

PROJECT # 1004937

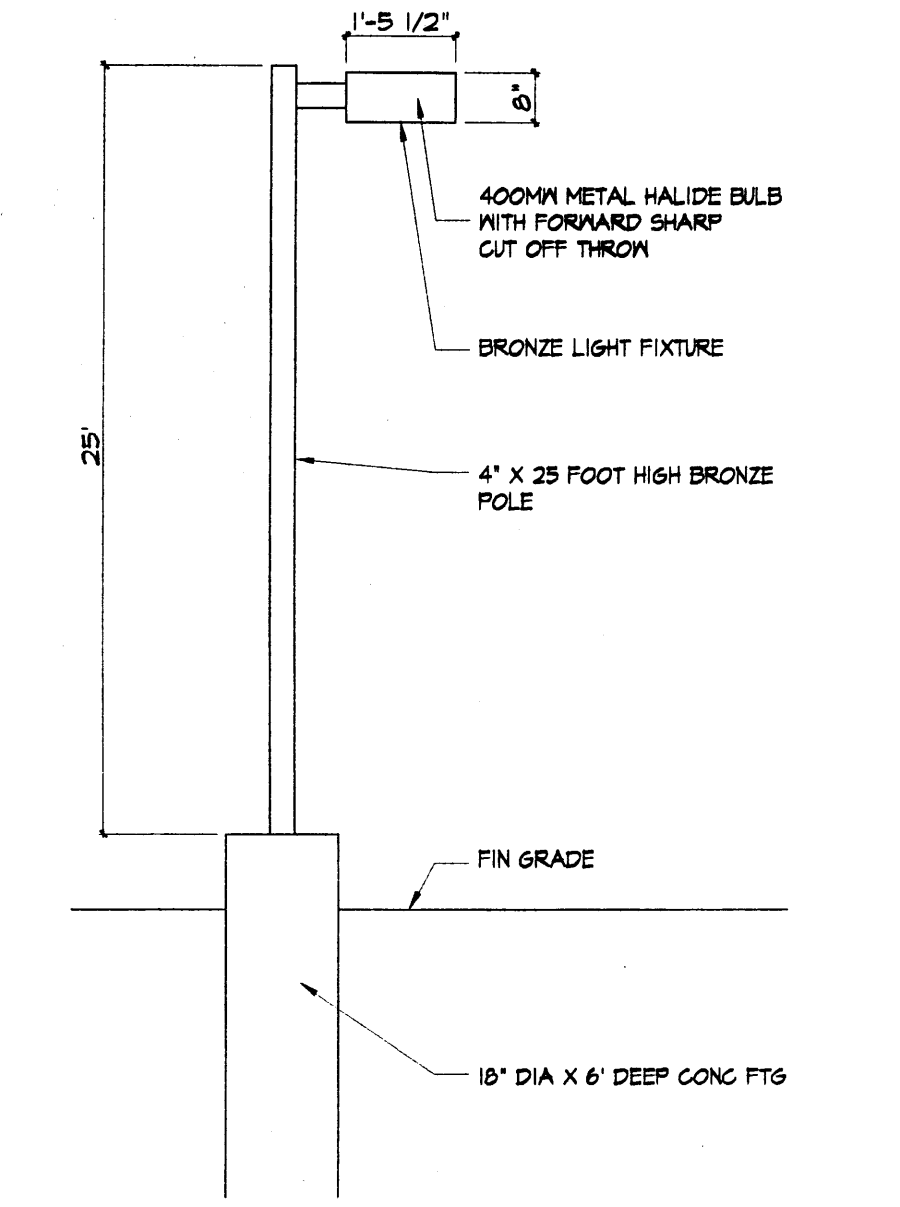
PROJECT NUMBER: 1004937

Application Number: 06 DAB-00789

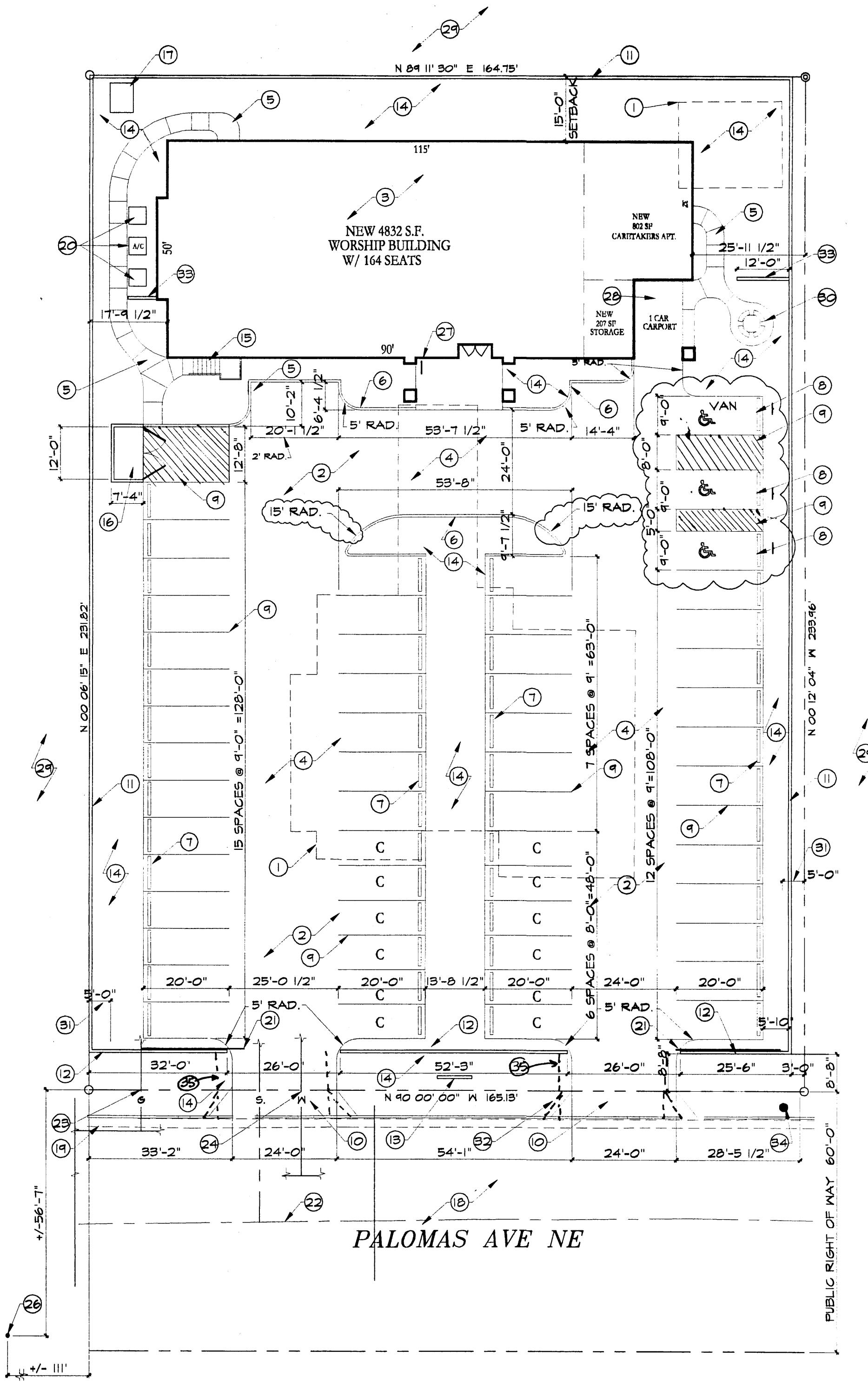
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way of for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i> Traffic Engineering Transportation Division	6-19-06 Date
<i>[Signature]</i> Water Utility Department	6-14-06 Date
<i>[Signature]</i> Parks & Recreation Department	6/14/06 Date
<i>[Signature]</i> City Engineer	6/19/06 Date
<i>[Signature]</i> Environmental Health Department (conditional)	6/16/06 Date
<i>[Signature]</i> Solid Waste Management	6/19/06 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	



AS-1 EXTERIOR LIGHT ELEVATION



SITE PLAN scale: 1"=20'-0"

KEYED NOTES:

