

LOCATION MAP ZONE ATLAS SHEET A-12  
SCALE 1" = 750' +/-

**TREASURER'S CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# \_\_\_\_\_  
PROPERTY OWNER OF RECORD: \_\_\_\_\_

BERNALILLO COUNTY TREASURER'S OFFICE: \_\_\_\_\_

**PUBLIC UTILITY EASEMENT APPROVALS**

QWEST COMMUNICATIONS	DATE
PUBLIC SERVICE CO. OF NEW MEXICO	DATE
NEW MEXICO GAS CO.	DATE
COMCAST CABLE	DATE

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAN ARE GRANTED FOR COMMON AND JOINT USE OF:  
1. PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.

2. NEW MEXICO GAS COMPANY FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICE.

3. QWEST COMMUNICATIONS FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO, ABOVE GROUND PEDESTALS AND CLOSURES.

4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS, TO, FROM AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD DECKING OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATION OF THE NATIONAL ELECTRIC OR SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO, OR WITHIN, OR NEAR EASEMENTS SHOWN ON THIS PLAT.

**LEGAL DESCRIPTION**

A PARCEL OF LAND SITUATED IN SECTION 1, T11N, R2E, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO; SAID PARCEL BEING THE SAME AS TRACT A-1-A, B-1-A, B-1-B & C-1-A OF BLACK ARROYO DAM, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 16, 2007 IN BK. 2007C. PG. 190 AND MORE PARTICULARLY DESCRIBED USING NEW MEXICO STATE PLANE BEARINGS (CENTRAL ZONE) AND HORIZONTAL GROUND DISTANCES AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED, FROM WHENCE THE MONUMENT ACS 1-E11 BEARS N44°58'42"E A DISTANCE OF 1387.61 FEET; THENCE,

S89°49'54"E, 461.71 feet along the south right-of-way of Westside Blvd. NW to a point; thence,

Southeasterly, 7.61 feet along the arc of a curve right, said curve having a radius of 25.00 feet and a long chord bearing S20°02'36"E a distance of 6.98 feet; thence,

S89°49'54"E, 430.25 feet to a point; thence,

Southeasterly, 39.79 feet along the arc of a curve right, said curve having a radius of 25.00 feet and a long chord bearing S44°47'23"E a distance of 35.72 feet and transitioning from the south right-of-way of Westside Blvd. NW to the west right-of-way of Golf Course Rd. NW; thence,

S00°15'59"W, 161.47 feet to a point; thence

Southeasterly, 316.27 feet along the arc of a curve left, said curve having a radius of 696.46 feet and a long chord bearing S12°42'26"E a distance of 313.55 feet; thence,

Southeasterly, 316.27 feet along the arc of a curve left, said curve having a radius of 696.46 feet and a long chord bearing S12°42'26"E a distance of 313.55 feet; thence,

Southwesterly, 42.24 feet along the arc of a curve right, said curve having a radius of 25.00 feet and a long chord bearing S22°36'06"W a distance of 35.72; thence,

S18°59'54"E, 56.00 feet to a point; thence

Southeasterly, 41.18 feet along the arc of a curve right, said curve having a radius of 25.00 feet and a long chord bearing S61°48'42"E a distance of 36.68 feet; thence,

Southeasterly, 194.09 feet along the arc of a curve right, said curve having a radius of 747.37 feet and a long chord bearing S07°19'54"E a distance of 193.54 feet; thence,

S00°18'44"W, 192.09 feet to a point; thence

S01°24'18"E, 137.86 feet to a point; thence departing from the west right-of-way of Golf Course Rd. NW,

N89°03'34"W, 110.48 feet to a point; thence

N51°39'41"W, 125.84 feet to a point; thence

N31°48'38"E, 101.07 feet to a point; thence

N58°05'54"W, 78.01 feet to a point; thence

N29°53'57"E, 71.20 feet to a point; thence

N46°38'43"W, 554.44 feet to a point; thence

N42°49'25"W, 678.39 FEET TO A POINT, SAID POINT BEING THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 11.9554 ACRES MORE OR LESS.

**SURVEYOR'S CERTIFICATION**

I, JEAN J. BORDENAVE, A REGISTERED PROFESSIONAL ENGINEER AND LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION; MEETS THE MINIMUM REQUIREMENTS OF MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS EASEMENTS OF RECORD AND/OR INDICATED IN TITLE COMMITMENT NO. FT000120470, DATED FEBRUARY 19, 2007, ISSUED BY FIDELITY NATIONAL TITLE CO. AND OR MADE KNOWN TO ME BY THE OWNERS; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JEAN J. BORDENAVE, NMPE&LS NO. 5110



PLAT OF  
**TRACTS A-1-A-1, B-1-A-1 & B-1-A-2**  
**BLACK ARROYO DAM**

ALBUQUERQUE, NEW MEXICO

AUGUST, 2013

**APPROVALS**

PROJECT NO: 1004976 APPLICATION NO: 13DRB-

CITY OF ALBUQUERQUE SURVEYOR	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
ABCWUA	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

**DISCLOSURE STATEMENT**

THE PURPOSE OF THIS PLAT IS TO: REDEFINE THE INTERNAL LOT LINES BETWEEN TRACTS, REDEFINE THE AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC UTILITY EASEMENT TO CONFORM TO THE AS-BUILT INFRASTRUCTURE AND GRANT PUBLIC UTILITY EASEMENTS FOR GAS, POWER AND COMMUNICATIONS.

**FREE CONSENT AND DEDICATION**

THE SUBDIVISION OF THE LAND DESCRIBED ON THIS PLAT IS WITH THE FREE CONSENT OF AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS OF THE LAND. THE OWNERS DO HEREBY:

WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED,

GRANT SPECIFIC SURFACE AND SUBSURFACE POWER, GAS, WATER, SEWER AND COMMUNICATION EASEMENTS AS DELINEATED ON THIS PLAT;

ACKNOWLEDGE EXISTING EASEMENTS AS SHOWN ON THIS PLAT;

STATE THAT THIS SUBDIVISION LIES WITHIN THE SUBDIVISION REGULATION JURISDICTION OF THE CITY OF ALBUQUERQUE, NEW MEXICO.

IN ADDITION THE OWNER OF TRACTS D AND E DOES HEREBY DEDICATE PUBLIC RIGHTS-OF-WAY, SHOWN HEREON, IN FEE SIMPLE WITH WARRANTY COVENANTS TO THE CITY OF ALBUQUERQUE.

**TRACTS D & E (CALABACILLAS GROUP, A NEW MEXICO GENERAL PARTNERSHIP)**

DONALD. D. HARVILLE, GENERAL PARTNER

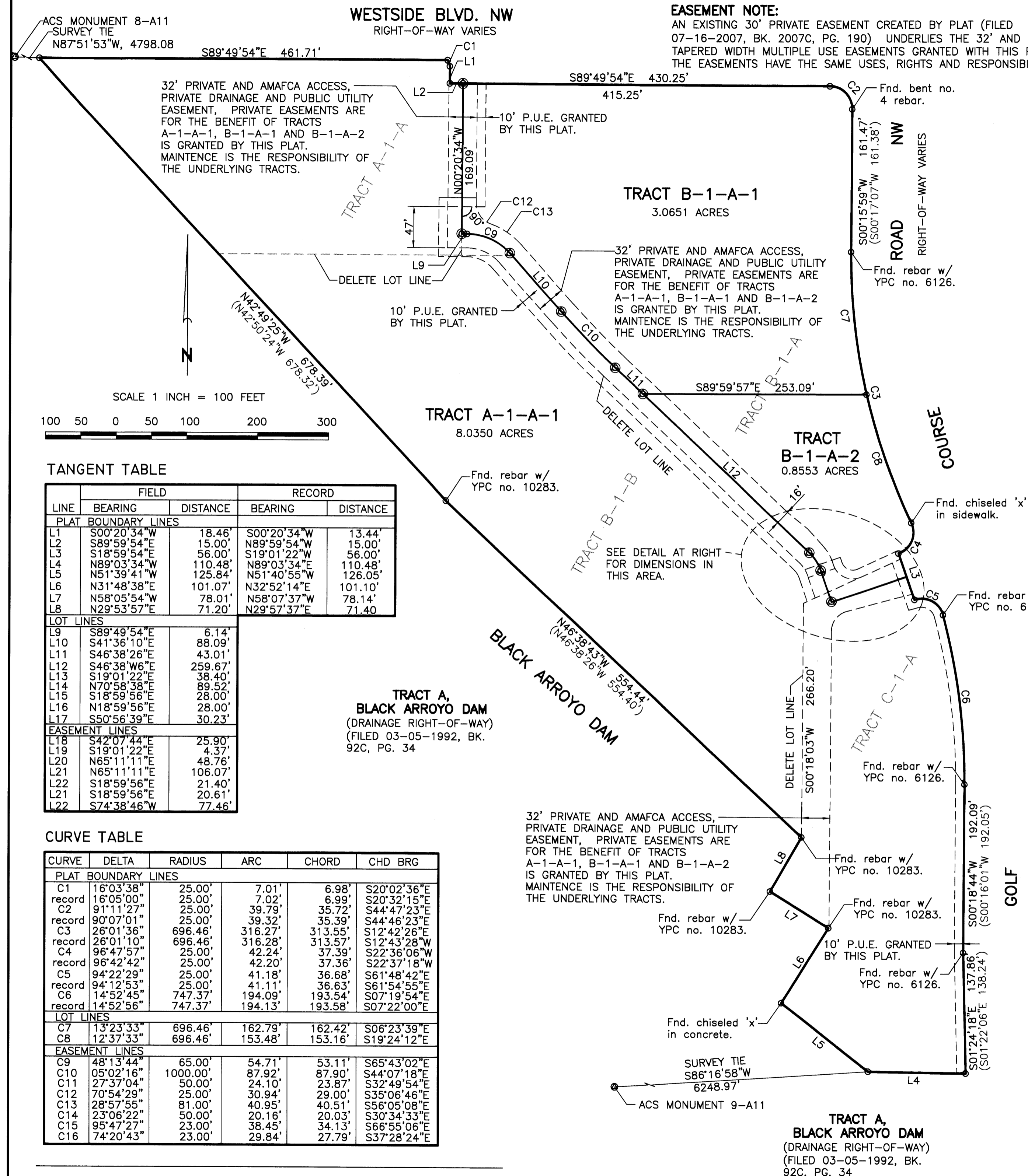
STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) SS  
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON \_\_\_/\_\_\_/\_\_\_ BY  
\_\_\_\_\_, GENERAL PARTNER.

NOTARY PUBLIC: \_\_\_\_\_

**B BORDENAVE DESIGNS**  
P.O. BOX 91194, ALBUQUERQUE, NM 87199  
(505)823-1344 FAX (505)821-9105

PLAT OF  
**TRACTS A-1-A-1, B-1-A-1 & B-1-A-2**  
**BLACK ARROYO DAM**  
 ALBUQUERQUE, NEW MEXICO  
 AUGUST, 2013

**EASEMENT NOTE:**  
 AN EXISTING 30' PRIVATE EASEMENT CREATED BY PLAT (FILED 07-16-2007, BK. 2007C, PG. 190) UNDERLIES THE 32' AND TAPERED WIDTH MULTIPLE USE EASEMENTS GRANTED WITH THIS PLAT. THE EASEMENTS HAVE THE SAME USES, RIGHTS AND RESPONSIBILITIES.



**TANGENT TABLE**

LINE	FIELD		RECORD	
	BEARING	DISTANCE	BEARING	DISTANCE
<b>PLAT BOUNDARY LINES</b>				
L1	S00°20'34"W	18.46'	S00°20'34"W	13.44'
L2	S89°59'54"E	15.00'	N89°59'54"W	15.00'
L3	S18°59'54"E	56.00'	S19°01'22"W	56.00'
L4	N89°03'34"W	110.48'	N89°03'34"E	110.48'
L5	N51°39'41"W	125.84'	N51°40'55"W	126.05'
L6	N31°48'38"E	101.07'	N32°52'14"E	101.10'
L7	N58°05'54"W	78.01'	N58°07'37"W	78.14'
L8	N29°53'57"E	71.20'	N29°57'37"E	71.40'
<b>LOT LINES</b>				
L9	S89°49'54"E	6.14'		
L10	S41°36'10"E	88.09'		
L11	S46°38'26"E	43.01'		
L12	S46°38'W6"E	259.67'		
L13	S19°01'22"E	38.40'		
L14	N70°58'38"E	89.52'		
L15	S18°59'56"E	28.00'		
L16	N18°59'56"E	28.00'		
L17	S50°56'39"E	30.23'		
<b>EASEMENT LINES</b>				
L18	S42°07'44"E	25.90'		
L19	S19°01'22"E	4.37'		
L20	N65°11'11"E	48.76'		
L21	N65°11'11"E	106.07'		
L22	S18°59'56"E	21.40'		
L21	S18°59'56"E	20.61'		
L22	S74°38'46"W	77.46'		

**CURVE TABLE**

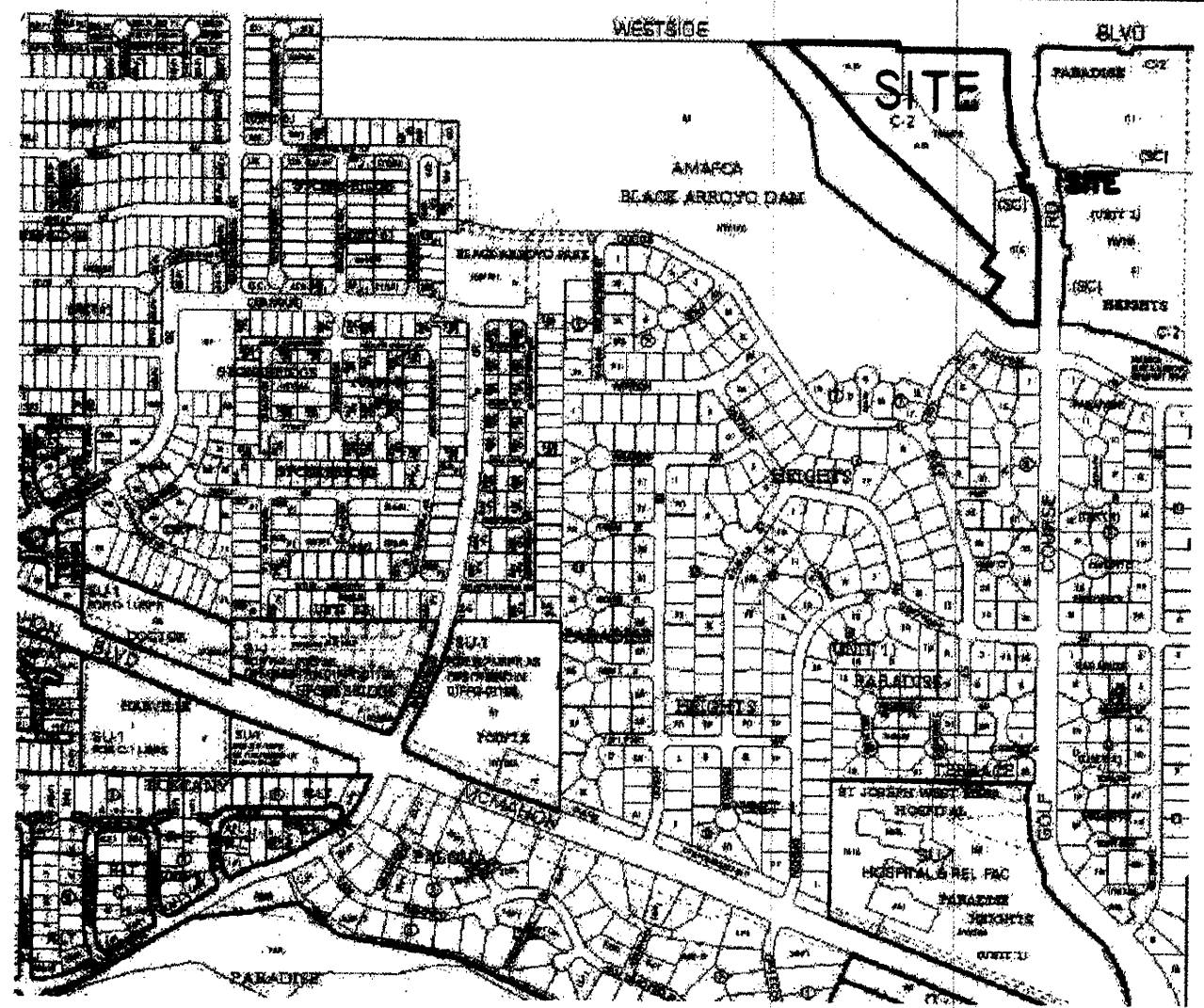
CURVE	DELTA	RADIUS	ARC	CHORD	CHD BRG
<b>PLAT BOUNDARY LINES</b>					
C1	16°03'38"	25.00'	7.01'	6.98'	S20°02'36"E
record	16°05'00"	25.00'	7.02'	6.99'	S20°32'15"E
C2	91°11'27"	25.00'	39.79'	35.72'	S44°47'23"E
record	90°07'01"	25.00'	39.32'	35.39'	S44°46'23"E
C3	26°01'36"	696.46'	316.27'	313.55'	S12°42'26"E
record	26°01'10"	696.46'	316.28'	313.57'	S12°43'28"W
C4	96°47'57"	25.00'	42.24'	37.39'	S22°36'06"W
record	96°42'42"	25.00'	42.20'	37.36'	S22°37'18"W
C5	94°22'29"	25.00'	41.18'	36.68'	S61°48'42"E
record	94°12'53"	25.00'	41.11'	36.63'	S61°54'55"E
C6	14°52'45"	747.37'	194.09'	193.54'	S07°19'54"E
record	14°52'56"	747.37'	194.13'	193.58'	S07°22'00"E
<b>LOT LINES</b>					
C7	13°23'33"	696.46'	162.79'	162.42'	S06°23'39"E
C8	12°37'33"	696.46'	153.48'	153.16'	S19°24'12"E
<b>EASEMENT LINES</b>					
C9	48°13'44"	65.00'	54.71'	53.11'	S65°43'02"E
C10	05°02'16"	1000.00'	87.92'	87.90'	S44°07'18"E
C11	27°37'04"	50.00'	24.10'	23.87'	S32°49'54"E
C12	70°54'29"	25.00'	30.94'	29.00'	S35°06'46"E
C13	28°57'55"	81.00'	40.95'	40.51'	S56°05'08"E
C14	23°06'22"	50.00'	20.16'	20.03'	S30°34'33"E
C15	95°47'27"	23.00'	38.45'	34.13'	S66°55'06"E
C16	74°20'43"	23.00'	29.84'	27.79'	S37°28'24"E

**NOTES**

- MILES OF FULL WIDTH PRIVATE STREETS CREATED BY THIS PLAT: 0.0000
- CURRENT ZONING OF ALL LOTS: C2 (SC).
- TOTAL NUMBER OF LOTS CREATED: 3
- BASIS OF BEARINGS (NEW MEXICO STATE PLANE, CENTRAL ZONE, NAD1988, NGVD 1983)
 

ACS 8-A11	X = 1,507,071.174	MAPPING ANGLE - 00°15'26.89"
	Y = 1,534,934.957	GROUND TO GRID
	ELEVATION = 5283.030	FACTOR - 0.999671590
ACS 9-A11	X = 1,507,287.119	MAPPING ANGLE - 00°15'30.20"
	Y = 1,509,268.080	GROUND TO GRID
	ELEVATION = 5301.647	FACTOR - 0.999670857
KOAT TVTT	X = 1,580,452.068	MAPPING ANGLE - NA
	Y = 1,533,533.274	GROUND TO GRID
	ELEVATION = NA	FACTOR - NA
- ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
- FOUND MONUMENTS ARE DESCRIBED ON THE PLAT DRAWING.
- MONUMENTS SET ON LOT CORNERS ARE 5/8" REBARs WITH RED OR YELLOW PLASTIC CAPS STAMPED "BORDENAVE, LS 5110" UNLESS SHOWN OTHERWISE ON THE PLAT DRAWING.
- STREET CENTERLINE MONUMENTATION IS INSTALLED AT STREET INTERSECTIONS AND POINTS OF CURVATURE. MONUMENT ARE SHOWN THUS ⊙ ON THE PLAT DRAWING. MONUMENTS ARE 4" ALUMINUM DISCS STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT, DO NOT DISTURB, LS 5110".
- NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON THE BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THE PROPOSED PLAT. THE FORGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

**B BORDENAVE DESIGNS**  
 P.O. BOX 91194, ALBUQUERQUE, NM 87199  
 (505)823-1344 FAX (505)821-9105



LOCATION MAP ZONE ATLAS SHEET A-12 SCALE 1" = 750' +/-

**TREASURER'S CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# See parcels listed  
 PROPERTY OWNER OF RECORD: Calabacillas Group  
 BERNALILLO COUNTY TREASURER'S OFFICE: [Signature] 8/15/13

**PUBLIC UTILITY EASEMENT APPROVALS**

<u>[Signature]</u> QWEST COMMUNICATIONS /d/b/a CENTURYLINK	<u>8/14/13</u> DATE
<u>[Signature]</u> PUBLIC SERVICE CO. OF NEW MEXICO	<u>8-14-13</u> DATE
<u>[Signature]</u> NEW MEXICO GAS CO.	<u>8/13/2013</u> DATE
<u>[Signature]</u> COMCAST CABLE	<u>8/14/13</u> DATE

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of: PUBLIC SERVICE COMPANY OF NEW MEXICO ((PNM), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services  
 NEW MEXICO GAS COMPANY for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.  
 QWEST for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services.  
 CABLE TV for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable services.  
 Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of the transformer/switchgear doors and five (5) feet on each side.

