

#11



COMPLETED 11/13/06 Stt
DRB CASE ACTION LOG (FINAL PLAT)
REVISED 9/28/05

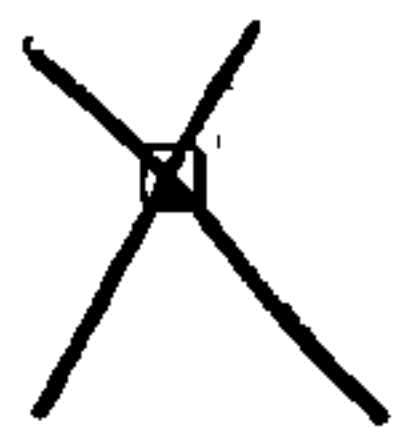
This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00794 (FP)	Project # 1004940
Project Name CHAMISA ENCANTADA	
Agent: Isaacson & Arfman PA	Phone No.: 268-8828

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/4/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: Certification of grading plan OK
- Open Space requirements met on each lot.
- green tag for sidewalk - OK WG 11-8-06
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): record
- _____
- _____
- _____

Project Number 1004940



- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.
- OK

#11



DRB CASE ACTION LOG (FINAL PLAT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **06DRB-00794 (FP)**
Project Name **CHAMISA ENCANTADA**
Agent: **Isaacson & Arfman PA**

Project # **1004940**
Phone No.: **268-8828**

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/4/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: Certification of grading plan
- Open Space requirements met on each lot.
- green tag for sidewalk
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): record
- _____
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Project Number 1004940



Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

OK

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004940

AGENDA ITEM NO: 11

SUBJECT:

Final Plat

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

Prior to final plat signoff by the City Engineer, certification of the grading and drainage plan and certification of the connection to the AMAFCA system must be provided.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: OCTOBER 4, 2006



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 4, 2006

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 11:10 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002473**
06DRB-01329 Major-Two Year SIA

D. R. HORTON HOMES request(s) the above action(s) for **DESERT VISTA SUBDIVISION**, zoned RD (6DU/AC), located on VENTURA ST NE, between CORONA AVE NE and SIGNAL AVE NE containing approximately 16 acre(s).[REF: 05DRB-01472] (C-20) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1005029**
06DRB-01234 Major-Preliminary Plat
Approval
06DRB-01235 Major-Vacation of Public
Easements
06DRB-01236 Minor-Temp Defer SDWK

06DRB-01398 Minor-Subd Design (DPM)
Variance

ADVANCED ENGINEERING agent(s) for WESTLAND DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) B & J, THE CROSSING and Tract(s) R, STORMCLOUD SUBDIVISION, UNITS 3 & 4 (to be known as **STORMCLOUD SUBDIVISION UNITS 4 & 5**) zoned SU-2 for R-LT, located on TIERRA PINTADA BLVD NW west of UNSER BLVD NW and LADERA NW containing approximately 55 acre(s). [REF: 06DRB-01045] *[Deferred from 9/20/06 & 10/4/06]* (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/11/06.**

ADVANCED ENGINEERING agent(s) for WESTLAND DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) B & J, THE CROSSING and Tract(s) R, STORMCLOUD SUBDIVISION, UNITS 3 & 4 (to be known as **STORMCLOUD SUBDIVISION UNITS 4 & 5**) zoned SU-2 for R-LT, located on TIERRA PINTADA BLVD NW west of UNSER BLVD NW and LADERA NW containing approximately 55 acre(s). [REF: 06DRB-01045] *[Deferred from 10/4/06]* (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/11/06.**

3. **Project # 1004091**
06DRB-00942 Major-Preliminary Plat
approval
06DRB-00943 Minor- Temp Deferral of
Sidewalk

RIO GRANDE ENGINEERING agent(s) for IRVING PARTNERS LLC request(s) the above action(s) for all or a portion of Unplatted Lands of Amalgamated Partners (to be known as **DESERT GARDEN ESTATES SUBDIVISION**), zoned RLT, located on IRVING BLVD NW between RAINBOW RD NW and PASEO DEL OESTE NW containing approximately 12 acre(s). *[Deferred from 7/26/06 & 8/2/06 & 8/9/06 & 8/16/06 & 8/23/06 & 9/20/06]* (A-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/4/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/28/06 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: TRACT A MUST HAVE LEGAL ACCESS. P-1 LOT DESIGNATIONS, MAINTENANCE AND BENEFICIARIES OF ALL EASEMENTS, PUBLIC WATER AND SEWER EASEMENTS SHALL BE DEDICATED TO THE CITY OF ALBUQUERQUE, IF THE FINAL PLAT IS APPROVED AFTER OCTOBER 31, 2006, THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS).**

4. **Project # 1005031**
06DRB-01077 Major-Vacation of Public Easements
- 06DRB-01017 Major-Preliminary Plat Approval
06DRB-01018 Minor-Temp Defer SDWK
- 06DRB-01282 Minor-Subd Design (DPM) Variance
5. **Project # 1004428**
06DRB-01121 Major-Vacation of Public Easements
06DRB-01119 Major-Preliminary Plat Approval
06DRB-01122 Minor-Temp Defer SDWK
- SURV-TEK agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS, UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned R-D, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018] *[Deferred from 8/23/06 & 9/13/06 & 9/27/06 & 10/4/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/25/06.**
- SURV TEK & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned R-D residential and related uses zone, developing area, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). (Listed as Project 1004644 in error) *[Deferred from 8/9/06 & 8/23/06 & 9/13/06 & 9/27/06 & 10/4/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/25/06.**
- WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned R-D residential and related uses zone, developing area, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018, DRB-01077] *Deferred from 9/13/06 & 9/27/06 & 10/4/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/25/06.**
- MARK GOODWIN & ASSOCIATES agent(s) for ALBUQUERQUE RIO BRAVO PARTNERS LLC request(s) the above action(s) for all or a portion of Tract(s) RR-3A, RR-3B, RR-3C, RR-3D and RR-3E, TOWN OF ATRISCO GRANT (to be known as **CEJA VISTA**) zoned SU-1, C-1, R-LT, located on DENNIS CHAVEZ BLVD SW, between MEADE AVE SE and 118TH ST SW containing approximately 99 acre(s). [REF: 05DRB-01460, 05DRB-01461] *[Deferred from 8/30/06 & 9/27/06 & 10/4/06]* (P-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/18/06.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1004167**
06DRB-01367 Minor-SiteDev Plan
Subd/EPC
- 06DRB-01357 Minor-Prelim&Final Plat
Approval
06DRB-01358 Minor-Vacation of Private
Easements
7. **Project # 1002580**
06DRB-01370 Minor-Amnd SiteDev Plan
BldPermit
- CONSENSUS PLANNING agent(s) for LA ORILLA GROUP request(s) the above action(s) for all or a portion of Lot(s) 1-10, **BOSQUE PLAZA**, zoned C-1 (SC) located on COORS BLVD NW, between LA ORILLA RD NW and MONTANO PLAZA NW containing approximately 12 acre(s). [REF: 06EPC-01357, 06EPC-01358] [**Catalina Lehner, EPC Case Planner**] [*Deferred from 9/27/06*](E-12) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**
- SURV-TEK INC agent(s) for LA ORILLA GROUP, JIM & CHRISTEN SHULL request(s) the above action(s) for all or a portion of Lot(s) 7, 8 & 10-B, **BOSQUE PLAZA**, zoned C-1 (SC) neighborhood commercial zone, located on COORS BLVD NW, between LA ORILLA RD NW and MONTANO PLAZA NW containing approximately 3 acre(s). [REF: 05DRB-00821, 05DRB-01042, 06DRB-01367] [*Deferred from 9/27/06*] (E-12) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
- DAVID GREEN agent(s) for DUSTYN LADEWIG request(s) the above action(s) for all or a portion of Lot(s) 29 & 30, Block(s) 5 (to be known as (**TRACT A, NORTH ALBUQUERQUE ACRES**)) zoned IP, located on SAN DIEGO ST NE NE, between SAN MATEO ST NE and PAN AMERICAN FRWY NE containing approximately 2 acre(s). [REF: 03DRB-00566] [*Deferred from 9/27/06 & 10/4/06*] (B-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/11/06.**

8. **Project # 1004644**
06DRB-01189 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of, THE TRAILS, UNIT 2, SANTA FE 3, (to be known as **THE TRAILS, UNIT 9A**) zoned R-D, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). *[Deferred from 8/23/06 & 9/13/06 & 9/27/06 & 10/4/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/25/06.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project # 1005106**
06DRB-01392 Minor-Sidewalk Waiver

LORETTA NARANJO LOPEZ agent(s) for MARY LOU NARANJO request(s) the above action(s) for all or a portion of Lot(s) B, SORIDA ADDITION, **LANDS OF ARTHUR NARANJO**, zoned RA-2 residential and agricultural zone, located on DURANES RD NW, between LOS LUCERO RD NW and GUADALUPE TR NW containing approximately 2 acre(s). [REF: 06DRB-01251] *[Deferred from 10/4/06]* (H-12) **DEFERRED AT THE AGENT'S REQUEST TO 10/11/06.**

10. **Project # 1003886**
06DRB-01387 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for HOMESITE FIVE LTD request(s) the above action(s) for all or a portion of Tract(s) C & 42, MESA VILLAGE (to be known as **SILVER LEAF SUBDIVISION**) zoned R-3 residential zone, located on LOMAS BLVD NE, between SELLARS DR NE and EASTERDAY DR NE containing approximately 52 acre(s). [REF: 06DRB-00861] (J-20) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR REAL PROPERTY SIGNATURE, TO CHANGE THE PUBLIC WATER AND SEWER EASEMENTS TO CITY OF ALBUQUERQUE DEDICATION AND TO RECORD THE PLAT.**

11. ~~Project # 1004940~~
06DRB-00794 Minor- Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for SIGNATURE J HOMES INC request(s) the above action(s) for all or a portion of Tract(s) A, Lot(s) 30, 31 & 32 (to be known as **CHAMISA ENCANTADA**) zoned R-D residential and related uses zone, developing area, located on GRAYSON RD NW, between DUSKFIRE DR NW and TARRINGTON DR NW containing approximately 1 acre(s). *[Was Indef deferred from 6/14/06, was Indef deferred from 7/19/06]* (J-10) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR OPEN SPACE NOTE, CERTIFICATION OF GRADING PLAN, GREEN TAGS FOR SIDEWALK AND TO PLANNING TO RECORD.**

12. **Project # 1004465**
06DRB-01397 Minor-Prelim&Final Plat Approval

GARCIA/KRAEMER & ASSOCIATES agent(s) for AMY HENKEL request(s) the above action(s) for all or a portion of Lot(s) 9, **MAJOR ACRES**, zoned R-1, located on MAJOR AVE NW, between 12TH ST NW and 10TH ST NW containing approximately 1 acre(s). [REF: 05DRB-01541] (G-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

13. **Project # 1001182**
06DRB-01388 Minor-Prelim&Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for FULLER HOMES OF NM request(s) the above action(s) for all or a portion of Lot(s) 29 & 30, (to be known as **LOTS 29-A P-1 & 30-A P-1, BLUEWATER POINTE SUBDIVISION**), zoned RD-RLT, located on BLUEWATER RD NW, between EL SHADDAI ST NW and KETCH DR NW containing approximately 1 acre(s). [REF: 05DRB-01069] (K-9) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

14. **Project # 1005167**
06DRB-01391 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST agent(s) for ELFEGO & DELORES VALDEZ request(s) the above action(s) for all or a portion of Lot(s) 15, **RICE DURANES ADDITION #1**, zoned R-2, located on DURANES RD NW, between RICE AVE NW and RIO GRANDE BLVD NW containing approximately 1 acre(s). [REF: DRB-94-113] (H-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO WORK ON WATER AND SEWER ACCOUNT ISSUES.**
15. **Project # 1005064**
06DRB-01390 Minor-Prelim&Final Plat
Approval
- ALPHA PROFESSIONAL SURVEYING agent(s) for STEVEN RESTAINO request(s) the above action(s) for all or a portion of Lot(s) 38-A-2, M.R.G.C.D. MAP #32, **LANDS OF STEVEN RESTAINO**, zoned R-1, located on GUADALUPE TRAIL NW, between SANDIA RD NW and MONTANO NW containing approximately 1 acre(s). (F-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**
16. **Project # 1005172**
06DRB-01399 Minor-Prelim&Final Plat
Approval
- ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for UBALDO MENDOZA request(s) the above action(s) for all or a portion of Lot(s) 23 & 24, Block(s) 3, **FAIRGROUND ADDITION**, zoned C-3, located on FLORIDA ST SE, between CENTRAL AVE SE and COCHITI RD SE containing approximately 1 acre(s).(K-18) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RADIUS DEDICATION AT THE CORNER OF FLORIDA AND COCHITI AND TO PLANNING TO RECORD.**

17. **Project # 1004901**
06DRB-00689 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING agent(s) for RIVERA INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) A-1, Block(s) 29, HUNING CASTLE ADDITION (to be known as **HUNING CASTLE TOWNHOMES**) zoned R-3, located on ALCALDE PLACE SW, between LEAD AVE SW and COAL AVE SW containing approximately 1 acre(s). *[Was Indefinitely deferred 5/24/06 for grading and drainage plan and infrastructure list] [Deferred from 9/20/06 & 9/27/06]* (K-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/4/06 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: THE GRADING AND DRAINAGE PLAN SHALL BE APPROVED, IF THE FINAL PLAT IS APPROVED AFTER OCTOBER 31, 2006, THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS). THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

18. **Project # 1004606**
06DRB-01354 Major-Final Plat Approval

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 11, THE TRAILS, UNIT 2 (to be known as **VALLE VISTA AT THE TRAILS, UNIT 2**) zoned R-D, located on WOODMONT NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 12 acre(s). *[Deferred from 9/27/06 & 10/4/06]* (C-9) **THE ABOVE REQUEST WAS DEFERRED AT THE AGENT'S REQUEST TO 10/11/06.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

19. **Project # 1005170**
06DRB-01395 Minor-Sketch Plat or Plan

JOHN & ANITA MCDONOUGH request(s) the above action(s) for all or a portion of Lot(s) 30-A, **THOMAS VILLAGE ESTATES, PHASE II**, zoned RA-2, located on LA MANCHA NW, between DON QUIXOTE NW and CALLE DE DEBORAH NW containing approximately 1 acre(s). (G-12) **THE ABOVE REQUEST WAS REVIEWED**

AND COMMENTS WERE GIVEN.

- 20. Project # 1005168**
06DRB-01393 Minor-Sketch Plat or Plan

DIANNE COHEN request(s) the above action(s) for all or a portion of Lot(s) 12A & 13A, Block(s) 20, **PARKLAND HILLS ADDITION**, zoned R-1, located on PERSHING BLVD SE, between RIDGECREST SE and ALISO DR SE containing approximately 1 acre(s). (L-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

- 21. Project # 1005169**
06DRB-01394 Minor-Sketch Plat or Plan

ALPHA PROFESSIONAL SURVEYING INC agent(s) for UNM REAL ESTATE DEPARTMENT request(s) the above action(s) for portions of SECTIONS 10 & 11, T9NA3E, **UNM AIRPORT PARCEL**, zoned M-2, located on IRA SPRECHER RD SE, between LOS PICAROS SE and the ALBUQUERQUE INTERNATIONAL AIRPORT containing approximately 447 acre(s). (P-16, P-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

- 22. Project # 1005171**
06DRB-01396 Minor-Sketch Plat or Plan

BOHANNAN HUSTON INC agent(s) for WESTLAND DEVELOPMENT CO request(s) the above action(s) for PARCEL D, WESTLAND NORTH (to be known as **GRASSLANDS**) zoned SU-2, R-2, located on ARROYO VISTA BLVD NW, between LADERA DR NW and TIERRA PINTADA BLVD NW containing approximately 63 acre(s). (J-8) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. Approval of the Development Review Board Minutes for September 27, 2006. **THE DRB MINUTES FOR SEPTEMBER 27, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:10 A.M.



