

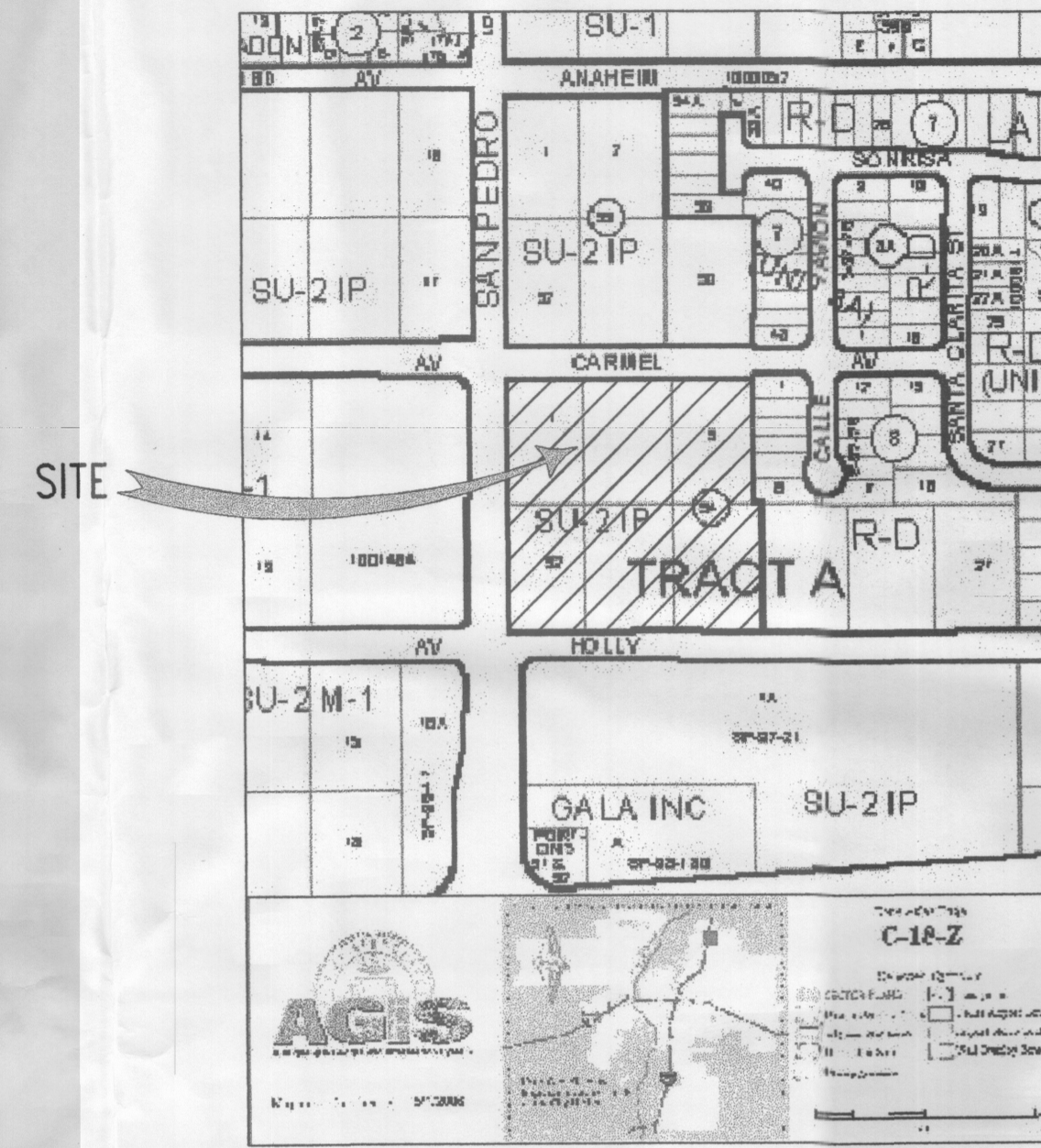
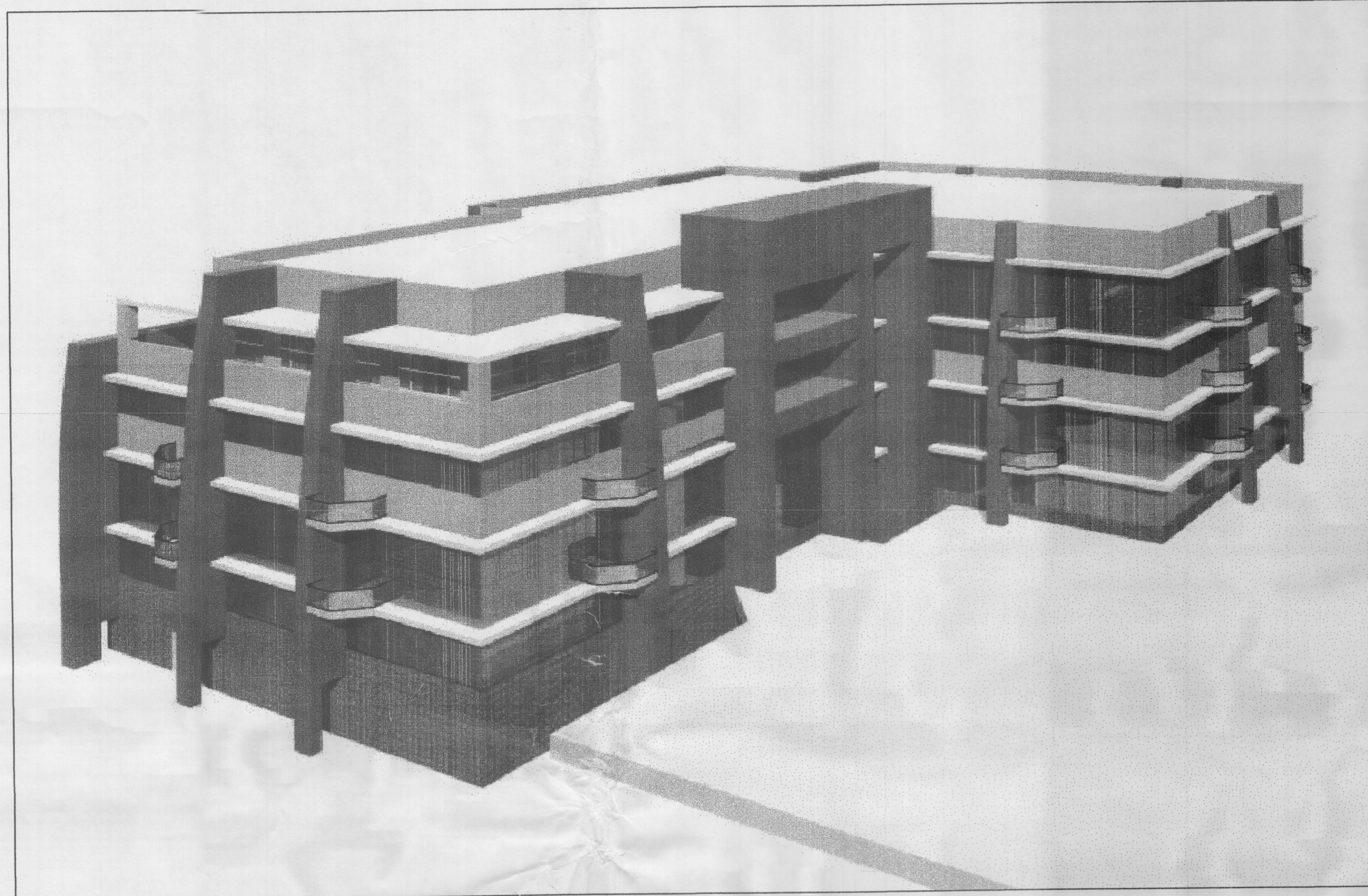
P A S E O N N U E V O

DRB SUBMITTAL

SITE PLAN FOR SUBDIVISION AND SITE PLAN FOR BUILDING PERMIT



CONSULTANTS



VICINITY MAP
NTS

Architect Engineer

NOT FOR CONSTRUCTION

SET NUMBER
**PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM**

PROJECT DIRECTORY

OWNER/USER:

San Pedro Equities
Land Use Solutions, LLC
4101 Indian School Rd. NE Suite 400
Albuquerque, NM 87110 (505) 262-2323
CONTACT: Josh Skarsgard, CPA (505) 998-9809

CIVIL:

TIERRA WEST, LLC
8509 Jefferson St NE (505) 823-1000
Albuquerque, NM 87113 (505) 798-7988 Fax
CONTACT: JON NISKI

LANDSCAPE:

HILLTOP
7909 EDITH NE
P.O. BOX 10630 (505) 898-9690
Albuquerque, NM 87184 (505) 898-7737 Fax
CONTACT: CARRIE JOHNSON

STRUCTURAL:

Chavez Grieves
4700 Lincoln NE (505) 344-4080
Albuquerque, NM 87109 (505) 343-8759 Fax

ARCHITECT:

STUDIO SW Architects, Inc.
2101 MOUNTAIN ROAD NW (505) 843-9639
Albuquerque, NM 87104 (505) 843-9683 Fax

DRAWING INDEX

GENERAL

- G-000 COVER SHEET, DRAWING INDEX, CONTACTS, LOCATION MAP
- AS-100 OVERALL SITE PLAN, GROUND FLOOR
- AS-101 OVERALL SITE PLAN, 1ST FLOOR
- AS-102 SITE DETAILS
- AS-103 SITE DETAILS

CIVIL

- C-101 SITE PLAN FOR SUBDIVISION
- C-102 GRADING AND DRAINAGE, GROUND FLOOR
- C-103 GRADING AND DRAINAGE, 1ST FLOOR
- C-104 MASTER UTILITY PLAN
- C-105 DETAILS AND CROSS SECTIONS

LANDSCAPE

- L-1 PLANTING PLAN

ARCHITECTURAL

- A-201 ELEVATIONS
- A-202 ELEVATIONS

MARK DATE DESCRIPTION

ISSUE: DRB SUBMITTAL
PROJECT NO: 0424
CAD DWG FILE: 0424-G-000.DWG
DRAWN BY: MSO
CHECKED BY: JDD
DATE: 6/02/06

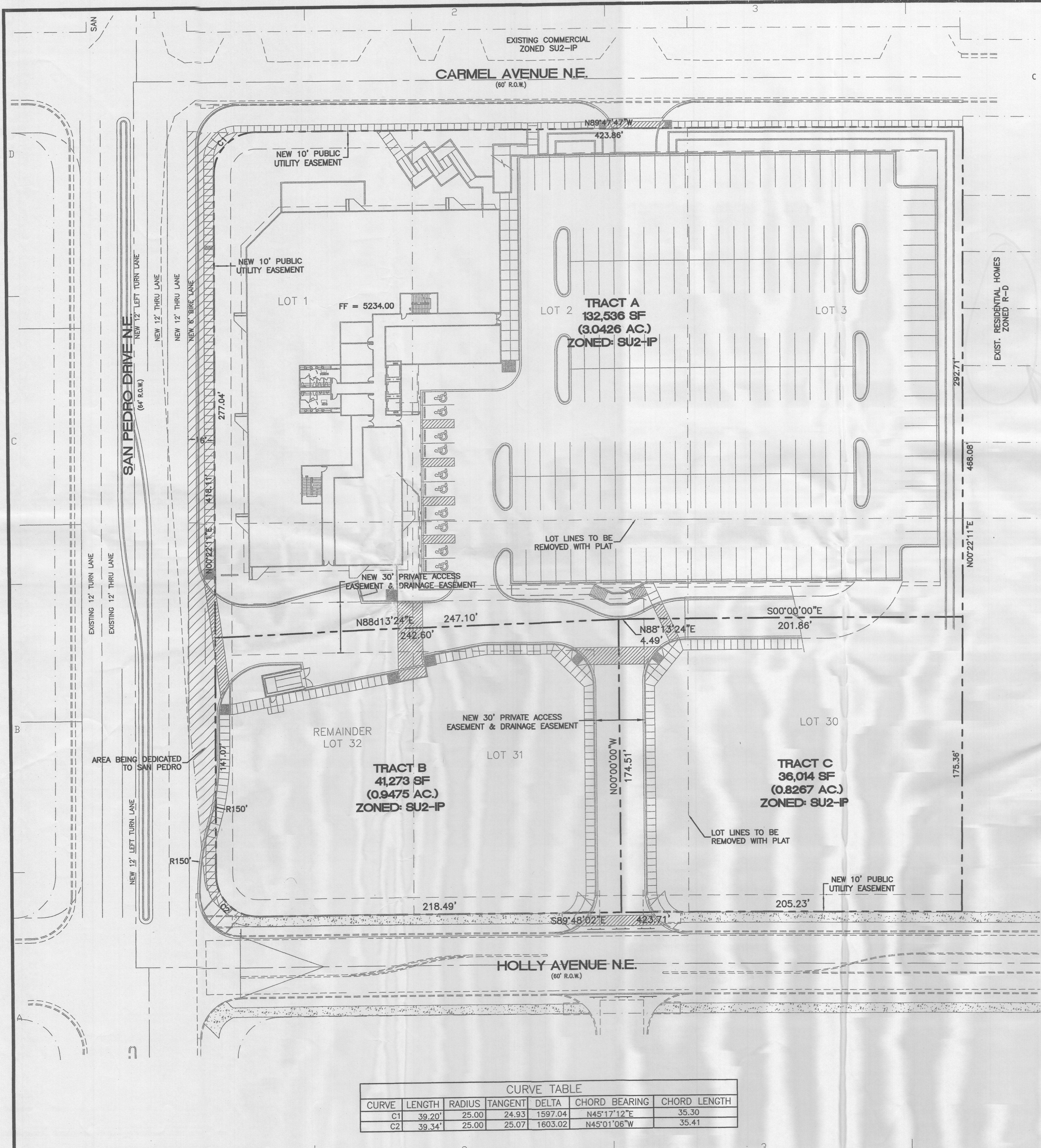
SHEET TITLE

COVER SHEET,
DRAWING INDEX, CONTACTS,
LOCATION MAP

G-000

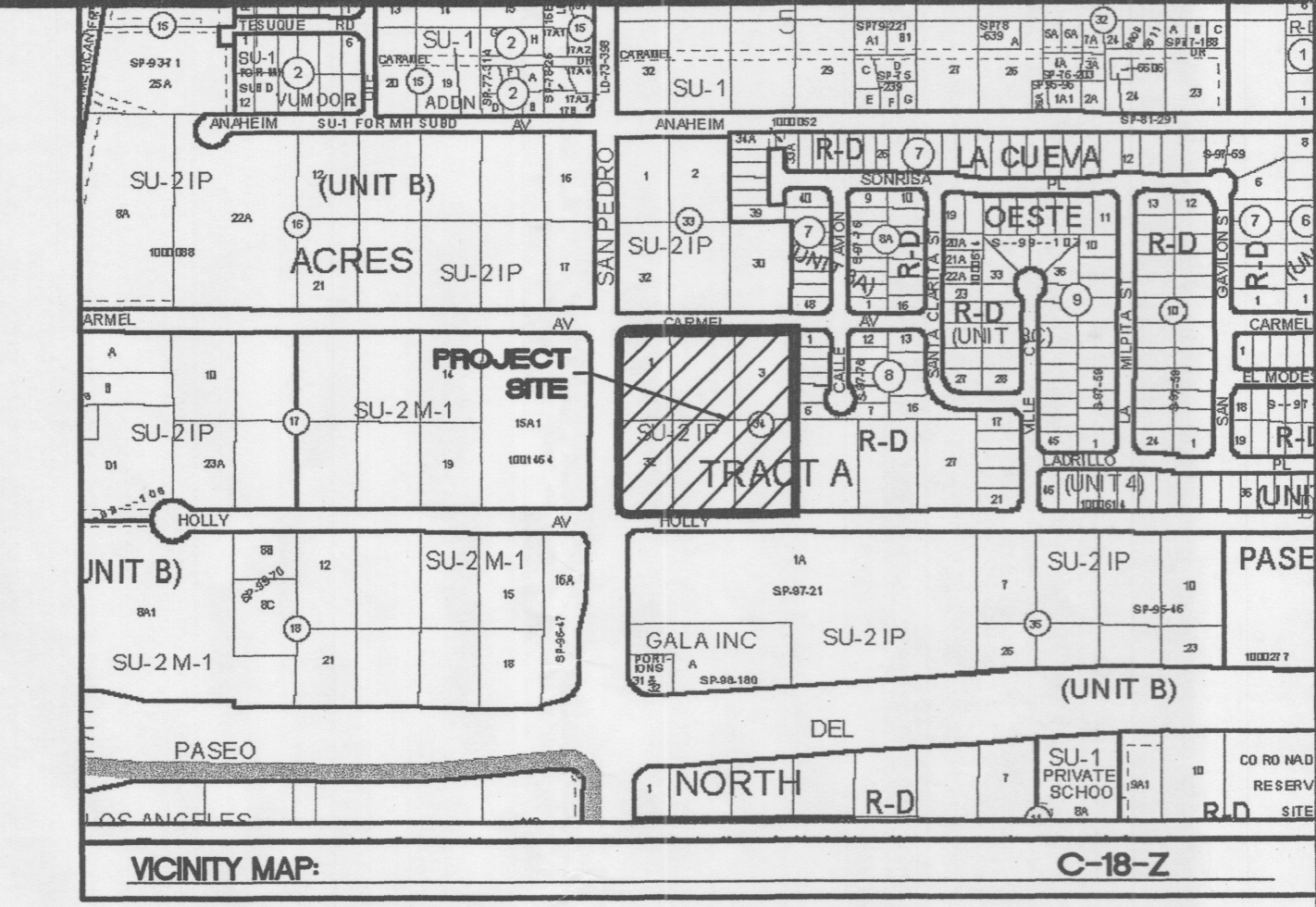
sheet of sheets

PLANNING



CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	39.20'	25.00	24.93	1597.04	N45°17'12"E	35.30
C2	39.34'	25.00	25.07	1603.02	N45°01'06"W	35.41



LEGAL DESCRIPTION:
 LOTS 1, 2, 3, 30, 31, 32 OF TRACT A, BLOCK 34 OF NORTH ALBUQUERQUE ACRES

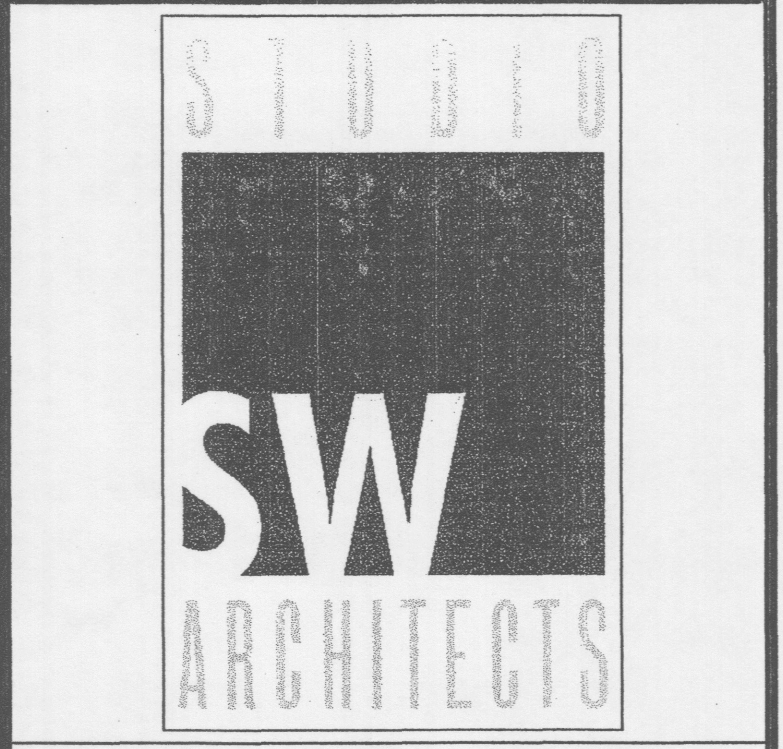
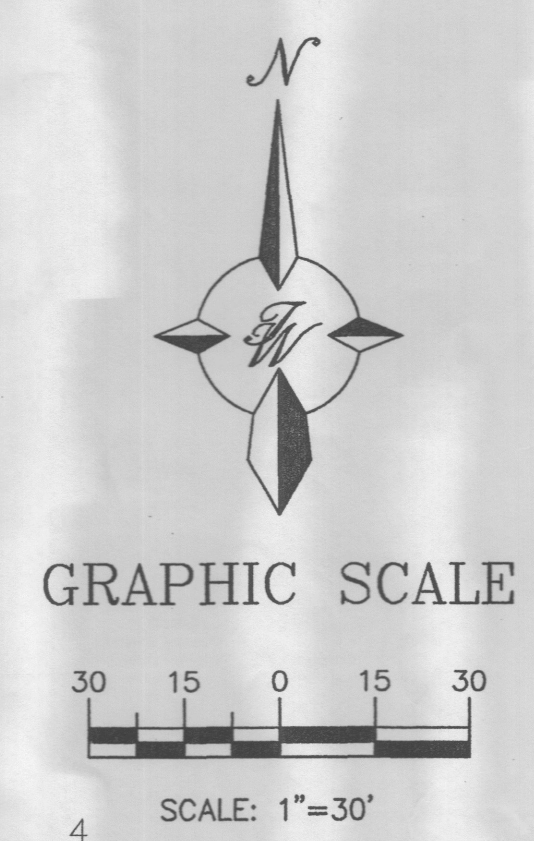
- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - LIGHT POLES SHALL BE A MAXIMUM OF 30' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 30' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - SETBACKS: 20' FRONT YARD, 10' SIDE AND REAR YARD.
 - BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE IP ZONE OF THE COMPREHENSIVE CITY ZONING CODE.

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
<i>Michael Holton (see attached letter)</i>	6/15/06
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	



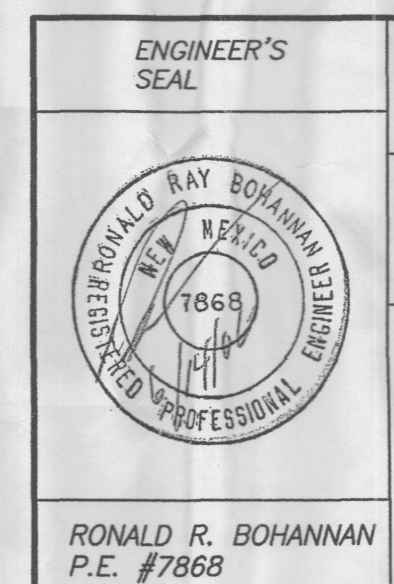
CONSULTANTS

Architect _____
 Engineer _____

NOT FOR CONSTRUCTION

PASEO NUEVO
 SAN PEDRO & HOLLY
 ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		24100-SPSE
DRAWN BY:		DY
CHECKED BY:		
DATE:		6/13/06



PASEO NUEVO

SITE PLAN FOR SUBDMISION

TIERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

SHEET TITLE _____

sheet C-101 of _____ sheets

GENERAL NOTES

PROVIDE ONE H.C. RESERVED PARKING SIGN AT EACH H.C. PARKING SPACE, PER DETAIL A4/AS-403.
ALL MISCELLANEOUS SITE STEEL, COLOR WILL BE SELECTED BY ARCHITECT

SITE CALCULATIONS

BUILDING SQUARE FOOTAGE	PARKING SPACES REQUIRED
BASEMENT FLOOR TOTAL GROSS SF = 25,500 SF	5 SPACES @ 1 SPACE/2,000 SF
BASEMENT FLOOR TOTAL NET SF STORAGE = 8,768 SF -->	84 SPACES @ 1 SPACE/200 SF
BASEMENT FLOOR TOTAL NET SF OFFICE = 16,730 SF -->	
1ST FLOOR TOTAL GROSS SF = 25,500 SF	73 SPACES @ 1 SPACE/300 SF
1ST FLOOR TOTAL NET SF = 21,845 SF -->	
2ND FLOOR TOTAL GROSS SF = 25,500 SF	67 SPACES @ 1 SPACE/300 SF
2ND FLOOR TOTAL NET SF = 19,850 SF -->	
3RD FLOOR TOTAL GROSS SF = 25,500 SF	72 SPACES @ 1 SPACE/300 SF
3RD FLOOR TOTAL NET SF = 21,492 SF -->	
4TH FLOOR TOTAL GROSS SF = 25,500 SF	72 SPACES @ 1 SPACE/300 SF
4TH FLOOR TOTAL NET SF = 21,318 SF -->	
	TOTAL REQUIRED = 373 SPACES
	TOTAL PROVIDED = 379 SPACES
	HC REQUIRED = 12 SPACES
	HC PROVIDED = 18 SPACES
	BICYCLE RACKS REQUIRED = 19
	BICYCLE RACKS PROVIDED = 20

14-16-03-1
SITE DATA

TOTAL SITE AREA, LESS 60' R.O.W. FOR SAN PEDRO AND HOLLY OFFICE COMPLEX = 209,811 SF (4.82 ACRES)

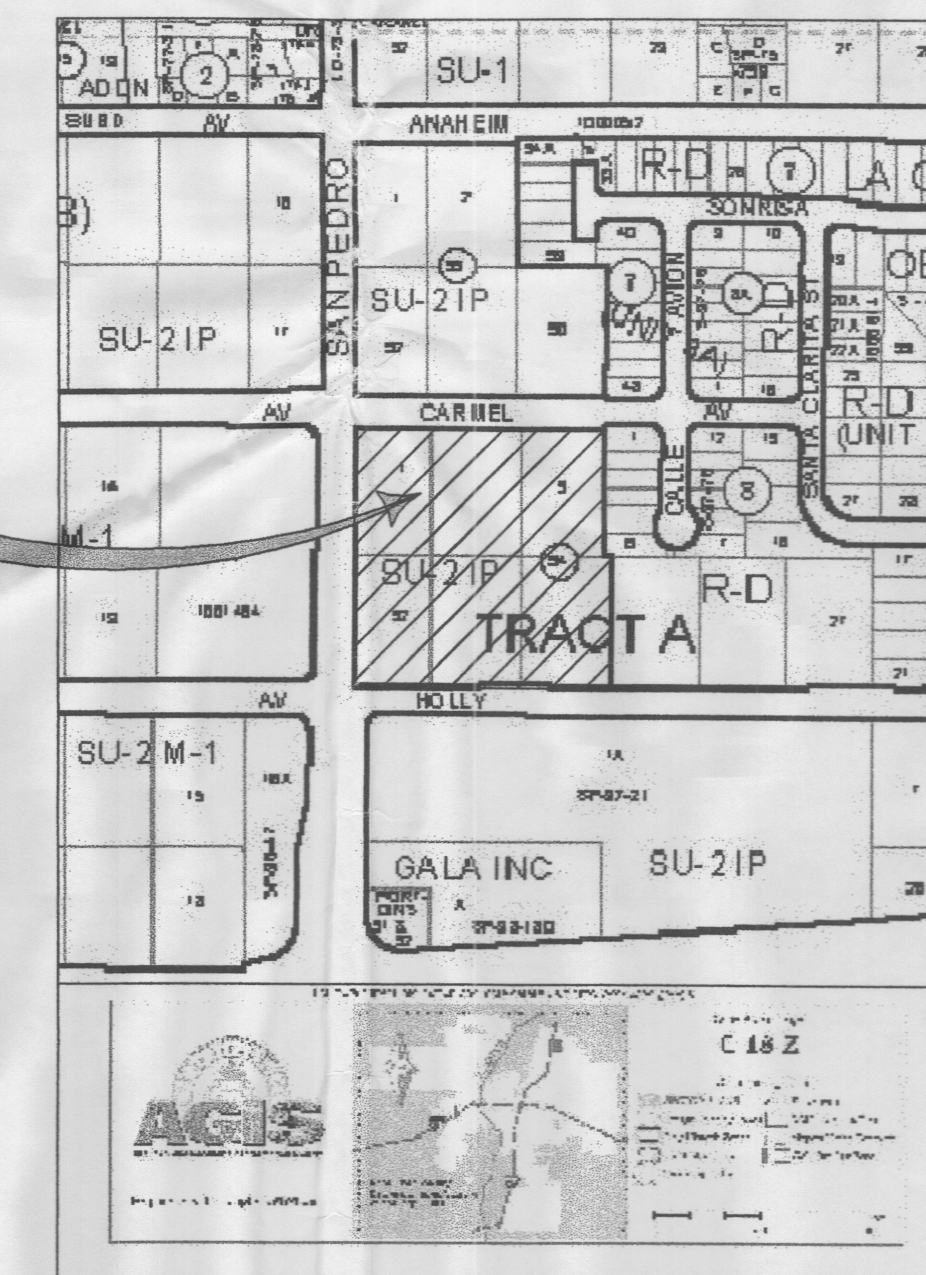
BUILDING FOOTPRINT = 25,500 SF (12% OF SITE, MAX F.A.R. IS 50%)

FRONT YARD SETBACK = 20' MIN.

SIDE YARD SETBACK = 10' MIN.

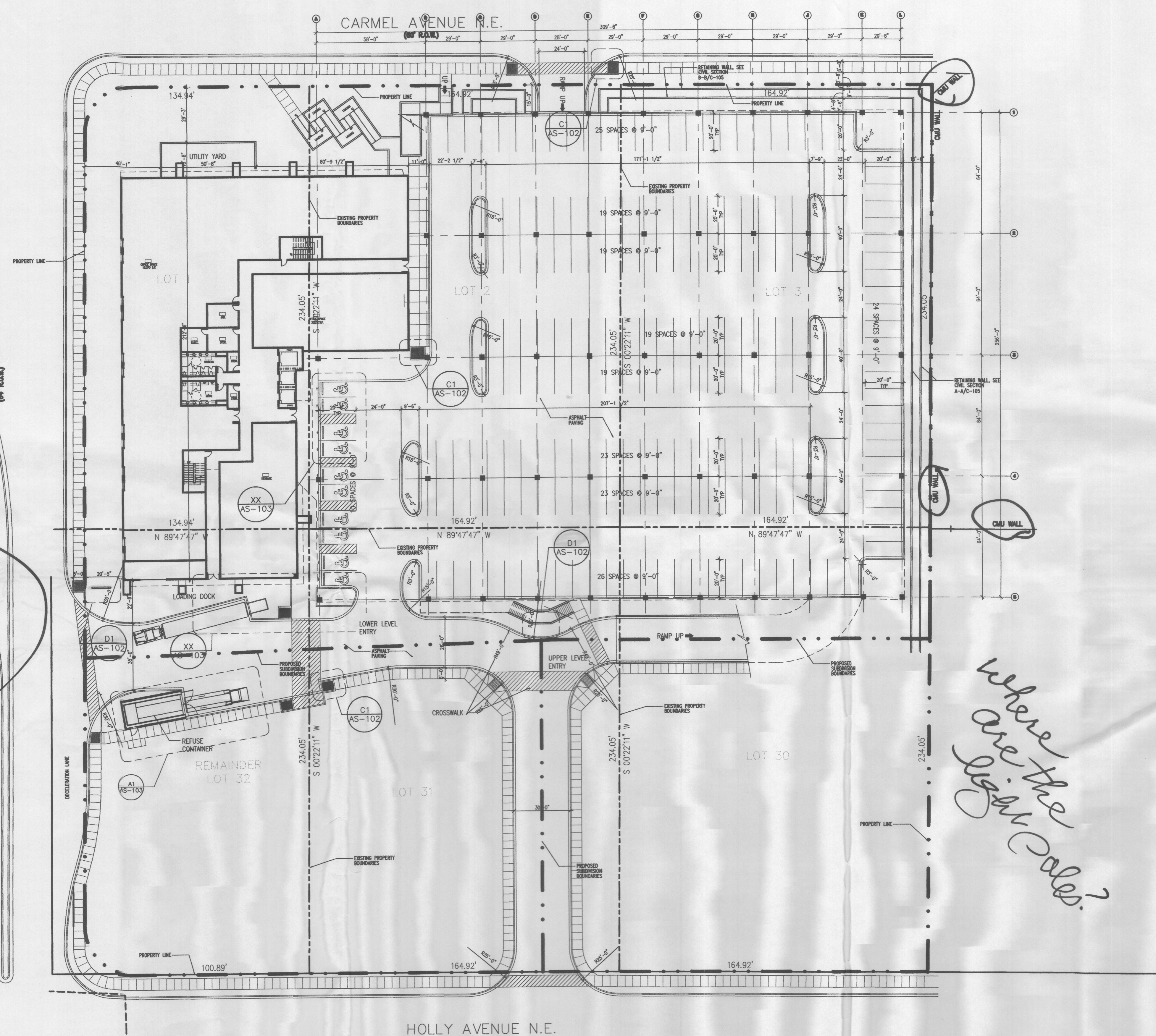
REAR YARD SETBACK = 10' MIN.

MAXIMUM BUILDING HEIGHT = 45' FROM R.O.W., 120' MAX

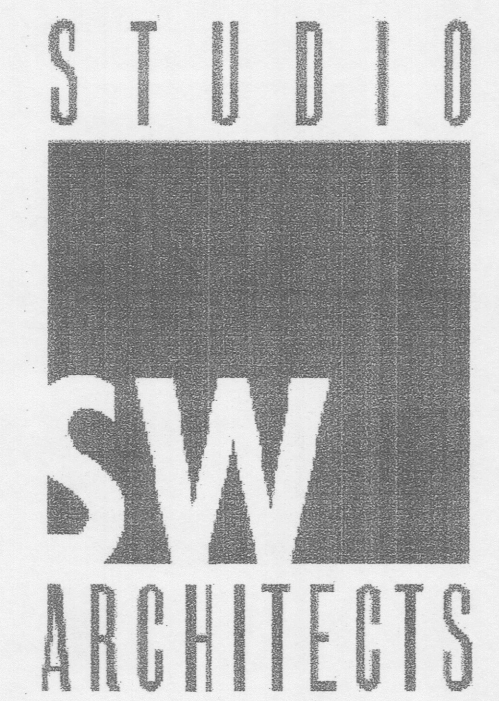
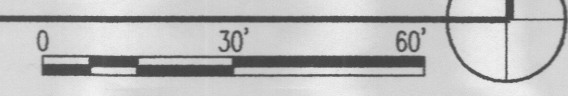


VICINITY MAP

Where are the light poles?



A1 OVERALL SITE PLAN, BASEMENT LEVEL
SCALE: 1"=30'-0"



CONSULTANTS

Architect Engineer

NOT FOR CONSTRUCTION

PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		0424A-SPOO
DRAWN BY:		MO
CHECKED BY:		DD
DATE:		6/02/06

SHEET TITLE
OVERALL SITE PLAN FOR BUILDING PERMIT, BASEMENT LEVEL

AS-100

sheet of sheets

GENERAL NOTES

PROVIDE ONE H.C. RESERVED PARKING SIGN AT EACH H.C. PARKING SPACE, PER DETAIL A4/AS-403.
ALL MISCELLANEOUS SITE STEEL, COLOR WILL BE SELECTED BY ARCHITECT

SITE CALCULATIONS

BUILDING SQUARE FOOTAGE	PARKING SPACES REQUIRED
BASEMENT FLOOR TOTAL GROSS SF = 25,500 SF	5 SPACES @ 1 SPACE/2,000 SF
BASEMENT FLOOR TOTAL NET SF STORAGE = 8,768 SF -->	84 SPACES @ 1 SPACE/200 SF
BASEMENT FLOOR TOTAL NET SF OFFICE = 16,730 SF -->	
1ST FLOOR TOTAL GROSS SF = 25,500 SF	73 SPACES @ 1 SPACE/300 SF
1ST FLOOR TOTAL NET SF = 21,845 SF -->	
2ND FLOOR TOTAL GROSS SF = 25,500 SF	67 SPACES @ 1 SPACE/300 SF
2ND FLOOR TOTAL NET SF = 19,850 SF -->	
3RD FLOOR TOTAL GROSS SF = 25,500 SF	72 SPACES @ 1 SPACE/300 SF
3RD FLOOR TOTAL NET SF = 21,492 SF -->	
4TH FLOOR TOTAL GROSS SF = 25,500 SF	72 SPACES @ 1 SPACE/300 SF
4TH FLOOR TOTAL NET SF = 21,318 SF -->	
	TOTAL REQUIRED = 373 SPACES
	TOTAL PROVIDED = 379 SPACES
	HC REQUIRED = 12 SPACES
	HC PROVIDED = 18 SPACES
	BICYCLE RACKS REQUIRED = 19
	BICYCLE RACKS PROVIDED = 20

SITE DATA

TOTAL SITE AREA, LESS 60' R.O.W. FOR SAN PEDRO AND HOLLY OFFICE COMPLEX	= 209,811 SF (4.82 ACRES)
BUILDING FOOTPRINT	= 25,500 SF (12% OF SITE, MAX F.A.R. IS 50%)
FRONT YARD SETBACK	= 20' MIN.
SIDE YARD SETBACK	= 10' MIN.
REAR YARD SETBACK	= 10' MIN.
MAXIMUM BUILDING HEIGHT	= 45' FROM R.O.W., 120' MAX

CONSULTANTS

Architect Engineer

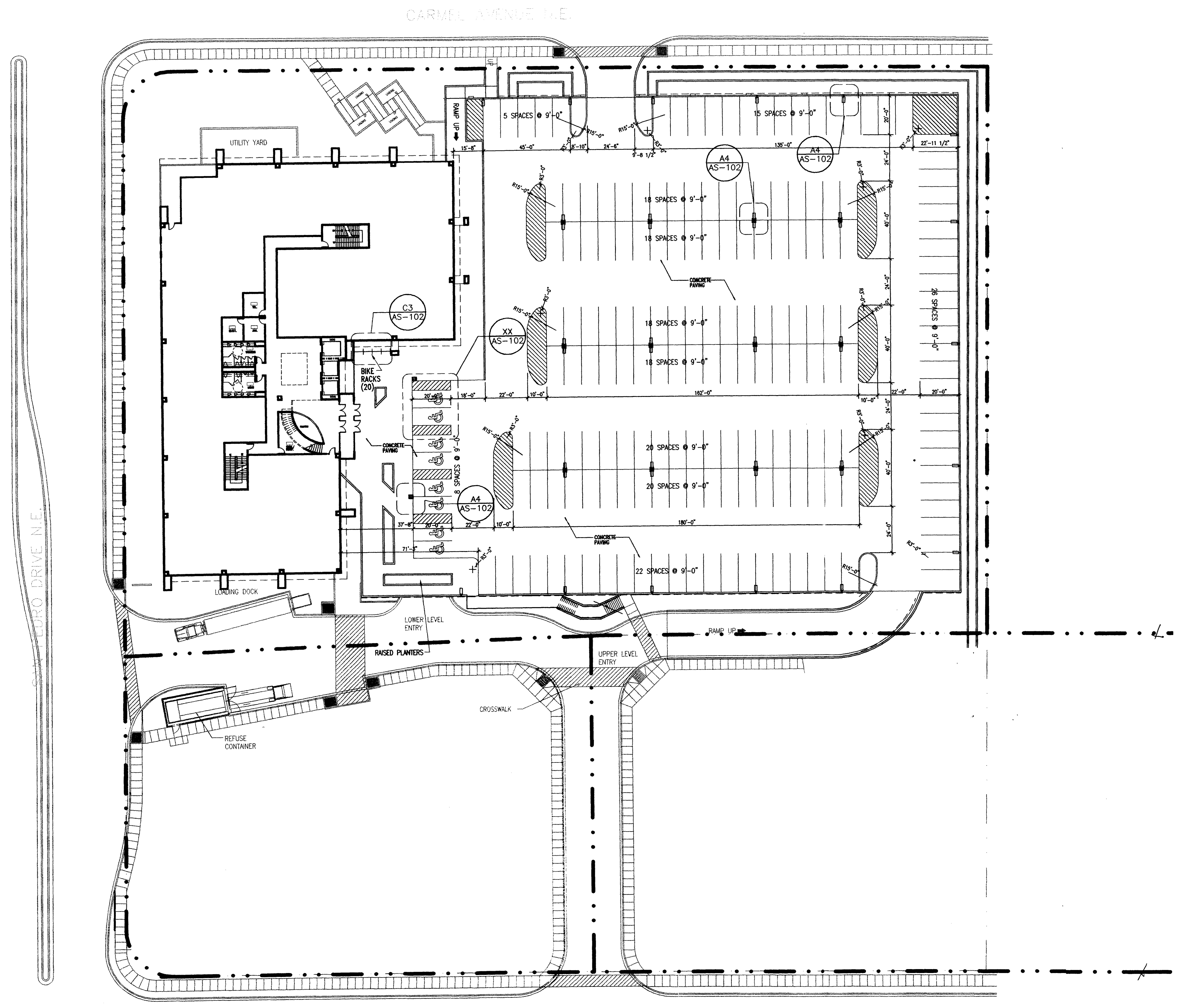
NOT FOR CONSTRUCTION

PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

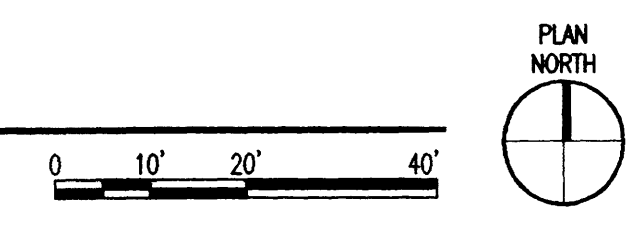
MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		0424AS-101.dwg
DRAWN BY:		MO
CHECKED BY:		DD
DATE:		6/02/06

SHEET TITLE
OVERALL SITE PLAN,
UPPER LEVEL PARKING
AND BUILDING ENTRY
LEVEL

AS-101
sheet of sheets



A1 OVERALL SITE PLAN, UPPER LEVEL PARKING AND BUILDING ENTRY LEVEL
SCALE: 1"=30'-0"



CONSULTANTS

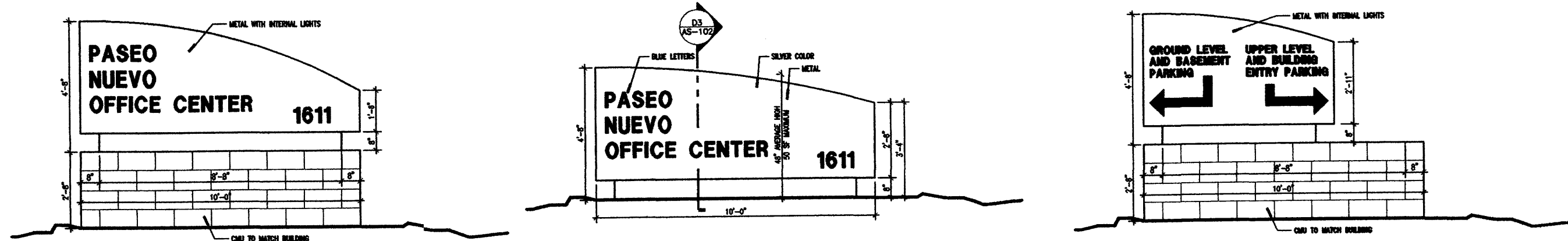
Architect Engineer

NOT FOR
CONSTRUCTION

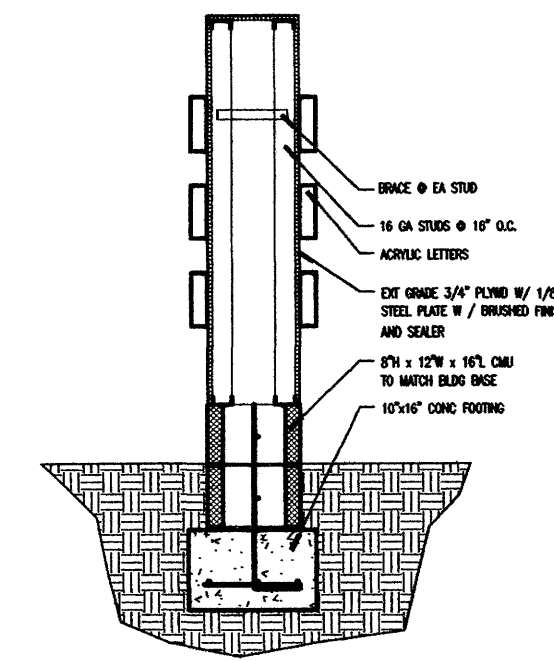
PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		0424AS-102.DWG
DRAWN BY:		MO
CHECKED BY:		DD
DATE:		6/02/06

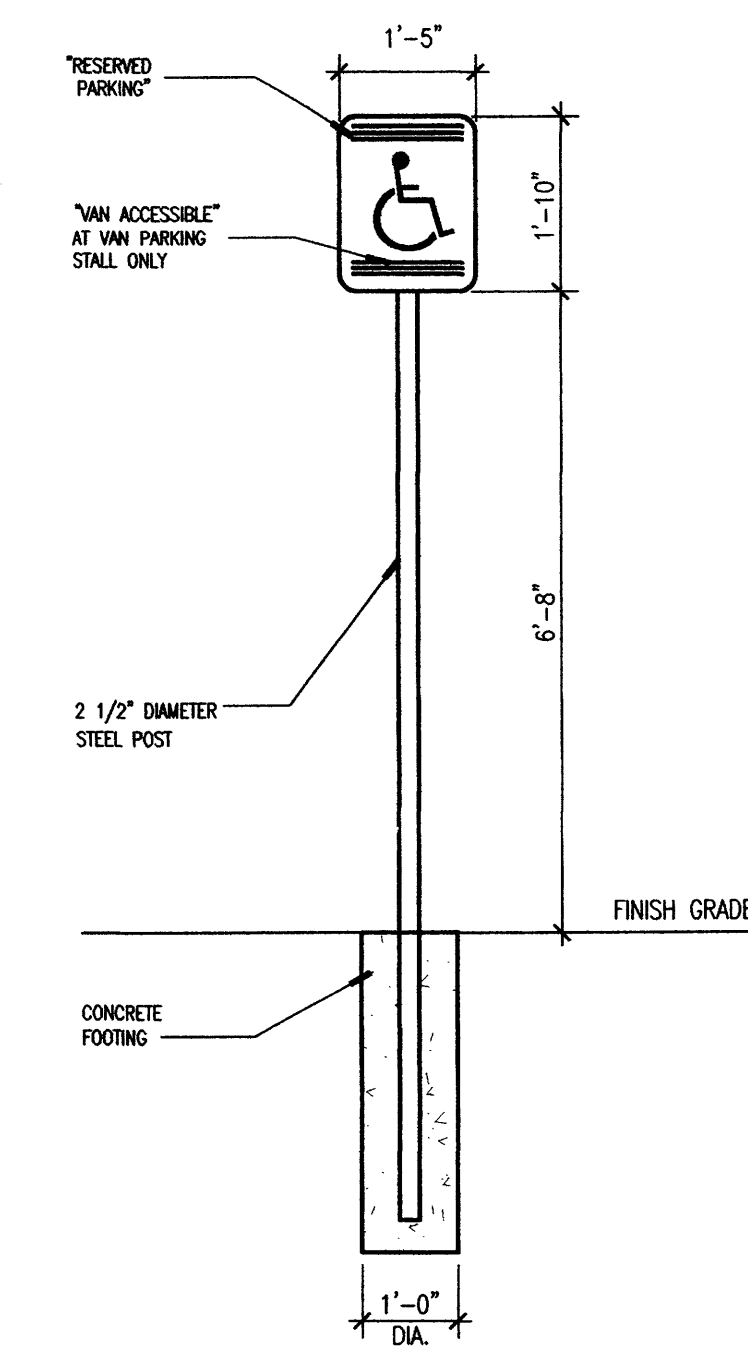
SHEET TITLE
SITE DETAILS



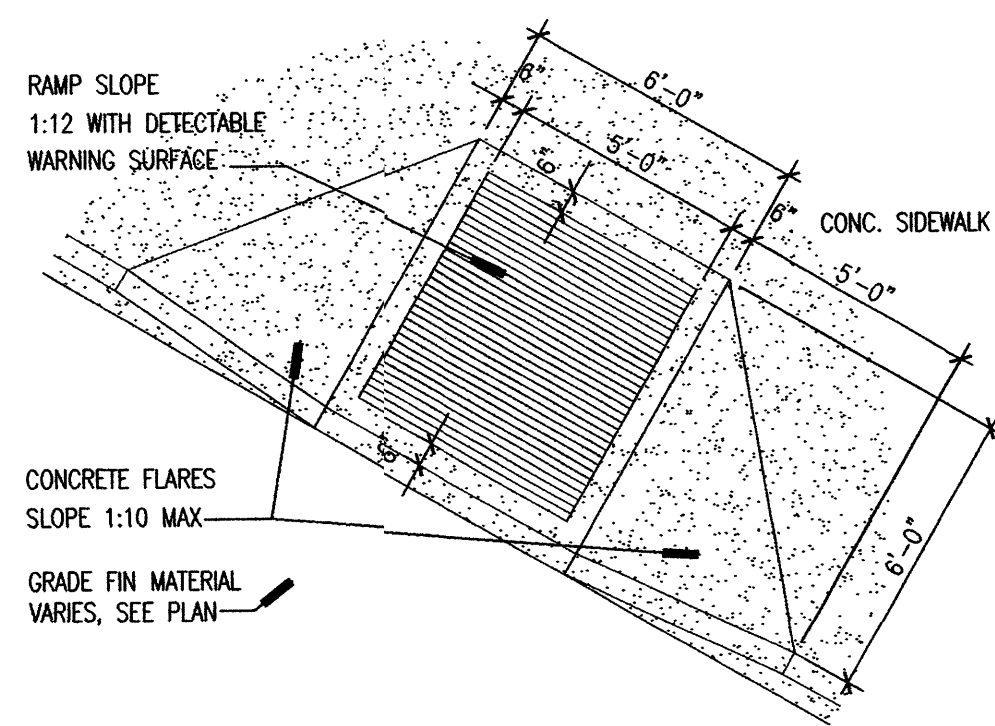
D1 BUILDING SITE SIGNAGE
SCALE: 1/4"=1'-0"



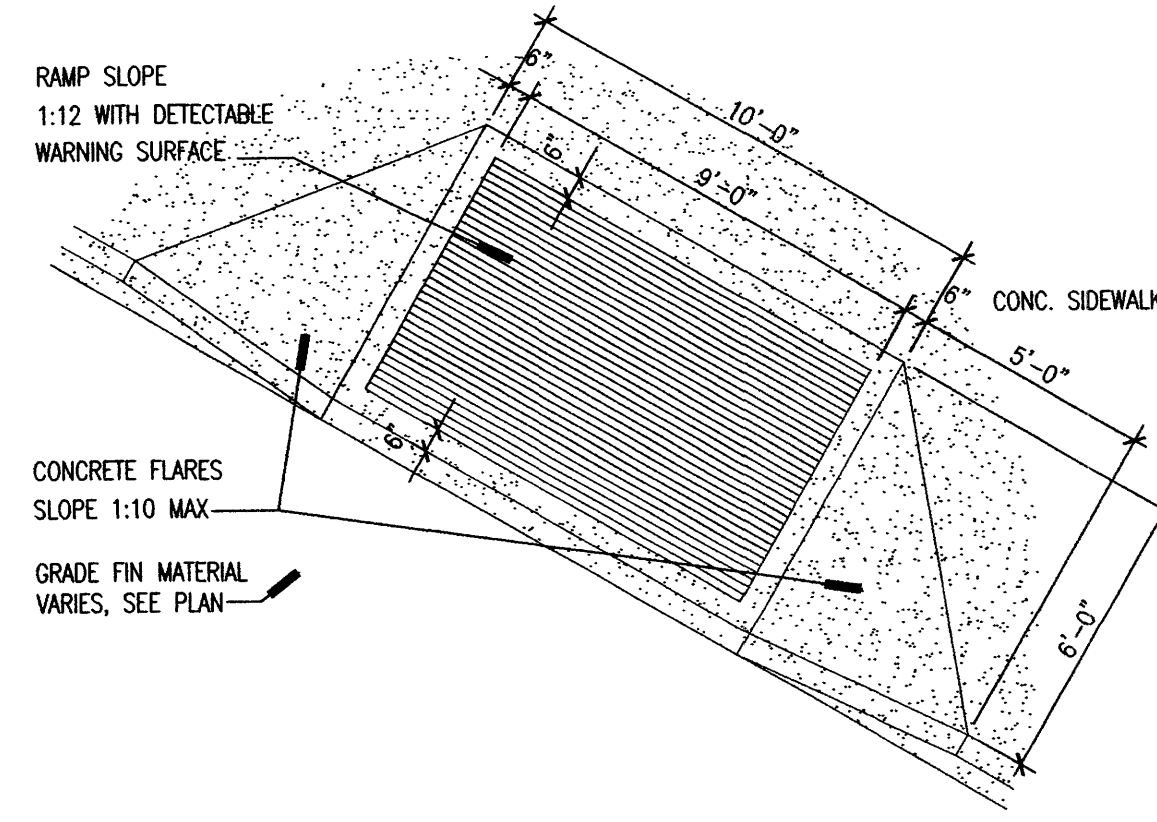
D3 MONUMENT SIGN SECTION
SCALE: 1/2"=1'-0"



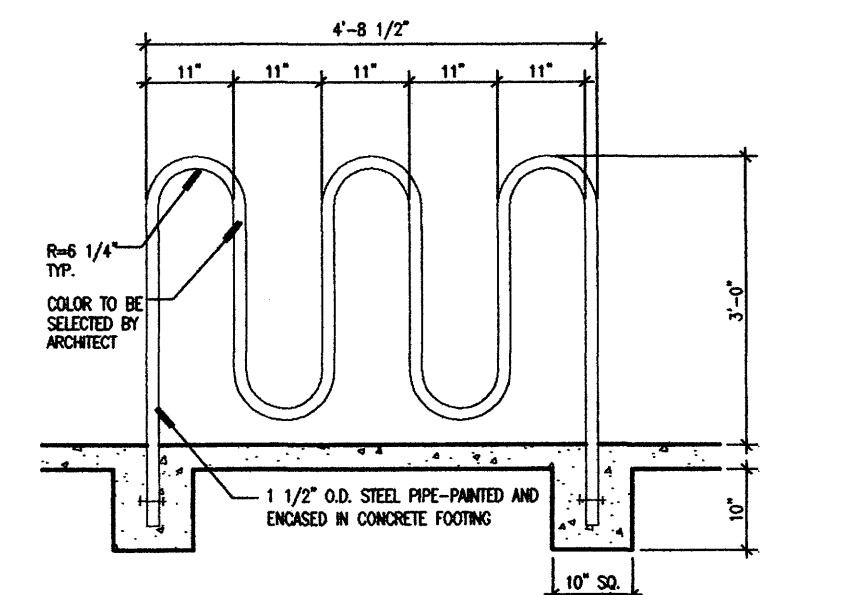
C4 TYP. RESERVED PARKING SIGN
SCALE: 1/2"=1'-0"



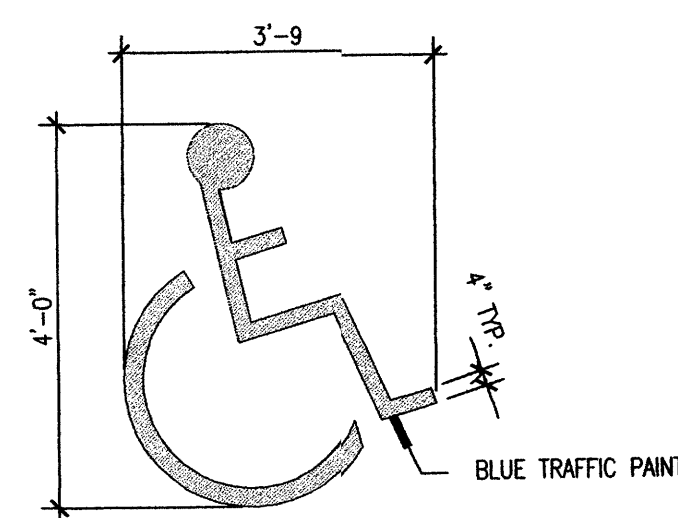
C1 H.C. RAMP
SCALE: 1/4"=1'-0"



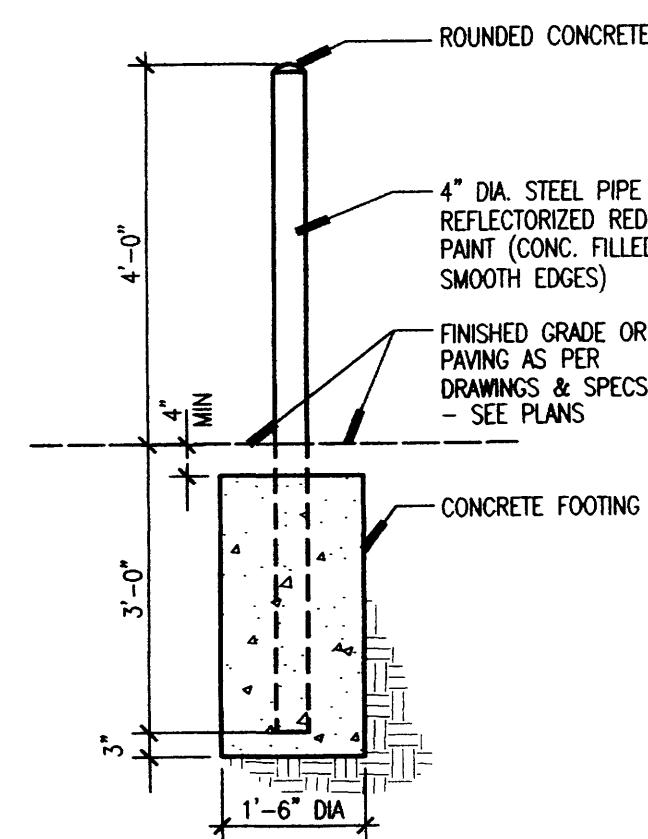
C2 H.C. RAMP
SCALE: 1/4"=1'-0"