Disclaimer  
 In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**LEGAL DESCRIPTION**

A PARCEL OF LAND SITUATED IN PROJECTED SECTION 1, T11N, R2E, N.M.P.M., TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO; SAID PARCEL BEING THE SAME AS TRACT A-1-A, B-1-A, B-1-B & C-1-A OF BLACK ARROYO DAM, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 16, 2007 IN BK. 2007C. PG. 190 AND MORE PARTICULARLY DESCRIBED USING NEW MEXICO STATE PLANE BEARINGS (CENTRAL ZONE) AND HORIZONTAL GROUND DISTANCES AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED, FROM WHENCE THE MONUMENT ACS 1-E11 BEARS N87°50'09"W A DISTANCE OF 4799.34 FEET; THENCE,

S89°49'54"E, 461.71 feet along the south right-of-way of Westside Blvd. NW to a point; thence,

Southeasterly, 7.01 feet along the arc of a curve right, said curve having a radius of 25.00 feet and a long chord bearing S2°02'36"E a distance of 6.98 feet; thence,

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I, JEAN J. BORDENAVE, A REGISTERED PROFESSIONAL ENGINEER AND LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION; MEETS THE MINIMUM REQUIREMENTS OF MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS EASEMENTS OF RECORD AND/OR INDICATED IN TITLE COMMITMENT NO. FT000120470, DATED FEBRUARY 19, 2007, ISSUED BY FIDELITY NATIONAL TITLE CO. AND OR MADE KNOWN TO ME BY THE OWNERS; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature] 08/13/13  
 JEAN J. BORDENAVE, NMPE&LS NO. 5110



DOCH 2013091099  
 08/15/2013 09:17 AM Page: 1 of 2  
 City: PLAT R: 528, 00 B: 2013C P: 0096 M: Toulous Olivere, Bernalillo Co. NM

PLAT OF  
**TRACTS A-1-A-1, B-1-A-1 & B-1-A-2**  
**BLACK ARROYO DAM**

ALBUQUERQUE, NEW MEXICO  
 AUGUST, 2013

**APPROVALS**

PROJECT NO: 1004976 APPLICATION NO: 13DRB-70650

<u>[Signature]</u> CITY OF ALBUQUERQUE SURVEYOR	<u>8-14-13</u> DATE
<u>[Signature]</u> PARKS AND RECREATION DEPARTMENT	<u>8-14-13</u> DATE
<u>[Signature]</u> AMAFCA	<u>8-14-13</u> DATE
<u>[Signature]</u> CITY ENGINEER	<u>08/14/13</u> DATE
<u>[Signature]</u> ABCWU	<u>08-14-13</u> DATE
<u>[Signature]</u> TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	<u>8-14-13</u> DATE
<u>[Signature]</u> DRB CHAIRPERSON, PLANNING DEPARTMENT	<u>8-14-13</u> DATE

**DISCLOSURE STATEMENT**

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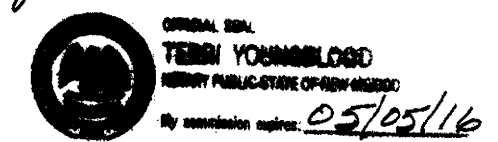
IN ADDITION THE OWNER OF TRACTS D AND E DOES HEREBY DEDICATE PUBLIC RIGHTS-OF-WAY, SHOWN HEREON, IN FEE SIMPLE WITH WARRANTY COVENANTS TO THE CITY OF ALBUQUERQUE.

**CALABACILLAS GROUP, A NEW MEXICO GENERAL PARTNERSHIP**

[Signature]  
 DONALD D. HARVILLE, GENERAL PARTNER

STATE OF NEW MEXICO } SS  
 COUNTY OF BERNALILLO }  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 08/13/13 BY  
DONALD D. HARVILLE, GENERAL PARTNER.

NOTARY PUBLIC: [Signature]



**B BORDENAVE DESIGNS**  
 P.O. BOX 91194, ALBUQUERQUE, NM 87199  
 (505)823-1344 FAX (505)821-9105

831-3349

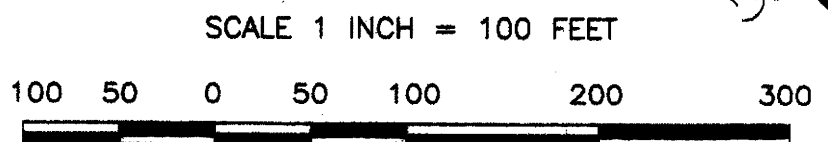
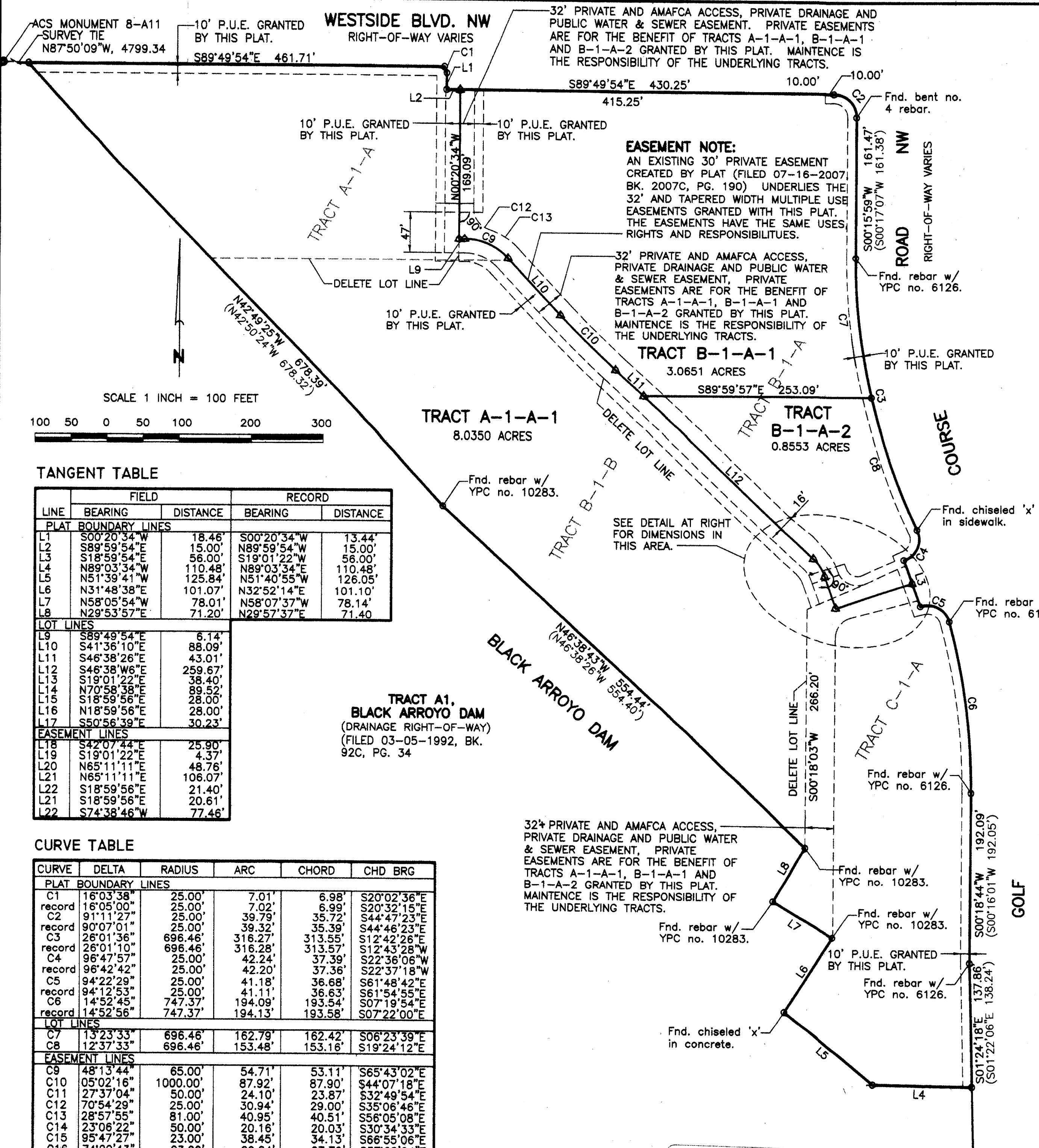
Maria Louto 804-4650

3402  
 3964

PLAT OF  
**TRACTS A-1-A-1, B-1-A-1 & B-1-A-2**  
**BLACK ARROYO DAM**  
 ALBUQUERQUE, NEW MEXICO  
 AUGUST, 2013

**EASEMENT NOTE:**  
 AN EXISTING 30' PRIVATE EASEMENT CREATED BY PLAT (FILED 07-16-2007, BK. 2007C, PG. 190) UNDERLIES THE 32' AND TAPERED WIDTH MULTIPLE USE EASEMENTS GRANTED WITH THIS PLAT. THE EASEMENTS HAVE THE SAME USES, RIGHTS AND RESPONSIBILITIES.

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TANGENT TABLE

LINE	FIELD		RECORD	
	BEARING	DISTANCE	BEARING	DISTANCE
<b>PLAT BOUNDARY LINES</b>				
L1	S00°20'34"W	18.46'	S00°20'34"W	13.44'
L2	S89°59'54"E	15.00'	N89°59'54"W	15.00'
L3	S18°59'54"E	56.00'	S19°01'22"W	56.00'
L4	N89°03'34"W	110.48'	N89°03'34"E	110.48'
L5	N51°39'41"W	125.84'	N51°40'55"W	126.05'
L6	N31°48'38"E	101.07'	N32°52'14"E	101.10'
L7	N58°05'54"W	78.01'	N58°07'37"W	78.14'
L8	N29°53'57"E	71.20'	N29°57'37"E	71.40'
<b>LOT LINES</b>				
L9	S89°49'54"E	6.14'		
L10	S41°36'10"E	88.09'		
L11	S46°38'26"E	43.01'		
L12	S46°38'W6"E	259.67'		
L13	S19°01'22"E	38.40'		
L14	N70°58'38"E	89.52'		
L15	S18°59'56"E	28.00'		
L16	N18°59'56"E	28.00'		
L17	S50°56'39"E	30.23'		
<b>EASEMENT LINES</b>				
L18	S42°07'44"E	25.90'		
L19	S19°01'22"E	4.37'		
L20	N65°11'11"E	48.76'		
L21	N65°11'11"E	106.07'		
L22	S18°59'56"E	21.40'		
L21	S18°59'56"E	20.61'		
L22	S74°38'46"W	77.46'		

CURVE TABLE

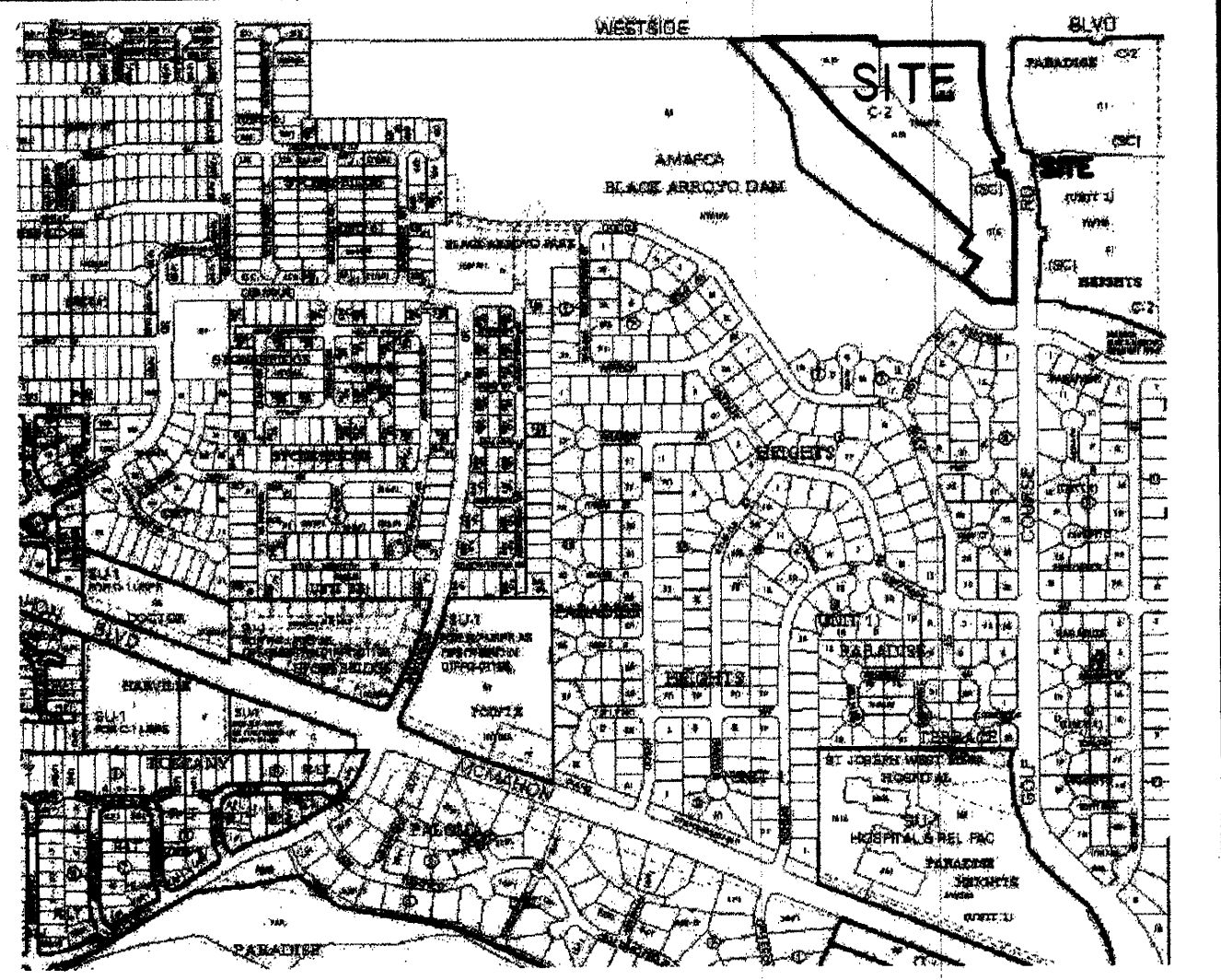
CURVE	DELTA	RADIUS	ARC	CHORD	CHD BRG
<b>PLAT BOUNDARY LINES</b>					
C1	16°03'38"	25.00'	7.01'	6.98'	S20°02'36"E
record	16°05'00"	25.00'	7.02'	6.99'	S20°32'15"E
C2	91°11'27"	25.00'	39.79'	35.72'	S44°47'23"E
record	90°07'01"	25.00'	39.32'	35.39'	S44°46'23"E
C3	28°01'36"	696.46'	316.27'	313.55'	S12°42'28"E
record	28°01'10"	696.46'	316.28'	313.57'	S12°43'28"W
C4	96°47'57"	25.00'	42.24'	37.39'	S22°36'06"W
record	96°42'42"	25.00'	42.20'	37.36'	S22°37'18"W
C5	94°22'29"	25.00'	41.18'	36.68'	S61°48'42"E
record	94°12'53"	25.00'	41.11'	36.63'	S61°54'55"E
C6	14°52'45"	747.37'	194.09'	193.54'	S07°19'54"E
record	14°52'56"	747.37'	194.13'	193.58'	S07°22'00"E
<b>LOT LINES</b>					
C7	13°23'33"	696.46'	162.79'	162.42'	S06°23'39"E
C8	12°37'33"	696.46'	153.48'	153.16'	S19°24'12"E
<b>EASEMENT LINES</b>					
C9	48°13'44"	65.00'	54.71'	53.11'	S65°43'02"E
C10	05°02'16"	1000.00'	87.92'	87.90'	S44°07'18"E
C11	27°37'04"	50.00'	24.10'	23.87'	S32°49'54"E
C12	70°54'29"	25.00'	30.94'	29.00'	S35°06'46"E
C13	28°57'55"	81.00'	40.95'	40.51'	S56°05'08"E
C14	23°06'22"	50.00'	20.16'	20.03'	S30°34'33"E
C15	95°47'27"	23.00'	38.45'	34.13'	S66°55'06"E
C16	74°20'43"	23.00'	29.84'	27.79'	S37°28'24"E

NOTES

- MILES OF FULL WIDTH PRIVATE STREETS CREATED BY THIS PLAT: 0.0000
  - CURRENT ZONING OF ALL LOTS: C2 (SC).
  - TOTAL NUMBER OF LOTS CREATED: 3
  - BASIS OF BEARINGS (NEW MEXICO STATE PLANE, CENTRAL ZONE, NAD1988, NGVD 1983)  
 ACS 8-A11  
 X = 1,507,071.174      MAPPING ANGLE - 00°15'26.89"  
 Y = 1,534,934.957      GROUND TO GRID  
 ELEVATION = 5283.030      FACTOR - 0.999671590  
 KOAT TVTT  
 X = 1,580,452.068      MAPPING ANGLE - NA  
 Y = 1,533,533.274      GROUND TO GRID  
 ELEVATION = NA      FACTOR - NA
  - ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
  - FOUND MONUMENTS ARE DESCRIBED ON THE PLAT DRAWING.
  - MONUMENTS SET ON LOT CORNERS ARE 5/8" REBARS WITH RED OR YELLOW PLASTIC CAPS STAMPED "BORDENAVE, LS 5110" UNLESS SHOWN OTHERWISE ON THE PLAT DRAWING.
  - LOT CORNERS ON THE STREET CENTERLINE ARE SHOWN THUS  $\Delta$  ON THE PLAT DRAWING. PHYSICAL MONUMENTS ARE A NAIL AND WASHER.
  - NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON THE BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THE PROPOSED PLAT. THE FORGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.
- FLOODPLAIN NOTE:**  
 TRACTS A-1-A-1, B-1-A-1 AND B-1-A-2 ARE IMPACTED BY FEMA DESIGNATED FLOOD HAZARD AREAS ZONED AO (ONE FOOT). SEE FEMA FIRM PANEL 350002-0108 FOR ADDITIONAL DETAILS.

DOCH 2013091099  
 08/15/2013 09:17 AM Page: 2 of 2  
 sty:PLAT R: \$25.00 B: 2013C P: 0096 M: Tulous Olivera, Bernalillo Co

**BORDENAVE DESIGNS**  
 P.O. BOX 91194, ALBUQUERQUE, NM 87199  
 (505)823-1344 FAX (505)821-9105



LOCATION MAP ZONE ATLAS SHEET A-12 SCALE 1" = 750' +/-

LEGAL DESCRIPTION

A PARCEL OF LAND SITUATED IN PROJECTED SECTION 1, T11N, R2E, N.M.P.M., TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO; SAID PARCEL BEING THE SAME AS TRACT A-1-A, B-1-A, B-1-B & C-1-A OF BLACK ARROYO DAM, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 16, 2007 IN BK. 2007C. PG. 190 AND MORE PARTICULARLY DESCRIBED USING NEW MEXICO STATE PLANE BEARINGS (CENTRAL ZONE) AND HORIZONTAL GROUND DISTANCES AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED, FROM WHENCE THE MONUMENT ACS 1-E11 BEARS N87°50'09"W A DISTANCE OF 4799.34 FEET; THENCE, S89°49'54"E, 461.71 feet along the south right-of-way of Westside Blvd. NW to a point; thence, Southeasterly, 7.01 feet along the arc of a curve right, said curve having a radius of 25.00 feet and a long chord bearing S20°02'36"E a distance of 6.98 feet; thence, S00°20'34"W, 18.46 feet to a point; thence, S89°49'54"E, 430.25 feet to a point; thence, Southeasterly, 39.79 feet along the arc of a curve right, said curve having a radius of 25.00 feet and a long chord bearing S44°47'23"E a distance of 35.72 feet and transitioning from the south right-of-way of Westside Blvd. NW to the west right-of-way of Golf Course Rd. NW; thence, S00°15'59"W, 161.47 feet to a point; thence, Southeasterly, 316.27 feet along the arc of a curve left, said curve having a radius of 696.46 feet and a long chord bearing S12°42'26"E a distance of 313.55 feet; thence, Southwesterly, 42.24 feet along the arc of a curve right, said curve having a radius of 25.00 feet and a long chord bearing S22°36'06"W a distance of 35.72; thence, S18°59'54"E, 56.00 feet to a point; thence, Southeasterly, 41.18 feet along the arc of a curve right, said curve having a radius of 25.00 feet and a long chord bearing S61°48'42"E a distance of 36.68 feet; thence, Southeasterly, 194.09 feet along the arc of a curve right, said curve having a radius of 747.37 feet and a long chord bearing S07°19'54"E a distance of 193.54 feet; thence, S00°18'44"W, 192.09 feet to a point; thence, S01°24'18"E, 137.86 feet to a point; thence departing from the west right-of-way of Golf Course Rd. NW, N89°03'34"W, 110.48 feet to a point; thence, N51°39'41"W, 125.84 feet to a point; thence, N31°48'38"E, 101.07 feet to a point; thence, N58°05'54"W, 78.01 feet to a point; thence, N29°53'57"E, 71.20 feet to a point; thence, N46°38'43"W, 554.44 feet to a point; thence, N42°49'25"W, 678.39 FEET TO A POINT, SAID POINT BEING THE POINT OF BEGINNING. SAID PARCEL CONTAINS 11.9554 ACRES MORE OF LESS.

PLAT OF TRACTS A-1-A-1, B-1-A-1 & B-1-A-2 BLACK ARROYO DAM ALBUQUERQUE, NEW MEXICO AUGUST, 2013

APPROVALS

Table with columns for Agency, Signature, and Date. Includes City of Albuquerque Surveyor, Parks and Recreation Department, AMAFCA, City Engineer, Traffic Engineering, Transportation Division, and DRB Chairperson.

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# See parcels listed. PROPERTY OWNER OF RECORD: Calabacillas Group. BERNALILLO COUNTY TREASURER'S OFFICE: [Signature] 8/15/13

PUBLIC UTILITY EASEMENT APPROVALS

Table with columns for Utility Company, Signature, and Date. Includes QWEST COMMUNICATIONS, PUBLIC SERVICE CO. OF NEW MEXICO, NEW MEXICO GAS CO., and COMCAST CABLE.

SURVEYOR'S CERTIFICATION

I, JEAN J. BORDENAVE, A REGISTERED PROFESSIONAL ENGINEER AND LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION; MEETS THE MINIMUM REQUIREMENTS OF MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS EASEMENTS OF RECORD AND/OR INDICATED IN TITLE COMMITMENT NO. FT000120470, DATED FEBRUARY 19, 2007, ISSUED BY FIDELITY NATIONAL TITLE CO. AND OR MADE KNOWN TO ME BY THE OWNERS; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. [Signature] 08/13/13 JEAN J. BORDENAVE, NMPE&LS NO. 5110

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO: REDEFINE THE INTERNAL LOT LINES BETWEEN TRACTS, REDEFINE THE AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC UTILITY EASEMENT TO CONFORM TO THE AS-BUILT INFRASTRUCTURE AND GRANT PUBLIC UTILITY EASEMENTS FOR GAS, POWER AND COMMUNICATIONS.

FREE CONSENT AND DEDICATION

THE SUBDIVISION OF THE LAND DESCRIBED ON THIS PLAT IS WITH THE FREE CONSENT OF AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS OF THE LAND. THE OWNERS DO HEREBY: WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED, GRANT SPECIFIC SURFACE AND SUBSURFACE POWER, GAS, WATER, SEWER AND COMMUNICATION EASEMENTS AS DELINEATED ON THIS PLAT; ACKNOWLEDGE EXISTING EASEMENTS AS SHOWN ON THIS PLAT; STATE THAT THIS SUBDIVISION LIES WITHIN THE SUBDIVISION REGULATION JURISDICTION OF THE CITY OF ALBUQUERQUE, NEW MEXICO.