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 19 2006

13. Project # 1004940

06DRB-00794 Minor-Prelim&Final Plat Approval
06DRB-00795 Minor-Vacation of Private Easements

ISAACSON & ARFMAN PA agent(s) for SIGNATURE J HOMES INC request(s) the above action(s) for all or a portion of Tract(s) A, Lot(s) 30, 31 & 32 (to be known as **CHAMISA ENCANTADA**) zoned R-D residential and related uses zone, developing area, located on GRAYSON RD NW, between DUSKFIRE DR NW and TARRINGTON DR NW containing approximately 1 acre(s). *[Was Indef deferred from 6/14/06]* (J-10)

At the July 19, 2006, Development Review Board meeting, with the signing of the infrastructure list dated 7/19/06 the preliminary plat was approved with a the following condition of final plat:

If the final plat is approved after 10/31/06 the subdivider must comply with City Council Resolution R-06-74 regarding Pre-Development Facility Fee Agreements with the Albuquerque Public Schools (APS).

The final plat was indefinitely deferred for the SIA.

The vacation of private easements was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

Sheran Matson, AICP, DRB Chair

Cc: Signature J Homes, Inc., 6300 Jefferson NE, Suite 102, 87109
Isaacson & Arfman PA, 128 Monroe St NE, 87108
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

2. **Project # 1002375**
06DRB-00902 Major-Vacation of Pub
Right-of-Way
06DRB-00903 Major-Vacation of Public
Easements
- JACKS HIGH COUNTRY agent(s) for BARRY & SANDY HOPKINS request(s) the above action(s) for all or a portion of Tract(s) A, B, J & K, **THE PALISADES ADDITION**, located on LOMA HERMOSA DR NW, between BLUEWATER NW and YUCCA DR NW containing approximately 1 acre(s). [REF: 02DRB-01852] *[Deferred from 7/19/06]* (J-11) **DEFERRED AT THE AGENT'S REQUEST TO 8/16/06.**
3. **Project # 1004985**
06DRB-00916 Major-SiteDev Plan
BldPermit
- JIM MEDLEY ARCHITECT AIA agent(s) for TNJ GROUP OF COMPANIES request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 4-B, **SUNPORT PARK**, zoned IP, located on SUNPORT BLVD SE, between UNIVERSITY BLVD SE and I-25 containing approximately 5 acre(s). [REF: Project# 1001067] *[Deferred from 7/19/06]* (M-15) **DEFERRED AT THE AGENT'S REQUEST TO 8/2/06.**
4. **Project # 1000045**
06DRB-00919 Major-Vacation of Public
Easements
06DRB-00920 Minor-Prelim&Final Plat
Approval
06DRB-00921 Minor- SiteDev Plan for
Subd
- TIERRA WEST LLC agent(s) for SAM'S EAST INC request(s) the above action(s) for Tract(s) 3B2-A & 3A4-A-1, **RENAISSANCE CENTER**, zoned SU-1 FOR C-2, located on RENAISSANCE BLVD NE, between ALEXANDER BLVD NE and CULTURE DR NE containing approximately 15 acre(s). [REF: 05DRB-00030, 05DRB-00313, 06EPC-00285] (F-16) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RECIPROCAL CROSS ACCESS EASEMENTS FOR ALL LOTS AND PLANNING FOR 15-DAY APPEAL PERIOD AND TO RECORD. THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

5. **Project # 1003102**
06DRB-00832 Major-Preliminary Plat
Approval
06DRB-00837 Minor-Sidewalk Waiver
06DRB-00838 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 Du/Acre), located on LAGRIMA DE ORO NE, between JUAN TABO NE and MORRIS ST NE containing approximately 2 acre(s). [REF: 04DRB-00236, 06EPC-00146, 06EPC-00147, 05DRB-00911] *[Deferred from 7/12/06]* (F-21) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/19/06 AND APPROVAL OF THE GRADNG PLAN ENGINEER STAMP DATED 6/8/06 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: IF THE FINAL PLAT IS APPROVED AFTER 10/31/06 THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS). THE HOME OWNER'S ASSOCIATION PRESIDENT SHALL SIGN THE FINAL PLAT. IF THERE IS NO HOME OWNER'S ASSOCIATION PRESIDENT THE OWNER CAN SIGN. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

- 06DRB-00935 Minor-SiteDev Plan
Subd/EPC
06DRB-00936 Minor-SiteDev Plan
BldPermit/EPC

INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER, (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 DU/acre) located on JUAN TABO BLVD NE, between MONTGOMERY BLVD NE and LAGRIMA DE ORO RD NE containing approximately 2 acre(s). [REF: 05DRB-00911, 06EPC-00146, 06EPC-00147] **[David Stallworth, EPC Case Planner]** *[Deferred from 7/12/06]* (F-21) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE VACATION OF THE 35-FOOT ROADWAY AND PUBLIC UTILITY EASEMENT AND 3 COPIES OF THE SITE PLAN. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE VACATION OF THE 35-FOOT ROADWAY AND PUBLIC UTILITY EASEMENT AND 3 COPIES OF THE SITE PLAN.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1005023**
06DRB-01010 Minor-SiteDev Plan
BldPermit

DON DUDLEY ARCHITECT agent(s) for KEITH CHESHIRE, RIO GRANDE PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) 56, **ALAMEDA BUSINESS PARK**, zoned SU-2-IP/EP, located on PASEO ALAMEDA NE, between CALLE ALAMEDA NE and VISTA ALAMEDA NE containing approximately 1 acre(s). [REF: PROJECT # 1000624] (C-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR BUILD NOTES AND PLANNING FOR ADDITIONAL LANGUAGE ON SIGNATURE BLOCK AND 3 COPIES OF THE SITE PLAN.**

7. **Project # 1002651**
06DRB-01011 Minor-Amnd SiteDev Plan
BldPermit

ADVANCED ENGINEERING & CONSULTANTS agent(s) for DEVALMONT VINEYARDS INC request(s) the above action(s) for all or a portion of Lot(s) 25-A, Block(s) 15, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 for IP, located on INTERSTATE 25 FRONTAGE ROAD between CARMEL AVE NE and CORONA AVE NE containing approximately 2 acre(s). [REF: DRB-93-78, ZA-93-38, ZA-93-91] (C-18) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

8. **Project # 1004820**
06DRB-01007 Minor-SiteDev Plan
BldPermit/EPC
06DRB-01008 Minor-Prelim&Final Plat
Approval
06DRB-01009 Minor-Ext of SIA for Temp
Defer SDWK

FANNING BARD TATUM ARCHITECTS agent(s) for AQUATIC CONSULTANTS INC request(s) the above action(s) for all or a portion of Tract(s) D-1-B, Adobe Wells Subdivision (to be known as **AQUATIC CONSULTANTS OFFICE BUILDING**) zoned C-2, located on IRVING BLVD NW and EAGLE RANCH RD NW and containing approximately 3 acre(s). [REF: 06EPC-00470, DRB-95-33] **[Carmen Marrone, EPC Case Planner]** (B-13) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR CARMEN MARRONE'S INITIALS, VACATION OF THE 10-FOOT PUBLIC UTILITY EASEMENT AND 3 COPIES OF THE SITE PLAN. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/19/06 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: CHANGE "SEWER EASEMENTS" TO "PRIVATE SEWER EASEMENTS", ADD ITEM 4 TO "PURPOSE OF PLAT" AND BOB GAY'S SIGNATURE FOR NMU INC ON THE PLAT. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. THE EXTENSION OF SIA FOR TEMPORARY DEFERRAL OF SIDEWALKS 06DRB01009 WAS WITHDRAWN AT THE AGENT'S REQUEST.**

9. **Project # 1003012**
06DRB-00991 Minor-AmendedSiteDev
Plan BldPermit/EPC

WILLIAM A MCCONNELL ARCHITECT agent(s) for BEN PADILLA, TOWER ROAD BAPTIST CHURCH request(s) the above action(s) for all or a portion of Tract(s) 430-A, **ATRISCO GRANT, UNIT 3**, zoned SU-1 special use zone, located on 86TH ST SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 2 acre(s). [REF: 06EPC-00609] **[Petra Morris, EPC Case Planner]** (L-9) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

10. **Project # 1003993**
06DRB-01006 Minor-SiteDev Plan
BldPermit/EPC
06DRB-01005 Minor-Prelim&Final Plat
Approval
06DRB-01003 Minor-Vacation of Private
Easements

RHOMBUS PA INC agent(s) for GLOBAL STORAGE request(s) the above action(s) for all or a portion of Lot(s) A-37-1, NORTHEAST UNIT, TOWN OF ATRISCO GRANT (to be known as **GLOBAL STORAGE**) zoned SU-1-O-1, located on COORS BLVD NW, between SEQUOIA NW and ST JOSEPHS DR NW containing approximately 4 acre(s). [REF: 05EPC-00369, 05EPC-00370] **[David Stallworth, EPC Case Planner]** [Deferred from 7/19/06] (G-11) **DEFERRED AT THE AGENT'S REQUEST TO JULY 26, 2006.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1000965**
06DRB-01002 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for ASW REALTY, ANDALUCIA DEVELOPMENT CO request(s) the above action(s) for Lot(s) 91-A thru 129-A & Tract(s) M-1 & N-1, **ANDALUCIA AT LA LUZ**, zoned SU-1-PRD (5 du acre), located on SEVILLA AVE NW, between MI CORDELLA DR NW and TRES GRACIAS DR NW containing approximately 4 acre(s). [REF: 05DRB-01025] (F-11) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

12. **Project # 1005021**
06DRB-01000 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for JC PETERSON LLC request(s) the above action(s) for all or a portion of Lot(s) 3, 4, 5, 15, 16 and 17, Block(s) 5, **ESPERANZA ADDITION**, zoned C-1 & P, located on SAN MATEO BLVD SE, between TRUMBULL AVE SE and SOUTHERN AVE SE containing approximately 1 acre(s). [Deferred from 7/19/06] (L-18) **DEFERRED AT THE AGENT'S REQUEST TO 7/26/06.**

13. **Project # 1004940**
06DRB-00794 Minor-Prelim&Final Plat Approval
06DRB-00795 Minor-Vacation of Private Easements
- ISAACSON & ARFMAN PA agent(s) for SIGNATURE J HOMES INC request(s) the above action(s) for all or a portion of Tract(s) A, Lot(s) 30, 31 & 32 (to be known as **CHAMISA ENCANTADA**) zoned R-D residential and related uses zone, developing area, located on GRAYSON RD NW, between DUSKFIRE DR NW and TARRINGTON DR NW containing approximately 1 acre(s). *[Was Indef deferred from 6/14/06]* (J-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/19/06 THE PRELIMINARY PLAT WAS APPROVED WITH A CONDITION: IF THE FINAL PLAT IS APPROVED AFTER 10/31/06 THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS). THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. THE VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
14. **Project # 1004804**
06DRB-00751 Minor-Prelim&Final Plat Approval
- JESUS SANDOVAL agent(s) for ALEX MCCALLUM request(s) the above action(s) for all or a portion of Lot(s) 10 & 11A, Block(s) 8, **CASAS SERENAS**, zoned R-2, located on PENNSYLVANIA SE, between TRUMBULL SE and BELL SE containing approximately 1 acre(s). *[Deferred from 6/7/06 & Indef deferred on a no show 6/21/06]* (L-19) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE & RECORD THE PLAT.**
15. **Project # 1004909**
06DRB-00717 Minor-Prelim&Final Plat Approval
- PRECISION SURVEYS agent(s) for JOURNAL CENTER CORPORATION request(s) the above action(s) for all or a portion of Tract(s) 2A-2A-2B, **JOURNAL CENTER**, zoned IP, located on JEFFERSON NE, between HEADLINE NE and JOURNAL CENTER NE containing approximately 9 acre(s). *[Deferred from 5/31/06 & 6/7/06 & 6/28/06]* (D-17) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1004986**
06DRB-00922 Minor-Sketch Plat or Plan

STEPHEN & PATRICIA DWYER request(s) the above action(s) for all or a portion of Lot(s) 2, Tract(s) 2, **FOUR HILLS VILLAGE INSTALLMENT 11-A**, zoned R-1 residential zone, located on STAGECOACH RD SE, between PEDREGOSO PL SE and LA CABRA DR SE containing approximately 1 acre(s). *[Deferred from 7/12/06]* (M-23) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. **Project # 1004999**
06DRB-00965 Minor-Sketch Plat or Plan

GLEN EFFERTZ request(s) the above action(s) for all or a portion of Tract(s) 316, **OLD TOWN ELEMENTARY SCHOOL**, zoned RA-1, located on MOUNTAIN RD NW, between RIO GRANDE NW and GABALDON NW containing approximately 1 acre(s). (J-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1005014**
06DRB-00989 Minor-Sketch Plat or Plan

JACK'S HIGH COUNTRY agent(s) for PRISCILLA MARY CHAVEZ request(s) the above action(s) for all or a portion of Tract(s) 89-B1-B-1 and 89-B-3, **MAP 33**, zoned R-1, located on 12TH ST NW, between MC MULLAN AVE NW and MILDRED AVE NW containing approximately 1 acre(s). (G-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1005022**
06DRB-01001 Minor-Sketch Plat or Plan

GREG BACZEK agent(s) for PAUL CHENEY & NANCY BACZEK request(s) the above action(s) for all or a portion of Lot(s) 9 and 10, **GRANADA HEIGHTS ADDITION**, zoned R-1, located on the corner of ALISO DR SE and GARFIELD AVE SE, containing approximately 1 acre(s). (K-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **ADJOURNED: 12:05 P.M.**

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004940

AGENDA ITEM NO: 13

SUBJECT:

Final Plat
Preliminary Plat
Vacation of Private Easements

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No objection to Vacation request.
An approved certification of the grading and drainage plan is required prior to final plat approval.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

signed I.L. FP indaf

APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: JULY 19, 2006

2. **Project # 1000945**
06DRB-00710 Major-Two Year SIA

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for SCOTT G. COTE request(s) the above action(s) for all or a portion of Lot(s) 22, Block(s) 26, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/IP, located on EAGLE ROCK NE, between SAN PEDRO NE and LOUISIANA BLVD NW containing approximately 1 acre(s). [REF: DRB-99-75] (C-18) **TWO-YEAR SIA WAS APPROVED.**

3. **Project # 1003403**
06DRB-00707 Major-Two Year SIA

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) F, **THE RESERVE @ THE TRAILS**, zoned R-D residential and related uses zone, developing area, located on WOODMONT AVE NW, between RAINBOW BLVD NW and OAKRIDGE ST NW containing approximately 17 acre(s). [REF: O4DDRB01493] (C-9) **TWO-YEAR SIA WAS APPROVED.**

4. **Project # 1004556**
06DRB-00708 Major-Amended
SiteDev Plan BldPermit

BOHANNAN HUSTON agent(s) for MASTHEAD ROAD LAND PARTNERS LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between BARTLETT ST NE and WASHINGTON ST NE containing approximately 10 acre(s). [REF: 05DRB-01781] (D-17) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PRIVATE SANITARY SEWER EASEMENTS ON SITE PLAN AND LANDSCAPE PLAN, JOURNAL CENTER ARCHITECTURAL REVIEW COMMITTEE APPROVAL LETTER, 15-DAY APPEAL PERIOD AND 3 COPIES OF THE SITE PLAN.**

5. **Project # 1004496**
 06DRB-00667 Major-Preliminary Plat Approval
 06DRB-00668 Major-Vacation of Pub Right-of-Way
 06DRB-00669 Major-Vacation of Public Easements
 06DRB-00671 Minor-SiteDev Plan Subd/EPC
 06DRB-00670 Minor-Sidewalk Waiver

GARCIA/KRAEMER & ASSOCIATES agent(s) for TRAMWAY ASSOCIATES INC request(s) the above action(s) for all or a portion of Lot(s) 1, 1A & 1B, Block(s) J & K, CENAROCA ADDITION (to be known as **THE BLUFFS AT ENCANTADO**) zoned SU-1, RT, located on TRAMWAY BLVD NE, between SKYLINE RD NE and ENCANTADO RD NE containing approximately 3 acre(s). [REF: 05EPC-01805, 06EPC-00138] [**Stephanie Shumsky, EPC Case Planner**] [*Deferred from 6/7/06 & 6/14/06*] (K-23/L-23) **DEFERRED AT THE AGENT'S REQUEST TO 6/21/06.**

