

PLAT OF TRACT A, DEL NORTE OFFICE PARK

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2006

HOECH REAL ESTATE CORPORATION
OWNER
SEC. 1, T 10 N, R 3 E, N.M.P.M.
LOCATION
DEL NORTE OFFICE PARK
SUBDIVISION

COUNTY CLERK FILING DATA

DRB PROJECT NUMBER 1004924

APPLICATION NUMBER 06DRB-01273, 06DRB-01274

APPROVALS:

DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

WATER UTILITY DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE

A.M.A.F.C.A. DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

J. B. Hart 10-13-06
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO DATE

P.N.M. ELECTRIC SERVICES DATE

QWEST TELECOMMUNICATIONS DATE

P.N.M. GAS SERVICES DATE

COMCAST CABLE VISION OF NEW MEXICO, INC. DATE

DESCRIPTION

Tract B, Federal Plaza, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on June 08, 1993, Book 93C, Page 160.

VICINITY MAP

G-18

SCALE: 1" = 750'

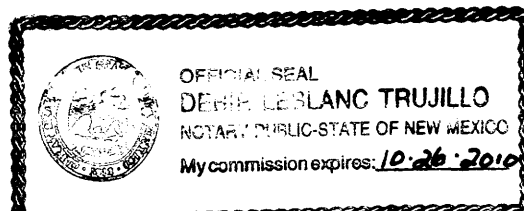
DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and does hereby grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. I hereby warrant that I hold complete and indefeasible title in fee simple to the land subdivided, hereon.

Justin D. Hoeh 10-13-2006
Justin D. Hoeh, Vice-President
Hoech Real Estate Corporation Date

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS



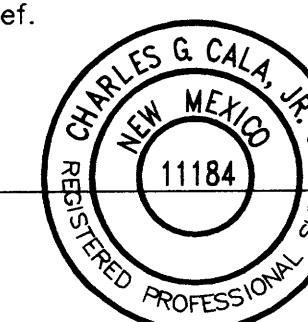
This instrument was acknowledged before me on this 13th day of October, 2006, by Justin D. Hoeh, Vice-President,

Hoech Real Estate Corporation
Dennis LeBlanc Trujillo
Notary Public

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr.
Charles G. Cala, Jr., NMPS 11184



10-13-2006
Date



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS & SURVEYORS (505) 345-4250
JOB #2006.026.2 PLAT

PLAT OF
TRACT A, DEL NORTE OFFICE PARK

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2006

COUNTY CLERK FILING DATA

Notes:

1. A boundary survey was performed in June, 2006. Property corners were found as indicated.
2. All distances are ground distances.
3. Site located within Section 1, Township 10 North, Range 3 East, N.M.P.M.
4. Bearings shown hereon are based upon the west property line of Tract B, Federal Plaza per the plat filed 06-08-1993, Book 93C, Page 160. To achieve New Mexico State Plane Grid Bearings, rotate plat bearings clockwise 0°00'06".
5. Record bearings and distances are shown in parenthesis.
6. No street mileage was created by this plat.
7. The following documents and instruments were used for the performance and preparation of this survey:
 - a. Plat of Federal Plaza, filed 06-08-1993, Book 93C, Page 160, Records of Bernalillo County, New Mexico.
 - b. Plat of The Homestead, filed 02-19-1993, Book 93C, Page 44, Records of Bernalillo County, New Mexico.
 - c. Plat of Altamont Addition, filed 01-15-1959, Book C4, Page 64, Records of Bernalillo County, New Mexico.
 - d. Plat of Colonial Park, filed 09-26-1979, Book C15, Page 119, Records of Bernalillo County, New Mexico.
 - e. Warranty Deed filed 07-05-2006, Book A119, Page 9550, Doc. #2006099829, Records of Bernalillo County, New Mexico.
 - f. Policy of Title Insurance, Policy No. 0-9701-1660866, (File No. 6040381) prepared by Stewart Title Guaranty Company dated 07-05-2006.
 - g. Boundary Survey of Tract B, Federal Plaza prepared by this firm certified 06-28-2006 (unrecorded).
8. The purpose of this plat is to:
 - a. Create Tract A, Del Norte Office Park from Tract B, Federal Plaza.
 - b. Vacate portions of a PNM easement granted by document Book D464, Page 128 (06DRB-01273).
 - c. Grant the necessary PNM Electric Services and City of Albuquerque public sidewalk easements as shown.
9. Gross subdivision acreage = 3.7172 acres.
10. Current Zoning on site is SU-1 O-1 USES, based upon review of the City of Albuquerque Zone Atlas.
11. The property surveyed hereon is subject to the Warranty Deed restrictions filed 04-01-2002, recorded in Book A34, Page 1397, Doc. #2002041498, Records of Bernalillo County, New Mexico.

KEYED NOTES

EASEMENTS

- ① 17' PUBLIC ROADWAY, PUBLIC UTILITY AND PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 93C-44. MAINTENANCE IDENTIFIED BY THAT PLAT TO BE THE RESPONSIBILITY OF THE OWNERS OF FORMER TRACTS A AND B EQUALLY.
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- ③ 5' PNM AND JONES INTERCABLE EASEMENT GRANTED BY PLAT 93C-44
- ④ 5'x7' ANCHOR EASEMENT GRANTED BY B17-46 TO REMAIN

VACATED EASEMENT

- ⑤ NORTHERLY 23' OF 5'x30' PNM EASEMENT GRANTED BY DOCUMENT FILED 02-13-1959, BOOK D464, PAGE 128 VACATED BY THIS PLAT (06DRB-01273)

EASEMENTS - OFFSITE

- ⑥ 5' UTILITY EASEMENT GRANTED BY PLAT D2-62
- ⑦ 5' PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 02-13-1959, BOOK D464, PAGE 129
- ⑧ UTILITY EASEMENT GRANTED BY PLAT C4-64
- ⑨ 40' SEWER, WATER AND PUBLIC UTILITY EASEMENT RESERVED BY V-89-41
- ⑩ 7' MOUNTAIN BELL EASEMENT DEPICTED ON PLAT 93C-160
- ⑪ 40' ALLEY, SEWER, WATER AND PUBLIC UTILITY EASEMENT GRANTED BY PLAT C25-146
- ⑫ 9' EXISTING EASEMENT AS DEPICTED ON PLAT C25-146

NEW EASEMENTS

- ⑬ 10' P.N.M. ELECTRIC SERVICES EASEMENT GRANTED BY THIS PLAT
- ⑭ 8' CITY OF ALBUQUERQUE PUBLIC SIDEWALK EASEMENT GRANTED BY THIS PLAT

MONUMENTS

- (A) FOUND #5 REBAR W/CAP STAMPED "LS 7719", TAGGED W/WASHER STAMPED "NMPS 11184"
- (B) FOUND CHISELED "+" ON CONCRETE
- (C) FOUND CONCRETE NAIL W/WASHER STAMPED "PS 10464"
- (D) FOUND #4 REBAR W/CAP STAMPED "PS 10464", TAGGED W/WASHER STAMPED "NMPS 11184"
- (E) FOUND REBAR, NO I.D., NOT HONORED (S 26°45'45" E 1.60')
- (F) FOUND 3/4" IRON PIPE
- (G) FOUND #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- (H) FOUND CHISELED " X " IN CONCRETE
- (J) FOUND P.K. NAIL W/WASHER STAMPED "NMPS 11184"
- (K) FOUND #4 REBAR W/CAP STAMPED "11224"

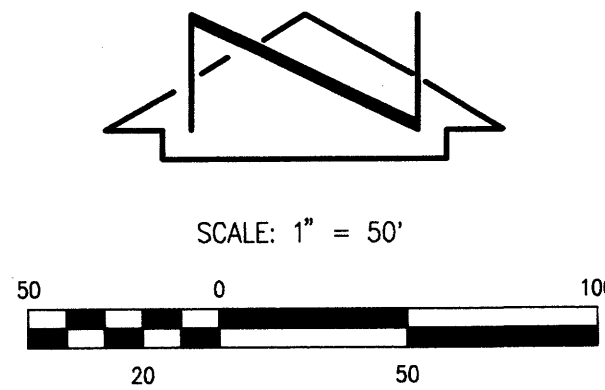


JEFF MORTENSEN & ASSOCIATES, INC.
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 JOB #2006.026.2 PLAT

PLAT OF TRACT A, DEL NORTE OFFICE PARK

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2006

COUNTY CLERK FILING DATA



EASEMENT TABLES

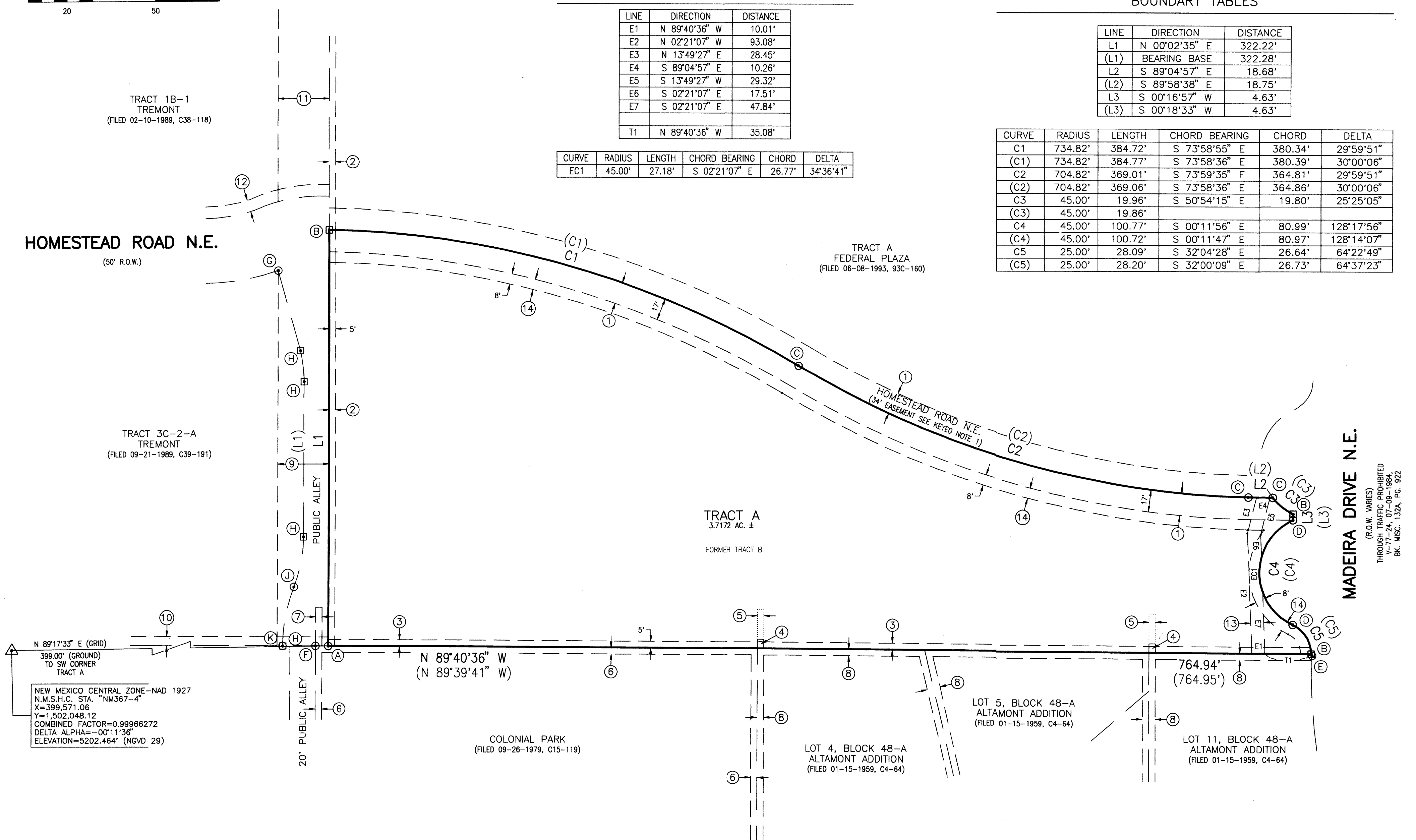
LINE	DIRECTION	DISTANCE
E1	N 89°40'36" W	10.01'
E2	N 02°21'07" W	93.08'
E3	N 13°49'27" E	28.45'
E4	S 89°04'57" E	10.26'
E5	S 13°49'27" W	29.32'
E6	S 02°21'07" E	17.51'
E7	S 02°21'07" E	47.84'
T1	N 89°40'36" W	35.08'

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	N 00°02'35" E	322.22'
(L1)	BEARING BASE	322.28'
L2	S 89°04'57" E	18.68'
(L2)	S 89°58'38" E	18.75'
L3	S 00°16'57" W	4.63'
(L3)	S 00°18'33" W	4.63'

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
EC1	45.00'	27.18'	S 02°21'07" E	26.77'	34°36'41"

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C1	734.82'	384.72'	S 73°58'55" E	380.34'	29°59'51"
(C1)	734.82'	384.77'	S 73°58'36" E	380.39'	30°00'06"
C2	704.82'	369.01'	S 73°59'35" E	364.81'	29°59'51"
(C2)	704.82'	369.06'	S 73°58'36" E	364.86'	30°00'06"
C3	45.00'	19.96'	S 50°54'15" E	19.80'	25°25'05"
(C3)	45.00'	19.86'			
C4	45.00'	100.77'	S 00°11'56" E	80.99'	128°17'56"
(C4)	45.00'	100.72'	S 00°11'47" E	80.97'	128°14'07"
C5	25.00'	28.09'	S 32°04'28" E	26.64'	64°22'49"
(C5)	25.00'	28.20'	S 32°00'09" E	26.73'	64°37'23"



HOMESTEAD ROAD N.E.
(50' R.O.W.)

TRACT A
FEDERAL PLAZA
(FILED 06-08-1993, 93C-160)

TRACT 3C-2-A
TREMONT
(FILED 09-21-1989, C39-191)

TRACT A
3.7172 AC. ±
FORMER TRACT B

MADEIRA DRIVE N.E.

