

Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS SANDBERN AND BLACK 2, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES ( ) ARE PER THE PLAT OF VILLAGE CENTER NORTH SUBDIVISION, FILED IN BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 2001 IN BOOK 2001C, PAGE 336.
6. GROSS AREA: 1.3619 ACRES
7. NUMBER OF EXISTING TRACTS: 1
8. NUMBER OF LOTS CREATED: 16
9. 0.0321 MILES OF PUBLIC STREET RIGHT-OF-WAY CREATED BY THIS PLAT.  
0.0378 MILES OF PUBLIC HALF STREET RIGHT-OF-WAY CREATED BY THIS PLAT.
10. PROPERTY IS ZONED SU-1 FOR MIXED USE.
11. THE 14' PUBLIC PEDESTRIAN ACCESS AND PUBLIC DRAINAGE EASEMENT IS TO BE MAINTAINED BY THE OWNERS OF LOTS 8 AND 9.
12. THE PROPERTY ON THIS PLAT IS SUBJECT TO A PRE-DEVELOPMENT FACILITIES FEE AGREEMENT WITH THE ALBUQUERQUE PUBLIC SCHOOLS RECORDED AS EXHIBIT B, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 8, 2006 IN BOOK A126, PAGE 9718, DOCUMENT #2006170177.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPC#: 101100641240810102

PROPERTY OWNER OF RECORD:

J & J REAL ESTATE PARTNERSHIP

BERNALILLO COUNTY TREASURERS OFFICE:

11/28/06

LEGAL DESCRIPTION

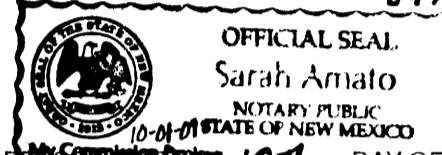
TRACT LETTERED "D" OF THE BULK LAND PLAT OF VILLAGE CENTER NORTH SUBDIVISION, ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 2001 IN BOOK 2001C, PAGE 336.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

OWNER(S) SIGNATURE: [Signature] Managing Member DATE: 8/10/06  
 OWNER(S) PRINT NAME: Julie Gutierrez Managing Member  
 ADDRESS: 106 Industrial Loop Rio Rancho NM TRACT: 87126  
 ACKNOWLEDGMENT

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )



THIS INSTRUMENT WAS ACKNOWLEDGED BY SAID PARTIES ON THE 10th DAY OF AUGUST, 2006.

BY: [Signature]  
 MY COMMISSION EXPIRES: 10/01/09  
Sarah Amato  
 NOTARY PUBLIC

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
  2. THE PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
  3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
  4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
- INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE. TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL NOT BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.
- IN APPROVING THIS PLAT, P.N.M. ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.
- EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEGARS, AS INSTALLED, SHALL EXTEND TEN FEET (10) IN FRONT OF TRANSFORMER/SWITCHEAR DOORS AND FIVE FEET (5) ON EACH SIDE.
- NEW MEXICO UTILITIES, INC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF THE UNDERGROUND WATER AND SANITARY SEWER LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE WATER AND SANITARY SEWER SERVICE.

UTILITY APPROVALS

[Signature] 10-09-06  
 P.N.M. GAS SERVICES/P.N.M. ELECTRIC SERVICES DATE  
[Signature] 8/18/06  
 QWEST TELECOMMUNICATIONS DATE  
[Signature] 7-25-06  
 COMCAST CABLE DATE  
 NEW MEXICO UTILITIES DATE

NOTE: THESE PROPERTIES LIE WITHIN THE NEW MEXICO UTILITIES, INC. (NMU, INC) FRANCHISE AREA. WATER AND SANITARY SEWER CAPABILITIES ARE BASED UPON THE NMU, INC FACILITIES, NOT THE CITY OF ALBUQUERQUE.

PLAT OF  
 LOTS 1 THROUGH 16  
 PINNACLE PEAK TOWNHOMES  
 PROJECTED SECTION 2, T. 11 N., R. 2 E., N.M.P.M.  
 TOWN OF ALAMEDA GRANT  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 AUGUST 2006  
 SHEET 1 OF 2

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO DIVIDE ONE (1) EXISTING TRACT INTO SIXTEEN (16) NEW LOTS, TO GRANT ADDITIONAL EASEMENTS AND TO DEDICATE PUBLIC STREET RIGHT-OF-WAY AS SHOWN.

CITY APPROVALS: PROJECT NO.: 1004943 APPLICATION NO. 06 DeB-01547

<u>[Signature]</u> CITY SURVEYOR	<u>8/10/06</u> DATE
<u>[Signature]</u> TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	<u>11-19-06</u> DATE
<u>Christina Sandoval</u> PARKS & RECREATION DEPARTMENT	<u>11/15/06</u> DATE
<u>[Signature]</u> WATER UTILITY DEPARTMENT	<u>11-15-06</u> DATE
<u>Bradley D. Bingham</u> A.M.A.F.C.A.	<u>11/15/06</u> DATE
<u>Bradley D. Bingham</u> CITY ENGINEER	<u>11/15/06</u> DATE
<u>[Signature]</u> DRB CHAIRPERSON, PLANNING DEPARTMENT	<u>11/27/06</u> DATE

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE XI OF THE REVISED ORDINANCES OF ALBUQUERQUE, N.M.



SURVEYOR'S CERTIFICATION

I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

[Signature] 08-09-06  
 Mitchell W. Reynolds Date  
 New Mexico Professional Surveyor, 11224



SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E.  
 ALBUQUERQUE, NEW MEXICO  
 87102

PHONE: (505) 998-0303  
 FAX: (505) 998-0306

T11N R2E SEC. 2

**PLAT OF  
LOTS 1 THROUGH 16  
PINNACLE PEAK TOWNHOMES  
PROJECTED SECTION 2, T. 11 N., R. 2 E., N.M.P.M.  
TOWN OF ALAMEDA GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST 2006  
SHEET 2 OF 2**

15 10 5 0 10 20 30  
SCALE: 1" = 30'  
PROJECT NO. 0608PB02  
DRAWN BY PGB  
ZONE ATLAS: A-11-Z  
0608PB02.CR5

LOT	AREA
1	0.0817 ACS. GROSS/NET
2	0.0531 ACS. GROSS/NET
3	0.0551 ACS. GROSS/NET
4	0.0572 ACS. GROSS/NET
5	0.0566 ACS. GROSS/NET
6	0.0494 ACS. GROSS/NET
7	0.0491 ACS. GROSS/NET
8	0.0940 ACS. GROSS/NET
9	0.0670 ACS. GROSS/NET
10	0.0470 ACS. GROSS/NET
11	0.0487 ACS. GROSS/NET
12	0.0530 ACS. GROSS/NET
13	0.0525 ACS. GROSS/NET
14	0.0517 ACS. GROSS/NET
15	0.0508 ACS. GROSS/NET
16	0.0696 ACS. GROSS/NET

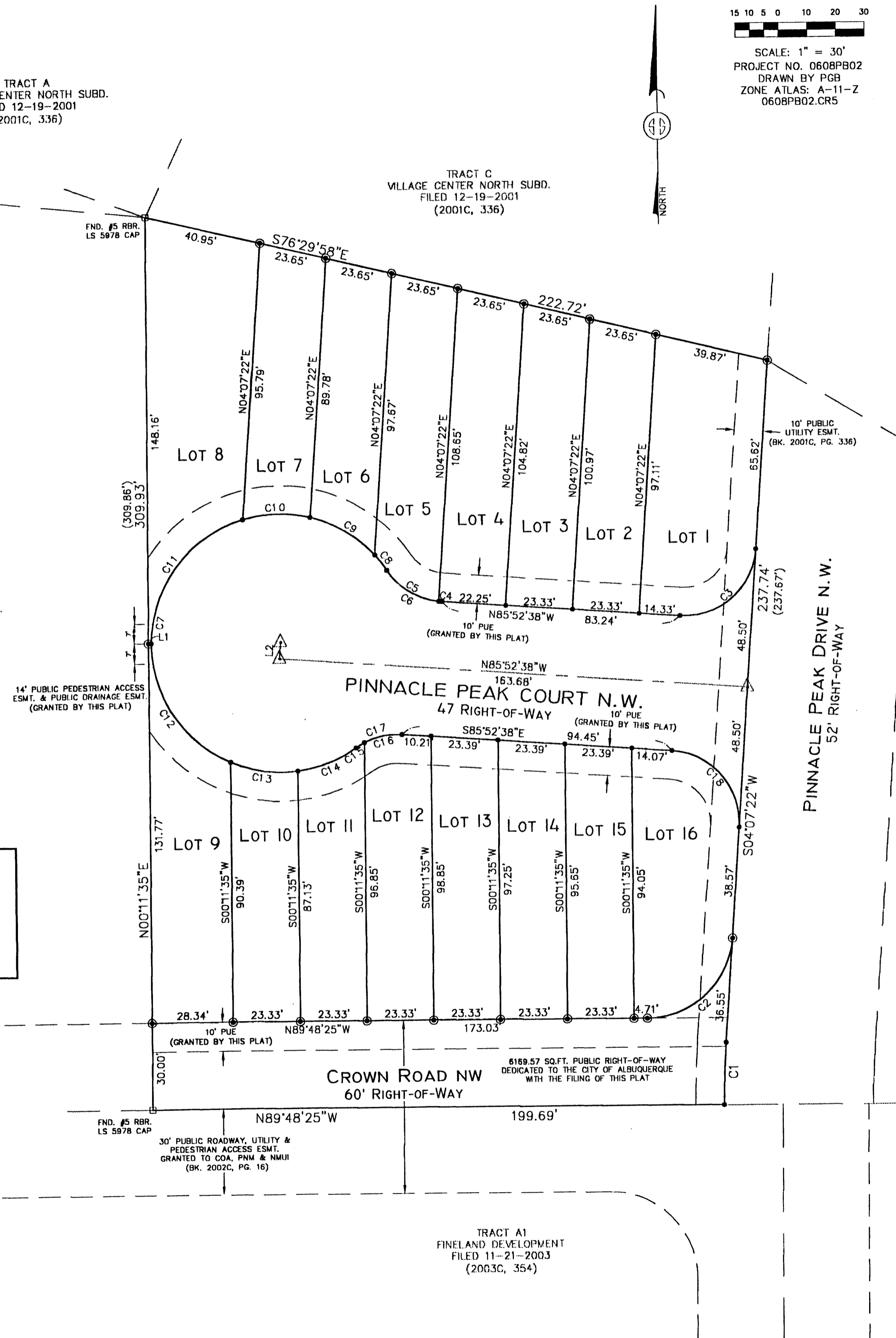
TRACT A  
VILLAGE CENTER NORTH SUBD.  
FILED 12-19-2001  
(2001C, 336)

TRACT C  
VILLAGE CENTER NORTH SUBD.  
FILED 12-19-2001  
(2001C, 336)

STATION 1-A10  
X = 3589.33.85  
Y = 1,534,660.24  
GROUND TO GRID = 0.9996638  
DELTA ALPHA = -00'16"20"  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 1927  
NAD 1929 ELEV. 5415.16

TRACT B-1  
VILLAGE CENTER NORTH SUBD.  
FILED 4-23-2002  
(2002C, 132)

STATION BLACK 2  
X = 372,920.43  
Y = 1,530,241.52  
GROUND TO GRID = 0.9996784  
DELTA ALPHA = -00'14"43"  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 1927  
NAD 1929 ELEV. 5213.926



**MONUMENT LEGEND**

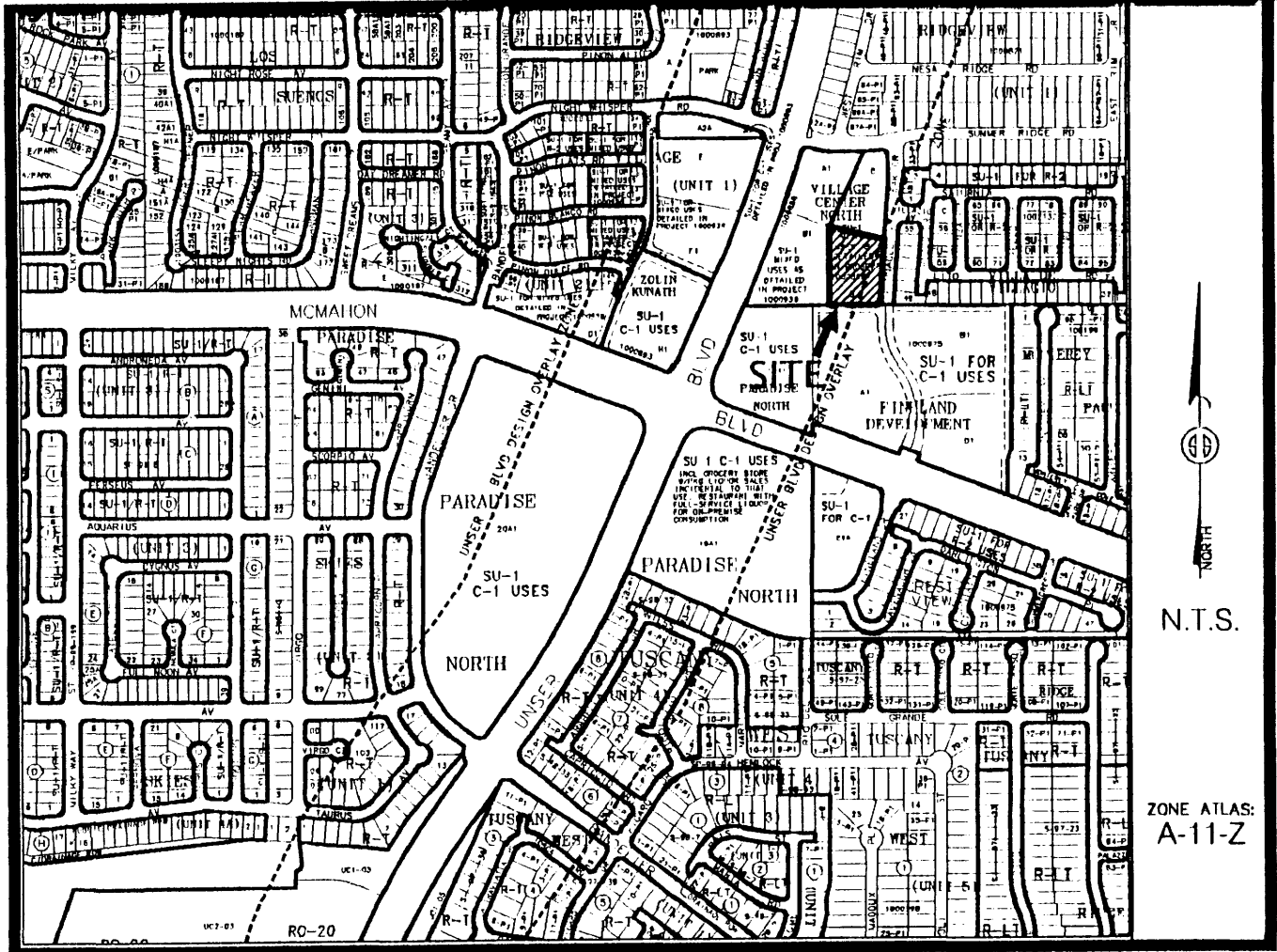
- △ - CENTERLINE MONUMENT
- ⊕ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED
- - COMPUTED CORNER (NOT SET)
- ⊙ - SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MWR 11224" UNLESS OTHERWISE NOTED

CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	324.00'	21.50'	3'48"08"	S02°13'18"W	21.50'
C2	30.00'	45.07'	86°04'13"	N47°09'29"E	40.95'
C3	25.00'	39.27'	90°00'00"	S49°07'22"W	35.36'
C4	25.00'	1.09'	2°29'35"	N84°37'51"W	1.09'
C5	25.00'	21.76'	49°52'25"	N58°26'51"W	21.08'
C6	25.00'	22.85'	52°22'00"	N59°41'38"W	22.06'
C7	45.00'	213.28'	271°33'07"	S10°42'48"W	62.77'
C8	45.00'	6.91'	8°47'53"	N37°54'35"W	6.90'
C9	45.00'	26.50'	33°44'23"	N59°10'44"W	26.12'
C10	45.00'	23.71'	30°10'57"	S88°51'36"W	23.43'
C11	45.00'	57.79'	73°34'51"	S36°58'42"W	53.90'
C12	45.00'	52.51'	66°51'29"	S33°14'28"E	49.58'
C13	45.00'	23.83'	30°20'51"	S81°50'38"E	23.56'
C14	45.00'	23.03'	29°19'25"	N68°19'15"E	22.78'
C15	25.00'	3.51'	8°03'18"	N58°57'53"E	3.51'
C16	25.00'	13.59'	31°07'50"	N78°33'27"E	13.42'
C17	25.00'	17.10'	39°11'08"	N74°31'48"E	16.77'
C18	25.00'	39.27'	90°00'00"	S40°52'38"E	35.36'

LINE	BEARING	LENGTH
L1	N89°48'25"W	1.02'
L2	N04°07'22"E	5.76'

2006177392  
6564996  
Page 2 of 2  
11/28/2006 16:45R  
Bk-2006C Pg-365

**SURVEYS SOUTHWEST LTD.**  
333 LOMAS BLVD., N.E. ALBUQUERQUE, NEW MEXICO 87102  
PHONE: (505) 998-0303  
FAX: (505) 998-0306  
**T11N R2E SEC. 2**



Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS SANDBERN AND BLACK 2, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES ( ) ARE PER THE PLAT OF VILLAGE CENTER NORTH SUBDIVISION, FILED IN BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 2001 IN BOOK 2001C, PAGE 336.
6. GROSS AREA: 1.3619 ACRES
7. NUMBER OF EXISTING TRACTS: 1
8. NUMBER OF LOTS CREATED: 16
9. 0.0321 MILES OF PUBLIC STREET RIGHT-OF-WAY CREATED BY THIS PLAT  
0.0378 MILES OF PUBLIC HALF STREET RIGHT-OF-WAY CREATED BY THIS PLAT.
10. PROPERTY IS ZONED SU-1 FOR MIXED USE.

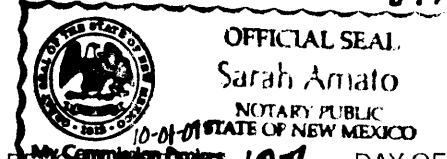
LEGAL DESCRIPTION

TRACT LETTERED "D" OF THE BULK LAND PLAT OF VILLAGE CENTER NORTH II SUBDIVISION, ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 2001 IN BOOK 2001C, PAGE 336.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

OWNER(S) SIGNATURE: [Signature] Managing Member DATE: 8/10/06  
 OWNER(S) PRINT NAME: Julie Gutierrez Managing Member  
 ADDRESS: 106 Industrial Loop Rio Rancho TRACT: 8726  
 ACKNOWLEDGMENT  
 STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )



THIS INSTRUMENT WAS ACKNOWLEDGED BY [Signature] DAY OF AUGUST, 2006.  
 BY: [Signature]  
 MY COMMISSION EXPIRES: 10/01/09 NOTARY PUBLIC

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
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3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL NOT BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

IN APPROVING THIS PLAT, P.N.M. ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10) IN FRONT OF TRANSFORMER/SWITCHEAR DOORS AND FIVE FEET (5) ON EACH SIDE.

NEW MEXICO UTILITIES, INC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF THE UNDERGROUND WATER AND SANITARY SEWER LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE WATER AND SANITARY SEWER SERVICE.

UTILITY APPROVALS

[Signature] 10-05-06  
 P.N.M. GAS SERVICES/P.N.M. ELECTRIC SERVICES DATE  
[Signature] 8/18/06  
 QWEST TELECOMMUNICATIONS DATE  
[Signature] 8-25-06  
 COMCAST CABLE DATE  
 NEW MEXICO UTILITIES DATE

NOTE: THESE PROPERTIES LIE WITHIN THE NEW MEXICO UTILITIES, INC. (NMU, INC) FRANCHISE AREA. WATER AND SANITARY SEWER CAPABILITIES ARE BASED UPON THE NMU, INC FACILITIES, NOT THE CITY OF ALBUQUERQUE.

PLAT OF  
 LOTS 1 THROUGH 16  
 PINNACLE PEAK TOWNHOMES  
 PROJECTED SECTION 2, T. 11 N., R. 2 E., N.M.P.M.  
 TOWN OF ALAMEDA GRANT  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 AUGUST 2006  
 SHEET 1 OF 2

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO DIVIDE ONE (1) EXISTING TRACT INTO SIXTEEN (16) NEW LOTS, TO GRANT ADDITIONAL EASEMENTS AND TO DEDICATE PUBLIC STREET RIGHT-OF-WAY AS SHOWN.

CITY APPROVALS: PROJECT NO.: 1004943 APPLICATION NO.  
 CITY SURVEYOR: [Signature] DATE: 8/10/06

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE  
 PARKS & RECREATION DEPARTMENT DATE  
 WATER UTILITY DEPARTMENT DATE  
 A.M.A.F.C.A. DATE  
 CITY ENGINEER DATE  
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE XI OF THE REVISED ORDINANCES OF ALBUQUERQUE, N.M.

CITY PLANNER, ALBUQUERQUE PLANNING DIVISION DATE

SURVEYOR'S CERTIFICATION

I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

[Signature] 08-09-06  
 Mitchell W. Reynolds Date  
 New Mexico Professional Surveyor, 11224



SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E. PHONE: (505) 998-0303  
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306  
 87102

T11N R2E SEC. 2

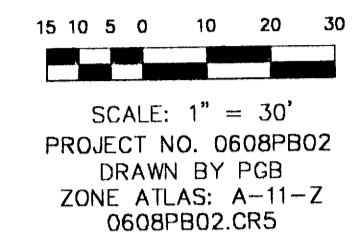
THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPC#: \_\_\_\_\_

PROPERTY OWNER OF RECORD: \_\_\_\_\_

BERNALILLO COUNTY TREASURERS OFFICE: \_\_\_\_\_

**PLAT OF  
LOTS 1 THROUGH 16  
PINNACLE PEAK TOWNHOMES  
PROJECTED SECTION 2, T. 11 N., R. 2 E., N.M.P.M.  
TOWN OF ALAMEDA GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST 2006  
SHEET 2 OF 2**



STATION 1-A10  
X = 358933.85  
Y = 1,534660.24  
GROUND TO GRID = 0.9996638  
DELTA ALPHA = -00°16'20"  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 1927  
NAD 1929 ELEV. 5415.16

TRACT A  
VILLAGE CENTER NORTH SUBD.  
FILED 12-19-2001  
(2001C, 336)

TRACT C  
VILLAGE CENTER NORTH SUBD.  
FILED 12-19-2001  
(2001C, 336)

TRACT B-1  
VILLAGE CENTER NORTH SUBD.  
FILED 4-23-2002  
(2002C, 132)

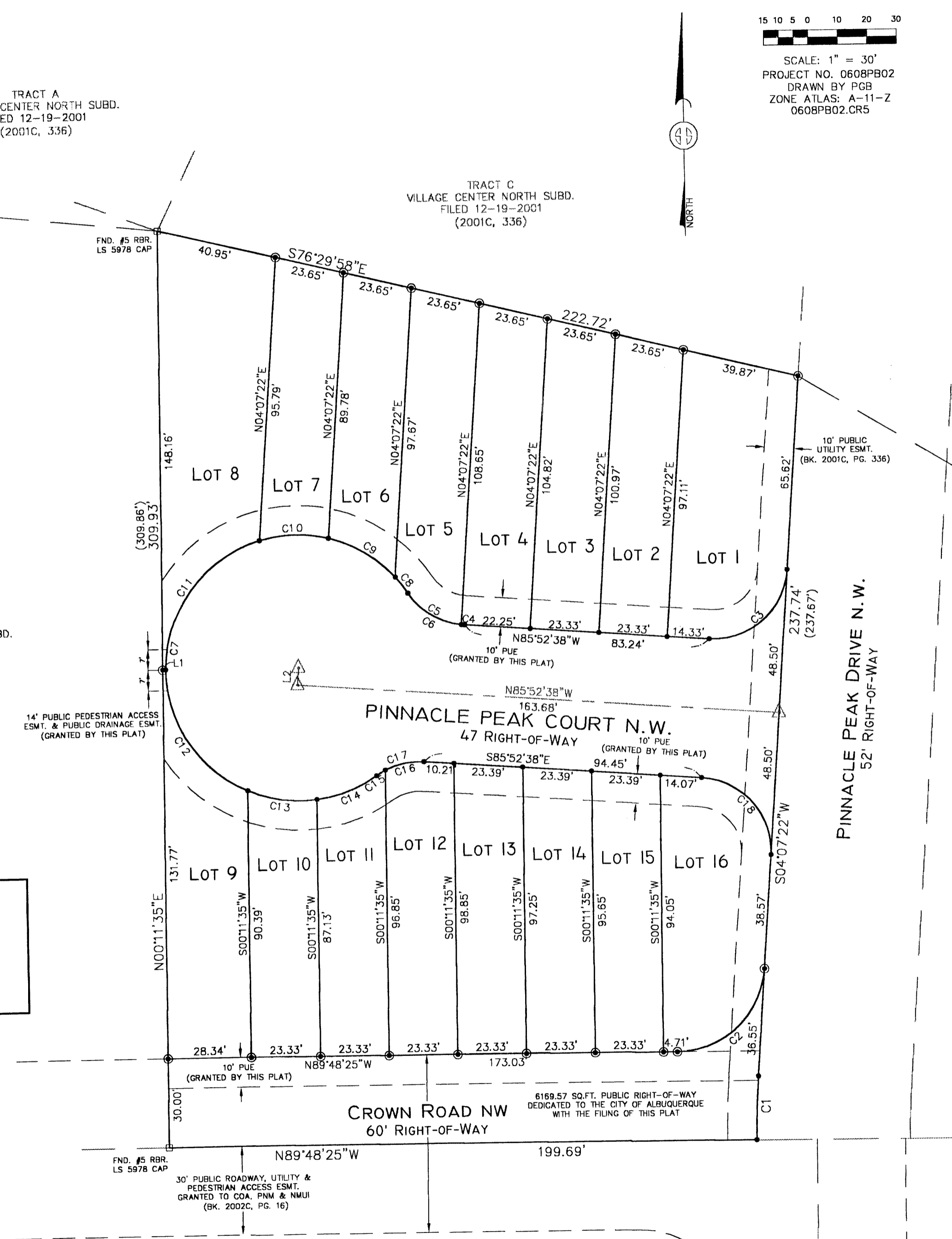
STATION BLACK 2  
X = 372,920.43  
Y = 1,530,241.52  
GROUND TO GRID = 0.9996784  
DELTA ALPHA = -00°14'43"  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 1927  
NAD 1929 ELEV. 5213.926

LOT AREA TABLE	
LOT	AREA
1	0.0817 ACS. GROSS/NET
2	0.0531 ACS. GROSS/NET
3	0.0551 ACS. GROSS/NET
4	0.0572 ACS. GROSS/NET
5	0.0566 ACS. GROSS/NET
6	0.0494 ACS. GROSS/NET
7	0.0491 ACS. GROSS/NET
8	0.0940 ACS. GROSS/NET
9	0.0670 ACS. GROSS/NET
10	0.0470 ACS. GROSS/NET
11	0.0487 ACS. GROSS/NET
12	0.0530 ACS. GROSS/NET
13	0.0525 ACS. GROSS/NET
14	0.0517 ACS. GROSS/NET
15	0.0508 ACS. GROSS/NET
16	0.0696 ACS. GROSS/NET

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	324.00'	21.50'	3°48'08"	S02°13'18"W	21.50'
C2	30.00'	45.07'	86°04'13"	N47°09'29"E	40.95'
C3	25.00'	39.27'	90°00'00"	S49°07'22"W	35.36'
C4	25.00'	1.09'	2°29'35"	N84°37'51"W	1.09'
C5	25.00'	21.76'	49°52'25"	N58°26'51"W	21.08'
C6	25.00'	22.85'	52°22'00"	N59°41'38"W	22.06'
C7	45.00'	213.28'	271°33'07"	S10°42'48"W	62.77'
C8	45.00'	6.91'	8°47'53"	N37°54'35"W	6.90'
C9	45.00'	26.50'	33°44'23"	N59°10'44"W	26.12'
C10	45.00'	23.71'	30°10'57"	S88°51'36"W	23.43'
C11	45.00'	57.79'	73°34'51"	S36°58'42"W	53.90'
C12	45.00'	52.51'	66°51'29"	S33°14'28"E	49.58'
C13	45.00'	23.83'	30°20'51"	S81°50'38"E	23.56'
C14	45.00'	23.03'	29°19'25"	N68°19'15"E	22.78'
C15	25.00'	3.51'	8°03'18"	N58°57'53"E	3.51'
C16	25.00'	13.59'	31°07'50"	N78°33'27"E	13.42'
C17	25.00'	17.10'	39°11'08"	N74°31'48"E	16.77'
C18	25.00'	39.27'	90°00'00"	S40°52'38"E	35.36'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N89°48'25"W	1.02'
L2	N04°07'22"E	5.76'

- MONUMENT LEGEND**
- ▲ - CENTERLINE MONUMENT
  - ⊕ - FOUND CONTROL STATION AS NOTED
  - ⊙ - FOUND MONUMENT AS NOTED
  - - COMPUTED CORNER (NOT SET)
  - ⊙ - SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MWR 11224" UNLESS OTHERWISE NOTED



TRACT A1  
FINELAND DEVELOPMENT  
FILED 11-21-2003  
(2003C, 354)

**SURVEYS SOUTHWEST LTD.**  
333 LOMAS BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO  
87102  
PHONE: (505) 998-0303  
FAX: (505) 998-0306  
**T11N R2E SEC. 2**

PROJECT NUMBER: 1004943

APPLICATION NUMBER: 06DRB-01165

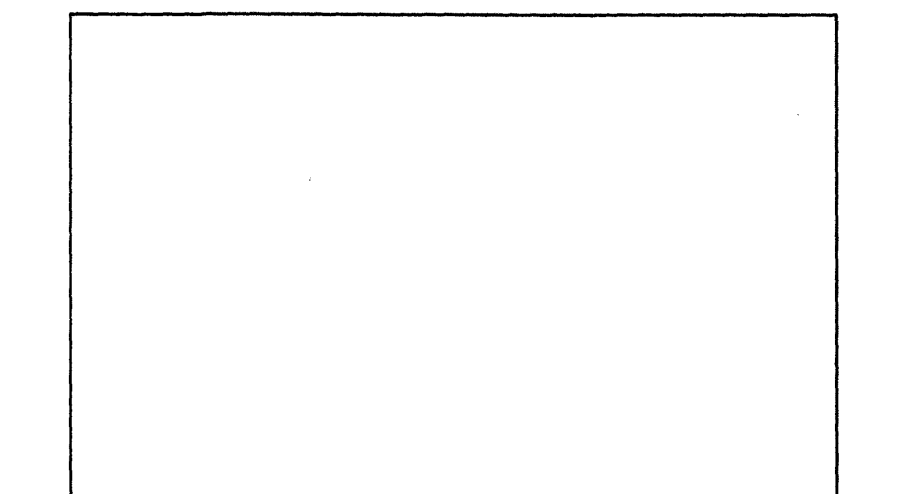
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES (X) NO  
If yes then a set of approved DRC plans with a work order is required for any construction with in a Right-of-Way or for construction of public improvements.