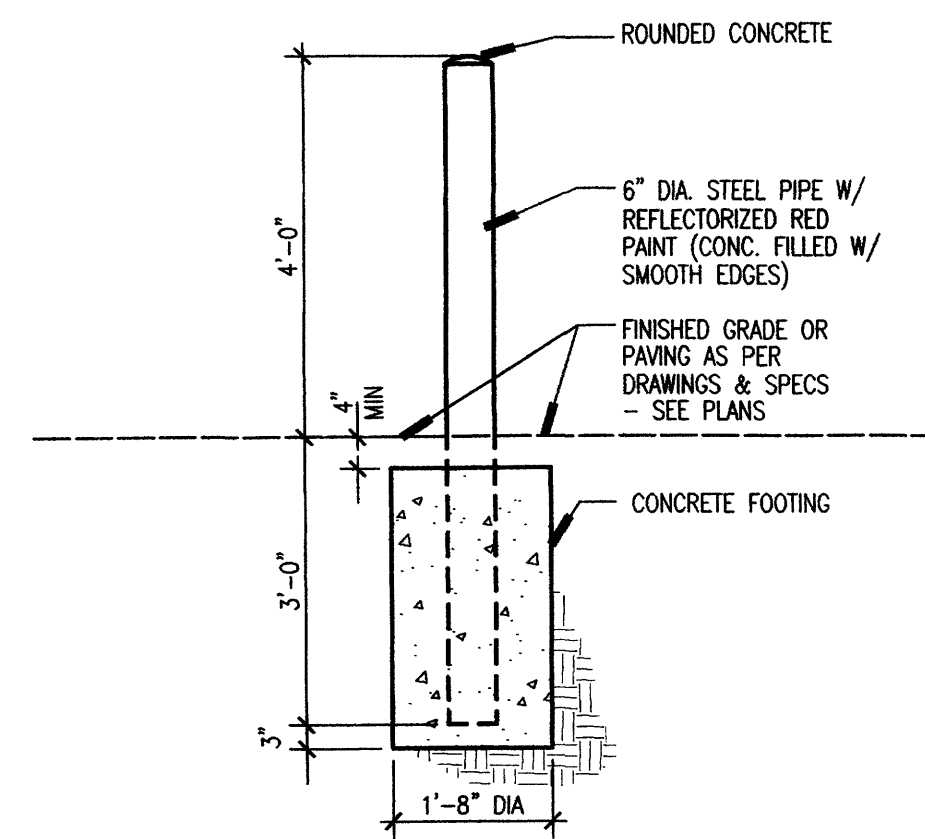
C3 BIKE RACK DETAIL
SCALE: 1/2"=1'-0"



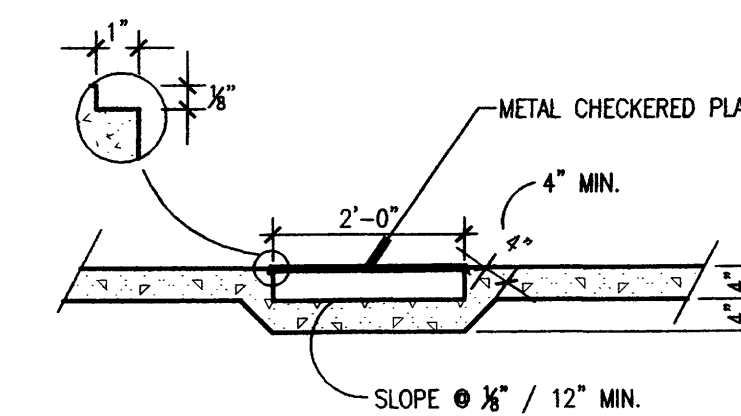
B1 H.C. PAVEMENT SIGN
SCALE: 1/2"=1'-0"



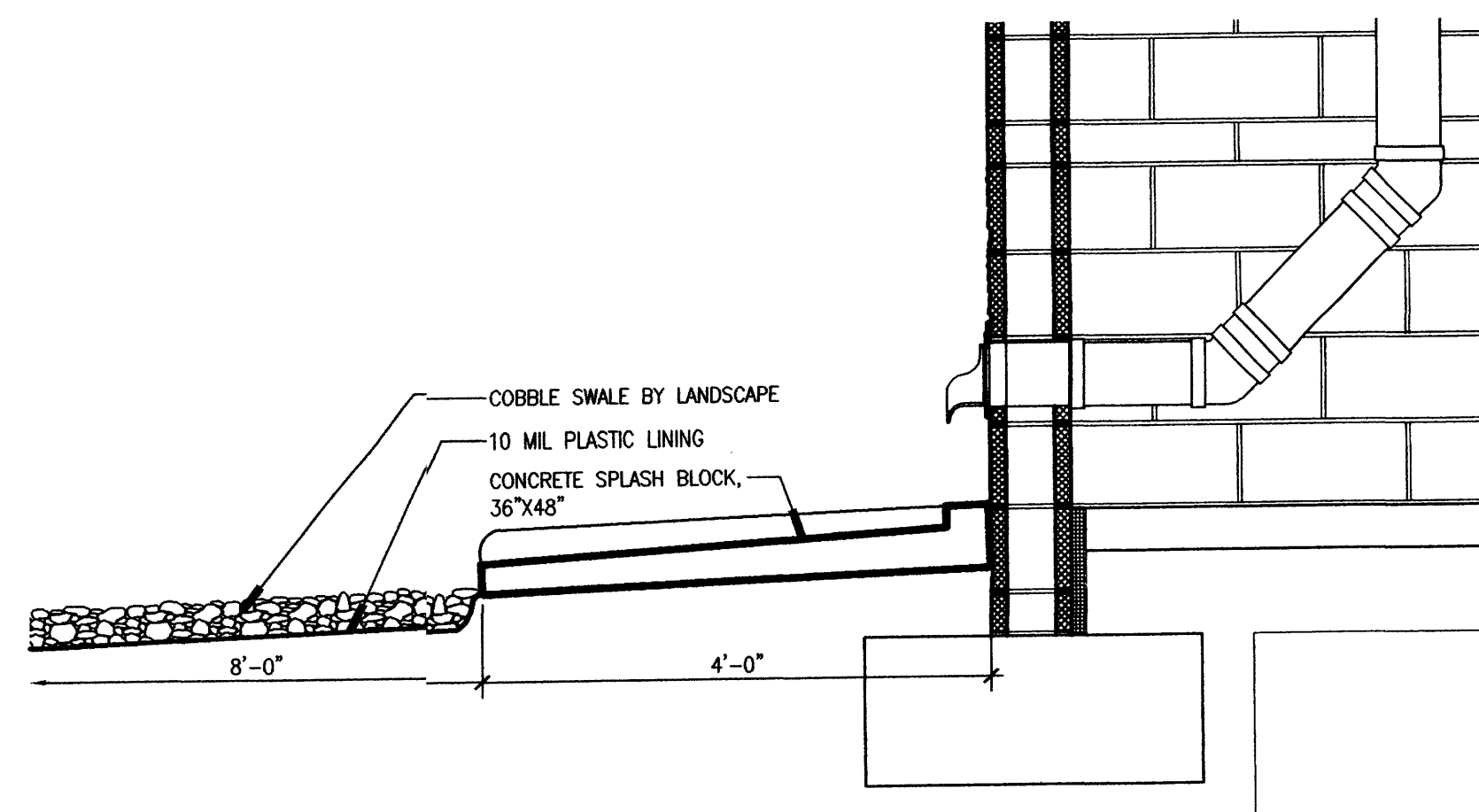
B2 4" TYPICAL BOLLARD
SCALE: 1/2"=1'-0"



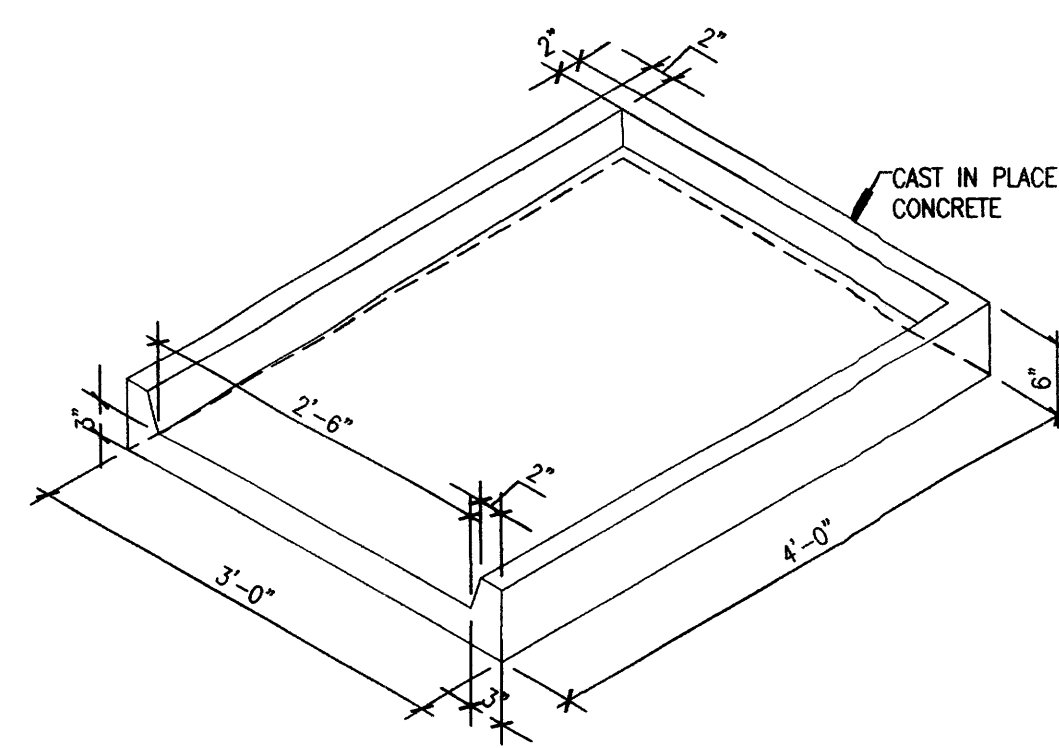
B3 6" TYPICAL BOLLARD
SCALE: 1/2"=1'-0"



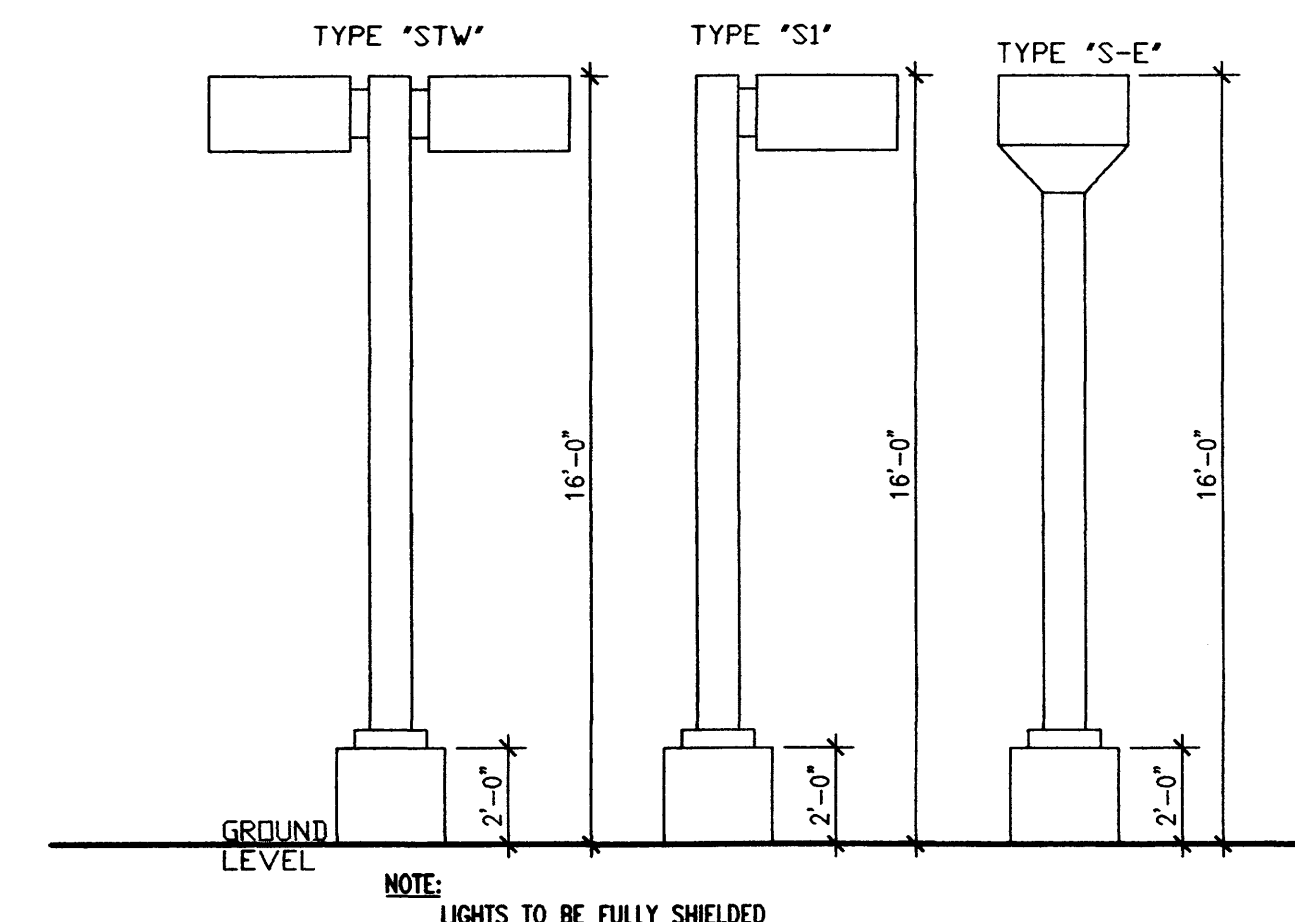
B4 SIDEWALK CULVERT DETAIL
SCALE: 1/2"=1'-0"



A1 SPLASH BLOCK SECTION
SCALE: 3/4"=1'-0"



A3 SPLASH BLOCK AXON
SCALE: 3/4"=1'-0"



A4 SITE LIGHTING MAXIMUM MOUNTING HEIGHTS
SCALE: 1/4"=1'-0"

CONSULTANTS

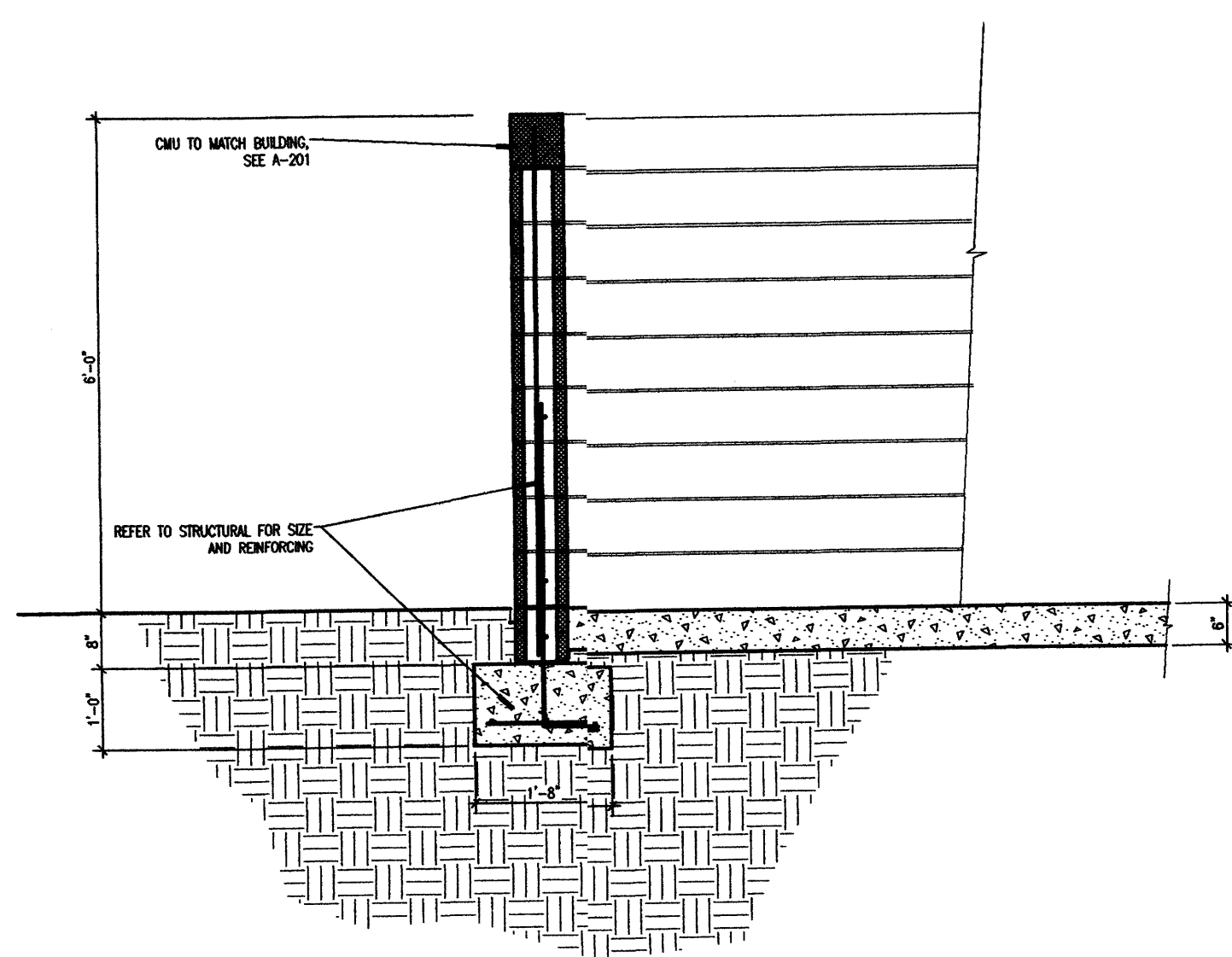
Architect Engineer

NOT FOR
CONSTRUCTION

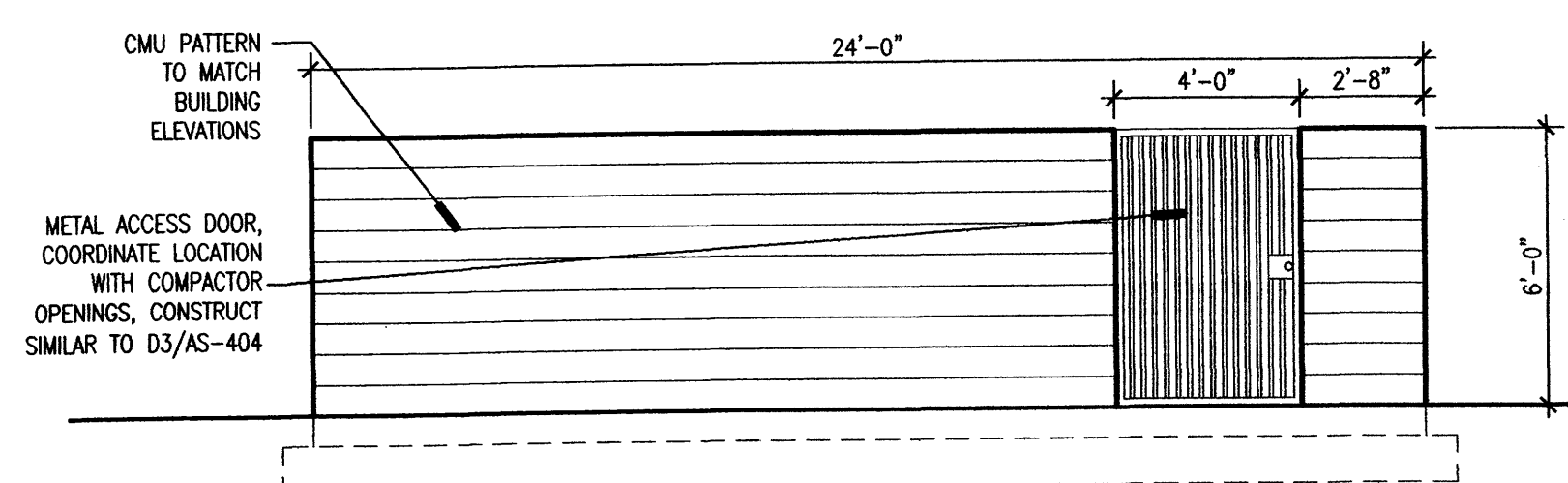
PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		0424AS-103.DWG
DRAWN BY:		MO
CHECKED BY:		DD
DATE:		6/02/06

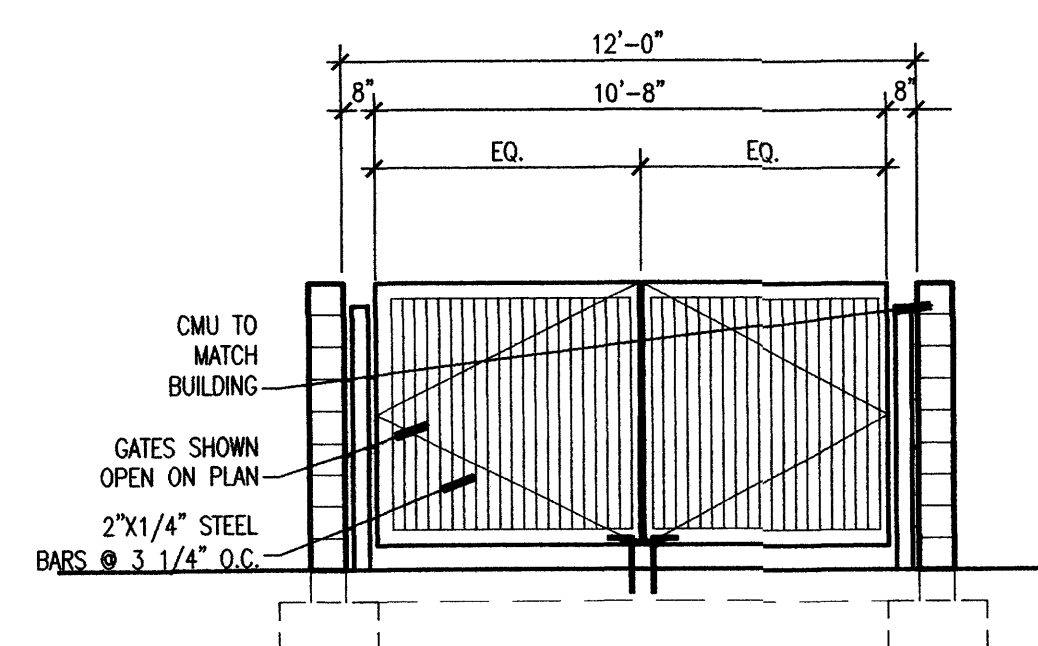
SHEET TITLE
SITE DETAILS



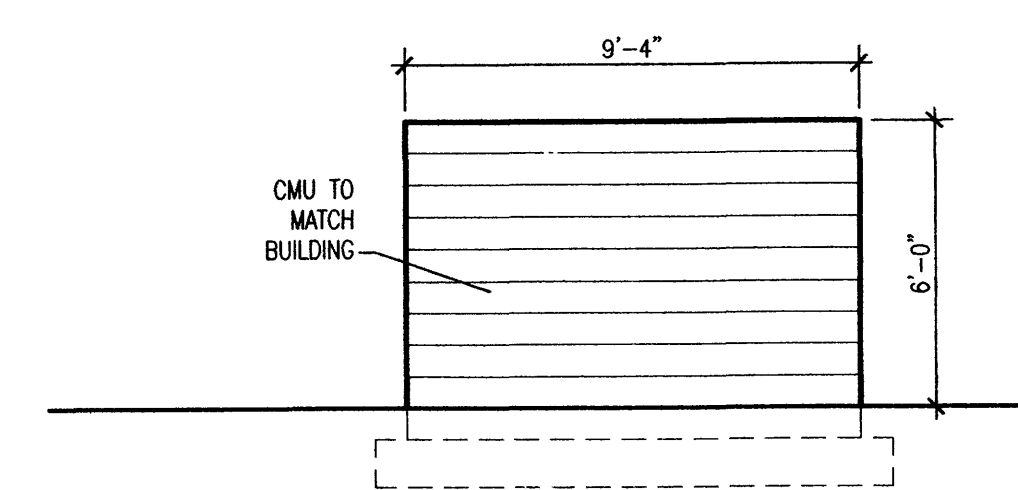
C1 TRASH COMPACTOR SECTION
SCALE: 1/2"=1'-0"



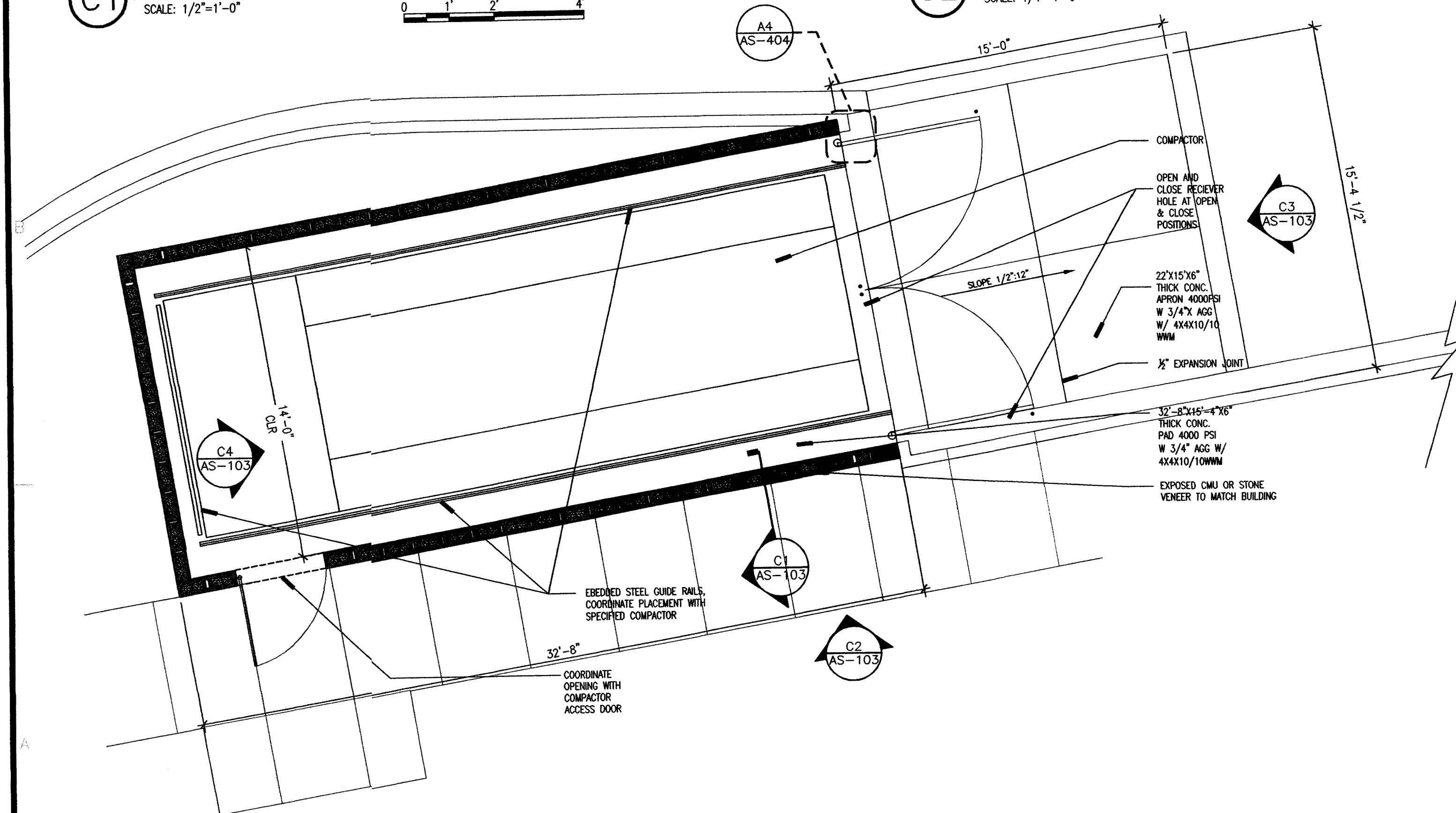
C2 TRASH COMPACTOR ELEVATION
SCALE: 1/4"=1'-0"



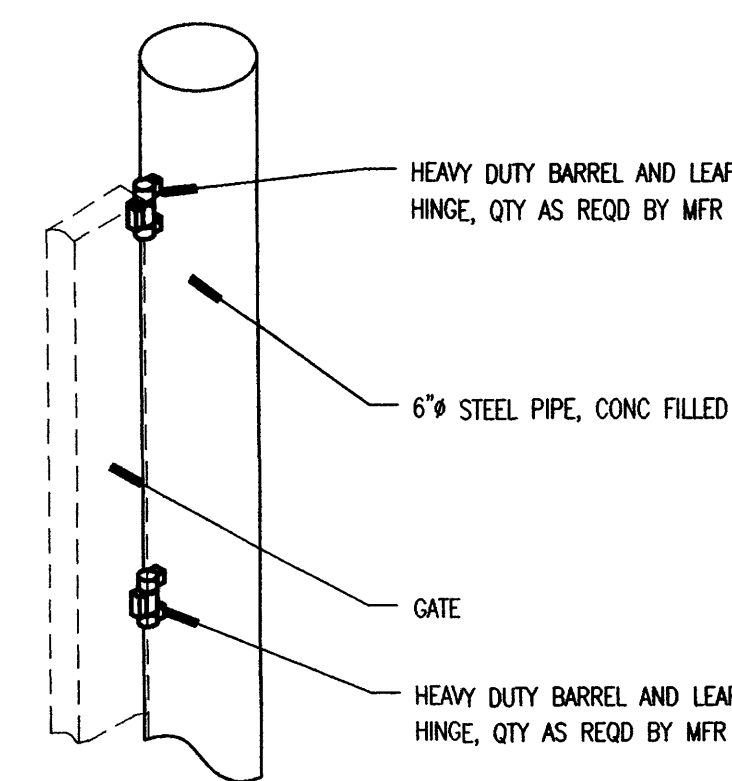
C3 TRASH COMPACTOR ELEVATION
SCALE: 1/4"=1'-0"



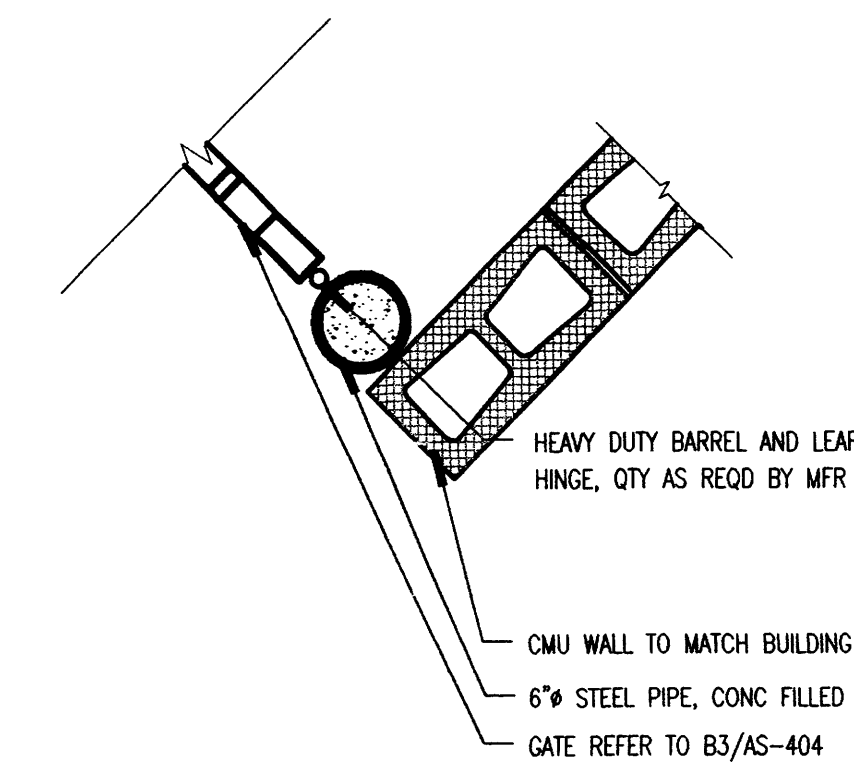
C4 TRASH COMPACTOR ELEVATION
SCALE: 1/4"=1'-0"



A1 ENLARGED TRASH COMPACTOR PLAN
SCALE: 1/4"=1'-0"



A3 GATE HINGE
N.T.S.



A4 DETAIL
SCALE: 1"=1'-0"

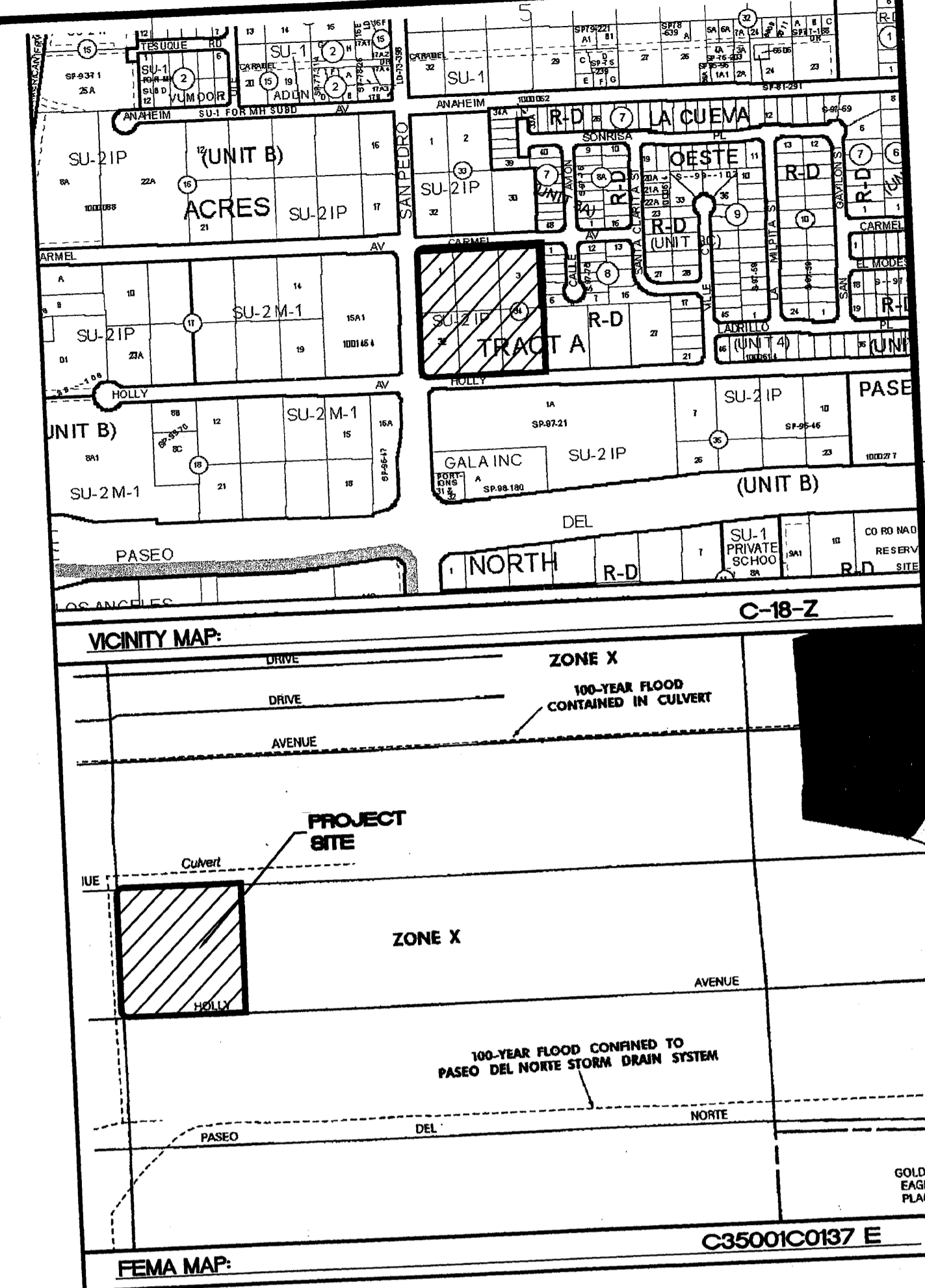


CONSULTANTS

Architect Engineer

NOT FOR CONSTRUCTION

PASEO NUEVO SAN PEDRO & HOLLY ALBUQUERQUE, NM



EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

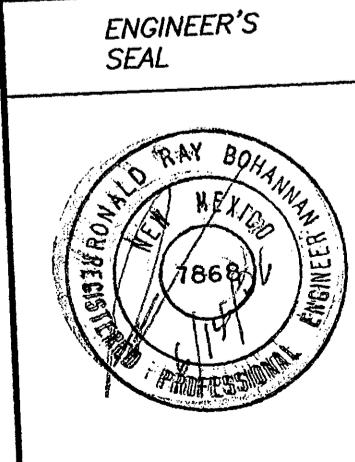
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

ROUGH GRADING APPROVAL

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

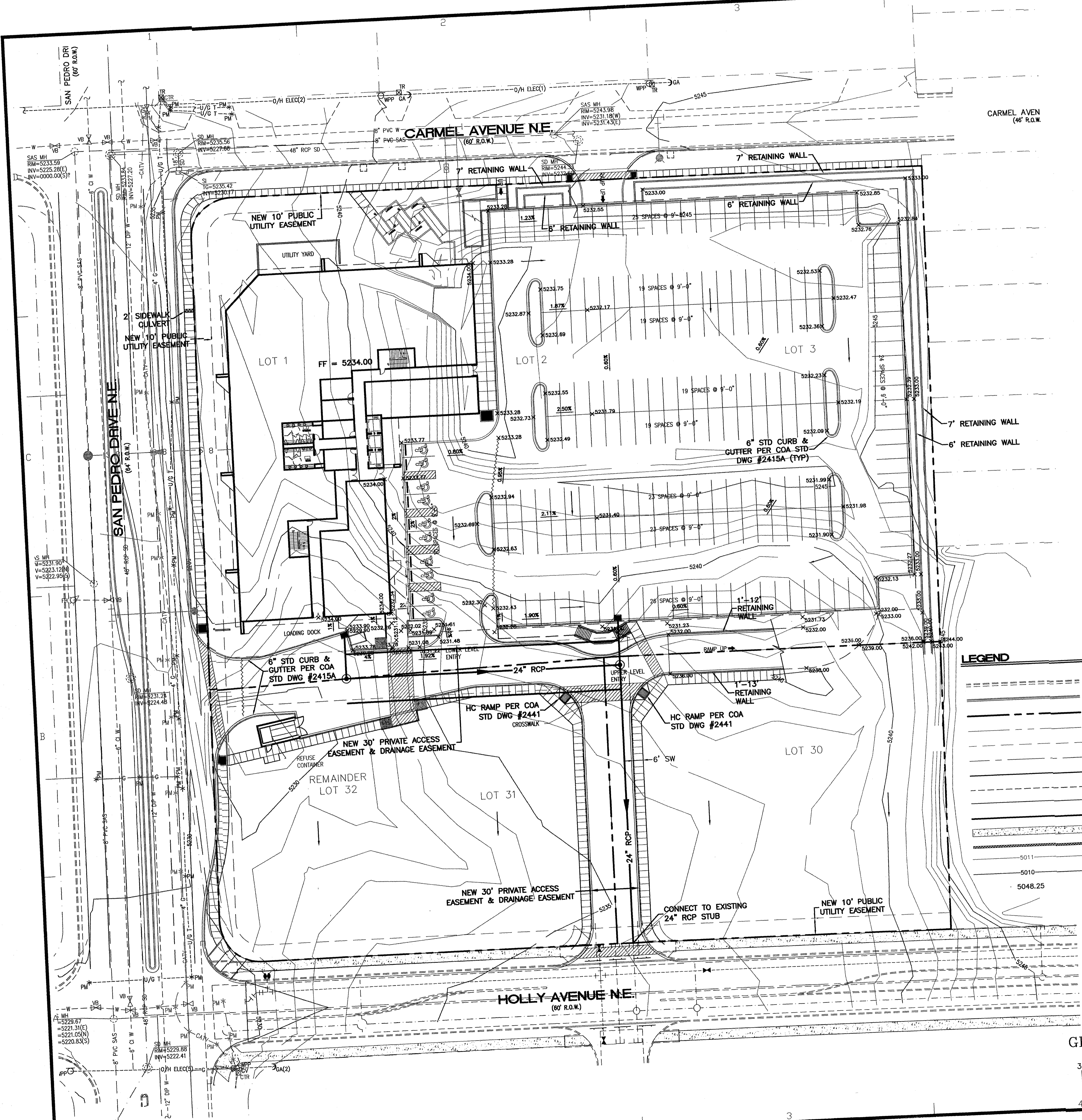
APPROVAL	NAME	DATE
INSPECTOR		



PASEO NUEVO GRADING AND DRAINAGE PLAN (GROUND LEVEL)

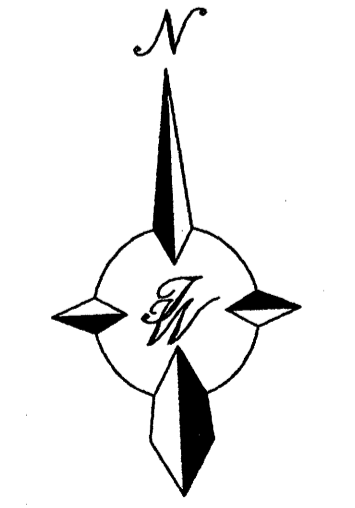
Tierra West, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

sheet C-102 of sheets

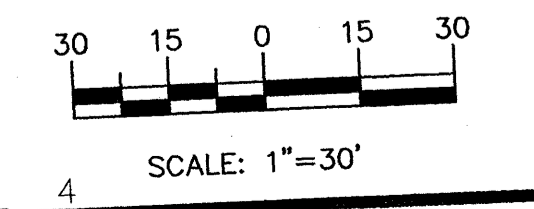


LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- SETBACK LINE
- STRIPING
- PROPOSED BUILDING
- EXISTING SIDEWALK
- PROPOSED RETAINING WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED SPOT ELEVATION



GRAPHIC SCALE



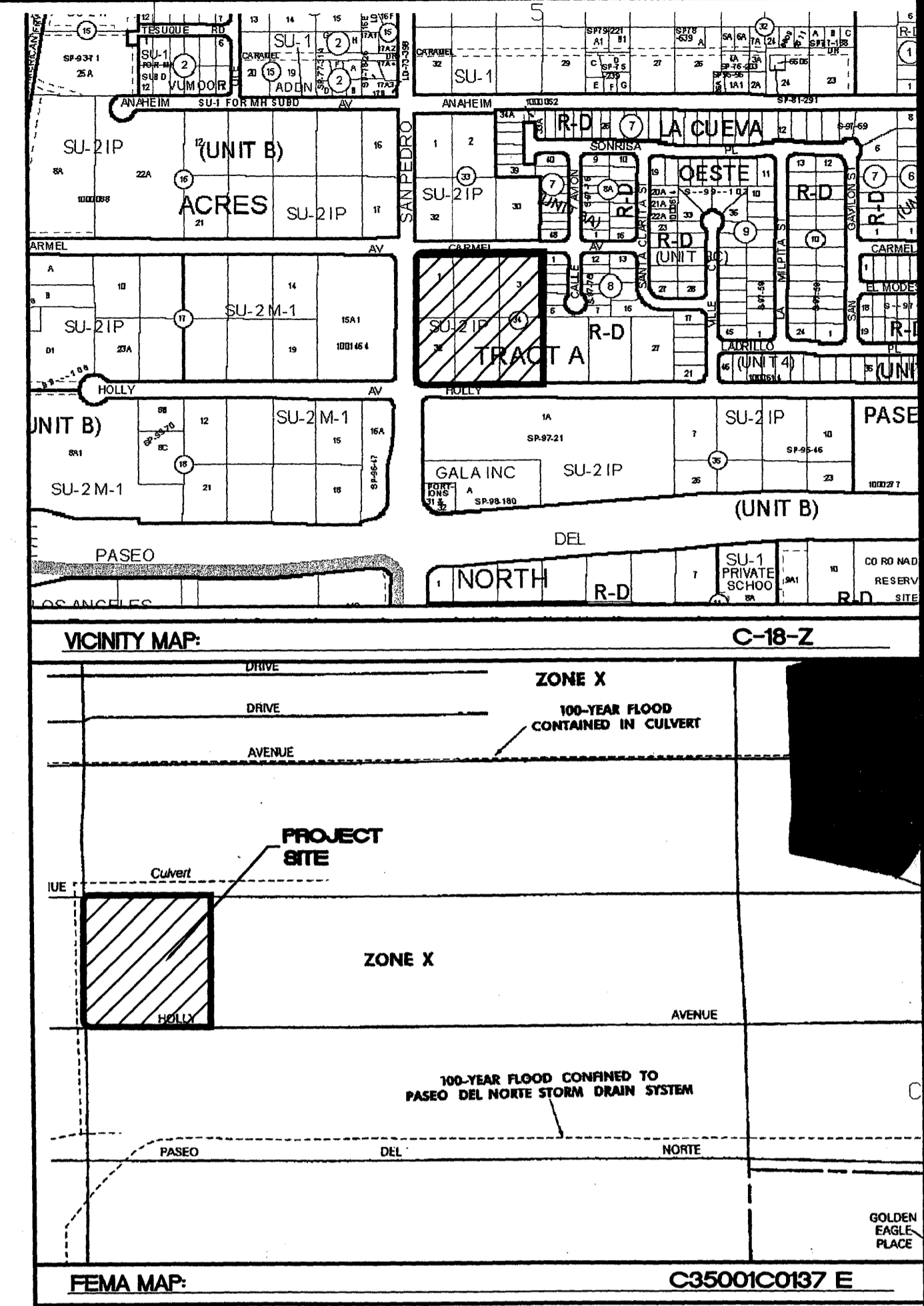


CONSULTANTS

Architect Engineer

PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

NOT FOR
CONSTRUCTION



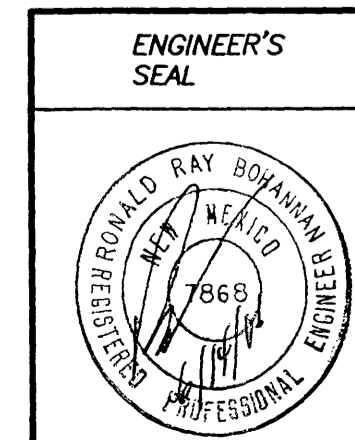
**EROSION CONTROL PLAN, NPDES PERMIT
AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

ROUGH GRADING APPROVAL

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

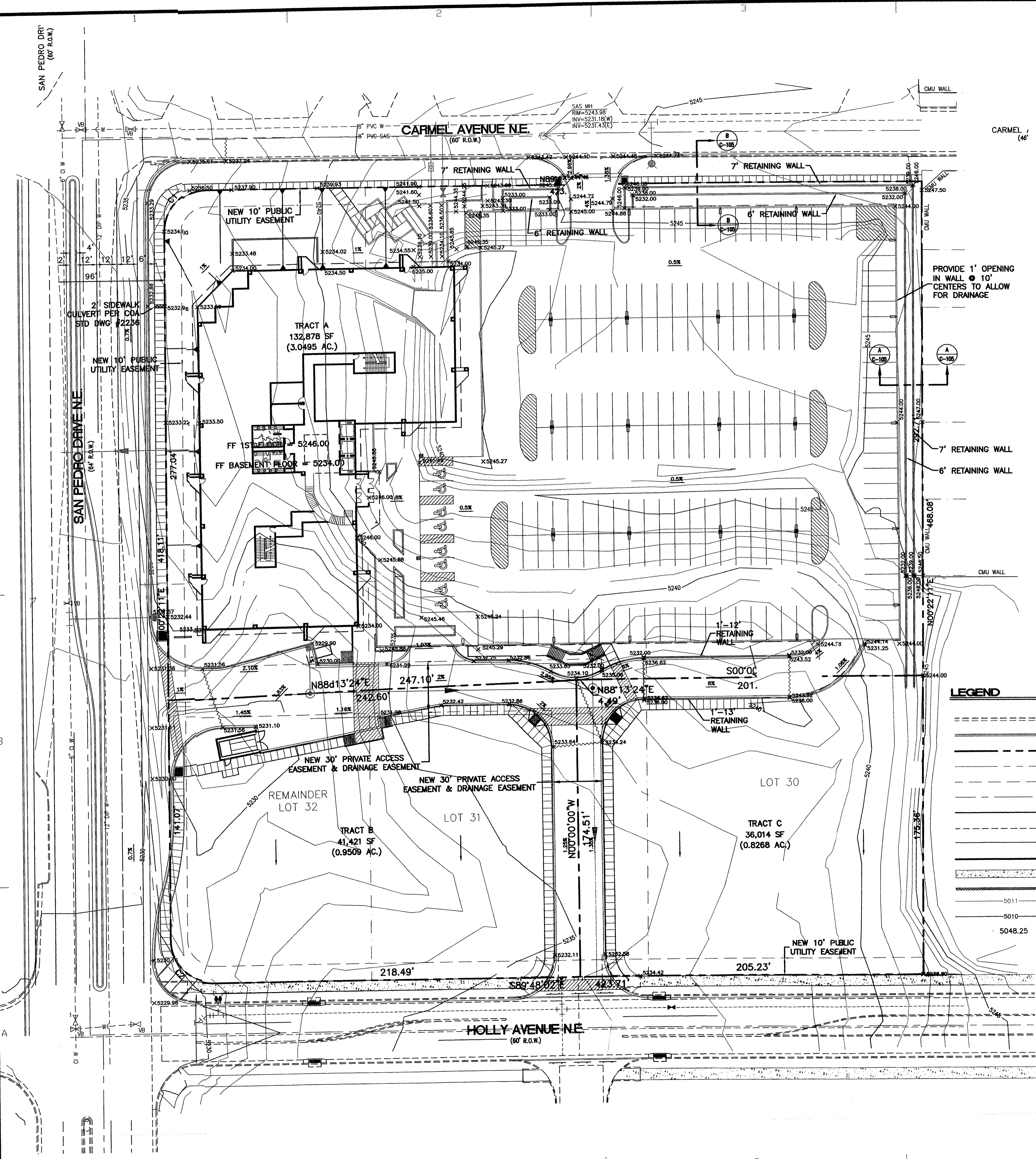
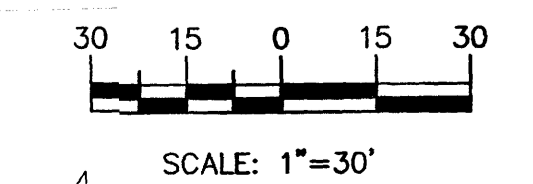
APPROVAL	NAME	DATE
INSPECTOR		



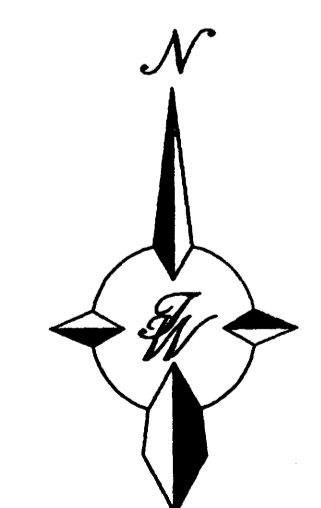
PASEO NUEVO
GRADING AND DRAINAGE PLAN (1ST FLOOR)

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

GRAPHIC SCALE

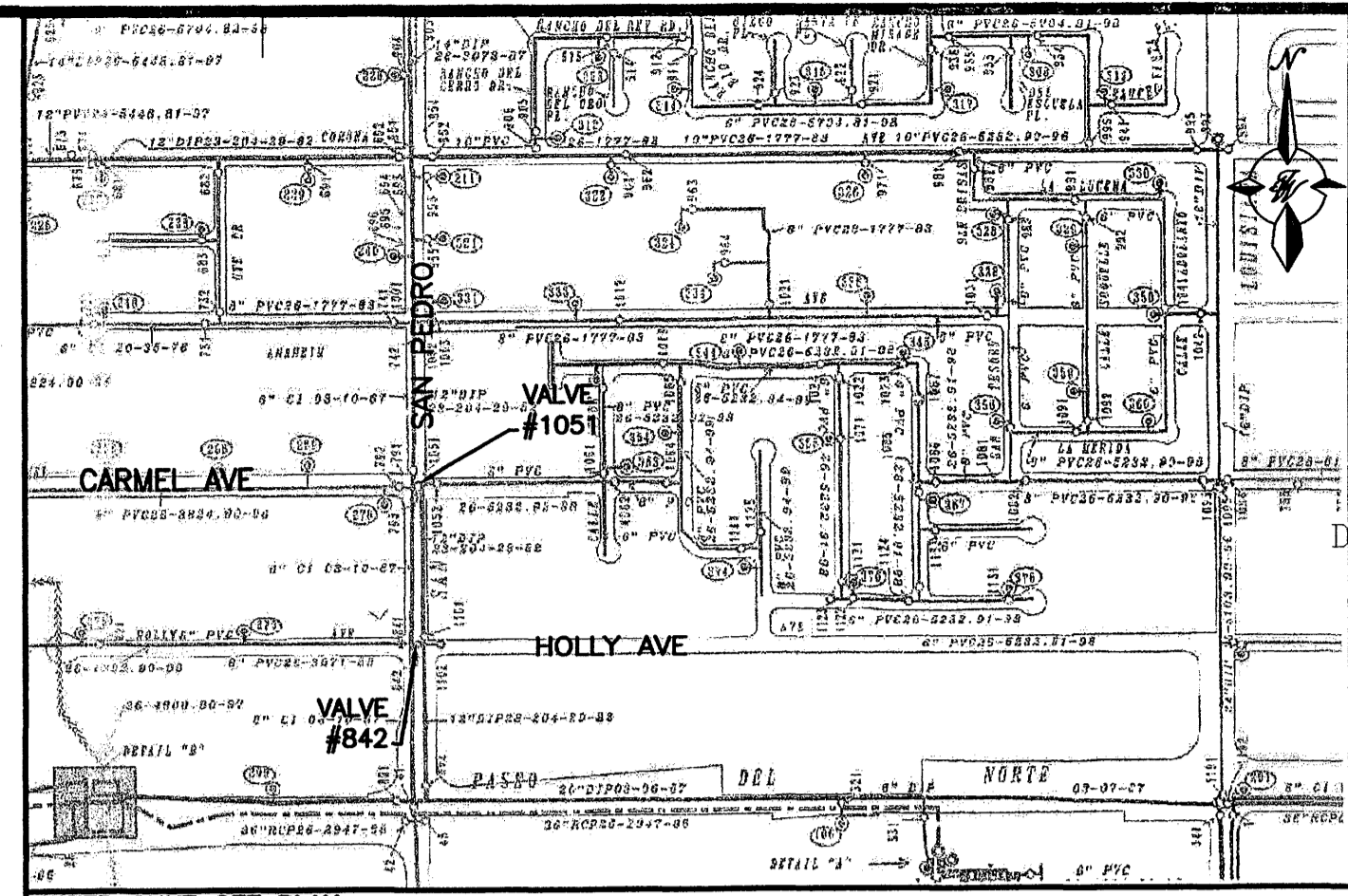
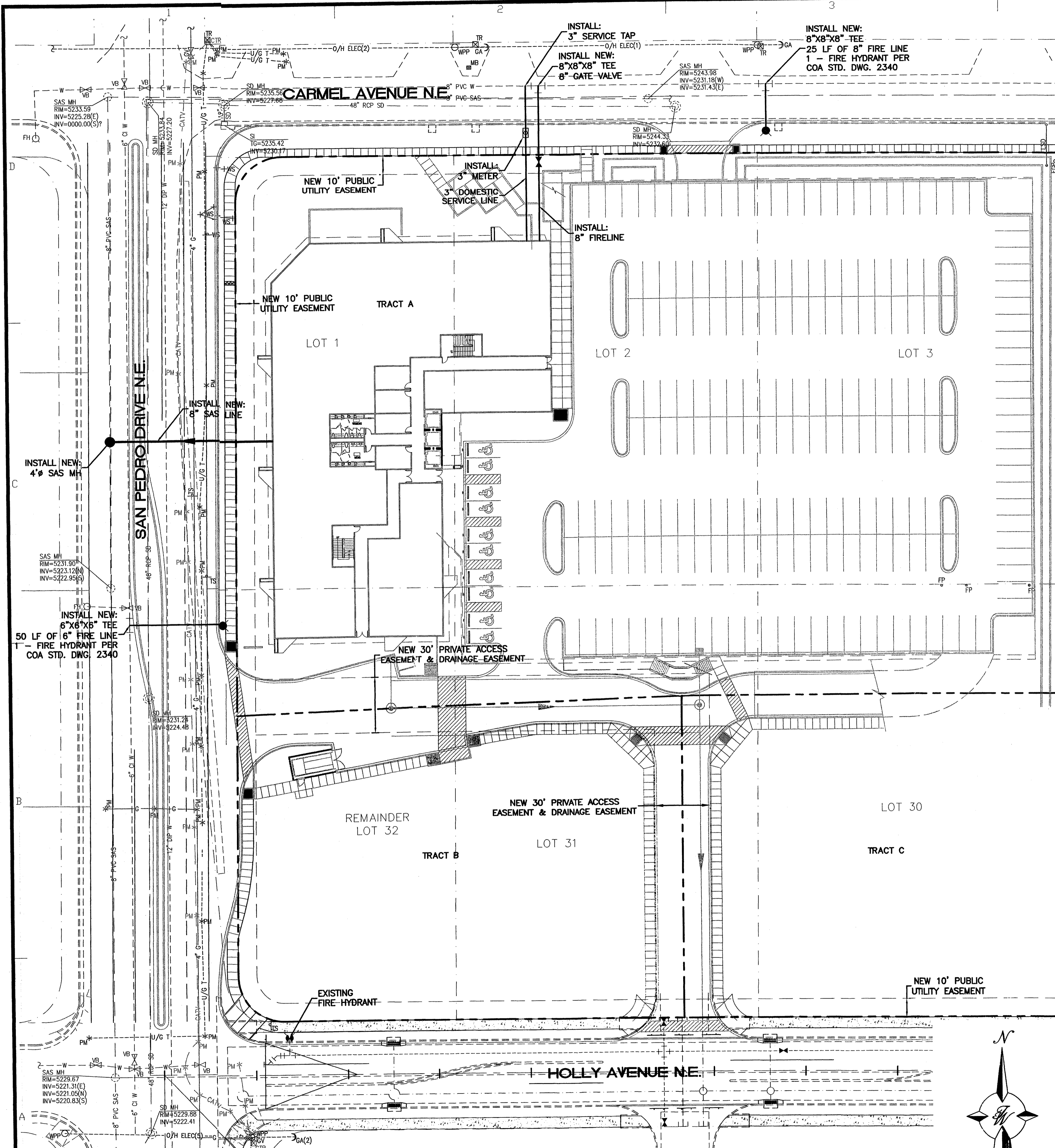


- LEGEND**
- EXISTING CURB & GUTTER
 - PROPOSED CURB & GUTTER
 - BOUNDARY LINE
 - EXISTING BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - SETBACK LINE
 - STRIPING
 - PROPOSED BUILDING
 - EXISTING SIDEWALK
 - PROPOSED RETAINING WALL
 - EXISTING CONTOUR
 - EXISTING INDEX CONTOUR
 - PROPOSED SPOT ELEVATION



MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		24100-GRE-upper
DRAWN BY:		DY
CHECKED BY:		
DATE:	6/13/06	

SHEET TITLE



WATER SHUT OFF PLAN
SHUT OFF VALVES #842, 1051

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH NMUI SPECIFICATIONS FOR WATER AND WASTEWATER FACILITIES (MOST RECENT REVISIONS).
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1999), FOR LOCATION OF EXISTING UTILITIES. THREE WORKING DAYS PRIOR THE CONTRACTOR MUST CONTACT NMUI (898-2661).
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING
9. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
10. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
11. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
12. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
13. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
14. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
15. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
16. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.

