

PROJECT # 1004924

**KEYED NOTES**

- ① BICYCLE RACK (HOLDS 3 BIKES)
- ② ACCESSIBLE RAMP, PARKING STALLS AND SIGNAGE
- ③ CONCRETE PEDESTRIAN WALKWAY
- ④ CURB AND GUTTER, TYP.
- ⑤ TURNDOWN SIDEWALK
- ⑥ REFUSE PAD & ENCLOSURE PER DETAIL; SHEET 6
- ⑦ CONCRETE SIDEWALK, WIDTH AS NOTED. **CONSTRUCT BY BUILDING PERMIT PER COA STD. DWG. R430.**
- ⑧ ASPHALT PAVEMENT
- ⑨ NEW 15' TALL POLE MOUNTED 16" SQUARE X 6.5" DEEP, 250 WATT MH FIXTURE
- ⑩ LANDSCAPING, SEE SHEET 2 FOR PLAN
- ⑪ MONUMENT SIGN, SEE SHEET 6 FOR DETAIL & ELEVATION
- ⑫ PROPOSED STOP SIGN
- ⑬ MOTORCYCLE PARKING SPACES WITH SIGNAGE (12'x4.25' EACH)
- ⑭ BENCH, REFER TO LANDSCAPING PLAN, SHEET 2
- ⑮ SHADED PICNIC TABLE, REFER TO LANDSCAPING PLAN, SHEET 2
- ⑯ ROOF DRAIN WITH RAIN STORAGE CHAMBER

**SITE PLAN NOTES**

1. SETBACKS SHALL BE PER THE 0-1 ZONE EXCEPT AT THE NE CORNER OF BUILDING 4 AS SHOWN. TOTAL SQUARE FOOTAGE: 36,444
2. NET LEASABLE AREA = 80% OF GROSS = 29,155
3. REQUIRED PARKING = 1 SPACE/200 SF LEASABLE AREA = 146 SPACES
4. PARKING PROVIDED = 153 (2) **18**
5. ACCESSIBLE PARKING REQUIRED = 8 (8 PROVIDED)
6. COMPACT SPACES ALLOWED = 25% = 39 (42 PROVIDED)
7. BICYCLE SPACES REQUIRED = 1/20 VEHICLE SPACES = 8 (12 PROVIDED)
8. MOTORCYCLE PARKING REQUIRED = 4 (4 PROVIDED)

**LINE TABLE**

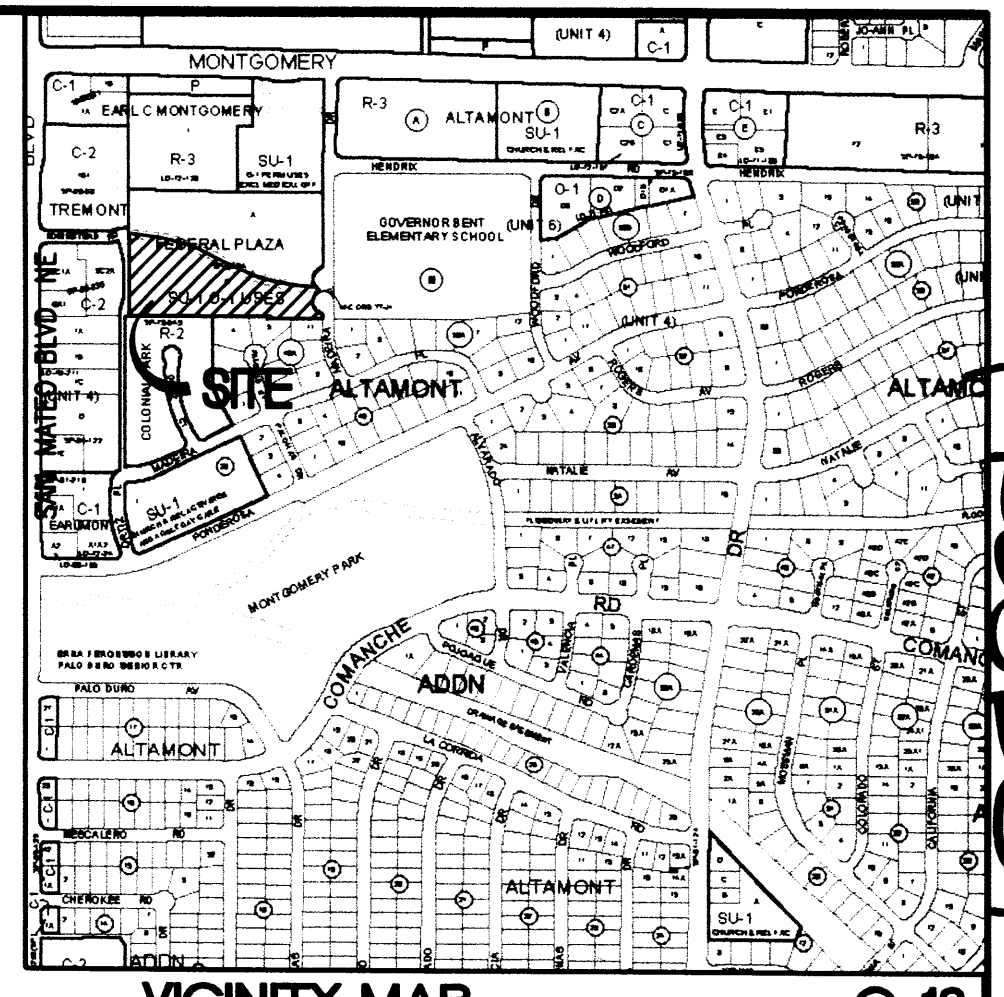
LINE	DIRECTION	DISTANCE
L1	N 00°02'35" E	322.22'
L2	S 89°04'57" E	18.68'
L3	S 00°16'57" W	4.63'

**CURVE TABLE**

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C1	734.82'	384.72'	S 73°58'55" E	380.34'	29°59'51"
C2	704.82'	369.01'	S 73°59'35" E	364.81'	29°59'51"
C3	45.00'	19.96'	S 50°54'15" E	19.80'	25°25'05"
C4	45.00'	100.77'	S 00°11'56" E	80.99'	128°17'56"
C5	25.00'	28.09'	S 32°04'28" E	26.64'	64°22'49"

**LEGEND**

- PROPOSED LIGHT
- ▲ ACCESSIBLE PARKING SIGN
- ▲ COMPACT PARKING SIGN
- C PROPOSED CONCRETE
- PROPOSED ASPHALT PAVING
- ▲ MC MOTORCYCLE PARKING SPACE
- CGP CONCRETE GUARD POST
- MGP METAL GUARD POST
- ROOF DRAINAGE RAIN HARVESTING FEATURE



**VICINITY MAP**  
SCALE: 1" = 750'

**LEGAL DESCRIPTION:**  
TRACT B, FEDERAL PLAZA

**ZONING:**  
SU-1 0-1 USES

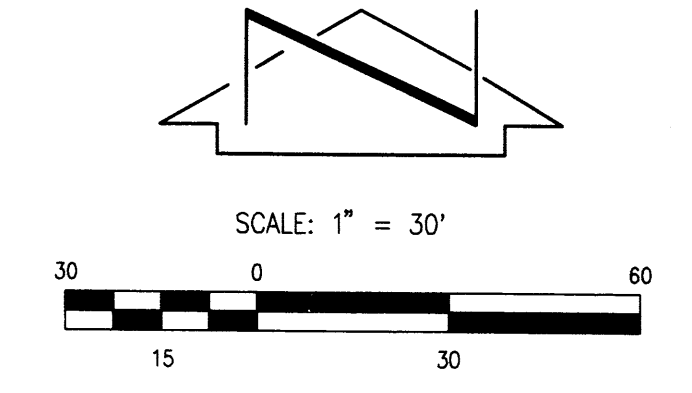
**PROJECT NUMBER:** 1004924  
**APPLICATION NUMBER:** 06 DEB-0118

Is an Infrastructure List required? ( ) Yes (X) No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

<i>[Signature]</i> Traffic Engineering, Transportation Division	10-25-06 Date
<i>[Signature]</i> Water Utility Department	8-23-06 Date
<i>[Signature]</i> Christina Sandoval Parks and Recreation Department	8/23/06 Date
<i>[Signature]</i> Bradley L. Bingham City Engineer	8/23/06 Date
<i>[Signature]</i> Michael Holton Solid Waste Management	8/14/06 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	11/14/06 Date