**DRB Site Development Plan Approval:**

Transportation Division	9-13-06	Date
Water Utility Department	9-13-06	Date
Parks and Recreation Department	9/13/06	Date
City Engineer	9/13/06	Date
Environmental Health Department (conditional)		Date
Soils & Waste Management	9/13/06	Date
DRB Chairperson, Planning Department	9/13/06	Date

\* Environmental Health, if necessary

**Albuquerque Fire Department**

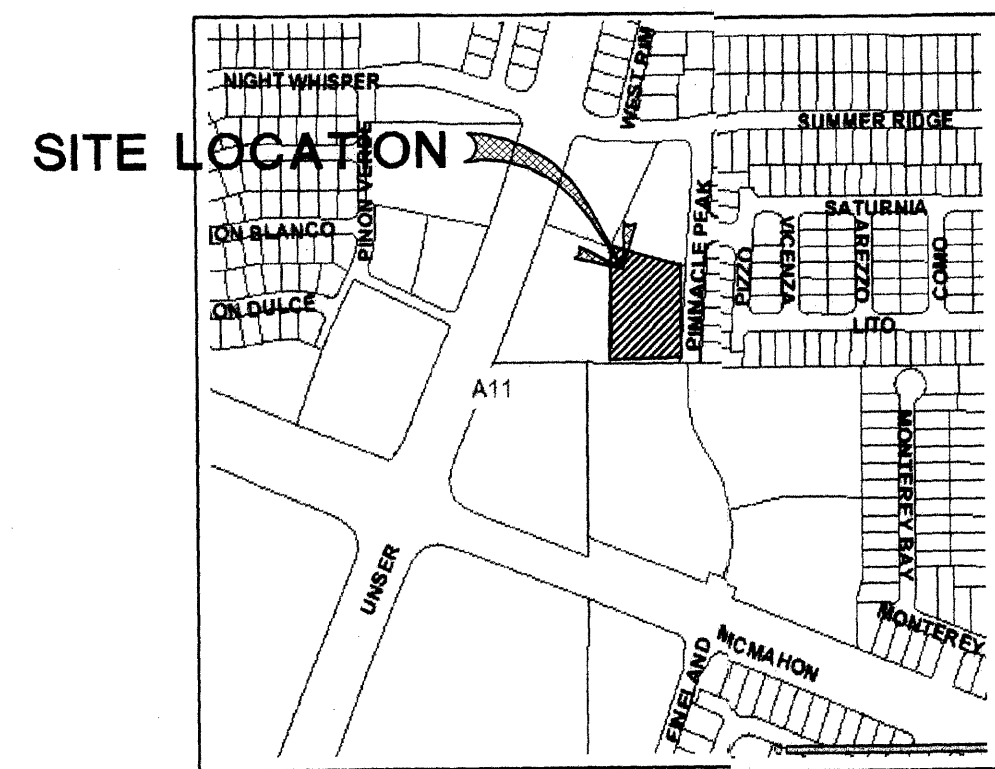


**Keyed Notes**

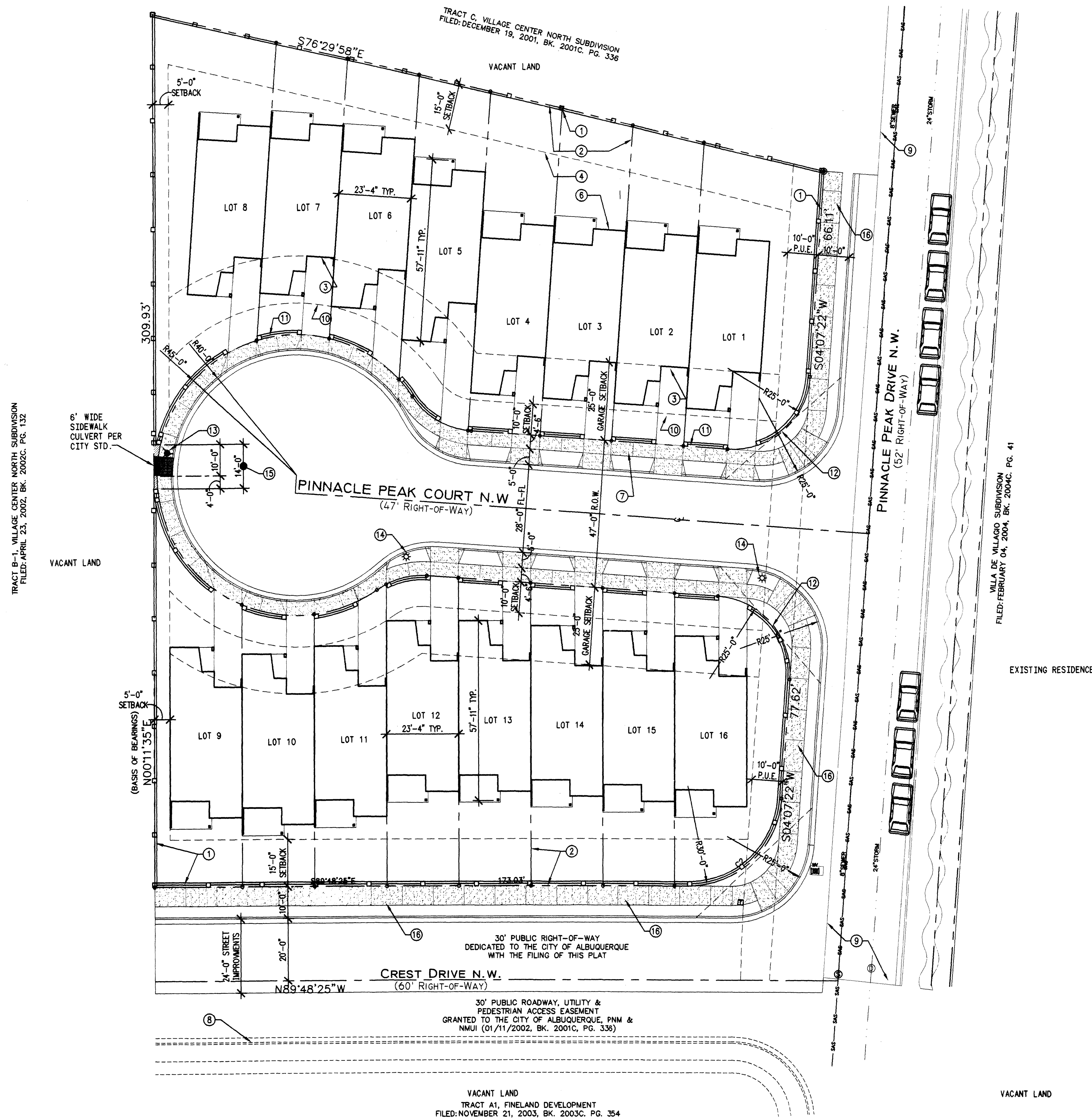
1. PROPOSED 6'-0" TALL YARD WALL.
2. PROPERTY LINE, TYP.
3. FRONT YARD SETBACK. (FOR GARAGE)
4. BACK YARD SETBACK.
5. SIDE YARD SETBACK.
6. BUILDING FOOTPRINT.  
(WILL VARY DEPENDING ON UNIT DESIGN)
7. 4' CONCRETE SIDEWALK.
8. FUTURE ROAD DEVELOPMENT, BY OTHERS.
9. EXISTING EDGE OF PAVEMENT. ROADWAY HAS NOT BEEN DEVELOPED BEYOND THIS POINT.
10. FRONT YARD SETBACK. (FOR HOUSE)
11. 3' COURTYARD WALL.
12. SIGNAGE.
13. NEW FIRE HYD.
14. STREET LIGHT, REQUIREMENTS TO BE DETERMINED AT WORK ORDER.
15. PUBLIC 14'-0" PEDESTRIAN ACCESS EASMENT, TO BE MAINTAINED BY OWNERS OF LOTS #8 AND #9.
16. 6' CONCRETE SIDEWALK ALONG PINNACLE PEAK DRIVE AND CREST DRIVE.

**Project Information**

TOTAL SITE AREA:	1.36 ACRES
TOTAL # OF LOTS:	16
AVERAGE LOT SIZE:	2400± Sq. Ft.
AVERAGE BUILDING SIZE:	
1ST FLOOR	1063 SQ. FT.
2ND FLOOR	1004 SQ. FT.
TOTAL	2067 SQ. FT.



LOCATION MAP  
FROM ZONING ATLAS - A-11-Z  
NORTH  
NO SCALE

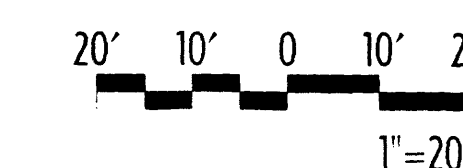


**PINNACLE PEAK TOWNHOUSES**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

ISAAC BENTON & ASSOCIATES AIA

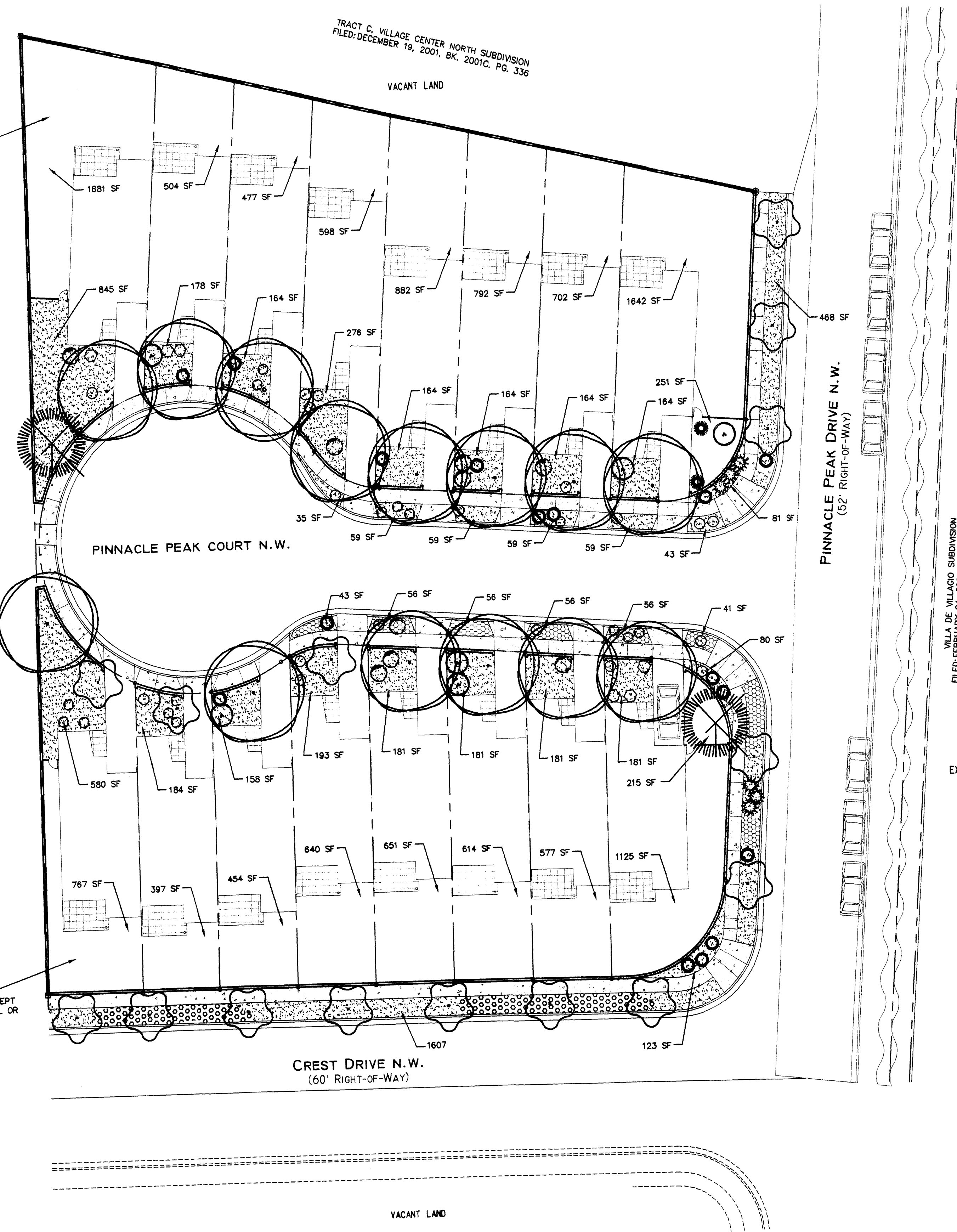
AUGUST 10, 2006



Active Projects\Allbuquerque\Private Projects\Pinnacle Peak\Drawings\Landscapes\Development\Drawings\Landscapes\Plan.dwg, 24x36, 9/11/2006 3:27:43 PM

NOTE:  
REAR AND SIDE COURTYARD  
LANDSCAPES BY HOMEOWNER, EXCEPT  
AS NEEDED FOR EROSION CONTROL OR  
STREET TREE PLANTINGS

TRACT B-1, VILLAGE CENTER NORTH SUBDIVISION  
FILED: APRIL 23, 2002, BK. 2002C, PG. 132



NOTE:  
REAR AND SIDE COURTYARD  
LANDSCAPES BY HOMEOWNER, EXCEPT  
AS NEEDED FOR EROSION CONTROL OR  
STREET TREE PLANTINGS

VILLA DE VILLAGO SUBDIVISION  
FILED: FEBRUARY 04, 2004, BK. 2004C, PG. 41

EXISTING RESIDENCES

**General Notes**

ALL PLANTING BEDS SHALL BE MULCHED, UNLESS OTHERWISE STATED ON THE PLAN. SEE PLANS FOR TYPE AND LOCATION.  
TREE LOCATIONS AS SHOWN ARE SCHEMATIC AND MAY VARY BASED ON SIGNAGE LOCATIONS, AND OTHER SITE CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY.  
RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE HOMEOWNER.  
AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS. TREES WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM, AND SHRUBS AND GROUND COVERS WILL BE IRRIGATED WITH A DRIP EMITTER SYSTEM.  
AT MATURITY, PLANTS WILL PROVIDE MINIMUM COVERAGE OF 75% OF THE LANDSCAPE AREA.  
LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE C ORD 18-1995.  
THE LANDSCAPE DESIGN WILL EMPHASIZE WATER-CONSERVATIVE PLANTING, PRIMARILY NATIVES, AND IS INTENDED TO COMPLEMENT THE ADJACENT NEIGHBORHOOD PLANTINGS.  
PLANS ARE DIAGRAMMATIC AND APPROXIMATE DUE TO THE SCALE OF THE DRAWINGS, AND NOT ALL INDIVIDUAL SHRUBS OR GROUND COVERS ARE SHOWN. ACTUAL TREE LOCATIONS MAY VARY TO ACCOMMODATE SIGNAGE, LIGHTING LOCATIONS OR OTHER SITE CONSTRAINTS.  
ALL PLANT MATERIALS AT INTERSECTIONS WILL FOLLOW CLEAR SIGHT TRIANGLE GUIDELINES. ALL PROPOSED LANDSCAPING IS TO BE ESTABLISHED AS GENERAL LANDSCAPING.

**Plant Legend**

SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE SIZE (HT. X W.)	WATER USE
<b>TREES</b>				
	<i>Celtis reticulata</i>	WESTERN HACKBERRY	30' x 30'	MODERATE
	<i>Pinus flexilis</i>	LIMBER PINE	30' x 20'	MODERATE
	<i>Juniperus scopulorum</i>	ROCKY MOUNTAIN JUNIPER	20' x 20'	LOW
	<i>Chilopsis linearis</i>	DESERT WILLOW	15' x 15'	LOW
<b>SHRUBS/GROUND COVERS</b>				
	<i>Rosemarinus officinalis "Arp"</i>	ARP ROSEMARY	6' x 6'	LOW
	<i>Fallugia paradoxa</i>	APACHE PLUME	5' x 5'	LOW
	<i>Rhaphiolepis indica</i>	INDIA HAWTHORN	3' x 4'	MODERATE
	<i>Hesperaloe parviflora</i>	RED YUCCA	3' x 3'	MODERATE
	<i>Genista tinctoria</i>	SUMMER BROOM	2' x 4'	MODERATE
	<i>Salvia greggii</i>	CHERRY SAGE	3' x 3'	MODERATE
	<i>Salvia leucantha</i>	MEXICAN SAGE	3' x 3'	MODERATE
	<i>Baccharis "Centennial"</i>	CENTENNIAL COYOTE BUSH	3' x 3'	LOW

**Materials Legend**

- 4" DEPTH SAN LAZARUS CRUSHER FINES OVER DEWITT PRO 5 FILTER FABRIC (OR APPROVED EQUAL)
- SAN LAZARUS COBBLE OVER DEWITT PRO 5 FILTER FABRIC (OR APPROVED EQUAL)
- SAN LAZARUS "BLACK" COBBLE OVER DEWITT PRO 5 FILTER FABRIC (OR APPROVED EQUAL)

**Area Calculations**

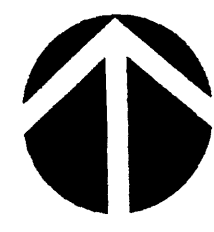
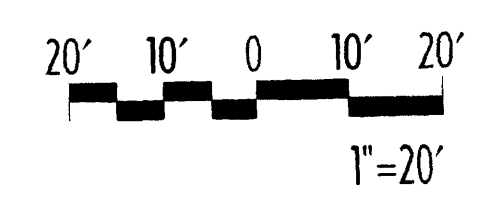
TOTAL SITE AREA (1.36 ACRES):	59,326 S.F.
BUILDING TOTAL (FIST FLOOR):	17,067 S.F.
NET SITE AREA:	42,259 S.F.
LANDSCAPE AREA REQUIRED (15%):	6,339 S.F.
LANDSCAPE AREA PROVIDED:	19,853 S.F.
LANDSCAPE AREA AS PERCENT OF NET SITE AREA:	47%

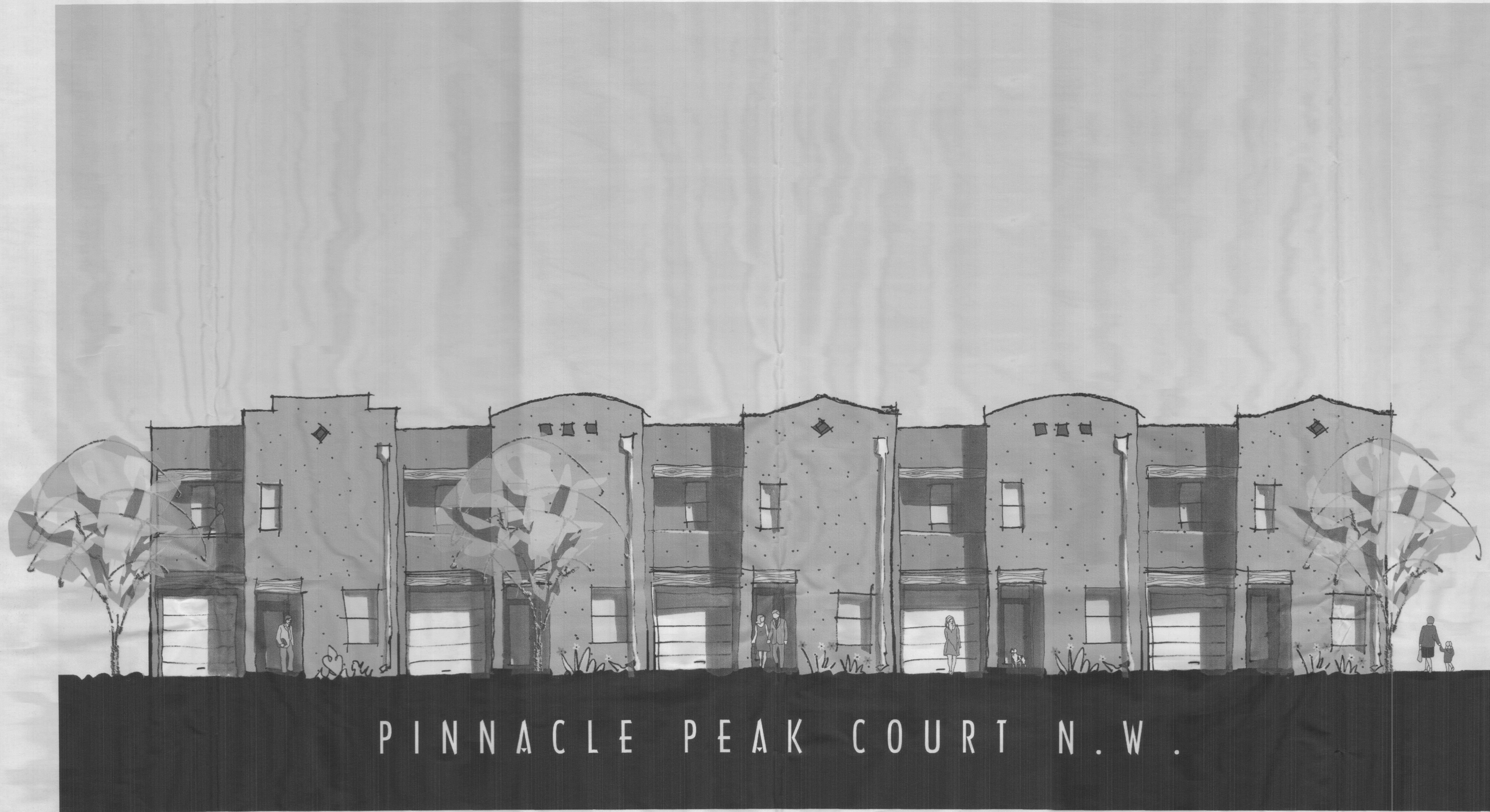
**PINNACLE PEAK TOWNHOUSES**

ISAAC BENTON & ASSOCIATES AIA

AUGUST 10, 2006

**LANDSCAPE PLAN**





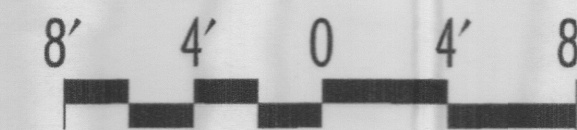
PINNACLE PEAK COURT N.W.

PINNACLE PEAK TOWNHOUSES

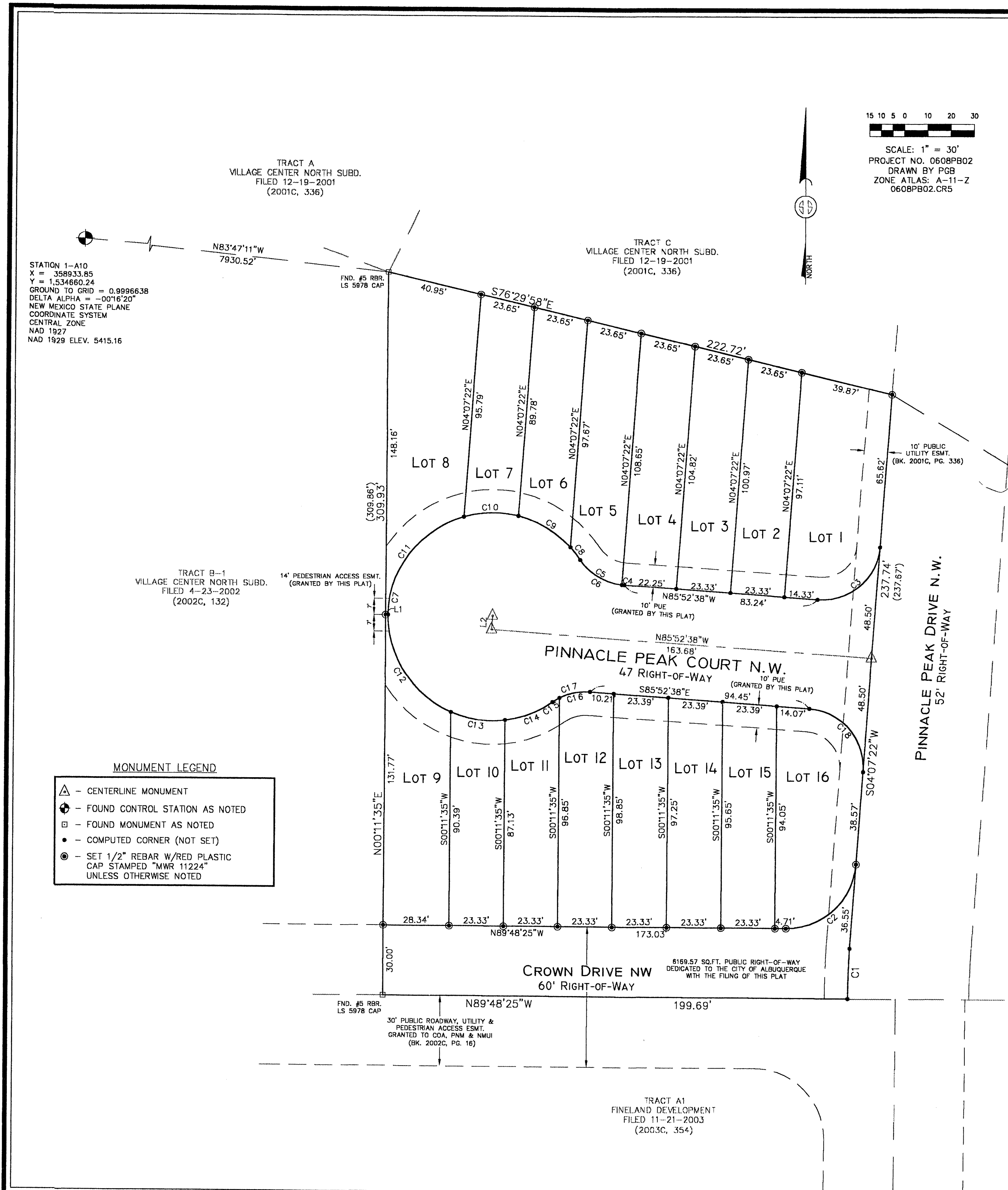
FRONT ELEVATIONS

ISAAC BENTON & ASSOCIATES AIA

AUGUST 10, 2006



**PLAT OF  
LOTS 1 THROUGH 16  
PINNACLE PEAK TOWNHOMES  
PROJECTED SECTION 2, T. 11 N., R. 2 E., N.M.P.M.  
TOWN OF ALAMEDA GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST 2006  
SHEET 2 OF 2**



SCALE: 1" = 30'  
PROJECT NO. 0608PB02  
DRAWN BY PGB  
ZONE ATLAS: A-11-Z  
0608PB02.CRS

STATION 1-A10  
X = 359933.85  
Y = 1534660.24  
GROUND TO GRID = 0.9996638  
DELTA ALPHA = -0016'20"  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 1927  
NAD 1928 ELEV. 5415.16

STATION BLACK 2  
X = 372820.43  
Y = 1530241.52  
GROUND TO GRID = 0.9996784  
DELTA ALPHA = -0014'45"  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 1927  
NAD 1928 ELEV. 5213.926

**MONUMENT LEGEND**  
 ▲ - CENTERLINE MONUMENT  
 ⊕ - FOUND CONTROL STATION AS NOTED  
 ⊞ - FOUND MONUMENT AS NOTED  
 ● - COMPUTED CORNER (NOT SET)  
 ⊙ - SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MMW 11224" UNLESS OTHERWISE NOTED

**LOT AREA TABLE**

LOT	AREA
1	0.0817 ACS. GROSS/NET
2	0.0531 ACS. GROSS/NET
3	0.0551 ACS. GROSS/NET
4	0.0572 ACS. GROSS/NET
5	0.0566 ACS. GROSS/NET
6	0.0494 ACS. GROSS/NET
7	0.0491 ACS. GROSS/NET
8	0.0940 ACS. GROSS/NET
9	0.0670 ACS. GROSS/NET
10	0.0470 ACS. GROSS/NET
11	0.0487 ACS. GROSS/NET
12	0.0530 ACS. GROSS/NET
13	0.0525 ACS. GROSS/NET
14	0.0517 ACS. GROSS/NET
15	0.0508 ACS. GROSS/NET
16	0.0696 ACS. GROSS/NET

**CURVE TABLE**

CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	324.00'	21.50'	3°48'08"	S02°13'18"W	21.50'
C2	30.00'	45.07'	86°04'13"	N47°09'29"E	40.95'
C3	25.00'	39.27'	90°00'00"	S49°07'22"W	35.36'
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C5	25.00'	21.76'	49°52'25"	N82°28'51"W	21.08'
C6	25.00'	22.85'	52°22'00"	N59°41'38"W	22.06'
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C9	45.00'	26.50'	33°44'23"	N59°10'44"W	26.12'
C10	45.00'	23.71'	30°10'57"	S88°51'36"W	23.43'
C11	45.00'	57.79'	73°34'51"	S36°58'42"W	53.90'
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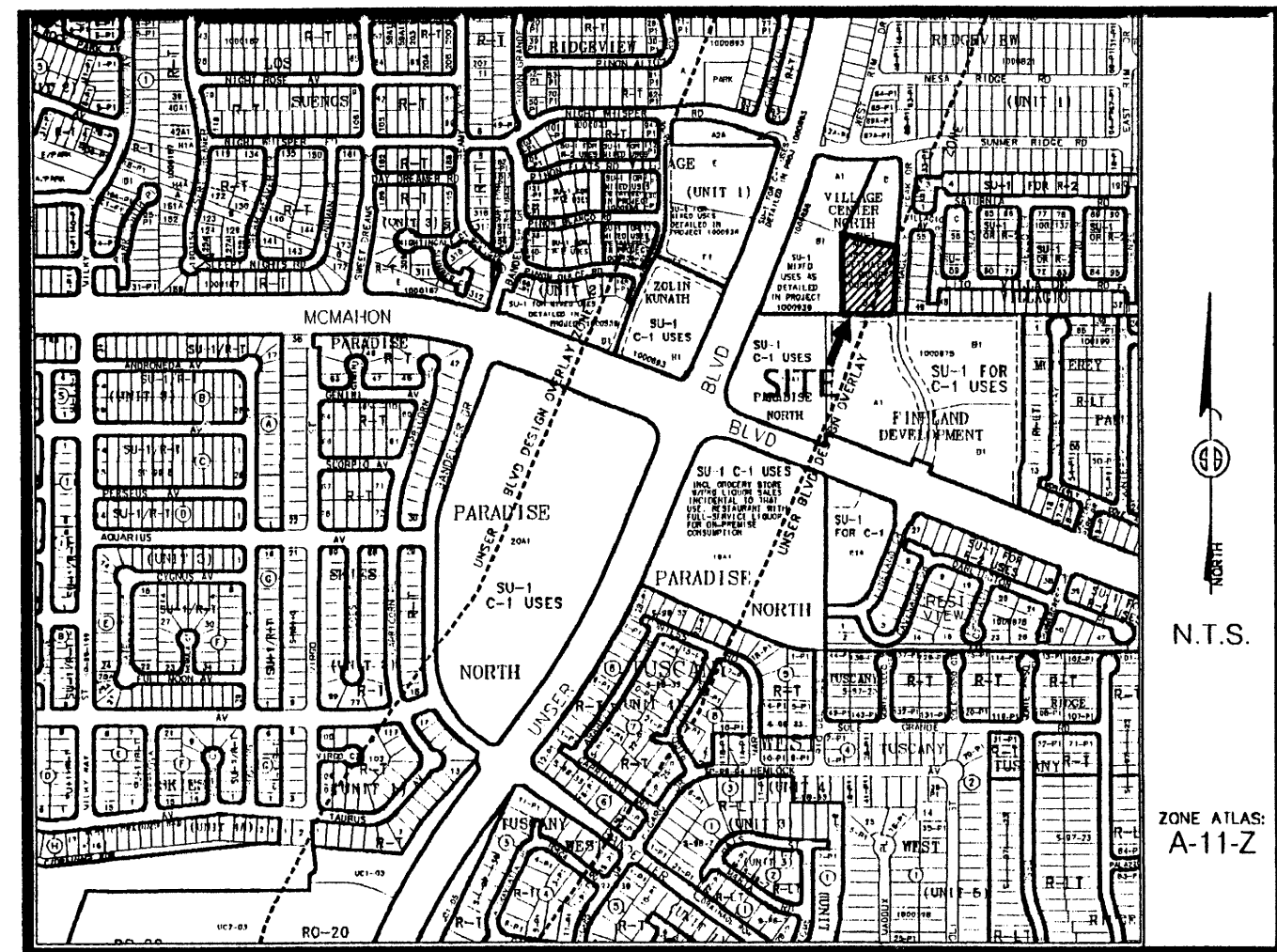
**LINE TABLE**

LINE	BEARING	LENGTH
L1	N89°48'25"W	1.02'
L2	N04°07'22"E	5.76'

**SURVEYS SOUTHWEST LTD.**  
 333 LOMAS BLVD., N.E. ALBUQUERQUE, NEW MEXICO 87102  
 PHONE: (505) 998-0303  
 FAX: (505) 998-0306  
**T11N R2E SEC. 2**



TALOS LOG # 2006-3313-39



Vicinity Map

**SUBDIVISION DATA / NOTES**

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS SANDBERN AND BLACK 2, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESSES ( ) ARE PER THE PLAT OF VILLAGE CENTER NORTH SUBDIVISION, FILED IN BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 2001 IN BOOK 2001C, PAGE 336.
6. GROSS AREA: 1.3619 ACRES
7. NUMBER OF EXISTING TRACTS: 1
8. NUMBER OF LOTS CREATED: 16
9. 0.0321 MILES OF PUBLIC STREET RIGHT-OF-WAY CREATED BY THIS PLAT. 0.0378 MILES OF PUBLIC HALF STREET RIGHT-OF-WAY CREATED BY THIS PLAT.
10. PROPERTY IS ZONED SU-1 FOR MIXED USE.

