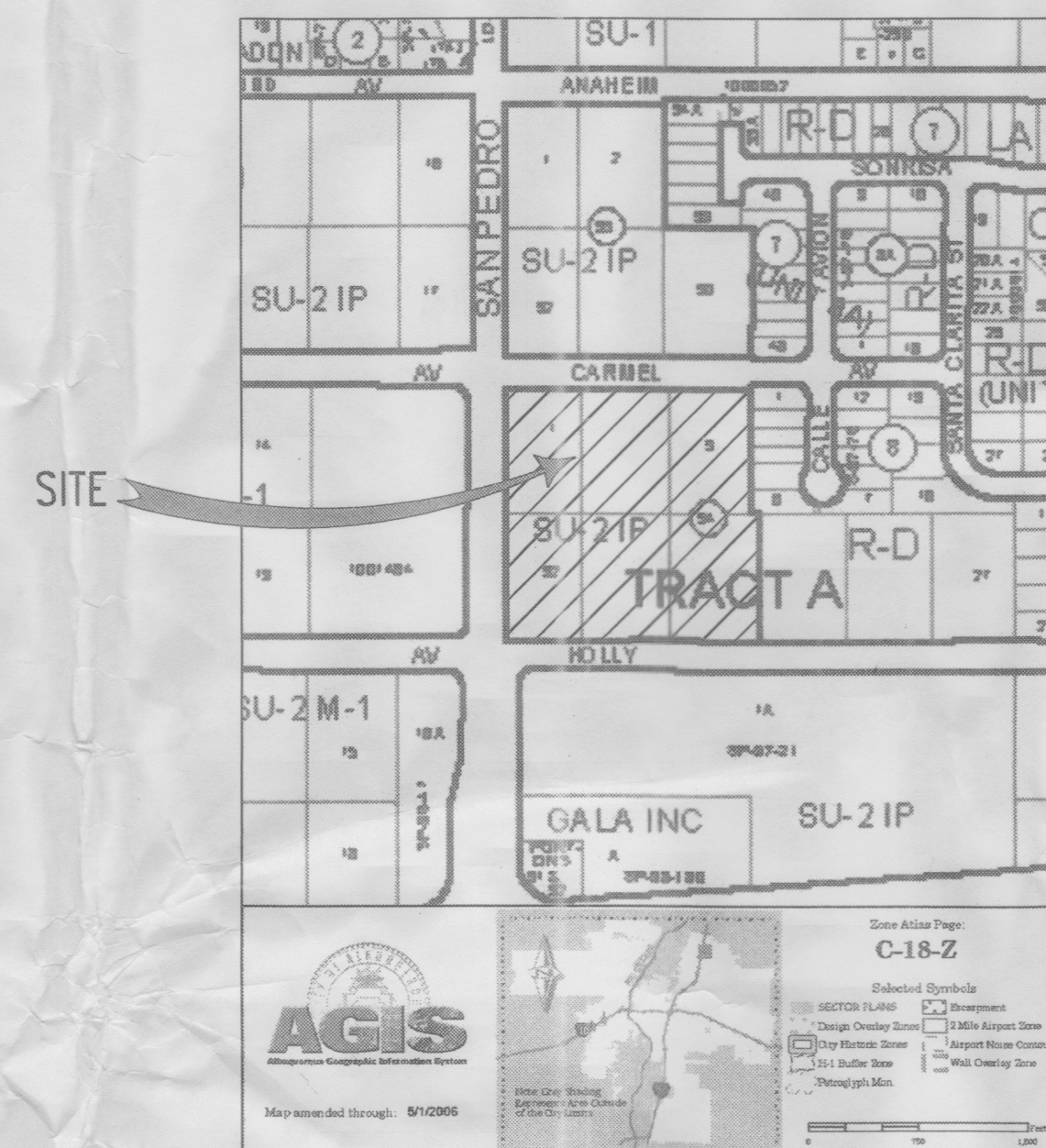


# P A S E O N U E V O

## D R B S U B M I T T A L

### SITE PLAN FOR SUBDIVISION AND SITE PLAN FOR BUILDING PERMIT



VICINITY MAP  
NTS

#### PROJECT DIRECTORY

#### DRAWING INDEX

##### OWNER/USER:

San Pedro Equities  
Land Use Solutions, LLC  
4101 Indian School Rd. NE Suite 400  
Albuquerque, NM 87110  
CONTACT: Josh Skarsgard, CPA (505) 262-2323  
(505) 998-9809

##### CIVIL:

TIERRA WEST, LLC  
8509 Jefferson St NE  
Albuquerque, NM 87113  
CONTACT: JON NISKI (505) 823-1000  
(505) 798-7988 Fax

##### LANDSCAPE:

HILLTOP  
7909 EDITH NE  
P.O. BOX 10630  
Albuquerque, NM 87184  
CONTACT: CARRIE JOHNSON (505) 898-9690  
(505) 898-7737 Fax

##### STRUCTURAL:

Chavez Grieves  
4700 Lincoln NE  
Albuquerque, NM 87109  
CONTACT: Jeff Rosenberg (505) 344-4080  
(505) 343-8759 Fax

##### ARCHITECT:

STUDIO SW Architects, Inc.  
2101 MOUNTAIN ROAD NW  
Albuquerque, NM 87104  
CONTACT: Dave Dekker (505) 843-9639  
(505) 843-9683 Fax

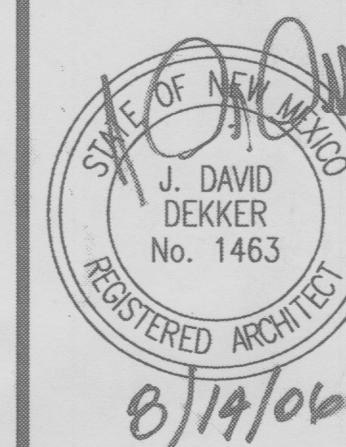
##### DRAWINGS

- G-000 COVER SHEET, DRAWING INDEX, CONTACTS, LOCATION MAP
- C-101 SITE PLAN FOR SUBDIVISION
- AS-100 SITE PLAN FOR BUILDING PERMIT, GROUND FLOOR
- AS-101 SITE PLAN FOR BUILDING PERMIT, 1ST FLOOR
- AS-102 SITE DETAILS
- AS-103 SITE DETAILS
- L-1 PLANTING PLAN
- C-102 GRADING AND DRAINAGE, GROUND FLOOR
- C-103 GRADING AND DRAINAGE, 1ST FLOOR
- A-201 ELEVATIONS
- A-202 ELEVATIONS
- C-104 MASTER UTILITY PLAN
- C-105 DETAILS AND CROSS SECTIONS



CONSULTANTS

Architect Engineer



#### SET NUMBER

PASEO NUEVO  
SAN PEDRO & HOLLY  
ALBUQUERQUE, NM

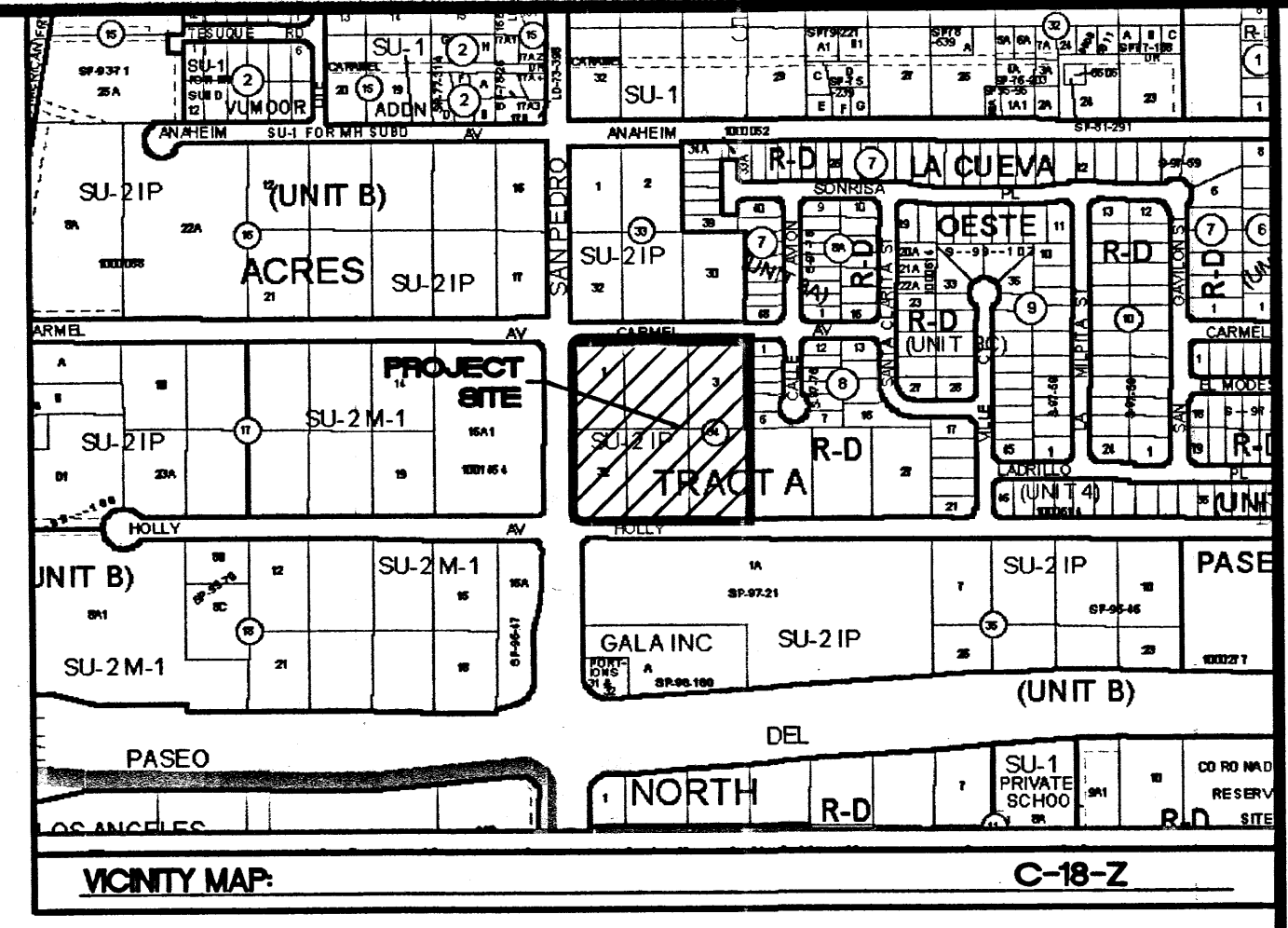
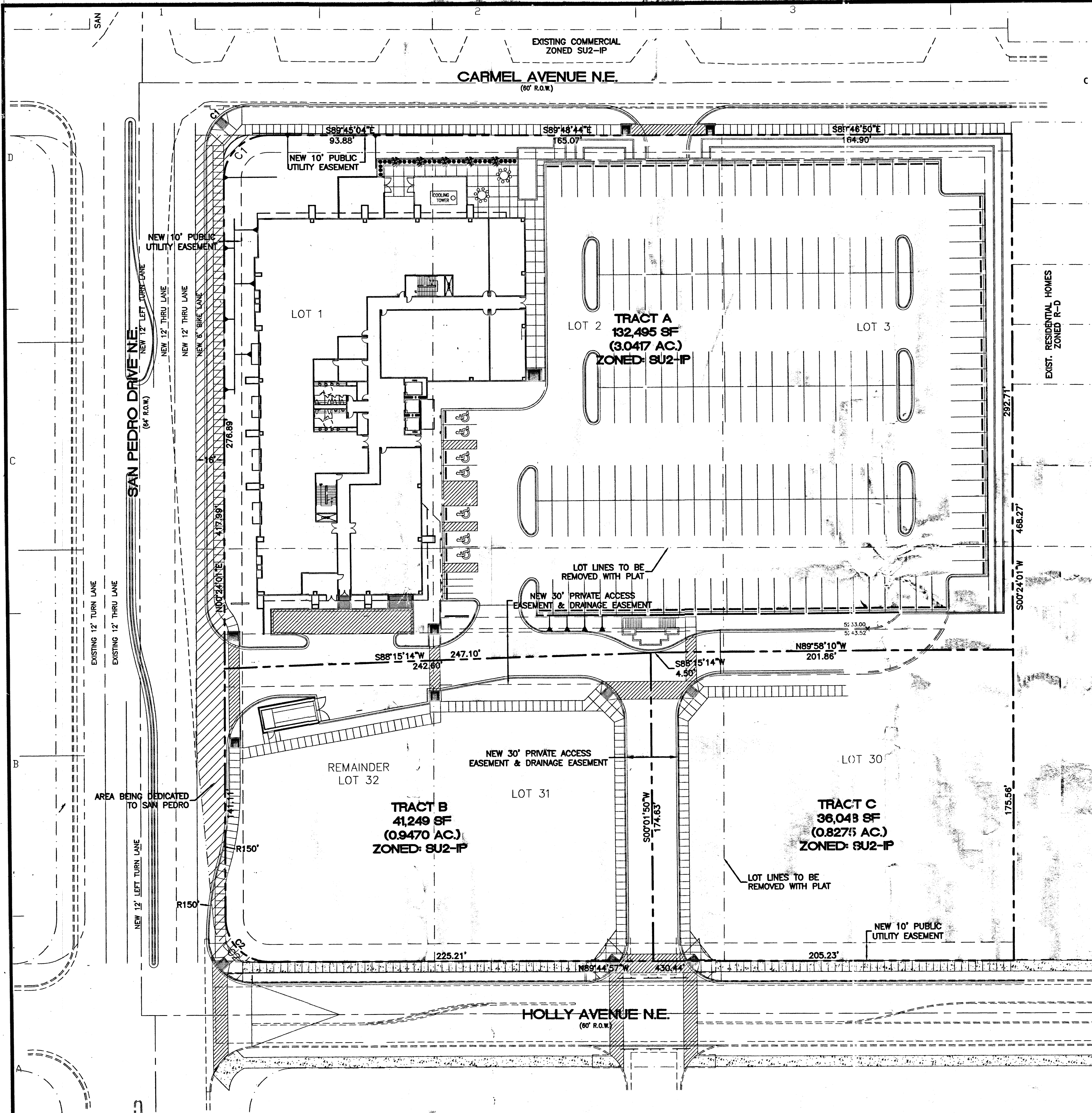
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PROJECT NO:		0424
CAD DWG FILE:		0424-G-000.DWG
DRAWN BY:		MSO
CHECKED BY:		JDD
DATE:		8/16/06

#### SHEET TITLE

COVER SHEET,  
DRAWING INDEX, CONTACTS,  
LOCATION MAP

# G-000

sheet of sheets



**LEGAL DESCRIPTION:**  
 LOTS 1, 2, 3, 30, 31, 32 OF TRACT A, BLOCK 34 OF NORTH ALBUQUERQUE ACRES

- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
  - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
  - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
  - LIGHT POLES SHALL BE A MAXIMUM OF 30' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 30' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
  - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
  - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
  - SETBACKS: 20' FRONT YARD, 10' SIDE AND REAR YARD.
  - BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE IP ZONE OF THE COMPREHENSIVE CITY ZONING CODE.

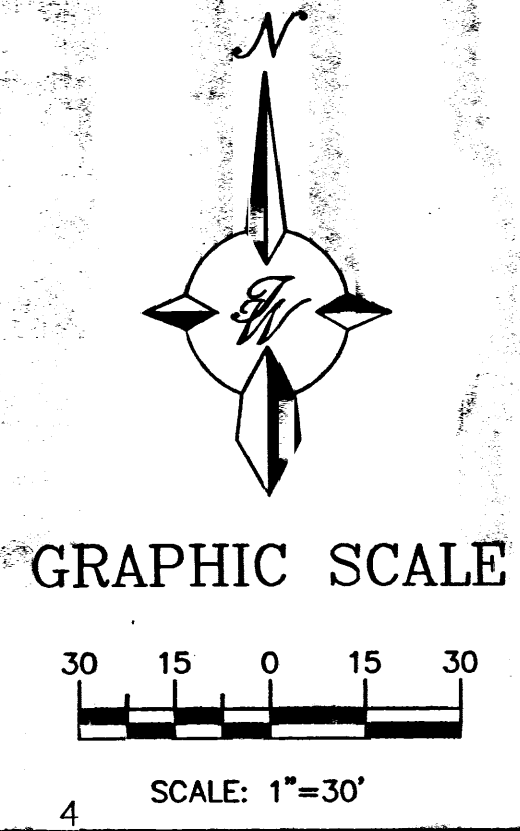
**PROJECT NUMBER:** 1004174  
**APPLICATION NUMBER:** 06 DRB 00884

Is an Infrastructure List required? ( ) Yes (X) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Terra West, Inc. Engineer, Transportation Division	8-30-06
<i>Roger A. Green</i>	8/30/06
Water Utility Development	Date
Christina Sandoval	8/30/06
Parks & Recreation Department	Date
Bradley J. Bingham	8/30/06
City Engineer	Date
N/A	
* Environmental Health Department (conditional)	Date
N/A	
Solid Waste Management	Date
<i>Andrew Garcia</i>	1-4-07
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	39.20'	25.00	24.93	1597.04	N45°17'12"E	35.30
C2	39.34'	25.00	25.07	1603.02	N45°01'06"W	35.41



**STUDIO**  
**SW ARCHITECTS**  
 STUDIO SOUTHWEST ARCHITECTS, INC.  
 2101 Mountain Rd. NW, Albuquerque, NM 87104  
 505.843.9639 fax 505.843.9683  
 Web Site: www.studioswarch.com  
 E-Mail: mail@studioswarch.com

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Architect \_\_\_\_\_ Engineer \_\_\_\_\_

**PASEO NUEVO  
 SAN PEDRO & HOLLY  
 ALBUQUERQUE, NM**

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		24100-SPSE
DRAWN BY:		DY
CHECKED BY:		
DATE:		8/30/06

