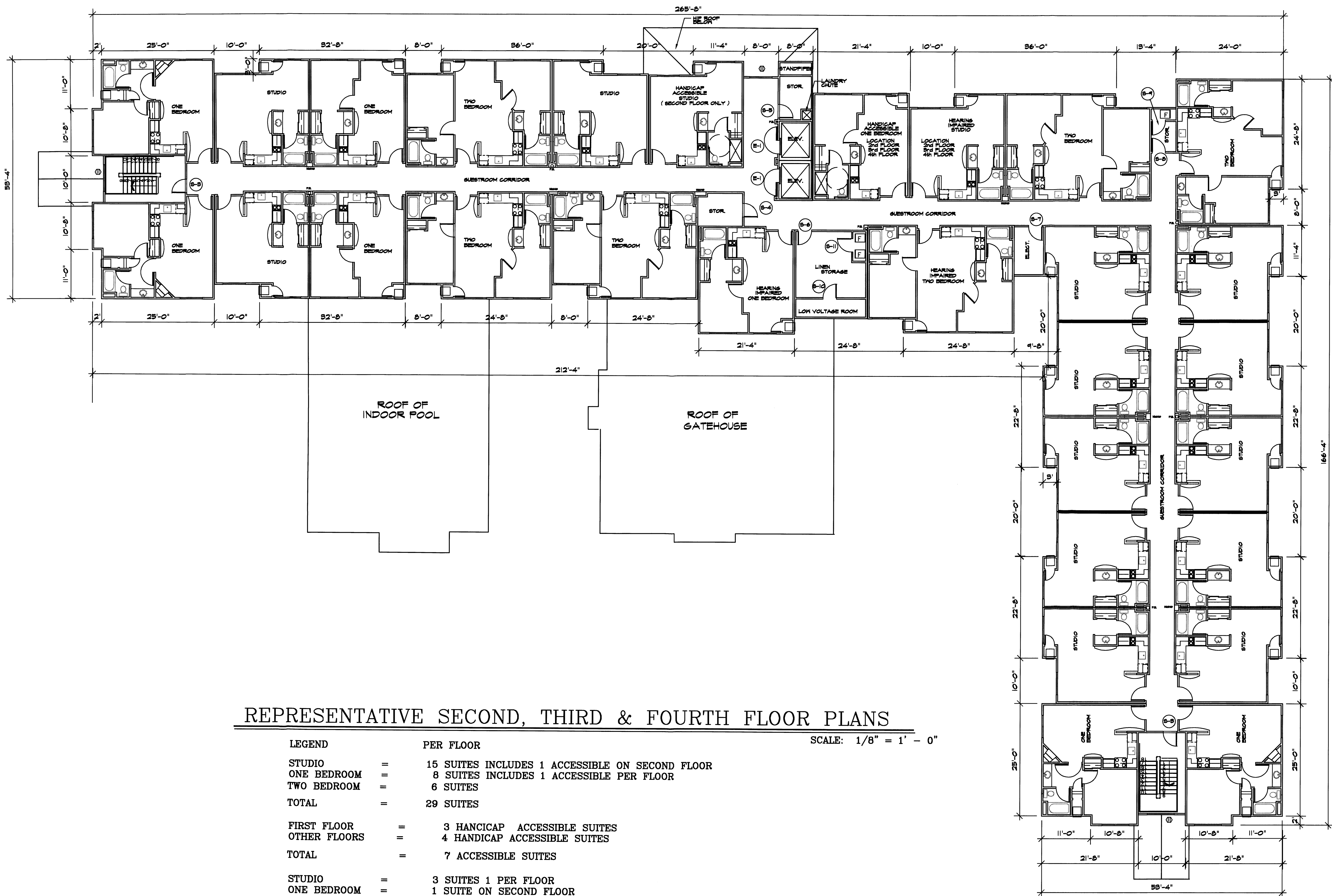
TITLE: **MARRIOTT RESIDENCE INN**

SHEET TITLE:
FIRST FLOOR PLAN

ADDRESS:
2801 INTERNATIONAL AVE. S.E.
ALBUQUERQUE, NEW MEXICO

A-2

Q



REPRESENTATIVE SECOND, THIRD & FOURTH FLOOR PLANS

SCALE: 1/8" = 1' - 0"

LEGEND	PER FLOOR
STUDIO	= 15 SUITES INCLUDES 1 ACCESSIBLE ON SECOND FLOOR
ONE BEDROOM	= 8 SUITES INCLUDES 1 ACCESSIBLE PER FLOOR
TWO BEDROOM	= 6 SUITES
TOTAL	= 29 SUITES
FIRST FLOOR	= 3 HANCIP ACCESSIBLE SUITES
OTHER FLOORS	= 4 HANCIP ACCESSIBLE SUITES
TOTAL	= 7 ACCESSIBLE SUITES
STUDIO	= 3 SUITES 1 PER FLOOR
ONE BEDROOM	= 1 SUITE ON SECOND FLOOR
TWO BEDROOM	= 1 SUITE ON SECOND FLOOR
TOTAL	= 5 HEARING IMPAIRED SUITES

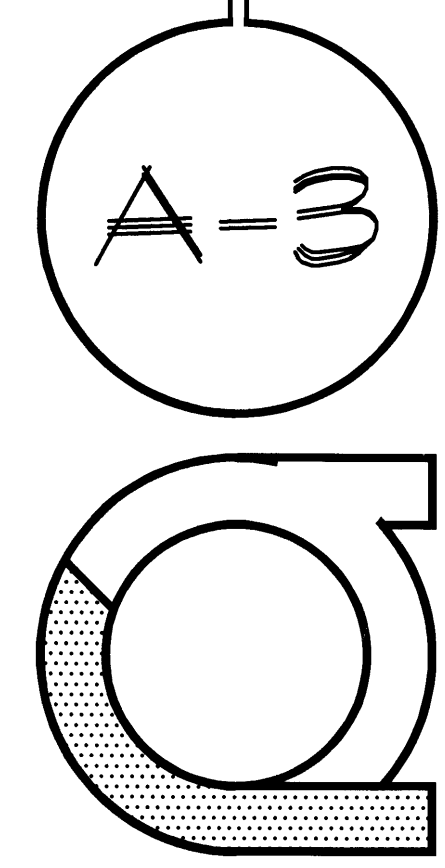
JOB NO.:
 DRAWN: TER
 DATE: 11-28-06
 REVISED: 01-08-07, 04-30-07

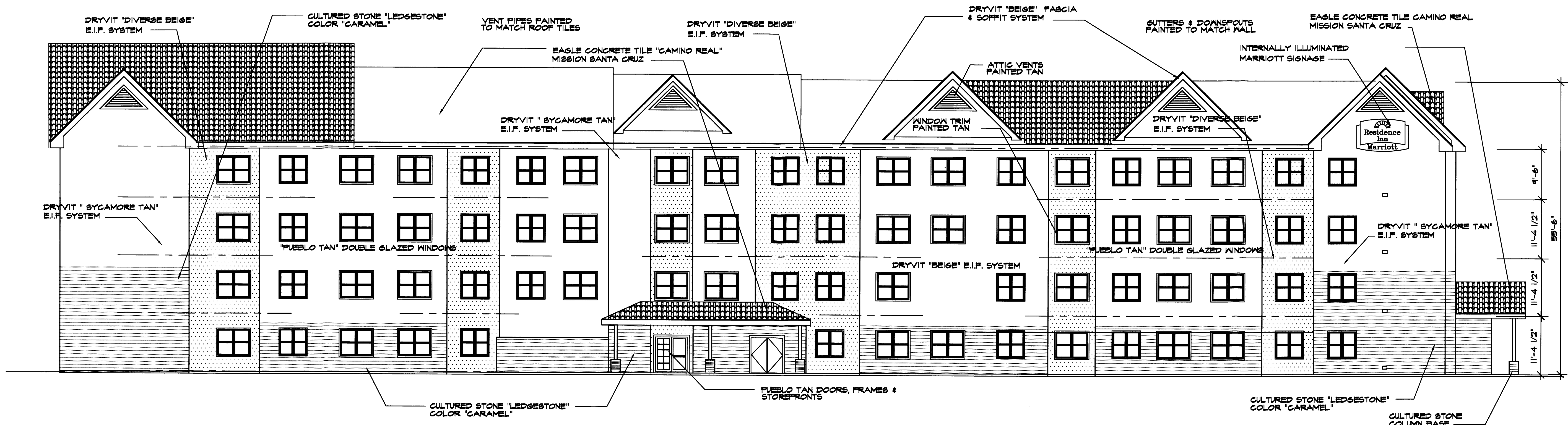
ROBSON & ASSOCIATES - ARCHITECTS
 2501 JUAN TABO N.E. SOUTH SUITE
 ALBUQUERQUE, NEW MEXICO 87112
 505 - 932 - 1176

TITLE: **MARRIOTT RESIDENCE INN**

SHEET TITLE:
 REPRESENTATIVE FLOOR PLAN

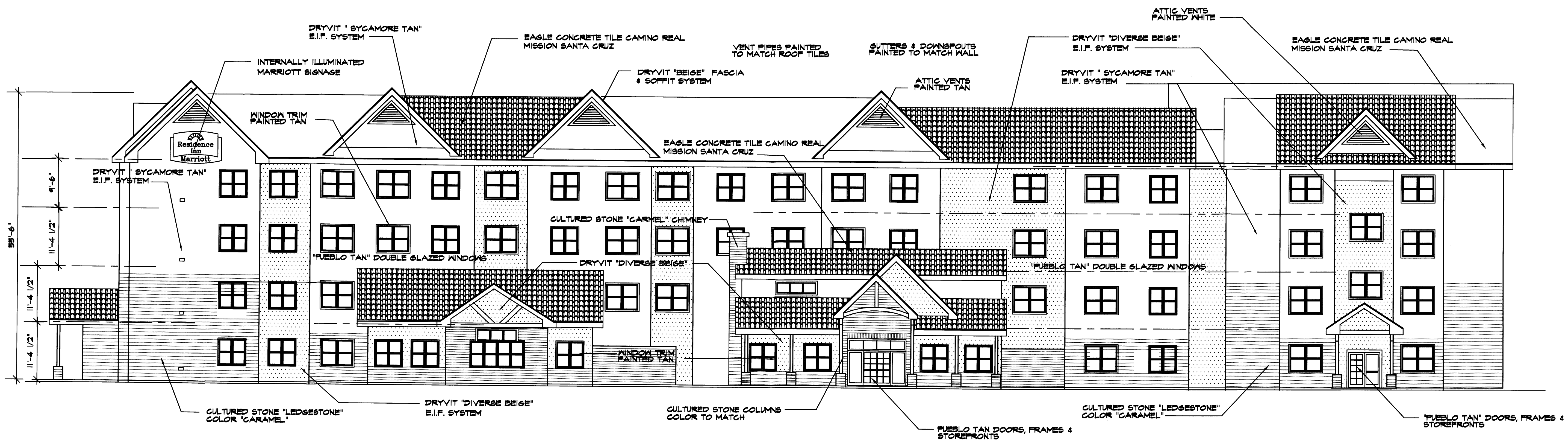
ADDRESS:
 YALE BLVD. & INTERNATIONAL AVE., S.E.
 ALBUQUERQUE, NEW MEXICO





PROPOSED REAR / NORTH ELEVATION

SCALE: 1/8" = 1' - 0"



PROPOSED FRONT / SOUTH ELEVATION

SCALE: 1/8" = 1' - 0"

SEE SHEET S-16 FOR
SIDE ELEVATION OF GATEHOUSE

JOB NO.:
DRAWN: TER
DATE: 11-26-06
REVISED: 01-09-07, 05-10-07

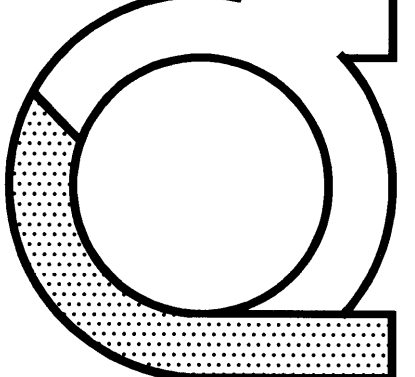
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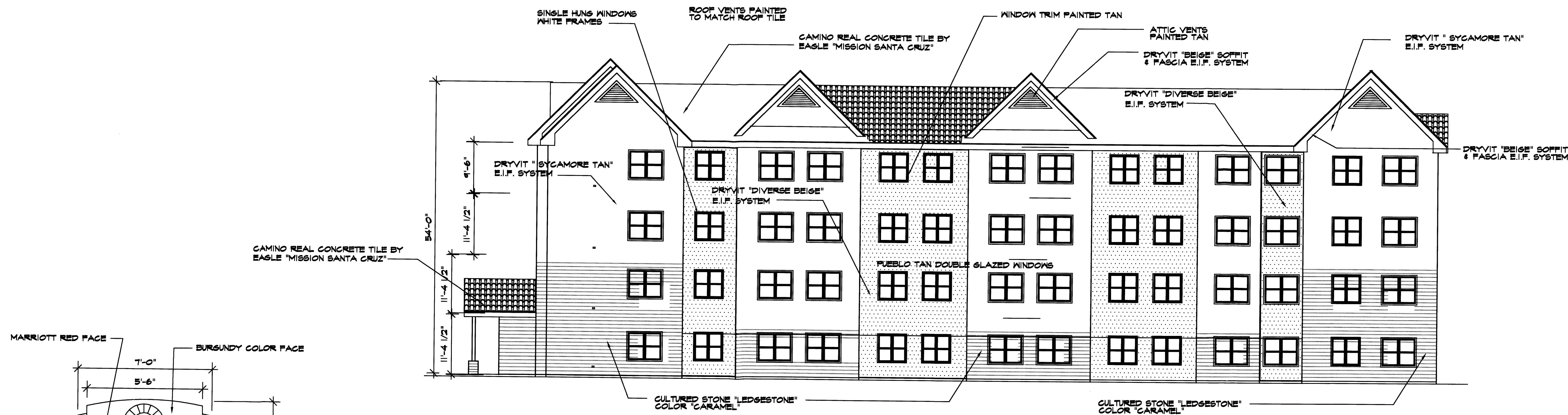
ROBSON & ASSOCIATES - ARCHITECTS
2801 JUAN TABO, N.E. SOUTH SUITE
ALBUQUERQUE, NEW MEXICO 87112
505 - 952 - 1176