NEW MEXICO CENTRAL ZONE-NAD 1927
N.M.S.H.C. STA. "NM367-4"
X=399,571.06
Y=1,502,048.12
COMBINED FACTOR=0.99966272
DELTA ALPHA=-00°11'36"
ELEVATION=5202.464' (NGVD 29)

COLONIAL PARK
(FILED 09-26-1979, C15-119)

LOT 4, BLOCK 48-A
ALTAMONT ADDITION
(FILED 01-15-1959, C4-64)

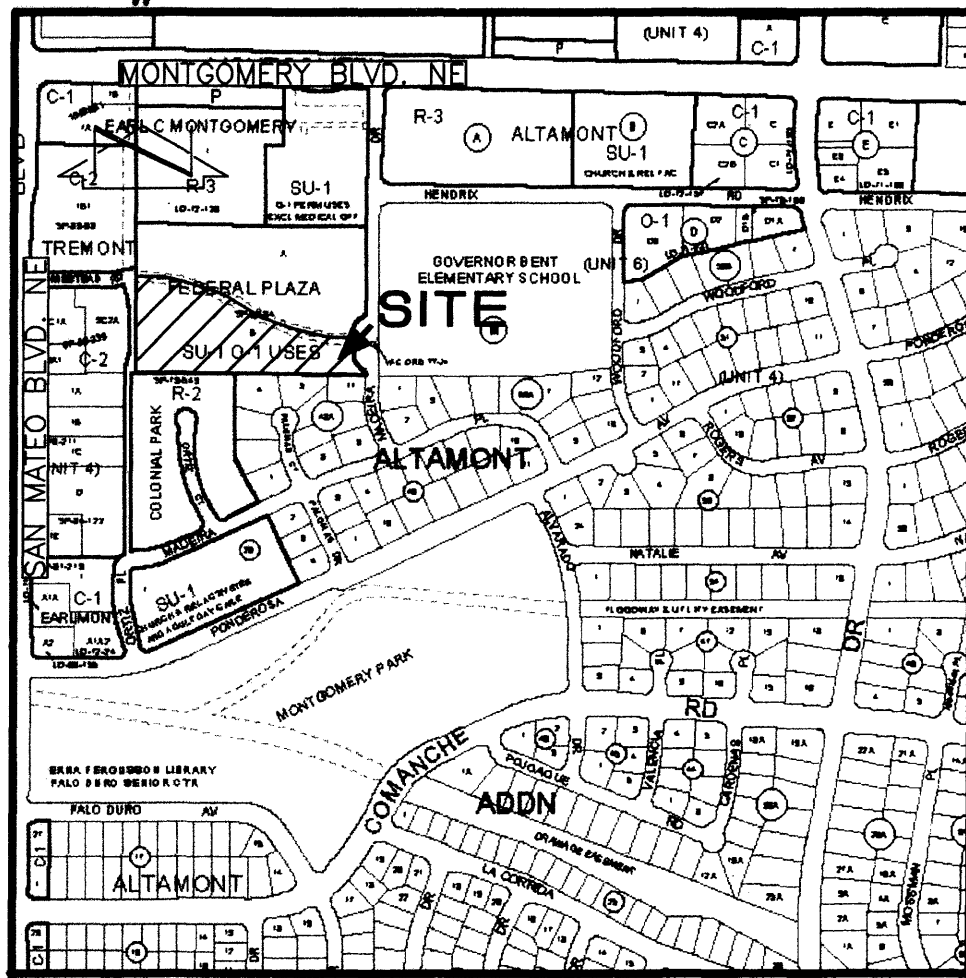
LOT 5, BLOCK 48-A
ALTAMONT ADDITION
(FILED 01-15-1959, C4-64)

LOT 11, BLOCK 48-A
ALTAMONT ADDITION
(FILED 01-15-1959, C4-64)

(R.O.W. VARIES)
THROUGH TRAFFIC PROHIBITED
V-7724-07-08-86A
BK. MISC. 132A, PG. 922

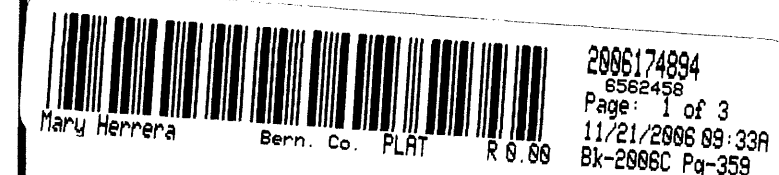


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ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2006

HOECH REAL ESTATE CORPORATION
OWNER
SEC. 1, T. 10 N, R. 3 E, N.M.P.M.
LOCATION
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SUBDIVISION



COUNTY CLERK FILING DATA

DRB PROJECT NUMBER 1004924

APPLICATION NUMBER ~~06DRB-01273, 06DRB-01274~~ **06DRB-01514**

APPROVALS:

- Justin D. Hoech* 10/25/06
DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- Roger J. Green* 10-25-06
WATER UTILITY DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- Bradley L. Bigham* 10/25/06
CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- Bradley L. Bigham* 10/25/06
A.M.A.F.C.A. DATE
- John B. Hart* 11-14-06
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- Christina Sandoval* 10/25/06
PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- John B. Hart* 10-13-06
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- Leah S. Marks* 10-20-06
P.N.M. ELECTRIC SERVICES DATE
- Daniel R. Baker* 10/23/06
QWEST TELECOMMUNICATIONS DATE
- Leah S. Marks* 10-20-06
P.N.M. GAS SERVICES DATE
- Konnie Barber* 10-24-06
COMCAST CABLE VISION OF NEW MEXICO, INC. DATE

DESCRIPTION

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VICINITY MAP

SCALE: 1" = 750'

G-18

DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and does hereby grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. I hereby warrant that I hold complete and indefeasible title in fee simple to the land subdivided, hereon.

Justin D. Hoech 10-13-2006
Justin D. Hoech, Vice-President
Hoech Real Estate Corporation Date

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COUNTY OF BERNALILLO) SS



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Debbe LeBlanc Trujillo
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Charles G. Cala, Jr.
Charles G. Cala, Jr., NMPS 11184



10-13-2006
Date

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND

PAID ON MAP # 1015060-21070
PROPERTY OWNER OF RECORD

First Church of the Nazarene
RETURN TO COUNTY TREASURER'S OFFICE

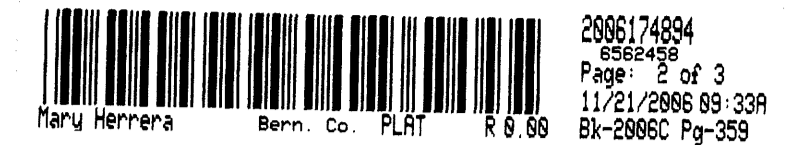
McQuinn 11/20/06



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KEYED NOTES

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- ⑤ NORTHERLY 23' OF 5'x30' PNM EASEMENT GRANTED BY DOCUMENT FILED 02-13-1959, BOOK D464, PAGE 128 VACATED BY THIS PLAT (06DRB-01273)

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- ⑫ 9' EXISTING EASEMENT AS DEPICTED ON PLAT C25-146

NEW EASEMENTS

- ⑬ 10' P.N.M. ELECTRIC SERVICES EASEMENT GRANTED BY THIS PLAT
- ⑭ 8' CITY OF ALBUQUERQUE PUBLIC SIDEWALK EASEMENT GRANTED BY THIS PLAT. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A.

MONUMENTS

- (A) FOUND #5 REBAR W/CAP STAMPED "LS 7719", TAGGED W/WASHER STAMPED "NMPS 11184"
- (B) FOUND CHISELED "+" ON CONCRETE
- (C) FOUND CONCRETE NAIL W/WASHER STAMPED "PS 10464"
- (D) FOUND #4 REBAR W/CAP STAMPED "PS 10464", TAGGED W/WASHER STAMPED "NMPS 11184"
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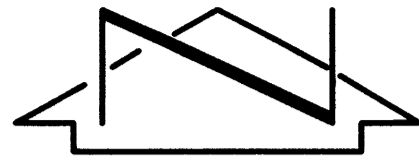
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2006

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6562458
Page: 3 of 3
11/21/2006 09:33A
BK-2896C Pg-359

Mary Herrera Bern. Co. PLAT R 8.88

COUNTY CLERK FILING DATA



SCALE: 1" = 50'



EASEMENT TABLES

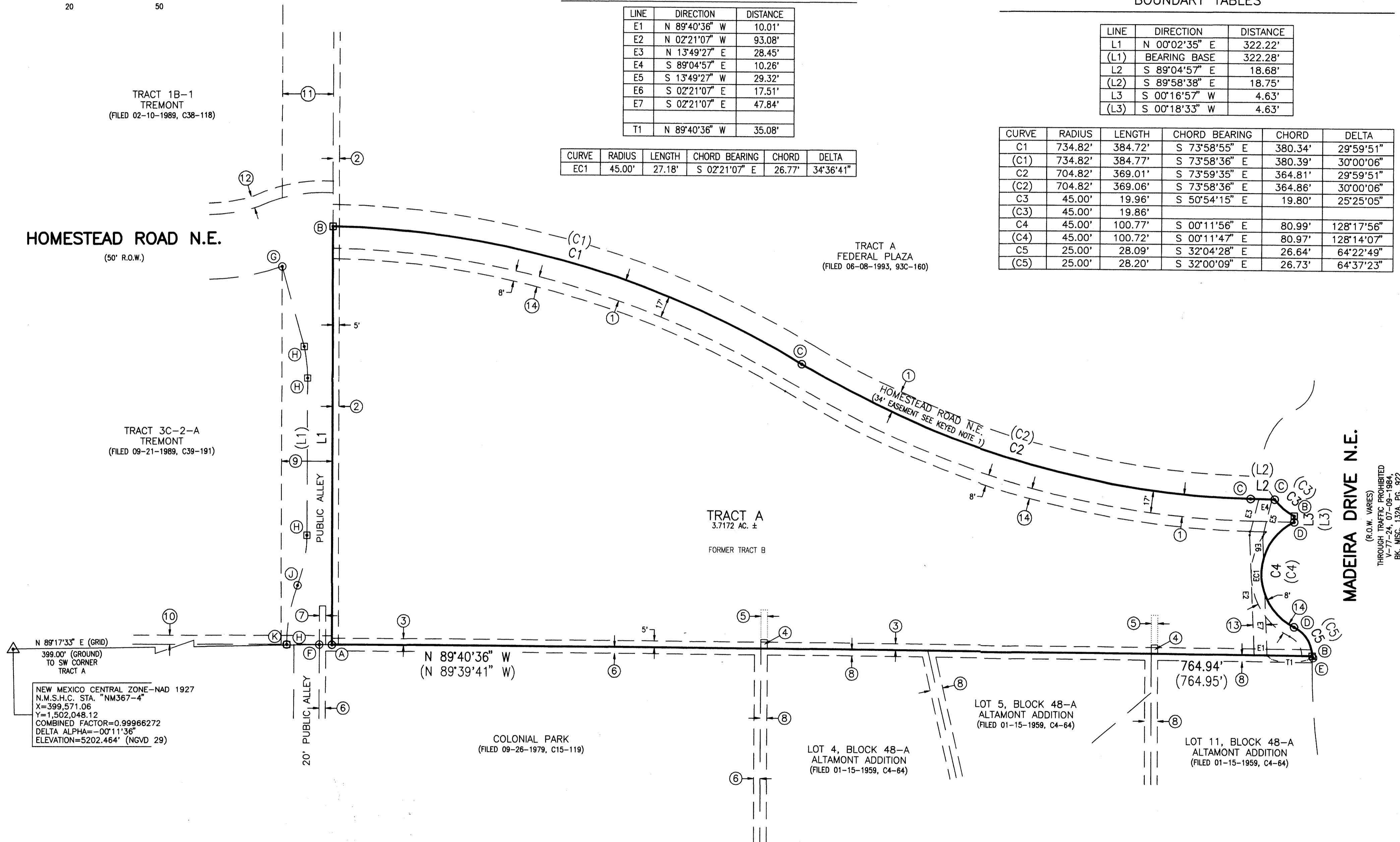
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C4	45.00'	100.77'	S 00°11'56" E	80.99'	128°17'56"
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(C5)	25.00'	28.20'	S 32°00'09" E	26.73'	64°37'23"



NEW MEXICO CENTRAL ZONE-NAD 1927
N.M.S.H.C. STA. "NM367-4"
X=399,571.06
Y=1,502,048.12
COMBINED FACTOR=0.99966272
DELTA ALPHA=-00°11'36"
ELEVATION=5202.464' (NGVD 29)

THROUGH TRAFFIC PROHIBITED
N.M.S.H.C. STA. "NM367-4"
BK. MISC. 132A, PG. 92Z



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JOB #2006.026.2 PLAT

KEYED NOTES

- ① BICYCLE RACK (HOLDS 3 BIKES)
- ② ACCESSIBLE RAMP, PARKING STALLS AND SIGNAGE
- ③ CONCRETE PEDESTRIAN WALKWAY
- ④ CURB AND GUTTER, TYP.
- ⑤ TURNDOWN SIDEWALK
- ⑥ REFUSE PAD & ENCLOSURE PER DETAIL; SHEET 6
- ⑦ CONCRETE SIDEWALK, WIDTH AS NOTED
- ⑧ ASPHALT PAVEMENT
- ⑨ NEW 15' TALL POLE MOUNTED 16" SQUARE X 6.5" DEEP, 250 WATT MH FIXTURE
- ⑩ LANDSCAPING, SEE SHEET 2 FOR PLAN
- ⑪ MONUMENT SIGN, SEE SHEET 6 FOR DETAIL & ELEVATION
- ⑫ PROPOSED STOP SIGN
- ⑬ MOTORCYCLE PARKING SPACES WITH SIGNAGE (12"x4.25" EACH)
- ⑭ BENCH, REFER TO LANDSCAPING PLAN, SHEET 2
- ⑮ SHADED PICNIC TABLE, REFER TO LANDSCAPING PLAN, SHEET 2
- ⑯ ROOF DRAIN WITH RAIN STORAGE CHAMBER

