

PROJECT NUMBER: 1004943

APPLICATION NUMBER: 06DEB-01165

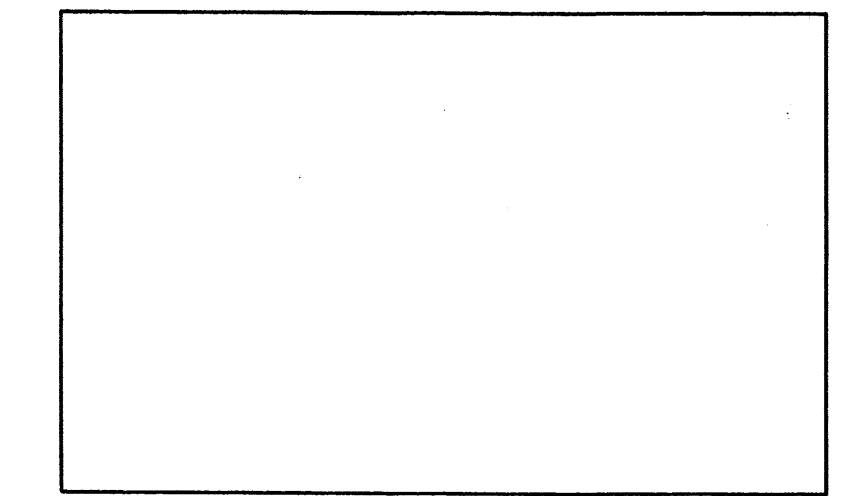
IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO
If yes then a set of approved DRC plans with a work order is required for any construction within a Right-of-Way or for construction of public improvements.

DRB Site Development Plan Approval:

<i>Jeffrey A. ...</i> Traffic Engineering Department	9-13-06	Date
<i>Roger A. ...</i> Water Utility Department	9-13-06	Date
<i>Christina ...</i> Parks and Recreation Department	9/13/06	Date
<i>Bradley L. ...</i> City Engineer	9/13/06	Date
N/A *Environmental Health Department (conditional)		Date
<i>Michael Holton (resident)</i> Solid Waste Management	9/14/06	Date
<i>M. ...</i> DRB Chairperson, Planning Department	9/13/06	Date

* Environmental Health, if necessary

Albuquerque Fire Department



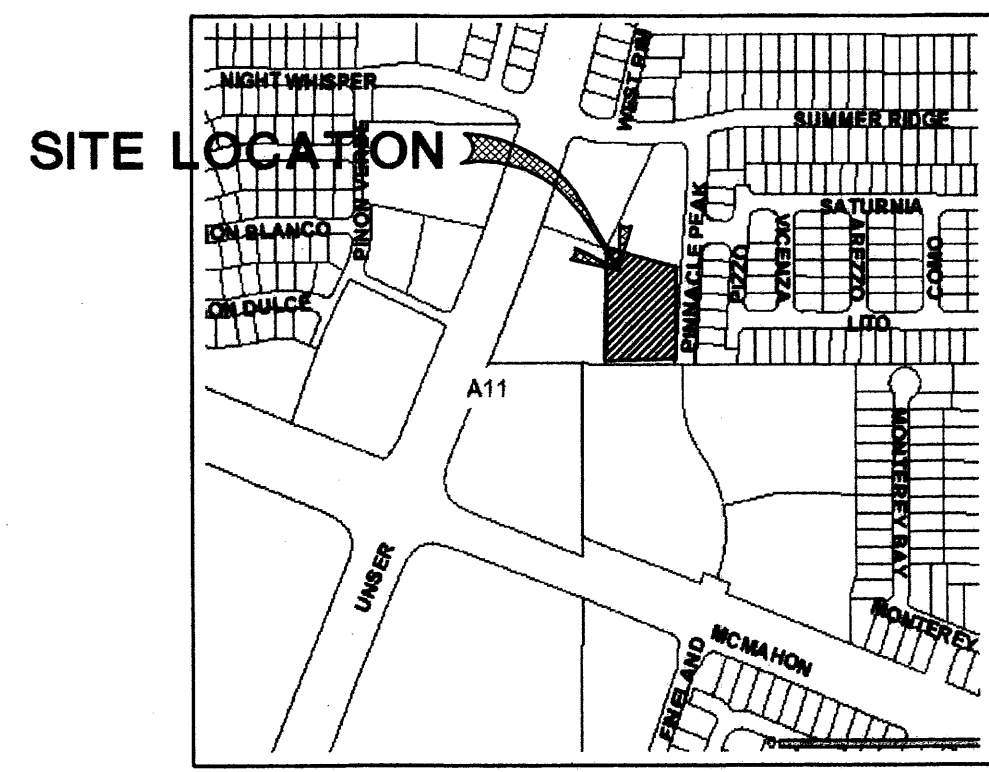
Keyed Notes

1. PROPOSED 6'-0" TALL YARD WALL.
2. PROPERTY LINE, TYP.
3. FRONT YARD SETBACK. (FOR GARAGE)
4. BACK YARD SETBACK.
5. SIDE YARD SETBACK.
6. BUILDING FOOTPRINT.
(WILL VARY DEPENDING ON UNIT DESIGN)
7. 4' CONCRETE SIDEWALK.
8. FUTURE ROAD DEVELOPMENT, BY OTHERS.
9. EXISTING EDGE OF PAVEMENT. ROADWAY HAS NOT BEEN DEVELOPED BEYOND THIS POINT.
10. FRONT YARD SETBACK. (FOR HOUSE)
11. 3' COURTYARD WALL.
12. SIGNAGE.
13. NEW FIRE HYD.
14. STREET LIGHT, REQUIREMENTS TO BE DETERMINED AT WORK ORDER.
15. PUBLIC 14'-0" PEDESTRIAN ACCESS EASEMENT, TO BE MAINTAINED BY OWNERS OF LOTS #8 AND #9.
16. 6' CONCRETE SIDEWALK ALONG PINNACLE PEAK DRIVE AND CREST DRIVE.