SHEET TITLE:
EXTERIOR ELEVATIONS
1/8" SCALE

ADDRESS:
2801 INTERNATIONAL DRIVE, S.E.
ALBUQUERQUE, NEW MEXICO

A-20

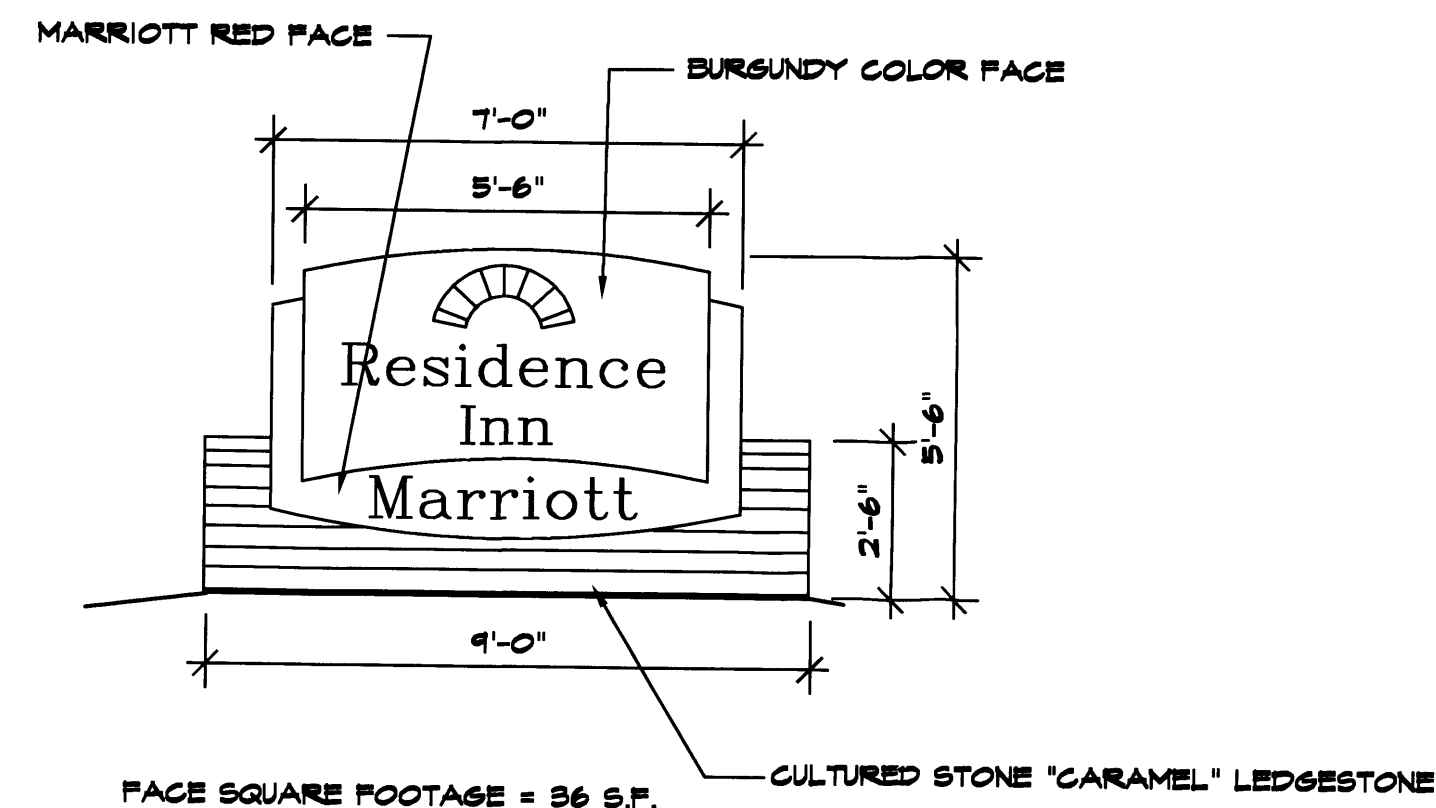




PROPOSED EAST ELEVATION

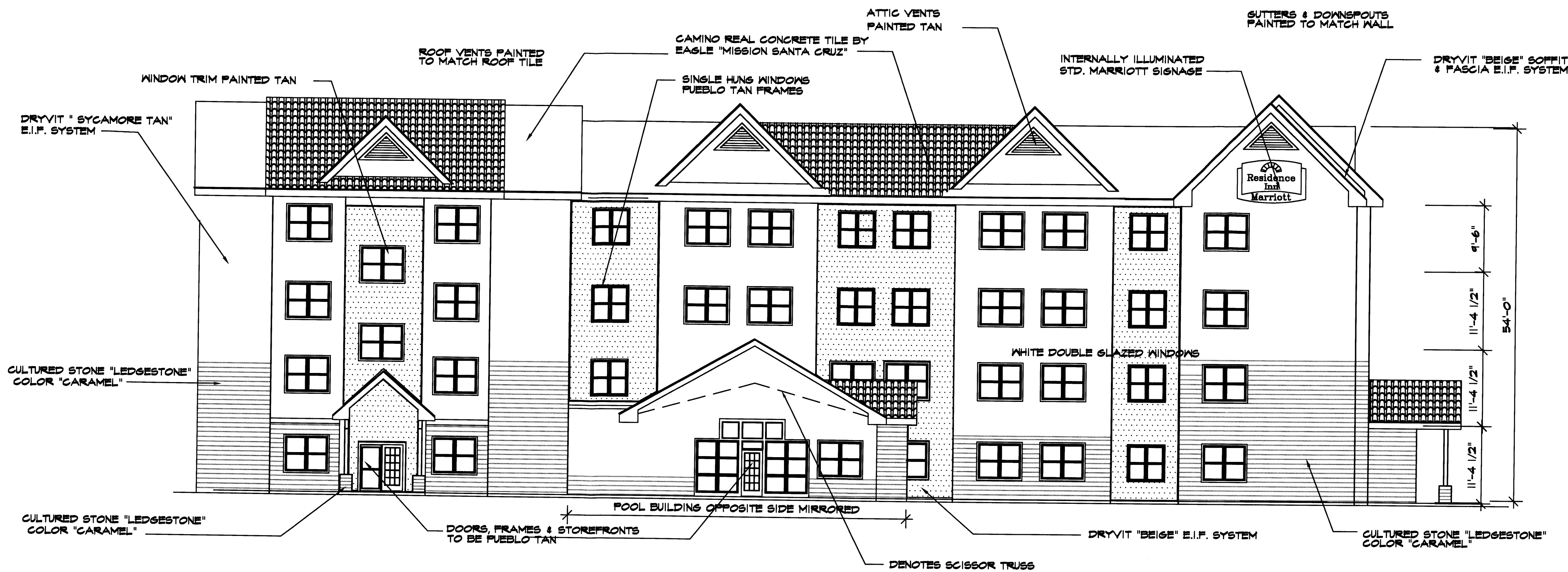
SCALE: 1/8" = 1' - 0"

SEE SHEET S-16 FOR
SIDE ELEVATION OF GATEHOUSE



PROPOSED SIGNAGE

SCALE: 1/4" = 1' - 0"



PROPOSED WEST ELEVATION

SCALE: 1/8" = 1' - 0"

JOB NO.: TER
DRAWN: 11-28-06
DATE: 11-28-06
REVIEWED: 01-08-07, 05-10-07

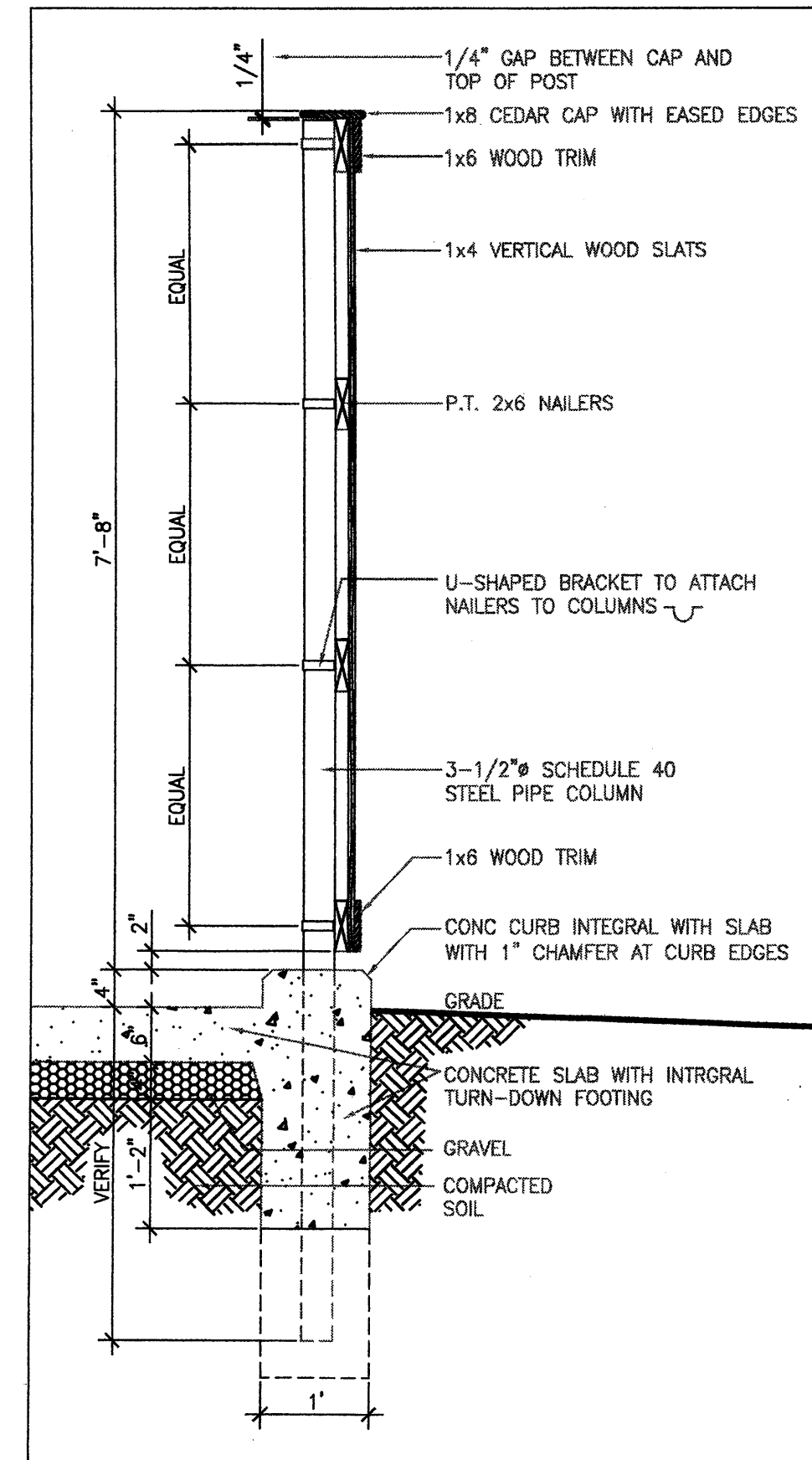
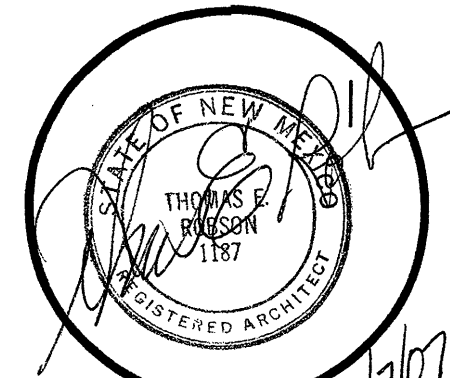
ROBSON & ASSOCIATES - ARCHITECTS
2801 JUAN TABO, N.E. SOUTH SUITE
ALBUQUERQUE, NEW MEXICO 87112
505 - 952 - 1176

TITLE: **MARRIOTT RESIDENCE INN**

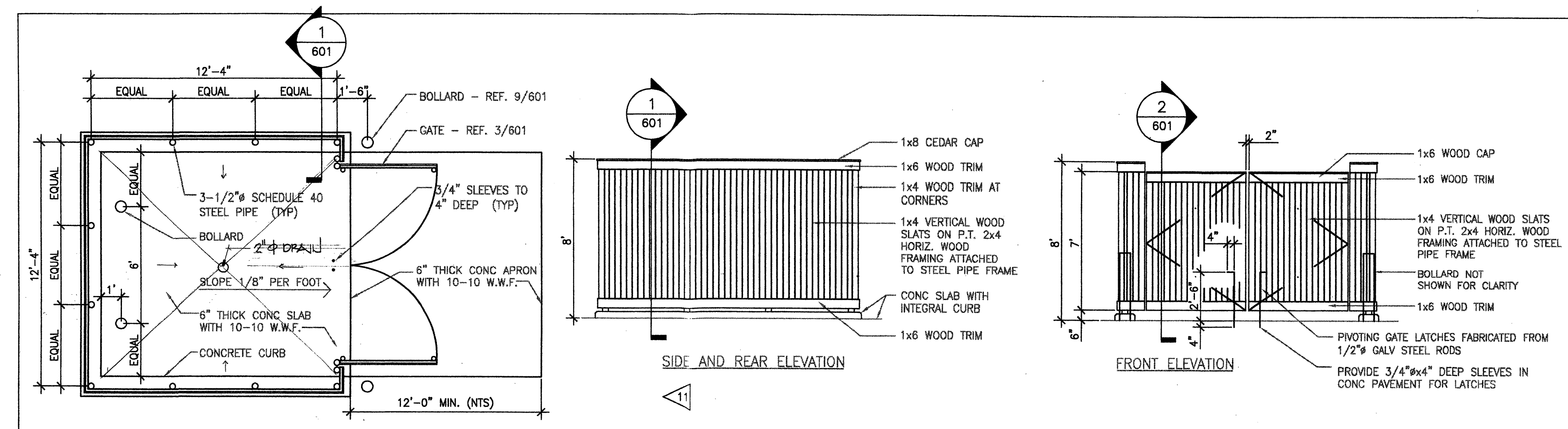
SHEET TITLE:
EXTERIOR ELEVATIONS
1/8" SCALE

ADDRESS:
2801 INTERNATIONAL DRIVE, S.E.
ALBUQUERQUE, NEW MEXICO

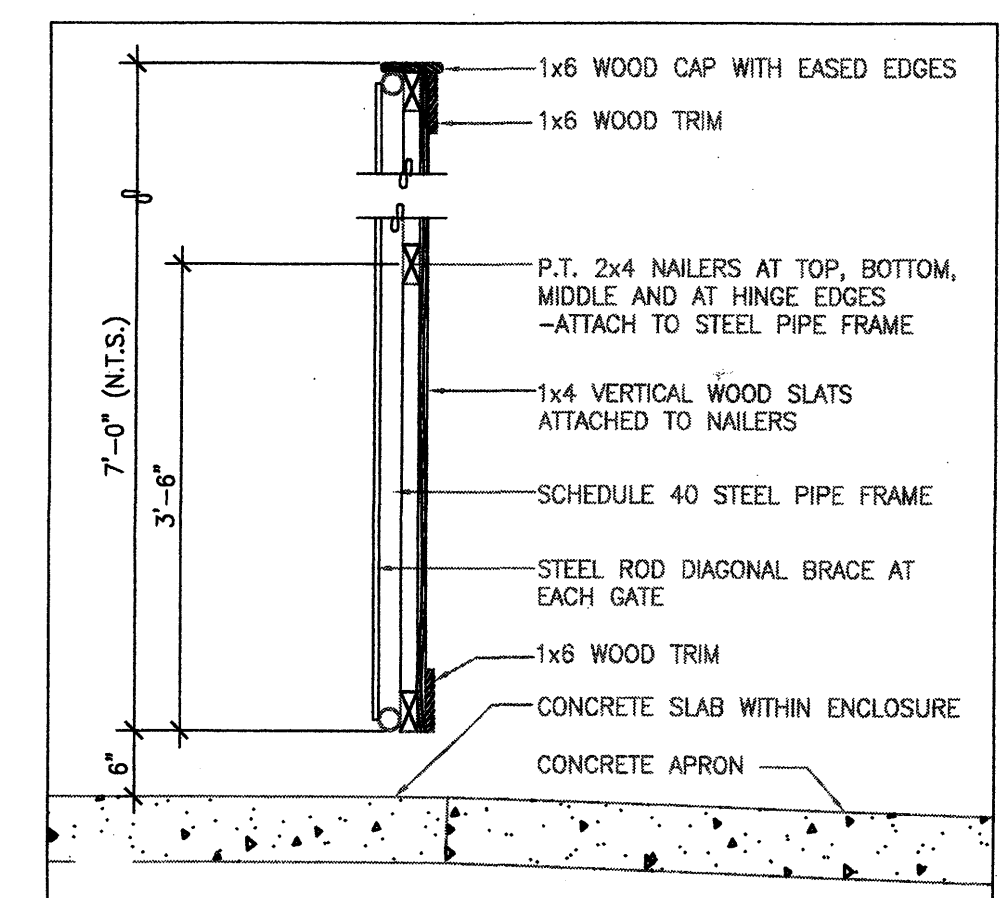
A-21



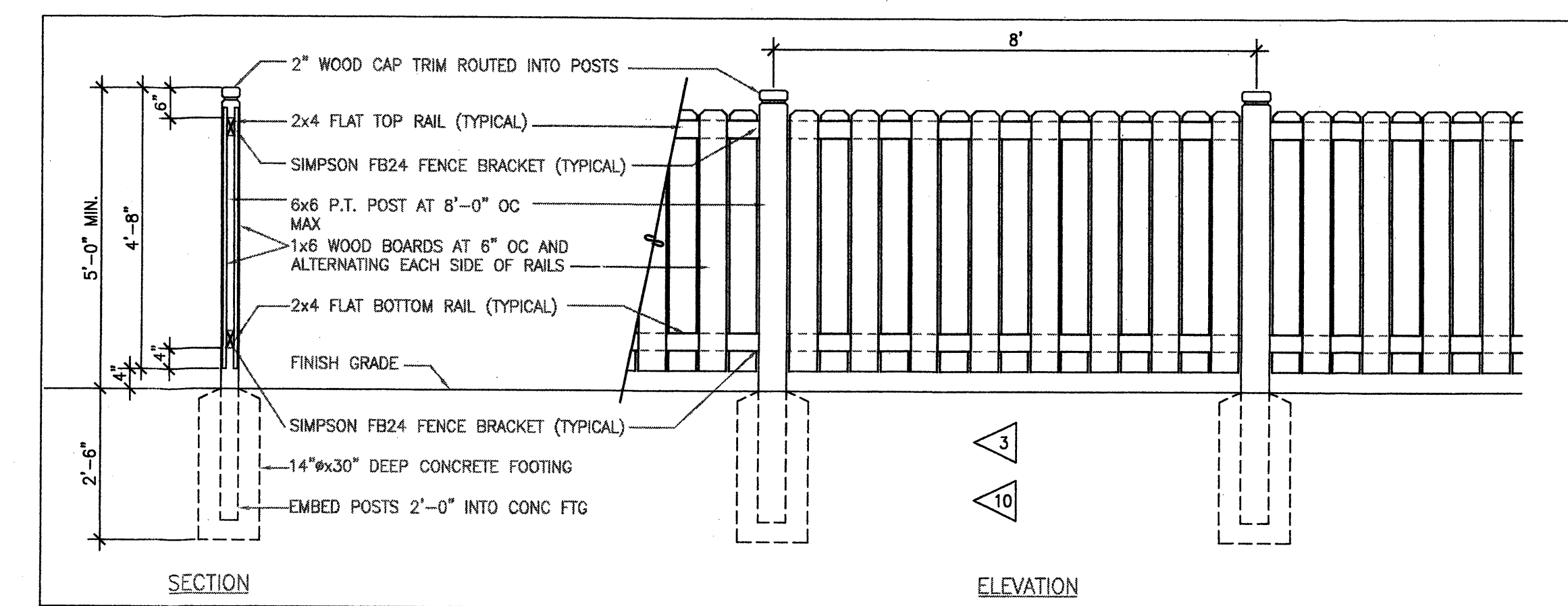
1 TRASH ENCLOSURE SECTION
SCALE: 3/4" = 1'-0"