6. **Project # 1004877**
 06DRB-00634 Major-Vacation of Pub Right-of-Way
 06DRB-00635 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES INC agent(s) for THE BOARD OF EDUCATION FOR THE CITY OF ALBUQUERQUE (APS REAL ESTATE OFFICE) request(s) the above action(s) for all or a portion of Lot(s) 1-10, Block(s) 3 and Lot(s) 1-9, Block(s) 4, **MANDELL ADDITION NO 2**, zoned M-1, located on WOODLAND AVE NW, between 4TH ST NW and 2ND ST NW containing approximately 4 acre(s). [*Deferred from 5/31/06 & 6/7/06*] (H-14) **THE VACATION OF 1ST STREET WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE VACATION OF THE ALLEY WAS WITHDRAWN AT THE BOARD'S REQUEST BY THE AGENT. THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE GIVEN.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1004928**
 06DRB-00800 Minor-North Fourth Street Sector Development Plan

ARCHITECTUAL RESEARCH CONSULTANTS (ARC) agent(s) for CITY OF ALBUQUERQUE-REDEVELOPMENT AGENCY, PLANNING

Boundaries

DEPARTMENT, request(s) the above action(s) for the **NORTH 4TH ST. RANK THREE CORRIDOR PLAN**, North Fourth Street Sector Development Plan Boundaries from downtown to the City limits along North Fourth Street, area has multiple zoning, located on North 4th St NW between Lomas NW and Solar NW containing approximately 1,290 acre(s). (J-14, H-14, G-14, F-14, E-14) **THE DEVELOPMENT REVIEW BOARD RECOMMENDS APPROVAL OF THE NORTH FOURTH STREET SECTOR DEVELOPMENT PLAN BOUNDARIES, NORTH 4TH STREET, RANK 3 CORRIDOR PLAN, AS PRESENTED, TO THE ENVIRONMENTAL PLANNING COMMISSION.**

8. **Project # 1004818**
06DRB-00799 Minor-SiteDev Plan
BldPermit/EPC

DENISH & KLINE ASSOCIATES agent(s) for PACIFICA MESA STUDIOS LLC request(s) the above action(s) for all or a portion of Tract(s) 4B, MESA DEL SOL AND Tract(s) 4-A, 4-B & 4-C (to be known as **ALBUQUERQUE STUDIOS**) zoned SU-2 for PC, located at the intersection of UNIVERSITY BLVD SE, between BOBBY FOSTER RD SE and containing approximately 2 acre(s). [REF: 06EPC00466] **[Russell Brito, EPC Case Planner] (R-16) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/14/06 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA, 3 COPIES OF THE SITE PLAN, RADII DIMENSIONS AND PAPER SIDEWALK EASEMENTS AND UTILITIES DEVELOPMENT FOR UTILITY PLAN REVISIONS AND APROVAL OF THE DEVELOPMENT AGREEMENT BY THE ABCWUA.**

9. **Project # 1002405**
06DRB-00796 Minor-SiteDev Plan
BldPermit/EPC

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for CRACKER BARREL OLD COUNTRY STORE INC request(s) the above action(s) for all or a portion of Tract(s) A-28-B-1-A, NORTHEAST UNIT, TOWN OF ATRISCO GRANT (to be known as **CRACKER BARREL**) zoned SU-1 FOR C-1 AUTO BODY REPAIR AND PAINTING, located on REDLANDS RD NW, between COORS BLVD NW and ATRISCO DR NW containing approximately 3 acre(s). [REF: DRB-94-398, Z-99-94, 06EPC00471] [**Carmen Marrone, EPC Case Planner**] [*Deferred from 6/14/06*] (G-11) **DEFERRED AT THE AGENT'S REQUEST TO 6/21/06.**

10. **Project # 1004937**
06DRB-00789 Minor-SiteDev Plan
BldPermit

JEFFREY HOWELL agent(s) for JEHOVAH'S WITNESSES, DESERT HILLS CONGREGATION request(s) the above action(s) for all or a portion of Lot(s) 28, Block(s) 11, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT A (to be known as **KINGDOM HALL OF JEHOVAH'S WITNESSES**) zoned RD, located on PALOMAS AVE NE, between SAN PEDRO NE and LOUISIANA NE containing approximately 1 acre(s). [REF: DRB-93-125] (D-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVLEOPMENT TO ADDRESS COMMENTS ON THE COMMENT SHEET PROVIDED AT THE MEETING AND PLANNING TO ADDRESS PLANNING COMMENTS AND 3 COPIES OF THE SITE PLAN.**

11. **Project # 1004821**
06DRB-00804 Minor-SiteDev Plan
BldPermit/EPC

JACK HARRIS ARCHITECTS INC agent(s) for DR SHAWN HWANG request(s) the above action(s) for all or a portion of Lot(s) H-6A4A, RIVERVIEW (to be known as **DR SHAWN HWANG DENTAL OFFICE BUILDING**) zoned SU-1 for IP, located on the

northwest corner at the intersection of GOLF COURSE RD NW, between PASEO DEL NORTE NW and containing approximately 1 acre(s). [REF: 06EPC-0 0472, DRB-94-547] [**Stephanie Shumsky, EPC Case Planner**] (C-12) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR A COPY OF THE ACCESS DOCUMENT, ADA RAMPS WITHIN AN EASEMENT AND ADA RAMP DETAILS AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

12. Project # 1004532
06DRB-00741 Minor-SiteDev Plan
BldPermit/EPC

FANNING BARD TATUM ARCHITECTS agent(s) for ASHCROFT REAL ESTATE & DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) B-1, MESA DEL NORTE ADDITION (to be known as **LOUISIANA PLACE**, zoned SU-2, R-2 & O-1, located on LOUISIANA BLVD NE, between CONSTITUTION BLVD NE and SUMMER AVE NE containing approximately 5 acre(s). [REF: 05EPC-01693] [**Stephanie Shumsky, EPC Case Planner**] [*Deferred from 6/7/06 & 6/14/06*] (J-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/21/06.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

13. Project # 1004233

06DRB-00793 Minor-Extension of Preliminary Plat

BOHANNAN HUSTON agent(s) for WESTLAND DEVELOPMENT CO request(s) the above action(s) for all or a portion of Tract(s) I-2, WESTLAND NORTH (to be known as **STORMCLOUD SUBDIVISION**, zoned SU-2, R-LT, located on TIERRA PINTADA ST SW, between ARROYO VISTA BLVD SW and LADERA DR SW containing approximately 107 acre(s). [REF:05DRB-00899] (H-9, J-8, J-9) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

06DRB-00646 Minor-Final Plat Approval

PRECISION SURVEYS INC agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) I-2, SUNDORO SUBDIVISION, UNIT 1 (to be known as **STORMCLOUD SUBDIVISION, UNIT 1**, zoned SU-2, R-LT, located on ARROYO VISTA BLVD NW, between TIERRA VISTA ST NW and LADERA DR NW containing approximately 164 acre(s). [REF: 05DRB-00899, 05DRB-00900, 05DRB-00901, 05DRB-00902] [*Indef Deferred on 5/17/06*] (H-8, H-9, J-8, J-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCA SIGNATURE AND PLANNING TO RECORD.**

14. Project # 1004940

06DRB-00794 Minor-Prelim&Final Plat Approval
06DRB-00795 Minor-Vacation of Private Easements

ISAACSON & ARFMAN PA agent(s) for SIGNATURE J HOMES INC request(s) the above action(s) for all or a portion of Tract(s) A, Lot(s) 30, 31 & 32 (to be known as **CHAMISA ENCANTADA**) zoned R-D residential and related uses zone, developing area, located on GRAYSON RD NW, between DUSKFIRE DR NW and TARRINGTON DR NW containing approximately 1 acre(s). (J-10) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

15. **Project # 1002632**
06DRB-00585 Minor-Final Plat
Approval

TIERRA WEST LLC agent(s) for CAPITAL ALLIANCE INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) 4-6, **SUNDANCE ESTATES, UNIT 1**, zoned R-LT residential zone, located on PARADISE BLVD NW, between LYONS BLVD NW and PROPOSED UNSER ALIGNMENT, containing approximately 36 acre(s). [REF: 03EPC00690, 03DRB01306, 04DRB00760, 04DRB00761, 04DRB01761] *[Deferred from 5/3/06 & 5/24/06 for SIA AND 15-Day Appeal period]* (B-11) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RECORDING OF THE UNSER EASEMENT AND APPROVAL BY THE CITY AND PLANNING TO RECORD THE PLAT.**

16. **Project # 1004909**
06DRB-00717 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS agent(s) for JOURNAL CENTER CORPORATION request(s) the above action(s) for all or a portion of Tract(s) 2A-2A-2B, **JOURNAL CENTER**, zoned IP, located on JEFFERSON NE, between HEADLINE NE and JOURNAL CENTER NE containing approximately 9 acre(s). *[Deferred from 5/31/06 & 6/7/06]* (D-17) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. Project # 1004932
06DRB-00775 Minor-Sketch Plat or
Plan

KIMCON INC AND/OR WALTER TILLEY agent(s) for ALAN MALOTT request(s) the above action(s) for all or a portion of Lot(s) B, Block(s) 5, **MONTE VISTA ADDITION**, zoned C-1, located on CAMPUS BLVD NE, between TULANE DR NE and CARLISLE NE containing approximately 1 acre(s). (K-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. Project # 1004941
06DRB-00797 Minor-Sketch Plat or
Plan

LARKIN GROUP NM INC agent(s) for JOHN W. DANIELS request(s) the above action(s) for all or a portion of Tract(s) A-1, **TRAMHILL TOWNHOMES**, zoned C-1, located on COPPER AVE NE, between MOUNTAINVIEW AVE NE and TRAMWAY BLVD NE containing approximately 1 acre(s). (K-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. Project # 1004942
06DRB-00798 Minor-Sketch Plat or
Plan

LARKIN GROUP NM INC agent(s) for ROBERT HILLS request(s) the above action(s) for all or a portion of Lot(s) 16 & 17, **COLES INDUSTRIAL SUBDIVISION**, zoned M-1, located on CANDELARIA RD NE, between VASSAR DR NE and GIRARD BLVD NE containing approximately 1 acre(s). (H-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. Project # 1004943
06DRB-00801 Minor-Sketch Plat or
Plan

ISAAC BENTON & ASSOCIATES agent(s) for AMERI-CONTRACTORS request(s) the above action(s) for all or a portion of Tract(s) D, **VILLAGE CENTER NORTH**, zoned SU-1, R-2, located on PINNACLE PEAK NW, between SUMMER RIDGE NW and MCMAHON BLVD NW containing approximately 1 acre(s). (A-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. Project # 1004944
06DRB-00803 Minor-Sketch Plat or
Plan

REX O LEWIS request(s) the above action(s) for all or a portion of Lot(s) 11 & 12, Block(s) 18, **EAST CENTRAL BUSINESS ADDITION**, zoned C-3 heavy commercial zone, located on MURIEL ST NE, between BUENA VENTURA RD NE and LINN NE containing approximately 1 acre(s). (K-21) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. Approval of the Development Review Board Minutes for June 7, 2006. THE DRB MINUTES FOR JUNE 7, 2006 WERE APPROVED BY THE BOARD.

ADJOURNED: 11:35 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004940

AGENDA ITEM NO: 14

SUBJECT:

Vacation
Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

Albuquerque

The Hydrology Section has no objection to the vacation request.
Certification of the grading plan must be approved prior to City Engineer signature of Final Plat.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED indcF X ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: June 14, 2006

#14

4940

DXF Electronic Approval Form

DRB Project Case #: 1004940

Subdivision Name: CHAMISA ENCANTADA LOTS 30-32

Surveyor: TIMOTHY ALDRICH

Contact Person: RUTH LOZANO

Contact Information: 268-8828

DXF Received: 6/9/2006

Hard Copy Received: 6/9/2006

Coordinate System: NMSP Grid (NAD 27)


Approved


06.12.2006
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc 4940 to agiscov on 6/12/2006 Contact person notified on 6/12/2006

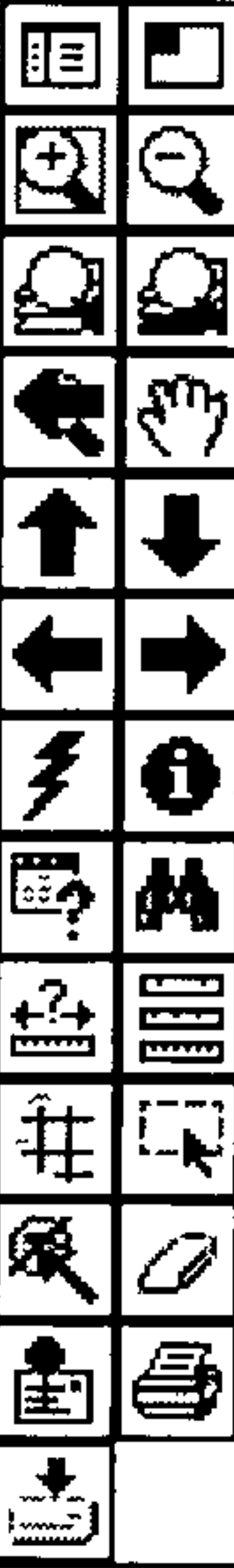


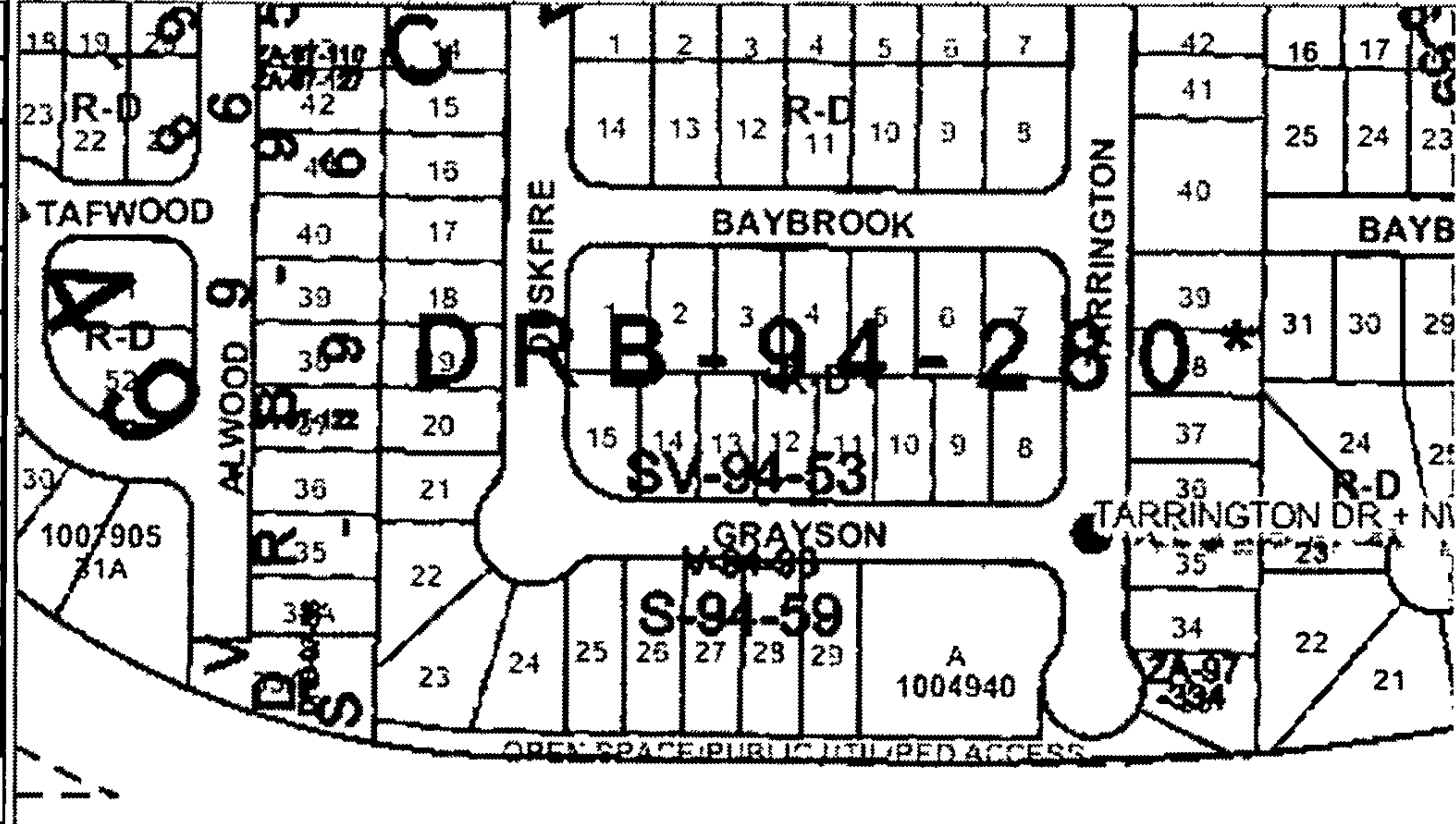
#14
#1004940
6/14/06



CITY OF ALBUQUERQUE
www.cabq.gov

ALBUQUERQUE GIS DATA WEBSITE





LAYERS

- All Layers
- STREETS
- BASEMAP
- PARCELS
- LOT NUMBERS
- METRO ADDRE
- ZONING
- OWNERSHIP
- 10FT CONTOUR
- 2FT CONTOUR
- ADDRESS POIN
- LANDUSE
- INFRASTRUCTURE
- TRANSIT/SUNTRAN
- BOUNDARIES
- SITES
 - HISTORIC PLAC
 - CASE TRACKING
 - CASE HISTORY
 - 2005 BUSINESS
 - CENTERS
 - CRP LOCATION
 - CITY FACILITIE
 - RECYCLE DROP
 - PUBLIC ART
- ENVIRONMENT
- APS
- TRAFFIC ENG.
- AIR PHOTO
 - 2004 AIR PHOTO
 - 2002 AIR PHOTO
 - 1999 AIR PHOTO