**ENGINEER'S SEAL**

**PASEO NUEVO**

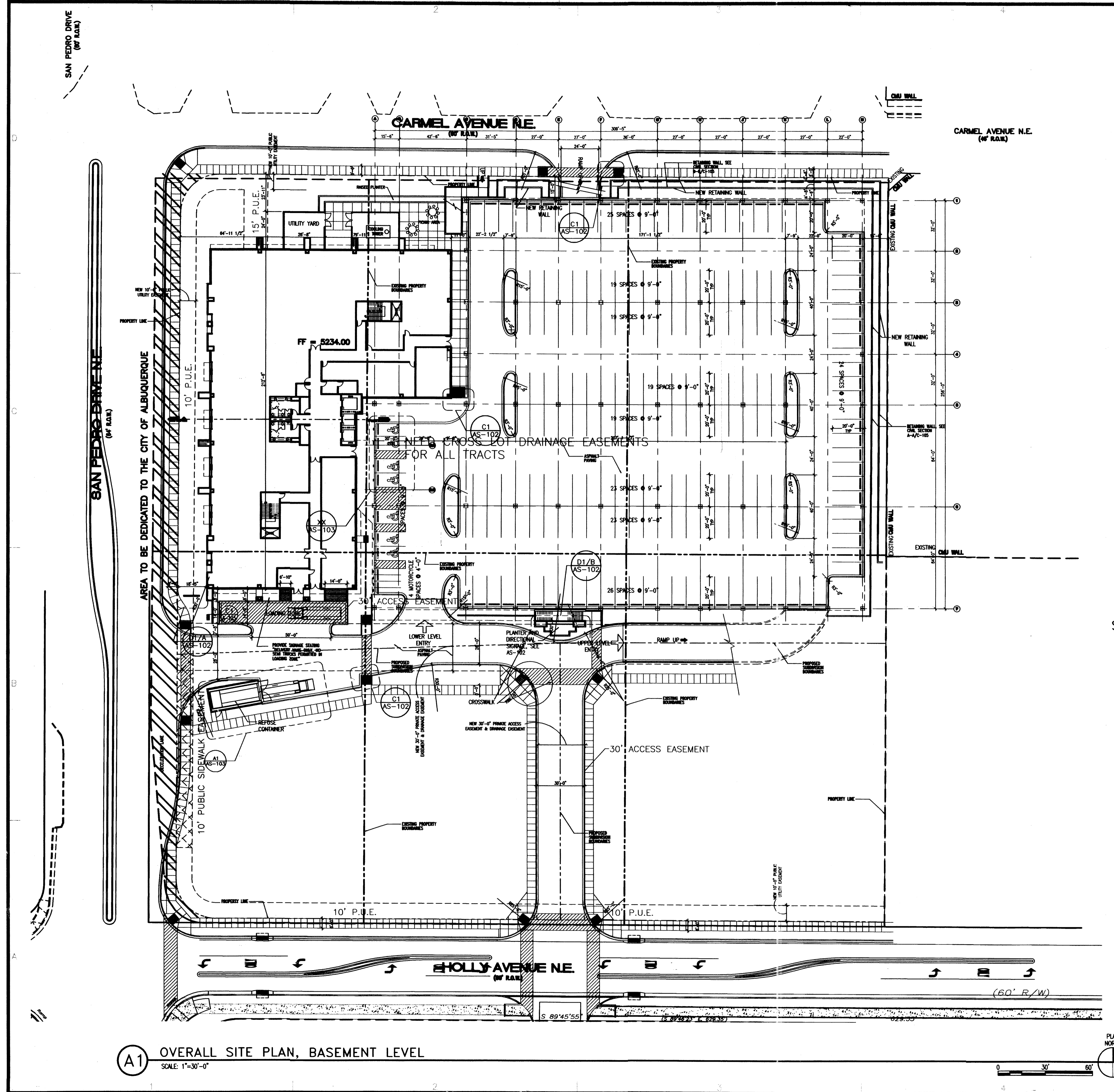
**SITE PLAN FOR SUBDIVISION**

**TERRA WEST, LLC**  
 8509 JEFFERSON NE  
 ALBUQUERQUE, NEW MEXICO 87113  
 (505)858-3100

RONALD R. BOHANNAN  
 P.E. 17868

SHEET TITLE

sheet **C-101** of \_\_\_\_\_ sheets



**A1** OVERALL SITE PLAN, BASEMENT LEVEL  
SCALE: 1"=30'-0"

**GENERAL NOTES**

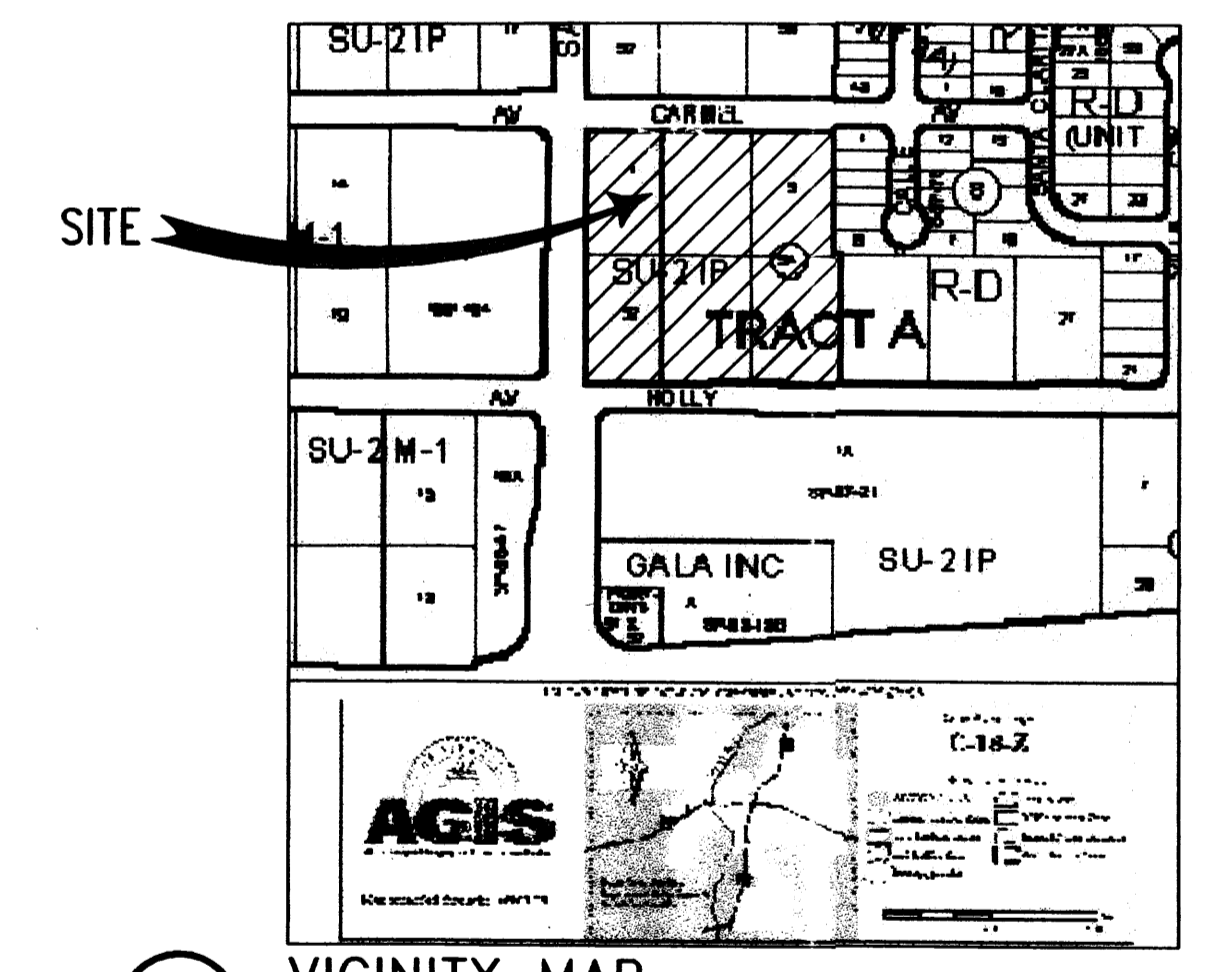
1. PROVIDE ONE H.C. RESERVED PARKING SIGN AT EACH H.C. PARKING SPACE, PER DETAIL M/AS-403.

**SITE CALCULATIONS**

BUILDING SQUARE FOOTAGE	PARKING SPACES REQUIRED
BASEMENT FLOOR TOTAL GROSS SF = 25,723 SF	
BASEMENT FLOOR TOTAL USEABLE SF STORAGE = 2,518 SF	1 SPACE @ 1 SPACE/2,000 SF
BASEMENT FLOOR TOTAL USEABLE SF OFFICE = 15,100	76 SPACES @ 1 SPACE/200 SF
2ND FLOOR TOTAL GROSS SF = 25,100 SF	
2ND FLOOR TOTAL USEABLE SF = 21,762 SF	109 SPACES @ 1 SPACE/200 SF
3RD FLOOR TOTAL GROSS SF = 23,765 SF	
3RD FLOOR TOTAL USEABLE SF = 19,767 SF	67 SPACES @ 1 SPACE/300 SF
4TH FLOOR TOTAL GROSS SF = 24,545 SF	
4TH FLOOR TOTAL USEABLE SF = 21,007 SF	70 SPACES @ 1 SPACE/300 SF
5TH FLOOR TOTAL GROSS SF = 24,336 SF	
5TH FLOOR TOTAL USEABLE SF = 20,710 SF	69 SPACES @ 1 SPACE/300 SF
TOTAL REQUIRED = 392 SPACES	
(368 REGULAR, 24 SMALL) TOTAL PROVIDED = 392 SPACES	
HC REQUIRED = 12 SPACES	
HC PROVIDED = 14 SPACES	
MOTORCYCLE REQUIRED = 6 SPACES	
MOTORCYCLE PROVIDED = 6 SPACES	
BICYCLE RACKS REQUIRED = 19	
BICYCLE RACKS PROVIDED = 20	

**SITE DATA**

TOTAL SITE AREA, LESS 60' R.O.W. FOR SAN PEDRO AND HOLLY OFFICE COMPLEX	= 209,811 SF (4.82 ACRES)
BUILDING FOOTPRINT	= 25,500 SF (12% OF SITE, MAX F.A.R. IS 50%)
FRONT YARD SETBACK (CARMEL AVE.)	= 20' MIN.
SIDE YARD SETBACK (SAN PEDRO DR.)	= 10' MIN.
REAR YARD SETBACK	= 10' MIN.
MAXIMUM BUILDING HEIGHT	= 45' FROM R.O.W., 120' MAX
<b>PARKING STRUCTURE OPEN AREA PERCENTAGES</b>	
NORTH SIDE PERCENTAGE OF OPEN AREA	= 72% OPEN
EAST SIDE PERCENTAGE OF OPEN AREA	= 69% OPEN
SOUTH SIDE PERCENTAGE OF OPEN AREA	= 69% OPEN
WEST SIDE PERCENTAGE OF OPEN AREA	= 19% OPEN
TOTAL PERCENTAGE OF OPEN AREA	= 56% OPEN



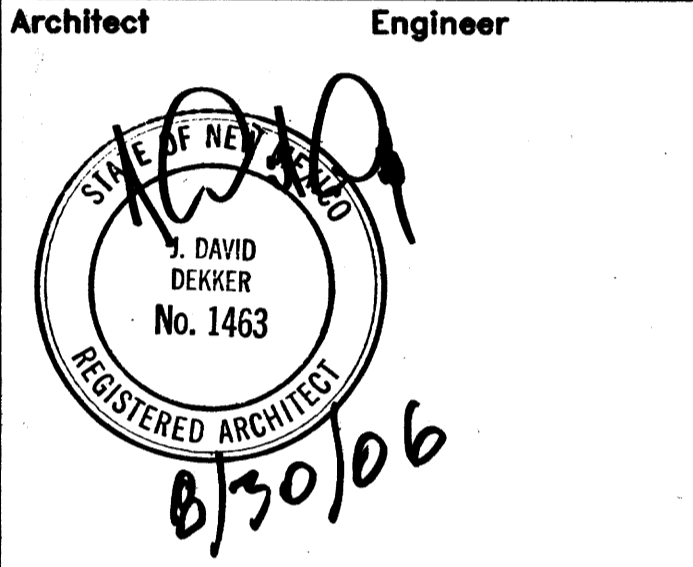
**VICINITY MAP**

PROJECT NUMBER:	1004974
APPLICATION NUMBER:	06028-00885
Is an Infrastructure List required? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
<b>DRB SITE DEVELOPMENT PLAN APPROVAL:</b>	
Traffic Engineer, Transportation Division	8-30-06
Water Utility Development	8/30/06
Parks & Recreation Department	8/30/06
City Engineer	1/4/07
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	1-4-07
* Environmental Health, if necessary	



CONSULTANTS

Architect: *[Signature]*  
Engineer: *[Signature]*



PASEO NUEVO  
SAN PEDRO & HOLLY  
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		0424A-SPOO
DRAWN BY:		MO
CHECKED BY:		DD
DATE:		8/30/06

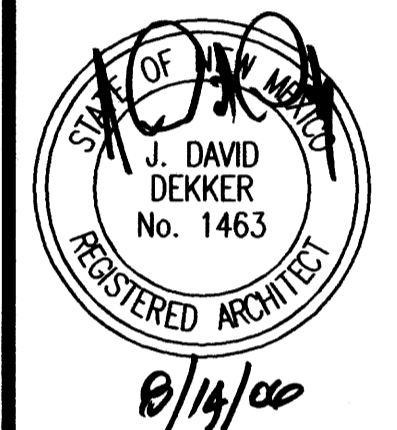
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**OVERALL SITE PLAN  
FOR BUILDING PERMIT,  
BASEMENT LEVEL**

**AS-100**  
sheet of sheets



CONSULTANTS

Architect Engineer



PASEO NUEVO  
SAN PEDRO & HOLLY  
ALBUQUERQUE, NM

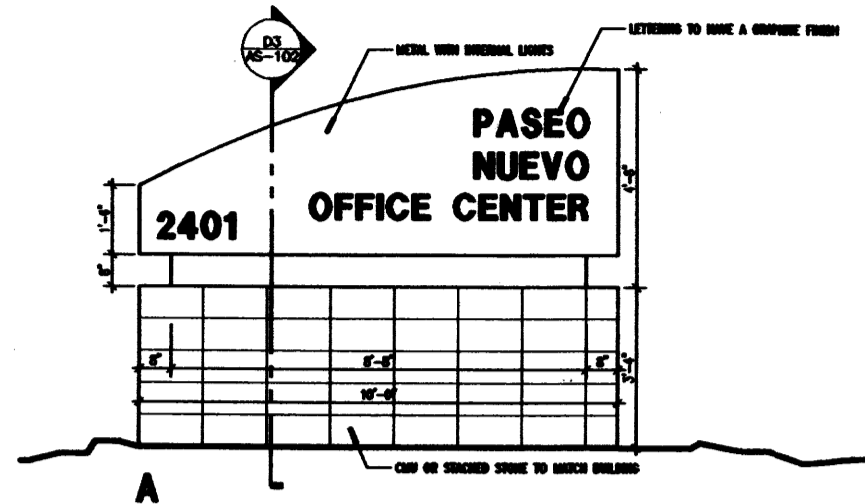
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DRAWN BY:		MO
CHECKED BY:		DD
DATE:		8/16/06

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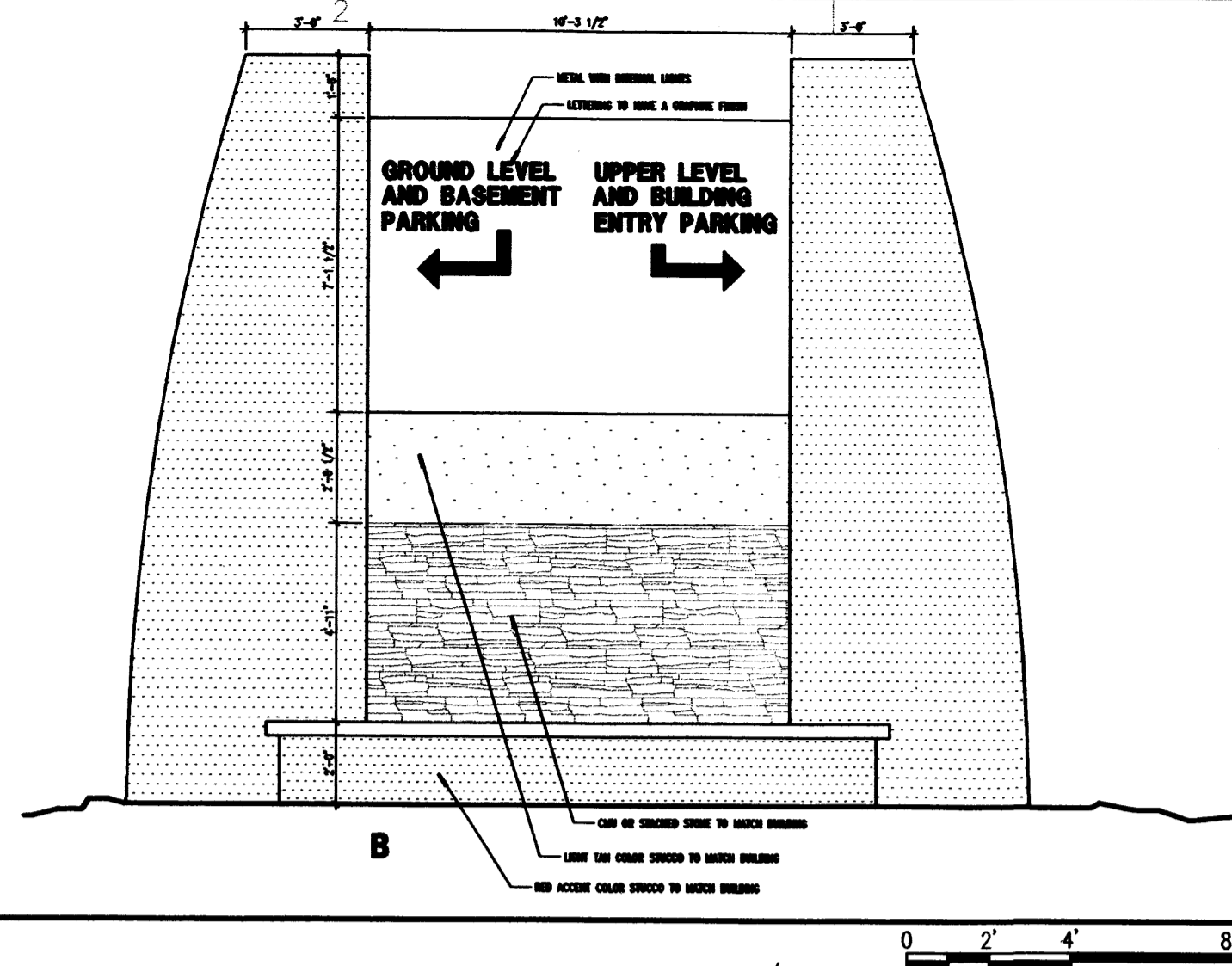
SITE DETAILS

AS-102  
sheet of sheets

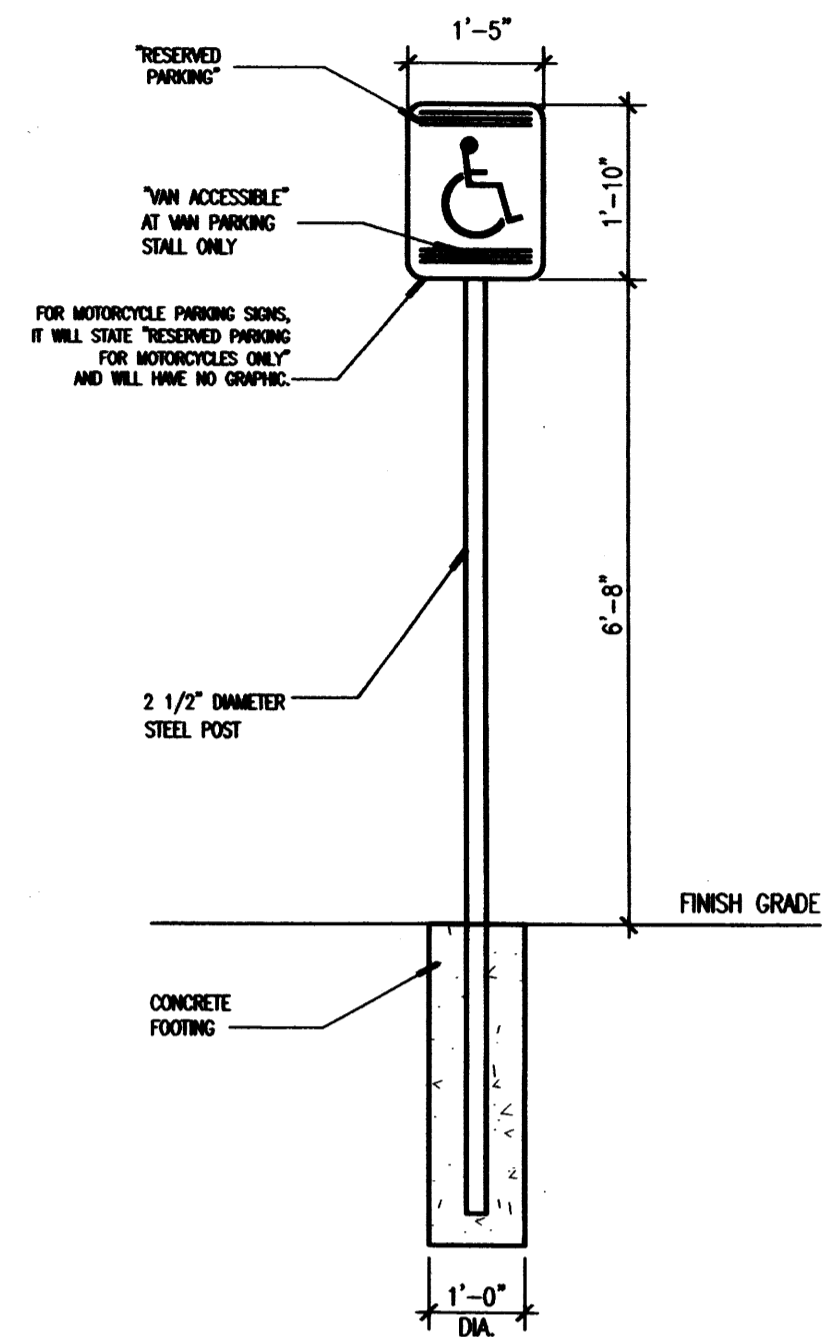
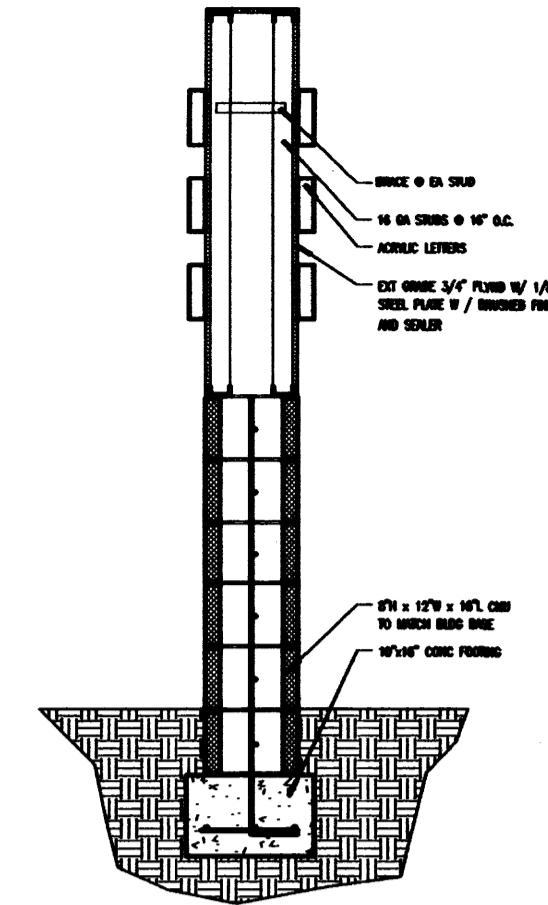
D1 BUILDING SITE SIGNAGE  
SCALE: 1/4"=1'-0"