SITE PLAN NOTES

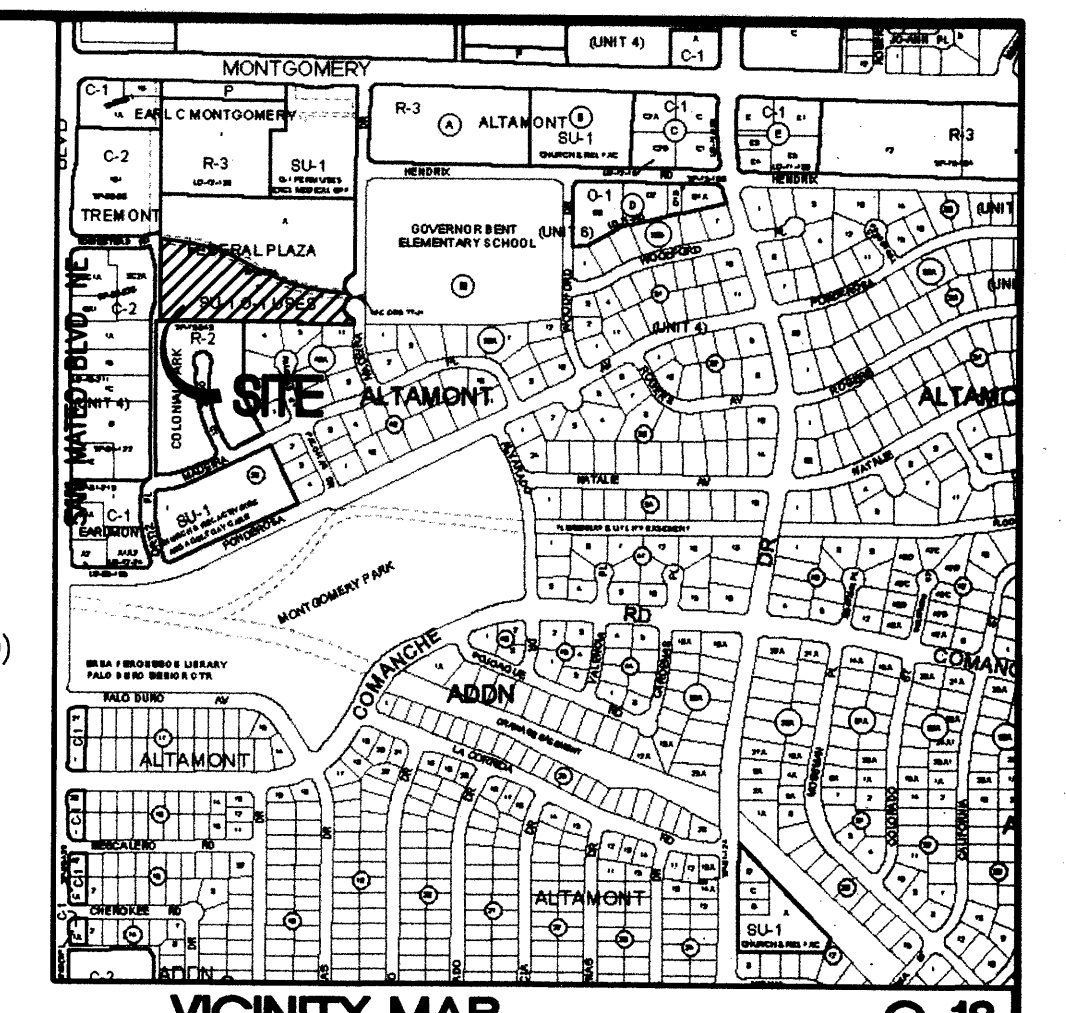
- 1. SETBACKS SHALL BE PER THE O-1 ZONE EXCEPT AT THE NE CORNER OF BUILDING 4 AS SHOWN.
- 2. TOTAL SQUARE FOOTAGE: 36,444
- 3. NET LEASABLE AREA = 80% OF GROSS = 29,155
- 4. REQUIRED PARKING = 1 SPACE/200 SF LEASABLE AREA = 146 SPACES
- 5. PARKING PROVIDED = 153 SPACES FOR CARS + 4 FOR MOTORCYCLES
- 6. ACCESSIBLE PARKING REQUIRED = 8 (8 PROVIDED)
- 7. COMPACT SPACES ALLOWED = 25% = 39 (12 PROVIDED)
- 8. BICYCLE SPACES REQUIRED = 1/20 VEHICLE SPACES = 8 (12 PROVIDED)
- 9. MOTORCYCLE PARKING REQUIRED = 4 (4 PROVIDED)

LINE TABLE

LINE	DIRECTION	DISTANCE
L1	N 00°02'35" E	322.22'
L2	S 89°04'57" E	18.68'
L3	S 00°16'57" W	4.63'

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C1	734.82'	384.72'	S 73°58'55" E	380.34'	29°59'51"
C2	704.82'	369.01'	S 73°59'35" E	364.81'	29°59'51"
C3	45.00'	19.96'	S 50°54'15" E	19.80'	25°25'05"
C4	45.00'	100.77'	S 00°11'56" E	80.99'	128°17'56"
C5	25.00'	28.09'	S 32°04'28" E	26.64'	64°22'49"



VICINITY MAP
SCALE: 1" = 750'

LEGAL DESCRIPTION:
TRACT B, FEDERAL PLAZA

ZONING:
SU-1 O-1 USES

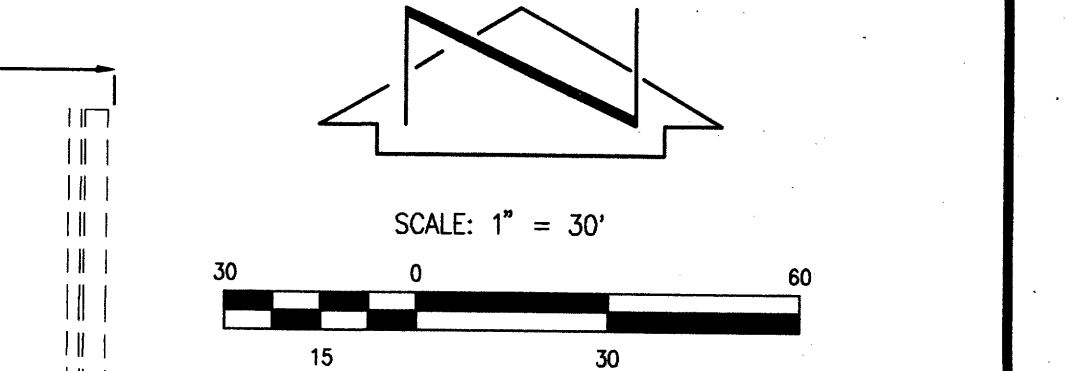
PROJECT NUMBER: 1004924
APPLICATION NUMBER:

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
<i>Michael Holton</i> Solid Waste Management	2/14/06 Date
DRB Chairperson, Planning Department	Date

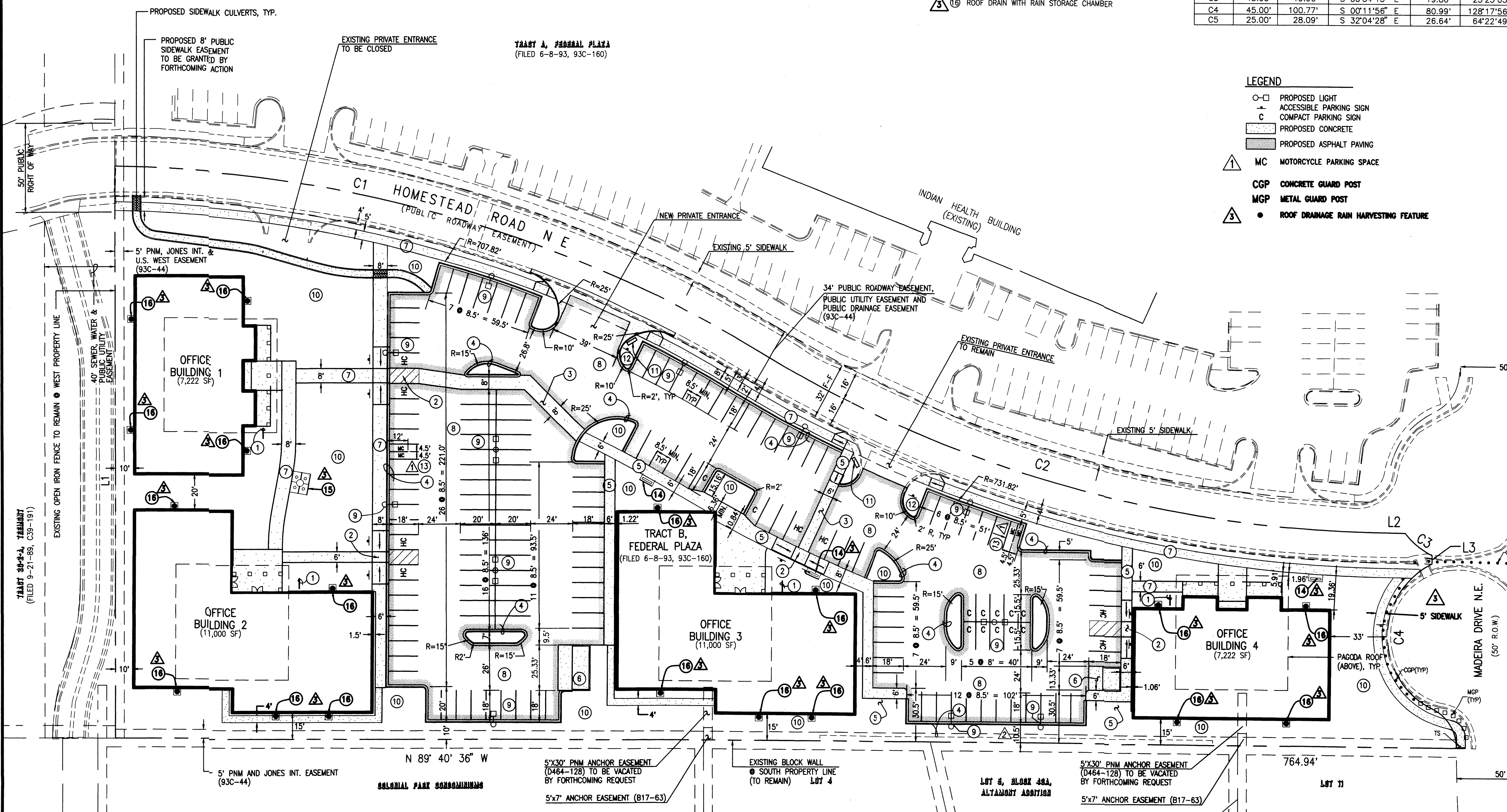
THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA AND EXISTING IMPROVEMENTS SHOWN ARE FROM THE TOPOGRAPHIC AND BOUNDARY SURVEY CONDUCTED BY THIS OFFICE DATE 6/28/2006, NMP5 11184



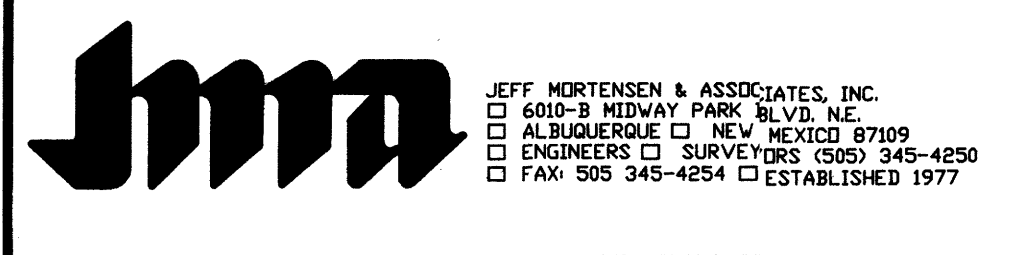
INDEX OF DRAWINGS

SHEET	DESCRIPTION
1	SITE PLAN
2	LANDSCAPING PLAN
3	PRELIMINARY GRADING PLAN
4	BUILDING EXTERIOR ELEVATIONS (BUILDING 1 & 4)
5	BUILDING EXTERIOR ELEVATIONS (BUILDING 2 & 3)
6	SITE DETAILS
7	CONCEPTUAL UTILITY PLAN

J. GRAEME MEANS
NEW MEXICO
13676
REGISTERED PROFESSIONAL ENGINEER
8/12/2006
5/30/2006
6/01/2006
6/29/2006



File Path: E:\WORK\WORK\108-12-2006
File Name: 60261SPDRB.DWG Plot Time: 10:36 am

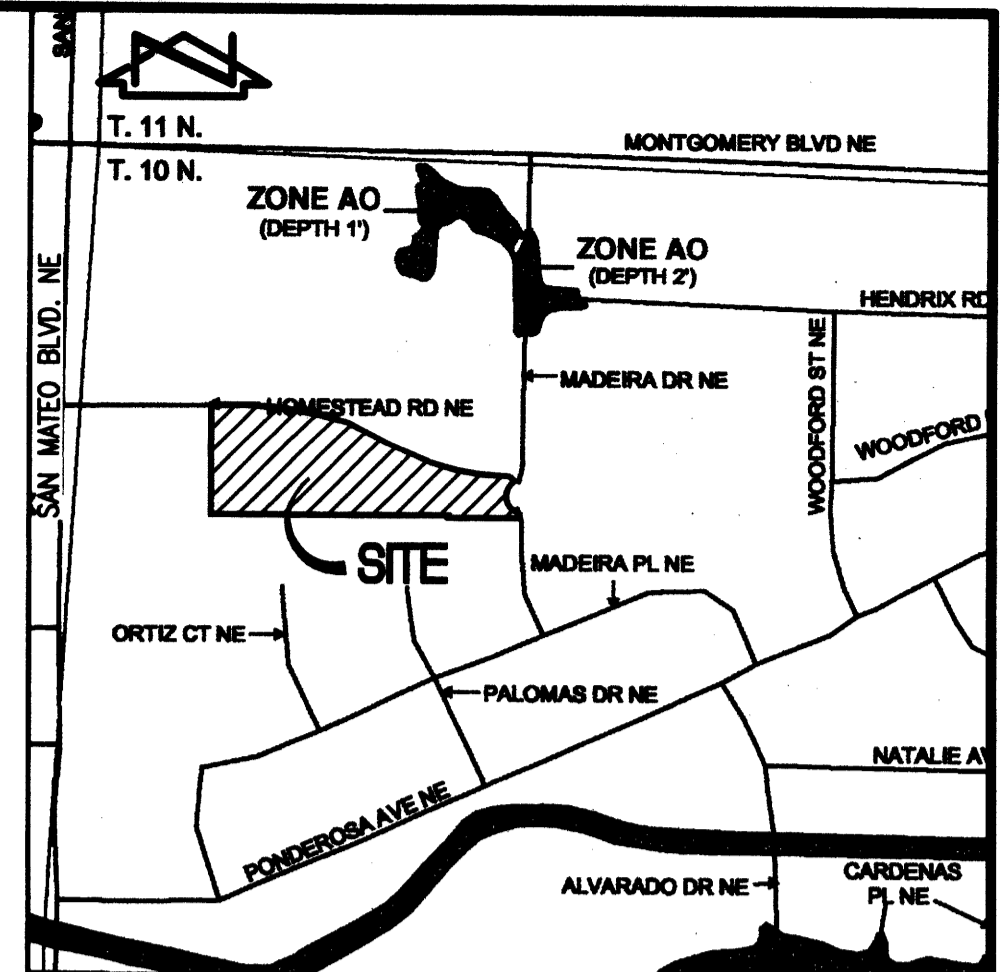


SITE PLAN
DEL NORTE OFFICE PARK

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	6/05	G.M.	CREATE SEPARATE UTILITY SHEET, ADD MOTORCYCLE PARKING	2006.026.1
RRW	06/06	G.M.	INCREASE L.S. BUFFER TO 10'	DATE 06-2006
G.M.	06/06	G.M.	ADDRESS EPC CONDITIONS	SHEET 1 OF 7