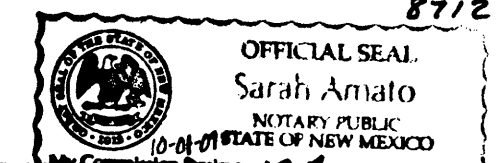
**LEGAL DESCRIPTION**

TRACT LETTERED "D" OF THE BULK LAND PLAT OF VILLAGE CENTER NORTH SUBDIVISION, ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 2001 IN BOOK 2001C, PAGE 336.

**FREE CONSENT**

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

OWNER(S) SIGNATURE: *J. Gutierrez* DATE: 8/10/06  
 OWNER(S) PRINT NAME: Julie Gutierrez Managing Member  
 ADDRESS: 106 Industrial Loop Rio Rancho, NM TRACT: 87126



THIS INSTRUMENT WAS ACKNOWLEDGED BY: *Sarah Amato* DATE: AUGUST 10, 2006  
 MY COMMISSION EXPIRES: 10/10/09  
 NOTARY PUBLIC

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. THE PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL NOT BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

IN APPROVING THIS PLAT, P.N.M. ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10) IN FRONT OF TRANSFORMERS/SWITCHGEAR DOORS AND FIVE FEET (5) ON EACH SIDE.

NEW MEXICO UTILITIES, INC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF THE UNDERGROUND WATER AND SANITARY SEWER LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE WATER AND SANITARY SEWER SERVICE.

**UTILITY APPROVALS**

P.N.M. ELECTRIC SERVICES/P.N.M. ELECTRIC SERVICES DATE: *8/10/06*  
 QWEST TELECOMMUNICATIONS DATE: *8-18-06*  
 COMCAST CABLE DATE: *8-25-06*  
 NEW MEXICO UTILITIES DATE: *8-25-06*

NOTE: THESE PROPERTIES LIE WITHIN THE NEW MEXICO UTILITIES, INC. (NMU, INC) FRANCHISE AREA. WATER AND SANITARY SEWER CAPABILITIES ARE BASED UPON THE NMU, INC FACILITIES, NOT THE CITY OF ALBUQUERQUE.

**PLAT OF  
 LOTS 1 THROUGH 16  
 PINNACLE PEAK TOWNHOMES  
 PROJECTED SECTION 2, T. 11 N., R. 2 E., N.M.P.M.  
 TOWN OF ALAMEDA GRANT  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 AUGUST 2006  
 SHEET 1 OF 2**

**DISCLOSURE STATEMENT**

THE PURPOSE OF THIS PLAT IS TO DIVIDE ONE (1) EXISTING TRACT INTO SIXTEEN (16) NEW LOTS, TO GRANT ADDITIONAL EASEMENTS AND TO DEDICATE PUBLIC STREET RIGHT-OF-WAY AS SHOWN.

CITY APPROVALS: PROJECT NO.: APPLICATION NO.  
*M.B. Hest* DATE: 8/10/06  
 CITY SURVEYOR

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE  
 PARKS & RECREATION DEPARTMENT DATE  
 WATER UTILITY DEPARTMENT DATE  
 A.M.A.F.C.A. DATE  
 CITY ENGINEER DATE  
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE XI OF THE REVISED ORDINANCES OF ALBUQUERQUE, N.M.

CITY PLANNER, ALBUQUERQUE PLANNING DIVISION DATE

**SURVEYOR'S CERTIFICATION**

I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

*Mitchell W. Reynolds* DATE: 08-09-06  
 Mitchell W. Reynolds  
 New Mexico Professional Surveyor, 11224

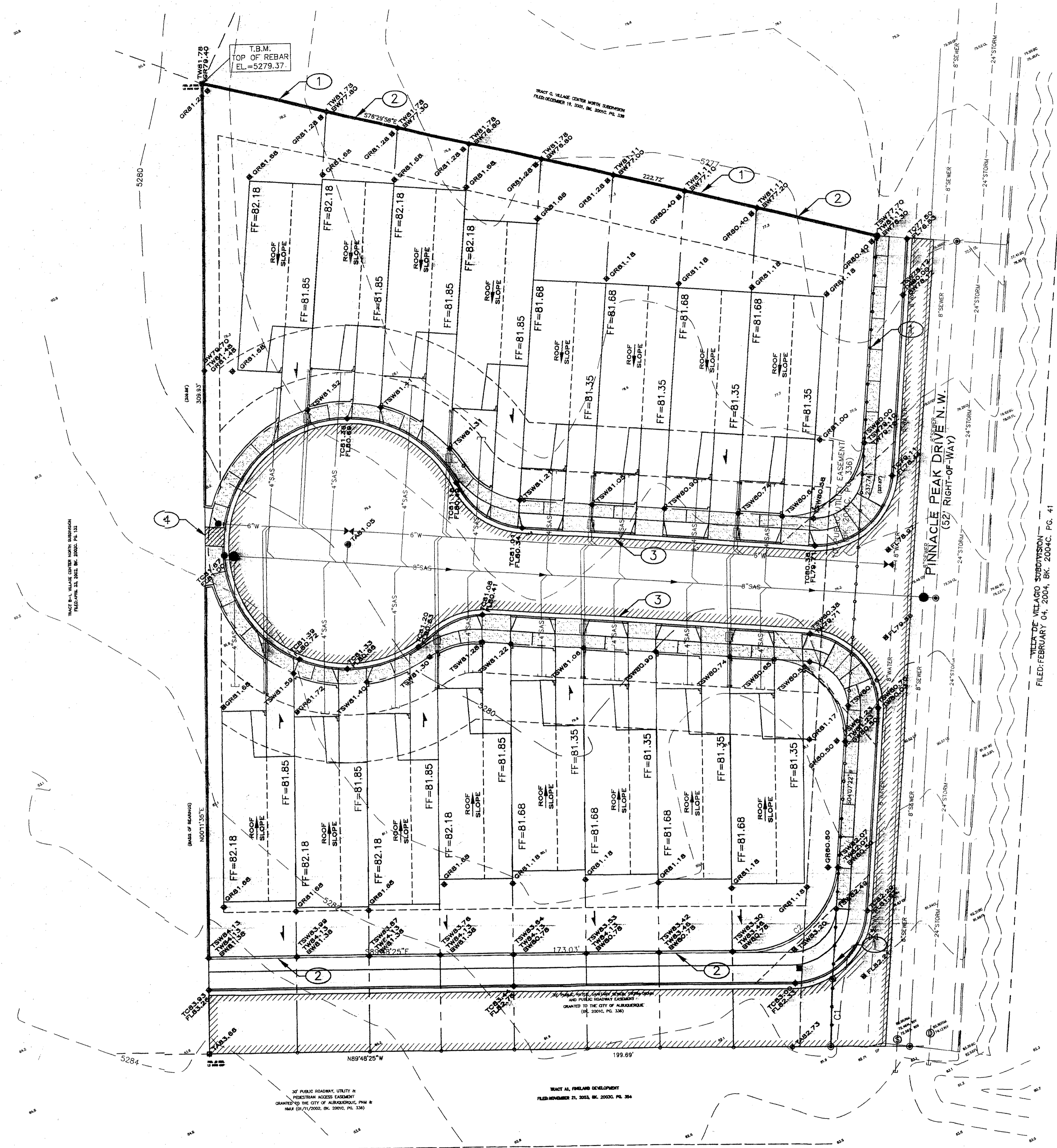


**SURVEYS SOUTHWEST LTD.**

333 LOMAS BLVD., N.E.  
 ALBUQUERQUE, NEW MEXICO  
 87102  
 PHONE: (505) 998-0303  
 FAX: (505) 998-0306

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON  
 UPC#: \_\_\_\_\_  
 PROPERTY OWNER OF RECORD: \_\_\_\_\_  
 BERNALILLO COUNTY TREASURERS OFFICE: \_\_\_\_\_

T11N R2E SEC. 2



**GRADING PLAN**  
SCALE: 1" = 20'

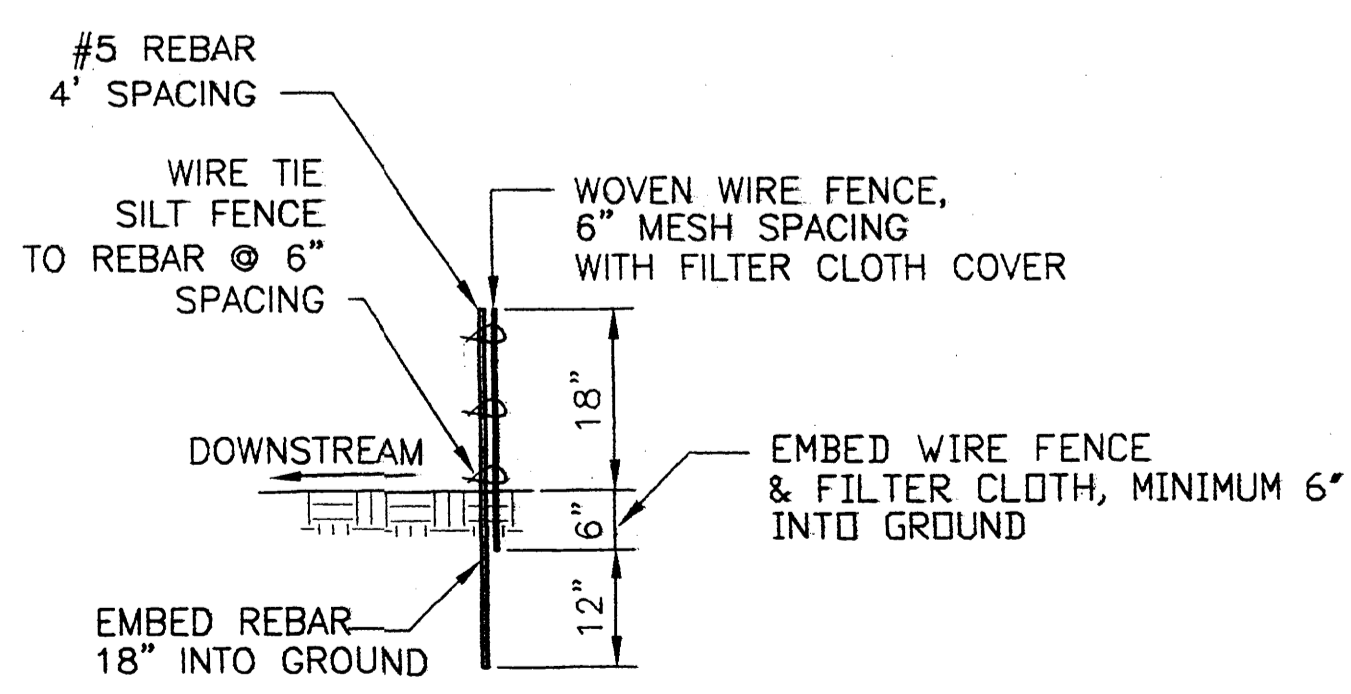
**CONSTRUCTION NOTES:**

- ① PROVIDE SILT FENCE PER DETAIL SHOWN ON THIS SHEET ALONG PERIMETER OF ENTIRE CONSTRUCTION SITE. CONTRACTOR SHALL MAINTAIN SILT FENCE THROUGHOUT CONSTRUCTION UNTIL SUCH TIME THAT FINAL INSPECTION PERFORMED BY CITY OF ALBUQUERQUE OR PERMANENT STABILIZATION HAS BEEN ESTABLISHED.
- ② CONSTRUCT RETAINING WALL PER GRADES SHOWN.
- ③ CONSTRUCT STANDARD CURB AND GUTTER PER CITY STD. DWG. 2415A.
- ④ CONSTRUCT 6' WIDE SIDEWALK CULVERT PER CITY STD. DWG. 2236

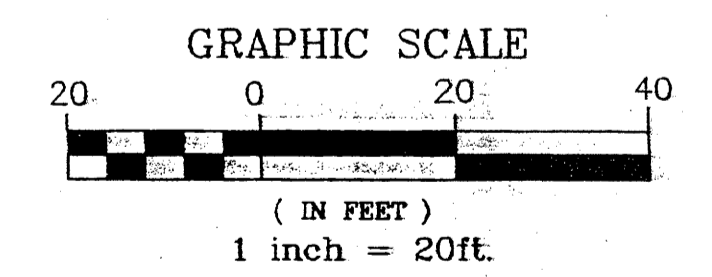
LEGEND	
— 5360 —	NEW CONTOUR GRADE
— 5362 —	EXISTING CONTOUR GRADE
→	DRAINAGE FLOW DIRECTION
◆ TC62.50	NEW TOP OF CURB ELEVATION
◆ FL62.00	NEW FLOWLINE OF CURB ELEVATION
◆ TA60.11	NEW TOP OF ASPHALT ELEVATION
◆ TSW61.87	NEW TOP OF SIDEWALK ELEVATION
—	DRAINAGE SWALE
~	NEW GRADE BREAK
x	EXISTING GRADE ELEVATION
◆ GR56.0	NEW GRADE ELEVATION
◆ FL55.3	FLOWLINE GRADE ELEVATION
◆ TW95.1	NEW TOP OF WALL ELEVATION
◆ BW93.1	NEW BOTTOM OF WALL ELEVATION
◆ TOC93.1	NEW TOP OF CONCRETE ELEVATION

**UTILITY PRECAUTIONS**  
THE CONTRACTOR SHALL INFORM HIMSELF OF THE LOCATION OF ANY UTILITY LINES, PIPELINES OR UNDERGROUND UTILITY LINES IN OR NEAR THE AREA OF THE WORK IN ADVANCE AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

**LOTS 1 THROUGH 16  
PINNACLE PEAK TOWNHOMES**



**SILT FENCE DETAIL**  
SCALE: 1/2" = 1'-0"



<b>APPLIED ENGINEERING AND SURVEYING, INC.</b> ENGINEERS AND PLANNERS 1606 Blair Drive NE Albuquerque, New Mexico 87112 Office: (505) 227-1404	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
<b>TITLE: GRADING AND DRAINAGE PLAN PINNACLE PEAK TOWNHOMES</b>	
Design Review Committee	City Engineer Approval
City Project No.	TBD
Zone Map No.	A-11
Sheet	1
Of	2

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		NO.	DATE	BENCHMARK IS AN A.C.S. MONUMENT	CONTRACTOR	DATE	DATE
		BY	DATE	BENCHMARK IS AN A.C.S. MONUMENT	INSPECTOR'S	DATE	DATE
NO.	DATE	REMARKS	BY	DATE	INSPECTOR'S	DATE	DATE
NO.	DATE	REVISIONS	BY	DATE	INSPECTOR'S	DATE	DATE
NO.	DATE	DESIGN	BY	DATE	INSPECTOR'S	DATE	DATE
DESIGNED BY	DATE	REVISIONS	BY	DATE	INSPECTOR'S	DATE	DATE
DRAWN BY	DATE	DESIGN	BY	DATE	INSPECTOR'S	DATE	DATE
CHECKED BY	DATE	DESIGN	BY	DATE	INSPECTOR'S	DATE	DATE

**DRAINAGE PLAN**

THE FOLLOWING ITEMS CONCERNING A 16 TOWNHOUSE SUBDIVISION LOCATED IN TRACT D, VILLAGE CENTER NORTH SUBDIVISION, ALBUQUERQUE, NEW MEXICO. GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:

1. DRAINAGE CALCULATIONS
2. VICINITY MAP (A-11)
3. FLOOD INSURANCE RATE MAP 35001C0104D

**EXISTING CONDITIONS**

AS SHOWN BY THE VICINITY MAP, THE SITE IS LOCATED ON THE WEST SIDE OF PINNACLE PEAK DRIVE NW, (SEE ATTACHED VICINITY MAP (A-11)). THE PARCEL'S LEGAL DESCRIPTION IS TRACT D, VILLAGE CENTER NORTH SUBDIVISION, IN THE CITY OF ALBUQUERQUE. THE PROPERTY IS BOUNDED ON THE SOUTH BY A 60 FOOT PUBLIC ROADWAY EASEMENT, ON THE EAST BY PINNACLE PEAK, ON THE NORTH AND WEST BY UNDEVELOPED TRACTS OF LAND. THIS SITE CONTAINS APPROXIMATELY 1.36ACRES. THIS TRACT OF LAND IS CURRENTLY UNDEVELOPED WITH MINIMAL NATIVE VEGETATION.

THE SITE IS CURRENTLY NOT IN A DESIGNATED 100-YEAR FLOODPLAIN PER FIRM MAP 35001C0104D

**PROPOSED CONDITIONS**

AS SHOWN BY THE PLAN, THE PROJECT CONSISTS OF A SUBDIVISION WITH 16 NEW TOWNHOUSE LOTS, EACH TOWNHOUSE ALSO CONSIST OF AN ATTACHED GARAGE. THE PLAN WILL ALSO CONSIST OF PATIOS, SIDEWALKS AND LANDSCAPING IS TO BE PROVIDED PER CITY ZONING REQUIREMENTS. THE PLAN IS TO CONSTRUCT A CUL-DE-SAC TO SERVE THE TOWNHOUSE LOTS PER CITY OF ALBUQUERQUE STREET STANDARDS.

THE PLAN ALSO SHOWS PROPOSED ELEVATIONS REQUIRED TO PROPERLY DRAIN THE CUL-DE-SAC, TO INCLUDE THE NEW HOMES AND GARAGES WITHIN EACH LOT. ALL DRIVEWAYS ARE TO BE PAVED WITH CONCRETE.

THIS SITE IS TRACT "D" AND LIES IN DRAINAGE BASIN J1 OF THE VILLA DE VALLAGIO MASTER DRAINAGE PLAN.

THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6 HOUR RAINFALL RUNOFF FOR PEAK FLOWS AND STORM DURATION FOR VOLUME REQUIREMENTS. THE PROCEDURE FOR 40 ACRE AND SMALLER BASINS AS SET FORTH IN THE REVISION OF SECTION 22.7 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY 1993. THIS D.P.M. PROCEDURE IS USED FOR ANALYZING ONSITE FLOWS.

**DOWNSTREAM CAPACITY**

A REVIEW OF THE MASTER DRAINAGE PLAN THAT WAS DONE FOR THE DEVELOPMENT TO THE EAST OF THIS SITE IDENTIFIED AS VILLA DE VALLAGIO, THE FLOWS FROM THIS SITE WERE ACCOUNTED FOR AS A FULLY DEVELOPED SITE. THERE ARE EXISTING DRAINAGE INLETS AT THE INTERSECTION OF PINNACLE PEAK DRIVE AND VILLAGIO AVENUE TO THE NORTH OF THIS SITE THAT HAVE BEEN SIZED BY THE MASTER DRAINAGE STUDY TO ACCEPT FULLY DEVELOPED FLOWS FROM THIS SITE.

**OFFSITE FLOWS**

A REVIEW OF MASTER DRAINAGE PLAN INDICATES THAT BASIN I LIES TO THE WEST OF THIS SITE AND IS REQUIRED TO DRAIN THROUGH THIS SITE SO THE FLOWS CAN ENTER THE VILLA DE VALLAGIO STORM DRAIN SYSTEM. A CURB AND SIDEWALK OPENING WILL BE PROVIDED AT THE WEST END OF THE NEW CUL-DE-SAC PROVIDED WITH THIS DEVELOPMENT TO ALLOW THE FLOWS FOR A FUTURE DEVELOPMENT FOR THE SITE TO THE WEST SO THAT THESE FUTURE DEVELOPED FLOWS MAY ENTER INTO THE VILLA DE VALLAGIO STORM DRAIN SYSTEM.

**EROSION CONTROL**

THE CONTRACTOR WILL BE REQUIRED TO PROVIDE SILT FENCES AROUND THE PROPOSED CONSTRUCTION AREAS TO MINIMIZE SEDIMENT INTO THE PUBLIC ROADWAYS OR ALLEYS. CONTRACT WILL BE REQUIRED TO PROTECT THE EXISTING INLET WITH SEDIMENT CONTROL MEASURES IN ORDER TO MINIMIZE SEDIMENT FROM ENTERING THIS INLET.

**DRAINAGE CALCULATIONS**

1. PRECIPITATION ZONE = 1
2. DESIGN STORM = DEPTH (INCHES) AT 100-YEAR STORM  
6-HOUR = 2.20 INCHES  
24-HOUR = 2.66 INCHES  
10 DAY = 3.67 INCHES
3. PEAK DISCHARGE (CFS/ACRE) FOR 100-YEAR, ZONE 2, TABLE A-9:  
Q = 1.29 CFS/ACRE SOIL UNCOMPACTED "A"  
Q = 2.03 CFS/ACRE LANDSCAPED "B"  
Q = 2.87 CFS/ACRE COMPACTED SOIL "C"  
Q = 4.37 CFS/ACRE IMPERVIOUS AREA "D"  
FOR WATERSHEDS LESS THAN OR EQUAL TO 40 ACRES
4. EXCESS PRECIPITATION, E (INCHES), 6 HOUR STORM, ZONE 2, TABLE A-8:  
E = 0.44 INCHES SOIL UNCOMPACTED "A"  
E = 0.67 INCHES LANDSCAPED "B"  
E = 0.99 INCHES COMPACTED SOIL "C"  
E = 1.97 INCHES IMPERVIOUS AREA "D"

5. EXISTING CONDITIONS ONSITE:  
EXISTING TOTAL AREA OF SITE = 1.36ACRES  
TREATMENT "A" AREA = 1.36ACRES

TREATMENT	AREA(ACRES)
A	1.36
B	0
C	0
D	0

Q(EXISTING-6HR) = (1.29 X 1.36)  
= 1.75CFS (6HR) EXISTING ONSITE FLOW  
V(EXISTING-6HR) = (0.44 X 1.36) / 12  
= 0.05AC-FT = 2.172CF EXISTING ONSITE VOLUME

6. PROPOSED CONDITIONS ONSITE:  
PROPOSED TOTAL AREA OF SITE = 1.36ACRES.  
TYPE (TREATMENT "D") = (1.276SF) X 16 TOWNHOUSE ROOF AREAS + (11,540SF)  
CUL-DE-SAC PAVING & SDWK = (2175F 4FT) X 16 DRIVEWAYS + (5,136SF)  
SOUTH 1/2 STREET & SDWK = 40,546SF = 0.93AC  
50% (TREATMENT "B") = (1.36 - 0.93) / 2 = 0.21AC  
50% (TREATMENT "C") = (1.36 - 0.93) / 2 = 0.21AC

Q (PROPOSED) = (2.03 X 0.21) + (2.87 X 0.21) + (4.37 X 0.93)  
= 5.09CFS (6HR) PROPOSED ONSITE FLOW INTO PINNACLE PEAK DRIVE AND THEN INTO VILLA VALLAGIO STORM DRAIN

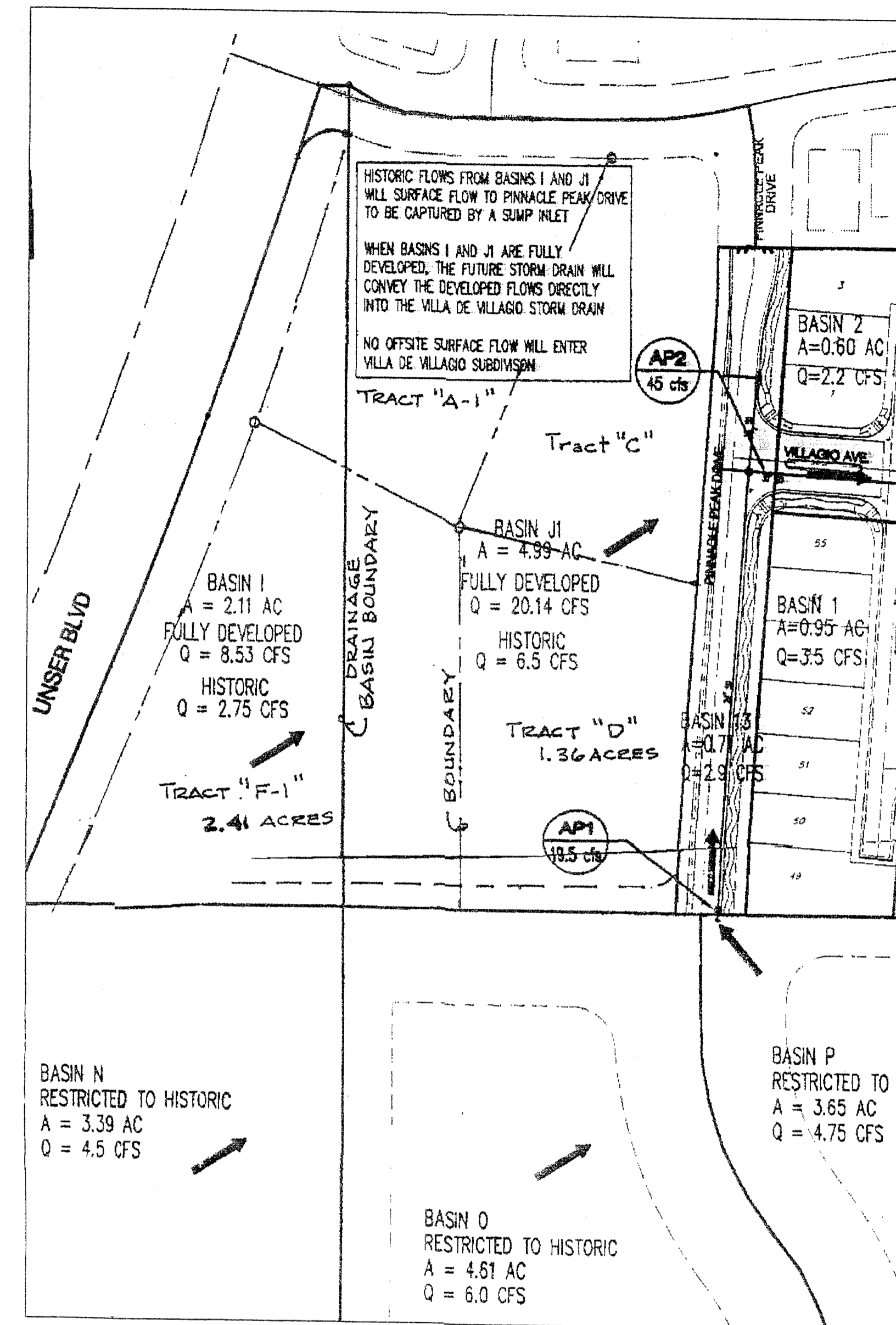
Q (ALLOWED PER MASTER PLAN) = 20.14CFS / 4.99AC X 1.36AC = 5.49CFS  
**Q (PROPOSED) = 5.09CFS < 5.49CFS (ALLOWED PER MASTER PLAN) OK**