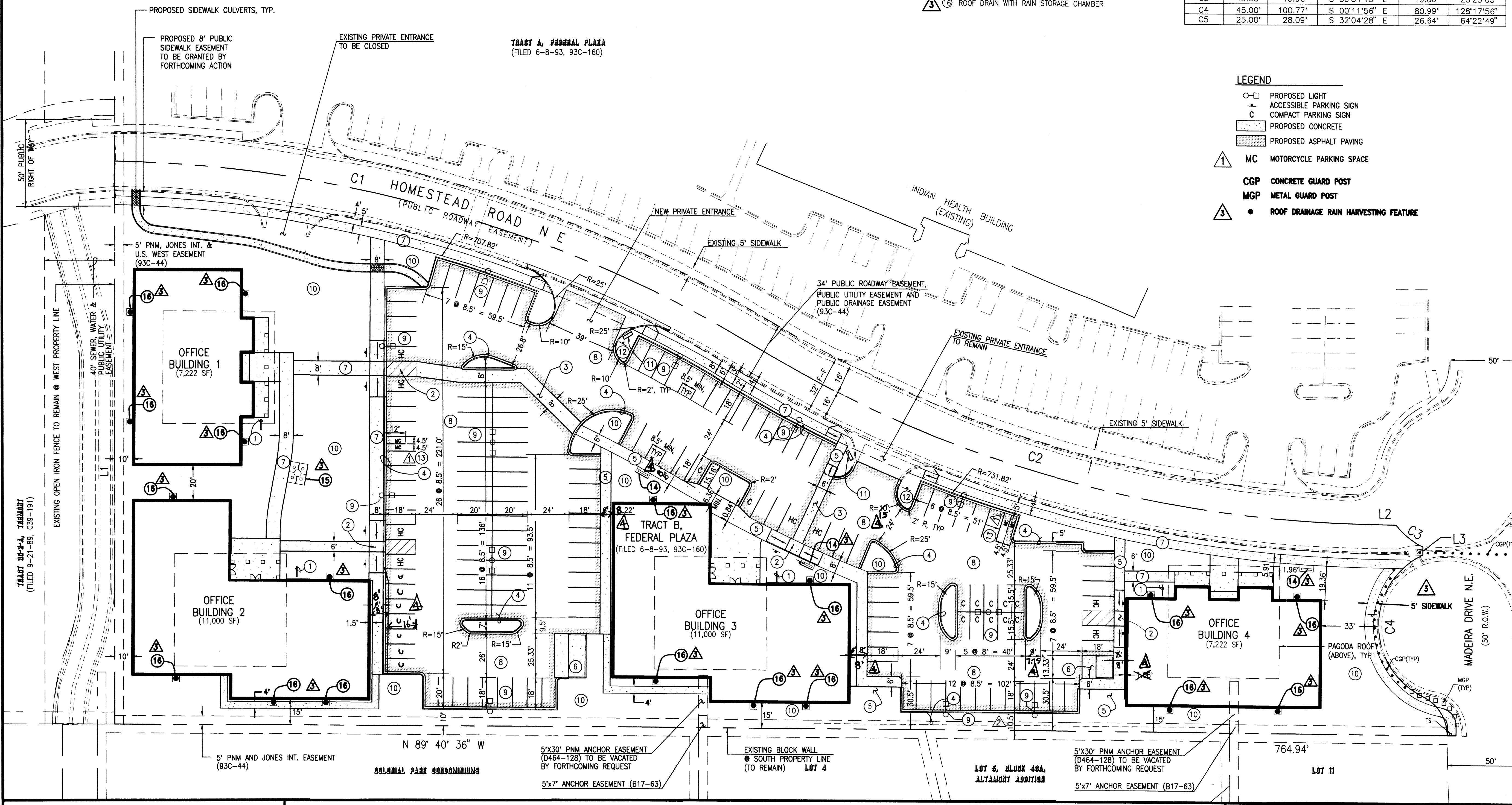
THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA AND EXISTING IMPROVEMENTS SHOWN ARE FROM THE TOPOGRAPHIC AND BOUNDARY SURVEY CONDUCTED BY THIS OFFICE DATE 6/28/2006, NMPS 11184



**INDEX OF DRAWINGS**

SHEET	DESCRIPTION
1	SITE PLAN
2	LANDSCAPING PLAN
3	PRELIMINARY GRADING PLAN
4	BUILDING EXTERIOR ELEVATIONS (BUILDING 1 & 4)
5	BUILDING EXTERIOR ELEVATIONS (BUILDING 2 & 3)
6	SITE DETAILS
7	CONCEPTUAL UTILITY PLAN

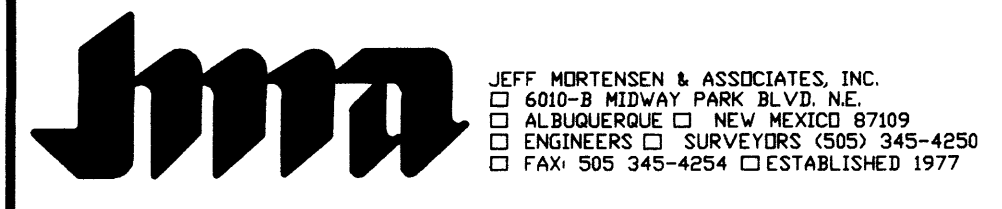
*[Signature]*  
JEFF MEANS  
NEW MEXICO  
13676  
REGISTERED PROFESSIONAL ENGINEER  
8/12/2006  
5/30/2006  
6/07/2006  
6/29/2006



**SITE PLAN**  
**DEL NORTE OFFICE PARK**

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	6/05	G.M.	CREATE SEPARATE UTILITY SHEET, ADD MOTORCYCLE PARKING	2006.026.1
RRW	06/06	G.M.	INCREASE L.S. BUFFER TO 10'	DATE 06-2006
G.M.	08/08	G.A.	ADDRESS EPC CONDITIONS	SHEET 1 OF 7
G.M.	08/08	G.A.	ADDRESS TRANSPORTATION COMMENTS & DRB	

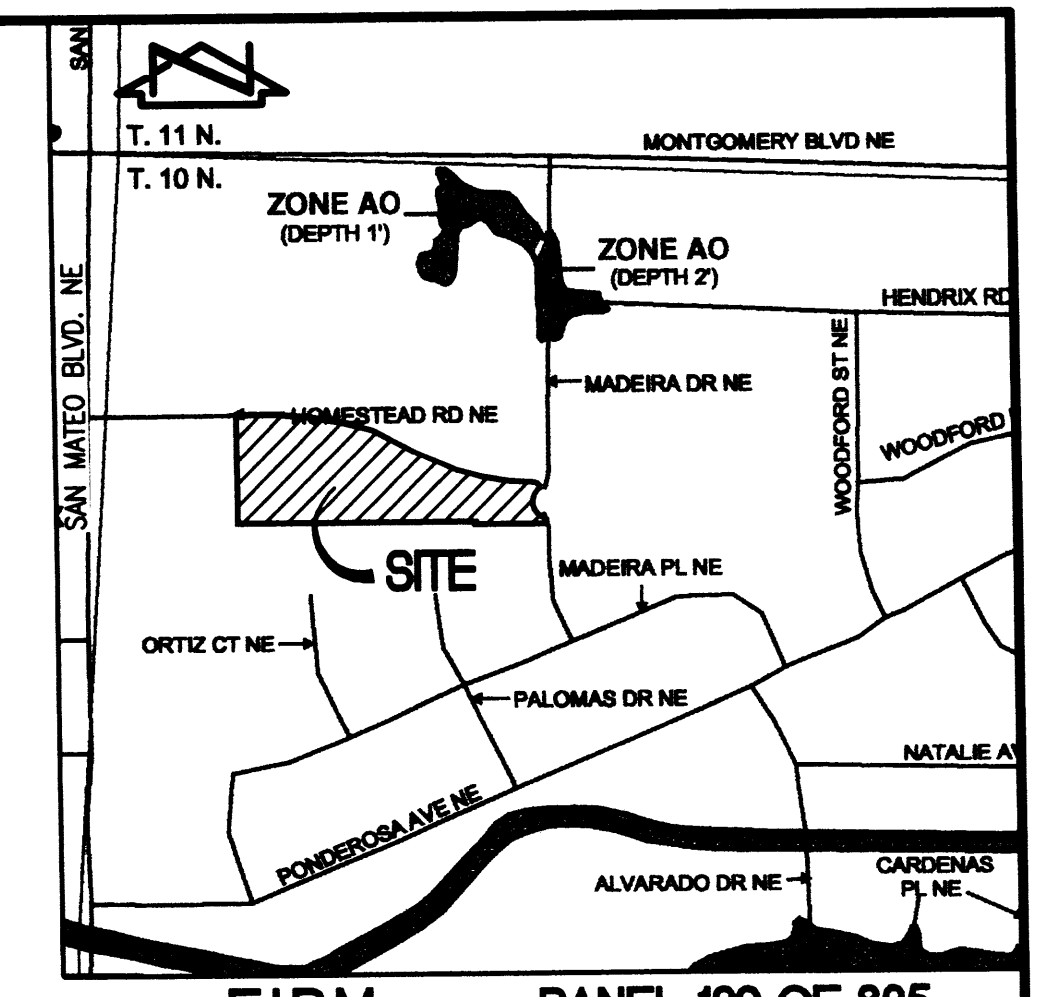
File Path: E:\WORK\WORKS\1004924\1004924.DWG Plot Date: 08-12-2006 Plot Time: 10:36 am File Name: 60261SPDRB.DWG





LINE	BEARING	DISTANCE
L1	N 88°58'38" W	18.75'
L2	S 00°18'33" W	4.63'