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 88°58'38" W	18.75'
L2	S 00°18'33" W	4.63'

CURVE TABLE				
CURVE	RADIUS	LENGTH	DELTA	CHORD
C3	704.82'	369.06'	30°00'06"	S73°58'36"E 364.86'
C4	734.82'	380.39'	30°00'06"	S73°58'36"E 380.39'
C5	45.00'	384.77'	128°14'07"	S00°11'47"E 80.97'
C6	25.00'	28.20'	64°37'28"	S32°00'09"E 26.73'



F.I.R.M. PANEL 139 OF 825

SCALE: 1" = 500'±

LEGAL DESCRIPTION:
TRACT B, FEDERAL PLAZA

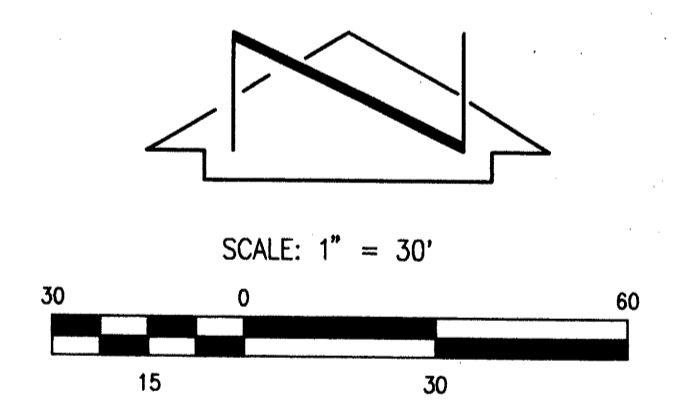
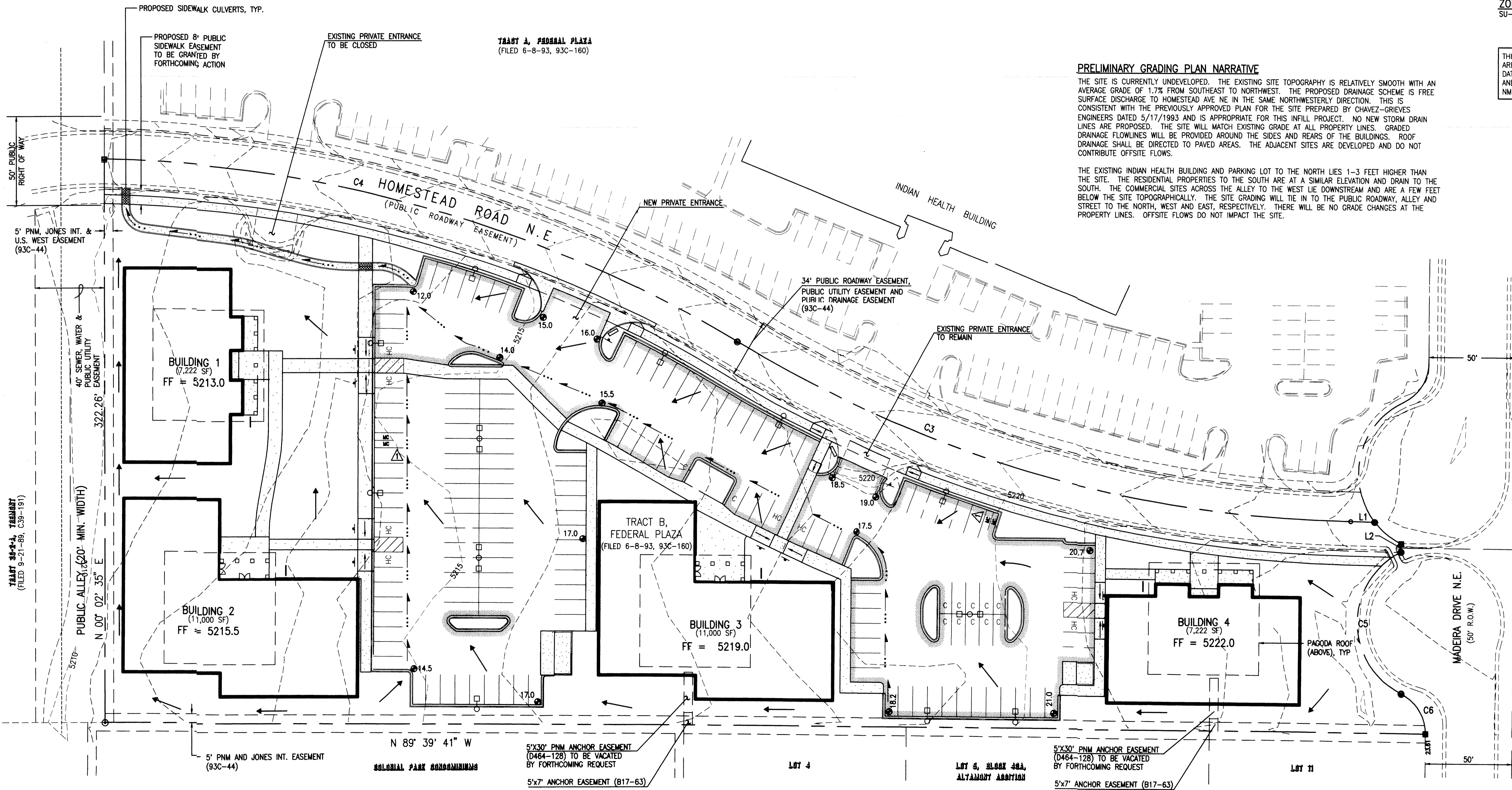
ZONING:
SU-1 O-1 USES

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA AND EXISTING IMPROVEMENTS SHOWN ARE FROM THE TOPOGRAPHIC AND BOUNDARY SURVEY CONDUCTED BY THIS OFFICE DATED 6/28/2006, NMP5 11184

PRELIMINARY GRADING PLAN NARRATIVE

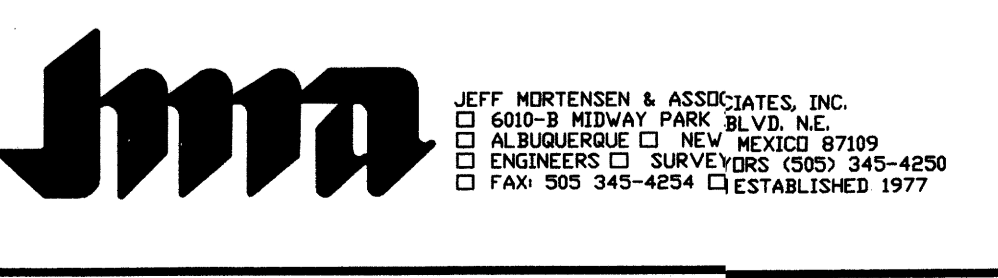
THE SITE IS CURRENTLY UNDEVELOPED. THE EXISTING SITE TOPOGRAPHY IS RELATIVELY SMOOTH WITH AN AVERAGE GRADE OF 1.7% FROM SOUTHEAST TO NORTHWEST. THE PROPOSED DRAINAGE SCHEME IS FREE SURFACE DISCHARGE TO HOMESTEAD AVE NE IN THE SAME NORTHWESTERLY DIRECTION. THIS IS CONSISTENT WITH THE PREVIOUSLY APPROVED PLAN FOR THE SITE PREPARED BY CHAVEZ-GRIEVES ENGINEERS DATED 5/17/1993 AND IS APPROPRIATE FOR THIS INFILL PROJECT. NO NEW STORM DRAIN LINES ARE PROPOSED. THE SITE WILL MATCH EXISTING GRADE AT ALL PROPERTY LINES. GRADED DRAINAGE FLOWLINES WILL BE PROVIDED AROUND THE SIDES AND REARS OF THE BUILDINGS. ROOF DRAINAGE SHALL BE DIRECTED TO PAVED AREAS. THE ADJACENT SITES ARE DEVELOPED AND DO NOT CONTRIBUTE OFFSITE FLOWS.

THE EXISTING INDIAN HEALTH BUILDING AND PARKING LOT TO THE NORTH LIES 1-3 FEET HIGHER THAN THE SITE. THE RESIDENTIAL PROPERTIES TO THE SOUTH ARE AT A SIMILAR ELEVATION AND DRAIN TO THE SOUTH. THE COMMERCIAL SITES ACROSS THE ALLEY TO THE WEST LIE DOWNSTREAM AND ARE A FEW FEET BELOW THE SITE TOPOGRAPHICALLY. THE SITE GRADING WILL TIE IN TO THE PUBLIC ROADWAY, ALLEY AND STREET TO THE NORTH, WEST AND EAST, RESPECTIVELY. THERE WILL BE NO GRADE CHANGES AT THE PROPERTY LINES. OFFSITE FLOWS DO NOT IMPACT THE SITE.



J. GRAEME MEANS
NEW MEXICO
13676
PROFESSIONAL ENGINEER
5/30/2006
6/07/2006
8/11/2006

File Path: E:\WORK\WORKS\108-11-2006\108-11-2006.dwg
Plot Date: 08-11-2006
File Name: 60261PGR2.DWG
Plot Time: 08:47 am



**PRELIMINARY GRADING PLAN
HOMESTEAD OFFICE PARK**

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
GM	5/05	G.M.	ADD MOTORCYCLE PARKING	2006.026.1
DRAWN BY				DATE
RRW				06-2006
APPROVED BY				SHEET
GM				3 OF 7

LANDSCAPE REQUIREMENTS
 SITE AREA: 3.8 ACRES
 BUILDING FOOTPRINT: 160,042 SQ. FT.
 39,535 SQ. FT.
 TOTAL AREA: 124,507 SQ. FT.
 REQUIRED LANDSCAPE %: 15%
 LANDSCAPE AREA REQUIRED: 18,676 SQ. FT.
 LANDSCAPE AREA PROVIDED: (37%) 49,762 SQ. FT.

MULCHES
 ALL SHRUB PLANTING AREAS SHALL BE TOP DRESSED WITH 3/4" SANTA ANA TAN OVER FILTER FABRIC.
 IRRIGATION SYSTEM
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS.

MAINTENANCE RESPONSIBILITY
 MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE OWNER.

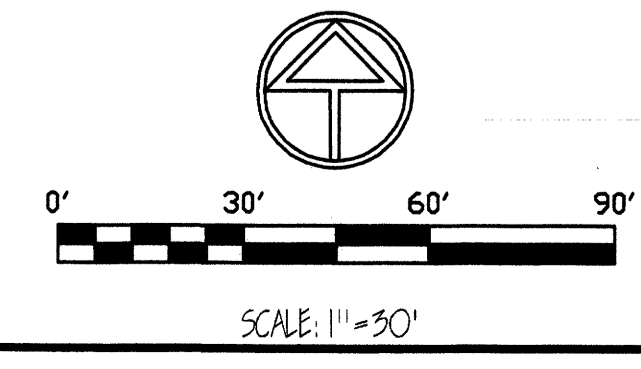
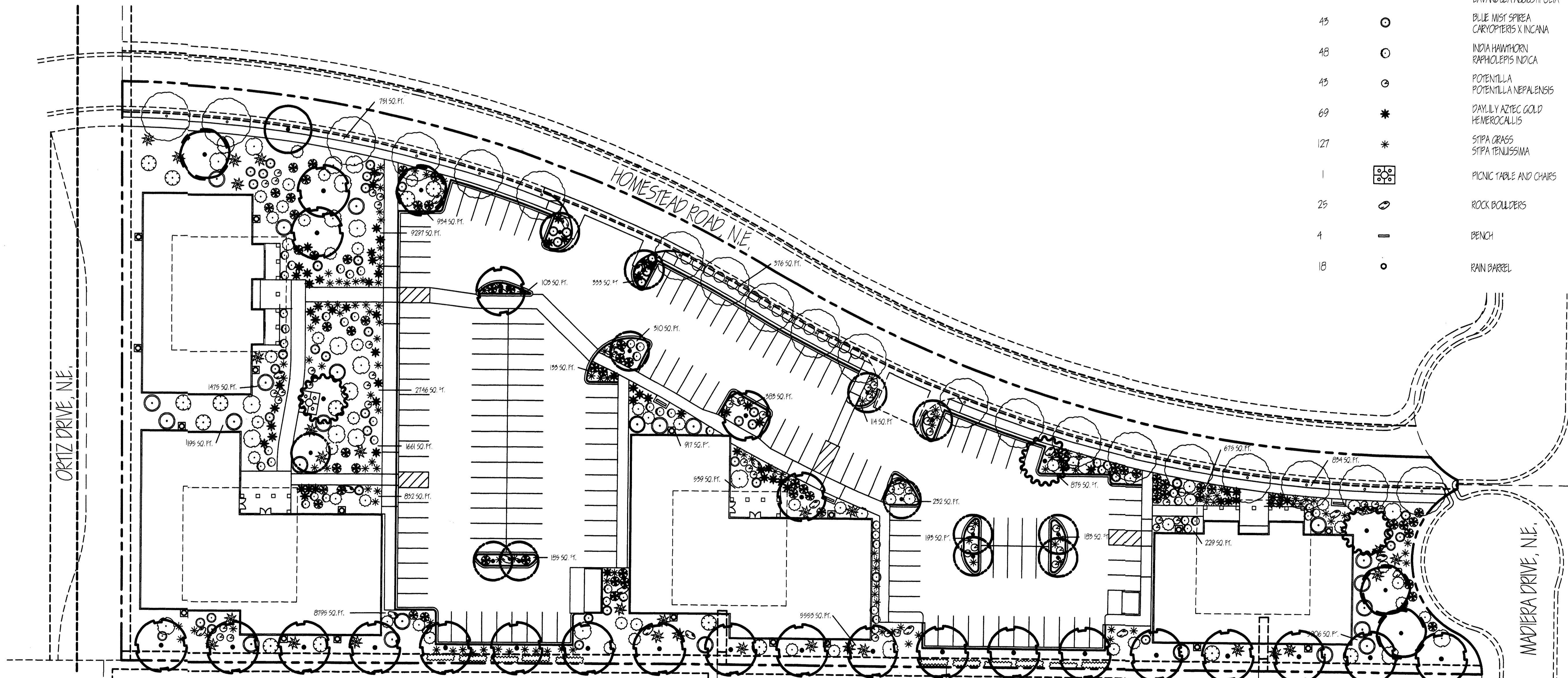
STATEMENT OF WATER WASTE
 THE LANDSCAPE PLAN FOR THIS SITE SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE PROVIDED LANDSCAPE AREA.