2 TRASH ENCLOSURE PLAN AND ELEVATION
SCALE: 3/4" = 1'-0"



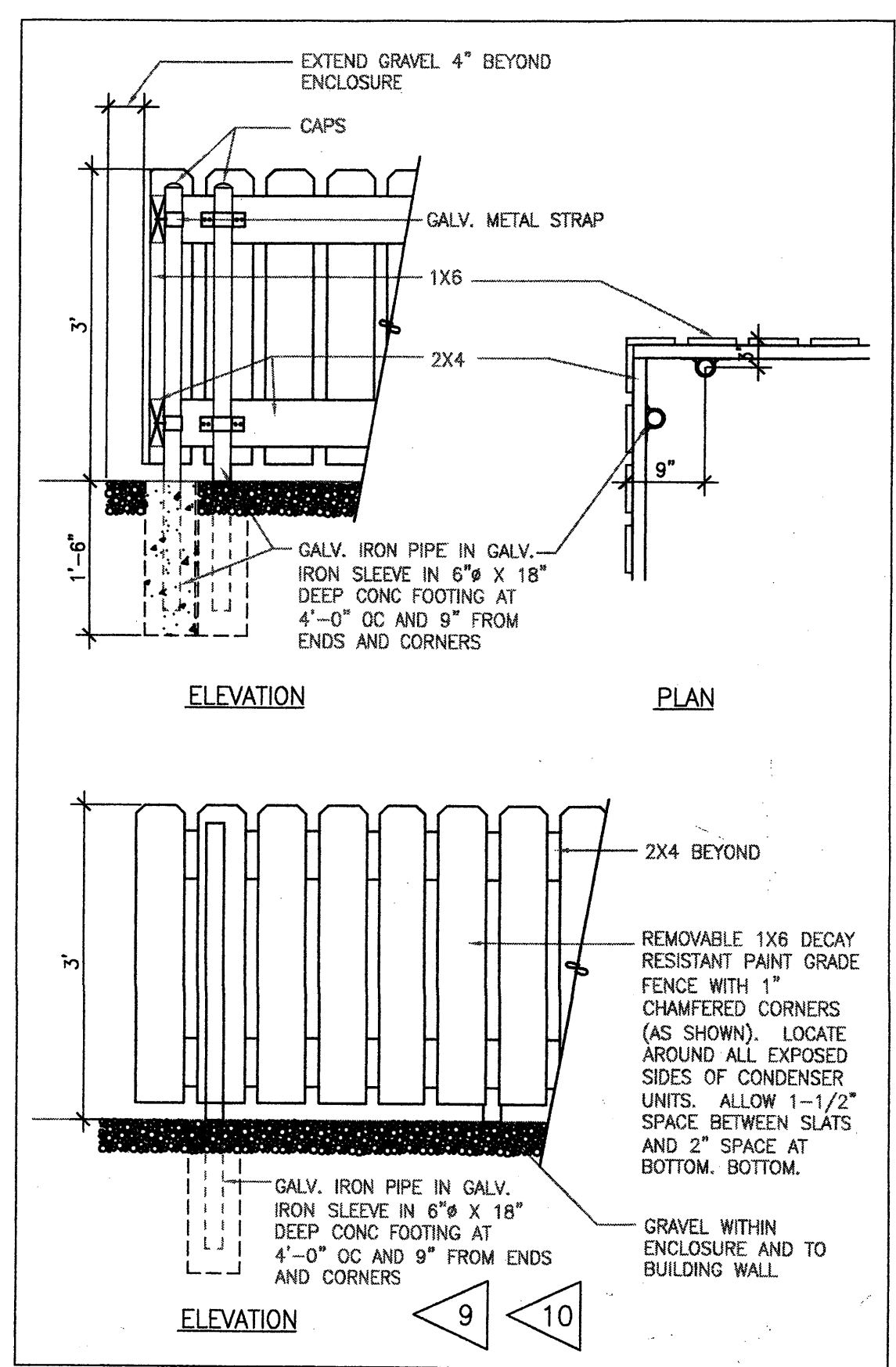
3 TRASH ENCLOSURE GATE SECTION
SCALE: 3/4" = 1'-0"



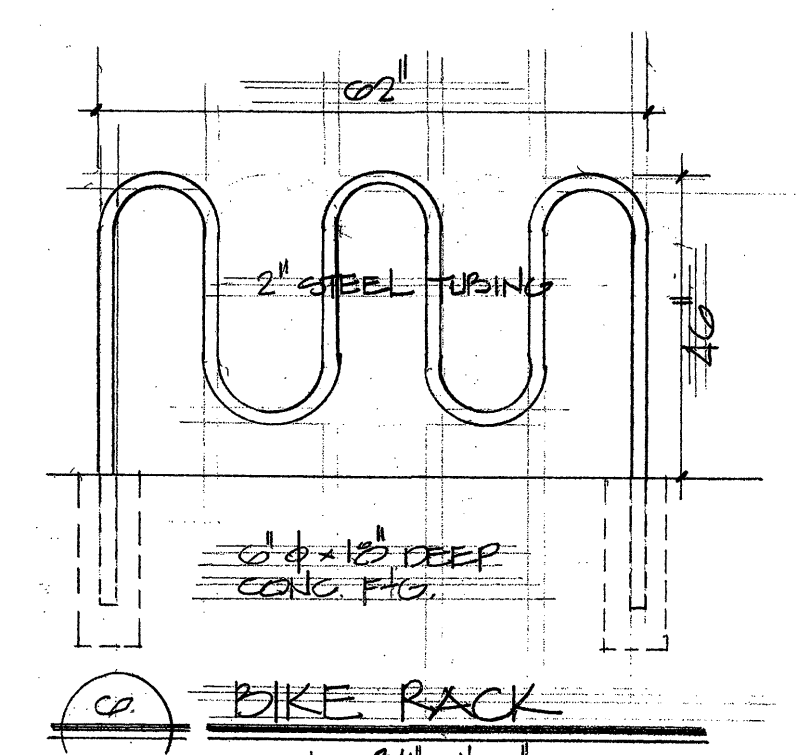
4 PERIMETER FENCE DETAIL (AS INDICATED)
SCALE: 3/4" = 1'-0"

CRITERIA NOTES

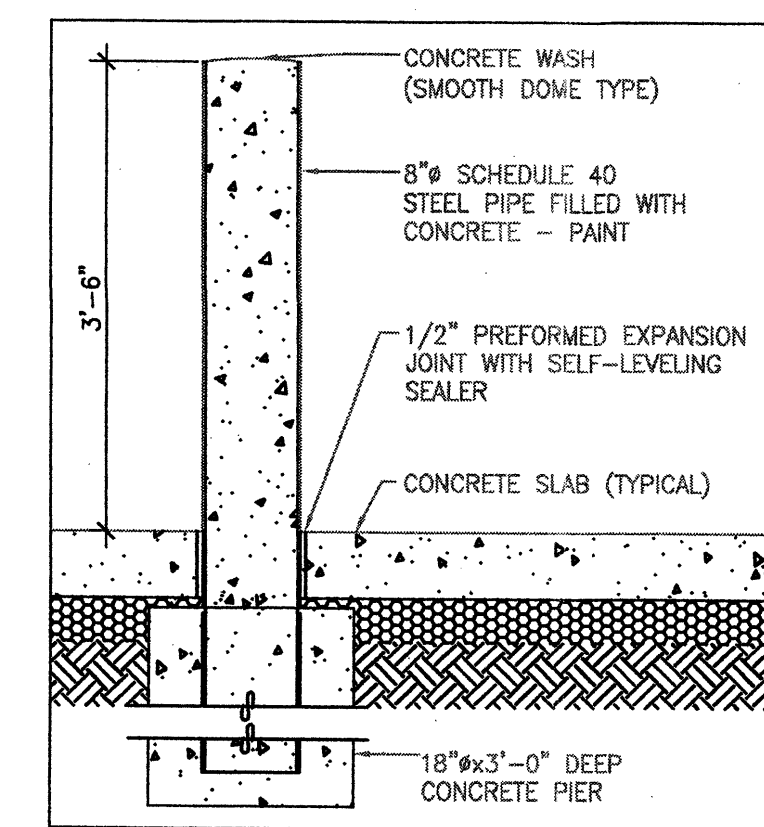
- 1 COORDINATE LOCATION WITH SITE PLAN.
- 2 STAIN FINISH OR PAINT TO MATCH GUESTBUILDING (SEE EXTERIOR FINISH SCHEDULE).
- 3 PROVIDE DECAY RESISTANT WOOD (CEDAR OR TREATED MATERIAL)
- 4 ALL ACCESS GATES ARE LOCATED ON THE SPA LAYOUT PLAN.
- 5 ALL GATES SHALL HAVE HEAVY DUTY SELF-CLOSING HINGES.
- 6 ALL GATES SHALL HAVE A SELF-LATCHING MECHANISM MOUNTED AT LEAST 54"
- 7 ABOVE FINISH GRADE AND A 60" CLEAR SPACE ON THE LATCH SIDE OF THE GATE TO POSITION A WHEELCHAIR.
- 8 GRIND ALL WELDS SMOOTH - PAINT ASSEMBLY WITH 2 COATS OF PRIMER AND 1 COAT OF FINISH PAINT
- 9 CONDENSER FENCE TO TERMINATE 1'-0" FROM THE FACE OF BUILDING WALL (U.N.O.)
- 10 FENCE TO BE PAINTED PER EXTERIOR FINISH SCHEDULE.
- 11 SIZE INDICATED IS MINIMUM. PROVIDE LARGER ENCLOSURE OR DIFFERENT PROPORTIONS AS REQ'D BY LOCAL JURISDICTION FOR DUMPSTER SIZES AND QUANTITIES, OR AS REQUIRED DUE TO SITE RESTRAINTS.



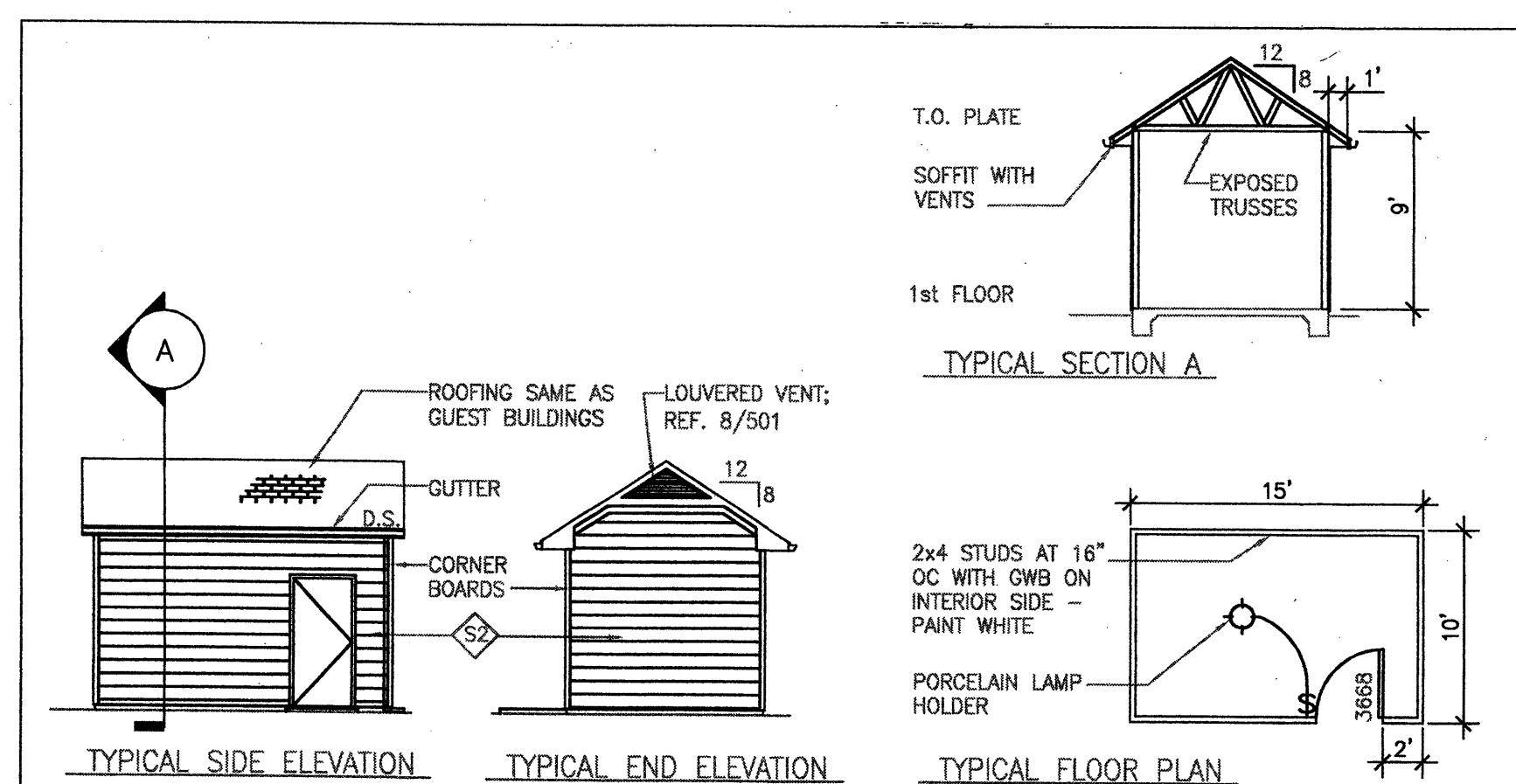
5 CONDENSER FENCE DETAIL
SCALE: 3/4" = 1'-0"



6 BIKE RACK
SCALE: 3/4" = 1'-0"



9 BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



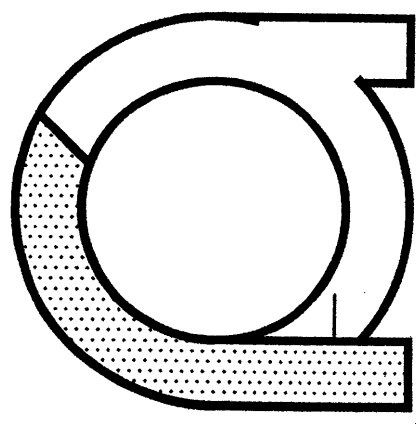
10 LANDSCAPE / STORAGE BUILDING
SCALE: 3/4" = 1'-0"