B

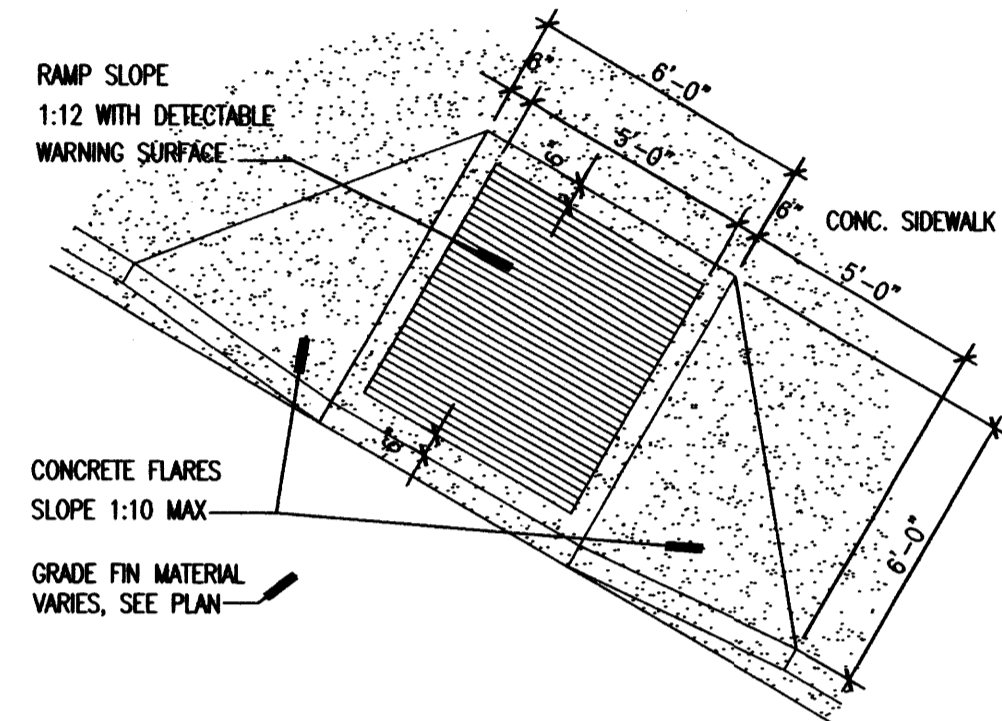


D3 MONUMENT SIGN SECTION  
SCALE: 1/2"=1'-0"

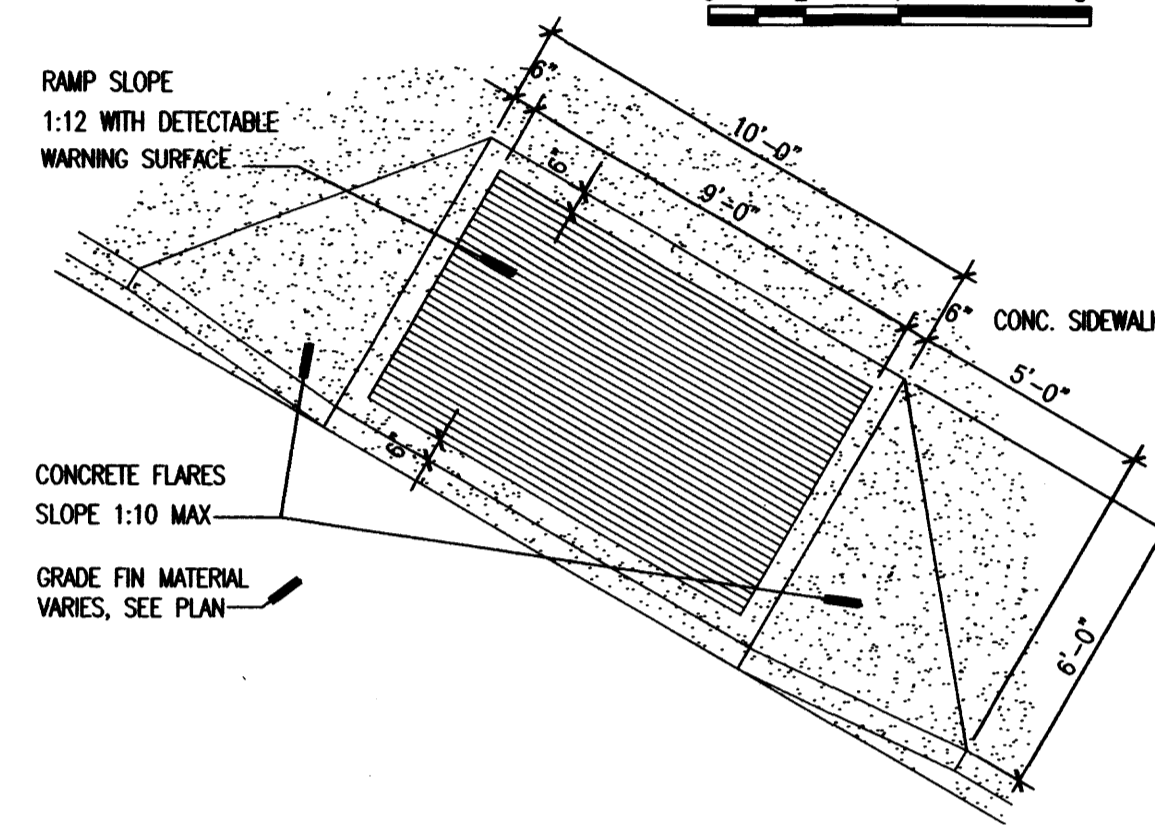


C4 TYP. RESERVED PARKING SIGNS  
SCALE: 1/2"=1'-0"

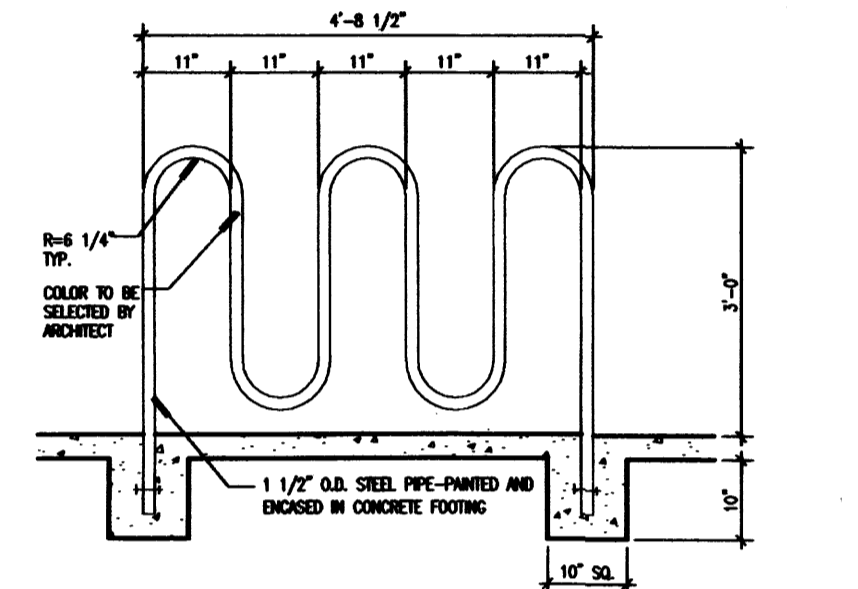
C1 H.C. RAMP  
SCALE: 1/4"=1'-0"



C2 H.C. RAMP  
SCALE: 1/4"=1'-0"

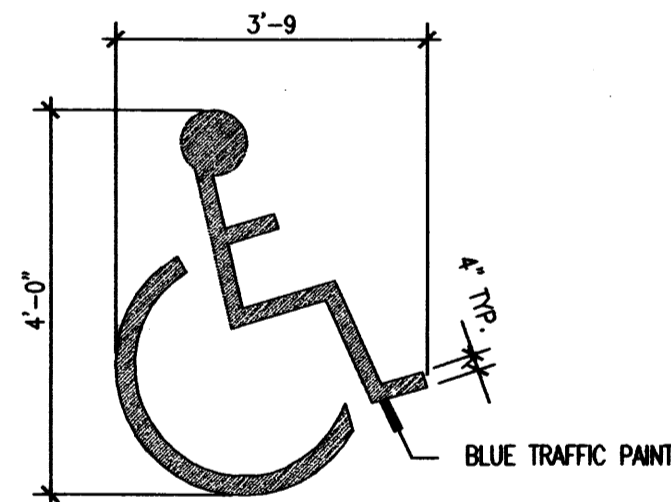


C3 BIKE RACK DETAIL  
SCALE: 1/2"=1'-0"

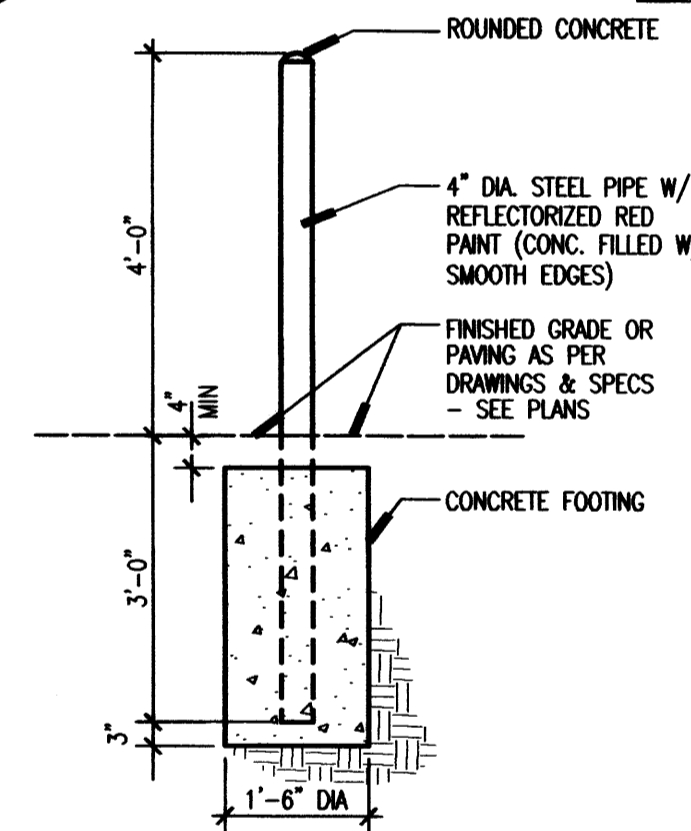


C4 TYP. RESERVED PARKING SIGNS  
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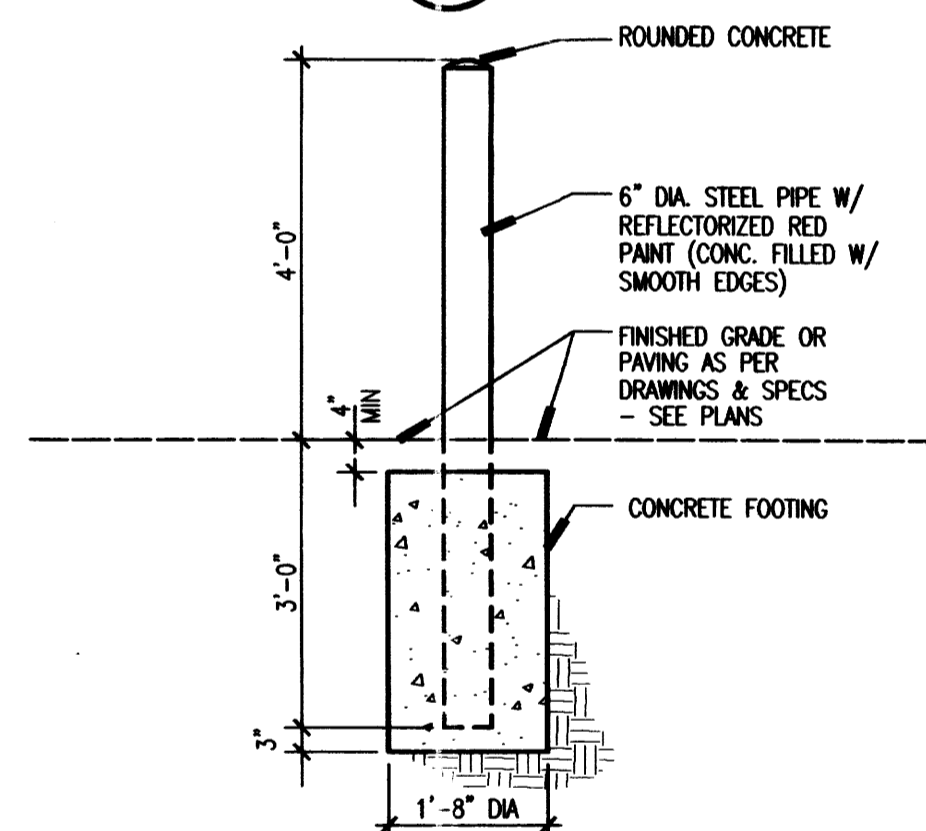
B1 H.C. PAVEMENT SIGN  
SCALE: 1/2"=1'-0"



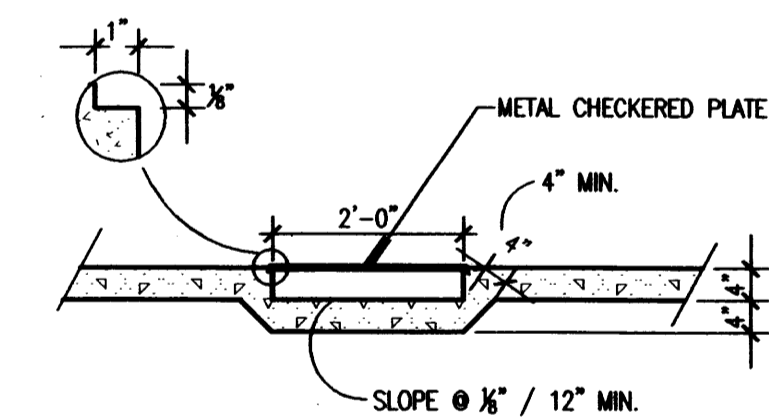
B2 4" TYPICAL BOLLARD  
SCALE: 1/2"=1'-0"



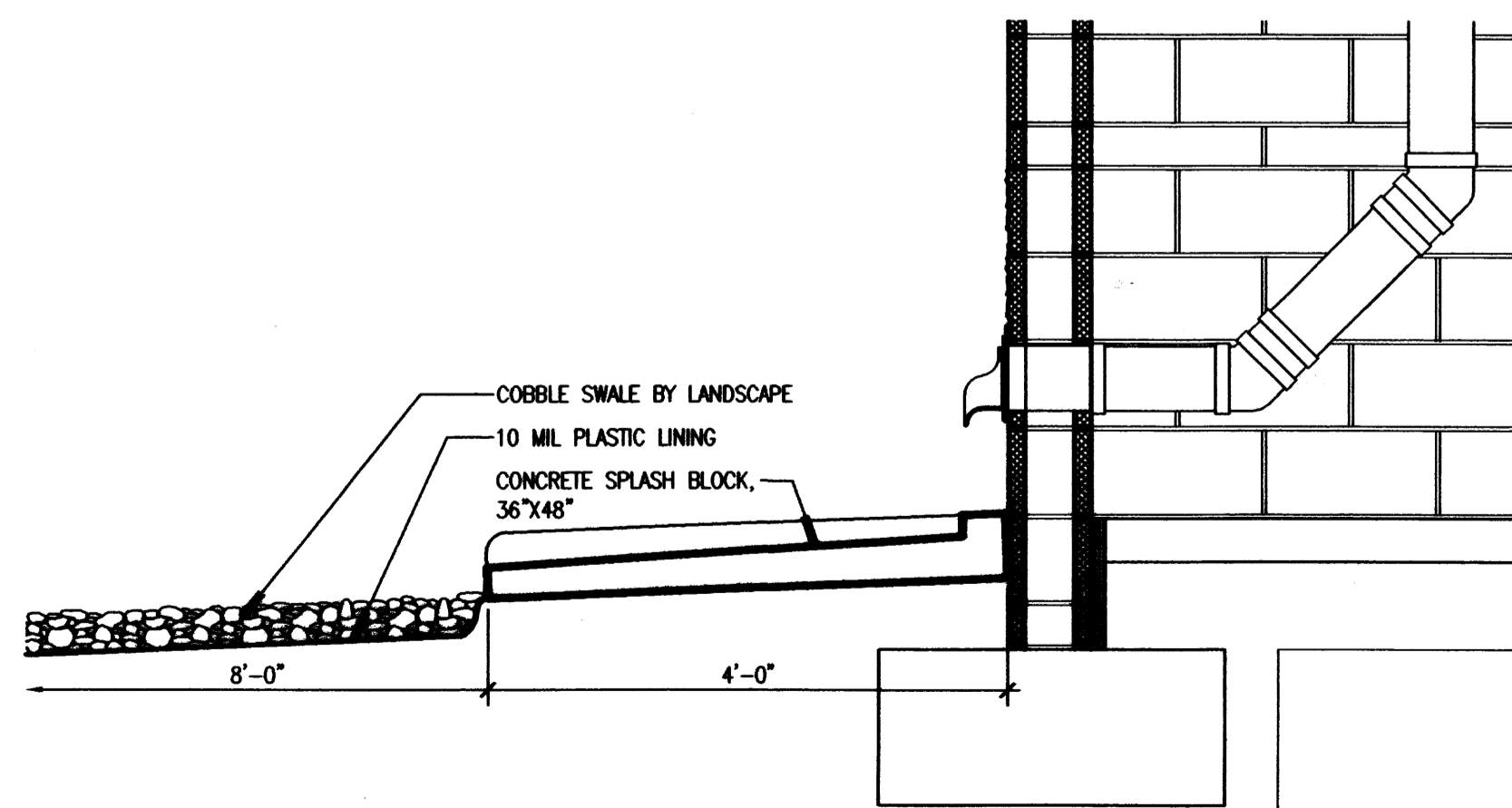
B3 6" TYPICAL BOLLARD  
SCALE: 1/2"=1'-0"