- NOTES:
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES
 2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN.
 3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 4. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
 5. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN, TO BE DONE ONLY IN THE EVENT OF EMERGENCY. CONNECTION TO EXISTING WATER LINE TO BE PRESSURIZED.

GENERAL NOTES:

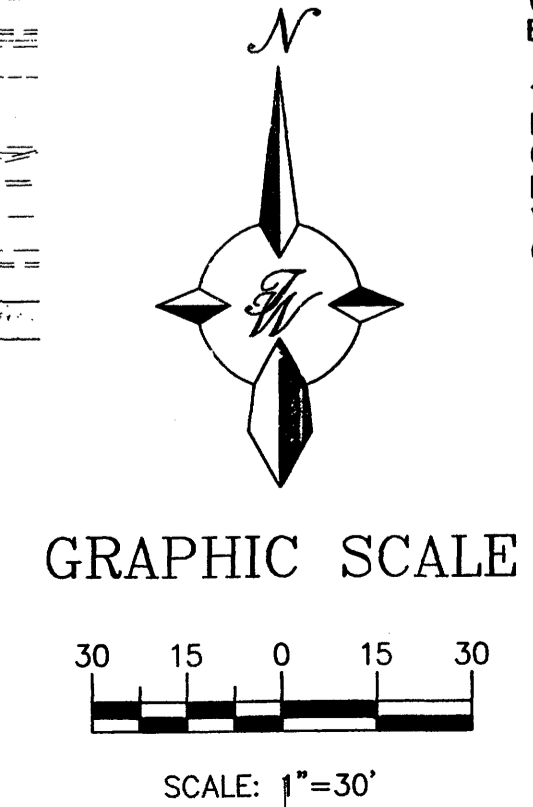
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.

LEGEND

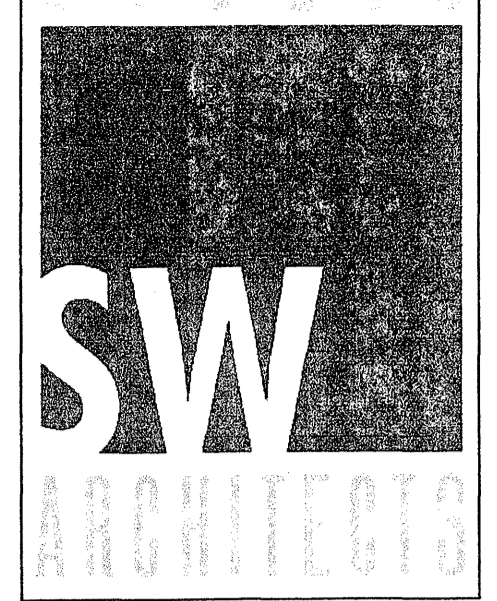
○	EXISTING SAS MANHOLE
---	EX. 8" SAS
●	PROPOSED SAS MANHOLE
8	PROPOSED SAS CLEANOUT
---	8" SAS
---	PROPOSED SANITARY SEWER LINE
---	SANITARY SEWER SERVICE LINE
---	EX. 16" WL
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	PROPOSED CURB
---	BOUNDARY LINE
○	PROPOSED STORM SEWER MH
---	PROPOSED STORM SEWER LINE
---	PROPOSED DRY UTILITY TRENCH
---	EXISTING DRY UTILITY TRENCH

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
[Signature] 6-15-18
SIGNATURE & DATE



CONSULTANTS

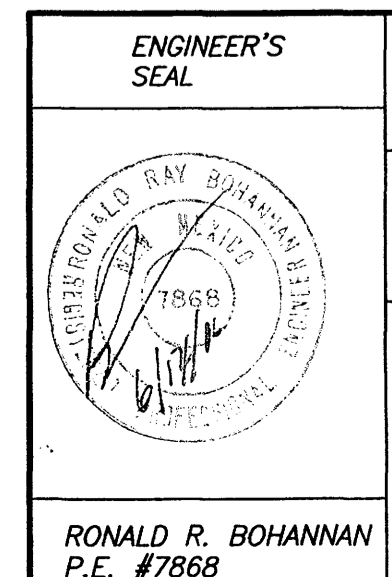
Architect Engineer

NOT FOR CONSTRUCTION

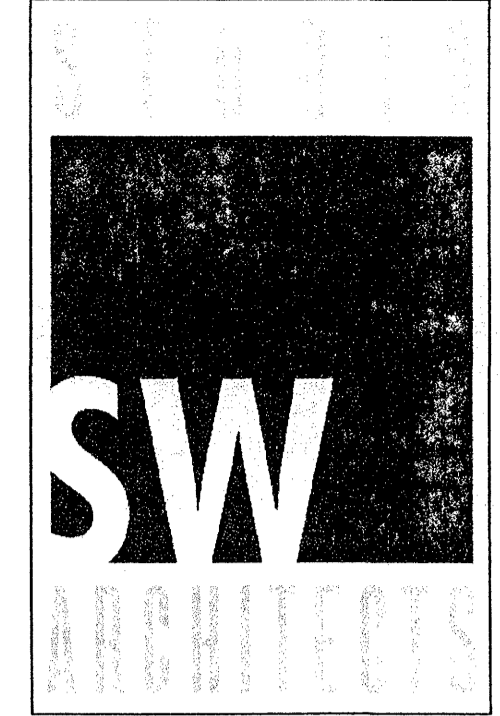
PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		24100-MUE-lower
DRAWN BY:		DY
CHECKED BY:		
DATE:		6/13/06

SHEET TITLE



PASEO NUEVO
MASTER UTILITY PLAN
TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100



CONSULTANTS

Architect Engineer

NOT FOR CONSTRUCTION

PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		24100-GRE-Details
DRAWN BY:		DY
CHECKED BY:		
DATE:		6/13/06

SHEET TITLE

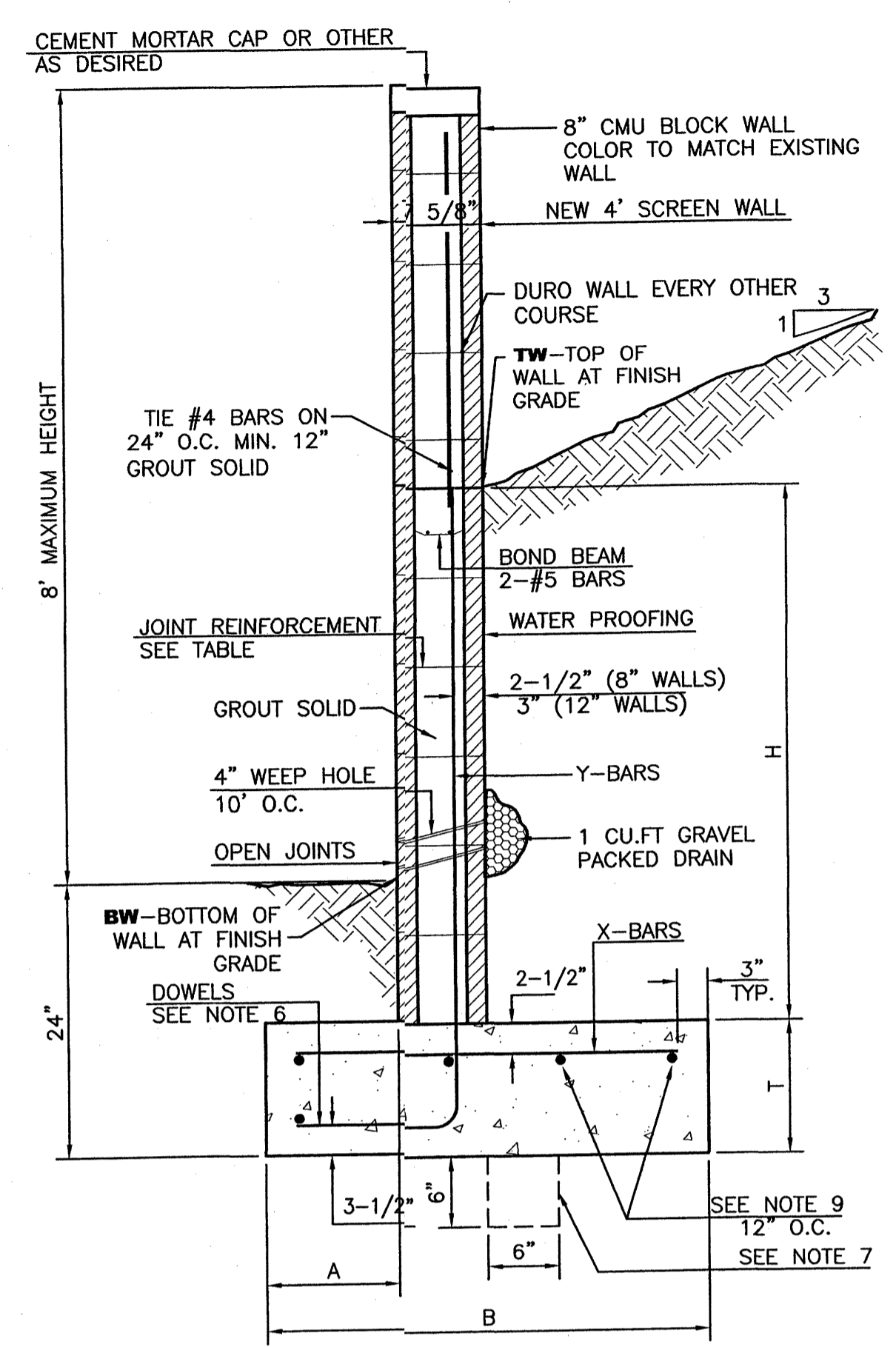
ENGINEER'S SEAL

PASEO NUEVO

DETAILS AND CROSS SECTIONS

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

RONALD R. BOHANNAN
P.E. #7868



RETAINING WALL DETAIL
NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

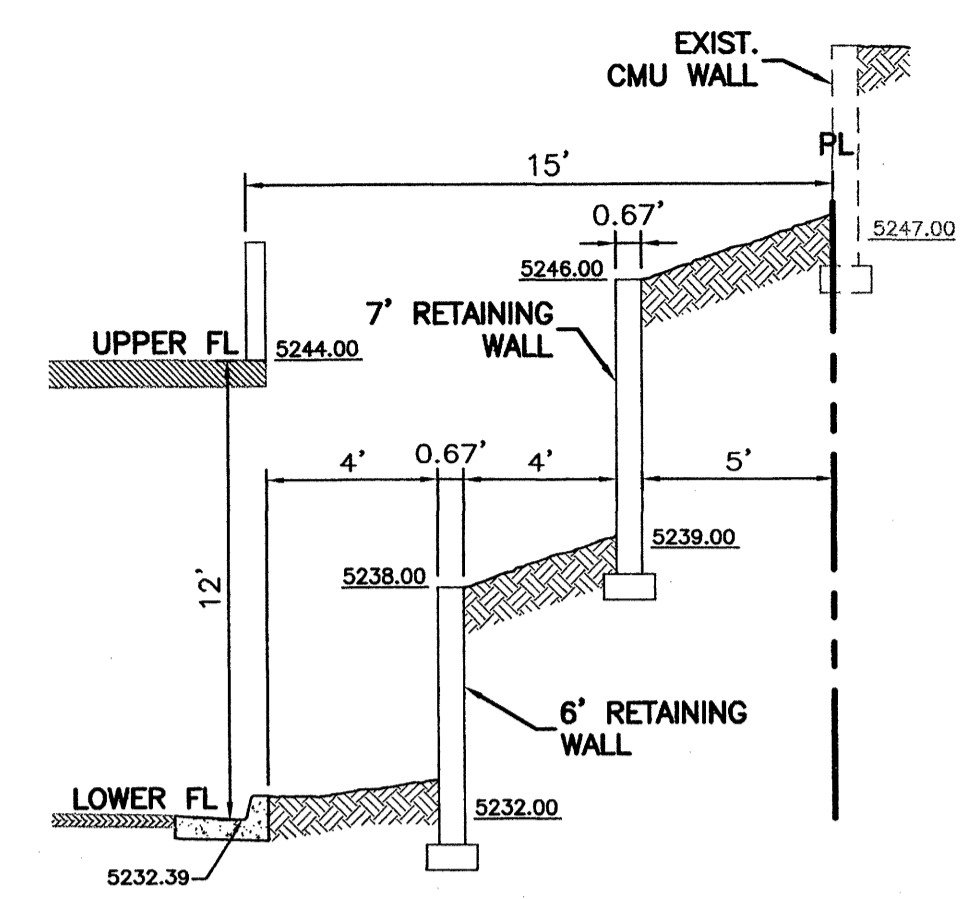
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#5 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

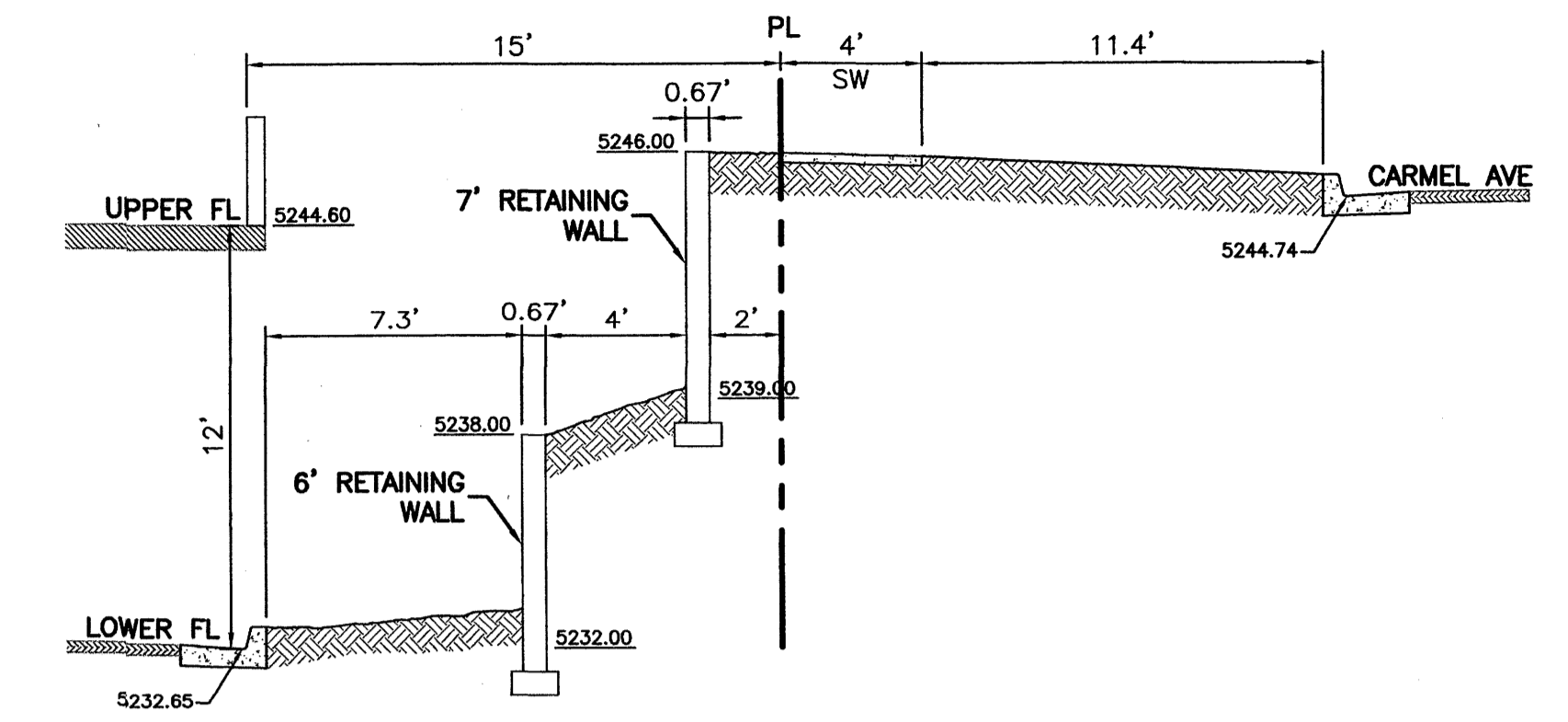
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

GENERAL NOTES:

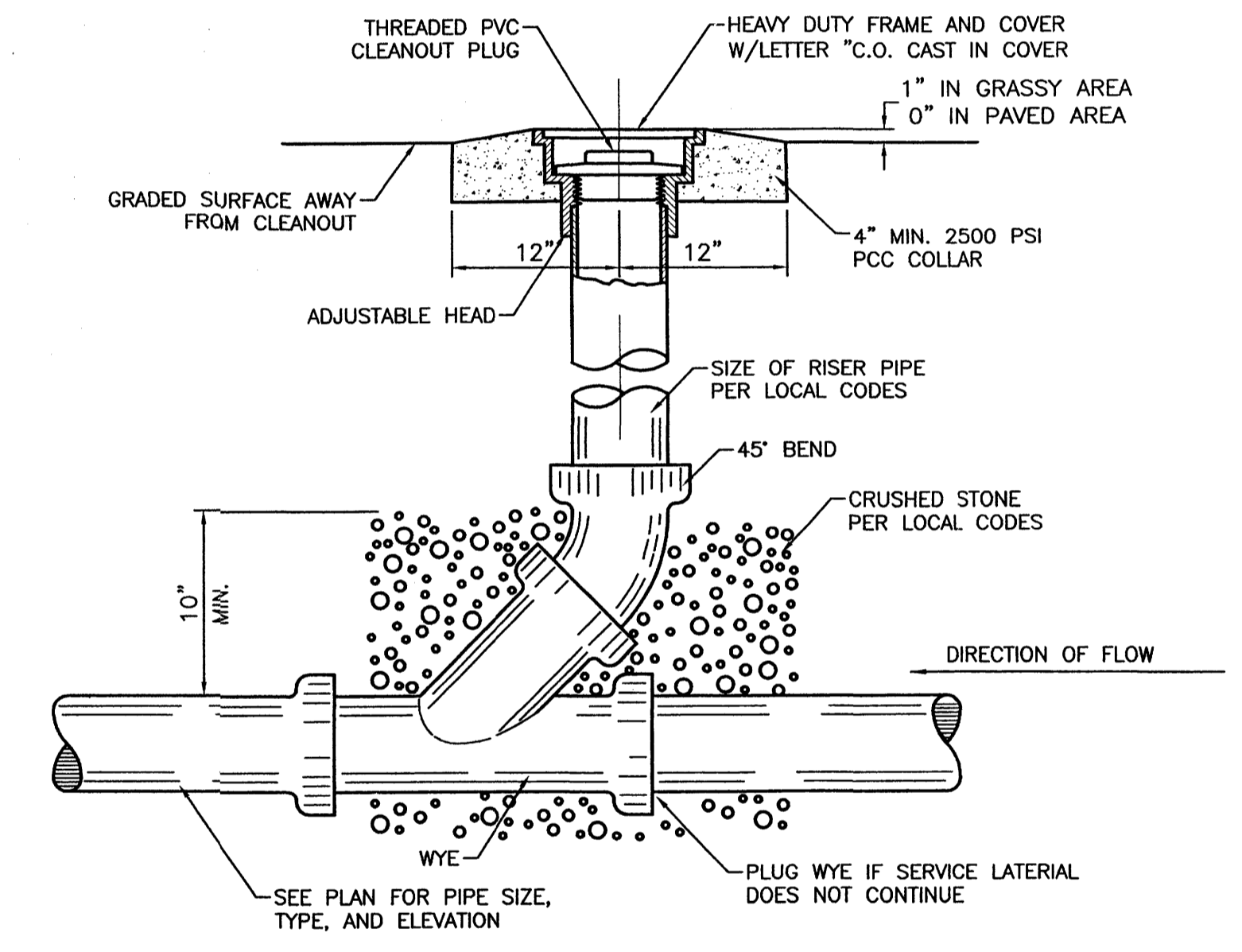
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
- BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



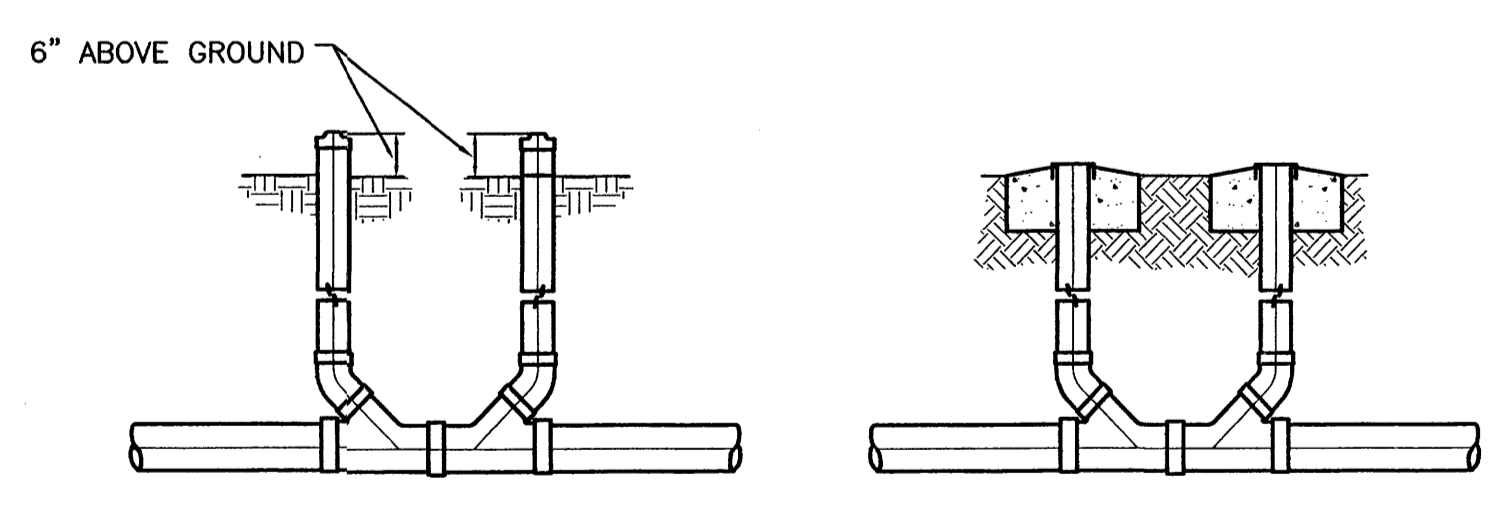
SECTION A-A
SCALE: 1=5



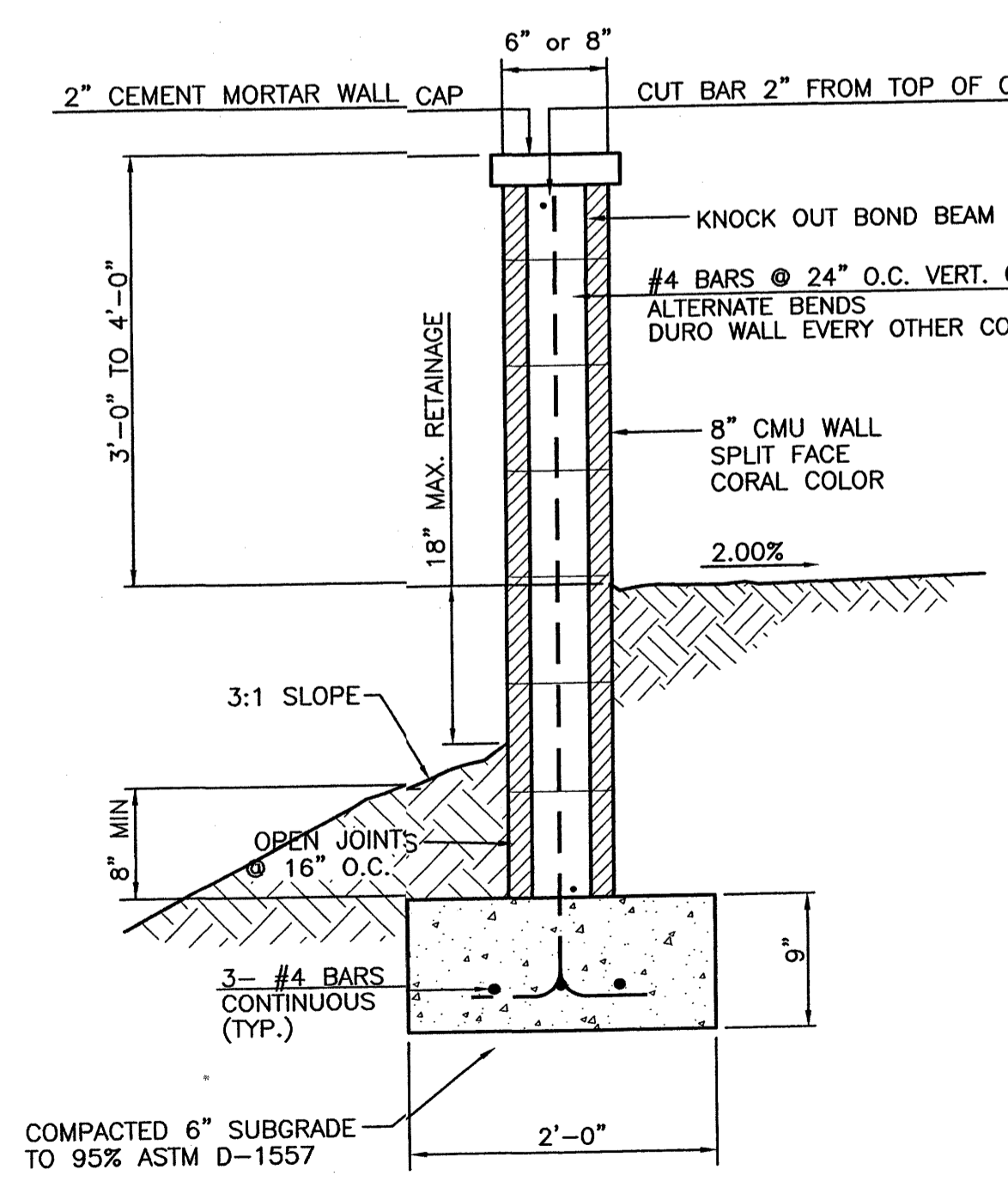
SECTION B-B
SCALE: 1=5



SANITARY SEWER CLEAN-OUT
NTS



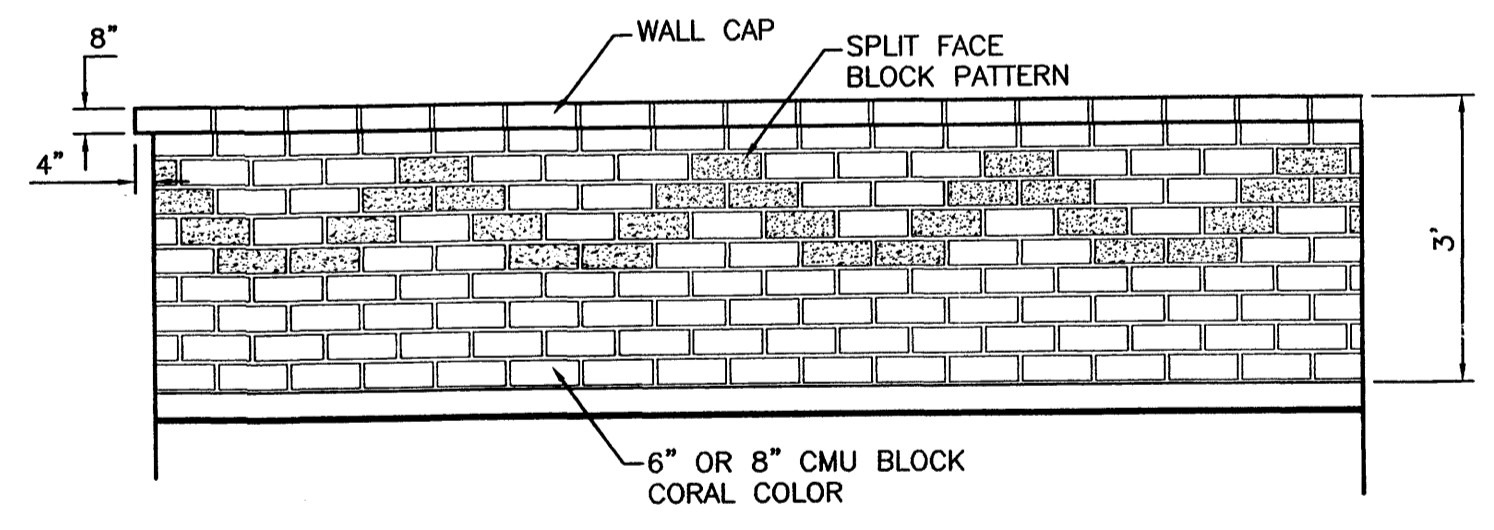
SANITARY SEWER DOUBLE CLEAN-OUTS
NTS



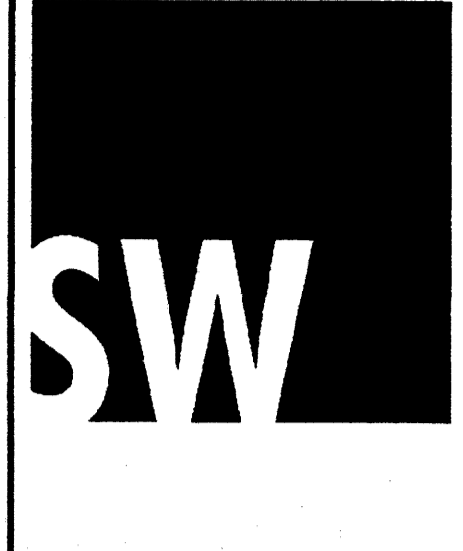
SCREEN WALL SECTION
NTS

GENERAL NOTES:

- ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



SCREEN WALL ELEVATION
NTS



CONSULTANTS

Architect Engineer

PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		
DRAWN BY:		
CHECKED BY:		
DATE:		6/02/06

SHEET TITLE

sheet of sheets

PLANT LEGEND

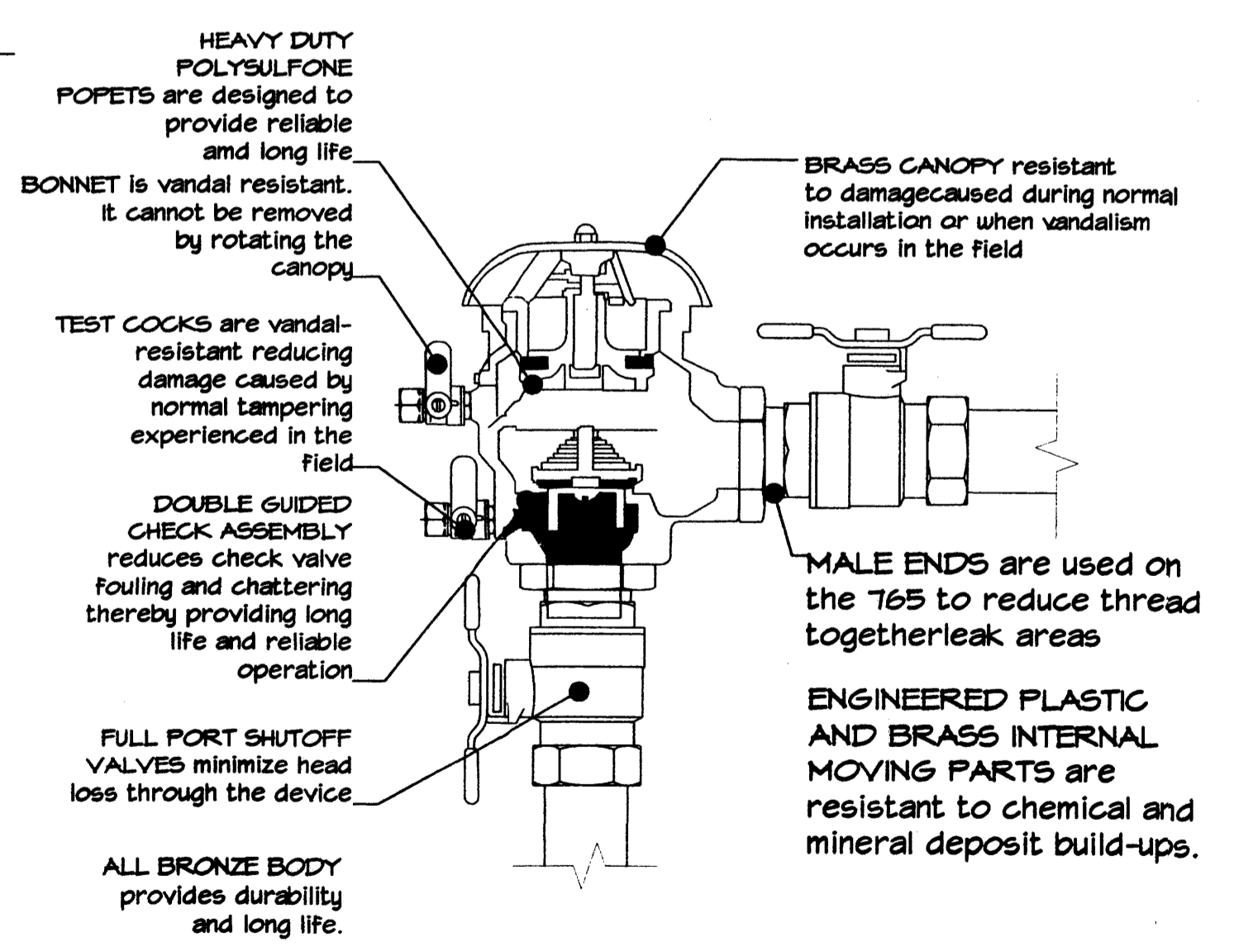
- ASH (H) 13
Fraxinus pennsylvanica
2" Cal.
- FLOWERING PEAR (M+) 9
Fyrus calleryana
2" Cal.
- PURPLE-LEAF PLUM (M) 5
Prunus spp.
2" Cal.
- ~~SPEARMINT JUNIPER (M) 15
Juniperus chinensis 'Spartanmint'~~
- GREEN GIANT ARBORVITAE (M) 24
Thuja occidentalis 'Emerald'
15 Gal.
- SPANISH BROOM (M) 26
Genista hispanica
5 Gal. 100sf
- SILVERBERRY (M) 24
Elaeagnus pungens
5 Gal. 100sf
- BIRD OF PARADISE (L) 15
Caesalpinia gilliesii
5 Gal. 100sf
- BUTTERFLY BUSH (M) 34
Buddleia davidii
5 Gal. 100sf
- OCOTILLO (L) 4
Fouquieria splendens
- THREE-LEAF SUMAC (L) 20
Rhus trilobata
5 Gal. 36sf
- TRUMPET VINE (M) 13
Campsis radicans
1 Gal.
- GREYLEAF COTONEASTER (M) 21
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 3 plants
- OVERSIZED GRAVEL
16 BOULDERS
- COMMERCIAL GRADE
STEEL EDGING
- SANTA FE BROWN GRAVEL
WITH FILTER FABRIC
5" minimum
- AUSTRIAN PINE (M) 2
Pinus nigra
6'-8'
- PALM YUCCA (L) 4
- AGAVE (L) 2
Agave spp.
16 sf
- RED YUCCA (L) 45
Hesperaloe parviflora
5 Gal. 4sf
- NANDINA (M) 18
Nandina domestica
5 Gal. 25sf
- RUSSIAN SAGE (M) 48
Perovskia atriplicifolia
5 Gal. 36sf
- BLUEBERRY MUFFIN
INDIAN HAWTHORN (M) 24
Raphiolepis indica
5 Gal. 36sf
- LANAS/ SCOTCH BROOM (M) 35
Cytisus scoparius/
Genista hispanica
5 Gal. 16sf
- ARP ROSEMARY (M) 12
Rosmarinus officinalis
5 Gal. 25sf
- BLUE FESCUE (M) 22
Festuca ovina glauca
1 Gal. 4sf
- LAVENDER (M) 36
Lavandula angustifolia
1 Gal.
- POTENTILLA (M) 48
Potentilla fruticosa
1 Gal. 4sf
- THREADGRASS (M) 50
Stipa tenuisima
1 Gal. 4sf
- WILDFLOWER 53
1 Gal. 4sf
- CREeping ROSEMARY (L) 51
Rosmarinus officinalis 'Prostrata'
1 Gal. 36sf
Symbol indicates 3 plants
- CRIMP STRAW/NATIVE SEED
DISTURBED AREAS

ENTRY DETAIL

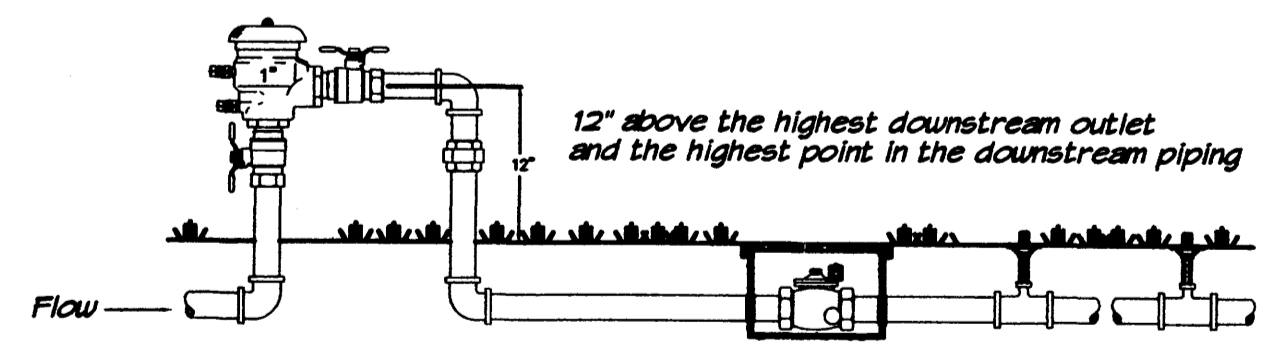
scale 1"=10'

LANDSCAPE CALCULATIONS

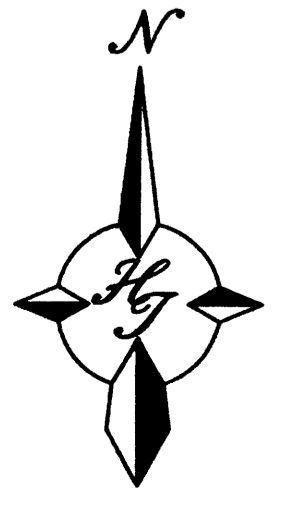
TOTAL LOT AREA	213515	square feet
TOTAL BUILDINGS AREA	102200	square feet
OFFSITE AREA	4065	square feet
NET LOT AREA	111315	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	16697	square feet
TOTAL BED PROVIDED	25621	square feet
GROUNDCOVER REG.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	19966	square feet
TOTAL GROUNDCOVER PROVIDED	19968	square feet
TOTAL NATIVE SEED AREA	61084	square feet
TOTAL LANDSCAPE PROVIDED	81052	square feet



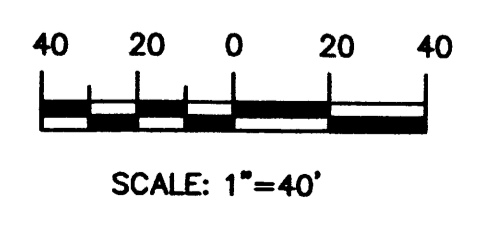
FEBCO MODEL 765 Pressure Vacuum Breaker Features



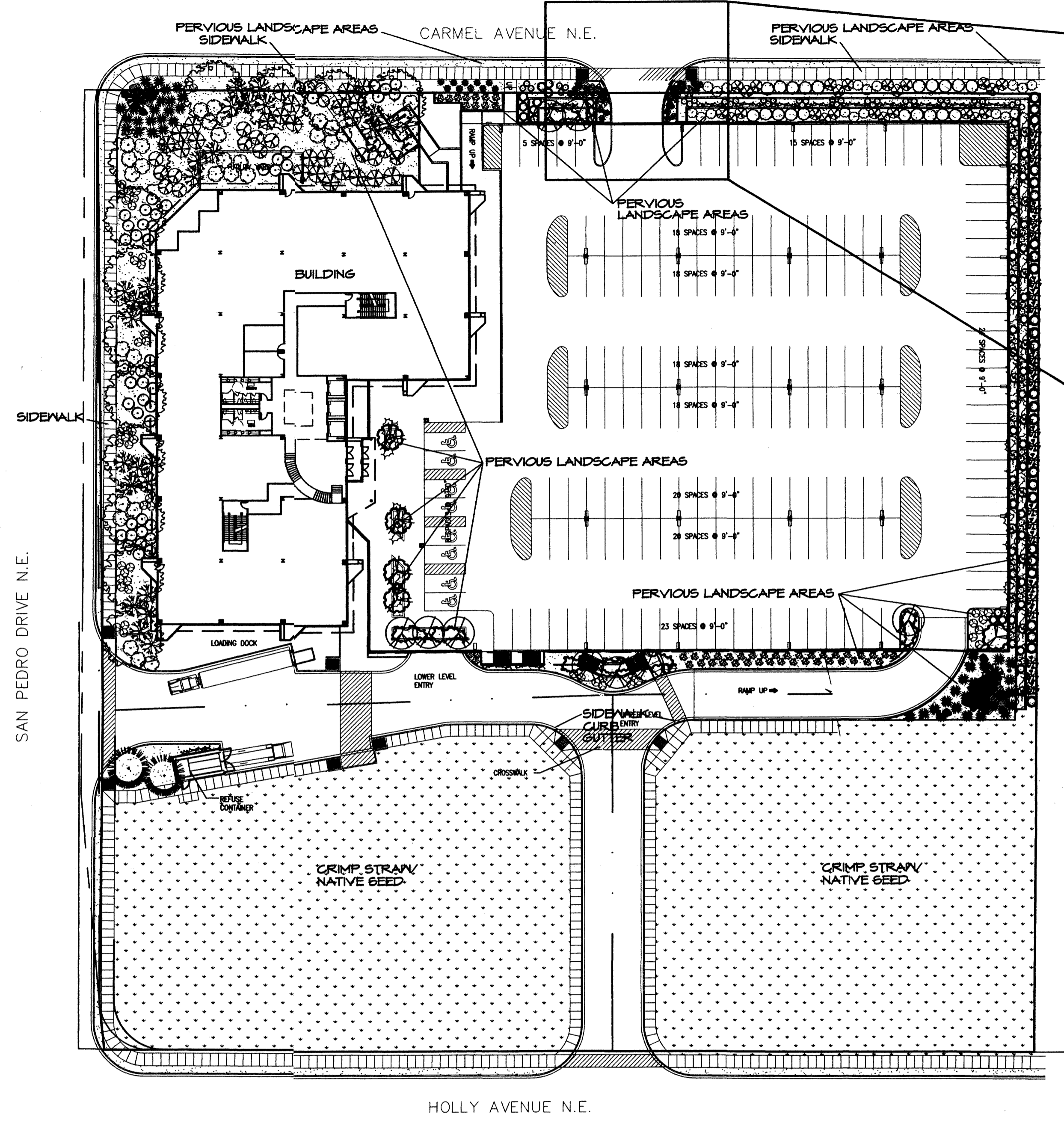
FEBCO MODEL 765 Pressure Vacuum Breaker Outside Installation



GRAPHIC SCALE



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. This will be addressed as an infield-change order.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

CONSULTANTS

Architect Engineer

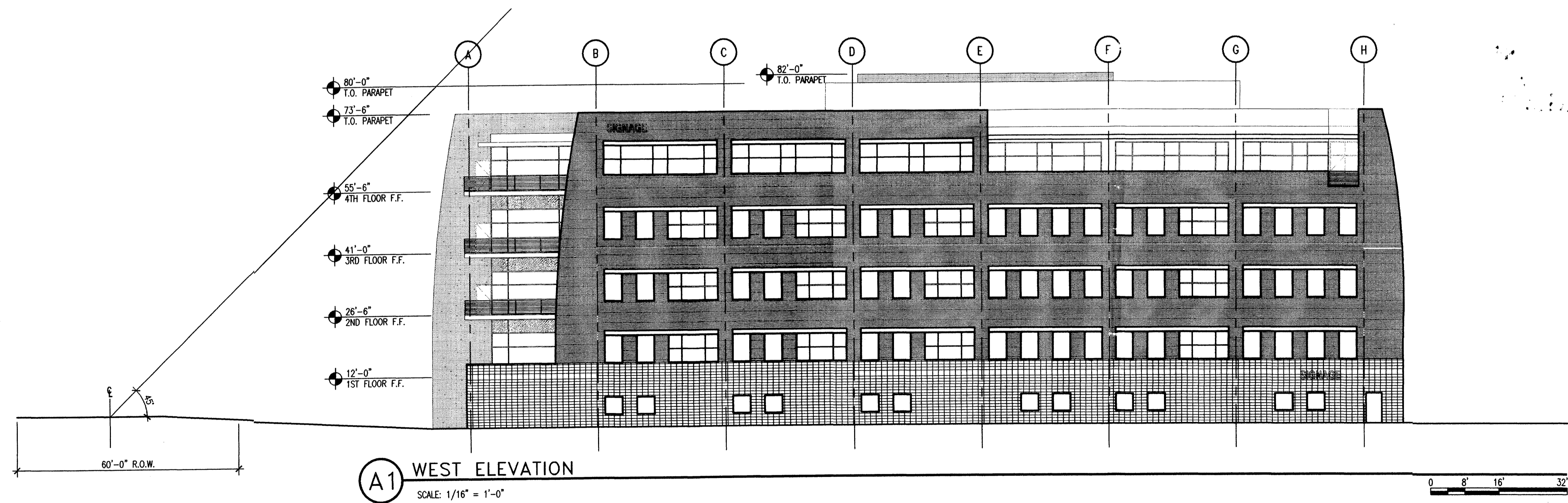
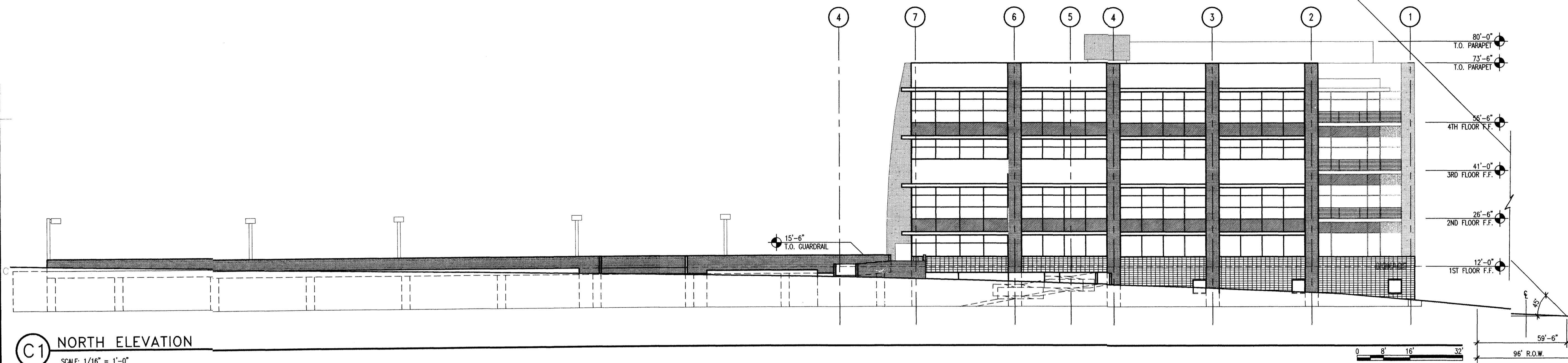
**NOT FOR
 CONSTRUCTION**

PASEO NUEVO
 SAN PEDRO & HOLLY
 ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		0424A-201.DWG
DRAWN BY:		MO
CHECKED BY:		DD
DATE:		6/02/06

SHEET TITLE
 BUILDING ELEVATIONS

A-201
 sheet of sheets



CONSULTANTS

Architect Engineer

NOT FOR CONSTRUCTION

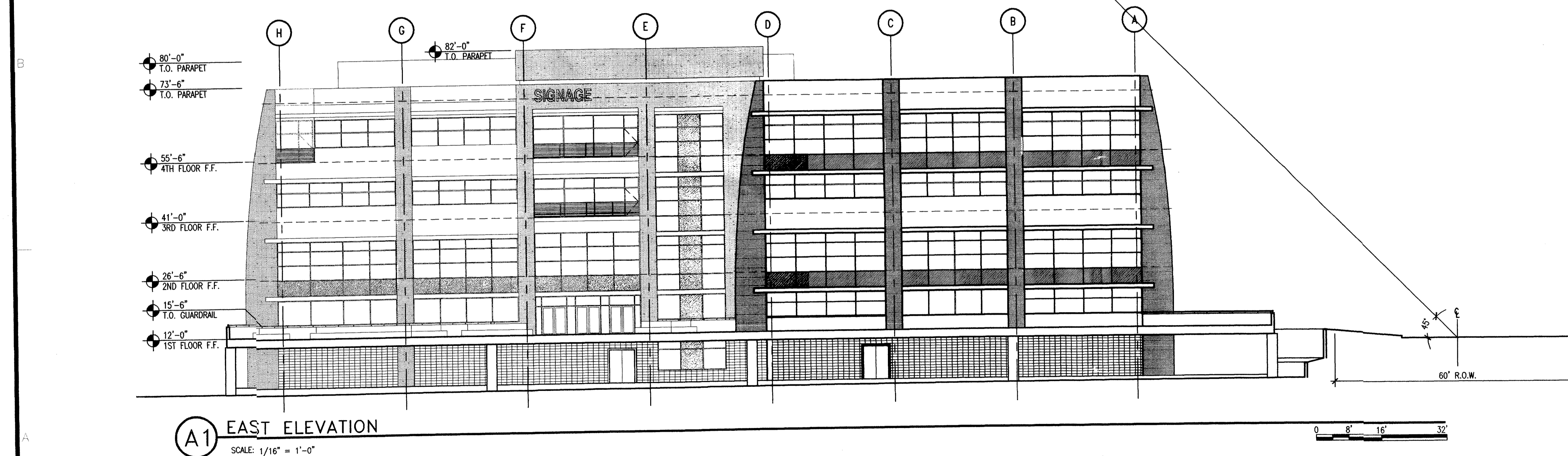
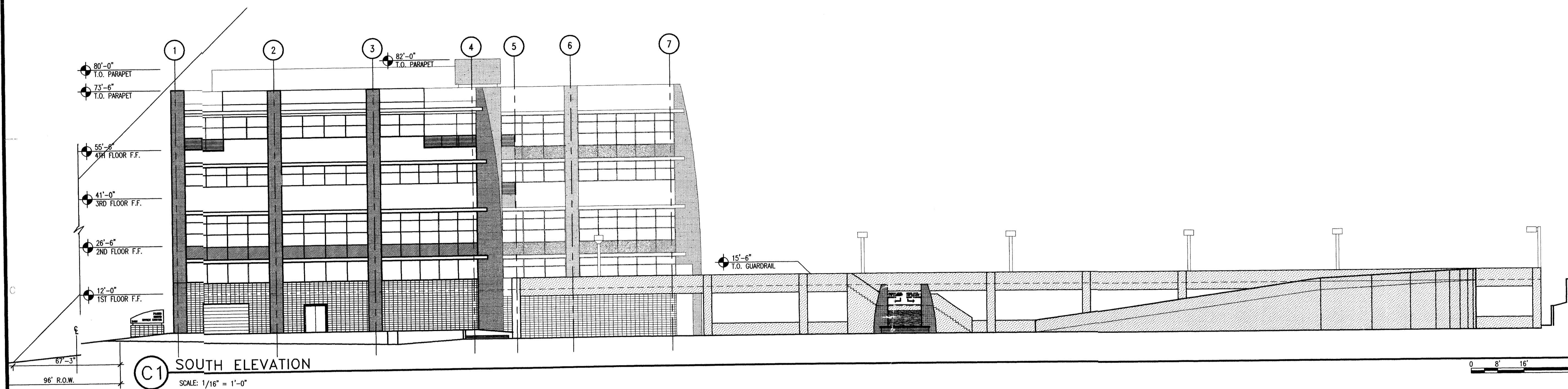
PASEO NUEVO
 SAN PEDRO & HOLLY
 ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		0424A-201.DWG
DRAWN BY:		MO
CHECKED BY:		DD
DATE:		6/02/06

SHEET TITLE

BUILDING ELEVATIONS

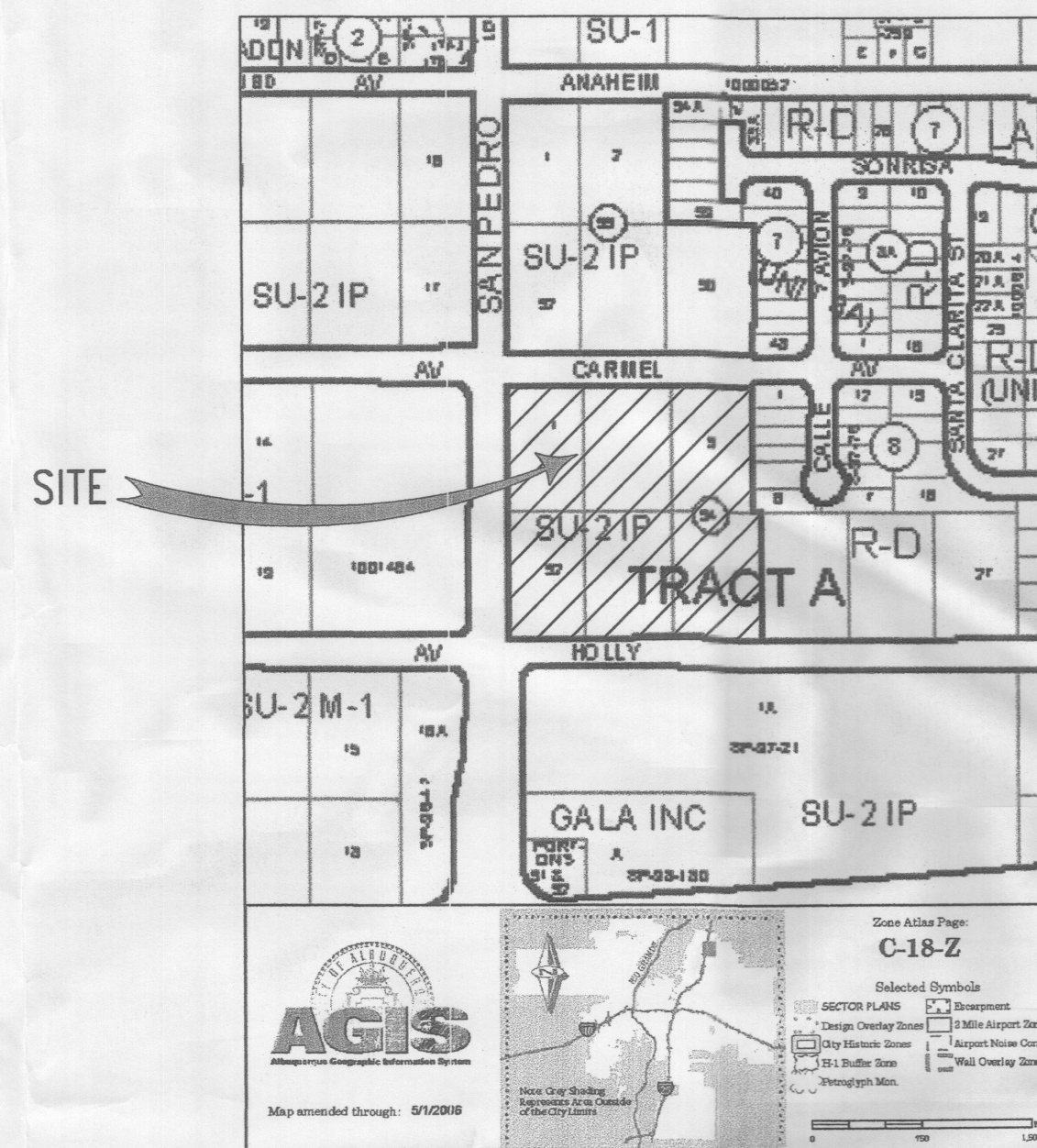
A-202
 sheet of sheets



P A S E O N U E V O

D R B S U B M I T T A L

SITE PLAN FOR SUBDIVISION AND SITE PLAN FOR BUILDING PERMIT



VICINITY MAP
NTS

PROJECT DIRECTORY

OWNER/USER:
San Pedro Equities
Land Use Solutions, LLC
4101 Indian School Rd. NE Suite 400
Albuquerque, NM 87110
CONTACT: Josh Skarsgard, CPA (505) 262-2323
(505) 998-9809

CIVIL:
TIERRA WEST, LLC
8509 Jefferson St NE
Albuquerque, NM 87113
CONTACT: JON NISKI (505) 823-1000
(505) 798-7988 Fax

LANDSCAPE:
HILLTOP
7909 EDITH NE
P.O. BOX 10630
Albuquerque, NM 87184
CONTACT: CARRIE JOHNSON (505) 898-9690
(505) 898-7737 Fax

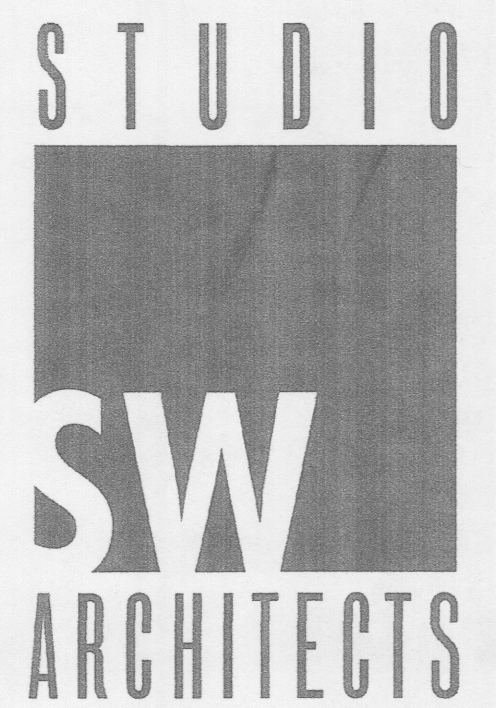
STRUCTURAL:
Chavez Grieves
4700 Lincoln NE
Albuquerque, NM 87109
CONTACT: Jeff Rosenberg (505) 344-4080
(505) 343-8759 Fax

ARCHITECT:
STUDIO SW Architects, Inc.
2101 MOUNTAIN ROAD NW
Albuquerque, NM 87104
CONTACT: Dave Dekker (505) 843-9639
(505) 843-9683 Fax

DRAWING INDEX

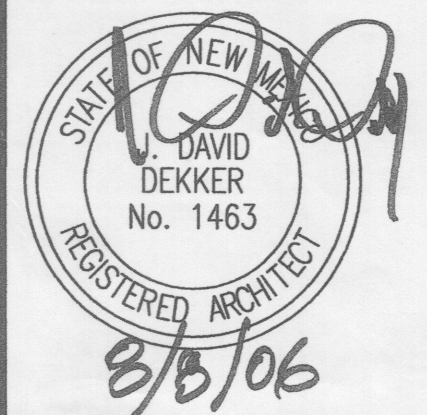
DRAWINGS

G-000 COVER SHEET, DRAWING INDEX, CONTACTS, LOCATION MAP
C-101 SITE PLAN FOR SUBDIVISION
AS-100 SITE PLAN FOR BUILDING PERMIT, GROUND FLOOR
AS-101 SITE PLAN FOR BUILDING PERMIT, 1ST FLOOR
AS-102 SITE DETAILS
AS-103 SITE DETAILS
L-1 PLANTING PLAN
C-102 GRADING AND DRAINAGE, GROUND FLOOR
C-103 GRADING AND DRAINAGE, 1ST FLOOR
A-201 ELEVATIONS
A-202 ELEVATIONS
C-104 MASTER UTILITY PLAN
C-105 DETAILS AND CROSS SECTIONS



CONSULTANTS

Architect Engineer



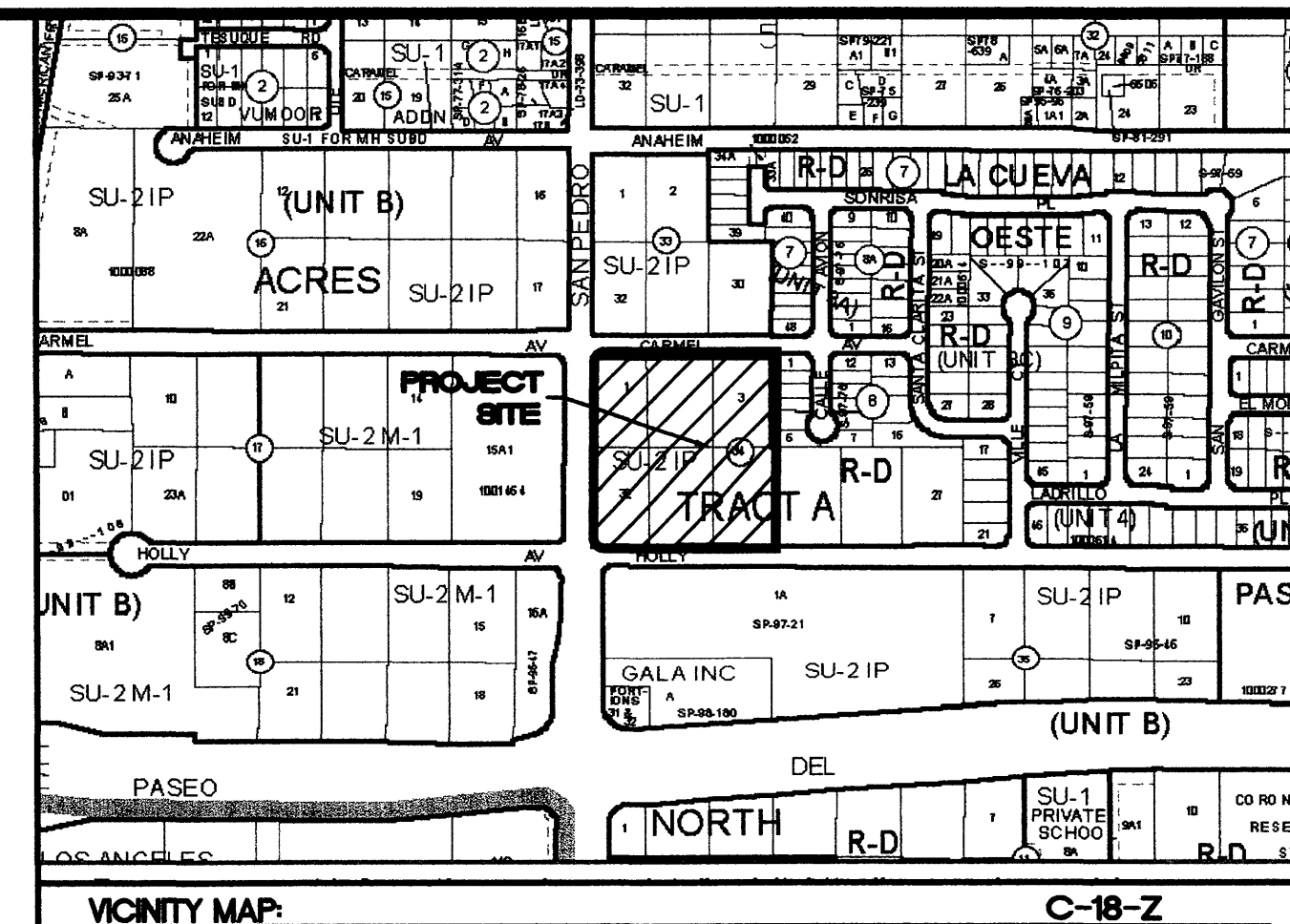
SET NUMBER
PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		0424-G-000.DWG
DRAWN BY:		MSO
CHECKED BY:		JDD
DATE:		8/16/06

SHEET TITLE
COVER SHEET,
DRAWING INDEX, CONTACTS,
LOCATION MAP

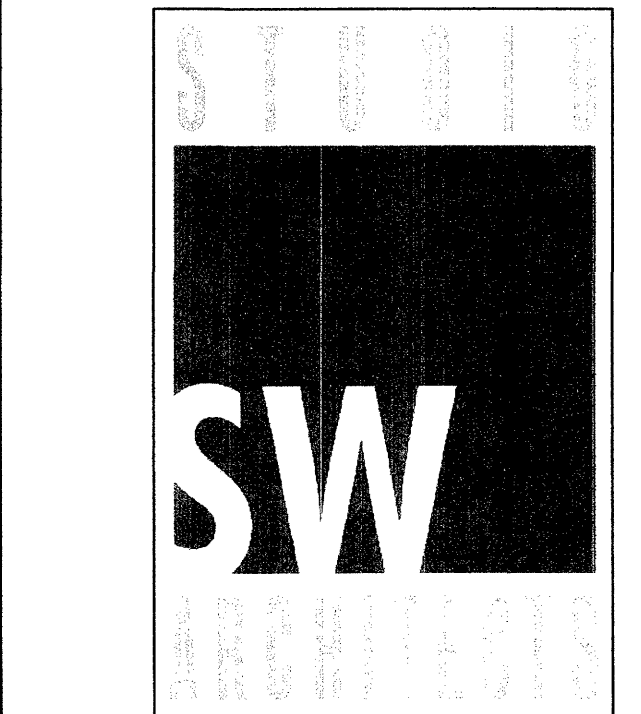
G-000

sheet of sheets



LEGAL DESCRIPTION:
 LOTS 1, 2, 3, 30, 31, 32 OF TRACT A, BLOCK 34 OF NORTH ALBUQUERQUE ACRES

- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - LIGHT POLES SHALL BE A MAXIMUM OF 30' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 30' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - SETBACKS: 20' FRONT YARD, 10' SIDE AND REAR YARD.
 - BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE IP ZONE OF THE COMPREHENSIVE CITY ZONING CODE.