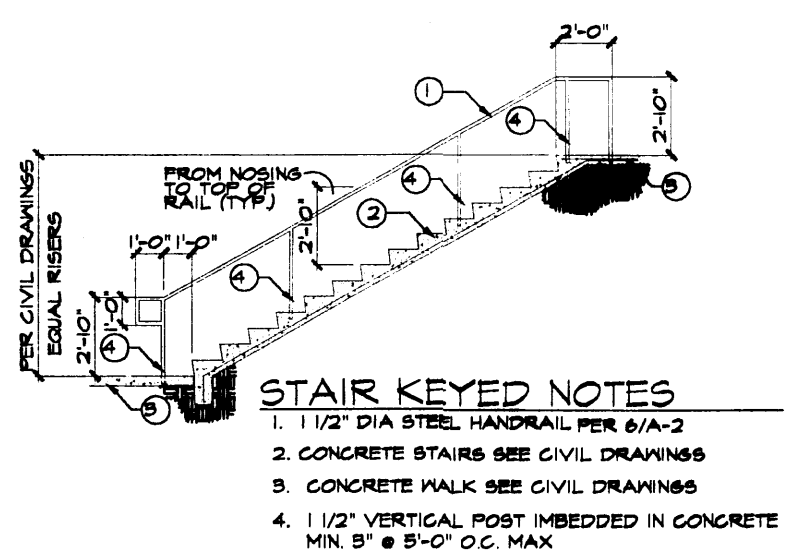
- 1 EXISTING BUILDING TO BE REMOVED
- 2 EXISTING ASPHALT PARKING AREA TO BE REMOVED
- 3 LOCATION OF NEW BUILDING
- 4 NEW CONCRETE PAVING PER CIVIL DWGS
- 5 NEW CONCRET WALK (4' WIDE U.O.N) PER CIVIL DWGS
- 6 NEW CONCRETE CURB
- 7 NEW CONCRETE PARKING BUMPERS PER CIVIL DWGS
- 8 NEW HANDICAPPED PARKING SPACE WITH SIGNAGE PER
- 9 NEW STRIPING PER CIVIL DWGS
- 10 NEW CONCRETE CURB CUT PER CIVIL DWGS PER CITY STANDARD DWG #2425
- 11 NEW 6" HIGH DECORATIVE CMU WALL CMU - EARTHTONE (SMOOTH FINISH W/SPLIT FACED ACCENT)
- 12 NEW 3' HIGH DECORATIVE CMU WALL W/ 3' HIGH WROUGHT IRON FENCE ABOVE CMU - EARTHTONE (SMOOTH FINISH W/SPLIT FACED ACCENT)
- 13 NEW MONUMENT SIGN PER
- 14 NEW LANDSCAPE AREA PER LANDSCAPE DWGS
- 15 NEW CONCRETE STAIRS PER
- 16 NEW REFUSE CONTAINER ENCLOSURE PER
- 17 NEW TRANSFORMER LOCATION PER ELEC. DWGS
- 18 EXISTING ASPHALT STREET TO REMAIN
- 19 EXISTING CURB AND GUTTER TO REMAIN ANY MODIFICATION SHALL BE PER COA
- 20 LOCATION OF NEW A/C UNITS ON CONG. PAD
- 21 NEW 24' WIDE X 6' HIGH WROUGHT IRON ROLLING GATES
- 22 LOCATION OF EXISTING 6" SANITARY WASTE
- 23 LOCATION OF EXISTING GAS LINE U/G
- 24 LOCATION OF EXISTING WATER LINE U/G
- 25 EXISTING 60' PUBLIC RIGHT OF WAY
- 26 LOCATION OF EXISTING FIRE HYDRANT
- 27 LOCATION OF NEW BICYCLE RACK PER
- 28 COVERED PARKING
- 29 EXISTING UNIMPROVED LAND
- 30 NEW LOCATION FOR EXISTING PICNIC TABLE
- 31 SETBACK DIMENSION
- 32 EXISTING 6' WIDE SIDEWALK TO REMAIN
- 33 NEW 4' HIGH CMU SCREEN WALL TO MATCH PERAMETER WALL
- 34 NEW PUBLIC FIRE HYDRANT - CONNECT TO EXISTING 6" A.C IN STREET
- 35 EXIST CURB CUT TO BE REMOVED - INSTALL NEW SIDE WALK + GUTTER PER COA STANDARD DWG. #2425

PARKING AND CIRCULATION CALCULATIONS

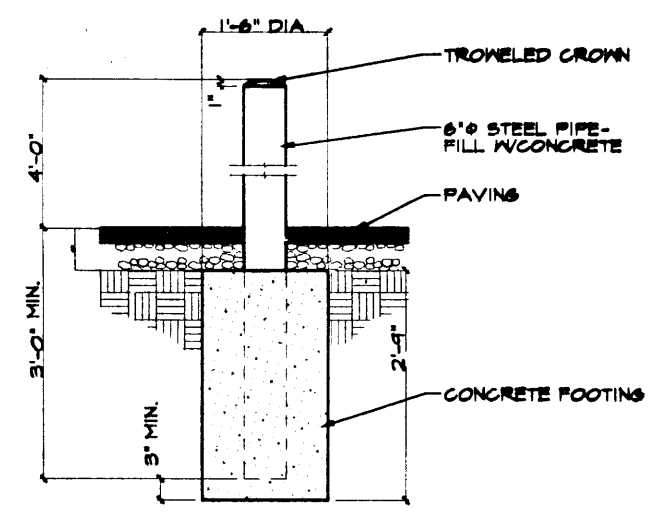
PARKING: 164 SEATS / 4 = 41 SPACES REQUIRED / 57 SPACES PROVIDED
 HANDICAPPED PARKING = 3 SPACES REQUIRED / 3 PROVIDED
 COMPACT PARKING = 59/4 = 14 ALLOWED / 12 PROVIDED (8'X20' SPACES)
 BICYCLE: 58 SPACES / 20 = 3 BICYCLES REQUIRED / 4 BICYCLES PROVIDED
 PARKING AREA: 21,539 S.F.

ZONING DATA

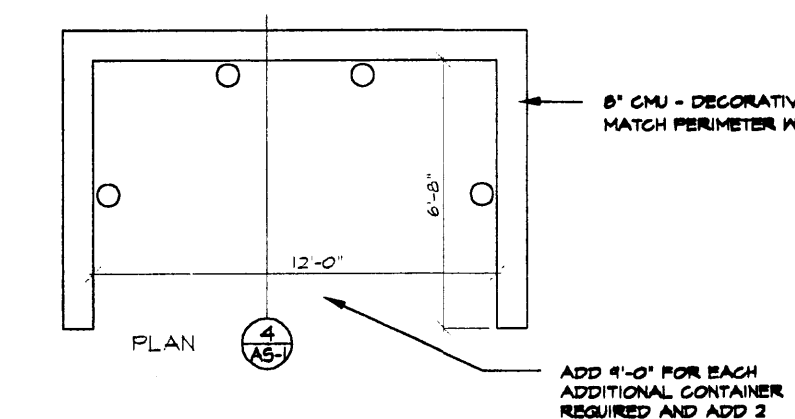
ADDITIONAL IMPERVIOUS AREA: 6,419 S.F.
 LANDSCAPING: 38,610 TOTAL LOT AREA - 15,739 S.F. = 22,871 X 15% = 3,431 S.F. REQUIRED.
 9,615 S.F. PROVIDED
 SETBACKS: FRONT: 11 FEET, SIDE 5 FEET, REAR 15 FEET
 MAXIMUM HEIGHT: 26 FEET
 BUILDING AREA: 5,550 S.F.
 EXISTING ZONING: RD