NEW AND EXISTING VEGETATION
 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING TREES AND MUST REPLACE IF NECESSARY. 3" CALIBER ASH TREES TO BE ADDED AS NECESSARY IN CONTINUATION OF EXISTING STREETSCAPE IN MEDIAN.

SOUTH SIDE VEGETATION
 ALL NEW CHITALPA TREES ON THE SOUTH SIDE OF THE PROPERTY LINE ARE TO BE PLACED 35' - 40' O.C.

PLANT LEGEND

QTY	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	REMARKS	WATER USE
3		LACEBARK ELM ULMUS PARVIFOLIA	20 GAL	80' HT. X 80' SPR.	MEDIUM
3		HONEY MESQUITE PROSOPIS GLANDULOSA	20 GAL	50' HT. X 30' SPR.	LOW
1		GREEN ASH (NEW) FRAXINUS PENNSYLVANICA	20 GAL	50' HT. X 30' SPR.	LOW
21		GREEN ASH (EXISTING) FRAXINUS PENNSYLVANICA	20 GAL	50' HT. X 30' SPR.	LOW
58		CHITALPA CHILOPSIS X CATALPA	20 GAL	50' HT. X 30' SPR.	LOW
13		PURPLELEAF PLUM PRUNUS CERASIFERA	20 GAL	25' HT. X 12' SPR.	LOW
23		BUTTERFLY BUSH BUDDLEIA DAVIDII	5 GAL	14' O.C. 12' HT. X 15' SPR.	MEDIUM
11		LADY BANK'S ROSE ROSA BANKSIAE 'LUTEA'	5 GAL	20' O.C. 20' HT. X 20' SPR.	MEDIUM
14		SILVERBERRY ELAEAGNUS PLUNGENS	5 GAL	16' O.C. 15' HT. X 10' SPR.	LOW
25		PHOTINIA PHOTINIA X FRASERI	5 GAL	14' O.C. 15' HT. X 20' SPR.	MEDIUM
49		ROSEMARY ROSMARINUS OFFICINALIS	5 GAL	14' O.C. 4' HT. X 3' SPR.	LOW
16		JAPANESE BOXWOOD BUXUS MICROPHYLLA	5 GAL	7' O.C. 3' HT. X 3' SPR.	MEDIUM
28		APACHE PLUME FALLOUJA PARADOXA	5 GAL	16' O.C. 6' HT. X 4' SPR.	MEDIUM
61		ENGLISH LAVENDER LAVANDULA AUGUSTIFOLIA	1 GAL	10' O.C. 2' HT. X 1.5' SPR.	LOW
43		BLUE MIST SPIREA CARYOPTERIS X INCANA	1 GAL	7' O.C. 3' HT. X 3' SPR.	LOW
48		INDIA HAWTHORN RAPHIOLEPIS INDICA	1 GAL	5' O.C. 3' HT. X 3' SPR.	MEDIUM
43		POTENTILLA POTENTILLA NEPALENSIS	1 GAL	5' - 8' O.C. 1' HT. X 1' SPR.	MEDIUM
69		DAVILLY AZTEC GOLD HEMEROCALLIS	1 GAL	5' - 8' O.C. 2' HT. X 2' SPR.	LOW
127		STIPA GRASS STIPA TENUISSIMA	1 GAL	5' - 8' O.C. 3' HT. X 2' SPR.	MEDIUM
1		PICNIC TABLE AND CHAIRS			
25		ROCK BOULDERS		3' MIN DIA.	
4		BENCH		72" X 12"	
18		RAIN BARREL		3' DIA.	



Territorial
 Landscape Co.
 P.O. Box 66870
 Albuquerque, NM 87193
 Phone: (505) 898-9199
 Fax: (505) 897-2295

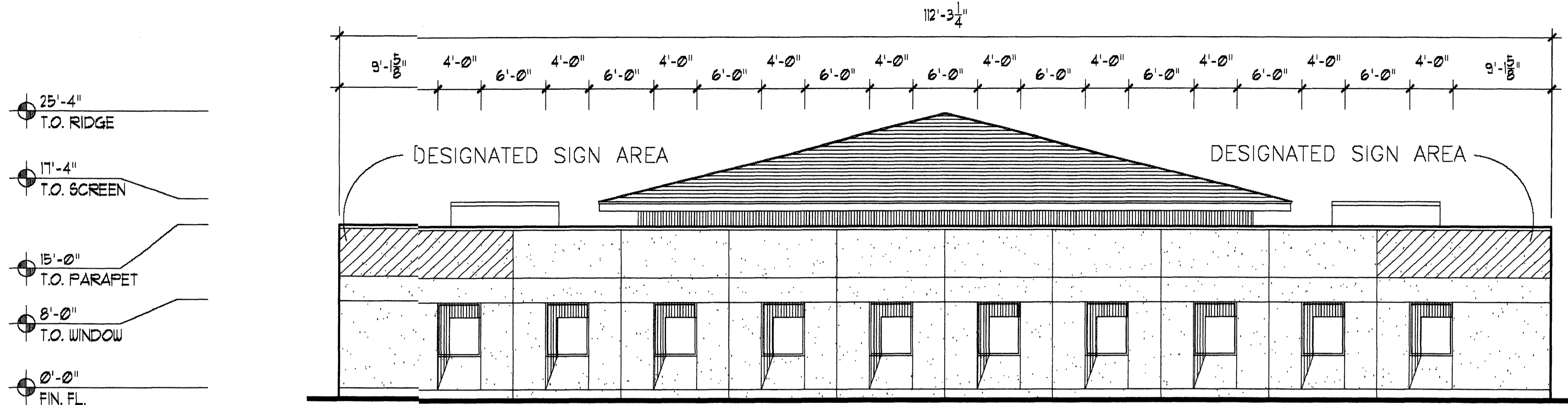
DEL NORTE OFFICE PARK

TRACT B, FEDERAL PLAZA
 HOMESTEAD ROAD, N.E.

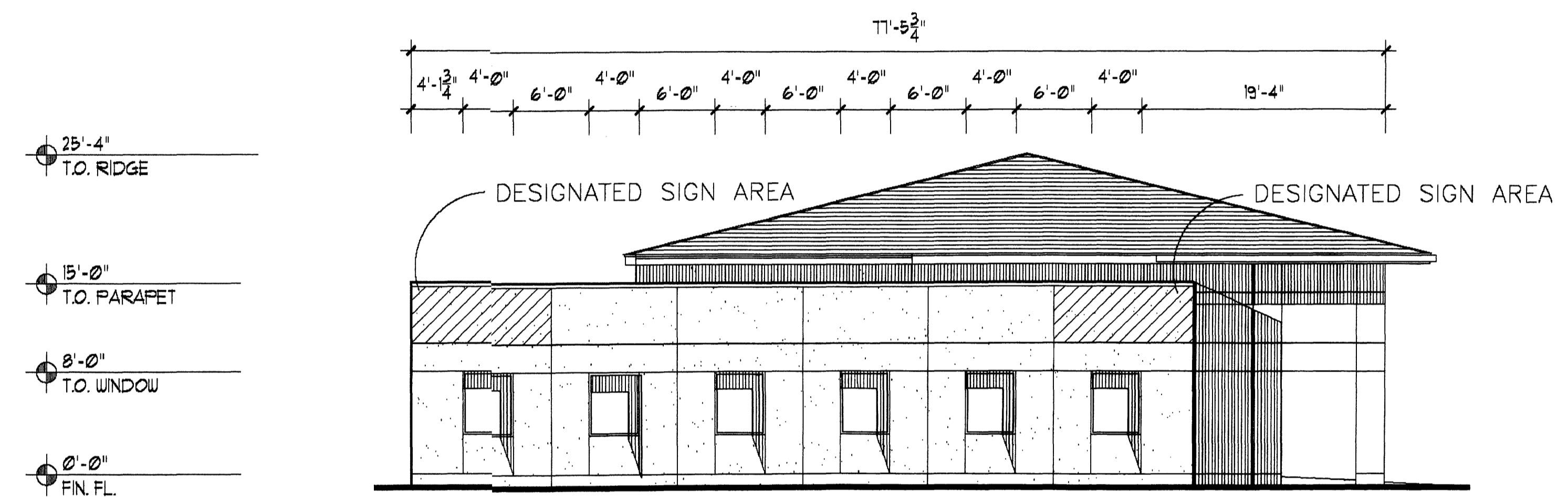
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DATE: MAY 30, 2006 REVISED: AUGUST 2, 2006

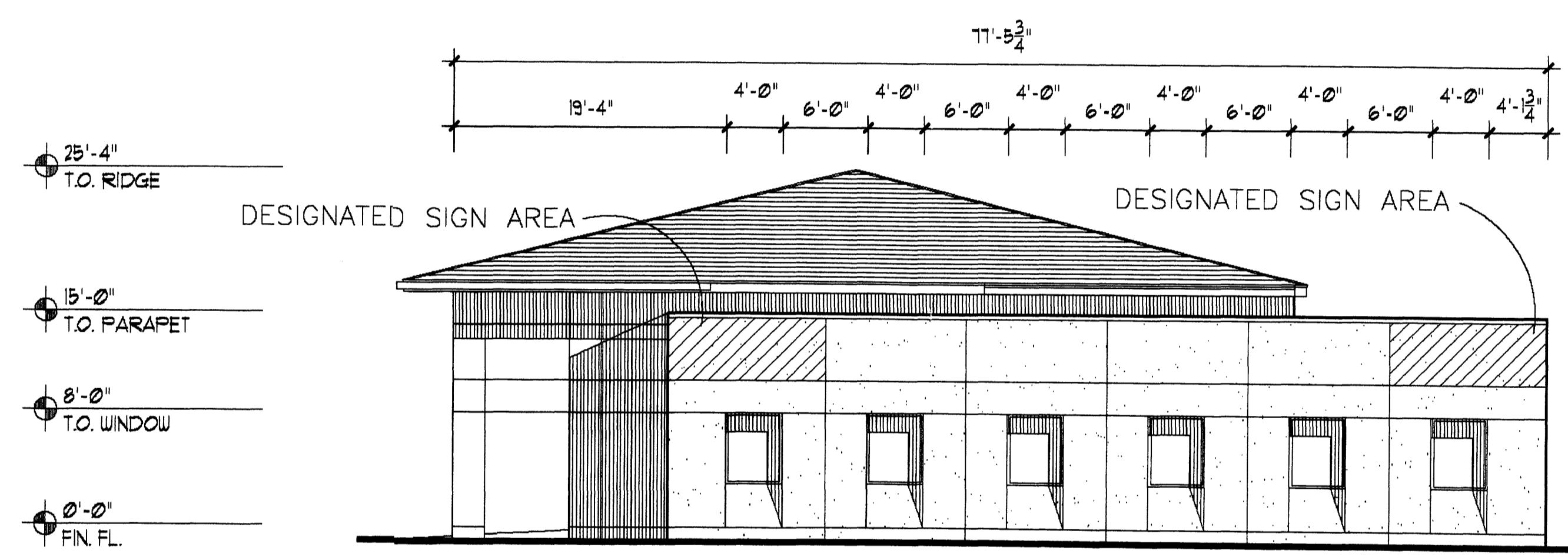
SHEET 2 OF 7



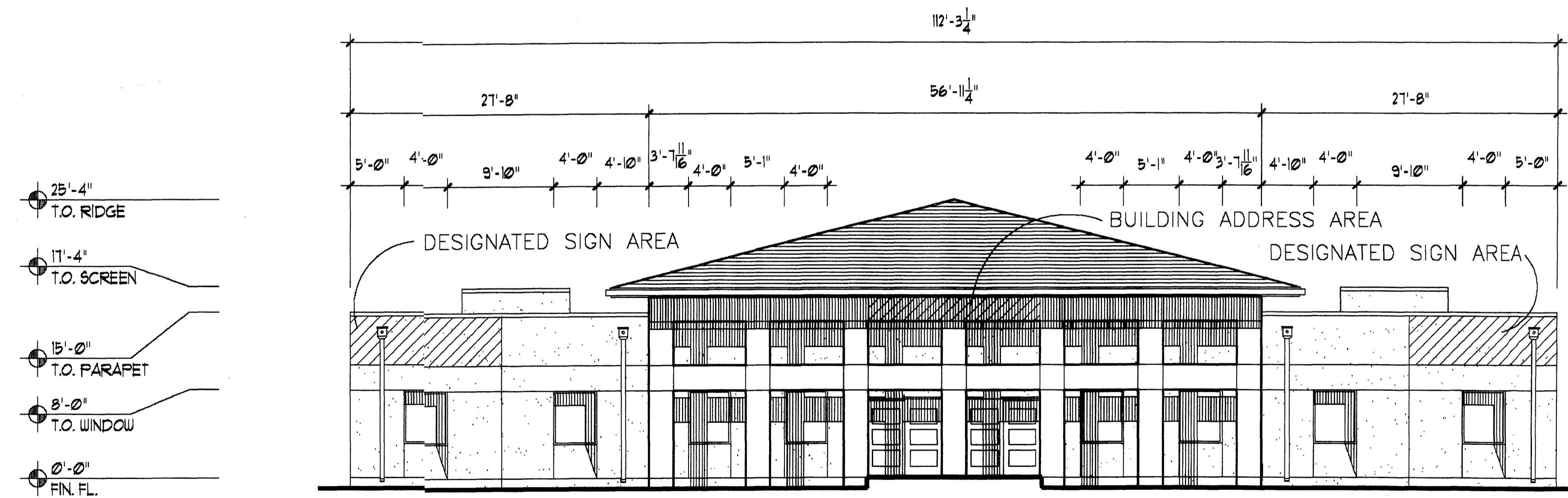
WEST BUILDING 1 / SOUTH BUILDING 4



SOUTH BUILDING 1 / EAST BUILDING 4



NORTH BUILDING 1 / WEST BUILDING 4



EAST BUILDING 1 / NORTH BUILDING 4

BUILDING ELEVATIONS

BUILDING MATERIALS & COLORS

Column/beam system at entry – Natural grey pumice split face masonry.