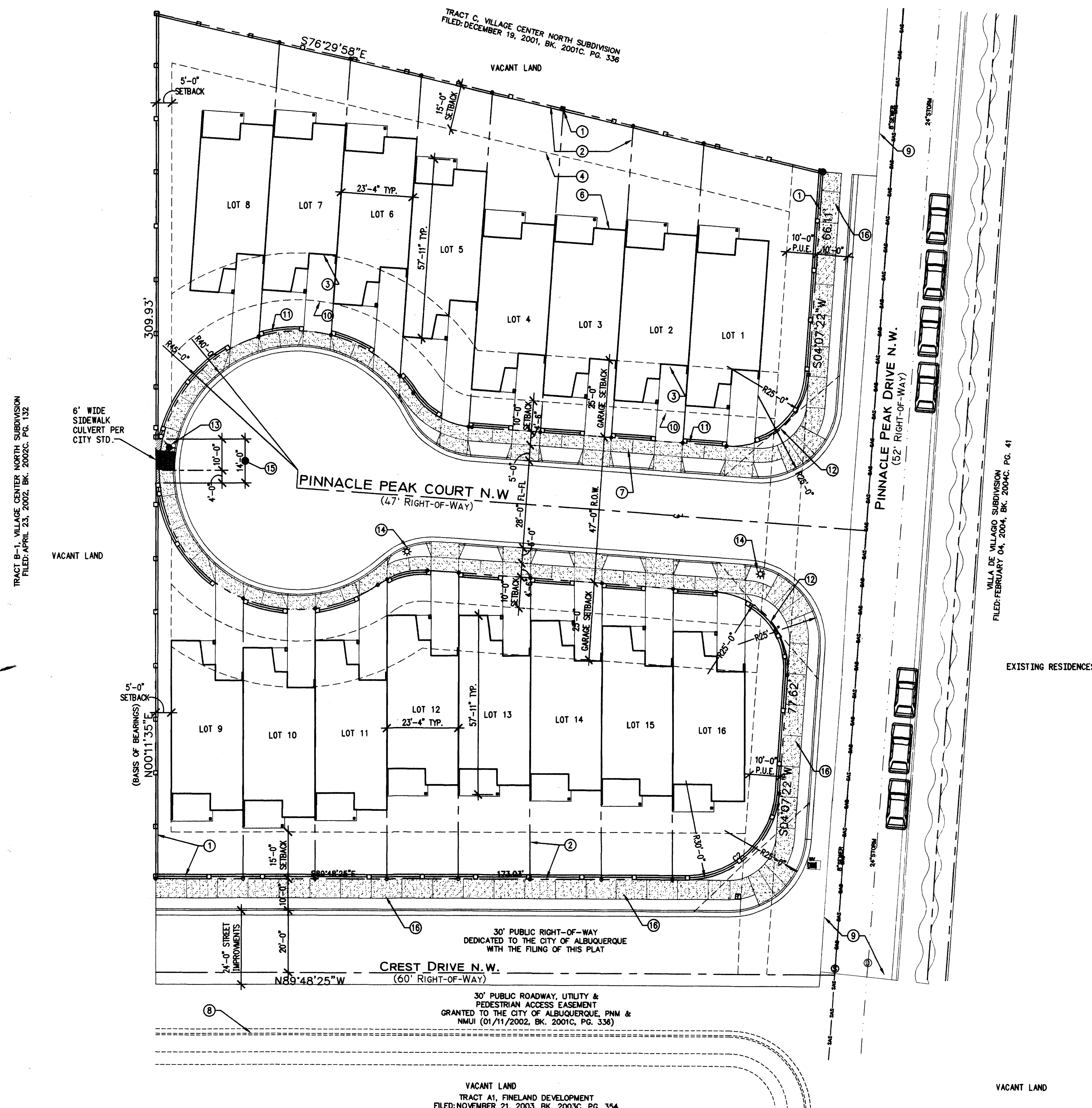
Project Information

TOTAL SITE AREA:	1.36 ACRES
TOTAL # OF LOTS:	16
AVERAGE LOT SIZE:	2400± Sq. Ft.
AVERAGE BUILDING SIZE:	
1ST FLOOR	1063 SQ. FT.
2ND FLOOR	1004 SQ. FT.
TOTAL	2067 SQ. FT.

1004943



LOCATION MAP
FROM ZONING ATLAS - A-11-Z

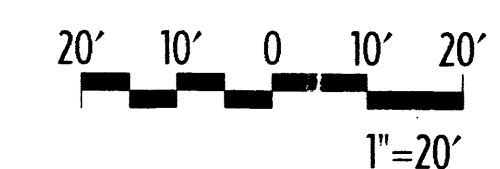


PINNACLE PEAK TOWNHOUSES

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

ISAAC BENTON & ASSOCIATES AIA

AUGUST 10, 2006

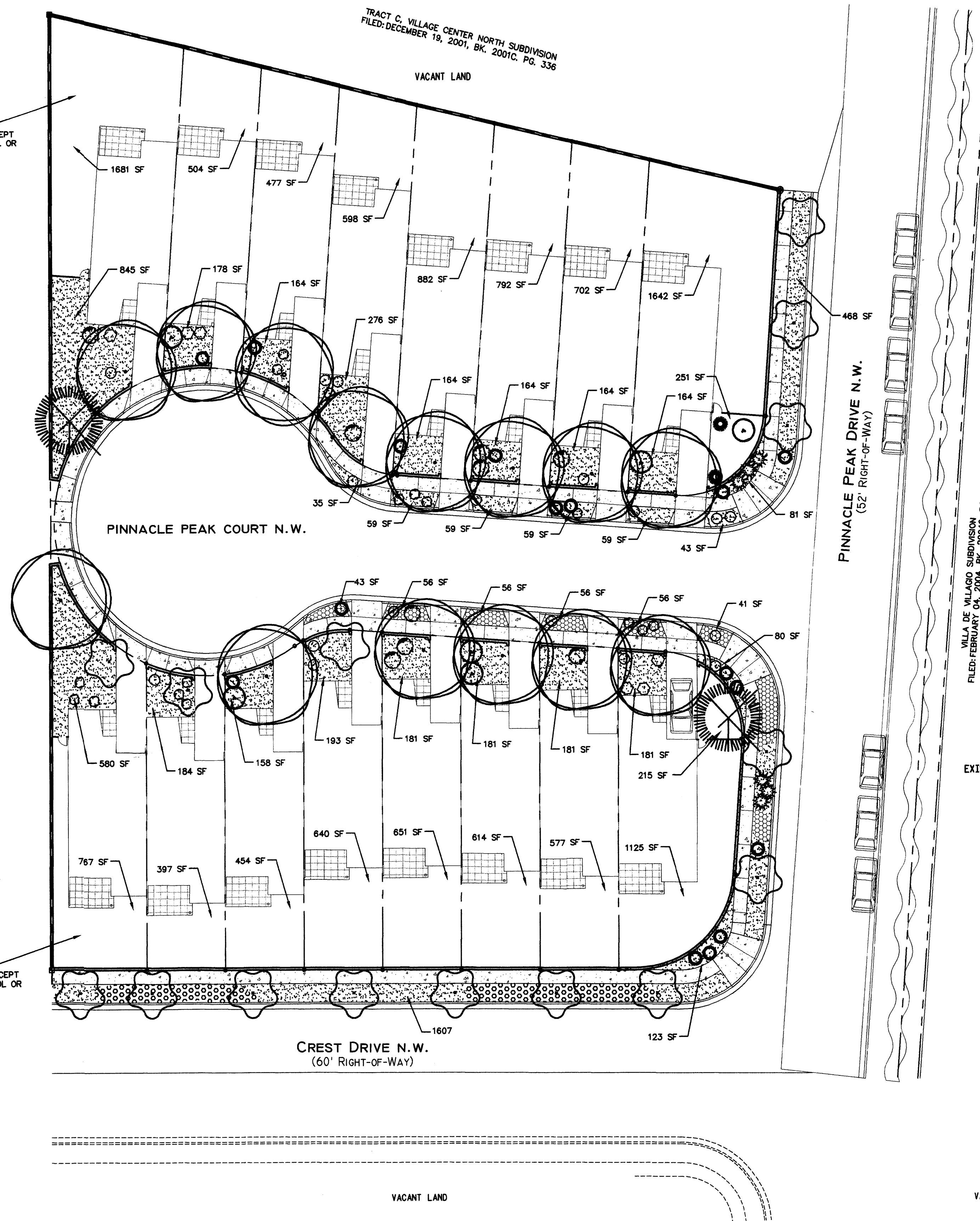


H:\Active Projects\Albuquerque\Private Projects\Pinnacle Peak\DRB\Arch\IDA\Design Development\Drawings\Landscape Plan.dwg, 2/4/06, 9/11/2006 3:27:43 PM

NOTE:
REAR AND SIDE COURTYARD
LANDSCAPES BY HOMEOWNER, EXCEPT
AS NEEDED FOR EROSION CONTROL OR
STREET TREE PLANTINGS

TRACT B-1, VILLAGE CENTER NORTH SUBDIVISION
FILED: APRIL 23, 2002, BK. 2002C, PG. 132

NOTE:
REAR AND SIDE COURTYARD
LANDSCAPES BY HOMEOWNER, EXCEPT
AS NEEDED FOR EROSION CONTROL OR
STREET TREE PLANTINGS



VILLA DE VILLAGO SUBDIVISION
FILED: FEBRUARY 04, 2004, BK. 2004C, PG. 41

EXISTING RESIDENCES

General Notes

ALL PLANTING BEDS SHALL BE MULCHED, UNLESS OTHERWISE STATED ON THE PLAN. SEE PLANS FOR TYPE AND LOCATION.
TREE LOCATIONS AS SHOWN ARE SCHEMATIC AND MAY VARY BASED ON SIGNAGE LOCATIONS, AND OTHER SITE CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY.
RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE HOMEOWNER.
AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS. TREES WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM, AND SHRUBS AND GROUND COVERS WILL BE IRRIGATED WITH A DRIP EMITTER SYSTEM.
AT MATURITY, PLANTS WILL PROVIDE MINIMUM COVERAGE OF 75% OF THE LANDSCAPE AREA.
LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE C ORD 18-1995.
THE LANDSCAPE DESIGN WILL EMPHASIZE WATER-CONSERVATIVE PLANTING, PRIMARILY NATIVES, AND IS INTENDED TO COMPLEMENT THE ADJACENT NEIGHBORHOOD PLANTINGS.
PLANS ARE DIAGRAMMATIC AND APPROXIMATE DUE TO THE SCALE OF THE DRAWINGS, AND NOT ALL INDIVIDUAL SHRUBS OR GROUND COVERS ARE SHOWN. ACTUAL TREE LOCATIONS MAY VARY TO ACCOMMODATE SIGNAGE, LIGHTING LOCATIONS OR OTHER SITE CONSTRAINTS.
ALL PLANT MATERIALS AT INTERSECTIONS WILL FOLLOW CLEAR SIGHT TRIANGLE GUIDELINES. ALL PROPOSED LANDSCAPING IS TO BE ESTABLISHED AS GENERAL LANDSCAPING.