CURVE	RADIUS	LENGTH	DELTA	CHORD
C3	704.82'	369.06'	30°00'06"	S7°35'36"E 364.86'
C4	734.82'	380.39'	30°00'06"	S7°35'36"E 380.39'
C5	45.00'	384.77'	128°14'07"	S00°11'47"E 80.97'
C6	25.00'	28.20'	64°37'28"	S32°00'09"E 26.73'



F.I.R.M. PANEL 139 OF 825

SCALE: 1" = 500'±

LEGAL DESCRIPTION:  
TRACT B, FEDERAL PLAZA

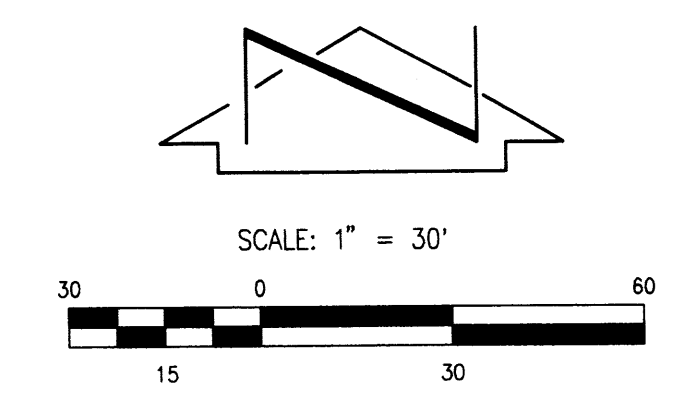
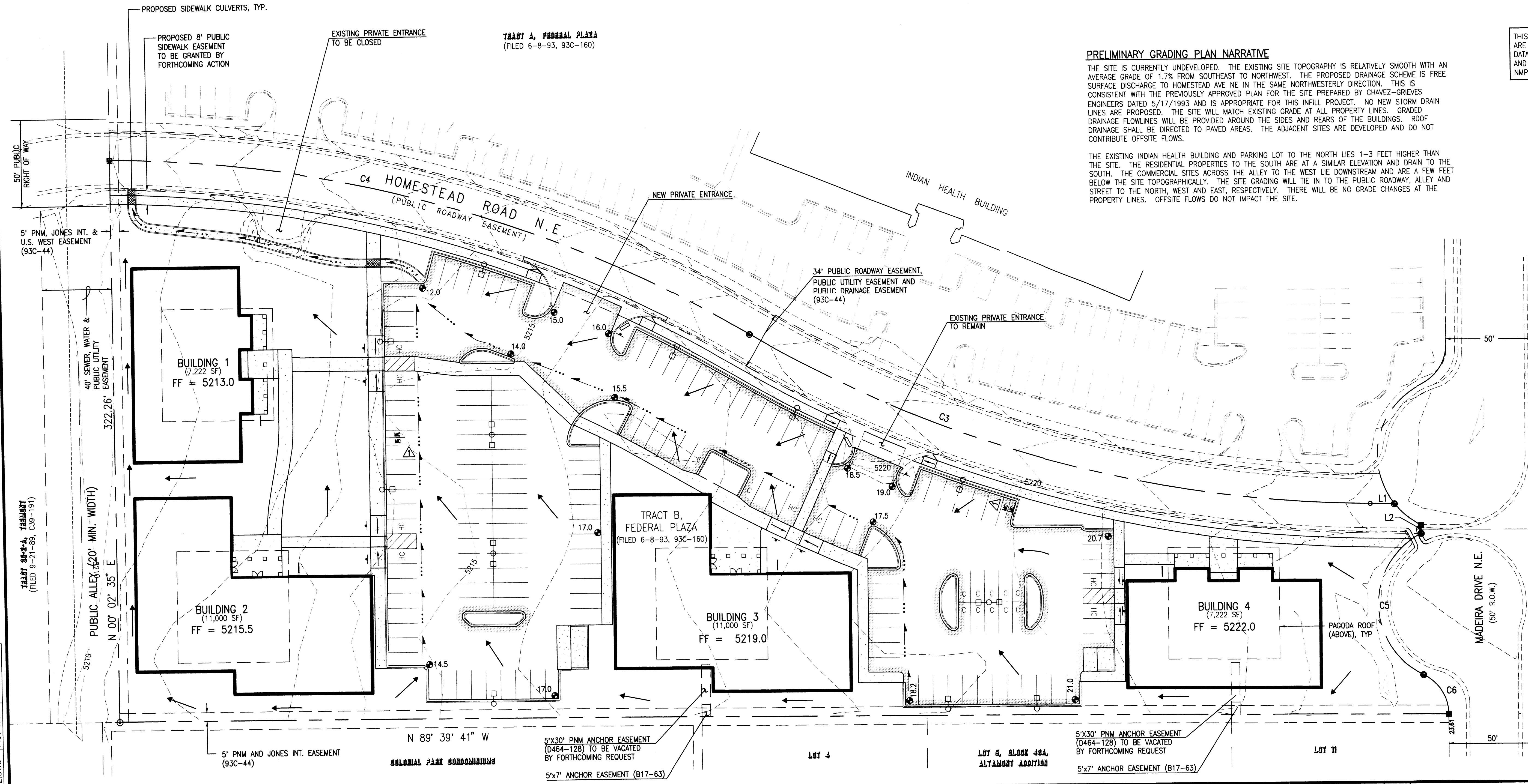
ZONING:  
SU-1 O-1 USES

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA AND EXISTING IMPROVEMENTS SHOWN ARE FROM THE TOPOGRAPHIC AND BOUNDARY SURVEY CONDUCTED BY THIS OFFICE DATED 6/28/2006, NMPS 11184

**PRELIMINARY GRADING PLAN NARRATIVE**

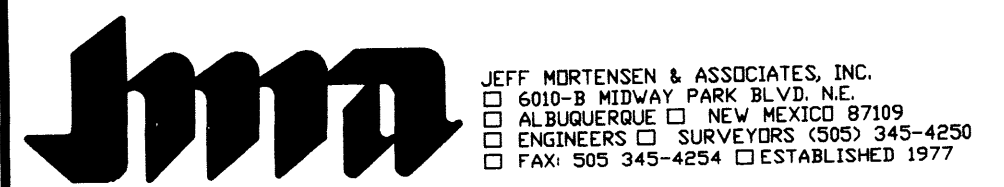
THE SITE IS CURRENTLY UNDEVELOPED. THE EXISTING SITE TOPOGRAPHY IS RELATIVELY SMOOTH WITH AN AVERAGE GRADE OF 1.7% FROM SOUTHEAST TO NORTHWEST. THE PROPOSED DRAINAGE SCHEME IS FREE SURFACE DISCHARGE TO HOMESTEAD AVE NE IN THE SAME NORTHWESTERLY DIRECTION. THIS IS CONSISTENT WITH THE PREVIOUSLY APPROVED PLAN FOR THE SITE PREPARED BY CHAVEZ-GRIEVES ENGINEERS DATED 5/17/1993 AND IS APPROPRIATE FOR THIS INFILL PROJECT. NO NEW STORM DRAIN LINES ARE PROPOSED. THE SITE WILL MATCH EXISTING GRADE AT ALL PROPERTY LINES. GRADED DRAINAGE FLOWLINES WILL BE PROVIDED AROUND THE SIDES AND REARS OF THE BUILDINGS. ROOF DRAINAGE SHALL BE DIRECTED TO PAVED AREAS. THE ADJACENT SITES ARE DEVELOPED AND DO NOT CONTRIBUTE OFFSITE FLOWS.

THE EXISTING INDIAN HEALTH BUILDING AND PARKING LOT TO THE NORTH LIES 1-3 FEET HIGHER THAN THE SITE. THE RESIDENTIAL PROPERTIES TO THE SOUTH ARE AT A SIMILAR ELEVATION AND DRAIN TO THE SOUTH. THE COMMERCIAL SITES ACROSS THE ALLEY TO THE WEST LIE DOWNSTREAM AND ARE A FEW FEET BELOW THE SITE TOPOGRAPHICALLY. THE SITE GRADING WILL TIE IN TO THE PUBLIC ROADWAY, ALLEY AND STREET TO THE NORTH, WEST AND EAST, RESPECTIVELY. THERE WILL BE NO GRADE CHANGES AT THE PROPERTY LINES. OFFSITE FLOWS DO NOT IMPACT THE SITE.