TITLE: **MARRIOTT RESIDENCE INN**

SHEET TITLE: **SITE DETAILS**

ADDRESS: **2901 JUAN TABO N.E. SOUTH SUITE ALEBUERQUE, NEW MEXICO 87112**

A-26

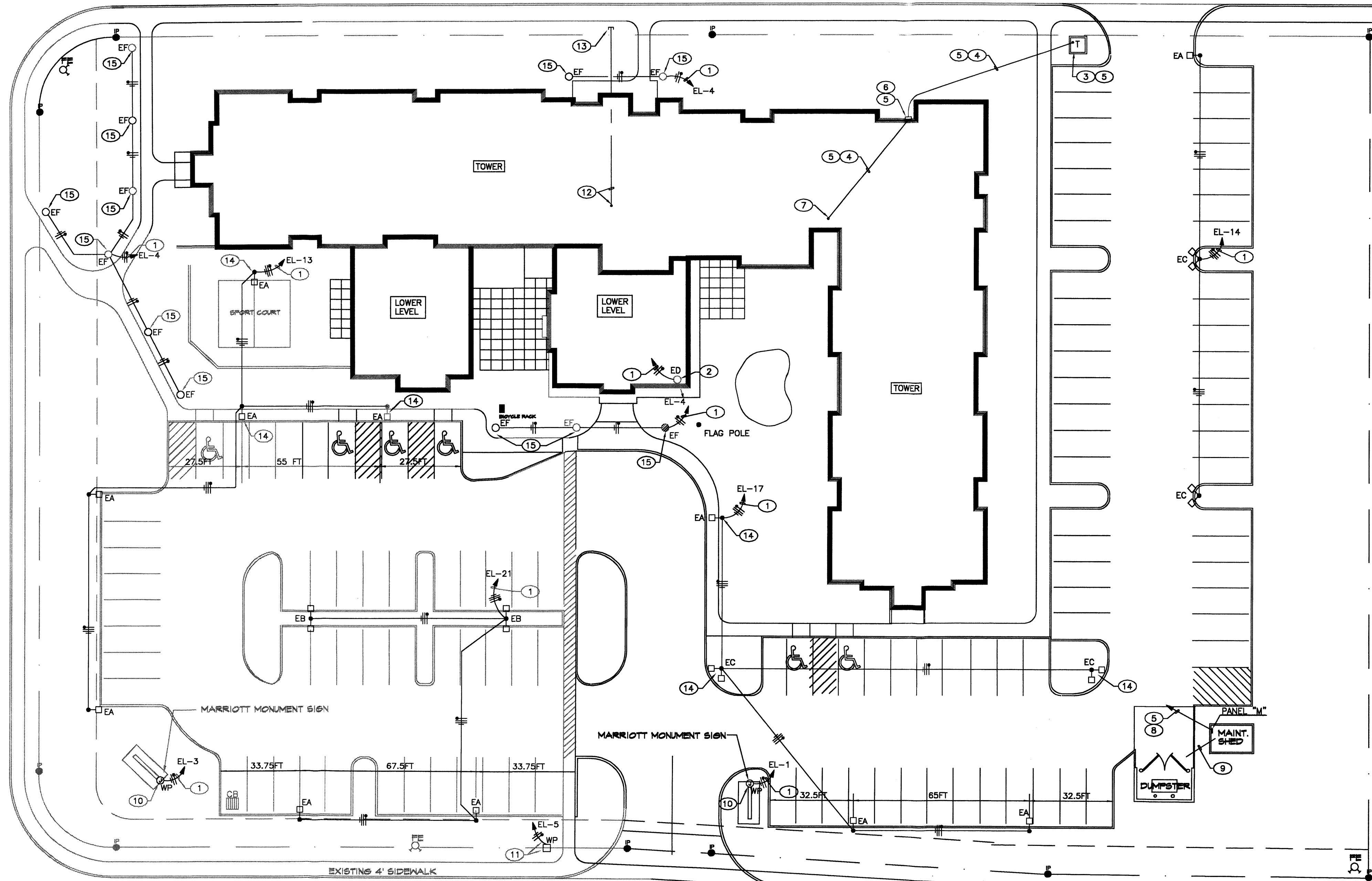


JOB NO.: **TER**
DRAWN: **TER**
DATE: **10-12-06**
REVISED: **01-06-07**

ROBSON & ASSOCIATES - ARCHITECTS
2901 JUAN TABO N.E. SOUTH SUITE
ALEBUERQUE, NEW MEXICO 87112
505 - 952 - 1176

ROSS AVENUE

YALE BOULEVARD

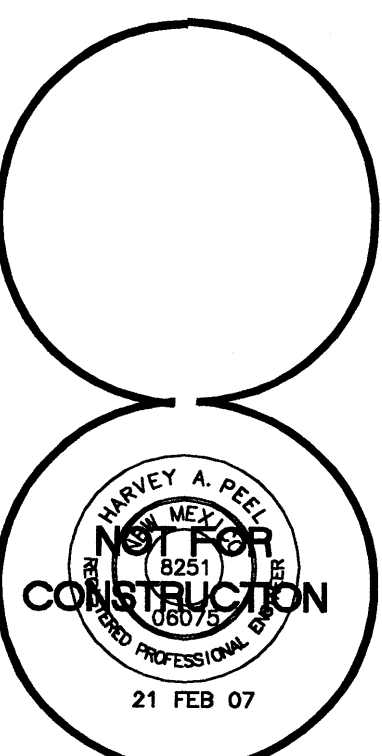


12" WATER LINE
8" SANITARY SEWER LINE
24" STORM DRAIN

INTERNATIONAL AVENUE

KEYED NOTES

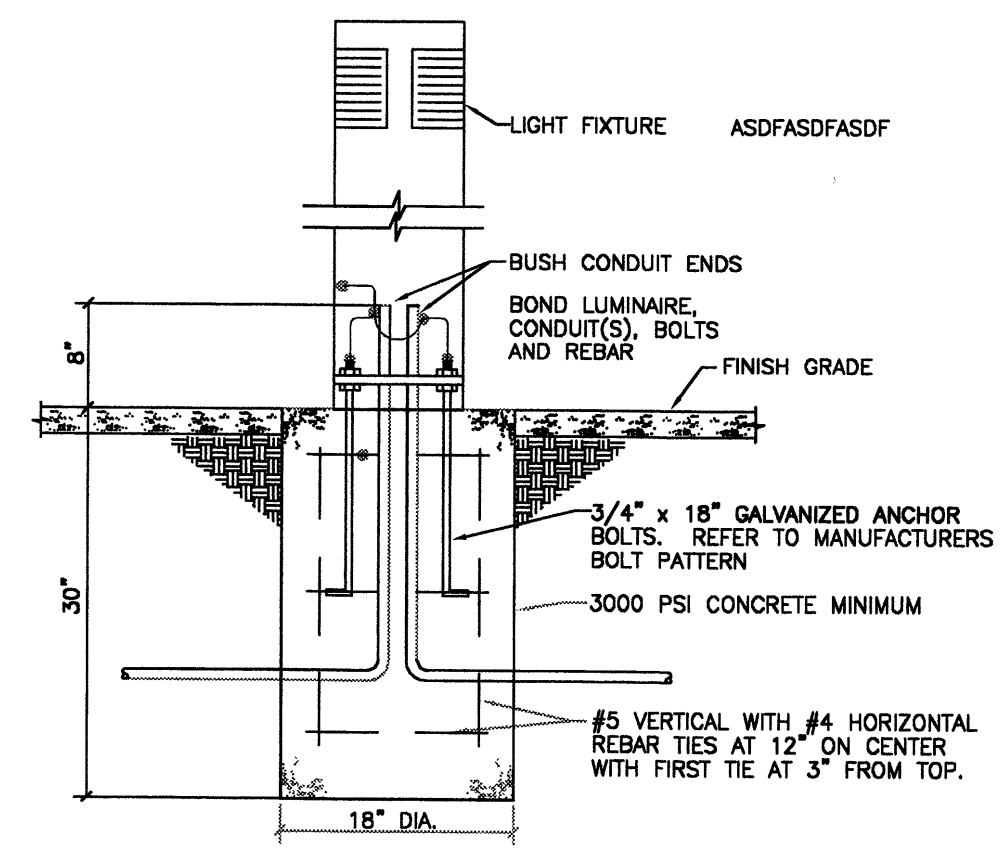
- 1 EXTEND TO BRANCH CIRCUIT INDICATED THRU EXTERIOR LIGHTING CONTROL.
- 2 INSTALL LUMINAIRE ON TOP OF GATEHOUSE ROOF AND FIELD AIM FOR FLAG ILLUMINATION.
- 3 PROPOSED LOCATION OF PUBLIC SERVICE CO. OF NEW MEXICO PADMOUNT TRANSFORMER.
- 4 UNDERGROUND SERVICE ENTRANCE FEEDER.
- 5 REFERENCE POWER RISER DIAGRAM/SHEET E12 FOR REQUIREMENTS.
- 6 LOCATION OF C.T./METERING ENCLOSURE.
- 7 TERMINATE FEEDER AT MAIN DISTRIBUTION SWITCHBOARD/PANEL "MDP".
- 8 PANEL "M" UNDERGROUND FEEDER FROM "MDP".
- 9 EXTEND 1" CONDUIT FROM PANEL "M" INTO DUMPSTER LOCATION AT 24" ABOVE FINISH GRADE.
- 10 PROVIDE 4" SQUARE WEATHERPROOF JUNCTION BOX AT MOUNTMENTS SIGN AND EXTEND 1" CONDUIT TO PANEL "CF".
- 11 EXTEND 120 VOLT BRANCH CIRCUIT TO DOMESTIC WATER SYSTEM "HOT BOX" AND TERMINATE IN WEATHERPROOF DISCONNECT SWITCH; COORDINATE EXACT LOCATION OF "HOT BOX".
- 12 EXTEND (3) 4" CONDUITS UNDERGROUND FROM BACKBOARD IN ELEC. EQUIPMENT/TV/CAMERA ROOM TO PROPERTY LINE.
- 13 COORDINATE UTILITY INTERFACE POINT WITH VOICE AND TELEVISION SERVING UTILITIES; CAP CONDUITS AT TERMINATION.



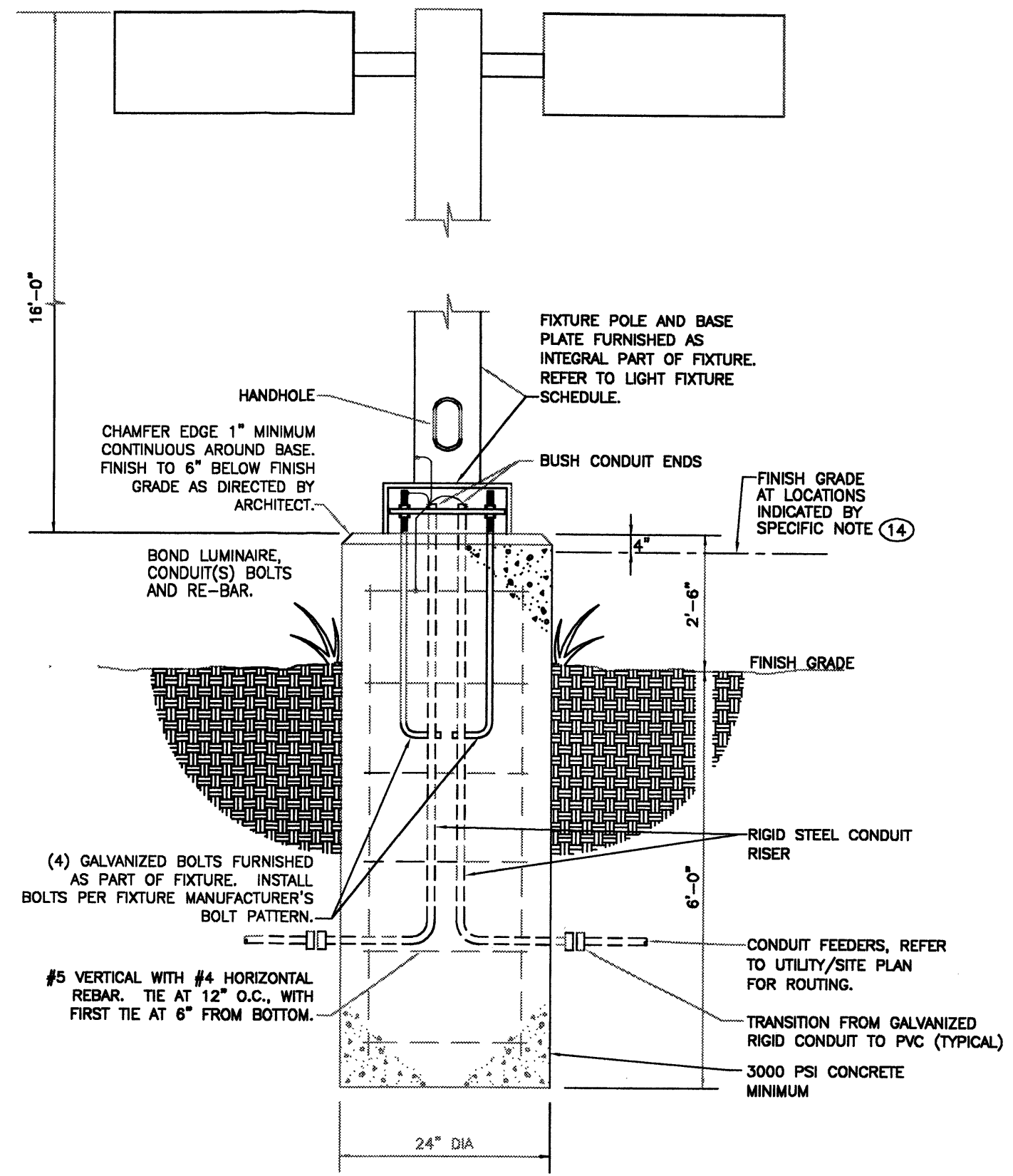
JOB NO.: TER
DRAWN BY: TER
DATE: 10-12-06
REVISED:
ROBSON & ASSOCIATES - ARCHITECTS
2801 JUAN TABO N.E. SOUTH
ALBUQUERQUE, NEW MEXICO 87112
505 - 932 - 1116

SHEET TITLE:
ELECTRICAL UTILITIES PLAN

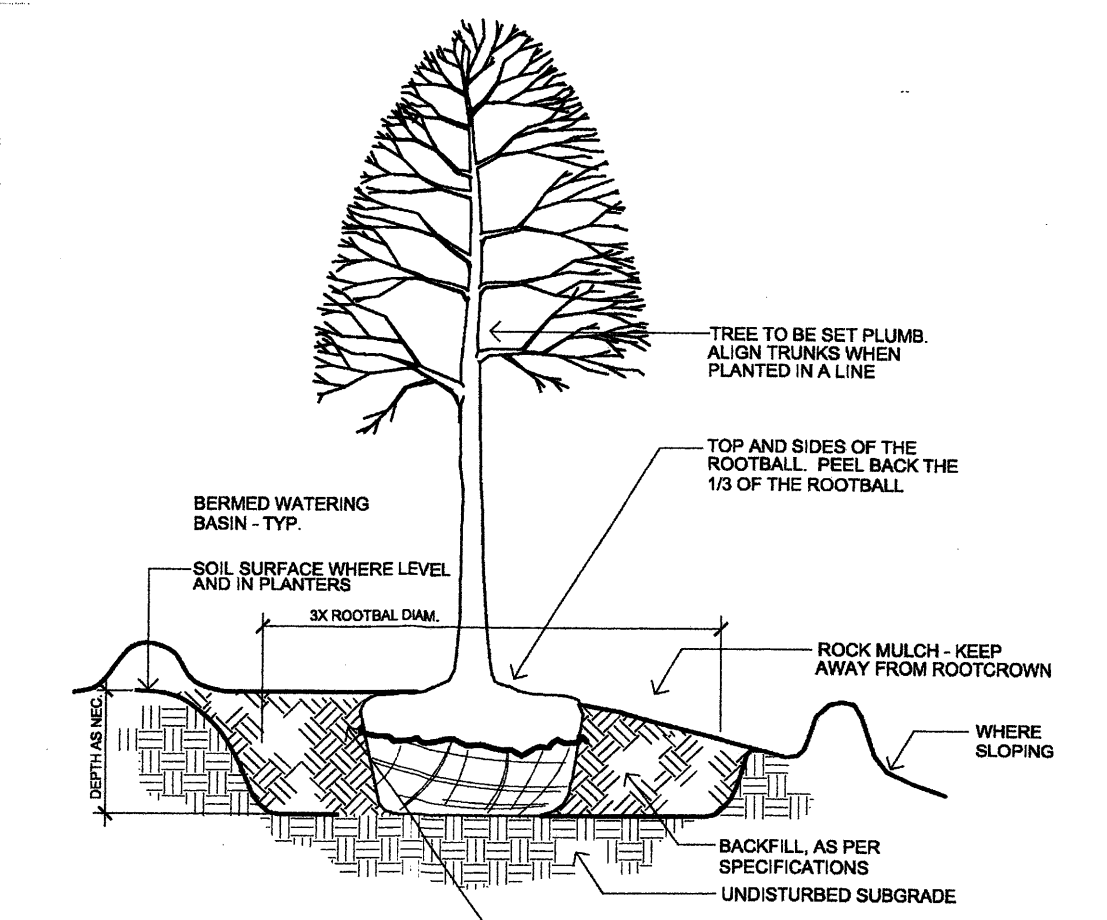
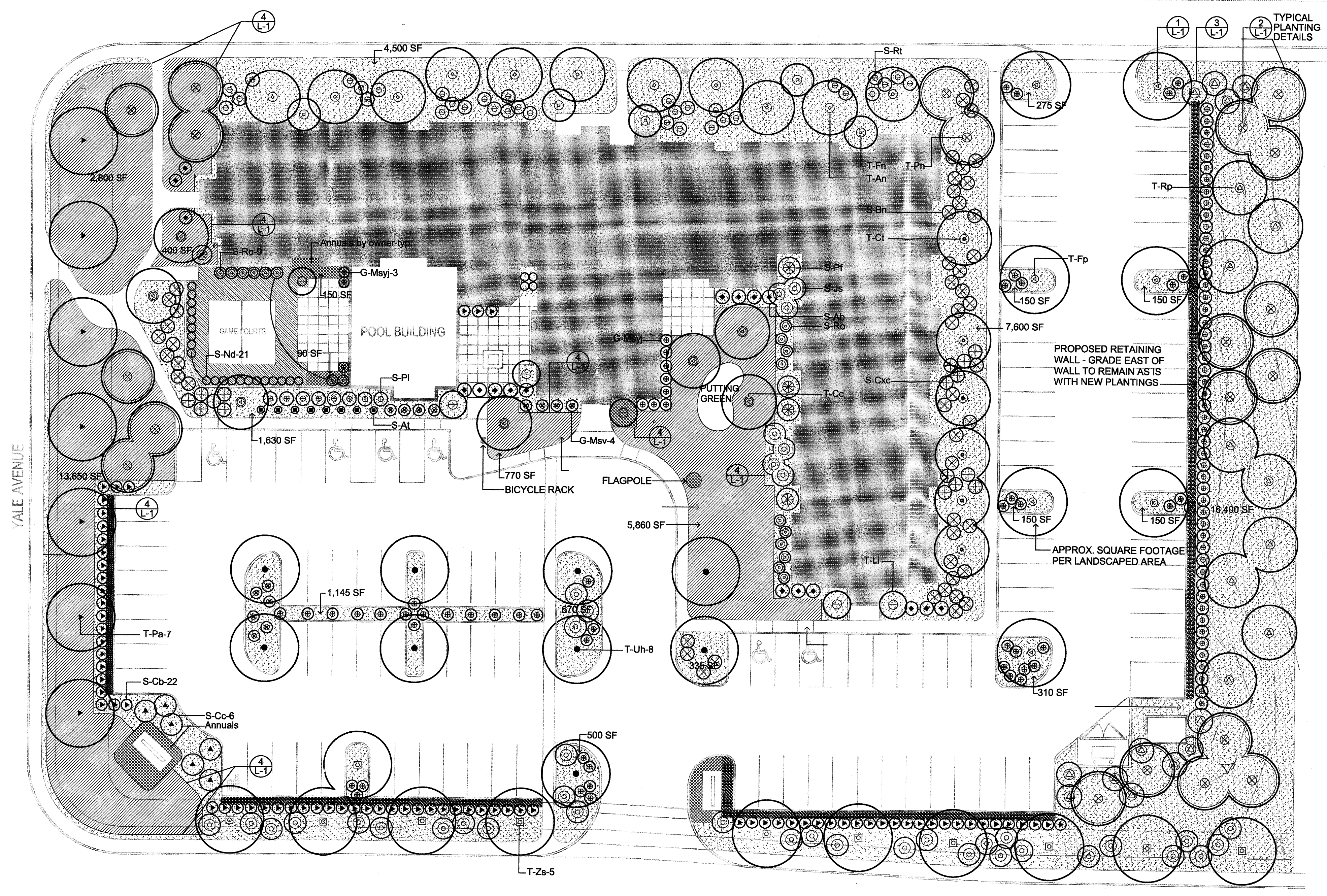
TITLE: MARRIOTT RESIDENCE INN
ADDRESS: YALE BLVD. & INTERNATIONAL AVE., S.E.
ALBUQUERQUE, NEW MEXICO