Plant Legend

SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE SIZE (HT. X W.)	WATER USE
TREES				
	<i>Celtis reticulata</i>	WESTERN HACKBERRY	30' x 30'	MODERATE
	<i>Pinus flexilis</i> OR <i>Juniperus scopulorum</i>	LIMBER PINE ROCKY MOUNTAIN JUNIPER	30' x 20' 20' x 20'	MODERATE LOW
	<i>Chilopsis linearis</i>	DESERT WILLOW	15' x 15'	LOW
SHRUBS/GROUND COVERS				
	<i>Rosemarinus officinalis "Arp"</i>	ARP ROSEMARY	6' x 6'	LOW
	<i>Fallugia paradoxa</i>	APACHE PLUME	5' x 5'	LOW
	<i>Rhaphiolepis indica</i>	INDIA HAWTHORN	3' x 4'	MODERATE
	<i>Hesperaloe parviflora</i>	RED YUCCA	3' x 3'	MODERATE
	<i>Genista tinctoria</i>	SUMMER BROOM	2' x 4'	MODERATE
	<i>Salvia greggii</i>	CHERRY SAGE	3' x 3'	MODERATE
	<i>Salvia leucantha</i>	MEXICAN SAGE	3' x 3'	MODERATE
	<i>Baccharis "Centennial"</i>	CENTENNIAL COYOTE BUSH	3' x 3'	LOW

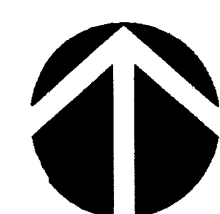
Materials Legend

	4" DEPTH SAN LAZARUS CRUSHER FINES OVER DEWITT PRO 5 FILTER FABRIC (OR APPROVED EQUAL)
	SAN LAZARUS COBBLE OVER DEWITT PRO 5 FILTER FABRIC (OR APPROVED EQUAL)
	SAN LAZARUS "BLACK" COBBLE OVER DEWITT PRO 5 FILTER FABRIC (OR APPROVED EQUAL)

Area Calculations

TOTAL SITE AREA (1.36 ACRES):	59,326 S.F.
BUILDING TOTAL (FIRST FLOOR):	17,087 S.F.
NET SITE AREA:	42,239 S.F.
LANDSCAPE AREA REQUIRED (15%):	6,339 S.F.
LANDSCAPE AREA PROVIDED:	19,853 S.F.
LANDSCAPE AREA AS PERCENT OF NET SITE AREA:	47%

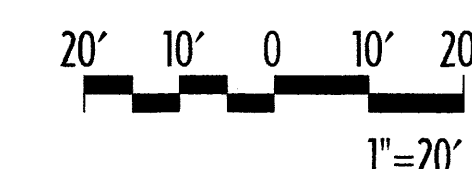
PINNACLE PEAK TOWNHOUSES

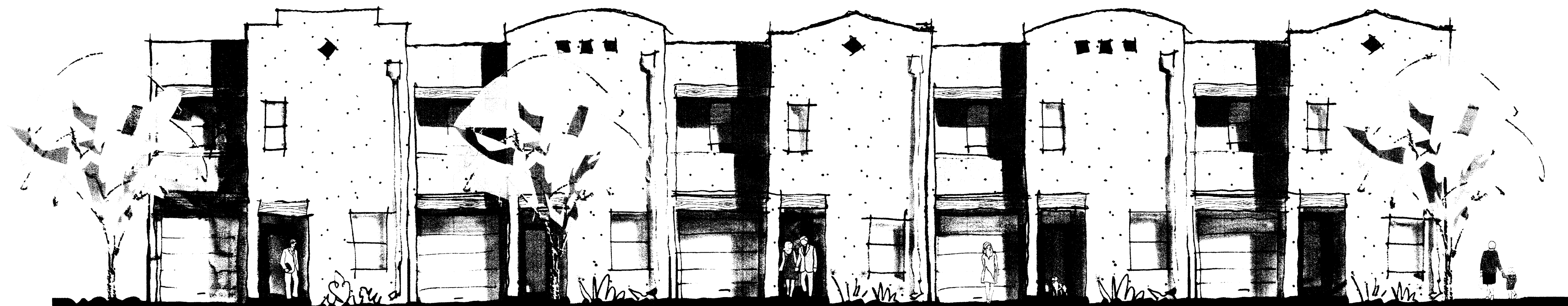


ISAAC BENTON & ASSOCIATES AIA

AUGUST 10, 2006

LANDSCAPE PLAN





PINNACLE PEAK COURT N.W.

PINNACLE PEAK TOWNHOUSES

FRONT ELEVATIONS

ISAAC BENTON & ASSOCIATES AIA

AUGUST 10, 2006



**PLAT OF
LOTS 1 THROUGH 16
PINNACLE PEAK TOWNHOMES
PROJECTED SECTION 2, T. 11 N., R. 2 E., N.M.P.M.
TOWN OF ALAMEDA GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2006
SHEET 2 OF 2**

15 10 5 0 10 20 30
SCALE: 1" = 30'
PROJECT NO. 0608PB02
DRAWN BY PGB
ZONE ATLAS: A-11-Z
0608PB02.CR5

LOT AREA TABLE	
LOT	AREA
1	0.0817 ACS. GROSS/NET
2	0.0531 ACS. GROSS/NET
3	0.0551 ACS. GROSS/NET
4	0.0572 ACS. GROSS/NET
5	0.0566 ACS. GROSS/NET
6	0.0494 ACS. GROSS/NET
7	0.0491 ACS. GROSS/NET
8	0.0940 ACS. GROSS/NET
9	0.0670 ACS. GROSS/NET
10	0.0470 ACS. GROSS/NET
11	0.0487 ACS. GROSS/NET
12	0.0530 ACS. GROSS/NET
13	0.0525 ACS. GROSS/NET
14	0.0517 ACS. GROSS/NET
15	0.0508 ACS. GROSS/NET
16	0.0696 ACS. GROSS/NET

STATION BLACK 2
X = 372,920.43
Y = 1,530,241.52
GROUND TO GRID = 0.9996784
DELTA ALPHA = -0°14'43"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927
NAD 1929 ELEV. 5213.926

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	324.00'	21.50'	3°48'08"	S02°13'18"W	21.50'
C2	30.00'	45.07'	86°04'13"	N47°09'29"E	40.95'
C3	25.00'	39.27'	90°00'00"	S49°07'22"W	35.36'
C4	25.00'	1.09'	2°29'35"	N84°37'51"W	1.09'
C5	25.00'	21.76'	49°52'25"	N58°26'51"W	21.08'
C6	25.00'	22.85'	52°22'00"	N59°41'38"W	22.06'
C7	45.00'	213.28'	271°33'07"	S10°42'48"W	62.77'
C8	45.00'	6.91'	8°47'53"	N37°54'35"W	6.90'
C9	45.00'	26.50'	33°44'23"	N59°10'44"W	26.12'
C10	45.00'	23.71'	30°10'57"	S88°51'36"W	23.43'
C11	45.00'	57.79'	73°34'51"	S36°58'42"W	53.90'
C12	45.00'	52.51'	66°51'29"	S33°14'28"E	49.58'
C13	45.00'	23.83'	30°20'51"	S81°50'38"E	23.56'
C14	45.00'	23.03'	29°19'25"	N68°19'15"E	22.78'
C15	25.00'	3.51'	8°03'18"	N58°57'53"E	3.51'
C16	25.00'	13.59'	31°07'50"	N78°33'27"E	13.42'
C17	25.00'	17.10'	39°11'08"	N74°31'48"E	16.77'
C18	25.00'	39.27'	90°00'00"	S40°52'38"E	35.36'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N89°48'25"W	1.02'
L2	N04°07'22"E	5.76'

TRACT A
VILLAGE CENTER NORTH SUBD.
FILED 12-19-2001
(2001C, 336)

