

Close Out Please

#10



COMPLETED 06/19/06 SH
DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00789 (SBP)

Project # 1004937

Project Name: Kingdom Hall of Jehovahs

Witnesses

Agent: Jeffrey Howell

Phone No.: 821-7891

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6/14/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: X PER COMMENT SHEET PROVIDED

AL MEETING

WG

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): address Planning comments

3 Copies

AL Sam 6/19/06

Planning must record this plat. Please submit the following items:

-The original plat and a mylar copy for the County Clerk.

-Tax certificate from the County Treasurer.

-Recording fee (checks payable to the County Clerk). RECORDED DATE: _____

-Tax printout from the County Assessor.

3 copies of the approved site plan. Include all pages.

County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

Project Number 1004937

#10



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

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CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

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- Copy of recorded plat for Planning.

Project Number

1004937

**DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet**

DRB- 1004937 Item No. 10 Zone Atlas D-18

DATE ON AGENDA 6-14-06

INFRASTRUCTURE REQUIRED YES NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- SKETCH PLAT PRELIMINARY PLAT FINAL PLAT
 SITE PLAN REVIEW AND COMMENT SITE PLAN FOR SUBDIVISION
 SITE PLAN FOR BUILDING PERMIT

<u>No.</u>	<u>Comment</u>
1)	Applicant should provide a picture to verify that the Palomas improvements are permanent.
2)	Work within City right-of-way needs to follow City Standards. Where are the references to the City Standard Drawings?
3)	Why isn't there a van accessible ADA stall?
4)	The other ADA stall needs to have a 5' wide striped area.
5)	How is ADA being handled at the new curb cuts?
6)	End island radii need to be 15'.
7)	How is clear sight onto Palomas being met with the proposed wall? (need ~ 250')

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
June 14, 2006
DRB Comments**

ITEM #10

PROJECT # 1004937 APPLICATION # 06-00789

RE: Lot 28, Block 11, Tract A, N.A.A. Unit A/spbp

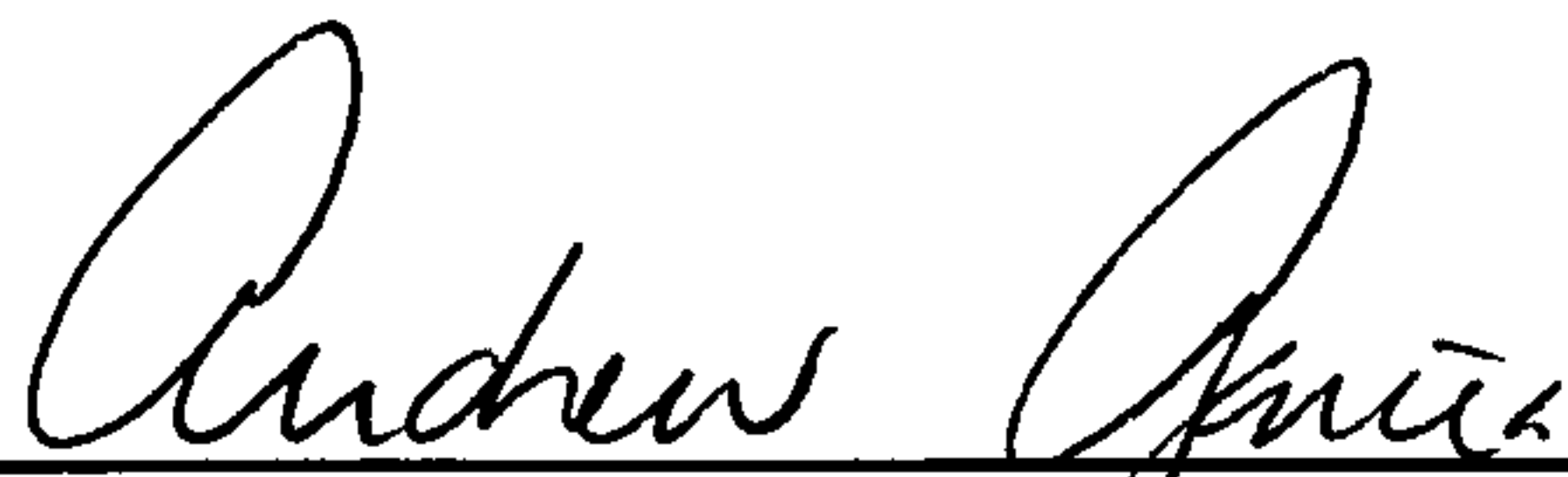
Title Block should read "Site Development Plan for Building Permit".

The landscape plan is missing some required statements.

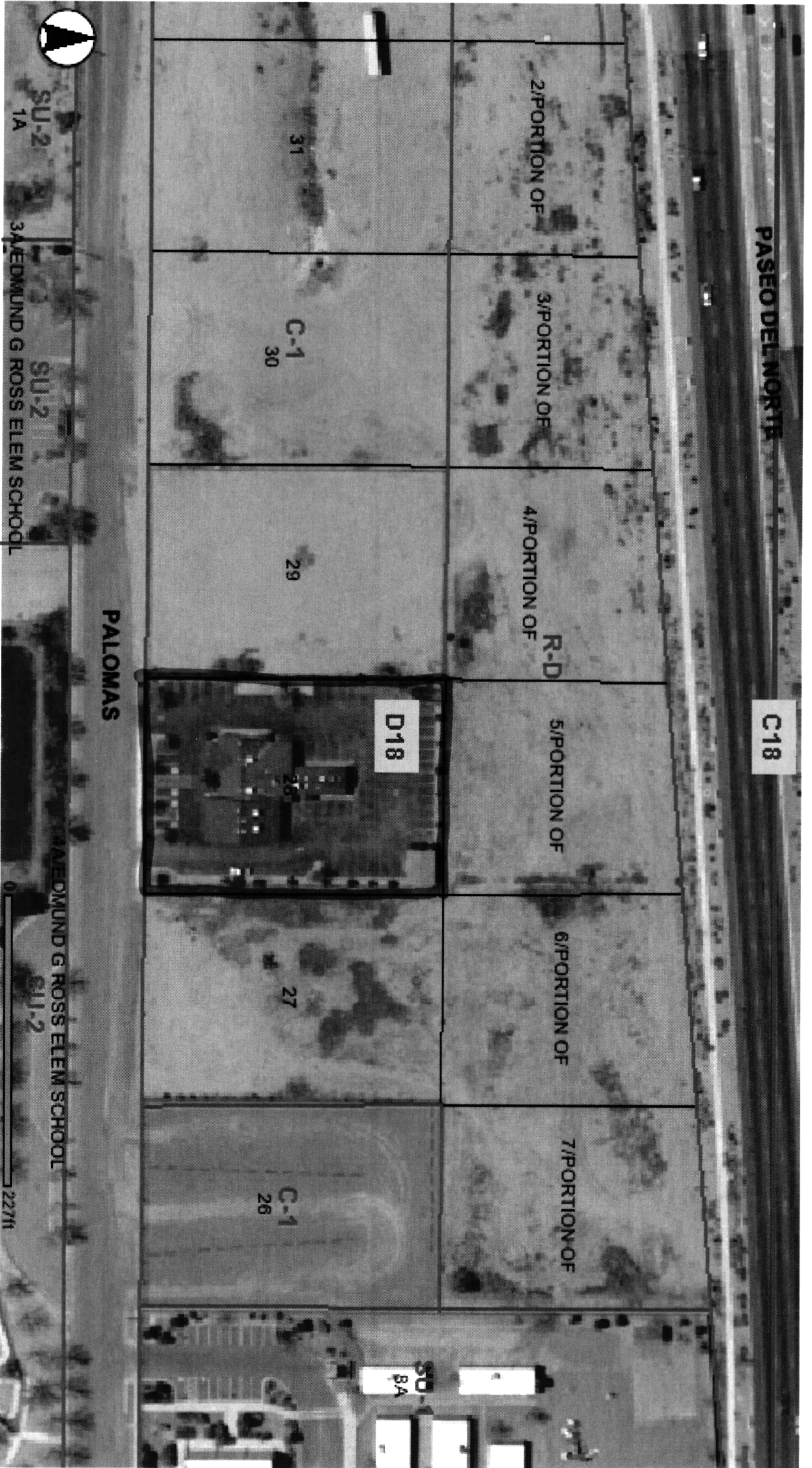
The type of irrigation system is missing on the landscape plan.

Wall design is required for the walls on Palomas.

The existing zoning is RD, please remove the remaining zoning.