Windows – Aluminum awning windows – Bronze anodized color. Glazing – Clear low E.

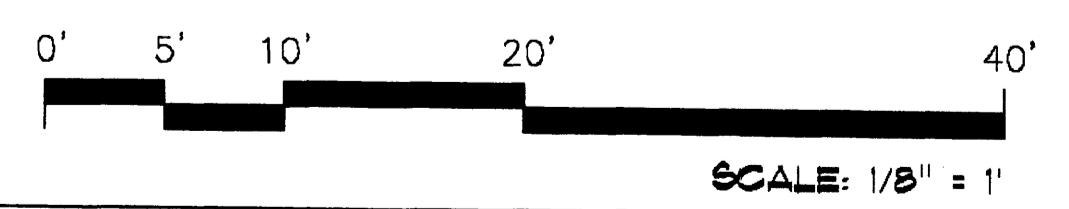
Building Numbers – 8" high anodized aluminum helvetica style or inset in concrete signs.

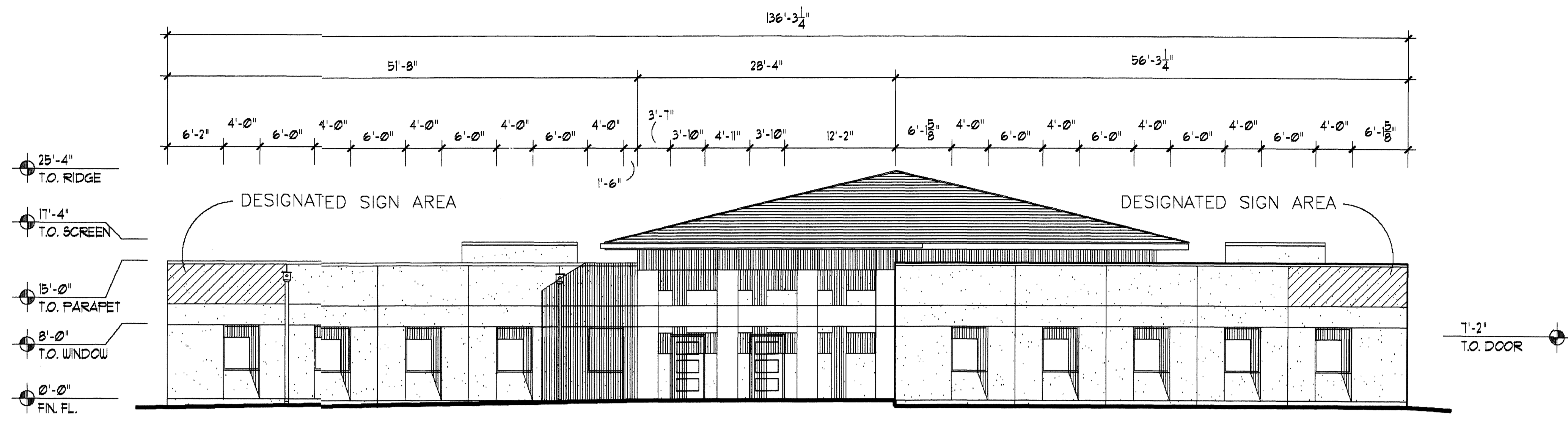
Stucco – Elastomeric Coating without sheen, Color #127 El Rey "Hacienda" (light tan).

Roof tile – Color is "Life Tile" #501 (dark, dusty brown).

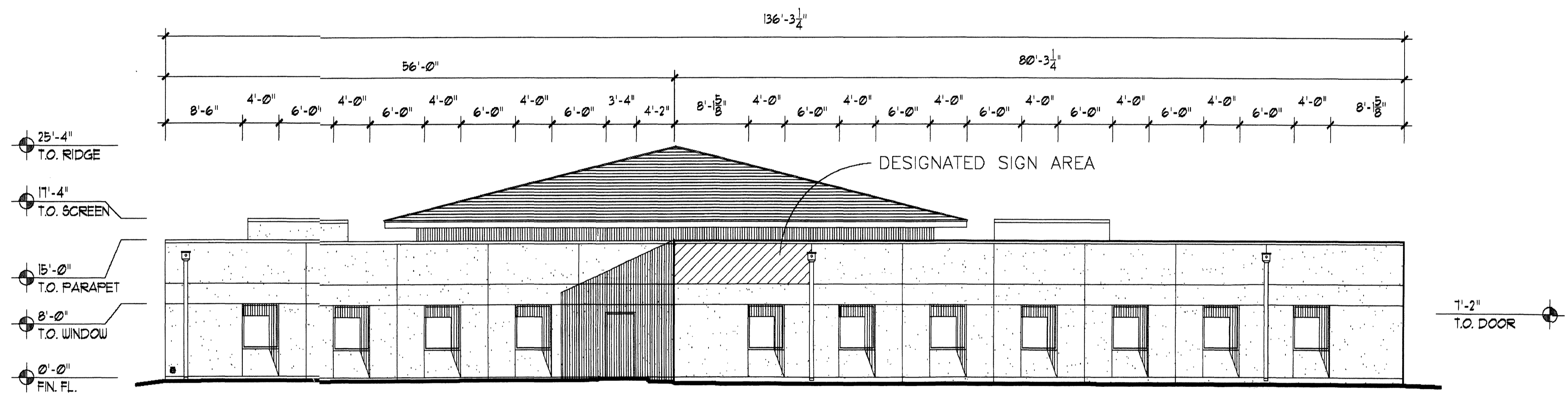
Framing – Wood studs – Exterior shall be 3 coat stucco on 17 ga. wire mesh over 2 layers of IBC approved building paper on 15/32" APA rated sheathing.

Doors – Hollow metal frame and door with safety glass light. Paint to match bronze anodized finish on window frames.

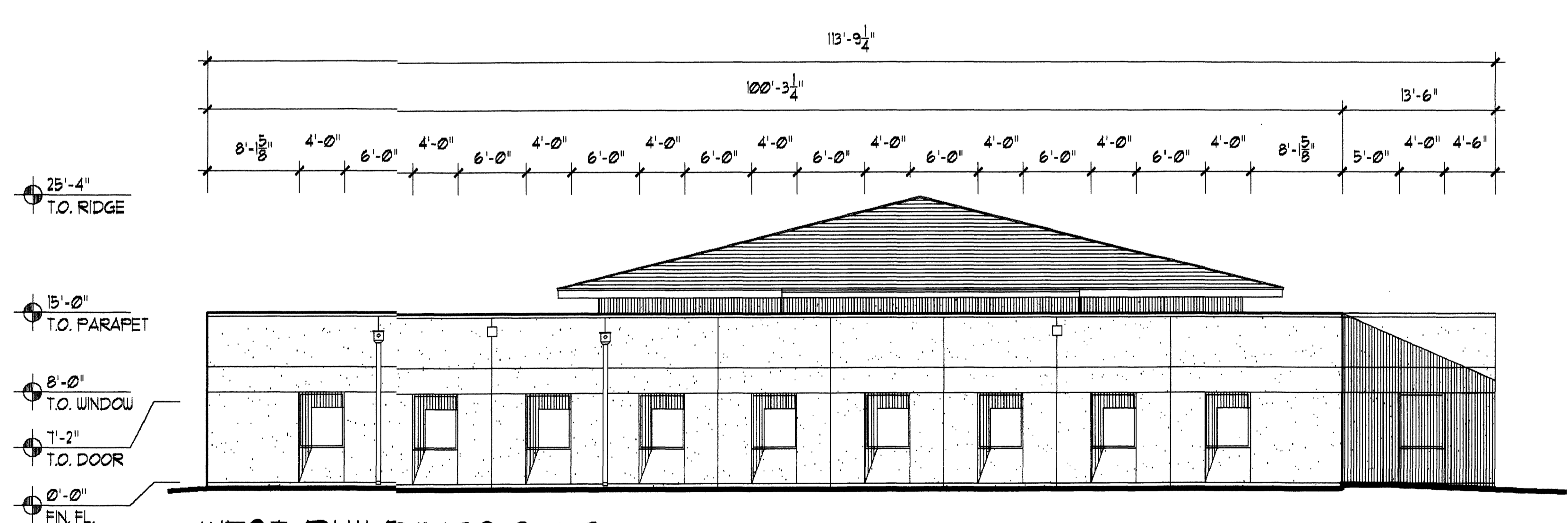




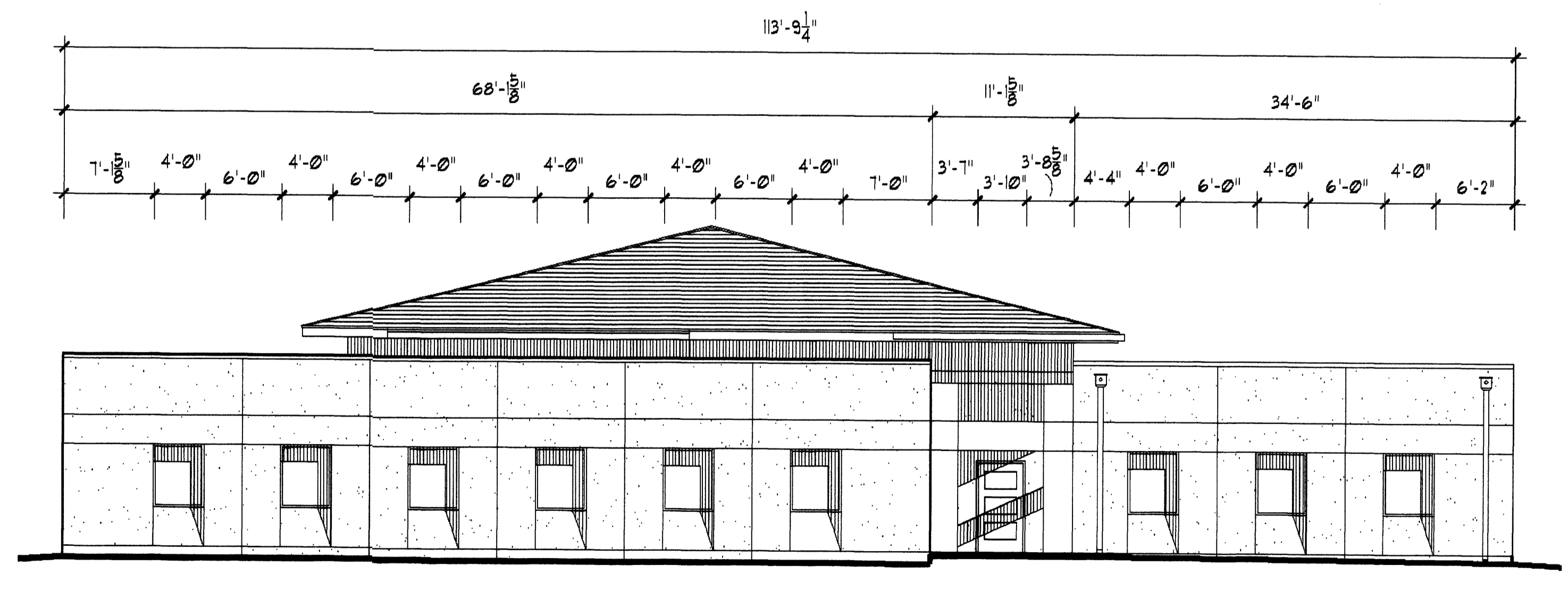
NORTH BUILDINGS 2 & 3



SOUTH BUILDINGS 2 & 3



WEST BUILDINGS 2 & 3



EAST BUILDINGS 2 & 3

BUILDING MATERIALS & COLORS

Column/beam system at entry – Natural grey pumice split face masonry.

Windows – Aluminum awning windows – Bronze anodized color. Glazing – Clear low E.

Building Numbers – 8" high anodized aluminum helvetica style or inset in concrete signs.

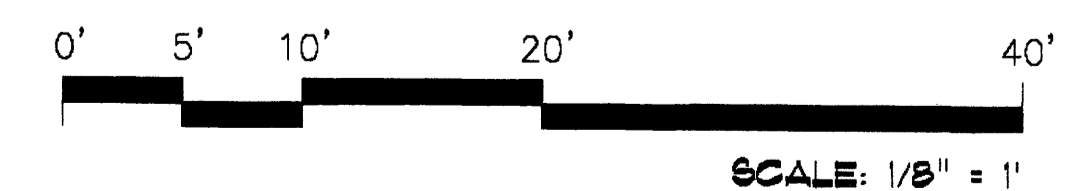
Stucco – Elastomeric Coating without sheen, Color #127 El Rey "Hacienda" (light tan).

Roof tile – Color is "Life Tile" #501 (dark, dusty brown).

Framing – Metal studs exterior shall be 3 coat stucco on 17 ga. wire mesh over 2 layers of IBC approved building paper on 5/8" exterior sheathing. No interior finish.