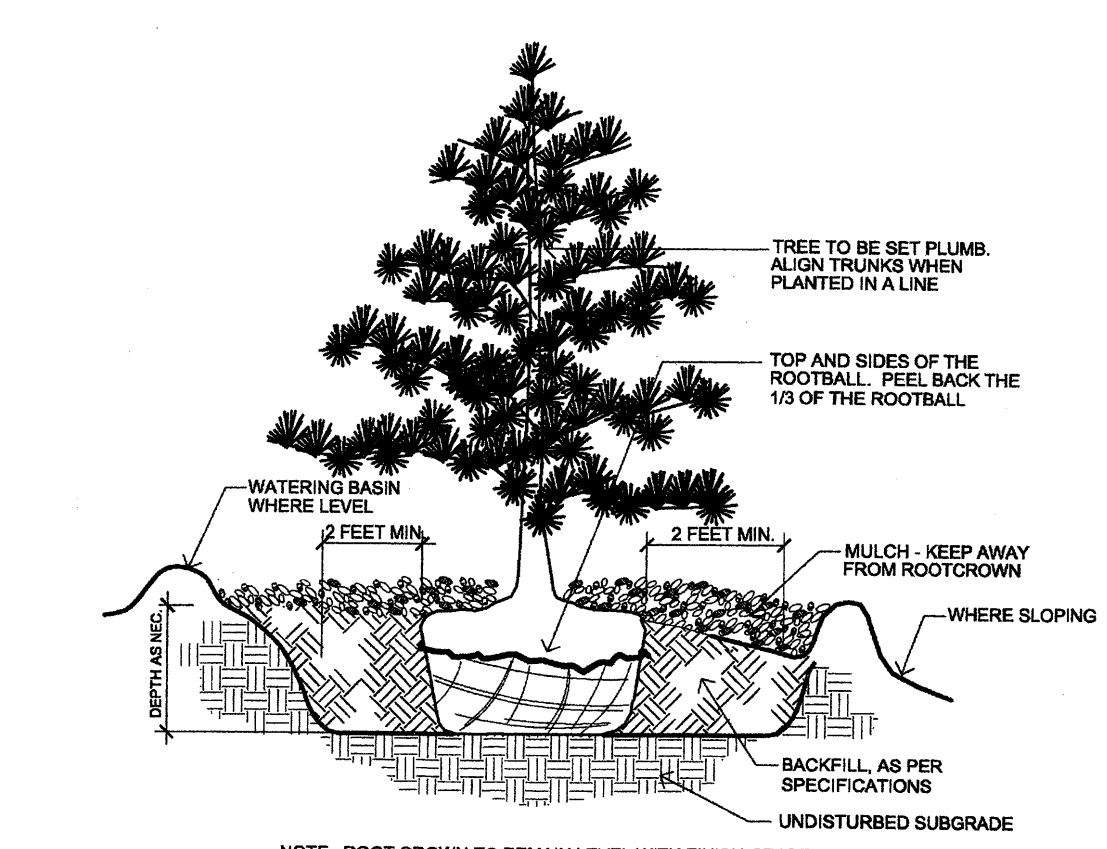
BOLLARD MOUNTING DETAIL TYPE 'EF'
NOT TO SCALE



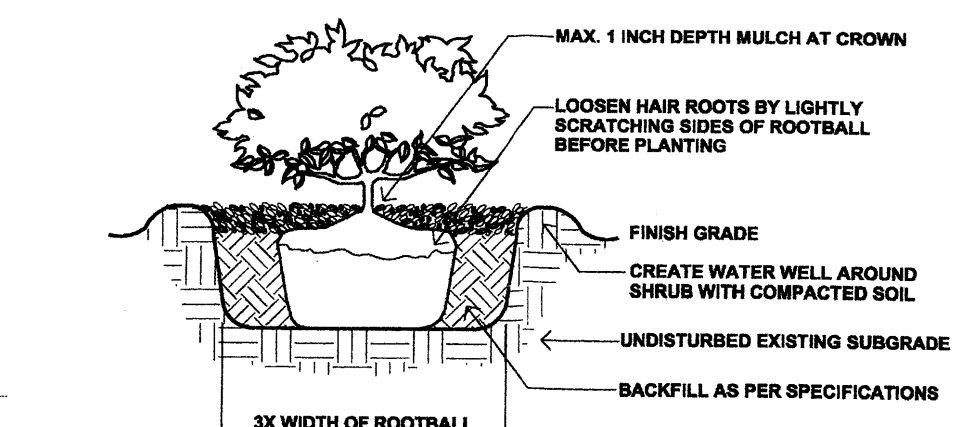
TYPE 'EA'/'EB'/'EC' LUMINAIRE MOUNTING DETAIL
NOT TO SCALE



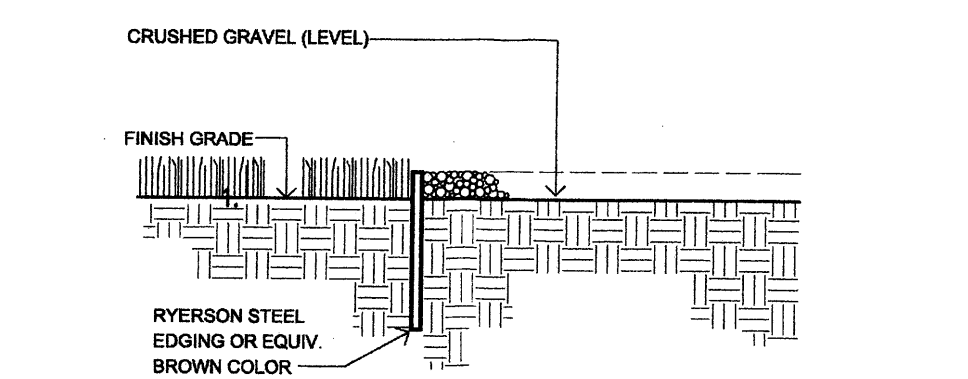
1 DECIDUOUS TREE PLANTING
SCALE: NTS



2 EVERGREEN TREE PLANTING
SCALE: NTS



3 SHRUB PLANTING
SCALE: NTS



4 STEEL EDGING
SCALE: NTS

PLANTING PLAN
SCALE: 1" = 20'

PLANT SCHEDULE

Trees								
SYMBOL	BOTANICAL NAME COMMON NAME	VARIETY/CULTIVAR	CONDITION	SIZE	DETAIL	QTY.	NOTES	MATURE SIZE WxH
⊙	T-Fn Forestiera neomexicana New Mexican olive		B/B	2.5-3" Cal.	1	5	Clump	10x12
⊙	T-An Acer negundo Sensation maple	'Sensation'	B/B	2.5-3" Cal.	1	11		25x25
⊙	T-Rp Robinia pseudoacacia Purple robe locust		B/B	2.5-3" Cal.	1	9		20x20
⊙	T-Li Lagerstroemia indica Crape myrtle	'Pink'	B/B	8-10' Tall	1	5		12x12
⊙	T-Cc Cercis canadensis Eastern redbud		B/B	8-10' Tall	1	7	Multi trunk	15x15
⊙	T-Pn Pinus nigra Austrian pine		B/B	8-10' Tall	2	17	Multi trunk	15x40
●	T-Uh Ulmus hybrid Frontier elm	'Frontier'	B/B	2.5-3" Cal.	1	10		25x35
⊙	T-Zs Zelcova serrata Saw-leaf zelcova	'Green Vase'	B/B	2.5-3" Cal.	1	11		30x40
⊙	T-Fp Fraxinus pennsylvanica Urbanite ash	'Urbanite'	B/B	2.5-3" Cal.	1	7		25x40
▶	T-Pa Platanus acerifolia London plane tree	'Bloodgood'	B/B	2.5-3" Cal.	1	7		40x60
⊙	T-Ct Chitalpa tashenensis Morning cloud chitalpa	'Morning Cloud'	B/B	8-10' Tall	1	6		18x25

ANNUAL BEDS

SEASONAL ANNUALS IN 4" POTS - APPROXIMATELY 200 PLANTS

Shrubs

SYMBOL	BOTANICAL NAME COMMON NAME	VARIETY/CULTIVAR	CONTAINER	DETAIL	QTY.	MATURE SIZE WxH
⊙	S-Ag Abelia grandiflora Glossy abelia		5 gallon	3	13	4x4
⊙	S-Cb Cotoneaster buxifolia Greyleaf cotoneaster		5 gallon		74	2x4
⊙	S-Pl Philadelphus lewisii Native mock orange		5 gallon		8	5x5
⊙	S-Ro Rosemarinus officinalis Bush rosemary	'Arp'	5 gallon		10	5x4
⊙	S-At Achillea tageta Moonshine yarrow	'Moonshine'	5 gallon		7	2x1.5
⊙	S-Js Juniperus sabina Buffalo juniper	'Buffalo'	5 gallon		43	8x1
⊙	S-Bd Buddleia davidii Dwarf butterflybush	'Nanoensis'	5 gallon		27	4x5
⊙	S-Cc Cotinus coggygria Smoke tree	'Royal Purple'	5 gallon		6	12x12
⊙	S-Pf Photonia fraseri Japanese photonia		5 gallon		4	8x10
⊙	S-Rt Rhus trilobata Three-leaf sumac		5 gallon		34	8x6
⊙	S-Cxc Caryopteris x clandonensis Blue mist	'Dark Knight'	5 gallon		13	5x4
⊙	S-At Nandina domestica Heavenly bamboo	'Moyers Red'	5 gallon		25	3x4
⊙	S-At Annuals Heavenly bamboo				25	3x4
⊙	S-Ep Eleaagnus pungens Silverberry			3	x	6x6

Ornamental Grasses

SYMBOL	BOTANICAL NAME COMMON NAME	VARIETY/CULTIVAR	CONTAINER	DETAIL	QTY.	MATURE SIZE WxH
⊙	G-MsY Miscanthus sinensis Yuka jima maidengrass	'Yuka jima'	1 gallon	3	37	3x4
⊙	G-Msv Miscanthus sinensis variegatus Variegated maidengrass		1 gallon	3	10	3x4

SOD = 59,400 # TOTAL LANDSCAPE / 14,800 # SOD AREA

LAWN - "REVELE" TALL FESCUE SOD
SOD = 25% OF TOTAL LANDSCAPE AREA

STONE AND MULCHES

- BARK MULCH**
MEDIUM "WALK-ON" BY WESTERN ORGANICS OR EQUIVALENT PLACE 3 INCHES DEEP - NO FABRIC
- GRAVEL**
1 INCH DIAMETER "SANTA ANA TAN" CRUSHED GRAVEL PLACED 3 INCHES DEEP - NO FABRIC

G. ROBERT JOHNS, FASLA
LANDSCAPE ARCHITECT
2317 Camino de los Artesanos
Albuquerque, New Mexico 87107
tel: (505) 306-4650

STATE OF NEW MEXICO
THOMAS E. ROBERTSON
REGISTERED ARCHITECT
6/23/07

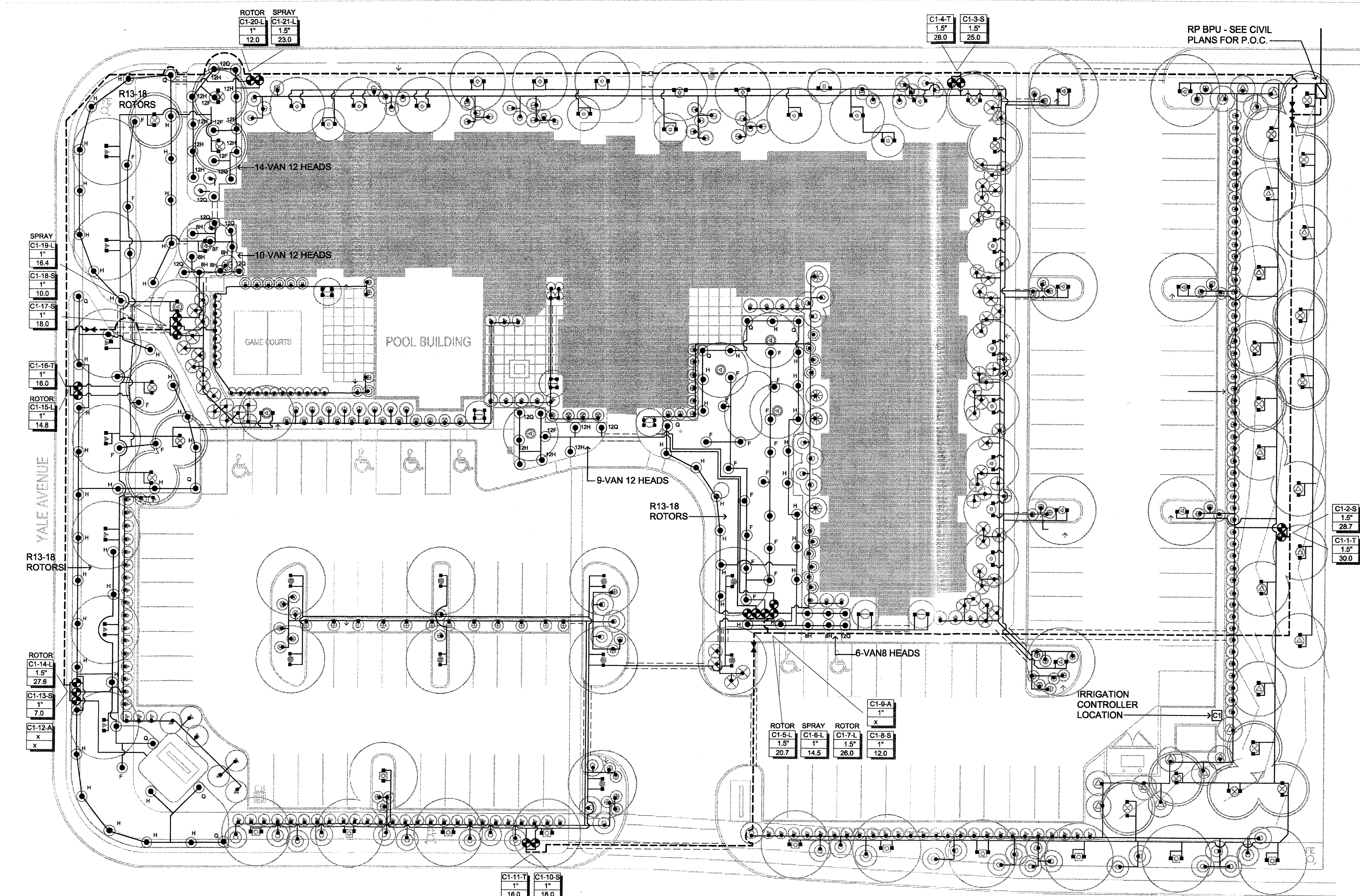
JOB NO.:
DRAWN: RAB
DATE: 1/15/07
REVISED: 6/13/07

ROBSON & ASSOCIATES - ARCHITECTS
2301 JUAN TABO, N.E. SOUTH SUITE
ALBUQUERQUE, NEW MEXICO 87112
505 - 332 - 1176

TITLE: MARRIOTT RESIDENCE INN

ADDRESS:

L-1

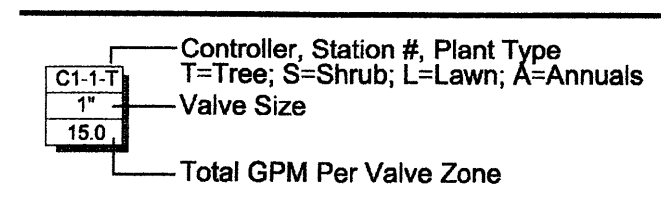


IRRIGATION PLAN
SCALE: 1" = 20'

IRRIGATION SCHEDULE SEE DETAILS, SHEET LS301

SYMBOL	TYPE	MANUFAC.	MODEL	DESCRIPTION	DETAIL
	Controller	Rainbird	ESP-MC-24 24 STATION	Electronic Controller in metal pedestal cabinet - 120 V required	1
	RP DEVICE and Master Valve	Febco	825YA PEB Series	RP BPU installed in "Hotbox" enclosure on 4" concrete slab - provide electrical	2
Note: install pressure regulator and set for 50 PSI for optimum head performance					
	Electric Valve	Rainbird	PEB Series	Remote control valve	3
	Gate Valve	Champion	In-line	Brass body gate valve	4
	Rotor	Rainbird	R13-18 Black	Pop-up rotor head - 1.31 - 2.17 GPM 13 - 18" Adjustable radius	5
	Spray Head	Rainbird	VAN Series	Fixed Radius 6" Pop-up spray head See plan for specific head model/radius	5
	Bubbler head	Rainbird	1401	Pop-up flood bubbler (.25 GPM - shrubs)	5
	Bubbler head	Rainbird	1402	Pop-up flood bubbler (.50 GPM - trees)	5
	Terminal Drain Valve	King		Drain Valve at end of lateral	6
	Sleeve	Lasco or Equivalent	See specs	2 sizes larger than sleeved pipe Class 160 PVC	7
	Lateral	Lasco or Equivalent	See specs	Schedule 40 PVC	7
	Mainline (PVC)	Lasco or Equivalent	See specs	Schedule 40 PVC	7