CONSULTANTS
 Architect
 Engineer

NOT FOR CONSTRUCTION

PASEO NUEVO
 SAN PEDRO & HOLLY
 ALBUQUERQUE, NM

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

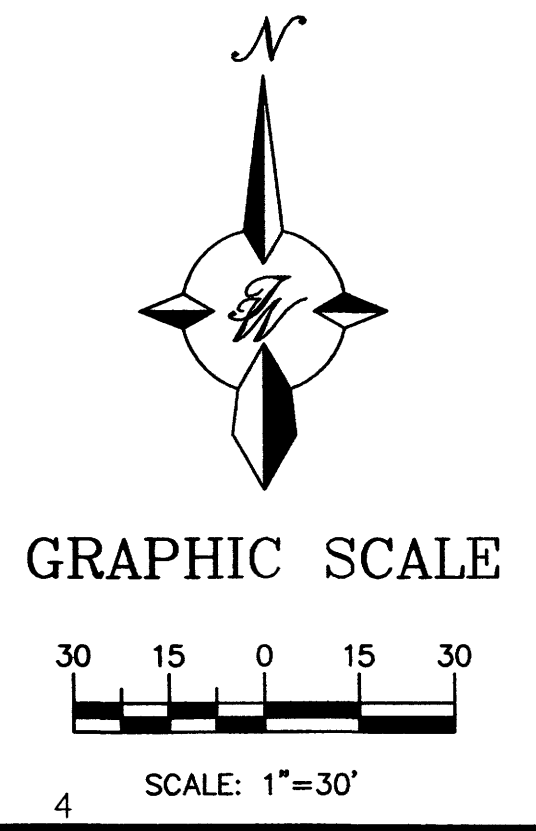
DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		24100-SPSE
DRAWN BY:		DY
CHECKED BY:		
DATE:		8/16/06

SHEET TITLE
 SHEET C-101 of sheets

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	39.20'	25.00	24.93	1597.04	N45°17'12"E	35.30
C2	39.34'	25.00	25.07	1603.02	N45°01'06"W	35.41



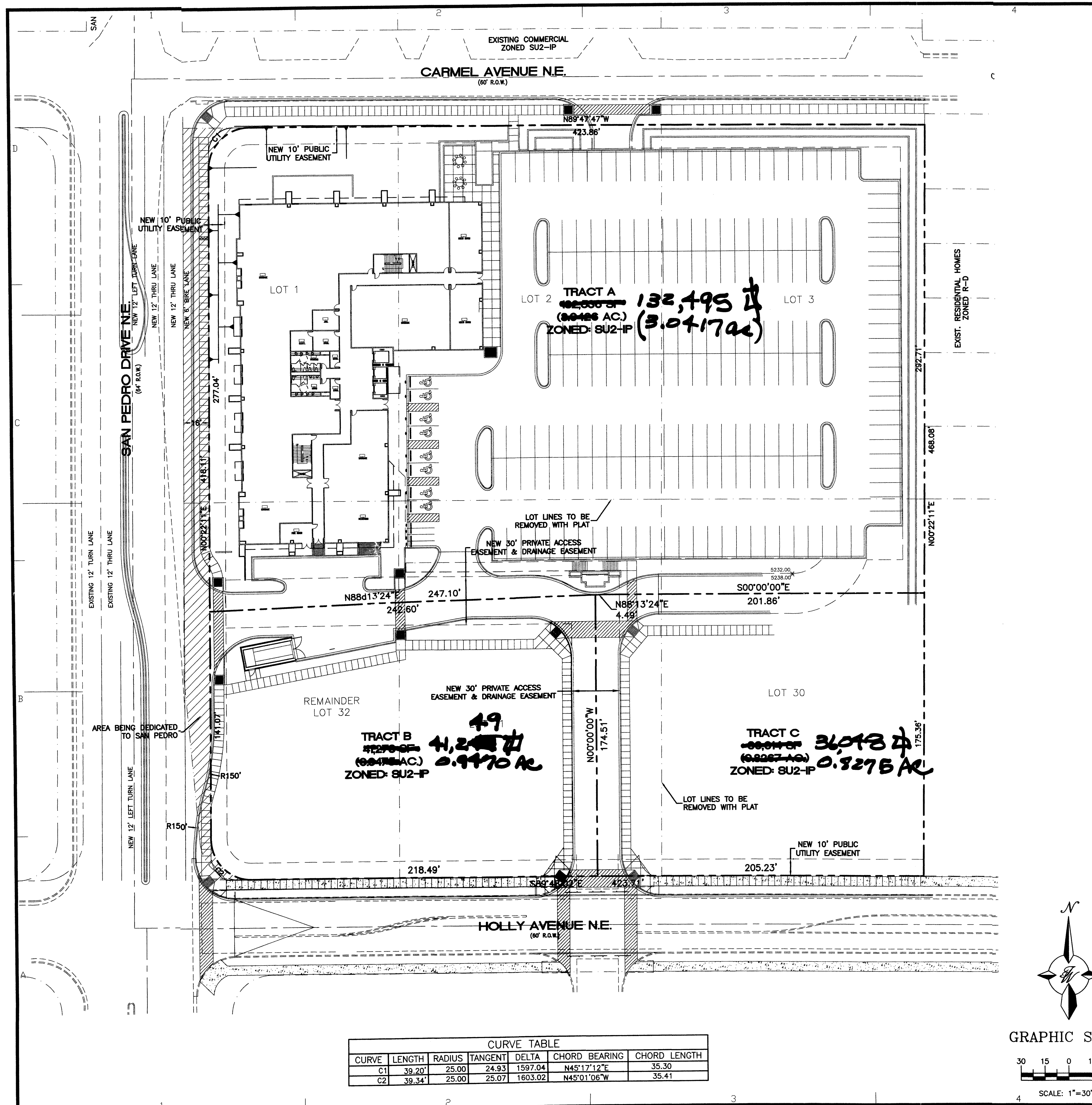
ENGINEER'S SEAL

PASEO NUEVO

SITE PLAN FOR SUBDIVISION

TERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

RONALD R. BOHANNAN
 P.E. #7868



GENERAL NOTES

1. PROVIDE ONE H.C. RESERVED PARKING SIGN AT EACH H.C. PARKING SPACE, PER DETAIL A4/AS-403.

SITE CALCULATIONS

BUILDING SQUARE FOOTAGE	PARKING SPACES REQUIRED
BASEMENT FLOOR TOTAL GROSS SF = 25,723 SF	
BASEMENT FLOOR TOTAL USEABLE SF STORAGE = 7,018 SF	9 SPACES @ 1 SPACE/2,000 SF
BASEMENT FLOOR TOTAL USEABLE SF OFFICE = 10,600	53 SPACES @ 1 SPACE/200 SF
2ND FLOOR TOTAL GROSS SF = 25,100 SF	
2ND FLOOR TOTAL USEABLE SF = 21,762 SF	109 SPACES @ 1 SPACE/200 SF
3RD FLOOR TOTAL GROSS SF = 23,765 SF	
3RD FLOOR TOTAL USEABLE SF = 19,767	67 SPACES @ 1 SPACE/300 SF
4TH FLOOR TOTAL GROSS SF = 24,545 SF	
4TH FLOOR TOTAL USEABLE SF = 21,007	70 SPACES @ 1 SPACE/300 SF
5TH FLOOR TOTAL GROSS SF = 24,336 SF	
5TH FLOOR TOTAL USEABLE SF = 20,710	69 SPACES @ 1 SPACE/300 SF
TOTAL REQUIRED = 377 SPACES	
TOTAL PROVIDED = 377 SPACES	
HC REQUIRED = 12 SPACES	
HC PROVIDED = 15 SPACES	
MOTORCYCLE REQUIRED = 6 SPACES	
MOTORCYCLE PROVIDED = 6 SPACES	
BICYCLE RACKS REQUIRED = 19	
BICYCLE RACKS PROVIDED = 20	

SITE DATA

TOTAL SITE AREA, LESS 60' R.O.W. FOR SAN PEDRO AND HOLLY OFFICE COMPLEX = 209,811 SF (4.82 ACRES)

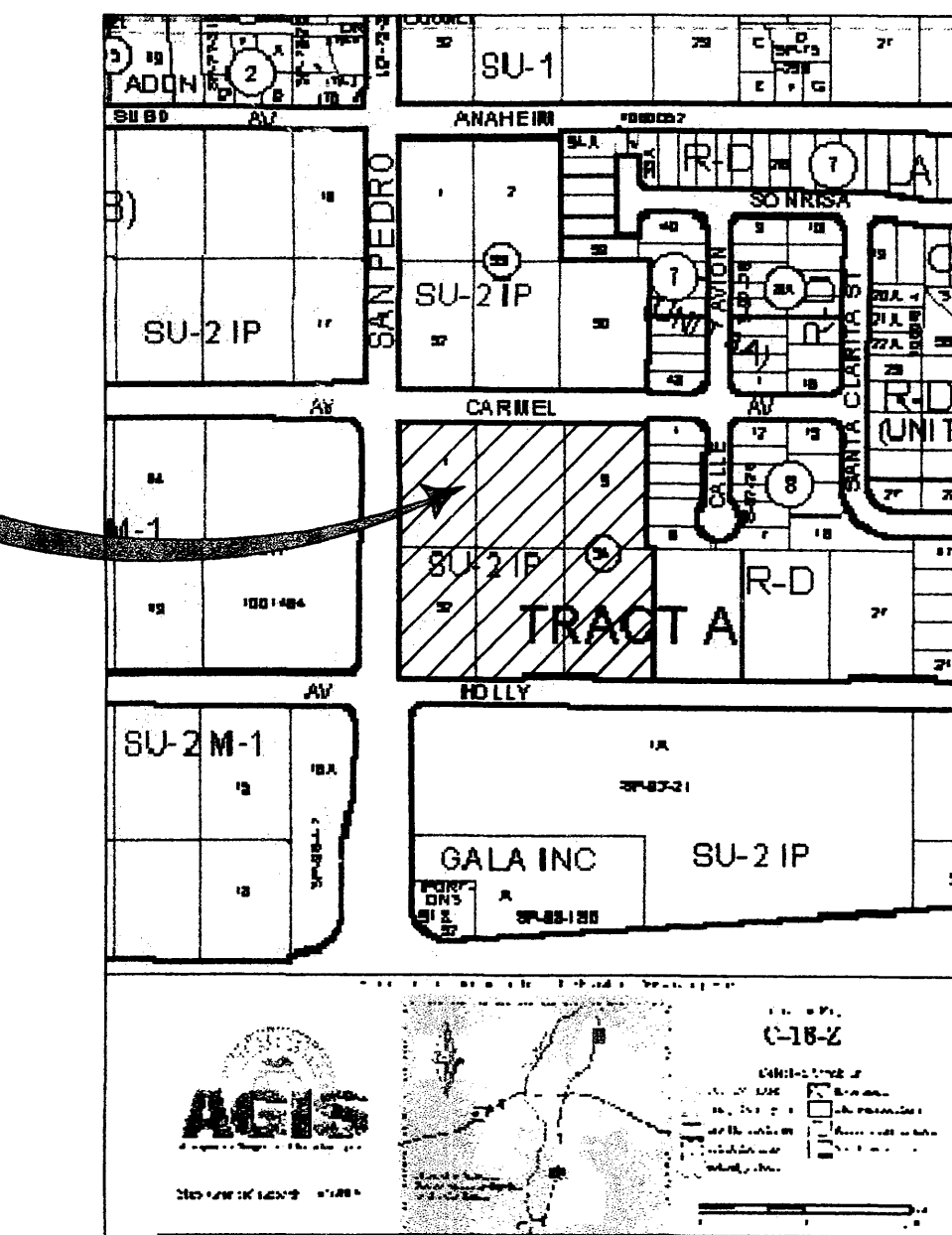
BUILDING FOOTPRINT = 25,500 SF (12% OF SITE, MAX F.A.R. IS 50%)

FRONT YARD SETBACK = 20' MIN.

SIDE YARD SETBACK = 10' MIN.

REAR YARD SETBACK = 10' MIN.

MAXIMUM BUILDING HEIGHT = 45' FROM R.O.W., 120' MAX



VICINITY MAP

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

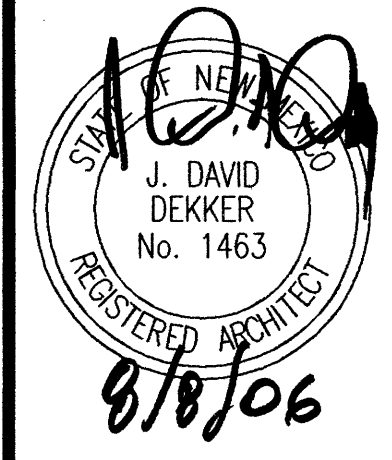
Traffic Engineer, Transportation Division	_____	Date	_____
Water Utility Development	_____	Date	_____
Parks & Recreation Department	_____	Date	_____
City Engineer	_____	Date	_____
* Environmental Health Department (conditional)	_____	Date	_____
Solid Waste Management	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

* Environmental Health, if necessary



CONSULTANTS

Architect Engineer



PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

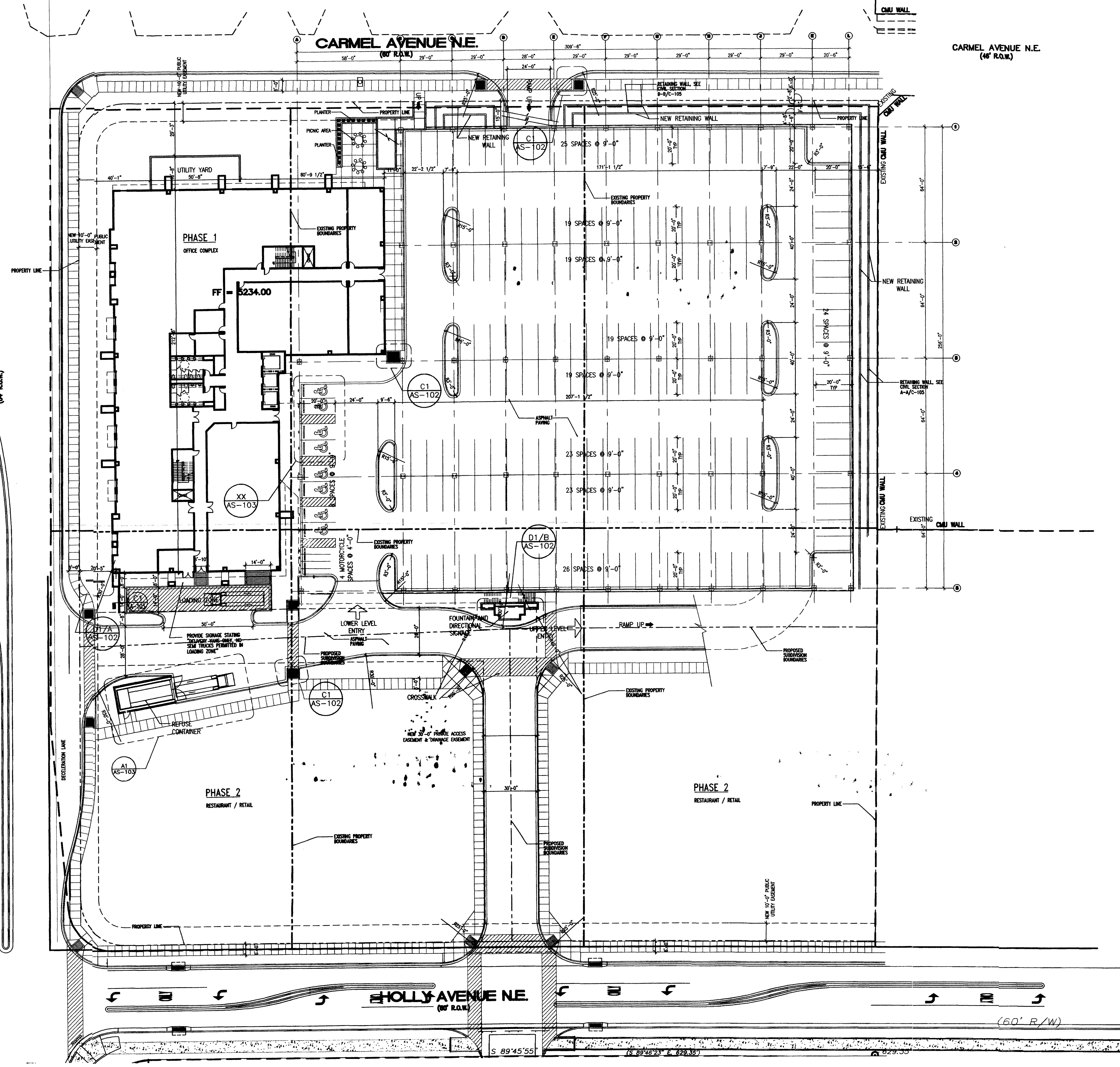
MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		0424A-SP00
DRAWN BY:		MO
CHECKED BY:		DD
DATE:		8/16/06

SHEET TITLE

OVERALL SITE PLAN
FOR BUILDING PERMIT,
BASEMENT LEVEL

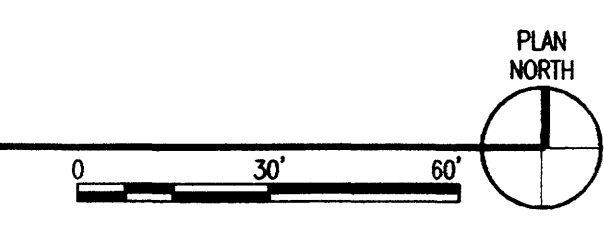
AS-100

sheet of sheets



A1 OVERALL SITE PLAN, BASEMENT LEVEL

SCALE: 1"=30'-0"



GENERAL NOTES

1. PROVIDE ONE H.C. RESERVED PARKING SIGN AT EACH H.C. PARKING SPACE, PER DETAIL A4/AS-403.

SITE CALCULATIONS

BUILDING SQUARE FOOTAGE	PARKING SPACES REQUIRED
BASEMENT FLOOR TOTAL GROSS SF = 25,723 SF	
BASEMENT FLOOR TOTAL USEABLE SF STORAGE = 7,018 SF --> 9 SPACES @ 1 SPACE/2,000 SF	
BASEMENT FLOOR TOTAL USEABLE SF OFFICE = 10,600 --> 53 SPACES @ 1 SPACE/200 SF	
2ND FLOOR TOTAL GROSS SF = 25,100 SF	
2ND FLOOR TOTAL USEABLE SF = 21,762 SF -->	109 SPACES @ 1 SPACE/200 SF
3RD FLOOR TOTAL GROSS SF = 23,765 SF	
3RD FLOOR TOTAL USEABLE SF = 19,767 -->	67 SPACES @ 1 SPACE/300 SF
4TH FLOOR TOTAL GROSS SF = 24,545 SF	
4TH FLOOR TOTAL USEABLE SF = 21,007 SF -->	70 SPACES @ 1 SPACE/300 SF
5TH FLOOR TOTAL GROSS SF = 24,336 SF	
5TH FLOOR TOTAL USEABLE SF = 20,710 SF -->	69 SPACES @ 1 SPACE/300 SF
TOTAL REQUIRED = 377 SPACES	
TOTAL PROVIDED = 377 SPACES	
HC REQUIRED = 12 SPACES	
HC PROVIDED = 15 SPACES	
MOTORCYCLE REQUIRED = 6 SPACES	
MOTORCYCLE PROVIDED = 6 SPACES	
BICYCLE RACKS REQUIRED = 19	
BICYCLE RACKS PROVIDED = 20	

SITE DATA

TOTAL SITE AREA, LESS 60' R.O.W. FOR SAN PEDRO AND HOLLY OFFICE COMPLEX	= 209,811 SF (4.82 ACRES)
BUILDING FOOTPRINT	= 25,500 SF (12% OF SITE, MAX F.A.R. IS 50%)
FRONT YARD SETBACK	= 20' MIN.
SIDE YARD SETBACK	= 10' MIN.
REAR YARD SETBACK	= 10' MIN.
MAXIMUM BUILDING HEIGHT	= 45' FROM R.O.W., 120' MAX

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

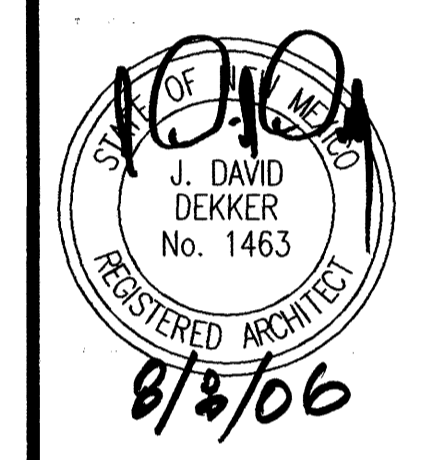
Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary



CONSULTANTS

Architect Engineer



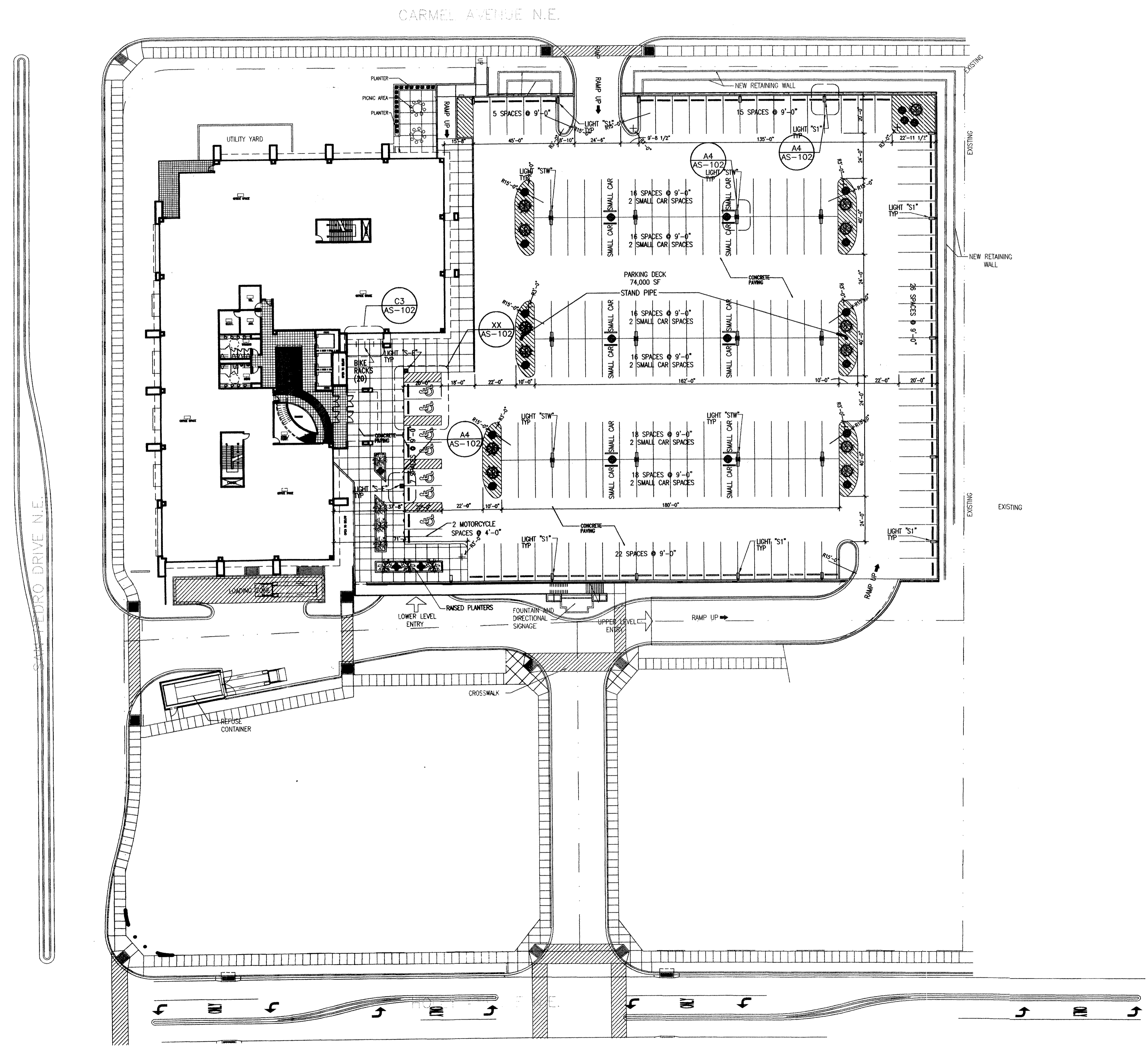
**PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM**

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		0424AS-101.dwg
DRAWN BY:		MO
CHECKED BY:		DD
DATE:		8/16/06

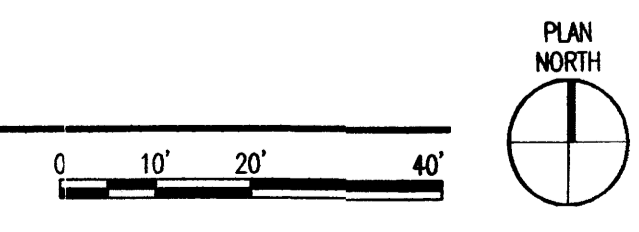
SHEET TITLE

**OVERALL SITE PLAN
FOR BUILDING PERMIT,
UPPER LEVEL PARKING
AND BUILDING ENTRY
LEVEL**

AS-101
sheet of sheets

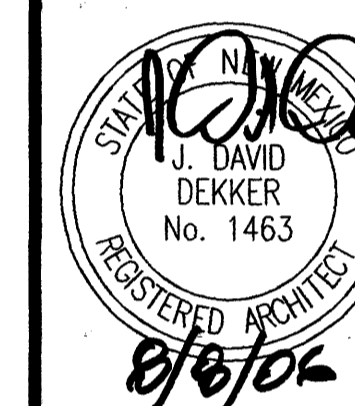


A1 OVERALL SITE PLAN, UPPER LEVEL PARKING AND BUILDING ENTRY LEVEL
SCALE: 1"=30'-0"



CONSULTANTS

Architect Engineer

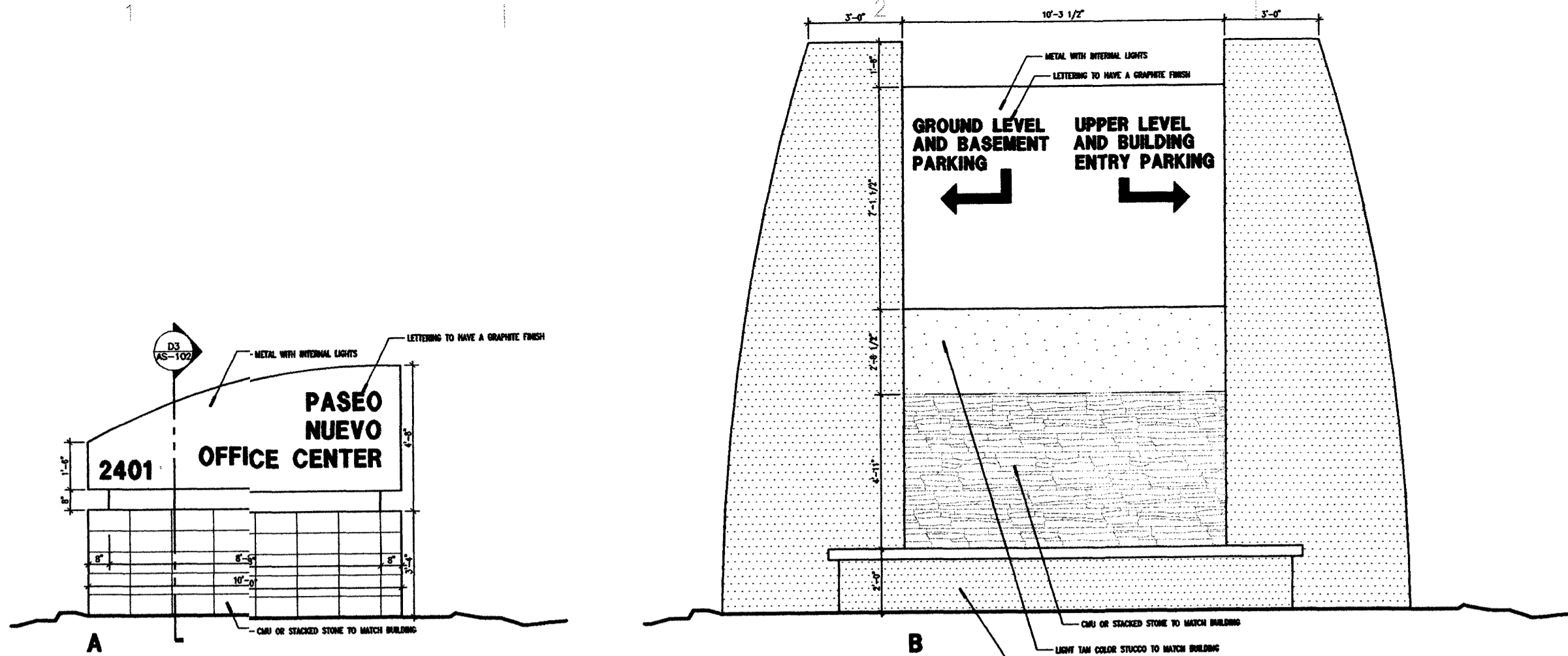


PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

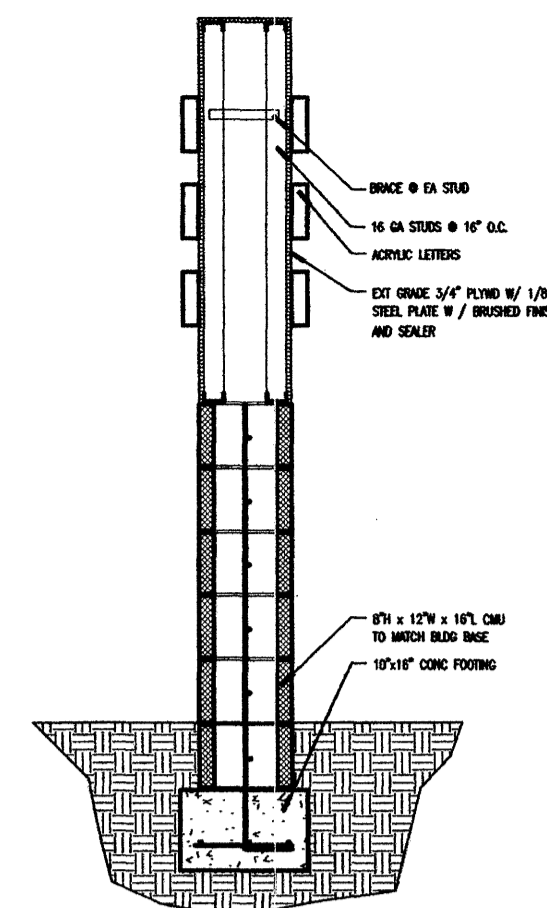
MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		0424AS-102.DWG
DRAWN BY:		MO
CHECKED BY:		DD
DATE:		8/16/06

SHEET TITLE
SITE DETAILS

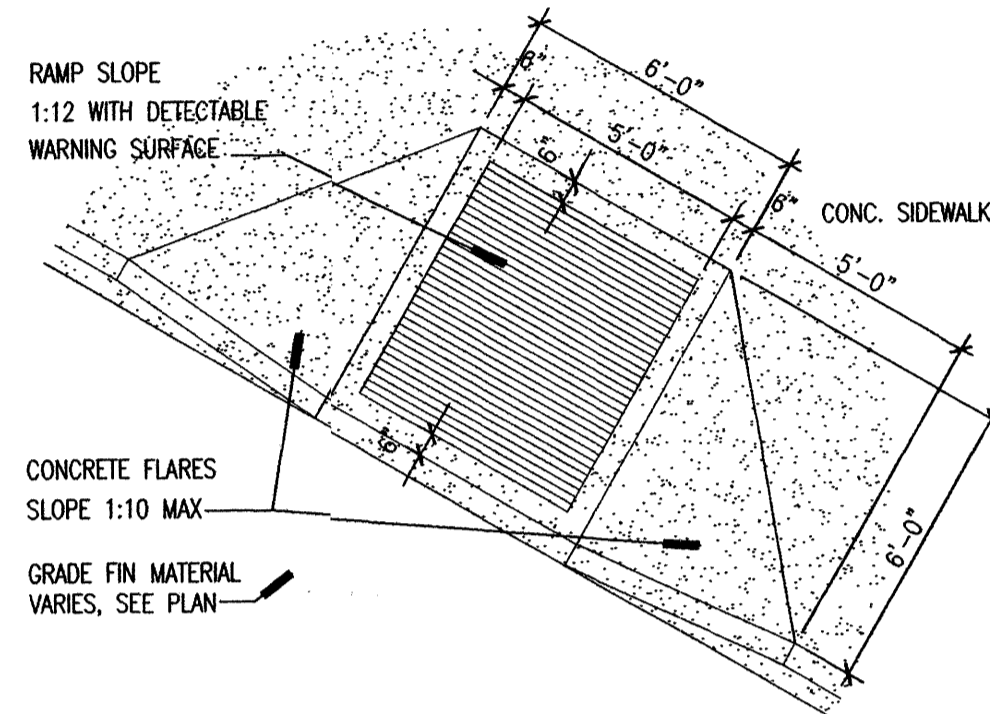
AS-102
sheet of sheets



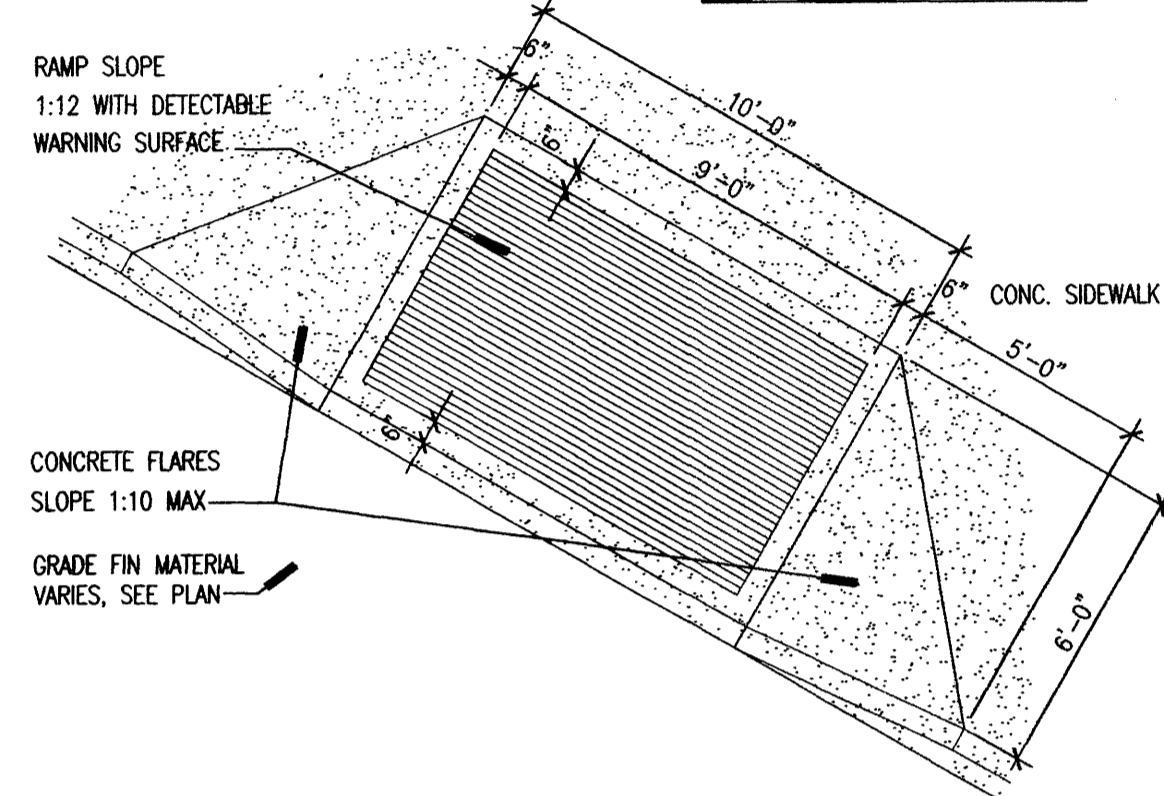
D1 BUILDING SITE SIGNAGE
SCALE: 1/4"=1'-0"



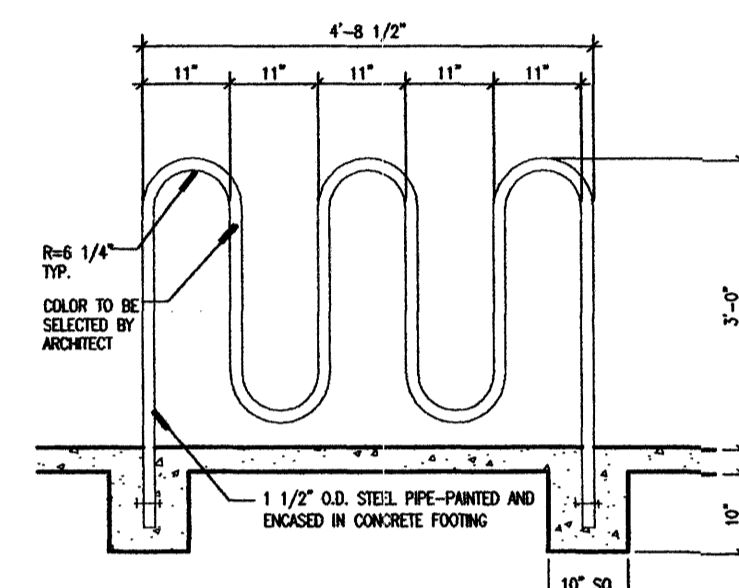
D3 MONUMENT SIGN SECTION
SCALE: 1/2"=1'-0"



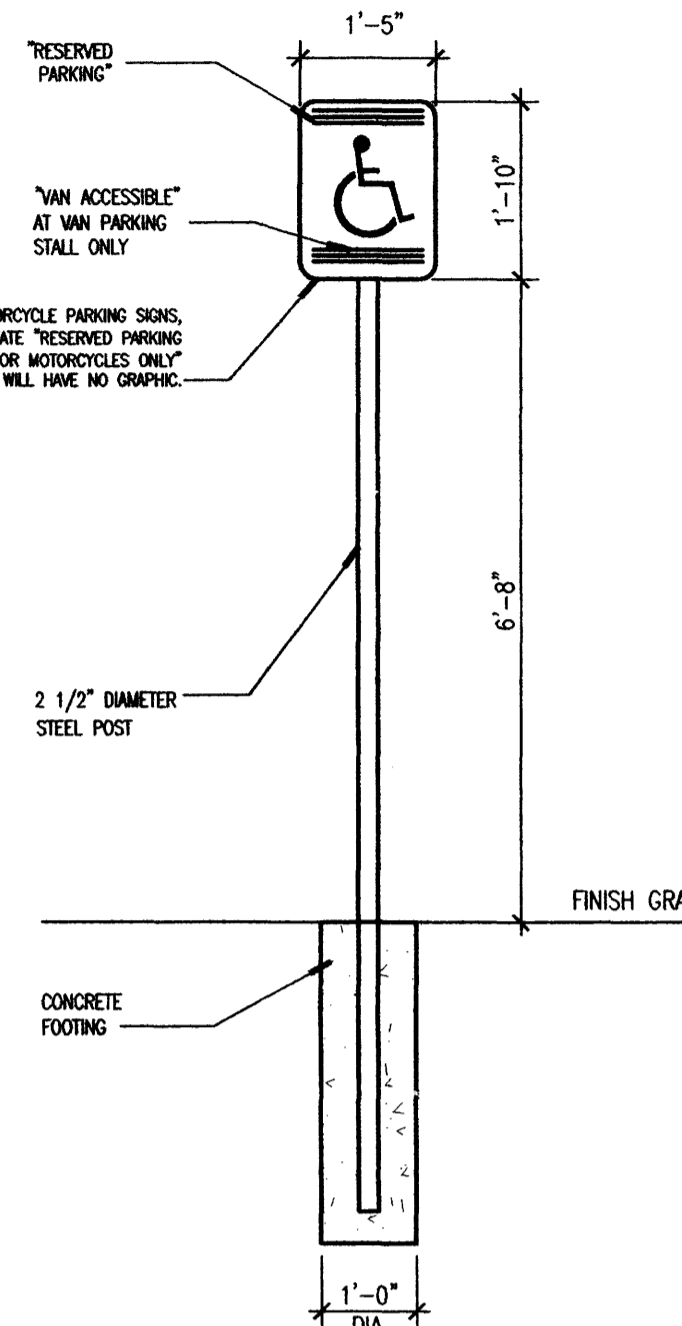
C1 H.C. RAMP
SCALE: 1/4"=1'-0"



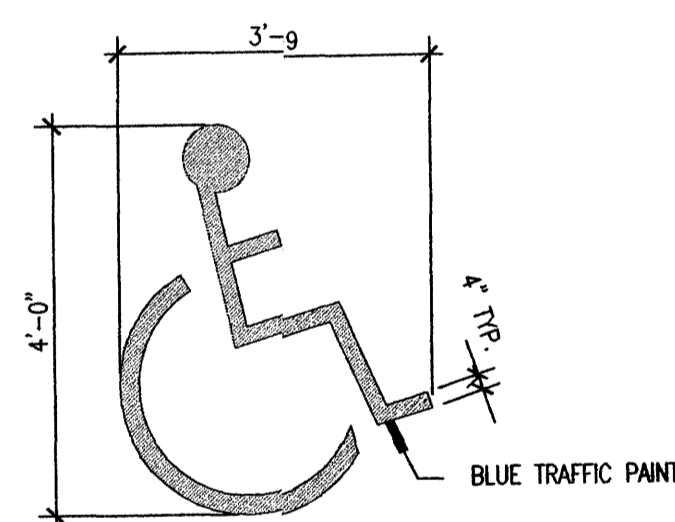
C2 H.C. RAMP
SCALE: 1/4"=1'-0"



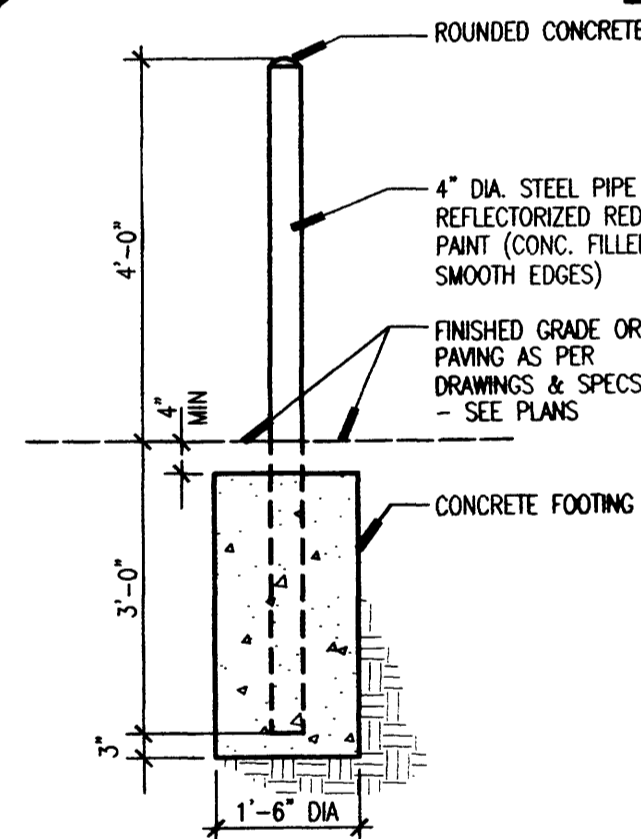
C3 BIKE RACK DETAIL
SCALE: 1/2"=1'-0"



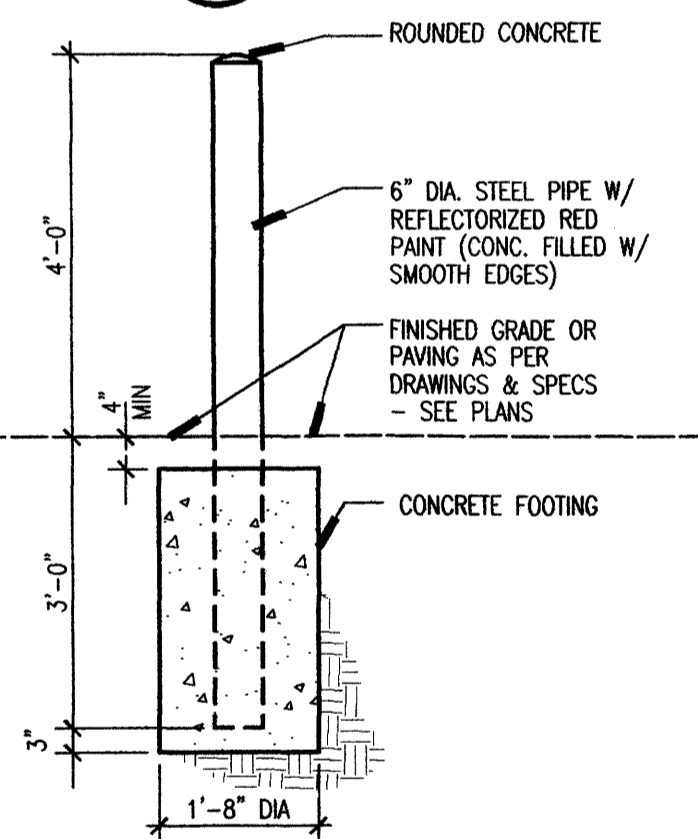
C4 TYP. RESERVED PARKING SIGNS
SCALE: 1/2"=1'-0"



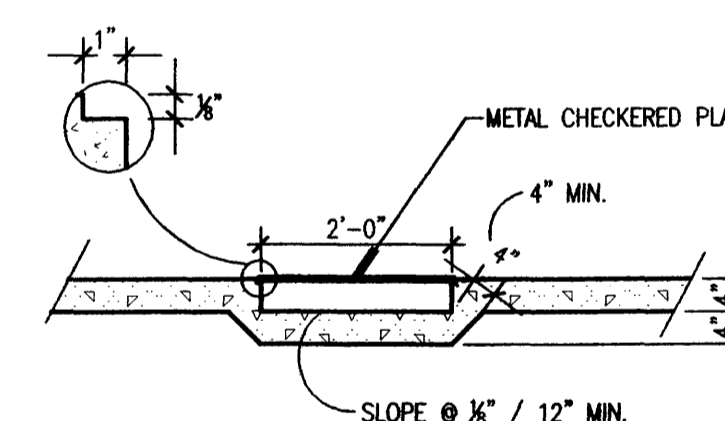
B1 H.C. PAVEMENT SIGN
SCALE: 1/2"=1'-0"



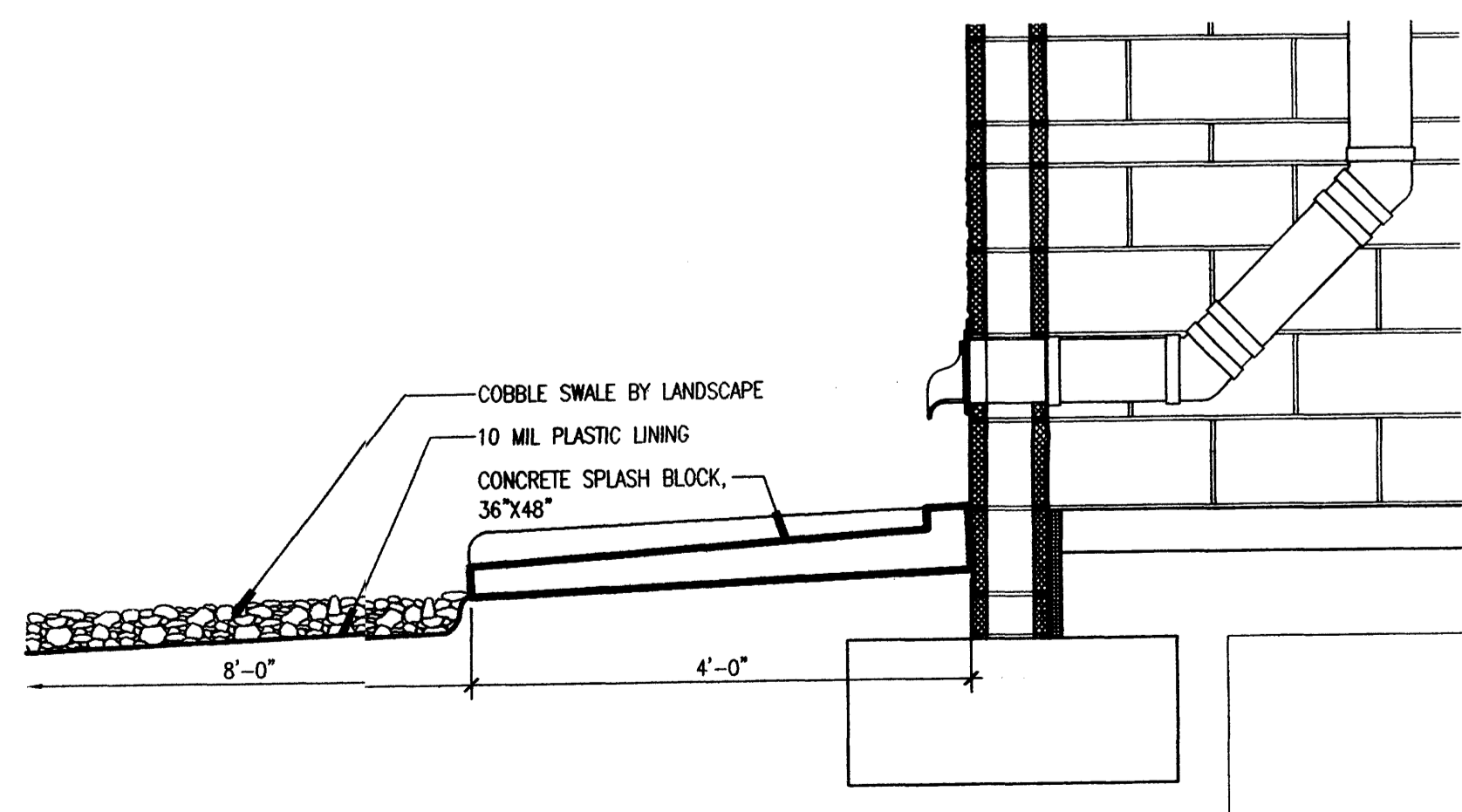
B2 4" TYPICAL BOLLARD
SCALE: 1/2"=1'-0"