V (EXISTING-6HR) = (0.67 X 0.21) + (0.99 X 0.21) + (1.97 X 0.93) / 12  
= 0.18AC-FT = 7.916CF PROPOSED ONSITE VOLUME INTO PINNACLE PEAK DRIVE AND THEN INTO VILLA VALLAGIO STORM DRAIN

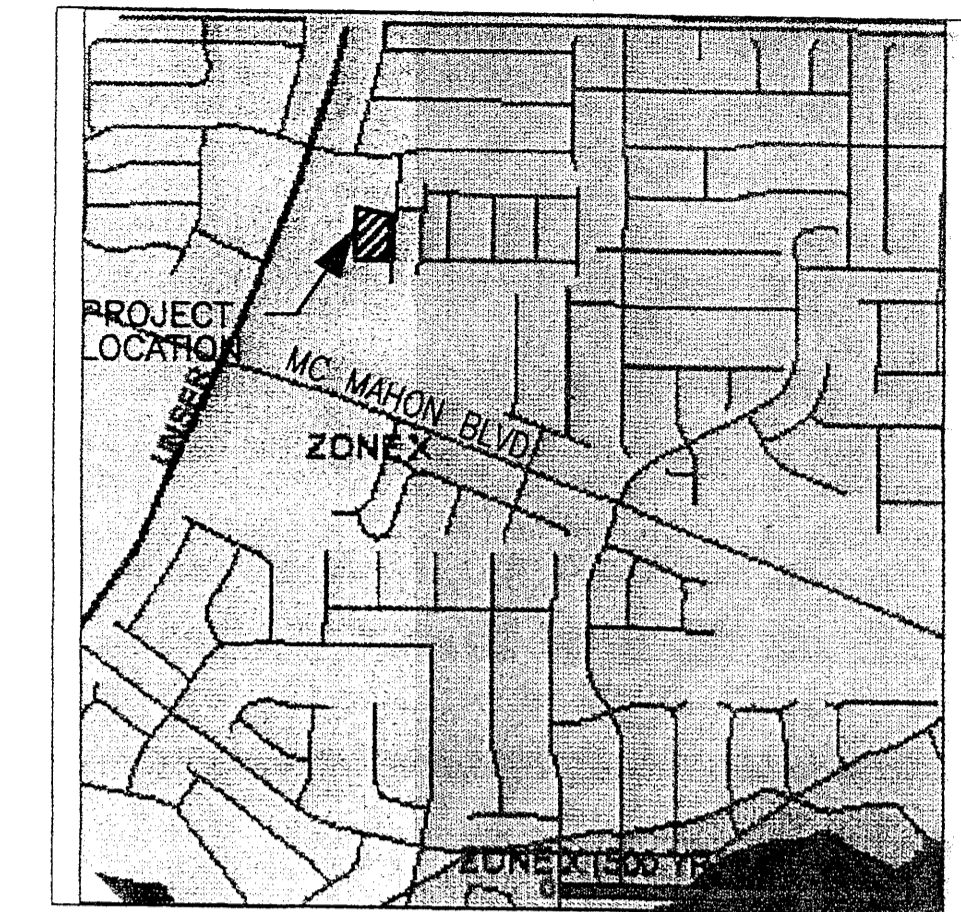
7. OFFSITE FLOWS  
TRACT F-1 IS WEST OF THIS SITE AND CONSIST OF A PORTION OF BASIN J1 AND BASIN I (SEE DRAINAGE BASIN BOUNDARY)  
TRACT F-1 = 2.41 ACRES X (20.14CFS / 4.99AC) = 9.72CFS OFFSITE FLOW

8. EVALUATE NEW CUL-DE-SAC STREET CAPACITY  
Q (TOTAL) = 5.09CFS (ONSITE) + 9.72CFS (OFFSITE) = 14.81CFS  
STREET SLOPE = 0.50%  
STREET WIDTH = 28 FEET  
MANNINGS N = 0.017  
2% CROSS SLOPE  
RUN HYDRAULIC PROGRAM:  
NORMAL STREET DEPTH = 0.46FEET, ENERGY HEAD = 0.52FEET  
STANDARD CURB PROPOSED WITH HEIGHT = 0.67FEET  
**0.67 FEET CURB HEIGHT > 0.46 FEET (THIS DEVELOPMENT) OK**

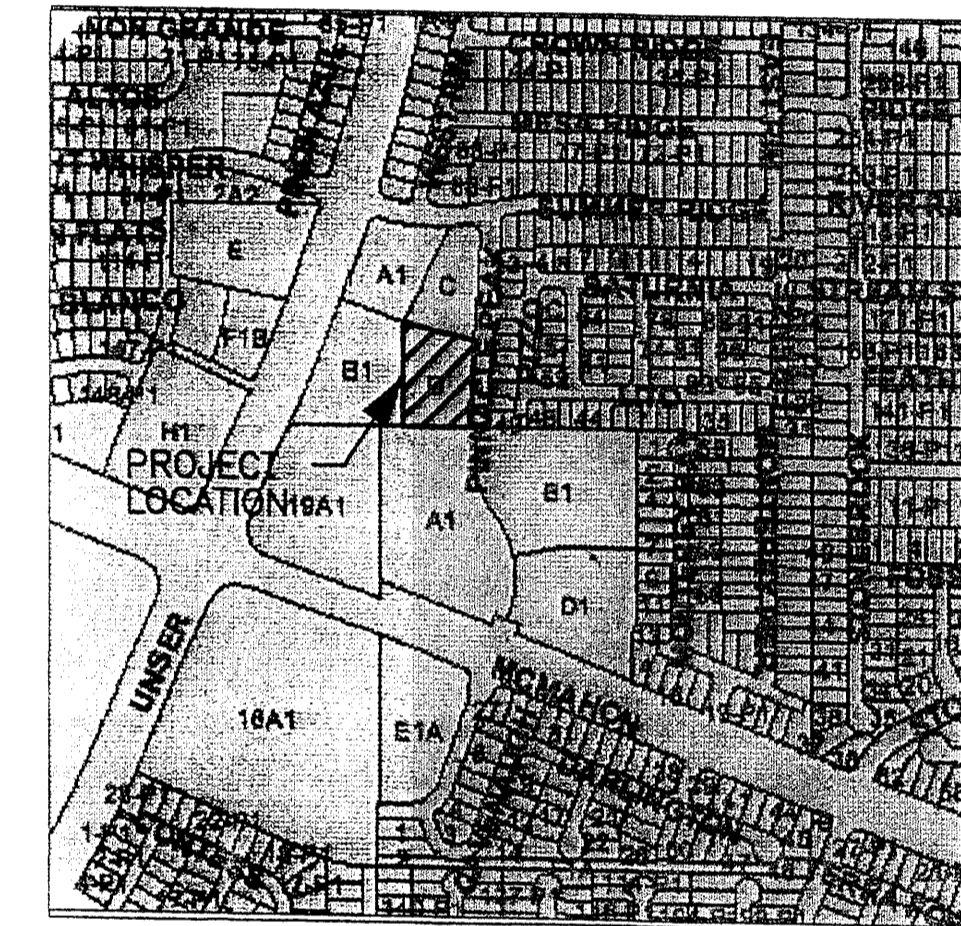
9. SIZE SIDEWALK CULVERT FOR OFFSITE FLOWS AT WEST END OF CUL-DE-SAC  
Q (OFFSITE) = 9.72CFS  
L = WIDTH TO BE DETERMINED  
D = DEPTH OF CURB = 8" = 0.67'  
SIZE OPENING AS WEIR WITH Q = CxLxH<sup>3/2</sup>  
C = 3.0 RECTANGULAR OPENING  
L = (Q / (C x H<sup>3/2</sup>))  
L = (9.72CFS / (3.0 x 0.67<sup>3/2</sup>))  
**L = 5.91 FEET, USE 6 FEET WIDTH SIDEWALK CULVERT**



**MASTER DRAINAGE BASIN**  
SCALE: N.T.S.



**FIRM MAP 35001C0104D**  
SCALE: N.T.S.



**VICINITY MAP A-11**  
SCALE: N.T.S.

**LOTS 1 THROUGH 16  
PINNACLE PEAK TOWNHOMES**

**UTILITY PRECAUTIONS**  
THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

	<p>FILE:</p>	<p>DATE/REVISIONS:</p>
	<p><b>DRAINAGE CALCULATIONS AND DETAILS PINNACLE PEAK TOWNHOMES ALBUQUERQUE, NEW MEXICO</b></p>	
<p>Applied Engineering &amp; Surveying, Inc. 1605 BLAIR DRIVE NE ALBUQUERQUE, NEW MEXICO 87112 PH: (505)237-1456</p>		<p>SHEET NUMBER: <b>2</b></p>

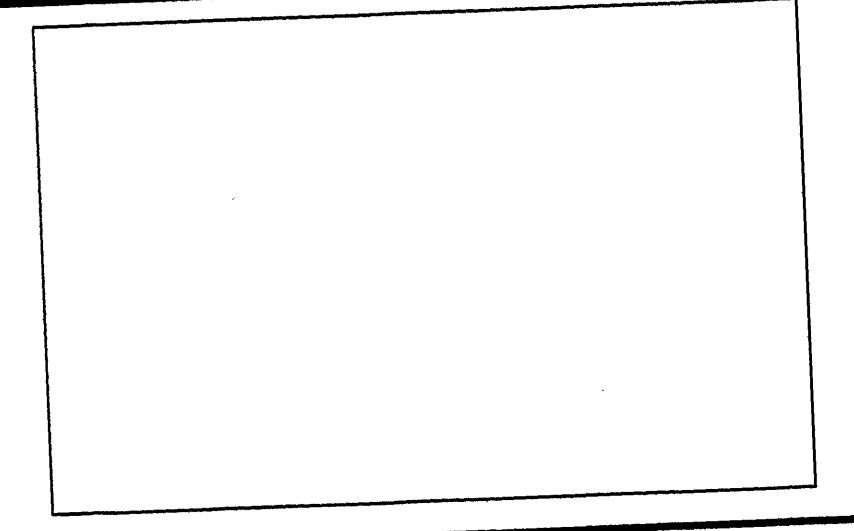
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO  
 If yes then a set of approved DRC plans with a work order is required for any construction within a Right-of-Way or for construction of public improvements.

**DRB Site Development Plan Approval:**

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

**Albuquerque Fire Department**

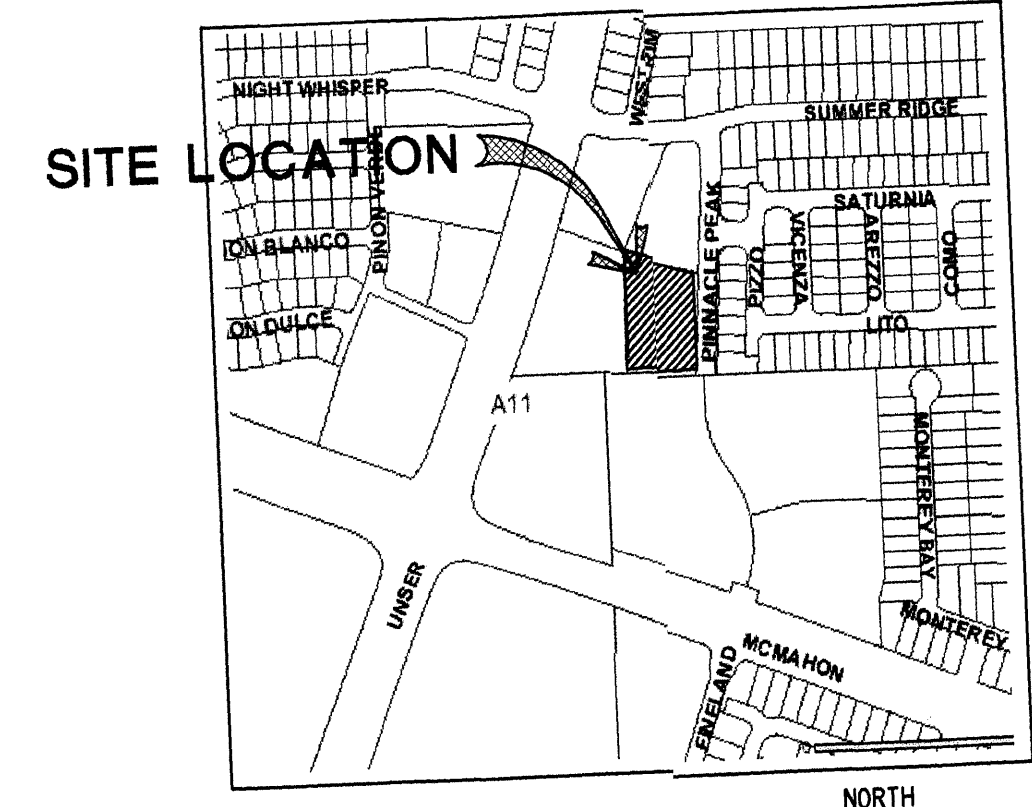


**Keyed Notes**

1. PROPOSED 6'-0" TALL YARD WALL.
2. PROPERTY LINE, TYP.
3. FRONT YARD SETBACK. (FOR GARAGE)
4. BACK YARD SETBACK.
5. SIDE YARD SETBACK.
6. BUILDING FOOTPRINT. (WILL VARY DEPENDING ON UNIT DESIGN)
7. 4' CONCRETE SIDEWALK.
8. FUTURE ROAD DEVELOPMENT, BY OTHERS.
9. EXISTING EDGE OF PAVEMENT. ROADWAY HAS NOT BEEN DEVELOPED BEYOND THIS POINT.
10. FRONT YARD SETBACK. (FOR HOUSE)
11. 3' COURTYARD WALL.

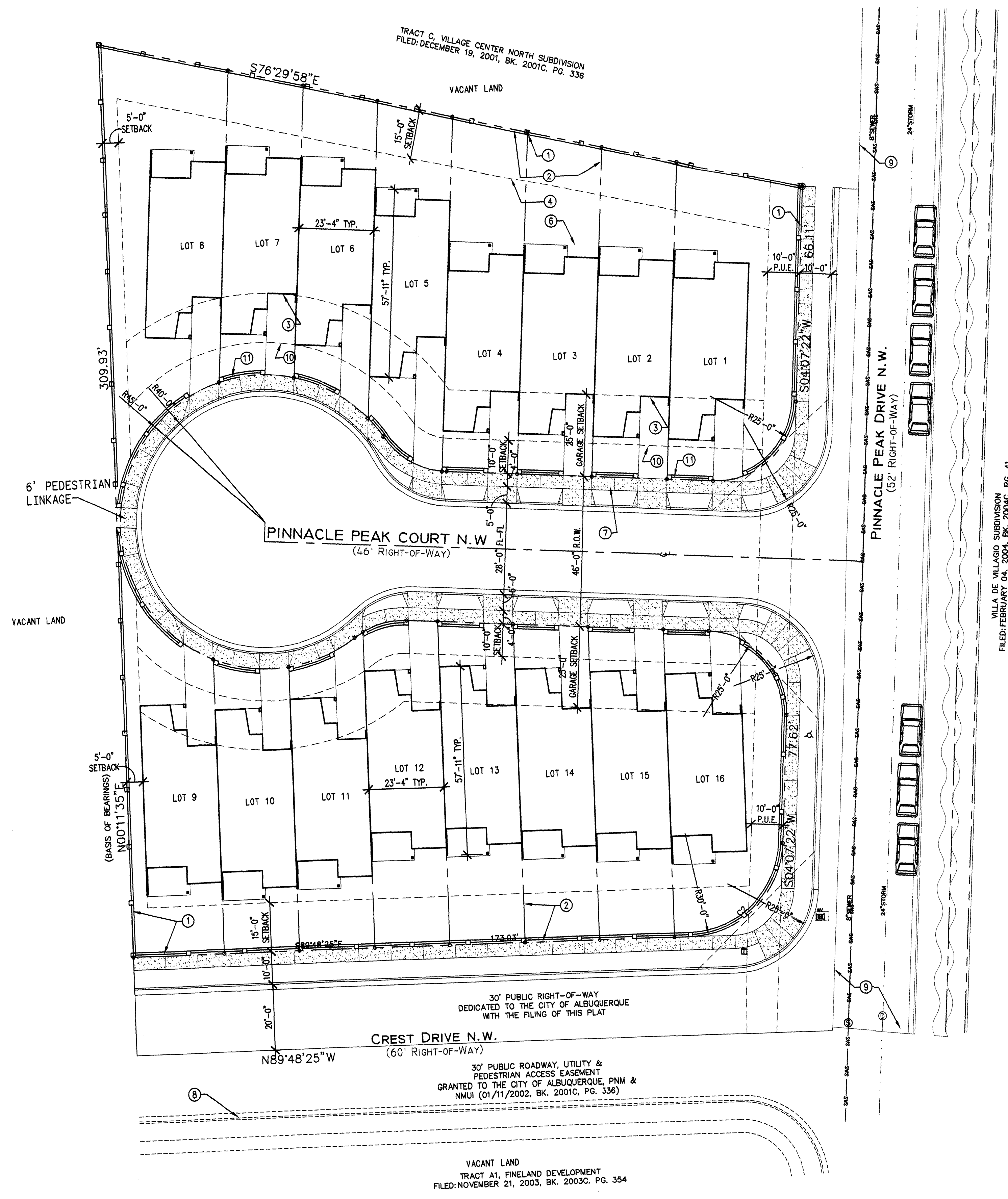
**Project Information**

TOTAL SITE AREA:	1.36 ACRES
TOTAL # OF LOTS:	16
AVERAGE LOT SIZE:	2400± Sq. Ft.
AVERAGE BUILDING SIZE:	
1ST FLOOR	1063 SQ. FT.
2ND FLOOR	1004 SQ. FT.
TOTAL	2067 SQ. FT.



**LOCATION MAP**  
 FROM ZONING ATLAS - A-11-Z  
 NORTH  
 NO SCALE

TRACT B-1, VILLAGE CENTER NORTH SUBDIVISION  
 FILED: APRIL 23, 2002, BK. 2002C, PG. 132



30' PUBLIC ROADWAY, UTILITY & PEDESTRIAN ACCESS EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE, PNM & NMUI (01/11/2002, BK. 2001G, PG. 336)

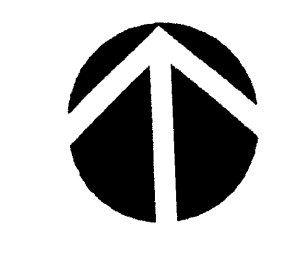
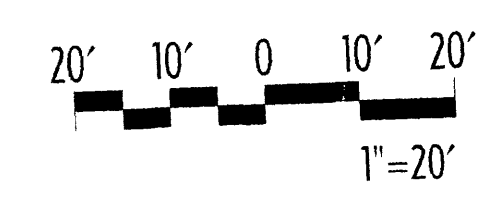
VACANT LAND  
 TRACT A1, FINELAND DEVELOPMENT  
 FILED: NOVEMBER 21, 2003, BK. 2003C, PG. 354

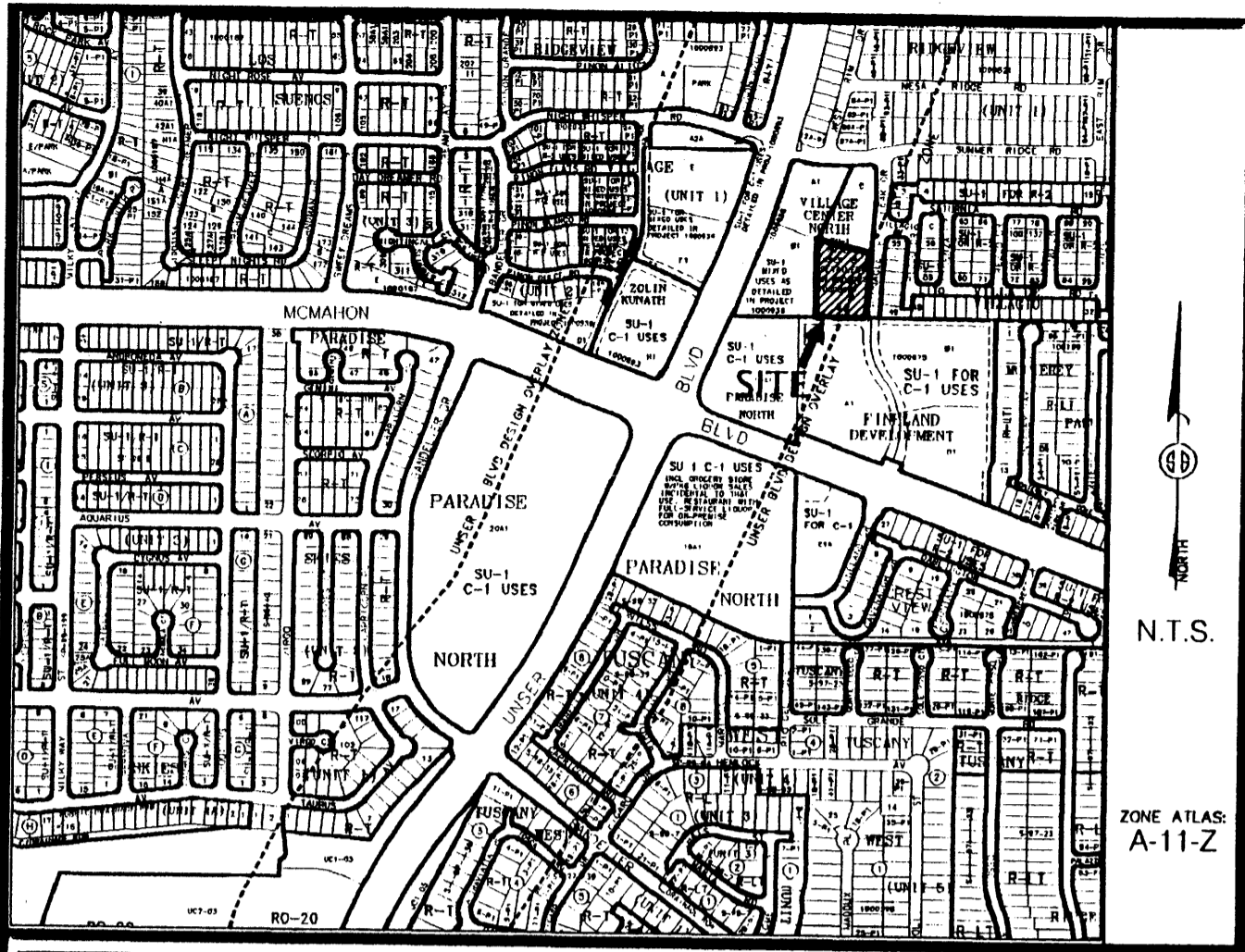
**PINNACLE PEAK TOWNHOUSES**

ISAAC BENTON & ASSOCIATES AIA

AUGUST 10, 2006

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**





Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS SANDBERN AND BLACK 2, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES ( ) ARE PER THE PLAT OF VILLAGE CENTER NORTH SUBDIVISION, FILED IN BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 2001 IN BOOK 2001C, PAGE 336.
6. GROSS AREA: 1.3619 ACRES
7. NUMBER OF EXISTING TRACTS: 1
8. NUMBER OF LOTS CREATED: 16
9. 0.0321 MILES OF PUBLIC STREET RIGHT-OF-WAY CREATED BY THIS PLAT.  
0.0378 MILES OF PUBLIC HALF STREET RIGHT-OF-WAY CREATED BY THIS PLAT.
10. PROPERTY IS ZONED SU-1 FOR MIXED USE.

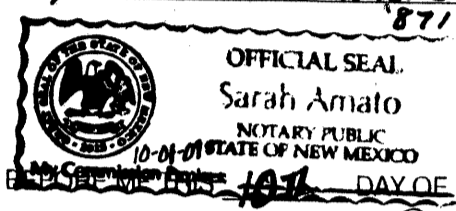
LEGAL DESCRIPTION

TRACT LETTERED "D" OF THE BULK LAND PLAT OF VILLAGE CENTER NORTH SUBDIVISION, ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 2001 IN BOOK 2001C, PAGE 336.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

OWNER(S) SIGNATURE: [Signature] DATE: 8/10/06  
 OWNER(S) PRINT NAME: Julie Gutierrez Managing Member  
 ADDRESS: 106 Industrial Loop Rio Rancho, NM 87122 TRACT: \_\_\_\_\_



THIS INSTRUMENT WAS ACKNOWLEDGED 10/10/09 DAY OF AUGUST, 2006.

BY: \_\_\_\_\_  
 MY COMMISSION EXPIRES: 10/10/09  
Sarah Amato  
 NOTARY PUBLIC

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
  2. THE PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
  3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
  4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
- INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL NOT BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

IN APPROVING THIS PLAT, P.N.M. ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10) IN FRONT OF TRANSFORMER/SWITCHEAR DOORS AND FIVE FEET (5) ON EACH SIDE.

UTILITY APPROVALS

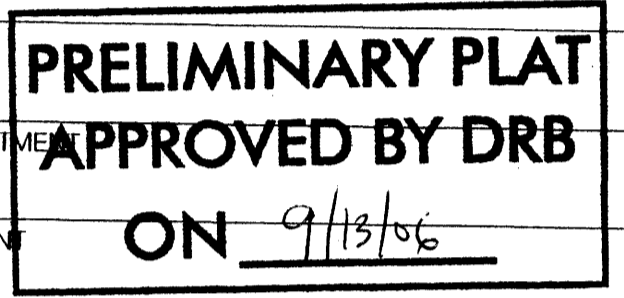
P.N.M. GAS SERVICES/P.N.M. ELECTRIC SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST CABLE	DATE
NEW MEXICO UTILITIES	DATE

*Prelim* PLAT OF  
 LOTS 1 THROUGH 16  
 PINNACLE PEAK TOWNHOMES  
 PROJECTED SECTION 2, T. 11 N., R. 2 E., N.M.P.M.  
 TOWN OF ALAMEDA GRANT  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 AUGUST 2006  
 SHEET 1 OF 2

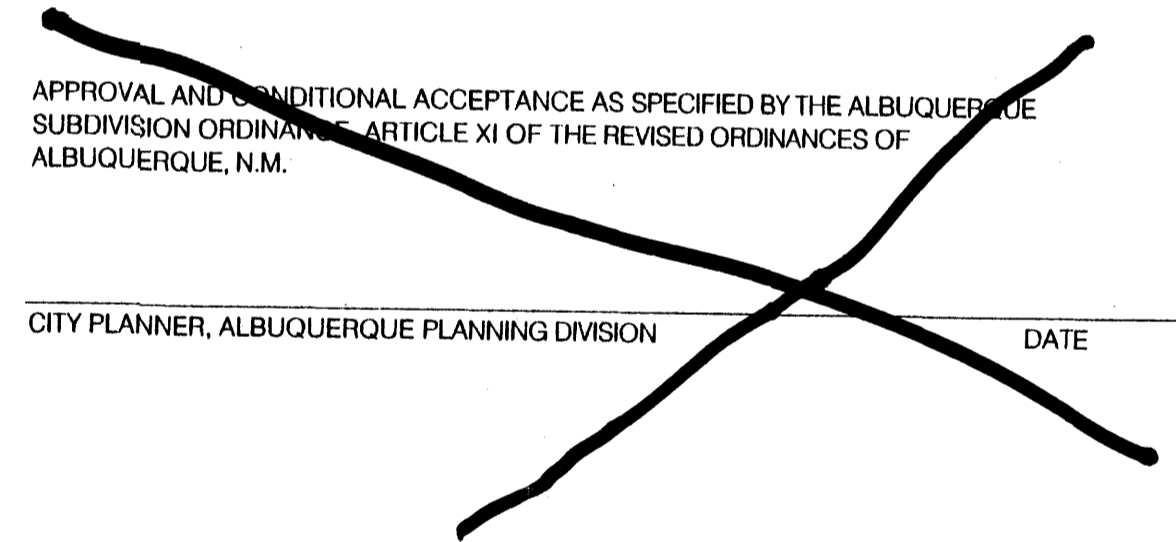
DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO DIVIDE ONE (1) EXISTING TRACT INTO SIXTEEN (16) NEW LOTS, TO GRANT ADDITIONAL EASEMENTS AND TO DEDICATE PUBLIC STREET RIGHT-OF-WAY AS SHOWN.