Andrew Garcia, Planning Alternate
924-3858 Fax 924-3864 agarcia@cabq.gov



C18

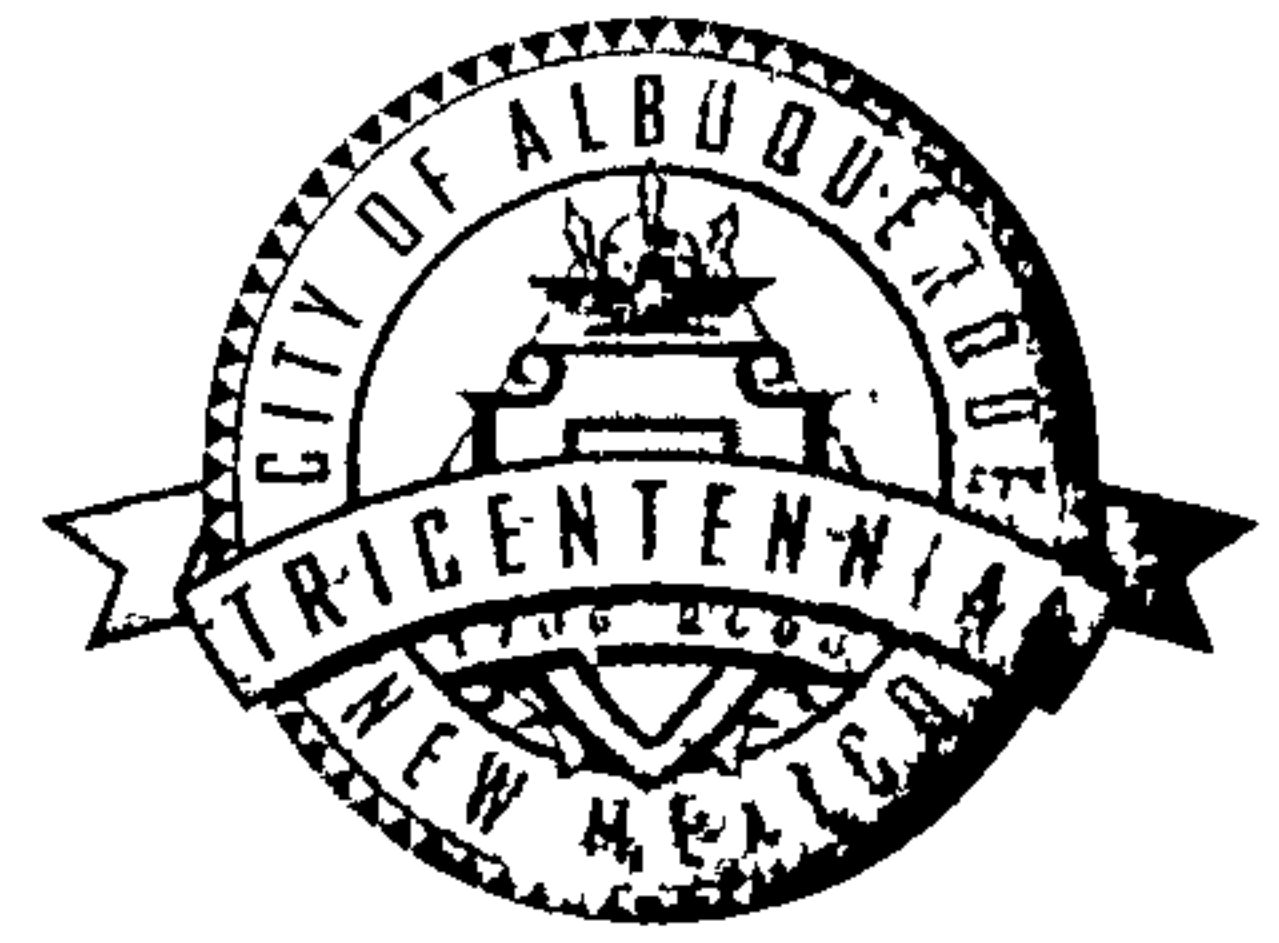
D18

#10

#100 4937

6/14/06

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004937

AGENDA ITEM NO: 10

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: June 14, 2006



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

June 14, 2006

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 11:35 A.M.
B. Changes and/or Additions to the Agenda
C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000418**
06DRB-00705 Major-Two Year SIA
- LEGACY CHURCH request(s) the above action(s) for all or a portion of Tract(s) A-1, **LANDS OF VICTORY LOVE FELLOWSHIP**, zoned SU-1 for Church and related facilities, located on CENTRAL AVE NW, between AIRPORT RD NW and UNSER BLVD NW containing approximately 15 acre(s). [REF: 00DRB-01145, 04DRB-00824, 03EPC-01471] (K-10)

WITHDRAWN AT THE AGENT'S REQUEST

2. **Project # 1000945**
06DRB-00710 Major-Two Year SIA

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for SCOTT G. COTE request(s) the above action(s) for all or a portion of Lot(s) 22, Block(s) 26, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/IP, located on EAGLE ROCK NE, between SAN PEDRO NE and LOUISIANA BLVD NW containing approximately 1 acre(s). [REF: DRB-99-75] (C-18) **TWO-YEAR SIA WAS APPROVED.**

3. **Project # 1003403**
06DRB-00707 Major-Two Year SIA

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) F, **THE RESERVE @ THE TRAILS**, zoned R-D residential and related uses zone, developing area, located on WOODMONT AVE NW, between RAINBOW BLVD NW and OAKRIDGE ST NW containing approximately 17 acre(s). [REF: O4DDRB01493] (C-9) **TWO-YEAR SIA WAS APPROVED.**

4. **Project # 1004556**
06DRB-00708 Major-Amended
SiteDev Plan BldPermit

BOHANNAN HUSTON agent(s) for MASTHEAD ROAD LAND PARTNERS LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between BARTLETT ST NE and WASHINGTON ST NE containing approximately 10 acre(s). [REF: 05DRB-01781] (D-17) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PRIVATE SANITARY SEWER EASEMENTS ON SITE PLAN AND LANDSCAPE PLAN, JOURNAL CENTER ARCHITECTURAL REVIEW COMMITTEE APPROVAL LETTER, 15-DAY APPEAL PERIOD AND 3 COPIES OF THE SITE PLAN.**

5. **Project # 1004496**
 06DRB-00667 Major-Preliminary Plat Approval
 06DRB-00668 Major-Vacation of Pub Right-of-Way
 06DRB-00669 Major-Vacation of Public Easements
 06DRB-00671 Minor-SiteDev Plan Subd/EPC
 06DRB-00670 Minor-Sidewalk Waiver

GARCIA/KRAEMER & ASSOCIATES agent(s) for TRAMWAY ASSOCIATES INC request(s) the above action(s) for all or a portion of Lot(s) 1, 1A & 1B, Block(s) J & K, CENAROCA ADDITION (to be known as **THE BLUFFS AT ENCANTADO**) zoned SU-1, RT, located on TRAMWAY BLVD NE, between SKYLINE RD NE and ENCANTADO RD NE containing approximately 3 acre(s). [REF: 05EPC-01805, 06EPC-00138] [**Stephanie Shumsky, EPC Case Planner**] [*Deferred from 6/7/06 & 6/14/06*] (K-23/L-23) **DEFERRED AT THE AGENT'S REQUEST TO 6/21/06.**

6. **Project # 1004877**
 06DRB-00634 Major-Vacation of Pub Right-of-Way
 06DRB-00635 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES INC agent(s) for THE BOARD OF EDUCATION FOR THE CITY OF ALBUQUERQUE (APS REAL ESTATE OFFICE) request(s) the above action(s) for all or a portion of Lot(s) 1-10, Block(s) 3 and Lot(s) 1-9, Block(s) 4, **MANDELL ADDITION NO 2**, zoned M-1, located on WOODLAND AVE NW, between 4TH ST NW and 2ND ST NW containing approximately 4 acre(s). [*Deferred from 5/31/06 & 6/7/06*] (H-14) **THE VACATION OF 1ST STREET WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE VACATION OF THE ALLEY WAS WITHDRAWN AT THE BOARD'S REQUEST BY THE AGENT. THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE GIVEN.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1004928**
 06DRB-00800 Minor-North Fourth Street Sector Development Plan

ARCHITECTUAL RESEARCH CONSULTANTS (ARC) agent(s) for CITY OF ALBUQUERQUE-REDEVELOPMENT AGENCY, PLANNING

Boundaries

DEPARTMENT, request(s) the above action(s) for the **NORTH 4TH ST. RANK THREE CORRIDOR PLAN**, North Fourth Street Sector Development Plan Boundaries from downtown to the City limits along North Fourth Street, area has multiple zoning, located on North 4th St NW between Lomas NW and Solar NW containing approximately 1,290 acre(s). (J-14, H-14, G-14, F-14, E-14) **THE DEVELOPMENT REVIEW BOARD RECOMMENDS APPROVAL OF THE NORTH FOURTH STREET SECTOR DEVELOPMENT PLAN BOUNDARIES, NORTH 4TH STREET, RANK 3 CORRIDOR PLAN, AS PRESENTED, TO THE ENVIRONMENTAL PLANNING COMMISSION.**

8. **Project # 1004818**
06DRB-00799 Minor-SiteDev Plan
BldPermit/EPC

DENISH & KLINE ASSOCIATES agent(s) for PACIFICA MESA STUDIOS LLC request(s) the above action(s) for all or a portion of Tract(s) 4B, MESA DEL SOL AND Tract(s) 4-A, 4-B & 4-C (to be known as **ALBUQUERQUE STUDIOS**) zoned SU-2 for PC, located at the intersection of UNIVERSITY BLVD SE, between BOBBY FOSTER RD SE and containing approximately 2 acre(s). [REF: 06EPC00466] **[Russell Brito, EPC Case Planner] (R-16) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/14/06 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA, 3 COPIES OF THE SITE PLAN, RADII DIMENSIONS AND PAPER SIDEWALK EASEMENTS AND UTILITIES DEVELOPMENT FOR UTILITY PLAN REVISIONS AND APROVAL OF THE DEVELOPMENT AGREEMENT BY THE ABCWUA.**

9. **Project # 1002405**
06DRB-00796 Minor-SiteDev Plan
BldPermit/EPC

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for CRACKER BARREL OLD COUNTRY STORE INC request(s) the above action(s) for all or a portion of Tract(s) A-28-B-1-A, NORTHEAST UNIT, TOWN OF ATRISCO GRANT (to be known as **CRACKER BARREL**) zoned SU-1 FOR C-1 AUTO BODY REPAIR AND PAINTING, located on REDLANDS RD NW, between COORS BLVD NW and ATRISCO DR NW containing approximately 3 acre(s). [REF: DRB-94-398, Z-99-94, 06EPC00471] [**Carmen Marrone, EPC Case Planner**] [*Deferred from 6/14/06*] (G-11) **DEFERRED AT THE AGENT'S REQUEST TO 6/21/06.**

10. **Project # 1004937**
06DRB-00789 Minor-SiteDev Plan
BldPermit

JEFFREY HOWELL agent(s) for JEHOVAH'S WITNESSES, DESERT HILLS CONGREGATION request(s) the above action(s) for all or a portion of Lot(s) 28, Block(s) 11, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT A (to be known as **KINGDOM HALL OF JEHOVAH'S WITNESSES**) zoned RD, located on PALOMAS AVE NE, between SAN PEDRO NE and LOUISIANA NE containing approximately 1 acre(s). [REF: DRB-93-125] (D-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT TO ADDRESS COMMENTS ON THE COMMENT SHEET PROVIDED AT THE MEETING AND PLANNING TO ADDRESS PLANNING COMMENTS AND 3 COPIES OF THE SITE PLAN.**

11. **Project # 1004821**
06DRB-00804 Minor-SiteDev Plan
BldPermit/EPC

JACK HARRIS ARCHITECTS INC agent(s) for DR SHAWN HWANG request(s) the above action(s) for all or a portion of Lot(s) H-6A4A, RIVERVIEW (to be known as **DR SHAWN HWANG DENTAL OFFICE BUILDING**) zoned SU-1 for IP, located on the

northwest corner at the intersection of GOLF COURSE RD NW, between PASEO DEL NORTE NW and containing approximately 1 acre(s). [REF: 06EPC-0 0472, DRB-94-547] [**Stephanie Shumsky, EPC Case Planner**] (C-12) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR A COPY OF THE ACCESS DOCUMENT, ADA RAMPS WITHIN AN EASEMENT AND ADA RAMP DETAILS AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

- 12. Project # 1004532**
06DRB-00741 Minor-SiteDev Plan
BldPermit/EPC

FANNING BARD TATUM ARCHITECTS agent(s) for ASHCROFT REAL ESTATE & DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) B-1, MESA DEL NORTE ADDITION (to be known as **LOUISIANA PLACE**, zoned SU-2, R-2 & O-1, located on LOUISIANA BLVD NE, between CONSTITUTION BLVD NE and SUMMER AVE NE containing approximately 5 acre(s). [REF: 05EPC-01693] [**Stephanie Shumsky, EPC Case Planner**] [*Deferred from 6/7/06 & 6/14/06*] (J-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/21/06.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

13. Project # 1004233

06DRB-00793 Minor-Extension of Preliminary Plat

BOHANNAN HUSTON agent(s) for WESTLAND DEVELOPMENT CO request(s) the above action(s) for all or a portion of Tract(s) I-2, WESTLAND NORTH (to be known as **STORMCLOUD SUBDIVISION**, zoned SU-2, R-LT, located on TIERRA PINTADA ST SW, between ARROYO VISTA BLVD SW and LADERA DR SW containing approximately 107 acre(s). [REF:05DRB-00899] (H-9, J-8, J-9) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