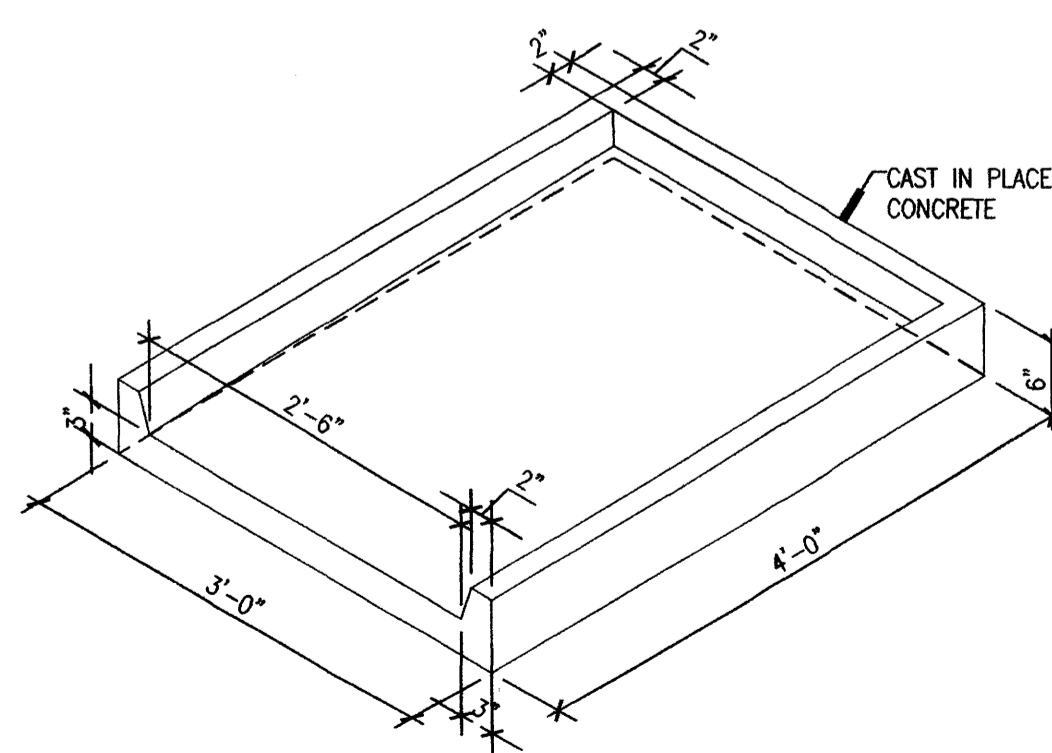
B3 6" TYPICAL BOLLARD
SCALE: 1/2"=1'-0"



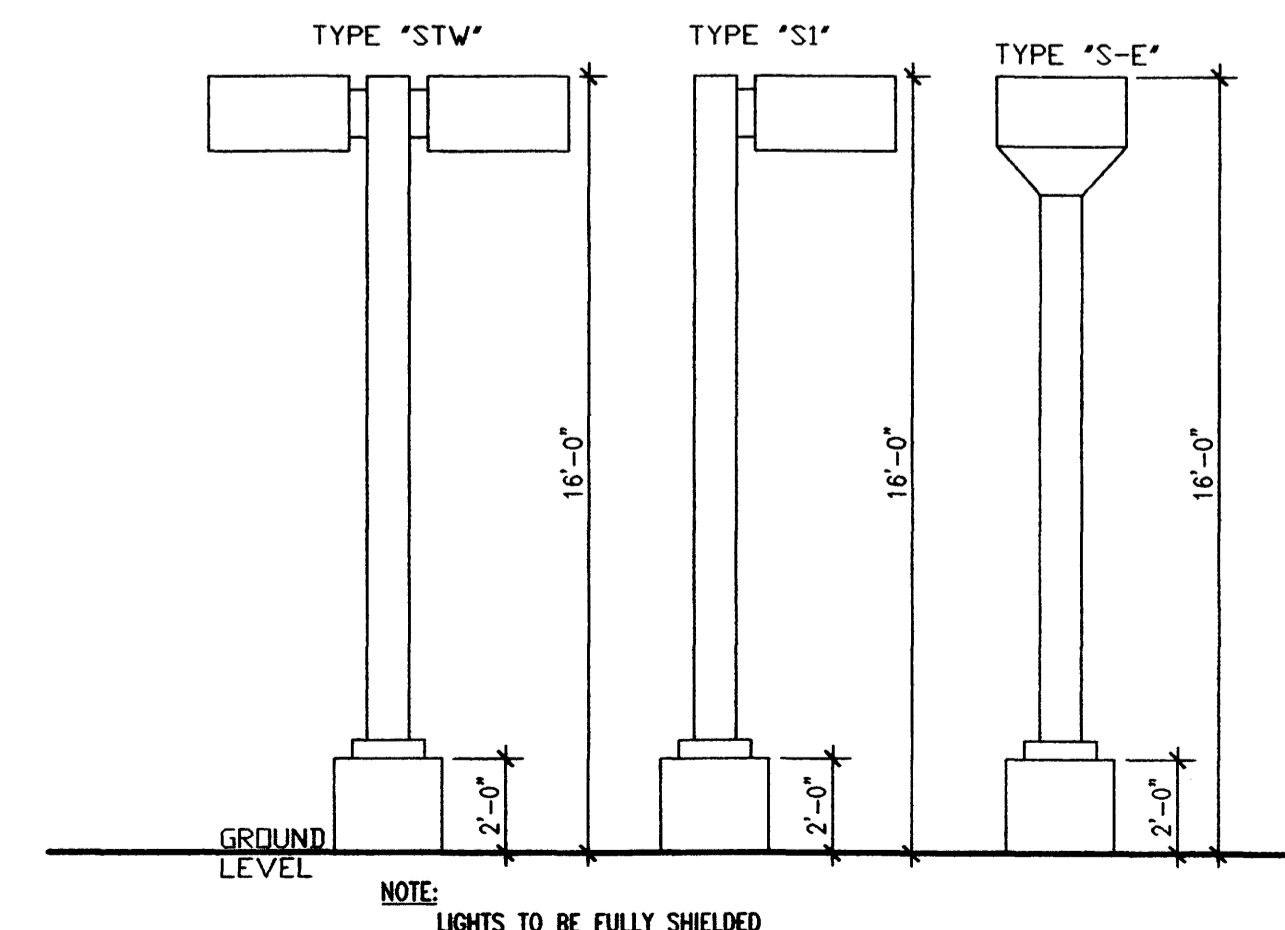
B4 SIDEWALK CULVERT DETAIL
SCALE: 1/2"=1'-0"



A1 SPLASH BLOCK SECTION
SCALE: 3/4"=1'-0"



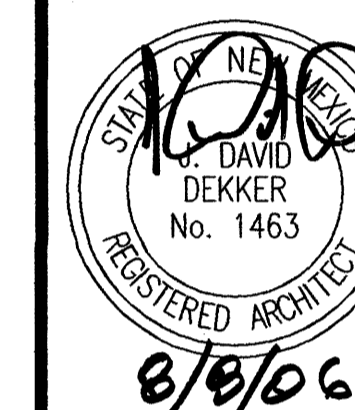
A3 SPLASH BLOCK AXON
SCALE: 3/4"=1'-0"



A4 SITE LIGHTING MAXIMUM MOUNTING HEIGHTS
SCALE: 1/4"=1'-0"

CONSULTANTS

Architect Engineer

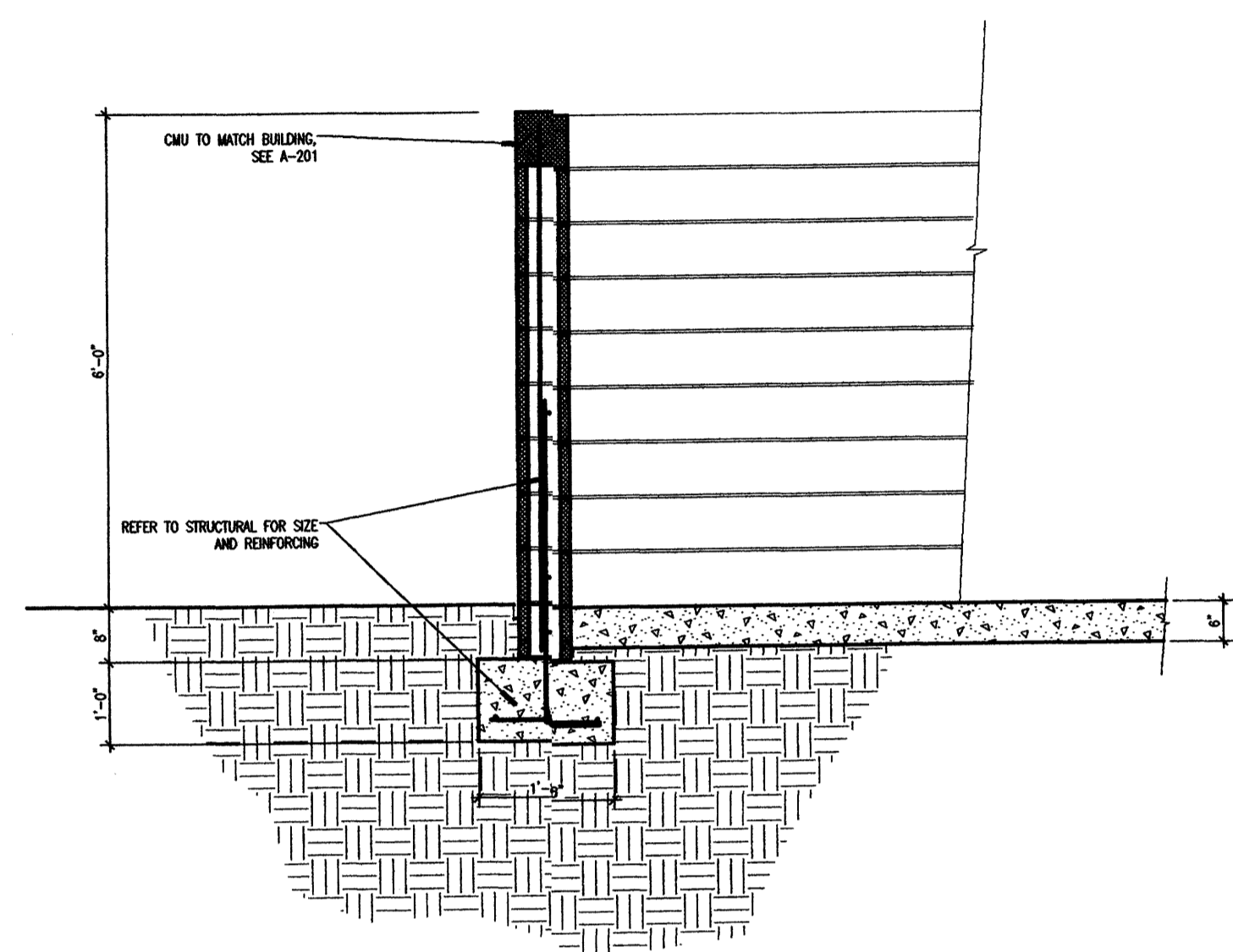


PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

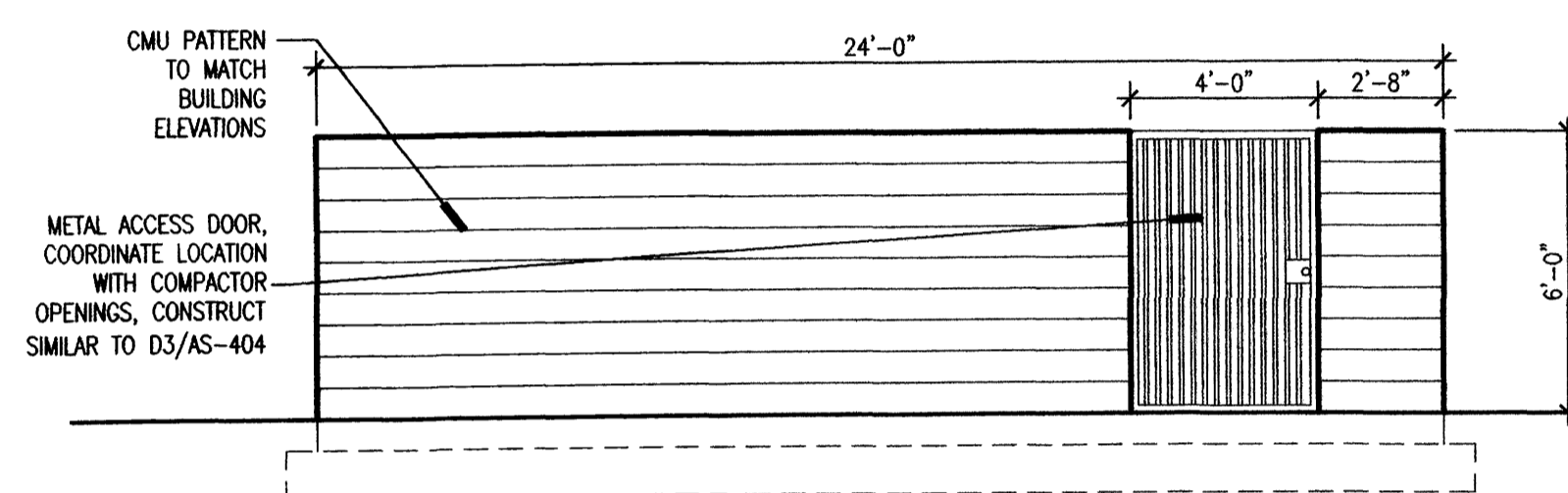
MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		0424AS-103.DWG
DRAWN BY:		MO
CHECKED BY:		DD
DATE:		8/16/06

SHEET TITLE
SITE DETAILS

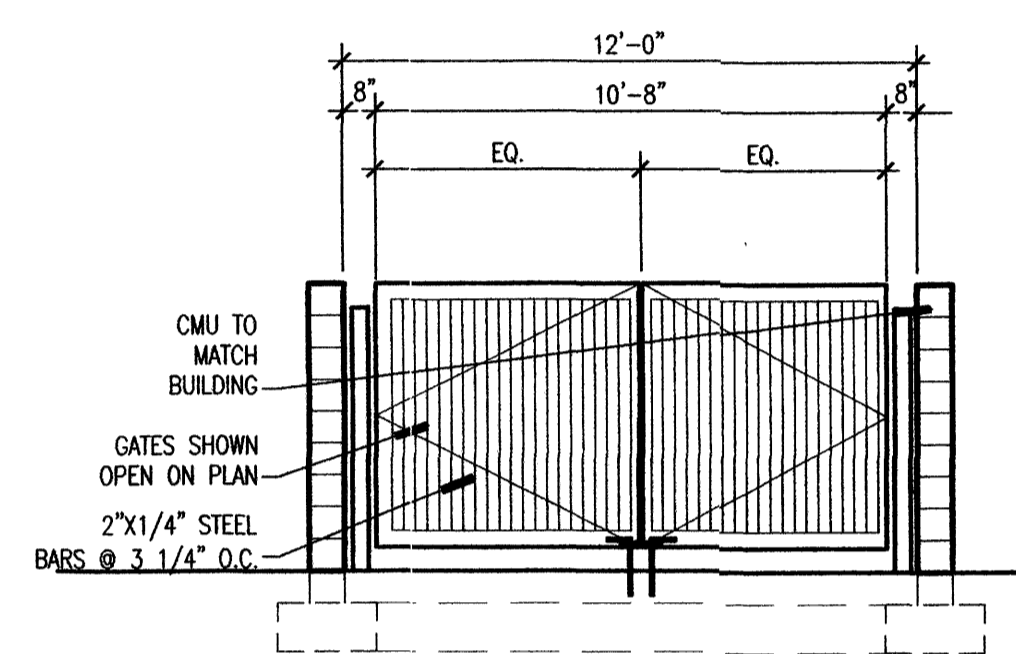
AS-103
sheet of sheets



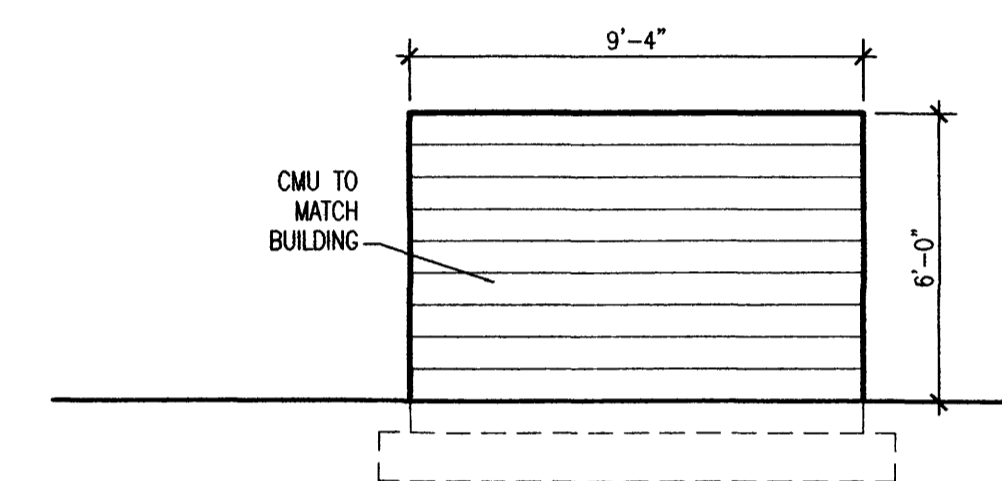
C1 SCREEN WALL SECTION
SCALE: 1/2"=1'-0"



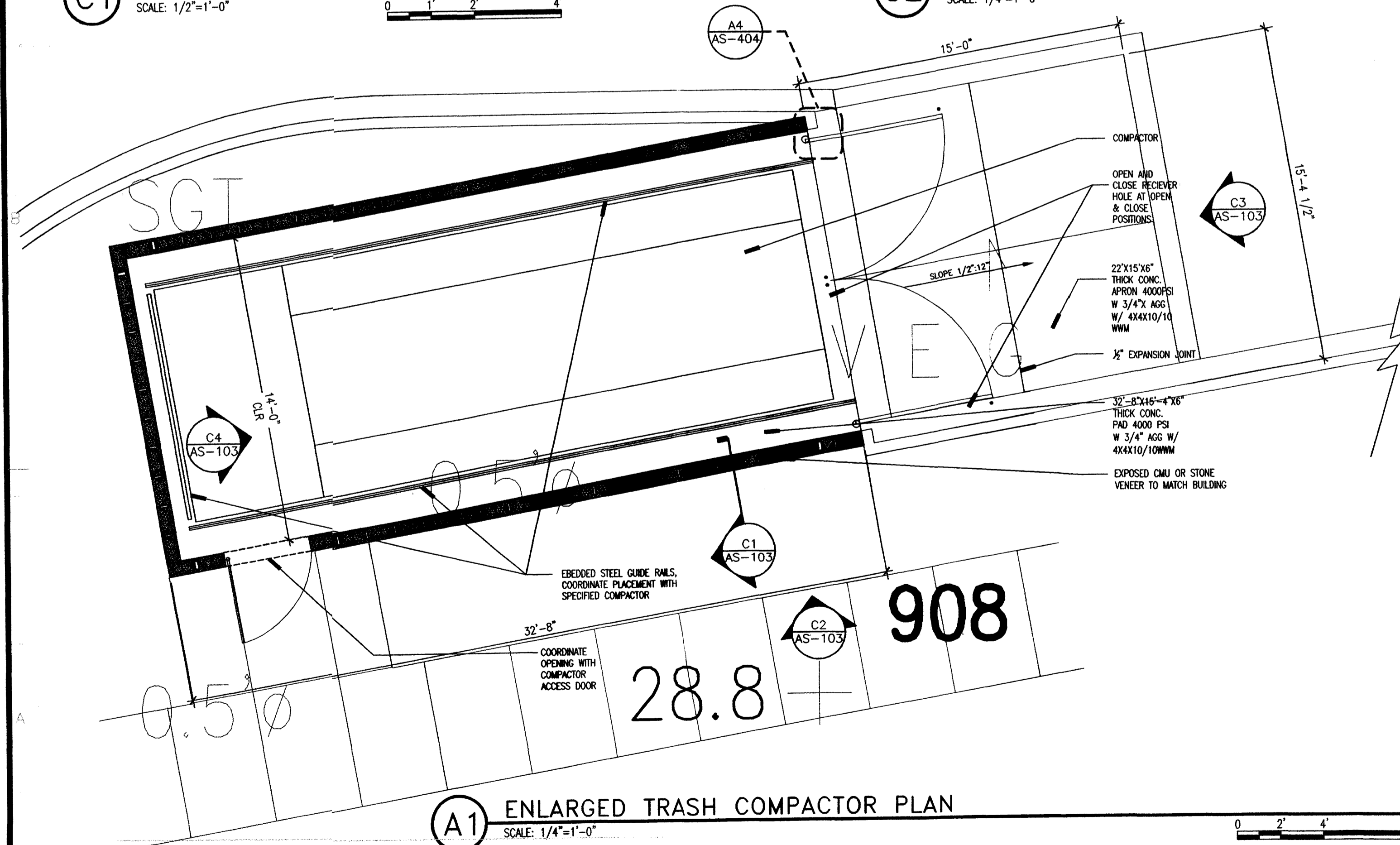
C2 TRASH COMPACTOR ELEVATION
SCALE: 1/4"=1'-0"



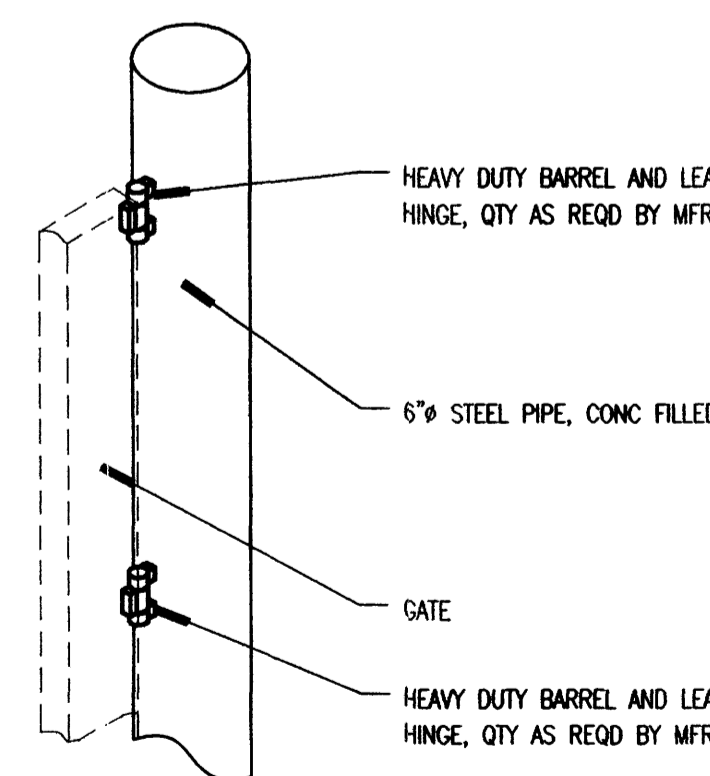
C3 TRASH COMPACTOR ELEVATION
SCALE: 1/4"=1'-0"



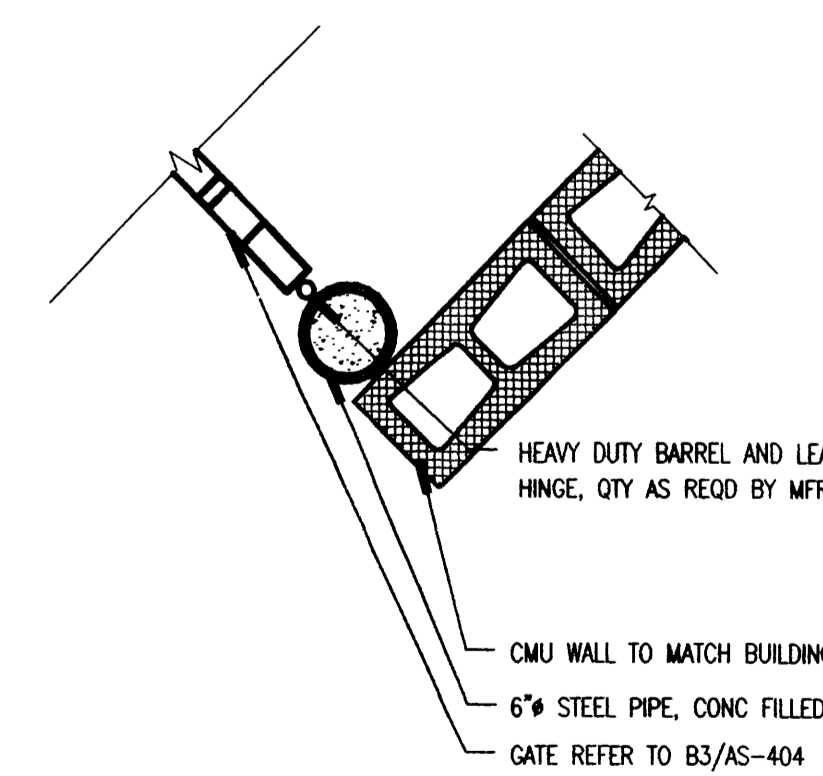
C4 TRASH COMPACTOR ELEVATION
SCALE: 1/4"=1'-0"



A1 ENLARGED TRASH COMPACTOR PLAN
SCALE: 1/4"=1'-0"



A3 GATE HINGE
N.T.S.



A4 DETAIL
SCALE: 1"=1'-0"

CONSULTANTS

Architect Engineer

**NOT FOR
CONSTRUCTION**

PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
adf	8-8-06	site plan revision
adf	7-17-06	revisions per comment
adf	7-5-06	revisions per comment
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		
DRAWN BY:		
CHECKED BY:		
DATE:		6/02/06

SHEET TITLE

PLANT LEGEND

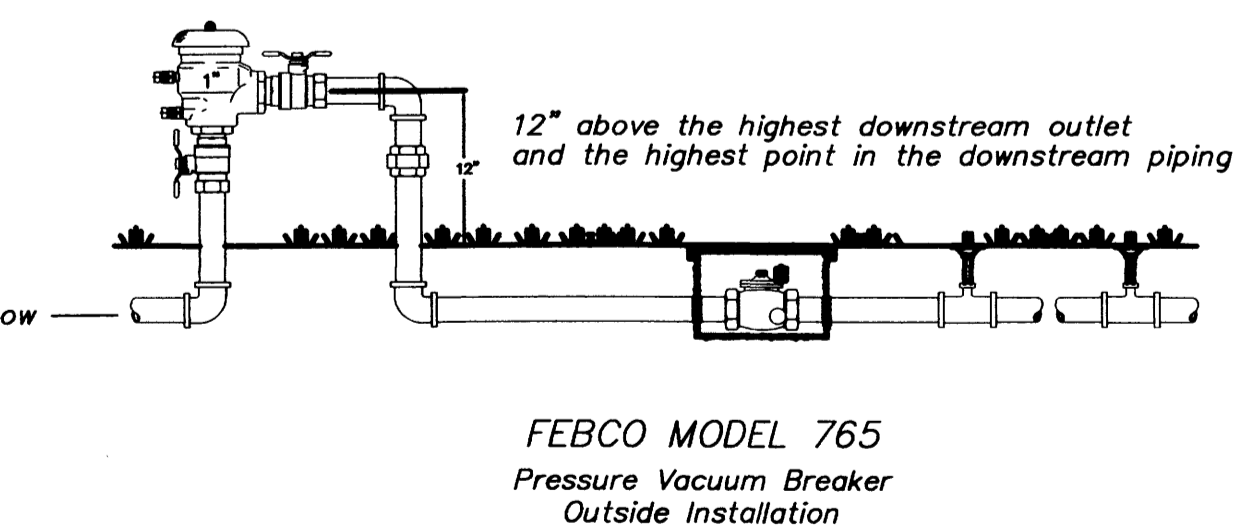
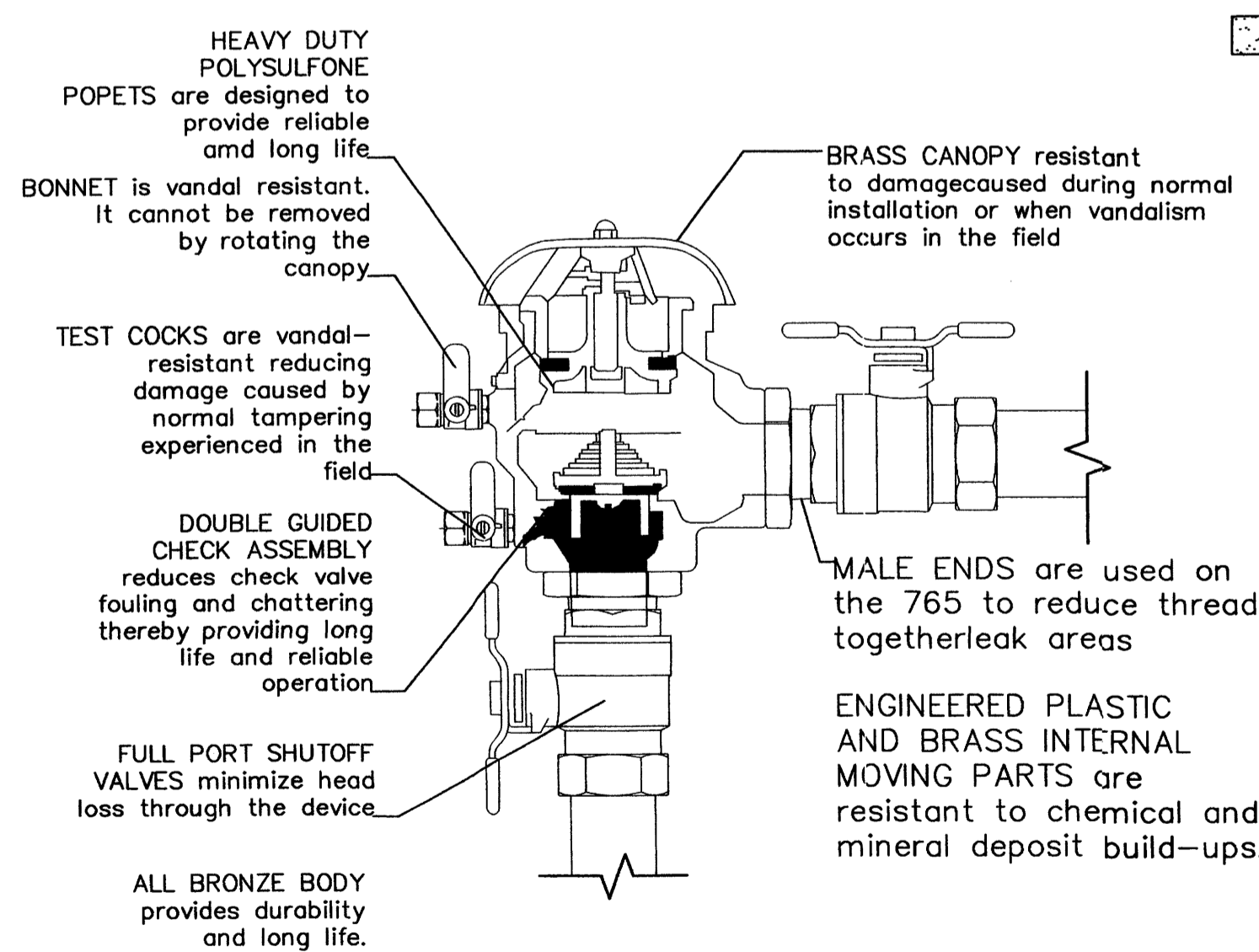
- CHINESE PISTACHE (M) 36
Euphonia chinensis
- FLOWERING PEAR (M+) 8
Pyrus calleryana
2" Cal.
- PURPLE-LEAF PLUM (M) 3
Prunus spp.
2" Cal.
- DESERT WILLOW (L) 12
Chilopsis linearis
15 Gal. 225sf
- GREEN GIANT ARBORVITAE (M) 25
Thuja occidentalis 'Emerald'
15 Gal.
- KENTUCKY COFFEE TREE (M) 4
Gymnocladus dioica
15 Gal.
- HACKBERRY (M) 4
Celtis occidentalis
15 Gal.
- SPANISH BROOM (M) 19
Genista hispanica
5 Gal. 100sf
- SILVERBERRY (M) 18
Elaeagnus pungens
5 Gal. 100sf
- BIRD OF PARADISE (L) 18
Caesalpinia gilliesii
5 Gal. 100sf
- BUTTERFLY BUSH (M) 28
Buddleia davidii
5 Gal. 100sf
- OCOTILLO (L) 4
Fouquieria splendens
- THREE-LEAF SUMAC (L) 20
Rhus trilobata
5 Gal. 36sf
- TRUMPET VINE (M) 13
Campsis radicans
1 Gal.
- GREYLEAF COTONEASTER (M) 15
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 3 plants
- OVERSIZED GRAVEL & 16 BOULDERS
- COMMERCIAL GRADE STEEL EDGING
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC MINIMUM OF 3"
- AUSTRIAN PINE (M) 1
Pinus nigra
6'-8"
- PALM YUCCA (L) 4
- AGAVE (L) 2
Agave spp.
16 sf
- RED YUCCA (L) 45
Hesperaloe parviflora
5 Gal. 9sf
- NANDINA (M) 18
Nandina domestica
5 Gal. 25sf
- RUSSIAN SAGE (M) 43
Perovskia atriplicifolia
5 Gal. 36sf
- BLUEBERRY MUFFIN INDIAN HAWTHORN (M) 24
Raphiolepis indica
5 Gal. 36sf
- LANAS/ SCOTCH BROOM (M) 32
Cytisus scoparius/ Genista hispanica
5 Gal. 16sf
- ARP ROSEMARY (M) 12
Rosmarinus officianalis
5 Gal. 25sf
- BLUE FESCUE (M) 26
Festuca ovina glauca
1 Gal. 4sf
- LAVENDER (M) 55
Lavandula angustifolia
1 Gal. 9sf
- POTENTILLA (M) 47
Potentilla fruticosa
1 Gal. 9sf
- THREADGRASS (M) 50
Stipa tenuissima
1 Gal. 4sf
- WILDFLOWER 46
1 Gal. 4sf
- CREeping ROSEMARY (L) 54
Rosmarinus officinalis 'Prostrata'
1 Gal. 36sf
Symbol indicates 3 plants
- SANTA FE PRECAST CONCRETE PLANTER 12
40" HIGH X 60" DIAMETER BY MATERIALS INC
- SANTA FE PRECAST CONCRETE PLANTER 8
22" HIGH X 36" DIAMETER BY MATERIALS INC
- CRIMP STRAW/NATIVE SEED DISTURBED AREAS



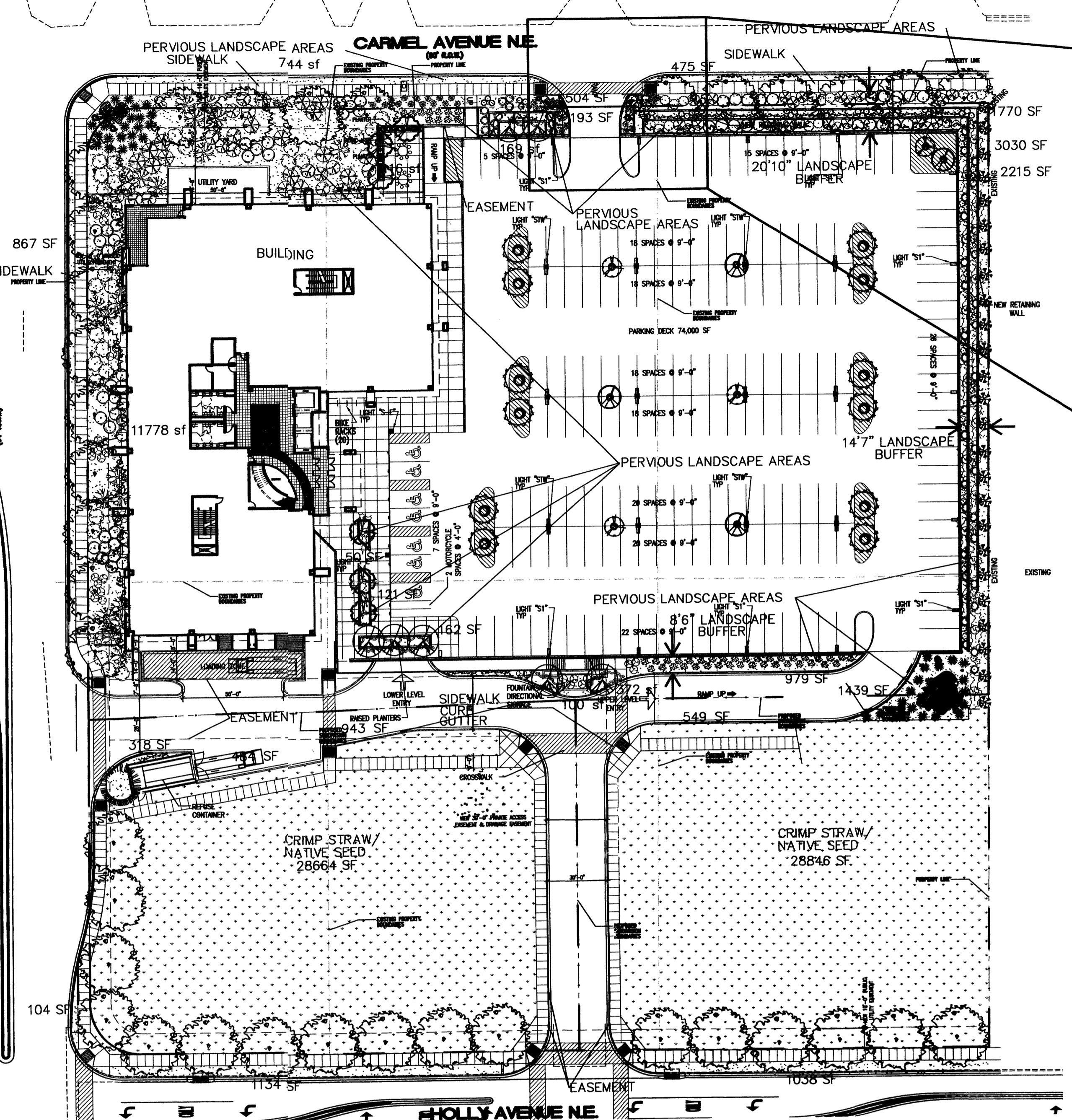
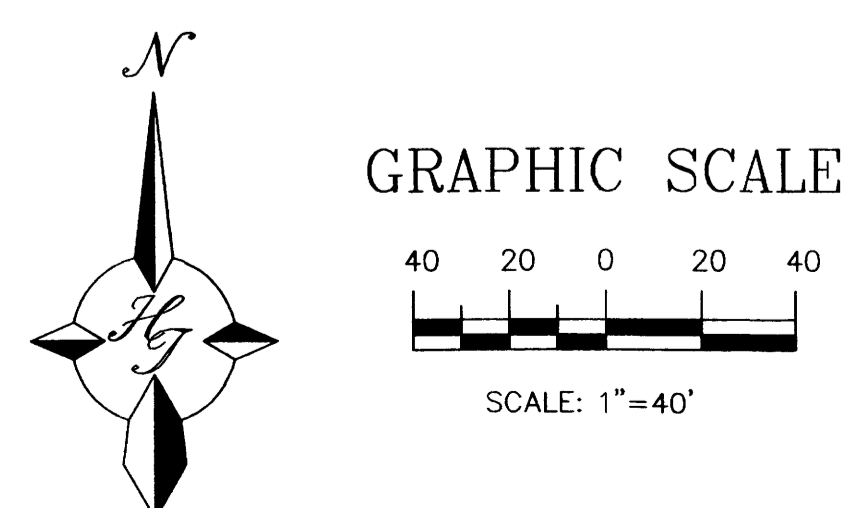
ENTRY DETAIL
scale 1"=10'

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	213515	square feet
TOTAL BUILDINGS AREA	123469	square feet
OFFSITE AREA	4362	square feet
NET LOT AREA	85684	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	12853	square feet
TOTAL BED PROVIDED	23358	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	17519	square feet
TOTAL GROUND COVER PROVIDED	17525	square feet
TOTAL NATIVE SEED AREA (not included in total LS provided)	59486	square feet
TOTAL LANDSCAPE PROVIDED	27142 (32%)	square feet



GRAPHIC SCALE



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

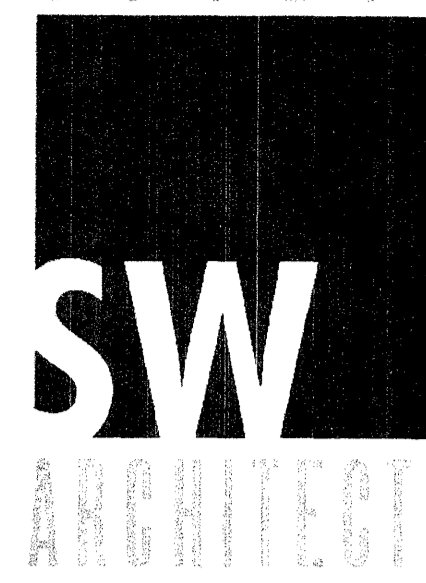
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

The Hilltop
LANDSCAPE ARCHITECTS + CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-4640
Fax (505) 898-7737
cmj@hilltoplandscaping.com
All creative design content herein remains the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.

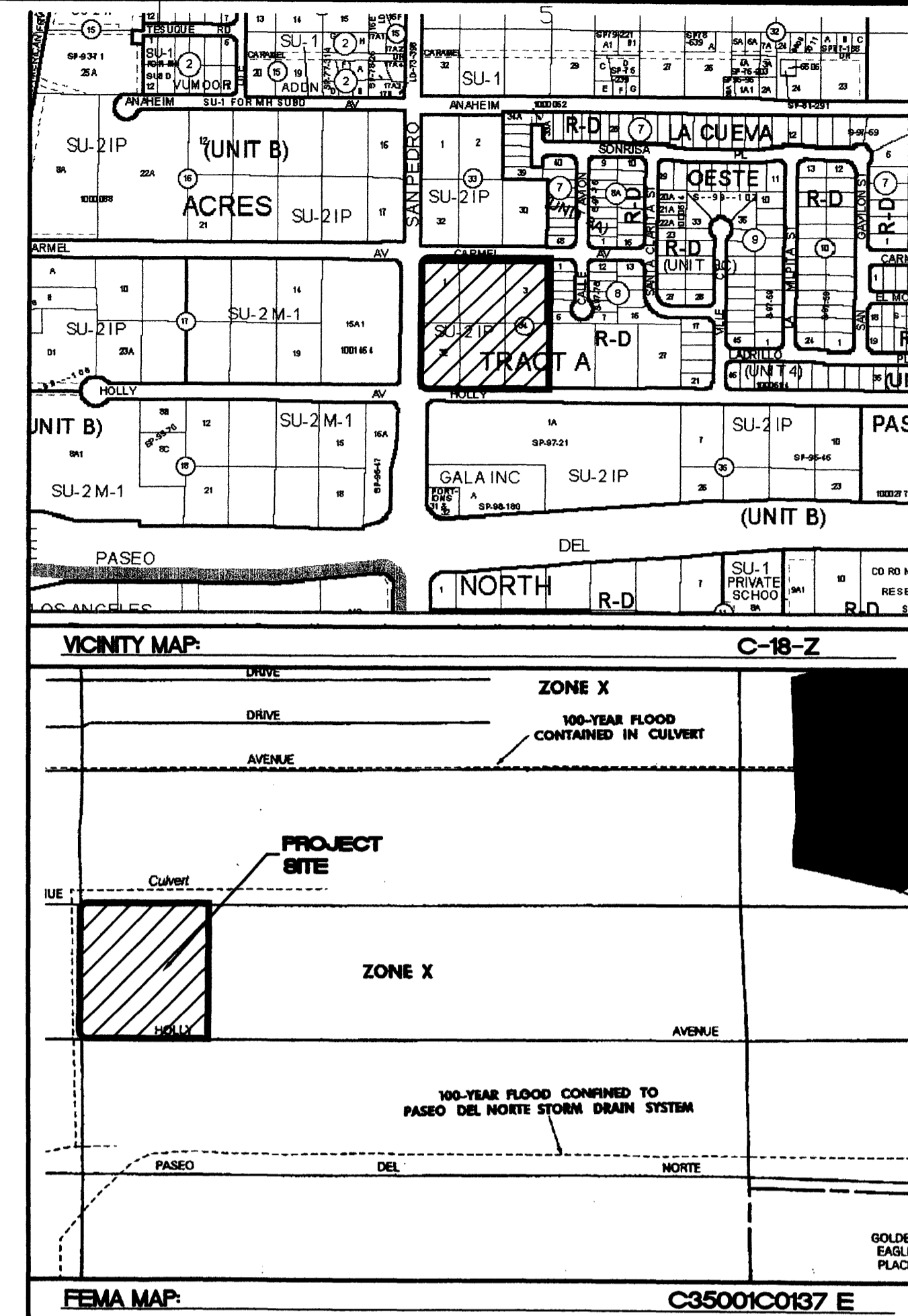


CONSULTANTS

Architect Engineer

PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

NOT FOR
CONSTRUCTION



**EROSION CONTROL PLAN, NPDES PERMIT
AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

ROUGH GRADING APPROVAL

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

ENGINEER'S SEAL

PASEO NUEVO

GRADING AND DRAINAGE PLAN (GROUND LEVEL)

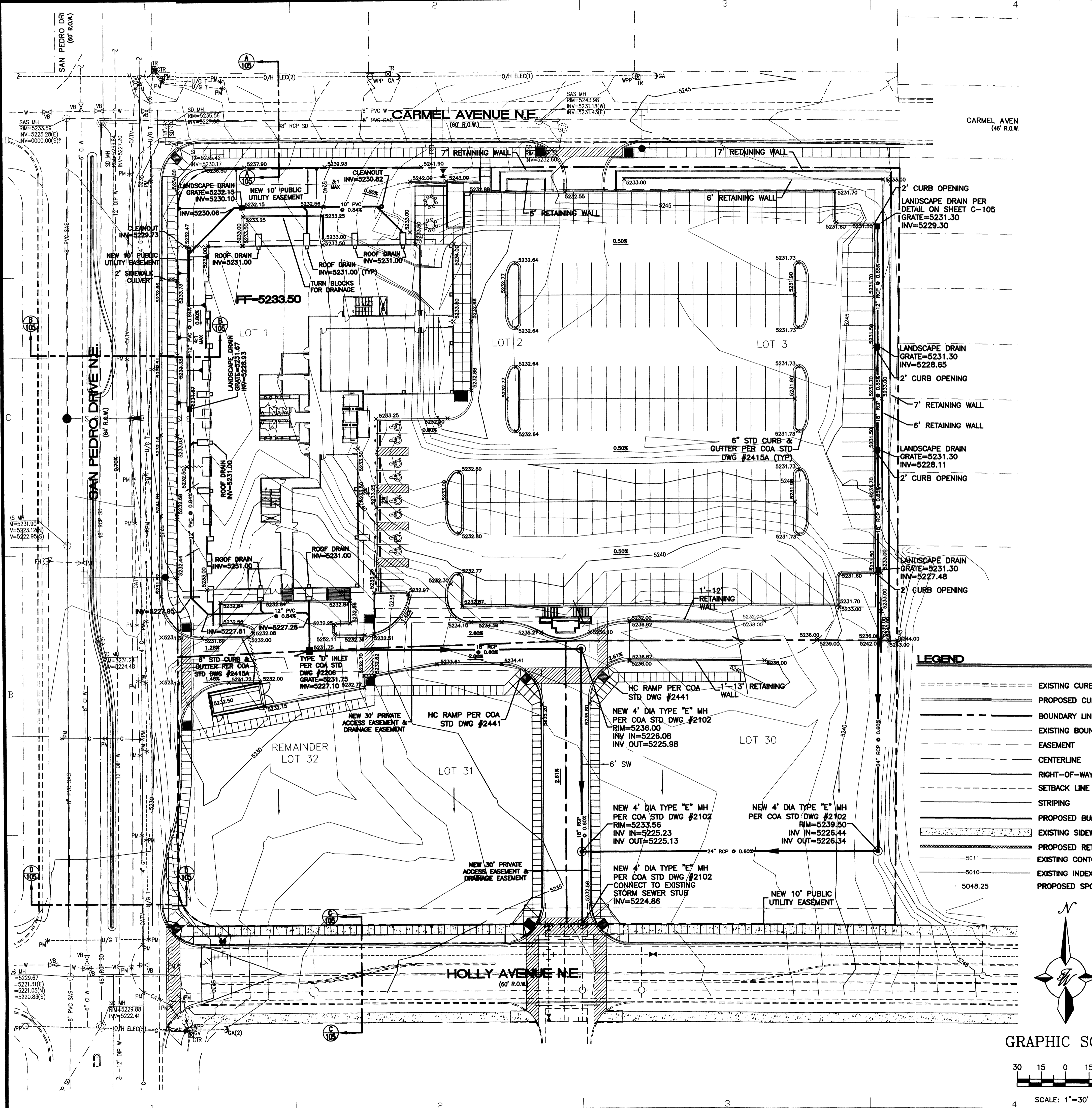
TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

RONALD R. BOHANNAN
P.E. #7868

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		24100-GRE-lower
DRAWN BY:		DY
CHECKED BY:		
DATE:		8/16/06

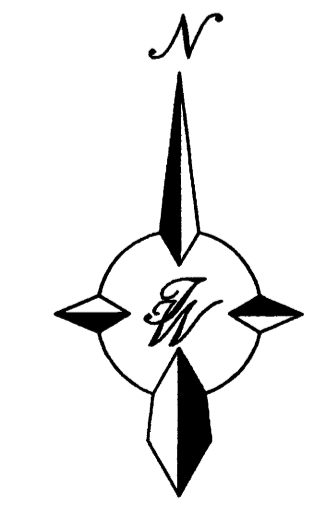
SHEET TITLE

sheet C-102 of sheets

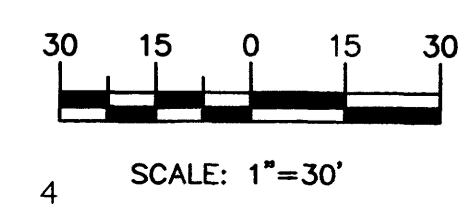


LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- SETBACK LINE
- STRIPING
- PROPOSED BUILDING
- EXISTING SIDEWALK
- PROPOSED RETAINING WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED SPOT ELEVATION



GRAPHIC SCALE





CONSULTANTS

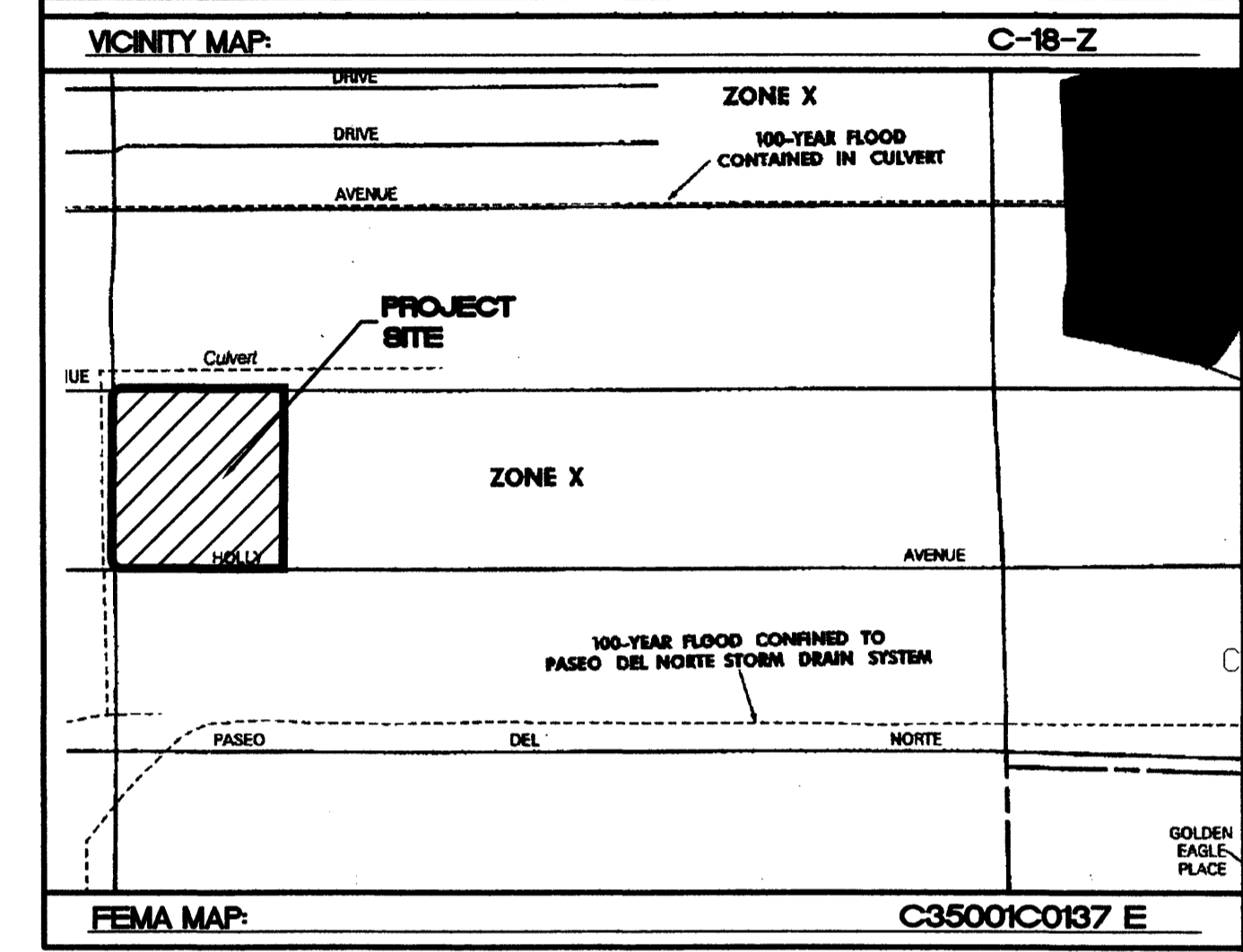
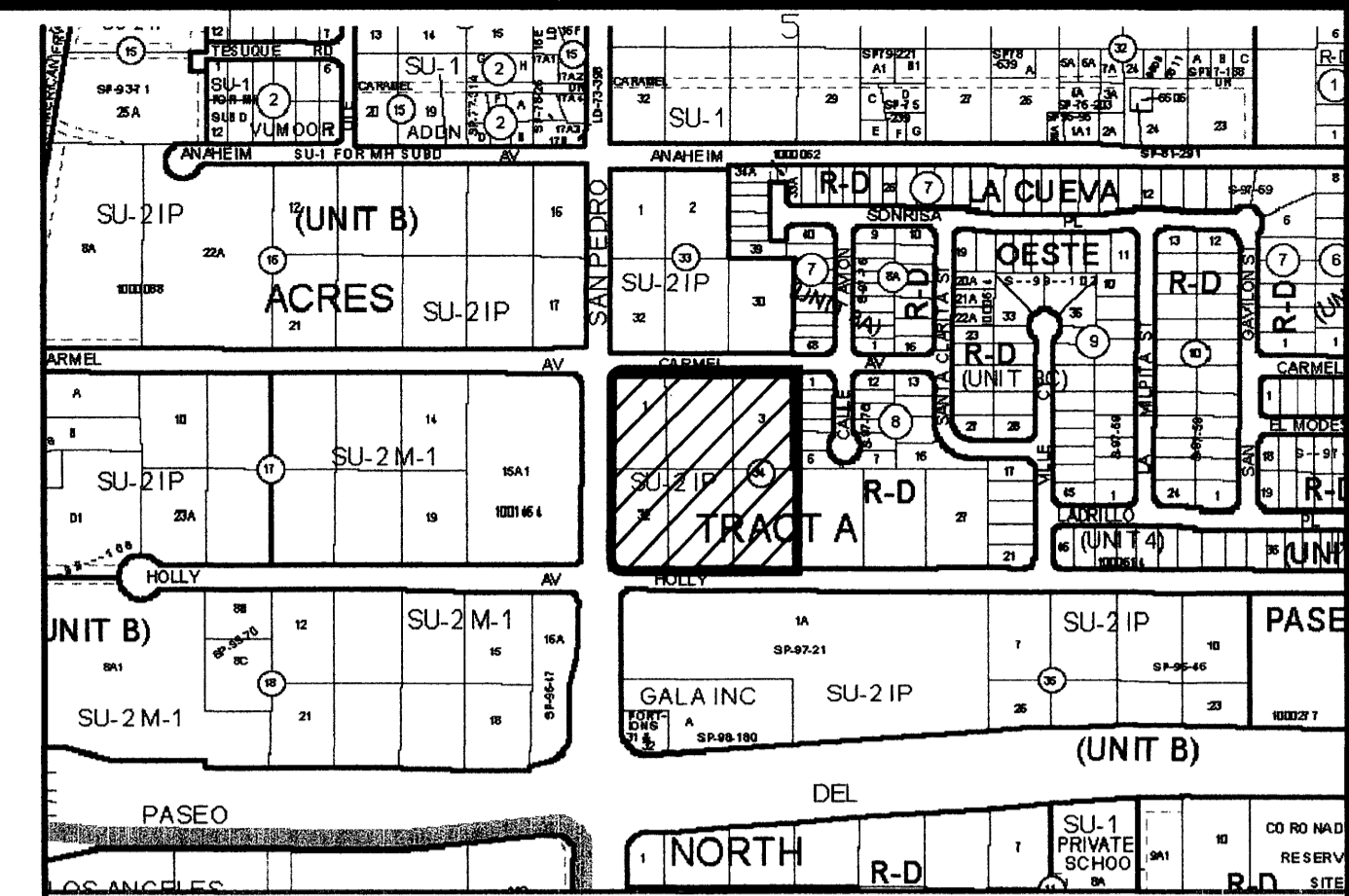
Architect Engineer

PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		24100-GRE-upper
DRAWN BY:		DY
CHECKED BY:		
DATE:		8/16/06

SHEET TITLE

sheet C-103 of sheets



EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

ROUGH GRADING APPROVAL

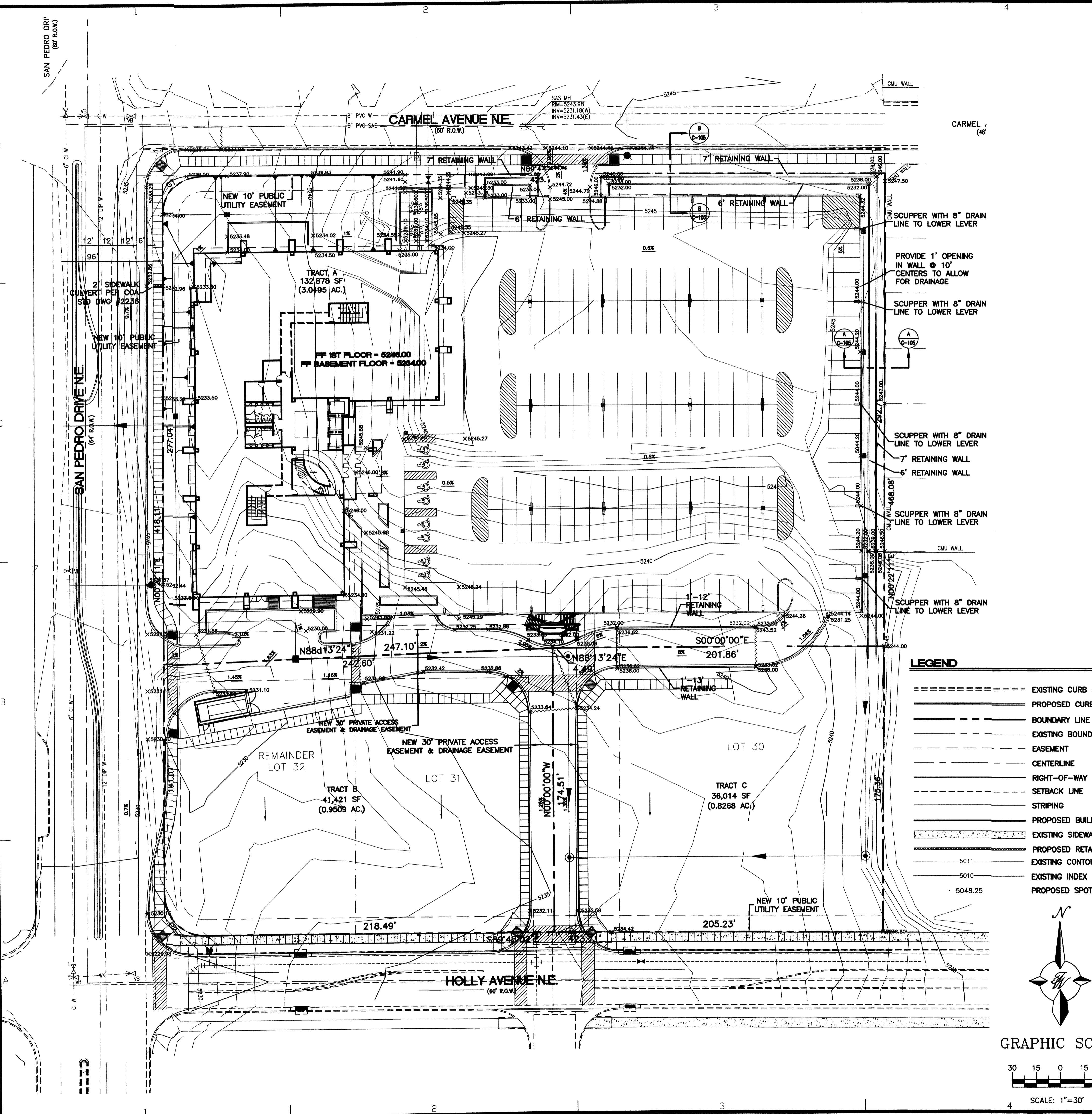
DATE

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

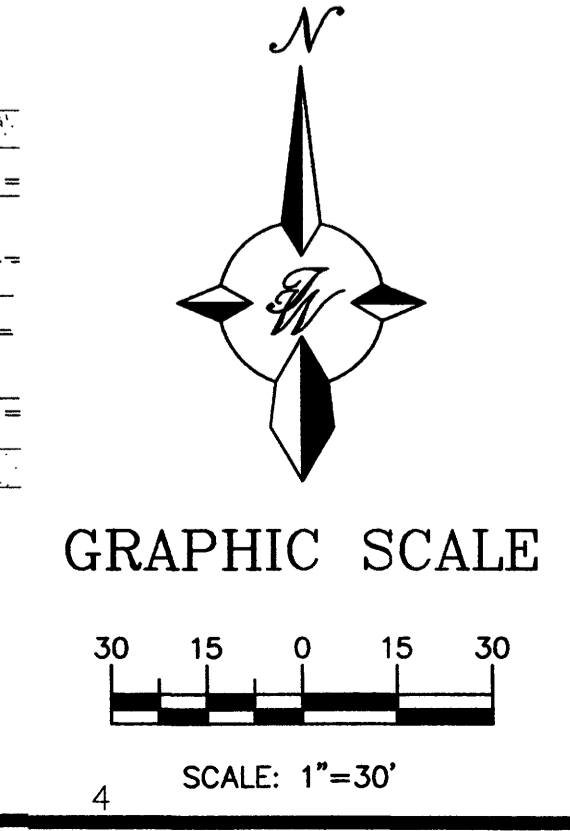
APPROVAL	NAME	DATE
INSPECTOR		

ENGINEER'S SEAL	PASEO NUEVO
	GRADING AND DRAINAGE PLAN (1ST FLOOR)
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	
RONALD R. BOHANNAN P.E. #7888	



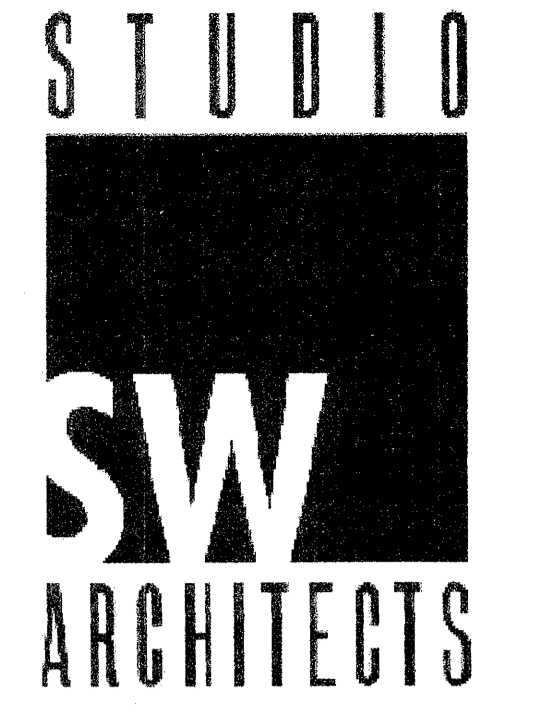
LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- SETBACK LINE
- STRIPING
- PROPOSED BUILDING
- EXISTING SIDEWALK
- PROPOSED RETAINING WALL
- 5011 EXISTING CONTOUR
- 5010 EXISTING INDEX CONTOUR
- 5048.25 PROPOSED SPOT ELEVATION



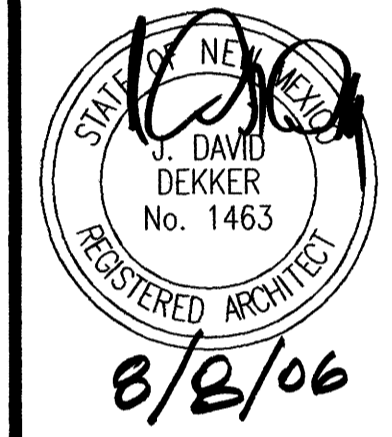
1. ALL WINDOW FRAMES TO BE CLEAR ANNOIDIZED ALUMINUM, TYP.
2. ALL EXTERIOR FABRICATED METAL, HOLLOW METAL DOORS AND DOOR FRAMES TO BE PAINTED TO MATCH LIGHT TAN STUCCO.
3. ALL SIGNAGE LETTERING TO HAVE A GRAPHITE FINISH.