VALVE KEY

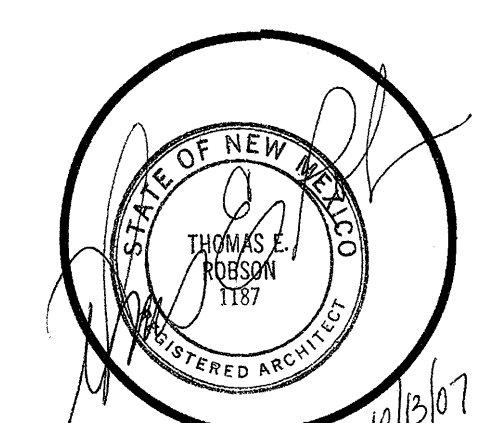
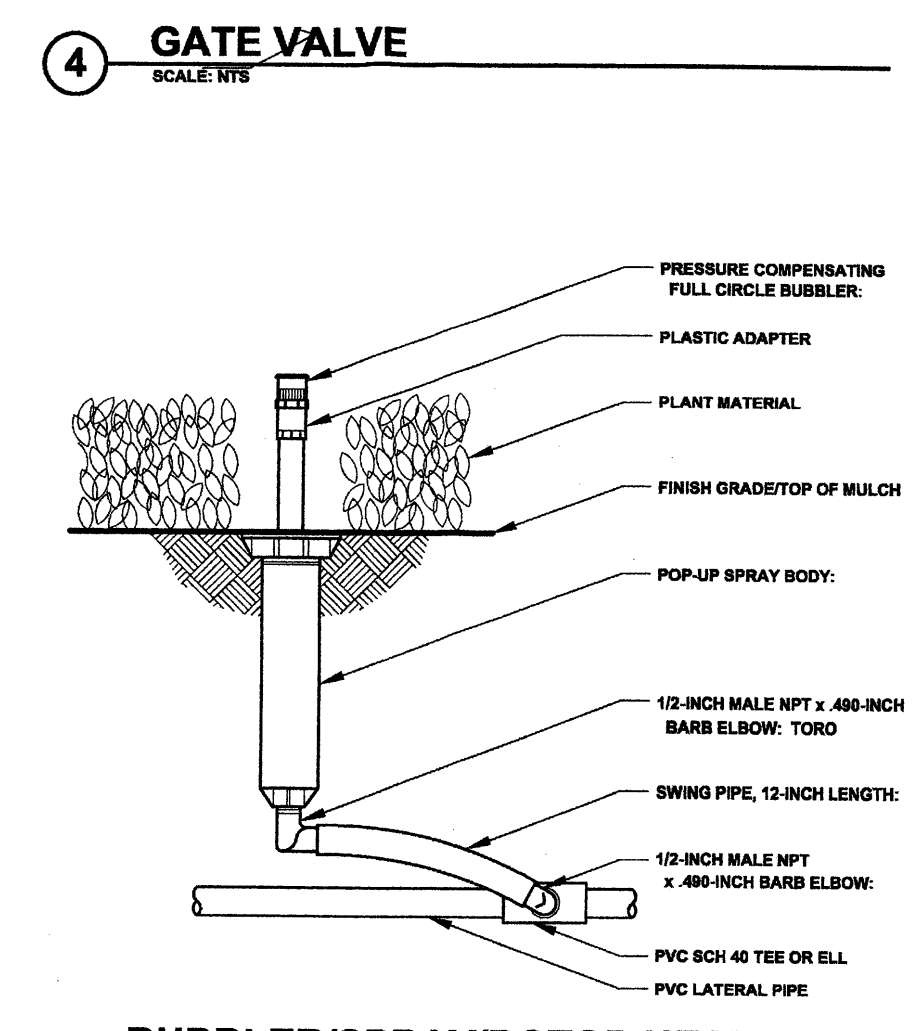
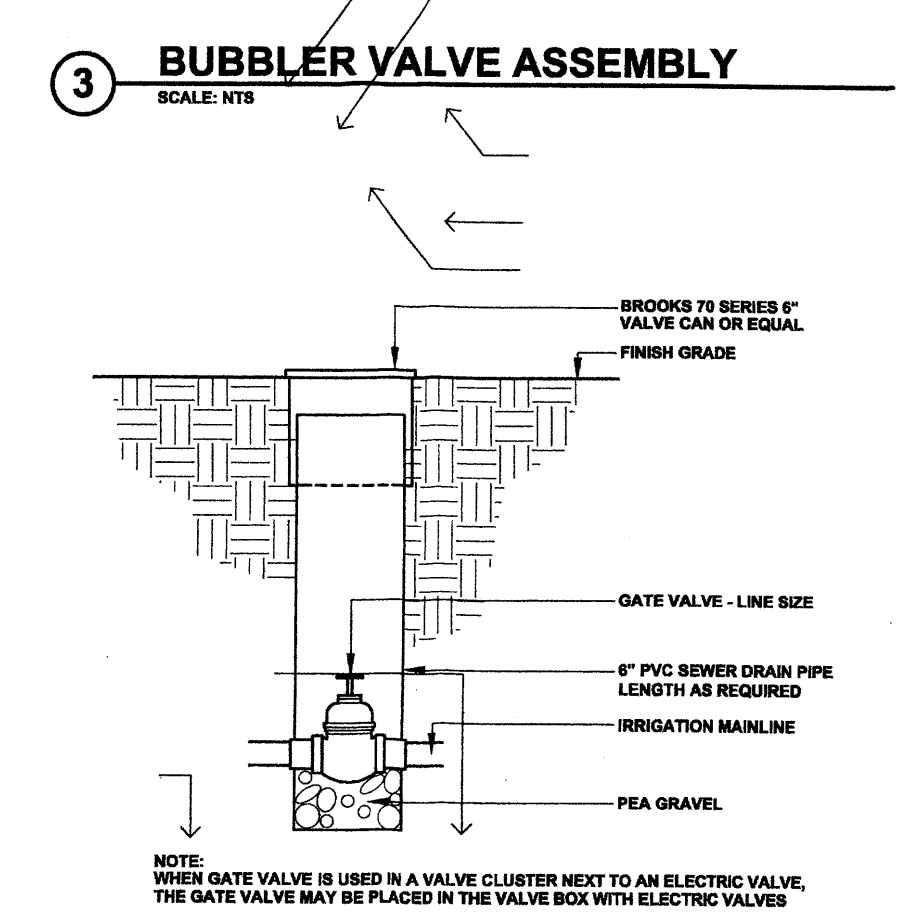
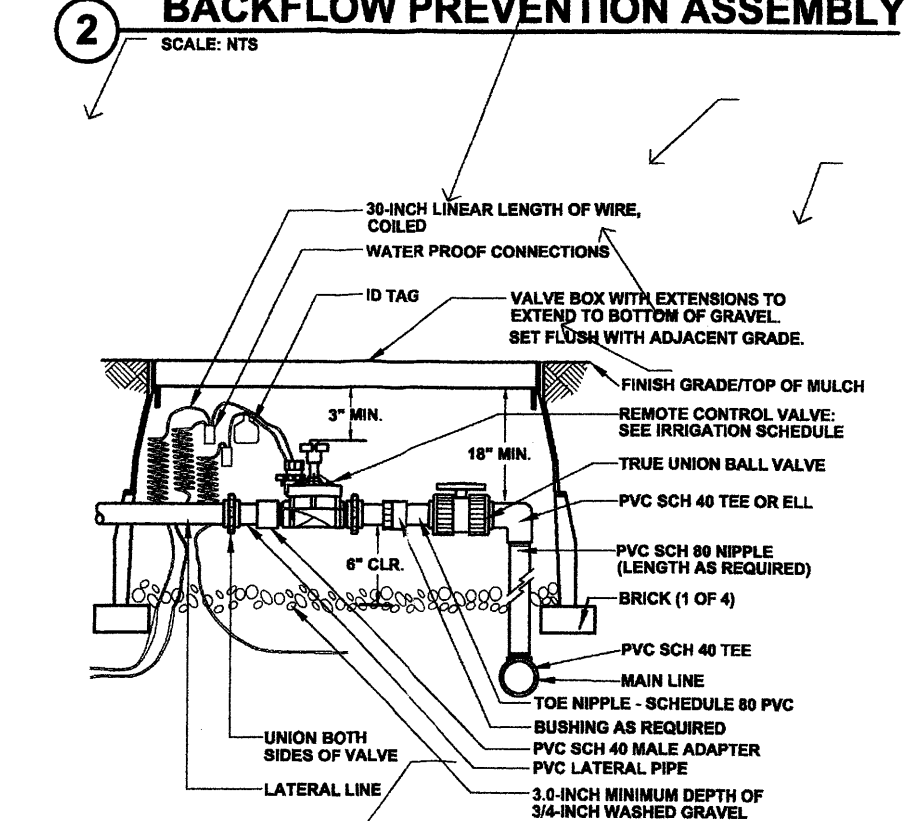
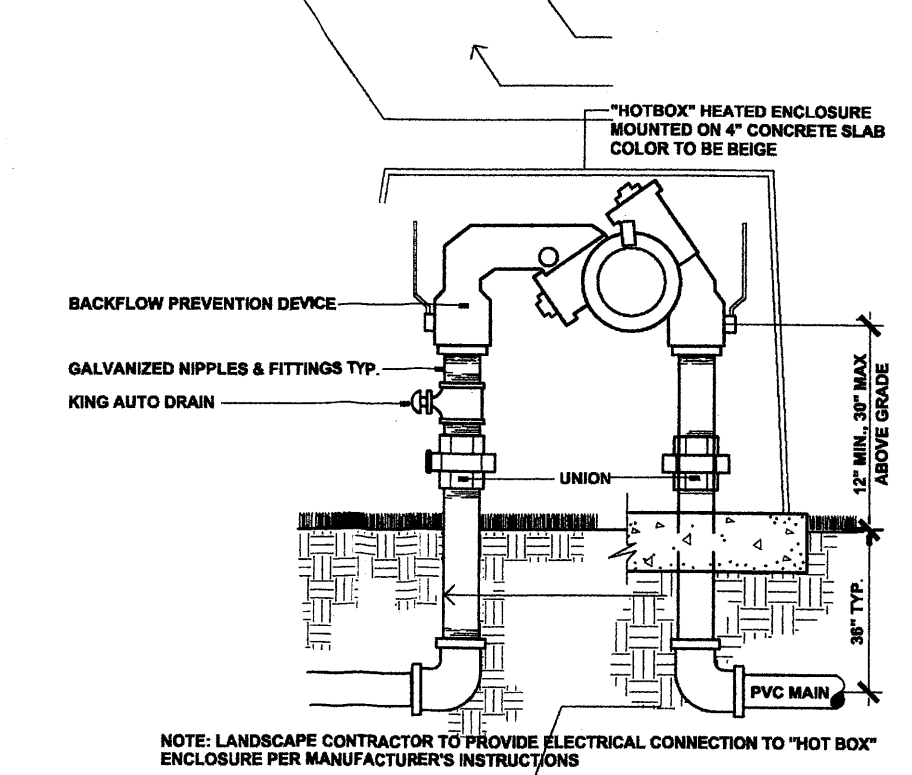
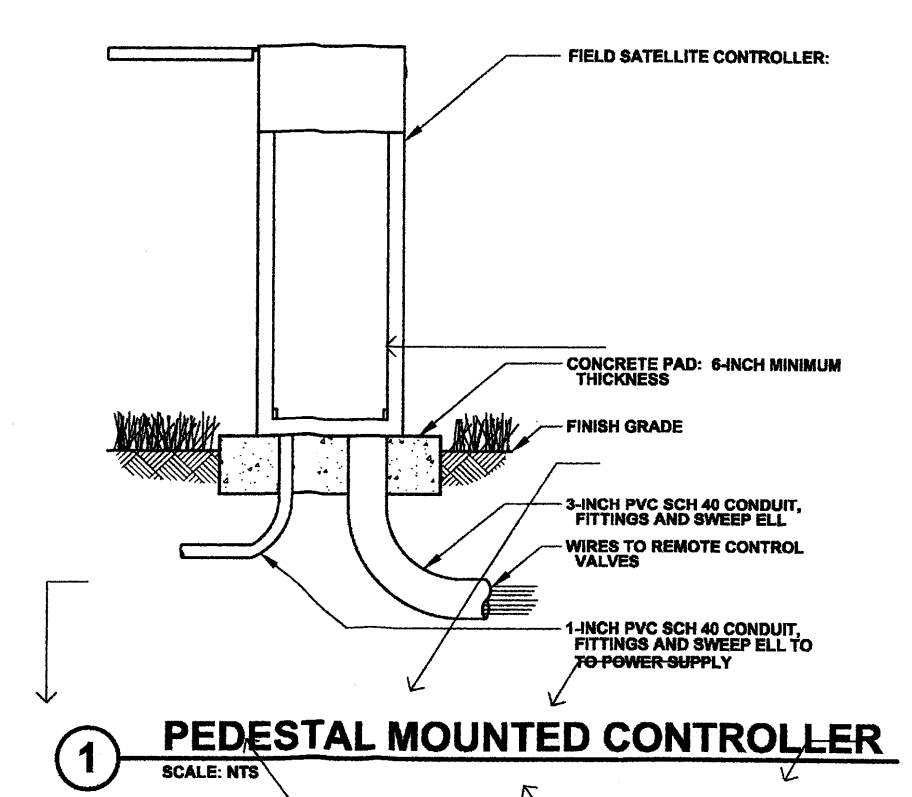
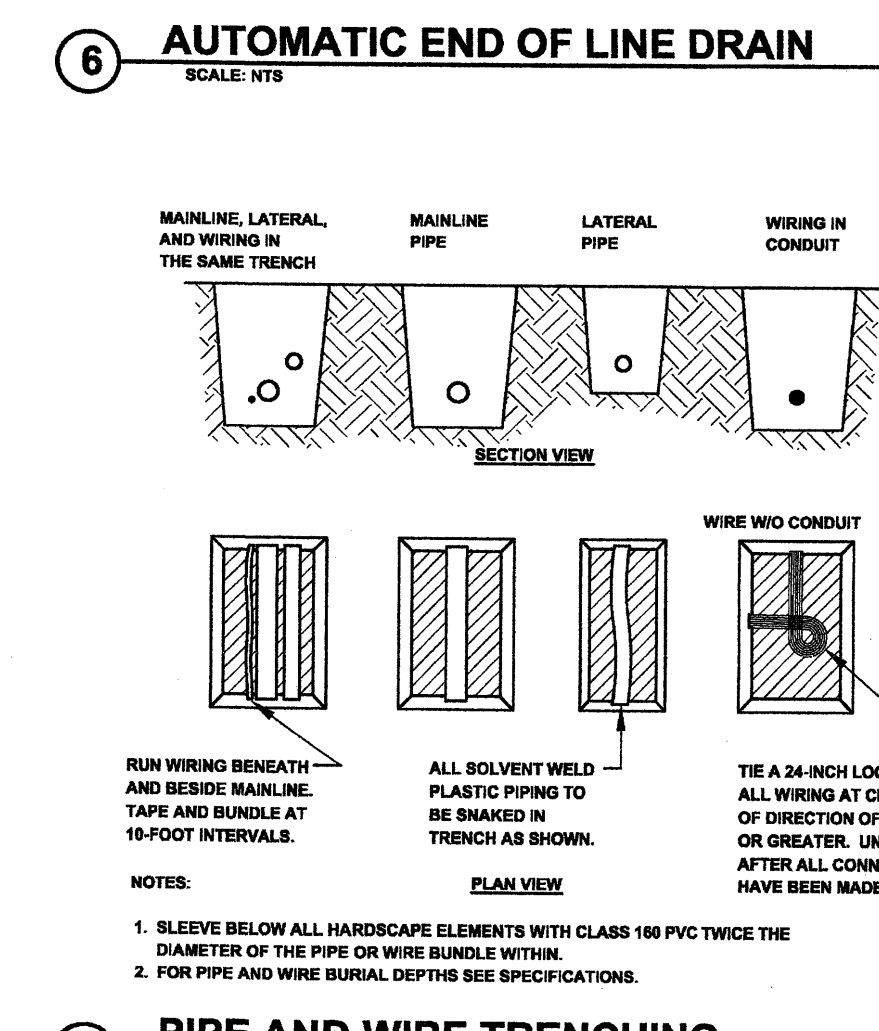
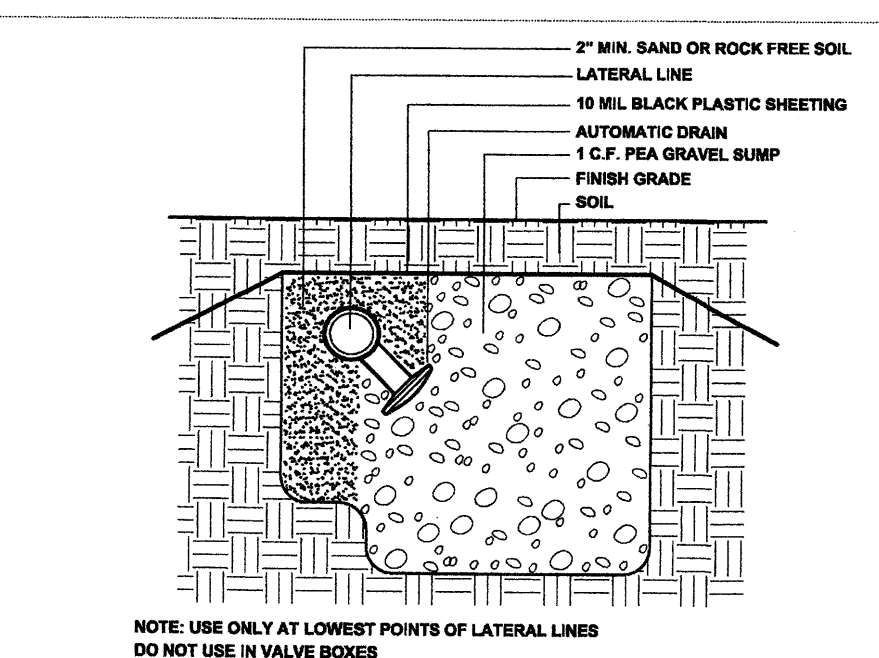


PIPE SIZING CHART

PIPE SIZE	RANGE OF FLOW
1 inch	0 to 12 GPM
1-1/4 inch	13 to 30 GPM
1-1/2 inch	21 to 30 GPM
2 inch	31 to 50 GPM

GENERAL IRRIGATION NOTES

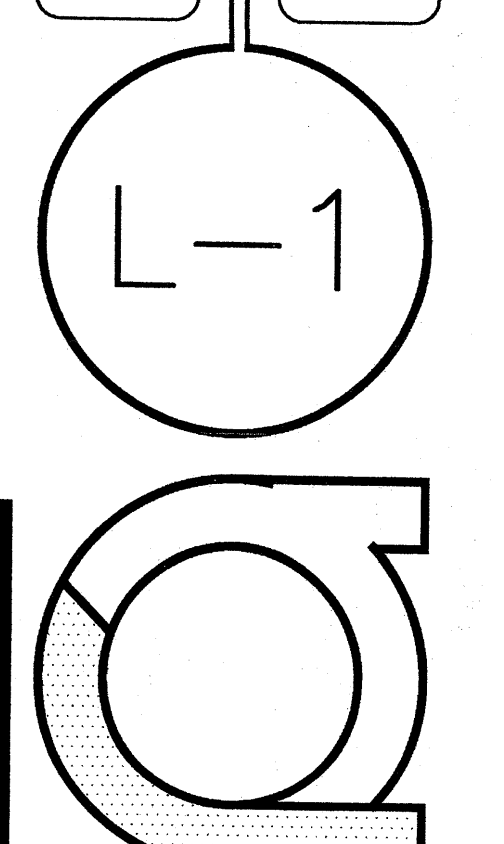
- Locations of irrigation lines, valves, heads, and all other related irrigation appurtenances shown on these drawings are diagrammatic only. The exact location of all equipment shall be approved by the landscape architect in the field or as directed.
- Stake all utilities including sewer and drainage prior to any excavation for irrigation work.
- Simultaneous field staking of plant material and irrigation layout is required for the landscape architect's approval before proceeding with the irrigation work.
- Irrigation laterals are to be a minimum of 1 inch diameter unless the line is labeled differently on the plan.
- All irrigation pipe under pavement shall be placed in a sleeve as per the irrigation schedule. Coordinate with paving work by others to place sleeves under pavement at appropriate size and depth. Sleeving to be installed as required and trench backfilled and compacted to 95%. Repave with asphalt or concrete as per local standards and requirements.
- The landscape contractor shall adjust all valves and bubblers for optimum performance.
- The irrigation design is based on a minimum 50 psi and a 50 GPM flow rate at the point of connection to the potable water system. The contractor is to verify that the above requirements are met prior to beginning work on the irrigation system. If the minimum requirements are not available or are substantially higher than minimums, notify the landscape architect and wait for directions from the landscape architect.
- Irrigation installation shall be in accordance with local standards and requirements.
- 24-volt wire shall be in a common trench with the mainline. All 24-volt wire shall be marked with 6 inch wide red marker tape and marked "warning electrical". Lay marker tape horizontally 6 inches above wire. Mark all 24-volt wire ends with 3M STD-09 wire marker tape at valve box and controller location.
- Irrigation bubbler heads shall be located uphill of plant centers for planting on slopes regardless of plan.
- Landscape Contractor to coordinate with electrical to provide 120V for controller and hotbox.
- All spray heads in lawn areas are to be set (8) inches in from an adjacent paved surface.