06DRB-00646 Minor-Final Plat Approval

PRECISION SURVEYS INC agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) I-2, SUNDORO SUBDIVISION, UNIT 1 (to be known as **STORMCLOUD SUBDIVISION, UNIT 1**, zoned SU-2, R-LT, located on ARROYO VISTA BLVD NW, between TIERRA VISTA ST NW and LADERA DR NW containing approximately 164 acre(s). [REF: 05DRB-00899, 05DRB-00900, 05DRB-00901, 05DRB-00902] [*Indef Deferred on 5/17/06*] (H-8, H-9, J-8, J-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCA SIGNATURE AND PLANNING TO RECORD.**

14. Project # 1004940

06DRB-00794 Minor-Prelim&Final Plat Approval
06DRB-00795 Minor-Vacation of Private Easements

ISAACSON & ARFMAN PA agent(s) for SIGNATURE J HOMES INC request(s) the above action(s) for all or a portion of Tract(s) A, Lot(s) 30, 31 & 32 (to be known as **CHAMISA ENCANTADA**) zoned R-D residential and related uses zone, developing area, located on GRAYSON RD NW, between DUSKFIRE DR NW and TARRINGTON DR NW containing approximately 1 acre(s). (J-10) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

15. **Project # 1002632**
06DRB-00585 Minor-Final Plat
Approval

TIERRA WEST LLC agent(s) for CAPITAL ALLIANCE INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) 4-6, **SUNDANCE ESTATES, UNIT 1**, zoned R-LT residential zone, located on PARADISE BLVD NW, between LYONS BLVD NW and PROPOSED UNSER ALIGNMENT, containing approximately 36 acre(s). [REF: 03EPC00690, 03DRB01306, 04DRB00760, 04DRB00761, 04DRB01761] *[Deferred from 5/3/06 & 5/24/06 for SIA AND 15-Day Appeal period]* (B-11) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RECORDING OF THE UNSER EASEMENT AND APPROVAL BY THE CITY AND PLANNING TO RECORD THE PLAT.**

16. **Project # 1004909**
06DRB-00717 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS agent(s) for JOURNAL CENTER CORPORATION request(s) the above action(s) for all or a portion of Tract(s) 2A-2A-2B, **JOURNAL CENTER**, zoned IP, located on JEFFERSON NE, between HEADLINE NE and JOURNAL CENTER NE containing approximately 9 acre(s). *[Deferred from 5/31/06 & 6/7/06]* (D-17) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. **Project # 1004932**
06DRB-00775 Minor-Sketch Plat or Plan
- KIMCON INC AND/OR WALTER TILLEY agent(s) for ALAN MALOTT request(s) the above action(s) for all or a portion of Lot(s) B, Block(s) 5, **MONTE VISTA ADDITION**, zoned C-1, located on CAMPUS BLVD NE, between TULANE DR NE and CARLISLE NE containing approximately 1 acre(s). (K-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
18. **Project # 1004941**
06DRB-00797 Minor-Sketch Plat or Plan
- LARKIN GROUP NM INC agent(s) for JOHN W. DANIELS request(s) the above action(s) for all or a portion of Tract(s) A-1, **TRAMHILL TOWNHOMES**, zoned C-1, located on COPPER AVE NE, between MOUNTAINVIEW AVE NE and TRAMWAY BLVD NE containing approximately 1 acre(s). (K-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
19. **Project # 1004942**
06DRB-00798 Minor-Sketch Plat or Plan
- LARKIN GROUP NM INC agent(s) for ROBERT HILLS request(s) the above action(s) for all or a portion of Lot(s) 16 & 17, **COLES INDUSTRIAL SUBDIVISION**, zoned M-1, located on CANDELARIA RD NE, between VASSAR DR NE and GIRARD BLVD NE containing approximately 1 acre(s). (H-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **Project # 1004943**
06DRB-00801 Minor-Sketch Plat or
Plan

ISAAC BENTON & ASSOCIATES agent(s) for AMERI-CONTRACTORS request(s) the above action(s) for all or a portion of Tract(s) D, **VILLAGE CENTER NORTH**, zoned SU-1, R-2, located on PINNACLE PEAK NW, between SUMMER RIDGE NW and MCMAHON BLVD NW containing approximately 1 acre(s). (A-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project # 1004944**
06DRB-00803 Minor-Sketch Plat or
Plan

REX O LEWIS request(s) the above action(s) for all or a portion of Lot(s) 11 & 12, Block(s) 18, **EAST CENTRAL BUSINESS ADDITION**, zoned C-3 heavy commercial zone, located on MURIEL ST NE, between BUENA VENTURA RD NE and LINN NE containing approximately 1 acre(s). (K-21) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. Approval of the Development Review Board Minutes for June 7, 2006. **THE DRB MINUTES FOR JUNE 7, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:35 A.M.



#10

File

INTERA Incorporated
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: June 13, 2006

TO: Sheran Matson, Planning Department – Design Review Board

COPY: Rhonda Methvin, Environmental Health Department
Kevin Curran, Legal Department
Jeffrey Howell

FROM: Jim Joseph, P.E., INTERA Inc. *J*

SUBJECT: Project # 1004937 06DRB-00789 Minor-Site Development Plan Building Permit, Lot 28, Block II, Tract A, North Albuquerque Acres, Unit A (to be known as Kingdom Hall of Jehovah's Witnesses) Located on Palomas Ave. NE between San Pedro Dr. NE and Louisiana Blvd. NE.

The above-referenced project is within the former buffer zone of a former privately owned/operated landfill (Holly Avenue Landfill). The landfill was removed during March 2005 and no longer provides a source for potential landfill gas impacts. Therefore, the Albuquerque Environmental Health Department has exempted the project from following the most current version of the "City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones." The project may proceed through the development process provided all other City requirements are met.

jeff

797-5269

6815 Joseph Kulla Dr NE

8 17109

INTERA 00077

Current DRC

Project Number: _____

FIGURE 12

Date Submitted: 6-5-06

Date Site Plan Approved: _____

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No.: 1004937

DRB Application No.: _____

ORIGINAL

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
			INSTALL NEW PUBLIC FIRE HYDRANT	NORTH SIDE OF PALOMAS AVE NE			/	/	/
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____

- 2 _____

- 3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

JEFFREY D. HOWELL

NAME (print)

JEFFREY HOWELL & ASSOC.

FIRM

[Signature] 6-05-06
SIGNATURE - date

DRB CHAIR - date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

- date

CITY ENGINEER - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: JEHOVAH'S WITNESSES DESERT HILLS CONG PHONE: (505) 821-7891
 ADDRESS: 6501 PALOMAS AVE NE FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: _____
 Proprietary interest in site: NON PROFIT TRUSTEE List all owners: _____
 AGENT (if any): JEFFREY D. HOWELL PHONE: _____
 ADDRESS: 6815 FOREST HILLS DR. NE FAX: (505) 797-5269
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: SUCASAREALTY@MSN.COM

DESCRIPTION OF REQUEST: SUBMISSION OF SITE DEVELOPMENT PLAN AS REQUIRED BY THE NORTH I25 SECTOR DEVELOPMENT PLAN

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 28 Block: 11 Unit: A
 Subdiv. / Addn. N ABQ ACRES TRACT A UNIT A TBK. KINGDOM HALL of
 Current Zoning: RD Proposed zoning: SAME *Jehovah's witnesses*
 Zone Atlas page(s): D-18-Z No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): .89 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: 30
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 101806334148810505 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: PALOMAS AVENUE NE
 Between: SAH PEDRO NE and LOUISIANA NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

DRB - 93-125

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: N/A

SIGNATURE [Signature] DATE 06-05-06
 (Print) JEFFREY D. HOWELL _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>06DRB - 00789</u>	<u>SBP</u>	<u>PL3</u>	<u>\$ 385.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____

Hearing date 6-14-06

Total \$ 405.00

Kim Sims

6/15/06

Project # 1004937

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

Maximum Size: 24" x 36"

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

Maximum Size: 24" x 36"

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Maximum Size: 24" x 36"

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

Maximum Size: 24" x 36"

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Maximum Size: 24" x 36"

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
- Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JEFFREY D. HOWELL

Applicant name (print)

[Signature]