5/30/2006  
6/07/2006  
8/11/2006

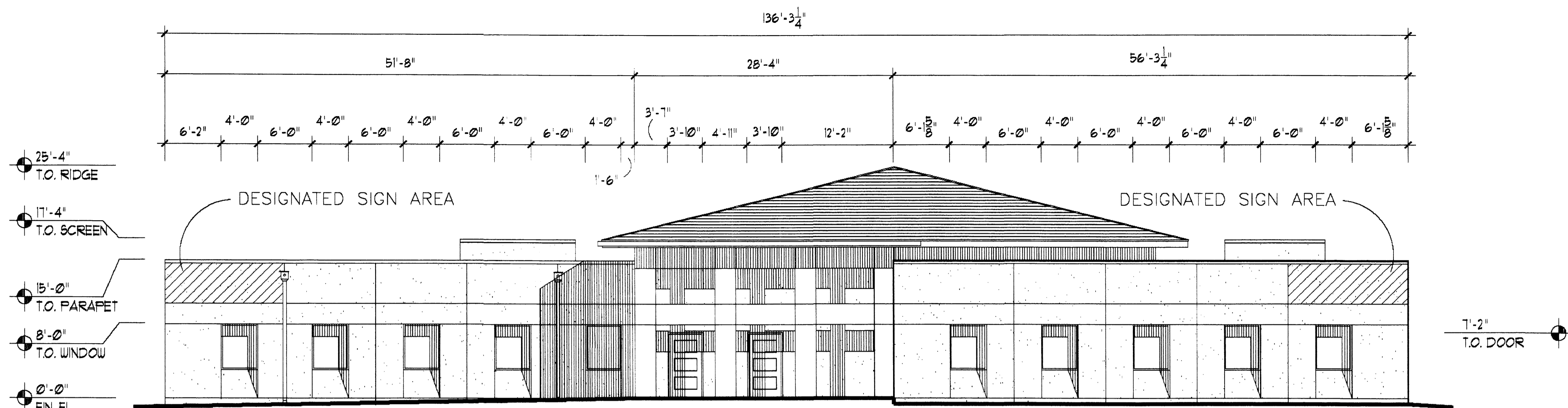
Plot Date: 08-11-2006  
Plot Time: 08:47 am  
File Path: E:\M\MM\1006261\DWG  
File Name: 60261PGR2.DWG



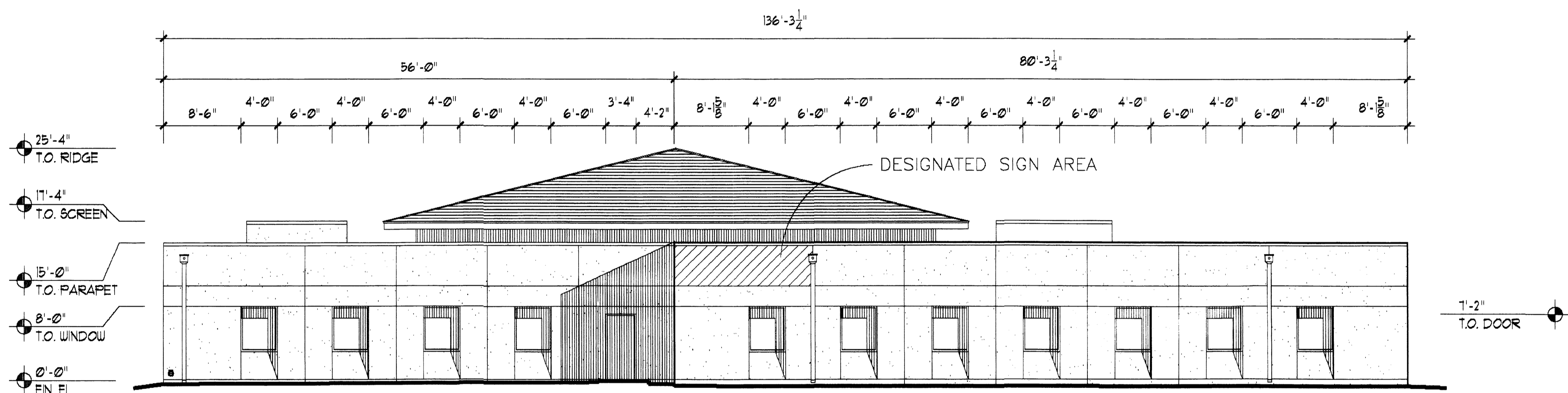
**PRELIMINARY GRADING PLAN  
HOMESTEAD OFFICE PARK**

DESIGNED BY	NO.	DATE	BY	REVISIONS	JOB NO.
G.M.	1	6/05	G.M.	ADD MOTORCYCLE PARKING	2006.026.1
RRV					DATE 06-2006
G.M.					SHEET 3 OF 7

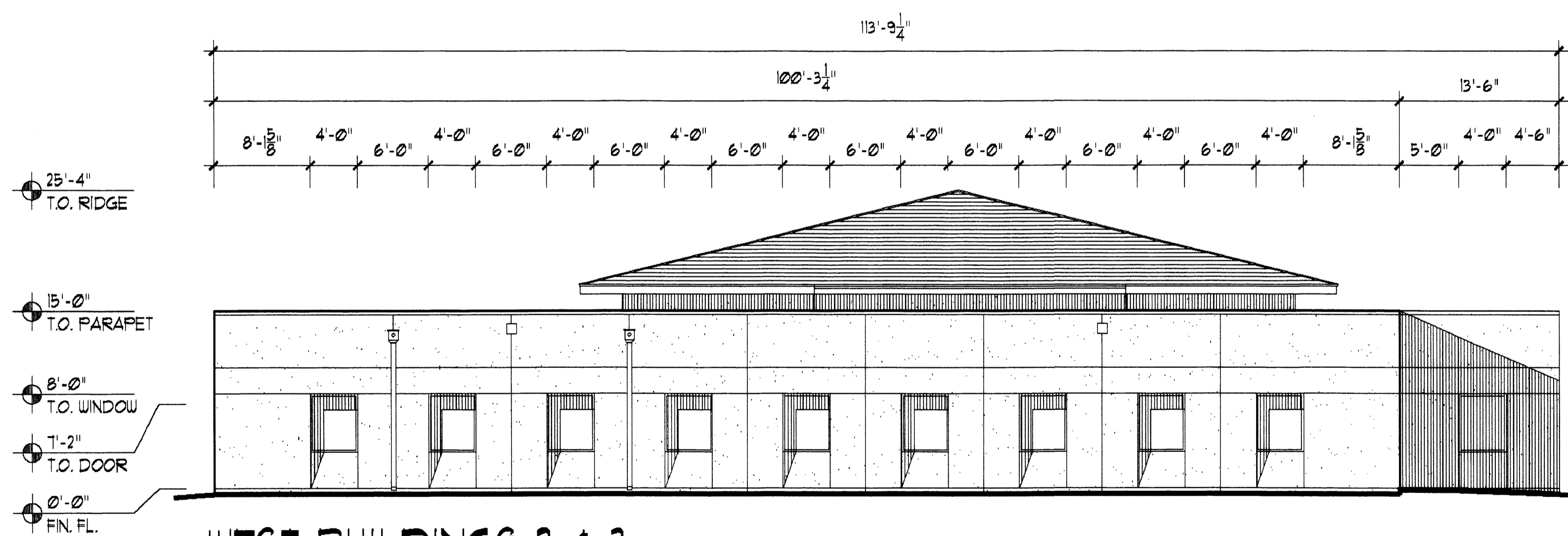




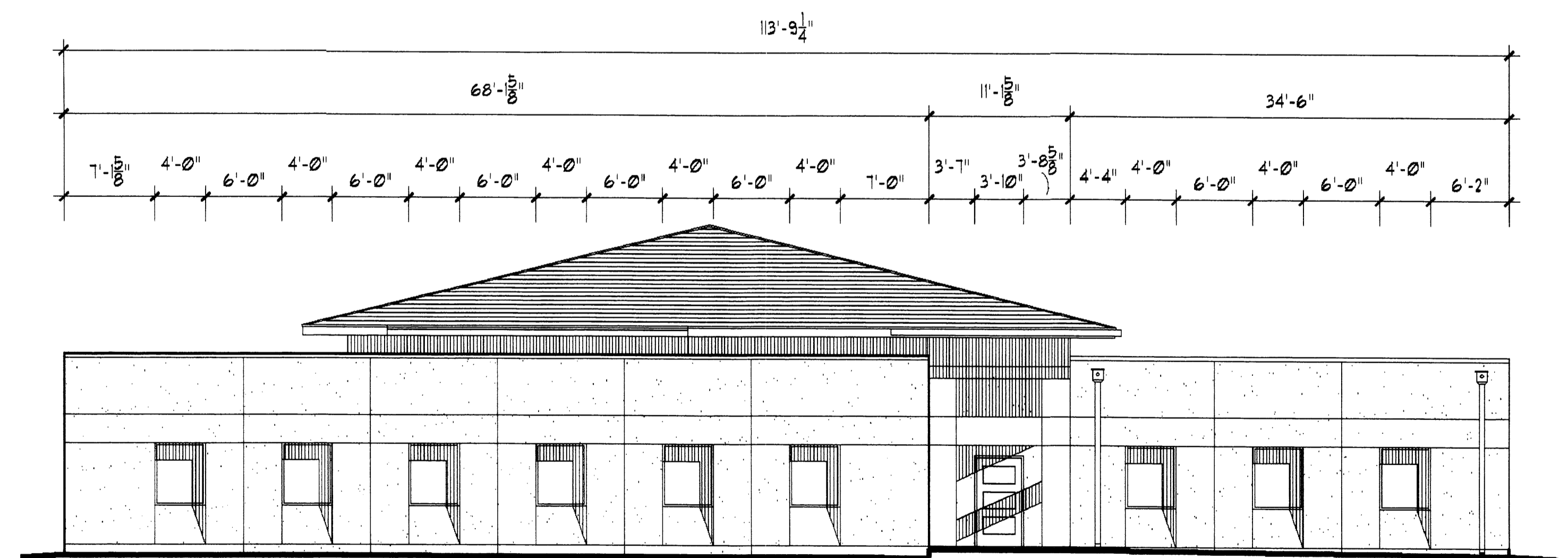
**NORTH BUILDINGS 2 & 3**



**SOUTH BUILDINGS 2 & 3**



**WEST BUILDINGS 2 & 3**



**EAST BUILDINGS 2 & 3**

**BUILDING MATERIALS & COLORS**

Column/beam system at entry - Natural grey pumice split face masonry.