Locate Results

#	Address	Score
1	TARRINGTON DR + NW GRAYSON RD NW	39

Zoom In

[SEARCH CONTACT](#)

[REFRESH](#)

[HELP](#)

[INDEX PAGE](#)

Auto Refresh



"Fred C. Arfman"
<freda@iacivil.com>
09/25/2006 02:29 PM

To csenova@cabq.gov
cc
bcc
Subject Chamisa Encantada, Tr A (Proj: #1004940)

Claire Senova
DRB Administrative Assistant
Planning Department, 2nd Floor
600 2nd St. NW
Albuquerque, NM 87102

RE: Chamisa Encantada Subdivision, Tract A

Claire;

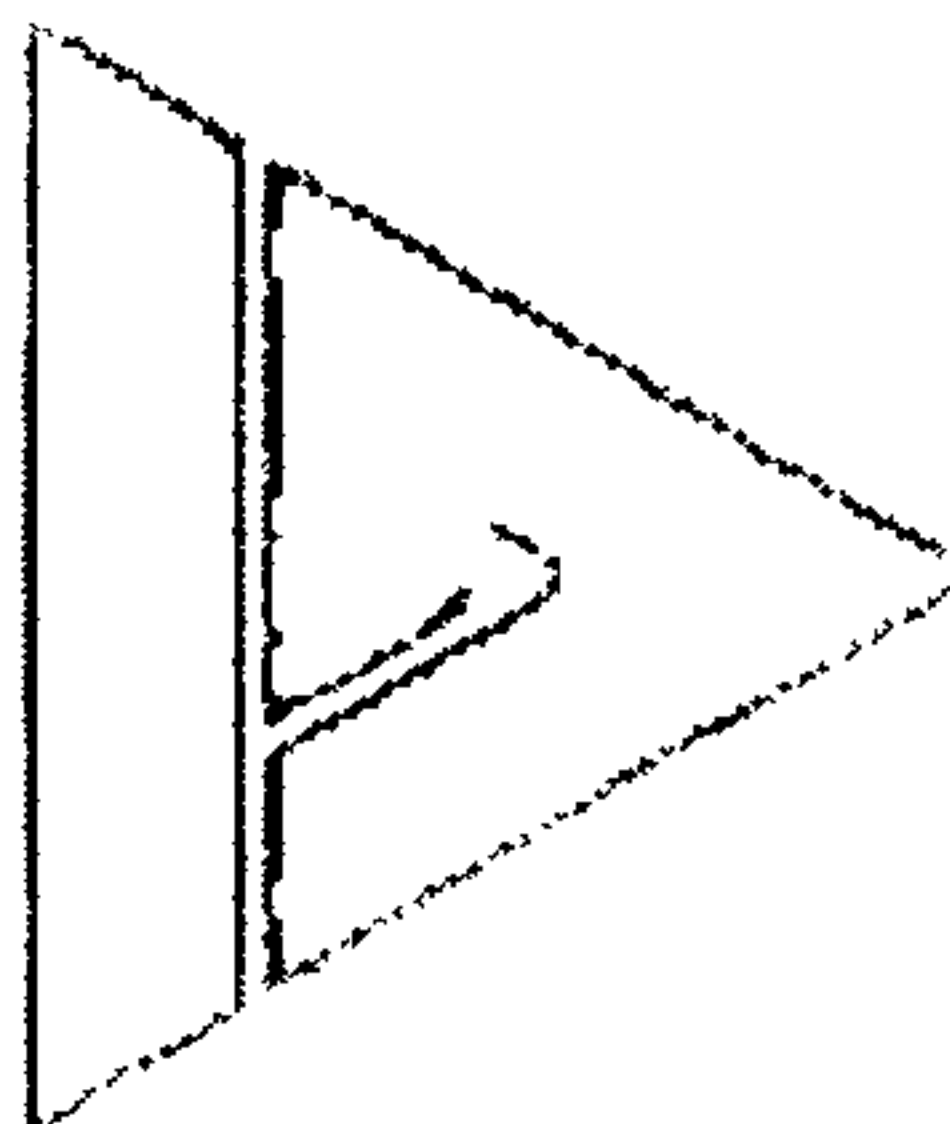
Isaacson & Arfman, P.A. is the agent for Signature J Homes, developer of the above referenced tract. We are hereby requesting to be placed back on the DRB schedule for the October 4, 2006 hearing. The developer intends to satisfy the condition of final plat by having the required sidewalks constructed prior to the final plat hearing and approval in-lieu of recording a S.I A.

Signature J Homes has projected that all sidewalks will be in place by Sept. 28th. Our office shall certify that the sidewalks are complete prior to the DRB hearing. If additional information is required on this matter, please contact our office and we shall do our best to assist the City.

Very truly yours,
Isaacson & Arfman, P.A.

Fred C. Arfman P.E.

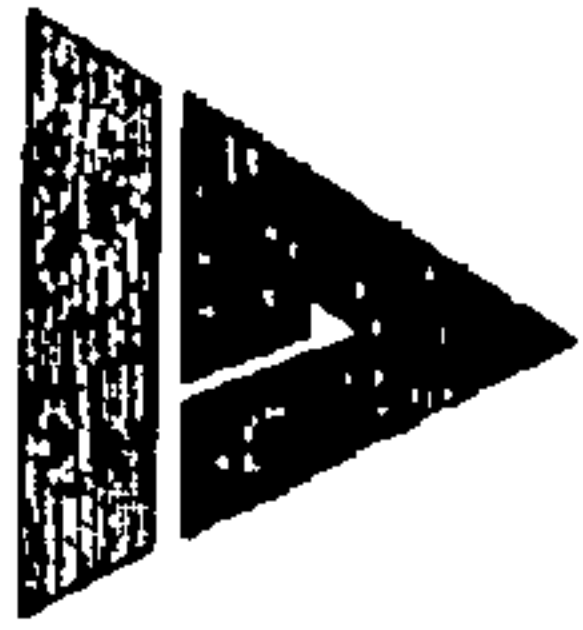
Fred C. Arfman, P.E.



Principal/ Vice President

Isaacson & Arfman, P.A.
Consulting Engineering Associates
128 Monroe St. N.E.
Albuquerque, NM 87108
Phone: (505)268-8828
Fax: (505)268-2632
Email: freda@iacivil.com

*No SIA
needed
C.*

**PROJECT MEMORANDUM**

09/22/06

TO: Claire Senova, DRB Administrative Assistant Fax #924-3864

FROM: Fred C. Arfman, Isaacson & Arfman, P.A. 268-8828

REF: Plat of Lots 30, 31, & 32, Chamisa Encantada **I&A PROJ NO:** 1527
DRB Project No. 1004940

SUBJ: DRB Agenda

Please schedule the above referenced plat on the October 4, 2006 DRB Agenda.
If you have any questions please call.

INFRASTRUCTURE LIST

(Rev 9-20-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved. N/A
 Date Preliminary Plat Approved. 07/19/06
 Date Preliminary Plat Expires 07/19/07
 DRB Project No.: 1004940
 DRB Application No 06DRB-00794

#13

ORIGINAL

**CHAMISA ENCANTADA
PROPOSED NAME OF PLAT**

**TRACT A, CHAMISA ENCANTADA
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	Private P.E.	City Cnst Engineer
		4'	PCC Sidewalk	Grayson Road NW South Side Only	West PL Lot 30	Tarrington Dr NW	/	/	/
		4'	PCC Sidewalk	Tarrington Dr NW West Side Only	Grayson Road NW	South PL Lot 32	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
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							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing.
 The items listed below are subject to the standard SIA requirements.

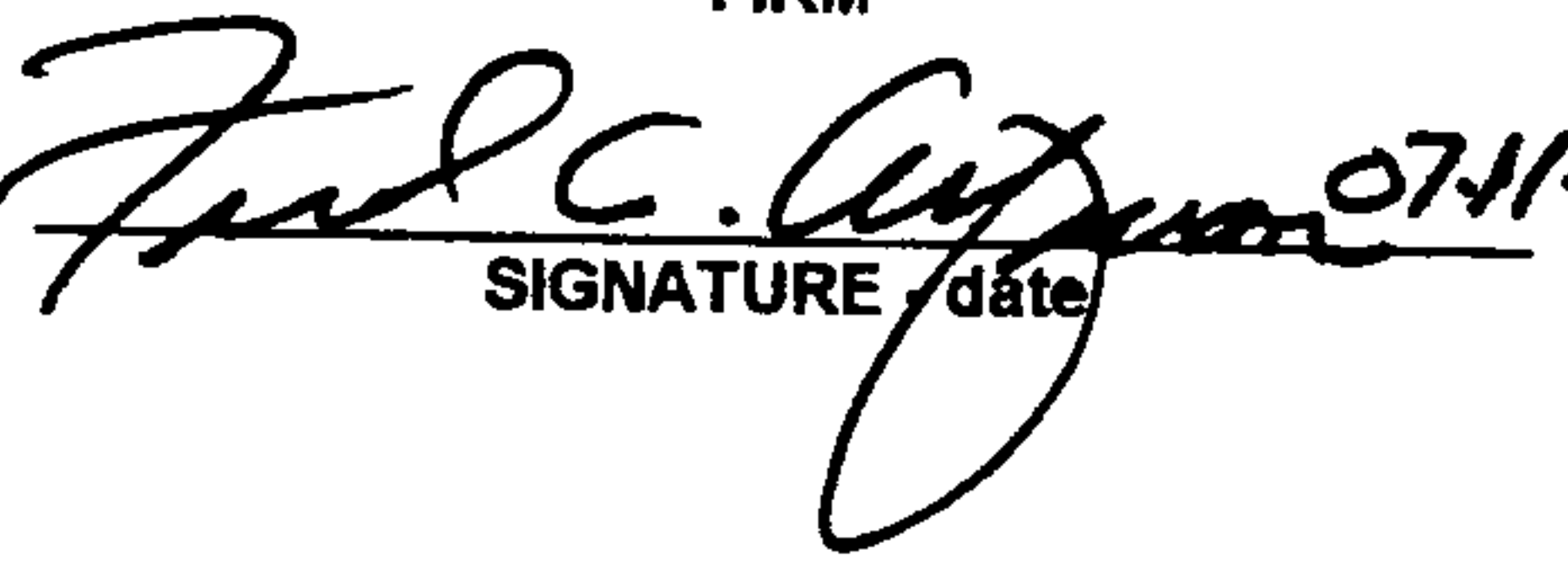
Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

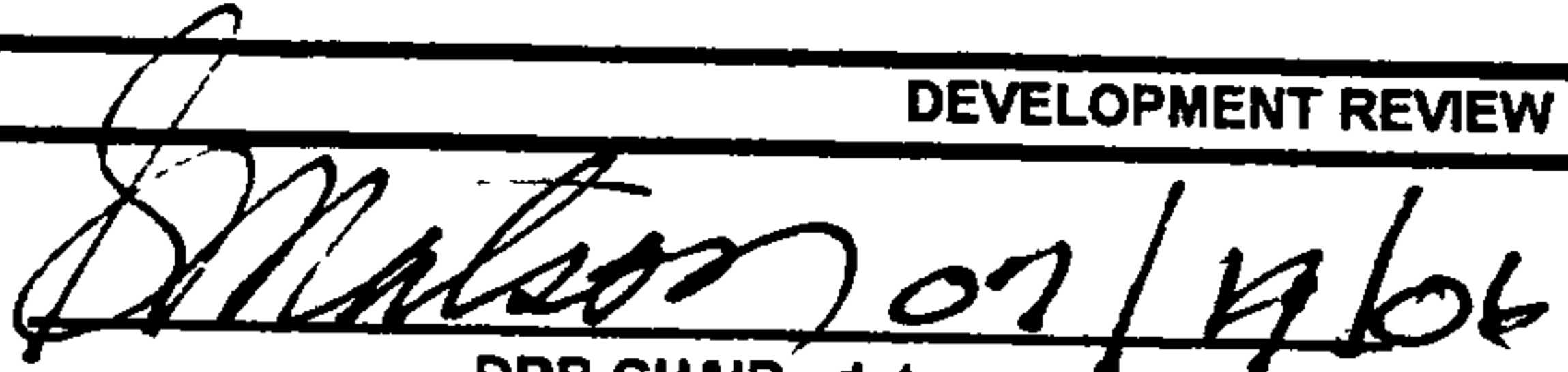
If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
 Street lights per City requirements.


- 1 _____
- 2 _____
- 3 _____


AGENT / OWNER


Fred C. Arfman, PE
 NAME (print)
Isaacson & Arfman, P.A.
 FIRM

 SIGNATURE / date


DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

 07/19/06
 DRB CHAIR - date

 7/19/06
 PARKS & GENERAL RECREATION - date

 7-19-06
 TRANSPORTATION DEVELOPMENT - date

 7/19/06
 UTILITY DEVELOPMENT - date

 7/19/06
 CITY ENGINEER - date

 AMAFCA - date

 - date

 - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME _____
 AGENT ISAACSON & ARFMAN PA
 ADDRESS 128 MONROE ST NE
 PROJECT & APP # 1004940
 PROJECT NAME CHAMISA ENCANTADA


DUPLICATE
 City of Albuquerque
 Treasury Division

7/11/2006 8:22AM LOC: AMNY
 RECEIPT# 00055553 WSH 007 TRASHK 0002
 ACCOUNT 441006 FUND 0110 TRSKAI
 ACTIVITY 4983000
 TRANS AMT \$50.00
 J24 Misc \$50.00

CASH CHANGE \$50.00
 In only You \$0.00

\$ _____ 441032/3424000 Conflict Management Fee
 \$ 50.00 441006/4983000 DRB Actions DEFERRAL
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study
 \$ 50.00 TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

ISAACSON AND ARFMAN P A 128 MONROE ST NE ALBUQUERQUE, NM 87108-1247 <u>268-8828</u>		17159 95-219/1070 176 1350743997
PAY TO THE ORDER OF <u>City of Albuquerque</u>		DATE <u>7/10/06</u>
<u>Fifty + 00/100</u>		\$ <u>50.00</u> DOLLARS
 Wells Fargo Bank, N.A. New Mexico wells Fargo.com		Security Features Details on Back
FOR <u>1004940 Chamisa Encantada</u>		<u>Paul C. Arfman</u> MP
⑈00017159⑈ ⑈107002192⑈ ⑈1350743997⑈		