06-05-06

Applicant signature / date



Form revised APRIL 2006

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers

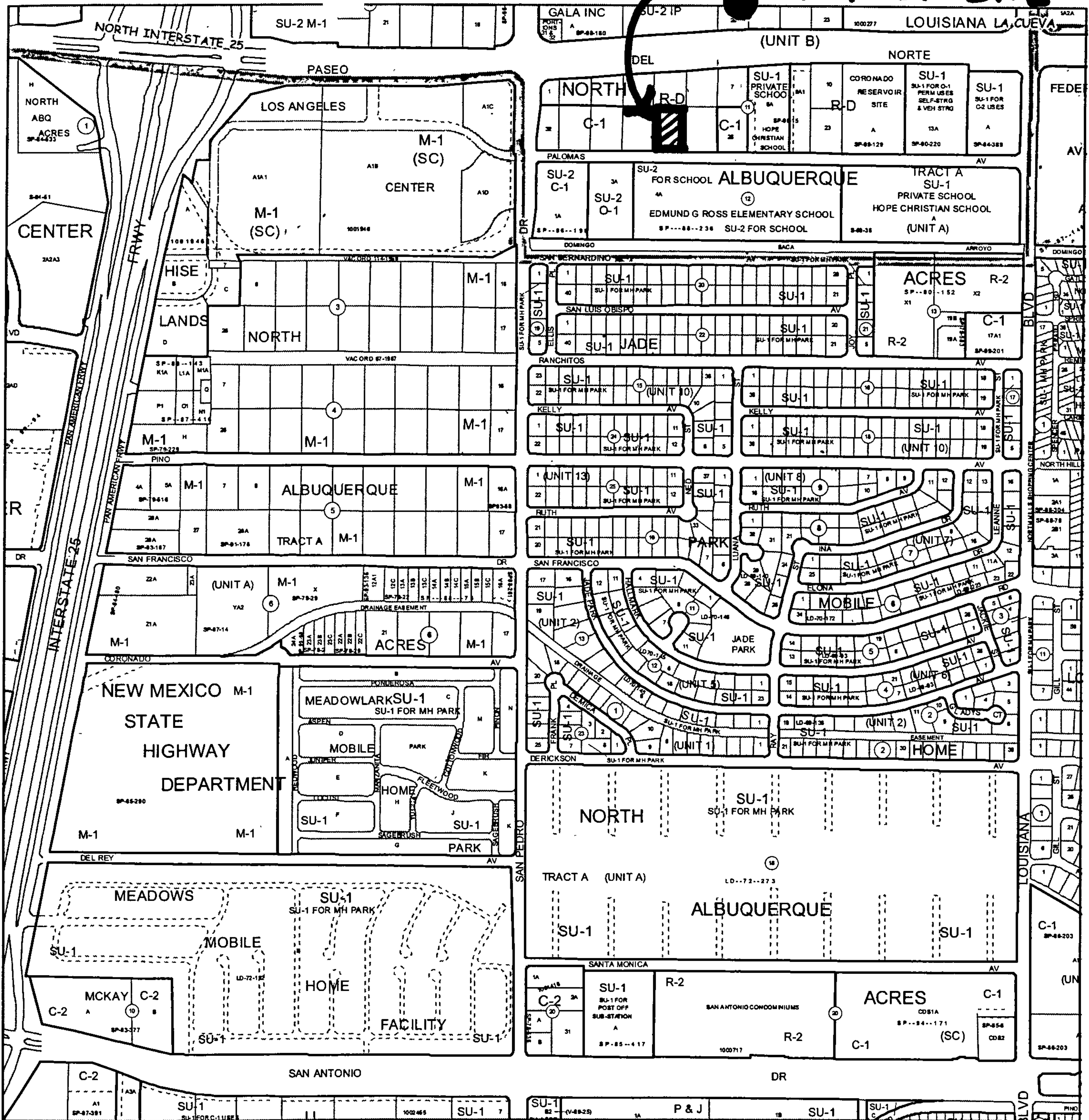
ok DRB - - 00789

[Signature] 6/5/06

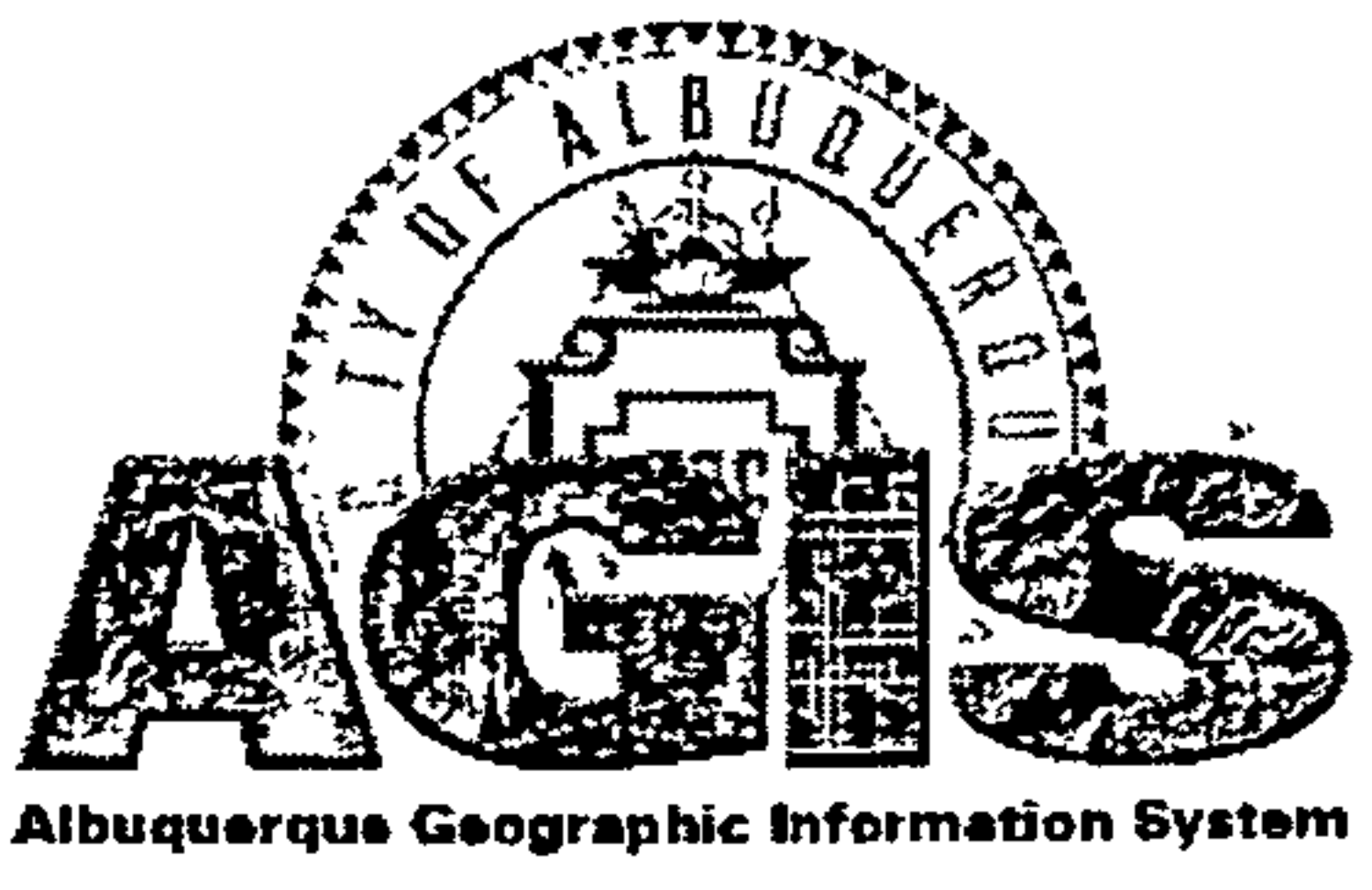
Planner signature / date

Project # 1004937

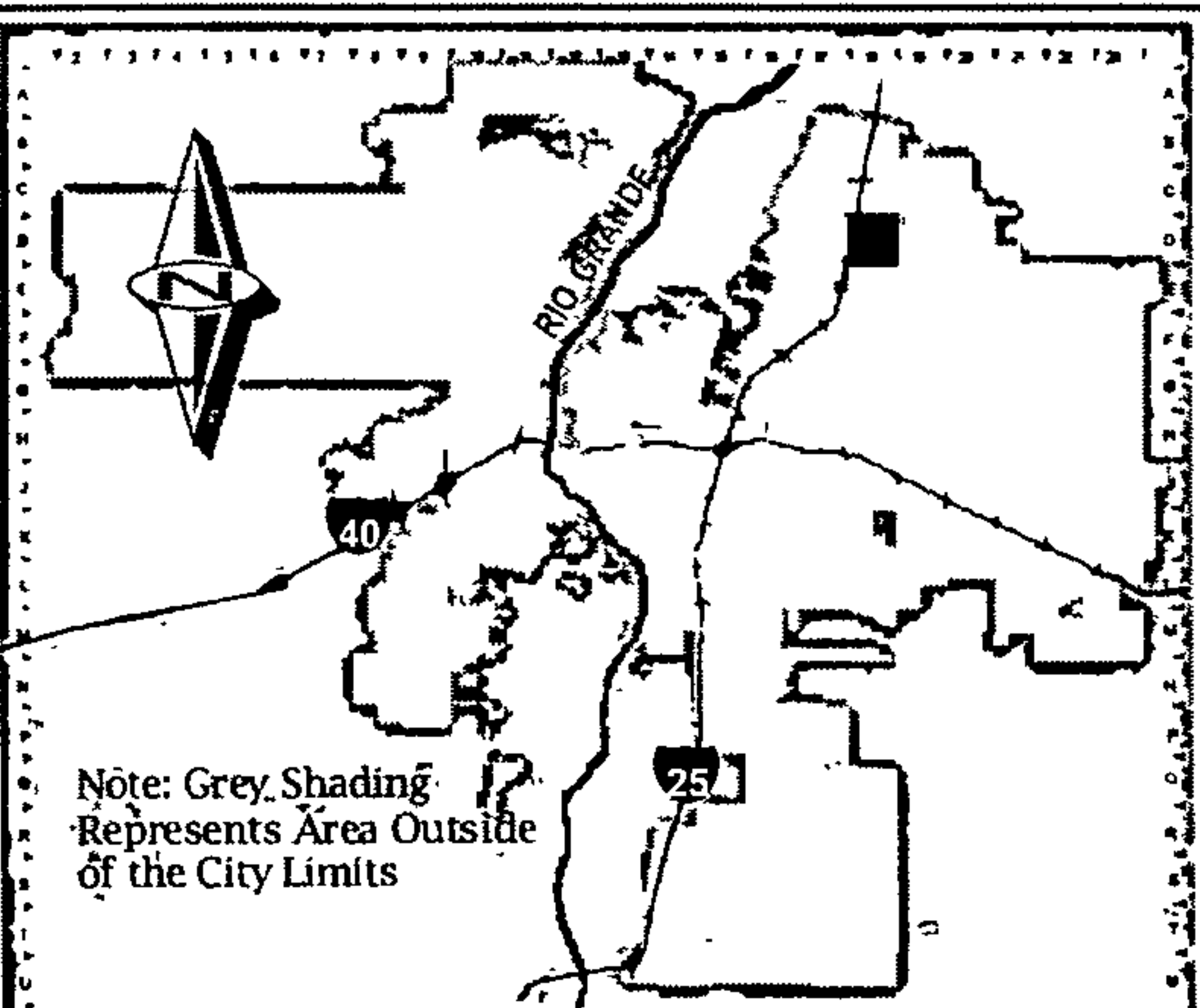
LOCATION OF SITE



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 5/1/2006

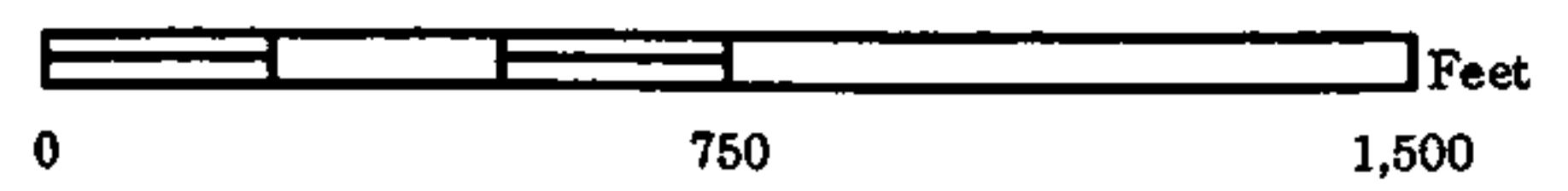


Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-18-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





JEFFREY HOWELL & ASSOCIATES

A R C H I T E C T U R E

6815 FOREST HILLS DRIVE, NE TELEPHONE (505) 797-5268
ALBUQUERQUE, NM 87109 FAX (505) 797-5269

June 4, 2006

City of Albuquerque
Attention: Planning Department
600 2nd Street NW
Albuquerque, NM 87102