CITY APPROVALS: PROJECT NO.: \_\_\_\_\_ APPLICATION NO.: \_\_\_\_\_  
 CITY SURVEYOR: [Signature] DATE: 8/10/06



TRAFFIC ENGINEERING	DATE
PARKS & RECREATION DEPARTMENT	DATE
WATER UTILITIES DEVELOPMENT	DATE
A.M.A.F.C.A.	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE XI OF THE REVISED ORDINANCES OF ALBUQUERQUE, N.M.	
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE



SURVEYOR'S CERTIFICATION

I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Mitchell W Reynolds 08-09-06  
 Mitchell W. Reynolds Date  
 New Mexico Professional Surveyor, 11224



**SURVEYS SOUTHWEST LTD.**

333 LOMAS BLVD., N.E. PHONE: (505) 998-0303  
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306  
 87102

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON  
 UPC#: \_\_\_\_\_  
 PROPERTY OWNER OF RECORD: \_\_\_\_\_  
 BERNALILLO COUNTY TREASURERS OFFICE: \_\_\_\_\_

**PLAT OF  
LOTS 1 THROUGH 16  
PINNACLE PEAK TOWNHOMES  
PROJECTED SECTION 2, T. 11 N., R. 2 E., N.M.P.M.  
TOWN OF ALAMEDA GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST 2006  
SHEET 2 OF 2**

STATION 1-A10  
X = 358933.85  
Y = 1,534660.24  
GROUND TO GRID = 0.9996638  
DELTA ALPHA = -00°16'20"  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 1927  
NAD 1929 ELEV. 5415.16

TRACT B-1  
VILLAGE CENTER NORTH SUBD.  
FILED 4-23-2002  
(2002C, 132)

TRACT A  
VILLAGE CENTER NORTH SUBD.  
FILED 12-19-2001  
(2001C, 336)

TRACT C  
VILLAGE CENTER NORTH SUBD.  
FILED 12-19-2001  
(2001C, 336)

TRACT A1  
FINELAND DEVELOPMENT  
FILED 11-21-2003  
(2003C, 354)

15 10 5 0 10 20 30  
SCALE: 1" = 30'  
PROJECT NO. 0608PB02  
DRAWN BY PGB  
ZONE ATLAS: A-11-Z  
.CR5

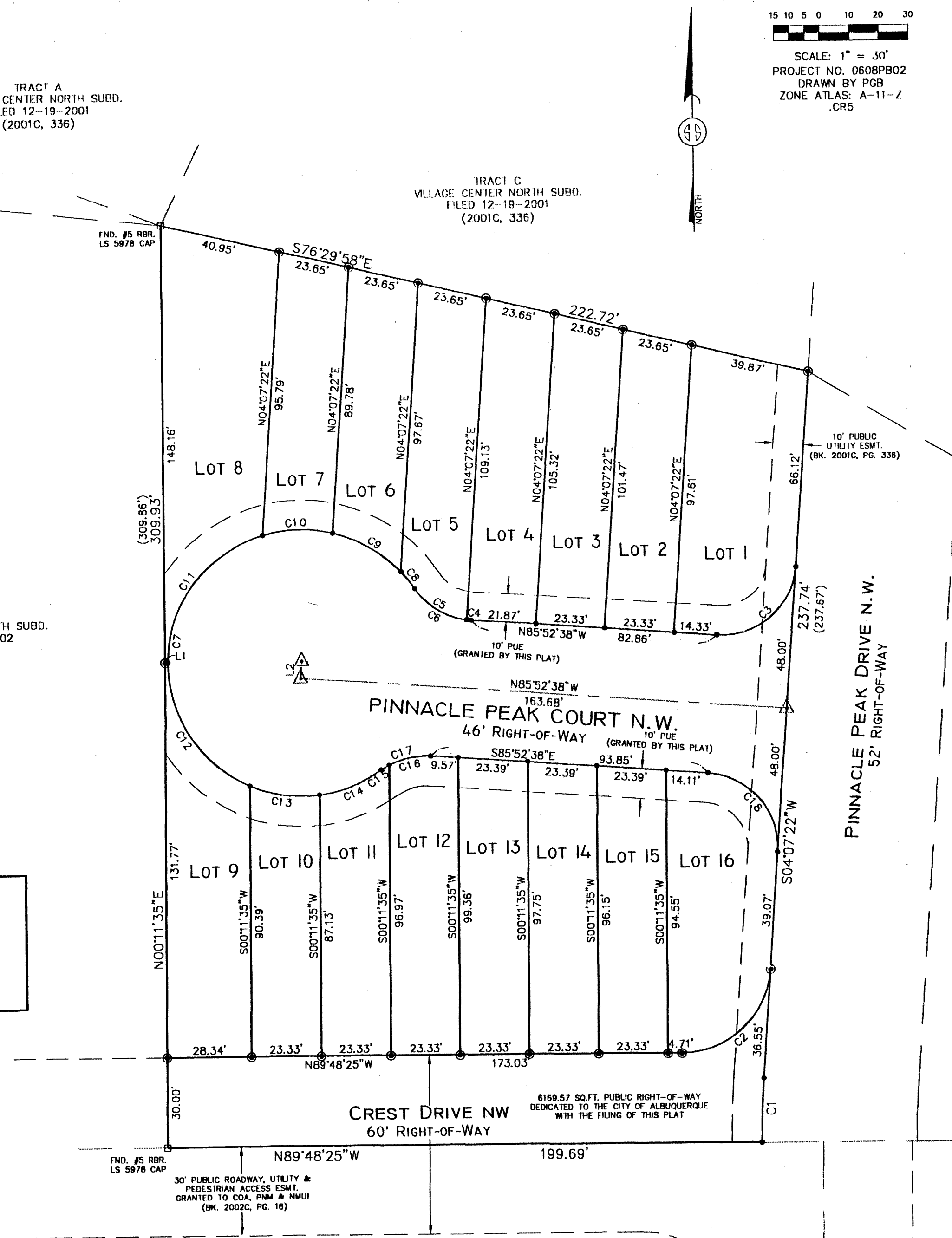
LOT AREA TABLE	
LOT	AREA
1	0.0821 ACS. GROSS/NET
2	0.0533 ACS. GROSS/NET
3	0.0554 ACS. GROSS/NET
4	0.0574 ACS. GROSS/NET
5	0.0567 ACS. GROSS/NET
6	0.0494 ACS. GROSS/NET
7	0.0491 ACS. GROSS/NET
8	0.0940 ACS. GROSS/NET
9	0.0670 ACS. GROSS/NET
10	0.0470 ACS. GROSS/NET
11	0.0487 ACS. GROSS/NET
12	0.0532 ACS. GROSS/NET
13	0.0528 ACS. GROSS/NET
14	0.0519 ACS. GROSS/NET
15	0.0511 ACS. GROSS/NET
16	0.0700 ACS. GROSS/NET

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	324.00'	21.50'	3°48'08"	S02°13'18"W	21.50'
C2	30.00'	45.07'	86°04'13"	N47°09'29"E	40.95'
C3	25.00'	39.27'	90°00'00"	S49°07'22"W	35.36'
C4	25.00'	1.47'	3°22'08"	N84°11'34"W	1.47'
C5	25.00'	21.60'	49°30'46"	N57°45'07"W	20.94'
C6	25.00'	23.07'	52°52'54"	N59°26'11"W	22.26'
C7	45.00'	214.19'	272°42'37"	S10°38'57"W	62.12'
C8	45.00'	7.31'	9°18'48"	N37°39'08"W	7.31'
C9	45.00'	26.50'	33°44'23"	N59°10'44"W	26.12'
C10	45.00'	23.71'	30°10'57"	S88°51'36"W	23.43'
C11	45.00'	57.79'	73°34'51"	S36°58'42"W	53.90'
C12	45.00'	52.51'	66°51'29"	S33°14'28"E	49.58'
C13	45.00'	23.83'	30°20'51"	S81°50'38"E	23.56'
C14	45.00'	22.53'	28°41'18"	N68°38'18"E	22.30'
C15	25.00'	3.07'	7°02'21"	N57°48'50"E	3.07'
C16	25.00'	14.31'	32°47'21"	N77°43'41"E	14.11'
C17	25.00'	17.38'	39°49'43"	N74°12'31"E	17.03'
C18	25.00'	39.27'	90°00'00"	S40°52'38"E	35.36'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N89°48'25"W	1.02'
L2	N04°07'22"E	5.76'

**MONUMENT LEGEND**

- ▲ - CENTERLINE MONUMENT
- ⊕ - FOUND CONTROL STATION AS NOTED
- ⊠ - FOUND MONUMENT AS NOTED
- - COMPUTED CORNER (NOT SET)
- ⊙ - SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MWR 11224" UNLESS OTHERWISE NOTED



STATION BLACK 2  
X = 372,920.43  
Y = 1,530,241.52  
GROUND TO GRID = 0.9996784  
DELTA ALPHA = -00°14'43"  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 1927  
NAD 1929 ELEV. 5213.926

**SURVEYS SOUTHWEST LTD.**

333 LOMAS BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO  
87102

PHONE: (505) 998-0303  
FAX: (505) 998-0306

**T11N R2E SEC. 2**

**General Notes**

ALL PLANTING BEDS SHALL BE MULCHED, UNLESS OTHERWISE STATED ON THE PLAN. SEE PLANS FOR TYPE AND LOCATION.  
 TREE LOCATIONS AS SHOWN ARE SCHEMATIC AND MAY VARY BASED ON SIGNAGE LOCATIONS, AND OTHER SITE CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY.  
 RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE HOMEOWNER.  
 AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS. TREES WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM, AND SHRUBS AND GROUND COVERS WILL BE IRRIGATED WITH A DRIP EMITTER SYSTEM.

AT MATURITY, PLANTS WILL PROVIDE MINIMUM COVERAGE OF 75% OF THE LANDSCAPE AREA.  
 LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE C ORD 18-1995.

THE LANDSCAPE DESIGN WILL EMPHASIZE WATER-CONSERVATIVE PLANTING, PRIMARILY NATIVES, AND IS INTENDED TO COMPLEMENT THE ADJACENT NEIGHBORHOOD PLANTINGS.

PLANS ARE DIAGRAMMATIC AND APPROXIMATE DUE TO THE SCALE OF THE DRAWINGS, AND NOT ALL INDIVIDUAL SHRUBS OR GROUND COVERS ARE SHOWN. ACTUAL TREE LOCATIONS MAY VARY TO ACCOMMODATE SIGNAGE, LIGHTING LOCATIONS OR OTHER SITE CONSTRAINTS.

ALL PLANT MATERIALS AT INTERSECTIONS WILL FOLLOW CLEAR SIGHT TRIANGLE GUIDELINES. ALL PROPOSED LANDSCAPING IS TO BE ESTABLISHED AS GENERAL LANDSCAPING.

**Plant Legend**

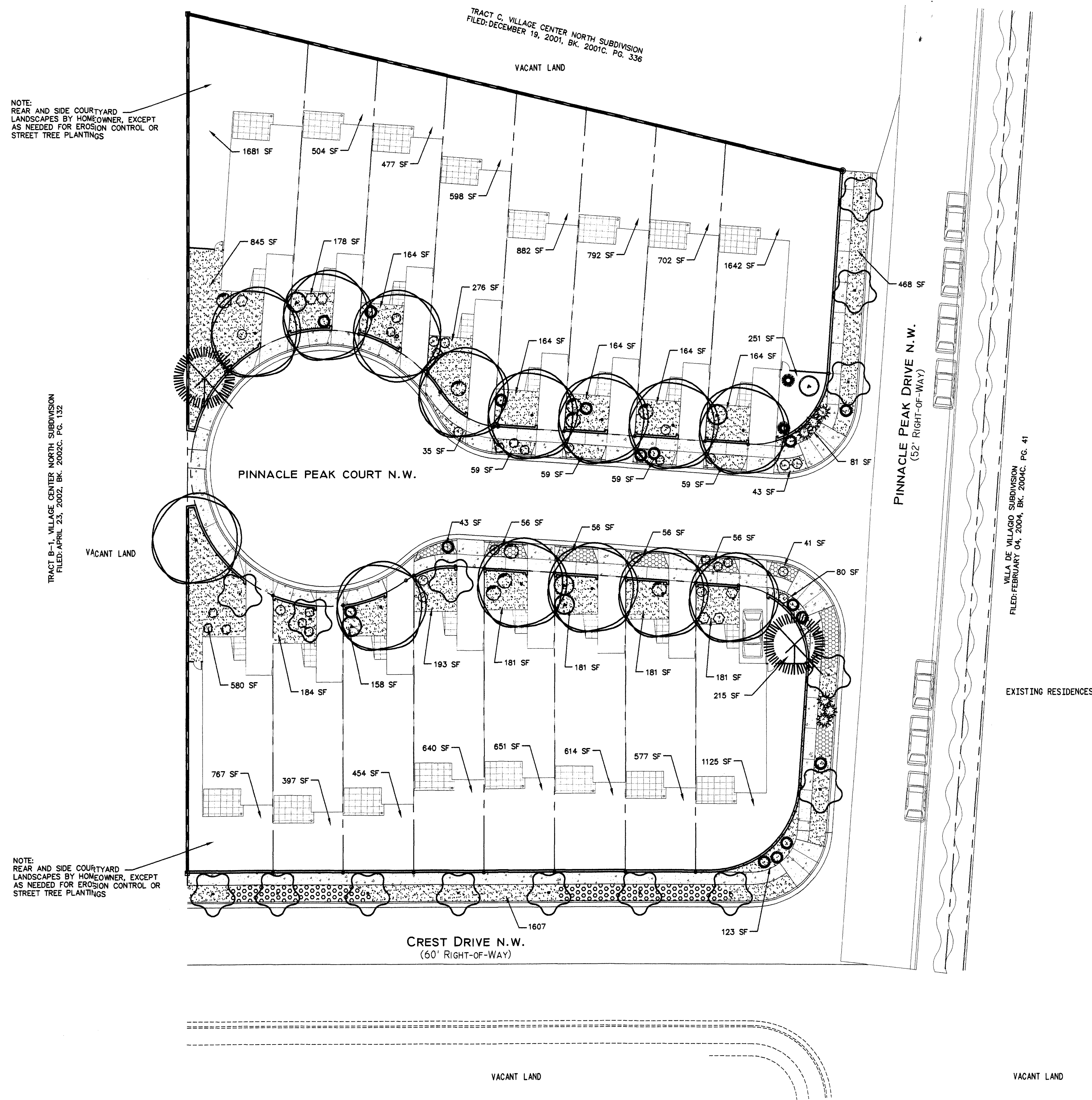
SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE SIZE (HT. X W.)	WATER USE
<b>TREES</b>				
	<i>Celtis reticulata</i>	WESTERN HACKBERRY	30' x 30'	MODERATE
	<i>Pinus flexilis</i> OR <i>Juniperus scopulorum</i>	LIMBER PINE ROCKY MOUNTAIN JUNIPER	30' x 20'	MODERATE
	<i>Chilopsis linearis</i>	DESERT WILLOW	15' x 15'	LOW
<b>SHRUBS/GROUND COVERS</b>				
	<i>Rosemarinus officinalis "Arp"</i>	ARP ROSEMARY	6' x 6'	LOW
	<i>Fallugia paradoxa</i>	APACHE PLUME	5' x 5'	LOW
	<i>Rhaphiolepis indica</i>	INDIA HAWTHORN	3' x 4'	MODERATE
	<i>Hesperaloe parviflora</i>	RED YUCCA	3' x 3'	MODERATE
	<i>Genista tinctoria</i>	SUMMER BROOM	2' x 4'	MODERATE
	<i>Salvia greggii</i>	CHERRY SAGE	3' x 3'	MODERATE
	<i>Salvia leucantha</i>	MEXICAN SAGE	3' x 3'	MODERATE
	<i>Baccharis "Centennial"</i>	CENTENNIAL COYOTE BUSH	3' x 3'	LOW

**Materials Legend**

- 4" DEPTH SAN LAZARUS CRUSHER FINES OVER DEWITT PRO 5 FILTER FABRIC (OR APPROVED EQUAL)
- SAN LAZARUS COBBLE OVER DEWITT PRO 5 FILTER FABRIC (OR APPROVED EQUAL)
- SAN LAZARUS "BLACK" COBBLE OVER DEWITT PRO 5 FILTER FABRIC (OR APPROVED EQUAL)

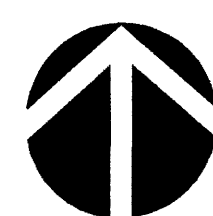
**Area Calculations**

TOTAL SITE AREA (1.36 ACRES):	59,328 S.F.
BUILDING TOTAL (F1ST FLOOR):	17,087 S.F.
NET SITE AREA:	42,259 S.F.
LANDSCAPE AREA REQUIRED (15%):	6,339 S.F.
LANDSCAPE AREA PROVIDED:	19,853 S.F.
LANDSCAPE AREA AS PERCENT OF NET SITE AREA:	47%



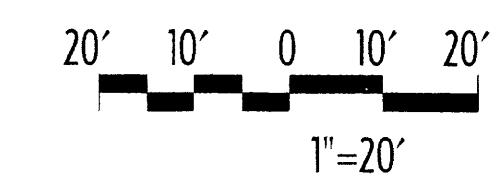
**PINNACLE PEAK TOWNHOUSES**

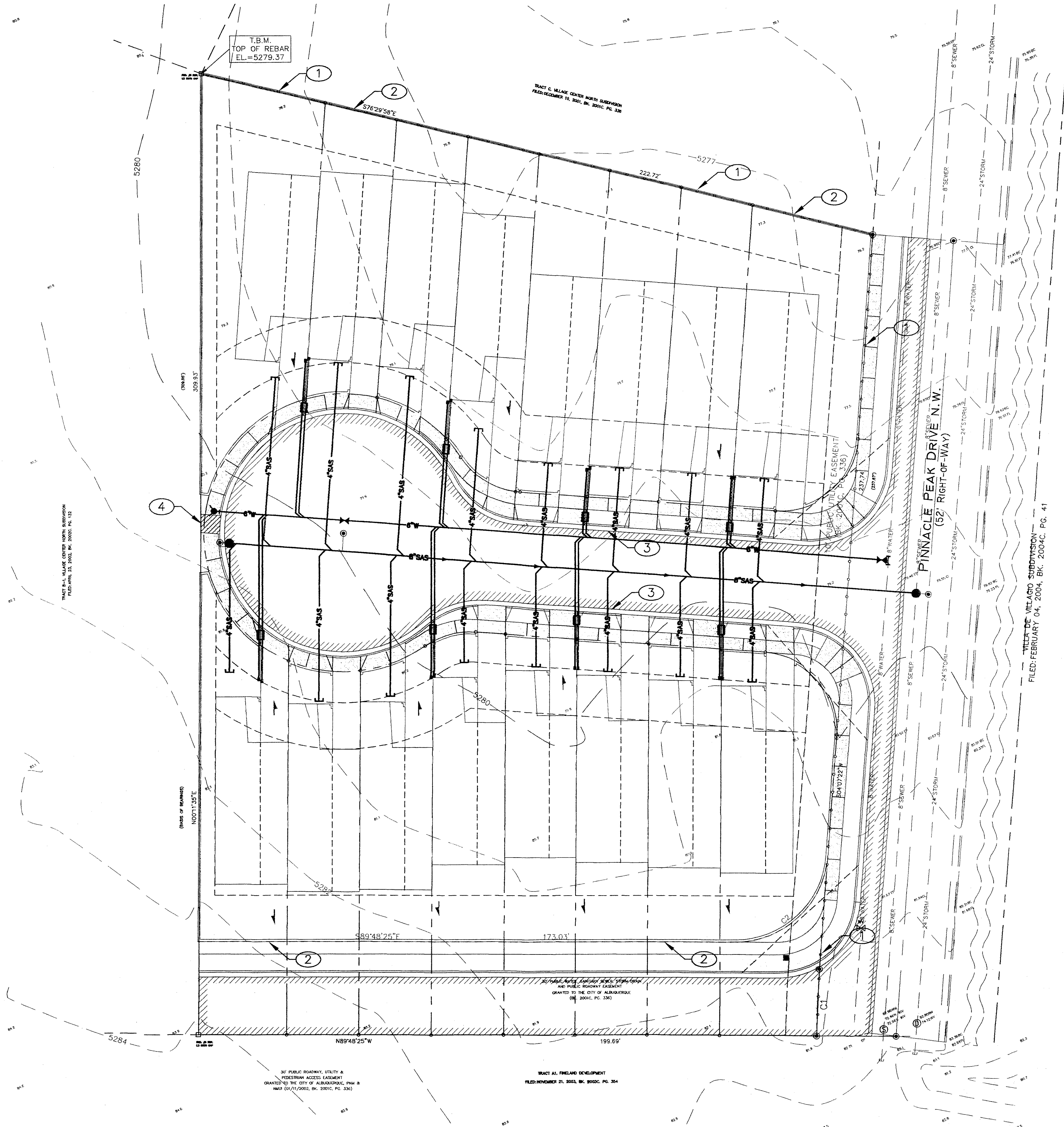
**LANDSCAPE PLAN**



ISAAC BENTON & ASSOCIATES AIA

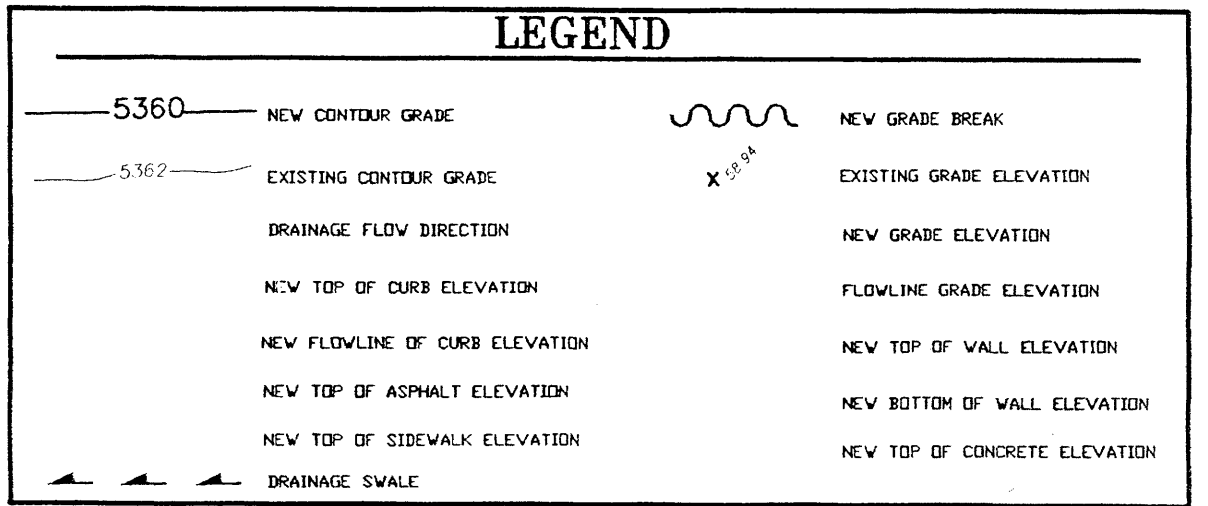
AUGUST 10, 2006





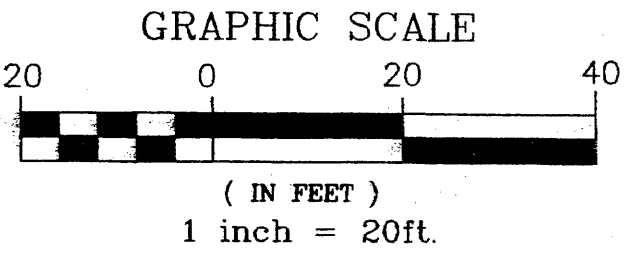
**CONSTRUCTION NOTES:**

- ① PROVIDE SILT FENCE PER DETAIL SHOWN ON THIS SHEET ALONG PERIMETER OF ENTIRE CONSTRUCTION SITE. CONTRACTOR SHALL MAINTAIN SILT FENCE THROUGHOUT CONSTRUCTION UNTIL SUCH TIME THAT FINAL INSPECTION PERFORMED BY CITY OF ALBUQUERQUE OR PERMANENT STABILIZATION HAS BEEN ESTABLISHED.
- ② CONSTRUCT RETAINING WALL PER GRADES SHOWN.
- ③ CONSTRUCT STANDARD CURB AND GUTTER PER CITY STD. DWG. 2415A.
- ④ CONSTRUCT 6' WIDE SIDEWALK CULVERT PER CITY STD. DWG. 2236



**UTILITY PRECAUTIONS**  
 THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES IN PLANNING AND CONDUCTING EXCAVATION. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

**LOTS 1 THROUGH 16  
 PINNACLE PEAK TOWNHOMES**



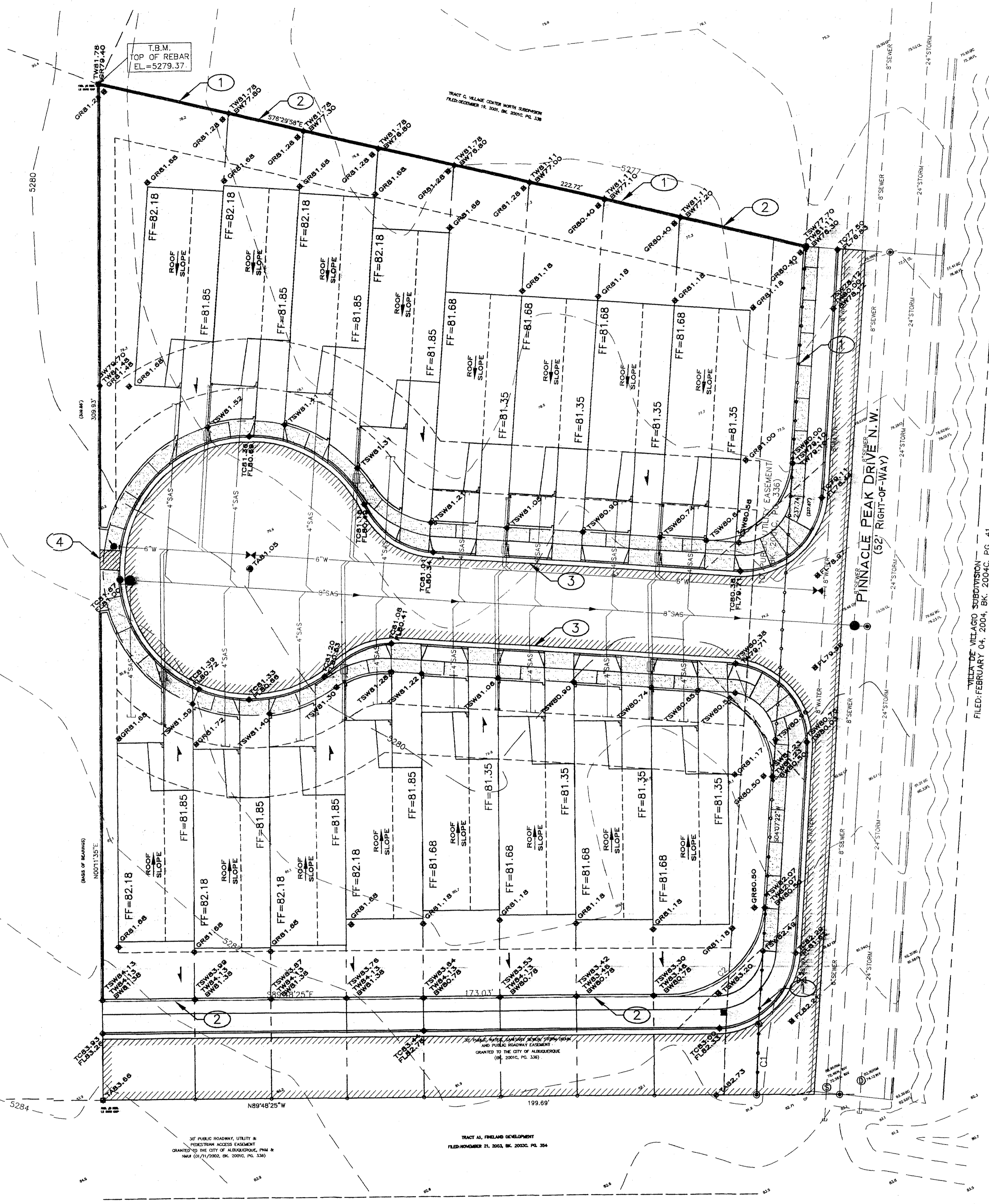
<b>APPLIED ENGINEERING AND SURVEYING, INC. ENGINEERS AND PLANNERS</b>			
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
<b>TITLE: OVERALL UTILITY SHEET PINNACLE PEAK TOWNHOMES</b>			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. <b>TBD</b>		Zone Map No. <b>A-11</b>	Sheet <b>Of</b>

**OVERALL UTILITY SHEET**  
 SCALE: 1" = 20'

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	BY	NO.	DATE	CONTRACTOR	DATE	WORK	DATE
				BENCHMARK IS AN A.C.S. MONUMENT		ACCEPTANCE BY	
						VERIFICATION BY	
						DRAWINGS	
						RECORDED BY	
						MICRO-FILM INFORMATION	
						NO.	