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION		Supplemental form	
<input type="checkbox"/>	Major Subdivision action	S	Z ZONING & PLANNING
<input checked="" type="checkbox"/>	Minor Subdivision action		<input type="checkbox"/> Annexation
<input checked="" type="checkbox"/>	Vacation	V	<input type="checkbox"/> County Submittal
<input type="checkbox"/>	Variance (Non-Zoning)		<input type="checkbox"/> EPC Submittal
SITE DEVELOPMENT PLAN		P	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
<input type="checkbox"/>	for Subdivision Purposes		<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/>	for Building Permit		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/>	IP Master Development Plan		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/>	Cert. of Appropriateness (LUCC)	L	<input type="checkbox"/> Street Name Change (Local & Collector)
STORM DRAINAGE		A	APPEAL / PROTEST of...
<input type="checkbox"/>	Storm Drainage Cost Allocation Plan	D	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: SIGNATURE J HOMES, INC. PHONE: 828-1100
 ADDRESS: 6300 JEFFERSON, STE. 102 FAX: 823-9440
 CITY: ABQ STATE NM ZIP 87109 E-MAIL: jwatson@bicnm.com
 Proprietary interest in site: OWNER List all owners: HED IN FEE SIMPLE TITLE BY ABOVE
 AGENT (if any): ISAACSON & ARFMAN, P.A. PHONE: 268-8828
 ADDRESS: 128 MONROE ST. NE FAX: 268-2632
 CITY: ABQ STATE NM ZIP 87108 E-MAIL: FREDA@IACIVIL.COM

DESCRIPTION OF REQUEST: VACATION OF A TEMPORARY DRAINAGE FACILITY OVER TRACT A, CHAMISA ENCANTADA + Minor Subdivision Preliminary/Final Plat Approval (to be approved by Chamisa Encantada)
 Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No. Lots 30, 31, + 32

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT A Block: _____ Unit: _____
 Subdiv. / Addn. CHAMISA ENCANTADA
 Current Zoning: R-D Proposed zoning: SAME
 Zone Atlas page(s): J-10 No. of existing lots: 1 No. of proposed lots: 3
 Total area of site (acres): 0.4728 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: 634
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO.
 UPC No. 101005803836620531 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: GRAYSON RD. NW
 Between: DUSKFIRE DR. NW and TARRINGTON DR. NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____
S-94-59, DRB 94-280
 Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: _____

SIGNATURE Fred C. Arfman DATE 06-6-06
 (Print) FRED C. ARFMAN _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB 00794</u>	<u>PAF 5(3)</u>		\$ <u>355.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>06DRB 00795</u>	<u>VPRE</u>		\$ <u>45.00</u>
<input type="checkbox"/> All case #s are assigned	_____	<u>CME</u>		\$ <u>20.00</u>
<input type="checkbox"/> All case #s are assigned	_____	_____		\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____		\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____		\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____		\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____		\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____		\$ _____
	Hearing date <u>06/14/06</u>			Total \$ <u>420.00</u>

Sandy Hendley 06/06/06 Project # 1004940

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
- Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
- Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
- Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **24 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DPM)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the variance or waiver
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the deferral or extension
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (not to exceed 8.5" by 14") **6 copies**
- Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies** *see plat*
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the vacation
- Letter of authorization from the grantors and the beneficiaries *NA*
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF RECORDED PLAT

- 6 copies** of the recorded plat to be vacated.
- 6 copies** of documents justifying the vacation.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter describing, explaining, and justifying the vacation
- Any original and/or related file numbers are listed on the cover application
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

FRED C. ARFMAN
Applicant name (print)
Fred C. Arfman 06/06/06
Applicant signature / date



Form revised 4/03, 10/03 and APRIL 2006

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
060000 - 00795
_____-_____
_____-_____

Sandy Handley 06/06/06
Planner signature / date
Project # 1004946

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) ... INTERNAL ROUTING

- SKETCH PLAT REVIEW AND COMMENT** **YOUR ATTENDANCE IS REQUIRED.**
- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application

- MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT** **Your attendance is required.**
- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Copy of previous D.R.B. approved infrastructure list
 - Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
 - Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.**
Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Design elevations & cross sections of perimeter walls **3 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - NA* Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - NA* Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
 - NA* Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED. *forth coming***

- AMENDMENT TO PRELIMINARY PLAT (with minor changes)** **Your attendance is required.**
- AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**
- AMENDMENT TO GRADING PLAN (with minor changes)**
- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

FRED C. ARFMAN
Applicant name (print)

Fred C. Arfman 06.6.06
Applicant signature / date



Checklists complete Application case numbers

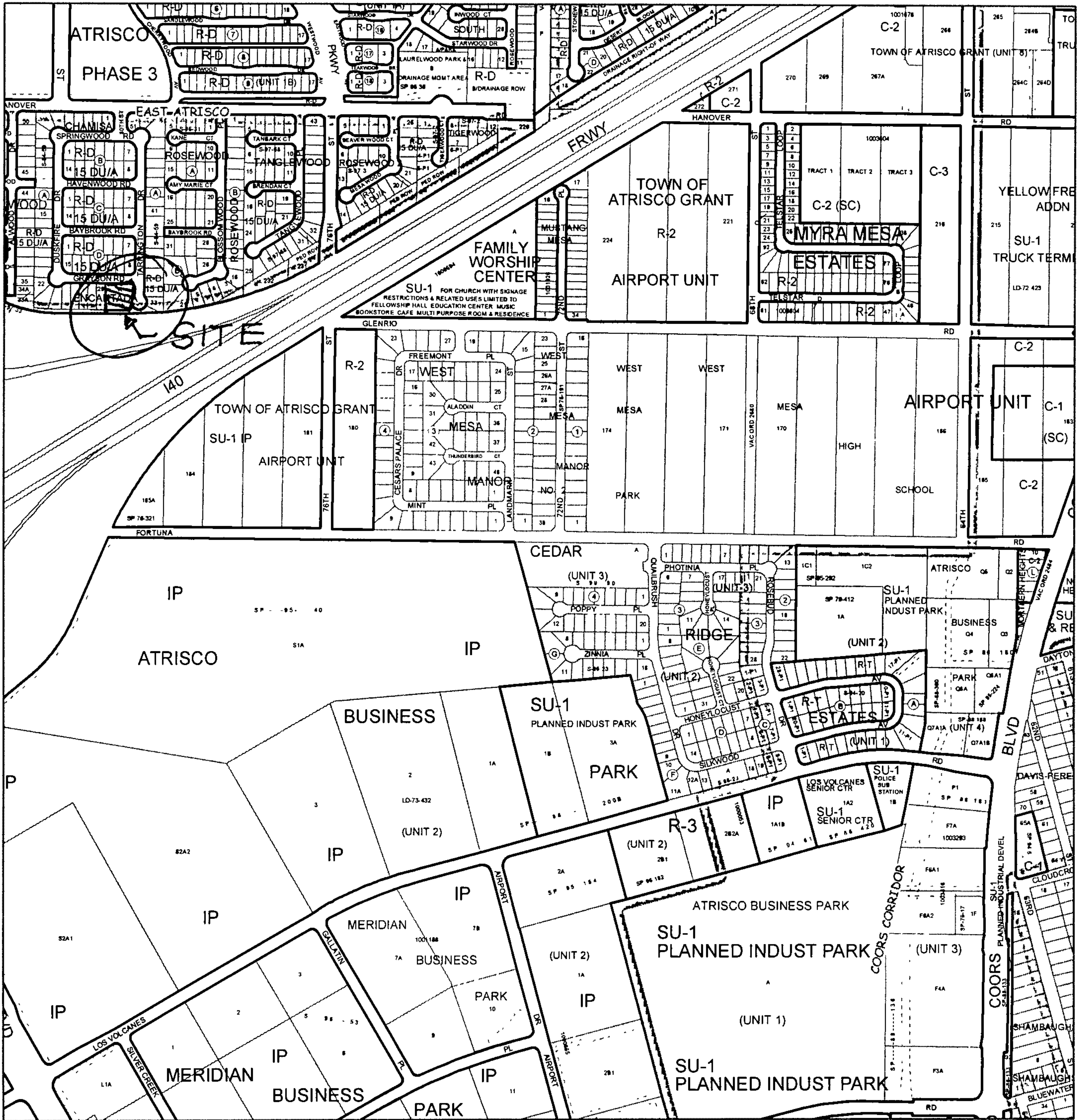
Fees collected 06DRB - 00794 Sandy Handley 06/06/06
Planner signature / date

Case #s assigned _____ - _____

Related #s listed _____ - _____

Project # 1004940

Form revised 8/04, 1/05 & 10/05



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through 11/2/2005

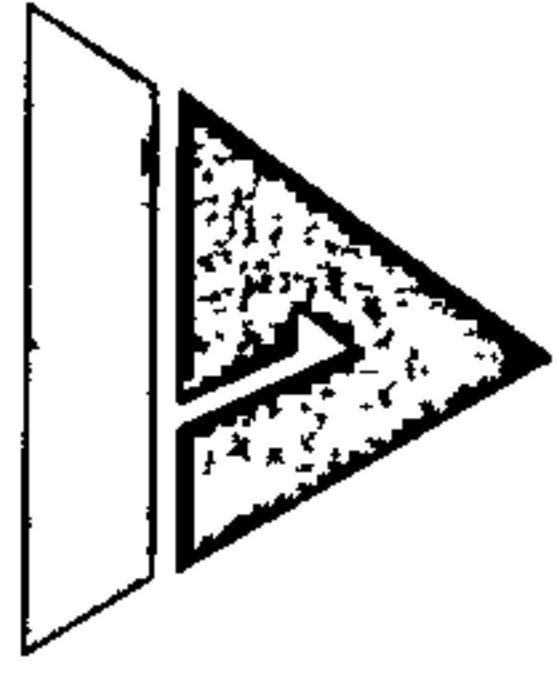
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
J-10-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon		

0 750 1,500 Feet



PROJECT MEMORANDUM

06/06/06

TO: Sheran Matson, Chair, Development Review Board

FROM: Fred C. Arfman, Isaacson & Arfman, P.A.

REF: Chamisa Encantada, Tract A

I&A PROJ NO: 1537

SUBJ: Minor Replat & Vacation of Temporary Drainage Facility

Isaacson & Arfman, P.A. is the consulting engineer for Signature J Homes and have submitted the minor plat to the DRB. The subject tract was originally used as a temporary drainage facility (pond) as designated on the Chamisa Encantada plat. The temporary facility was to be abandoned once that portion of the West Bluff Diversion Channel adjacent to the subdivision was substantially complete.

The Chamisa Encantada project had the required utility stub-out extended to the future three lots as shown on the current platting action. There are no infrastructure improvements required for the lots and the pond is programmed for earthwork to create the pads for these lots.

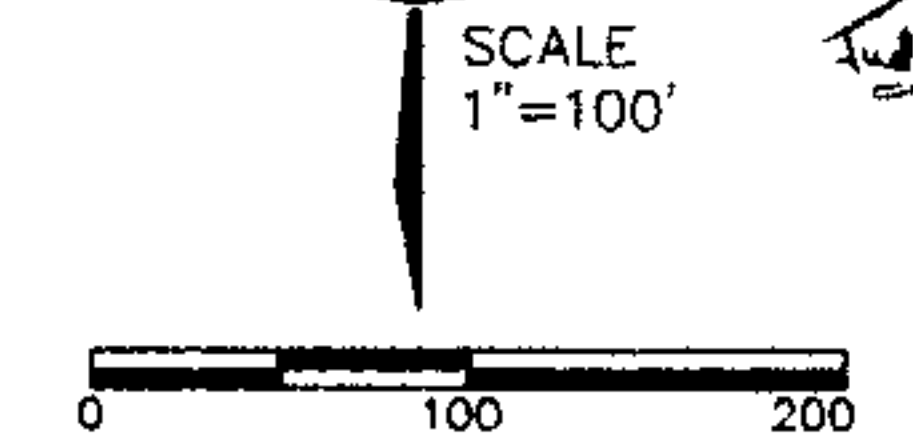
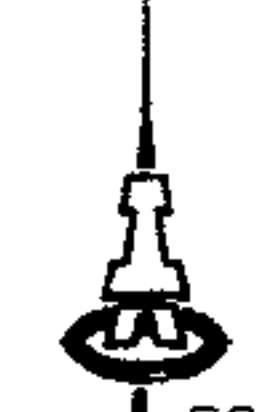
PLAT OF CHAMISA ENCANTADA

TOWN OF ATRISCO GRANT, AIRPORT UNIT
ALBUQUERQUE NEW MEXICO

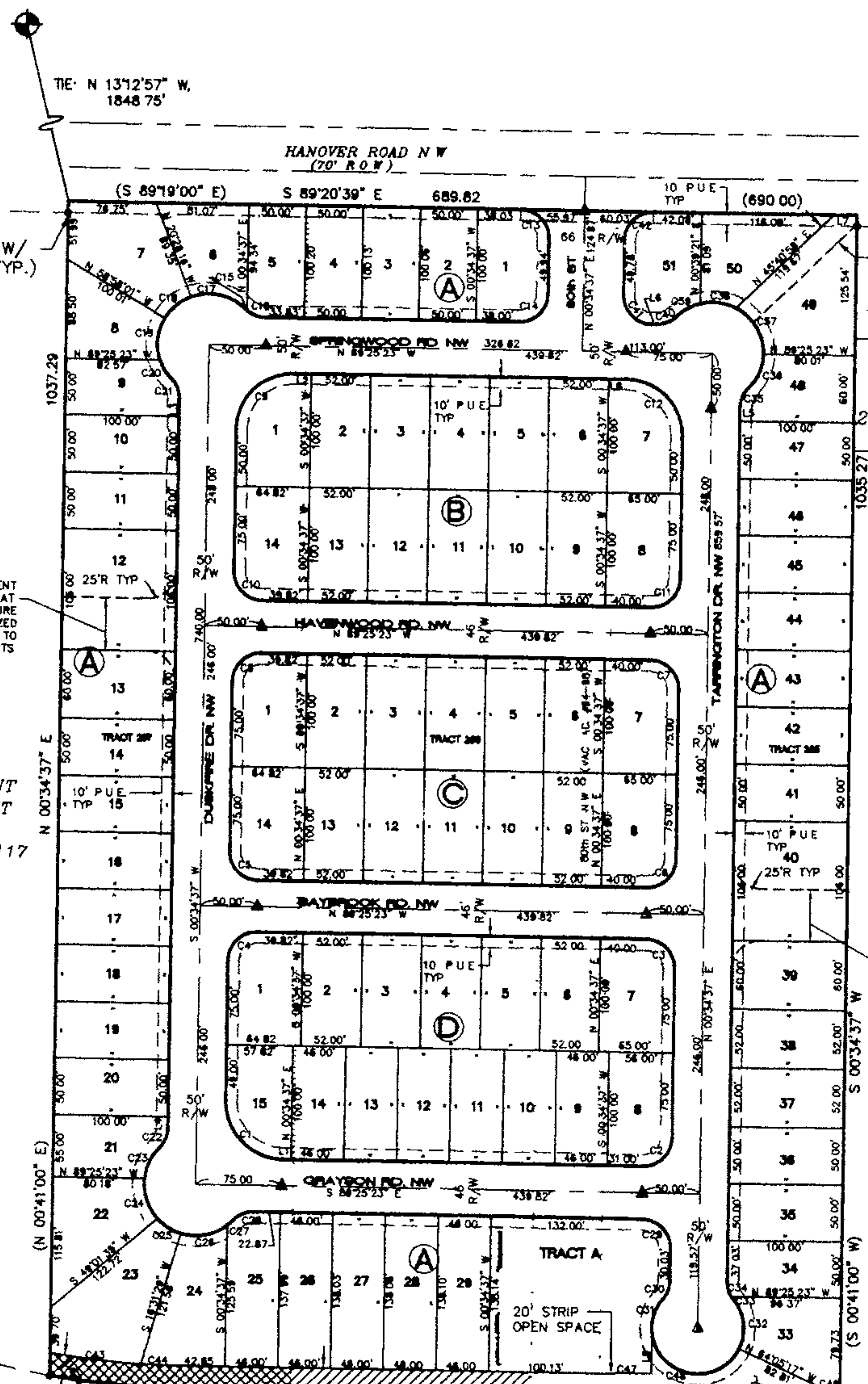
MARCH 1995

State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record on

2:10 JUL 20 1995
10:00 a.m. Recorded in Vol. 267
Tudy Woodward, Clerk & Recorder



ACS MONUMENT
"S-H10"
Y=1,493,922.93
X= 356,889.72
G-G=0.99967504
Δα=-00°16'31"
CENTRAL ZONE
(NAD 1927)



LINE TABLE

LINE	DIRECTION	DISTANCE
L1	S 89°19'00" E	689.82
L2	N 89°20'39" E	14.80
L3	N 00°34'37" W	18.01
L4	S 00°34'37" W	12.01
L5	N 89°20'39" E	4.01
L6	S 89°20'39" E	18.81
L7	N 89°20'39" E	15.00
L8	S 00°34'37" E	41.25