Windows - Aluminum awning windows - Bronze anodized color. Glazing - Clear low E.

Building Numbers - 8" high anodized aluminum helvetica style or inset in concrete signs.

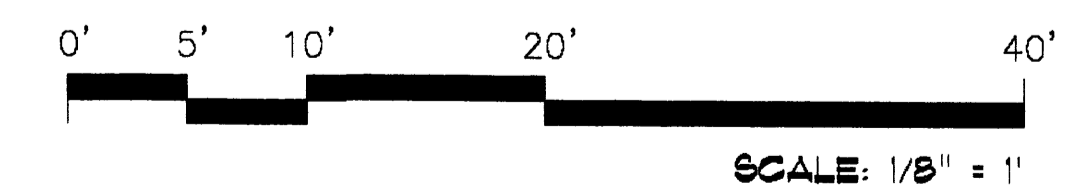
Stucco - Elastomeric Coating without sheen, Color #127 El Rey "Hacienda" (light tan).

Roof tile - Color is "Life Tile" #501 (dark, dusty brown).

Framing - Metal studs exterior shall be 3 coat stucco on 17 ga. wire mesh over 2 layers of IBC approved building paper on 5/8" exterior sheathing. No interior finish.

Doors - Hollow metal frame and door with safety glass light. Paint to match bronze anodized finish on window frames.

**BUILDING ELEVATIONS**



LIGHTING DETAILS IN RESPONSE TO EPC COMMENT #6.  
ALL LIGHTING FIXTURES COMPLY WITH NEW MEXICO NIGHT SKY ORDINANCE

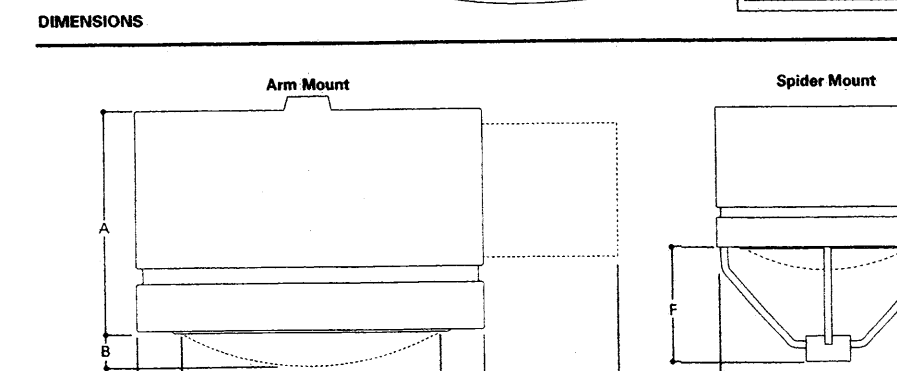
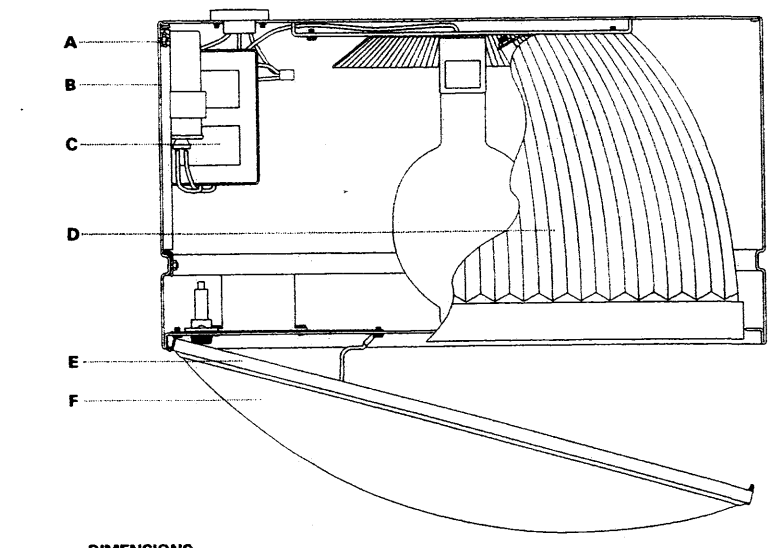
McGRAW-EDISON®

**DESCRIPTION**  
Galleria's beauty and versatility make it an excellent choice for roadway and general area lighting applications. An aesthetic reveal in the formed aluminum housing gives the Galleria a distinctive look while a variety of mounting options and lamp wattages provide maximum flexibility.  
Galleria's superior light distributions makes it the optimum choice for almost any small, medium or large area lighting application.

**SPECIFICATION FEATURES**

- A ... Housing**  
Formed aluminum housing with stamped reveal has interior-welded seams for structural integrity and is finished in premium TGIC polyester powder coat. U.L. listed and CSA certified for wet locations.
- B ... Ballast Tray**  
Ballast tray is hard-mounted to housing interior for cooler operation.
- C ... Ballast**  
Long-life core and coil ballast.
- D ... Reflector**  
Spun and stamped aluminum reflector in vertical lamp units, or hydroformed anodized aluminum reflector in horizontal lamp units. Rotatable optics standard.
- E ... Door**  
Formed aluminum door has heavy-duty hinges, captive rotating screws and is finished in premium TGIC polyester powder coat. (Spider mount unit has steel door.)
- F ... Lens**  
Convex tempered glass lens or flat glass.

Project #	Type
Comments	Date
Prepared By	



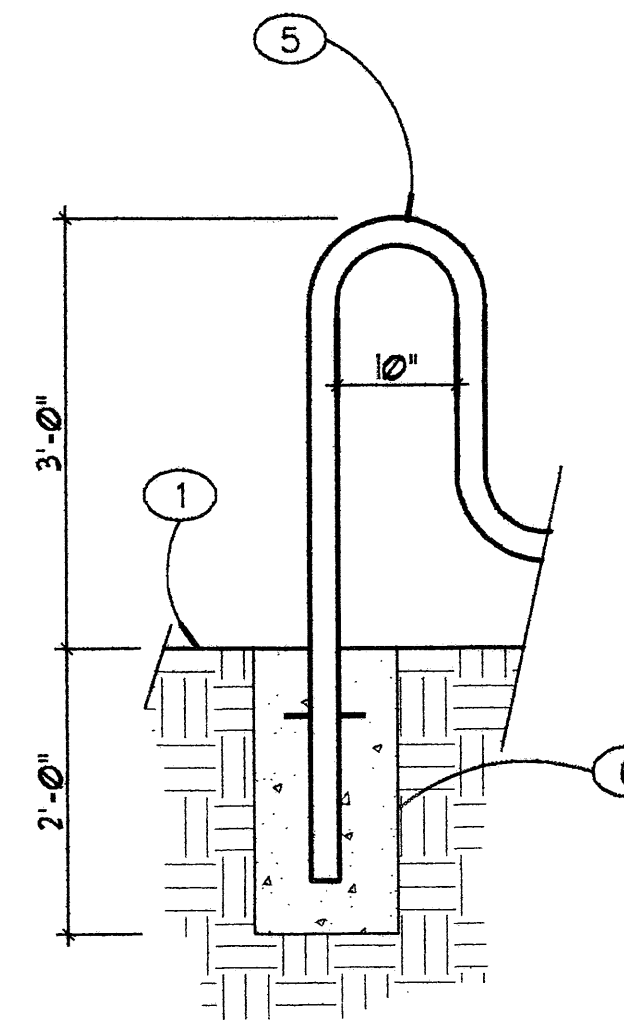
Fixture Size	Wattage
GSS	70W - 175W
GSM	175W - 1000W
GSL	400W - 1000W