1. LIGHT TAN STUCCO
2. BRICK RED ACCENT STUCCO COLOR
3. CMU OR STONE VENEER
4. BLUE/GREEN EXTERIOR GLAZING
5. METAL RAILING
6. METAL SUNSCREEN, PAINT TO MATCH STUCCO
7. SPANDREL GLAZING
8. METAL BALCONY, PAINT TO MATCH STUCCO
9. ENTRY SIGN, SEE AS-102 FOR DETAILS



CONSULTANTS

Architect Engineer

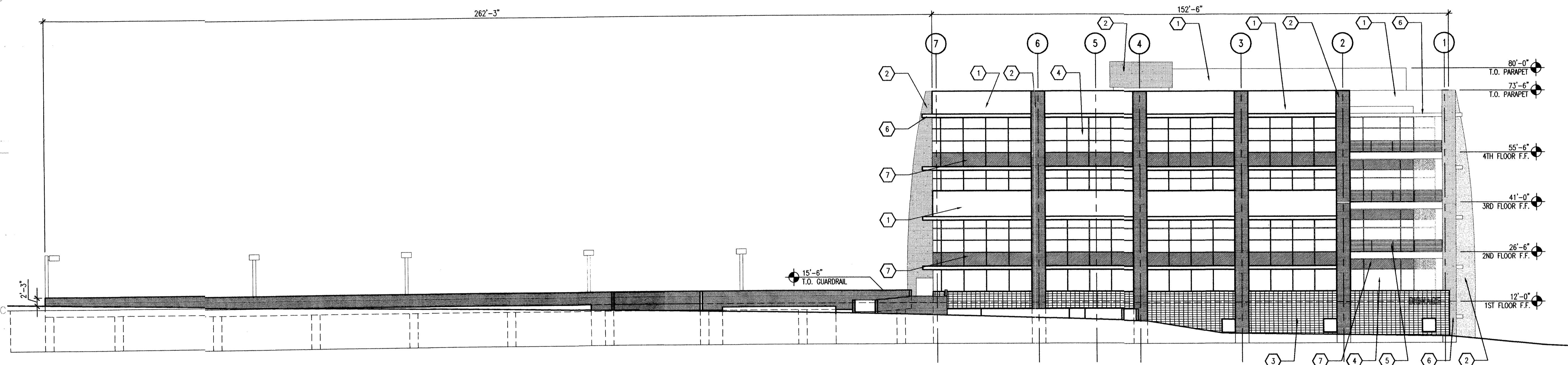


PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

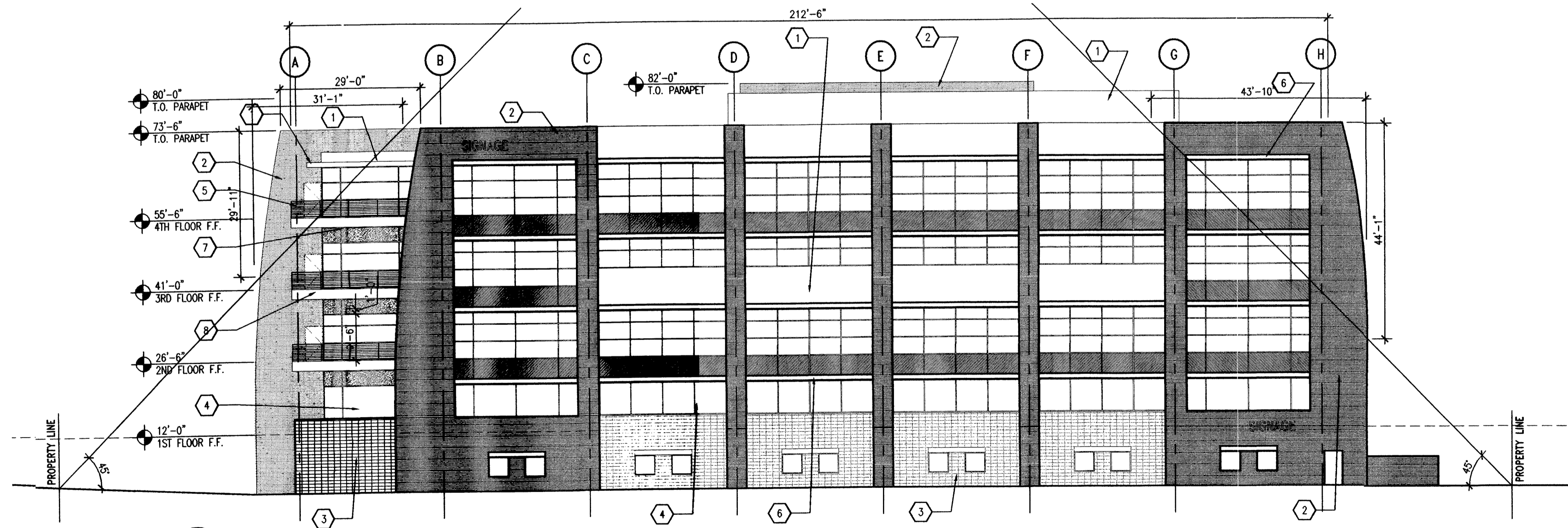
MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		0424A-201.DWG
DRAWN BY:		MO
CHECKED BY:		DD
DATE:		8/16/06

SHEET TITLE
BUILDING ELEVATIONS

A-201
sheet of sheets



(C1) NORTH ELEVATION
SCALE: 1/16" = 1'-0"



(A1) WEST ELEVATION
SCALE: 1/16" = 1'-0"

GENERAL NOTES

KEYNOTES

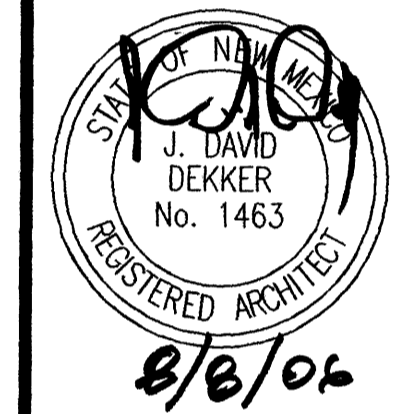
1. ALL WINDOW FRAMES TO BE CLEAR ANNOIDIZED ALUMINUM, TYP.
2. ALL EXTERIOR FABRICATED METAL, HOLLOW METAL DOORS AND DOOR FRAMES TO BE PAINTED TO MATCH LIGHT TAN STUCCO.
3. ALL SIGNAGE LETTERING TO BE A GRAPHITE FINISH.

1. LIGHT TAN STUCCO
2. BRICK RED ACCENT STUCCO COLOR
3. CMU OR STONE VENEER
4. BLUE/GREEN EXTERIOR GLAZING
5. METAL RAILING
6. METAL SUNSCREEN, PAINT TO MATCH STUCCO
7. SPANDREL GLAZING
8. METAL BALCONY, PAINT TO MATCH STUCCO
9. ENTRY SIGN, SEE AS-102 FOR DETAILS



CONSULTANTS

Architect Engineer

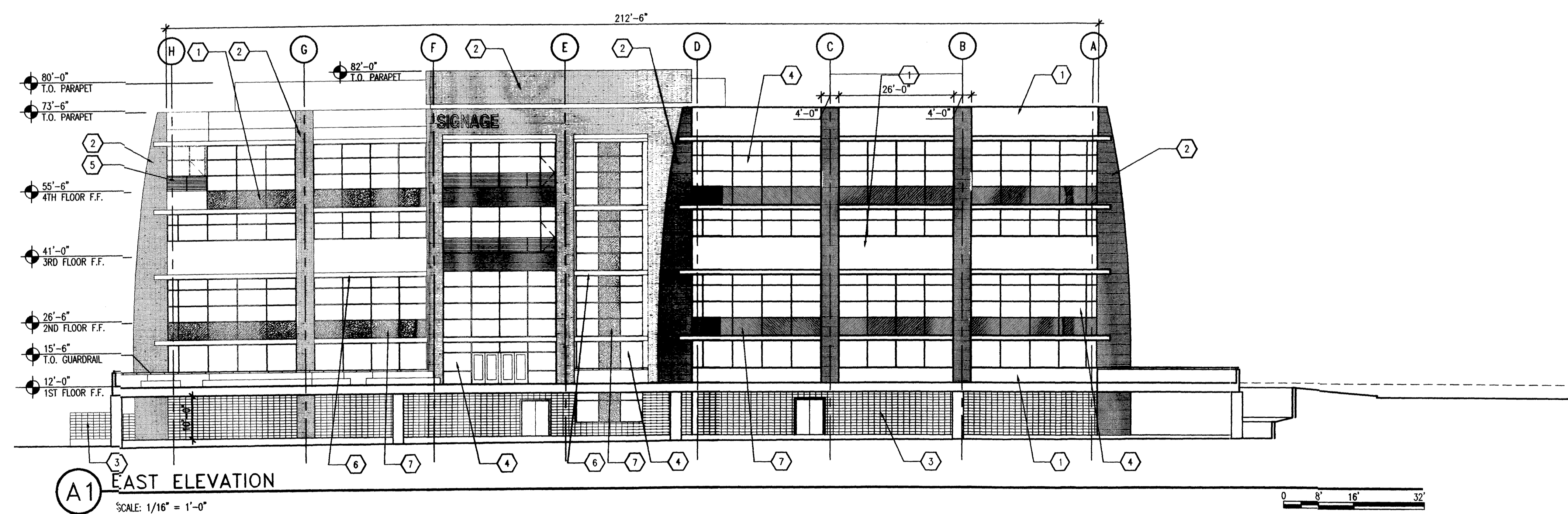
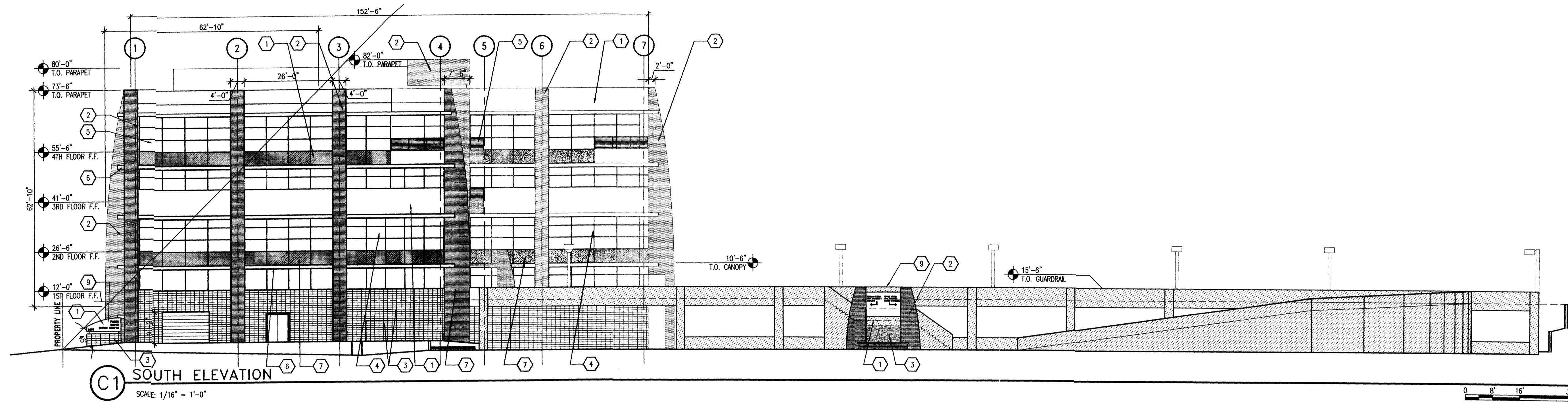


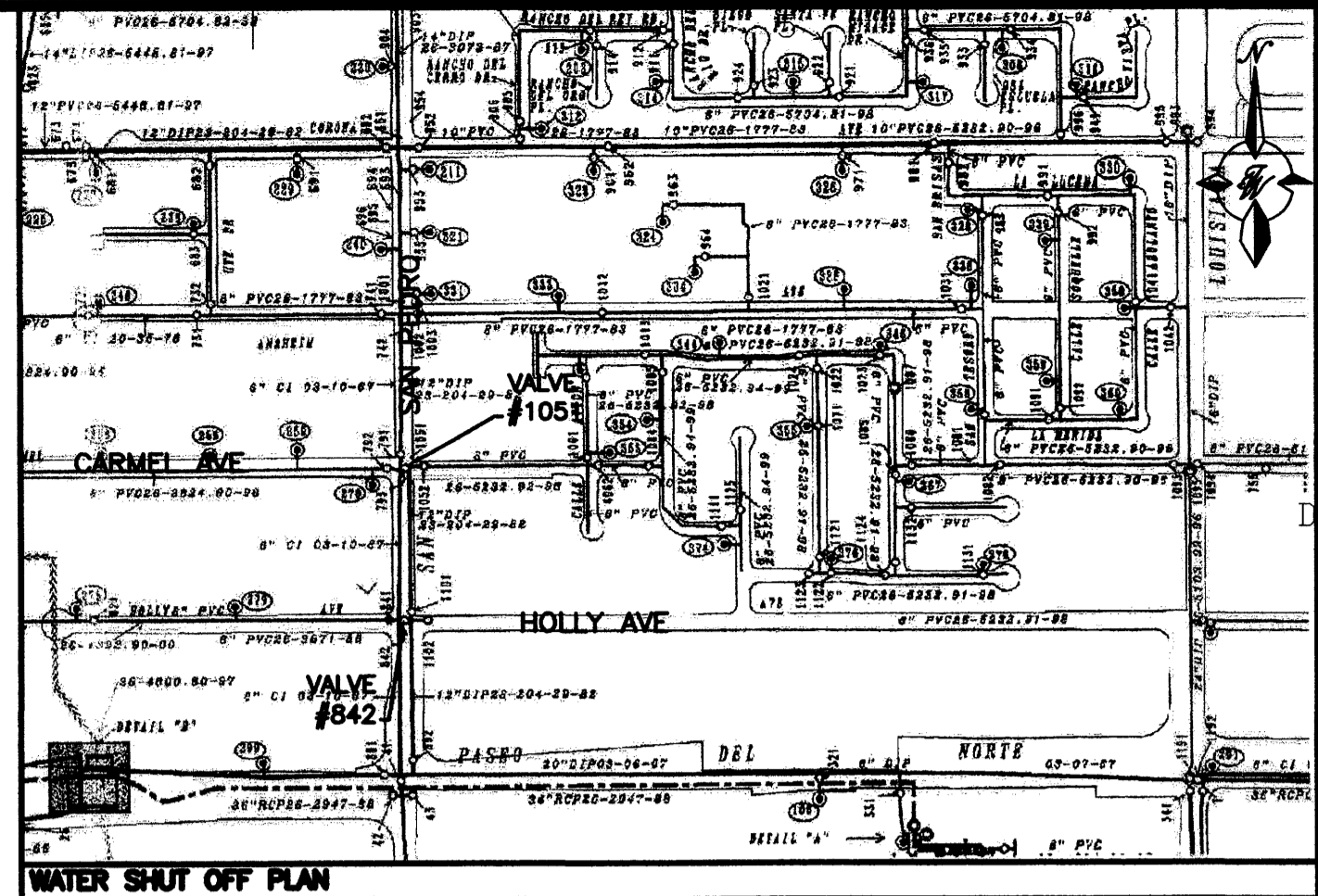
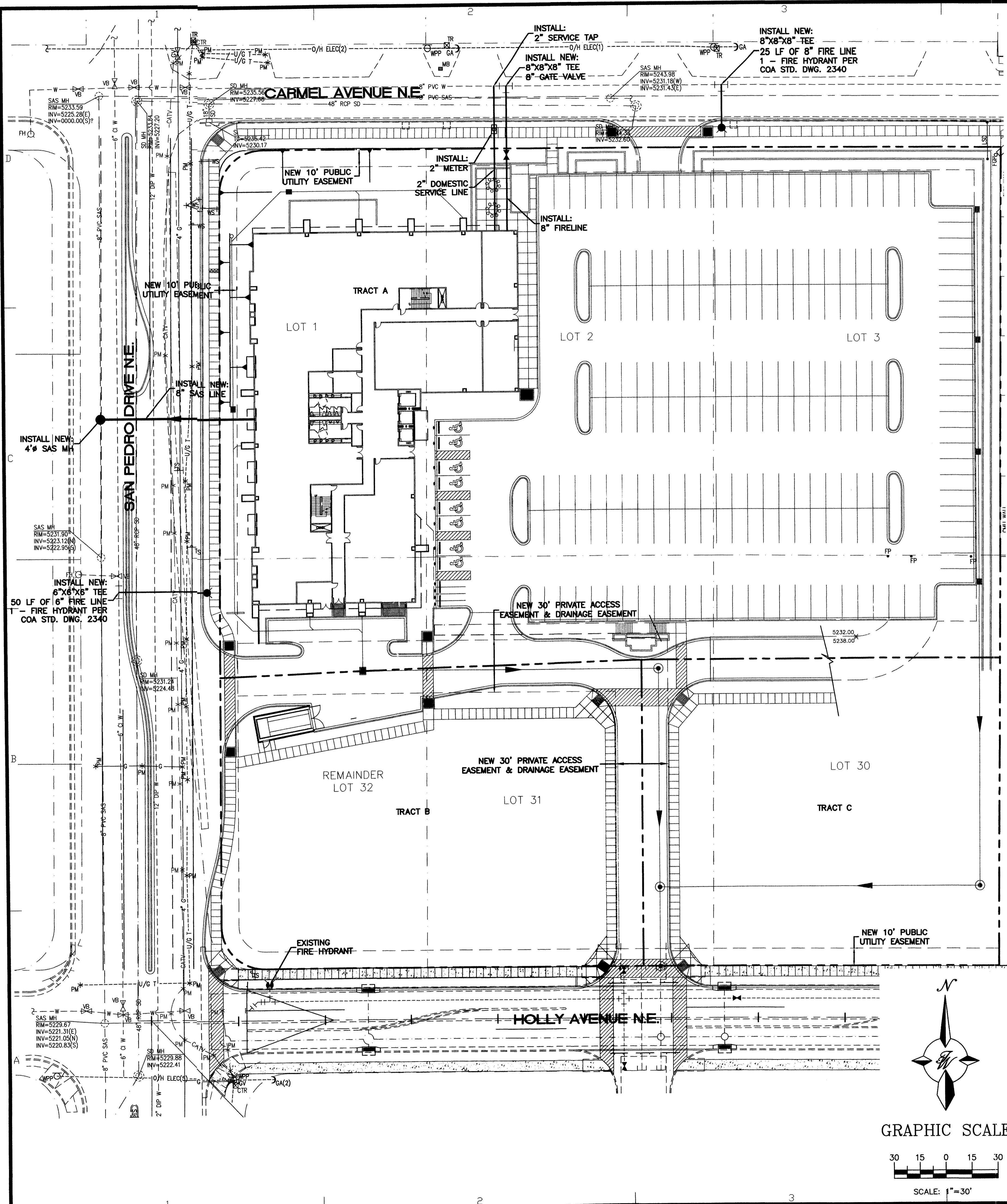
PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		0424A-201.DWG
DRAWN BY:		MO
CHECKED BY:		DD
DATE:		8/16/06

SHEET TITLE
BUILDING ELEVATIONS

A-202
sheet of sheets





NOTICE TO CONTRACTORS

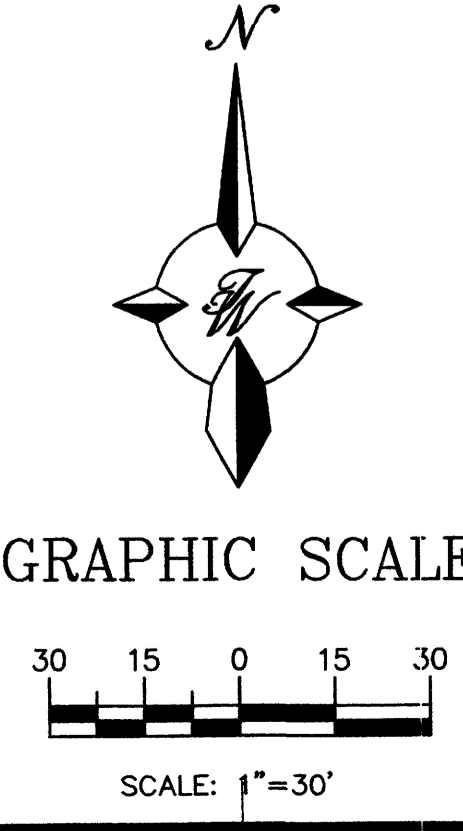
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH NMUI SPECIFICATIONS FOR WATER AND WASTEWATER FACILITIES (MOST RECENT REVISIONS).
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1999), FOR LOCATION OF EXISTING UTILITIES. THREE WORKING DAYS PRIOR THE CONTRACTOR MUST CONTACT NMUI (898-2661).
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING
9. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
10. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
11. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
12. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
13. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
14. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
15. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLOGGED DURING EXCAVATION WORK.
16. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.

- NOTES:**
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES
 2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN.
 3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 4. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
 5. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN, TO BE DONE ONLY IN THE EVENT OF EMERGENCY. CONNECTION TO EXISTING WATER LINE TO BE PRESSURIZED.

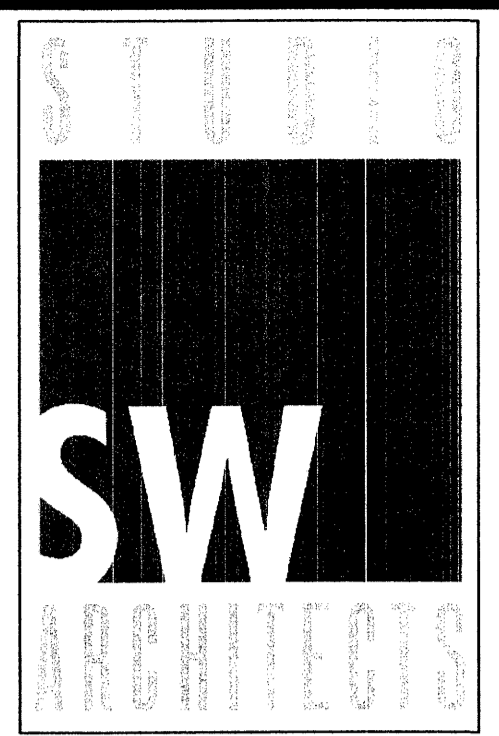
- GENERAL NOTES:**
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
 2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
 6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
 7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
 8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.

LEGEND

○	EXISTING SAS MANHOLE
--- EX. 8" SAS ---	EXISTING SANITARY SEWER LINE
●	PROPOSED SAS MANHOLE
8	PROPOSED SAS CLEANOUT
--- 8" SAS ---	PROPOSED SANITARY SEWER LINE
---	SANITARY SEWER SERVICE LINE
--- EX. 16" WL ---	EXISTING WATER LINE
--- 10" WL ---	PROPOSED WATER LINE
---	PROPOSED CURB
---	BOUNDARY LINE
○	PROPOSED STORM SEWER MH
--- 24" RCP ---	PROPOSED STORM SEWER LINE
---	PROPOSED DRY UTILITY TRENCH
---	EXISTING DRY UTILITY TRENCH



CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



CONSULTANTS

Architect
Engineer

NOT FOR CONSTRUCTION

PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		24100-MUE-lower
DRAWN BY:		DY
CHECKED BY:		
DATE:		8/16/06

SHEET TITLE

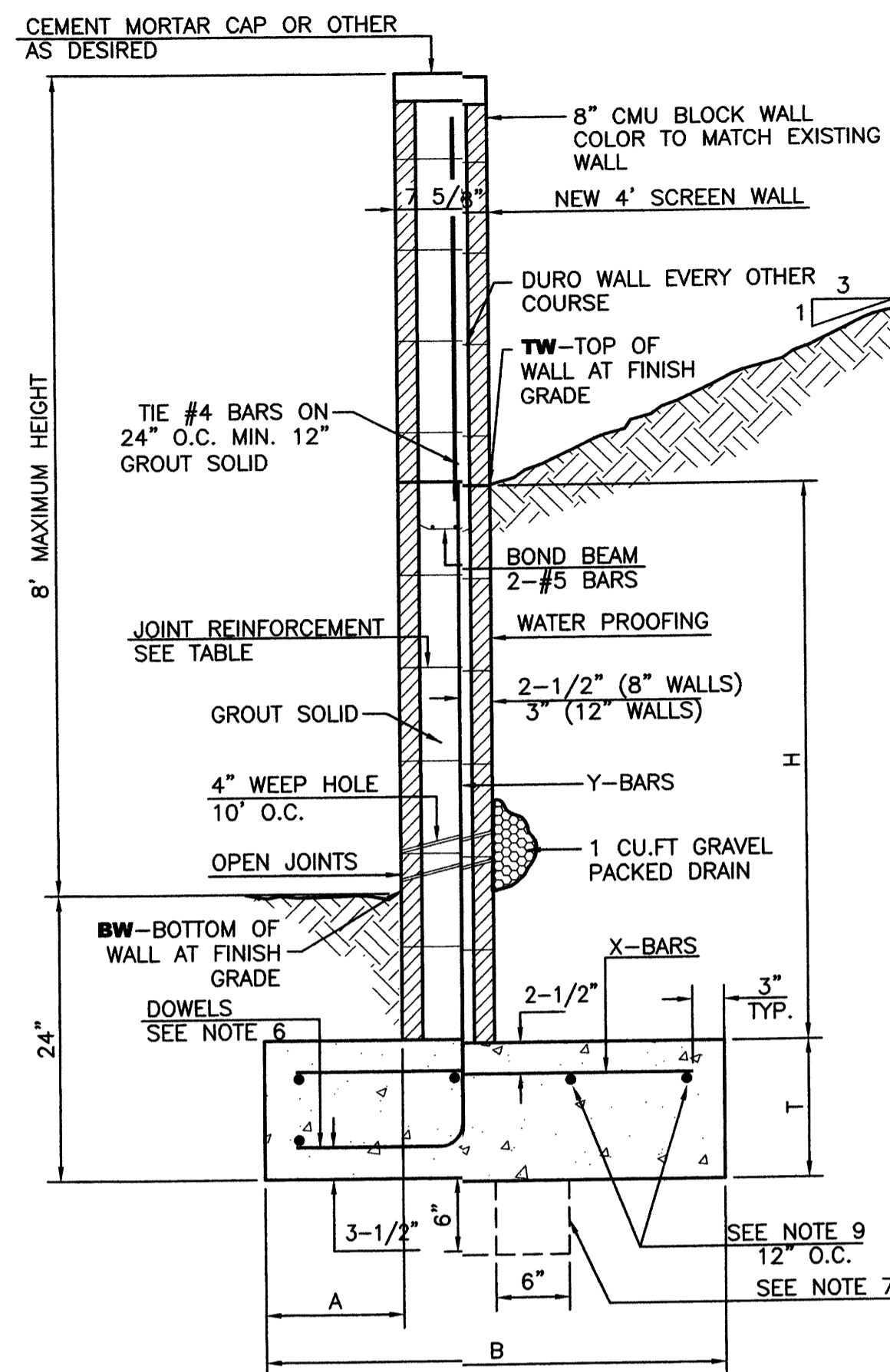
ENGINEER'S SEAL

PASEO NUEVO

MASTER UTILITY PLAN

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

RONALD R. BOHANNAN
P.E. #7868



8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @18" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

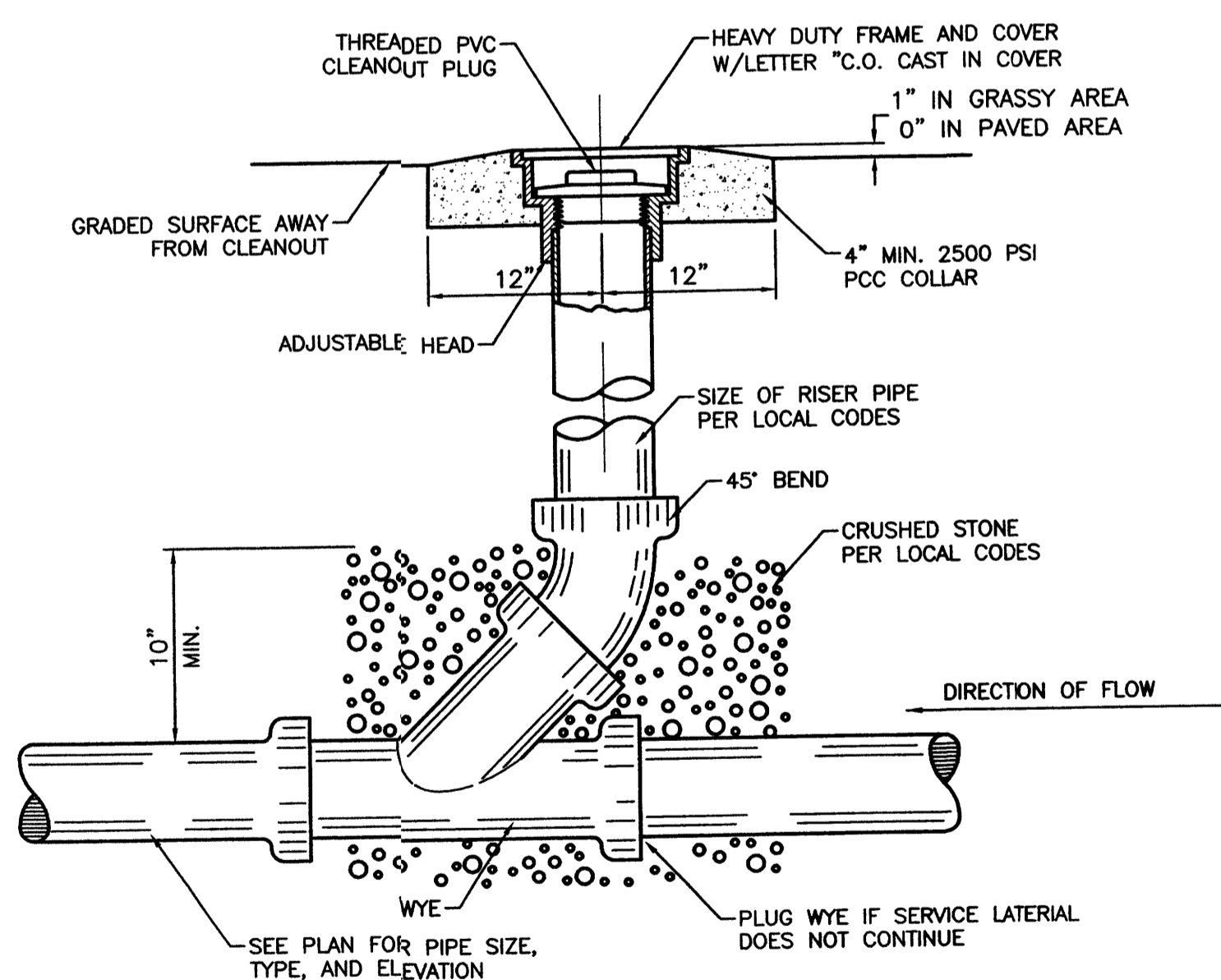
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

GENERAL NOTES:

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'
- BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

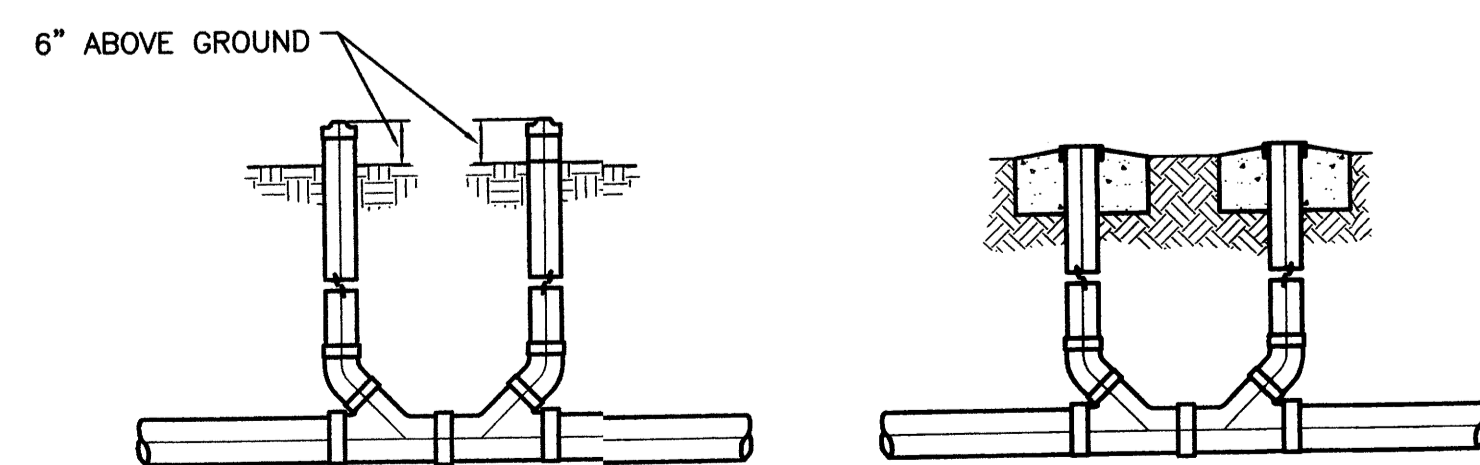
RETAINING WALL DETAIL

NTS



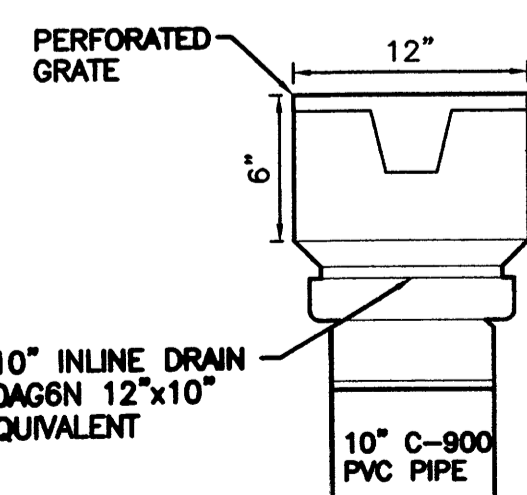
SANITARY SEWER CLEAN-OUT

NTS



SANITARY SEWER DOUBLE CLEAN-OUTS

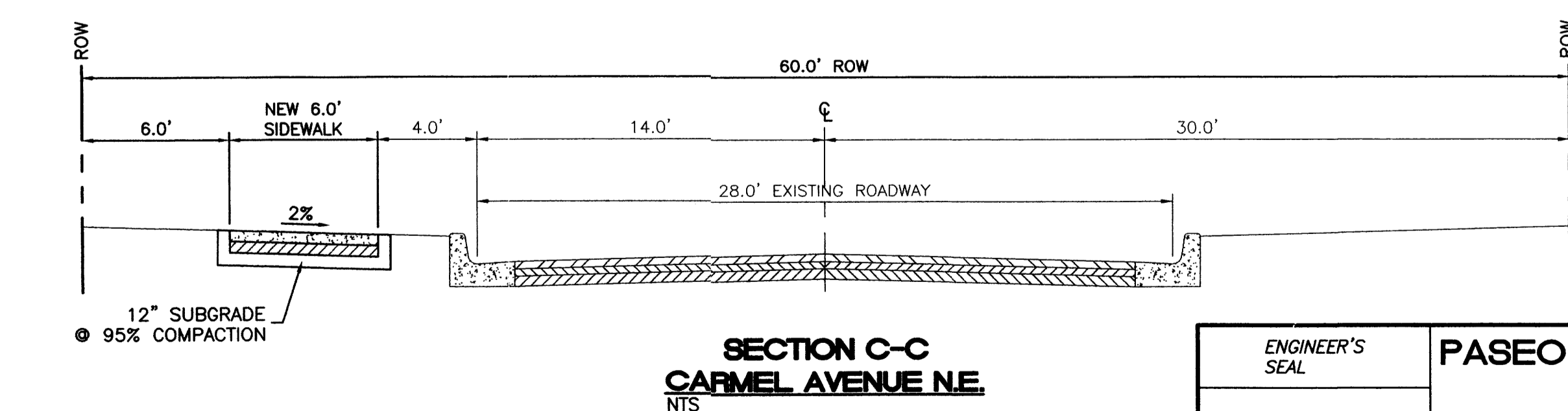
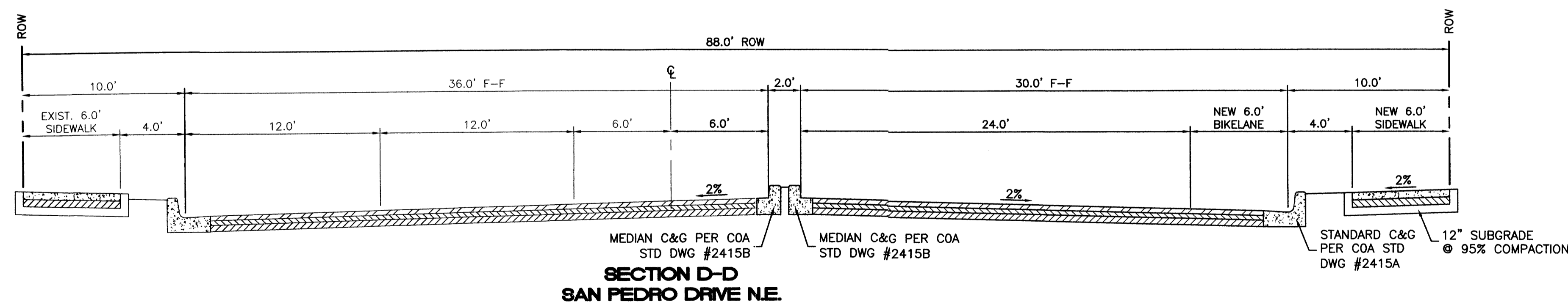
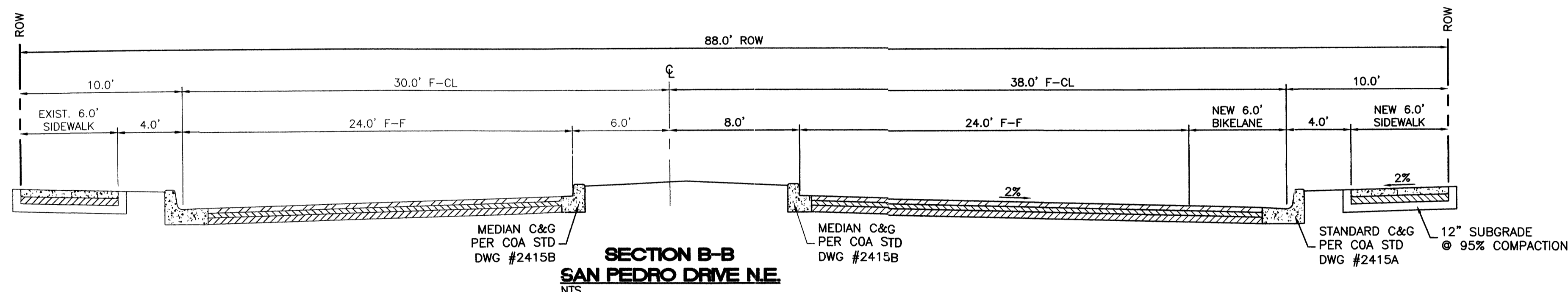
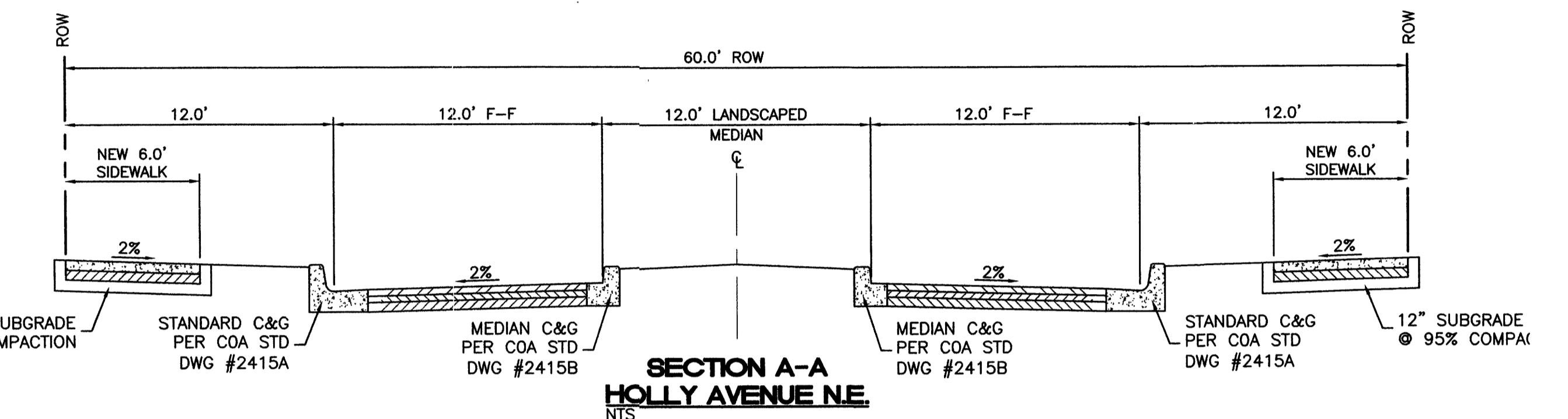
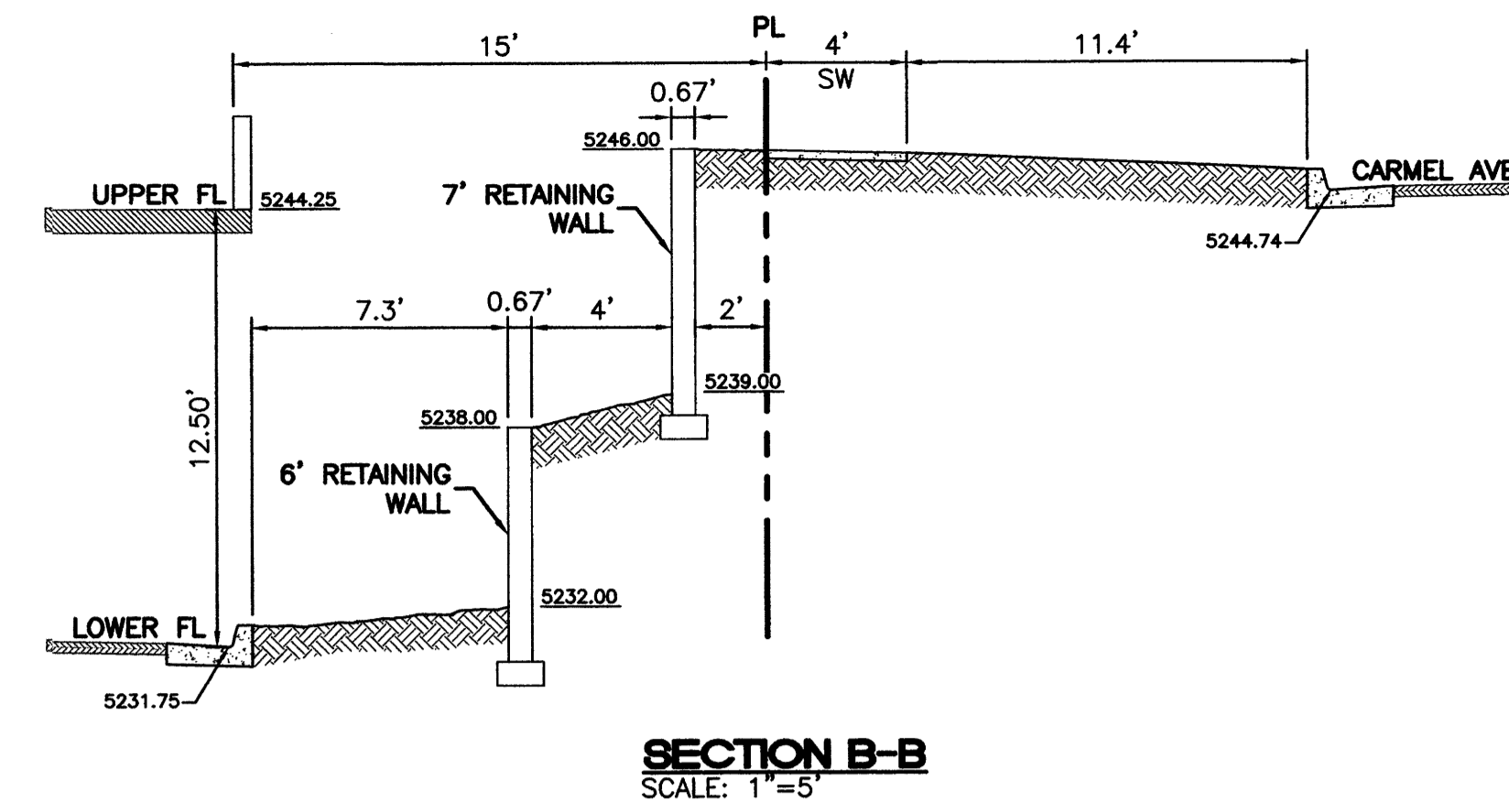
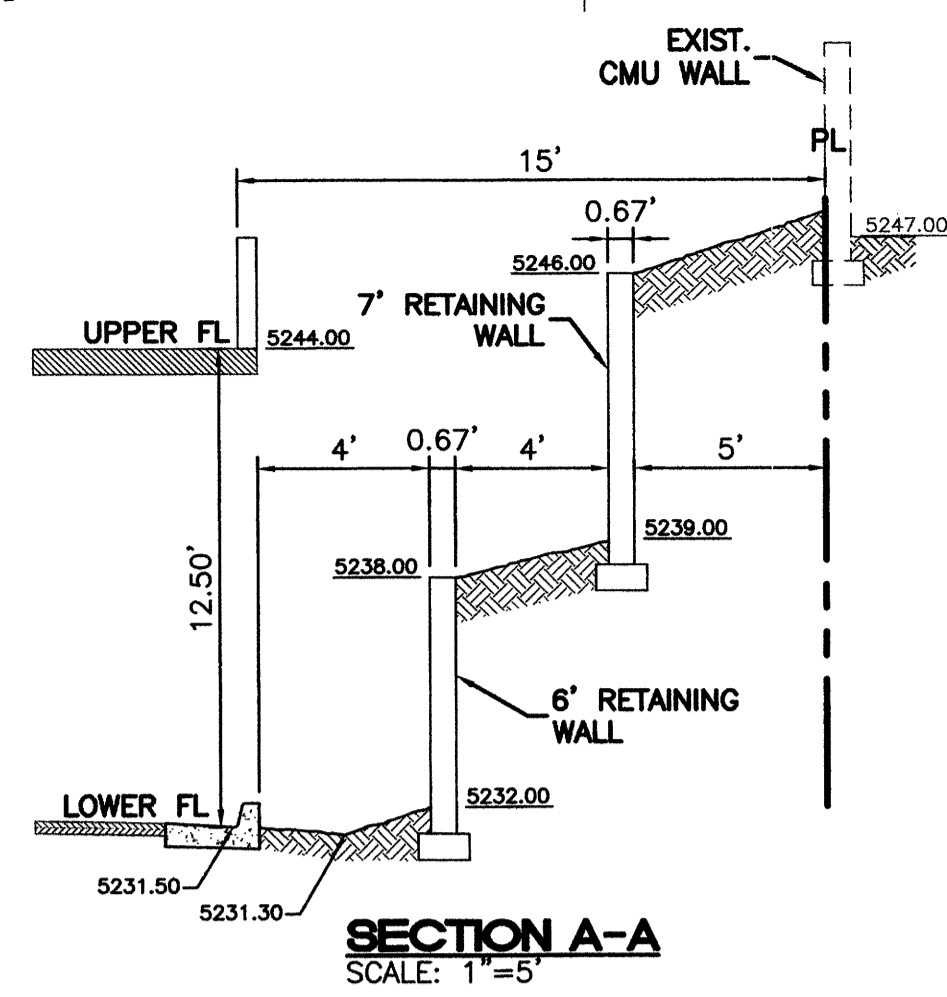
NTS



LANDSCAPE DRAIN DETAIL

NTS

NOTE: PLACE 1" WIDE CONCRETE COLLAR AROUND DRAIN



ENGINEER'S SEAL

RONALD R. BOHANNAN
P.E. #7868

PASEO NUEVO

DETAILS AND CROSS SECTIONS

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

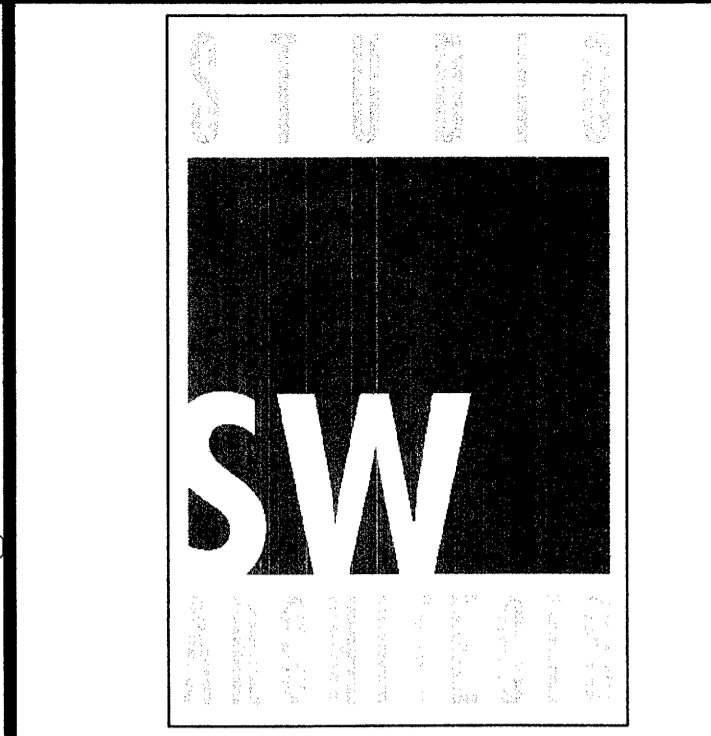
MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		24100-Details
DRAWN BY:		DY
CHECKED BY:		
DATE:		8/16/06