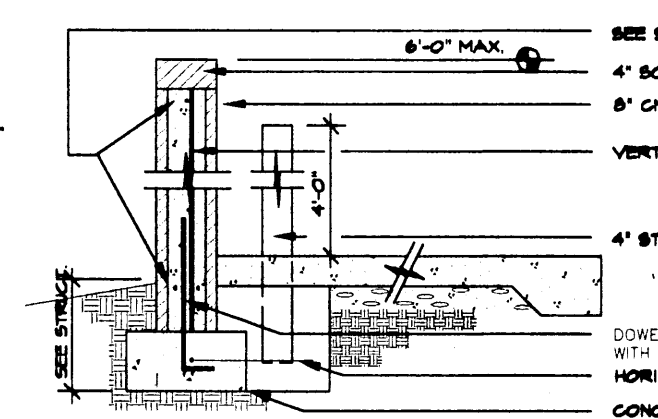
STAIR KEYED NOTES



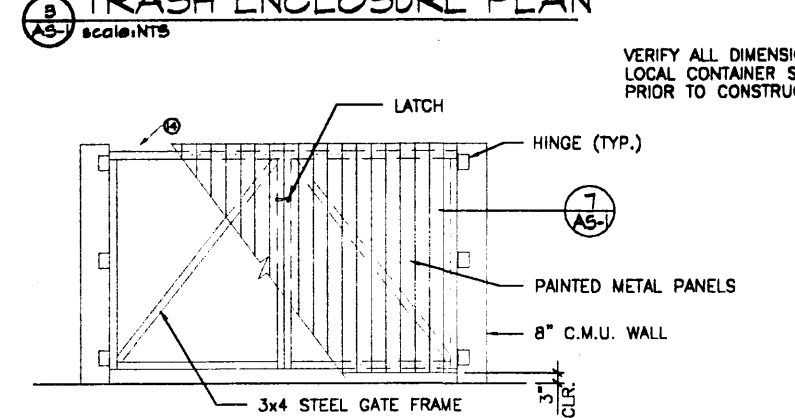
GUARD POST



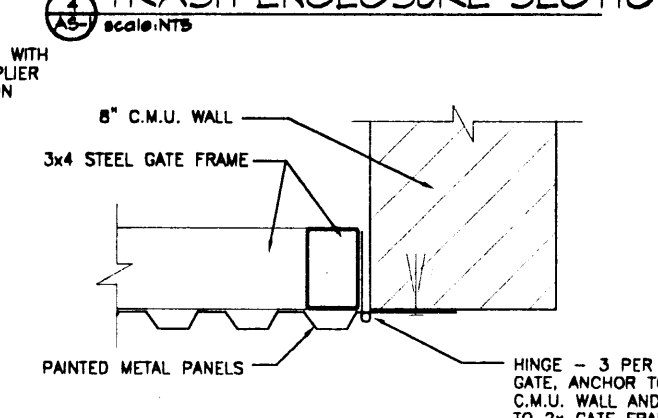
STAIR HANDRAIL



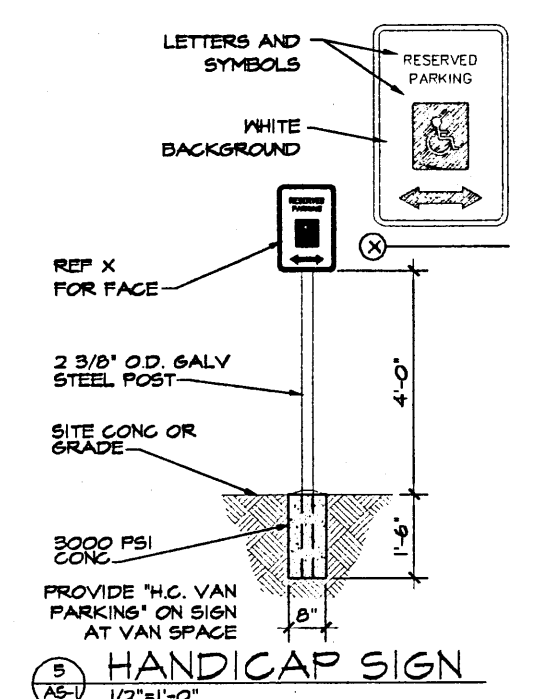
TRASH ENCLOSURE SECTION



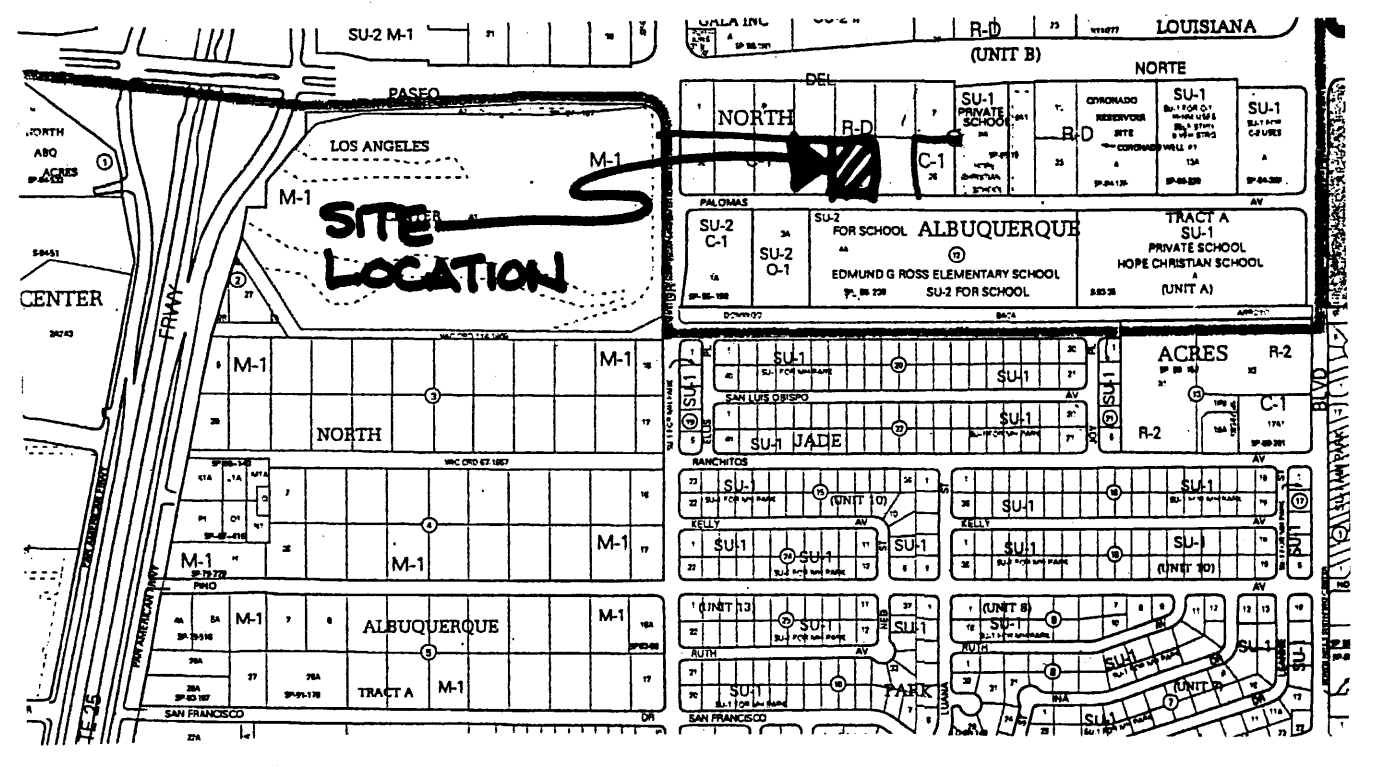
TRASH ENCLOSURE PLAN



JAMB DETAIL



HANDICAP SIGN



VICINITY MAP scale: 1"=20'-0"

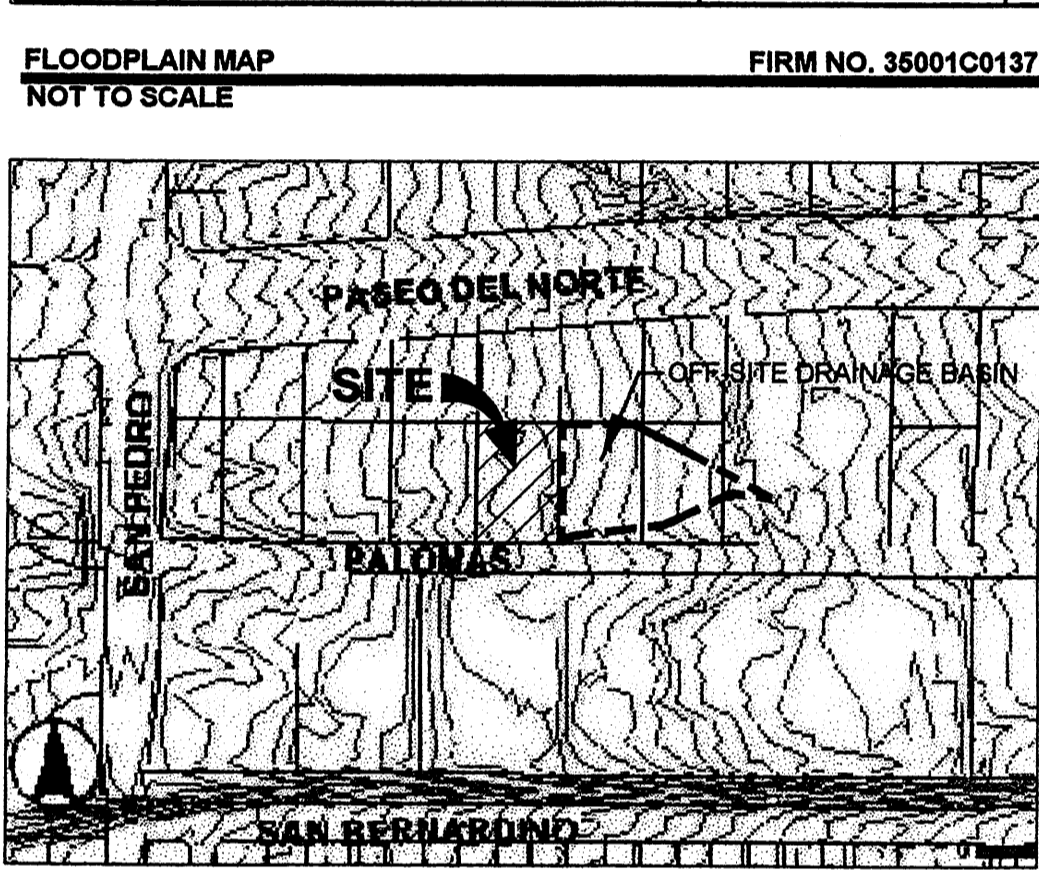
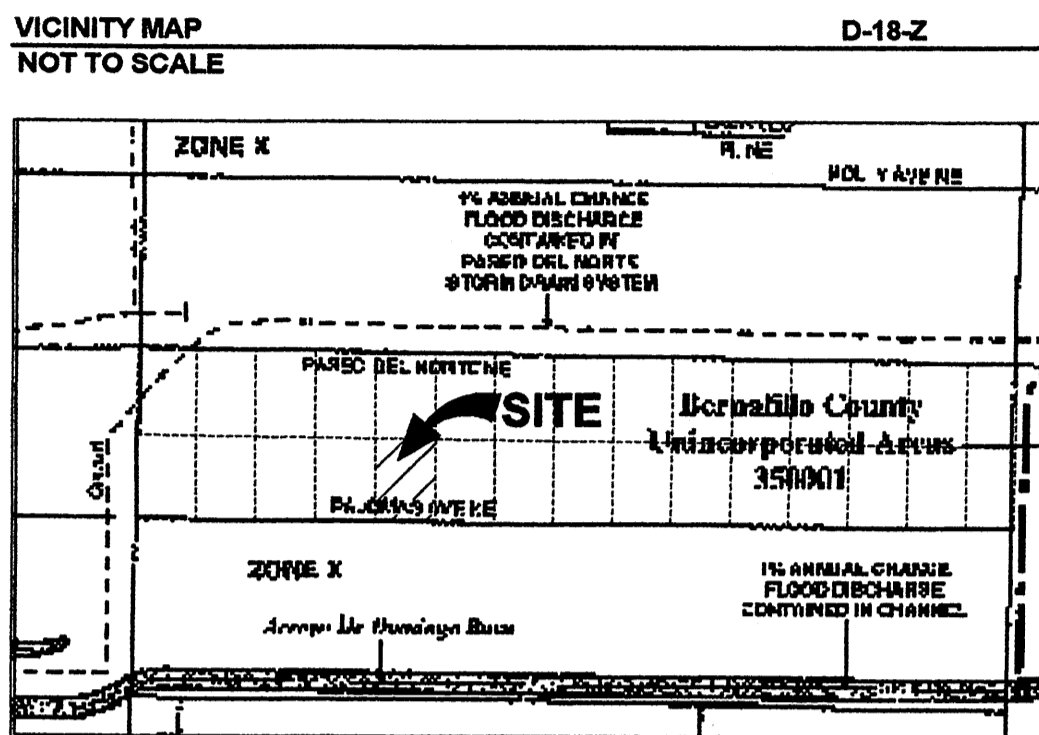
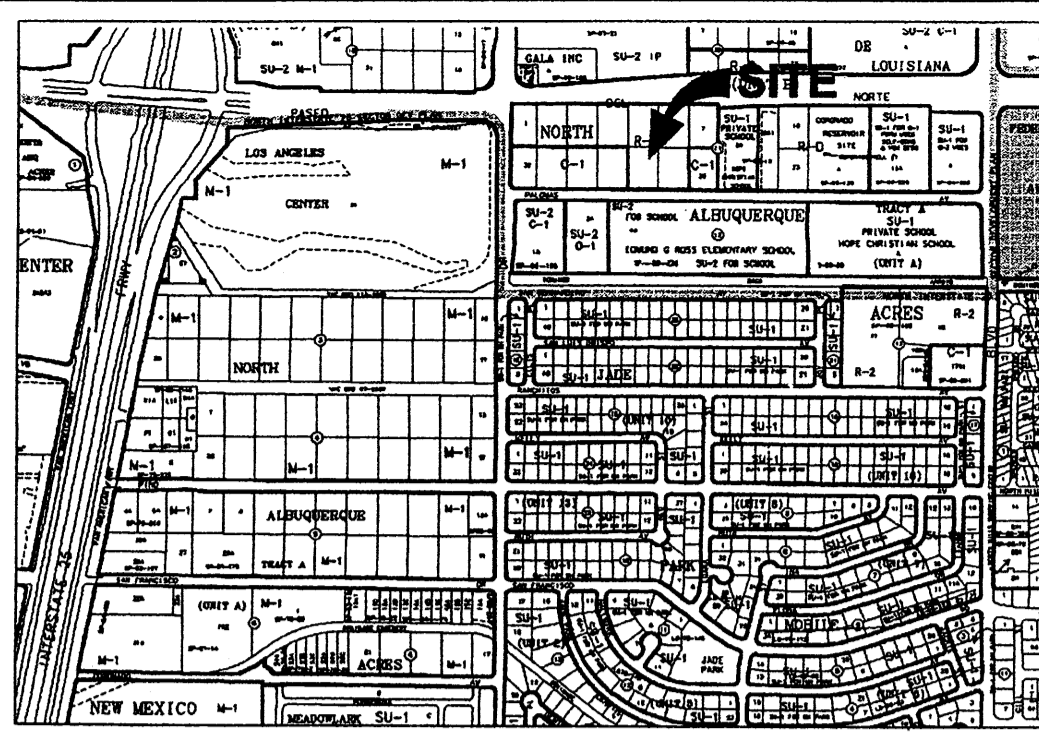
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6501 PALOMAS AVENUE, NE