08-10-06





**GRADING PLAN**  
SCALE: 1" = 20'

**CONSTRUCTION NOTES:**

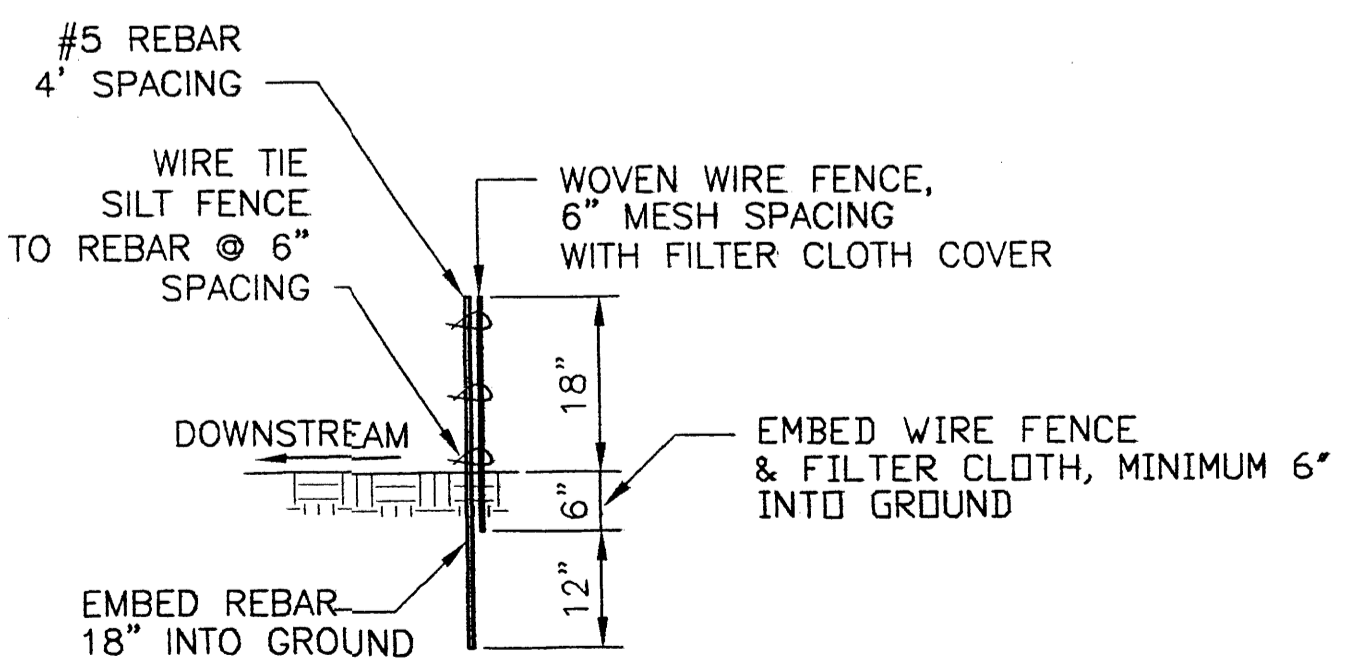
- ① PROVIDE SILT FENCE PER DETAIL SHOWN ON THIS SHEET ALONG PERIMETER OF ENTIRE CONSTRUCTION SITE. CONTRACTOR SHALL MAINTAIN SILT FENCE THROUGHOUT CONSTRUCTION UNTIL SUCH TIME THAT FINAL INSPECTION PERFORMED BY CITY OF ALBUQUERQUE OR PERMANENT STABILIZATION HAS BEEN ESTABLISHED.
- ② CONSTRUCT RETAINING WALL PER GRADES SHOWN.
- ③ CONSTRUCT STANDARD CURB AND GUTTER PER CITY STD. DWG. 2415A.
- ④ CONSTRUCT 6' WIDE SIDEWALK CULVERT PER CITY STD. DWG. 2236

**LEGEND**

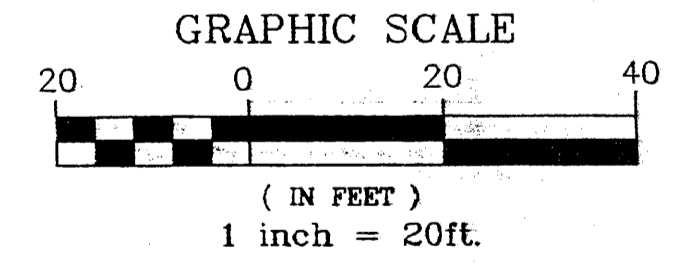
— 5360 —	NEW CONTOUR GRADE	— 5362 —	EXISTING CONTOUR GRADE
→	DRAINAGE FLOW DIRECTION	⬢ GR56.0	NEW GRADE ELEVATION
⬢ TC62.50	NEW TOP OF CURB ELEVATION	⬢ FL55.3	FLOWLINE GRADE ELEVATION
⬢ FL62.00	NEW FLOWLINE OF CURB ELEVATION	⬢ TW95.1	NEW TOP OF WALL ELEVATION
⬢ TA60.11	NEW TOP OF ASPHALT ELEVATION	⬢ BW93.1	NEW BOTTOM OF WALL ELEVATION
⬢ TSW61.87	NEW TOP OF SIDEWALK ELEVATION	⬢ TC93.1	NEW TOP OF CONCRETE ELEVATION
▲	DRAINAGE SWALE		

**UTILITY PRECAUTIONS**  
THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

**LOTS 1 THROUGH 16  
PINNACLE PEAK TOWNHOMES**



**SILT FENCE DETAIL**  
SCALE: 1/2" = 1'-0"



**APPLIED ENGINEERING AND SURVEYING, INC.**  
ENGINEERS AND PLANNERS  
1005 Old Dixie NE, Albuquerque, New Mexico 87112  
Office (505) 237-1106 Fax (505) 237-1426

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP

**TITLE: GRADING AND DRAINAGE PLAN  
PINNACLE PEAK TOWNHOMES**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. TBD Zone Map No. A-11 Sheet 1 Of 2

ENGINEER'S SEAL		SURVEY INFORMATION		AS-BUILT INFORMATION	
		NO.	DATE	CONTRACTOR	DATE
		BY	DATE	WORK STARTED BY	DATE
REVISIONS		BENCH MARKS		MICRO-FILM INFORMATION	
NO.	DATE	BENCHMARK IS AN A.C.S. MONUMENT		NO.	DATE
BY	DATE	BENCHMARK ELEVATION = 5175.786, AN A.C.S. 1.3/4" ALUMINUM DISK SET ON TOP OF CURB AT THE WNW RETURN LOCATED AT THE INTERSECTION OF PARADISE HILLS BLVD. AND DAVENPORT STREET NW IN THE NW QUADRANT OF THE INTERSECTION.		NO.	DATE
DESIGNED BY	DATE			NO.	DATE
DRAWN BY	DATE			NO.	DATE
CHECKED BY	DATE			NO.	DATE

**DRAINAGE PLAN**

THE FOLLOWING ITEMS CONCERNING A 16 TOWNHOUSE SUBDIVISION LOCATED IN TRACT D, VILLAGE CENTER NORTH SUBDIVISION, ALBUQUERQUE, NEW MEXICO, GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:

1. DRAINAGE CALCULATIONS
2. VICINITY MAP (A-11)
3. FLOOD INSURANCE RATE MAP 35001C0104D

**EXITING CONDITIONS**

AS SHOWN BY THE VICINITY MAP, THE SITE IS LOCATED ON THE WEST SIDE OF PINNACLE PEAK DRIVE NW, (SEE ATTACHED VICINITY MAP (A-11)). THE PARCEL'S LEGAL DESCRIPTION IS TRACT D, VILLAGE CENTER NORTH SUBDIVISION, IN THE CITY OF ALBUQUERQUE. THE PROPERTY IS BOUNDED ON THE SOUTH BY A 60 FOOT PUBLIC ROADWAY EASEMENT, ON THE EAST BY PINNACLE PEAK, ON THE NORTH AND WEST BY UNDEVELOPED TRACTS OF LAND. THIS SITE CONTAINS APPROXIMATELY 1.36ACRES. THIS TRACT OF LAND IS CURRENTLY UNDEVELOPED WITH MINIMAL NATIVE VEGETATION.

THE SITE IS CURRENTLY NOT IN A DESIGNATED 100-YEAR FLOODPLAIN PER FIRM MAP 35001C0104D

**PROPOSED CONDITIONS**

AS SHOWN BY THE PLAN, THE PROJECT CONSISTS OF A SUBDIVISION WITH 16 NEW TOWNHOUSE LOTS, EACH TOWNHOUSE ALSO CONSIST OF AN ATTACHED GARAGE. THE PLAN WILL ALSO CONSIST OF PATIOS, SIDEWALKS AND LANDSCAPING IS TO BE PROVIDED PER CITY ZONING REQUIREMENTS. THE PLAN IS TO CONSTRUCT A CUL-DE-SAC TO SERVE THE TOWNHOUSE LOTS PER CITY OF ALBUQUERQUE STREET STANDARDS.

THE PLAN ALSO SHOWS PROPOSED ELEVATIONS REQUIRED TO PROPERLY DRAIN THE CUL-DE-SAC, TO INCLUDE THE NEW HOMES AND GARAGES WITHIN EACH LOT. ALL DRIVEWAYS ARE TO BE PAVED WITH CONCRETE.

THIS SITE IS TRACT "D" AND LIES IN DRAINAGE BASIN J1 OF THE VILLA DE VALLAGIO MASTER DRAINAGE PLAN.

THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6 HOUR RAINFALL RUNOFF FOR PEAK FLOWS AND STORM DURATION FOR VOLUME REQUIREMENTS. THE PROCEDURE FOR 40 ACRE AND SMALLER BASINS AS SET FORTH IN THE REVISION OF SECTION 22.7 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY 1993. THIS D.P.M. PROCEDURE IS USED FOR ANALYZING ONSITE FLOWS.

**DOWNSTREAM CAPACITY**

A REVIEW OF THE MASTER DRAINAGE PLAN THAT WAS DONE FOR THE DEVELOPMENT TO THE EAST OF THIS SITE IDENTIFIED AS VILLA DE VALLAGIO, THE FLOWS FROM THIS SITE WERE ACCOUNTED FOR AS A FULLY DEVELOPED SITE. THERE ARE EXISTING DRAINAGE INLETS AT THE INTERSECTION OF PINNACLE PEAK DRIVE AND VILLAGIO AVENUE TO THE NORTH OF THIS SITE THAT HAVE BEEN SIZED BY THE MASTER DRAINAGE STUDY TO ACCEPT FULLY DEVELOPED FLOWS FROM THIS SITE.

**OFFSITE FLOWS**

A REVIEW OF MASTER DRAINAGE PLAN INDICATES THAT BASIN I LIES TO THE WEST OF THIS SITE AND IS REQUIRED TO DRAIN THROUGH THIS SITE SO THE FLOWS CAN ENTER THE VILLA DE VALLAGIO STORM DRAIN SYSTEM. A CURB AND SIDEWALK OPENING WILL BE PROVIDED AT THE WEST END OF THE NEW CUL-DE-SAC PROVIDED WITH THIS DEVELOPMENT TO ALLOW THE FLOWS FOR A FUTURE DEVELOPMENT FOR THE SITE TO THE WEST SO THAT THESE FUTURE DEVELOPED FLOWS MAY ENTER INTO THE VILLA DE VALLAGIO STORM DRAIN SYSTEM.

**EROSION CONTROL**

THE CONTRACTOR WILL BE REQUIRED TO PROVIDE SILT FENCES AROUND THE PROPOSED CONSTRUCTION AREAS TO MINIMIZE SEDIMENT INTO THE PUBLIC ROADWAYS OR ALLEYS. CONTRACT WILL BE REQUIRED TO PROTECT THE EXISTING INLET WITH SEDIMENT CONTROL MEASURES IN ORDER TO MINIMIZE SEDIMENT FROM ENTERING THIS INLET.

**DRAINAGE CALCULATIONS**

1. PRECIPITATION ZONE = 1

2. DESIGN STORM = DEPTH (INCHES) AT 100-YEAR STORM  
 6-HOUR = 2.20 INCHES  
 24-HOUR = 2.66 INCHES  
 10 DAY = 3.67 INCHES

3. PEAK DISCHARGE (CFS/ACRE) FOR 100-YEAR, ZONE 2, TABLE A-9:

Q = 1.29 CFS/ACRE SOIL UNCOMPACTED "A"  
 Q = 2.03 CFS/ACRE LANDSCAPED "B"  
 Q = 2.87 CFS/ACRE COMPACTED SOIL "C"  
 Q = 4.37 CFS/ACRE IMPERVIOUS AREA "D"

FOR WATERSHEDS LESS THAN OR EQUAL TO 40 ACRES

4. EXCESS PRECIPITATION, E (INCHES), 6 HOUR STORM, ZONE 2, TABLE A-8:

E = 0.44 INCHES SOIL UNCOMPACTED "A"  
 E = 0.67 INCHES LANDSCAPED "B"  
 E = 0.99 INCHES COMPACTED SOIL "C"  
 E = 1.97 INCHES IMPERVIOUS AREA "D"

5. EXISTING CONDITIONS ONSITE:

EXISTING TOTAL AREA OF SITE = 1.36ACRES  
 TREATMENT "A" AREA = 1.36ACRES

TREATMENT	AREA(ACRES)
A	1.36
B	0
C	0
D	0

Q(EXISTING-6HR) = (1.29 X 1.36)  
 = 1.75CFS (6HR) EXISTING ONSITE FLOW  
 V(EXISTING-6HR) = (0.44 X 1.36) / 12  
 = 0.05AC-FT = 2.172CF EXISTING ONSITE VOLUME

6. PROPOSED CONDITIONS ONSITE:

PROPOSED TOTAL AREA OF SITE = 1.36ACRES  
 TYPE (TREATMENT "D") = (1.276SF) X 16 TOWNHOUSE ROOF AREAS + (11,540SF)  
 CUL-DE-SAC PAVING & SDWK + (217SF 4FT) X 16 DRIVEWAYS + (5,136SF)  
 SOUTH 1/2 STREET & SDWK = 40,546SF = 0.93AC  
 50% (TREATMENT "B") = (1.36 - 0.93) / 2 = 0.21AC  
 50% (TREATMENT "C") = (1.36 - 0.93) / 2 = 0.21AC

TREATMENT	AREA(ACRES)
A	0
B	0.21
C	0.21
D	0.93

Q(PROPOSED) = (2.03 X 0.21) + (2.87 X 0.21) + (4.37 X 0.93)  
 = 5.09CFS (6HR) PROPOSED ONSITE FLOW INTO PINNACLE PEAK DRIVE AND THEN INTO VILLA VALLAGIO STORM DRAIN

Q(ALLOWED PER MASTER PLAN) = 20.14CFS/4.99AC X 1.36AC = 5.49CFS

Q(PROPOSED) = 5.09CFS < 5.49CFS (ALLOWED PER MASTER PLAN) OK

V(EXISTING-6HR) = (0.67 X 0.21) + (0.99 X 0.21) + (1.97 X 0.93) / 12  
 = 0.18AC-FT = 7.916CF PROPOSED ONSITE VOLUME INTO PINNACLE PEAK DRIVE AND THEN INTO VILLA VALLAGIO STORM DRAIN

7. OFFSITE FLOWS

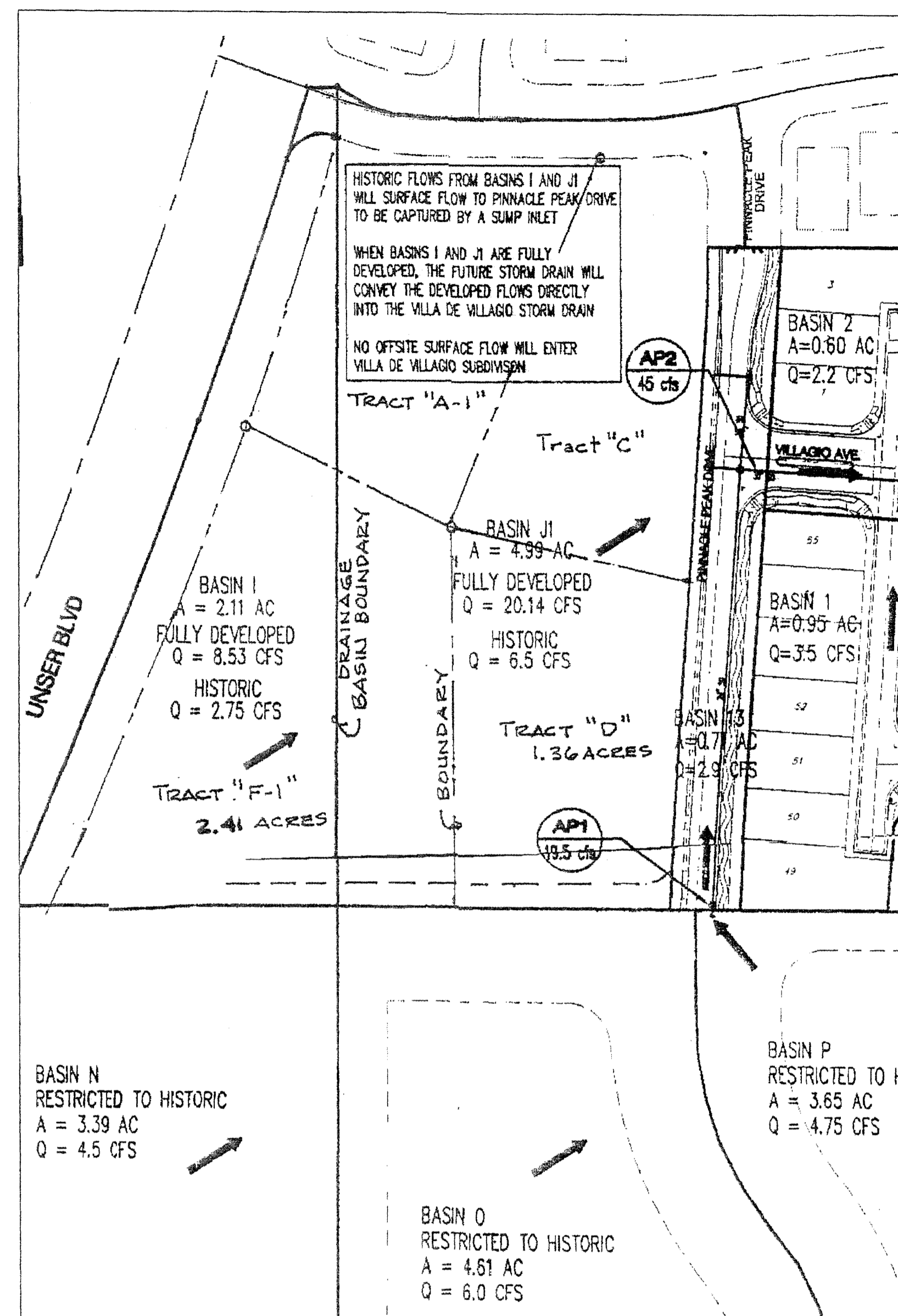
TRACT F-1 IS WEST OF THIS SITE AND CONSIST OF A PORTION OF BASIN J1 AND BASIN I (SEE DRAINAGE BASIN BOUNDARY)  
 TRACT F-1 = 2.41ACRES X (20.14CFS/4.99AC) = 9.72CFS OFFSITE FLOW

8. EVALUATE NEW CUL-DE-SAC STREET CAPACITY

Q(TOTAL) = 5.09CFS(ONSITE) + 9.72CFS(OFFSITE) = 14.81CFS  
 STREET SLOPE = 0.50%  
 STREET WIDTH = 28 FEET  
 MANNINGS N = 0.017  
 2% CROSS SLOPE  
 RUN HYDRAULIC PROGRAM:  
 NORMAL STREET DEPTH = 0.46FEET, ENERGY HEAD = 0.52FEET  
 STANDARD CURB PROPOSED WITH HEIGHT = 0.67FEET  
**0.67 FEET CURB HEIGHT > 0.46 FEET (THIS DEVELOPMENT) OK**

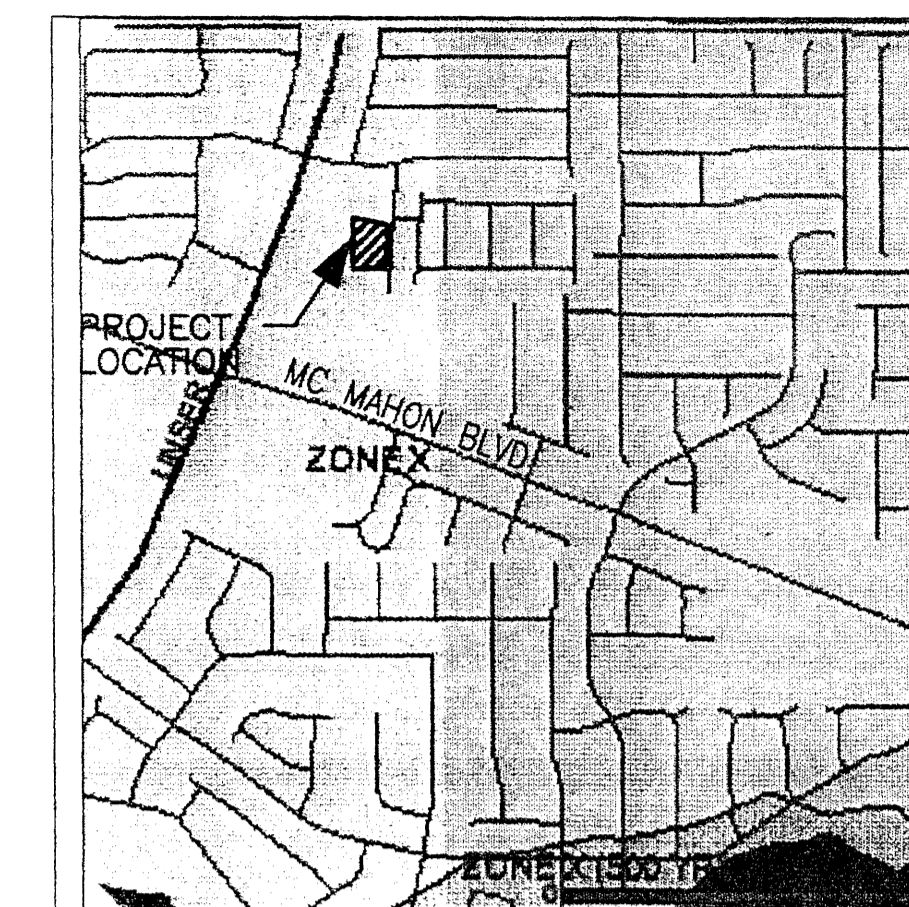
9. SIZE SIDEWALK CULVERT FOR OFFSITE FLOWS AT WEST END OF CUL-DE-SAC

Q(OFFSITE) = 9.72CFS  
 L = WIDTH TO BE DETERMINED  
 D = DEPTH OF CURB = 8" = 0.67'  
 SIZE OPENING AS WEIR WITH Q = CxLxH\*\*3/2  
 C = 3.0 RECTANGULAR OPENING  
 L = (Q/CxH\*\*3/2)  
 L = (9.72CFS/3x0.67\*\*3/2)  
**L = 5.91FEET, USE 6 FEET WIDTH SIDEWALK CULVERT**



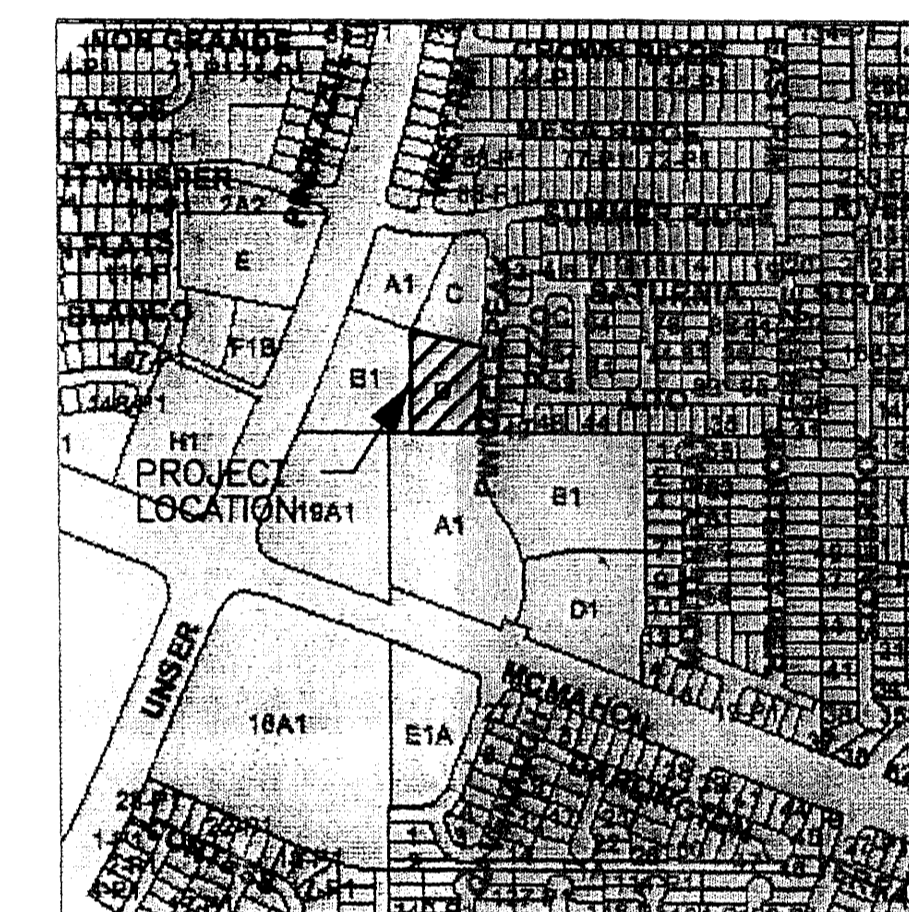
MASTER DRAINAGE BASIN

SCALE: N.T.S.



FIRM MAP 35001C0104D

SCALE: N.T.S.



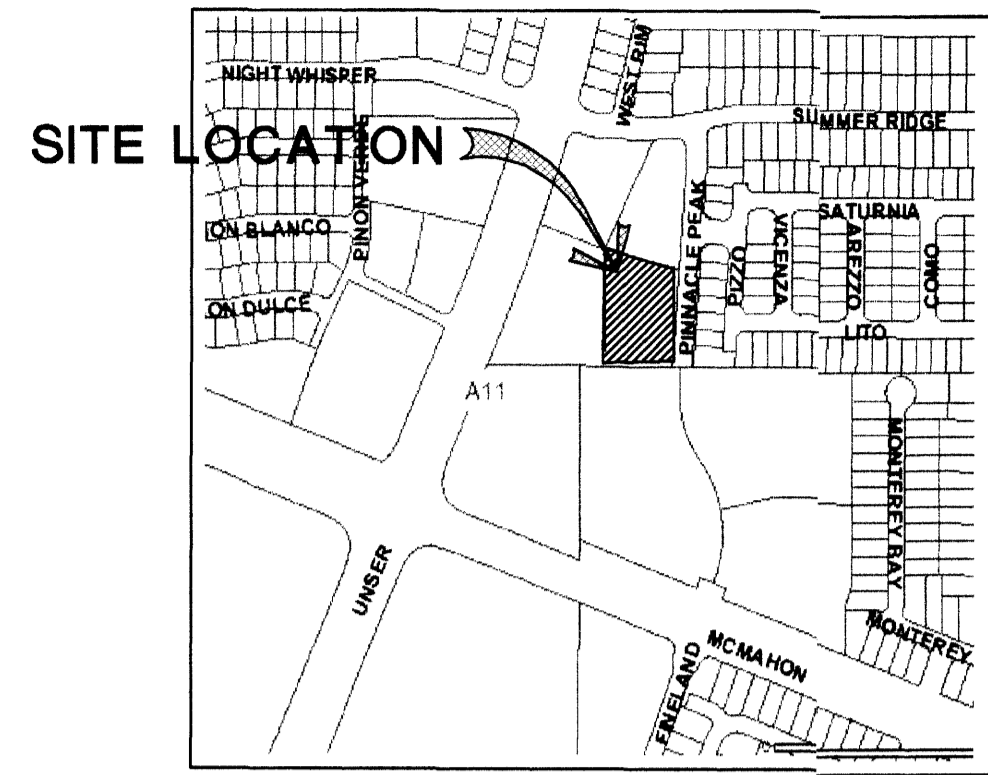
VICINITY MAP A-11

SCALE: N.T.S.

LOTS 1 THROUGH 16  
 PINNACLE PEAK TOWNHOMES

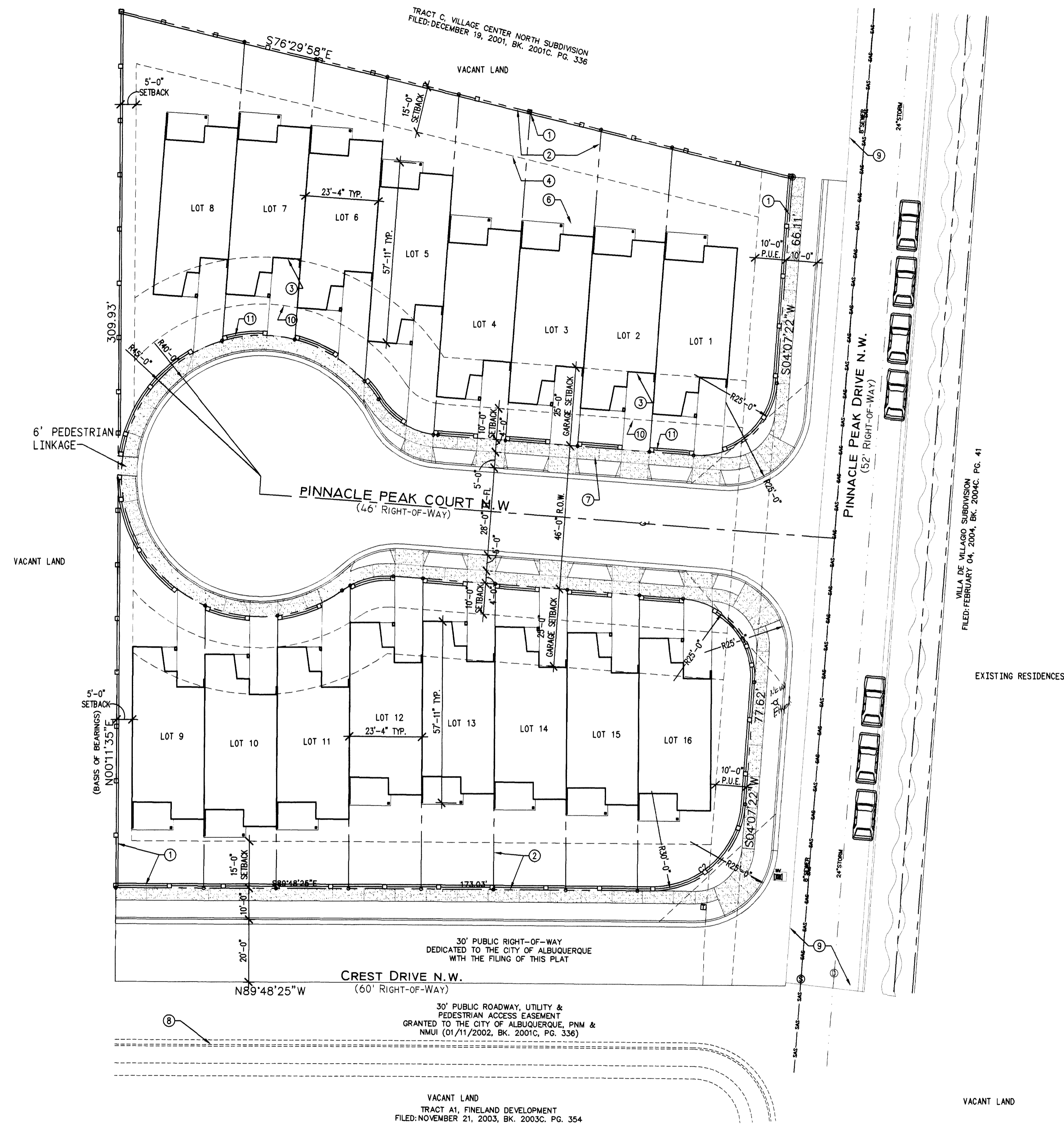
**UTILITY PRECAUTIONS**  
 THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

	FILE: <b>DRAINAGE CALCULATIONS AND DETAILS</b> <b>PINNACLE PEAK TOWNHOMES</b> <b>ALBUQUERQUE, NEW MEXICO</b>	DATE/REVISIONS:
	Applied Engineering & Surveying, Inc. 1605 BLAIR DRIVE NE ALBUQUERQUE, NEW MEXICO 87112 PH: (505)237-1456	SHEET NUMBER: <b>2</b>



**LOCATION MAP**  
FROM ZONING ATLAS - A-11-Z

TRACT B-1, VILLAGE CENTER NORTH SUBDIVISION  
FILED: APRIL 23, 2002, BK. 2002C, PG. 132



VILLA DE VILLAGO SUBDIVISION  
FILED: FEBRUARY 04, 2004, BK. 2004C, PG. 41

EXISTING RESIDENCES

VACANT LAND

30' PUBLIC ROADWAY, UTILITY & PEDESTRIAN ACCESS EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE, PNM & NMUI (01/11/2002, BK. 2001C, PG. 336)

VACANT LAND  
TRACT A1, FINELAND DEVELOPMENT  
FILED: NOVEMBER 21, 2003, BK. 2003C, PG. 354

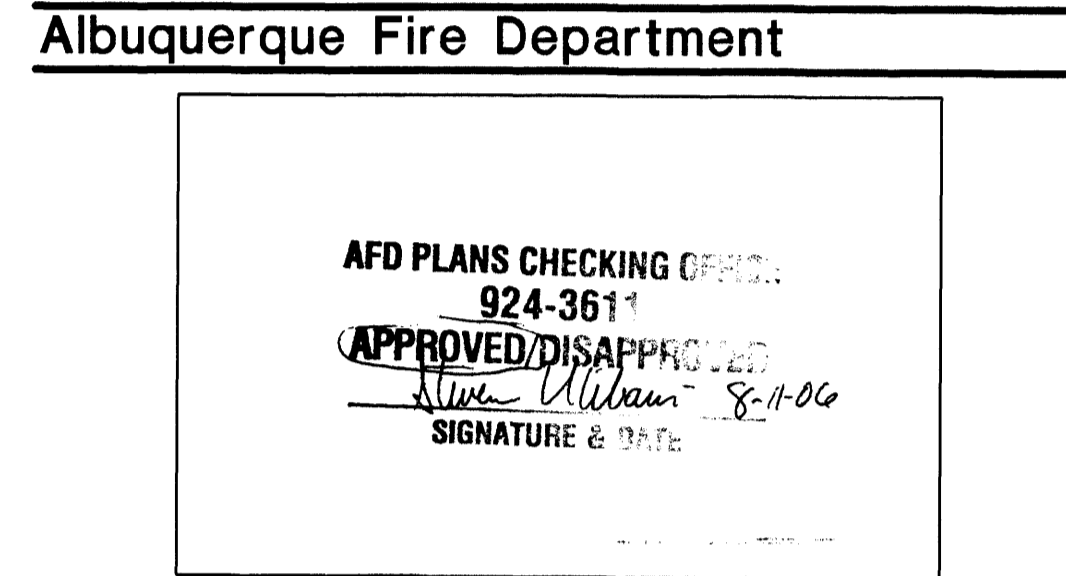
**PROJECT NUMBER:**  
**APPLICATION NUMBER:**

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO  
If yes then a set of approved DRC plans with a work order is required for any construction within a Right-of-Way or for construction of public improvements.