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BLANK	BLANK
C1	80.11	31.00	72.12	51.00	44.25	44.25
C2	80.11	31.00	72.12	51.00	44.25	44.25
C3	80.11	31.00	72.12	51.00	44.25	44.25
C4	80.11	31.00	72.12	51.00	44.25	44.25
C5	80.11	31.00	72.12	51.00	44.25	44.25
C6	80.11	31.00	72.12	51.00	44.25	44.25
C7	80.11	31.00	72.12	51.00	44.25	44.25
C8	80.11	31.00	72.12	51.00	44.25	44.25
C9	80.11	31.00	72.12	51.00	44.25	44.25
C10	80.11	31.00	72.12	51.00	44.25	44.25
C11	80.11	31.00	72.12	51.00	44.25	44.25
C12	80.11	31.00	72.12	51.00	44.25	44.25
C13	80.11	31.00	72.12	51.00	44.25	44.25
C14	80.11	31.00	72.12	51.00	44.25	44.25
C15	80.11	31.00	72.12	51.00	44.25	44.25
C16	80.11	31.00	72.12	51.00	44.25	44.25
C17	80.11	31.00	72.12	51.00	44.25	44.25
C18	80.11	31.00	72.12	51.00	44.25	44.25
C19	80.11	31.00	72.12	51.00	44.25	44.25
C20	80.11	31.00	72.12	51.00	44.25	44.25
C21	80.11	31.00	72.12	51.00	44.25	44.25
C22	80.11	31.00	72.12	51.00	44.25	44.25
C23	80.11	31.00	72.12	51.00	44.25	44.25
C24	80.11	31.00	72.12	51.00	44.25	44.25
C25	80.11	31.00	72.12	51.00	44.25	44.25
C26	80.11	31.00	72.12	51.00	44.25	44.25
C27	80.11	31.00	72.12	51.00	44.25	44.25
C28	80.11	31.00	72.12	51.00	44.25	44.25
C29	80.11	31.00	72.12	51.00	44.25	44.25
C30	80.11	31.00	72.12	51.00	44.25	44.25
C31	80.11	31.00	72.12	51.00	44.25	44.25
C32	80.11	31.00	72.12	51.00	44.25	44.25
C33	80.11	31.00	72.12	51.00	44.25	44.25
C34	80.11	31.00	72.12	51.00	44.25	44.25
C35	80.11	31.00	72.12	51.00	44.25	44.25
C36	80.11	31.00	72.12	51.00	44.25	44.25
C37	80.11	31.00	72.12	51.00	44.25	44.25
C38	80.11	31.00	72.12	51.00	44.25	44.25
C39	80.11	31.00	72.12	51.00	44.25	44.25
C40	80.11	31.00	72.12	51.00	44.25	44.25
C41	80.11	31.00	72.12	51.00	44.25	44.25
C42	80.11	31.00	72.12	51.00	44.25	44.25
C43	80.11	31.00	72.12	51.00	44.25	44.25
C44	80.11	31.00	72.12	51.00	44.25	44.25
C45	80.11	31.00	72.12	51.00	44.25	44.25
C46	80.11	31.00	72.12	51.00	44.25	44.25
C47	80.11	31.00	72.12	51.00	44.25	44.25
C48	80.11	31.00	72.12	51.00	44.25	44.25

TRACT 238
TOWN OF
ATRISCO GRANT
AIRPORT UNIT
12/5/44
VOL D, FO.10 117

LOT 234-A
TOWN OF
ATRISCO GRANT
AIRPORT UNIT
3/9/81
VOL B18, FOLIO 146

20' UNRECORDED PUBLIC WATERLINE EASEMENT PER 08/08/77 LETTER OF AGREEMENT TO CITY
Δ = 09°23'21"
R = 674.07'
L = 110.46'
CH = N 84°40'58" W, 110.34'

20' WATERLINE EASEMENT (Bk 539, PG 902-905 06/03/77)
Δ = 05°53'34"
R = 2015.00'
L = 207.24'
CH = S 87°40'34" W, 207.15'

0.3252 Ac (14166 SF) DEDICATED TO THE CITY OF ALBUQUERQUE FOR OPEN SPACE, PUBLIC UTILITIES, PEDESTRIAN ACCESS AND TEMPORARY DRAINAGE FACILITIES
TIE S 53°11'33" W, 1670.98'

ACS MONUMENT
"1-J0"
Y=1,490,080.20
X= 356,653.93
G-G=0.99967495
Δα=-00°16'32"
CENTRAL ZONE
(NAD 1927)

ACCESS ROAD -
I-40 TO UNSER BLVD
R.O.W VARIES

OPEN SPACE REQUIREMENT

THIS SUBDIVISION IS REQUIRED TO PROVIDE 2,400 SQ FT OF OPEN SPACE FOR EACH DWELLING UNIT

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF

- 1) THE PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE
- 2) U.S. WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES
- 3) JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICE
- 4) GAS COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH DISTRIBUTION AND SERVICE LINES AND FACILITIES REASONABLY NECESSARY TO PROVIDE GAS SERVICE

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREIN. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT

LOT AREA TABLE (SQ FT)									
LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA
1 A	6029	14 A	5000	27 A	6350	40 A	10600	2 B	5200
2 A	5002	15 A	5000	28 A	6352	41 A	5000	3 B	5200
3 A	5005	16 A	5000	29 A	6353	42 A	5000	4 B	5200
4 A	5008	17 A	5000			43 A	5000	5 B	5200
5 A	4982	18 A	5000	TRACT A	20594	44 A	5000	6 B	5200
6 A	5431	19 A	5000			45 A	5000	7 B	5200
7 A	7378	20 A	5000	33 A	5823	46 A	5000	8 B	5200
8 A	5269	21 A	5037	34 A	4985	47 A	5000	9 B	5200
9 A	4745	22 A	6604	35 A	5000	48 A	5000	10 B	5200
10 A	5000	23 A	8485	36 A	5000	49 A	8823	11 B	5200
11 A	5000	24 A	6721	37 A	5200	50 A	6122	12 B	5200
12 A	10600	25 A	6252	38 A	5200	51 A	6093	13 B	5200
13 A	6000	26 A	6348	39 A	6000	1 B	5946	14 B	6348
						2 C	6348	1 C	6348
						3 C	5200	2 D	5200
						4 C	5200	3 D	5200
						5 C	5200	4 D	5200
						6 C	5200	5 D	5200
						7 C	5200	6 D	5200
						8 C	5200	7 D	5200
						9 C	5200	8 D	5200
						10 C	5200	9 D	5200
						11 C	5200	10 D	5200
						12 C	5200	11 D	5200
						13 C	5200	12 D	5200

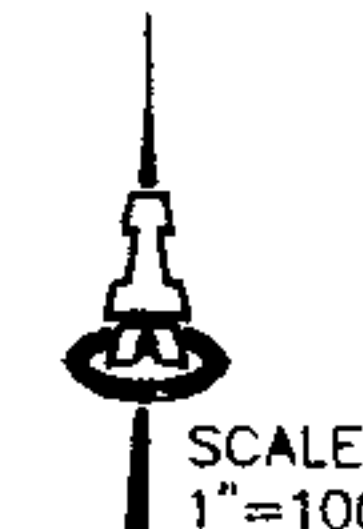
PLAT OF CHAMISA ENCANTADA

TOWN OF ATRISCO GRANT, AIRPORT UNIT.
ALBUQUERQUE NEW MEXICO

MARCH 1995

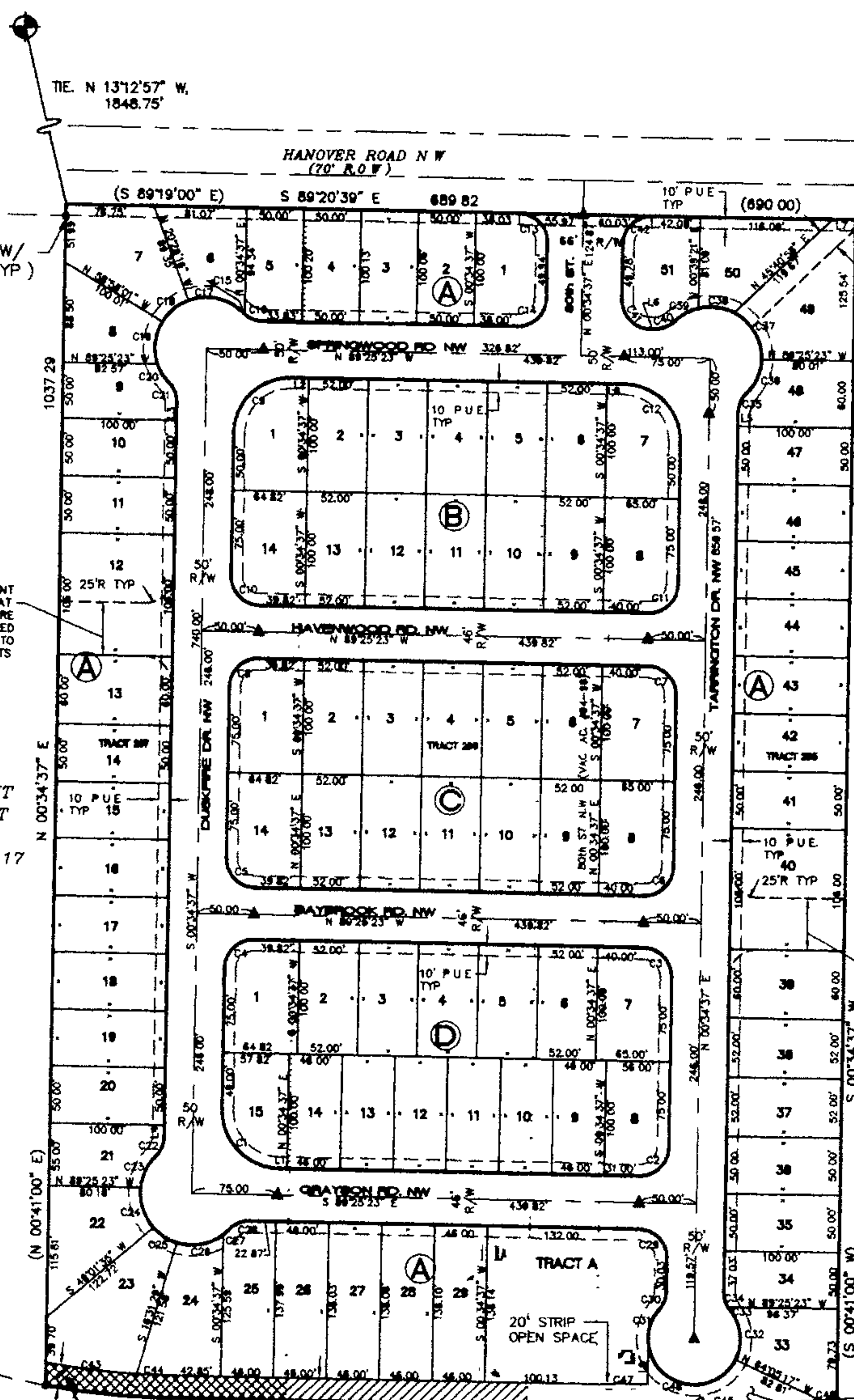
State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record on

2:10 JUL 20 1995
o'clock p.m. Recorded in Vol. 267
of records of said County Folio
Judy D. Woodward Clerk & Recorder
Deputy Clerk



SCALE
1"=100'

ACS MONUMENT
"3-H10"
Y=1,493,922.93
X= 358,859.72
G-G=0.89967504
Δα=-00°16'31"
CENTRAL ZONE
(NAD 1927)



SET 5/8" REBAR W/
CAP "LS 7719" (TYP)

PUBLIC
20' SAS
ESM'T
GRANTED BY
THIS PLAT

LOT
234-B

LOT 234-A
TOWN OF
ATRISCO GRANT
AIRPORT UNIT
3/9/81
VOL. B18, FOLIO 146

48' PUBLIC ROADWAY EASEMENT
TO BE GRANTED BY FINAL PLAT
ESM'T MAY BE VACATED BY FUTURE
VACATION ACTION, IF NOT UTILIZED
AS PUBLIC RIGHT-OF-WAY TO
SERVE THE ADJACENT TRACTS

OPEN SPACE REQUIREMENT

THIS SUBDIVISION IS REQUIRED TO PROVIDE 2,400 SQ FT OF OPEN SPACE FOR EACH DWELLING UNIT

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF

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- 2) U.S. WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES
- 3) JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICE
- 4) GAS COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH DISTRIBUTION AND SERVICE LINES AND FACILITIES REASONABLY NECESSARY TO PROVIDE GAS SERVICE

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT

LINE TABLE

LINE	DIRECTION	DISTANCE
L1	S 89°23'21" E	6.82
L2	N 89°23'21" W	14.82
L3	N 00°34'37" E	18.01
L4	S 00°34'37" W	12.01
L5	N 89°23'21" W	4.01
L6	S 89°23'21" E	18.81
L7	N 00°34'37" E	15.00
L8	N 00°34'37" E	41.25

CURVE TABLE

CHORD	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DATA
1	80.11	51.00	72.18	51.00	N 44°23'37" W	80.11
2	17.27	23.00	25.34	23.00	N 45°31'37" W	17.27
3	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
4	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
5	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
6	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
7	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
8	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
9	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
10	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
11	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
12	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
13	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
14	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
15	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
16	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
17	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
18	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
19	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
20	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
21	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
22	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
23	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
24	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
25	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
26	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
27	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
28	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
29	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
30	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
31	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
32	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
33	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
34	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
35	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
36	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
37	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
38	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
39	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
40	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
41	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
42	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
43	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
44	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
45	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
46	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
47	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27
48	18.27	23.00	25.34	23.00	N 45°31'37" W	18.27

TRACT 238
TOWN OF
ATRISCO GRANT
AIRPORT UNIT
12/5/44
VOL D, FOLIO 117

20' UNRECORDED PUBLIC
WATERLINE EASEMENT
PER 08/08/77 LETTER
OF AGREEMENT TO CITY

Δ = 09°23'21"
R = 674.07'
L = 110.46'
CH = N 84°40'58" W,
110.34'

20' WATERLINE EASEMENT
(BK 539, PG 902-905
06/03/77)

Δ = 05°53'34"
R = 2015.00'
L = 207.24'
CH = S 67°40'34" W,
207.15'

0.3252 Ac (14166 SF)
DEDICATED TO THE
CITY OF ALBUQUERQUE
FOR OPEN SPACE,
PUBLIC UTILITIES,
PEDESTRIAN ACCESS
AND TEMPORARY
DRAINAGE FACILITIES

ACS MONUMENT
"1-J9"
Y=1,490,080.20
X= 358,853.93
G-G=0.89967495
Δα=-00°16'32"
CENTRAL ZONE
(NAD 1927)

ACCESS ROAD -
I-40 TO UNSER BLVD
ROW VARIES

LOT AREA TABLE (SQ FT)													
LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA
1 A	6029	14 A	5000	27 A	6350	40 A	10600	2 B	5200	1 C	6348	13 D	4600
2 A	5002	15 A	5000	28 A	6352	41 A	5000	3 B	5200	2 C	5200	14 D	4600
3 A	5005	16 A	5000	29 A	6353	42 A	5000	4 B	5200	3 C	5200	15 D	5224
4 A	5008	17 A	5000			43 A	5000	5 B	5200	4 C	5200		
5 A	4982	18 A	5000	TRACT A	20594	44 A	5000	6 B	5200	5 C	5200	4 D	5200
6 A	5431	19 A	5000			45 A	5000	7 B	5200	6 C	5200	5 D	5200
7 A	7378	20 A	5000			46 A	5000	8 B	5200	7 C	5200	6 D	5200
8 A	5269	21 A	5037			47 A	5000	9 B	5200	8 C	5200	7 D	5200
9 A	4745	22 A	6604			48 A	5000	10 B	5200	9 C	5200	8 D	5200
10 A	5000	23 A	8485			49 A	5000	11 B	5200	10 C	5200	9 D	4600
11 A	5000	24 A	6721			50 A	5200	12 B	5200	11 C	5200	10 D	4600
12 A	10600	25 A	6252			51 A	6093	13 B	5200	12 C	5200	11 D	4600
13 A	6000	26 A	6348			52 A	6000	14 B	6348	13 C	5200	12 D	4600

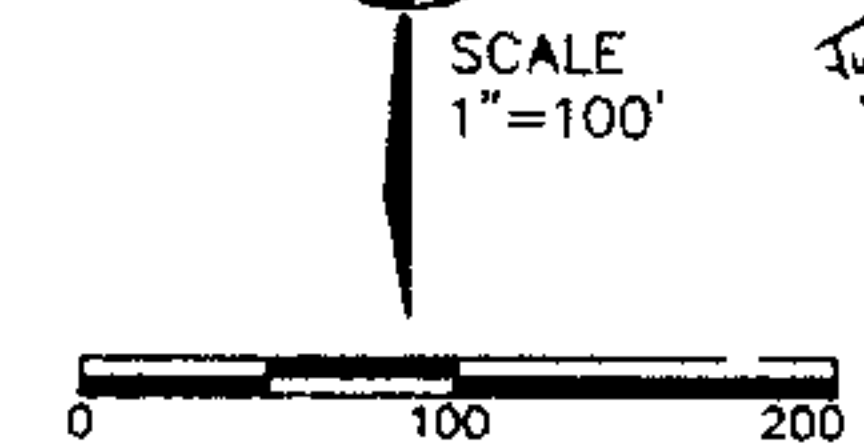
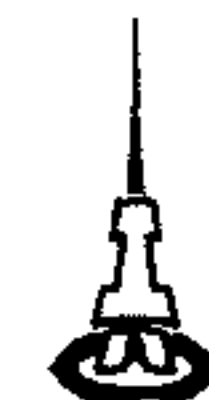
PLAT OF CHAMISA ENCANTADA

TOWN OF ATRISCO GRANT, AIRPORT UNIT.
ALBUQUERQUE NEW MEXICO

MARCH 1995

State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record on

2:10 JUL 20 1995
2:10 clock p.m. Recorded in Vol. 267
of records of said County Folio
Judy Woodward Clerk & Recorder



ACS MONUMENT
"3-110"
Y=1,493,922.98
X= 356,659.72
G-G=0.99967504
Δα=-00'16"31"
CENTRAL ZONE
(NAD 1927)

TE: N 13'12"57" W,
1848.75'

HANOVER ROAD N W
(72' R.O.W.)