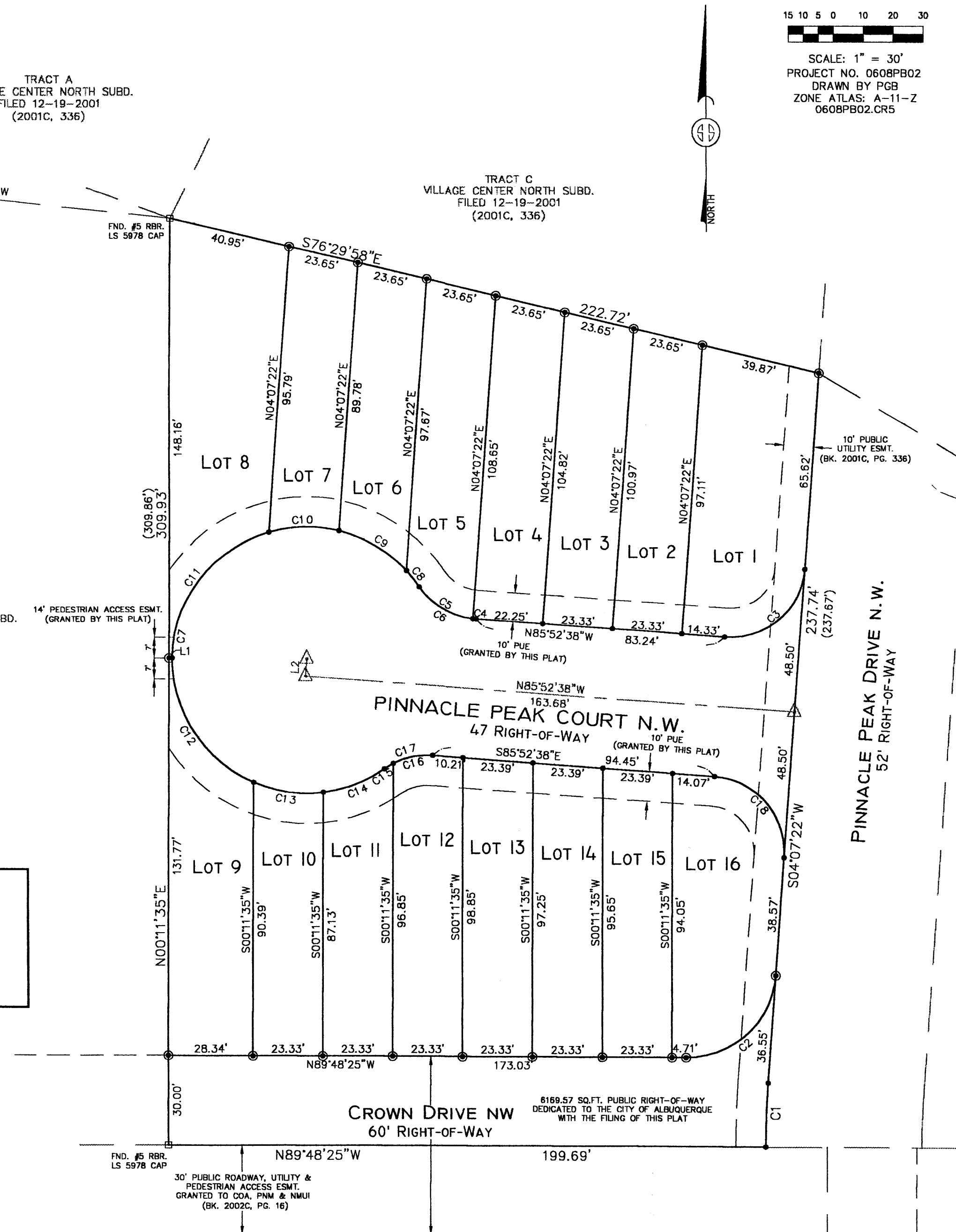
TRACT C
VILLAGE CENTER NORTH SUBD.
FILED 12-19-2001
(2001C, 336)

TRACT B-1
VILLAGE CENTER NORTH SUBD.
FILED 4-23-2002
(2002C, 132)

TRACT A1
FINLAND DEVELOPMENT
FILED 11-21-2003
(2003C, 354)

STATION 1-A10
X = 358933.85
Y = 1,534660.24
GROUND TO GRID = 0.9996638
DELTA ALPHA = -0°16'20"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927
NAD 1929 ELEV. 5415.16

- MONUMENT LEGEND**
- △ - CENTERLINE MONUMENT
 - ⊕ - FOUND CONTROL STATION AS NOTED
 - - FOUND MONUMENT AS NOTED
 - - COMPUTED CORNER (NOT SET)
 - ⊙ - SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MWR 11224" UNLESS OTHERWISE NOTED

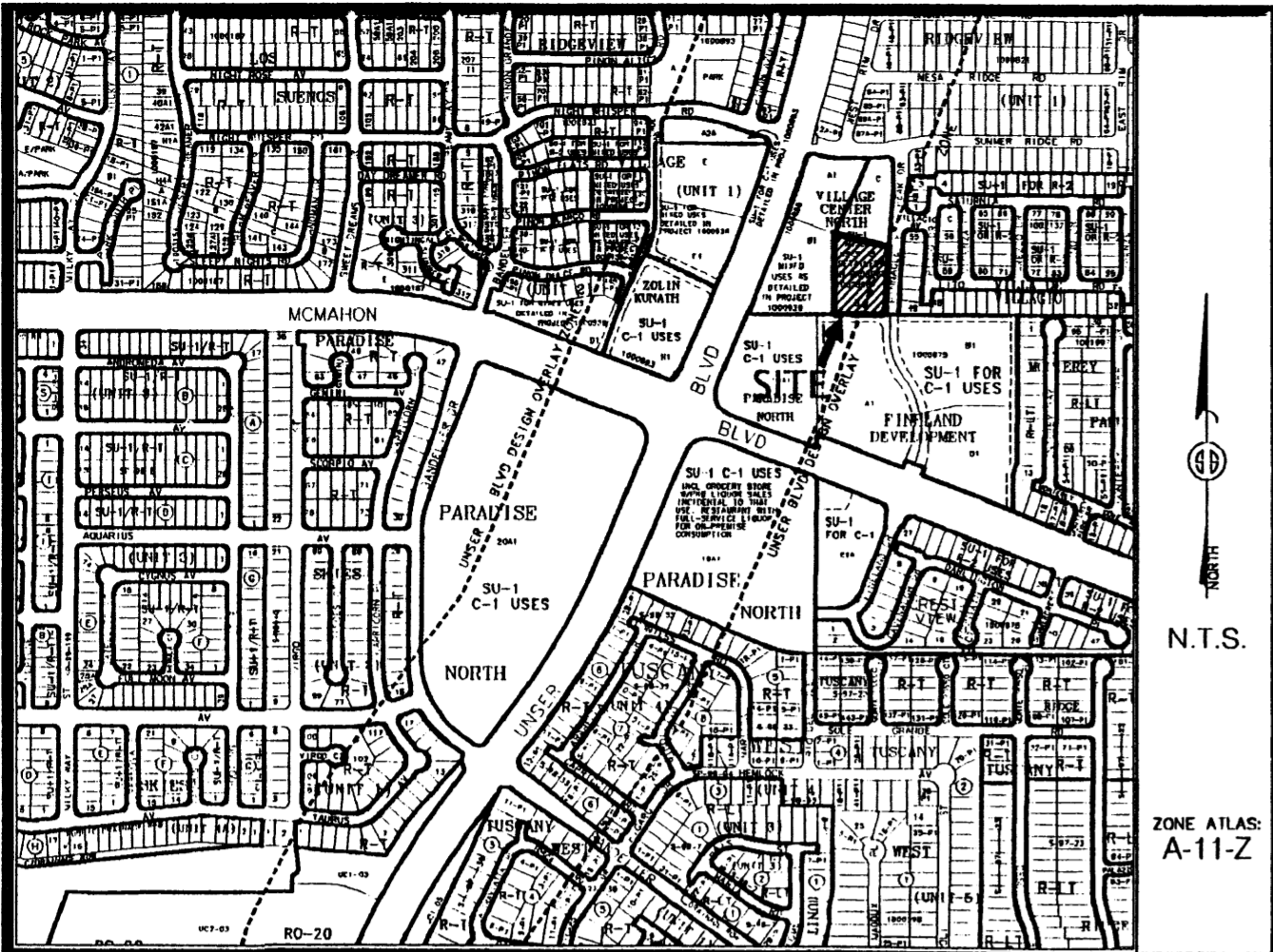


SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO
87102

PHONE: (505) 998-0303
FAX: (505) 998-0306

T11N R2E SEC. 2



Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS SANDBERN AND BLACK 2, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES () ARE PER THE PLAT OF VILLAGE CENTER NORTH SUBDIVISION, FILED IN BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 2001 IN BOOK 2001C, PAGE 336.
6. GROSS AREA: 1.3619 ACRES
7. NUMBER OF EXISTING TRACTS: 1
8. NUMBER OF LOTS CREATED: 16
9. 0.0321 MILES OF PUBLIC STREET RIGHT-OF-WAY CREATED BY THIS PLAT.
0.0378 MILES OF PUBLIC HALF STREET RIGHT-OF-WAY CREATED BY THIS PLAT.
10. PROPERTY IS ZONED SU-1 FOR MIXED USE.