**DRB Site Development Plan Approval:**

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
*Environmental Health Department (conditional)	Date
Michael Holton Solid Waste Management	8/11/06 Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary



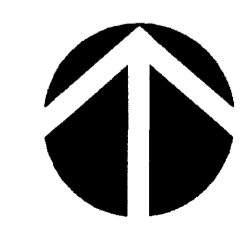
- Keyed Notes**
- PROPOSED 6'-0" TALL YARD WALL.
  - PROPERTY LINE, TYP.
  - FRONT YARD SETBACK. (FOR GARAGE)
  - BACK YARD SETBACK.
  - SIDE YARD SETBACK.
  - BUILDING FOOTPRINT.  
(WILL VARY DEPENDING ON UNIT DESIGN)
  - 4" CONCRETE SIDEWALK.
  - FUTURE ROAD DEVELOPMENT, BY OTHERS.
  - EXISTING EDGE OF PAVEMENT, ROADWAY HAS NOT BEEN DEVELOPED BEYOND THIS POINT.
  - FRONT YARD SETBACK. (FOR HOUSE)
  - 3' COURTYARD WALL.

**Project Information**

TOTAL SITE AREA:	1.36 ACRES
TOTAL # OF LOTS:	16
AVERAGE LOT SIZE:	2400± Sq. Ft.
AVERAGE BUILDING SIZE:	
1ST FLOOR	1063 SQ. FT.
2ND FLOOR	1004 SQ. FT.
TOTAL	2067 SQ. FT.

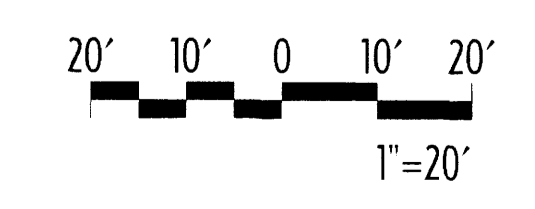
**PINNACLE PEAK TOWNHOUSES**

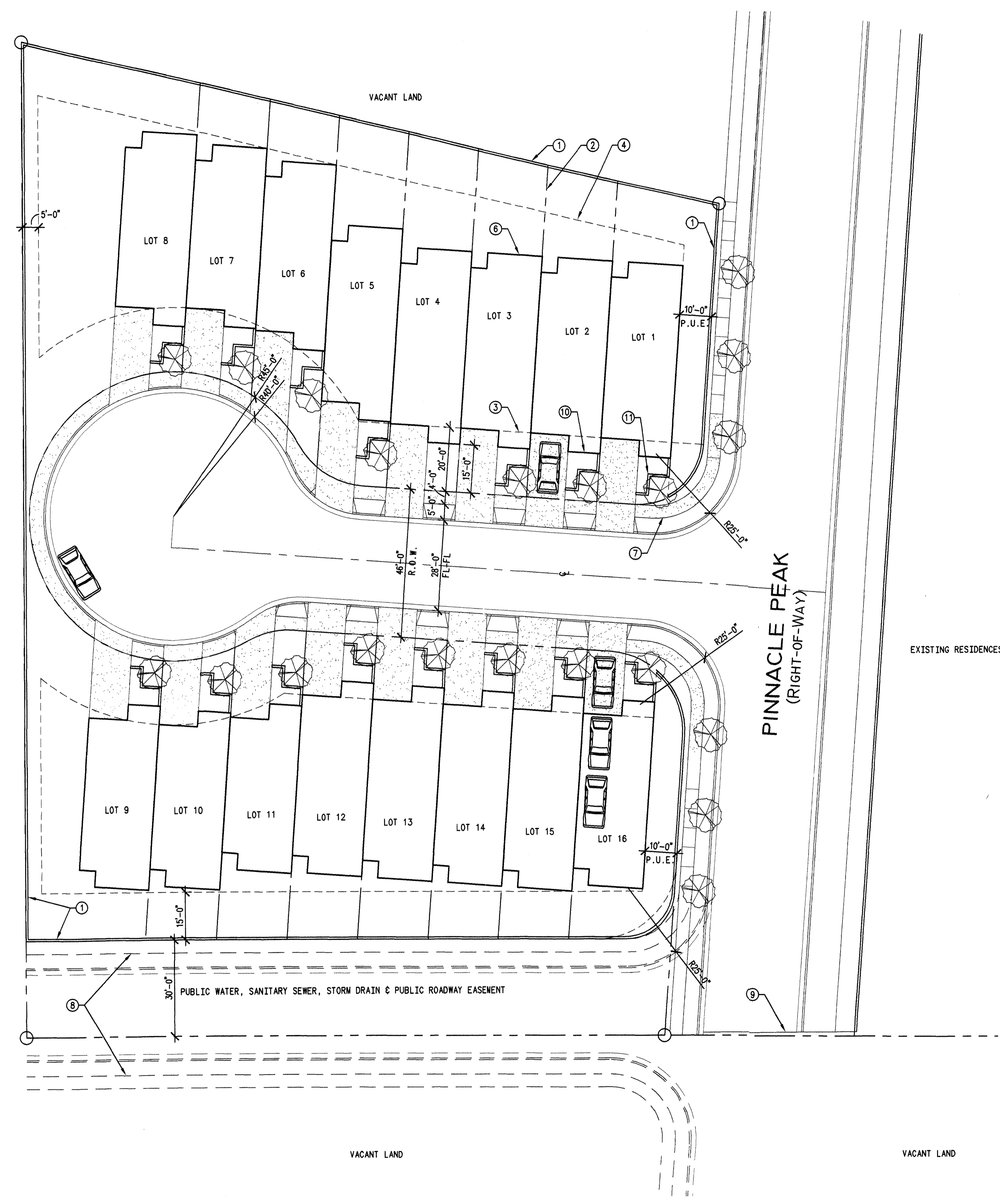
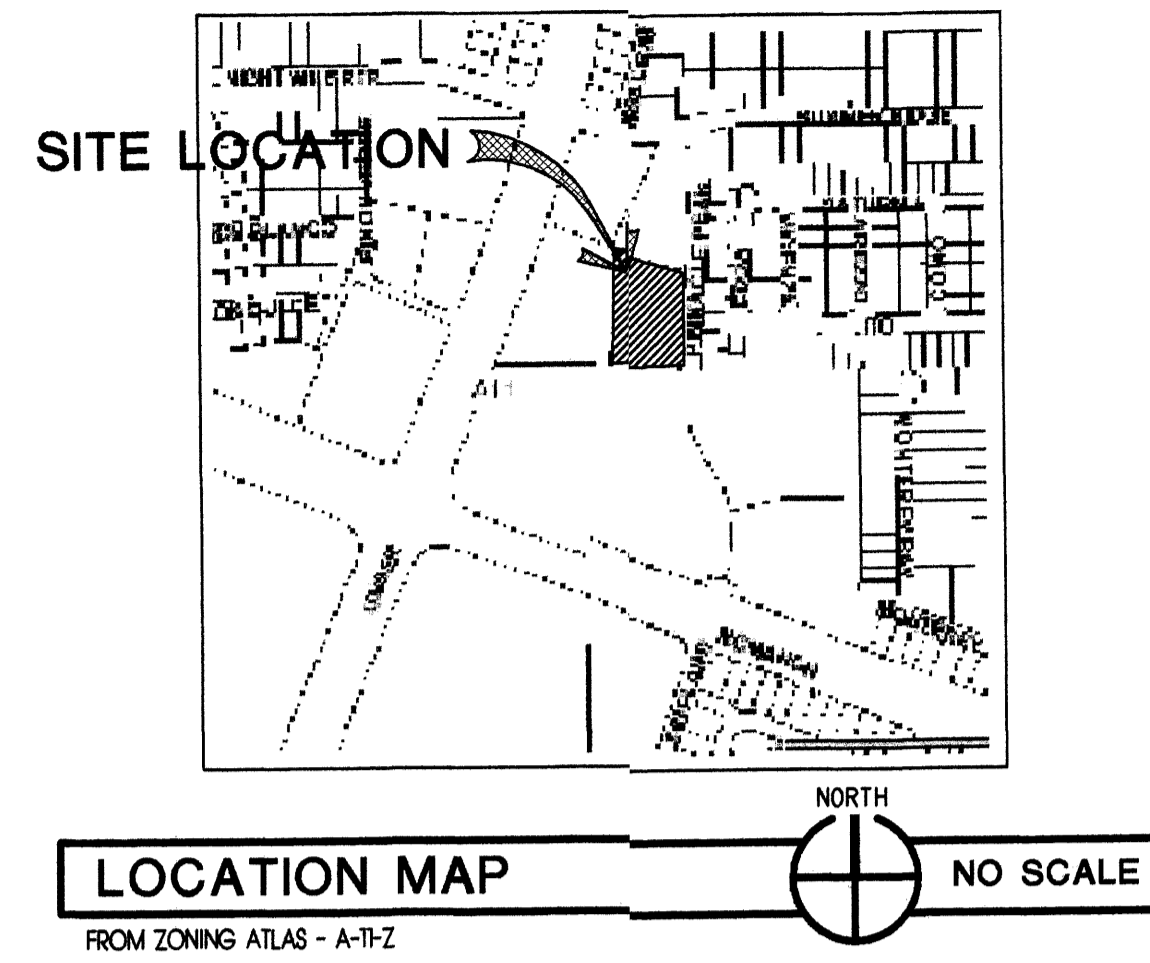
**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**



ISAAC BENTON & ASSOCIATES AIA

AUGUST 10, 2006





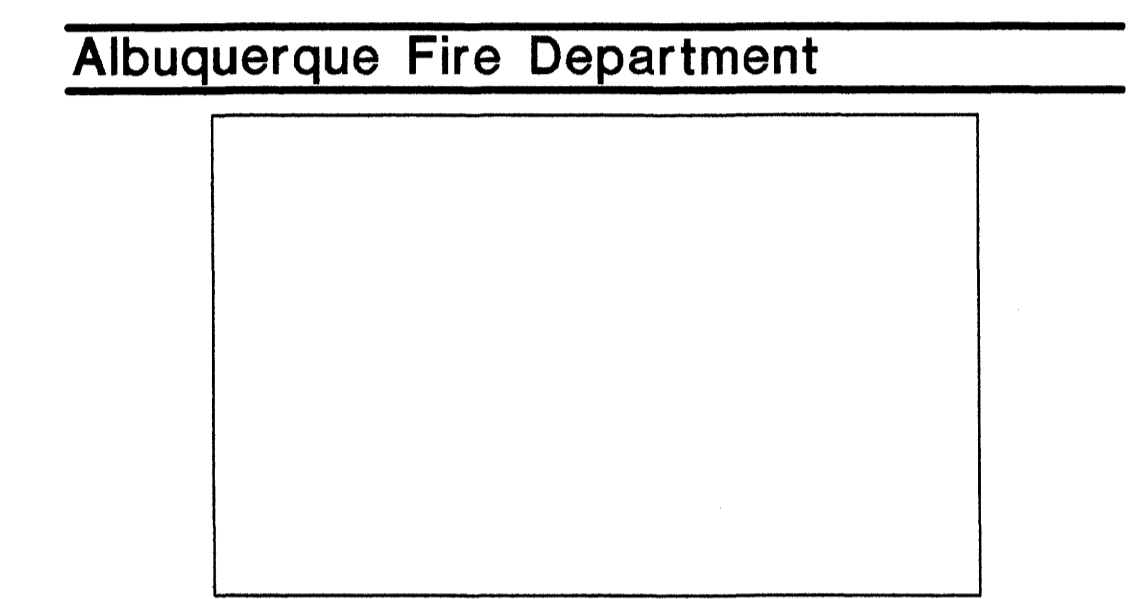
**PROJECT NUMBER:**  
**APPLICATION NUMBER:**

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO  
 If yes then a set of approved DRC plans with a work order is required for any construction within a Right-of-Way or for construction of public improvements.

**DRB Site Development Plan Approval:**

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary



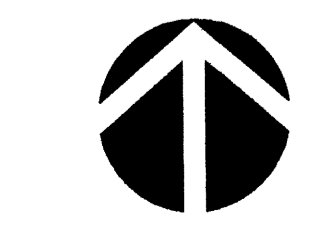
- Keyed Notes**
- PROPOSED 6'-0" TALL YARD WALL.
  - PROPERTY LINE, TYP.
  - FRONT YARD SETBACK. (FOR GARAGE)
  - BACK YARD SETBACK.
  - SIDE YARD SETBACK.
  - BUILDING FOOTPRINT.  
(WILL VARY DEPENDING ON UNIT DESIGN)
  - 4' CONCRETE SIDEWALK.
  - FUTURE ROAD DEVELOPMENT.
  - EXISTING EDGE OF PAVEMENT. ROADWAY HAS NOT BEEN DEVELOPED BEYOND THIS POINT.
  - FRONT YARD SETBACK. (FOR HOUSE)
  - 3' COURTYARD WALL.

**Project Information**

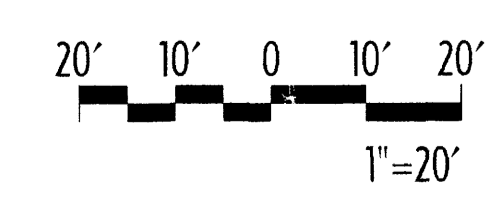
TOTAL SITE AREA:	1.36 ACRES
TOTAL # OF LOTS:	16
AVERAGE LOT SIZE:	2400± Sq. Ft.

**PINO TOWNHOUSES**

**SITE PLAN**



ISAAC BENTON & ASSOCIATES AIA  
 JUNE 5, 2006



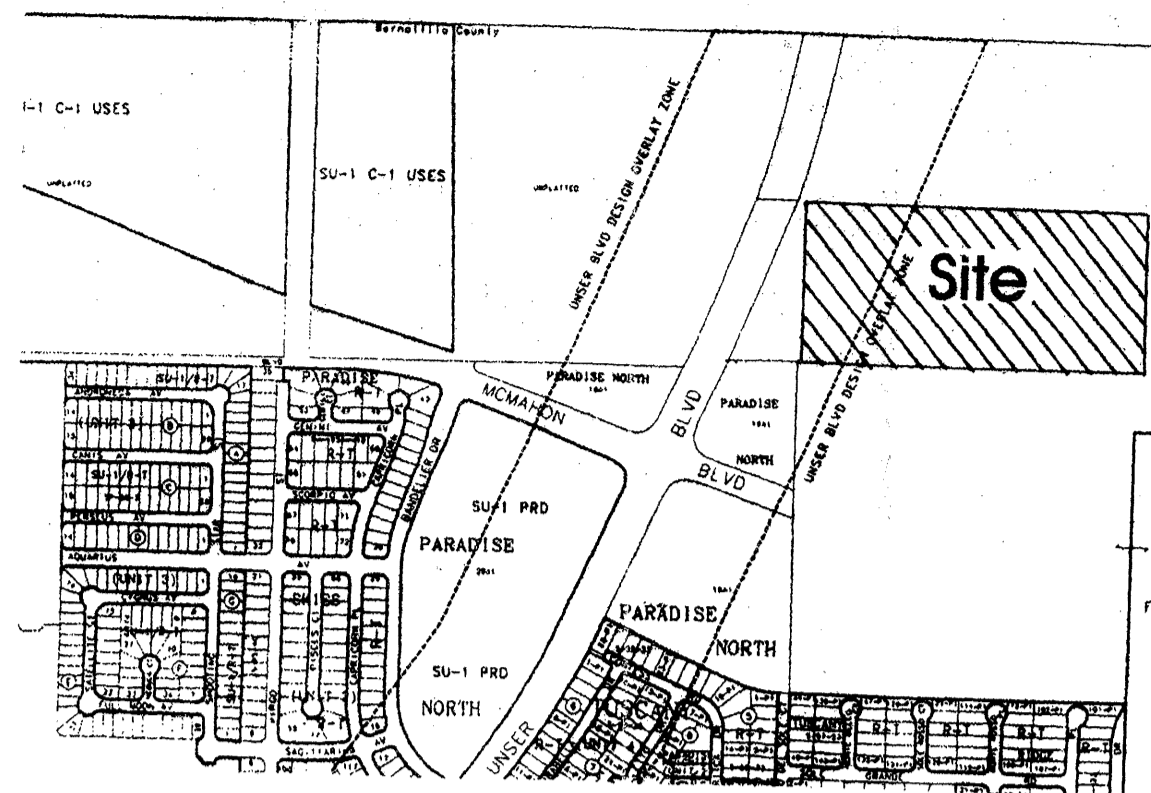


Project #1000898  
EPC #  
DRB #

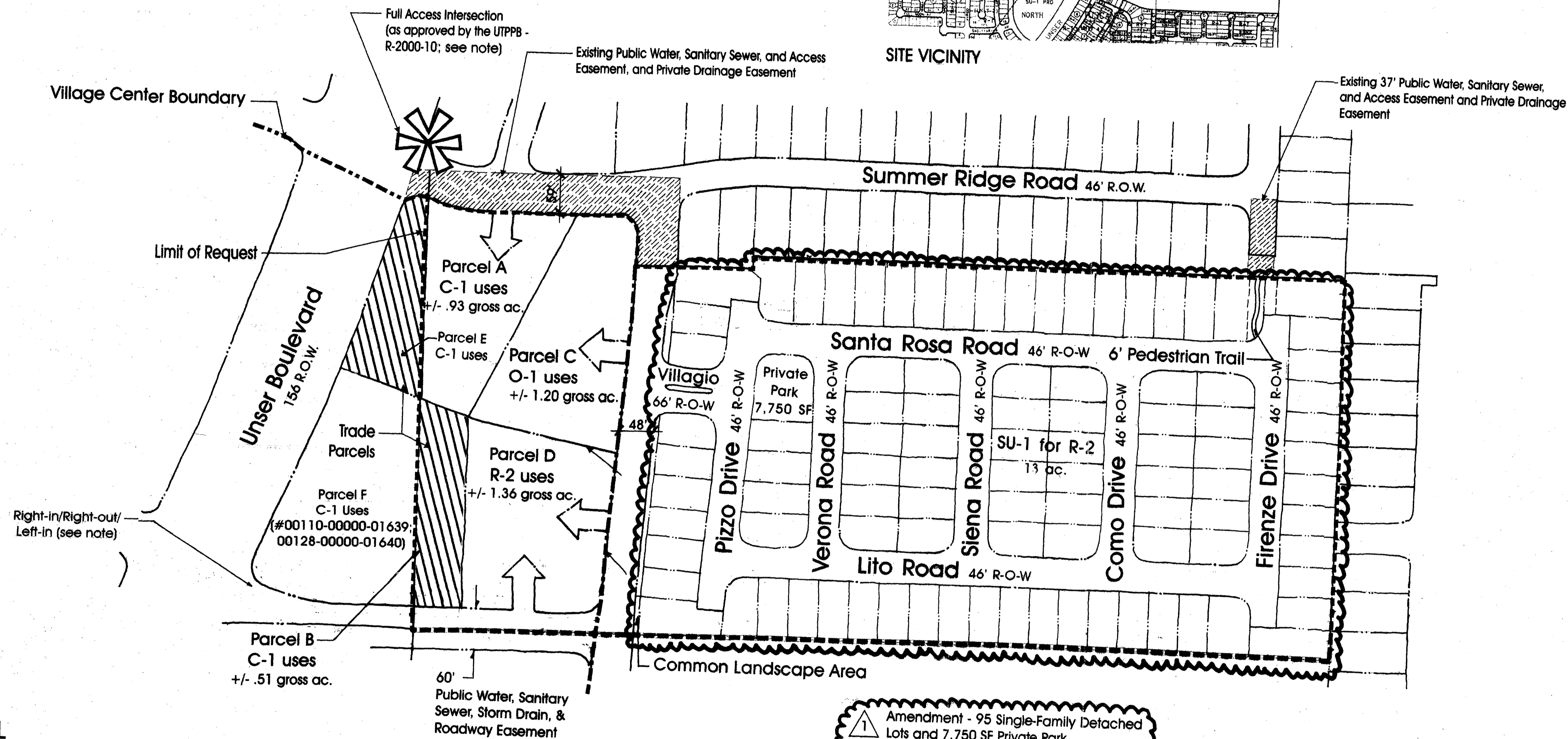
Planning Department	Date
Transportation Development	Date
City Engineer	Date
Utility Development	Date
Parks and Recreation Department	Date

PROPERTY COVERED BY THIS SITE PLAN FOR SUBDIVISION  
TOTAL ACREAGE:  
17.0 GROSS ACRES

30' ACCESS POINTS



SITE VICINITY



**APPROVAL**

Project #1000898; EPC 00128-00000-01514; DRB 01450-00000-01599  
THIS SITE PLAN FOR SUBDIVISION IS CONSISTENT WITH THE SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON JANUARY 18, 2001 AND CONDITIONS OF APPROVAL HAVE BEEN MET.



Amendment - 95 Single-Family Detached Lots and 7,750 SF Private Park

Parcel	Land Use	Gross Acres
A	C-1	.93
B*	C-1	.51
C	O-1	1.20
D	R-2	1.36
TOTAL VILLAGE CENTER		4.00

\*Parcel B is proposed to be traded with an equal size parcel in #00110-00000-01639; 00128-00000-01640.  
Parcels A and E, and Parcels B and F will be replatted in order to be combined prior to development of these parcels.

In order to provide access to all tracts, the plat shall establish cross-lot blanket access and public utility easements for all tracts. There will be no direct access to Unser Boulevard (see note regarding UTPPB Resolution 2000-10).

**SITE PLAN FOR SUBDIVISION**

**REQUIRED INFORMATION:**

The Site: The site consists of 4.0 acres within the Unser/McMahon Village Center, zoned SU-1 for Mixed Use, and 13 acres outside the Village Center, zoned R-2 for R-2.

Proposed Use: Zoning on this property was approved by the Environmental Planning Commission on January 18, 2001 (00110-00000-01623) as follows:

- SU-1 for Mixed Use Development: 4.0 acres
  - C-1 Permissive Uses, excluding automobile related retail and service uses and drive-up facilities including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales for on premise consumption (maximum 1.4 acres);
  - O-1 Permissive and Conditional Uses; and
  - R-2 Permissive and Conditional Uses (minimum of 35% of the gross property area).
- SU-1 for R-2: 13.0 acres

Pedestrian and Vehicular Ingress and Egress:  
Trails: There is a proposed trail along Unser Boulevard per the Trails and Bikeways Master Plan.

Vehicular Access: In accordance with the Transportation and Land Use Guide for the Westside/McMahon Corridor, the Site Plan identifies an internal circulation system of collector and local roads. Conceptual access points have been identified; final locations, width, and configuration shall be determined with future Site Plans for Building Purposes.

Pedestrian Access: Pedestrians shall access the Village Center from several points around the perimeter of the site. Pedestrian access shall also be provided into the R-2 neighborhood east of the Village Center to ensure easy connections from the R-2 uses to the Village Center.

Bicycle Access: A bicycle trail is planned along Unser Boulevard west of the subject property. Also, pursuant to the West Side Strategic Plan, the internal collector streets will have on-street bicycle lanes.

Transit: A major transit stop is proposed at the eastern edge of the Village Center per Westside/McMahon Land Use and Transportation Guide. This location will have excellent access to the Village Center and the R-2 neighborhood to the east.

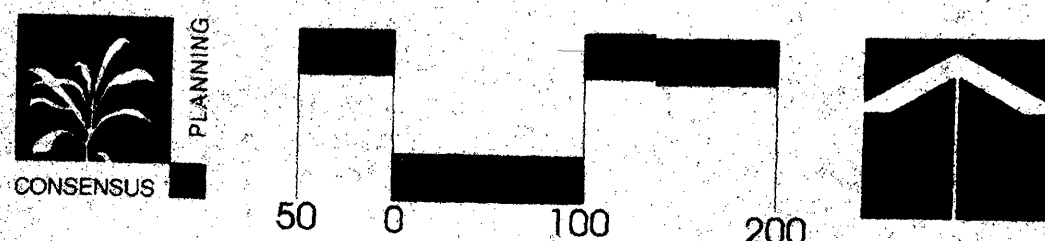
Landscape Plan: The Design Guidelines (see Sheets 2 and 3) outline the landscape requirements for the Village Center. A minimum of 15 percent of the site shall be landscaped.

Note: The access policy for Unser Boulevard was amended by the UTPPB Resolution 2000-10 to allow a full access intersection on Unser Boulevard approximately 1,200 feet north of McMahon Boulevard, and two additional limited access points (right-in/right-out/left-in) on Unser Boulevard approximately 700 feet north and south of the Unser/McMahon intersection. This policy has been implemented through the full access intersection at Unser Boulevard and Summer Ridge Road and the limited access point south of Parcel F, east of Unser Boulevard.

**SITE PLAN FOR SUBDIVISION**  
**Unser/McMahon**  
**Village Center North**

Planning Department	12/20/01
Transportation Department	12-14-01
City Engineer	11/14/01
Utility Development	11-14-01
Parks and Recreation Department	

Scale: 1" = 100'



Prepared For:  
Unser/McMahon Group  
PO Box 372  
Cedar Crest, NM 87008

Prepared By:  
Consensus Planning, Inc.  
924 Park Avenue SW  
Albuquerque, NM 87102

October, 2001

## DESIGN PARAMETERS

The purpose of these Design Parameters is to provide a framework to assist developers and designers in understanding the development goals and objectives for the Unser McMahon Village Center. Additional guidelines are also provided for the adjacent R-2 areas outside of the Village Center. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for this property. They are designed to be consistent with the conditions of approval set by the Environmental Planning Commission on September 18, 1998 (Z-97-119, Z-97-120); the Westside/McMahon Corridor Transportation and Land Use Guide, April, 1999; and the Westside Strategic Plan.

Each category is organized in terms of Standards (items which are required) and Guidelines (items which are encouraged). Where there is a conflict between City Codes or Ordinances and the Design Parameters, the more restrictive requirements shall apply.

## SITE DESIGN

The creation of a pedestrian-friendly environment is dependent upon close attention to the relationship between buildings and streets. Pedestrian activity is discouraged where the buildings are placed in the center of the site, surrounded by parking, and without pedestrian connections between the structure and the street. The following standards and guidelines apply to commercial, office, and apartment developments, and were created to encourage the use of pedestrian, bicycle, and transit modes and the opportunity for reduced automobile use:

### General

#### Standards:

- Cluster buildings on the site. A concentrated density of buildings will offer a greater sense of Village Center than a one-building per lot configuration.

- A public plaza or courtyard space around which buildings can be clustered and linked to one another shall be created. The plaza should be attractive, lively, and a useful asset to the community. Plaza areas are appropriate for outdoor dining.

- Building access and entries must be easily accessible from the surrounding buildings and should be visible from the street through open passages (such as garden courts).

- Entryways shall be clearly defined, by either a canopy or inset (minimum 4 feet), and linked to the pedestrian pathways.

- Parking located adjacent to Unser Boulevard, McMahon Boulevard, and all internal streets shall be screened by buildings or a combination of landscaping, walls/fences, and earthen berms. Screening shall be compatible with edge treatments at adjacent properties.

- Buildings and structures erected within the site shall comply with all applicable City of Albuquerque Zoning and Building Codes, as well as other local codes and ordinances.

- The adopted wall design guidelines by the City shall apply.

- All loading docks shall be screened and covered with architecturally integrated walls and roofs.

- Any exterior storage and sales areas shall be architecturally integrated to the main building by use of walls, roofs, and fencing.

- No chainlink, razor-wire, or vinyl plastic fencing shall be permitted.

- The plaza area shall have a minimum dimension of 30 feet in depth and shall be a minimum square footage of 1000 square feet.

- Public areas shall be defined by building edges, a differentiation in intersection paving and landscaping at a variety of scales. The design and location of appropriate amenities (such as seating, outdoor display, and newspaper kiosks) should also be used to enhance public areas.

- Buildings shall be oriented to front on internal streets to reinforce the street edge.

#### Guidelines:

- Open courtyard designs shall be used to form transitions between parking areas and building facades.

- Open courtyards should include pedestrian activity areas, bicycle storage, ATM kiosks, and/or support for other activities to encourage multi-modal transportation and a community friendly environment.



SHADED PEDESTRIAN AREAS

environment.

- Plazas, courtyards, and other outdoor activity or seating areas shall be significantly shaded from summer sunlight by tree canopies or architectural devices.

- Public entries to the project shall be designed to:

- be compatible with one another
- create a sense of arrival
- provide strong visual impact
- provide a unified project identification

- The inclusion of an outdoor cafe or a restaurant with seasonal outdoor seating in the commercial area shall face the interior roads, plaza, courtyard, or the focal areas.

### Accessibility & Safety

Design for accessibility at all facilities and outdoor public areas. For the safety and ease of use by all modes of travel, it is important to separate cars, pedestrians and bicycles to the extent possible. The planning and design phases of the project need to include sufficient design consideration to separate circulation and provide visitor convenience.

#### Standards:

- The Americans with Disabilities Act, the American National Standards for Accessible and Usable Buildings and Facilities, and the New Mexico Building Codes for accessibility criteria for places of public use shall be consulted.