(S 89'19"00" E) S 89'20"39" E 689.82

10' P.U.E. (890.00)

SET 5/8" REBAR W/
CAP "LS 7719" (TYP)

PUBLIC
20' SAS
ESMT
GRANTED BY
THIS PLAT

LOT
234-B

LOT 234-A
TOWN OF
ATRISCO GRANT
AIRPORT UNIT
3/9/81
VOL B18, FOLIO 146

48' PUBLIC ROADWAY EASEMENT
TO BE GRANTED BY FINAL PLAT
ESMT MAY BE VACATED BY FUTURE
VACATION ACTION IF NOT UTILIZED
AS PUBLIC RIGHT-OF-WAY TO
SERVE THE ADJACENT TRACTS

OPEN SPACE REQUIREMENT
THIS SUBDIVISION IS REQUIRED TO PROVIDE 2,400 SQ FT OF OPEN SPACE FOR EACH DWELLING UNIT

- PUBLIC UTILITY EASEMENTS**
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF
- 1) THE PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE
 - 2) U.S. WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES
 - 3) JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICE
 - 4) GAS COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH DISTRIBUTION AND SERVICE LINES AND FACILITIES REASONABLY NECESSARY TO PROVIDE GAS SERVICE

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT

LINE TABLE

LINE	DIRECTION	DISTANCE
L1	S 89'19"00" E	689.82
L2	N 00'34'37" E	14.82
L3	N 00'34'37" E	16.01
L4	N 00'34'37" E	10.01
L5	N 00'34'37" E	12.01
L6	N 00'34'37" E	4.01
L7	N 00'34'37" E	18.81
L8	N 00'34'37" E	15.00
L9	N 00'34'37" E	41.25

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	51.00	85.11	51.00	75.12	S 42'38'31" E	80.00
C2	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C3	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C4	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C5	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C6	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C7	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C8	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C9	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C10	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C11	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C12	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C13	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C14	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C15	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C16	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C17	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C18	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C19	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C20	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C21	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C22	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C23	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C24	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C25	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C26	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C27	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C28	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C29	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C30	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C31	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C32	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C33	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C34	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C35	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C36	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C37	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C38	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C39	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C40	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C41	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C42	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C43	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C44	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C45	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C46	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C47	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C48	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C49	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00
C50	25.00	42.57	25.00	37.56	N 25'34'37" E	40.00

TRACT 238
TOWN OF
ATRISCO GRANT
AIRPORT UNIT
12/5/44
VOL D, FOLIO 117

20' UNRECORDED PUBLIC
WATERLINE EASEMENT
PER 08/08/77 LETTER
OF AGREEMENT TO CITY

Δ = 09'23"21"
R = 674.07'
L = 110.46'
CH = N 84'40"58" W,
110.34'

20' WATERLINE EASEMENT
(BK 539, PG 902-905
06/03/77)

Δ = 05'53"34"
R = 2015.00'
L = 207.24'
CH = S 87'40"34" W,
207.15'

0.3252 Ac (14166 SF)
DEDICATED TO THE
CITY OF ALBUQUERQUE
FOR OPEN SPACE,
PUBLIC UTILITIES,
PEDESTRIAN ACCESS
AND TEMPORARY
DRAINAGE FACILITIES

ACS MONUMENT
"1-10"
Y=1,490,080.20
X= 356,653.93
G-G=0.99967495
Δα=-00'16"32"
CENTRAL ZONE
(NAD 1927)

ACCESS ROAD -
I-40 TO UNSER BLVD
ROW VARIES

LOT AREA TABLE (SQ FT)													
LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA
1 A	6029	14 A	5000	27 A	6350	40 A	10600	2 B	5200	1 C	6348	14 C	4600
2 A	5002	15 A	5000	28 A	6352	41 A	5000	3 B	5200	2 C	6348	15 D	4600
3 A	5005	16 A	5000	29 A	6353	42 A	5000	4 B	5200	3 D	5200	15 D	5224
4 A	5008	17 A	5000			43 A	5000	5 B	5200	4 C	5200		
5 A	4982	18 A	5000			44 A	5000	6 B	5200	5 C	5200		
6 A	5431	19 A	5000			45 A	5000	7 B	5963	6 C	5200		
7 A	7378	20 A	5000			46 A	5000	8 B	6366	7 C	6366		
8 A	5269	21 A	5037			47 A	5000	9 B	5200	8 C	6366		
9 A	4745	22 A	6604			48 A	5477	10 B	5200	9 C	5200		
10 A	5000	23 A	8485			49 A	8823	11 B	5200	10 C	5200		
11 A	5000	24 A	6721			50 A	6122	12 B	5200	11 C	5200		
12 A	10600	25 A	6252			51 A	6093	13 B	5200	12 C	5200		
13 A	6000	26 A	6348			52 A	5946	14 B	6348	13 C	5200		

803-2

PLAT OF CHAMISA ENCANTADA

TOWN OF ATRISCO GRANT, AIRPORT UNIT.
ALBUQUERQUE NEW MEXICO

MARCH 1995

State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record on

10 JUL 20 1995
10 o'clock P.M. Recorded in Vol
records of said County Folio 267
Clerk & Recorder
Deputy



0 100 200

ACS MONUMENT
"3-H10"
Y=1,493,922.93
X= 356,889.72
G-G=0.99967504
Δα=-00°16'31"
CENTRAL ZONE
(NAD 1927)

TIE: N 13°12'57" W,
1848.75'

HANOVER ROAD N.W.
(70' R.O.W.)

(S 89°19'00" E) S 89°20'39" E 689.82

10' P.U.E. (890.00)

SET 5/8" REBAR W/
CAP "LS 7719" (TYP.)

PUBLIC
20' SAS
ESMT
GRANTED BY
THIS PLAT

LOT
234-B

LOT 234-A
TOWN OF
ATRISCO GRANT
AIRPORT UNIT
3/9/81
VOL B18, FOLIO 146

48' PUBLIC ROADWAY EASEMENT
TO BE GRANTED BY FINAL PLAT
ESMT MAY BE VACATED BY FUTURE
VACATION ACTION, IF NOT UTILIZED
AS PUBLIC RIGHT-OF-WAY TO
SERVE THE ADJACENT TRACTS

OPEN SPACE REQUIREMENT

THIS SUBDIVISION IS REQUIRED TO PROVIDE 2,400 SQ FT OF OPEN SPACE FOR EACH DWELLING UNIT

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF

- 1) THE PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE
- 2) U.S. WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES
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LINE TABLE

LINE	DIRECTION	DISTANCE
L1	S 89°19'00" E	689.82
L2	N 00°34'37" E	14.82
L3	N 00°34'37" E	18.01
L4	N 00°34'37" E	10.01
L5	S 00°34'37" W	12.01
L6	N 00°34'37" E	4.01
L7	S 89°20'39" E	18.81
L8	N 00°34'37" W	15.00
L9	N 00°34'37" E	41.23

CURVE TABLE

CHORD	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DATA
1	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
2	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
3	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
4	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
5	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
6	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
7	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
8	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
9	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
10	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
11	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
12	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
13	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
14	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
15	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
16	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
17	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
18	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
19	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
20	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
21	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
22	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
23	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
24	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
25	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
26	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
27	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
28	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
29	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
30	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
31	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
32	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
33	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
34	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
35	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
36	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
37	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
38	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
39	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
40	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
41	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
42	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
43	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
44	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
45	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
46	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
47	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
48	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
49	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
50	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
51	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
52	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
53	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
54	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
55	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
56	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
57	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
58	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
59	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
60	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
61	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
62	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
63	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
64	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
65	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
66	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
67	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
68	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
69	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
70	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
71	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
72	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
73	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
74	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
75	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
76	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
77	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
78	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
79	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
80	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
81	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
82	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
83	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
84	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
85	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
86	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
87	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
88	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
89	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
90	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
91	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
92	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
93	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
94	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
95	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
96	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
97	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
98	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
99	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000
100	51.00	30.11	81.00	75.12	S 42°30'00" E	00000000

TRACT 238
TOWN OF
ATRISCO GRANT
AIRPORT UNIT
12/5/44
VOL D, FOLIO 117

20' UNRECORDED PUBLIC
WATERLINE EASEMENT
PER 08/08/77 LETTER
OF AGREEMENT TO CITY

Δ = 09°23'21"
R = 674.07'
L = 110.48'
CH = N 84°40'58" W,
110.34'

20' WATERLINE EASEMENT
(BK 539, PG 902-905
06/03/77)

Δ = 05°53'34"
R = 2015.00'
L = 207.24'
CH = S 87°40'34" W,
207.15'

0.3252 Ac (14166 SF)
DEDICATED TO THE
CITY OF ALBUQUERQUE
FOR OPEN SPACE,
PUBLIC UTILITIES,
PEDESTRIAN ACCESS
AND TEMPORARY
DRAINAGE FACILITIES

ACS MONUMENT
"1-J9"
Y=1,490,080.20
X= 356,653.93
G-G=0.99967495
Δα=-00°16'32"
CENTRAL ZONE
(NAD 1927)

ACCESS ROAD -
I-40 TO UNSER BLVD
ROW VARIES

LOT AREA TABLE (SQ FT)													
LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA
1 A	6029	14 A	5000	27 A	6350	40 A	10600	2 B	5200	1 C	6348	13 D	4600
2 A	5002	15 A	5000	28 A	6352	41 A	5000	3 B	5200	2 C	5200	14 D	4600
3 A	5005	16 A	5000	29 A	6353	42 A	5000	4 B	5200	3 C	5200	15 D	5224
4 A	5008	17 A	5000			43 A	5000	5 B	5200	4 C	5200		
5 A	4982	18 A	5000			44 A	5000	6 B	5200	5 C	5200		
6 A	5431	19 A	5000			45 A	5000	7 B	5963	6 C	5200		
7 A	7378	20 A	5000			46 A	5000	8 B	6366	7 C	6366		
8 A	5269	21 A	5037			47 A	5000	9 B	5200	8 C	6366		
9 A	4745	22 A	6604			48 A							

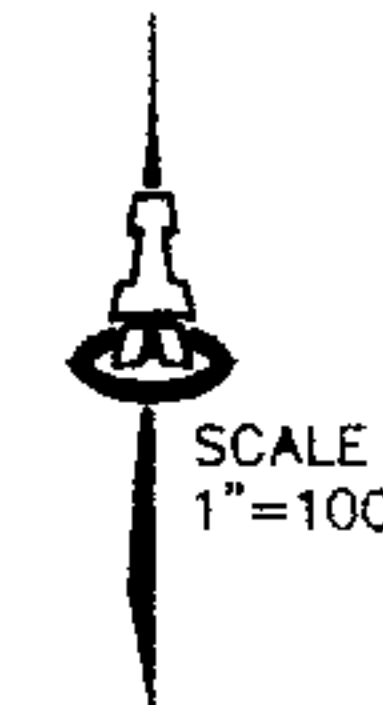
PLAT OF CHAMISA ENCANTADA

TOWN OF ATRISCO GRANT, AIRPORT UNIT.
ALBUQUERQUE NEW MEXICO

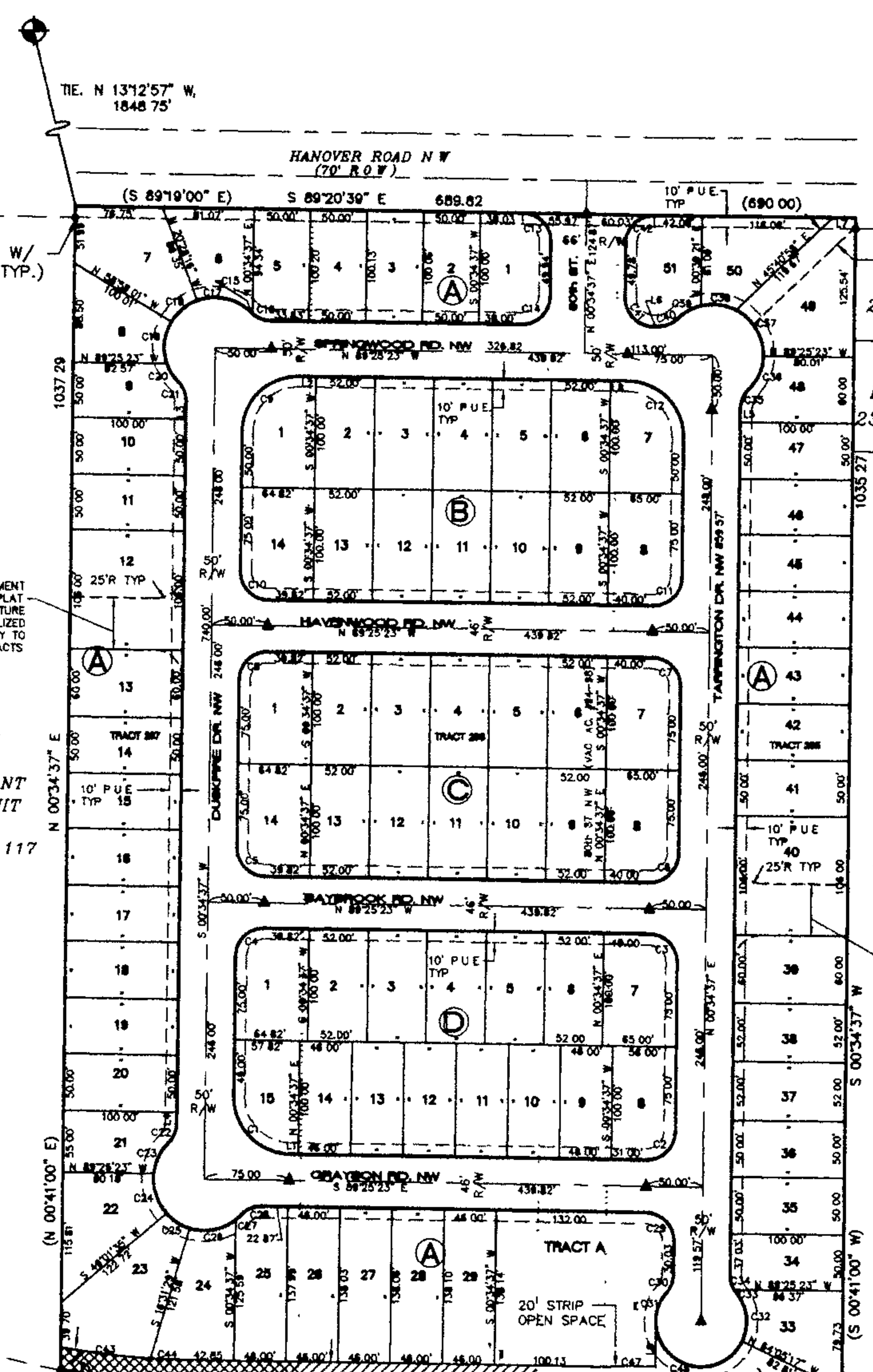
MARCH 1995

State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record on

2:10 JUL 20 1995
10 o'clock a.m. Recorded in Vol
of records of said County Folio 267
Judy Woodward Clerk & Recorder
Deputy Clerk