LEGAL DESCRIPTION

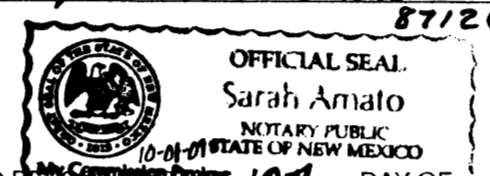
TRACT LETTERED "D" OF THE BULK LAND PLAT OF VILLAGE CENTER NORTH SUBDIVISION, ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 2001 IN BOOK 2001C, PAGE 336.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

OWNER(S) SIGNATURE: [Signature] DATE: 8/10/06
 OWNER(S) PRINT NAME: Julie Gutierrez Managing Member
 ADDRESS: 106 Industrial Loop Rio Rancho, NM 87126 TRACT: _____
 ACKNOWLEDGMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)



THIS INSTRUMENT WAS ACKNOWLEDGED 10 DAY OF AUGUST, 2006.

BY: [Signature]
 MY COMMISSION EXPIRES: 10/01/09 [Signature] NOTARY PUBLIC

PUBLIC UTILITY EASEMENTS

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
1. THE PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 2. THE PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
 3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
- INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL NOT BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.
- IN APPROVING THIS PLAT, P.N.M. ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.
- EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEGARS, AS INSTALLED, SHALL EXTEND TEN FEET (10) IN FRONT OF TRANSFORMER/SWITHEGAR DOORS AND FIVE FEET (5) ON EACH SIDE.
- NEW MEXICO UTILITIES, INC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF THE UNDERGROUND WATER AND SANITARY SEWER LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE WATER AND SANITARY SEWER SERVICE.

UTILITY APPROVALS

P.N.M. GAS SERVICES/P.N.M. ELECTRIC SERVICE DATE 8/10/06
 QWEST TELECOMMUNICATIONS DATE 8-18-06
 COMCAST CABLE DATE 8-25-06
 NEW MEXICO UTILITIES DATE _____

NOTE: THESE PROPERTIES LIE WITHIN THE NEW MEXICO UTILITIES, INC. (NMU, INC) FRANCHISE AREA. WATER AND SANITARY SEWER CAPABILITIES ARE BASED UPON THE NMU, INC FACILITIES, NOT THE CITY OF ALBUQUERQUE.

PLAT OF
 LOTS 1 THROUGH 16
 PINNACLE PEAK TOWNHOMES
 PROJECTED SECTION 2, T. 11 N., R. 2 E., N.M.P.M.
 TOWN OF ALAMEDA GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2006
 SHEET 1 OF 2

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO DIVIDE ONE (1) EXISTING TRACT INTO SIXTEEN (16) NEW LOTS, TO GRANT ADDITIONAL EASEMENTS AND TO DEDICATE PUBLIC STREET RIGHT-OF-WAY AS SHOWN.

CITY APPROVALS: PROJECT NO.: _____ APPLICATION NO.: _____
[Signature] 8/10/06
 CITY SURVEYOR DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
PARKS & RECREATION DEPARTMENT	DATE
WATER UTILITY DEPARTMENT	DATE
A.M.A.F.C.A.	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE XI OF THE REVISED ORDINANCES OF ALBUQUERQUE, N.M.

CITY PLANNER, ALBUQUERQUE PLANNING DIVISION DATE

SURVEYOR'S CERTIFICATION

I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

[Signature] 08-09-06
 Mitchell W. Reynolds Date
 New Mexico Professional Surveyor, 11224

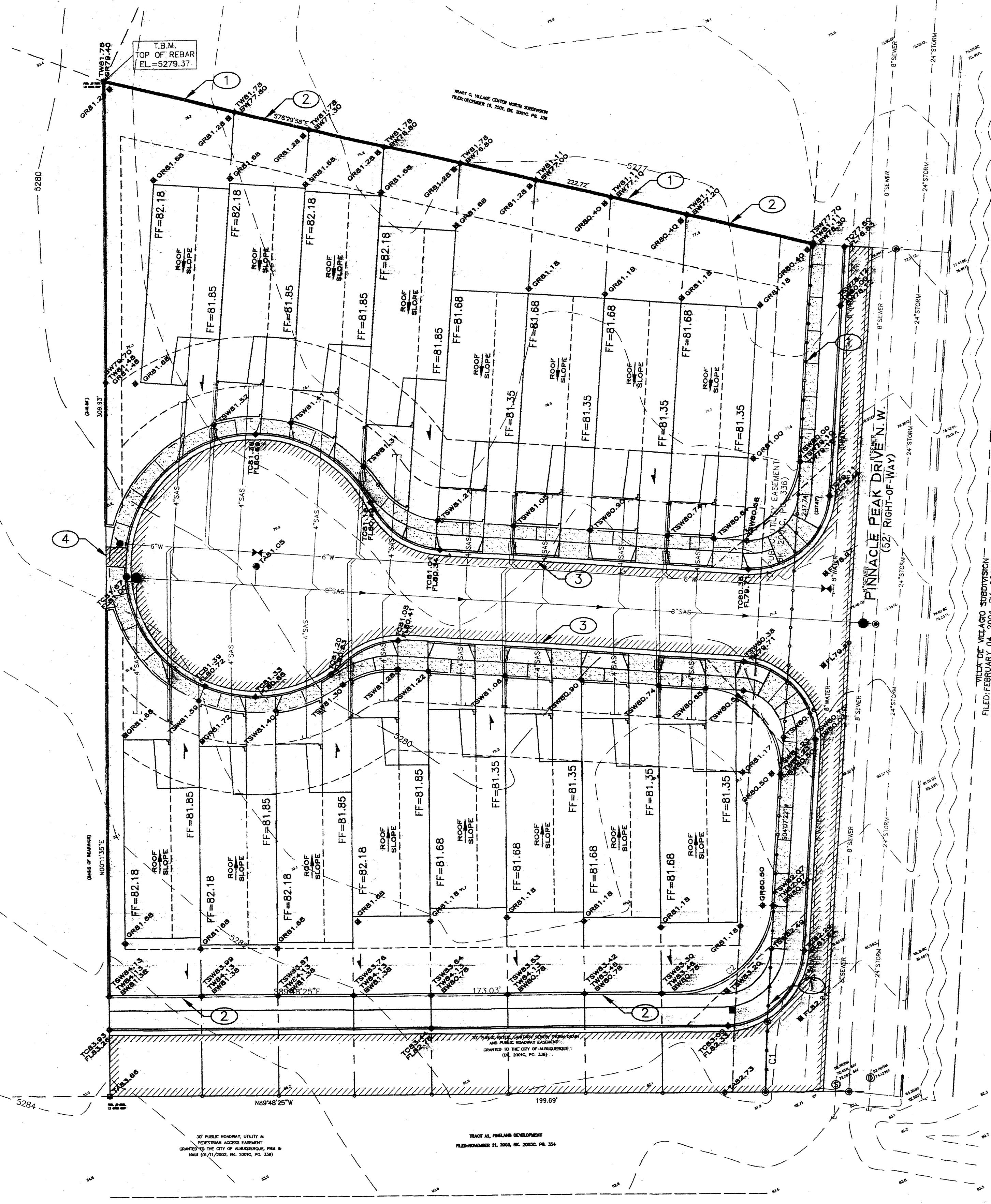


SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E. PHONE: (505) 998-0303
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306
 87102

T11N R2E SEC. 2

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
 UPC#: _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO COUNTY TREASURERS OFFICE: _____



GRADING PLAN
SCALE: 1" = 20'