SHEET TITLE
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

DATE: 06/01/06

SHEET NO.: AS-1

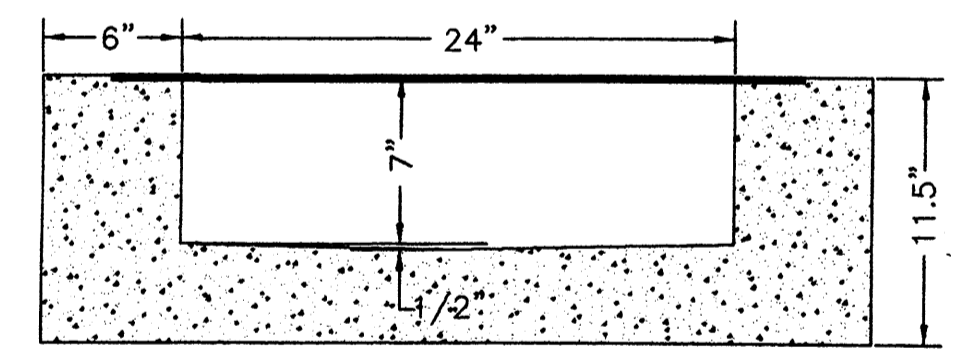
[Handwritten notes]
 L.S. Howell 6/16/06
 Revised from 6/2/06



LEGEND

- 5200 — EXISTING ELEV. CONTOUR
- 5201 — EXISTING ELEV. CONTOUR
- 5206 — PROPOSED ELEV. CONTOUR
- ◆ 08.98 EXISTING SPOT ELEVATION
- EXISTING STRUCTURE (DEMOLISH)
- ◆ 07.50 PROPOSED SPOT ELEVATION
- ◆ TC 85.17 PROPOSED TOP OF CURB AND FLOWLINE ELEVATIONS
- FL 84.67
- △ TEMPORARY BENCHMARK
- FF FINISHED FLOOR
- DIRECTION OF FLOW
- PC CONCRETE PAVEMENT PER COA STD DWG 2405A
- CONCRETE SIDEWALK

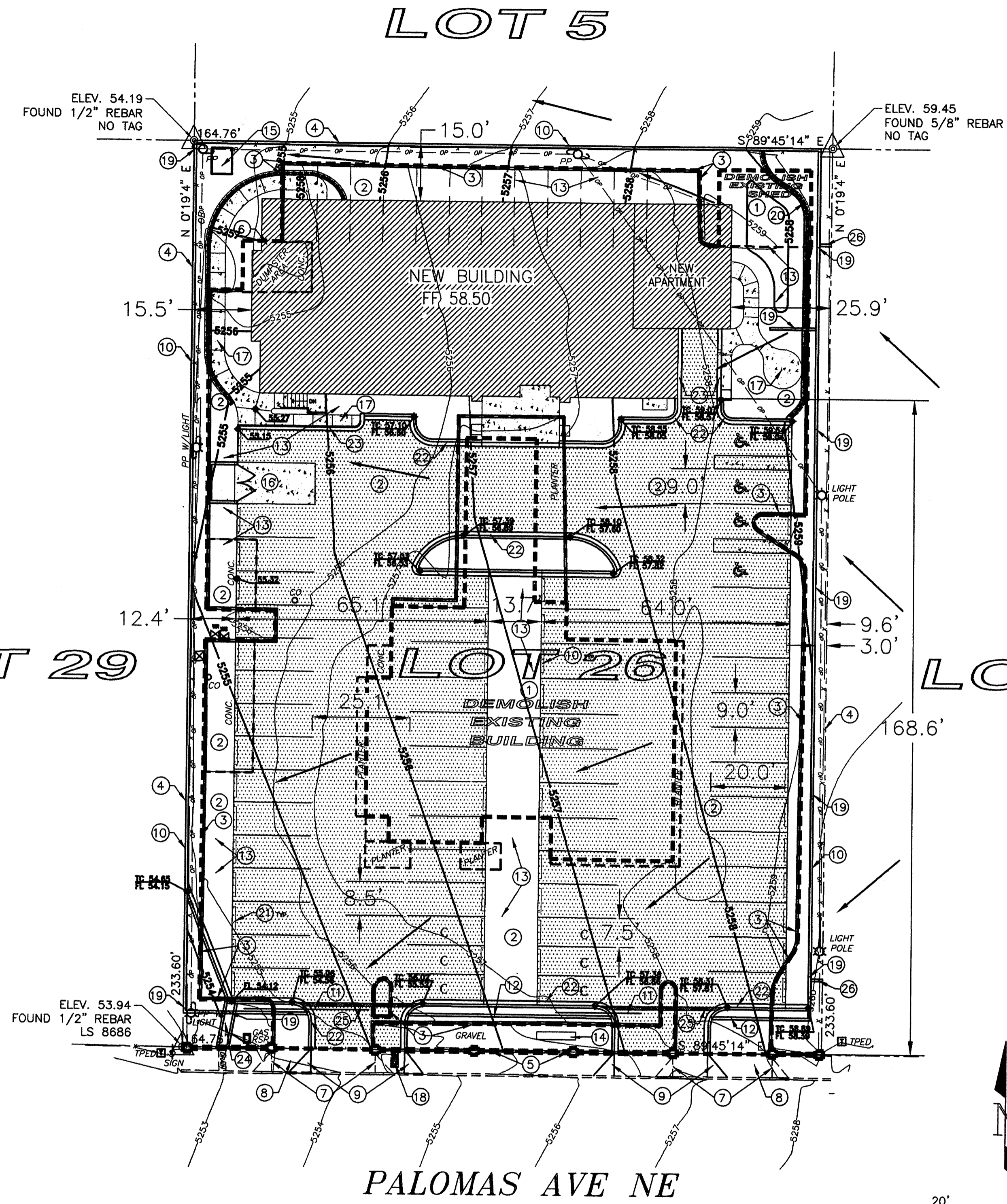
- KEYED NOTES:**
- 1 DEMOLISH EXISTING BUILDING.
 - 2 DEMOLISH EXISTING PAVEMENT.
 - 3 DEMOLISH EXISTING CURB.
 - 4 DEMOLISH EXISTING CHAIN LINK FENCE.
 - 5 DEMOLISH EXISTING WALL.
 - 6 DEMOLISH REFUSE BIN ENCLOSURE.
 - 7 DEMOLISH EXISTING SIDEWALK AND DRIVEPAD.
 - 8 CONSTRUCT NEW "CURB TYPE" SIDEWALK AND STANDARD CURB & GUTTER PER COA STD DWGS 2415 & 2430.
 - 9 CONSTRUCT NEW DRIVEPAD PER COA STD DWG 2425.
 - 10 CONSTRUCT 6' CMU WALL.
 - 11 CONSTRUCT 3' ROLLING GATE.
 - 12 CONSTRUCT 3' CMU/WROUGHT IRON WALL.
 - 13 INSTALL NEW LANDSCAPE.
 - 14 INSTALL MONUMENT SIGN.
 - 15 INSTALL NEW TRANSFORMER.
 - 16 CONSTRUCT NEW REFUSE BIN ENCLOSURE.
 - 17 CONSTRUCT NEW SIDEWALK.
 - 18 REMOVE AND REPLACE W/ HEAVYWEIGHT COVER AND LID PER COA STD DWG 2369.
 - 19 CONSTRUCT DAYLIGHT DRAIN THROUGH CMU WALL.
 - 20 CONSTRUCT SEGMENTAL RETAINING WALL.
 - 21 INSTALL 6' CONCRETE PARKING BUMPER.
 - 22 CONSTRUCT MEDIAN CURB PER COA STD DWG 2415.
 - 23 CONSTRUCT 1 FT WIDE RIBBON CURB.
 - 24 CONSTRUCT 2' WIDE CONCRETE CURB DRAIN.
 - 25 INSTALL PLASTIC SPEED BUMP/WATER BLOCK.
 - 26 CONSTRUCT 1' CMU WALL/WATER BLOCK.