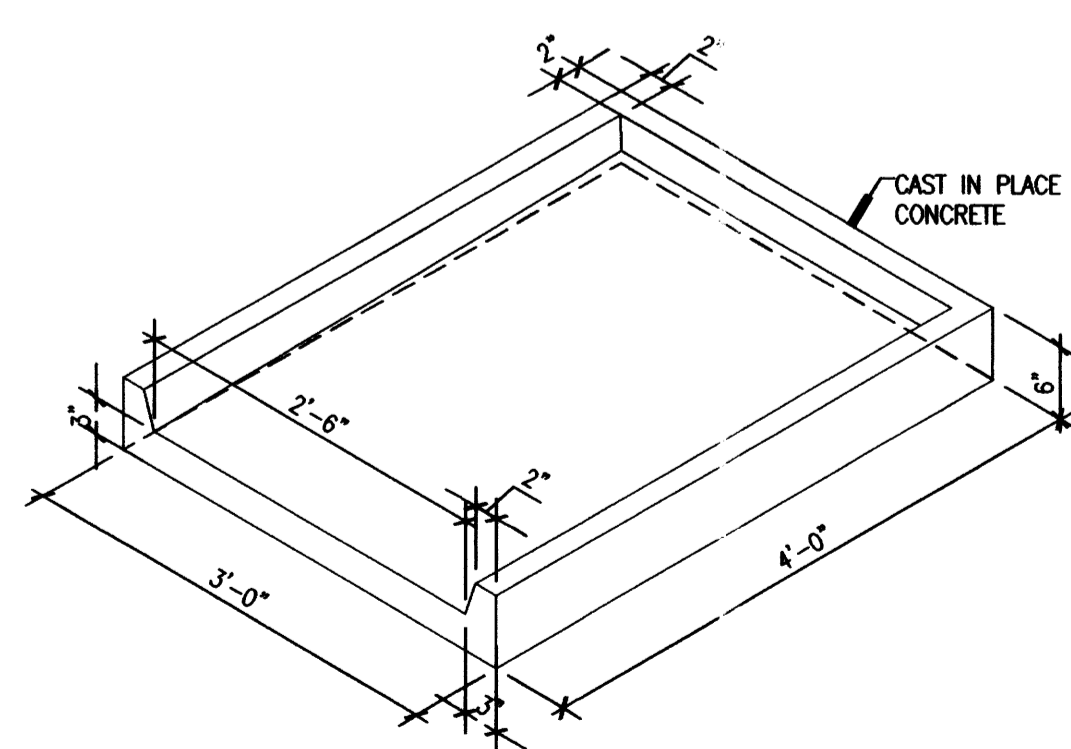
B4 SIDEWALK CULVERT DETAIL  
SCALE: 1/2"=1'-0"



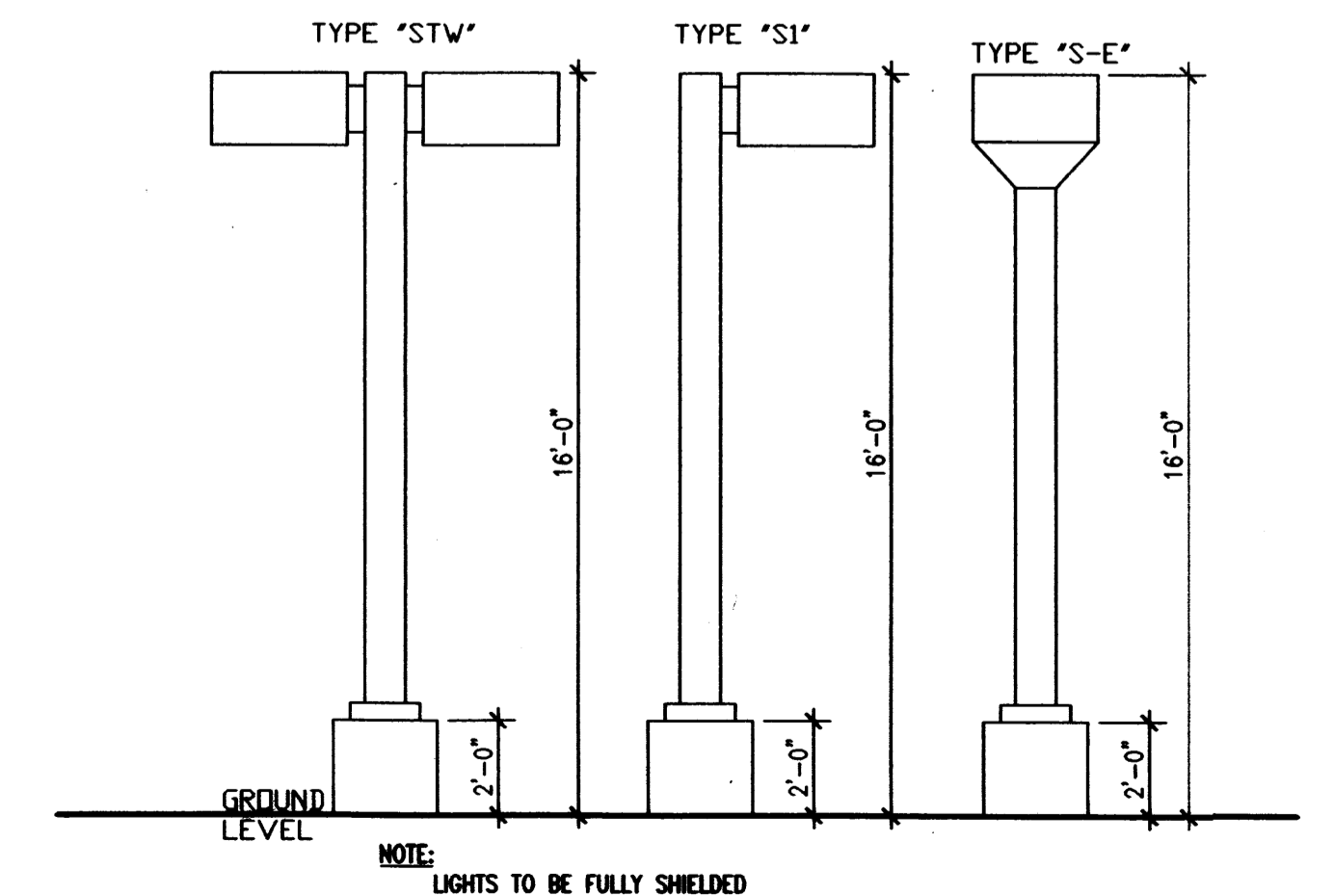
A1 SPLASH BLOCK SECTION  
SCALE: 3/4"=1'-0"



A3 SPLASH BLOCK AXON  
SCALE: 3/4"=1'-0"



A4 SITE LIGHTING MAXIMUM MOUNTING HEIGHTS  
SCALE: 1/4"=1'-0"





GENERAL NOTES

○ SHEET KEYNOTES

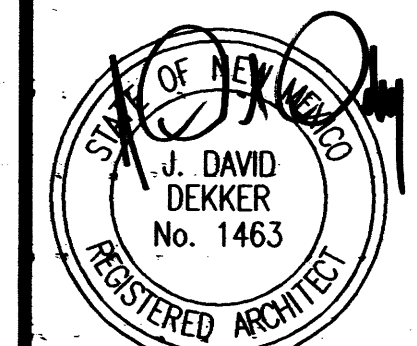
1. ALL WINDOW FRAMES TO BE CLEAR ANNOXIDIZED ALUMINUM, TYP.
2. ALL EXTERIOR FABRICATED METAL, HOLLOW METAL DOORS AND DOOR FRAMES TO BE PAINTED TO MATCH LIGHT TAN STUCCO.
3. ALL SIGNAGE LETTERING TO HAVE A GRAPHITE FINISH.

1. LIGHT TAN STUCCO
2. BRICK RED ACCENT STUCCO COLOR
3. CMU OR STONE VENEER
4. BLUE/GREEN EXTERIOR GLAZING
5. METAL RAILING
6. METAL SUNSCREEN, PAINT TO MATCH STUCCO
7. SPANDREL GLAZING
8. METAL BALCONY, PAINT TO MATCH STUCCO
9. ENTRY SIGN, SEE AS-102 FOR DETAILS



CONSULTANTS

Architect Engineer



8/14/06

PASEO NUEVO  
SAN PEDRO & HOLLY  
ALBUQUERQUE, NM

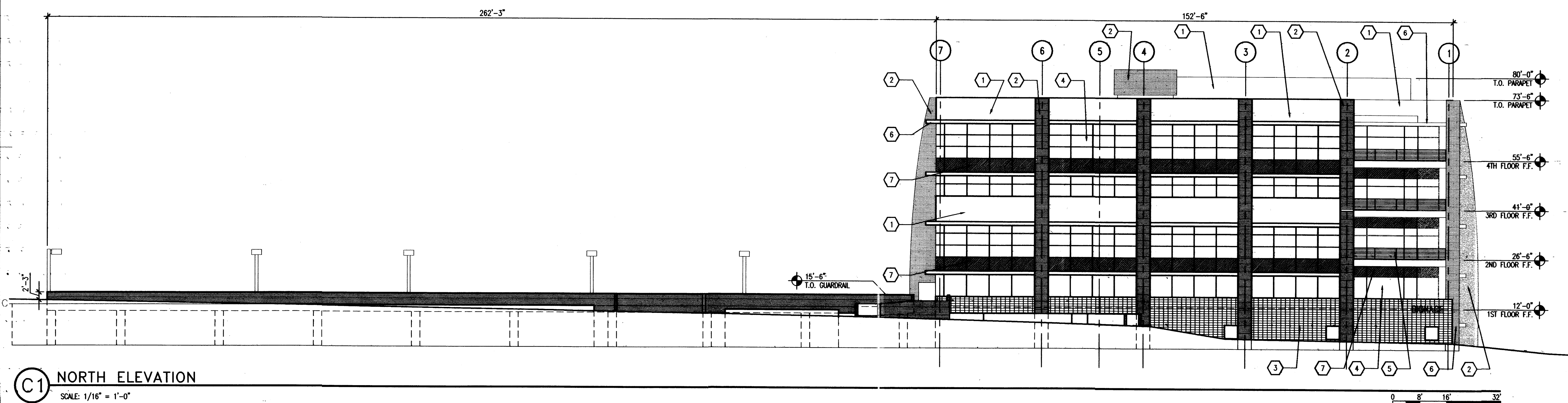
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PROJECT NO:		0424
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DRAWN BY:		MO
CHECKED BY:		DD
DATE:		8/16/06

SHEET TITLE

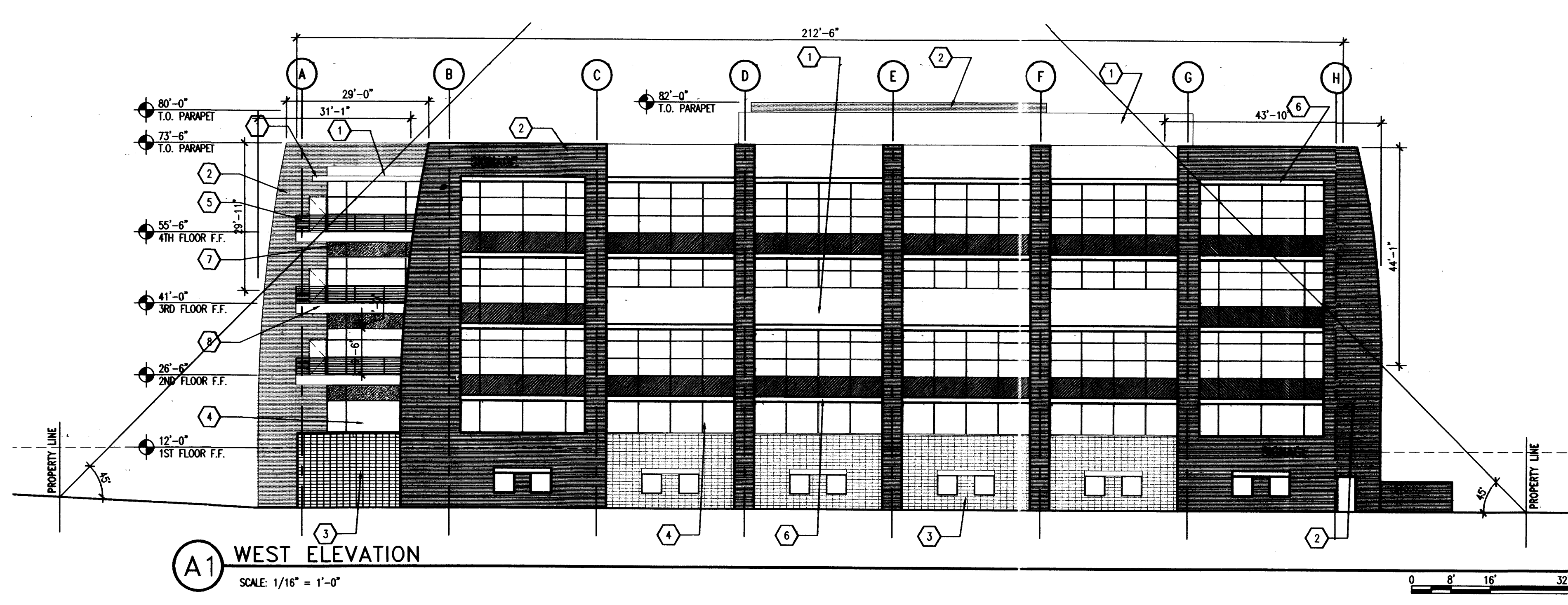
BUILDING ELEVATIONS

**A-201**

sheet of sheets



**(C1) NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"



**(A1) WEST ELEVATION**  
SCALE: 1/16" = 1'-0"

GENERAL NOTES

○ SHEET KEYNOTES

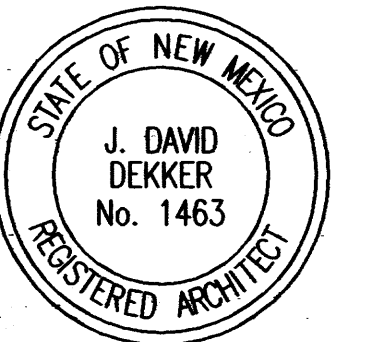
1. ALL WINDOW FRAMES TO BE CLEAR ANNOXIDIZED ALUMINUM, TYP.
2. ALL EXTERIOR FABRICATED METAL, HOLLOW METAL DOORS AND DOOR FRAMES TO BE PAINTED TO MATCH LIGHT TAN STUCCO.
3. ALL SIGNAGE LETTERING TO BE A GRAPHITE FINISH.

1. LIGHT TAN STUCCO
2. BRICK RED ACCENT STUCCO COLOR
3. CMU OR STONE VENEER
4. BLUE/GREEN EXTERIOR GLAZING
5. METAL RAILING
6. METAL SUNSCREEN, PAINT TO MATCH STUCCO
7. SPANDREL GLAZING
8. METAL BALCONY, PAINT TO MATCH STUCCO
9. ENTRY SIGN, SEE AS-102 FOR DETAILS



CONSULTANTS

Architect Engineer

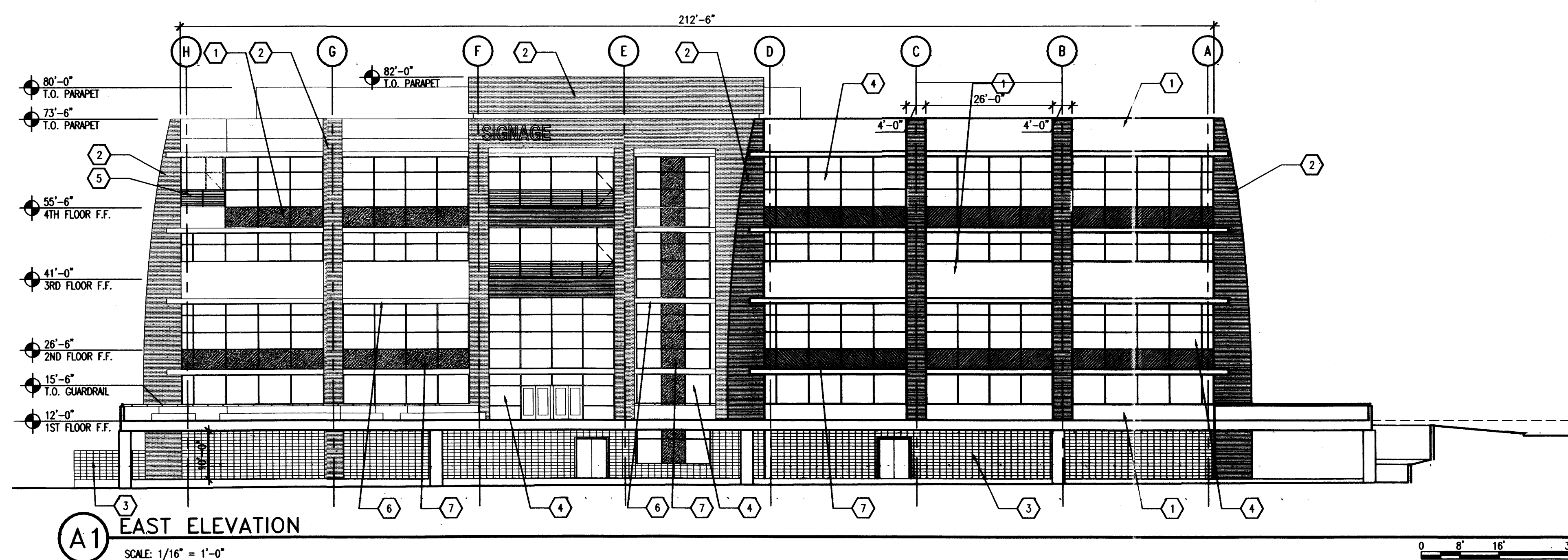
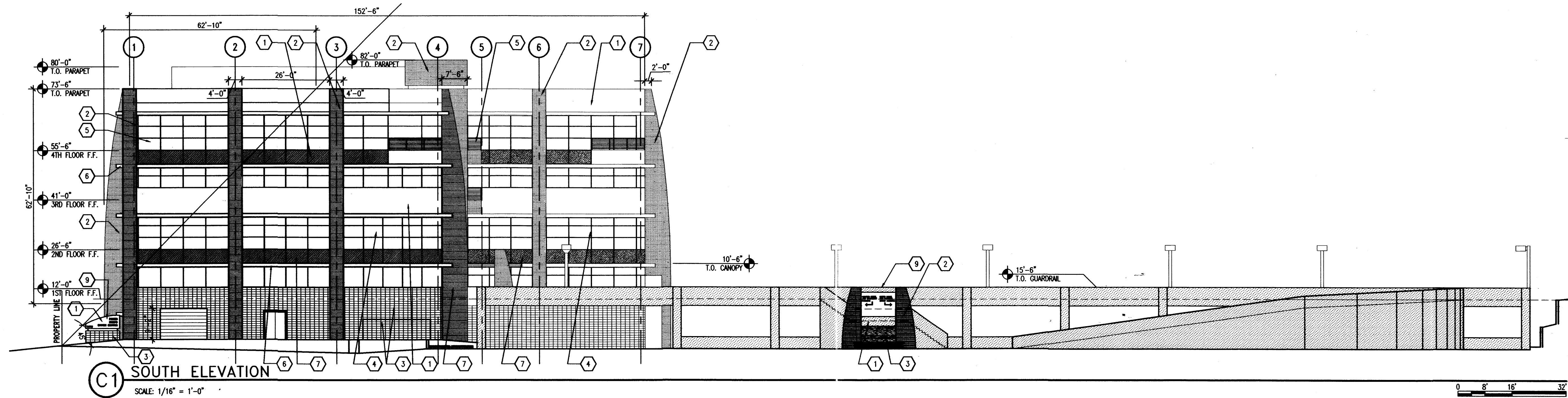