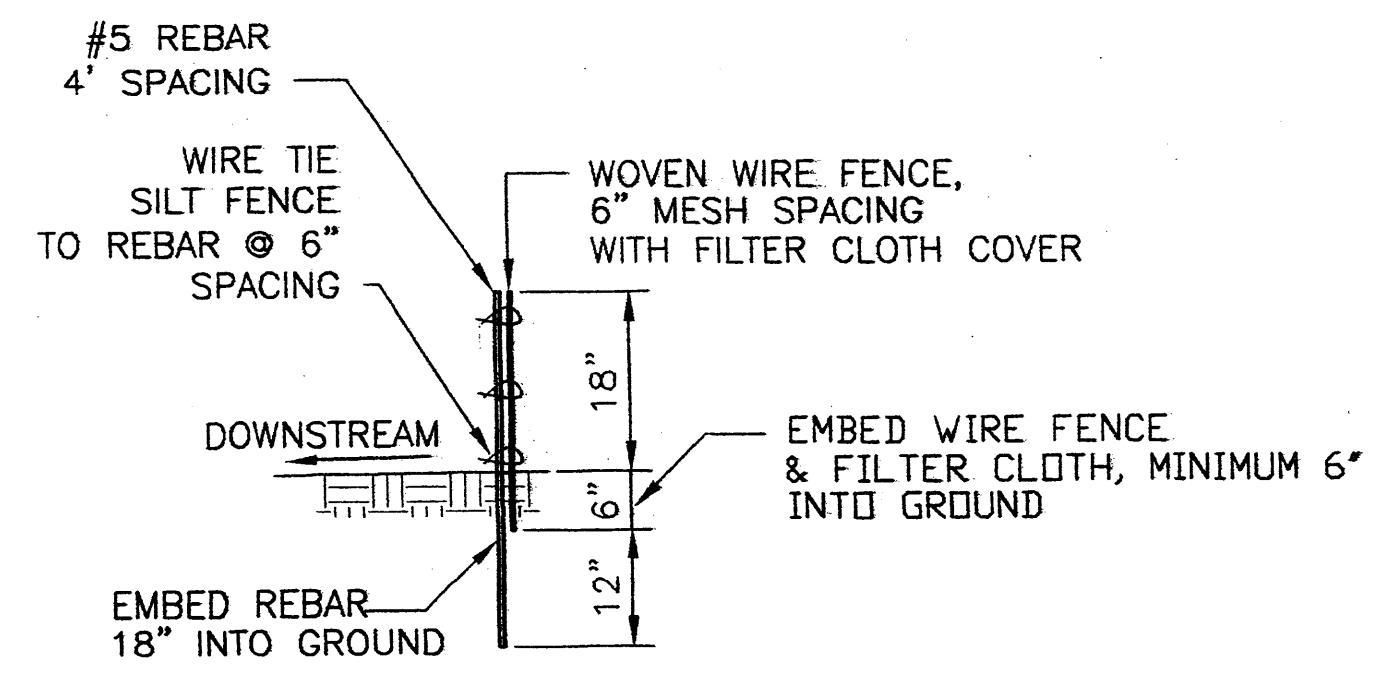
CONSTRUCTION NOTES:

- 1 PROVIDE SILT FENCE PER DETAIL SHOWN ON THIS SHEET ALONG PERIMETER OF ENTIRE CONSTRUCTION SITE. CONTRACTOR SHALL MAINTAIN SILT FENCE THROUGHOUT CONSTRUCTION UNTIL SUCH TIME THAT FINAL INSPECTION PERFORMED BY CITY OF ALBUQUERQUE OR PERMANENT STABILIZATION HAS BEEN ESTABLISHED.
- 2 CONSTRUCT RETAINING WALL PER GRADES SHOWN.
- 3 CONSTRUCT STANDARD CURB AND GUTTER PER CITY STD. DWG. 2415A.
- 4 CONSTRUCT 6' WIDE SIDEWALK CULVERT PER CITY STD. DWG. 2236

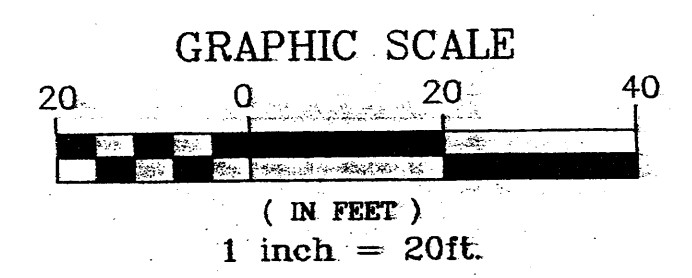
LEGEND			
— 5360 —	NEW CONTOUR GRADE	— 5362 —	EXISTING CONTOUR GRADE
→	DRAINAGE FLOW DIRECTION	◆ TC62.50	NEW TOP OF CURB ELEVATION
◆ FL62.00	NEW FLOWLINE OF CURB ELEVATION	◆ TA60.11	NEW TOP OF ASPHALT ELEVATION
◆ TSW61.87	NEW TOP OF SIDEWALK ELEVATION	◆ TOC93.1	NEW TOP OF CONCRETE ELEVATION
—	NEW GRADE BREAK	◆ GR56.0	NEW GRADE ELEVATION
X 5.00	EXISTING GRADE ELEVATION	◆ FL55.3	FLOWLINE GRADE ELEVATION
		◆ TW95.1	NEW TOP OF WALL ELEVATION
		◆ BW93.1	NEW BOTTOM OF WALL ELEVATION

UTILITY PRECAUTIONS:
THE CONTRACTOR SHALL INDEMNIFY ITSELF OF THE LOCATION OF ANY UTILITY LINES, PIPELINES OR UNDERGROUND FACILITIES IN OR NEAR THE AREA OF THE WORK. IN ADVANCE OF ANY EXCAVATION WORK, THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE AND AVOID ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

**LOTS 1 THROUGH 16
PINNACLE PEAK TOWNHOMES**



SILT FENCE DETAIL
SCALE: 1/2" = 1'-0"



APPLIED ENGINEERING AND SURVEYING, INC.
ENGINEERS AND PLANNERS
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

**TITLE: GRADING AND DRAINAGE PLAN
PINNACLE PEAK TOWNHOMES**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
TBD	A-11	1	2

REVISIONS: NO. DATE BY DATE

DESIGNED BY: DATE
DRAWN BY: DATE
CHECKED BY: DATE

SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL	
NO.	BY	NO.	BY		
DATE	BY	DATE	BY		
BENCH MARKS		AS BUILT INFORMATION			
BENCHMARK IS AN A.C.S. MONUMENT		CONTRACTOR			
DATE 2-2-12, ELEVATION = 5175.786 AN		INSPECTED BY			
ACS 1 3/4" ALUMINUM DISK SET ON		FIELD STAKE BY			
TOP OF THE CURB AT THE WNW RETURN		VERIFICATION BY			
LOCATED AT THE INTERSECTION OF		CHECKED BY			
PARADISE HILLS BLVD. AND DAVENPORT		MICRO-FILM INFORMATION			
STREET NW IN THE NW QUADRANT OF		RECORDED BY			
THE INTERSECTION.		NO.			

DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING A 16 TOWNHOUSE SUBDIVISION LOCATED IN TRACT D, VILLAGE CENTER NORTH SUBDIVISION, ALBUQUERQUE, NEW MEXICO, GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:

1. DRAINAGE CALCULATIONS
2. VICINITY MAP (A-11)
3. FLOOD INSURANCE RATE MAP 35001C0104D

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE IS LOCATED ON THE WEST SIDE OF PINNACLE PEAK DRIVE NW. (SEE ATTACHED VICINITY MAP (A-11)). THE PARCELS LEGAL DESCRIPTION IS TRACT D, VILLAGE CENTER NORTH SUBDIVISION, IN THE CITY OF ALBUQUERQUE. THE PROPERTY IS BOUNDED ON THE SOUTH BY A 60 FOOT PUBLIC ROADWAY EASEMENT, ON THE EAST BY PINNACLE PEAK, ON THE NORTH AND WEST BY UNDEVELOPED TRACTS OF LAND. THIS SITE CONTAINS APPROXIMATELY 1.36 ACRES. THIS TRACT OF LAND IS CURRENTLY UNDEVELOPED WITH MINIMAL NATIVE VEGETATION.

THE SITE IS CURRENTLY NOT IN A DESIGNATED 100-YEAR FLOODPLAIN PER FIRM MAP 35001C0104D

PROPOSED CONDITIONS

AS SHOWN BY THE PLAN, THE PROJECT CONSISTS OF A SUBDIVISION WITH 16 NEW TOWNHOUSE LOTS, EACH TOWNHOUSE ALSO CONSIST OF AN ATTACHED GARAGE. THE PLAN WILL ALSO CONSIST OF PATIOS, SIDEWALKS AND LANDSCAPING IS TO BE PROVIDED PER CITY ZONING REQUIREMENTS. THE PLAN IS TO CONSTRUCT A CUL-DE-SAC TO SERVE THE TOWNHOUSE LOTS PER CITY OF ALBUQUERQUE STREET STANDARDS.

THE PLAN ALSO SHOWS PROPOSED ELEVATIONS REQUIRED TO PROPERLY DRAIN THE CUL-DE-SAC, TO INCLUDE THE NEW HOMES AND GARAGES WITHIN EACH LOT. ALL DRIVEWAYS ARE TO BE PAVED WITH CONCRETE.

THIS SITE IS TRACT "D" AND LIES IN DRAINAGE BASIN J1 OF THE VILLA DE VALLAGIO MASTER DRAINAGE PLAN.

THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6 HOUR RAINFALL RUNOFF FOR PEAK FLOWS AND STORM DURATION FOR VOLUME REQUIREMENTS. THE PROCEDURE FOR 40 ACRE AND SMALLER BASINS AS SET FORTH IN THE REVISION OF SECTION 22.7 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY 1993. THIS D.P.M. PROCEDURE IS USED FOR ANALYZING ONSITE FLOWS.