Re: DRB REVIEW REQUEST EXPLANATION

Kingdom Hall of Jehovah's Witnesses
6501 Palomas Avenue NE
Albuquerque, NM

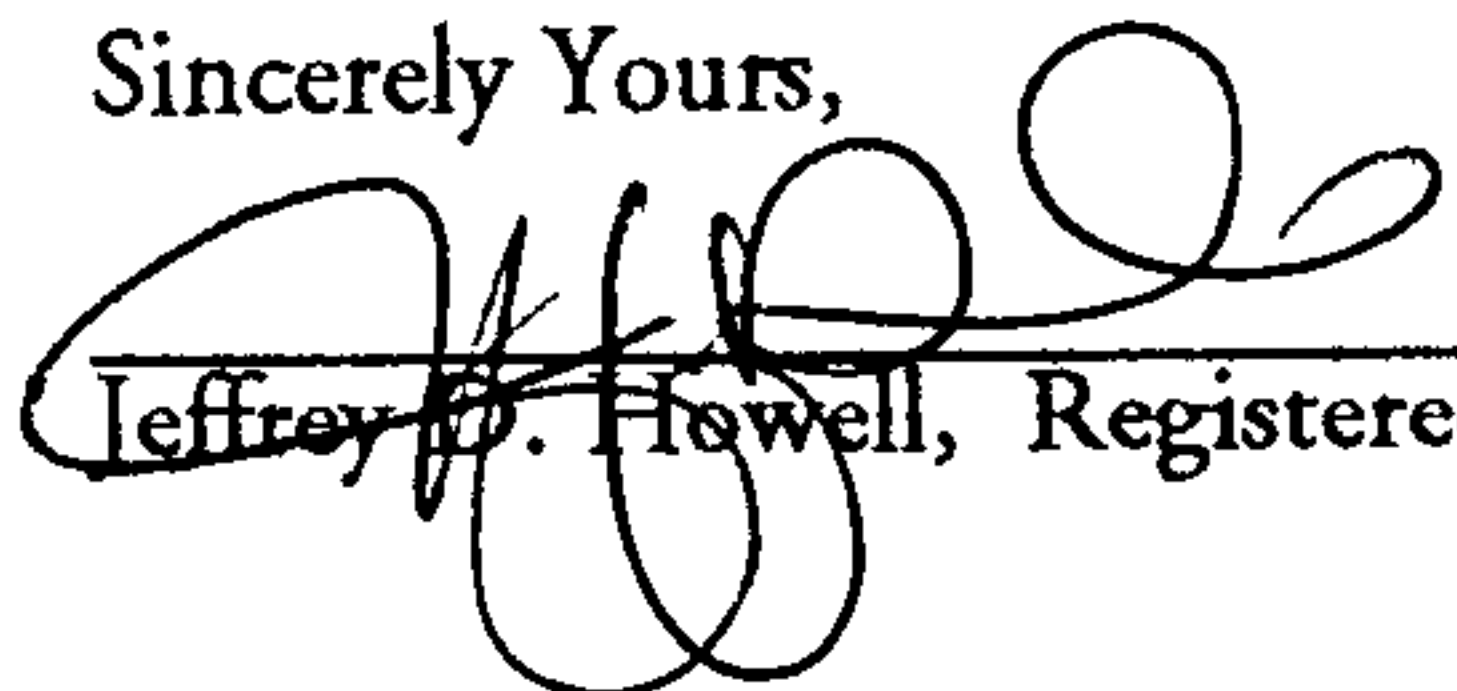
To Whom it May Concern:

We are requesting your review and approval pursuant to the requirement established in the "North I-25 Sector Development Plan". We are submitting for the approval of a Site Development Plan to demolish an existing 5,300 s.f. worship facility and to replace it with a new (approximately 4,800 s.f.) Worship facility for the following reasons:

1. The present building currently being used was originally built in the early 1970's and has served its purpose well for the last 30 plus years, however the current needs of the owner have found that it necessary to provide a facility that will be more efficient and cost less to operate.
2. This building is currently being used by four (4) congregations of an approximate size of 80 worshipers. In order for four congregations to use the facility, meeting schedules require a 7 day-a-week usage. Because of this high usage, much of the old building technology and systems have lived their life cycles. A major remodel was considered, however was not found to be economically feasible. After considering many options, it was found that the congregations would be better served by a new building that would provide a better place to worship, handicapped accessibility, energy efficiency and neighborhood enhancement.
3. We also would like to note that the neighborhood is changing. This portion of Paseo Del Norte is growing and changing into a busy section of the city. It is our intention to enhance this neighborhood with a project that will reflect the progress and culture of our city. To accomplish this (as noted in the attached submittal), we are proposing to use building and planting materials that will reflect the earth tones of the natural environment.

We respectfully request that you consider these factors in your assessment.

Sincerely Yours,


Jeffrey D. Howell, Registered Architect

JDH

CC: Desert Hills Operating Committee

JEHOVAH'S WITNESSES

Desert Hills Congregation

6501 Palomas Avenue NE - Albuquerque, NM 87109

June 4, 2006

City of Albuquerque
Attention: Planning Department
600 2nd Street NW
Albuquerque, NM 87102

RE: Designation of Agent '1

To Whom it May Concern:

This letter is to inform your department that **Jeffrey Howell** is designated as our agent and authorized to submit all documents as well as perform any task you may require for planning department approval pertaining to the project located at 6501 Palomas Avenue NE.

Sincerely,

A handwritten signature in black ink, appearing to read "Daniel R. Martin", with a long horizontal flourish extending to the right.

Daniel Martin
Presiding Overseer

A. Residential Uses:

1. The SU-1/Planned Development Area zone for apartments including PRD) and mobile home parks and subdivisions. Residential uses designated in and regulated by an approved SU-1 zone and site development plan

2. The R-D zone allows the following, preferably in carefully designed planned unit developments:\

a. House and other uses permissive in the R-1 zone.

b. Townhouse and apartment, provided:

(1) The density of a lot does not exceed 30 dwelling units per net acre, and

(2) The site is within 1,000 feet of the Louisiana Boulevard centering but not within 500 feet of the Paseo del Norte centerline, and

(3) A site development plan and a landscaping plan are approved by the Planning Director, controlling the development of the site.

c. Church or other place of worship, including incidental recreational and educational facilities, pursuant to a Site Development Plan and a Landscaping Plan approved by the Planning Director.\

B. Mixed Use Development

SU-2/Mixed Use Development (MUD) allows the following uses, subject to approval of site development plan and landscaping plan by the Environmental Planning Commission. Uses allowed are as follows:

1. Mobile homes on sites developed on the effective date of this plan.

2. Sixteen gross acres located generally in the westerly part of the site shall be used for residences at a density which does not exceed 30 dwelling units per net acre.

3. The balance of the site may be used for IP zone except retail and service uses 24.A. 18 and 20 of the Zoning Code are acres; floor area ratio for such uses These three gross acres of retail and customer uses; no other retail or customer service uses are allowed permissively or conditionally, except as (a) provided in paragraph 4, below, and (b)employee-only retail uses.

4. Up to 15 gross acres of the area otherwise allowed for IP uses may be used for uses permissive in the C-2 zone, provided the Development Review Board determines (or another body determines on appeal that traffic operation is not impacted negatively by the land uses changing from industrial to commercial, a determination made at least in part based upon the following material submitted by the developer:

a. A detailed land use plan for all of site H which indicates square feet of floor area by land use category and provides an on-site circulation system adequate

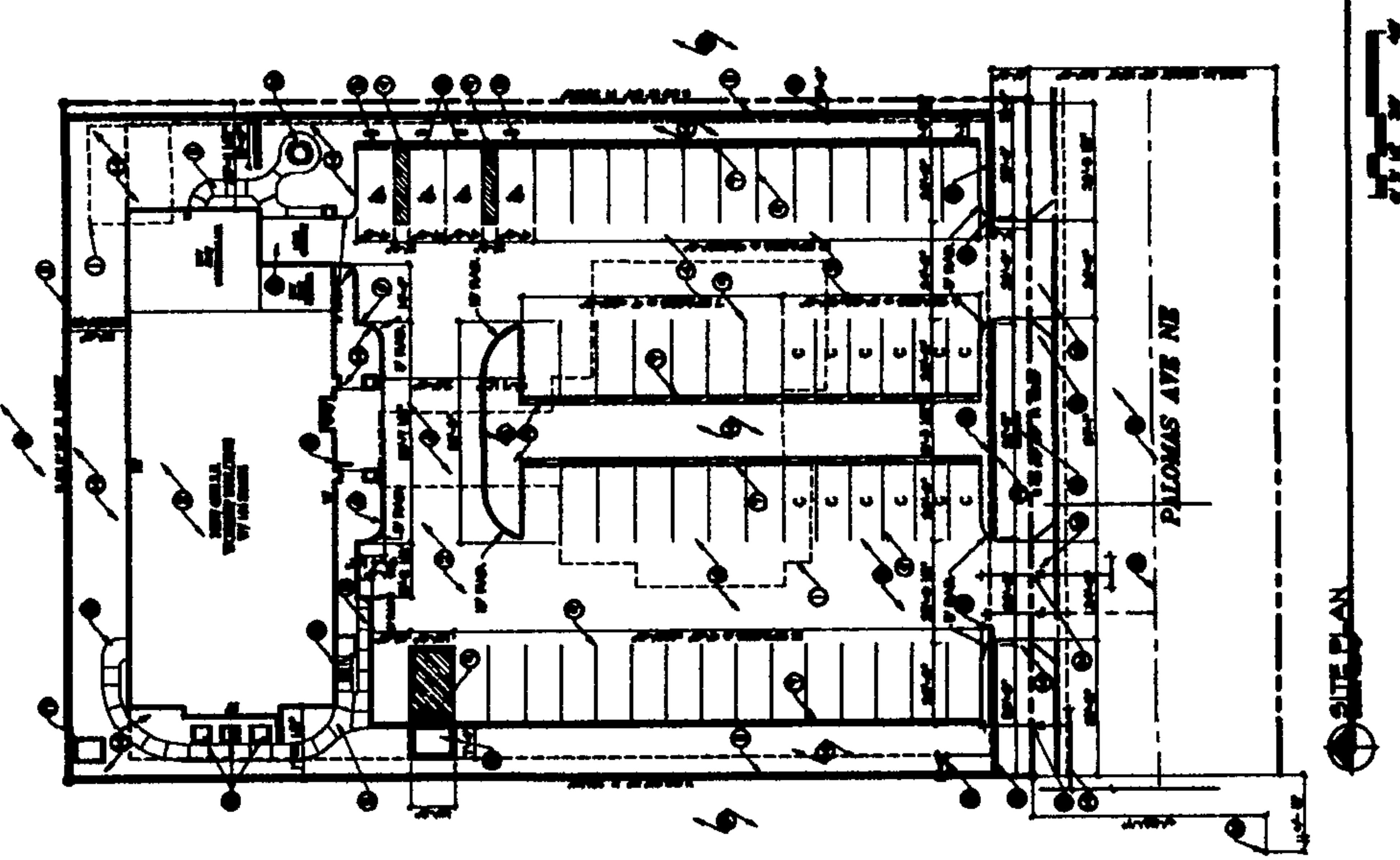
PROJECT NUMBER: _____

Application Number: _____

In all jurisdictions that require () Yes () No. If any, show a list of proposed CDD items with a brief description of the item and its location within the project boundaries of the jurisdiction of public improvement.