CALABACILLAS GROUP, A NEW MEXICO GENERAL PARTNERSHIP

[Signature] DONALD D. HARVILLE, GENERAL PARTNER. STATE OF NEW MEXICO } SS COUNTY OF BERNALILLO } THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 08/13/13 BY DONALD D. HARVILLE, GENERAL PARTNER.

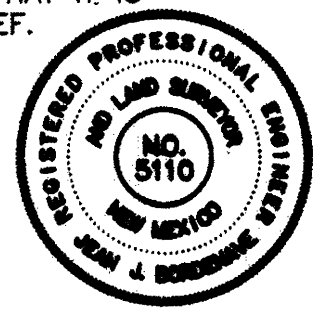
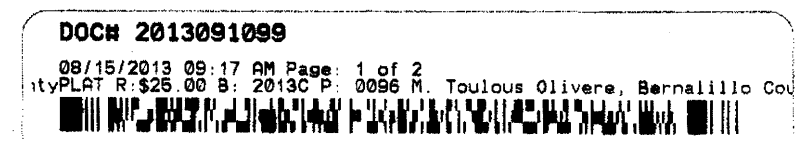
NOTARY PUBLIC: [Signature] OFFICIAL SEAL: TERRY YOUNGLOOD, Notary Public State of New Mexico, My commission expires 05/05/16

PUBLIC UTILITY EASEMENTS shown on this plat are grated for the common and joint use of: PUBLIC SERVICE COMPANY OF NEW MEXICO ((PNM), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services. NEW MEXICO GAS COMPANY for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services. QWEST for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services. CABLE TV for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable services.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of the transformer/switchgear doors and five (5) feet on each side.

Disclaimer In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.



B BORDENAVE DESIGNS P.O. BOX 91194, ALBUQUERQUE, NM 87199 (505)823-1344 FAX (505)821-9105

PLAT OF  
**TRACTS A-1-A-1, B-1-A-1 & B-1-A-2**  
**BLACK ARROYO DAM**  
 ALBUQUERQUE, NEW MEXICO  
 AUGUST, 2013

**EASEMENT NOTE:**  
 AN EXISTING 30' PRIVATE EASEMENT CREATED BY PLAT (FILED 07-16-2007, BK. 2007C, PG. 190) UNDERLIES THE 32' AND TAPERED WIDTH MULTIPLE USE EASEMENTS GRANTED WITH THIS PLAT. THE EASEMENTS HAVE THE SAME USES, RIGHTS AND RESPONSIBILITIES.

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WESTSIDE BLVD. NW  
 RIGHT-OF-WAY VARIES

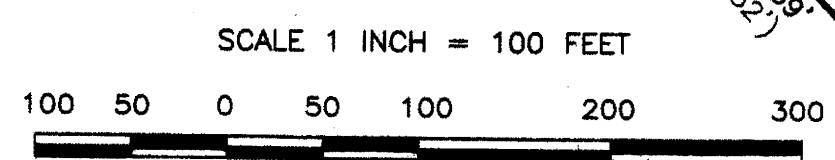
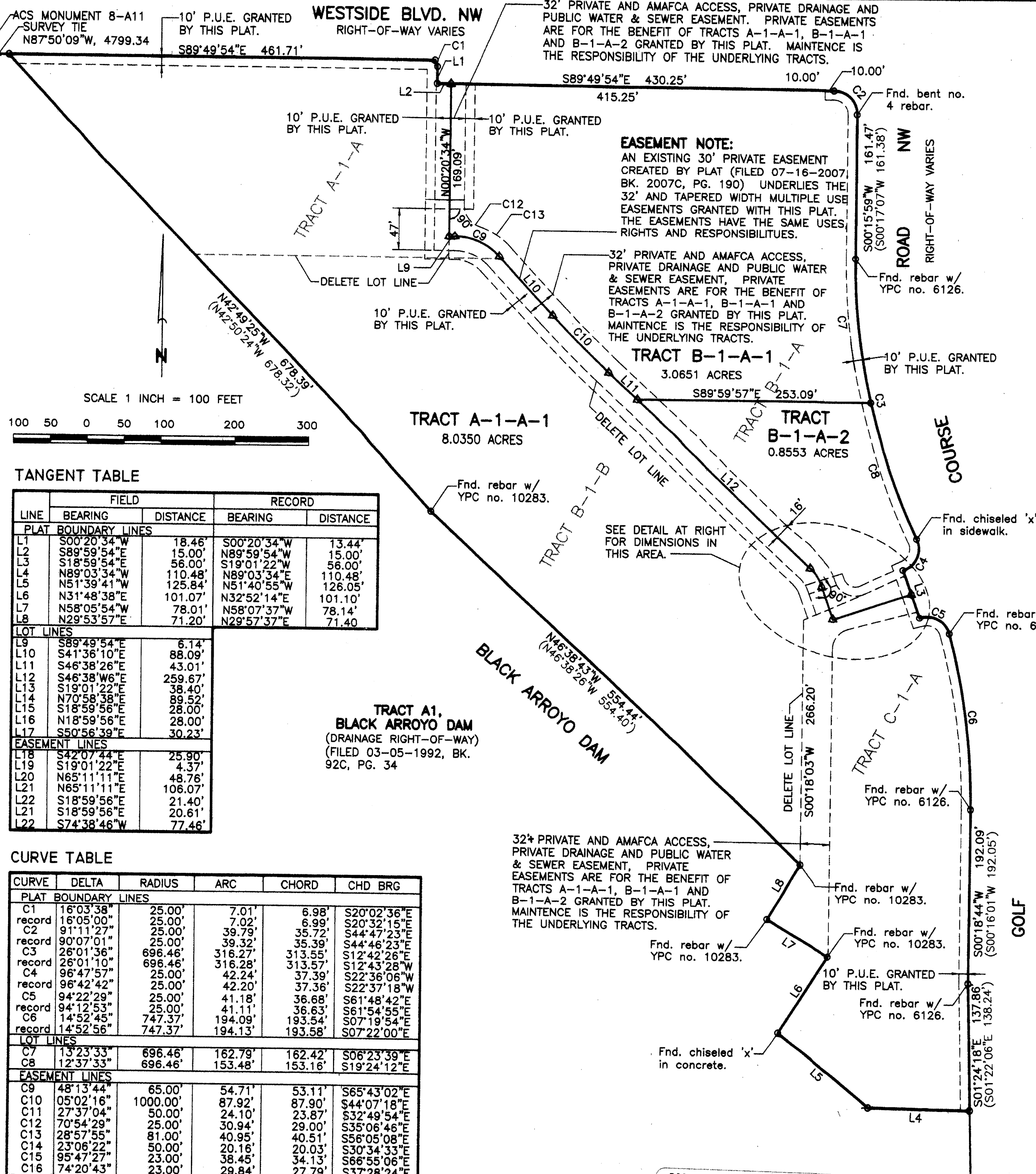
ROAD NW  
 RIGHT-OF-WAY VARIES

BLACK ARROYO DAM  
 TRACT A1,  
 BLACK ARROYO DAM  
 (DRAINAGE RIGHT-OF-WAY)  
 (FILED 03-05-1992, BK. 92C, PG. 34)

**NOTES**

- MILES OF FULL WIDTH PRIVATE STREETS CREATED BY THIS PLAT: 0.0000
- CURRENT ZONING OF ALL LOTS: C2 (SC).
- TOTAL NUMBER OF LOTS CREATED: 3
- BASIS OF BEARINGS (NEW MEXICO STATE PLANE, CENTRAL ZONE, NAD1988, NGVD 1983)  
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**TANGENT TABLE**

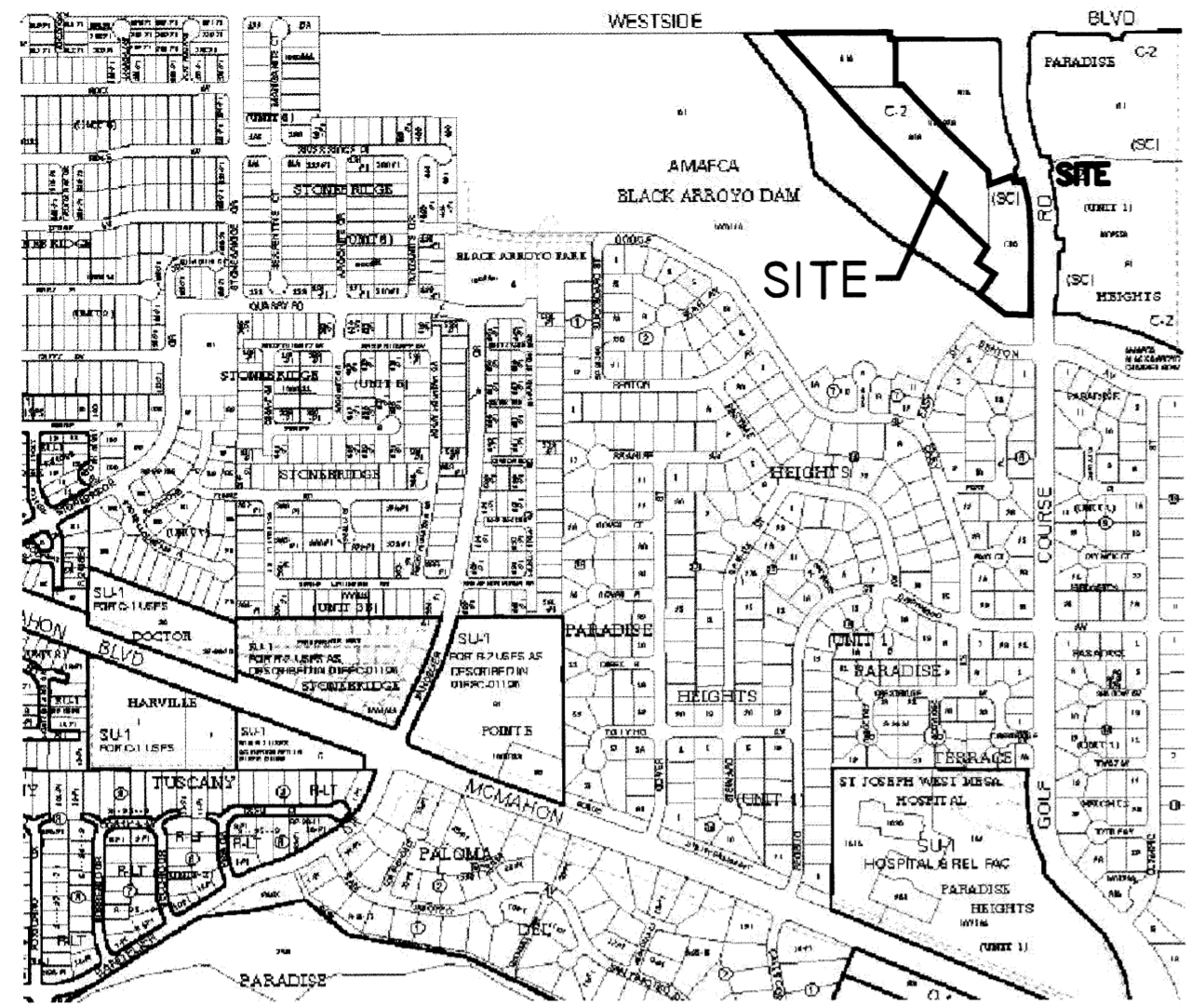
LINE	FIELD		RECORD	
	BEARING	DISTANCE	BEARING	DISTANCE
<b>PLAT BOUNDARY LINES</b>				
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<b>LOT LINES</b>				
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L14	N70°58'38"E	89.52'		
L15	S18°59'56"E	28.00'		
L16	N18°59'56"E	28.00'		
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<b>EASEMENT LINES</b>				
L18	S42°07'44"E	25.90'		
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L20	N65°11'11"E	48.76'		
L21	N65°11'11"E	106.07'		
L22	S18°59'56"E	21.40'		
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L22	S74°38'46"W	77.46'		

**CURVE TABLE**

CURVE	DELTA	RADIUS	ARC	CHORD	CHD BRG
<b>PLAT BOUNDARY LINES</b>					
C1	16°03'38"	25.00'	7.01'	6.98'	S20°02'36"E
record	16°05'00"	25.00'	7.02'	6.99'	S20°32'15"E
C2	91°11'27"	25.00'	39.79'	35.72'	S44°47'23"E
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C6	14°52'45"	747.37'	194.09'	193.54'	S07°19'54"E
record	14°52'56"	747.37'	194.13'	193.58'	S07°22'00"E
<b>LOT LINES</b>					
C7	13°23'33"	696.46'	162.79'	162.42'	S06°23'39"E
C8	12°37'33"	696.46'	153.48'	153.16'	S19°24'12"E
<b>EASEMENT LINES</b>					
C9	48°13'44"	65.00'	54.71'	53.11'	S65°43'02"E
C10	05°02'16"	1000.00'	87.92'	87.90'	S44°07'18"E
C11	27°37'04"	50.00'	23.87'	24.10'	S32°49'54"E
C12	70°54'29"	25.00'	30.94'	29.00'	S35°06'46"E
C13	28°57'55"	81.00'	40.95'	40.51'	S58°05'08"E
C14	23°06'22"	50.00'	20.16'	20.03'	S30°34'33"E
C15	95°47'27"	23.00'	38.45'	34.13'	S66°55'06"E
C16	74°20'43"	23.00'	29.84'	27.79'	S37°28'24"E

DOCS 2013081099  
 08/15/2013 09:17 AM Page 2 of 2  
 City: PLAT R: 828 00 B: 2013C: 8: 0806 W: Toulouse Oliveira, Bernallillo Co

**BORDENAVE DESIGNS**  
 P.O. BOX 91194, ALBUQUERQUE, NM 87199  
 (505)823-1344 FAX (505)821-9105



LOCATION MAP ZONE ATLAS SHEET A-12  
SCALE 1" = 750' +/-

**TREASURER'S CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# \_\_\_\_\_  
PROPERTY OWNER OF RECORD: \_\_\_\_\_

BERNALILLO COUNTY TREASURER'S OFFICE: \_\_\_\_\_

**PUBLIC UTILITY EASEMENT APPROVALS**

QWEST COMMUNICATIONS /d/b/a CENTURYLINK	DATE
PUBLIC SERVICE CO. OF NEW MEXICO	DATE
NEW MEXICO GAS CO.	DATE
COMCAST CABLE	DATE

PUBLIC UTILITY EASEMENTS shown on this plat are grated for the common and joint use of: PUBLIC SERVICE COMPANY OF NEW MEXICO ((PNM), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services  
NEW MEXICO GAS COMPANY for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.  
QWEST for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services.  
CABLE TV for the installation, maintenance, and service of such lines, cable an other related equipment and facilities reasonably necessary to provide Cable services.  
Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of the transformer/switchgear doors and five (5) feet on each side.

**Disclaimer**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**LEGAL DESCRIPTION**

A PARCEL OF LAND SITUATED IN PROJECTED SECTION 1, T11N, R2E, N.M.P.M., TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO; SAID PARCEL BEING THE SAME AS TRACT A-1-A-1 OF BLACK ARROYO DAM, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 15, 2013 IN BK. 2013C. PG. 96 AND MORE PARTICULARLY DESCRIBED USING NEW MEXICO STATE PLANE BEARINGS (CENTRAL ZONE) AND HORIZONTAL GROUND DISTANCES AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED, FROM WHENCE THE MONUMENT ACS 1-E11 BEARS N87°50'09"W A DISTANCE OF 4799.34 FEET; THENCE,

S89°49'54"E, 461.71 feet along the south right-of-way of Westside Blvd. NW to a point; thence,

Southeasterly, 7.01 feet along the arc of a curve right, said curve having a radius of 25.00 feet and a long chord bearing S20°02'36"E a distance of 6.98 feet; thence,

S00°20'34"W, 18.46 feet to a point; thence,

S89°49'54"E, 15.00 feet to a point; thence departing from the south right-of-way of Westside Blvd. NW,

S00°20'34"E, 169.09 feet to a point; thence,

S89°59'54"E, 6.14 feet to a point; thence

Southeasterly, 54.71 feet along the arc of a curve right, said curve having a radius of 65.00 feet and a long chord bearing S65°43'02"E a distance of 53.11 feet; thence,

S41°36'10"E, 88.09 feet to a point; thence

Southeasterly, 87.92 feet along the arc of a curve left, said curve having a radius of 1000.00 feet and a long chord bearing S44°07'18"E a distance of 87.90 feet; thence,

S46°28'36"E, 302.67 feet to a point; thence

Southeasterly, 24.10 feet along the arc of a curve right, said curve having a radius of 50.00 feet and a long chord bearing S32°49'54"E a distance of 23.87 feet; thence,

S19°01'22"E, 38.40 feet to a point; thence,

N70°58'38"E, 89.50 feet to a point, said point being on the westerly right-of-way of Golf Course Rd. NW; thence,

S18°59'56"E, 26.62 feet to a point; thence

N70°58'38"E, 9.53 feet to a point; thence

Southeasterly, 41.05 feet along the arc of a curve right, said curve having a radius of 25.00 feet and a long chord bearing S61°58'51"E a distance of 36.59 feet; thence,

Southeasterly, 200.90 feet along the arc of a curve right, said curve having a radius of 757.00 feet and a long chord bearing S07°20'09"E a distance of 200.31 feet; thence,

S00°16'01"W, 136.15 feet to a point; thence

S00°58'26"E, 191.73 feet to a point; thence departing from the west right-of-way of Golf Course Rd. NW,

N89°03'34"W, 120.19 feet to a point; thence

N51°39'41"W, 125.84 feet to a point; thence

N31°48'38"E, 101.07 feet to a point; thence

N58°05'54"W, 78.01 feet to a point; thence

N29°53'57"E, 71.20 feet to a point; thence

N46°38'43"W, 554.44 feet to a point; thence

N42°49'25"W, 678.39 FEET TO A POINT, SAID POINT BEING THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 8.2836 ACRES MORE OF LESS.

**DISCLOSURE STATEMENT**

THE PURPOSE OF THIS PLAT IS TO: VACATE PUBLIC RIGHT-OF-WAY ON GOLF COURSE ROAD, DEDICATE RIGHT-OF-WAY ON WESTSIDE BLVD., VACATE A 10' P.U.E. AND GRANT A NEW 10' P.U.E. ALONG THE PROPOSED GOLF COURSE ROAD VACATION AND DELETE THE FLOODPLAIN NOTE OF THE PRECEDING PLAT.

PLAT OF  
**TRACT A-1-A-1-A**  
**BLACK ARROYO DAM**

ALBUQUERQUE, NEW MEXICO  
APRIL, 2014

**APPROVALS**

PROJECT NO: 1004976 APPLICATION NO: \_\_\_\_\_

CITY OF ALBUQUERQUE SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

AMAFCA \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

ABCWUA \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

**SURVEYOR'S CERTIFICATION**

I, JEAN J. BORDENAVE, A REGISTERED PROFESSIONAL ENGINEER AND LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION: MEETS THE MINIMUM REQUIREMENTS OF MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS EASEMENTS OF RECORD AND/OR INDICATED IN TITLE COMMITMENT NO. FT000120470, DATED FEBRUARY 19, 2007, ISSUED BY FIDELITY NATIONAL TITLE CO. AND OR MADE KNOWN TO ME BY THE OWNERS; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



JEAN J. BORDENAVE, NMPE&LS NO. 5110

**FREE CONSENT AND DEDICATION**

THE SUBDIVISION OF THE LAND DESCRIBED ON THIS PLAT IS WITH THE FREE CONSENT OF AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS OF THE LAND. THE OWNERS DO HEREBY:

WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED,

GRANT SPECIFIC SURFACE AND SUBSURFACE POWER, GAS, WATER, SEWER AND COMMUNICATION EASEMENTS AS DELINEATED ON THIS PLAT;

ACKNOWLEDGE EXISTING EASEMENTS AS SHOWN ON THIS PLAT;

STATE THAT THIS SUBDIVISION LIES WITHIN THE SUBDIVISION REGULATION JURISDICTION OF THE CITY OF ALBUQUERQUE, NEW MEXICO.

IN ADDITION THE OWNER OF TRACTS D AND E DOES HEREBY DEDICATE PUBLIC RIGHTS-OF-WAY, SHOWN HEREON, IN FEE SIMPLE WITH WARRANTY COVENANTS TO THE CITY OF ALBUQUERQUE.

**CALABACILLAS GROUP, A NEW MEXICO GENERAL PARTNERSHIP**

DONALD. D. HARVILLE, GENERAL PARTNER

STATE OF NEW MEXICO } SS  
COUNTY OF BERNALILLO }  
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON \_\_\_\_/\_\_\_\_/\_\_\_\_ BY \_\_\_\_\_, GENERAL PARTNER.