DOWNSTREAM CAPACITY

A REVIEW OF THE MASTER DRAINAGE PLAN THAT WAS DONE FOR THE DEVELOPMENT TO THE EAST OF THIS SITE IDENTIFIED AS VILLA DE VALLAGIO, THE FLOWS FROM THIS SITE WERE ACCOUNTED FOR AS A FULLY DEVELOPED SITE. THERE ARE EXISTING DRAINAGE INLETS AT THE INTERSECTION OF PINNACLE PEAK DRIVE AND VILLAGIO AVENUE TO THE NORTH OF THIS SITE THAT HAVE BEEN SIZED BY THE MASTER DRAINAGE STUDY TO ACCEPT FULLY DEVELOPED FLOWS FROM THIS SITE.

OFFSITE FLOWS

A REVIEW OF MASTER DRAINAGE PLAN INDICATES THAT BASIN I LIES TO THE WEST OF THIS SITE AND IS REQUIRED TO DRAIN THROUGH THIS SITE SO THE FLOWS CAN ENTER THE VILLA DE VALLAGIO STORM DRAIN SYSTEM. A CURB AND SIDEWALK OPENING WILL BE PROVIDED AT THE WEST END OF THE NEW CUL-DE-SAC PROVIDED WITH THIS DEVELOPMENT TO ALLOW THE FLOWS FOR A FUTURE DEVELOPMENT FOR THE SITE TO THE WEST SO THAT THESE FUTURE DEVELOPED FLOWS MAY ENTER INTO THE VILLA DE VALLAGIO STORM DRAIN SYSTEM.

EROSION CONTROL

THE CONTRACTOR WILL BE REQUIRED TO PROVIDE SILT FENCES AROUND THE PROPOSED CONSTRUCTION AREAS TO MINIMIZE SEDIMENT INTO THE PUBLIC ROADWAYS OR ALLEYS. CONTRACT WILL BE REQUIRED TO PROTECT THE EXISTING INLET WITH SEDIMENT CONTROL MEASURES IN ORDER TO MINIMIZE SEDIMENT FROM ENTERING THIS INLET.

DRAINAGE CALCULATIONS

1. PRECIPITATION ZONE = 1

2. DESIGN STORM = DEPTH (INCHES) AT 100-YEAR STORM

6-HOUR = 2.20 INCHES
24-HOUR = 2.66 INCHES
10 DAY = 3.67 INCHES

3. PEAK DISCHARGE (CFS/ACRE) FOR 100-YEAR, ZONE 2, TABLE A-9:

Q = 1.29 CFS/ACRE SOIL UNCOMPACTED "A"
Q = 2.03 CFS/ACRE LANDSCAPED "B"
Q = 2.87 CFS/ACRE COMPACTED SOIL "C"
Q = 4.37 CFS/ACRE IMPERVIOUS AREA "D"

FOR WATERSHEDS LESS THAN OR EQUAL TO 40 ACRES

4. EXCESS PRECIPITATION, E (INCHES), 6 HOUR STORM, ZONE 2, TABLE A-8:

E = 0.44 INCHES SOIL UNCOMPACTED "A"
E = 0.67 INCHES LANDSCAPED "B"
E = 0.99 INCHES COMPACTED SOIL "C"
E = 1.97 INCHES IMPERVIOUS AREA "D"

5. EXISTING CONDITIONS ONSITE:

EXISTING TOTAL AREA OF SITE = 1.36 ACRES
TREATMENT "A" AREA = 1.36 ACRES

TREATMENT	AREA (ACRES)
A	1.36
B	0
C	0
D	0

Q (EXISTING-6HR) = (1.29 X 1.36)
= 1.75 CFS (6HR) EXISTING ONSITE FLOW
V (EXISTING-6HR) = (0.44 X 1.36) / 12
= 0.05 AC-FT = 2.172 CF EXISTING ONSITE VOLUME

6. PROPOSED CONDITIONS ONSITE:

PROPOSED TOTAL AREA OF SITE = 1.36 ACRES
TYPE (TREATMENT "D") = (1.276 SF) X 16 TOWNHOUSE ROOF AREAS + (11,540 SF)
CUL-DE-SAC PAVING & SDWK + (217 SF 4 FT) X 16 DRIVEWAYS + (5,136 SF)
SOUTH 1/2 STREET & SDWK = 40,546 SF = 0.93 AC
50% (TREATMENT "B") = (1.36 - 0.93) / 2 = 0.21 AC
50% (TREATMENT "C") = (1.36 - 0.93) / 2 = 0.21 AC

TREATMENT	AREA (ACRES)
A	0
B	0.21
C	0.21
D	0.93

Q (PROPOSED) = (2.03 X 0.21) + (2.87 X 0.21) + (4.37 X 0.93)
= 5.09 CFS (6HR) PROPOSED ONSITE FLOW INTO PINNACLE PEAK DRIVE AND THEN INTO VILLA VALLAGIO STORM DRAIN

Q (ALLOWED PER MASTER PLAN) = 20.14 CFS / 4.99 AC X 1.36 AC = 5.49 CFS
Q (PROPOSED) = 5.09 CFS < 5.49 CFS (ALLOWED PER MASTER PLAN) OK

V (EXISTING-6HR) = (0.67 X 0.21) + (0.99 X 0.21) + (1.97 X 0.93) / 12
= 0.18 AC-FT = 7.916 CF PROPOSED ONSITE VOLUME INTO PINNACLE PEAK DRIVE AND THEN INTO VILLA VALLAGIO STORM DRAIN

7. OFFSITE FLOWS:

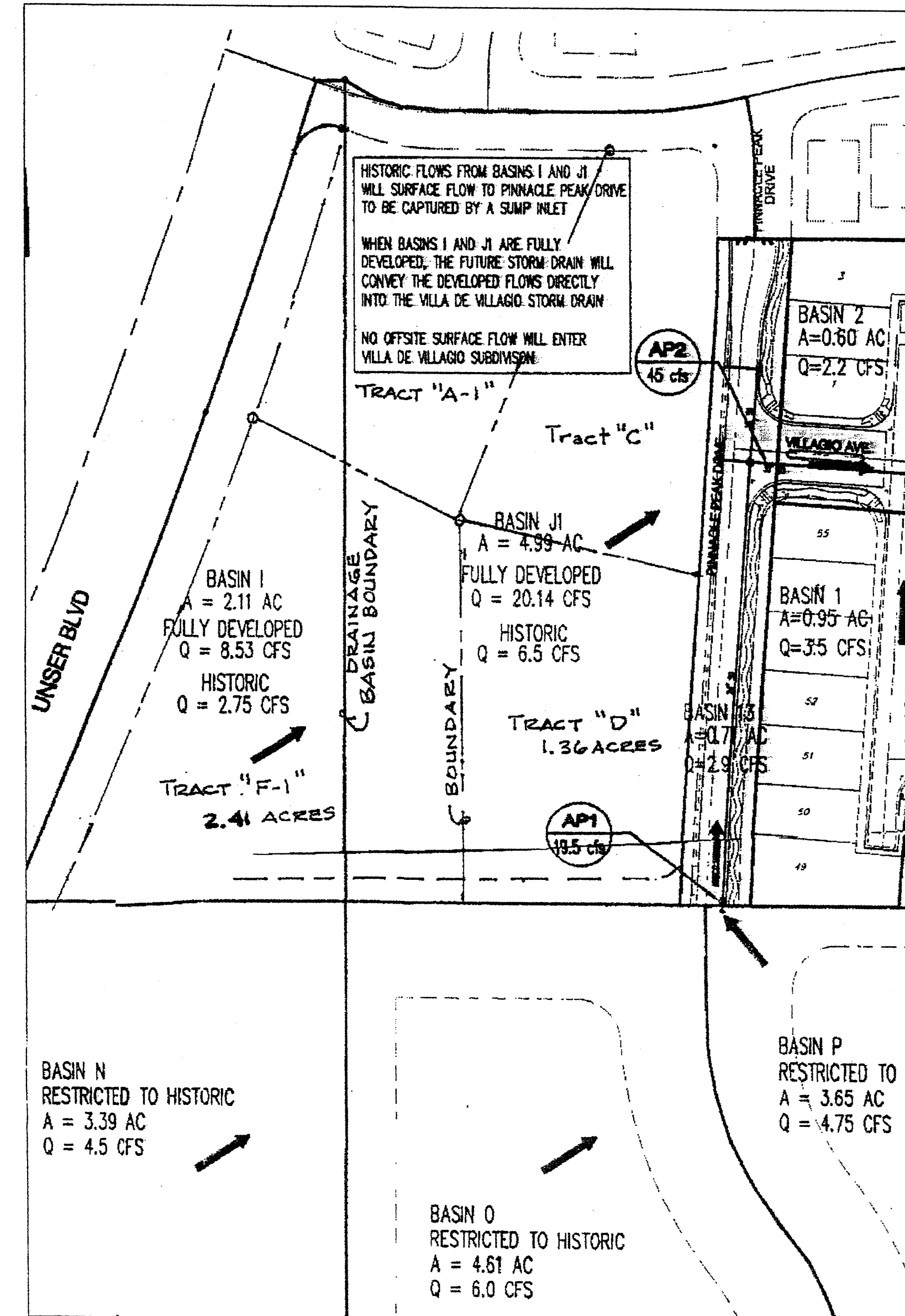
TRACT F-1 IS WEST OF THIS SITE AND CONSIST OF A PORTION OF BASIN J1 AND BASIN I (SEE DRAINAGE BASIN BOUNDARY)
TRACT F-1 = 2.41 ACRES X (20.14 CFS / 4.99 AC) = 9.72 CFS OFFSITE FLOW