Doors – Hollow metal frame and door with safety glass light. Paint to match bronze anodized finish on window frames.

BUILDING ELEVATIONS



LIGHTING DETAILS IN RESPONSE TO EPC COMMENT #6.
ALL LIGHTING FIXTURES COMPLY WITH NEW MEXICO NIGHT SKY ORDINANCE

McGRAW-EDISON®

DESCRIPTION
Galleria's beauty and versatility make it an excellent choice for roadway and general area lighting applications. An aesthetic reveal in the formed aluminum housing gives the Galleria a distinctive look while a variety of mounting options and lamp wattages provide maximum flexibility. Galleria's superior light distributions makes it the optimum choice for almost any small, medium or large area lighting application.

SPECIFICATION FEATURES

A ... Housing Formed aluminum housing with stamped reveal has interior-welded seams for structural integrity and is finished in premium TGIC polyester powder coat. I.L.L. listed and CSA certified for wet locations.

B ... Ballast Tray Ballast tray is hard-mounted to housing interior for cooler operation.

C ... Ballast Long-life core and coil ballast.

D ... Reflector Spun and stamped aluminum reflector in vertical lamp units, or hydroformed anodized aluminum reflector in horizontal lamp units. Rotatable optics standard.

E ... Door Formed aluminum door has heavy-duty hinges, captive retaining screws and is finished in premium TGIC polyester powder coat. (Spider mount unit has steel door.)

F ... Lens Convex tempered glass lens or flat glass.

DARK SKY FCO COMPLIANT
In all flat glass configurations.

GSS/GSM/GSL GALLERIA SQUARE

70-1000W Metal Halide Pulse Start Metal Halide High Pressure Sodium ARCHITECTURAL AREA LUMINAIRE

WATTAGE TABLE

Fixture Size	Wattage
GSS	70W-175W
GSM	175W-1000W
GSL	400W-1000W

ENERGY DATA
CWA Ballast Input Watts
150W MH HPP (210 Watts)
175W MH HPP (210 Watts)
175W MH HPP (210 Watts)
250W MH HPP (290 Watts)
250W HPS HPP (300 Watts)
400W MH HPP (450 Watts)
400W HPS HPP (485 Watts)
1000W MH HPP (1080 Watts)
1000W HPS HPP (1100 Watts)

EPA Effective Projected Area (Sq. Ft.) (Without Arm)
GSS: 1.2 GSM: 2.4 GSL: 3.9 (With Arm)
GSS: 1.7 GSM: 3.02 GSL: 4.80 (Spider Mount)
GSS: 1.04 GSM: 2.22 GSL: 3.7

SHIPPING DATA
Approximate Net Weight:
36 lbs. (18 lbs.)
78 lbs. (39 lbs.)
88 lbs. (44 lbs.)

ADH00005 06/07/06

COOPER LIGHTING®

TYPE: CATALOG #:

SSSSQUARE STRAIGHT STEEL

10'-3 3/4" Mounting Height

SQUARE STRAIGHT STEEL

DETAILS

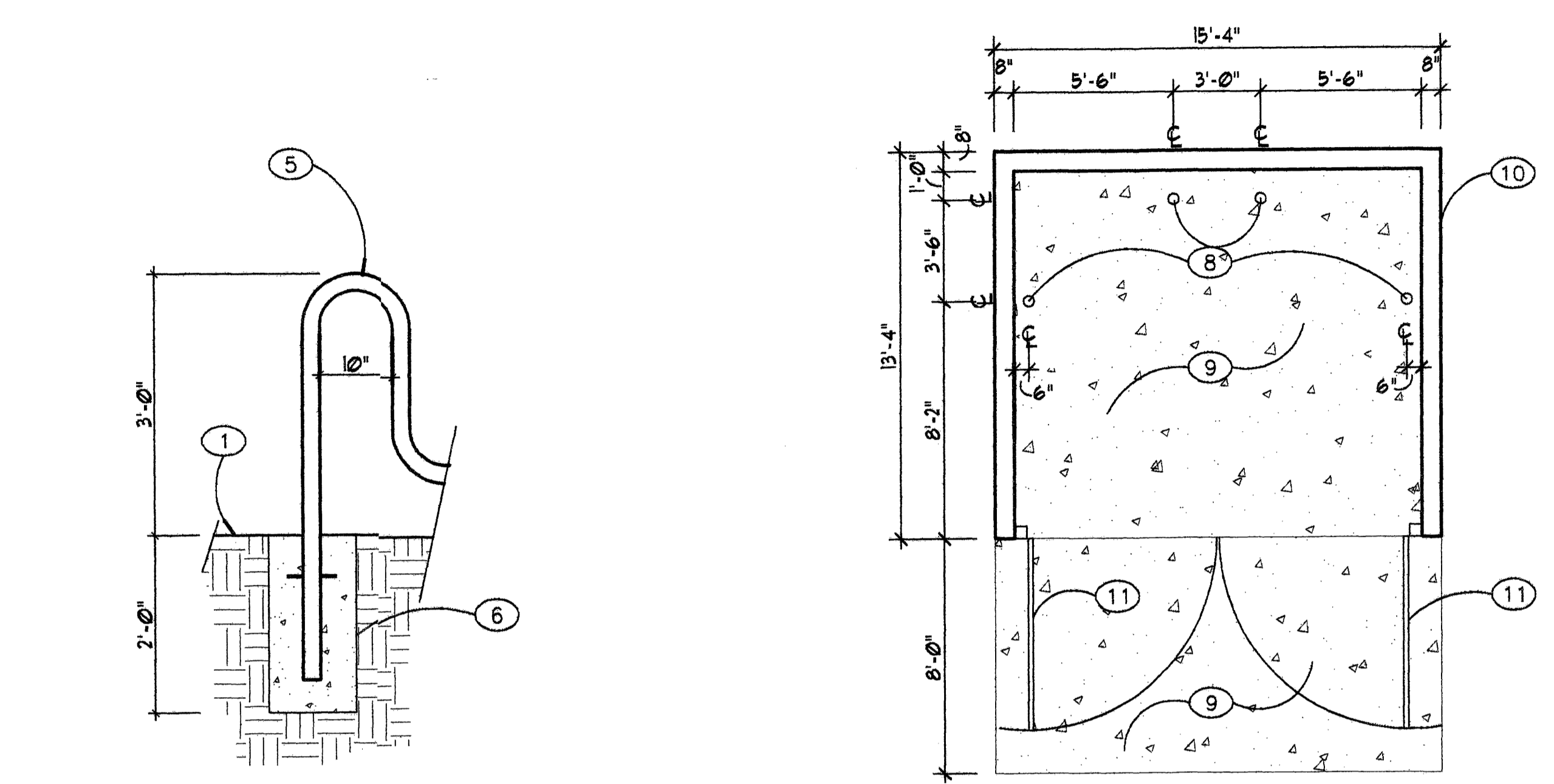
1'-1" ASTM Grade steel base plate with ASTM A366 base cover.
2'-Hand hole assembly 3" x 5" on 8" and 6" pole; and 2" x 4" on 4" pole.
3'-ASTM A500 grade "B" steel shaft. Shot blasted and painted with polyester powder coat.
4'-Omitted or Tension Specific.
5'-Anchor bolt per ASTM A375 with (2) nuts, (2) flat washer, and (1) lock washer. Nuts, washers and threaded portion of bolt are hot dip galvanized. 3" hook for 3/4" bolt. 4" hook for 1" bolt.

FOUR BOLT ANCHORAGE (see ordering information)

BC-Bolt Circle
BP-Bolt Projection
AB-Bolt Dimensions
D-Bolt Diameter
H-Bolt Dimensions

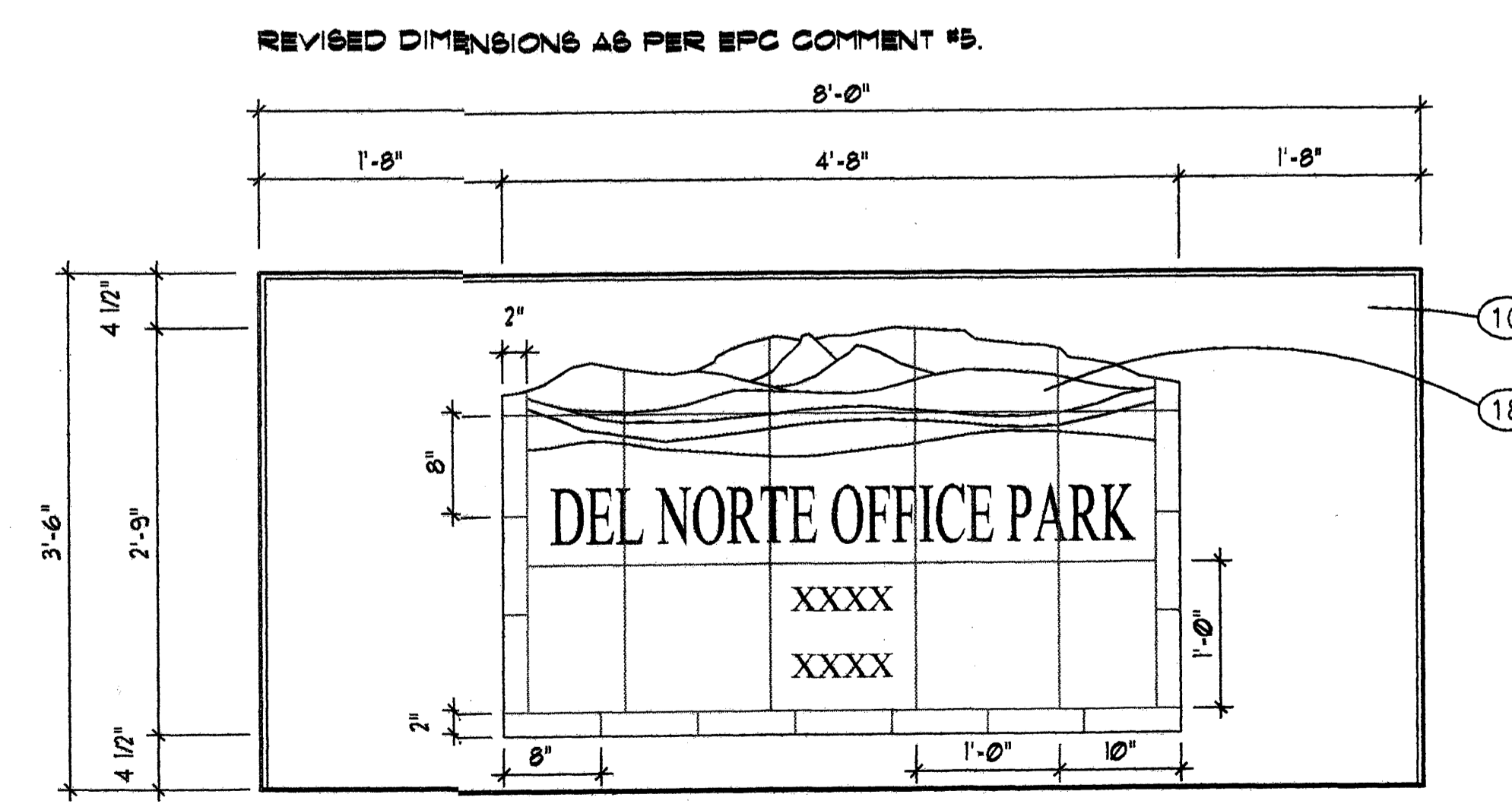
FINISH COLORS
F-Care Bronze
G-Galvanized
V-Vulcanite
W-White
Y-Black

COOPER LIGHTING ADH00001



1 HAIRPIN BICYCLE RACK
SCALE: 3/4" = 1'-0"

2 TRASH BIN ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



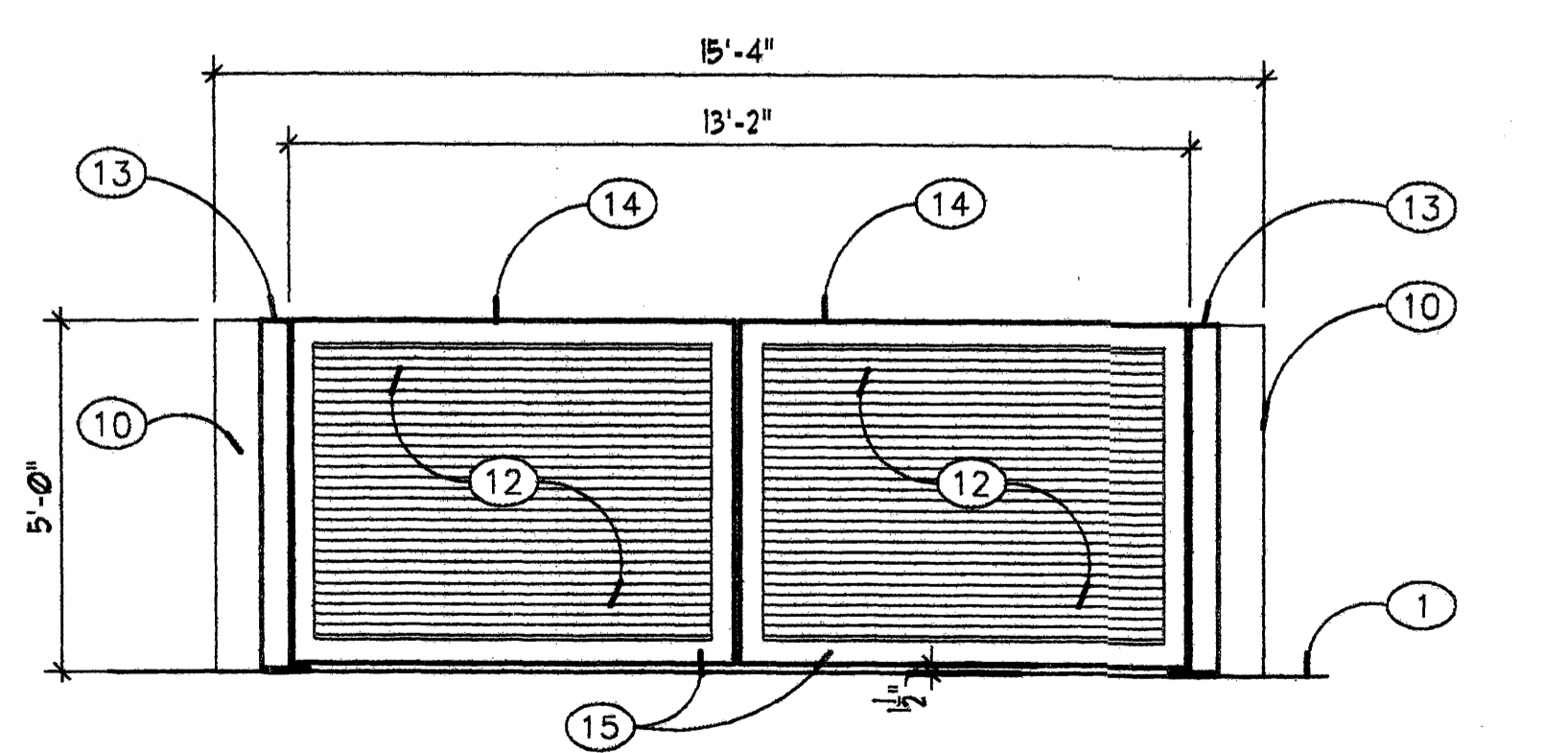
3 FREESTANDING SITE IDENTIFICATION SIGN ELEVATION
SCALE: 1" = 1'-0"

GSS/GSM/GSL GALLERIA SQUARE

PHOTOMETRICS

Footcandle Table
Select mounting height and read across for footcandle values of each isocandela line. Distance in units of mounting height.