NOTARY PUBLIC: \_\_\_\_\_

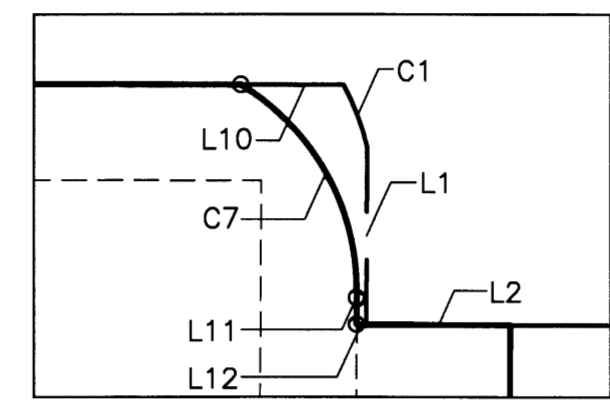
**B BORDENAVE DESIGNS**  
P.O. BOX 91194, ALBUQUERQUE, NM 87199  
(505)823-1344 FAX (505)821-9105

PLAT OF  
**TRACT A-1-A-1-A**  
**BLACK ARROYO DAM**  
 ALBUQUERQUE, NEW MEXICO  
 APRIL, 2014

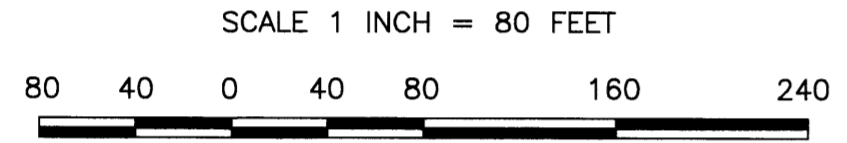
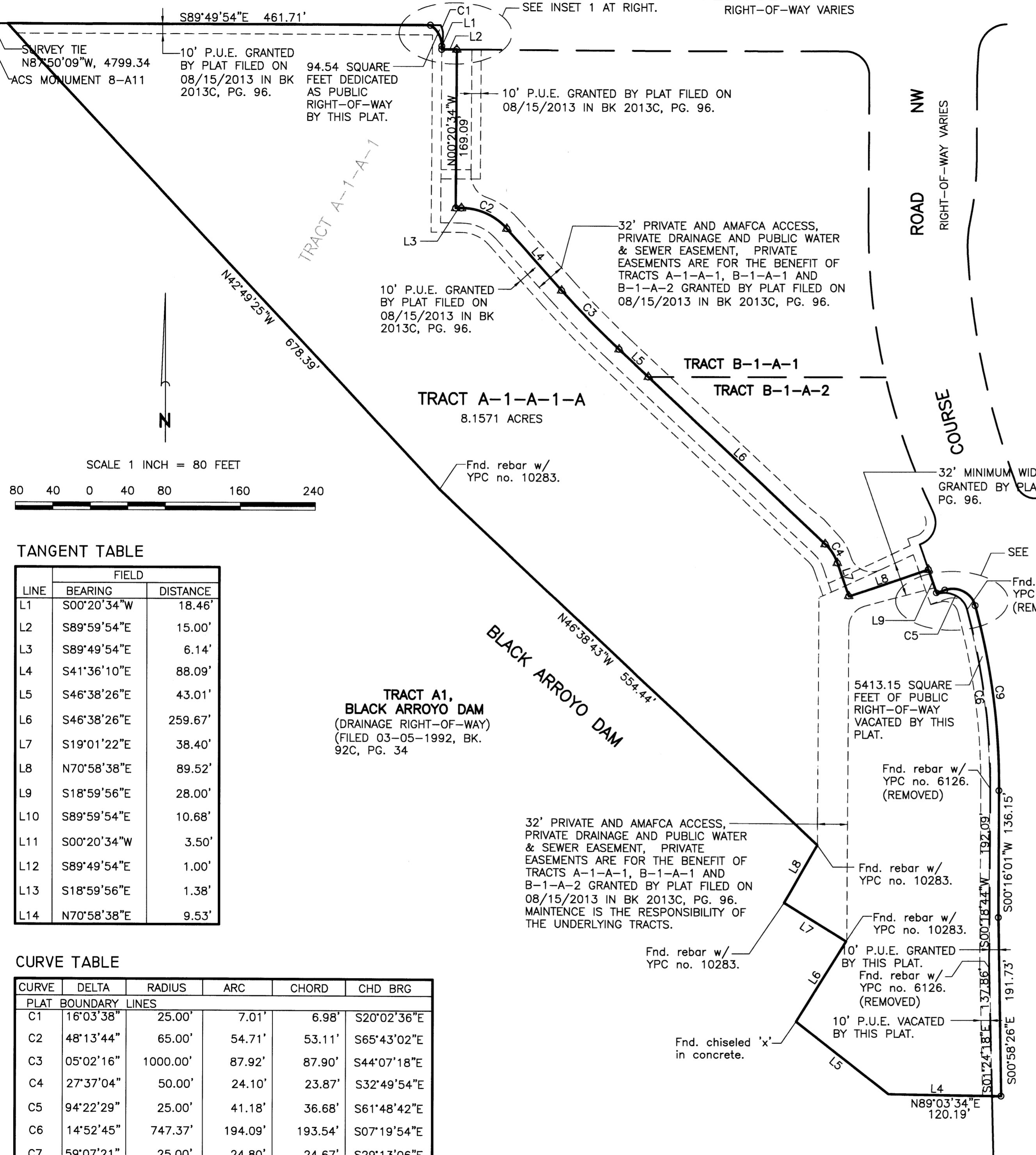
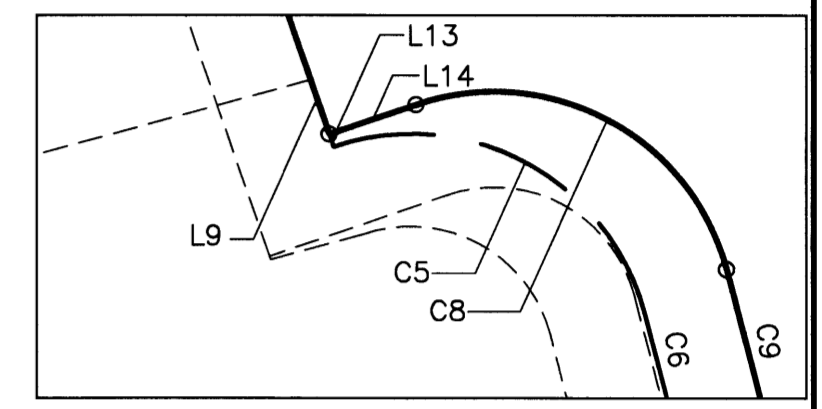
WESTSIDE BLVD. NW  
 RIGHT-OF-WAY VARIES

ROAD NW  
 RIGHT-OF-WAY VARIES  
 COURSE

INSET 1



INSET 2



TANGENT TABLE

LINE	FIELD	
	BEARING	DISTANCE
L1	S00°20'34"W	18.46'
L2	S89°59'54"E	15.00'
L3	S89°49'54"E	6.14'
L4	S41°36'10"E	88.09'
L5	S46°38'26"E	43.01'
L6	S46°38'26"E	259.67'
L7	S19°01'22"E	38.40'
L8	N70°58'38"E	89.52'
L9	S18°59'56"E	28.00'
L10	S89°59'54"E	10.68'
L11	S00°20'34"W	3.50'
L12	S89°49'54"E	1.00'
L13	S18°59'56"E	1.38'
L14	N70°58'38"E	9.53'

CURVE TABLE

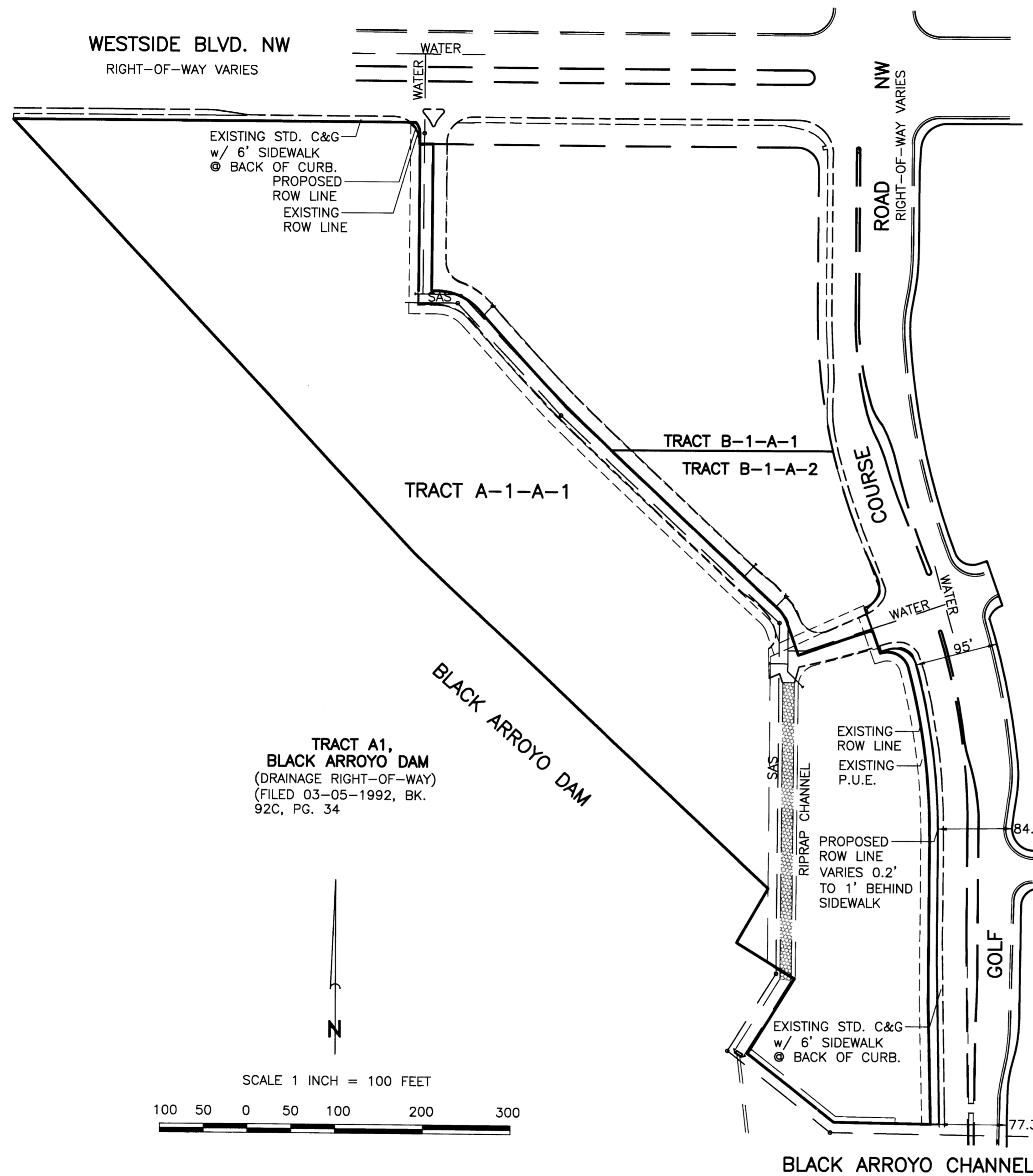
CURVE	DELTA	RADIUS	ARC	CHORD	CHD BRG
PLAT BOUNDARY LINES					
C1	16°03'38"	25.00'	7.01'	6.98'	S20°02'36"E
C2	48°13'44"	65.00'	54.71'	53.11'	S65°43'02"E
C3	05°02'16"	1000.00'	87.92'	87.90'	S44°07'18"E
C4	27°37'04"	50.00'	24.10'	23.87'	S32°49'54"E
C5	94°22'29"	25.00'	41.18'	36.68'	S61°48'42"E
C6	14°52'45"	747.37'	194.09'	193.54'	S07°19'54"E
C7	59°07'21"	25.00'	24.80'	24.67'	S29°13'06"E
C8	94°05'03"	25.00'	41.05'	36.59'	S61°58'51"E
C9	15°12'20"	757.00'	200.90'	200.31'	S07°20'09"E

NOTES

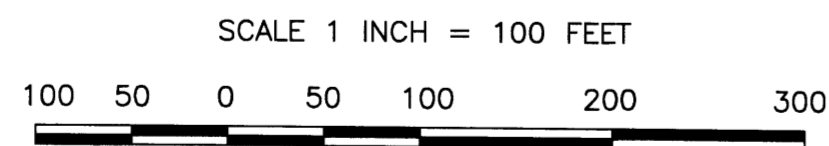
- MILES OF FULL WIDTH PRIVATE STREETS CREATED BY THIS PLAT: 0.0000
- CURRENT ZONING OF ALL LOTS: C2 (SC).
- TOTAL NUMBER OF LOTS CREATED: 1
- BASIS OF BEARINGS (NEW MEXICO STATE PLANE, CENTRAL ZONE, NAD1988, NGVD 1983)  
 ACS 8-A11  
 X = 1,507,071.174      MAPPING ANGLE - 00°15'26.89"  
 Y = 1,534,934.957      GROUND TO GRID  
 ELEVATION = 5283.030      FACTOR - 0.999671590  
 KOAT TVTT  
 X = 1,580,452.068      MAPPING ANGLE - NA  
 Y = 1,533,533.274      GROUND TO GRID  
 ELEVATION = NA      FACTOR - NA
- ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
- FOUND MONUMENTS ARE DESCRIBED ON THE PLAT DRAWING.
- MONUMENTS SET ON NEW LOT CORNERS ARE SHOWN THUS  $\circ$  AND ARE 5/8" REBARS WITH BLUE OR YELLOW PLASTIC CAPS STAMPED "HARRIS, LS 5110" UNLESS SHOWN OTHERWISE ON THE PLAT DRAWING.
- FOUND CORNERS ON THE STREET CENTERLINE ARE SHOWN THUS  $\circ$  ON THE PLAT DRAWING. PHYSICAL MONUMENTS ARE A NAIL AND WASHER.
- NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON THE BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THE PROPOSED PLAT. THE FORGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.



EXISTING INFRASTRUCTURE  
**TRACT A-1-A-1**  
**BLACK ARROYO DAM**  
 ALBUQUERQUE, NEW MEXICO  
 APRIL, 2014

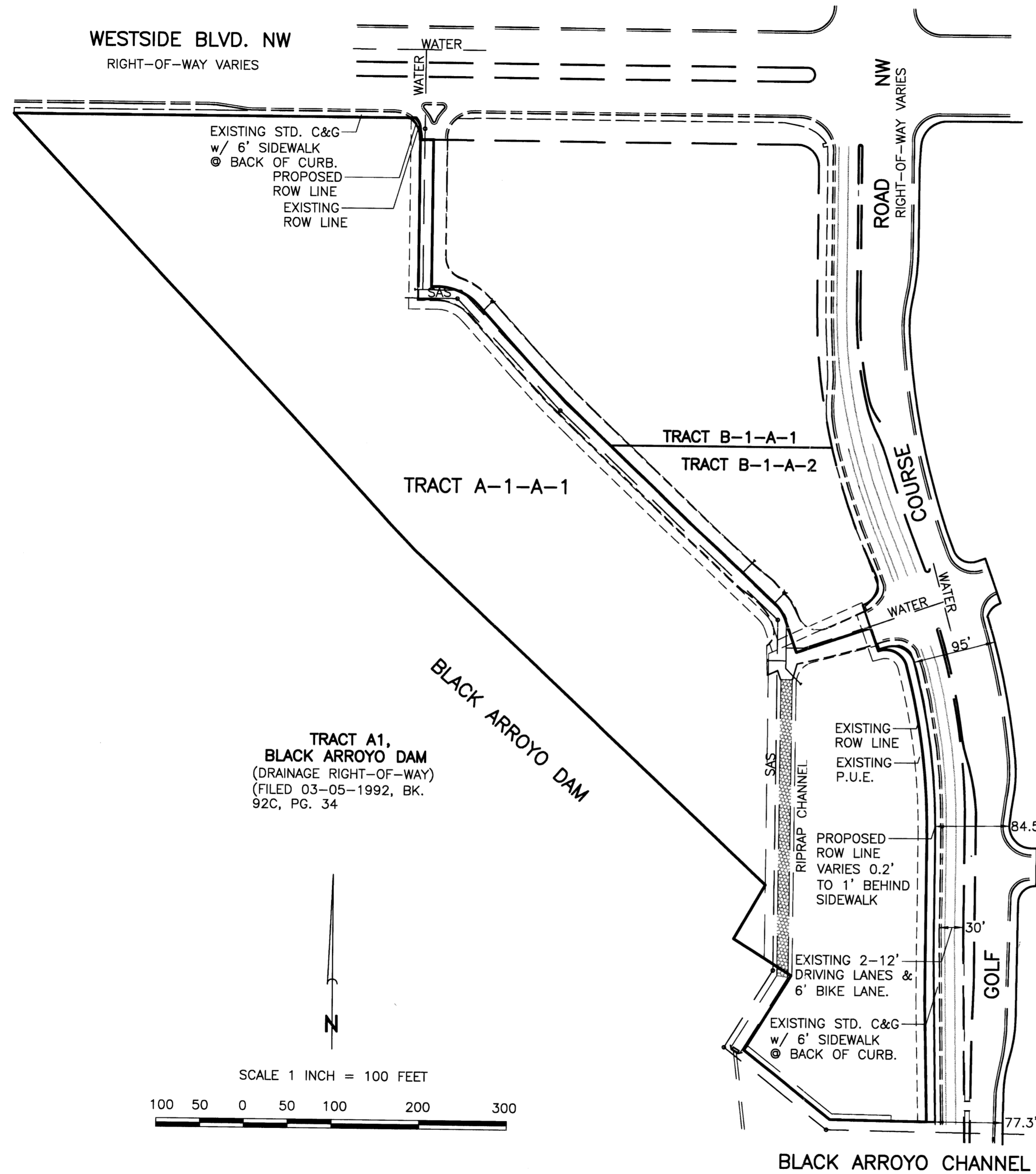


TRACT A1,  
 BLACK ARROYO DAM  
 (DRAINAGE RIGHT-OF-WAY)  
 (FILED 03-05-1992, BK.  
 92C, PG. 34)



NOTE;  
 NEW 10' P.U.E. PROPOSED  
 ADJACENT TO PROPOSED  
 ROW LINE.

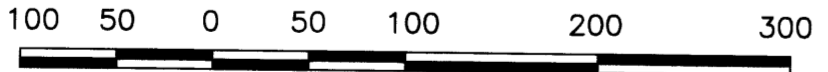
EXISTING INFRASTRUCTURE  
**TRACT A-1-A-1**  
**BLACK ARROYO DAM**  
ALBUQUERQUE, NEW MEXICO  
APRIL, 2014



**TRACT A1,**  
**BLACK ARROYO DAM**  
(DRAINAGE RIGHT-OF-WAY)  
(FILED 03-05-1992, BK.  
92C, PG. 34)



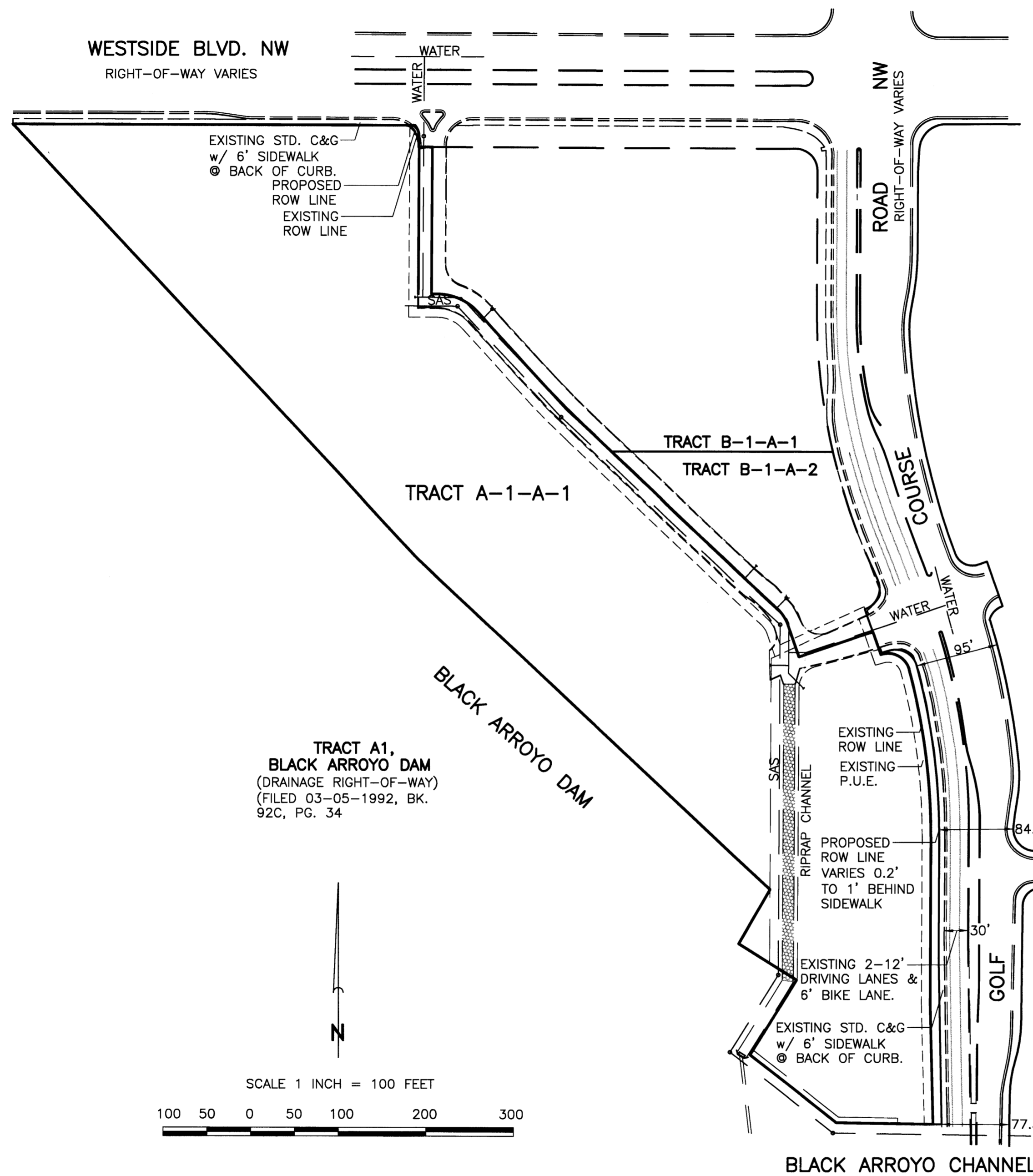
SCALE 1 INCH = 100 FEET



NOTE:  
NEW 10' P.U.E. PROPOSED  
ADJACENT TO PROPOSED  
ROW LINE.