DDP SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date:
Water Utility Department	Date:
Public & Recreation Department	Date:
City Engineer	Date:
Environmental Health Department (sanitary)	Date:
Sanitary Management	Date:
DDP Department Planning Department	Date:



SITE PLAN



VICINITY MAP

- KEYED NOTES:**
- 1 REMOVE EXISTING BUILDING TO BE REMOVED
 - 2 EXISTING EXTERIOR WALLS TO BE REMOVED
 - 3 LOCATION OF NEW BUILDING
 - 4 NEW CONCRETE PAVING PER CIVIL ENGINE
 - 5 NEW CONCRETE PAVING PER CIVIL ENGINE
 - 6 NEW CONCRETE PAVING PER CIVIL ENGINE
 - 7 NEW CONCRETE PAVING PER CIVIL ENGINE
 - 8 NEW CONCRETE PAVING PER CIVIL ENGINE
 - 9 NEW CONCRETE PAVING PER CIVIL ENGINE
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 - 49 NEW CONCRETE PAVING PER CIVIL ENGINE
 - 50 NEW CONCRETE PAVING PER CIVIL ENGINE

PARKING AND CIRCULATION CALCULATIONS

PARKING: 100 SPACES / 1000 SF REQUIRED / 10000 SF TOTAL

WALKWAYS: 100 SPACES / 1000 SF REQUIRED / 10000 SF TOTAL

CONCRETE PAVING: 100 SPACES / 1000 SF REQUIRED / 10000 SF TOTAL

SEWER: 100 SPACES / 1000 SF REQUIRED / 10000 SF TOTAL

WATER: 100 SPACES / 1000 SF REQUIRED / 10000 SF TOTAL

ZONING DATA

RESIDENTIAL SINGLE-FAMILY ZONING

MINIMUM LOT AREA: 10,000 SF

MINIMUM FRONT YARD SETBACK: 10 FT

MINIMUM SIDE YARD SETBACK: 5 FT

MINIMUM REAR YARD SETBACK: 5 FT

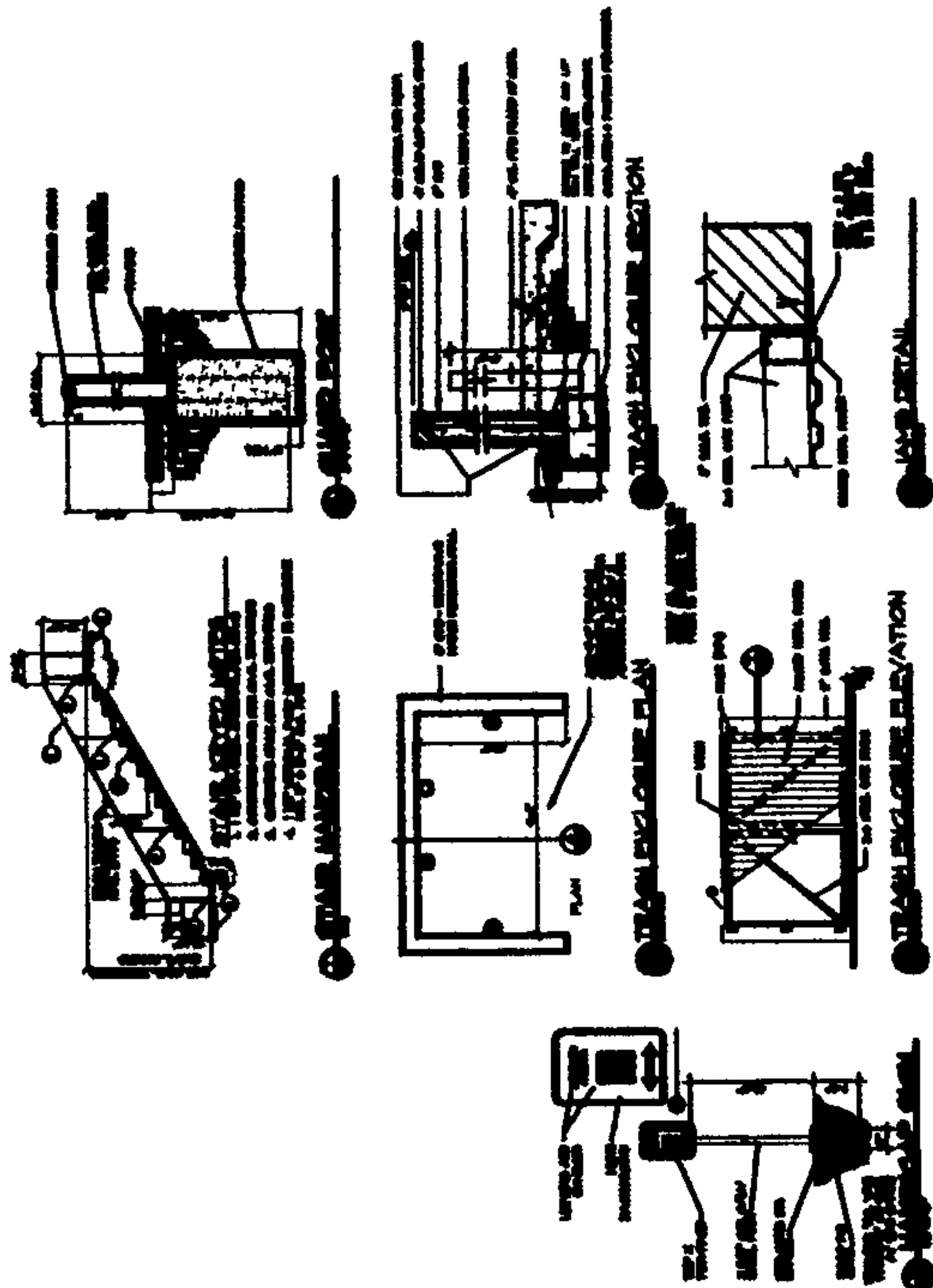
MINIMUM BUILDING HEIGHT: 35 FT

MINIMUM BUILDING FOOTPRINT: 1000 SF

MINIMUM BUILDING SETBACK: 10 FT

MINIMUM BUILDING FOOTPRINT: 1000 SF

MINIMUM BUILDING SETBACK: 10 FT



EXTERIOR LIGHT ELEVATION

Kingdom Hall of Jehovah's Witnesses
 6901 PALOMAS AVENUE, NE
ARCHITECTURAL SITE PLAN

08/01/08 AS-1

- KEYED NOTES:**
- 1 LANDSCAPE BUFFER AREA
 - 2 GENERAL LANDSCAPE AREA
 - 3 NEW BALCONY
 - 4 NEW CONCRETE PAVING PER CIVIL ENGINE
 - 5 NEW CONCRETE PAVES PER CIVIL ENGINE

LANDSCAPE CALCULATIONS

TOTAL LOT AREA - 91,487 S.F.
 IMPERVIOUS AREA CALCULATIONS
 BUILDING 5,477 S.F.
 PARKING 20,055 S.F.
 WATER 1,081 S.F.
 TOTAL IMPERVIOUS AREA 26,613 S.F.

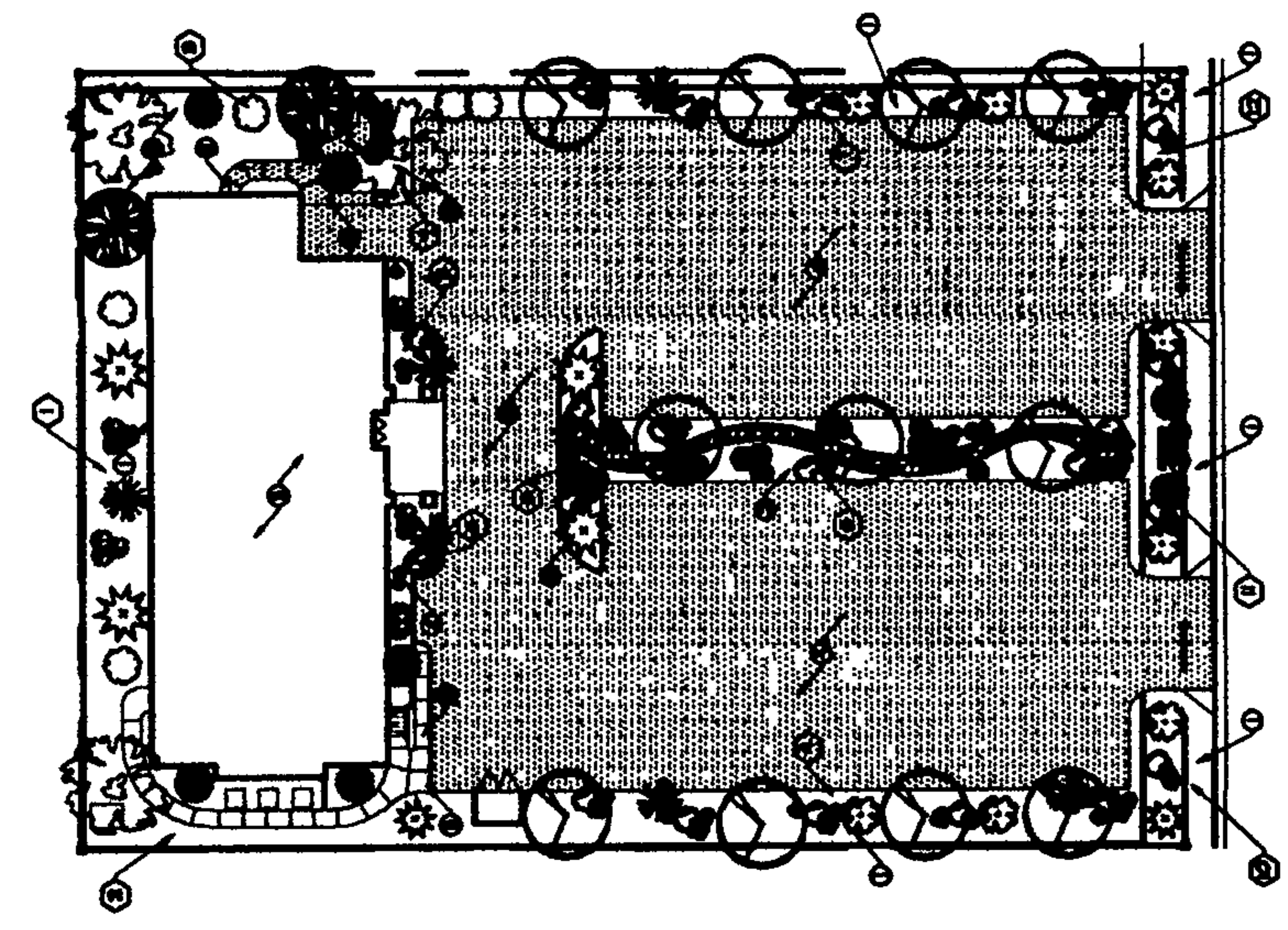
IMPERVIOUS AREA CALCULATIONS
 PLANTING AREA 1: 2,427 S.F.
 PLANTING AREA 2: 265 S.F.
 PLANTING AREA 3: 397 S.F.
 PLANTING AREA 4: 385 S.F.
 PLANTING AREA 5: 230 S.F.
 PLANTING AREA 6: 507 S.F.
 PLANTING AREA 7: 802 S.F.
 PLANTING AREA 8: 2,009 S.F.
 PLANTING AREA 9: 1,400 S.F.
 PLANTING AREA 10: 283 S.F.
 PLANTING AREA 11: 483 S.F.
 PLANTING AREA 12: 256 S.F.
 TOTAL IMPERVIOUS AREA: 94,125 S.F.

LANDSCAPE AREA REQUIREMENTS
 LOT AREA: 91,487 S.F.
 ROAD & PARKING: 25,080 S.F.
 NET AREA: 12,777 S.F.
 15% NET AREA: 1,916 S.F.
 REQUIRED LANDSCAPE: 1,909 S.F.
 PROVIDED LANDSCAPE: 10,128 S.F.