Mounting Height	A	B	C	D	E	
175W	10"	11.25	4.50	2.25	1.16	0.45
175W	12"	9.00	3.60	1.80	0.90	0.36
175W	24"	2.25	1.12	0.56	0.28	0.11
1000W	30"	3.00	1.50	0.75	0.37	0.15
1000W	36"	2.50	1.25	0.62	0.31	0.12
1000W	42"	2.00	1.00	0.50	0.25	0.10



4 TRASH BIN ENCLOSURE GATE ELEVATION
SCALE: 3/8" = 1'-0"

- KEY NOTES**
- GRADE.
 - THREE COAT STUCCO, EL REY #118 SUEDE COLOR COAT.
 - METAL CONTROL JOINT, KEENE #15 OR EQUAL.
 - METAL CONTROL JOINT WITH WEEP SCREED.
 - BRANDIR "RIBBON RACK" MODEL RB-5 (NOM. 3'-0"), 2-3/8" DIA. ASTM SCH. 40 GALV. STEEL PIPE. PAINT TO MATCH BRONZE ANODIZED FINISH OF BUILDING WINDOWS.
 - 12" DIA. CONCRETE (3,000 PSI MIN.).
 - SITE ADDRESS AND IDENTIFICATION, 8" TALL BRONZE ANODIZED ALUMINUM LETTERS, CENTERED LEFT TO RIGHT.
 - 4" O.D. CONCRETE FILLED PIPE BOLLARD.
 - CONCRETE PAD, SLOPE MIN. 1/8" PER FOOT.
 - STUCCO COVERED CMU WALL, EL REY #118 SUEDE COLOR COAT.
 - STEEL GATE, SEE DETAIL 5/A-3.
 - AMETCO ORSOGRIL INFILL PANEL 100% VISUAL SCREENING, POWDER COATING, TO MATCH STUCCO FINISH COAT.
 - 5" X 5" X 3/8" STEEL TUBE JAMB. CAP TOP WITH 3/8" STEEL PLATE CONTINUOUS WELD TO TUBE. CONTINUOUS WELD TUBE TO 1/2" THICK BASE PLATE SIMILAR TO BASE PLATE TYPE 2 ON SHEET S-102 OF PROJECT DRAWINGS. ANCHOR BASE PLATE TO CONCRETE SLAB WITH 4 1/2" DIA. X 8" ANCHOR BOLTS. GRIND WELDS SMOOTH AND PAINT WITH A ZINC RICH PAINT, COLOR TO MATCH STUCCO FINISH COAT.
 - 4" X 2" X 3/8" GATE FRAME, MITER AND CONTINUOUS WELD CORNERS, GRIND WELDS SMOOTH. POWDER COATING FINISH, TO MATCH STUCCO FINISH COAT. FABRICATED BY AMETCO. PROVIDE LOCKING SLIDE BOLT AND 2 CANE BOLTS, AND HINGES AS RECOMMENDED BY AMETCO.
 - INSTALL A ROCKWOOD #477 DOOR STOP MOUNTED ON FACE OF CONCRETE CURB OPPOSITE THIS POINT.
 - SITE IDENTIFICATION, 16" TALL BRONZE ANODIZED ALUMINUM LETTERS CENTER LEFT TO RIGHT.
 - TRASH BIN ENCLOSURE WALL.
 - HAND PAINTED CERAMIC TILE.



JEFF MORSEMAN & ASSOCIATES, INC.
 6000 S. HOMESTEAD PARK BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE: 505-345-4254 FAX: 505-345-4254
 ESTABLISHED 1977

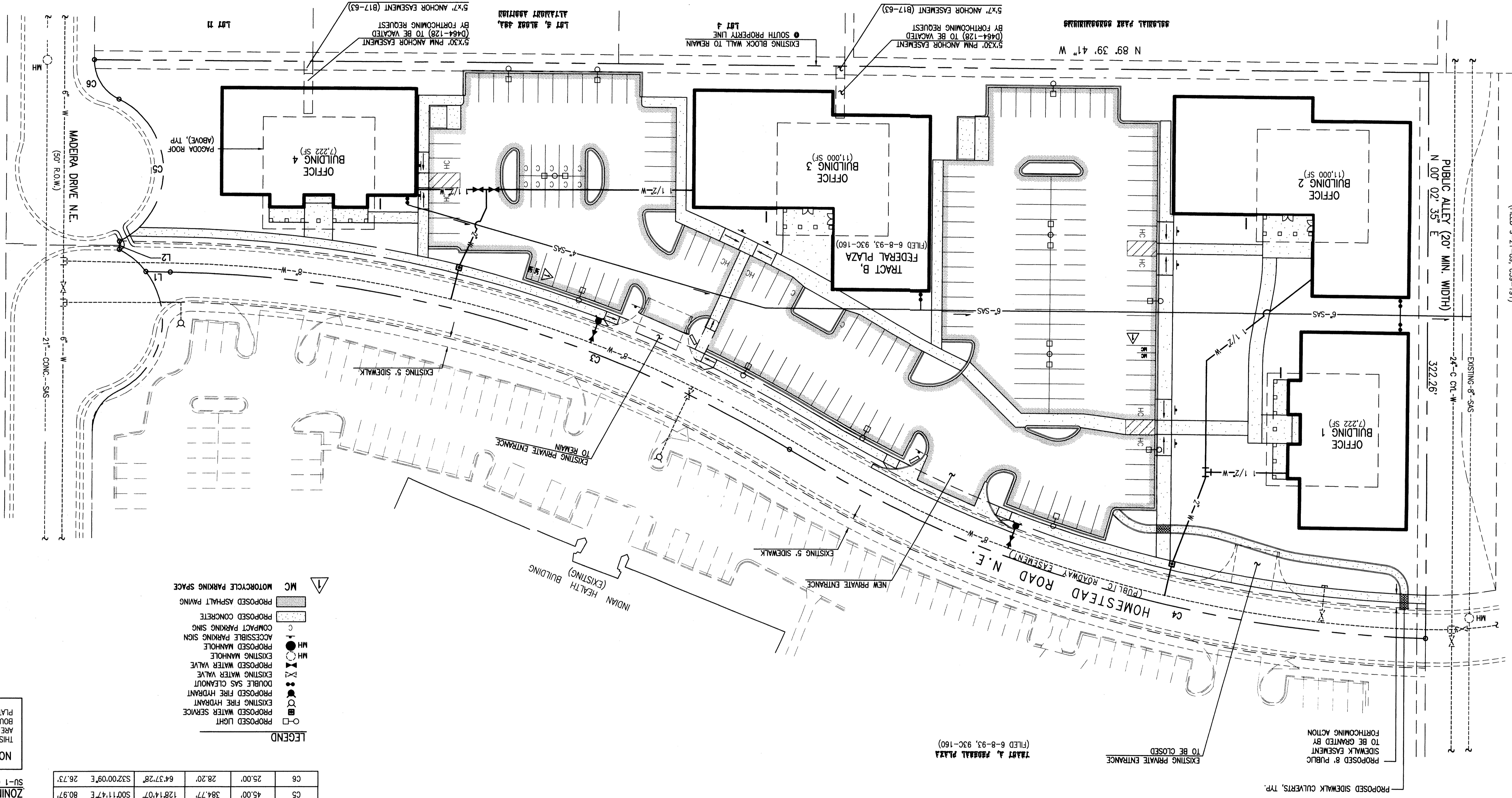
HOMESTEAD OFFICE PARK CONCEPTUAL UTILITY PLAN

DESIGNED BY	GM
DRAWN BY	RRV
APPROVED BY	GM

NO.	DATE	BY	REVISIONS
6/05	G.M.		CREATE THIS UTILITY SHEET, ADD MOTORCYCLE PARKING

JOB NO.	2006.026.1
DATE	06-2006
SHEET	7 OF 7

Plot Date: 06-06-2006
 Plot Time: 11:54 am
 File Name: 00261.DWG



LEGEND

- PROPOSED LIGHT
- PROPOSED FIRE HYDRANT
- PROPOSED WATER SERVICE
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPOSED WATER VALVE
- EXISTING MANHOLE
- PROPOSED MANHOLE
- ACCESSIBLE PARKING SIGN
- COMPACT PARKING SIGN
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVING
- △ MC MOTORCYCLE PARKING SPACE

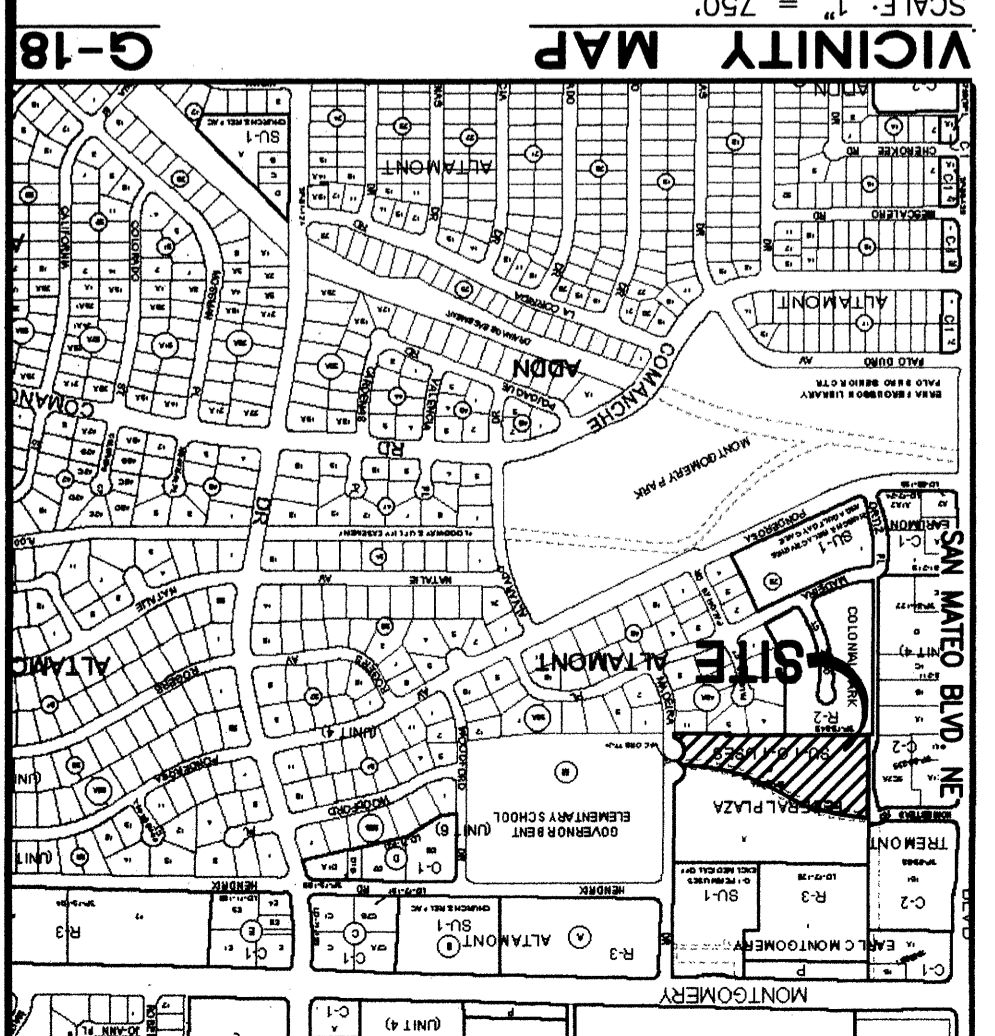
CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD
C3	704.82'	369.06'	300.00°	573.58'±E 364.86'
C4	734.82'	380.39'	300.00°	573.58'±E 380.39'
C5	45.00'	384.77'	128.14°±E	500.11'±E 80.97'
C6	25.00'	28.20'	64.37°±E	537.00'±E 26.73'

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 88°58'38" W	18.75'
L2	S 00°18'33" W	4.63'

- SITE PLAN NOTES**
- SETBACKS SHALL BE PER THE 0-1 ZONE EXCEPT AT THE NE CORNER OF BUILDING 4 AS SHOWN.
 - TOTAL SQUARE FOOTAGE: 36,444
 - NET LEASABLE AREA = 80% OF GROSS = 29,155
 - REQUIRED PARKING = 1 SPACE/200 SF LEASABLE AREA = 146 SPACES
 - PARKING PROVIDED = 155 SPACES
 - ACCESSIBLE PARKING REQUIRED = 8 (8 PROVIDED)
 - COMPACT SPACES ALLOWED = 25% = 39 (12 PROVIDED)
 - BICYCLE SPACES REQUIRED = 1/20 VEHICLE SPACES = 8 (12 PROVIDED)



NOTE:
 THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA AND EXISTING EASEMENTS SHOWN FROM THE PLAT OF TRACTS A & B FEDERAL PLAZA FILED 6-8-93 (93C-160).