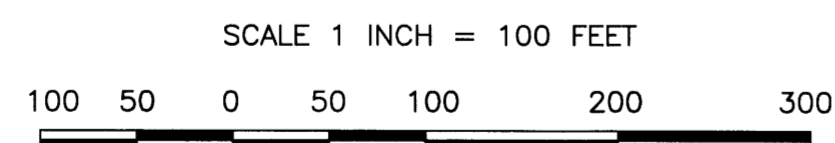
EXISTING INFRASTRUCTURE  
**TRACT A-1-A-1**  
**BLACK ARROYO DAM**

ALBUQUERQUE, NEW MEXICO  
 APRIL, 2014



EXISTING STD. C&G  
 w/ 6' SIDEWALK  
 @ BACK OF CURB.  
 PROPOSED  
 ROW LINE  
 EXISTING  
 ROW LINE

TRACT A1,  
 BLACK ARROYO DAM  
 (DRAINAGE RIGHT-OF-WAY)  
 (FILED 03-05-1992, BK.  
 92C, PG. 34)

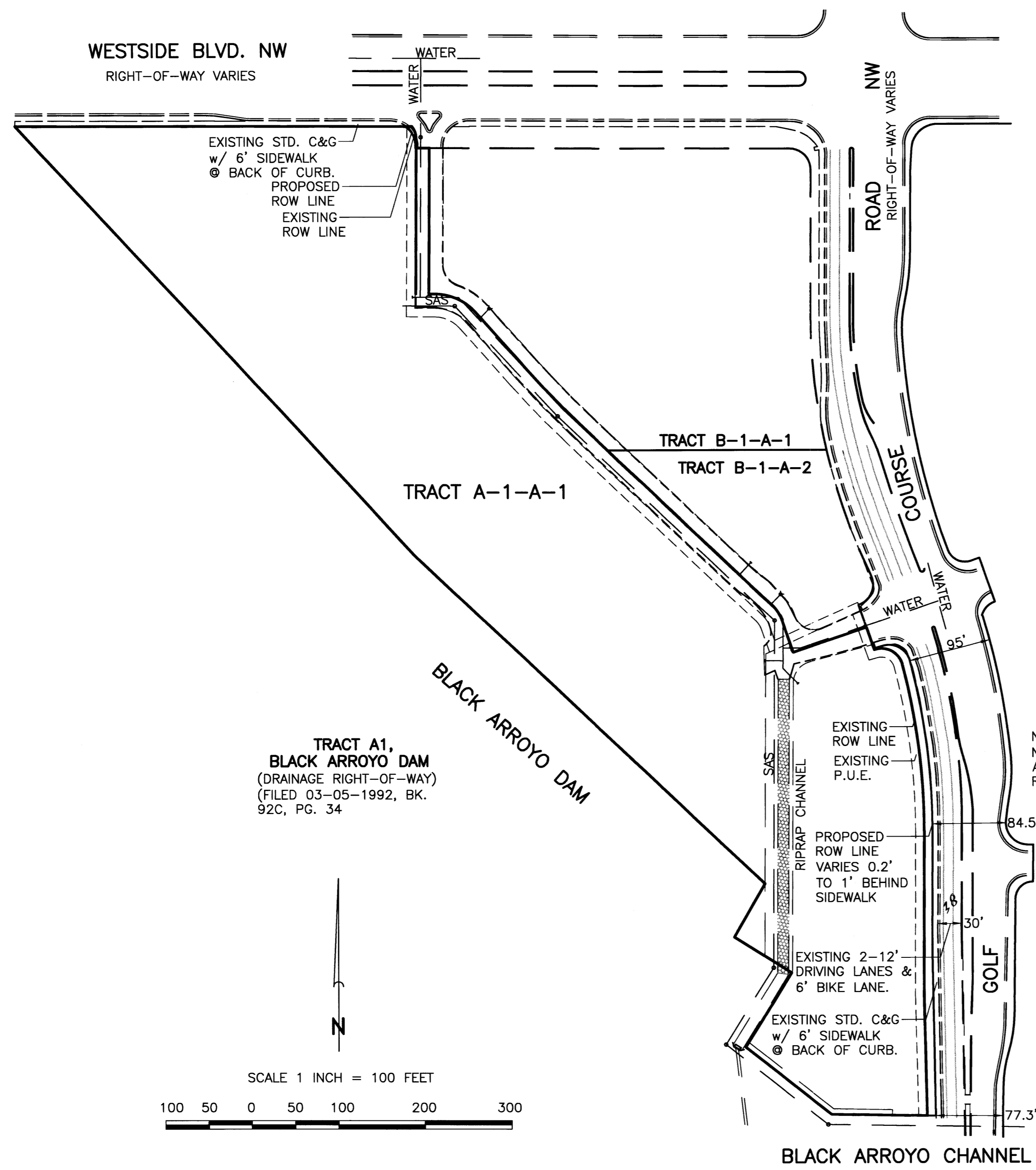


NOTE;  
 NEW 10' P.U.E. PROPOSED  
 ADJACENT TO PROPOSED  
 ROW LINE.

EXISTING INFRASTRUCTURE  
**TRACT A-1-A-1**  
**BLACK ARROYO DAM**

ALBUQUERQUE, NEW MEXICO  
 APRIL, 2014

PROJECT #: 1004976  
 DATE: 6-4-14  
 APP#: 14-70185(SDV)

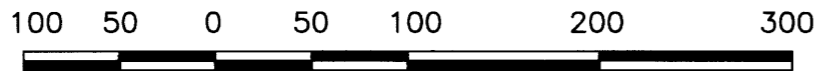


EXISTING STD. C&G  
 w/ 6' SIDEWALK  
 ⊙ BACK OF CURB.  
 PROPOSED  
 ROW LINE  
 EXISTING  
 ROW LINE

**TRACT A1,**  
**BLACK ARROYO DAM**  
 (DRAINAGE RIGHT-OF-WAY)  
 (FILED 03-05-1992, BK.  
 92C, PG. 34)



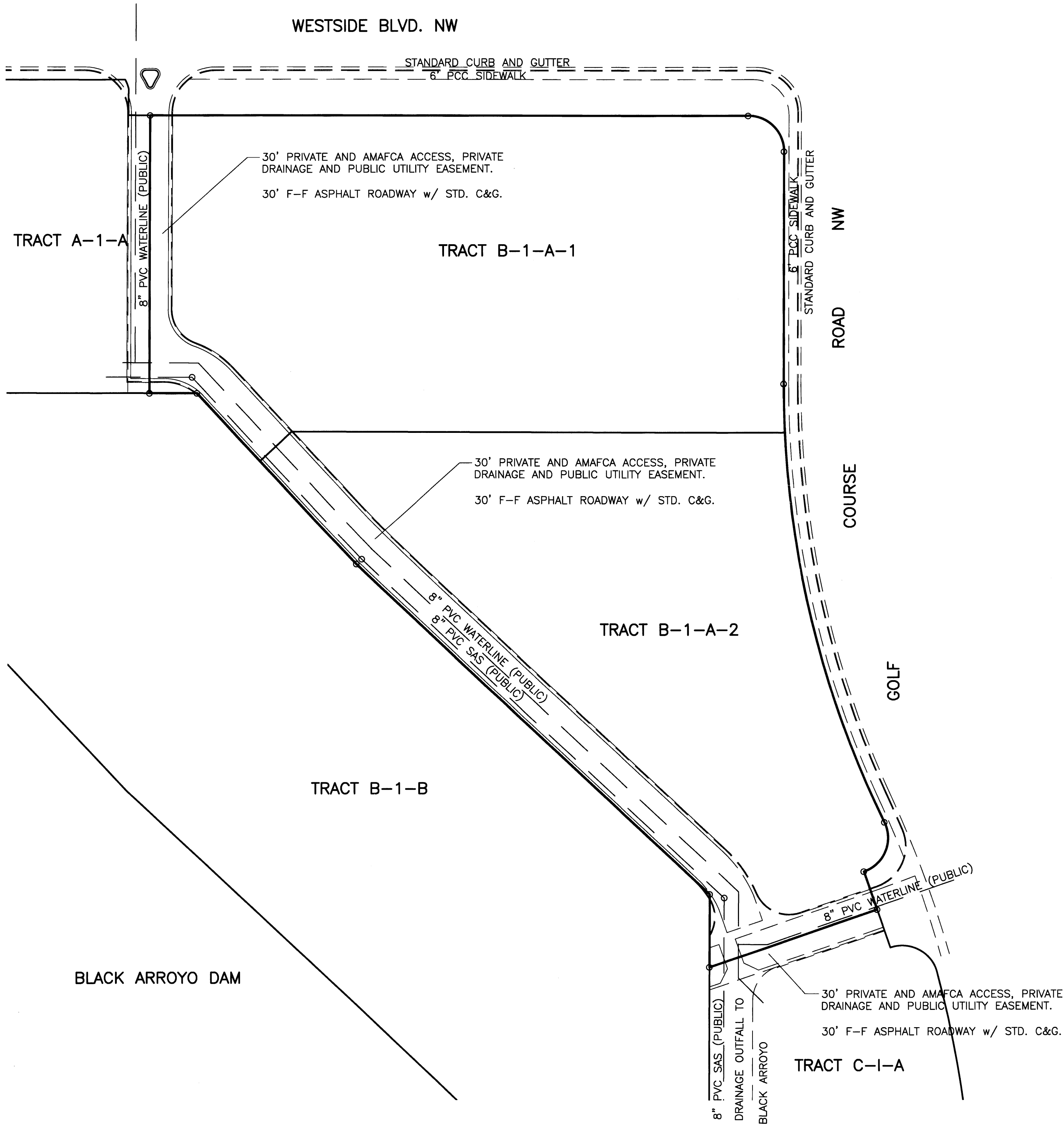
SCALE 1 INCH = 100 FEET



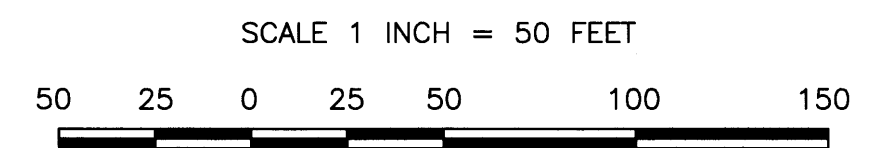
NOTE;  
 NEW 10' P.U.E. PROPOSED  
 ADJACENT TO PROPOSED  
 ROW LINE.

BLACK ARROYO CHANNEL

PLAN OF  
**EXISTING INFRASTRUCTURE**  
**PARADISE HEIGHTS, UNIT I**  
 ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2012



NOTE:  
 ALL SITE INFRASTRUCTURE IMPROVEMENTS  
 WERE CONSTRUCTED IN 2008 UNDER  
 PROJECT NO. 771883.

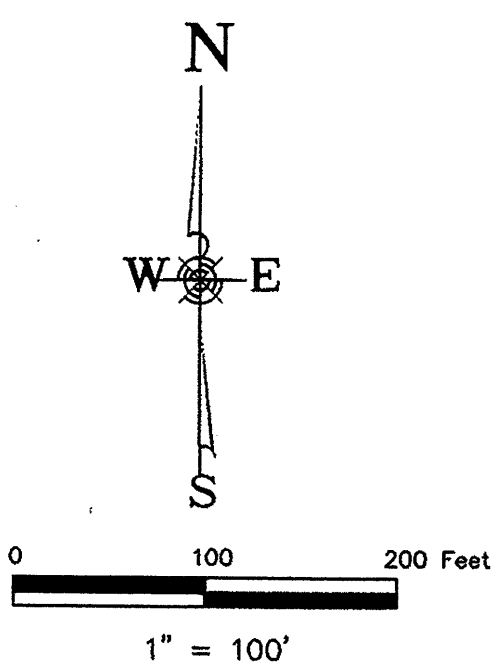
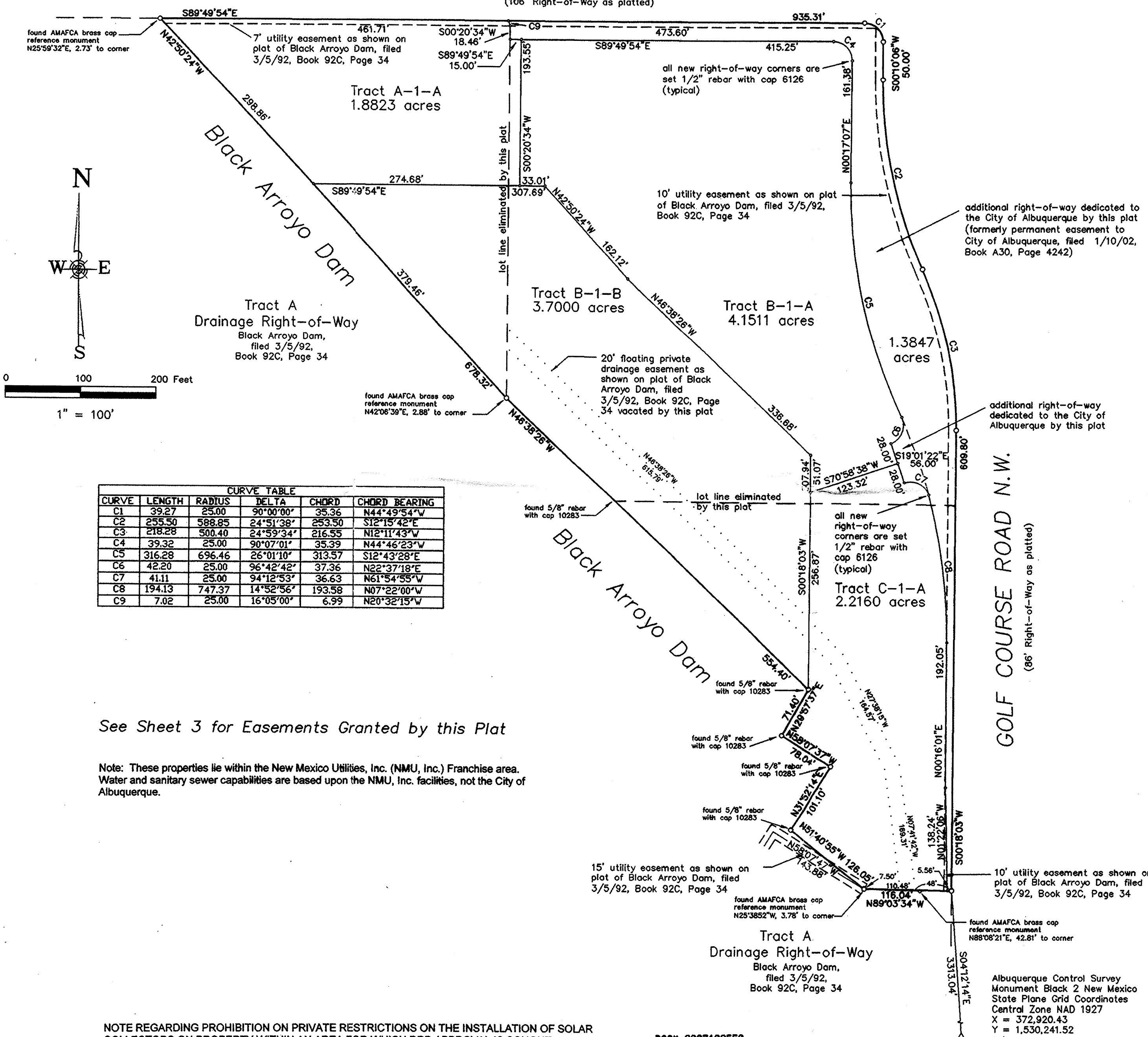


# Lot Geometry

WESTSIDE BOULEVARD N.W.

(106' Right-of-Way as platted)

Amended Plat of  
 Tracts A-1-A, B-1-A, B-1-B & C-1-A  
 Being a Replat of  
 Tracts A-1, B-1 & C-1  
 Black Arroyo Dam  
 Town of Alameda Grant  
 Projected Section 1  
 T.11N., R.2E. N.M.P.M.  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 February 2007



CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	39.27	25.00	90°00'00"	35.36	N44°49'54"W
C2	255.50	588.85	24°51'38"	253.50	S12°15'42"E
C3	218.28	500.40	24°59'34"	216.55	N12°11'43"W
C4	39.32	25.00	90°07'01"	35.39	N44°46'23"W
C5	316.28	696.46	26°01'10"	313.57	S12°43'28"E
C6	42.20	25.00	96°42'42"	37.36	N22°37'18"E
C7	41.11	25.00	94°12'53"	36.63	N61°54'55"W
C8	194.13	747.37	14°52'56"	193.58	N07°22'00"W
C9	7.02	25.00	16°05'00"	6.99	N20°32'15"W

See Sheet 3 for Easements Granted by this Plat

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and sanitary sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

NOTE REGARDING PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS ON PROPERTY WITHIN AN AREA FOR WHICH DRB APPROVAL IS SOUGHT:

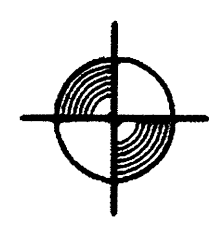
No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat.

DOCN 2007102550  
 07/10/2007 03:46 PM Page: 2 of 4  
 PLAT R:322.00 B: 2807C P: 0180 M. Toulouse, Bernalillo County

DOCN 2007099747  
 07/11/2007 03:21 PM Page: 2 of 4  
 PLAT R:322.00 B: 2807C P: 0185 M. Toulouse, Bernalillo County

GOLF COURSE ROAD N.W.  
 (86' Right-of-Way as platted)

Albuquerque Control Survey  
 Monument Black 2 New Mexico  
 State Plane Grid Coordinates  
 Central Zone NAD 1927  
 X = 372,920.43  
 Y = 1,530,241.52  
 G/G Factor 0.9996784  
 delta alpha = -00'14'43"  
 NGVD 1929 Elevation 5213.93

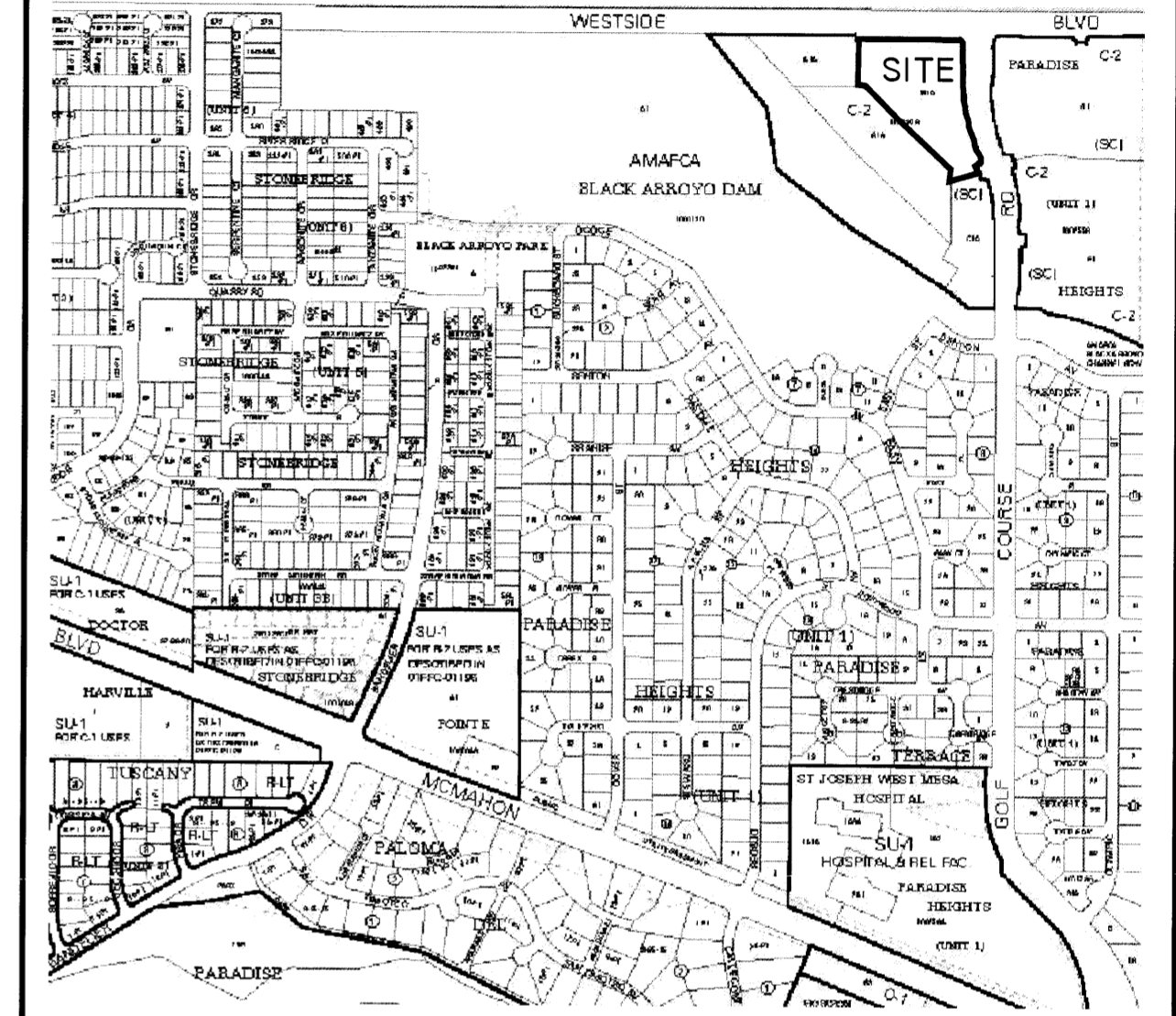


Forstbauer Surveying, L.L.C.  
 4116 Lomas Boulevard NE  
 Albuquerque, New Mexico 87110  
 (505) 268-2112 Fax 268-2032

# SKETCH PLAT OF TRACTS B-1-A-1 & B-1-A-2 BLACK ARROYO DAM

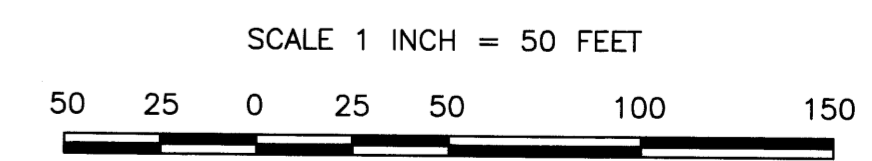
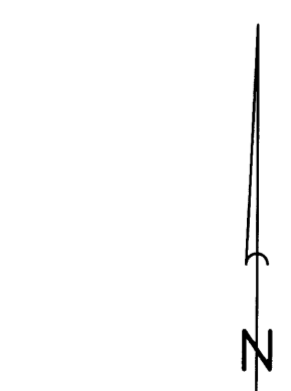
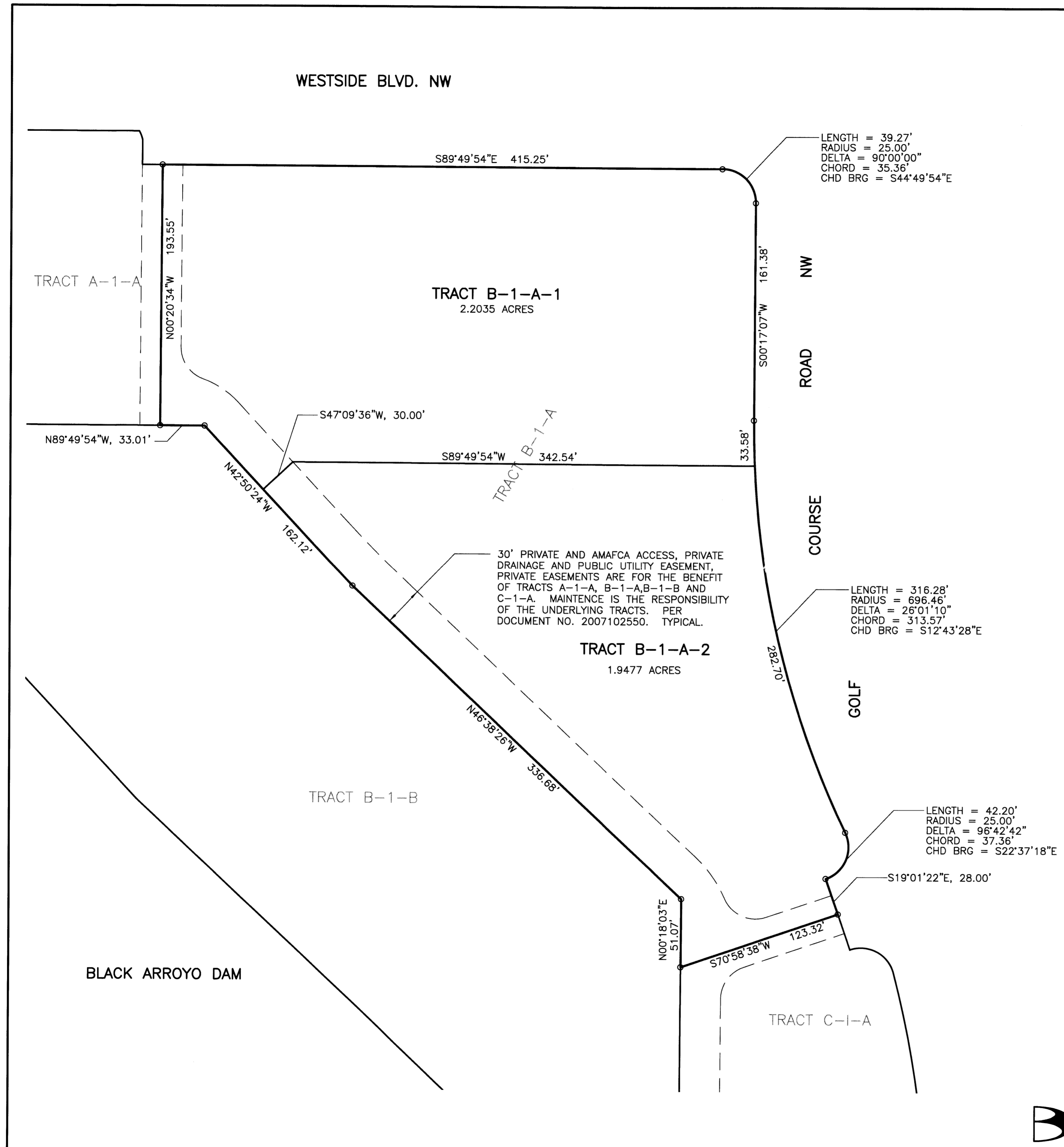
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2013