GSS/GSM/GSL GALLERIA SQUARE

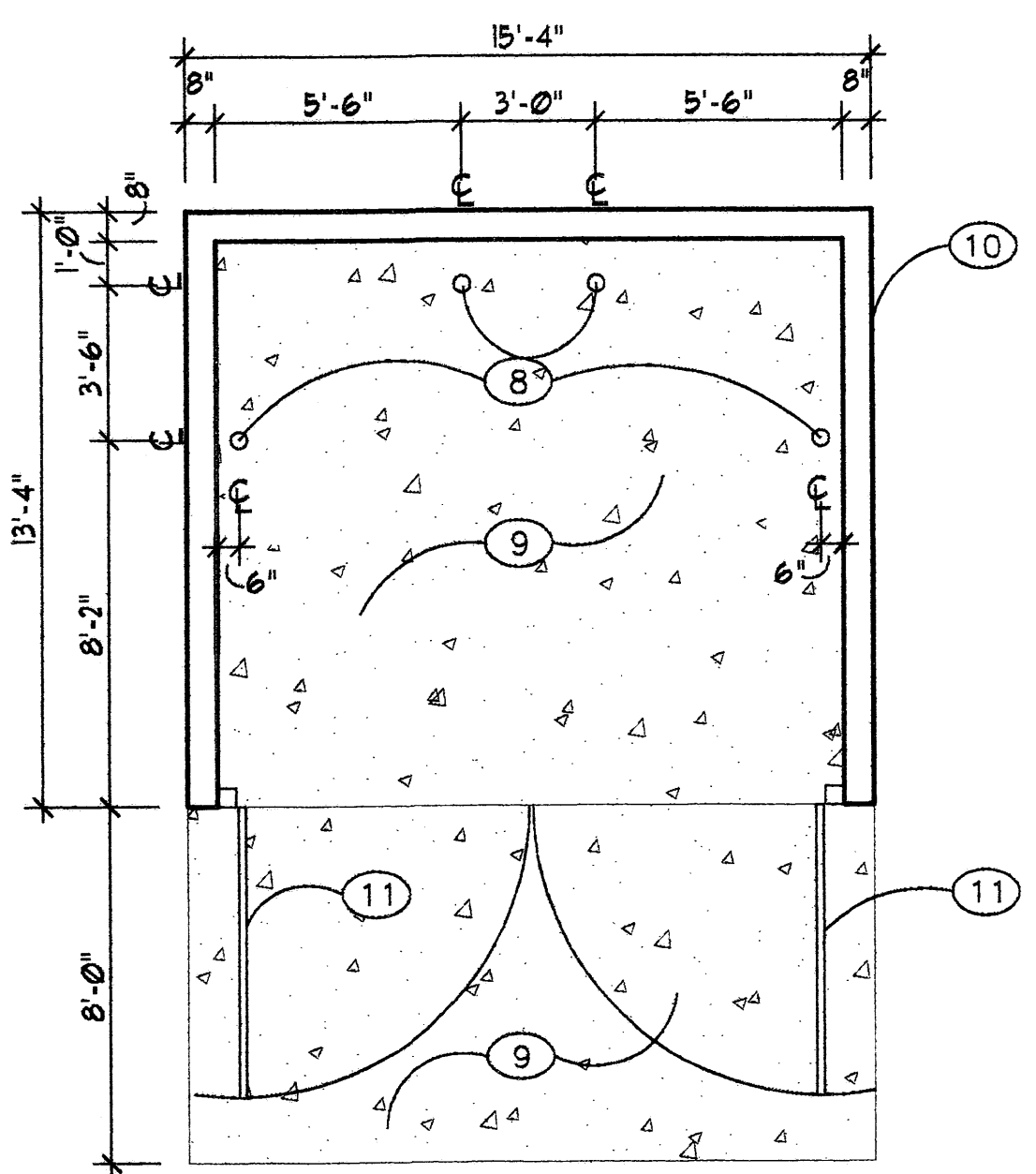
**70-1000W Metal Halide Pulse Start Metal Halide High Pressure Sodium ARCHITECTURAL AREA LUMINAIRE**

**ENERGY DATA**  
CWA Ballast Input Watts  
150W MH HPF (210 Watts)  
175W MH HPF (210 Watts)  
175W MH HPF (210 Watts)  
250W MH HPF (250 Watts)  
250W HPS HPF (200 Watts)  
400W MH HPF (435 Watts)  
400W HPS HPF (440 Watts)  
1000W MH HPF (1000 Watts)  
1000W HPS HPF (1000 Watts)  
EPA  
Effective Projected Area (Sq. Ft.) (Without Arm)  
GSS: 1.2 GSM: 2.4 GSL: 3.9  
(With Arm)  
GSS: 1.7 GSM: 3.02 GSL: 4.90  
(Spider Mount)  
GSS: 1.0 GSM: 2.22 GSL: 3.17

**SHIPPING DATA**  
Approximate Net Weight:  
60 lbs. (18 kg)  
75 lbs. (19 kg)  
85 lbs. (19 kg)



1 HAIRPIN BICYCLE RACK  
SCALE: 3/4" = 1'-0"



2 TRASH BIN ENCLOSURE PLAN  
SCALE: 1/4" = 1'-0"

**COOPER LIGHTING®**

TYPE: SSSSQUARE  
CATALOG #: STRAIGHT STEEL

10'-3 9"  
Mounting Height  
SQUARE STRAIGHT STEEL

**SPECIFICATION FEATURES**

- 1" ASTM Grade steel base plate with ASTM A366 base cover.
- Hand hole assembly 3" x 5" on 5" and 4" pole; and 2" x 4" on 4" pole.
- ASTM A500 grade "B" steel shaft. Shot blasted and painted with polyester powder coat.
- Drilled or Tenon (as applicable).
- Anchor bolt per ASTM A570 with (2) nuts, (2) flat washers, and (1) lock washer. Nuts, washers and threaded portion of bolt are hot dip galvanized. 3" hook for 3/4" bolt. 4" hook for 1" bolt.

**FOUR BOLT ANCHORAGE** (see ordering information)

**FINISH COLORS**  
P-Dark Bronze  
G-Galvanized  
V-Gray  
W-White  
B-Black

ADH000021

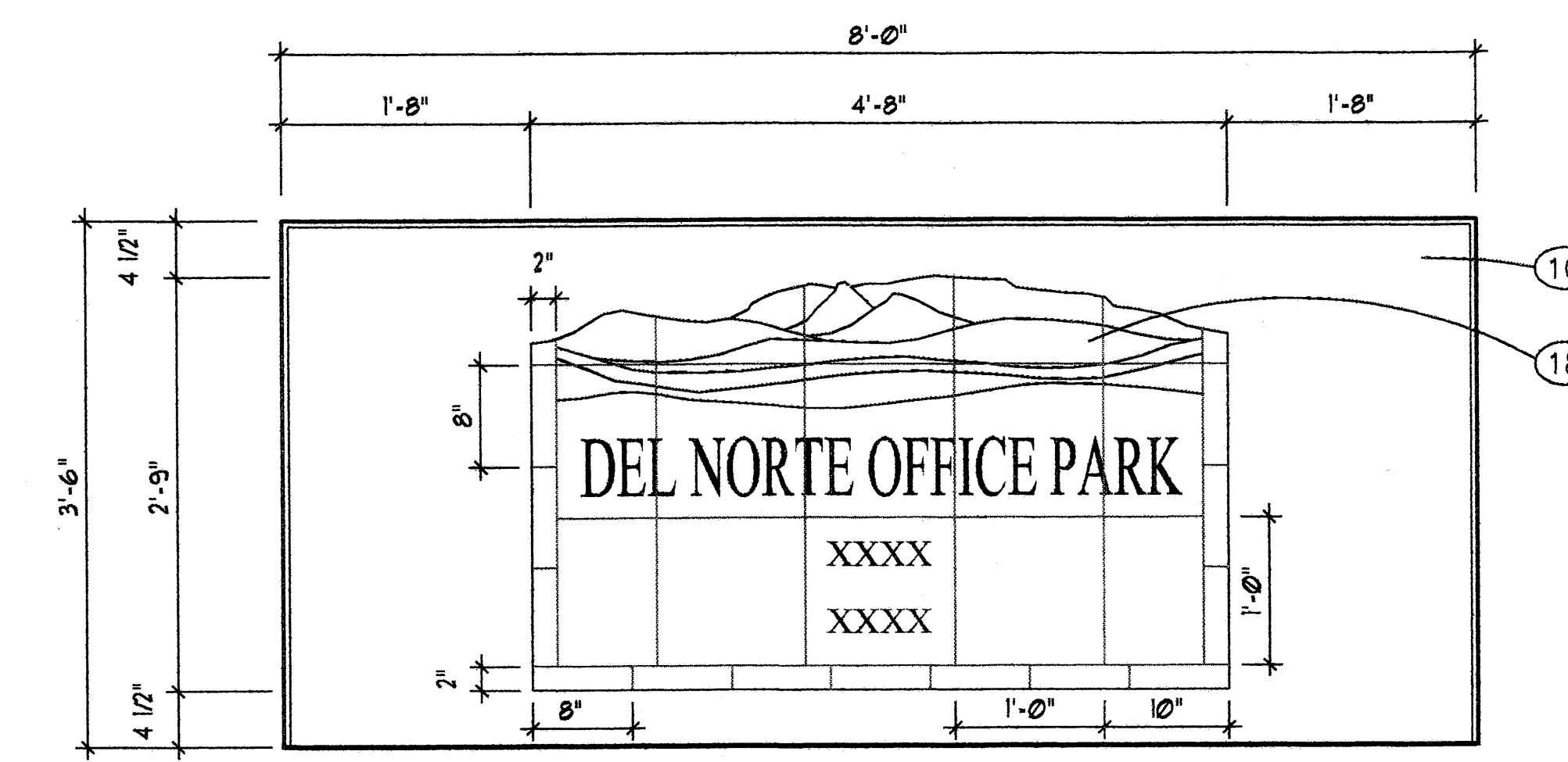
- KEY NOTES**
- GRADE.
  - THREE COAT STUCCO, EL REY #118 SUEDE COLOR COAT.
  - METAL CONTROL JOINT, KEENE #15 OR EQUAL.
  - METAL CONTROL JOINT WITH WEEP SCREED.
  - BRANDIR "RIBBON RACK" MODEL RB-5 (NOM. 3'-0"), 2-3/8" DIA. ASTM SCH. 40 GALV. STEEL PIPE. PAINT TO MATCH BRONZE ANODIZED FINISH OF BUILDING WINDOWS.
  - 12" DIA. CONCRETE (3,000 PSI MIN.)
  - SITE ADDRESS AND IDENTIFICATION, 8" TALL BRONZE ANODIZED ALUMINUM LETTERS, CENTERED LEFT TO RIGHT.
  - 4" O.D. CONCRETE FILLED PIPE BOLLARD.
  - CONCRETE PAD, SLOPE MIN. 1/8" PER FOOT.
  - STUCCO COVERED CMU WALL, EL REY #118 SUEDE COLOR COAT.
  - STEEL GATE, SEE DETAIL 5/A-3.
  - AMETCO ORSOGRIL INFILL PANEL 100% VISUAL SCREENING, POWDER COATING, TO MATCH STUCCO FINISH COAT.
  - 5" X 5" X 3/8" STEEL TUBE JAMB. CAP TOP WITH 3/8" STEEL PLATE CONTINUOUS WELD TO TUBE. WELD 4 MASONRY JAMB ANCHORS TO TUBE. CONTINUOUS WELD TUBE TO 1/2" THICK BASE PLATE SIMILAR TO BASE PLATE TYPE 2 ON SHEET S-102 OF PROJECT DRAWINGS. ANCHOR BASE PLATE TO CONCRETE SLAB WITH 4 1/2" DIA. X 8" ANCHOR BOLTS. GRIND WELDS SMOOTH AND PAINT WITH A ZINC RICH PAINT, COLOR TO MATCH STUCCO FINISH COAT.
  - 4" X 2" X 3/8" GATE FRAME, MITER AND CONTINUOUS WELD CORNERS, GRIND WELDS SMOOTH. POWDER COATING FINISH, TO MATCH STUCCO FINISH COAT. FABRICATED BY AMETCO. PROVIDE LOCKING SLIDE BOLT AND 2 CANE BOLTS, AND HINGES AS RECOMMENDED BY AMETCO.
  - INSTALL A ROCKWOOD #477 DOOR STOP MOUNTED ON FACE OF CONCRETE CURB OPPOSITE THIS POINT.
  - SITE IDENTIFICATION, 16" TALL BRONZE ANODIZED ALUMINUM LETTERS CENTER LEFT TO RIGHT.
  - TRASH BIN ENCLOSURE WALL.
  - HAND PAINTED CERAMIC TILE.