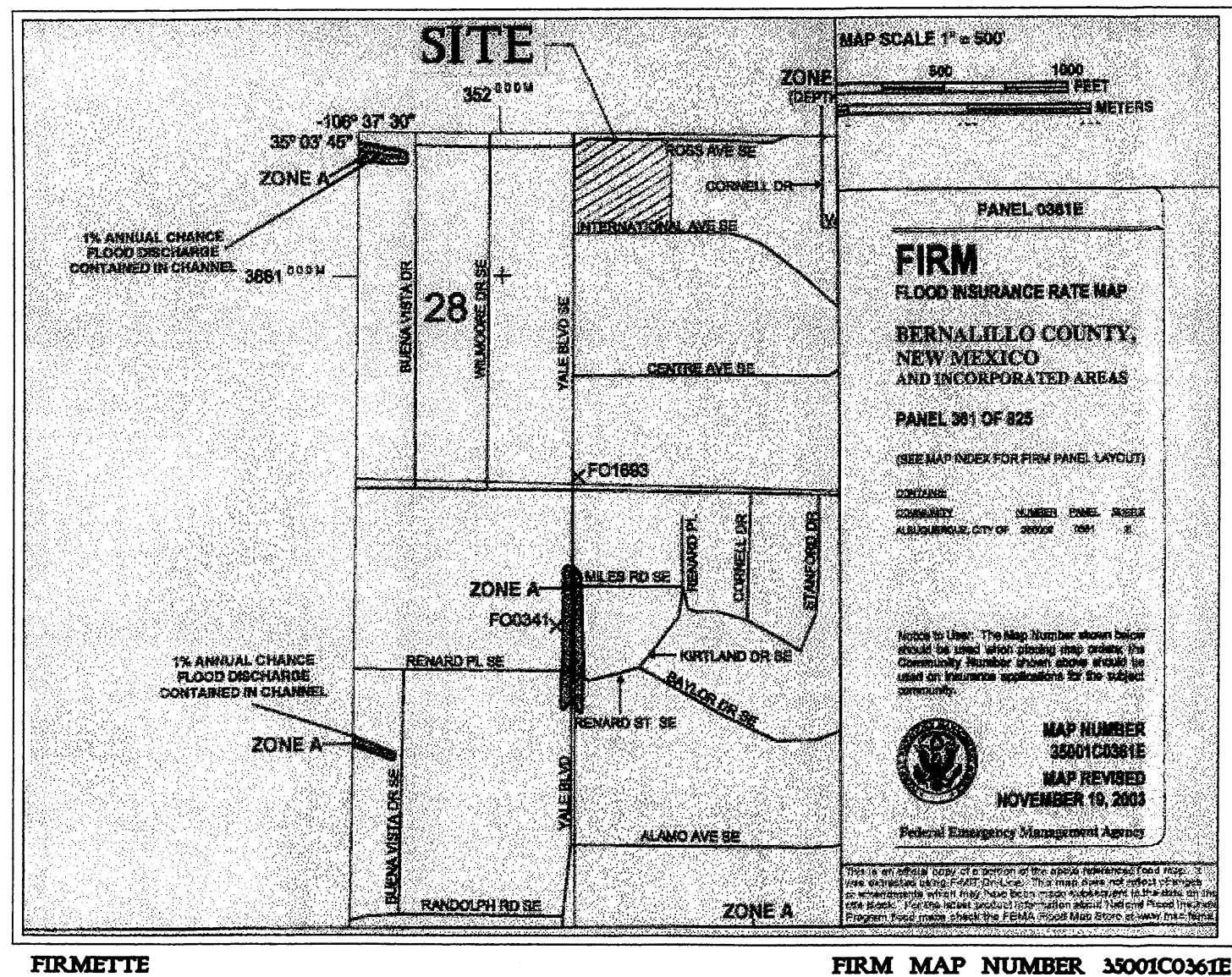
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DRAWN: 1/15/07
DATE: 6/13/07
REVISED: 6/13/07

ROBSON & ASSOCIATES - ARCHITECTS
2301 JUAN TABO, N.E. SOUTH SUITE
ALBUQUERQUE, NEW MEXICO 87112
505 - 352 - 1176

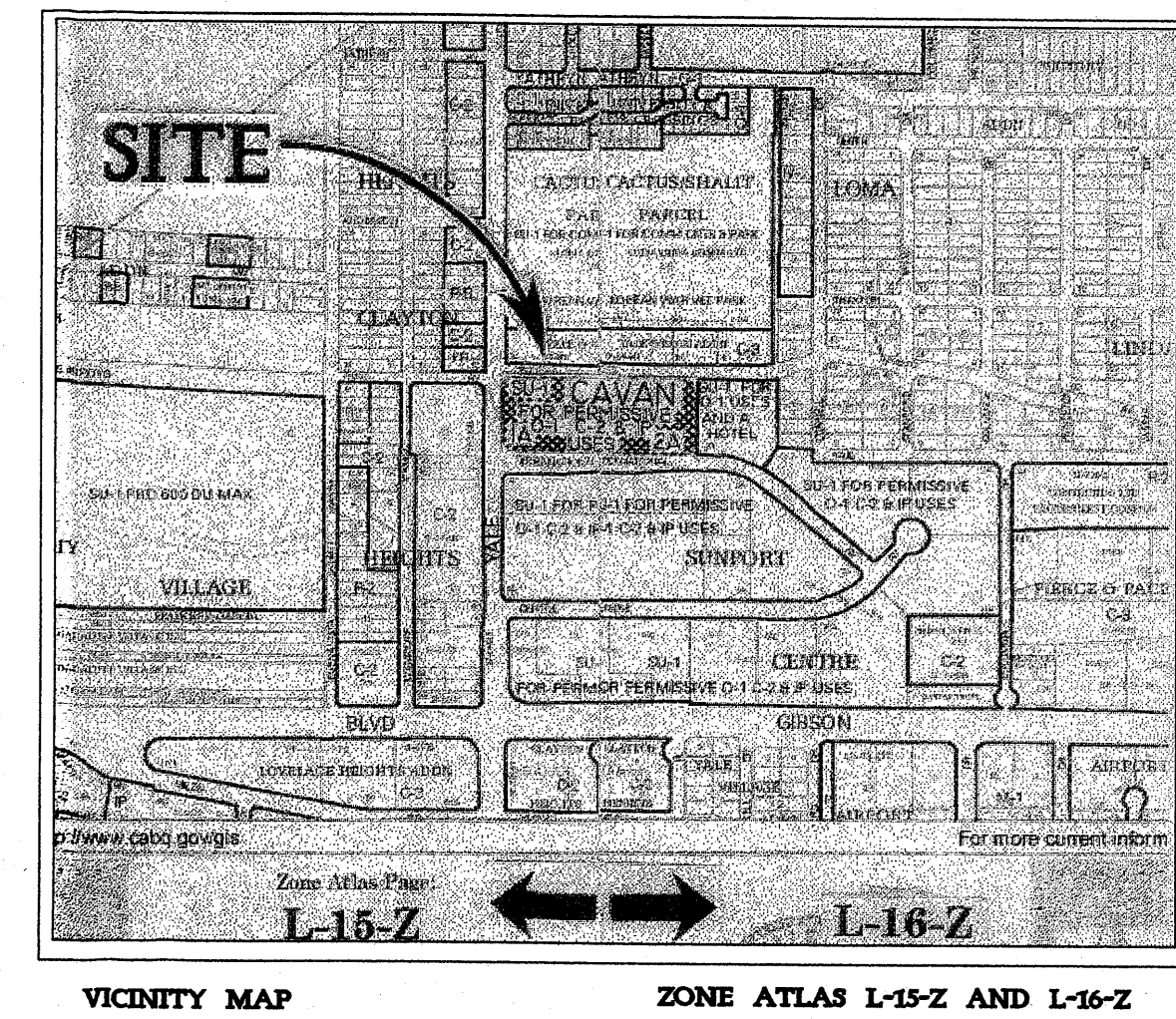
TITLE: MARRIOTT RESIDENCE INN
ADDRESS:



G. ROBERT JOHNS, FASLA
LANDSCAPE ARCHITECT
2317 Camino de los Artesanos
Albuquerque, New Mexico 87107
tel: (505) 306-4650



- KEYED NOTES**
1. REMOVE EXISTING CURB INLET AND CONSTRUCT DOUBLE D INLET PER C.D.A. STD. DWG. 2206.
 2. EAST-WEST PROPERTY LINE RETAINING WALL. SEE DETAILS. SHEET 3 OF 3.
 3. NORTH-SOUTH PROPERTY LINE RETAINING WALL. SEE DETAILS. SHEET 3 OF 3.
 4. 2'-0" WIDE ALLEY GUTTER PER C.D.A. STD. DWG. 2415.
 5. CONCRETE HEADWALL AROUND INLET OF 12" PVC PIPE. SEE DETAIL, SHT. 2 OF 2. INV. = 85.25
 6. CONCRETE HEADWALL AROUND OUTLET OF 12" PVC PIPE. SEE DETAIL, SHT. 2 OF 2. INV. = 83.60
 7. CONCRETE HEADWALL AROUND INTLET OF 12" PVC PIPE. SEE DETAIL, SHT. 2 OF 2. INV. = 80.00
 8. SINGLE TYPE D INLET PER C.D.A. STD. DWG. 2206. GRATE ELEV. = 79.00 INV. ELEV. = 76.00
 9. PROPERTY LINE.
 10. ASPHALT PAVEMENT.
 11. HARRIOTT MONUMENT SIGN.
 12. REFUSE ENCLOSURE. STUCCO WALL TO MATCH BUILDING



HYDROLOGY LEGEND:

EXISTING	NEW	DESCRIPTION
-5284	— M —	CONTOUR
84.00	+	SPOT ELEVATION
---	---	PROPERTY LINE
---	---	SWALE
---	---	SHEET FLOW
---	---	ROOF FLOW
---	---	DOWNSPOUT

SPOT ELEVATION LEGEND

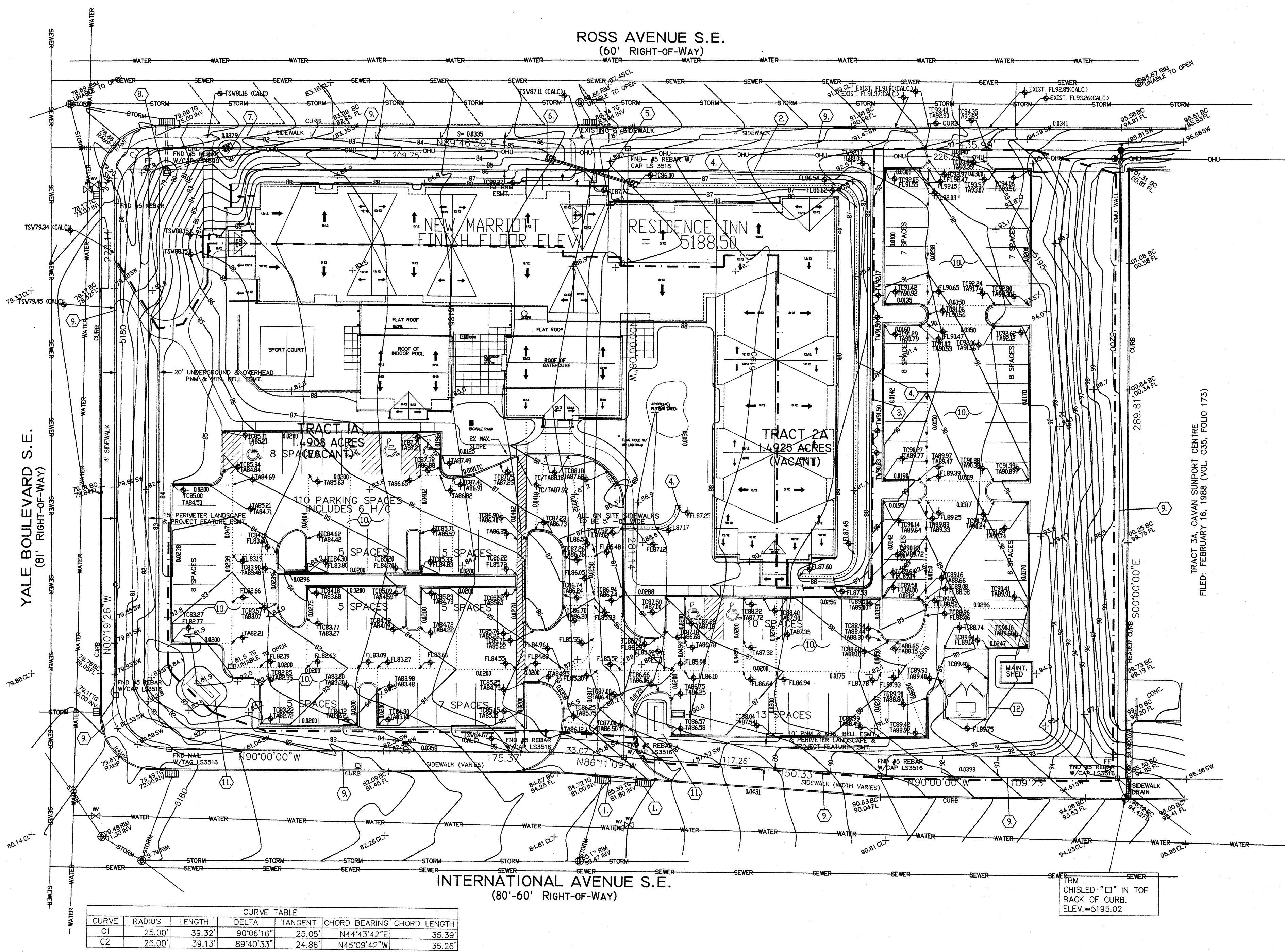
X.00.0	=	ELEVATION AT GROUND
-1.00.00	=	ELEVATION AT TOP OF FINISHED SURFACE
X.00.00 SW	=	ELEVATION AT TOP OF SIDEWALK
-1.00.00 CL	=	ELEVATION AT CENTERLINE OF DRIVING LANE
-1.00.00 BC	=	ELEVATION AT BACK OF CURB
X.00.00 FL	=	ELEVATION AT FLOWLINE OF CURB
-1.00.00 TG	=	ELEVATION AT TOP OF GRATE
-1.00.00 TW	=	ELEVATION AT TOP OF WALL
00.00 RM	=	ELEVATION AT RIM OF

SYMBOLS LEGEND

⊙	=	LIGHT POLE
●	=	POWER POLE
-OHU-	=	OVERHEAD UTILITY LINE
-STORM-	=	UNDERGROUND STORM DRAIN LINE
-SEWER-	=	UNDERGROUND SEWER LINE
-WATER-	=	UNDERGROUND WATER LINE
—	=	ANCHOR
⊙	=	SEWER MANHOLE
⊙	=	DRAINAGE MANHOLE
⊙	=	WATER METER
⊙	=	WATER VALVE
⊙	=	FIRE HYDRANT
⊙	=	DROP INLET
—	=	BLOCK WALL
-X-	=	FENCE

MONUMENT LEGEND

⊙	=	TEMPORARY BENCH MARK
⊙	=	FOUND MONUMENT AS NOTED
⊙	=	SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MWR 11224" UNLESS OTHERWISE NOTED



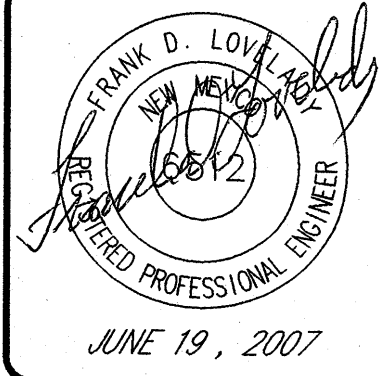
CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	25.00'	39.32'	90°06'16"	25.05'	N44°43'42"E	35.39'
C2	25.00'	39.13'	89°40'33"	24.86'	N45°09'42"W	35.26'

LEGAL DESCRIPTION
 TRACT 1A & 2A CAVAN SUNPORT CENTER, SECTION 27, T. 10 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

UTILITY INFORMATION SHOWN HEREON PER FIELD INSPECTION AND CITY OF ALBUQUERQUE UTILITY RECORDS. ACTUAL LOCATION SHOULD BE FURTHER VERIFIED BEFORE BEGINNING CONSTRUCTION AND ANY DISCREPANCIES REPORTED TO THE SURVEYOR.