## VICINITY MAP A-12

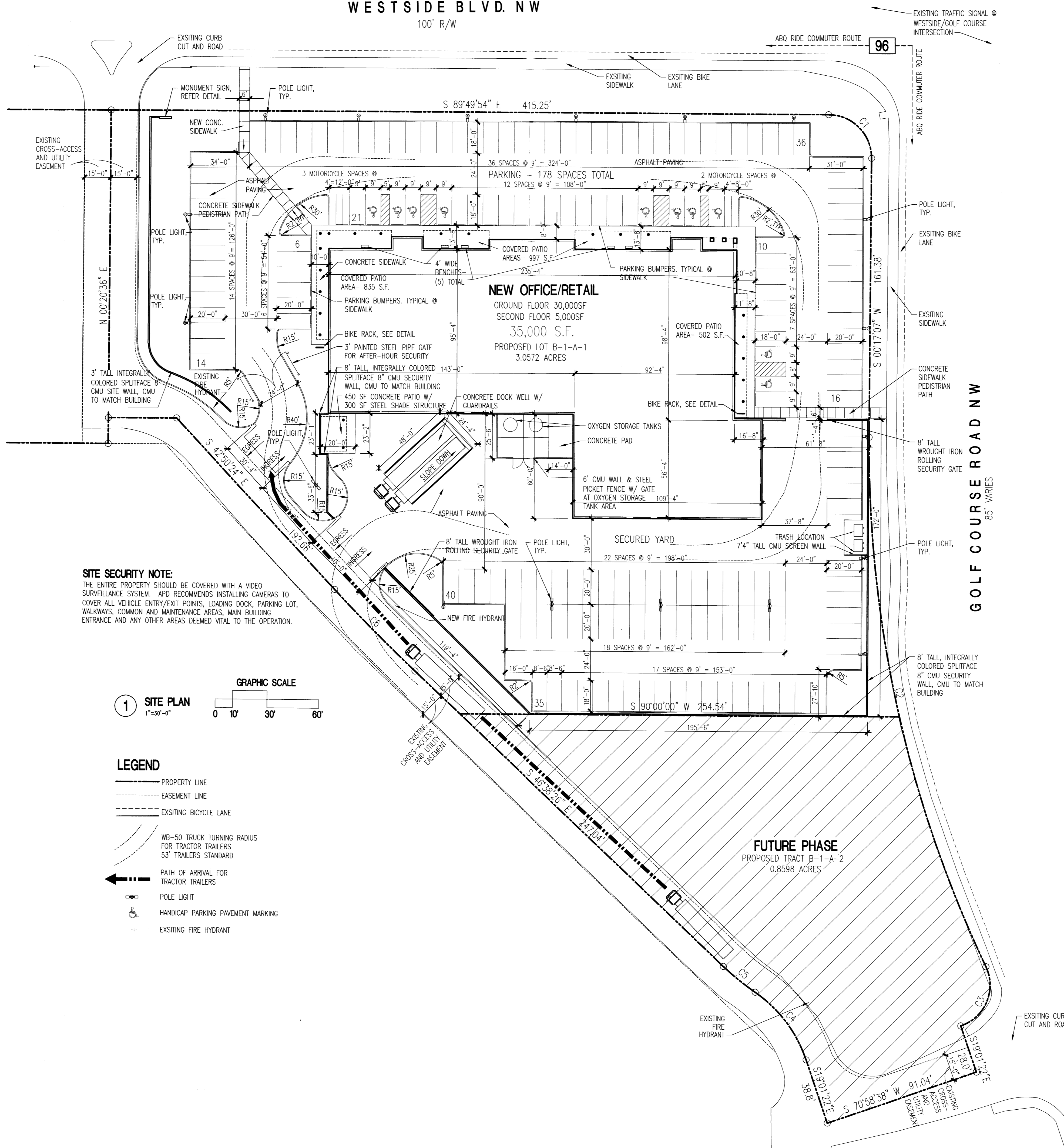


## PURPOSE OF PLAT

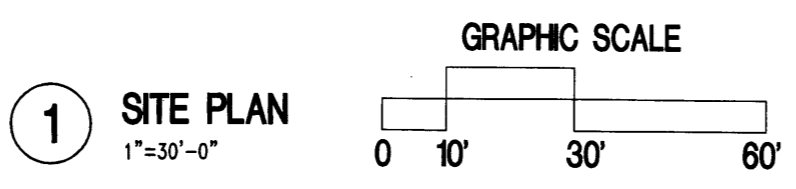
THE PURPOSE OF THE PLAT IS TO SUBDIVIDE TRACT B-1-A INTO TWO TRACTS B-1-A-1 AND B-1-A-2.



WESTSIDE BLVD. NW  
100' R/W



**SITE SECURITY NOTE:**  
THE ENTIRE PROPERTY SHOULD BE COVERED WITH A VIDEO SURVEILLANCE SYSTEM. AFD RECOMMENDS INSTALLING CAMERAS TO COVER ALL VEHICLE ENTRY/EXIT POINTS, LOADING DOCK, PARKING LOT, WALKWAYS, COMMON AND MAINTENANCE AREAS, MAIN BUILDING ENTRANCE AND ANY OTHER AREAS DEEMED VITAL TO THE OPERATION.



1 SITE PLAN  
1"=30'-0"

**LEGEND**

- PROPERTY LINE
- - - EASEMENT LINE
- - - EXISTING BICYCLE LANE
- WB-50 TRUCK TURNING RADIUS FOR TRACTOR TRAILERS  
53' TRAILERS STANDARD
- PATH OF ARRIVAL FOR TRACTOR TRAILERS
- POLE LIGHT
- HANDICAP PARKING PAVEMENT MARKING
- EXISTING FIRE HYDRANT

**PROJECT INFORMATION**

**PROJECT:** NEW OFFICE/RETAIL  
**LOCATION:** 10851 GOLF COURSE ROAD NW, ALBUQUERQUE, NEW MEXICO  
**ARCHITECT:** TATE FISHBURN ARCHITECT  
**LEGAL DESCRIPTION:** LOT B-1-A  
**CURRENT ZONING CLASSIFICATION:** C-2(SC)  
**LOT AREA:**  
 PROPOSED LOT B-1-A-1: 3.0572 ACRES  
 PROPOSED LOT B-1-A-2: 0.8598 ACRES  
 TOTAL: 3.917 ACRES

**BUILDING ANALYSIS**  
 OFFICE: 10,000 SF GROUND FLOOR, 5,000 SF SECOND FLOOR  
 RETAIL: 20,000 SF GROUND FLOOR  
 COVERED PORTALS: 2,145 SF GROUND FLOOR  
 TOTAL: 37,145 GSF

**PARKING ANALYSIS**  
 OFF-STREET PARKING:  
 OFFICE: 1:200 = 50 SPACES, 1:300 = 17 SPACES  
 RETAIL: 1:200 FOR 15,000SF = 75 SPACES, 1:250 FOR 5,000SF = 20 SPACES  
**REQUIRED 162 SPACES, PROVIDED 178 SPACES**  
 HANDICAPPED PARKING: REQUIRED 8 SPACES, PROVIDED 10 SPACES  
 MOTORCYCLE PARKING: REQUIRED 5 SPACES, PROVIDED 5 SPACES  
 BICYCLE PARKING: 1:20 REQUIRED 9 SPACES, PROVIDED 10 SPACES

**OUTDOOR SPACE ANALYSIS**  
 TOTAL OUTDOOR PATIO AREA: 5,063 S.F.  
 COVERED OUTDOOR PATIO AREA: 2,634 S.F. (52%)  
 OUTDOOR SEATING REQUIRED: 1 SEAT PER 25 LFT = 236 / 25 = 9.44  
 OUTDOOR SEATING PROVIDED: (5) 48' BENCHES FOR 10 SEATS TOTAL

**GENERAL NOTES**

- ALL SITE LIGHTING SHALL BE CONSISTENT WITH SECTION 14-16-9, AREA LIGHTING REGULATIONS & THE NIGHT SKY ORDINANCE.
- PARKING LOT POLE MOUNTED LIGHTING SHALL BE 15'-0" HIGH "GARDCO LIGHTING" GLOW TOP MAG 18-1 OR EQUAL IN EARTHSTONE COLOR.
- PLACEMENT OF FIXTURES & STANDARDS SHALL CONFORM TO STATE & LOCAL SAFETY & ILLUM. REQUIREMENTS.
- ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS W/ NO LIGHT, LENS OR BULB PROTRUDING BELOW THE BOTTOM OF THE CUT-OFF FIXTURE IN ORDER THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
- ROOFTOP UTILITY EQUIPMENT, MECHANICAL EQUIPMENT AND TRANSFORMERS AND TELEPHONE BOXES VIEWED FROM THE RIGHT OF WAY SHALL BE SCREENED.

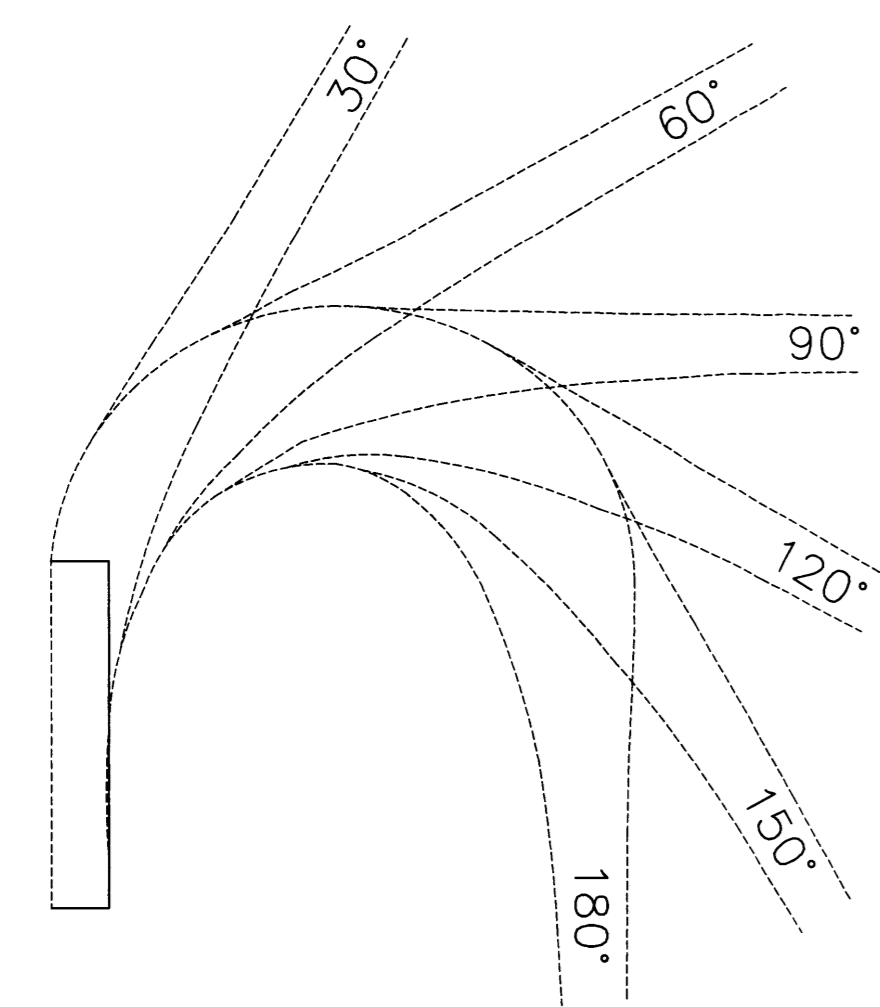
**CURVE TABLE**

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	90°07'01"	N 44°46'23" W	25.00	39.32	35.39
C2	26°01'10"	S 12°43'28" E	696.46	316.28	313.57
C3	96°42'42"	N 22°37'18" E	25.00	42.20	37.36
C4	36°41'27"	N 37°22'05" W	77.91	49.89	49.04
C5	09°04'23"	S 51°10'37" E	150.04	23.76	23.73
C6	03°48'02"	S 44°44'25" E	1000.37	66.36	66.34

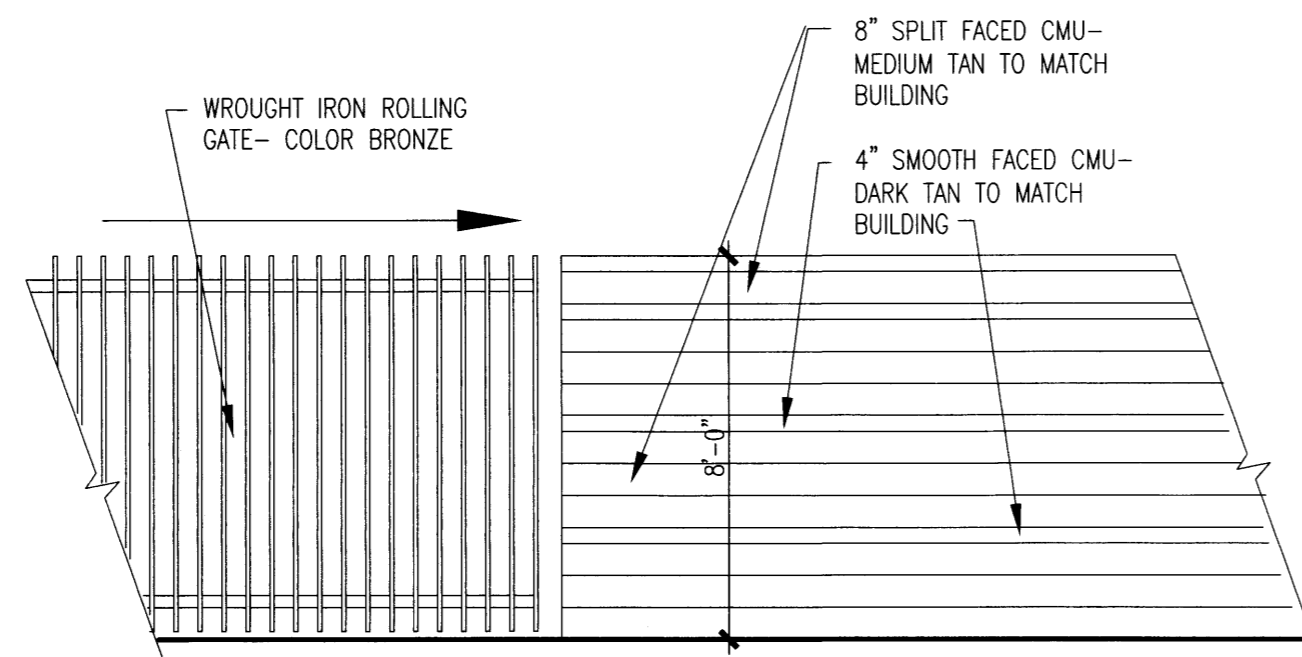
PROJECT NO. \_\_\_\_\_  
 APPLICATION NO. \_\_\_\_\_  
 IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO  
 IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.  
 DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT:  
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_  
 ABCWUA \_\_\_\_\_ DATE \_\_\_\_\_  
 PARKS & RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
 ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_  
 SOLID WASTE \_\_\_\_\_ DATE \_\_\_\_\_  
 DRB CHAIRPERSON, ALBUQUERQUE PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_  
 ENVIRONMENTAL HEALTH, IF NECESSARY \_\_\_\_\_ DATE \_\_\_\_\_

TATE FISHBURN ARCHITECT  
 ARCHITECT SEAL  
 ENGINEER SEAL  
 PROJECT  
 SITE DEVELOPMENT PLAN  
 HME SPECIALISTS OFFICE/RETAIL  
 WESTSIDE & GOLF COURSE, NW  
 ALBUQUERQUE, NEW MEXICO  
 REVISIONS  
 DATE: APRIL 24, 2013  
 NORTH SCALE  
 1"=30'-0"  
 DRAWING NAME  
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
 SHEET NUMBER  
 SDP-1

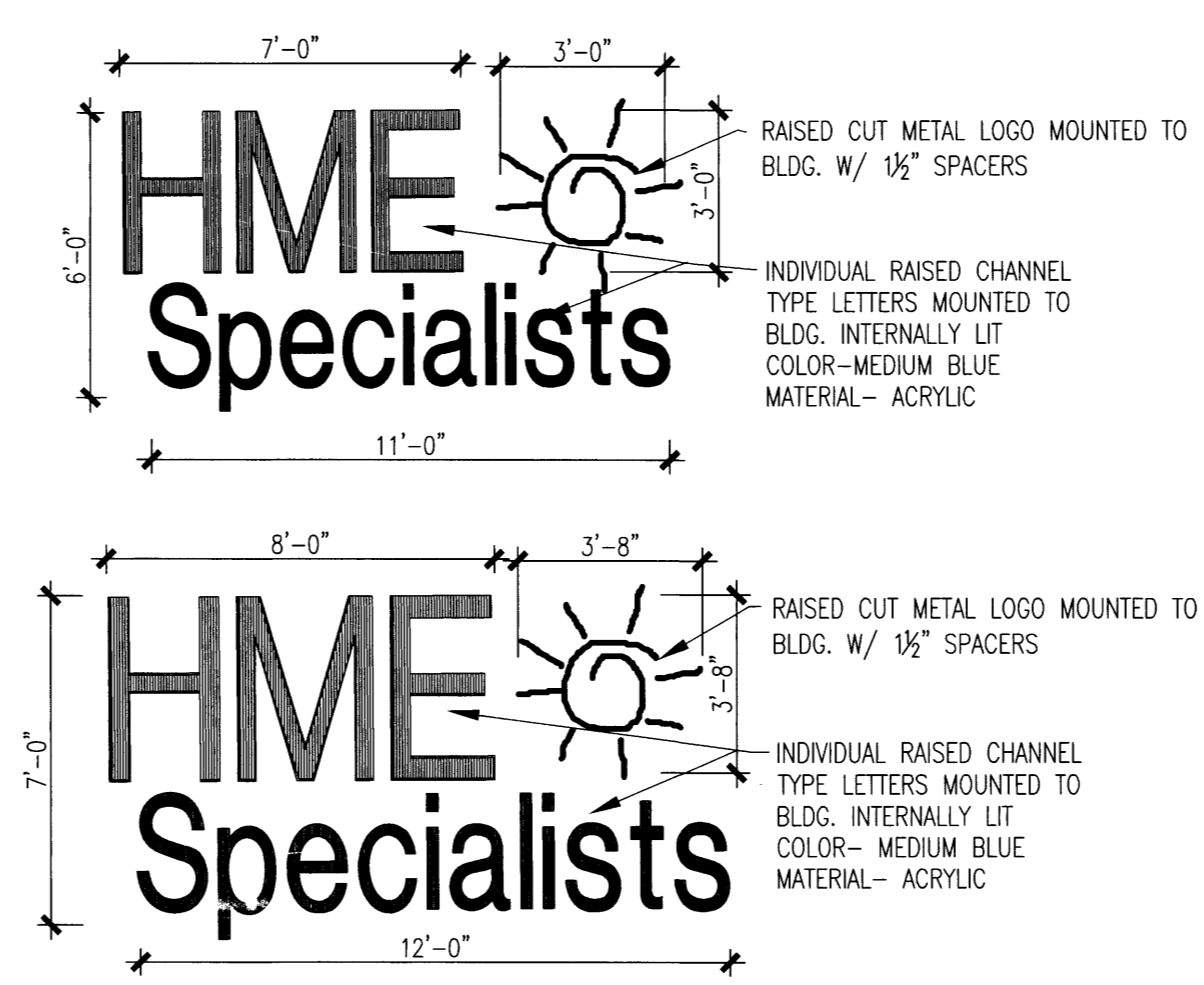




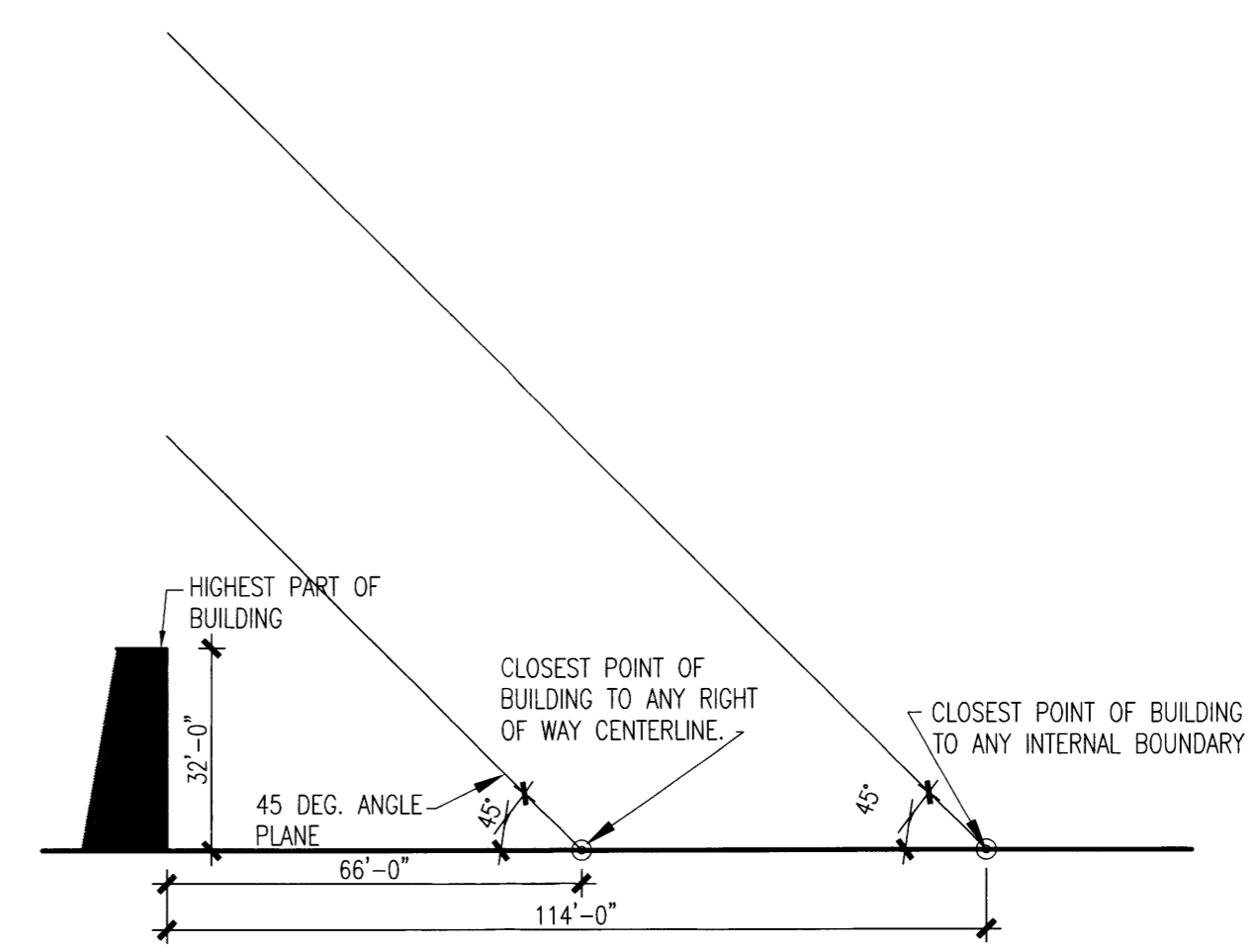
12 STANDARD TRACTOR TRAILER TURN RADIUS  
1/20"=1'-0" WB-50