**PHOTOMETRICS**

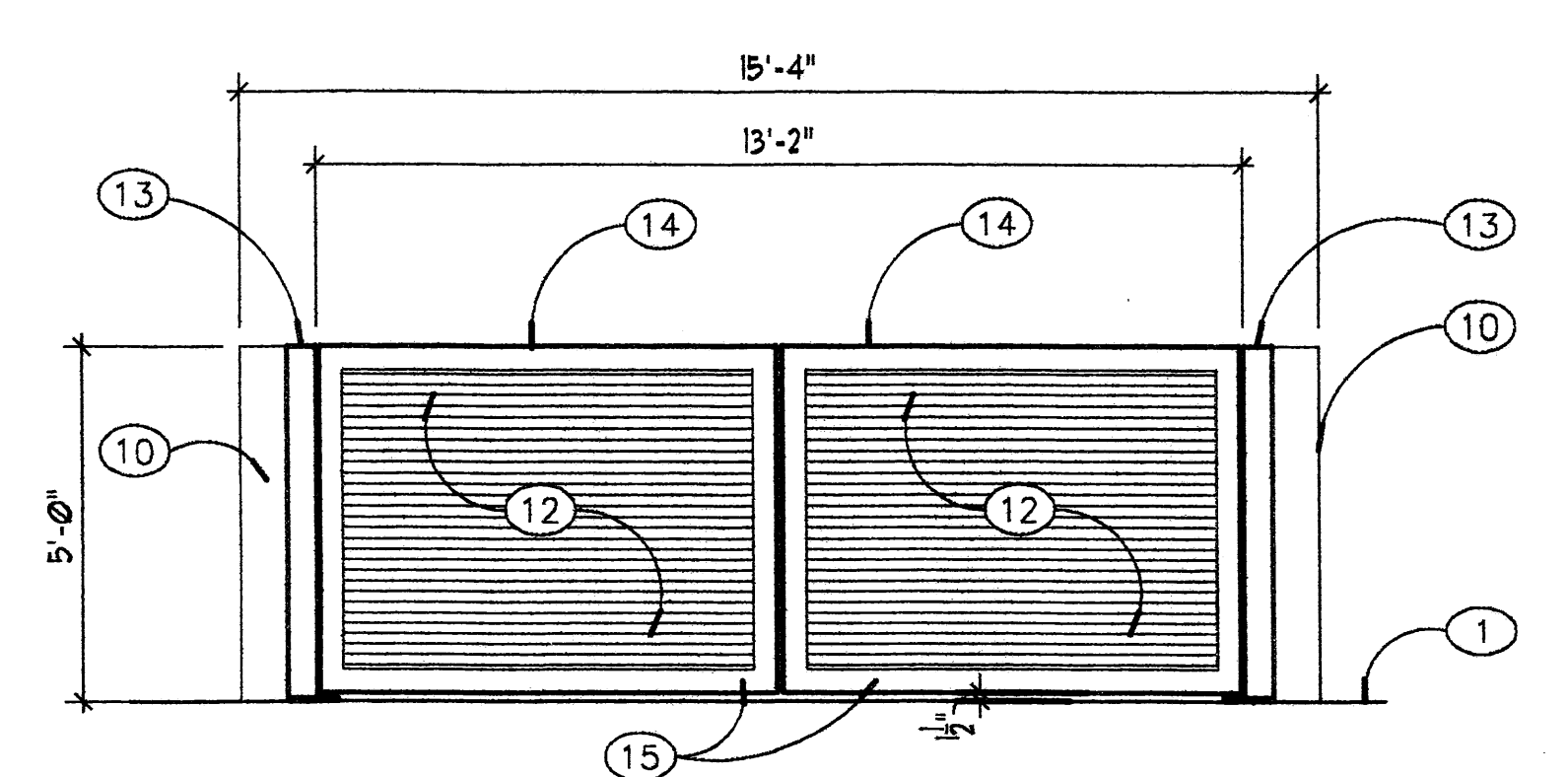
**Footcandle Table**  
Select mounting height and read across for footcandle values of each isotrope line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isotrope Lines			
	A	B	C	D
175W				
10'	11.25	4.50	2.25	1.16
15'	5.60	2.25	1.00	0.50
20'	2.80	1.12	0.50	0.25
1000W				
30'	3.50	2.00	1.00	0.50
35'	2.80	1.75	0.87	0.43
40'	2.00	1.00	0.50	0.25

REVISED DIMENSIONS AS PER EPC COMMENT #5.



3 FREESTANDING SITE IDENTIFICATION SIGN ELEVATION  
SCALE: 1" = 1'-0"



4 TRASH BIN ENCLOSURE GATE ELEVATION  
SCALE: 3/8" = 1'-0"

**SITE PLAN NOTES**

1. SETBACKS SHALL BE PER THE 0-1 ZONE EXCEPT AT THE NE CORNER OF BUILDING 4 AS SHOWN.
2. TOTAL SQUARE FOOTAGE: 36,444
3. NET LEASABLE AREA = 80% OF GROSS = 29,155
4. REQUIRED PARKING = 1 SPACE/200 SF LEASABLE AREA = 146 SPACES
5. PARKING PROVIDED = 155 SPACES
6. ACCESSIBLE PARKING REQUIRED = 8 (8 PROVIDED)
7. COMPACT SPACES ALLOWED = 25% = 39 (12 PROVIDED)
8. BICYCLE SPACES REQUIRED = 1/20 VEHICLE SPACES = 8 (12 PROVIDED)