SIDEWALK CULVERT DISCHARGE CAPACITY

$$Q = (1.486 \times A \times R^{0.67} \times S^{0.5}) / n = 15.1 \text{ ft}^3/\text{sec}$$

where Q = Discharge Capacity, ft³/sec
 A = Area, 1.21 ft²
 R = Hydraulic Radius, 0.38
 S = Slope, 0.0432 ft/ft
 n = Mannings Roughness, 0.013



LEGAL DESCRIPTION
 Lot 28, Block 11, Tract A, Unit A, North Albuquerque Acres (City of Albuquerque, New Mexico),

FLOOD HAZARD ZONE
 Lot 28 is located in Flood Hazard Zone X (i.e., areas of 100-year flood with average depths of less than 1 foot) designated on the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Map Panel No. 35001C0137F (November 19, 2003).

DRAINAGE ANALYSIS
 REFERENCE: City of Albuquerque, Development Process Manual -Vol. 2, Section 22.2 - Hydrology, January, 1993.

Principal Design Storm: 100-year 6-hour event
 Precipitation Zone 3 (Table A-1)
 Excess Precipitation (Table A-8):
 E₁ = 0.66 in (Land Treatment 'A'), E₂ = 0.92 in (Land Treatment 'B')
 E₃ = 1.29 in (Land Treatment 'C'), & E₄ = 2.36 in (Land Treatment 'D')

Peak Discharge (Table A-9):
 Q_{P1} = 1.87 ft³/sec-acre (Land Treatment 'A')
 Q_{P2} = 2.60 ft³/sec-acre (Land Treatment 'B')
 Q_{P3} = 3.45 ft³/sec-acre (Land Treatment 'C')
 Q_{P4} = 5.02 ft³/sec-acre (Land Treatment 'D')

On-Site 'Existing' Condition (Lot 28):
 Lot 28 Area = 38,487 ft² x 1 acre/43,560 ft² = 0.88 acres
 13.16% Land Treatment 'C', 86.84% Land Treatment 'D' (Table A-4)

Weighted E = ((E₃ x 0.11 acres) + (E₄ x 0.77 acres))/0.88 acres = 2.22 in
 V₃₆₀ = (2.22 in x 0.88 acres) x 1 ft/12 in = 0.163 acre-ft x 43,560 ft²/acre = 7,117 ft³

Total Q_P = (Q_{P3} x 0.11 acres) + (Q_{P4} x 0.77 acres) = 4.25 ft³/sec

On-Site 'Post Development' Condition (Lot 28):
 29.90% Land Treatment 'C', 70.10% Land Treatment 'D'
 Weighted E = ((E₃ x 0.26 acres) + (E₄ x 0.62 acres))/0.88 acres = 2.04 in

V₃₆₀ = (2.04 in x 0.88 acres) x 1 ft/12 in = 0.150 acre-ft x 43,560 ft²/acre = 6,543 ft³

Total Q_P = (Q_{P3} x 0.26 acres) + (Q_{P4} x 0.62 acres) = 4.02 ft³/sec

Off-Site 'Existing' Condition:
 Offsite Basin = 60,700 ft² x 1 acre/43,560 ft² = 1.39 acres
 61.45% Land Treatment 'C', & 38.55% Land Treatment 'D'
 Weighted E = ((E₃ x 0.85 acres) + (E₄ x 0.54 acres))/1.39 acres = 1.7 in

V₃₆₀ = (1.7 in x 1.39 acres) x 1 ft/12 in = 0.198 acre-ft x 43,560 ft²/acre = 8,612 ft³

Total Q_P = (Q_{P3} x 0.85 acres) + (Q_{P4} x 0.54 acres) = 5.65 ft³/sec

As demonstrated by these calculations, the peak 'Post Development' discharge will be 0.23 CFS less than the 'Existing Condition' peak discharge from Lot 26. The impact of the peak discharge from Lot 26 on the San Pedro Drive storm drain is negligible. Free discharge from Lot 26 is recommended for the following reasons:
 1. The 'Post Development' runoff from Lot 26 is a small percentage of the total runoff from the Palomas Ave. drainage basin.
 2. The San Pedro Drive storm drain has sufficient capacity to convey the 'Post Development' runoff from Lot 26.
 3. There are no storm water ponds on parcels adjacent to Lot 26.

GRADING AND DRAINAGE PLAN

NOTE: THIS IS NOT A BOUNDARY SURVEY. PROPERTY CORNERS, BEARINGS AND DISTANCES SHOWN HEREON ARE FOR ORIENTATION PURPOSES ONLY.

NOTE: ADD 5200 FEET TO PROPOSED SPOT ELEVATIONS TO GET MEAN SEA LEVEL DATUM ELEVATIONS.

BENCHMARK:
 ACS 9-C18
 ELEVATION 5232.47
 ACS ALUMINUM CAP STAMPED "9-C18 1985", RIVITED TO A 2-1/2" ALUMINUM TUBE, SW CORNER INTERSECTION OF WILSHIRE AVE. AND SAN PEDRO AVE.

ENGINEERS CERTIFICATION
 I HEREBY CERTIFY THAT I HAVE PERSONALLY INSPECTED THE SITE AND THAT NO GRADING, FILLING OR EXCAVATION HAS OCCURRED SINCE THE DATE OF THE TOPOGRAPHIC SURVEY (MARCH 22, 2006).