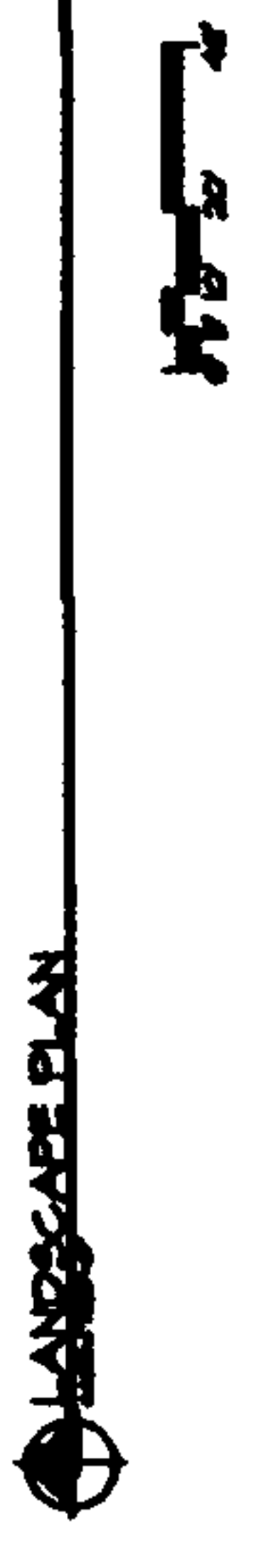
WATER CONSERVATION
 THIS PROJECT SHALL COMPLY WITH ALL CITY OF PALMDALE WATER CONSERVATION REQUIREMENTS & WATER SAVING CONCEPTS.

LANDSCAPE MAINTENANCE
 ALL PLANTING SHALL BE MAINTAINED AS PER PLANTING CONTRACT DOCUMENTS ON THIS PLAN.

LANDSCAPE DESIGN CONCEPT
 ALL PLANTING SHALL BE MAINTAINED AS PER PLANTING CONTRACT DOCUMENTS ON THIS PLAN.



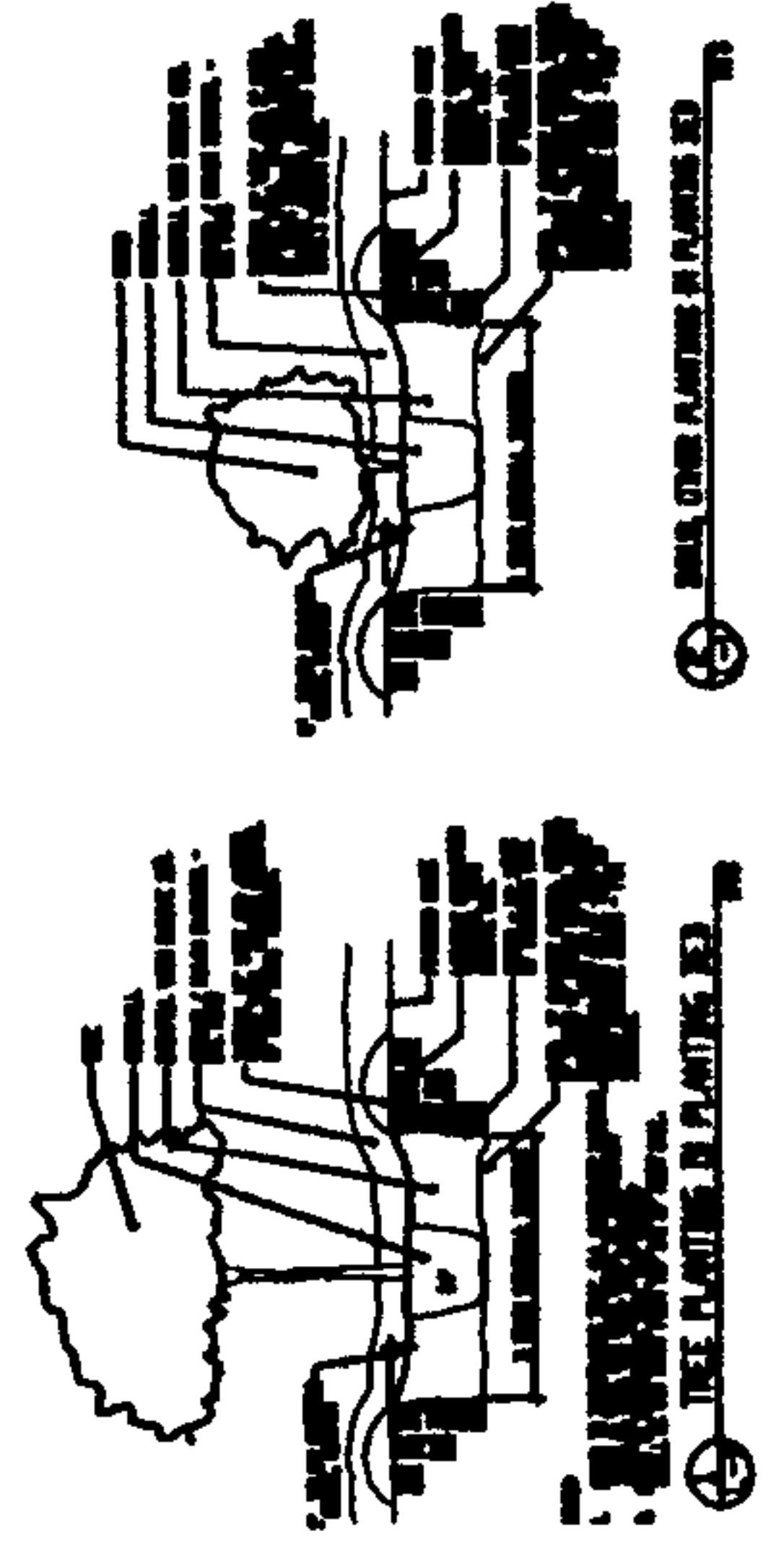
PALOMAS AVE NE



GENERAL PLANTING NOTES

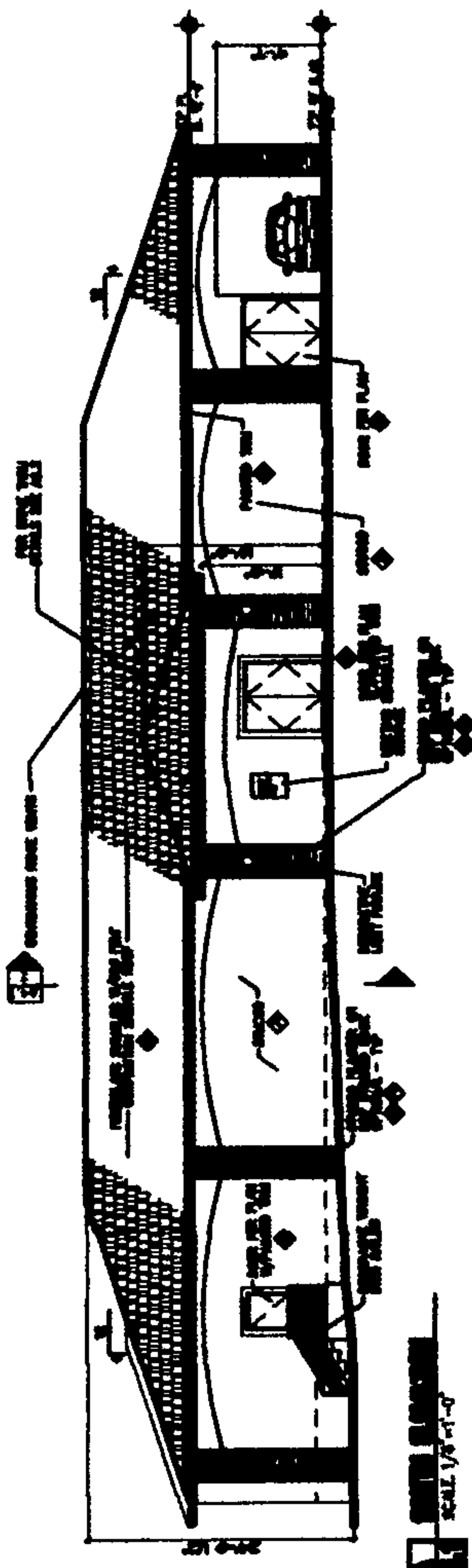
1. ALL PLANTING SHALL BE MAINTAINED AS PER PLANTING CONTRACT DOCUMENTS ON THIS PLAN.
2. ALL PLANTING SHALL BE MAINTAINED AS PER PLANTING CONTRACT DOCUMENTS ON THIS PLAN.
3. ALL PLANTING SHALL BE MAINTAINED AS PER PLANTING CONTRACT DOCUMENTS ON THIS PLAN.
4. ALL PLANTING SHALL BE MAINTAINED AS PER PLANTING CONTRACT DOCUMENTS ON THIS PLAN.
5. ALL PLANTING SHALL BE MAINTAINED AS PER PLANTING CONTRACT DOCUMENTS ON THIS PLAN.

SYMBOL	DESCRIPTION	QUANTITY	UNIT	REMARKS
[Symbol]	2" CALIBER PALM TREE	10	PER PLAN	PLANTING AREA 1
[Symbol]	3" CALIBER PALM TREE	10	PER PLAN	PLANTING AREA 2
[Symbol]	4" CALIBER PALM TREE	10	PER PLAN	PLANTING AREA 3
[Symbol]	5" CALIBER PALM TREE	10	PER PLAN	PLANTING AREA 4
[Symbol]	6" CALIBER PALM TREE	10	PER PLAN	PLANTING AREA 5
[Symbol]	7" CALIBER PALM TREE	10	PER PLAN	PLANTING AREA 6
[Symbol]	8" CALIBER PALM TREE	10	PER PLAN	PLANTING AREA 7
[Symbol]	9" CALIBER PALM TREE	10	PER PLAN	PLANTING AREA 8
[Symbol]	10" CALIBER PALM TREE	10	PER PLAN	PLANTING AREA 9
[Symbol]	11" CALIBER PALM TREE	10	PER PLAN	PLANTING AREA 10
[Symbol]	12" CALIBER PALM TREE	10	PER PLAN	PLANTING AREA 11
[Symbol]	13" CALIBER PALM TREE	10	PER PLAN	PLANTING AREA 12
[Symbol]	14" CALIBER PALM TREE	10	PER PLAN	PLANTING AREA 13