PASEO NUEVO  
SAN PEDRO & HOLLY  
ALBUQUERQUE, NM

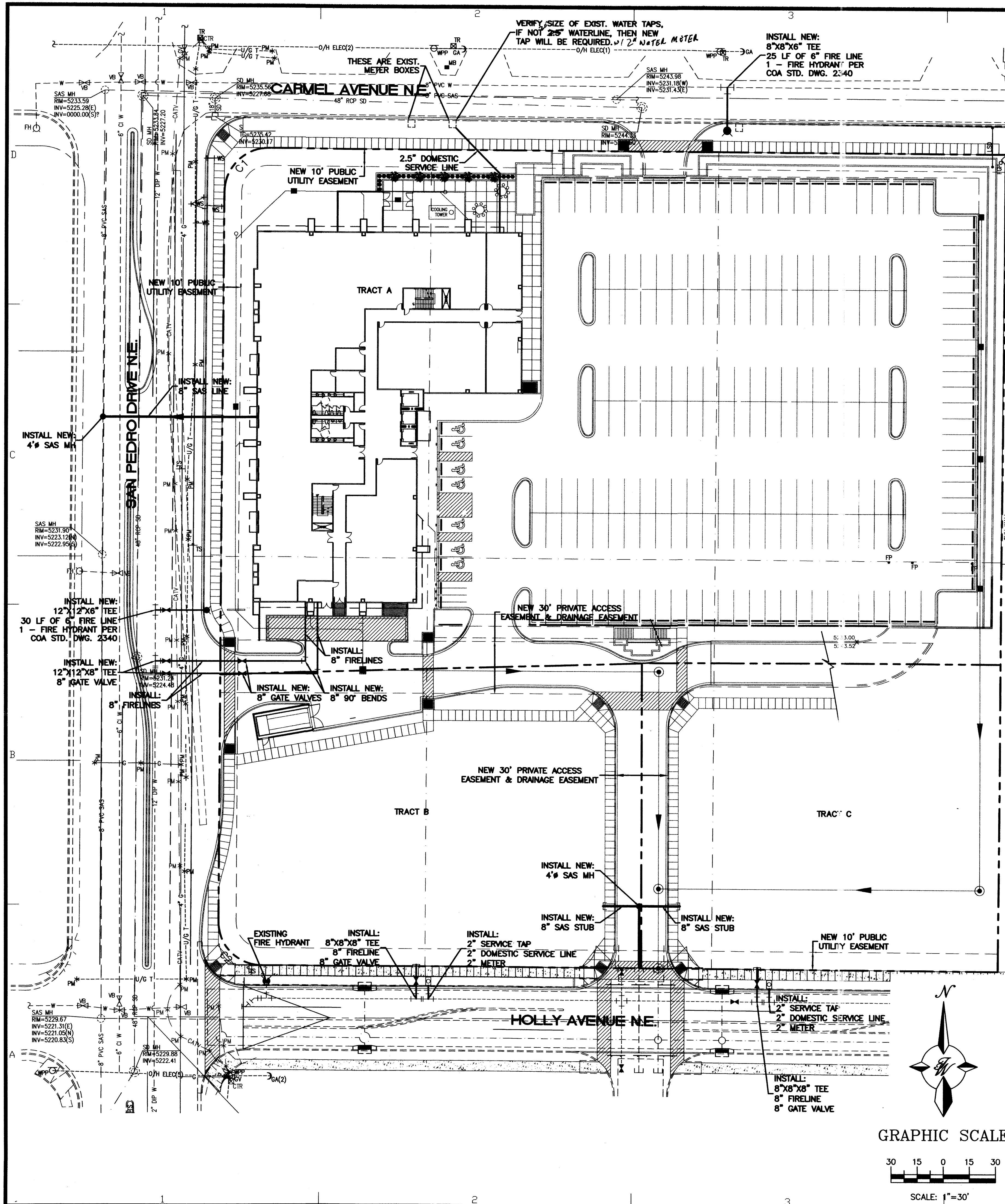
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PROJECT NO:		0424
CAD DWG FILE:		0424A-201.DWG
DRAWN BY:		MO
CHECKED BY:		DD
DATE:		8/16/06

SHEET TITLE  
BUILDING ELEVATIONS

**A-202**  
sheet of sheets

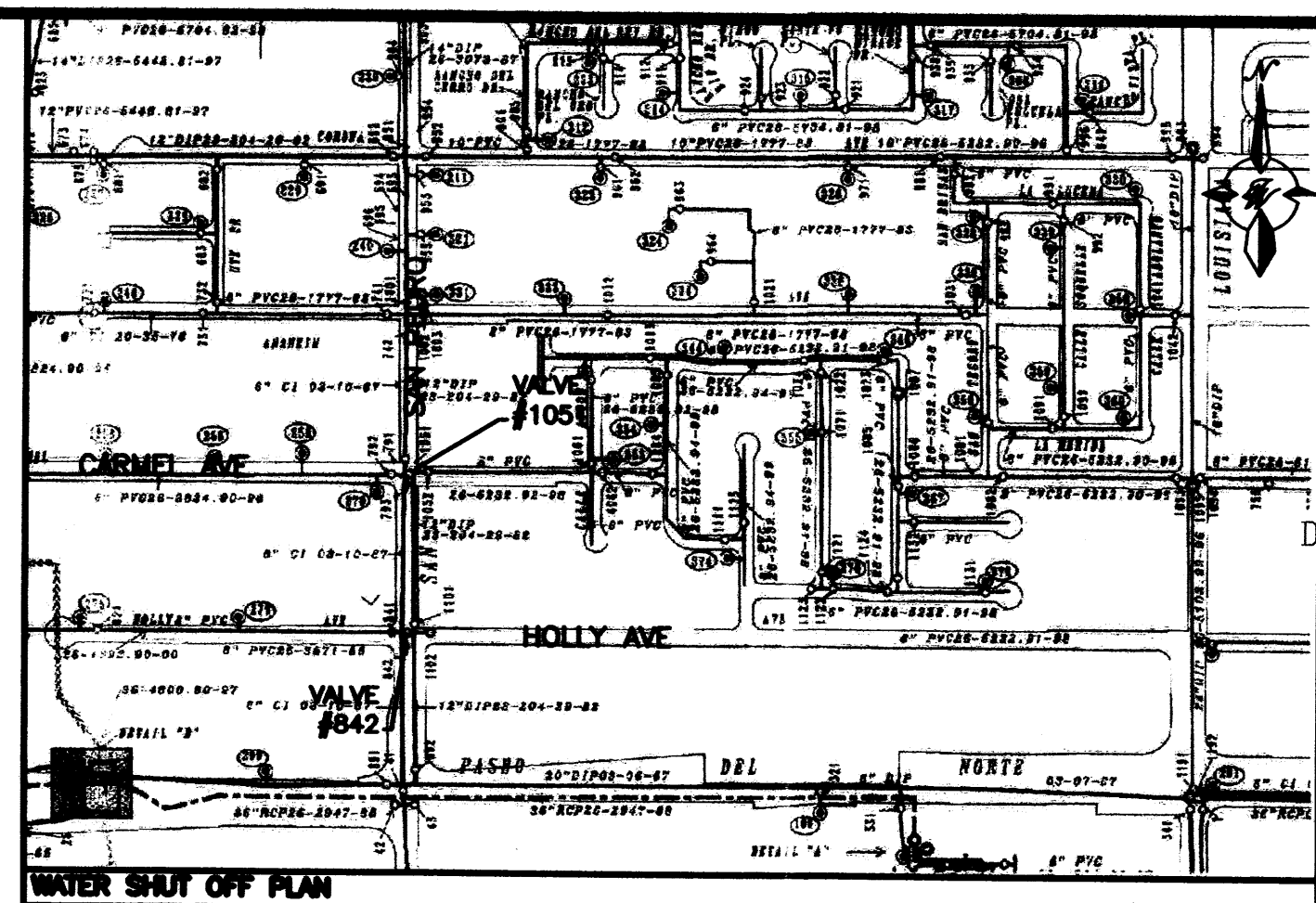
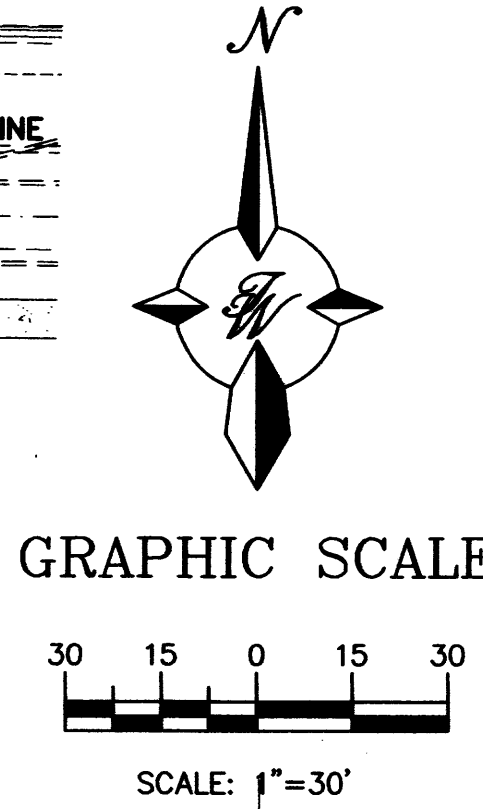






- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH NMUI SPECIFICATIONS FOR WATER AND WASTEWATER FACILITIES (MOST RECENT REVISIONS).
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1999). FOR LOCATION OF EXISTING UTILITIES, THREE WORKING DAYS PRIOR THE CONTRACTOR MUST CONTACT NMUI (898-2661).
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
  8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING
  9. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
  10. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
  11. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
  12. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
  13. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
  14. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
  15. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
  16. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.

**CAUTION:**  
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



- WATER SHUT OFF PLAN**  
SHUT OFF VALVES #042, #041
- NOTES:**
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES
  2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE: 857-3200) SEVEN (7) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN.
  3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
  4. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
  5. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN TO BE DONE ONLY IN THE EVENT OF EMERGENCY. CONNECTION TO EXISTING WATER LINE TO BE PRESSURIZED.

- GENERAL NOTES:**
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
  2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
  3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
  4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
  5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
  6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
  7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
  8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
  9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.

**LEGEND**

○	EXISTING SAS MANHOLE
- - - EX. 8" SAS - - -	EXISTING SANITARY SEWER LINE
●	PROPOSED SAS MANHOLE
8	PROPOSED SAS CLEANOUT
- - - 8" SAS - - -	PROPOSED SANITARY SEWER LINE
- - -	SANITARY SEWER SERVICE LINE
- - - EX. 16" WL - - -	EXISTING WATER LINE
- - - 10" WL - - -	PROPOSED WATER LINE
- - -	PROPOSED CURB
- - -	BOUNDARY LINE
⊙	PROPOSED STORM SEWER MH
- - - 24" RCP - - -	PROPOSED STORM SEWER LINE
- - -	PROPOSED DRY UTILITY TRENCH
- - -	EXISTING DRY UTILITY TRENCH

ENGINEER'S SEAL

RONALD R. BOHANNAN  
P.E. #7868

**PASEO NUEVO**

**MASTER UTILITY PLAN**

TERRA WEST, LLC  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100

**STUDIO**

**SW ARCHITECTS**

STUDIO SOUTHWEST ARCHITECTS, INC.  
2101 Mountain Rd. NW, Albuquerque, NM 87104  
505.843.9639 fax 505.843.9683  
Web Site: www.studioswarch.com  
E-Mail: mail@studioswarch.com

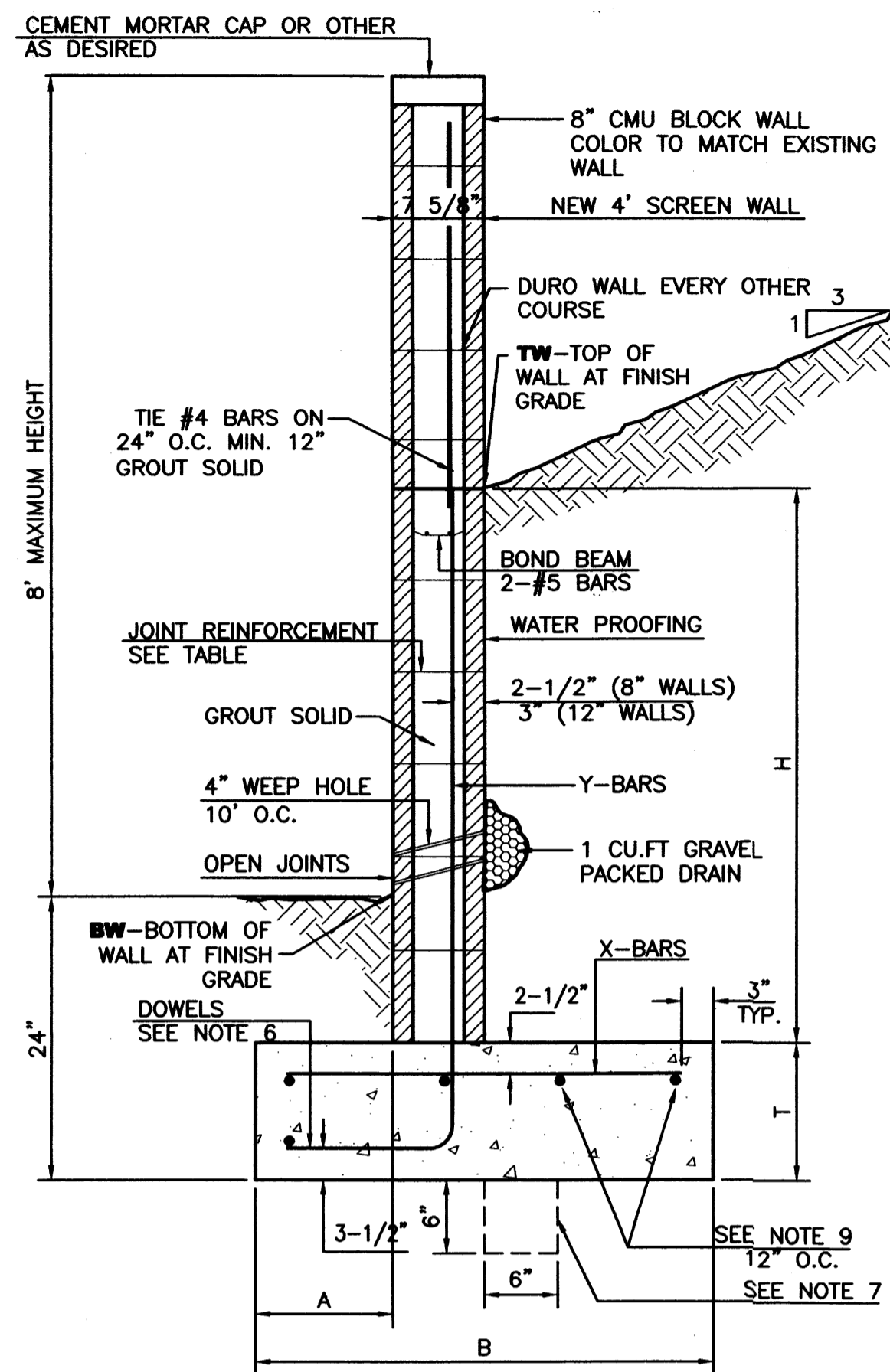
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Architect \_\_\_\_\_ Engineer \_\_\_\_\_

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		24100-MUE
DRAWN BY:		DY
CHECKED BY:		
DATE:		8/30/06

SHEET TITLE

sheet C-104 of \_\_\_\_\_ sheets



**8 INCH REINFORCED CONCRETE MASONRY WALL**

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

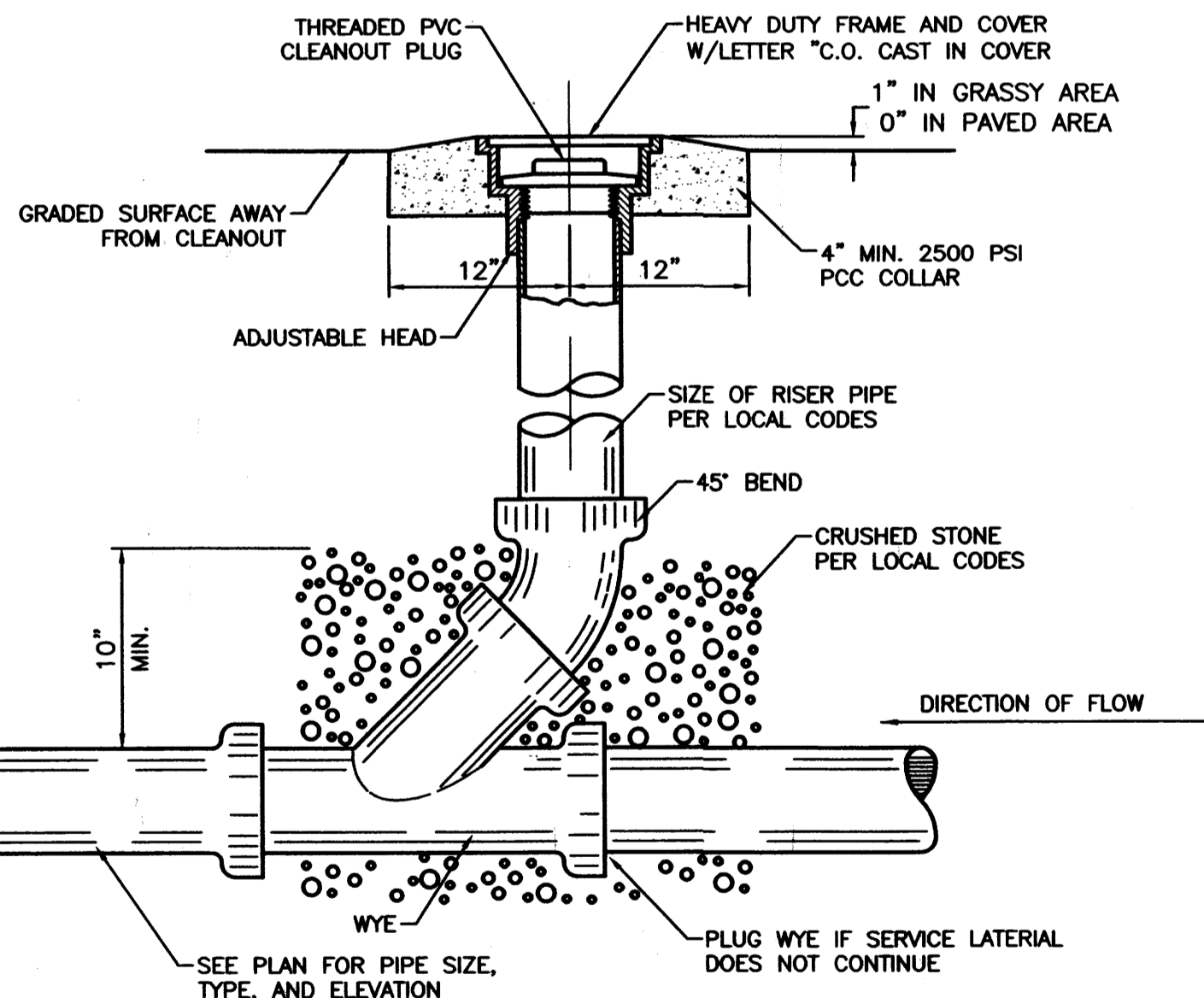
**12 INCH REINFORCED CONCRETE MASONRY WALL**