JAMES L. HEWITT, JR., PE
 DATE: 05/16/06

RHOMBUS P.A., INC.
 FACILITIES ENGINEERS/ENVIRONMENTAL CONSULTANTS

e-mail: rhombus@rma.com
 web site: www.RHOMBUSPA.COM

2620 San Mateo NE Suite B Albuquerque, NM 87110
 TEL. (505) 881-8890 FAX (505) 881-8896

PROJECT TITLE:
 DESERT HILLS KINGDOM HALL

6501 PALOMAS AVENUE, N.E.

SHEET TITLE:
 GRADING AND DRAINAGE PLAN

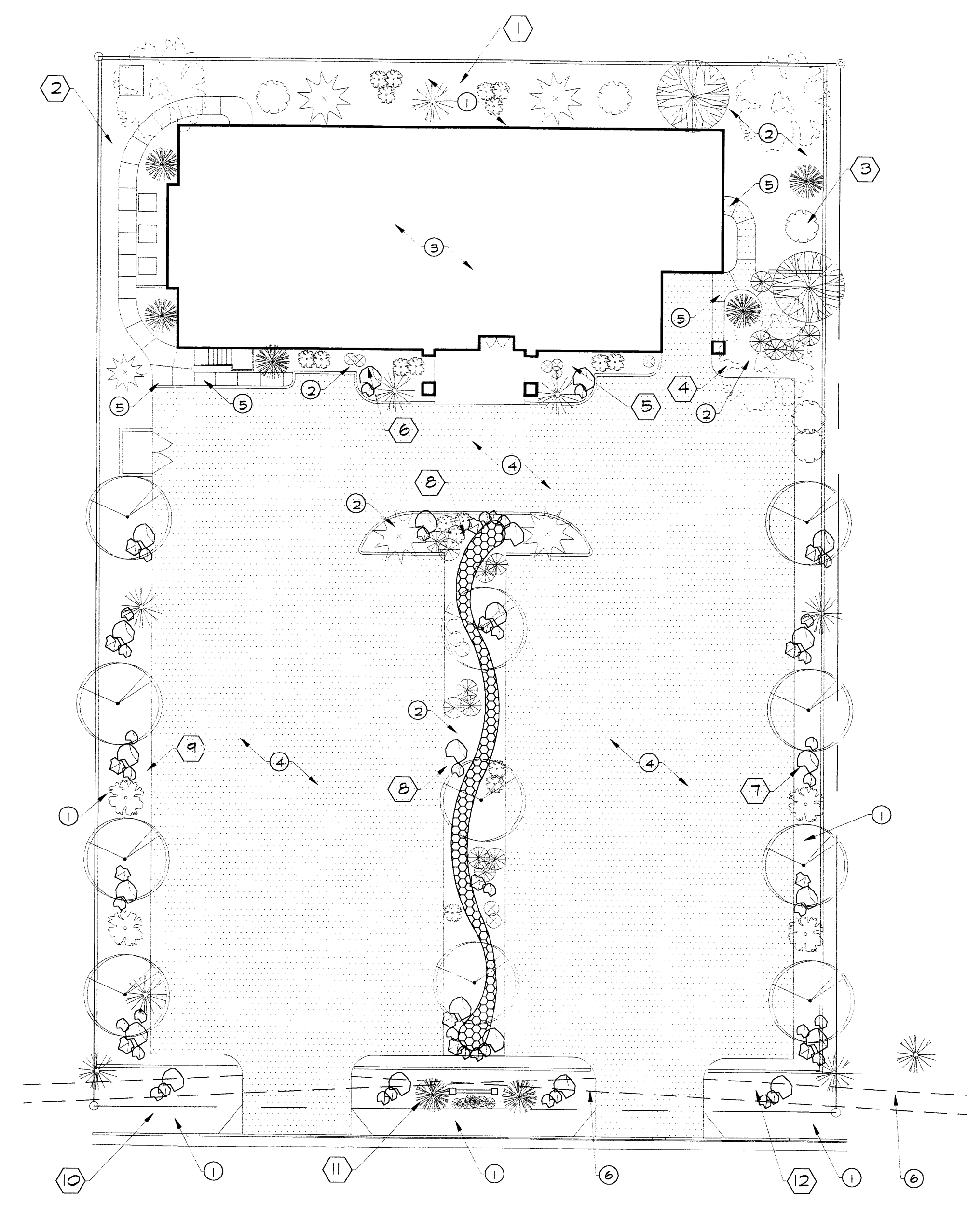
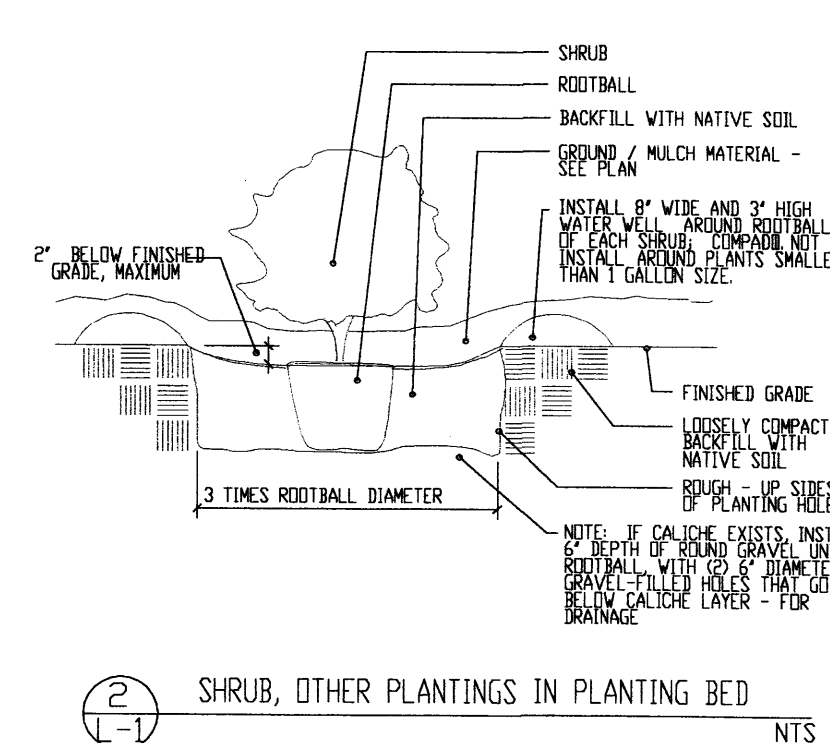
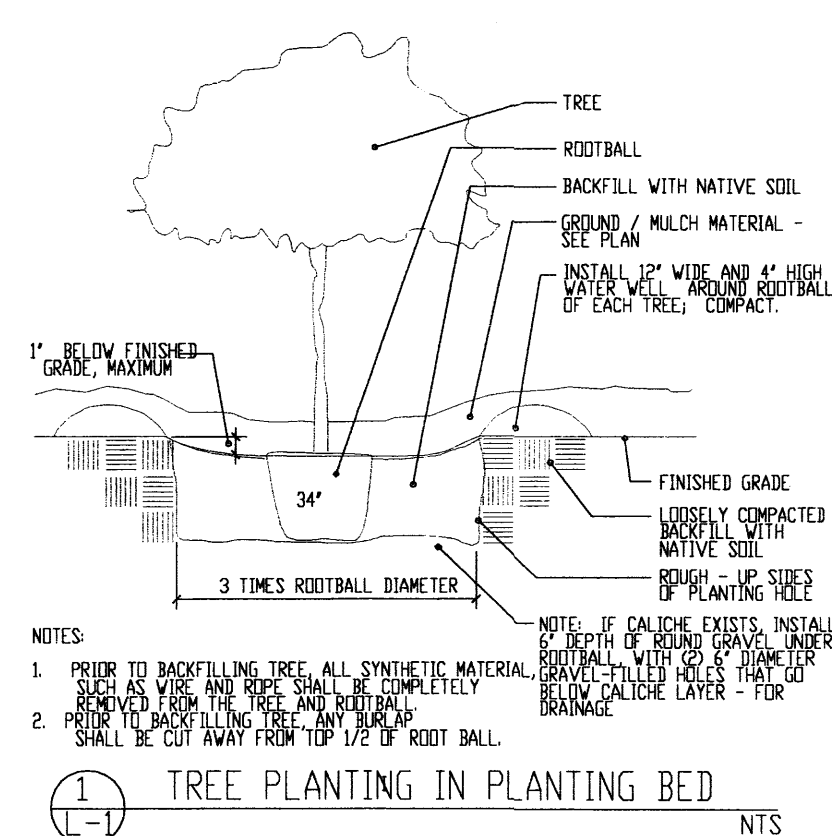
MAP NO: D-18-Z RHOMBUS JOB NO: 06-C2-06 SHEET C-1

GENERAL PLANTING NOTES:

NO EXISTING PLANT MATERIALS INCLUDING PLANT CANES, BRANCHES, ROOTS, ETC. SHALL BE TOLERATED OR REMOVED BY THE OWNER WITHOUT THE WRITTEN APPROVAL FROM THE LANDSCAPE DESIGNER OR A REPRESENTATIVE OF THE CAPITAL GROUND MAINTENANCE DEPT.
 ALL CHANGES SHALL BE COORDINATED WITH ARCHITECT.
 IF A PARTICULAR PLANT SIZE IS UNAVAILABLE, SUBSTITUTE THE NEXT CLOSEST SIZE OR QUALITY AND PLANT SIZE, THE SIZE SMALLER THAN LISTED IN THE PLANT LEGEND.
 PRIOR TO THE START OF ANY PLANTING INSTALLATIONS, SPECIES, SIZES AND QUALITY OF ALL PLANT MATERIALS SHALL BE CONFIRMED AND APPROVED BY LANDSCAPE DESIGNER.
 ALL PLANT LOCATIONS MUST BE APPROVED AND/OR ADJUSTED BY LANDSCAPE DESIGNER. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE OF NEW MEXICO. ANY SYMBOLS OR AS NOT SHOWN SHALL BE APPROVED BY LANDSCAPE DESIGNER.
 PRUNE ALL DECIDUOUS / SEMI-DECIDUOUS TREES TO HAVE THIN, BRANCHED, OPENING CANOPY. ALL PRUNING AND THINNING SHALL BE APPROVED BY LANDSCAPE DESIGNER.
 CLEAN UP ALL TRASH, WEEDS, AND DEBRIS AFTER INSTALLATION IS COMPLETE. RESPONSIBILITY FOR MAINTENANCE SHALL