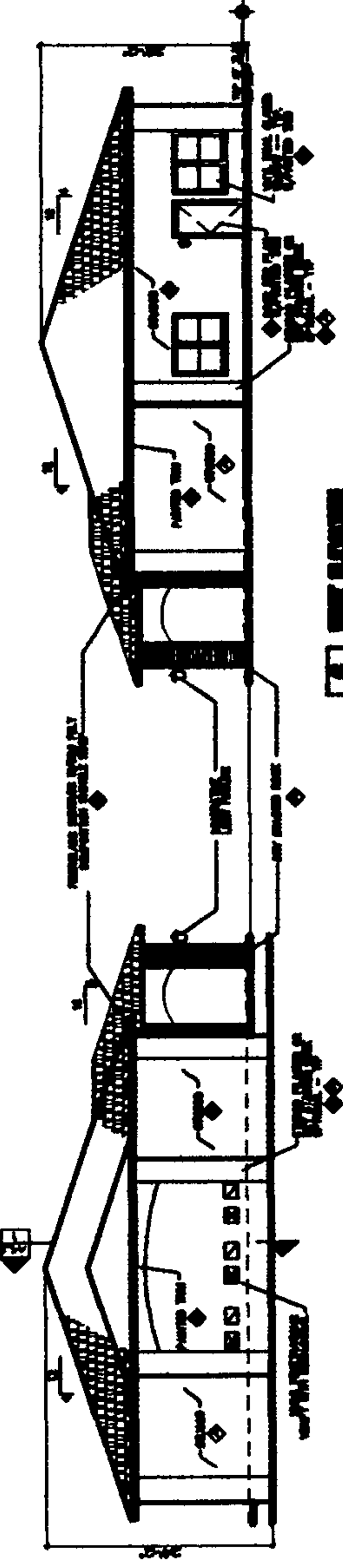


Kingdom Hall of Jehovah's Witnesses
 6501 PALOMAS AVENUE, NE
 LANDSCAPE PLAN

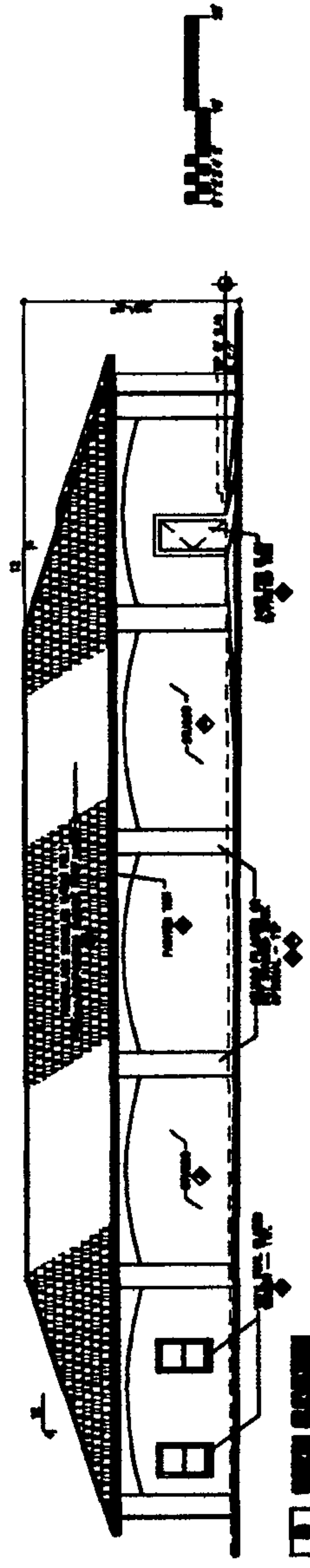
08/01/08 L-1



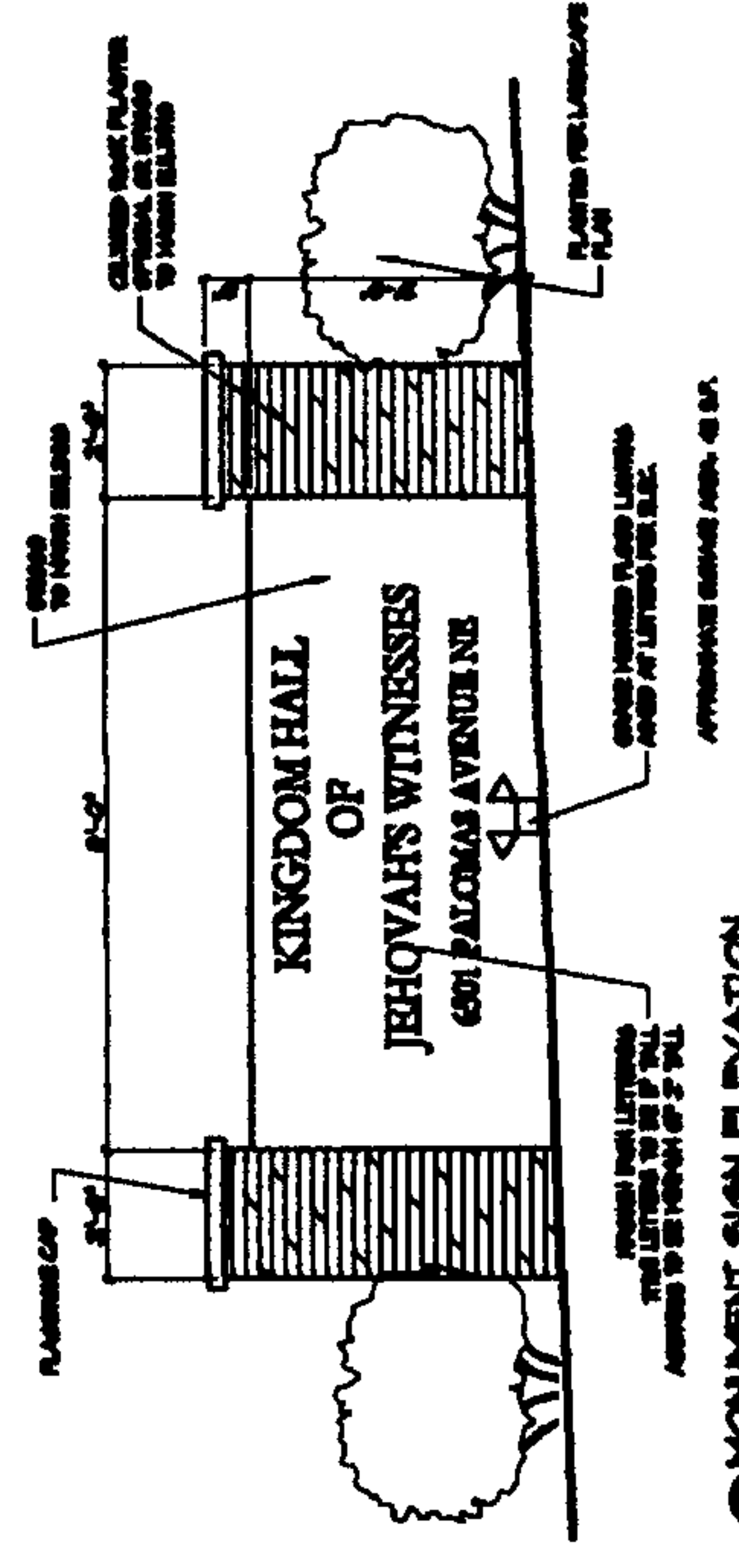
SCALE 1/8" = 1'-0"



SCALE 1/8" = 1'-0"



SCALE 1/8" = 1'-0"



MONUMENT SIGN ELEVATION

COLOR / MATERIAL SCHEDULE	
◇	WOOD
◆	EXTERIOR FINISH
◆	EXTERIOR FINISH
◆	EXTERIOR FINISH
◆	EXTERIOR FINISH
◆	EXTERIOR FINISH
◆	EXTERIOR FINISH

Kingdom Hall of Jehovah's Witnesses
6801 PALOMAS AVENUE, NE

EXTERIOR ELEVATIONS

DATE: 08/10/08

SCALE: A-3

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.



06-05-06

Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' [Other scales as approved by staff]
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- ~~H/A~~ D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- ~~H/A~~ G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: _____ provided: _____
 Handicapped spaces required: _____ provided: _____
- B. Bicycle parking & facilities
 - ___ 1. Bicycle racks, spaces required: _____
 provided: _____
 - ___ 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- ~~H/A~~ B. Identify Alternate transportation facilities within site or adjacent to site
 - ~~H/A~~ 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

- H/A 2. Pedestrian trails and linkages
- N/A 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- H/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- H/A 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.



JEFFREY HOWELL & ASSOCIATES

A R C H I T E C T U R E

6815 FOREST HILLS DRIVE, NE TELEPHONE (505) 797-5268
ALBUQUERQUE, NM 87109 FAX (505) 797-5269

June 4, 2006

City of Albuquerque
Attention: Planning Department
600 2nd Street NW
Albuquerque, NM 87102

Re: **PROJECT SUMMARY**
Kingdom Hall of Jehovah's Witnesses
6501 Palomas Avenue NE
Albuquerque, NM

To Whom it May Concern:

The following is a summary of the project mentioned above:

EXISTING FACILITY

1. The exiting building on the site is an approx. 5,300 s.f. stucco /frame building that was built in the early 1970's. Because of high usage, the building systems have lived their life cycle. The existing building was built, using codes of the time and is proving to be inadequate for future usage as well as higher energy costs. The existing parking lot surrounded by a chain link fence that is out of repair and the asphalt paving is in need of removal and replacment. The existing toilet facilities are inadequate in size and configuration to handle the current usage load. There is currently a caretaker's apartment on site that houses an older couple that proves inadequate for future handicapped accessability modifications.
 - a. Removal of (2) existing buildings (5,300 sf worship + 500 sf storage)
 - b. Removal of existing parking lot and landscaping
 - c. Removal of existing chain link peremeter fencing

PROPOSED IMPROVEMENTS

1. After much consideration, it was determined that it would not economically feasible to remodel the existing facility. It was determined that a smaller building built to current codes and a more efficient floor and site plan would serve the users and the community better. The following is a summary of the new work:
 - a. New approx. 5,800 s.f building (4,800 sf worship + 800 sf apt + 200 sf storage).
 - b. New exterior finishes to reflect southwestern (earth tone) colors
 - c. New perameter wall (decorative earthtone with a split face design)
 - d. New concrete parking lot accessible parking dictated by current codes
 - e. New drought resistant landscaping throughout site

INFRASTRUCTURE REQUIREMENTS

1. All utility services, public streets and sidewalks are existing and *will not require any modification.*

We hope that this provides you with the needed information regarding the above mentioned project. Should you have any other questions, please feel free to call me at 321-6732.

Thank you for your consideration,


Jeffrey D. Howell, Registered Architect

CC: Desert Hills Operating Committee

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME JETHOUA H'S WITNESSES DESERT HILL CONG.
AGENT JEFFREY D. HOWELL
ADDRESS _____
PROJECT & APP # 1004937 / 06DRB - 00789
PROJECT NAME JETHOUA H'S WITNESSES KINGDOM HALL

\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee
\$ 385.⁰⁰ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 405.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

6/5/2006 2:48PM LOC: ANN
RECEIPT# 00063766 WSH 007 TRANSH 0023
Counterreceipt: doc46/21/04 Fund 0000
Activity 3424000 TRSNAL
Trans Amt \$405.00
J24 Misc

\$20.00
Thank you

DUPLICATE
City Of Albuquerque
Treasury Division

6/5/2006 2:49PM LOC: ANN
RECEIPT# 00063767 WSH 007 TRANSH 0023
Account 441006 Fund 0110
Activity 4983000 TRSNAL
Trans Amt \$405.00
J24 Misc

\$365.00
MC \$405.00
CHANGE \$0.00

Thank you