SHEET TITLE

PASEO NUEVO

DETAILS AND CROSS SECTIONS

sheet C-105 of sheets



CONSULTANTS

Architect

Engineer

NOT FOR CONSTRUCTION

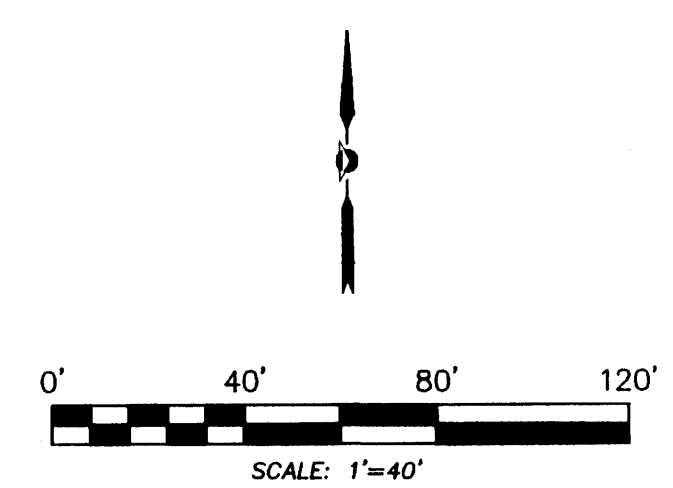
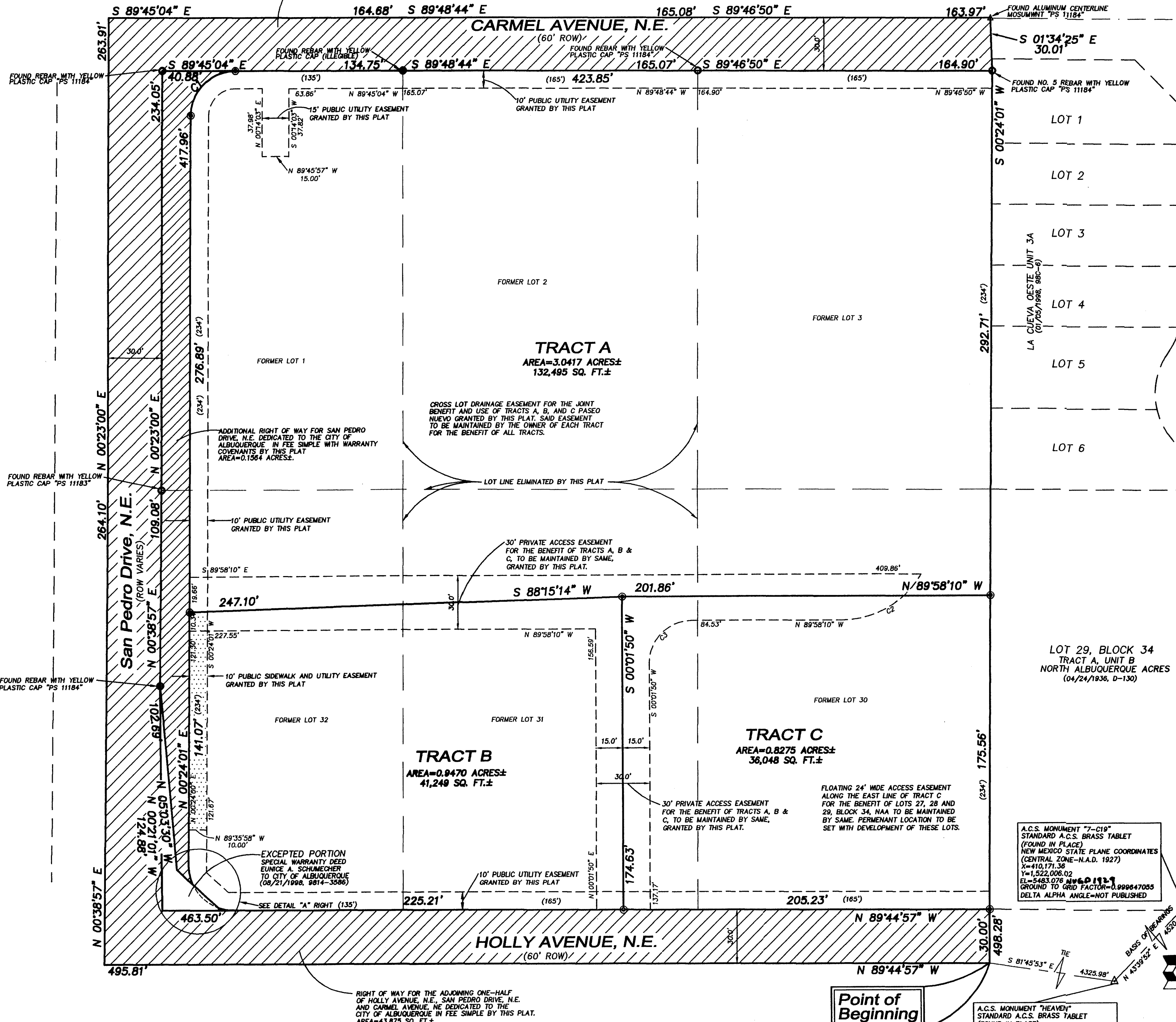
PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	25.00'	39.20'	89°50'55"	24.93'	35.31'	N 45°19'28" E
C2	50.67'	53.25'	60°13'03"	29.38'	50.83'	S 59°55'19" W
C3	24.00'	37.70'	90°00'00"	24.00'	33.94'	N 45°01'50" E
C4	25.00'	8.41'	19°15'57"	4.24'	8.37'	N 80°06'59" W
C5	25.00'	10.84'	24°50'12"	5.50'	10.84'	N 80°06'59" W

RECORDING STAMP

Plat of
Tracts A, B, and C
Paseo Nuevo
 Albuquerque, Bernalillo County, New Mexico
 July 2006



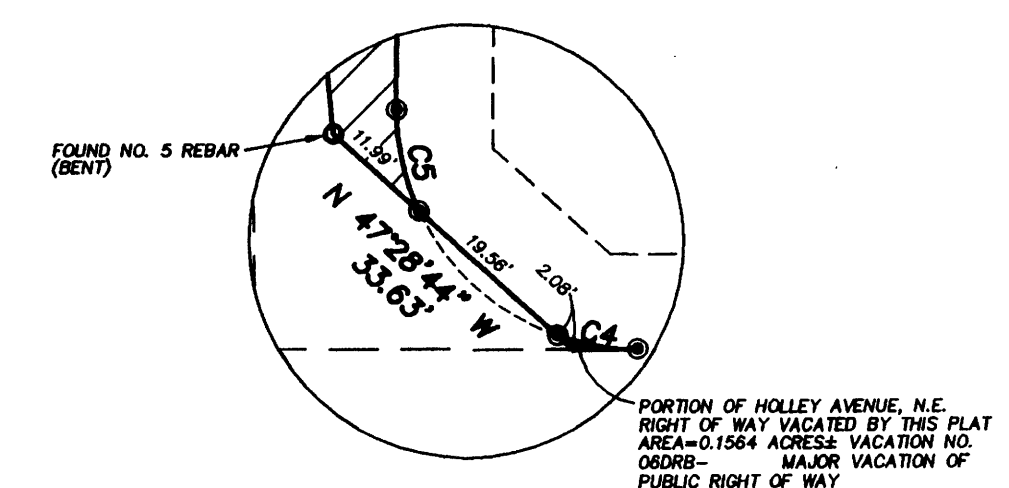
Legend

(N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS

N 90°00'00" E MEASURED BEARING AND DISTANCES

○ FOUND AND USED MONUMENT AS DESIGNATED

● DENOTES REBAR W/CAP "PS 11993" TO BE SET UNLESS OTHERWISE NOTED

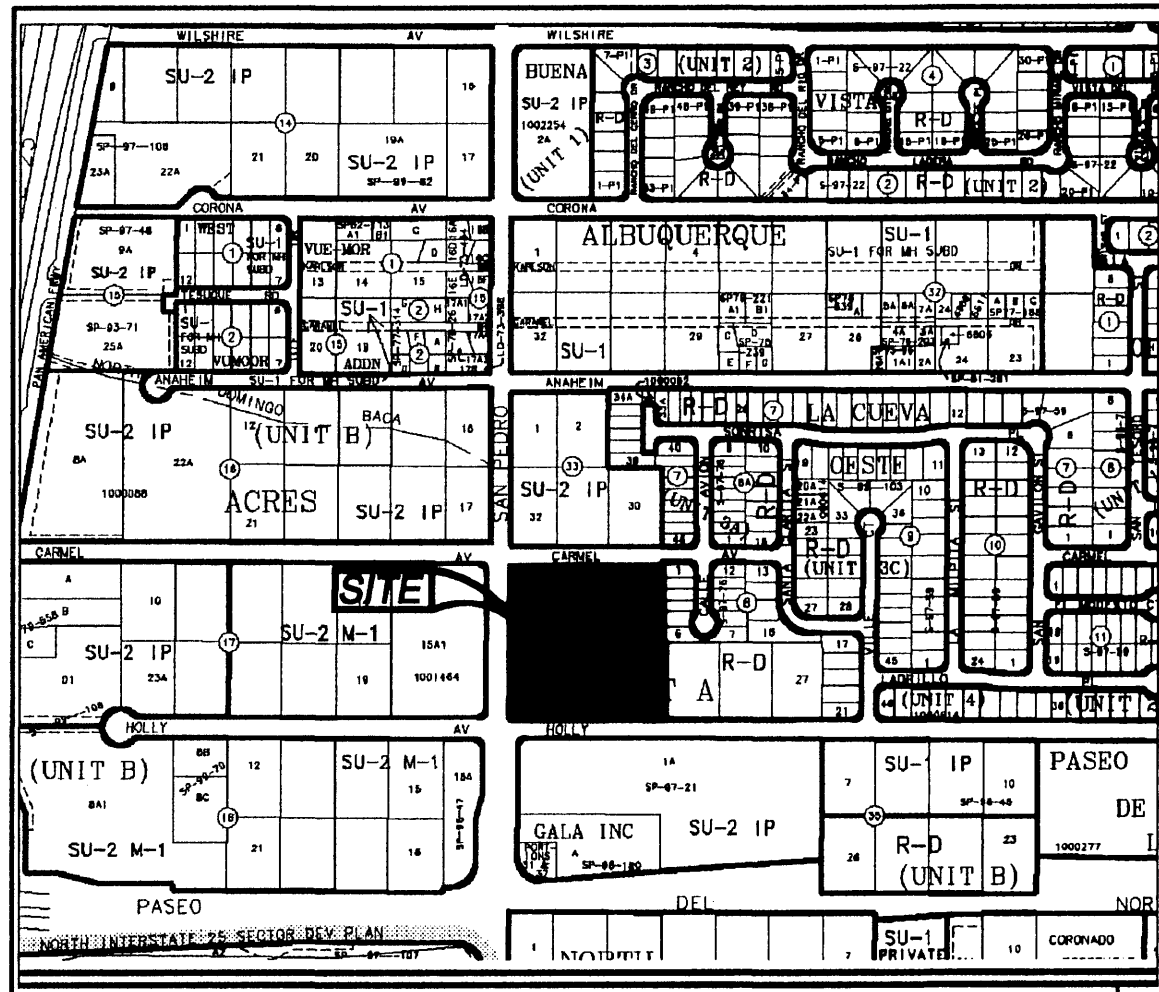


PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

G:\Plats\2006\068396P.dwg, 8/3/2006, 2:48:42 PM



Location Map
Zone Atlas Map No. C-18-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 6.0005 ACRES±
 ZONE ATLAS INDEX NO: C-18-Z
 NO. OF TRACTS CREATED: 3
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: JULY 26, 2006

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING SIX LOTS INTO THREE NEW TRACTS, TO GRANT EASEMENTS, TO DEDICATE ADDITIONAL RIGHT OF WAY FOR SAN PEDRO DRIVE, NE, AND TO DEDICATE RIGHT OF WAY FOR HOLLY AVENUE, N.E., SAN PEDRO DRIVE, N.E. AND CARMEL AVENUE, NE

Notes:

- MISC. DATA: ZONING SU-2 IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2006314095.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

RECORDING STAMP

Plat of
 Tracts A, B, and C
Paseo Nuevo
 Albuquerque, Bernalillo County, New Mexico
 July 2006

Project No. 1004974

Application No. 06DRB-

Utility Approvals

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
NEW MEXICO UTILITIES	DATE

PRELIMINARY PLAT
 APPROVED BY DRB
 ON _____

City Approvals

CITY SURVEYOR	DATE
REAL PROPERTY DIVISION	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 8/4/06
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE



PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOTS NUMBERED ONE (1), TWO (2), THREE (3), THIRTY (30), THIRTY-ONE (31) AND THIRTY-TWO (32), IN BLOCK NUMBERED THIRTY-FOUR (34), TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, AN ADDITION IN BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN PLAT BOOK D, FOLIO 130, LESS THAN AND EXCEPTING THAT PORTION OF LOT 32 GRANTED TO THE CITY OF ALBUQUERQUE, A NEW MEXICO MUNICIPAL CORPORATION, AS SET FORTH IN THAT CERTAIN SPECIAL WARRANTY DEED, FILED AUGUST 21, 1998, RECORDED IN BOOK 9814, PAGE 3586, AS DOCUMENT NO. 1998105350, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) BEARINGS, AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT LYING ON THE CENTERLINE OF HOLLY AVENUE, NE, FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "7-C19" BEARS S 81°22'18" E, A DISTANCE OF 4,330.17 FEET;

THENCE FROM SAID POINT OF BEGINNING, N 89°44'57" E ALONG SAID CENTERLINE, A DISTANCE OF 495.81 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE INTERSECTION OF SAID HOLLY AVENUE CENTERLINE AND THE CENTERLINE OF SAN PEDRO DRIVE, NE;

THENCE LEAVING SAID HOLLY CENTERLINE, N 00°38'57" W ALONG SAID SAN PEDRO CENTERLINE, A DISTANCE OF 264.10 FEET TO AN ANGLE POINT;

THENCE N 00°23'00" E, A DISTANCE OF 263.91 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT LYING ON THE INTERSECTION OF SAID SAN PEDRO CENTERLINE AND THE CENTERLINE OF CARMEL AVENUE, NE;

THENCE LEAVING SAID SAN PEDRO CENTERLINE, S 89°45'04" E ALONG SAID CARMEL CENTERLINE, A DISTANCE OF 163.97 FEET TO AN ANGLE POINT;

THENCE S 89°48'44" E, A DISTANCE OF 165.08 FEET TO AN ANGLE POINT;

THENCE S 89°46'50" E, A DISTANCE OF 163.97 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND ALUMINUM CENTERLINE MONUMENT "PS 11184";

THENCE LEAVING SAID CARMEL CENTERLINE, S 01°34'25" E, A DISTANCE OF 30.01 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP "PS 11184";

THENCE S 00°24'01" W, A DISTANCE OF 498.27 FEET TO THE POINT OF BEGINNING, CONTAINING 6.0005 ACRES (261,382 SQ. FT. SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACTS A, B AND C, PASEO NUEVO.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ADDITIONAL STREET AND PUBLIC RIGHT OF WAY SHOWN HEREON FOR SAN PEDRO DRIVE, N.E. TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE STREET AND PUBLIC RIGHTS OF WAY SHOWN HEREON FOR HOLLY AVENUE, N.E., CARMEL AVENUE, N.E. AND SAN PEDRO DRIVE, N.E. TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE

Gordon L. Skarsgard 8/4/06
 RANDY SCHMIDT, GORDON L. SKARSGARD
 MANAGING MEMBER
 SAN PEDRO EQUITIES, LLC
 DATE

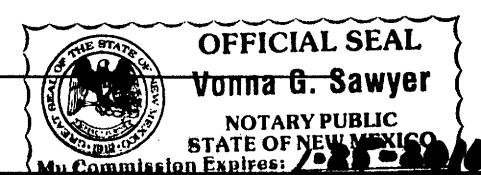
Acknowledgment

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 4th DAY OF Aug, 2006 BY

RANDY SCHMIDT, MANAGING MEMBER, SAN PEDRO EQUITIES, LLC
 GORDON L. SKARSGARD

BY *Vanna G. Sawyer* MY COMMISSION EXPIRES: _____
 NOTARY PUBLIC



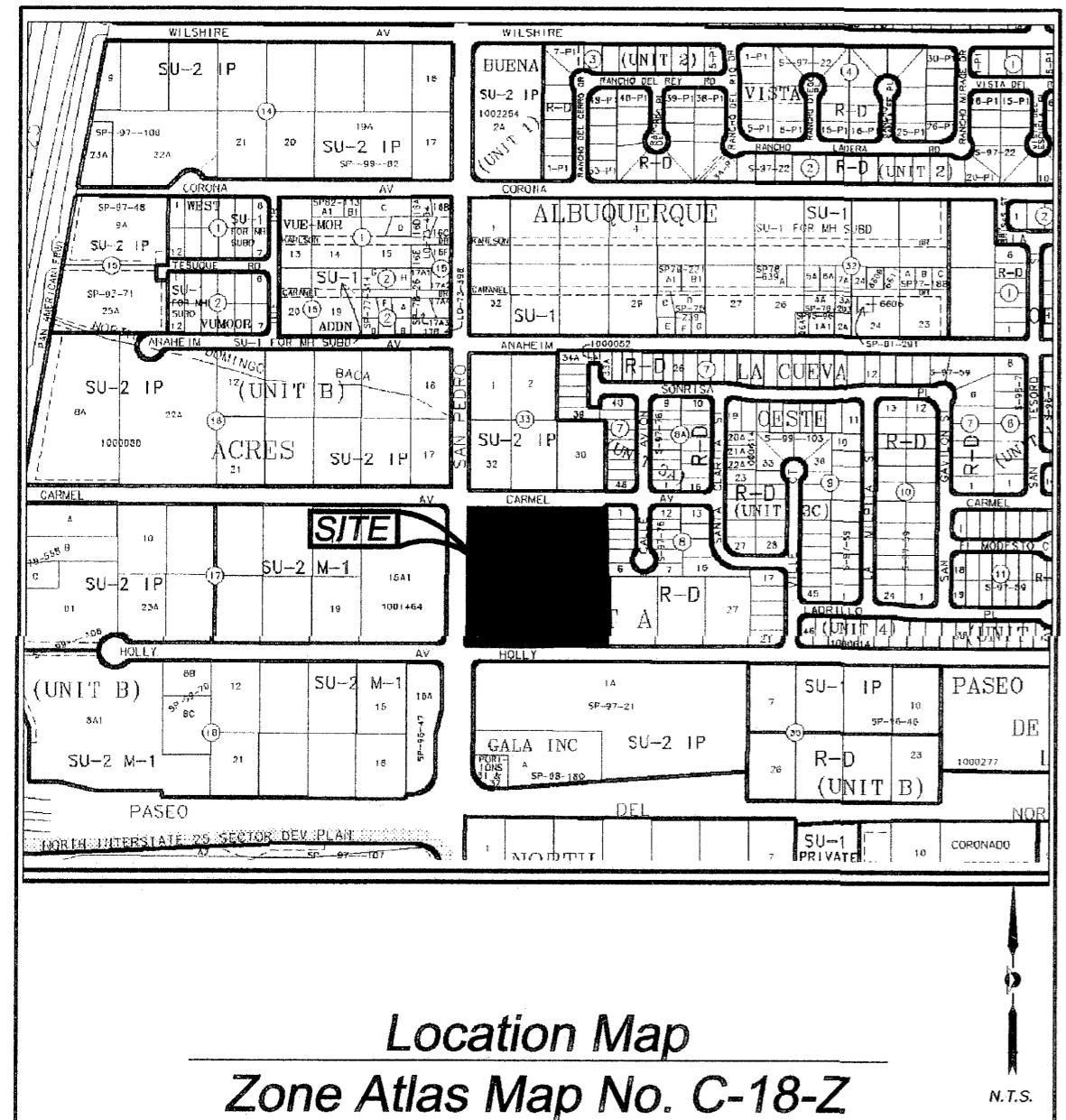
Preliminary Plat of
 Tracts A, B, and C
Paseo Nuevo
 Albuquerque, Bernalillo County, New Mexico
 August 2006

Legal Description

A TRACT OF LAND Lying and Situate within PRODUCE SECTION 12, TOWNSHIP 19 NORTH, RANGE 1 EAST, ELEMA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOTS NUMBERED ONE (1), TWO (2), THREE (3), THIRTY (30), THIRTY-ONE (31) AND THIRTY-TWO (32), IN BLOCK NUMBERED THIRTY-FOUR (34), TRACT A AND B, NORTH ALBUQUERQUE ACRES, AN ADDITION IN BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN PLAT BOOK D, FOLIO 130, LESS THAT MUNICIPAL CORPORATION AS SET FORTH IN THAT CERTAIN SPECIAL WARRANTY DEED, FILED AUGUST 21, 1998, RECORDED IN BOOK 9814, PAGE 3886, AS DOCUMENT NO. 1998105350, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) BEARINGS, AND GROUND DISTANCES (H.S. SURVEY FOOT) AS FOLLOWS:

Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES REBAR W/CAP "PS 11993" TO BE SET UNLESS OTHERWISE NOTED

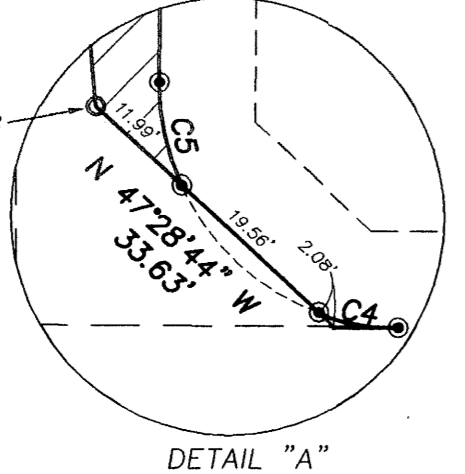


Location Map
 Zone Atlas Map No. C-18-Z

- Notes:**
- UNLESS OTHERWISE NOTED ALL BOUNDARY CORNERS SHOWN THUS ○ SHALL BE MARKED BY A #4 REBAR W/YELLOW PLASTIC CAP STAMPED PS "11993".
 - BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS. (CENTRAL ZONE: NAD 1927)
 - ALL DISTANCES SHALL BE GROUND DISTANCES.
 - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED: *[Signature]* 8-29-06
 CITY SURVEYOR DATE

Owner's Signature:
[Signature]
 RANDY SCHIMILLE
 MANAGING MEMBER
 SAN PEDRO EQUITIES, LLC



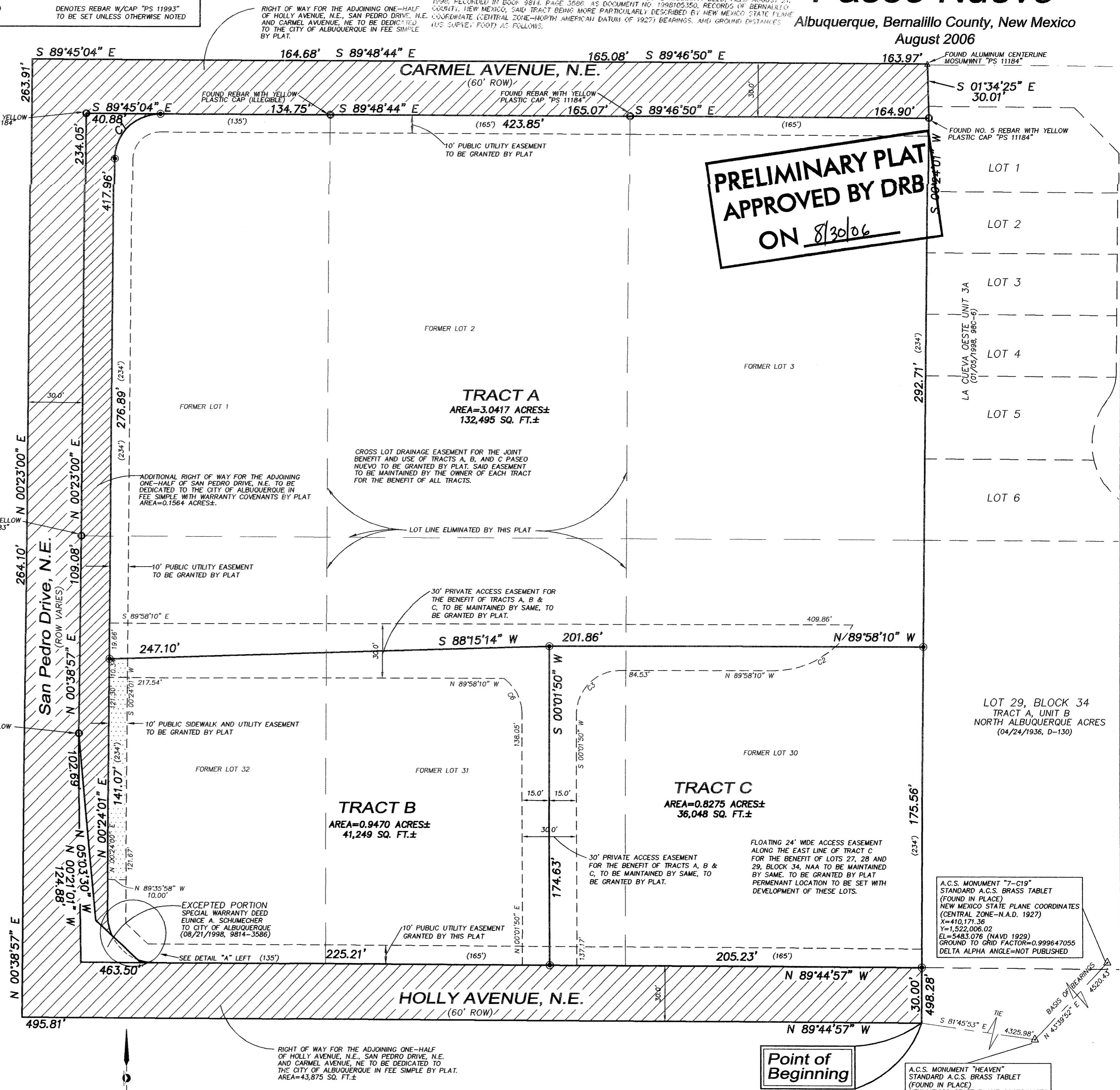
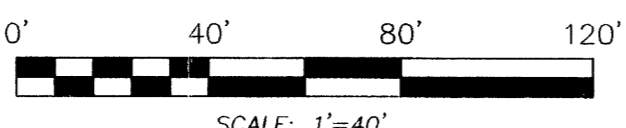
Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	25.00'	39.20'	89°50'55"	24.93'	35.31'	N 45°19'28" E
C2	50.67'	53.25'	60°13'03"	29.38'	50.83'	S 59°55'19" W
C3	24.00'	37.70'	90°00'00"	24.00'	33.94'	N 45°01'50" E
C4	25.00'	8.41'	19°15'57"	4.24'	8.37'	N 80°06'59" W
C5	25.00'	10.84'	24°50'12"	5.50'	10.75'	N 12°01'05" W
C6	24.00'	21.82'	52°05'25"	11.73'	21.08'	S 28°21'02" E



8500-A Jefferson Street, NE
 Albuquerque, NM 87113

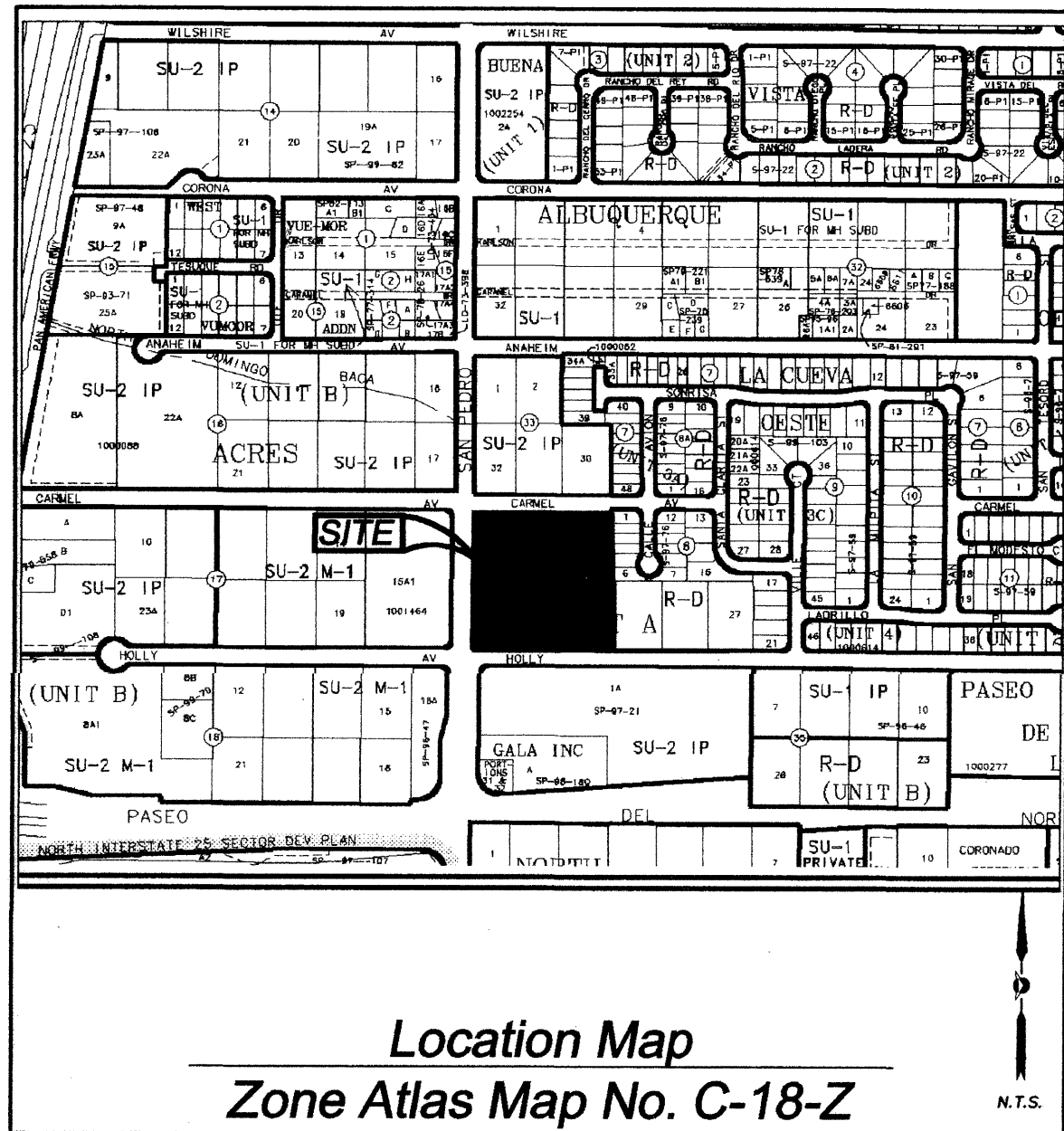
866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX



PRELIMINARY PLAT
APPROVED BY DRB
 ON 8/30/06

A.C.S. MONUMENT "7"-119" STANDARD A.C.S. BRASS TABLE (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) X=410,171.36 Y=1,522,006.02 EL=5483.076 (NAVD 1929) GROUND TO GRID FACTOR=0.999647055 DELTA ALPHA ANGLE=NOT PUBLISHED

A.C.S. MONUMENT "HEAVEN" STANDARD A.C.S. BRASS TABLE (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) X=407,051.31 Y=1,518,737.03 EL=5375.62 (NAVD 1929) GROUND TO GRID FACTOR=0.99965263 DELTA ALPHA ANGLE=07°0'45"



Subdivision Data:

GROSS SUBDIVISION ACREAGE: 6.0005 ACRES±
 ZONE ATLAS INDEX NO: C-18-Z
 NO. OF TRACTS CREATED: 3
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: JULY 26, 2006

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING SIX LOTS INTO THREE NEW TRACTS, TO GRANT EASEMENTS, TO DEDICATE ADDITIONAL RIGHT OF WAY FOR SAN PEDRO DRIVE, N.E., AND TO DEDICATE RIGHT OF WAY FOR HOLLY AVENUE, N.E., SAN PEDRO DRIVE, N.E. AND CARMEL AVENUE, NE

Notes:

- MISC. DATA: ZONING SU-2 IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2006314095

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

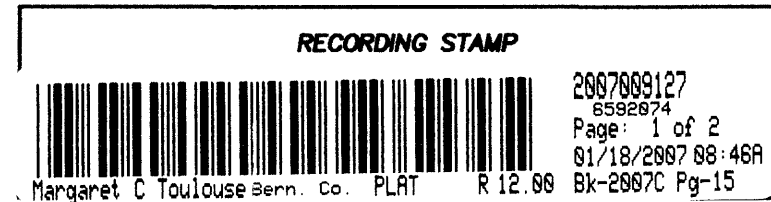
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOTS NUMBERED ONE (1), TWO (2), THREE (3), THIRTY (30), THIRTY-ONE (31) AND THIRTY-TWO (32), IN BLOCK NUMBERED THIRTY-FOUR (34), TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, AN ADDITION IN BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN PLAT BOOK D, FOLIO 130, LESS THAN AND EXCEPTING THAT PORTION OF LOT 32 GRANTED TO THE CITY OF ALBUQUERQUE, A NEW MEXICO MUNICIPAL CORPORATION, AS SET FORTH IN THAT CERTAIN SPECIAL WARRANTY DEED, FILED AUGUST 21, 1998, RECORDED IN BOOK 9814, PAGE 3586, AS DOCUMENT NO. 1998105350, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) BEARINGS, AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS;

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT LYING ON THE CENTERLINE OF HOLLY AVENUE, NE, FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "7-C19" BEARS S 81°22'18" E, A DISTANCE OF 4,330.17 FEET;

THENCE FROM SAID POINT OF BEGINNING, N 89°44'57" E ALONG SAID CENTERLINE, A DISTANCE OF 495.81 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE INTERSECTION OF SAID HOLLY AVENUE CENTERLINE AND THE CENTERLINE OF SAN PEDRO DRIVE, NE;

THENCE LEAVING SAID HOLLY CENTERLINE, N 00°38'57" W ALONG SAID SAN PEDRO CENTERLINE, A DISTANCE OF 264.10 FEET TO AN ANGLE POINT;

THENCE N 00°23'00" E, A DISTANCE OF 263.91 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT LYING ON THE INTERSECTION OF SAID SAN PEDRO CENTERLINE AND THE CENTERLINE OF CARMEL AVENUE, NE;

THENCE LEAVING SAID SAN PEDRO CENTERLINE, S 89°45'04" E ALONG SAID CARMEL CENTERLINE, A DISTANCE OF 163.97 FEET TO AN ANGLE POINT;

THENCE S 89°48'44" E, A DISTANCE OF 165.08 FEET TO AN ANGLE POINT;

THENCE S 89°46'50" E, A DISTANCE OF 163.97 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND ALUMINUM CENTERLINE MONUMENT "PS 11184";

THENCE LEAVING SAID CARMEL CENTERLINE, S 01°34'25" E, A DISTANCE OF 30.01 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP "PS 11184";

THENCE S 00°24'01" W, A DISTANCE OF 498.27 FEET TO THE POINT OF BEGINNING, CONTAINING 6.0005 ACRES (261,382 SQ. FT. SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACTS A, B AND C, PASEO NUEVO.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ADDITIONAL STREET AND PUBLIC RIGHT OF WAY SHOWN HEREON FOR SAN PEDRO DRIVE, N.E. TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE STREET AND PUBLIC RIGHTS OF WAY SHOWN HEREON FOR HOLLY AVENUE, N.E., CARMEL AVENUE, N.E. AND SAN PEDRO DRIVE, N.E. TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE

Gordon L. Skarsgard
 RANDY SCHMIDTLE - GORDON L. SKARSGARD
 MANAGING MEMBER
 SAN PEDRO EQUITIES, LLC

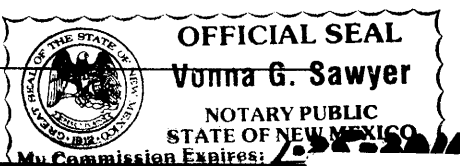
8/4/06
 DATE

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 4th DAY OF AUG, 2006 BY
 RANDY SCHMIDTLE, MANAGING MEMBER, SAN PEDRO EQUITIES, LLC
 GORDON L. SKARSGARD

BY *Donna G. Sawyer* MY COMMISSION EXPIRES:
 NOTARY PUBLIC



Plat of
 Tracts A, B, and C
Paseo Nuevo
 Albuquerque, Bernalillo County, New Mexico
 July 2006

Project No. 1004974

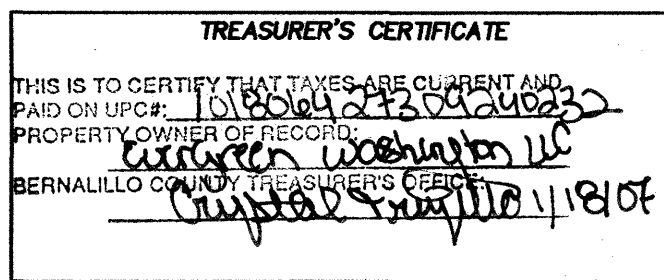
Application No. 06DRB-07PRB-00024

Utility Approvals

<i>Lead D. Marts</i>	8-24-06
PNM ELECTRIC SERVICES	DATE
<i>Lead D. Marts</i>	8-24-06
PNM GAS SERVICES	DATE
<i>Quell</i>	9/15/06
QWEST TELECOMMUNICATIONS	DATE
<i>Kyle Barber</i>	9-14-06
COMCAST	DATE
N/A	DATE
NEW MEXICO UTILITIES	DATE

City Approvals

<i>John B. Paul</i>	8/4/06
CITY SURVEYOR	DATE
N/A	1-17-06
REAL PROPERTY DIVISION	DATE
N/A	1-17-07
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
<i>John B. Paul</i>	1-17-07
TRAFFIC ENGINEERING/TRANSPORTATION DEPARTMENT	DATE
<i>Kay A. Green</i>	1-17-07
WATER UTILITY DEPARTMENT	DATE
<i>Christina Sandoval</i>	1/17/07
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley B. Bighan</i>	1/17/07
AMAFCA	DATE
<i>Bradley B. Bighan</i>	1/17/07
CITY ENGINEER	DATE
<i>Andrew Garcia</i>	1-17-07
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 8/4/06
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE



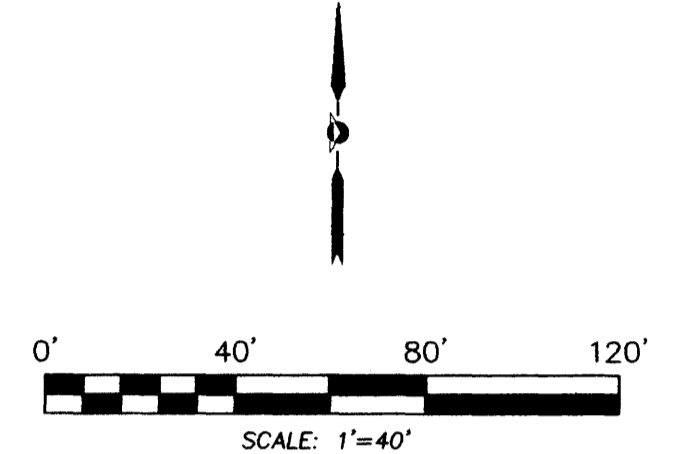
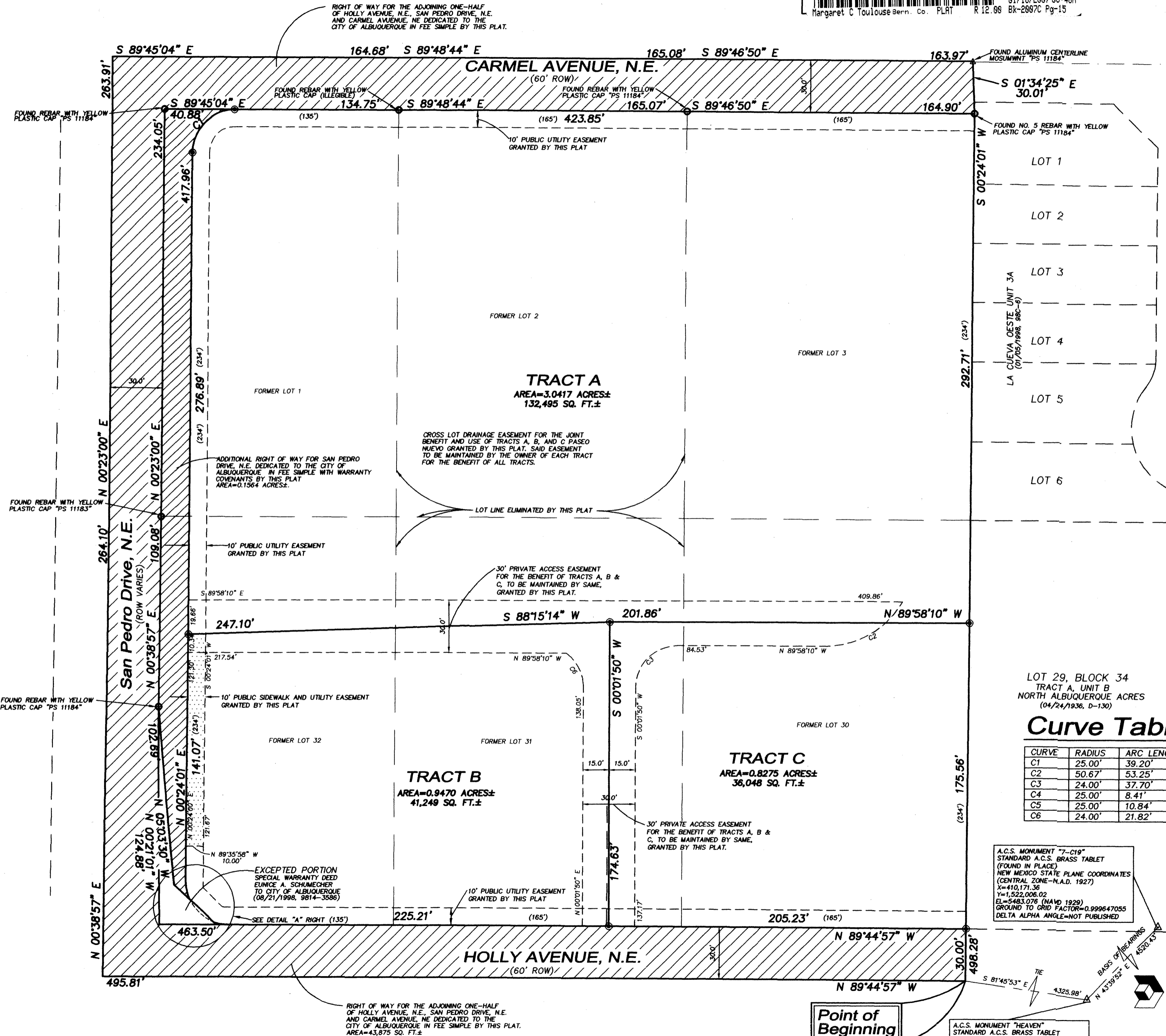
8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

C:\Plats\2006\066395P.dwg, 8/3/2006 2:48:03 PM

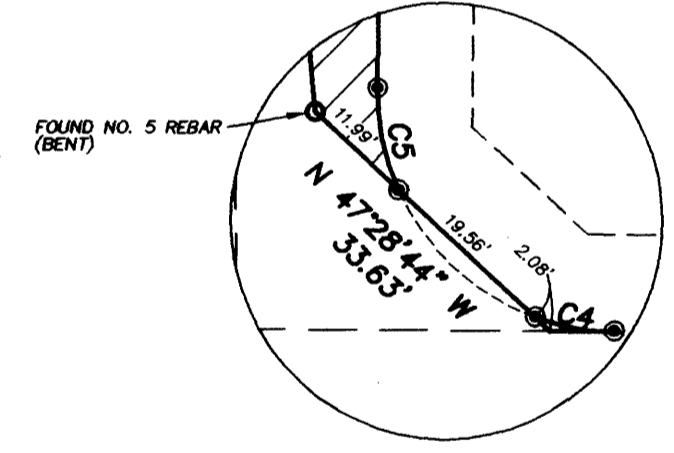
Plat of
Tracts A, B, and C
Paseo Nuevo
Albuquerque, Bernalillo County, New Mexico
August 2006

RECORDING STAMP
2007089127
6596674
Page: 2 of 2
01/18/2007 08:46A
Margaret C Toulouse Bern. Co. PLRT R 12.06 Bk-2007C Pg-15



Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES REBAR W/CAP "PS 11993" TO BE SET UNLESS OTHERWISE NOTED



LOT 29, BLOCK 34
TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES
(04/24/1936, D-130)

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	25.00'	39.20'	89°50'55"	24.93'	35.31'	N 45°19'28" E
C2	50.67'	53.25'	60°13'03"	29.38'	50.83'	S 59°55'19" W
C3	24.00'	37.70'	90°00'00"	24.00'	33.94'	N 45°01'50" E
C4	25.00'	8.41'	19°15'57"	4.24'	8.37'	N 80°06'59" W
C5	25.00'	10.84'	24°50'12"	5.50'	10.75'	N 12°01'05" W
C6	24.00'	21.82'	52°05'25"	11.73'	21.08'	S 28°21'02" E

A.C.S. MONUMENT "7-119"
STANDARD A.C.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=410,171.36
Y=1,522,006.02
E1=5483.076 (NAD 1929)
GROUND TO GRID FACTOR=0.999647055
DELTA ALPHA ANGLE=NOT PUBLISHED

A.C.S. MONUMENT "HEAVEN"
STANDARD A.C.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=407,051.31
Y=1,518,737.03
E1=5375.62 (NAD 1929)
GROUND TO GRID FACTOR=0.99965263
DELTA ALPHA ANGLE=-0°10'45"

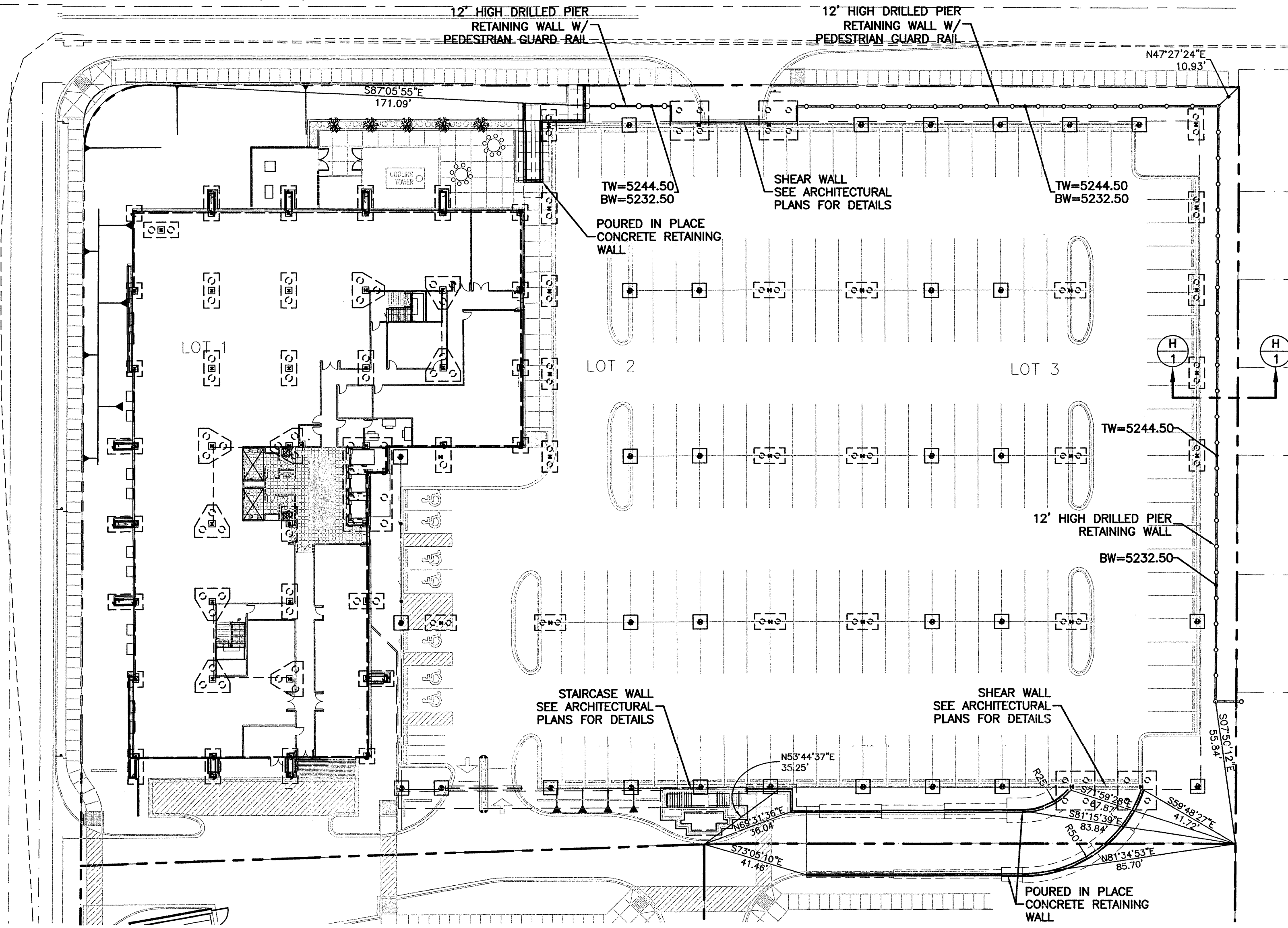
PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
Albuquerque, NM 87113
866.422.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

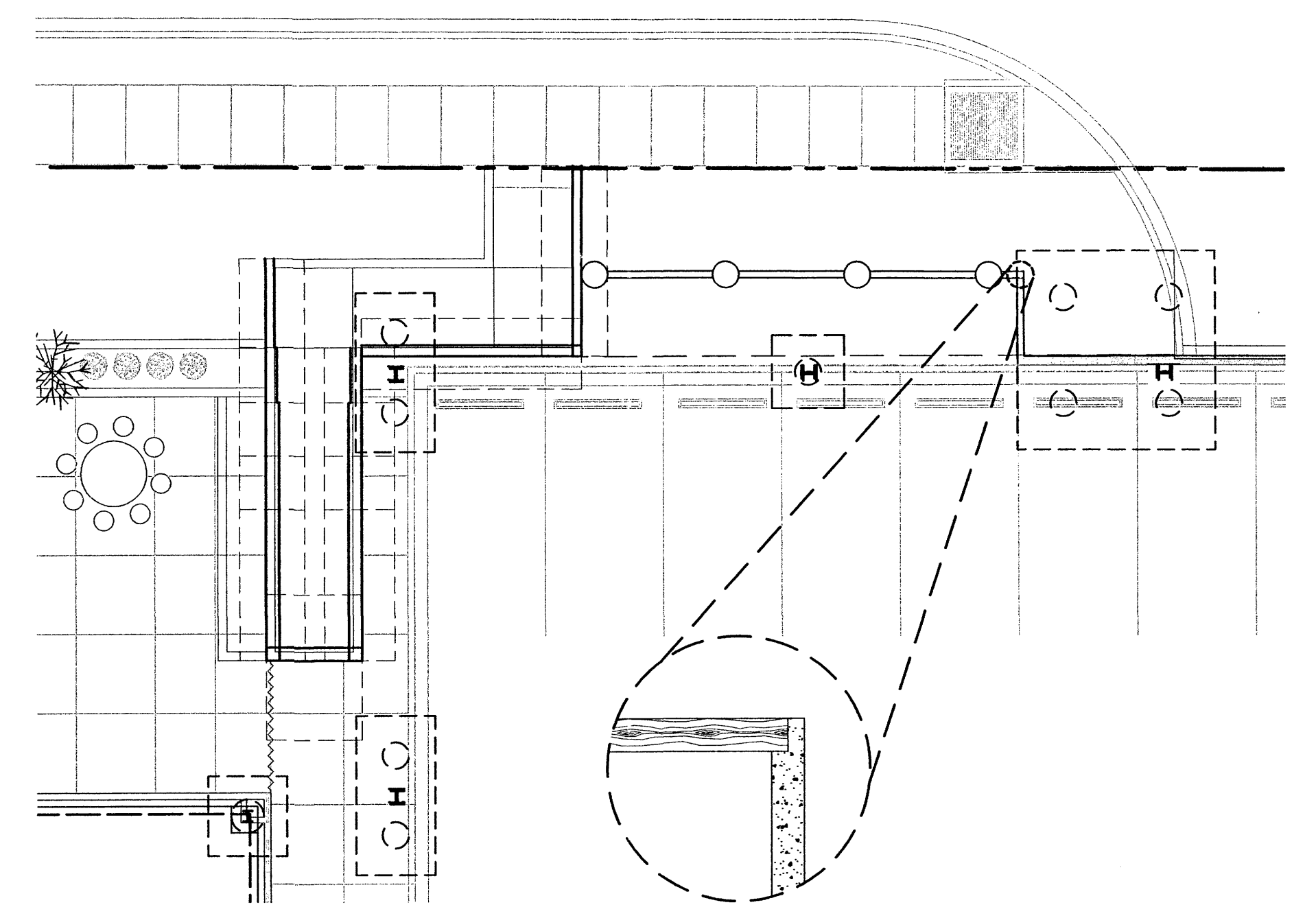
Point of Beginning

SAN PEDRO DRIVE NE.
(60' R.O.W.)

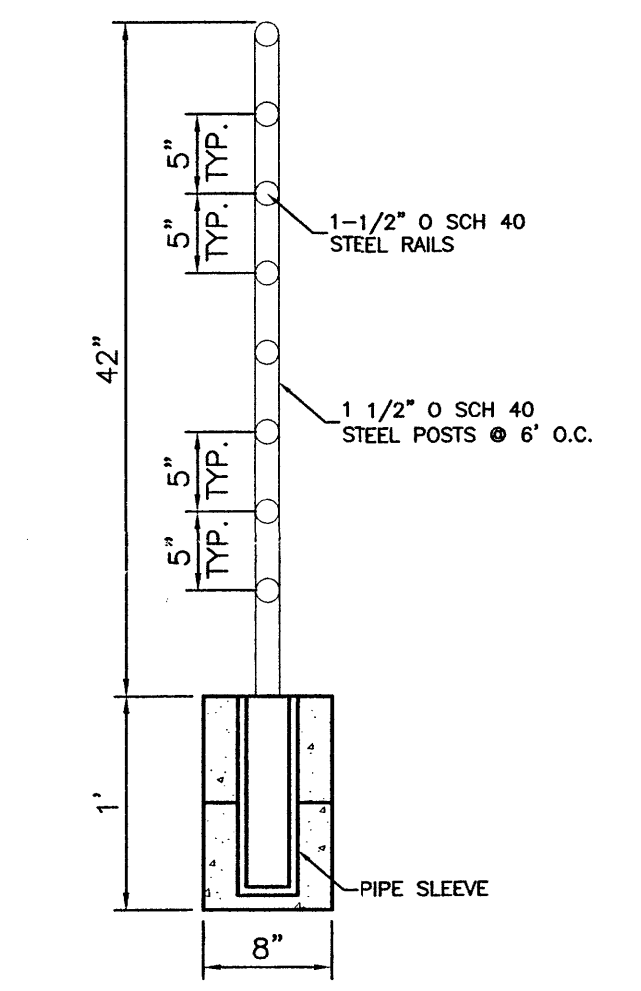
CARMEL AVENUE N.E.
(60' R.O.W.)



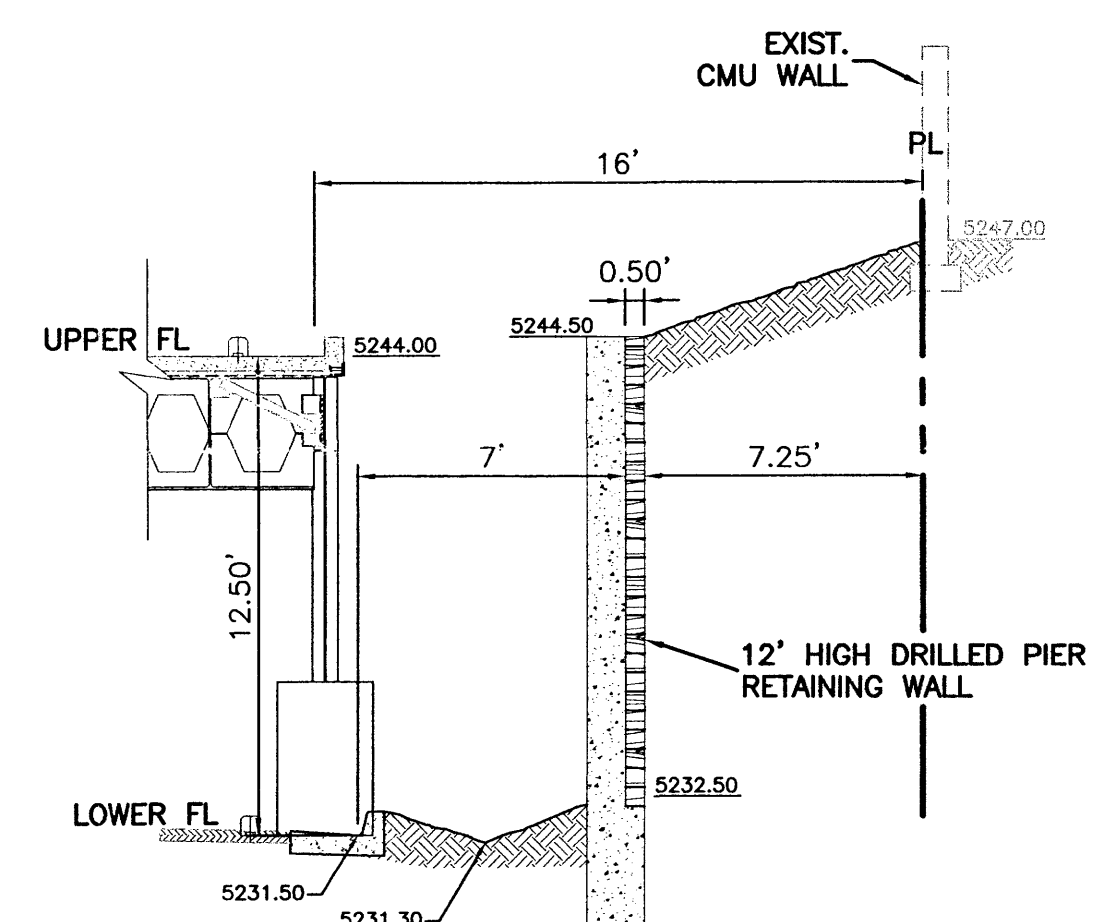
RETAINING WALL PLAN
SCALE: 1"=30'



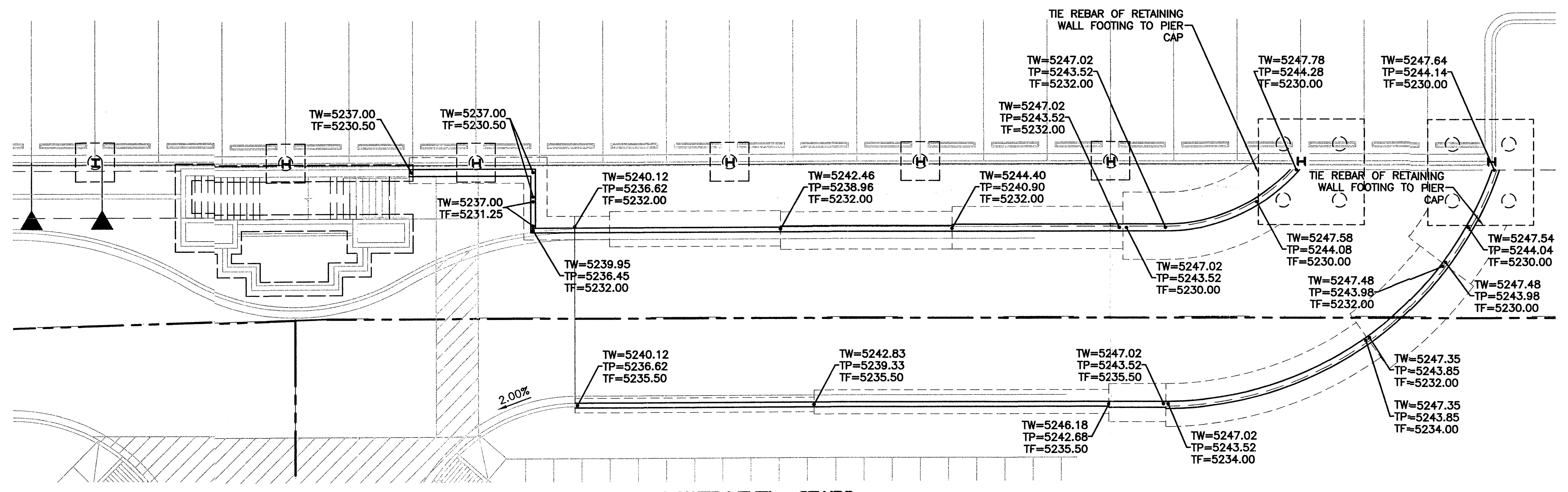
LOWER LEVEL
SCALE: 1"=10'



GUARD RAIL DETAIL
NTS

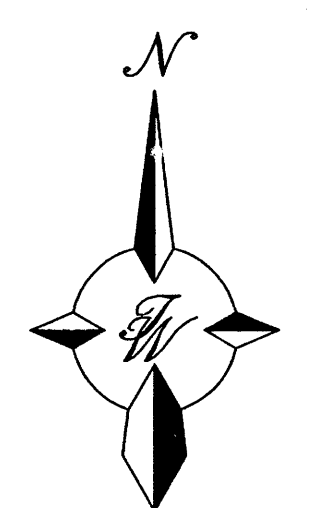


SECTION H-H
SCALE: 1"=5'



LOWER LEVEL - STAIRS
SCALE: 1"=10'

NOTES:
TW=TOP OF WALL
TP=TOP OF PAVEMENT
TF=TOP OF FOOTING
RETAINING WALL IS FROM TF TO TP.