PLANT LEGEND

SYMBOL	COMMON NAME/ BOTANICAL NAME	QUANTITY	SIZE	IRRIGATION METHOD
	BRADFORD PEAR PYRUS CALLERYANA	PER PLAN	2" CALIPER MINIMUM	PERMANENT (2) - 1/2 GPM BUBBLER EACH TREE ON RISER
	RAYWOOD ASH FRAXINUS OXYCARPA	PER PLAN	2" CALIPER MINIMUM	PERMANENT (2) - 1 GPM BUBBLER EACH TREE ON RISER
	PURPLE LEAF PLUM PRUNUS CERASIFERA	PER PLAN	2" CALIPER MINIMUM	PERMANENT (2) - 1 GPM BUBBLER EACH TREE ON RISER
	MUGO PINE PINUS MUGO	PER PLAN	3'	PERMANENT DRIP IRRIGATION USING PVC LATERALS AND MULTI-OUTLET DRIP EMITTERS ON RISERS - BURY ALL TUBING AND SECURE UNDER MULCH (1) - GPH AT EACH SHRUB
	SPANISH BROOM SPARTIUM JUNCEUM	PER PLAN	3'	
	SNOWBALL VIBURNUM OPULUS ROSEUM	PER PLAN	5 GALLON CONTAINER	
	SPIREA SPIREA	PER PLAN	1 GALLON CONTAINER	
	SALVIA 18" MAX HEIGHT	PER PLAN	5 GALLON CONTAINER	
	CALIFORNIA POPPY ESCHSCHOLZIA CALIFORNICA 18" MAX HEIGHT	PER PLAN	1 GALLON CONTAINER	
	ROSEMARY ROSMARINUS OFFICINALIS	PER PLAN	5 GALLON CONTAINER	
	BOULDER OUTCROPPING	PER PLAN		
	3/8" MINUS TAN GRAVEL MULCH - 3" DEPTH ON FILTER FABRIC	PER PLAN	-	
	2 1/2" SMOOTH RIVER STONES MULCH - 5" DEPTH ON FILTER FABRIC	PER PLAN	-	



LANDSCAPE NOTES:

PROPERTY OWNER SHALL MAINTAIN ALL PLANTING & NON-PLANTING ELEMENTS SHOWN ON THIS PLAN.

IT IS THE INTEN OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. PLANTING RESTRICTION APPROACH.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. ELEMENTS SHOWN ON THIS PLAN.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.

GRAVEL OVER FILTER FABRIC SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECIEVE NATIVE SEED.

WATER CONSERVATION

THIS PROJECT SHALL COMPLY WITH ALL CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING & WASTE WATER ORDINANCES.

IRRIGATION NOTE

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECIEVE (5) 1.0 GPH DRIP EMITTERS AND SHRUBS TO RECIEVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH DRIP VALVE WILL BE APPROX. 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDINGLY TO THE SEASON.

KEYED NOTES:

- 1 LANDSCAPE BUFFER AREA
- 2 GENERAL LANDSCAPE AREA
- 3 NEW BUILDING
- 4 NEW CONCRETE PAVING PER CIVIL DWGS
- 5 NEW CONCRETE WALK (4' WIDE U.O.N) PER CIVIL DWGS
- 6 LINE OF SIGHT FROM 13 FT BACK FROM CURB TO 250' ALONG STREET.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA - 38,487 S.F..
IMPERVIOUS AREA CALCULATIONS:
 BUILDING: 5,847 S.F.
 PARKING: 20,036 S.F.
 WALKS: 1,021 S.F.
 TOTAL IMPERVIOUS AREA: 26,904 S.F.

PERVIOUS AREA CALCULATIONS:

PLANTING AREA 1: 2,427 S.F.
 PLANTING AREA 2: 565 S.F.
 PLANTING AREA 3: 597 S.F.
 PLANTING AREA 4: 395 S.F.
 PLANTING AREA 5: 230 S.F.
 PLANTING AREA 6: 307 S.F.
 PLANTING AREA 7: 892 S.F.
 PLANTING AREA 8: 2,009 S.F.
 PLANTING AREA 9: 1,680 S.F.
 PLANTING AREA 10: 285 S.F.
 PLANTING AREA 11: 482 S.F.
 PLANTING AREA 12: 256 S.F.
 TOTAL PERVIOUS AREA: 10,125 S.F.

LANDSCAPE AREA REQUIREMENTS:

LOT AREA: 38,610 S.F.
 BLDG & PARKING: 25,883 S.F.
 NET AREA: 12,727 S.F.
 15% NET AREA 1,909 S.F.

REQUIRED LANDSCAPE: 1,909 S.F.
 PROVIDED LANDSCAPE: 10,125 S.F.