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

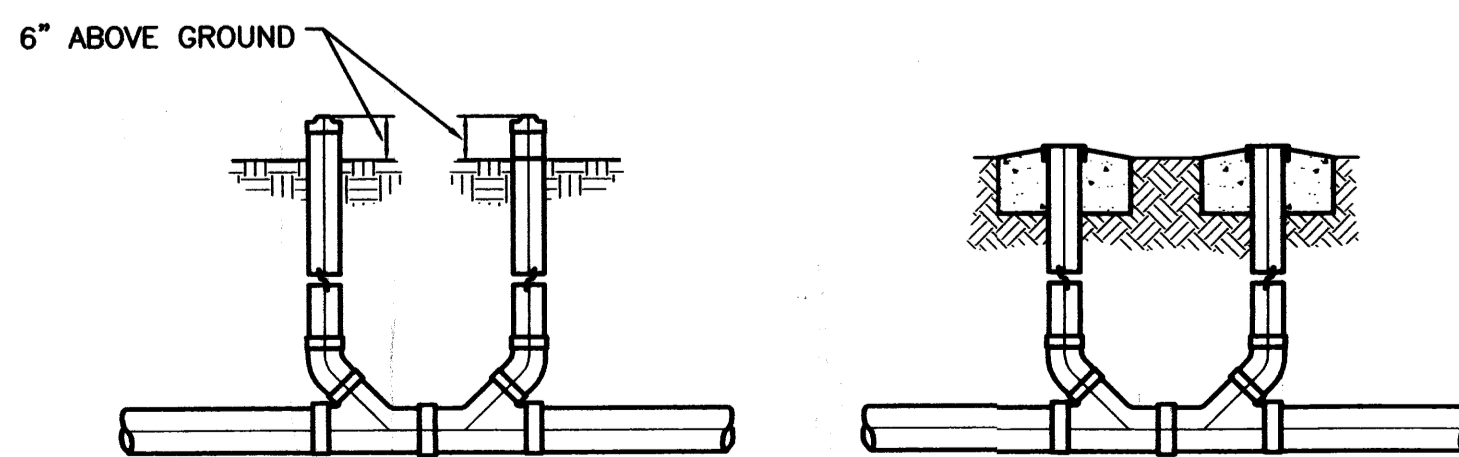
**GENERAL NOTES:**

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0".
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

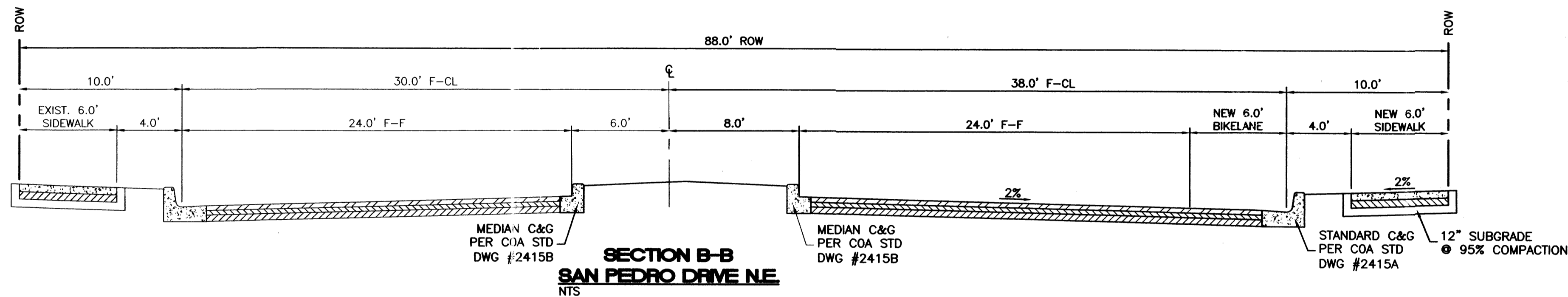
**RETAINING WALL DETAIL**  
NTS



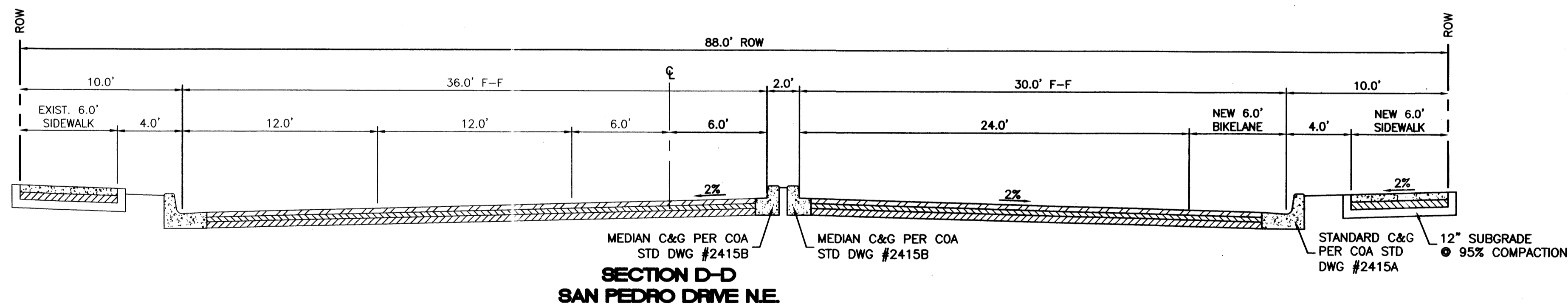
**SANITARY SEWER CLEAN-OUT**  
NTS



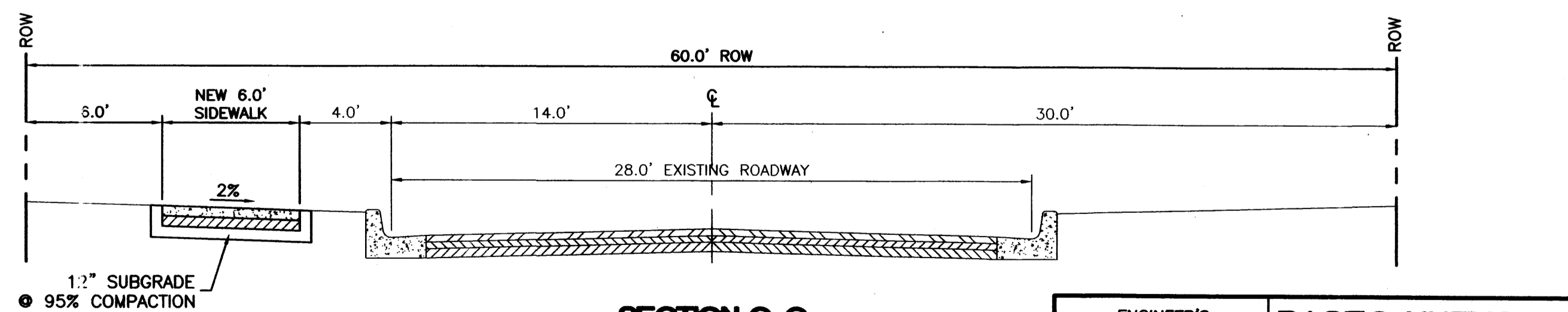
**SANITARY SEWER DOUBLE CLEAN-OUTS**  
NTS



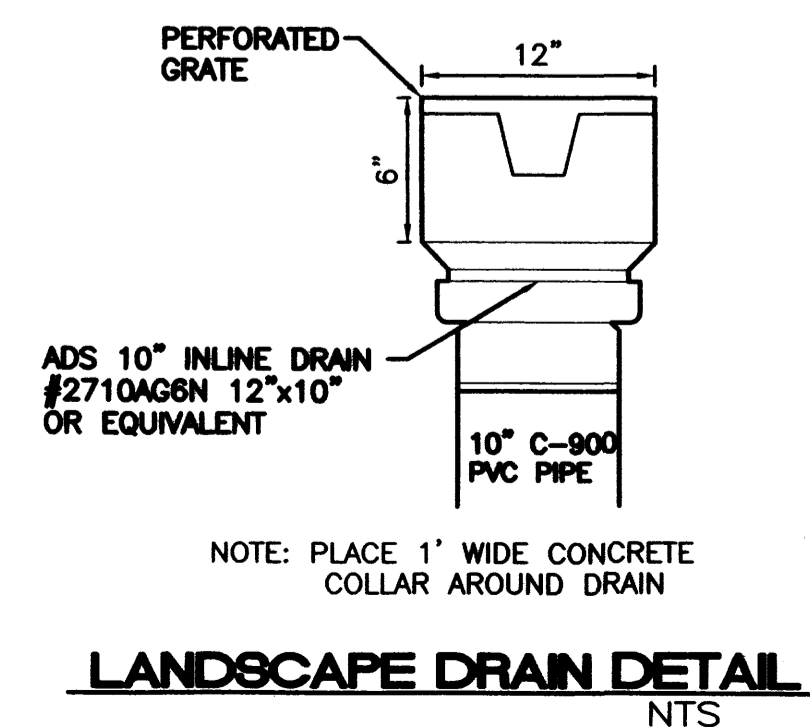
**SECTION B-B**  
**SAN PEDRO DRIVE NE**  
NTS



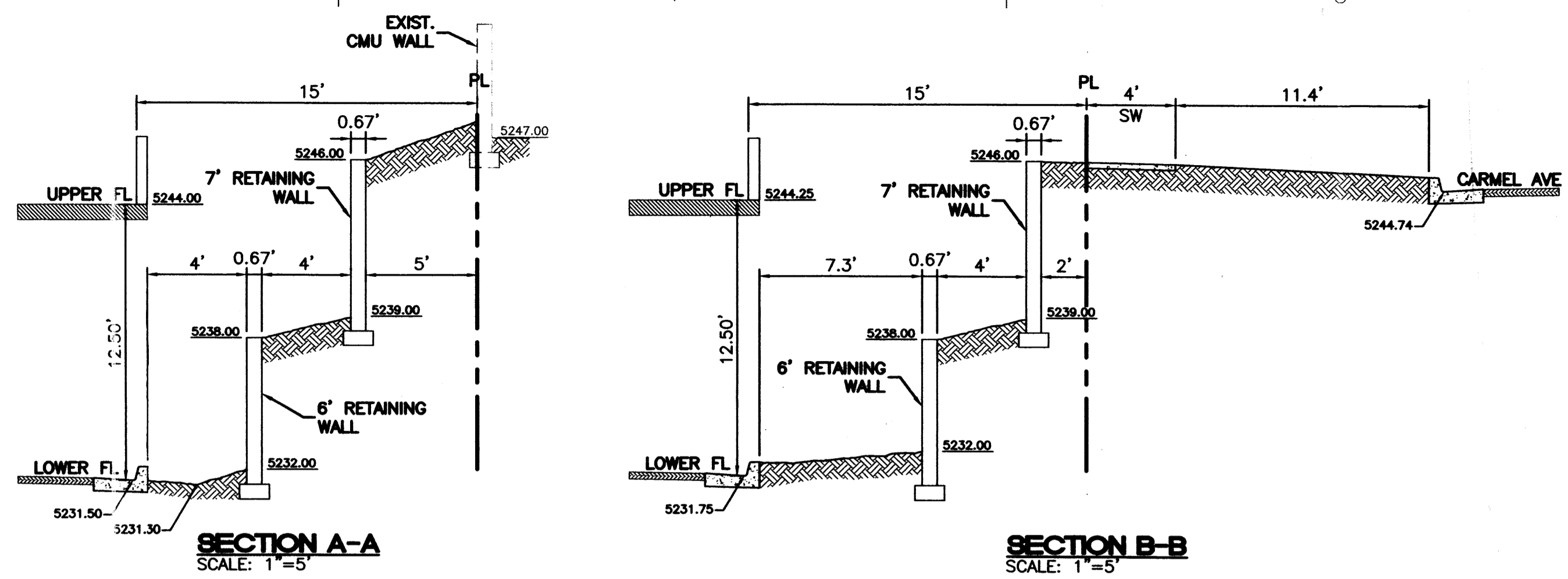
**SECTION D-D**  
**SAN PEDRO DRIVE NE**  
NTS



**SECTION C-C**  
**CARMEL AVENUE NE**  
NTS



**LANDSCAPE DRAIN DETAIL**  
NTS



**SECTION A-A**  
SCALE: 1"=5'

**SECTION B-B**  
SCALE: 1"=5'



STUDIO SOUTHWEST ARCHITECTS, INC.  
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Web Site: www.studioswarch.com  
E-Mail: mail@studioswarch.com

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Architect Engineer

PASEO NUEVO  
SAN PEDRO & HOLLY  
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		24100-Details
DRAWN BY:		DY
CHECKED BY:		
DATE:		8/30/06

SHEET TITLE  
**PASEO NUEVO**  
**DETAILS AND CROSS SECTIONS**  
TIERRA WEST, LLC  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100  
sheet C-105 of sheets

ENGINEER'S SEAL  
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CONSULTANTS

Architect Engineer

**PASEO NUEVO**  
**SAN PEDRO & HOLLY**  
**ALBUQUERQUE, NM**

MARK	DATE	DESCRIPTION
adf	8-28-06	site plan revision
adf	8-8-06	site plan revision
adf	7-17-06	revisions per comments
adf	7-5-06	revisions per comments
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		
DRAWN BY:		
CHECKED BY:		
DATE:		8/30/06

SHEET TITLE

sheet of sheets

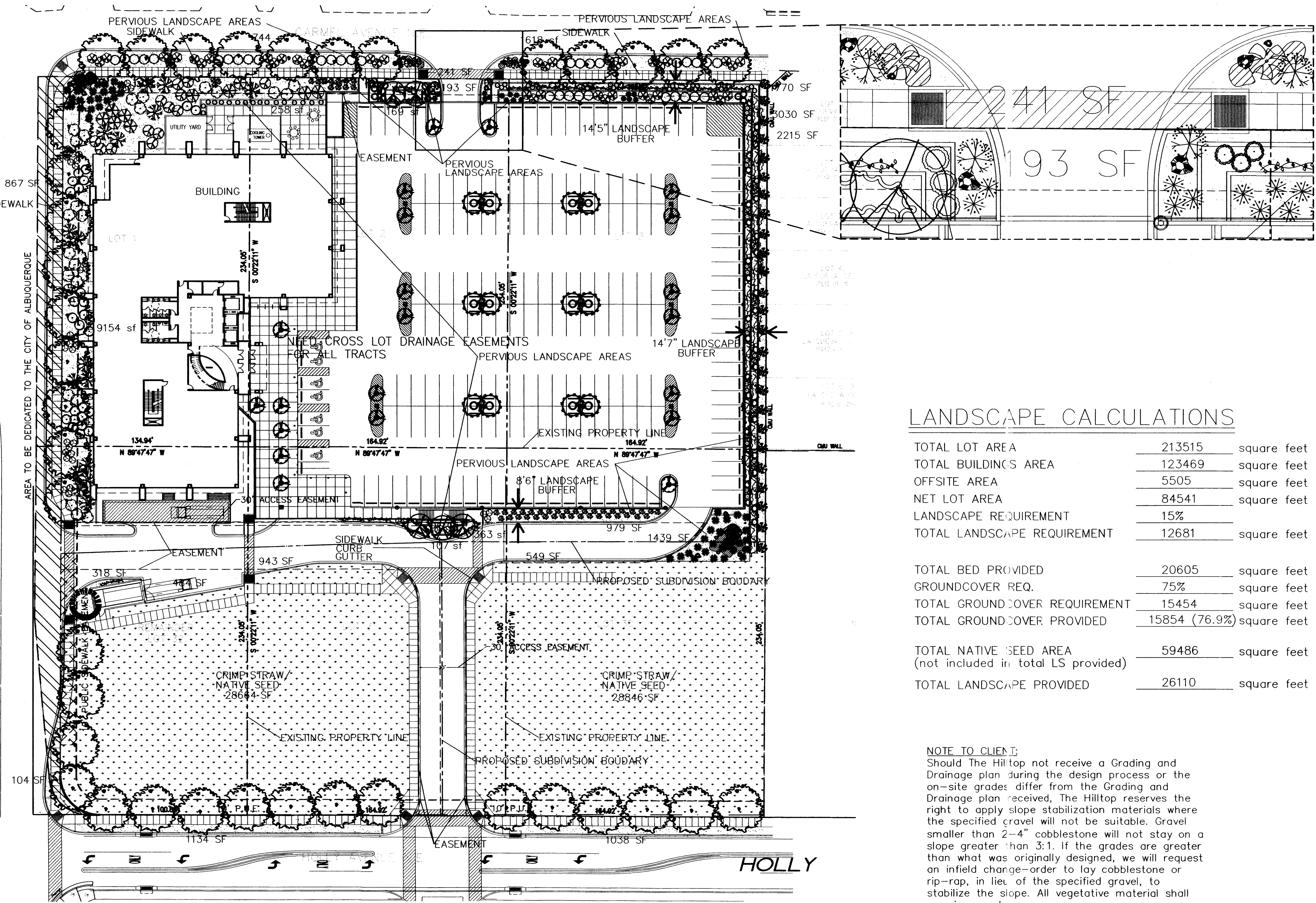
**PLANT LEGEND**

- |  |   |
|--|---|
| CHINESE PISTACHE (M) 38<br><i>Pistacia chinensis</i><br>2" Cal.  | AUSTRIAN PINE (M) 1<br><i>Pinus nigra</i><br>6"-8"  |
| FLOWERING PEAR (M+) 8<br><i>Pyrus calleryana</i><br>2" Cal.  | PALM YUCCA (L) 4  |
| PURPLE-LEAF PLUM (M) 3<br><i>Prunus spp.</i><br>2" Cal.  | AGAVE (L) 2<br><i>Agave spp.</i><br>16 sf   |
| DESERT WILLOW (L) 12<br><i>Chilopsis linearis</i><br>15 Gal.   | RED YUCCA (L) 45<br><i>Hesperaloe parviflora</i><br>5 Gal. 9sf  |
| GREEN GIANT ARBORVITAE (M) 25<br><i>Thuja occidentalis 'Emerald'</i><br>15 Gal.                          | RUSSIAN SAGE (M) 27<br><i>Perovskia atriplicifolia</i><br>5 Gal. 36sf   |
| KENTUCKY COFFEE TREE (M) 4<br><i>Gymnocladus dioica</i><br>15 Gal.                                       | BLUEBERRY MUFFIN<br>INDIAN HAWTHORN (M) 42<br><i>Raphiolepis indica</i><br>5 Gal. 36sf                            |
| HACKBERRY (M) 4<br><i>Celtis occidentalis</i><br>15 Gal.   | LANAS/ SCOTCH BROOM (M) 32<br><i>Cytisus scoparius/<br/>Genista hispanica</i><br>5 Gal. 16sf                      |
| SPANISH BROOM (M) 16<br><i>Genista hispanica</i><br>5 Gal. 100sf   | ARP ROSEMARY (M) 12<br><i>Rosmarinus officinalis</i><br>5 Gal. 25sf   |
| SILVERBERRY (M) 10<br><i>Elaeagnus pungens</i><br>5 Gal. 100sf   | BLUE FESCUE (M) 22<br><i>Festuca ovina glauca</i><br>1 Gal. 4sf   |
| BIRD OF PARADISE (L) 13<br><i>Caesalpinia gilliesii</i><br>5 Gal. 100sf                                  | LAVENDER (M) 47<br><i>Lavandula angustifolia</i><br>1 Gal. 9sf  |
| BUTTERFLY BUSH (M) 25<br><i>Buddleia davidii</i><br>100sf  | POTENTILLA (M) 47<br><i>Potentilla fruticosa</i><br>1 Gal. 9sf  |
| OCOTILLO (L) 4<br><i>Fouquieria splendens</i>  | THREADGRASS (M) 50<br><i>Stipa tenuissima</i><br>1 Gal. 4sf   |
| THREE-LEAF SUMAC (L) 35<br><i>Rhus trilobata</i><br>5 Gal. 36sf  | WILDFLOWER 42<br>1 Gal. 4sf   |
| TRUMPET VINE (M) 13<br><i>Campsis radicans</i><br>1 Gal.   | CREeping ROSEMARY (L) 54<br><i>Rosmarinus officinalis 'Prostrata'</i><br>1 Gal. 36sf<br>Symbol indicates 3 plants |
| GREYLEAF COTONEASTER (M) 15<br><i>Cotoneaster buxifolius</i><br>5 Gal. 81sf<br>Symbol indicates 3 plants | SANTA FE<br>PRECAST CONCRETE PLANTER 12<br>40" HIGH X 60" DIAMETER<br>BY MATERIALS INC                            |
| OVERSIZED GRAVEL & 16 BOULDERS<br>COMMERCIAL GRADE<br>STEEL EDGING                                       | SANTA FE<br>PRECAST CONCRETE PLANTER 8<br>22" HIGH X 36" DIAMETER<br>BY MATERIALS INC                             |
| SANTA FE BROWN GRAVEL<br>WITH FILTER FABRIC<br>MINIMUM OF 3"   | CRIMP STRAW/NATIVE SEED<br>DISTRIBUTED AREAS  |