8. EVALUATE NEW CUL-DE-SAC STREET CAPACITY

Q (TOTAL) = 5.09 CFS (ONSITE) + 9.72 CFS (OFFSITE) = 14.81 CFS
STREET SLOPE = 0.50%
STREET WIDTH = 28 FEET
MANNINGS N = 0.017
2% CROSS SLOPE
RUN HYDRAULIC PROGRAM:
NORMAL STREET DEPTH = 0.46 FEET, ENERGY HEAD = 0.52 FEET
STANDARD CURB PROPOSED WITH HEIGHT = 0.67 FEET
0.67 FEET CURB HEIGHT > 0.46 FEET (THIS DEVELOPMENT) OK

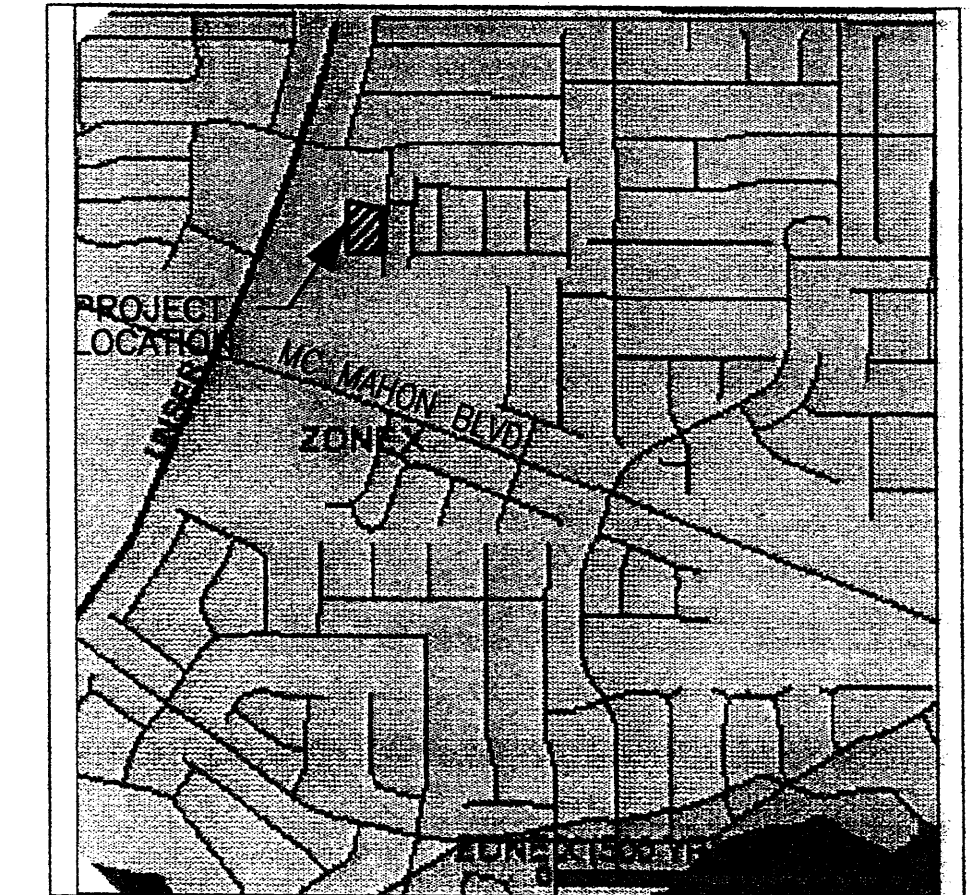
9. SIZE SIDEWALK CULVERT FOR OFFSITE FLOWS AT WEST END OF CUL-DE-SAC

Q (OFFSITE) = 9.72 CFS
L = WIDTH TO BE DETERMINED
D = DEPTH OF CURB = 8" = 0.67'
SIZE OPENING AS WEIR WITH Q = CxLxH^{3/2}
C = 3.0 RECTANGULAR OPENING
L = (Q / CxH^{3/2})
L = (9.72 CFS / 3x0.67^{3/2})
L = 5.91 FEET, USE 6 FEET WIDTH SIDEWALK CULVERT



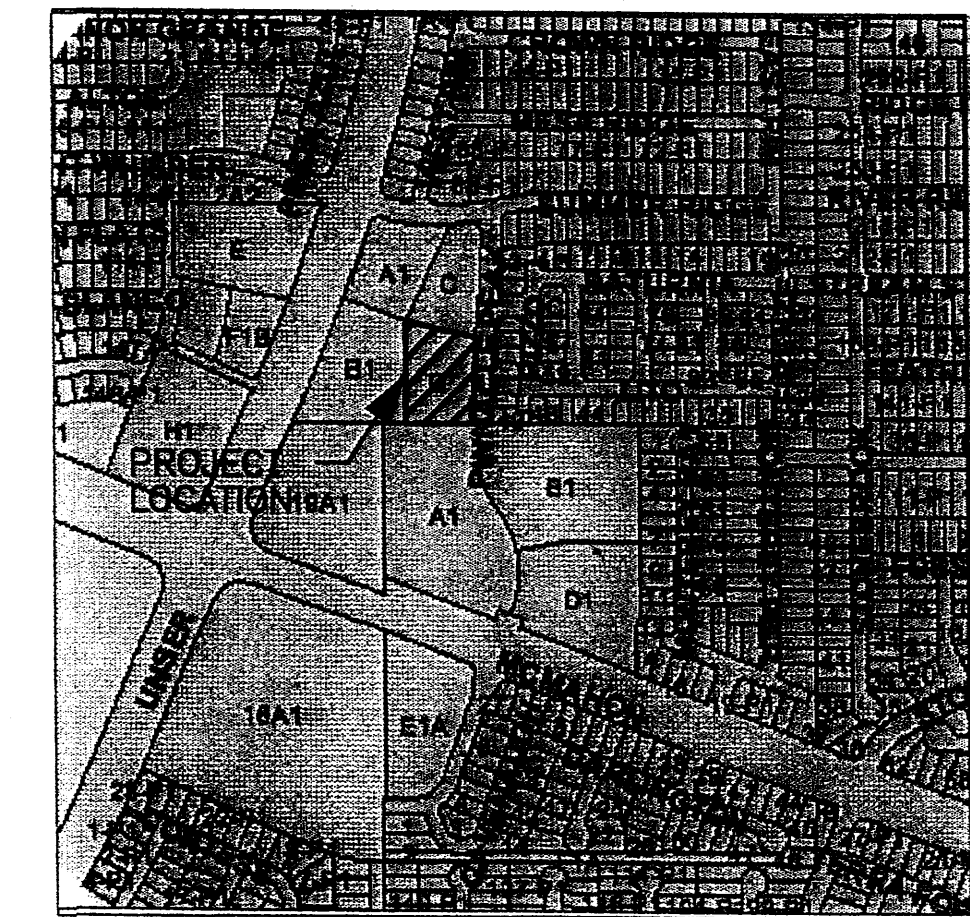
MASTER DRAINAGE BASIN

SCALE: N.T.S.



FIRM MAP 35001C0104D

SCALE: N.T.S.



VICINITY MAP A-11

SCALE: N.T.S.

LOTS 1 THROUGH 16
PINNACLE PEAK TOWNHOMES

UTILITY PRECAUTIONS
THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

	<p>FILE:</p>	<p>DATE/REVISIONS:</p>
	<p>DRAINAGE CALCULATIONS AND DETAILS PINNACLE PEAK TOWNHOMES ALBUQUERQUE, NEW MEXICO</p>	
<p>Applied Engineering & Surveying, Inc. 1805 BLAIR DRIVE NE ALBUQUERQUE, NEW MEXICO 87112 PH: (505) 237-1456</p>		<p>SHEET NUMBER: 2</p>