GRAPHIC SCALE
SCALE: AS SHOWN

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505)858-3100

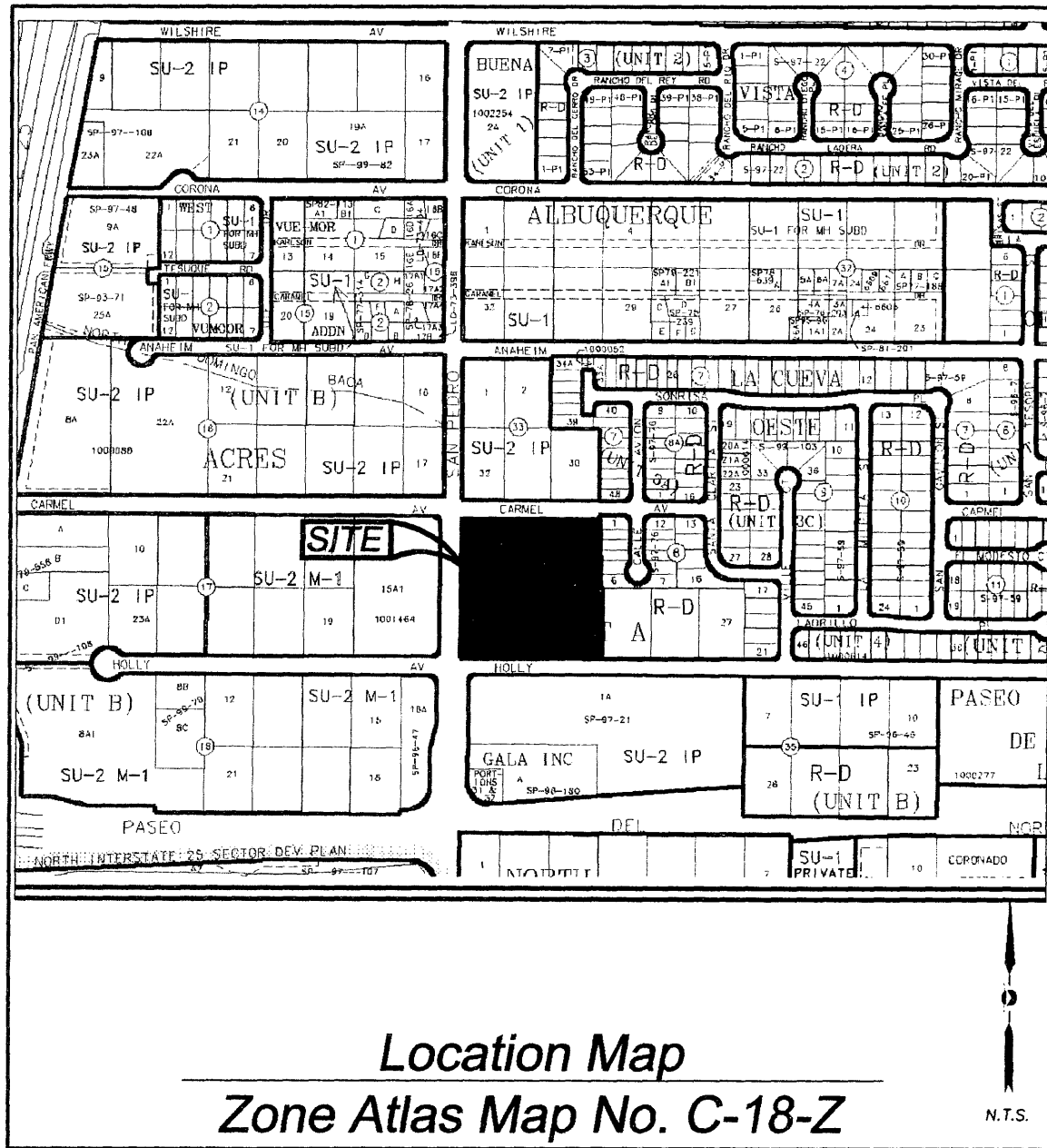
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE:
**PASEO NUEVO
RETAINING WALL PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

CITY PROJECT NO. **796381** ZONE MAP NO. **C-18-Z** SHEET **1** OF **3**

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ACS "J-C19"	DATE	NO.	BY		REMARKS REVISIONS DESIGN
WORK BY	DATE	CENTRAL STATION DATA	DATE	NO.	BY		
REGISTERED PROFESSIONAL ENGINEER	DATE	NM STATE PLANE COORDINATES	DATE				
ACCEPTANCE BY	DATE	Central Zone (NAD 27)	DATE				
VERIFICATION BY	DATE	X=410,171.36	DATE				
DRAWINGS CORRECTED BY	DATE	Y=1,522,006.02	DATE				
MICRO-FILM INFORMATION	DATE	G-G=0.989647055	DATE				
RECORDED BY	DATE	Do=NOT PUBLISHED	DATE				
NO.		ELEV=5483.76	DATE				



Location Map
Zone Atlas Map No. C-18-Z

Subdivision Data:
 GROSS SUBDIVISION ACREAGE: 6.0005 ACRES±
 ZONE ATLAS INDEX NO: C-18-Z
 NO. OF TRACTS CREATED: 3
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: JULY 26, 2006

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING SIX LOTS INTO THREE NEW TRACTS, TO GRANT EASEMENTS, TO DEDICATE ADDITIONAL RIGHT OF WAY FOR SAN PEDRO DRIVE, NE, AND TO DEDICATE RIGHT OF WAY FOR HOLLY AVENUE, N.E., SAN PEDRO DRIVE, N.E. AND CARMEL AVENUE, NE

Notes:

- MISC. DATA: ZONING SU-2 IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2006314095.

Easements

- THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.
- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

RECORDING STAMP

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOTS NUMBERED ONE (1), TWO (2), THREE (3), THIRTY (30), THIRTY-ONE (31) AND THIRTY-TWO (32), IN BLOCK NUMBERED THIRTY-FOUR (34), TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, AN ADDITION IN BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN PLAT BOOK D, FOLIO 130, LESS THAN AND EXCEPTING THAT PORTION OF LOT 32 GRANTED TO THE CITY OF ALBUQUERQUE, A NEW MEXICO MUNICIPAL CORPORATION, AS SET FORTH IN THAT CERTAIN SPECIAL WARRANTY DEED, FILED AUGUST 21, 1998, RECORDED IN BOOK 9814, PAGE 3586, AS DOCUMENT NO. 1998105350, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) BEARINGS, AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS;

- BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT LYING ON THE CENTERLINE OF HOLLY AVENUE, NE, FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "7-C19" BEARS S 81°22'18" E, A DISTANCE OF 4,330.17 FEET;
- THENCE FROM SAID POINT OF BEGINNING, N 89°44'57" E ALONG SAID CENTERLINE, A DISTANCE OF 495.81 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE INTERSECTION OF SAID HOLLY AVENUE CENTERLINE AND THE CENTERLINE OF SAN PEDRO DRIVE, NE;
- THENCE LEAVING SAID HOLLY CENTERLINE, N 00°38'57" W ALONG SAID SAN PEDRO CENTERLINE, A DISTANCE OF 264.10 FEET TO AN ANGLE POINT;
- THENCE N 00°23'00" E, A DISTANCE OF 263.91 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT LYING ON THE INTERSECTION OF SAID SAN PEDRO CENTERLINE AND THE CENTERLINE OF CARMEL AVENUE, NE;
- THENCE LEAVING SAID SAN PEDRO CENTERLINE, S 89°45'04" E ALONG SAID CARMEL CENTERLINE, A DISTANCE OF 163.97 FEET TO AN ANGLE POINT;
- THENCE S 89°48'44" E, A DISTANCE OF 165.08 FEET TO AN ANGLE POINT;
- THENCE S 89°46'50" E, A DISTANCE OF 163.97 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND ALUMINUM CENTERLINE MONUMENT "PS 11184";
- THENCE LEAVING SAID CARMEL CENTERLINE, S 01°34'25" E, A DISTANCE OF 30.01 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP "PS 11184";
- THENCE S 00°24'01" W, A DISTANCE OF 498.17 FEET TO THE POINT OF BEGINNING, CONTAINING 6.0005 ACRES (261,382 SQ. FT. SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACTS A, B AND C, PASEO NUEVO.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ADDITIONAL STREET AND PUBLIC RIGHT OF WAY SHOWN HEREON FOR SAN PEDRO DRIVE, N.E. TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE STREET AND PUBLIC RIGHTS OF WAY SHOWN HEREON FOR HOLLY AVENUE, N.E., CARMEL AVENUE, N.E. AND SAN PEDRO DRIVE, N.E. TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE

Gordon L. Skarsgard
 RANDY SCHIMMEL - GORDON L. SKARSGARD
 MANAGING MEMBER
 SAN PEDRO EQUITIES, LLC
 DATE 8/14/06

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 14TH DAY OF AUG, 2006 BY
 RANDY SCHIMMEL, MANAGING MEMBER, SAN PEDRO EQUITIES, LLC
 GORDON L. SKARSGARD

BY *Vonna G. Sawyer*
 VONNA G. SAWYER
 NOTARY PUBLIC
 STATE OF NEW MEXICO
 My Commission Expires: 7/25/2010

Plat of
 Tracts A, B, and C
Paseo Nuevo
 Albuquerque, Bernalillo County, New Mexico
 July 2006
 Project No. 1004974
 Application No. 06DRB-
 Utility Approvals
 City Approvals
 DRB CHAIRPERSON, PLANNING DEPARTMENT

PNM ELECTRIC SERVICES	DATE 8-24-06
PNM GAS SERVICES	DATE 8-24-06
QWEST TELECOMMUNICATIONS	DATE 9-14-06
COMCAST	DATE
NEW MEXICO UTILITIES	DATE
CITY SURVEYOR	DATE
REAL PROPERTY DIVISION	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE



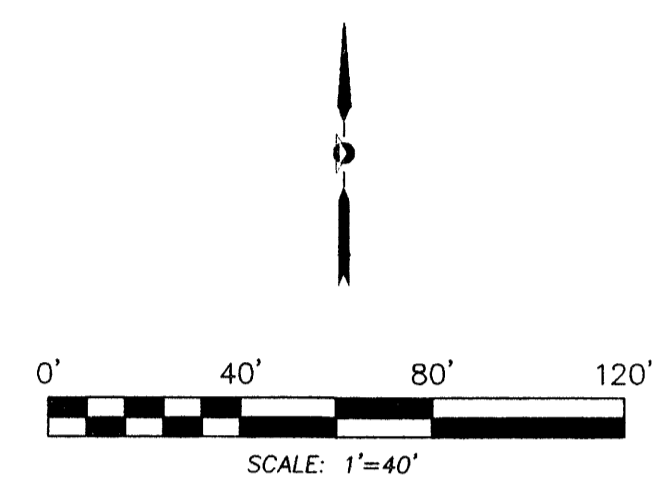
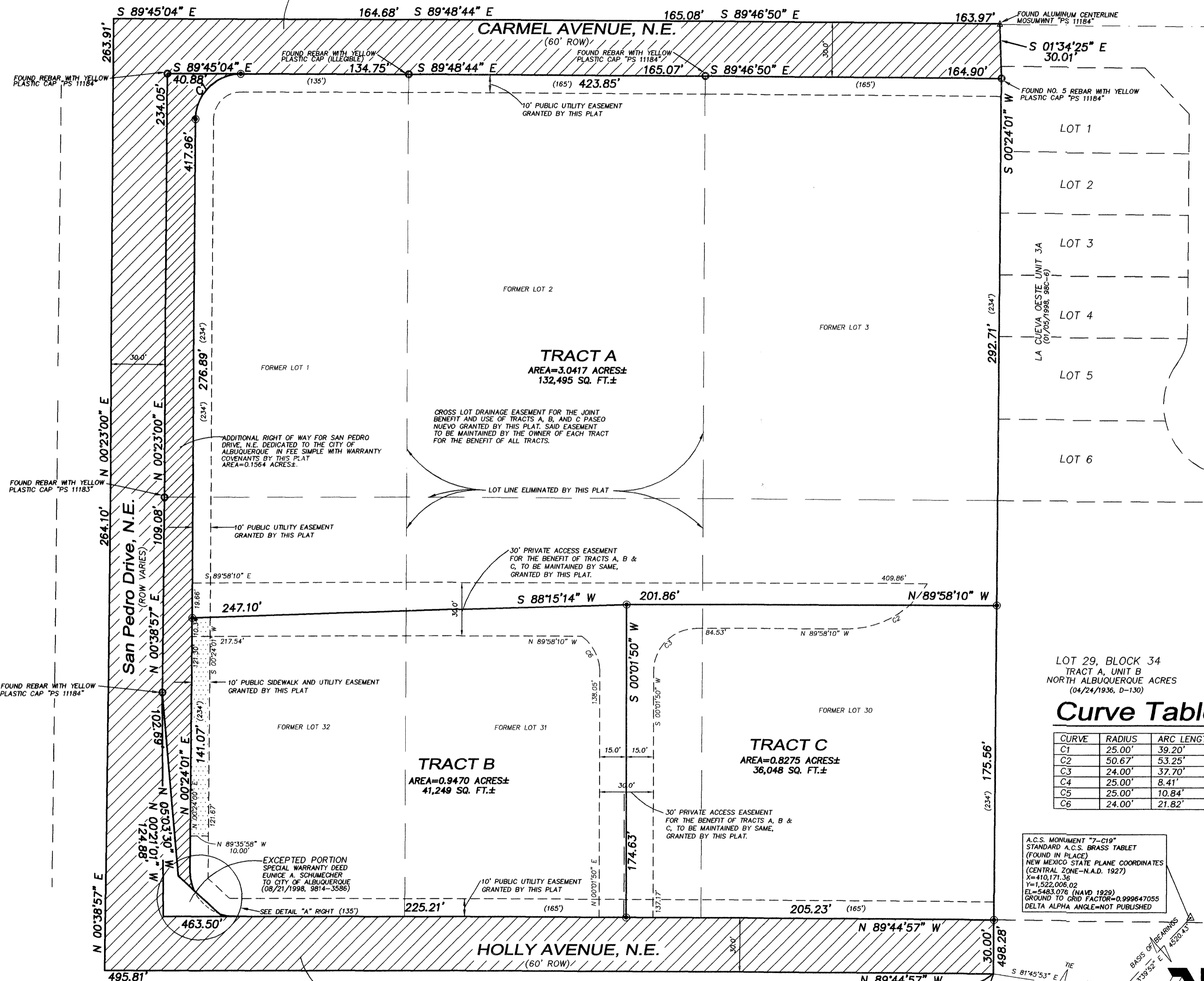
PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

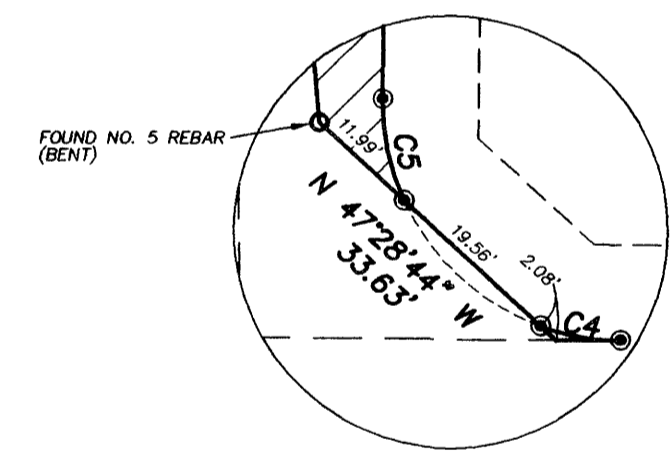
Plat of
Tracts A, B, and C
Paseo Nuevo
Albuquerque, Bernalillo County, New Mexico
August 2006

RECORDING STAMP



Legend

(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
N 90°00'00" E	MEASURED BEARING AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
●	DENOTES REBAR W/CAP "PS 11993" TO BE SET UNLESS OTHERWISE NOTED



LOT 29, BLOCK 34
TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES
(04/24/1936, D-130)

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	25.00'	39.20'	89°50'55"	24.93'	35.31'	N 45°19'28" E
C2	50.67'	53.25'	60°13'03"	29.38'	50.83'	S 59°55'19" W
C3	24.00'	37.70'	90°00'00"	24.00'	33.94'	N 45°01'50" E
C4	25.00'	8.41'	19°15'57"	4.24'	8.37'	N 80°06'59" W
C5	25.00'	10.84'	24°50'12"	5.50'	10.75'	N 12°01'05" W
C6	24.00'	21.82'	52°05'25"	11.73'	21.08'	S 28°21'02" E

A.C.S. MONUMENT "7-C19"
STANDARD A.C.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=410,171.36
Y=1,522,006.02
EL=5483.076 (NAVD 1929)
GROUND TO GRID FACTOR=0.999647055
DELTA ALPHA ANGLE=NOT PUBLISHED

A.C.S. MONUMENT "HEAVEN"
STANDARD A.C.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=407,051.31
Y=1,518,737.03
EL=5375.62 (NAVD 1929)
GROUND TO GRID FACTOR=0.99965263
DELTA ALPHA ANGLE=-0°10'45"

PRECISION SURVEYS, INC.

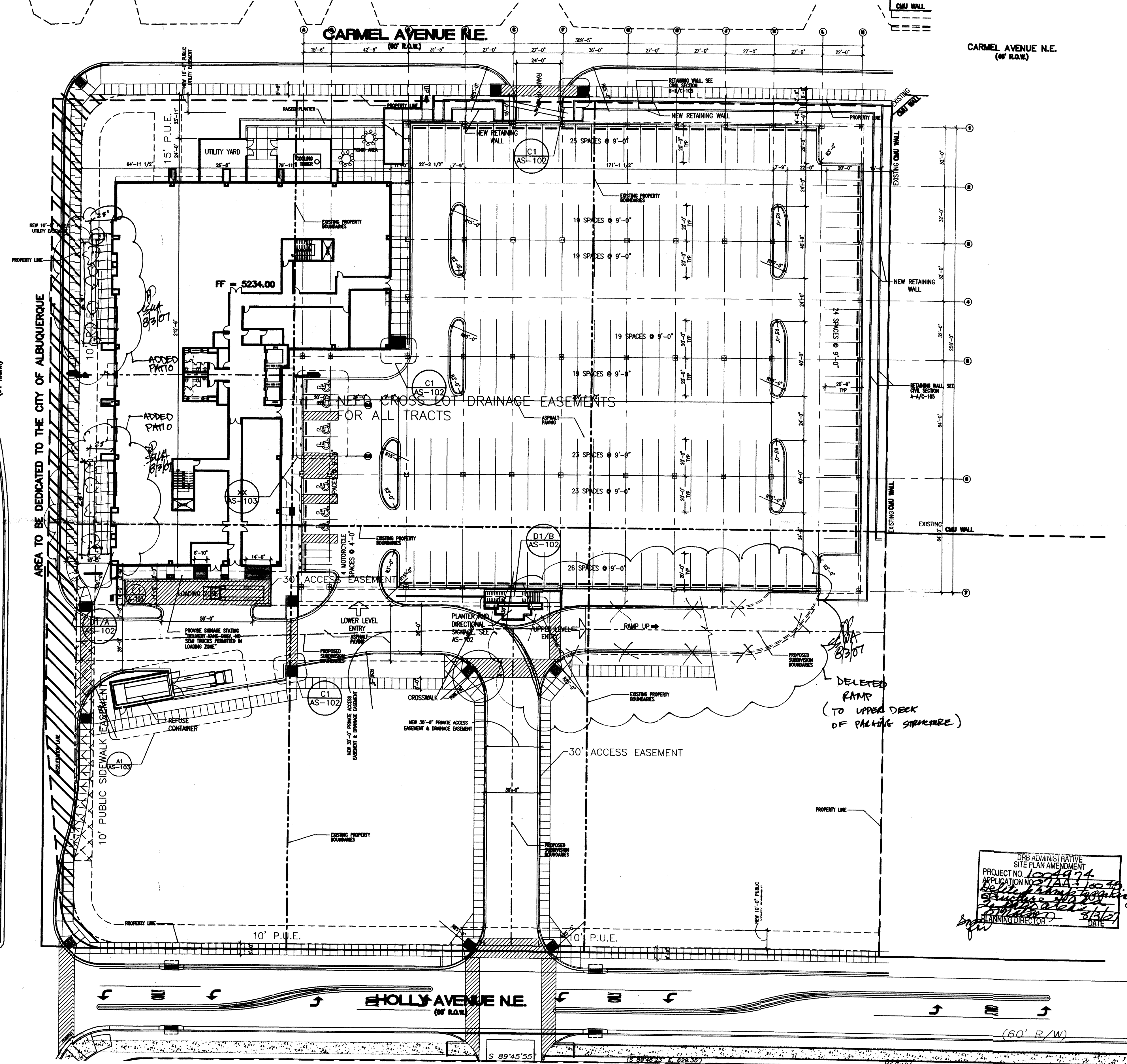
8500-A Jefferson Street, NE
Albuquerque, NM 87113
866.422.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

G:\Plats\2006\082396P.dwg, 9/21/2006 8:27:49 AM

SAN PEDRO DRIVE (60' R.O.W.)

SAN PEDRO DRIVE (60' R.O.W.)

AREA TO BE DEDICATED TO THE CITY OF ALBUQUERQUE



A1 OVERALL SITE PLAN, BASEMENT LEVEL
SCALE: 1"=30'-0"

GENERAL NOTES

1. PROVIDE ONE H.C. RESERVED PARKING SIGN AT EACH H.C. PARKING SPACE, PER DETAIL A4/AS-403.

SITE CALCULATIONS

BUILDING SQUARE FOOTAGE	PARKING SPACES REQUIRED
BASEMENT FLOOR TOTAL GROSS SF = 25,723 SF	1 SPACE @ 1 SPACE/2,000 SF
BASEMENT FLOOR TOTAL USEABLE SF STORAGE = 2,518 SF	
BASEMENT FLOOR TOTAL USEABLE SF OFFICE = 15,100 SF	76 SPACES @ 1 SPACE/200 SF
2ND FLOOR TOTAL GROSS SF = 25,100 SF	109 SPACES @ 1 SPACE/200 SF
2ND FLOOR TOTAL USEABLE SF = 21,762 SF	
3RD FLOOR TOTAL GROSS SF = 23,765 SF	67 SPACES @ 1 SPACE/300 SF
3RD FLOOR TOTAL USEABLE SF = 19,767 SF	
4TH FLOOR TOTAL GROSS SF = 24,545 SF	70 SPACES @ 1 SPACE/300 SF
4TH FLOOR TOTAL USEABLE SF = 21,007 SF	
5TH FLOOR TOTAL GROSS SF = 24,336 SF	69 SPACES @ 1 SPACE/300 SF
5TH FLOOR TOTAL USEABLE SF = 20,710 SF	
TOTAL REQUIRED = 392 SPACES	
(368 REGULAR, 24 SMALL) TOTAL PROVIDED = 392 SPACES	
HC REQUIRED = 12 SPACES	
HC PROVIDED = 14 SPACES	
MOTORCYCLE REQUIRED = 6 SPACES	
MOTORCYCLE PROVIDED = 6 SPACES	
BICYCLE RACKS REQUIRED = 19	
BICYCLE RACKS PROVIDED = 20	

SITE DATA

TOTAL SITE AREA LESS 60' R.O.W. FOR SAN PEDRO AND HOLLY OFFICE COMPLEX = 209,811 SF (4.82 ACRES)

BUILDING FOOTPRINT = 25,500 SF (12% OF SITE, MAX F.A.R. IS 50%)

FRONT YARD SETBACK (CARMEL AVE.) = 20' MIN.

SIDE YARD SETBACK (SAN PEDRO DR.) = 10' MIN.

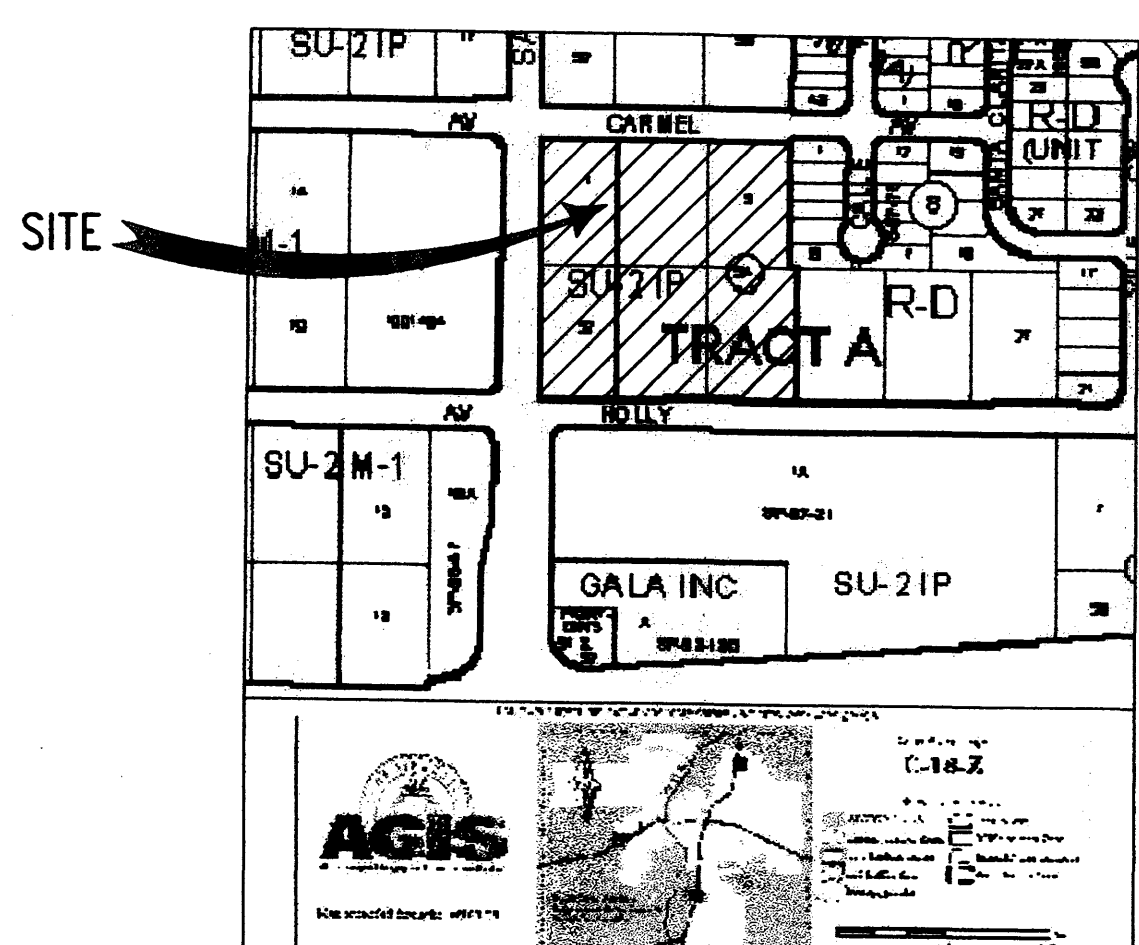
REAR YARD SETBACK = 10' MIN.

MAXIMUM BUILDING HEIGHT = 45' FROM R.O.W., 120' MAX

PARKING STRUCTURE OPEN AREA PERCENTAGES

NORTH SIDE PERCENTAGE OF OPEN AREA = 72% OPEN
 EAST SIDE PERCENTAGE OF OPEN AREA = 69% OPEN
 SOUTH SIDE PERCENTAGE OF OPEN AREA = 69% OPEN
 WEST SIDE PERCENTAGE OF OPEN AREA = 19% OPEN

TOTAL PERCENTAGE OF OPEN AREA = 56% OPEN



VICINITY MAP

DRB ADMINISTRATIVE
 SITE PLAN AMENDMENT
 PROJECT NO. 1004974
 APPLICATION NO. 06028-00885
 Approved by: [Signature]
 Planning Director

PROJECT NUMBER: 1004974
 APPLICATION NUMBER: 06028-00885

Is an Infrastructure List required? Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

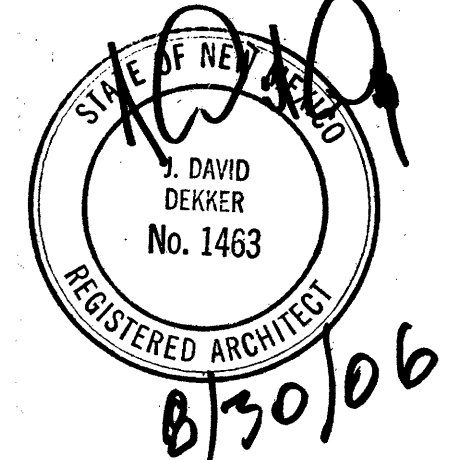
Traffic Engineer, Transportation Division	[Signature]	8-30-06
Water Utility Development	[Signature]	8/30/06
Parks & Recreation Department	[Signature]	8/30/06
City Engineer	[Signature]	1/4/07
Environmental Health Department (conditional)	N/A	
Soil Waste Management	[Signature]	1-4-07
DRB Chairperson, Planning Department	[Signature]	

* Environmental Health, if necessary



CONSULTANTS

Architect Engineer



PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

#1004974
DRB

MARK	DATE	DESCRIPTION
		ISSUE: DRB SUBMITTAL
		PROJECT NO: 0424
		CAD DWG FILE: 0424A-SP00
		DRAWN BY: MO
		CHECKED BY: DD
		DATE: 8/30/06

SHEET TITLE
OVERALL SITE PLAN FOR BUILDING PERMIT, BASEMENT LEVEL

AS-100

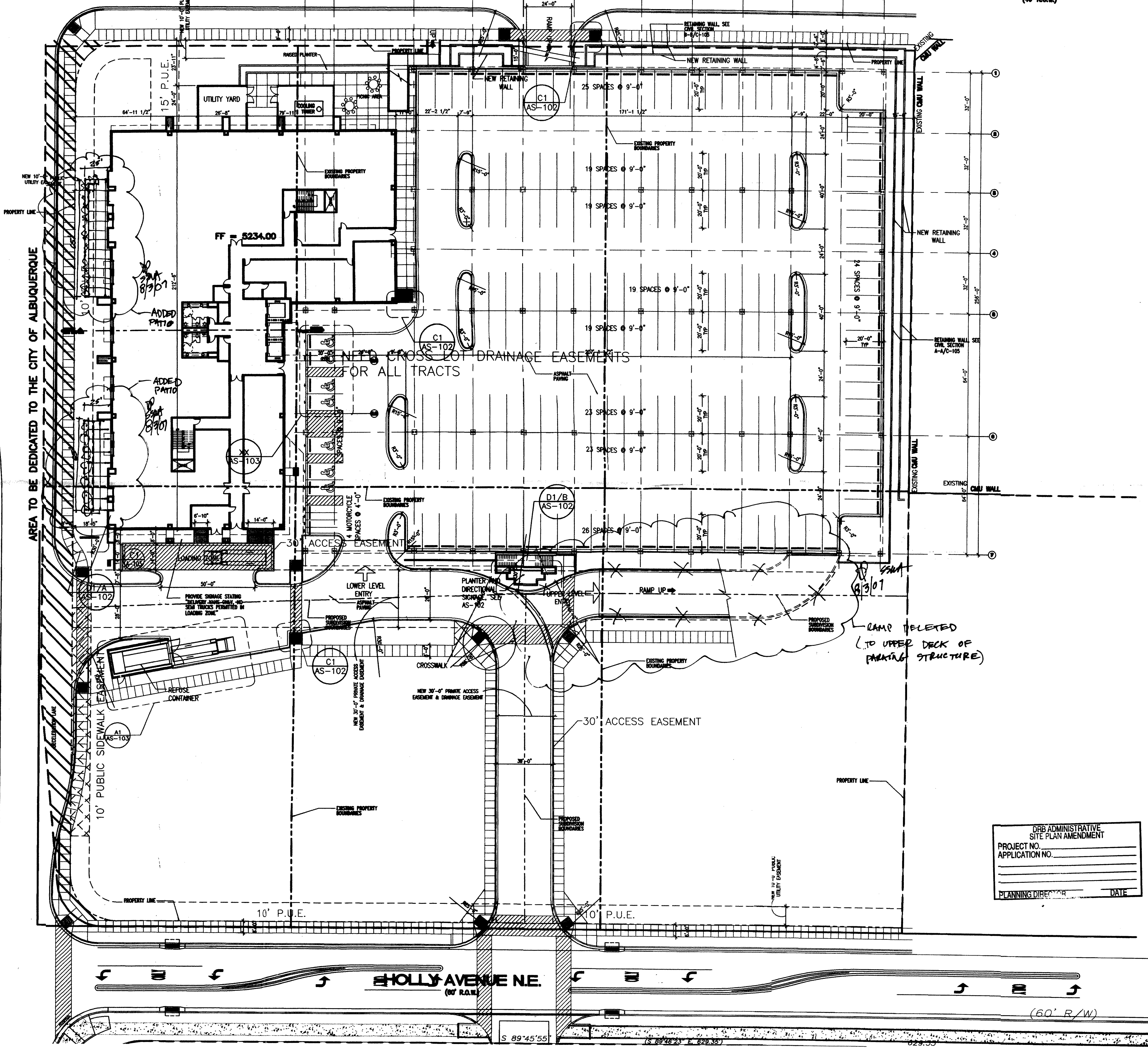
sheet of sheets

SAN PEDRO DRIVE (60' R.O.W.)

SAN PEDRO DRIVE N.E. (60' R.O.W.)

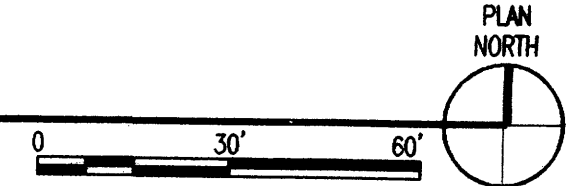
CARMEL AVENUE N.E. (60' R.O.W.)

CARMEL AVENUE N.E. (48' R.O.W.)



A1 OVERALL SITE PLAN, BASEMENT LEVEL
SCALE: 1"=30'-0"

DRB ADMINISTRATIVE
SITE PLAN AMENDMENT
PROJECT NO. _____
APPLICATION NO. _____
PLANNING DIRECTOR _____ DATE _____



GENERAL NOTES

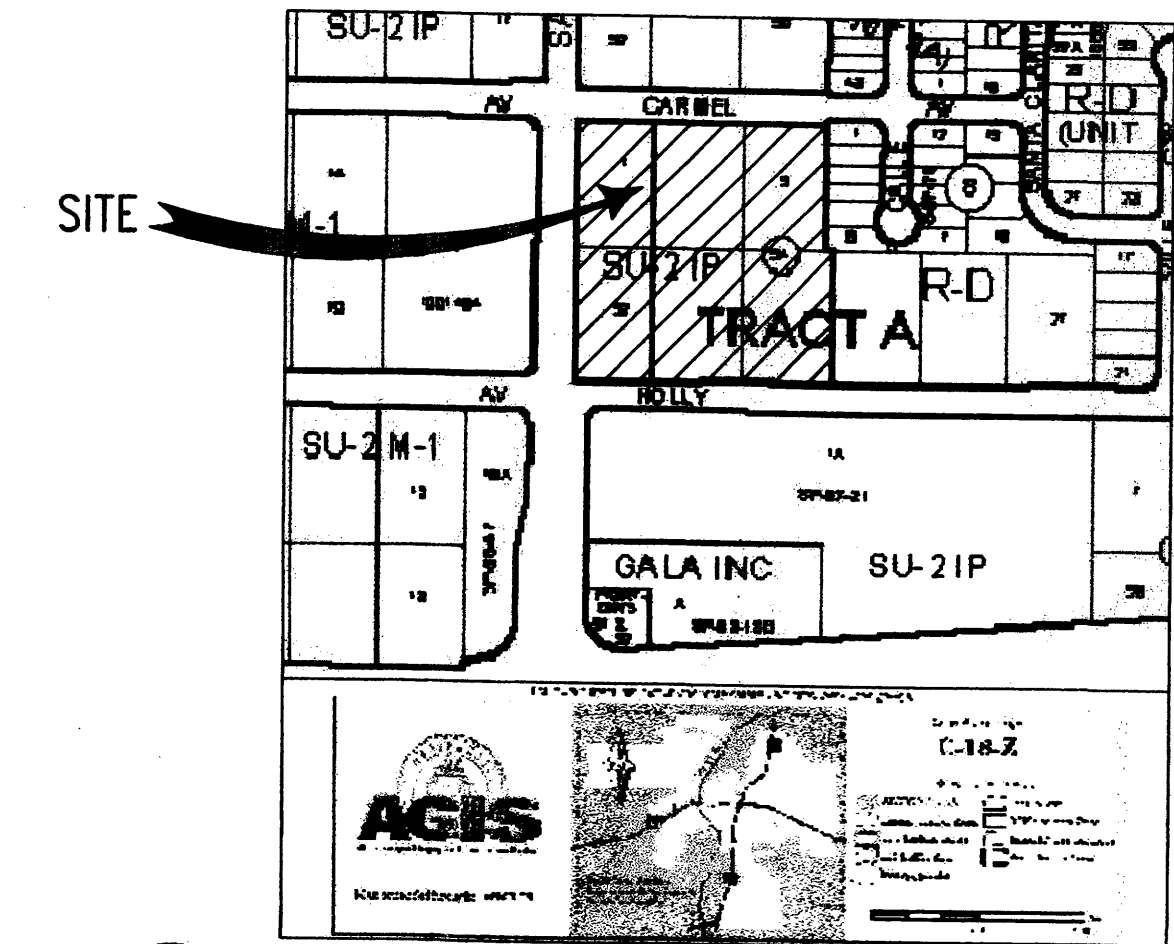
1. PROVIDE ONE H.C. RESERVED PARKING SIGN AT EACH H.C. PARKING SPACE, PER DETAIL A4/AS-403.

SITE CALCULATIONS

BUILDING SQUARE FOOTAGE	PARKING SPACES REQUIRED
BASEMENT FLOOR TOTAL GROSS SF = 25,723 SF	1 SPACE @ 1 SPACE/2,000 SF
BASEMENT FLOOR TOTAL USEABLE SF STORAGE = 2,518 SF	76 SPACES @ 1 SPACE/200 SF
BASEMENT FLOOR TOTAL USEABLE SF OFFICE = 15,100	
2ND FLOOR TOTAL GROSS SF = 25,100 SF	109 SPACES @ 1 SPACE/200 SF
2ND FLOOR TOTAL USEABLE SF = 21,762 SF	
3RD FLOOR TOTAL GROSS SF = 23,765 SF	67 SPACES @ 1 SPACE/300 SF
3RD FLOOR TOTAL USEABLE SF = 19,767 SF	
4TH FLOOR TOTAL GROSS SF = 24,545 SF	70 SPACES @ 1 SPACE/300 SF
4TH FLOOR TOTAL USEABLE SF = 21,007 SF	
5TH FLOOR TOTAL GROSS SF = 24,336 SF	69 SPACES @ 1 SPACE/300 SF
5TH FLOOR TOTAL USEABLE SF = 20,710 SF	
TOTAL REQUIRED = 392 SPACES	
(368 REGULAR, 24 SMALL) TOTAL PROVIDED = 392 SPACES	
HC REQUIRED = 12 SPACES	
HC PROVIDED = 14 SPACES	
MOTORCYCLE REQUIRED = 6 SPACES	
MOTORCYCLE PROVIDED = 6 SPACES	
BICYCLE RACKS REQUIRED = 19	
BICYCLE RACKS PROVIDED = 20	

SITE DATA

- TOTAL SITE AREA, LESS 60' R.O.W. FOR SAN PEDRO AND HOLLY OFFICE COMPLEX = 209,811 SF (4.82 ACRES)
- BUILDING FOOTPRINT = 25,500 SF (12% OF SITE, MAX F.A.R. IS 50%)
- FRONT YARD SETBACK (CARMEL AVE.) = 20' MIN.
- SIDE YARD SETBACK (SAN PEDRO DR.) = 10' MIN.
- REAR YARD SETBACK = 10' MIN.
- MAXIMUM BUILDING HEIGHT = 45' FROM R.O.W., 120' MAX
- PARKING STRUCTURE OPEN AREA PERCENTAGES
 - NORTH SIDE PERCENTAGE OF OPEN AREA = 72% OPEN
 - EAST SIDE PERCENTAGE OF OPEN AREA = 69% OPEN
 - SOUTH SIDE PERCENTAGE OF OPEN AREA = 69% OPEN
 - WEST SIDE PERCENTAGE OF OPEN AREA = 19% OPEN
 - TOTAL PERCENTAGE OF OPEN AREA = 56% OPEN



VICINITY MAP

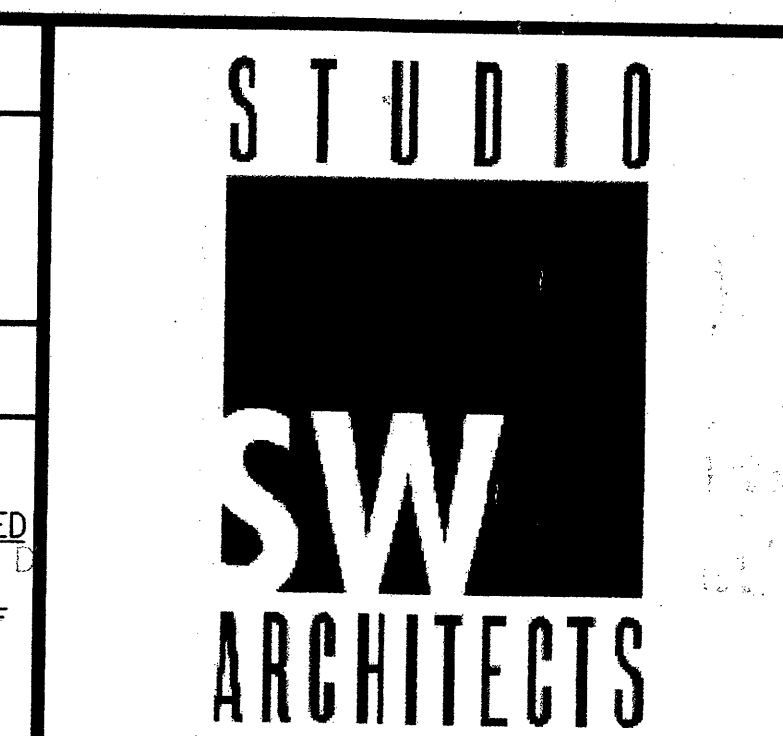
PROJECT NUMBER: 1004974
APPLICATION NUMBER: 06028-00885

Is an Infrastructure List required? Yes () No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

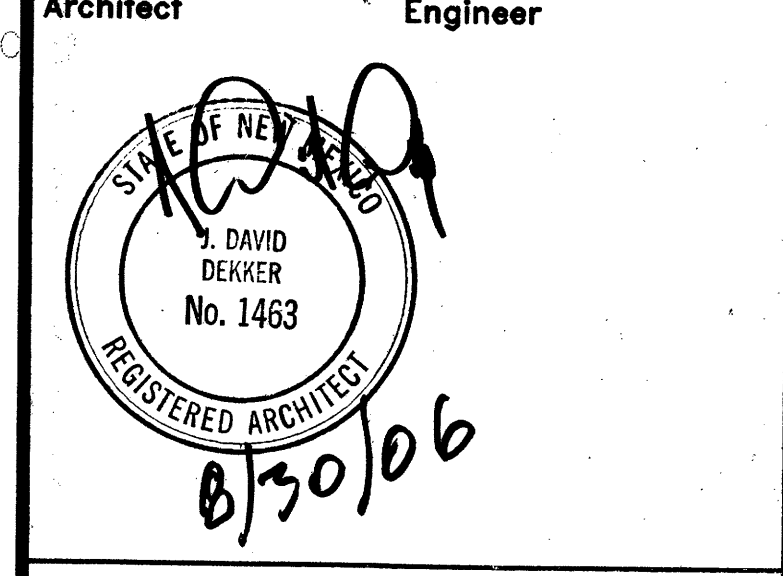
Signature	Date
<i>John S. ...</i>	8-30-06
<i>Roger A. ...</i>	8/30/06
<i>Christina Sandoval</i>	8/30/06
<i>Bradley L. Binjan</i>	1/4/07
N/A	
N/A	
<i>Richard ...</i>	1-4-07

* Environmental Health Department (conditional) Date _____
* Environmental Health, if necessary



CONSULTANTS

Architect: _____
Engineer: _____



PASEO NUEVO
SAN PEDRO & HOLLY
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0424
CAD DWG FILE:		0424A-SPOO
DRAWN BY:		MO
CHECKED BY:		DD
DATE:		8/30/06

SHEET TITLE
OVERALL SITE PLAN
FOR BUILDING PERMIT,
BASEMENT LEVEL

AS-100
sheet of sheets

A-201
Sheet of sheets

BUILDING ELEVATIONS

PROJECT NO.	
DATE	2/14/07
DESIGNER	DD
CLIENT	DGP
PROJECT NAME	0424-201 DWG
SCALE	AS SHOWN
CONSTRUCTION ISSUE SET	
ISSUE NO.	
ISSUE DATE	
ISSUE DESCRIPTION	
1/29/09 CITY SIGN PERMIT	
2/14/07 CONSTRUCTION SET	

DATE: 09 SF, 14.43 SF, 7.03 SF
 ELEVATION: SIGNAGE SF, TOTAL FRAME SF, MFR

○ SIGNAGE CALCULATIONS

1. STD WORN KEY (FIELD COLOR) #10022, EPS SYSTEM
2. STD WORN CORNER (ACCENT COLOR) #10700, EPS SYSTEM
3. EPS SYSTEM
4. EXTRUSION CLADDING
5. METAL FRAMING
6. METAL BRACKETING
7. SPONGEL CLADDING
8. FINISHED METAL PANEL, ANODIZED COLOR TO MATCH WALKWAYS
9. ENTRY SIGN
10. METAL SIGN PANEL, TYPE
11. METAL SIGN PANEL, TYPE
12. CORNER SIGN PANEL, ANODIZED COLOR TO MATCH CHAMPAGNE
13. MESH SCREEN, ALUMINUM LOUVER PANELS TO MATCH CHAMPAGNE
14. FINISH OF SIGNAGE AND WINDOW FRAMES
15. STAIR TOWER WITH ROOF ACCESS

○ SHEET KEYNOTES

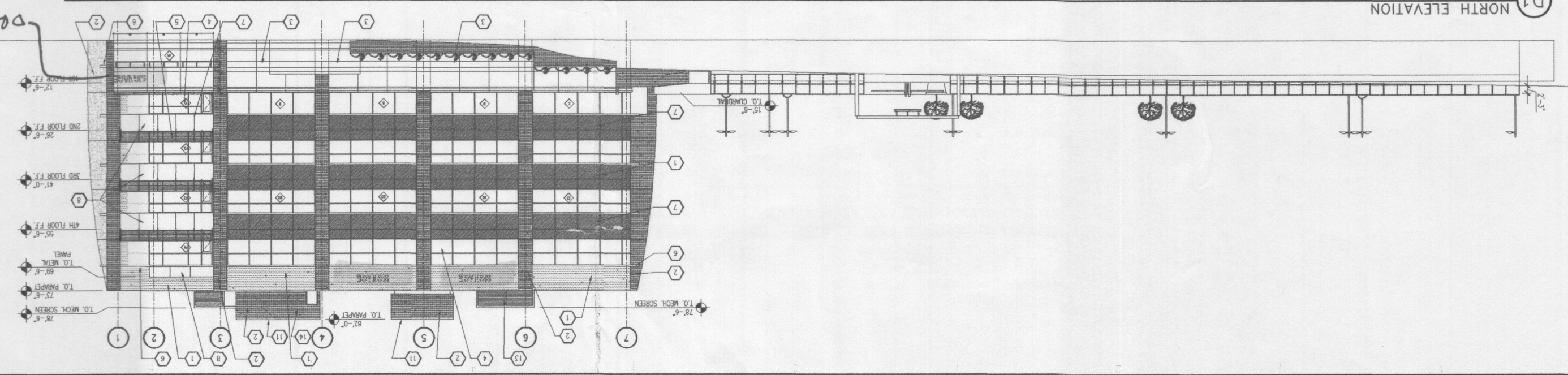
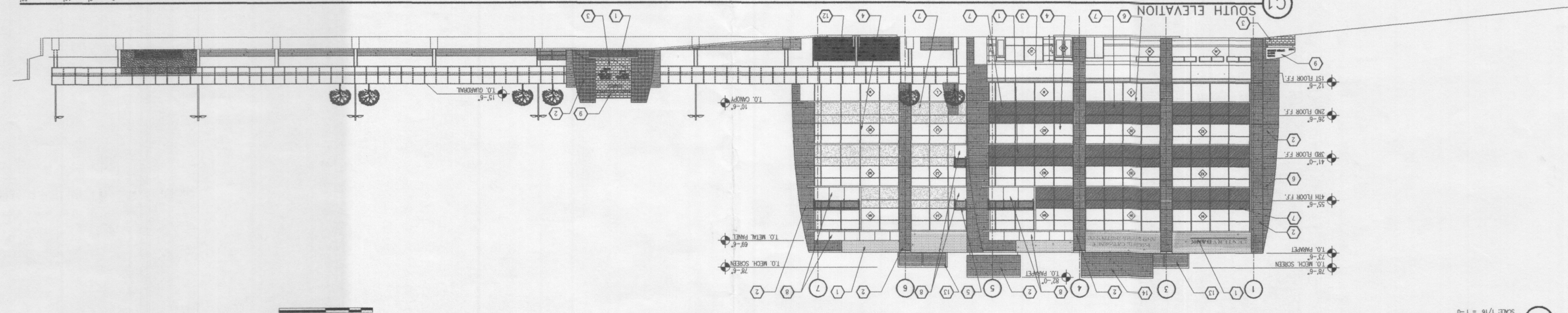
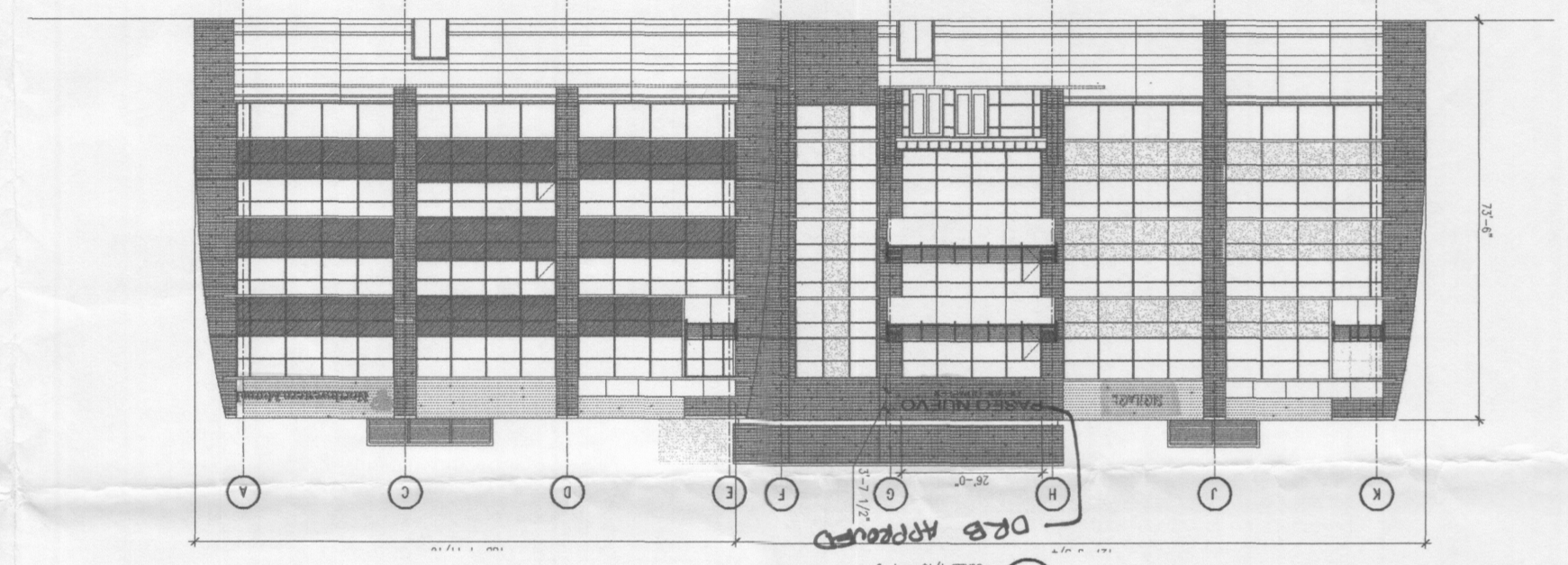
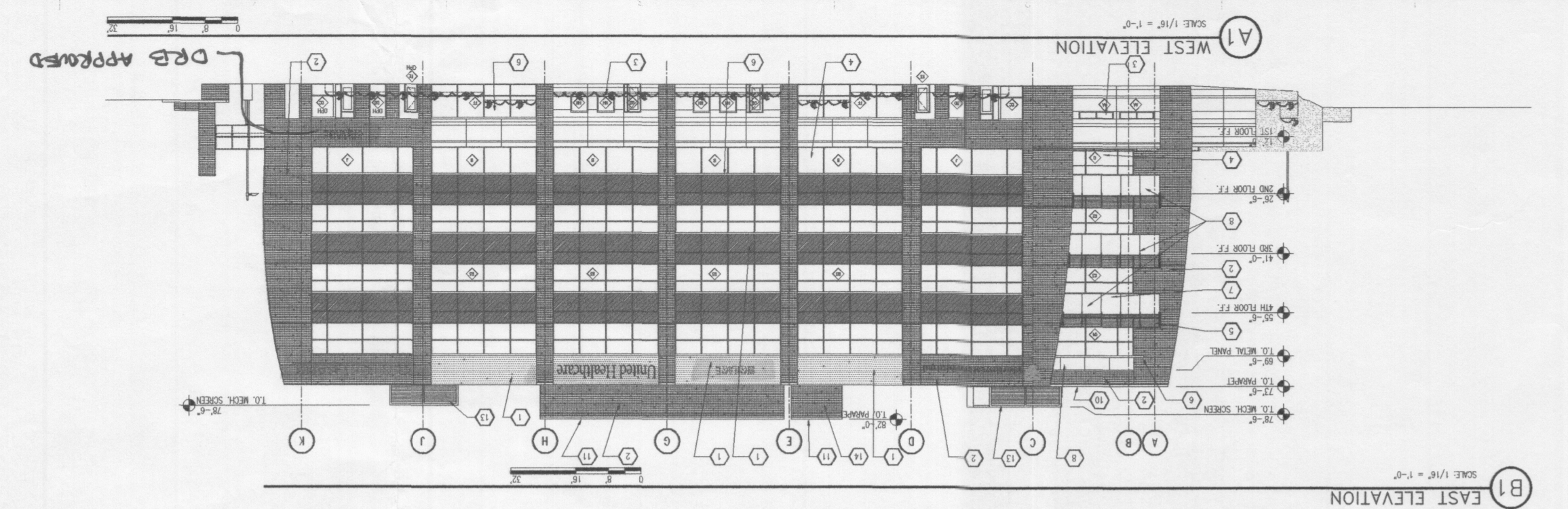
8220 SAN PEDRO DR NE
 ALBUQUERQUE, NM 87113
 PASO NUEVO
 OFFICE
 COMPLEX



STUDIO SW ARCHITECTS
 2101 Mountain Rd. NW, Albuquerque, NM 87104
 505.462.8829 or 505.462.8800
 Web Site: www.studiosw.com
 E-Mail: info@studiosw.com

GENERAL NOTES

1. ALL FRAMEWORK TO BE RIGID ALUMINUM FINISH. SEE RIGID AND COLOR OF FINISH TO MATCH SIGNAGE.
2. SUBMIT TO CITY FOR SIGN PERMIT.



1004974