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	213515	square feet
TOTAL BUILDINGS AREA	123469	square feet
OFFSITE AREA	5505	square feet
NET LOT AREA	84541	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	12681	square feet
TOTAL BED PROVIDED	20605	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	15454	square feet
TOTAL GROUND COVER PROVIDED	15854 (76.9%)	square feet
TOTAL NATIVE SEED AREA (not included in total LS provided)	59486	square feet
TOTAL LANDSCAPE PROVIDED	26110	square feet

**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield charge—order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

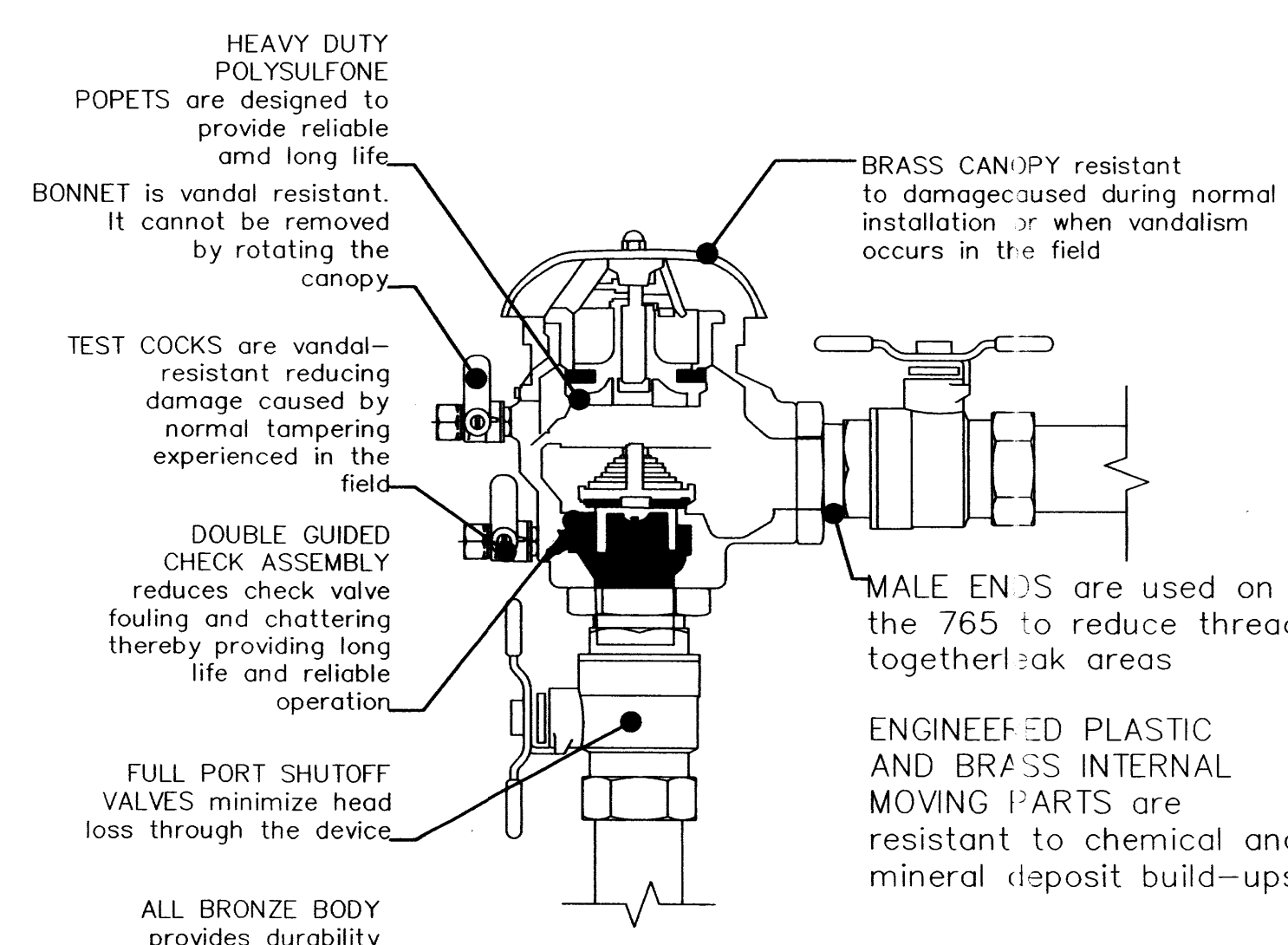
Trees on parking deck in ornamental pots to be watered using Rain Bird Irrigation Supplement gel packs.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

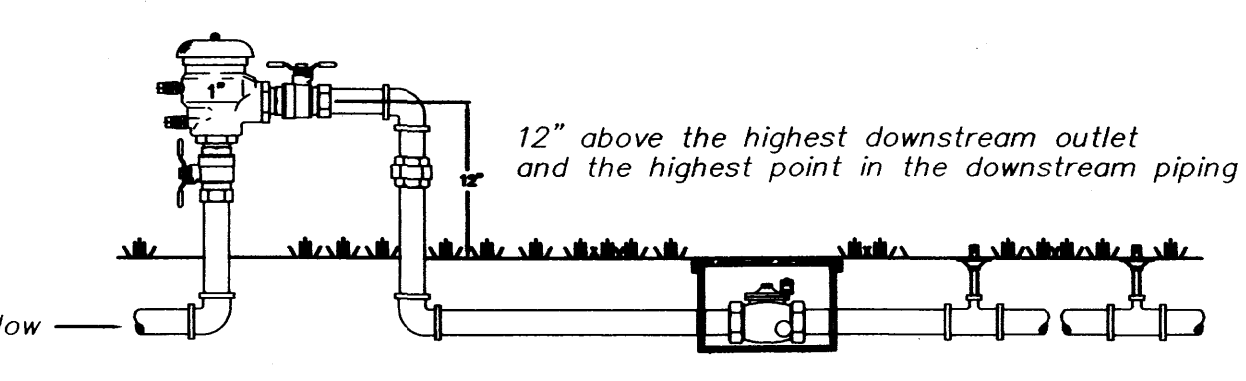
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

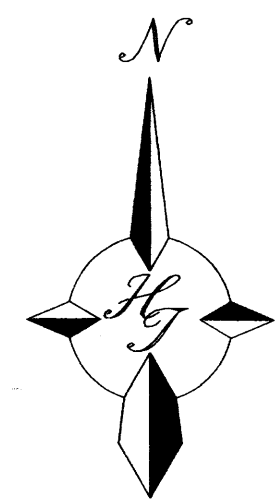
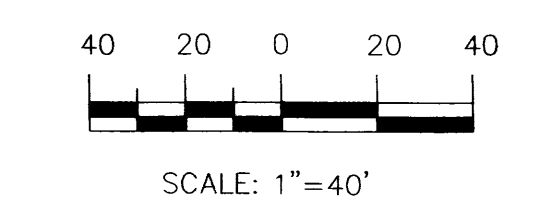


**FEBCO MODEL 765**  
Pressure Vacuum Breaker  
Features



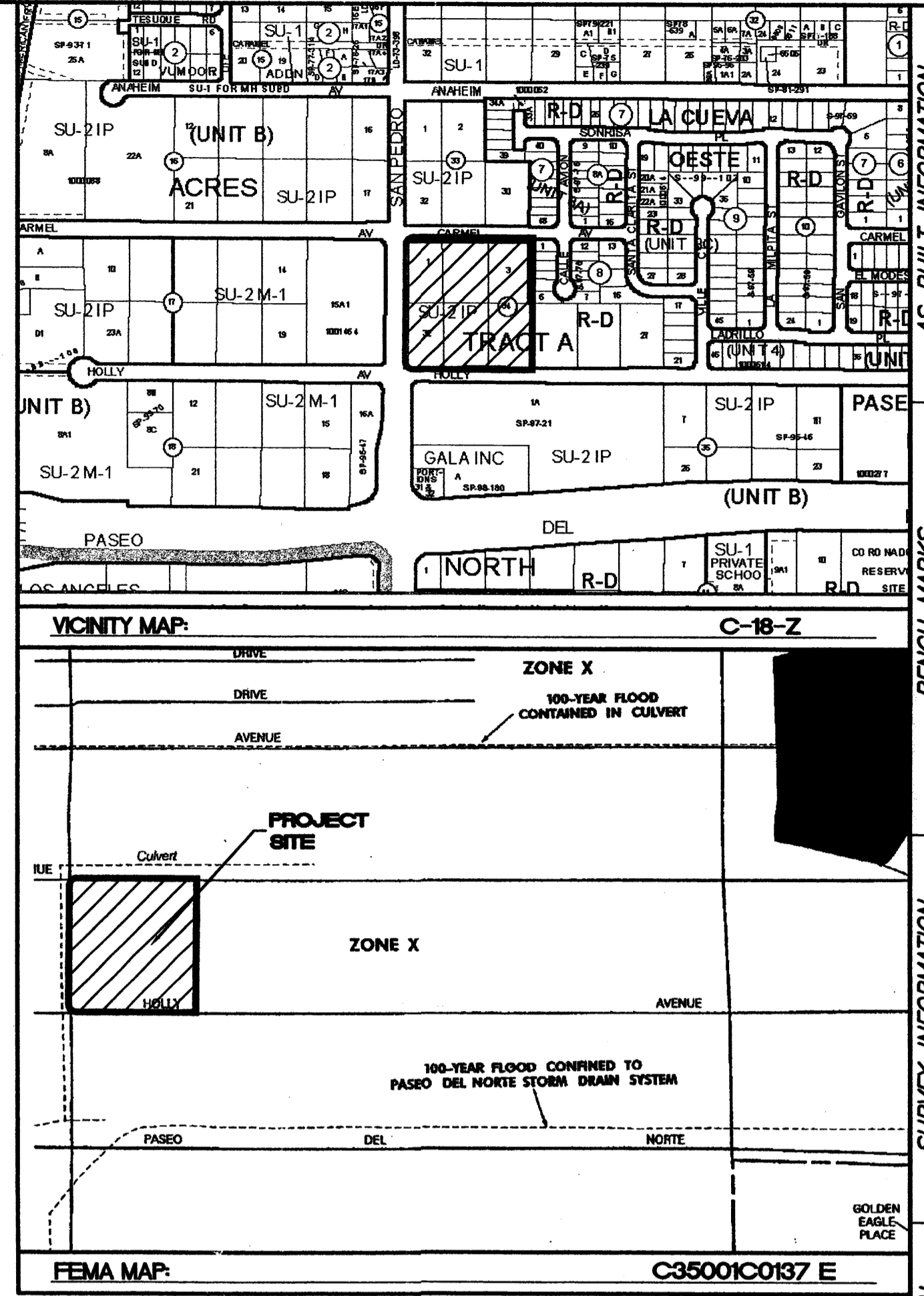
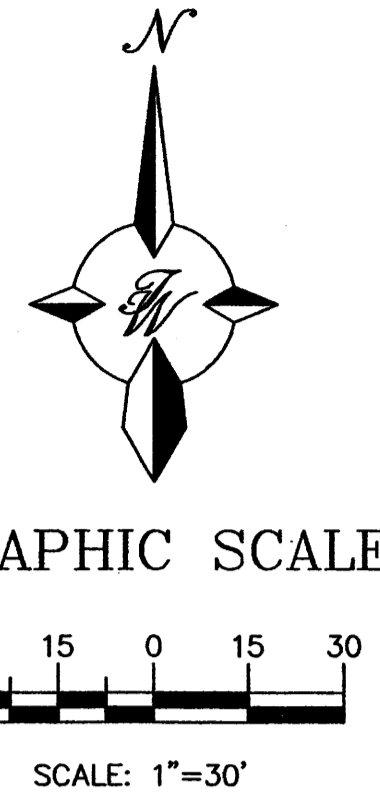
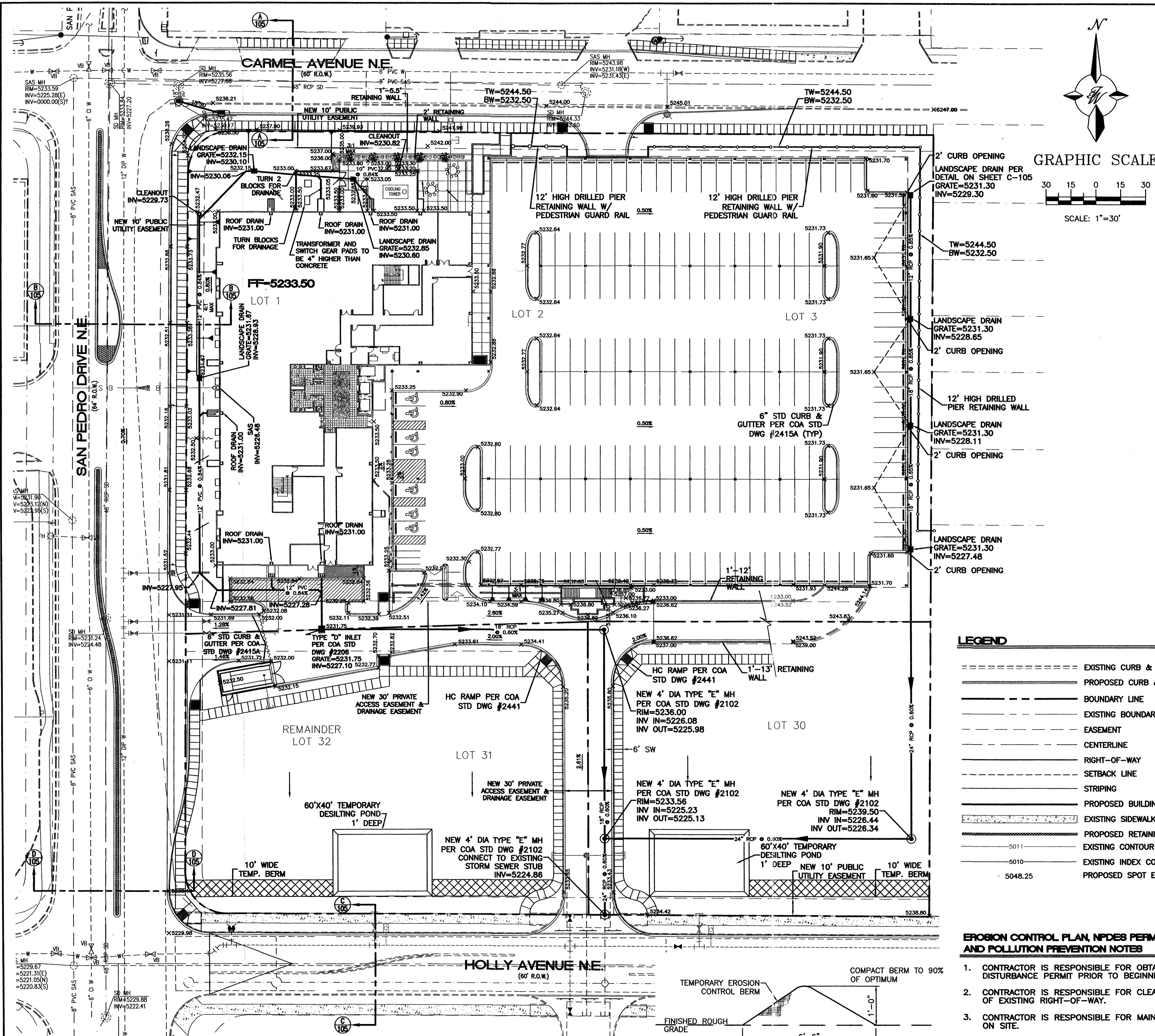
**FEBCO MODEL 765**  
Pressure Vacuum Breaker  
Outside Installation

**GRAPHIC SCALE**



**The Hilltop**  
LANDSCAPE ARCHITECTS + CONTRACTORS  
Cont. Lic. #26458  
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Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmj@hilltoplandscaping.com

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**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

**ROUGH GRADING APPROVAL** \_\_\_\_\_ DATE \_\_\_\_\_

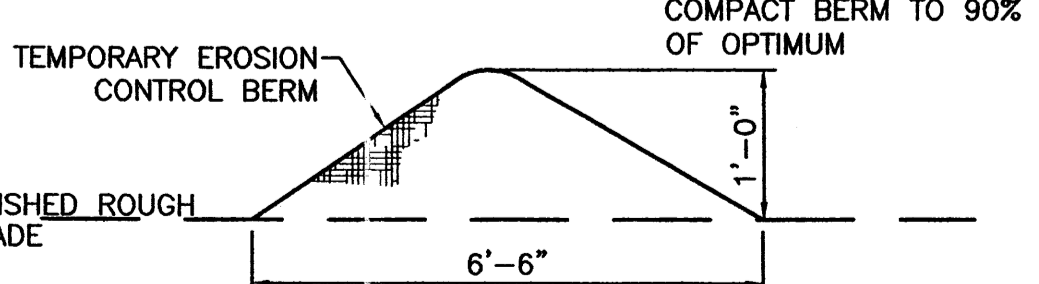
**LEGEND**

- EXISTING CURB & GUTTER
- ===== PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- SETBACK LINE
- STRIPING
- PROPOSED BUILDING
- EXISTING SIDEWALK
- PROPOSED RETAINING WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED SPOT ELEVATION

**EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**EROSION CONTROL BERM DETAIL**



AS BUILT INFORMATION		CONTRACTOR	
NO.	DATE	NO.	DATE
SURVEY INFORMATION		BENCH MARKS	
NO.	DATE	NO.	DATE
FIELD NOTES		CENTRAL STATION DATA	
NO.	DATE	NO.	DATE
ENGINEER'S SEAL		NAD STATE PLANE COORDINATES	
NO.	DATE	NO.	DATE
REVISIONS		MICRO-FILM INFORMATION	
NO.	DATE	NO.	DATE
DESIGN		RECORDED BY	
NO.	DATE	NO.	DATE