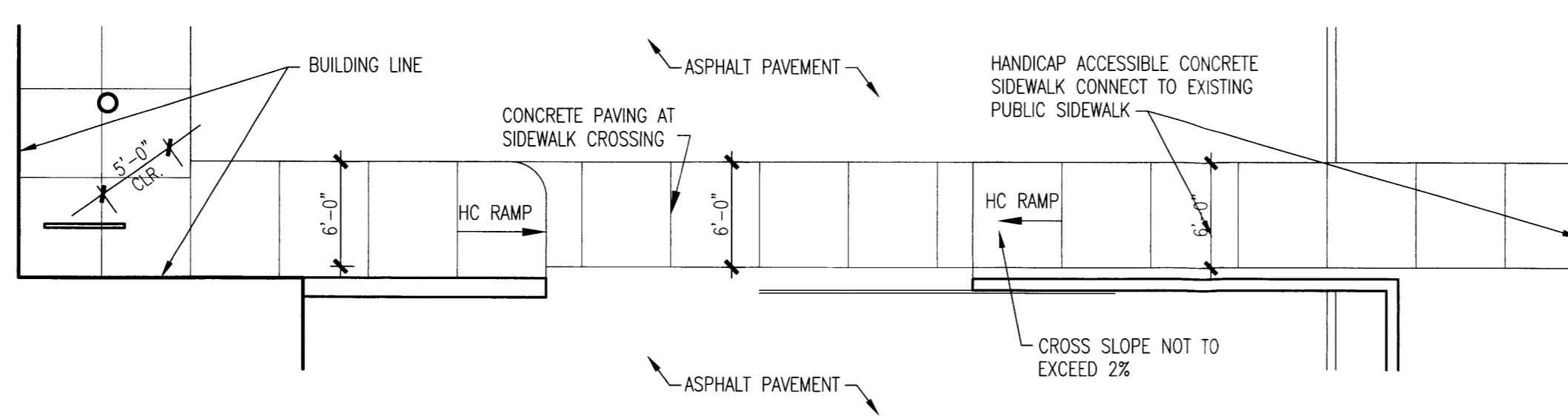
11 TYPICAL SITE SECURITY WALL & GATE  
1/4"=1'-0"



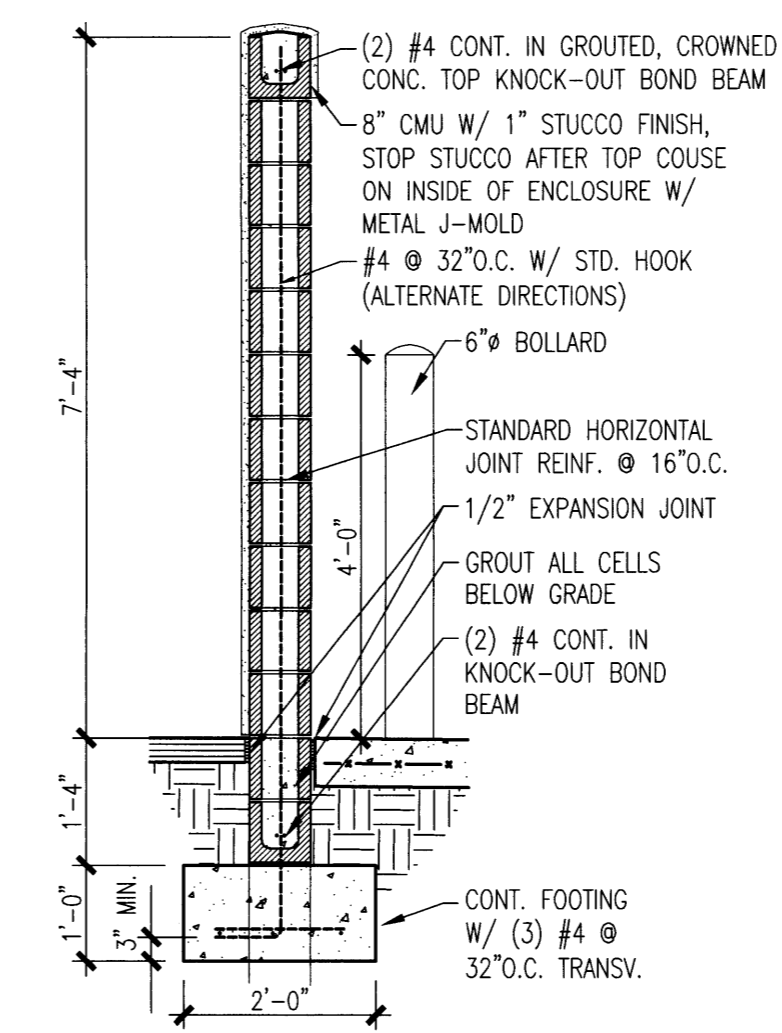
10 BUILDING MOUNTED SIGNAGE  
1/4"=1'-0"



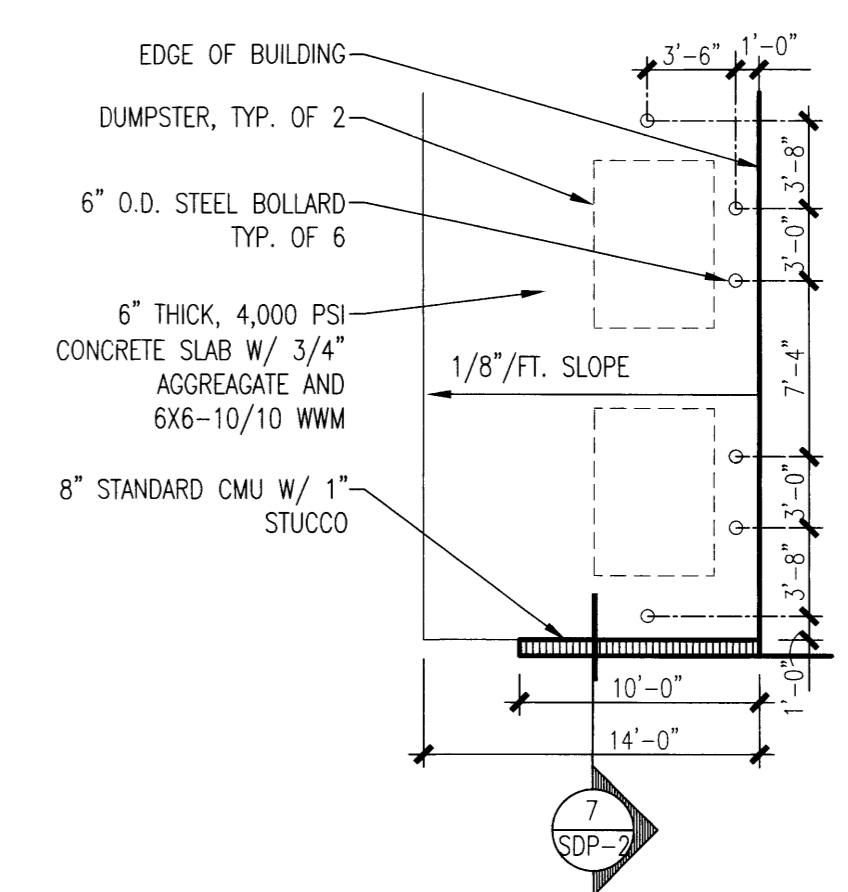
9 BUILDING HEIGHT DIAGRAM  
1/30"=1'-0"



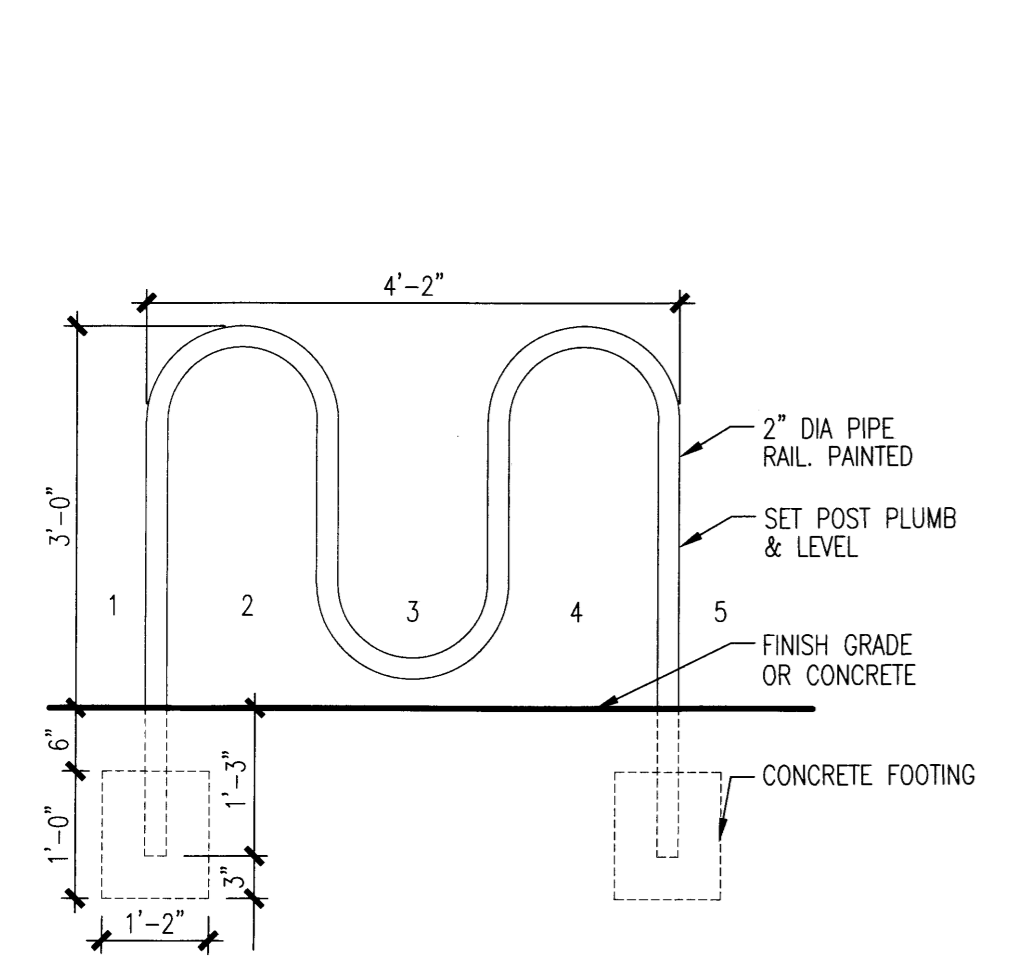
8 PEDESTRIAN PATH DETAIL  
1/8"=1'-0"



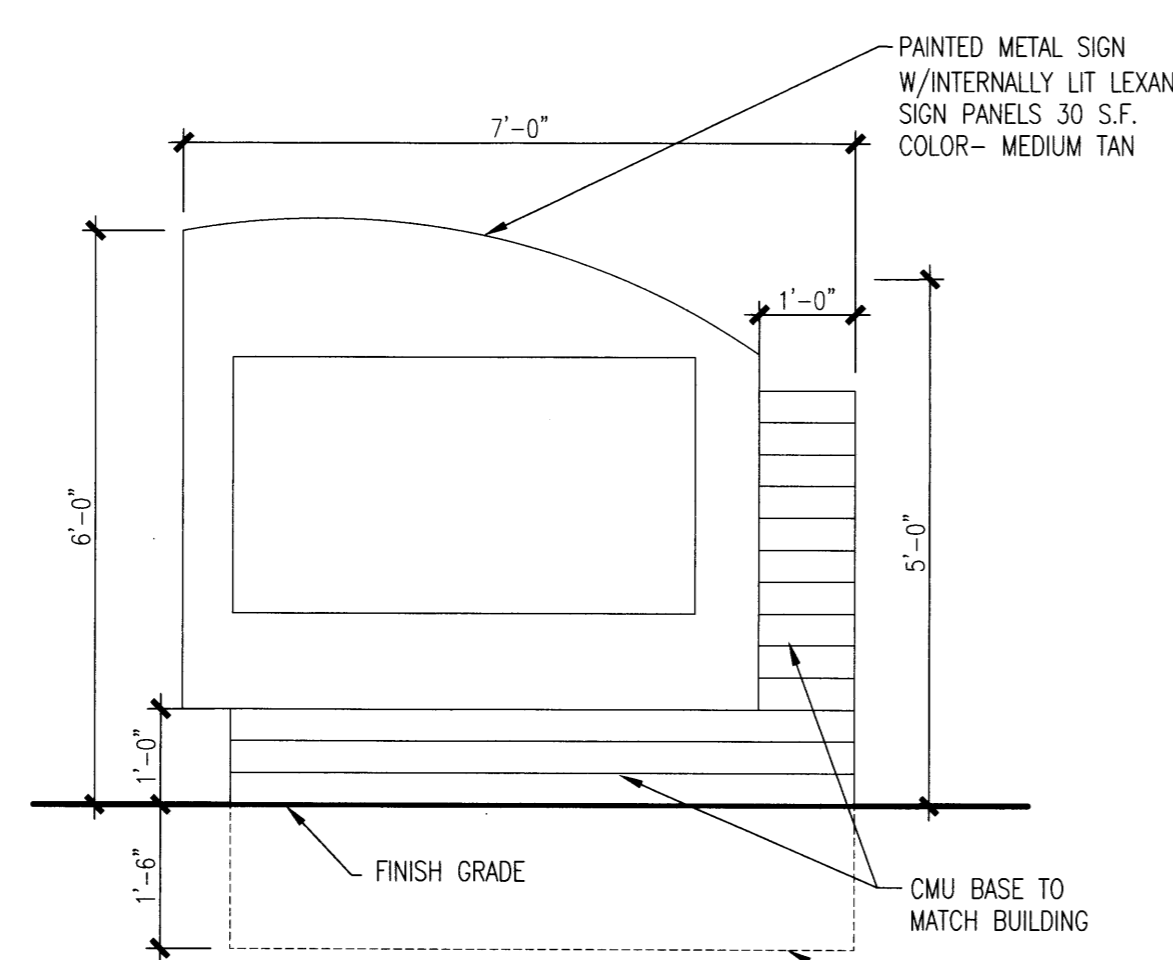
7 REFUSE SCREEN WALL DETAIL  
3/4"=1'-0"



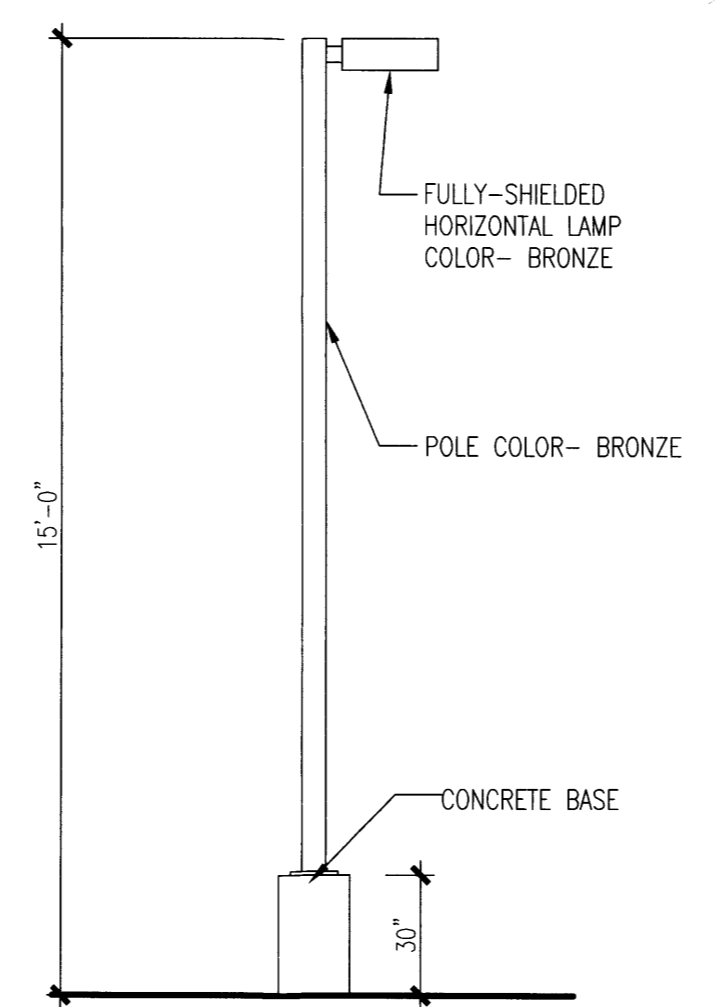
6 REFUSE PLAN  
1/8"=1'-0"



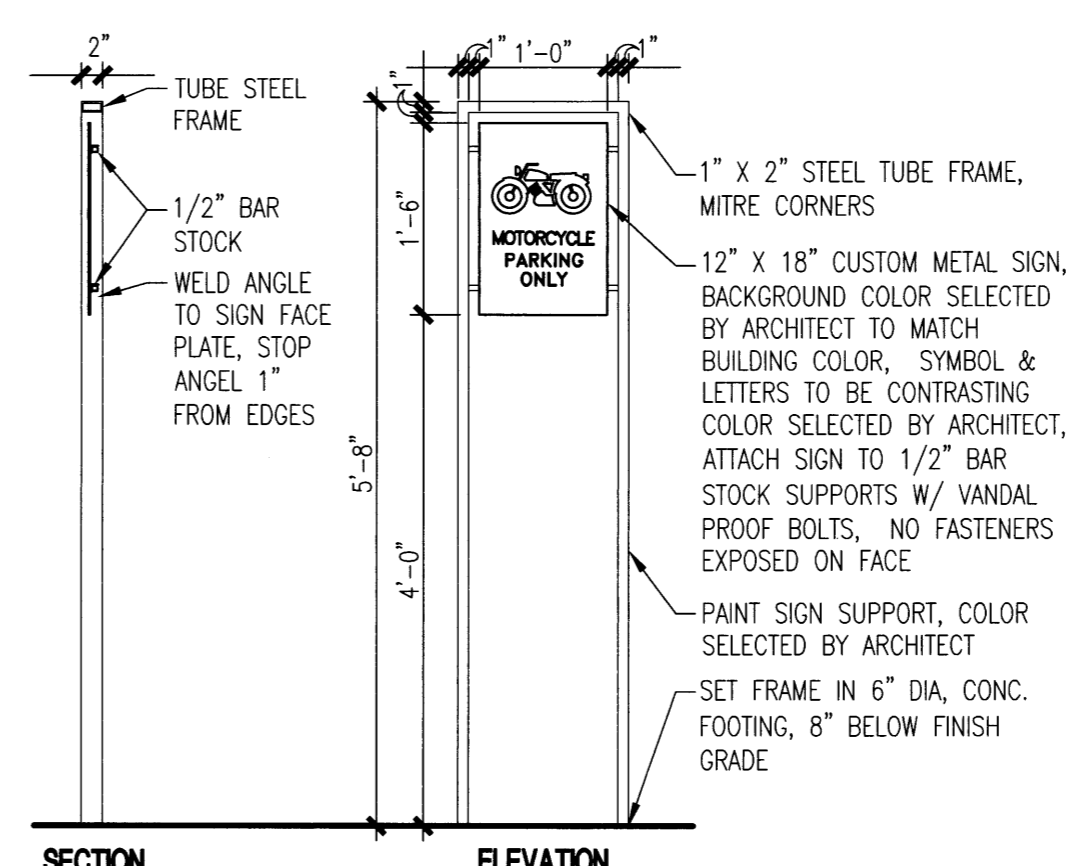
5 BIKE POST DETAIL  
1"=1'-0"



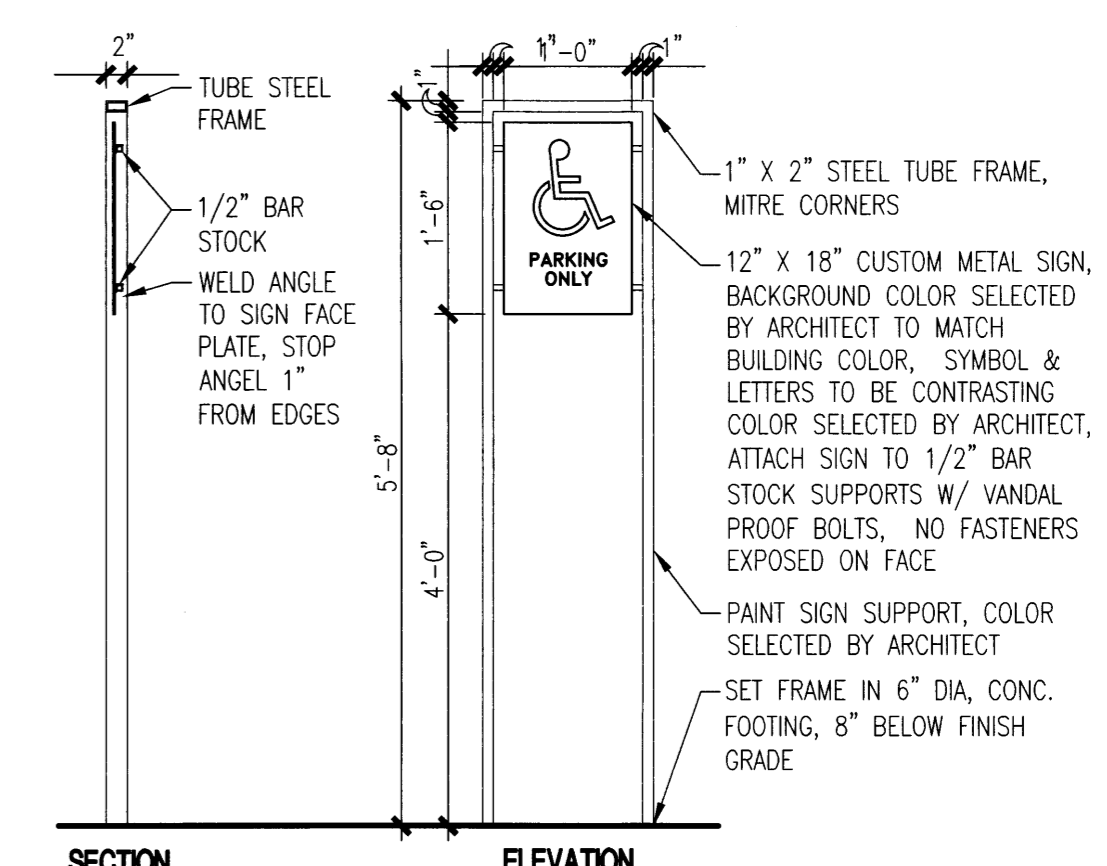
4 MONUMENT SIGN  
N.T.S.