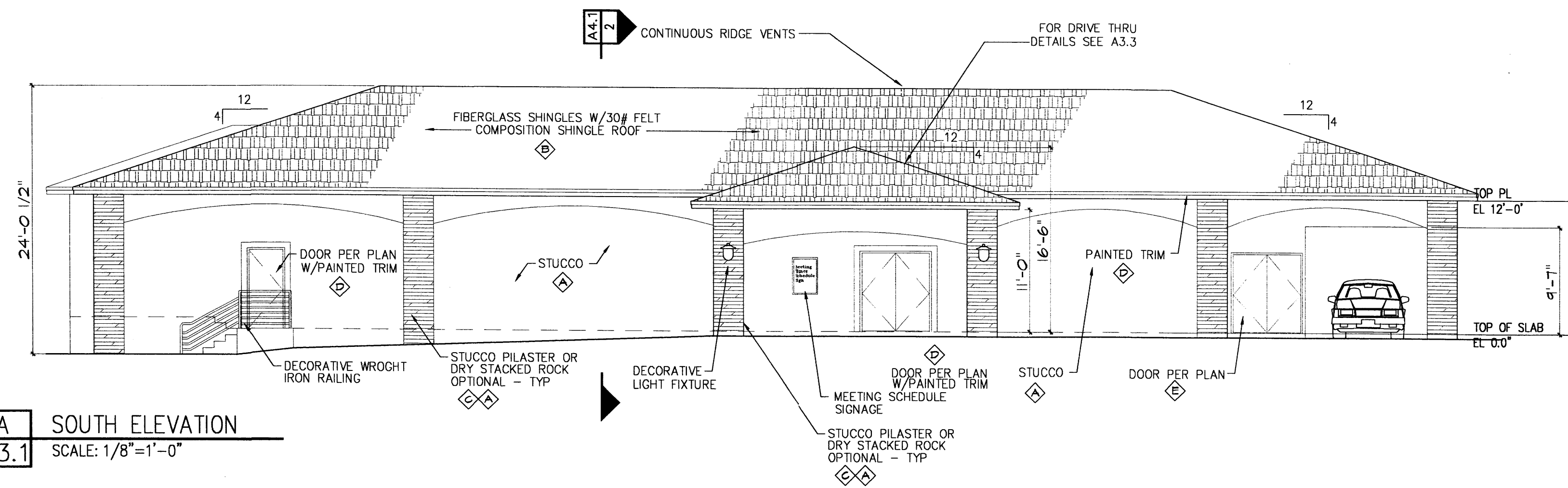
**Kingdom Hall
of
Jehovah's Witnesses**

6501 PALOMAS AVENUE, NE

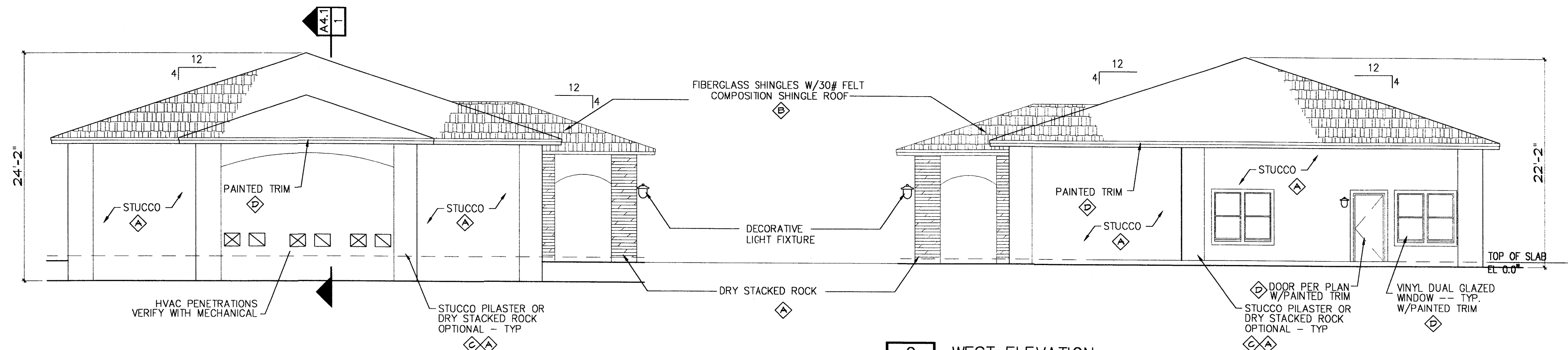
SHEET TITLE
LANDSCAPE PLAN

DATE: 06/01/06

SHEET NO.: L-1

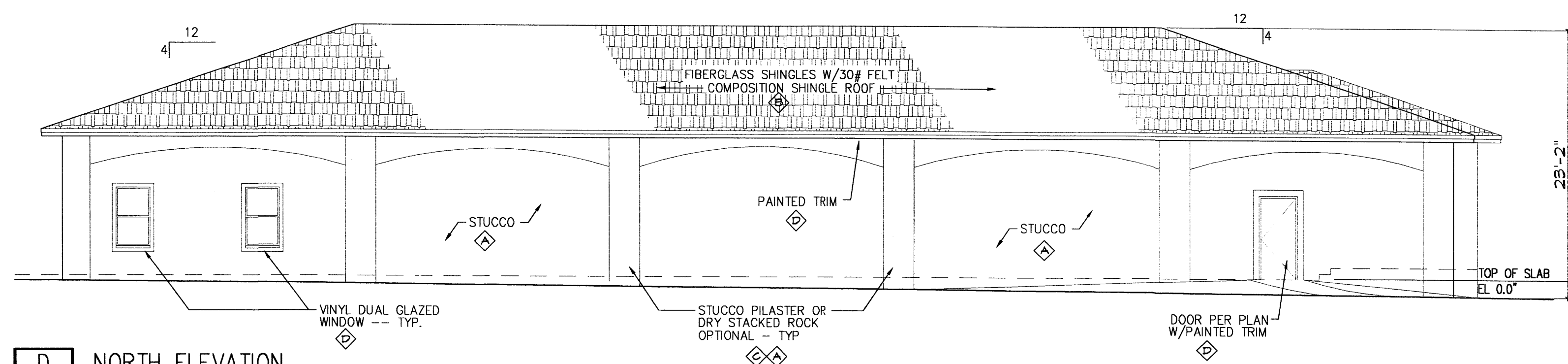


A SOUTH ELEVATION
A3.1 SCALE: 1/8"=1'-0"



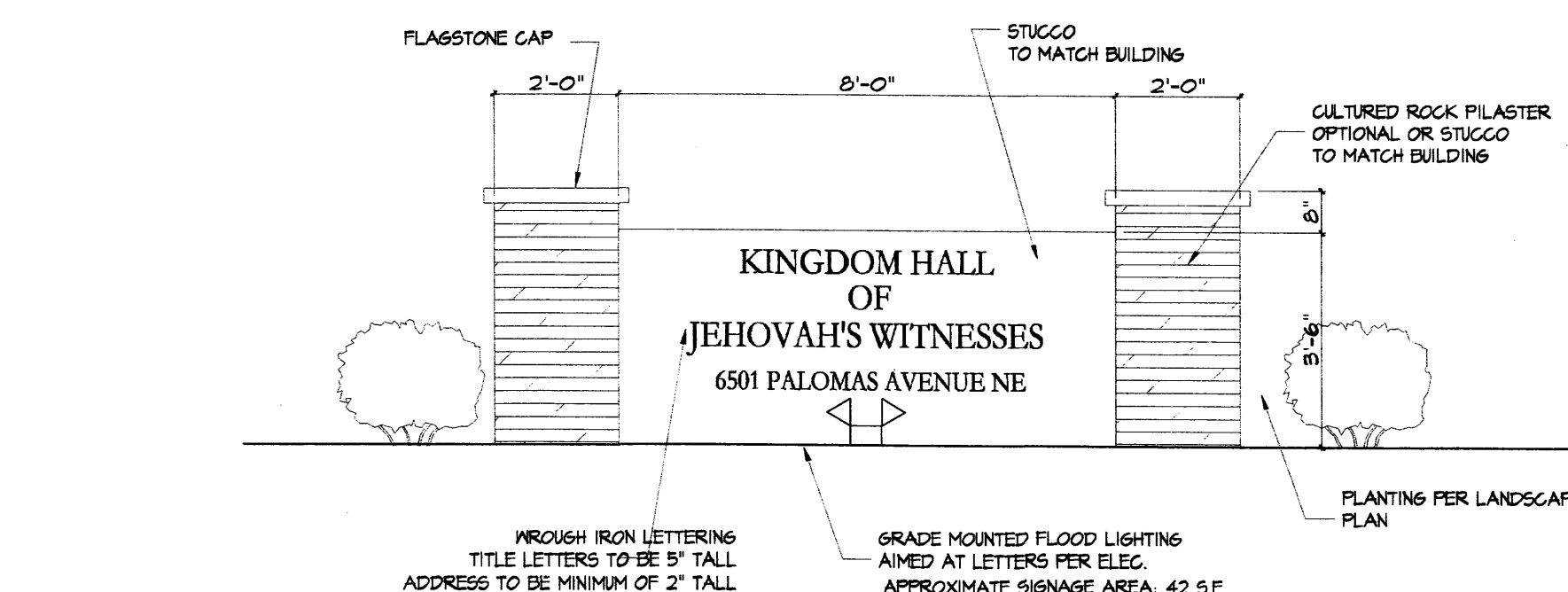
B WEST ELEVATION
A3.1 SCALE: 1/8"=1'-0"

C WEST ELEVATION
A3.1 SCALE: 1/8"=1'-0"

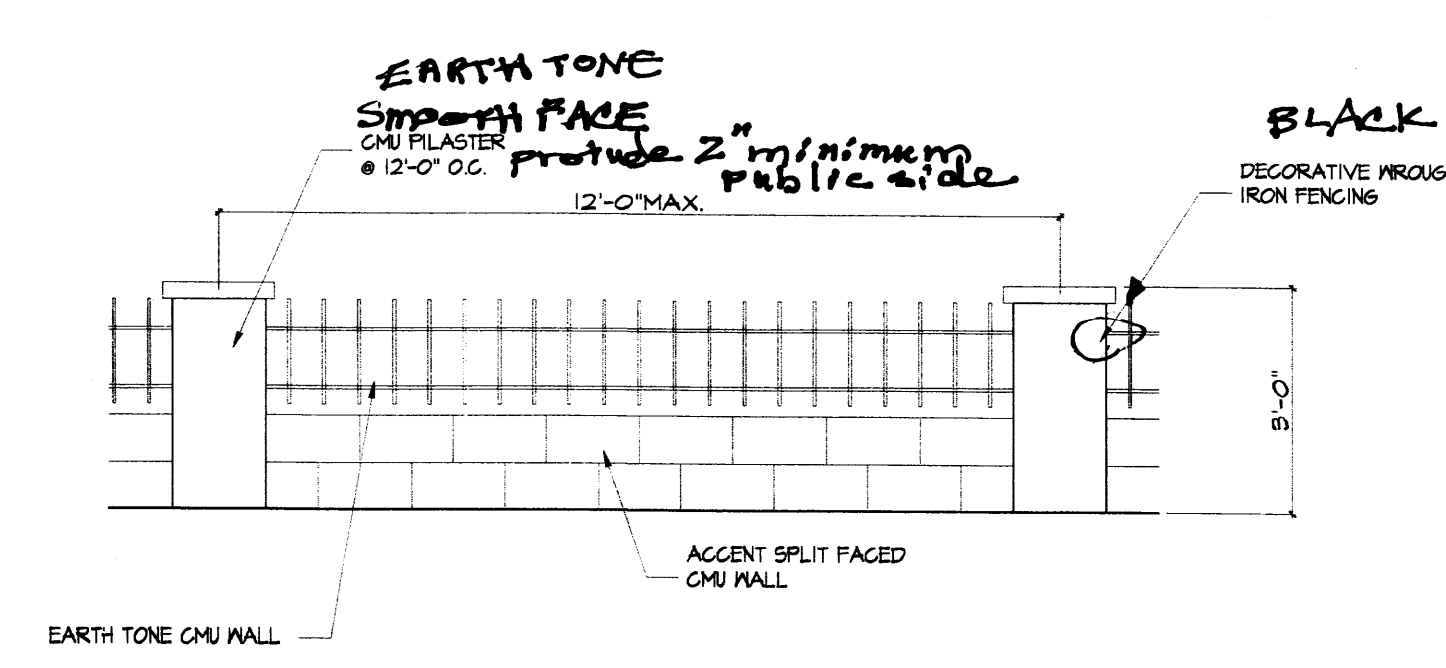


D NORTH ELEVATION
A3.1 SCALE: 1/8"=1'-0"

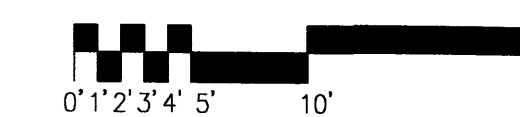
COLOR / MATERIAL SCHEDULE	
MATERIAL	COLOR
◇ STUCCO	EARTHTONE EL REY #115 "COTTONWOOD"
◇ ASPHALT SHINGLES	GRAY OWENS CORNING "ESTATE GREY"
◇ STACKED ROCK COLUMNS (OPTIONAL)	OWENS CORNING CULTURED STONE PRO FIT - "PHEASANT" ALPINE LEDGESTONE SERIES
◇ TRIM PAINT	OFF WHITE OLYMPIC PAINTS #C-20-2 "GARLIC CLOVE"
◇ TRIM PAINT	MATCH STUCCO COLOR



MONUMENT SIGN ELEVATION
A3.1 scale: 1/2"=1'-0"



WALL FACING PALOMAS AVENUE ELEVATION
A3.1 scale: 1/2"=1'-0"



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of
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6501 PALOMAS AVENUE, NE

SHEET TITLE
EXTERIOR ELEVATIONS

STATE OF NEW MEXICO

 REGISTERED ARCHITECT

DATE
06/01/06

SHEET NO.
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