**LINE TABLE**

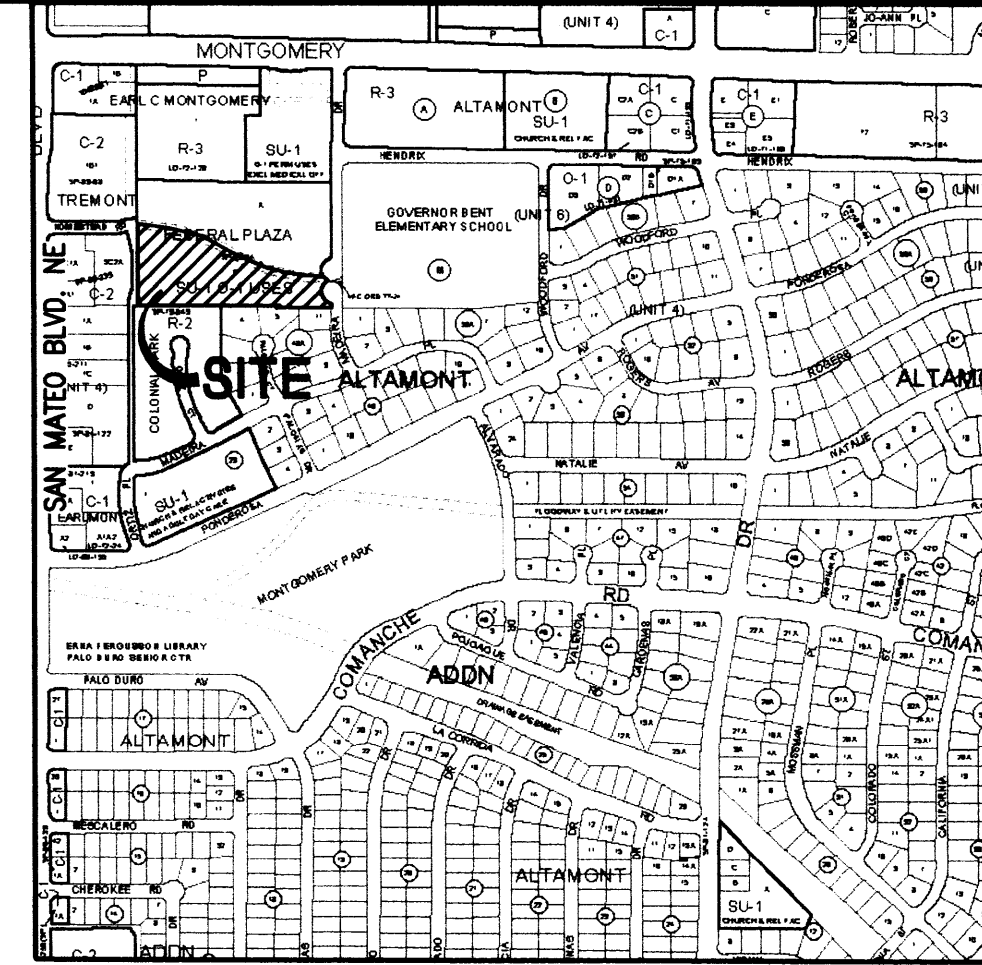
LINE	BEARING	DISTANCE
L1	N 88°58'38" W	18.75'
L2	S 00°18'33" W	4.63'

**CURVE TABLE**

CURVE	RADIUS	LENGTH	DELTA	CHORD
C3	704.82'	369.06'	30°00'06"	S73°58'36"E 364.86'
C4	734.82'	380.39'	30°00'06"	S73°58'36"E 380.39'
C5	45.00'	384.77'	128°14'07"	S00°11'47"E 80.97'
C6	25.00'	28.20'	64°37'28"	S32°00'09"E 26.73'

**LEGEND**

- PROPOSED LIGHT
- ◻ PROPOSED WATER SERVICE
- EXISTING FIRE HYDRANT
- ⊕ PROPOSED FIRE HYDRANT
- ⊕ DOUBLE SAS CLEANOUT
- ⊕ EXISTING WATER VALVE
- ⊕ PROPOSED WATER VALVE
- MH ○ EXISTING MANHOLE
- MH ● PROPOSED MANHOLE
- ⊕ ACCESSIBLE PARKING SIGN
- ⊕ COMPACT PARKING SIGN
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED ASPHALT PAVING
- ▲ MC MOTORCYCLE PARKING SPACE



**VICINITY MAP G-18**

SCALE: 1" = 750'

**LEGAL DESCRIPTION:**

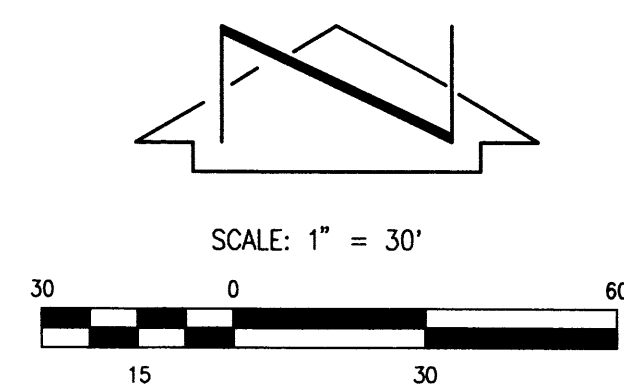
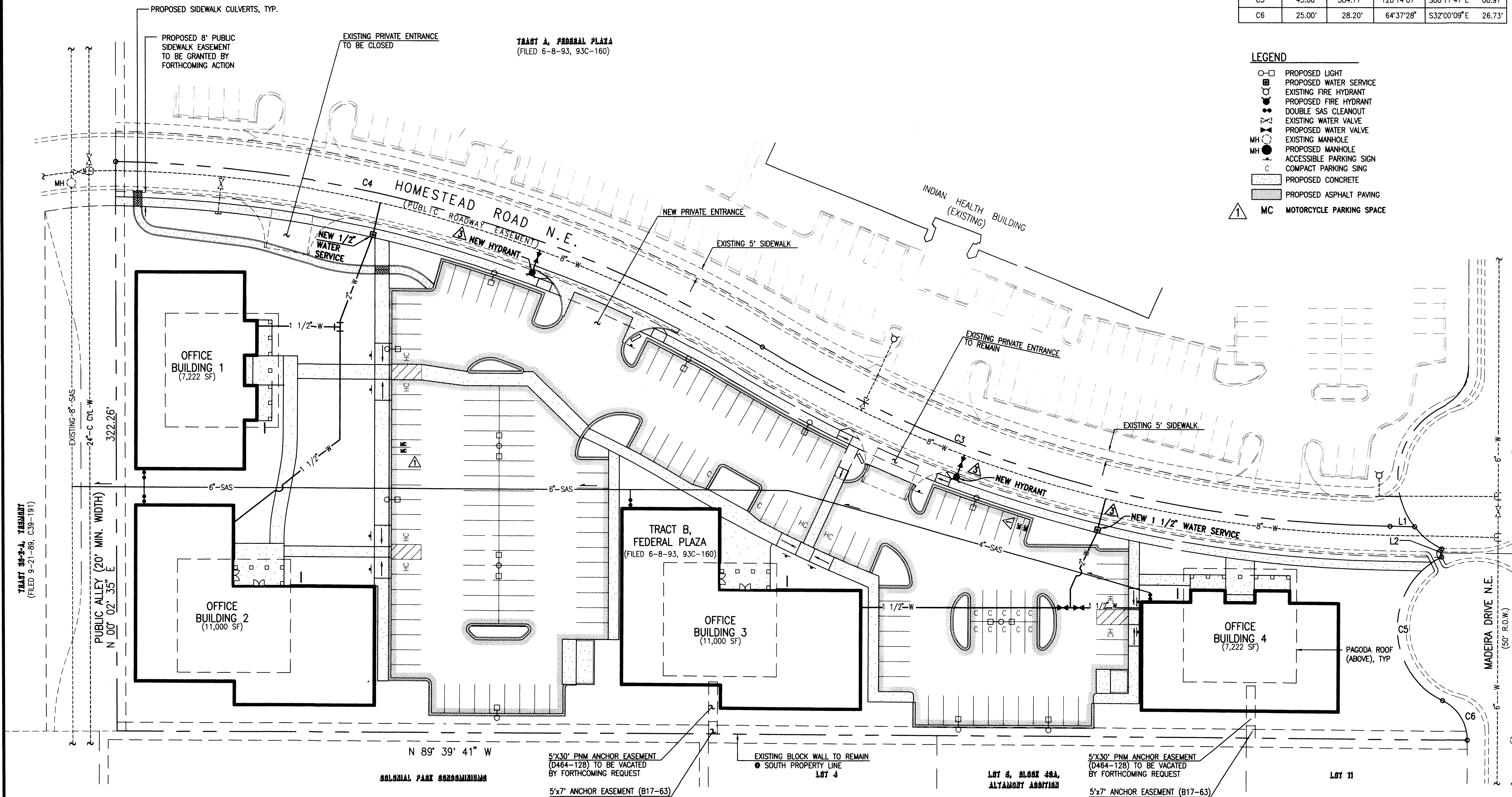
TRACT B, FEDERAL PLAZA

**ZONING:**

SU-1 0-1 USES

**NOTE:**

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA AND EXISTING EASEMENTS SHOWN ARE FROM THE PLAT OF TRACTS A & B FEDERAL PLAZA FILED 6-8-93 (93C-160).



6/01/2006  
 8/22/2006

File Path: G:\WORK\2006\06\1\Plot Date: 08-22-2006  
 File Name: 60261UPR3.DWG Plot Time: 07:47 am

**Jeff Mortensen & Associates, Inc.**  
 6010-B MIDWAY PARK BLVD. NE  
 ALBUQUERQUE, NEW MEXICO 87109  
 ENGINEERS & SURVEYORS (GEO) 345-4250  
 FAX: 505-345-4254 ESTABLISHED 1977

**CONCEPTUAL UTILITY PLAN  
DEL NORTE OFFICE PARK**

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	6/06	G.M.	CREATE THIS UTILITY SHEET, ADD MOTORCYCLE PARKING	2006.026.1
RRW	8/06	G.M.	NO CHANGE THIS SHEET	DATE: 06-2006
G.M.	8/06	G.M.	LABEL SERVICES THIS SHEET	SHEET 7 OF 7