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 11-1-16, THE PUBLISHED ELEVATION OF WHICH IS 5273.40 (NAVD88), AND IS LOCATED IN THE SOUTH SOUTH-WEST QUADRANT OF VAIL AVE S.E. & GIRARD BLVD. S.E. BEING A CHISELED 'SQUARE' CUT ON TOP OF CURB.



GRADING AND DRAINAGE PLAN
MARRIOTT RESIDENCE INN
 2301 INTERNATIONAL DRIVE SE
ALBUQUERQUE, NEW MEXICO

FRANK D. LOVELADY, P.E.
 (505) 345-2267 • Fax: (505) 345-2115 • 300 ALAMOSA RD. NW • Albuquerque, NM • 87107

JOB NO: **704**
 DATE: JUNE 19, 2007

REVISIONS

SHEET NO.
1 of 2

C:\All Proj\Proj\76-700\Proj\76-MARRIOTT - GP.DWG (JUNE 19, 2007)

DRAINAGE CALCULATIONS:

EXISTING CONDITIONS:

The site is located on Tracts A-1 and A-2 Cavan Support Center on the East side of Yale between Ross Avenue and International Avenue, SE. All streets adjacent to the site are paved with curb and gutter. The lot to the east is developed. No off-site flow comes from this lot. The development of the property included interim drainage improvements including detention ponding and a double D inlet to convey water to the storm drain system in the adjacent streets. The storm inlet is now totally filled with sand and silt and will have to be cleaned, but appears to be in a suitable location to drain a portion of the developed site.

PROPOSED CONDITIONS:

It is proposed to construct a motel on the site as shown on the grading and drainage plan. The majority of the site will drain to the SW corner of the parking lot where it will be collected by the existing double "D" inlet. Other drainage subbasins will drain to inlets on the north side and the northeast corner of the site which will be connected to existing catch basins in the street.

DRAINAGE CRITERIA:

The calculations shown on this plan were prepared in accordance with Section 22.2. Hydrology, of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque in cooperation with Bernalillo County, New Mexico and the Metropolitan Arroyo Flood Control Authority, January, 1993.

PRECIPITATION ZONE:

The site is between the Rio Grande River and San Mateo Blvd. and is, therefore, in Precipitation Zone 2.

LAND TREATMENT AREAS, ETC.:

The peak discharge per acre and excess precipitation are shown for the four land treatments in Zone 2 in the table below, and the values shown are from the City of Albuquerque D.P.M. Also shown are the existing and proposed land treatment areas.

LAND TREAT.	q(cfs/ac)		E (in)		Existing Site Areas		Developed Site Areas	
	100-yr	10-yr	100-yr	10-yr	%	Sq. Ft.	%	Sq. Ft.
A	1.56	0.38	0.53	0.13	0.0	0.0000	0.0	0.0000
B	2.28	0.95	0.78	0.28	0.0	0.0000	31.0	40,349
C	3.14	1.71	1.13	0.52	100.0	129,953	2,9833	8.5
D	4.70	3.14	2.12	1.34	0.0	0.0000	60.5	78,604
Totals					100.0	129,953	2,9833	100.0

PEAK DISCHARGE:

EXISTING CONDITIONS:

Q100 = 2,9833 * 3.14 = 9.37 cfs
Q10 = 2,9833 * 1.71 = 5.10 cfs

DEVELOPED CONDITIONS:

Q100 = 0.9263 * 2.28 + 0.2525 * 3.14 + 1.8045 * 4.70 = 11.39 cfs
Q10 = 0.9263 * 0.95 + 0.2525 * 1.71 + 1.8045 * 3.14 = 6.98 cfs

VOLUME, 100-YEAR AND 10-YEAR, 6-HOUR:

EXISTING CONDITIONS:

V100 = (129,953 * 1.13) / 12 = 12,237 cf
V10 = (129,953 * 0.52) / 12 = 5,631 cf

DEVELOPED CONDITIONS:

V100 = (40,349 * 0.78 + 11,000 * 1.13 + 78,604 * 2.12) / 12 = 17,545 cf
V10 = (40,349 * 0.28 + 11,000 * 0.52 + 78,604 * 1.34) / 12 = 10,196 cf

SUMMARY OF ON-SITE VOLUMES AND DISCH. RATES:

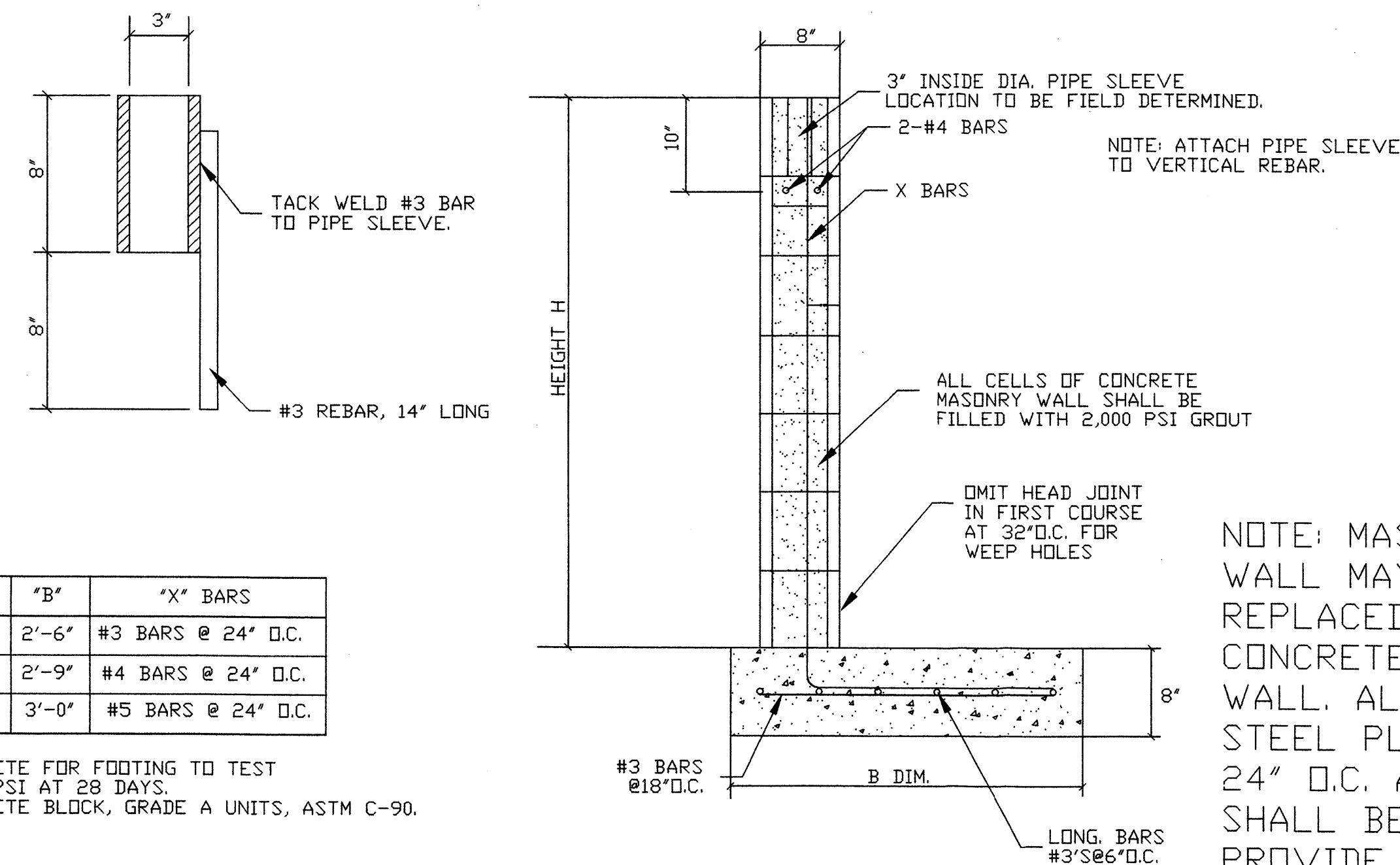
	V100(CF)	V10(CF)	Q100(CFS)	Q10(CFS)
DEVELOPED	17,545	10,196	11.39	6.98
EXISTING	12,237	5,631	9.37	5.10
INCREASE	5,308	4,565	2.02	1.88

OFF-SITE FLOW:

There is no off-site flow associated with this site. The lot east of the site drains to Ross & International.

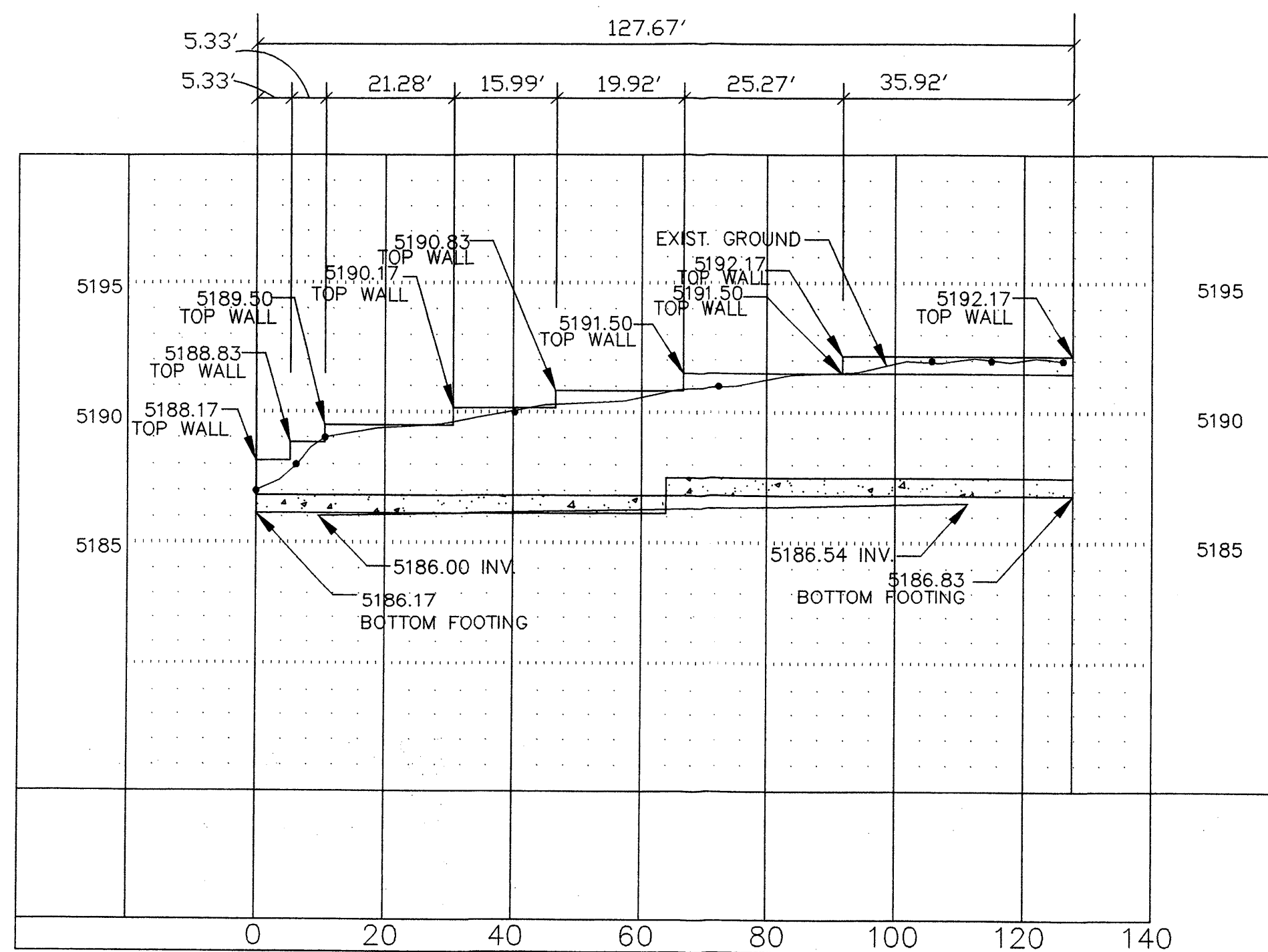
DOWNSTREAM CAPACITY:

Flow from the site enters into the storm drainage system in Ross and International which drains into the storm drain in Yale.



MASONRY WALL DETAILS

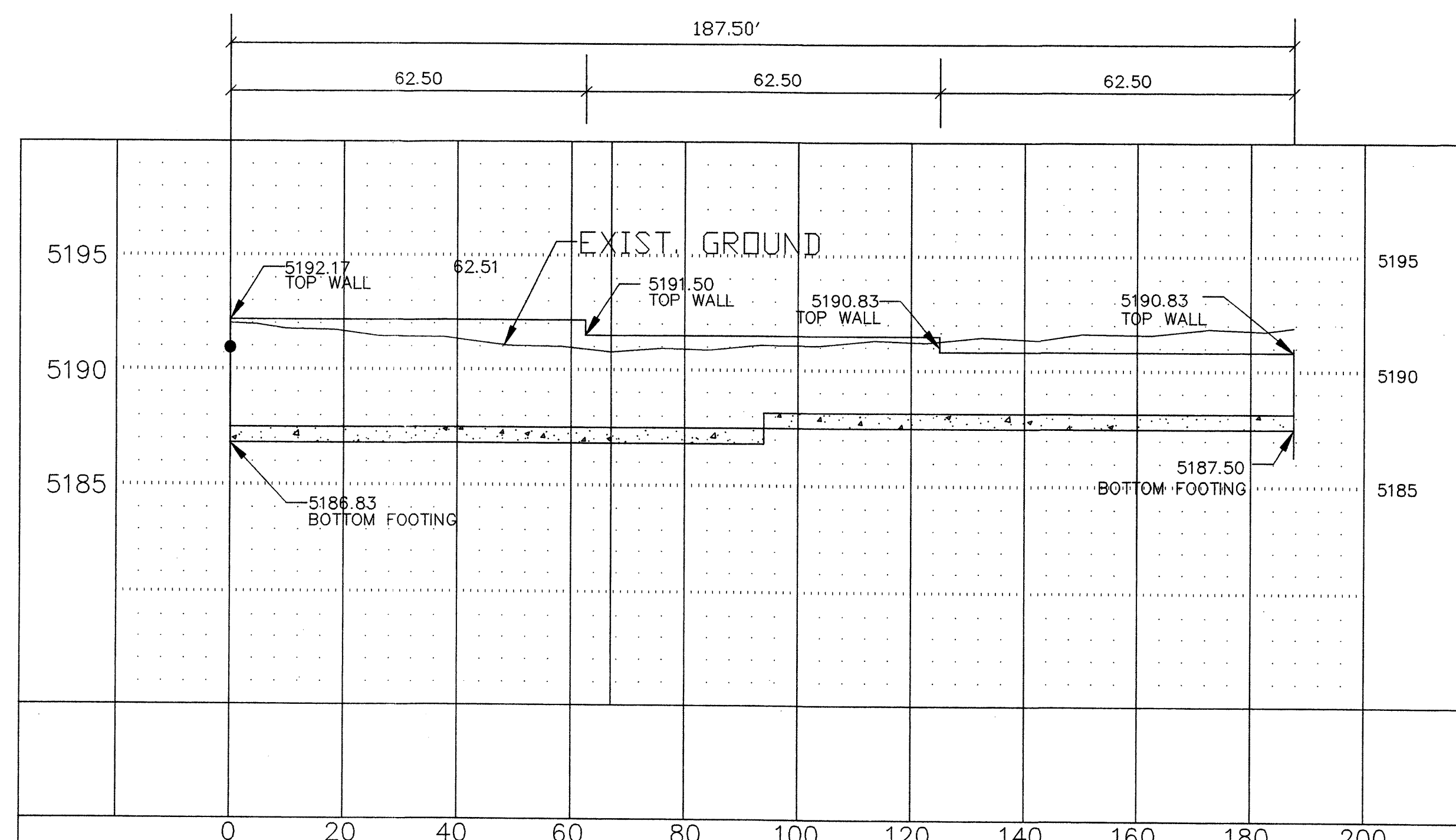
NOTE: MASONRY WALL MAY BE REPLACED WITH CONCRETE STEM WALL. ALL HORIZ. STEEL PLACED AT 24" O.C. AND SHALL BE #5 REBAR, PROVIDE WEEP HOLES AT BOTTOM OF WALL.



E-W RETAINING WALL PROFILE

VIEWING NORTH

SCALES:
1" = 5' HOR
1" = 5' VER



N-S RETAINING WALL PROFILE

VIEWING EAST

SCALES:
1" = 5' HOR
1" = 5' VER



CALCULATIONS AND DETAILS
MARIOTT RESIDENCE INN
2301 INTERNATIONAL DRIVE SE
ALBUQUERQUE, NEW MEXICO

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JOB NO: 704
DATE: JUNE 19, 2007

REVISIONS