- Close attention shall be paid to ramps and to how the entire site may be traversed. Private pedestrian linkages shall align with public paths to connect and integrate all building sites. The maximum gradient of any ramp shall not exceed 8.33 percent.

- Entrances and exits to buildings shall be flush.

- A constant elevation shall be maintained at all curb cuts and junctions between driveways and pedestrian sidewalks for compliance with ADA standards.

- All exterior landscape, streetscape, and building elements shall be designed to have minimal visual obstruction to their surrounding areas in order to maintain a safe degree of visual surveillance.

- Interior public areas shall have visual access to exterior activity areas for additional surveillance.

#### Guidelines:

- Exterior children's play areas shall be located where surveillance can occur from multiple directions.

### Circulation

#### Standards:

- Pedestrian access shall be separated from vehicular access. Driveways shall not be considered an acceptable form of pedestrian access to buildings or outdoor activity areas.

- All sidewalks designated as 4 feet or 6 feet shall be a minimum of 4 feet clear or 6 feet clear with shade trees at 25 feet on center in 5x5 planters or landscaping areas.

- All buildings shall be connected to the internal street and external street with pedestrian ways with 6 foot or 4 foot clear sidewalks with 5x5 planters.

- Private driveways into the Commercial, Office or Multi-Family sites shall not exceed a width of 32 feet for two way traffic, or 20 feet for one way traffic.

- Bicycle parking shall be provided to promote alternative vehicle use as follows:

- Office & commercial: for employees, one bicycle rack space per 20 parking spaces
- Multi-Family residential: for residents, 1 space per 2 dwelling units

- Six foot sidewalks shall be provided along all roadways. All other sidewalks shall be a minimum of 4 feet in width.

- Parking areas shall be designed to include a pedestrian link to the street sidewalk network and pedestrian access shall be provided to link structures to the public sidewalk.

- Trail connections shall be provided within the interior roadway to the City-planned trail along Unser Boulevard.

- Pedestrian connections shall be provided to the major transit stop along the new, eastern-most, north-south roadway (see Sheet 1).

- A different paving material, color, and/or patterning shall be provided at all crosswalks to bring attention to them visually and tactically for safe pedestrian crossing.

- Per the City Zoning Code, 1 parking space per 200 square feet of leasable space is required for commercial parcels. For office parcels, 1 parking space per 200 square feet of leasable space is required for ground floor area and 1 parking space per 300 square feet of leasable space is required for all other floor area. The minimum off-street parking requirement for apartments is 1 parking space per bath, but no less than 1.5 spaces per unit. Parking for single family or townhouse developments shall be per the R-T zoning requirements.

- There shall be no parking requirement applied to any second floor housing above retail.

- The parking requirements shall be the minimum is the maximum.

- Landscaped islands shall be distributed throughout parking areas.

- There shall be barrier curbs around landscape islands in parking areas in order to protect landscaping from vehicles.

#### Guidelines:

- Parking shall be broken into smaller areas rather than one large parking lot where practicable. Long stretches of parking facilities adjacent to the streets should be avoided whenever possible. Screening may include earth berms, perimeter or retaining walls, and landscaping, with a maximum height of 3 feet.

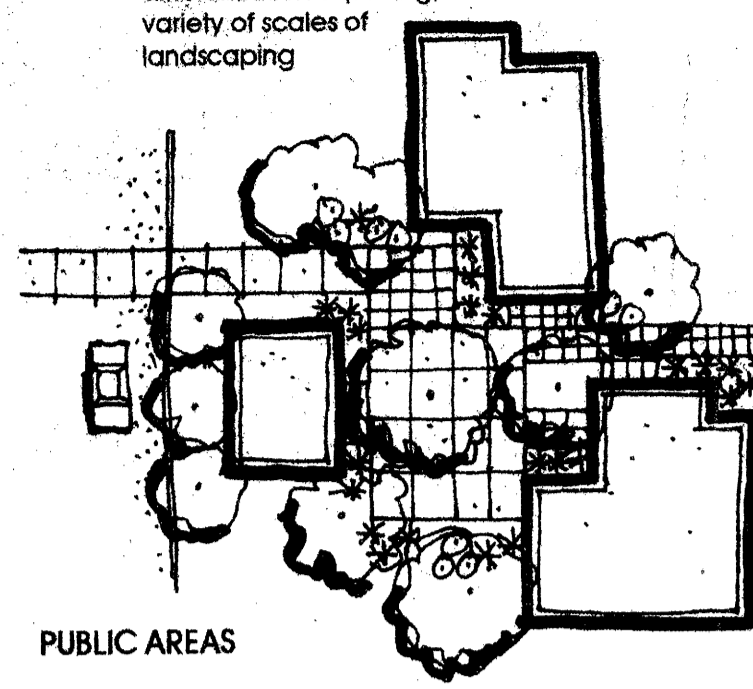
### Transportation Demand Management (TDM)

Future employers that locate within the Unser McMahon Village Center who have more than 50 employees will be required to set up a TDM program. The purpose of the TDM plan is to provide employees with alternatives to the single-occupancy vehicle as a means to commute from home. The following elements will be part of a TDM effort at Unser McMahon Village Center:

- On parcels with businesses that have more than 50 employees, lockers, showers, and bike racks must be available on each parcel for those employees who wish to jog, walk, or bicycle to work via one of the bicycle trails that are in close proximity to the Unser McMahon Village Center.

- Businesses with more than 50 employees should consider appointing a Commuter Management Coordinator (CMC) for the purposes of facilitating carpools and providing premium parking spaces for those employees who participate.

Defined by building edges, differentiation of paving, variety of scales of landscaping



PUBLIC AREAS

- Businesses with more than 50 employees shall provide bulletin board space in their employee breakroom as an "information center" where material, particularly relevant City Transit information, policies, and plans can be posted.

- The CMC Coordinator for each employer with more than 50 employees will also be the contact person with City Transit and Environmental Health Departments for updates, technical assistance, etc.

- A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the commercial center is reached. A Transportation Management Association should be organized for all of the businesses within the commercial center.

- A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the office development is reached.

As a part of the TDM Program, City Transit should:

- Provide bus routes off of McMahon Boulevard and into the interior of the project once McMahon and Unser Boulevards are constructed.

- Sun Tran shall work with the residential and non-residential projects to provide efficient routes and schedules to the Unser McMahon Village Center that address their specific needs.

### Setbacks

#### Standards:

- The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, and walls.

- All building setbacks shall be landscaped according to the landscape guidelines (see Landscape section).

- Perimeter awnings, arcades/portals, garden court walls and overhangs shall be allowed within setbacks.

- Drive aisles and parking shall not be permitted in the 40 foot setback between the front entry and the building and sidewalk along internal streets.

Buildings in commercial and office zones shall have minimum setbacks as follow:

- 20 feet from the R.O.W. line of Unser and McMahon Boulevards.

- 15 feet from R.O.W. line of the interior road (the maximum setback of building entries from internal streets to the front entry of the building shall be 40 feet) and/or property line of a residential zone.

- 10 feet from the property line of a commercial zone.

Parking areas shall have minimum setbacks as follow:

- 25 feet from the R.O.W. line of Unser and McMahon Boulevards.
- 15 feet from the R.O.W. of interior roads.

### Perimeter Walls, Screening Walls & Fences

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of service functions shall be away from any street or pedestrian area. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

#### Standards:

- Perimeter walls shall be provided for multi-family residential development. They shall have a maximum height of 6 feet and are encouraged to meander within the landscape setback.

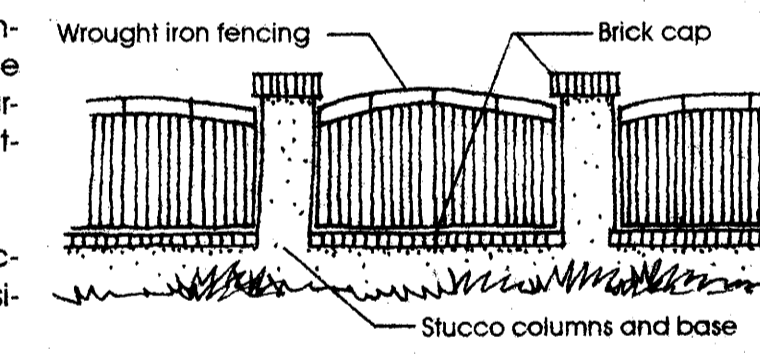
- Pedestrian openings shall be provided for access at key locations within single family residential developments.

- Visual openings shall be provided in perimeter walls every 100 feet at commercial, office, and apartment properties for visual relief.

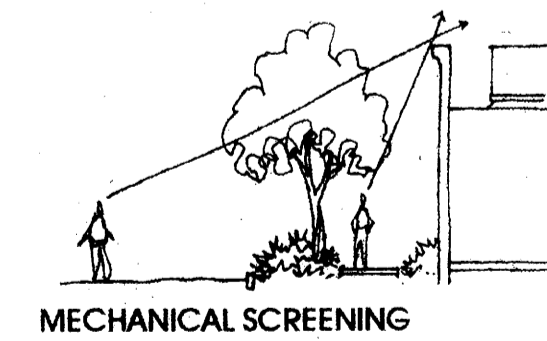
- All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure and large enough to contain all refuse generated between collections. Design and materials of enclosures shall be compatible with the architectural theme of the site.

- Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a wall/fence of no less than 6 feet in height above finish grade.

- Mechanical equipment for commercial, office, and apartment properties shall be fully screened from public view. Screening shall be compatible with materials and design of the building. Loading areas shall be screened from public view by walls, trellises, or landscaping.



PERIMETER WALL DESIGN



MECHANICAL SCREENING

### SIGNAGE & GRAPHICS

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within this property. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety, and to complement the visual character of the development.

#### Standards:

- The developer shall provide entry signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner.

- Freestanding signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.

- No off-premise signs.

#### Signage SHALL:

- be designed to be consistent with and complement the materials, color, and architectural style of the building or site location

- be illuminated in accordance with the City of Albuquerque General Sign Regulations as provided in Section 14-16-3-5 of the Zoning Code. Signs which are directly spotlighted may be used provided there is non-glare on the street or upon adjacent property or that the light does not distract motorists

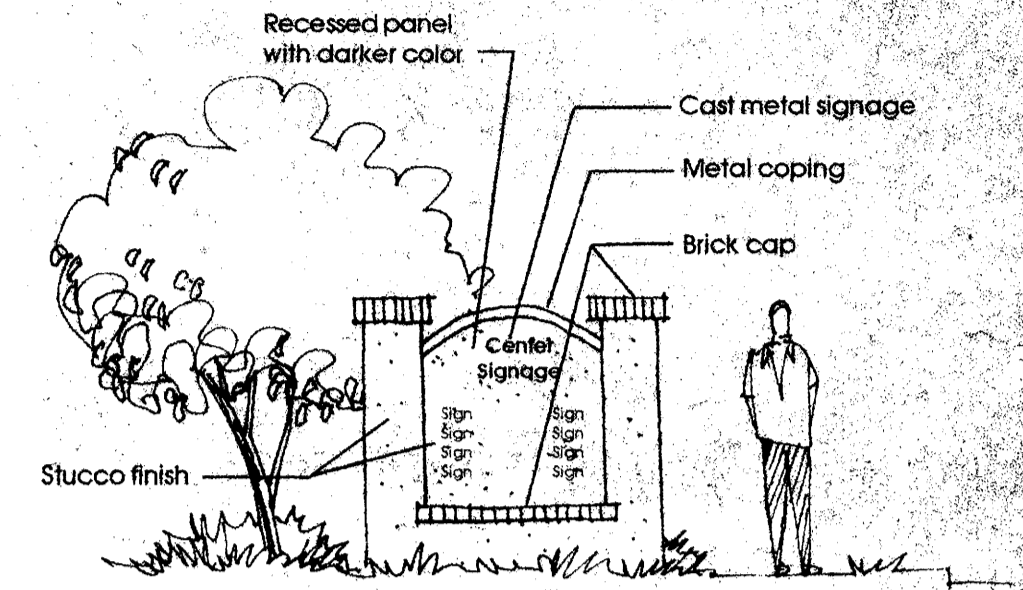
#### Signage SHALL NOT:

- use moving parts, makes audible sounds, or have blinking or flashing lights

- overhang into the public right-of-way, property line, or extend above the building roof line

- intrude upon any architectural features, including windows, columns, moldings or any decorative features

- Two monument village signs are allowed on both sides of Unser and one monument sign is allowed on McMahon as a "landmark" identifying the Center and shall be of similar design and materials as the buildings, i.e. sculpture, tower, etc. The monument village signs shall have a maximum height of 12 feet. The lower portion of this may identify no more than 10 tenants in an area not to exceed 75 square feet. The sign shall be of a similar style and material as the other entry signs in keeping with the project theme.



MONUMENT SIGN DESIGN

- All freestanding signs shall be monument signs only.

- Monument signs are allowed for individual projects within the Village Center. The sign shall be a maximum of 40 square feet with a maximum height of 4 feet. The sign shall be of a similar style and material as the other entry signs.

- Building-mounted signs shall not exceed 6 percent of the facade area, and shall not face abutting single-family residential.

- Wall mounted signs shall not project more than 1 foot from the display wall or exceed an area of 20 percent of that wall or 60 square feet, whichever is less. Canopy and marquee signs shall be included in the total area count allowed for wall signs. Individual channel and neon letters shall be permitted at a maximum height of 3 feet per letter.

- Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than eight square feet. These signs may not project past the overhang.

- No backlit plastic/vinyl signage shall be permitted except for logo designs.

#### Guidelines:

The following guidelines were developed to assist designers in understanding the signage program.

#### Signs SHOULD:

- identify only the name and business of the occupant or of those offering the premises for sale or lease;

- be used at areas of public activity to enhance the visual character of the environment and create a festive atmosphere;

- be integrated into a cohesive system, sharing common colors, shapes, sizes, materials, locations, lettering, etc. where practicable;

- not have too many different colors (too many colors can be confusing and usually fails to communicate the intended message);

- have a significant contrast between the background and the text (if the colors are too close in value or hue the sign will be difficult to read);

- have a minimum of words (a brief message is easier to read and is usually more attractive);

- avoid unusual shapes (the viewers' attention will tend to focus on the shape instead of the message the sign was intended to convey);

- have letters that do not appear to occupy more than 75 percent of the sign area (the sign is harder to read if the type takes up too much of the sign area); and

- should be sized so that pedestrian-oriented signs are smaller than vehicle-oriented signs (a pedestrian-oriented sign is usually read from a distance of 15-20 feet).

# SITE PLAN FOR SUBDIVISION Unser/McMahon Village Center North

Prepared For:

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June 26, 2001

Sheet 2 of 3

## LIGHTING, OUTDOOR FURNITURE & MATERIALS

In order to enhance the safety, security, and visual aesthetics of the property, careful consideration must be given to selection of outdoor furniture, lighting design, site materials and other features. It is important to consider the daytime appearance of all materials.

### Standards:

- Placement of fixtures and standards shall conform to State and local safety and illumination requirements.

- A design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky".

- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.

The maximum height for lighting fixtures shall be:

- 16 feet high for walkways and entry plazas
- 20 feet for street lights and parking area lights (restricted to 16 feet within 70 feet of residential, except residential located above retail shops)

- Sodium lighting is prohibited.

- Site amenities, such as street furniture, lighting, bollards, and graphic pylons shall be part of the landscape plan and shall be compatible with the architectural and landscape treatment of the project.

- Fixture style and design shall be compatible and consistent with the lighting design of other projects within the development. Exterior lighting fixtures should relate stylistically to the architecture of the adjacent buildings. Fixture color for street lighting should complement the architecture.

- At primary activity areas (such as at the Unser McMahon Intersection), paving shall have some attractive features beyond standard asphaltic or concrete slabs, such as changes in material, texture, pattern, and/or color. Where concrete slabs are used, they should be patterned, stained, integrally colored, and/or inlaid with tile.

- Asphalt shall be avoided in all areas except parking areas and bicycle trails. Use of alternative materials for these areas is encouraged.

- The major transit stops shall include shelter facilities, benches, lighting, and bicycle storage (see sheet 2).

### Guidelines:

- Spread lighting fixtures shall be used to accent landscape and walkways as is the use of uplighting fixtures to highlight trees, walls and architectural features.

- Outdoor furniture shall be colorful. Where appropriate, glazed tile, integrally colored concrete, and stained concrete surfaces should be used to offset furniture at focal areas.

- Outdoor materials shall be chosen for their durability and resistance to weathering.

- Exterior elevations of any building fronting a street shall be feature lighted to enhance the identity of the building and the appealing ambience of the Village Center.

## ARCHITECTURAL DESIGN

Specific architectural style shall not be dictated. The design shall, however, demonstrate a high quality aesthetic character throughout the property. Architectural design should respond to climate, views, solar access, and aesthetic considerations, with the architectural design being in harmony with adjoining projects. The following shall apply to all commercial, office, and apartment uses within the Village Center:

### Standards:

- The height for commercial, office, and residential development can be greater than 26 feet provided that the height falls within the 45 degree angle drawn from the property line and adjacent public right-of-way centerline or drainageway right-of-way center line.

- No generic franchise elevation design shall be allowed.

- Open courtyards shall be created in the residential areas by offsetting buildings 15 feet to 30 feet to create a variety of spaces and a variation in human-scale.

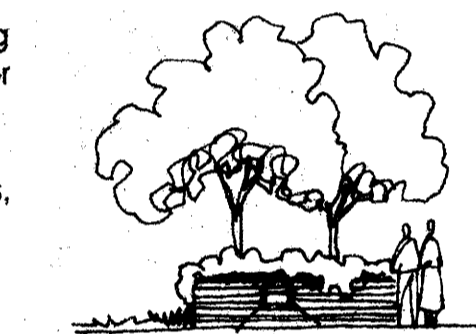
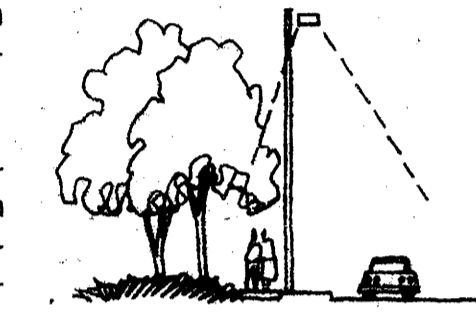
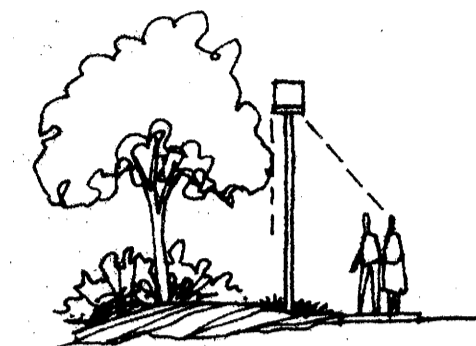
- Commercial and office uses shall be horizontally connected in a variety of ways through the use of arcades or portals, controlled plaza elements, outdoor cafes, pavement, or sitting areas.

### Guidelines:

- Buildings shall employ a variety of structural forms to create visual character and interest. Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways, vertical fins, wall recesses, soffits, and deciduous tree canopies should be carefully dimensioned and detailed to provide a human-scale, visual interest, and a means of shading building facades while lending color and formal articulation to the buildings.

- Roof forms including vaulted roofs, compound roofs, or sloping roofs may be considered for particular uses. The massing of roof expanses should be distributed among a variety of volumes, introducing the use of domes, extended vertical forms, and the use of a combination of flat roofs and sloped roofs.

- Mixed-use development (i.e. residential with commercial, commercial with office, etc.) is permissive.



LIGHTING

## Facades

### Standards:

- No plastic or vinyl building panels or awnings shall be permitted.

- Buildings shall have windows on the front elevations. The windows may be a combination of shop windows or viewing windows on average of 30 feet on center maximum.

### Facades SHALL:

- vary in height, depth and articulation to create a pedestrian-scaled environment

- be articulated with a variety of architectural elements, colors and materials so as to lend familiarity, intimacy, and visual complexity to the buildings and to break down facades into perceptually manageable pieces

- have all accessory buildings and enclosures, whether attached or detached from the main building, treated with similar compatible design and materials as the main structure or structures

- be treated with a consistent level of detail at all sides of all buildings and structures

- have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 3 foot minimum offset, fenestration, material change, etc.) The staggering of planes should be used to create pockets of light and shadow, providing relief from monotonous expanses of facade.

### Guidelines:

- Extended architectural detailing of the ground floor elevations from 0 to 10 feet, including color or texture variations, the architectural expression of expansion joints as reveals, door and window articulation and architectural accents, shall be used in order to enhance the pedestrian level experience.

## Roofs & Parapets

### Guidelines:

- Roof structures shall vary in type, profile and/or scale according to the dissimilarity of use or function.

- Roofs shall drain water to areas which are landscaped appropriately for such run-off, and shall drain to areas which are not heavily-travelled.

- The top of the parapet shall be greater than or equal to the top of all HVAC equipment and that should include screen walls.

- All canopies, roof structures, and design elements of related buildings shall be architecturally integrated to the main building design.

- The parapets of flat roofs shall maintain a consistent character, but shall vary in height in accordance with overall facade variations and individual building articulation. Building edge treatments shall step down, reducing the scale of the building towards the street, to relate to the scale of the pedestrian.

## Entryways

### Standards:

- Entries shall be clearly defined and connect to pedestrian linkages.

- Entries shall be visually noticeable and obvious to pedestrians approaching from parking areas through the differentiation of form, scale, material & color.

- Extended overhangs, porticoes or substantial recesses shall be incorporated into the facades of the building in order to provide shade, shelter and a sense of arrival.

### Guidelines:

- Building entries shall be substantially glazed for visual connection between interior and exterior, as well as to mediate the potentially high contrast between dark interior and bright exterior spaces.

- Entryways shall be accented with lighting to enhance the perception of surface variety.

## Fenestration & Shading

### Guidelines:

- The scale, proportion, and composition of fenestration of facades shall be designed to give visual interest from the exterior, to provide variation in quality of light on the interior, and to coordinate with the lighting requirements for each activity area.

- Buildings shall be oriented to take advantage of heat gain in the winter while coordinating with shading strategies to inhibit solar gain in the summer.

- Buildings shall not obstruct solar access to neighboring residential structures.

## Building Materials & Colors

### Standards:

Materials prohibited as the main architectural feature include the following:

- exposed, untreated precision block or wood walls
- highly reflective surfaces
- chain link fence or barbed wire
- metal paneling
- materials with high maintenance requirements

### Guidelines:

- The use of contrasting colors between roofs and walls shall be used to further differentiate the planes of building masses.

- Colors shall be the natural tone of materials (earthtones such as sands, creams, tans, etc.) rather than applied color (painted), except where used as an accent color.

- Accent colors and materials can be used to bring out detailing which better articulates or gives scale to a building including the colors of glazed tile, wood trim, tile roofing, paint, metal, etc. Accent colors at stairs, balconies, and perimeter walls are to be compatible with colors used for streetscape and perimeter walls.

- Color shall be used to highlight important features or details of buildings and color should be an integral design consideration to all building, paving and landscape elements.

- Color can unify or differentiate buildings. The use of color to unify or differentiate buildings or building components should coincide with the relative relationships of interior functions or the differing functions of buildings.

## UTILITIES

### Standards:

- All electric distribution lines shall be placed underground.

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.

- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.

- Refuse enclosures shall be located in areas of low visual and olfactory impact, where practicable. No refuse collection areas shall be allowed along streets and building fronts.

- Any cell towers shall be concealed and architecturally integrated.

## LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the entire property. To achieve a cohesive development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

### Standards:

- Landscape materials shall be used as a transition between land uses, with specific attention given to the transition between residential and non-residential uses. A minimum landscape buffer of 10 feet shall be provided between a change in uses.

- Street trees shall be provided along Unser and McMahon Boulevards, and new interior roads at a rate of one tree per 25 linear feet. Street trees are defined as being within 20 feet of the back of curb. They may either be randomly or consistently placed. For single family or townhouse developments, there shall be one tree per lot.

- Landscape design along the right-of-way shall be consistent throughout the development. Landscape elements that reinforce the street edge are encouraged.

- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.

- The shading of pedestrian ways and the use of pedestrian-scaled lighting along the roads are critical.

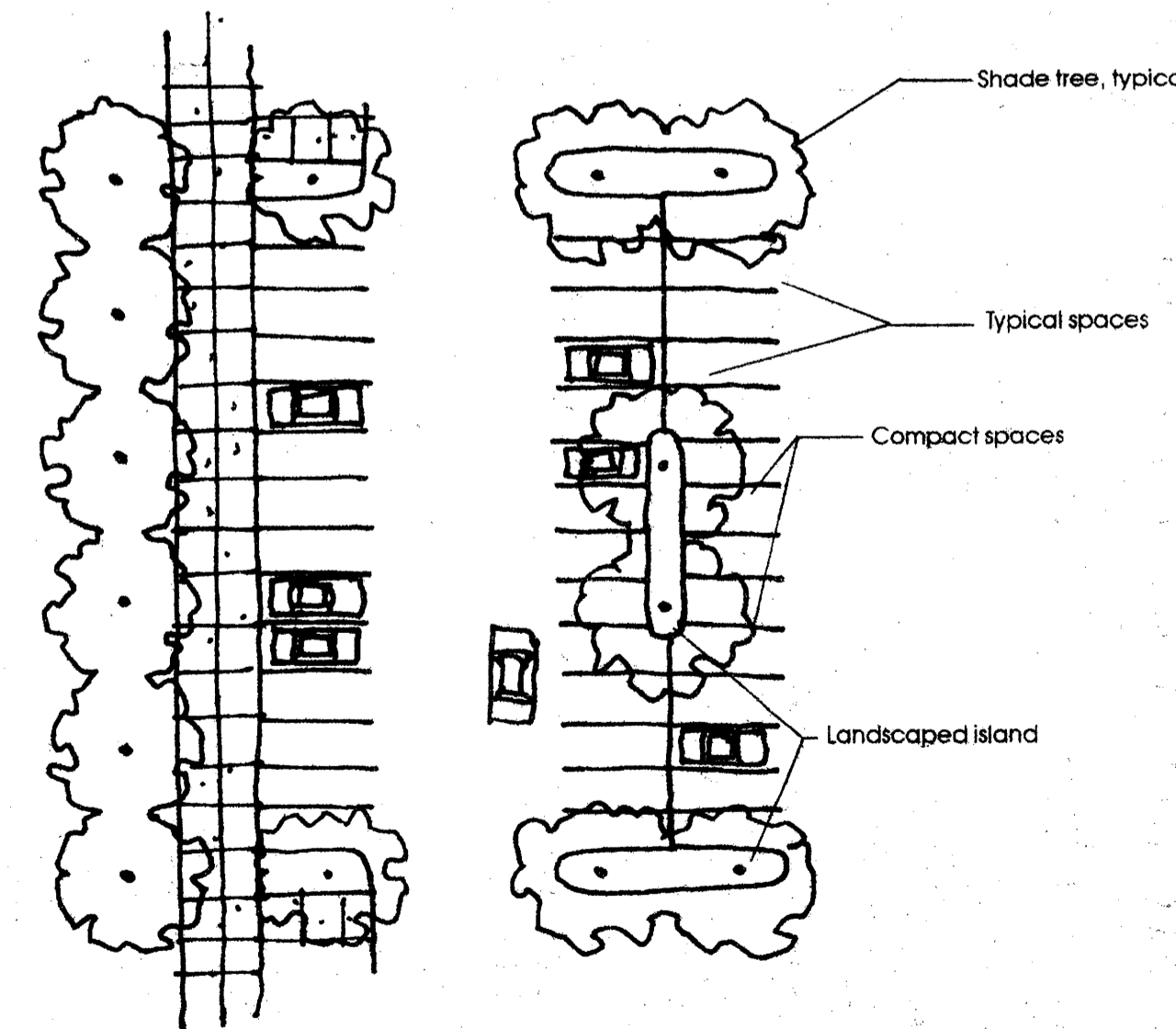
- All interior pedestrian connections shall be lined with shade trees planted a maximum of 30 feet on center.

- Living, vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant materials.

- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or another similar material which extends completely under the plant material, however, these materials shall not be used as a focal landscape element.

- Landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6' x 6' concrete, brick (side by side), or 1/8" x 4" steel construction.

- To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each 8 parking spaces with no space being more than 80 feet from a tree.



TYPICAL PARKING LOT LANDSCAPING

- Seventy-five percent of the required parking lot trees shall be deciduous and shall have a mature height and canopy of at least 25 feet.

- A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way within all zones.

- An automatic underground irrigation system is required to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Irrigation components should be checked periodically to ensure maximum efficiency.

- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner will be responsible for the installation and maintenance of the landscape on their property and within the adjacent public right-of-way.

- Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet.

Minimum plant sizes at time of installation shall be as follows:

- Trees 2 inch caliper, or 10 to 12 feet in height
- Shrubs & Groundcovers 1 gallon
- Turf Grasses provide complete ground coverage within one growing season after installation

The following street trees shall be used at the respective locations:

- Unser & McMahon Boulevard Ash sp., Honey Locust sp.
- Internal Streets Golden Raintree, Chinese Pistache

## R-2 PORTIONS OUTSIDE VILLAGE CENTER

The following exceptions to the previous guidelines and standards apply to those residential parcels outside the Village Center, but which are still covered by this Site Plan for Subdivision.

## Circulation

### Standards

- Direct pedestrian connections shall be provided between R-2 development and the Village Center. Connections may be gated and secured for use by apartment residents only.

## Setbacks

### Standards

- Buildings shall have a maximum setback of 70 feet.

## Perimeter Walls, Screening & Fences

### Standards

- Design of perimeter walls, where used, shall be compatible with the architectural theme of the site.

- Visual openings shall be provided in perimeter walls every 100 feet at residential areas for visual relief.

- Unfinished block walls, chain link, barbed or concertina wire, or wood fencing is prohibited.

- The adopted wall design guidelines by the City shall apply.

### Guidelines

- Perimeter walls shall be used at multi-family residential development. They shall have a maximum height of 6 feet and, where used, are encouraged to meander within the landscape setback.

## Signage & Graphics

### Standards

- One monument sign shall be permitted per each roadway frontage for each development. Such signs shall be of similar design and materials as the buildings and shall not exceed an area of 40 square feet.

## Architectural Design

### Standards

- The height for commercial, office, and residential development can be greater than 26 feet provided that the height falls within the 45 degree angle drawn from the property line and adjacent public right-of-way centerline or drainageway right-of-way center line.

## Landscape

### Guidelines

- Street tree types are not restricted to those required within the Village Center.

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Sheet 3 of 3