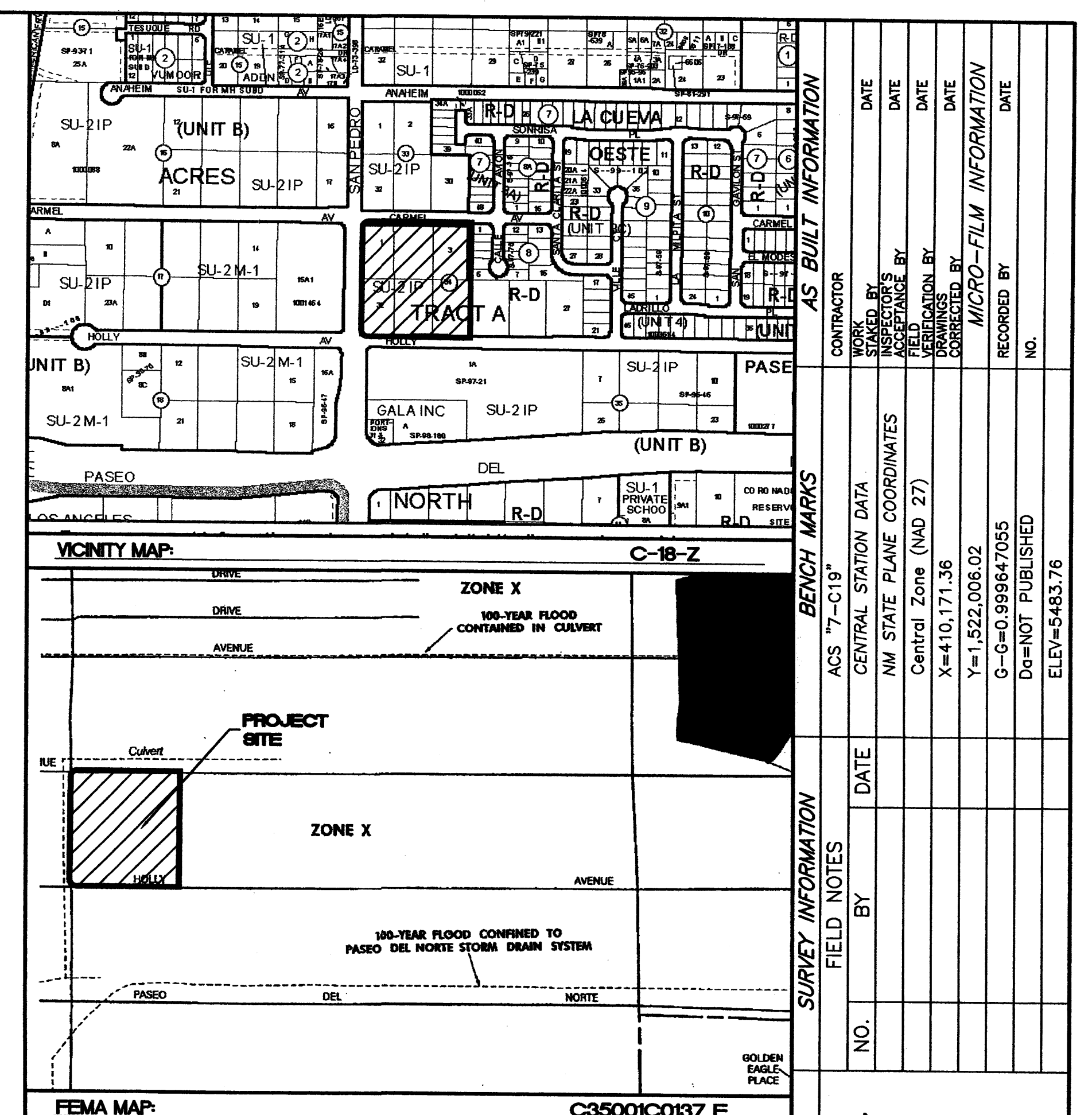
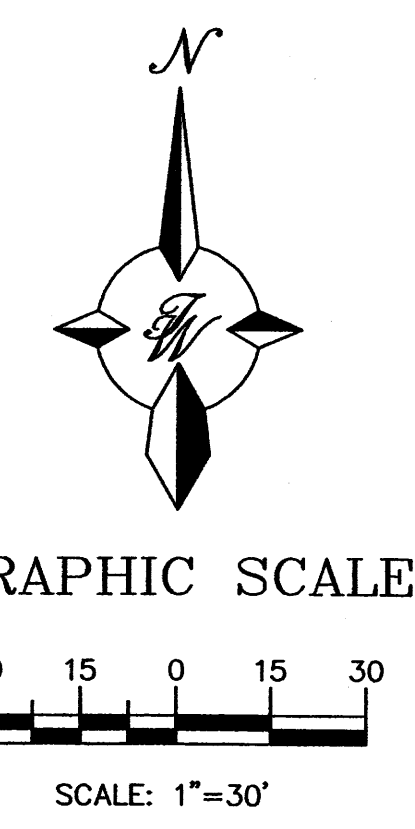
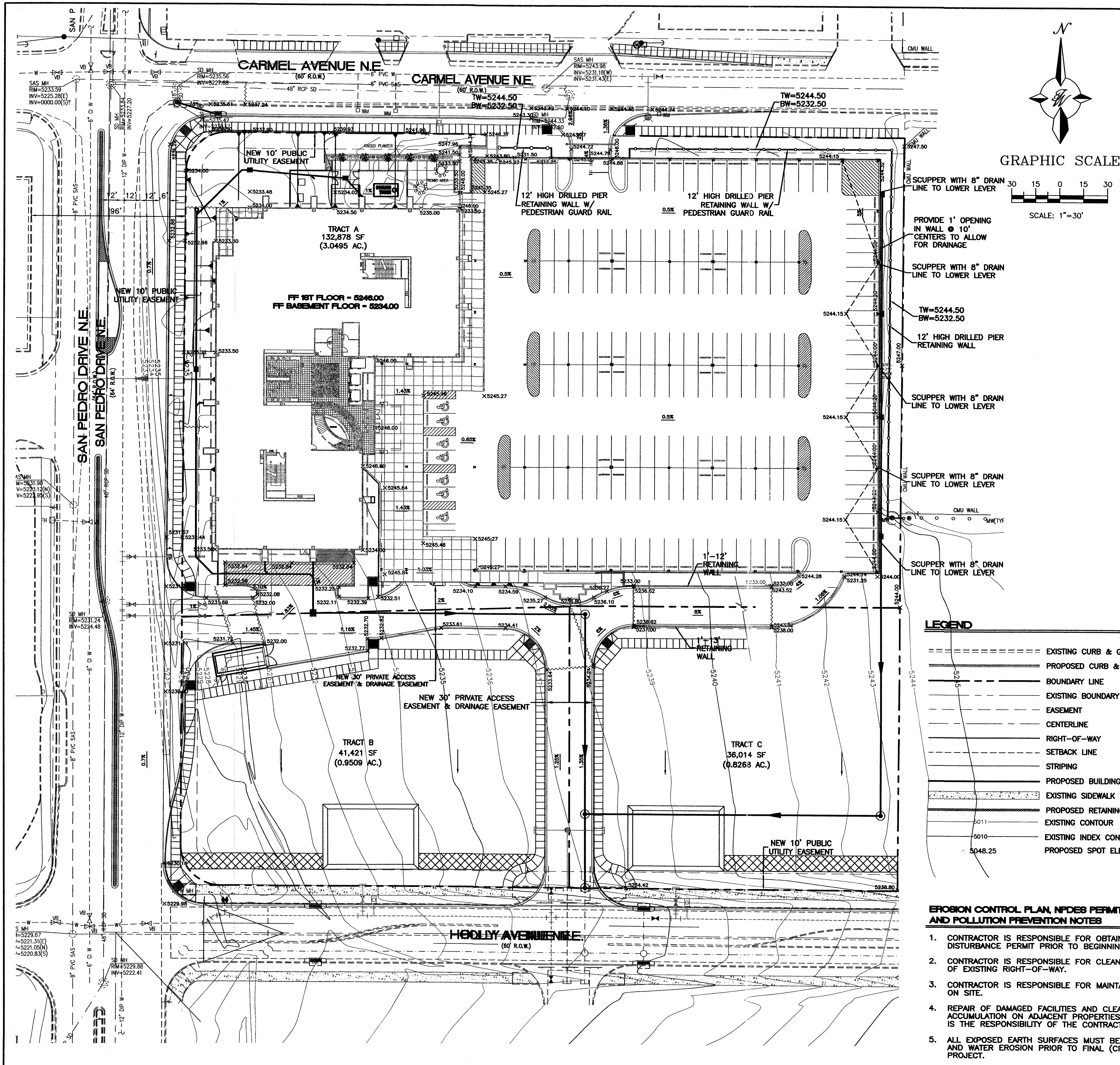
**TIERRA WEST, LLC**  
 5571 MIDWAY PARK PLACE NE  
 ALBUQUERQUE, NM 87109  
 (505)858-3100

**CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING GROUP**

**TITLE: PASEO NUEVO  
 GRADING AND DRAINAGE PLAN  
 (GROUND LEVEL)**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. **796381** ZONE MAP NO. **C-18-Z** SHEET **3** OF **10**



AS BUILT INFORMATION	
CONTRACTOR	WORKED BY
INSPECTOR'S NAME	DATE
FIELD VERIFICATION BY	DATE
CONTRACT NO.	DATE
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	BY
NO.	DATE
NO.	DATE
NO.	DATE
NO.	DATE

ENGINEER'S SEAL	
NO.	DATE
NO.	DATE
NO.	DATE
NO.	DATE

NOTICE TO CONTRACTORS	
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.	
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.	
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.	
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.	
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.	
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.	
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.	

APPROVAL	NAME	DATE
INSPECTOR		

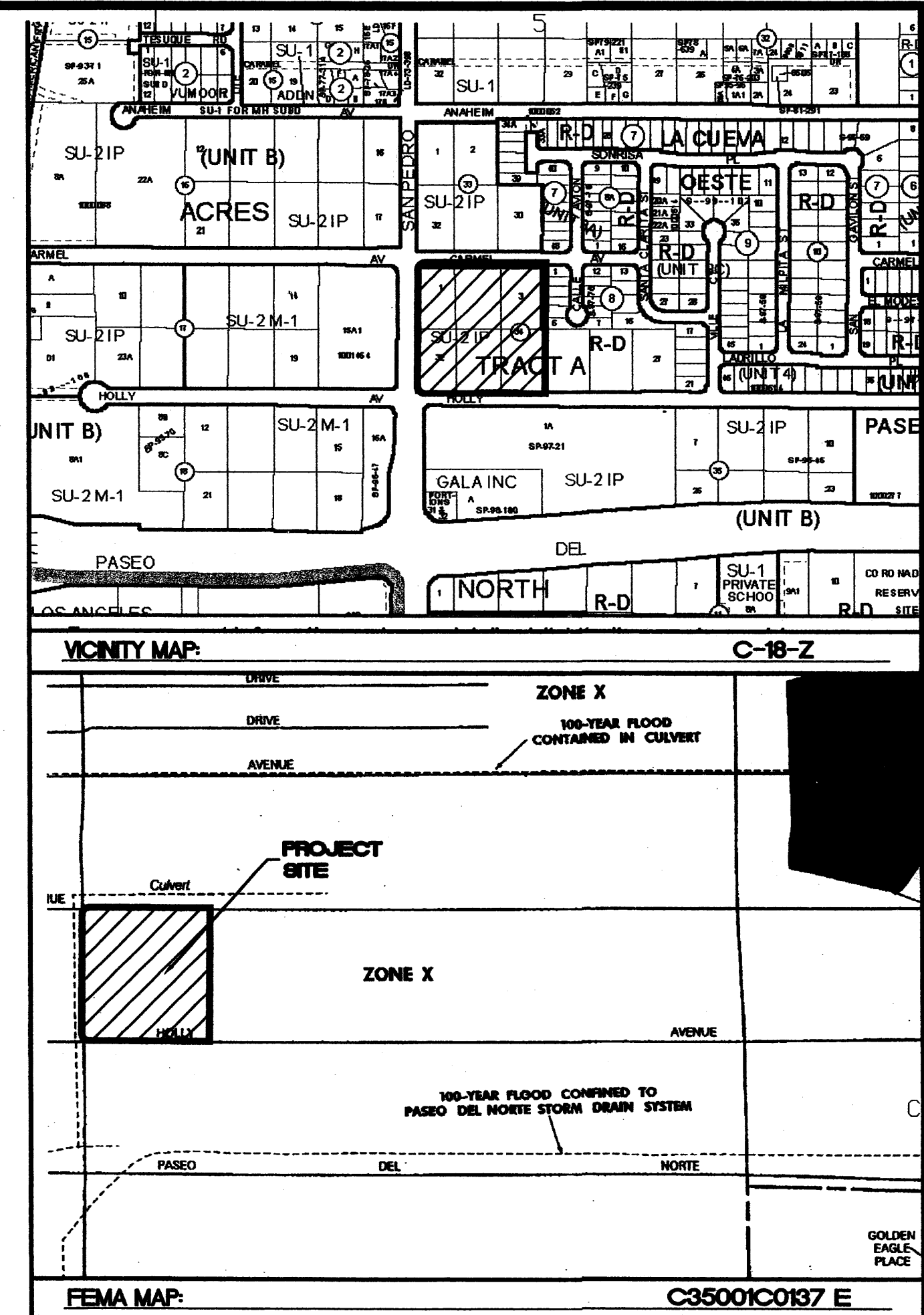
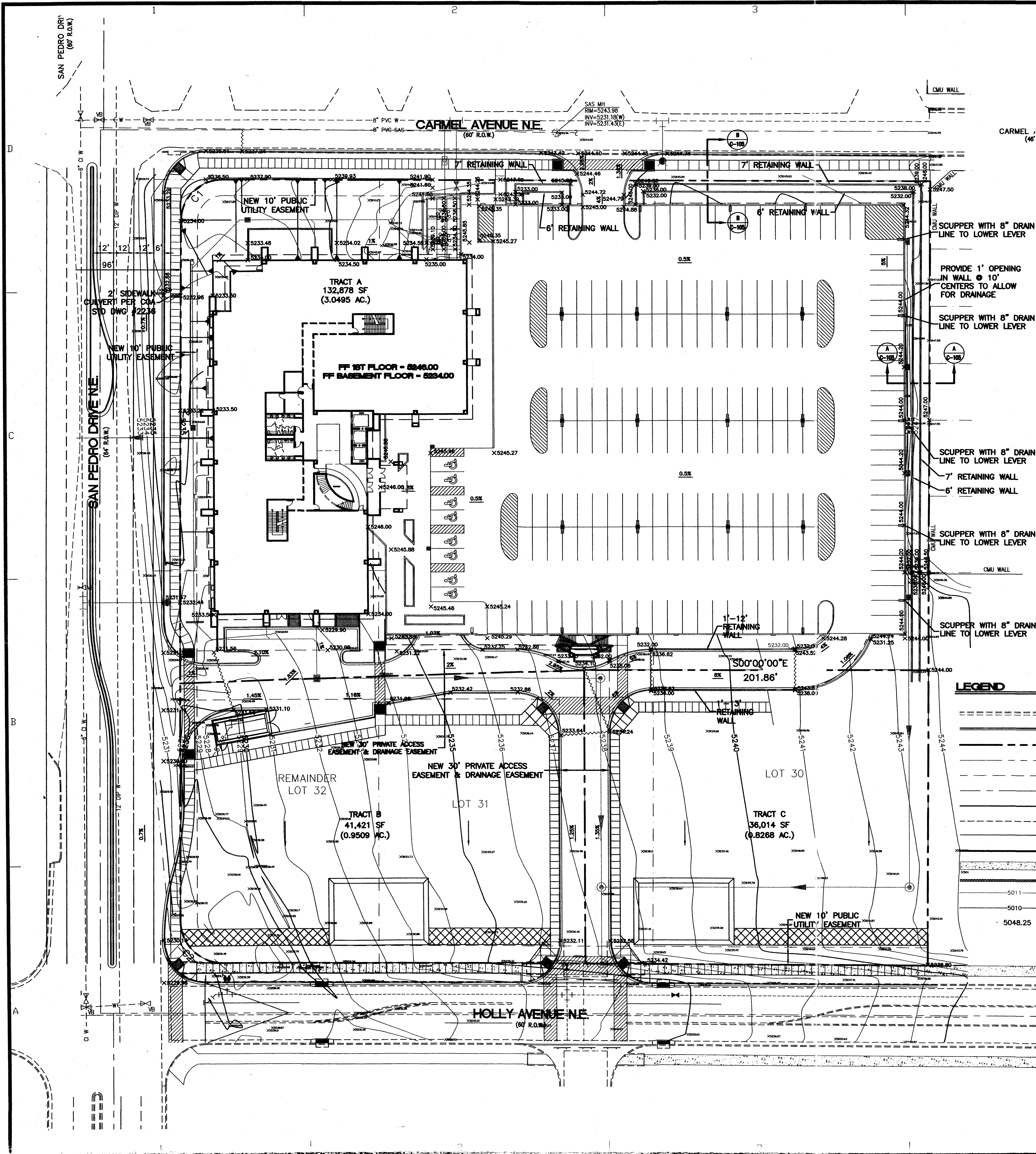
ROUGH GRADING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

TERRA WEST, LLC	
5571 MIDWAY PARK PLACE NE	
ALBUQUERQUE, NM 87109	
(505)858-3100	

CITY OF ALBUQUERQUE	
PUBLIC WORKS DEPARTMENT	
ENGINEERING GROUP	
TITLE:	PASEO NUEVO GRADING AND DRAINAGE PLAN (FIRST LEVEL)
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO. 796381	ZONE MAP NO. C-18-Z
SHEET 4	OF 10

LEGEND	
---	EXISTING CURB & GUTTER
---	PROPOSED CURB & GUTTER
---	BOUNDARY LINE
---	EXISTING BOUNDARY LINE
---	EASEMENT
---	CENTERLINE
---	RIGHT-OF-WAY
---	SETBACK LINE
---	STRIPING
---	PROPOSED BUILDING
---	EXISTING SIDEWALK
---	PROPOSED RETAINING WALL
---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED SPOT ELEVATION

- EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
  - REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



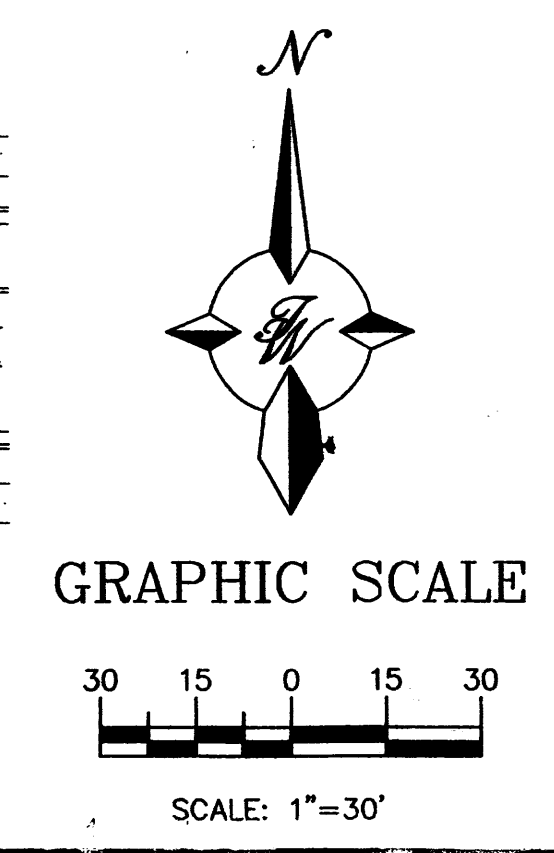
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- LEGEND**
- EXISTING CURB & GUTTER
  - PROPOSED CURB & GUTTER
  - BOUNDARY LINE
  - EXISTING BOUNDARY LINE
  - EASEMENT
  - CENTERLINE
  - RIGHT-OF-WAY
  - SETBACK LINE
  - STRIPING
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  - PROPOSED RETAINING WALL
  - EXISTING CONTOUR
  - EXISTING INDEX CONTOUR
  - PROPOSED SPOT ELEVATION
- ROUGH GRADING APPROVAL** \_\_\_\_\_ DATE \_\_\_\_\_
- NOTICE TO CONTRACTORS**
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APPROVAL	NAME	DATE
INSPECTOR		

<p>RONALD R. BOHANNAN P.E. #17868</p>	<p><b>PASEO NUEVO</b></p> <p><b>GRADING AND DRAINAGE PLAN (1ST FLOOR)</b></p> <p><b>TIERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100</p>
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**STUDIO SW ARCHITECTS**

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2101 Mountain Rd. NW, Albuquerque, NM 87104  
505.843.9639 fax 505.843.9683  
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Architect      Engineer

**PASEO NUEVO  
SAN PEDRO & HOLLY  
ALBUQUERQUE, NM**

MARK	DATE	DESCRIPTION
ISSUE:	DRB SUBMITTAL	
PROJECT NO:	0424	
CAD DWG FILE:	24100-GRE-upper	
DRAWN BY:	DY	
CHECKED BY:		
DATE:	8/16/06	

SHEET TITLE

sheet C-103 of sheets