ACS MONUMENT
"3-H10"
Y=1,493,922.93
X= 356,659.72
G-G=0 99967504
Δα=-00°16'31"
CENTRAL ZONE
(NAD 1927)



LINE TABLE

LINE	DIRECTION	DISTANCE
1	S 89°19'00" E	689.82
2	S 89°20'39" E	689.82
3	N 89°20'39" W	689.82
4	N 89°19'00" W	689.82
5	S 89°19'00" E	689.82
6	S 89°20'39" E	689.82
7	N 89°20'39" W	689.82
8	N 89°19'00" W	689.82
9	S 89°19'00" E	689.82
10	S 89°20'39" E	689.82
11	N 89°20'39" W	689.82
12	N 89°19'00" W	689.82
13	S 89°19'00" E	689.82
14	S 89°20'39" E	689.82
15	N 89°20'39" W	689.82
16	N 89°19'00" W	689.82
17	S 89°19'00" E	689.82
18	S 89°20'39" E	689.82
19	N 89°20'39" W	689.82
20	N 89°19'00" W	689.82
21	S 89°19'00" E	689.82
22	S 89°20'39" E	689.82
23	N 89°20'39" W	689.82
24	N 89°19'00" W	689.82
25	S 89°19'00" E	689.82
26	S 89°20'39" E	689.82
27	N 89°20'39" W	689.82
28	N 89°19'00" W	689.82
29	S 89°19'00" E	689.82
30	S 89°20'39" E	689.82
31	N 89°20'39" W	689.82
32	N 89°19'00" W	689.82
33	S 89°19'00" E	689.82
34	S 89°20'39" E	689.82
35	N 89°20'39" W	689.82
36	N 89°19'00" W	689.82
37	S 89°19'00" E	689.82
38	S 89°20'39" E	689.82
39	N 89°20'39" W	689.82
40	N 89°19'00" W	689.82
41	S 89°19'00" E	689.82
42	S 89°20'39" E	689.82
43	N 89°20'39" W	689.82
44	N 89°19'00" W	689.82
45	S 89°19'00" E	689.82
46	S 89°20'39" E	689.82
47	N 89°20'39" W	689.82
48	N 89°19'00" W	689.82

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	51.00	8.11	51.00	51.00	N 24°29'21" E	80°00'00"
C2	25.00	4.05	25.00	25.00	N 24°29'21" E	80°00'00"
C3	12.50	2.03	12.50	12.50	N 24°29'21" E	80°00'00"
C4	6.25	1.01	6.25	6.25	N 24°29'21" E	80°00'00"
C5	3.12	0.51	3.12	3.12	N 24°29'21" E	80°00'00"
C6	1.56	0.25	1.56	1.56	N 24°29'21" E	80°00'00"
C7	0.78	0.13	0.78	0.78	N 24°29'21" E	80°00'00"
C8	0.39	0.06	0.39	0.39	N 24°29'21" E	80°00'00"
C9	0.19	0.03	0.19	0.19	N 24°29'21" E	80°00'00"
C10	0.09	0.01	0.09	0.09	N 24°29'21" E	80°00'00"
C11	0.05	0.01	0.05	0.05	N 24°29'21" E	80°00'00"
C12	0.02	0.00	0.02	0.02	N 24°29'21" E	80°00'00"
C13	0.01	0.00	0.01	0.01	N 24°29'21" E	80°00'00"
C14	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C15	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C16	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C17	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C18	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C19	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C20	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C21	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C22	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C23	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C24	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C25	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C26	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C27	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C28	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C29	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C30	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C31	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C32	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C33	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C34	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C35	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C36	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C37	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C38	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C39	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C40	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C41	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C42	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C43	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C44	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C45	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C46	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C47	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"
C48	0.00	0.00	0.00	0.00	N 24°29'21" E	80°00'00"

46 PUBLIC ROADWAY EASEMENT TO BE GRANTED BY FINAL PLAT. ESMIT MAY BE VACATED BY FUTURE VACATION ACTION, IF NOT UTILIZED AS PUBLIC RIGHT-OF-WAY TO SERVE THE ADJACENT TRACTS

TRACT 238
TOWN OF
ATRISCO GRANT
AIRPORT UNIT
12/5/44
VOL D, FOLIO 117

LOT 234-C

LOT 234-B

LOT 234-A
TOWN OF
ATRISCO GRANT
AIRPORT UNIT
3/9/81
VOL B18, FOLIO 146

46 PUBLIC ROADWAY EASEMENT TO BE GRANTED BY FINAL PLAT. ESMIT MAY BE VACATED BY FUTURE VACATION ACTION, IF NOT UTILIZED AS PUBLIC RIGHT-OF-WAY TO SERVE THE ADJACENT TRACTS

OPEN SPACE REQUIREMENT

THIS SUBDIVISION IS REQUIRED TO PROVIDE 2,400 SQ FT OF OPEN SPACE FOR EACH DWELLING UNIT

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF

- 1) THE PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE
- 2) U S WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES
- 3) JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICE
- 4) GAS COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH DISTRIBUTION AND SERVICE LINES AND FACILITIES REASONABLY NECESSARY TO PROVIDE GAS SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT

20' UNRECORDED PUBLIC WATERLINE EASEMENT PER 08/08/77 LETTER OF AGREEMENT TO CITY

20' WATERLINE EASEMENT (BK 539, PG 902-905 06/03/77)

0.3252 Ac (14166 SF) DEDICATED TO THE CITY OF ALBUQUERQUE FOR OPEN SPACE, PUBLIC UTILITIES, PEDESTRIAN ACCESS AND TEMPORARY DRAINAGE FACILITIES

ACS MONUMENT
"1-J9"
Y=1,490,080.20
X= 356,653.83
G-G=0 99967495
Δα=-00°16'32"
CENTRAL ZONE
(NAD 1927)

ACCESS ROAD -
I-40 TO UNSER BLVD
ROW VARIES

LOT AREA TABLE (SQ FT.)													
LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA
1 A	6029	14 A	5000	27 A	6350	40 A	10600	2 B	5200	1 C	6348	14 C	6348
2 A	5002	15 A	5000	28 A	6352	41 A	5000	3 B	5200	2 C	5200	1 D	4600
3 A	5005	16 A	5000	29 A	6353	42 A	5000	4 B	5200	3 C	5200	2 D	4600
4 A	5008	17 A	5000			43 A	5000	5 B	5200	4 C	5200	3 D	5200
5 A	4982	18 A	5000	TRACT A	20594	44 A	5000	6 B	5200	5 C	5200	4 D	5200
6 A	5431	19 A	5000			45 A	5000	7 B	5963	6 C	5200	5 D	5200
7 A	7378	20 A	5000	33 A	5823	46 A	5000	8 B	6366	7 C	6366	6 D	5200
8 A	5269	21 A	5037	34 A	4985	47 A	5000	9 B	5200	8 C	6366	7 D	6366
9 A	4745	22 A	6604	35 A	5000	48 A	5477	10 B	5200	9 C	5200	8 D	5466
10 A	5000	23 A	8485	36 A	5000	49 A	8823	11 B	5200	10 C	5200	9 D	4800
11 A	5000	24 A	6721	37 A	5200	50 A	6122	12 B	5200	11 C	5200	10 D	4600
12 A	10600	25 A	6252	38 A	5200	51 A	6093	13 B	5200	12 C	5200	11 D	4600
13 A	6000	26 A	6348	39 A	6000	1 B	5946	14 B	6348	13 C	5200	12 D	4600

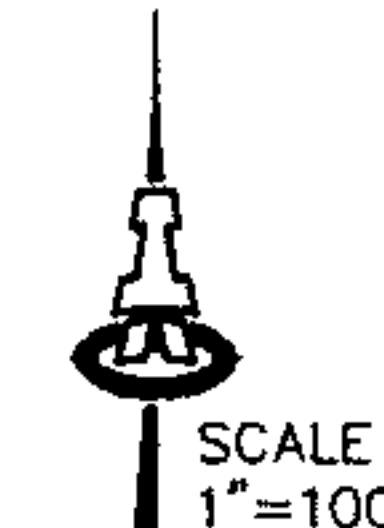
PLAT OF CHAMISA ENCANTADA

TOWN OF ATRISCO GRANT, AIRPORT UNIT.
ALBUQUERQUE NEW MEXICO

MARCH 1995

State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record on

JUL 20 1995
a clock P.m. Recorded in Vol
of records of said County Folio 267
Clerk & Recorder



ACS MONUMENT
"3-H10"
Y=1,493,922.93
X= 356,889.72
G-G=0.99967504
Δα=-00'16"31"
CENTRAL ZONE
(NAD 1927)

TIE: N 13'12"57" W,
1848.75'

HANOVER ROAD N W
(76' R.O.W.)

(S 89°19'00" E) S 89°20'39" E 689.82 (690.00)

SET 5/8" REBAR W/
CAP "LS 7719" (TYP.)

LOT 234-C
PUBLIC
20' SAS
ESMT
GRANTED BY
THIS PLAT

LOT 234-B

LOT 234-A
TOWN OF
ATRISCO GRANT
AIRPORT UNIT
3/9/81
VOL B18, FOLIO 146

48' PUBLIC ROADWAY EASEMENT
TO BE GRANTED BY FINAL PLAT
ESMT MAY BE VACATED BY FUTURE
VACATION ACTION, IF NOT UTILIZED
AS PUBLIC RIGHT-OF-WAY TO
SERVE THE ADJACENT TRACTS

OPEN SPACE REQUIREMENT

THIS SUBDIVISION IS REQUIRED TO PROVIDE 2,400 SQ FT OF OPEN SPACE FOR EACH DWELLING UNIT

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF

- 1) THE PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE
- 2) U.S. WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES
- 3) JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICE
- 4) GAS COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH DISTRIBUTION AND SERVICE LINES AND FACILITIES REASONABLY NECESSARY TO PROVIDE GAS SERVICE

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT

LINE TABLE

LINE	DIRECTION	DISTANCE
L1	S 89°25'23" E	6.82
L2	N 89°25'23" W	14.82
L3	N 89°25'23" W	16.01
L4	N 89°25'23" W	10.01
L5	S 00°24'37" W	12.01
L6	N 89°25'23" W	4.01
L7	S 89°25'23" W	18.81
L8	N 89°25'23" W	15.00
L9	N 00°24'37" E	41.23

48' PUBLIC ROADWAY EASEMENT
TO BE GRANTED BY FINAL PLAT
ESMT MAY BE VACATED BY FUTURE
VACATION ACTION, IF NOT UTILIZED
AS PUBLIC RIGHT-OF-WAY TO
SERVE THE ADJACENT TRACTS

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORDS	BEARINGS	DELTA
C1	51.41	11.11	31.00	22.79	S 42°25'23" E	89°25'23"
C2	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C3	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C4	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C5	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C6	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C7	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C8	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C9	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C10	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C11	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C12	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C13	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C14	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C15	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C16	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C17	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C18	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C19	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C20	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C21	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C22	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C23	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C24	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C25	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C26	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C27	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C28	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C29	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C30	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C31	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C32	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C33	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C34	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C35	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C36	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C37	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C38	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C39	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C40	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C41	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C42	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C43	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C44	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C45	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C46	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C47	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C48	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C49	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"
C50	51.41	11.11	31.00	22.79	N 42°25'23" W	89°25'23"

TRACT 238
TOWN OF
ATRISCO GRANT
AIRPORT UNIT
12/5/44
VOL D, FOLIO 117

20' UNRECORDED PUBLIC
WATERLINE EASEMENT
PER 08/08/77 LETTER
OF AGREEMENT TO CITY

Δ = 09°23'21"
R = 874.07'
L = 110.46'
CH = N 84°40'58" W,
110.34'

20' WATERLINE EASEMENT
(BK 539, PG 902-905
06/03/77)

Δ = 05°53'34"
R = 2015.00'
L = 207.24'
CH = S 87°40'34" W,
207.15'

0.3252 Ac (14166 SF)
DEDICATED TO THE
CITY OF ALBUQUERQUE
FOR OPEN SPACE,
PUBLIC UTILITIES,
PEDESTRIAN ACCESS
AND TEMPORARY
DRAINAGE FACILITIES

ACS MONUMENT
"1-J8"
Y=1,490,000.20
X= 356,653.93
G-G=0.99967495
Δα=-00'16"32"
CENTRAL ZONE
(NAD 1927)

ACCESS ROAD -
I-40 TO UNSER BLVD
R.O.W. VARIES

LOT AREA TABLE (SQFT)													
LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA	LOT/BLK	AREA
1 A	6029	14 A	5000	27 A	6350	40 A	10600	2 B	5200	1 C	6348	14 C	6348
2 A	5002	15 A	5000	28 A	6352	41 A	5000	3 B	5200	2 C	5200	1 D	6348
3 A	5005	16 A	5000	29 A	6353	42 A	5000	4 B	5200	3 C	5200	2 D	6348
4 A	5008	17 A	5000			43 A	5000	5 B	5200	4 C	5200	3 D	5200
5 A	4982	18 A	5000	TRACT A	20594	44 A	5000	6 B	5200	5 C	5200	4 D	5200
6 A	5431	19 A	5000			45 A	5000	7 B	5200	6 C	5200	5 D	5200
7 A	7378	20 A	5000			46 A	5000	8 B	5963	7 C	5200	6 D	5200
8 A	5269	21 A	5037	34 A	4985	47 A	5000	9 B	6366	8 C	6366	7 D	5200
9 A	4745	22 A	6604	35 A	5000	48 A	5477	10 B	5200	9 C	6366	8 D	5200
10 A	5000	23 A	8485	36 A	5000	49 A	8823	11 B	5200	10 C	5200	9 D	4600
11 A	5000	24 A	6721	37 A	5200	50 A	6122	12 B	5200	11 C	5200	10 D	4600
12 A	10600	25 A	6252	38 A	5200	51 A	6093	13 B	5200	12 C	5200	11 D	4600
13 A	6000	26 A	6348	39 A	6000	1 B	5946	14 B	6348	13 C	5200	12 D	4600

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME SIGNATURE J. HOMES, INC
 AGENT ISAACSON & ARFMAN PA
 ADDRESS 128 MONROE ST. NE
 PROJECT & APP # LTS 30,31,32, CHAMISA ENCANTADA
 PROJECT NAME 1004940/06DRB 00794, 00795

\$ 20.00 441032/3424000 Conflict Management Fee
 \$ 400.00 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 420.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

6/6/2006
 RECEIPT# 00059185 WSN 008
 Account 441032
 Activity 3424000
 Trans Amt
 J24 Misc
 \$20.00
 \$420.00
 TRSLJS
 Count

ISAACSON AND ARFMAN P A
 128 MONROE ST NE
 ALBUQUERQUE, NM 87108-1247
 268-8828

DATE 6/6/06
 DUPLICATE
 City of Albuquerque
 Treasury Division

17114
 95-219/1070 176
 1350743997

City of Albuquerque
 Four Hundred Twenty + 00/100
 \$ 420.00

RECEIPT# 00059185 WSN 008 TRANSH 0013
 Account 441006 Fund 0110
 Activity 4983000
 Trans Amt
 J24 Misc

WELLS FARGO
 Wells Fargo Bank, N.A.
 New Mexico
 wells Fargo.com

FOR 1537 DRB Fee

00017114 107002192 1350743997 400.00
 \$420.00
 \$0.00

Thank You

Thank You