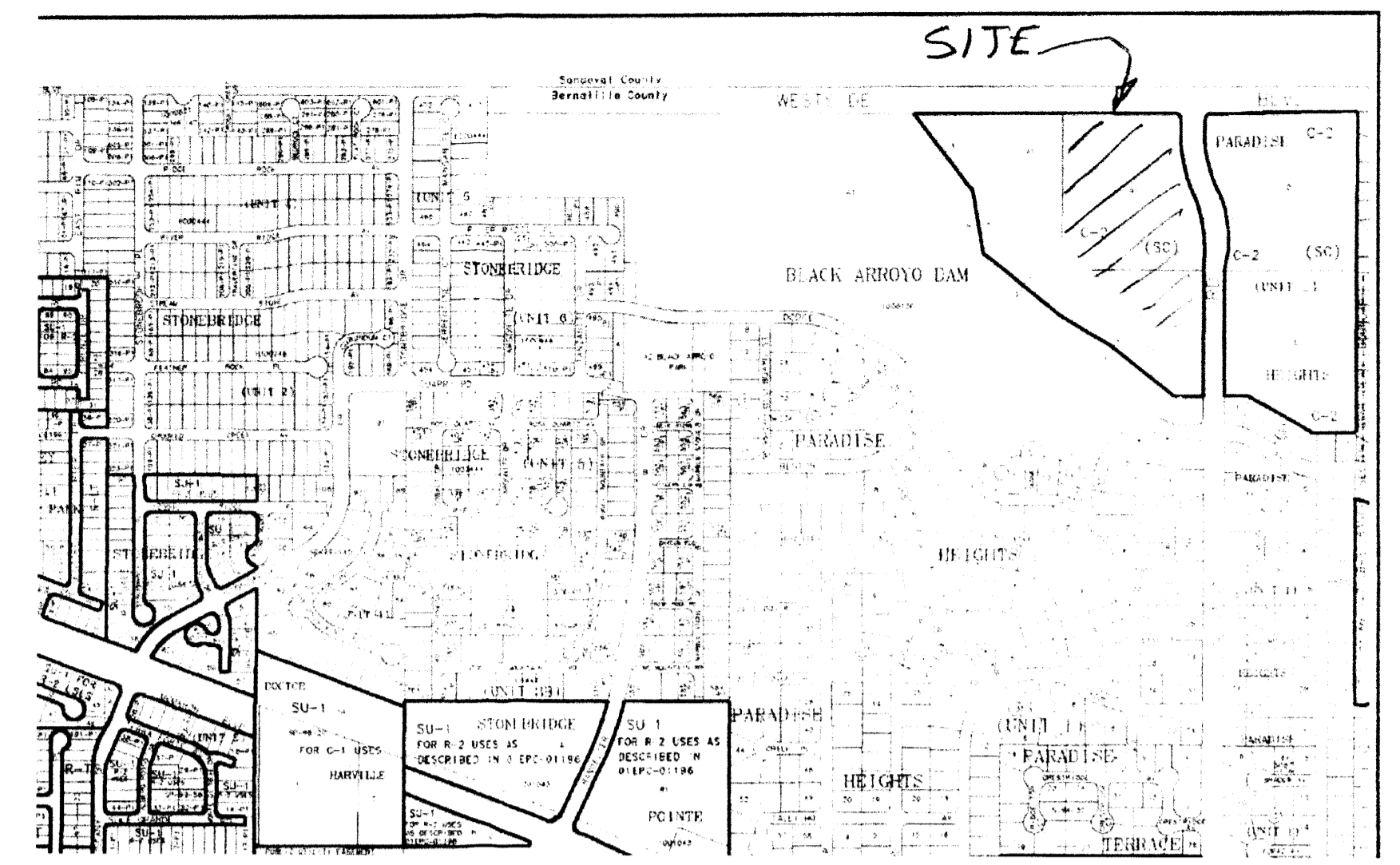
3 POLE LIGHT  
N.T.S.



2 MOTORCYCLE PARKING SIGN  
1"=1'-0"



1 HANDICAP PARKING SIGN  
1"=1'-0"



VICINITY MAP ZONE ATLAS PAGE A-12



FIRM MAP PANEL 35001C0108G  
EFFECTIVE DATE SEPT 26, 2008

DRAINAGE REPORT

HYDROLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION

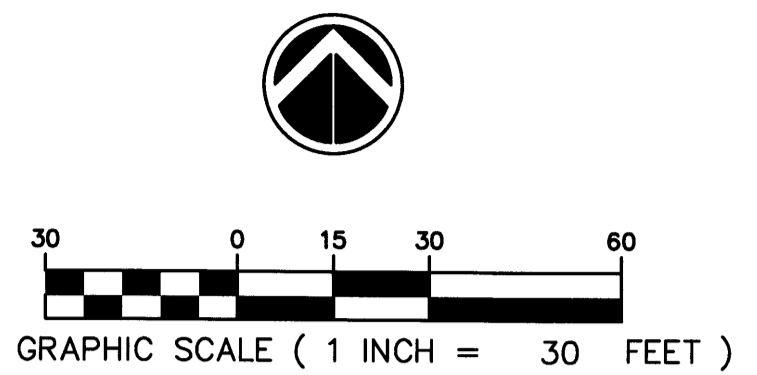
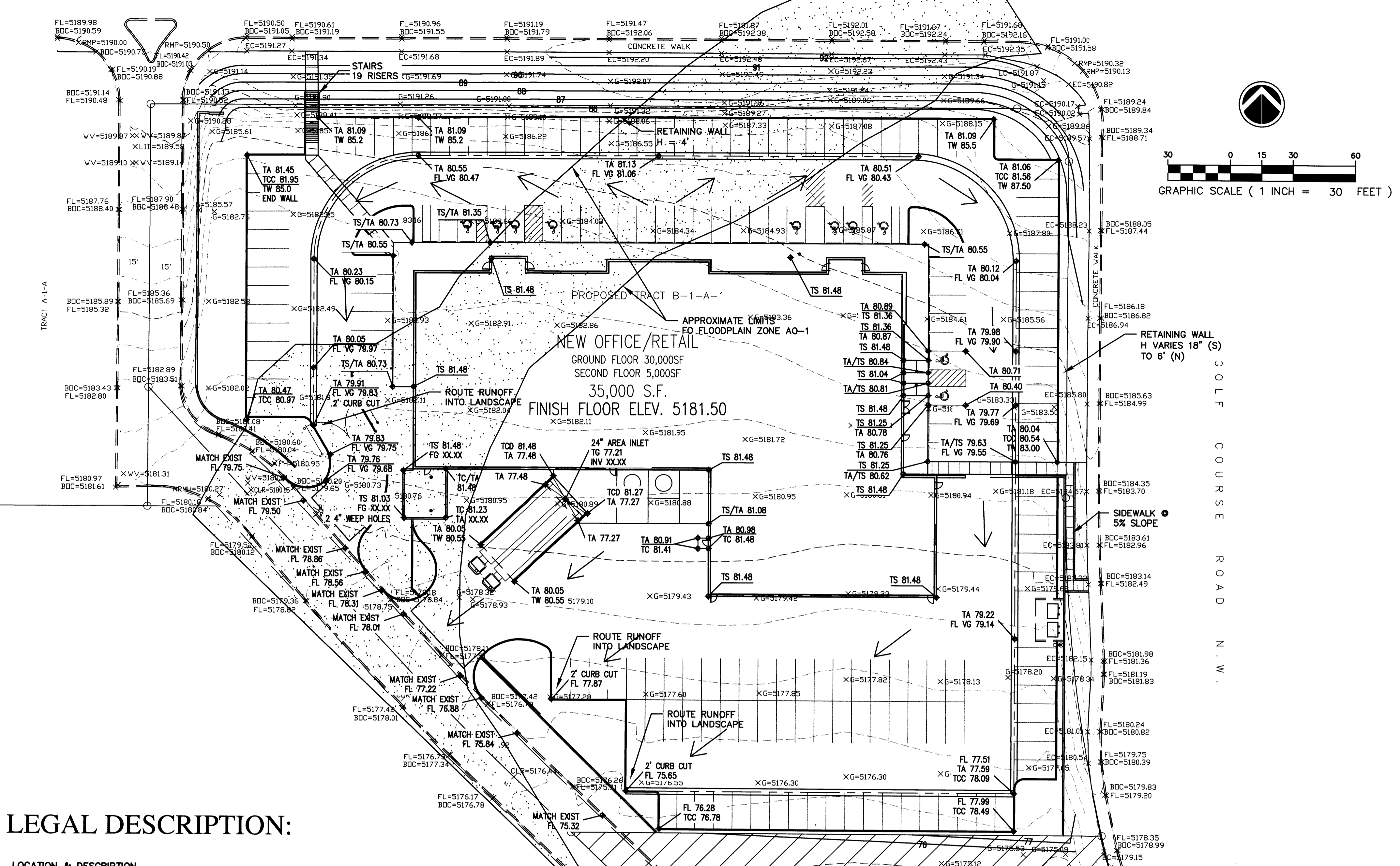
THE 100-YR, 6-HR STORM EVENT WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THE SITE LIES WITHIN THE ZONE 1 PRECIPITATION AREA FOR THE CITY OF ALBUQUERQUE, AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. THEREFORE, TABLES WITHIN THIS SECTION WERE USED TO ESTABLISH THE EXCESS PRECIPITATION AND PEAK DISCHARGE.

EXISTING DRAINAGE

THE SITE AS IT CURRENTLY EXISTS HAS A RELATIVELY UNIFORM NORTH TO SOUTH SLOPE OF APPROXIMATELY 3.3%. RUNOFF MODE IS SHALLOW SHEET FLOW. PER THE EXISTING FLOOD RATE INSURANCE MAP, THE IS AN AO-1 FLOOD PLAIN ON SITE FROM THE NORTHEAST CORNER TOWARD THE SOUTHWEST THEN SOUTH PARALLELING THE WEST PROPERTY LINE OF THIS PARCEL. THIS DISCUSSION ACKNOWLEDGES THE FLOODPLAIN IS NOTED ON THE MAP BUT ALSO REALIZES A LETTER OF MAP REVISION (LOMR) HAS BEEN SUBMITTED TO REVISE THE MAP BASED ON STORMWATER CONTROL FACILITIES RECENTLY CONSTRUCTED UPSTREAM OF THIS PARCEL. STORMWATER GENERATED FROM THIS SITE DISCHARGES ON THE SOUTH END OF THE SITE TO THE LOWER END OF THE BLACK ARROYO DAM.

DEVELOPED CONDITION

THE PROPOSED GRADING FOR THIS PROJECT GENERALLY CONTINUES THE PATTERN OF THE EXISTING STORMWATER RUNOFF EXCEPT THAT THE RUNOFF FROM THE NORTHERN PORTION OF THE SITE IS ROUTED AROUND THE BUILDING IN THE PAVED PARKING LOT. ONCE SOUTH OF THE BUILDING THE RUNOFF TAKES TWO PATHS. THE RUNOFF FROM THE WESTERN PORTION OF THE SITE FLOWS WEST THROUGH THE NORTHERN DRIVEPAD TO THE NEW PRIVATE ROAD THAT CONVEYS THE RUNOFF SOUTH TO THE SOUTHERN END OF THE BLACK ARROYO DAM. RUNOFF FROM THE EASTERN PORTION OF THE SITE SHEET FLOWS SOUTH, ON THE PROPOSED PARKING LOT PAVEMENT, WHERE IT ULTIMATELY DISCHARGES FROM THE SITE INTO THE NEW PRIVATE ROAD DISCUSSED ABOVE. IN ORDER TO REDUCE THE RETAINING WALL HEIGHT ALONG THE NORTH PROPERTY LINE, THIS PLAN PROPOSES SLOPING FROM 10' BEYOND THE FACE OF THE CURB (STANDARD DISTANCE) TO THE RETAINING WALL FACE AT A SLOPE OF 4:1. THIS SLOP WILL BE LANDSCAPED. THE 10' FROM THE FACE OF CURB TO THE GRADE BREAK LINE (10') SOUTH OF THE CURB AS THE STANDARD 2%. IT IS THE INTENT OF THIS GRADING PLAN TO DEPRESS LANDSCAPE AREAS ALONG THE WEST SIDE OF THE SITE AND ROUTE THE RUNOFF FROM THE PAVED AREAS THROUGH THOSE LANDSCAPE AREAS AS A WATER HARVESTING MEASURE.



LEGAL DESCRIPTION:

LOCATION & DESCRIPTION

THE PROPOSED PARCEL IS AN APPROXIMATE 3.9 ACRE SITE IN THE SOUTHWEST QUADRANT OF WESTSIDE BOULEVARD AND GOLF COURSE NW. THE PARCEL IS UNDEVELOPED AS ARE THE SURROUNDING PARCELS.

LEGAL DESCRIPTION

LOT B1A, BLACK ARROYO DAM SUBDIVISION.

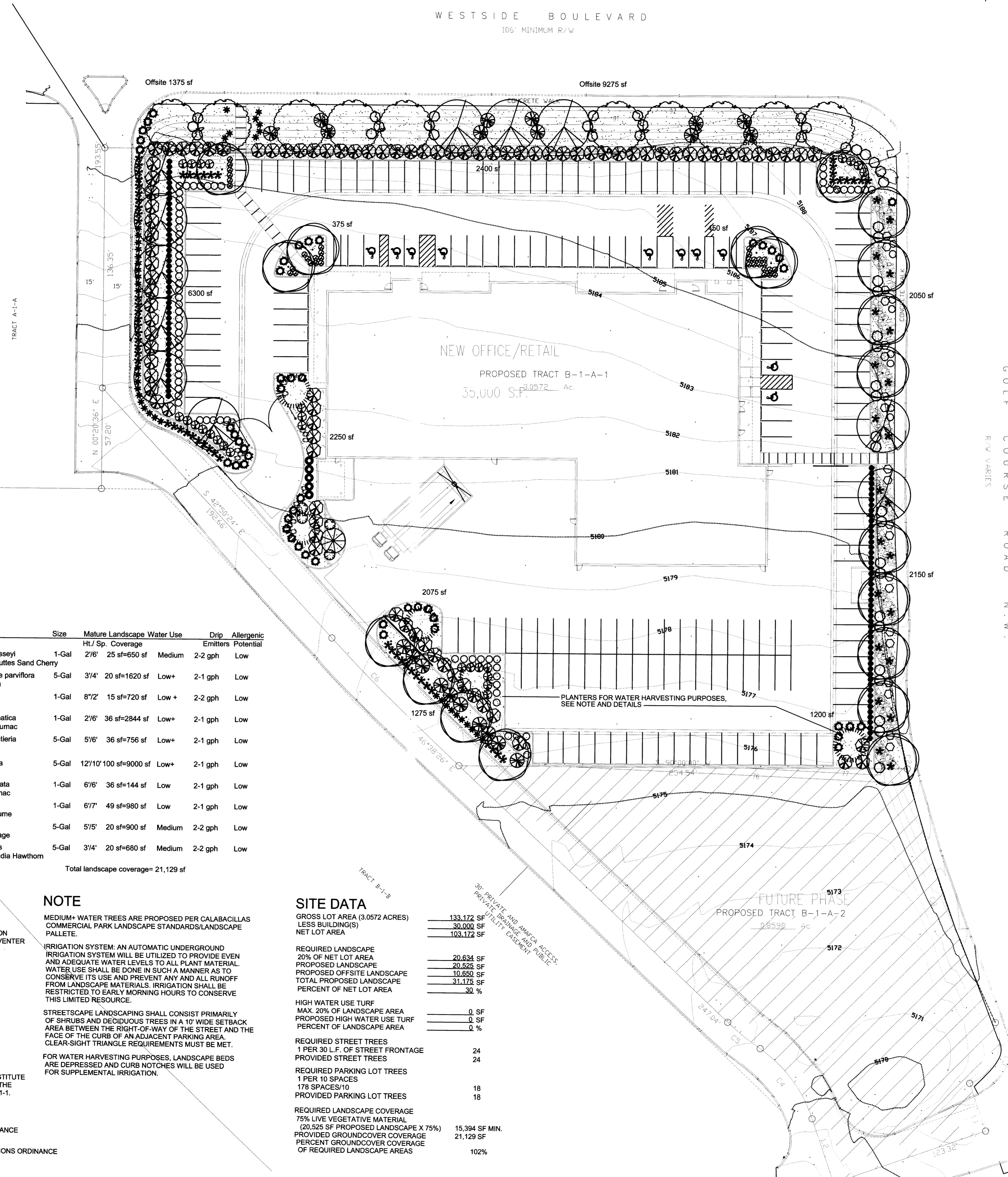
HME SPECIALISTS  
100-YEAR HYDROLOGIC CALCULATIONS  
31 JAN 2013

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V (10 day) (acre-ft)	V (10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)						
<b>EXISTING CONDITIONS</b>											
A	3.06	100.00	0.00	0.00	0.44	0.11	4,887	0.11	4,887	3.95	
B	0.86	100.00	0.00	0.00	0.44	0.03	1,374	0.03	1,374	1.11	
<b>TOTAL</b>	<b>3.92</b>					<b>0.14</b>	<b>6,261</b>	<b>0.14</b>	<b>6,261</b>	<b>5.06</b>	
<b>PROPOSED CONDITIONS</b>											
A	3.06	0.00	0.00	9.00	1.88	0.48	20,903	0.82	35,762	12.96	
B	0.86	100.00	0.00	0.00	0.44	0.03	1,374	0.03	1,374	1.11	
<b>TOTAL</b>	<b>3.92</b>					<b>0.51</b>	<b>22,276</b>	<b>0.85</b>	<b>37,135</b>	<b>14.07</b>	
<b>DIFFERENCE</b>											
						<b>0.37</b>	<b>16,015</b>	<b>0.71</b>	<b>30,874</b>	<b>9.01</b>	
EXCESS PRECIP.	0.44	0.67	0.99	1.97	E (in)						
PEAK DISCHARGE	1.29	2.03	2.87	4.37	Q <sub>pk</sub> (cfs)						

WEIGHTED E (in) = (E<sub>A</sub>)(%A) + (E<sub>B</sub>)(%B) + (E<sub>C</sub>)(%C) + (E<sub>D</sub>)(%D)  
V<sub>6-hr</sub> (acre-ft) = (WEIGHTED E)(AREA)/12  
V<sub>10-day</sub> (acre-ft) = V<sub>6-hr</sub> + (A<sub>D</sub>)(P<sub>10-day</sub> - P<sub>6-hr</sub>)/12  
Q (cfs) = (Q<sub>pk</sub>)(A<sub>1</sub>) + (Q<sub>pk</sub>)(A<sub>2</sub>) + (Q<sub>pk</sub>)(A<sub>3</sub>) + (Q<sub>pk</sub>)(A<sub>4</sub>)

ZONE = 1  
P<sub>6-hr</sub> (in.) = 2.20  
P<sub>24-hr</sub> (in.) = 2.66  
P<sub>10-day</sub> (in.) = 3.67





**PLANT LEGEND**

Qty.	Symbol	Scientific Name	Common Name	Size	Mature Ht./ Sp.	Landscape Coverage	Water Use	Drip Emitters	Allergenic Potential
19	○	Gleditsia	Shademaster Honey Locust	2" Cal	50/45'		Medium+	6-2 gph	Low
10	○	Pistacia	Chinese Pistache	2" Cal	60/60'		Medium	6-2 gph	Low
11	○	Chitalpa	Chitalpa	2" Cal	20/20'		Medium (see note)	6-2 gph	Low
5	○	Pinus nigra	Austrian Pine	6' Ht.	35/25'		Medium +	6-2 gph	Low
1	○	Vitex	Chaste Tree	15-Gal	20/20'	400 sf=400 sf	Medium	6-2 gph	Low
<b>Grasses</b>									
5	●	Miscanthus	Maiden Grass	5-Gal	5/5'	25 sf=125 sf	Medium	2-2 gph	Low
98	●	Calamagrostis	Karl Foerster Grass	5-Gal	3/2'	10 sf=980 sf	Medium	2-2 gph	Low
38	★	Nolina	Bear Grass	5-Gal	5/6'	35 sf=1330 sf	RW	2-1 gph	Low

Shrubs/Groundcovers	Size	Mature Ht./ Sp.	Landscape Coverage	Water Use	Drip Emitters	Allergenic Potential		
26	○	Prunus besseyi	1-Gal	2/6'	25 sf=650 sf	Medium	2-2 gph	Low
81	○	Hesperaloe parviflora	5-Gal	3/4'	20 sf=1620 sf	Low+	2-1 gph	Low
48	○	Nepeta	1-Gal	8/2'	15 sf=720 sf	Low +	2-2 gph	Low
79	○	Rhus aromatica	1-Gal	2/6'	36 sf=2844 sf	Low+	2-1 gph	Low
21	○	Chamaebatia	5-Gal	5/6'	36 sf=756 sf	Low+	2-1 gph	Low
90	○	Vauquelinia	5-Gal	12/10'	100 sf=9000 sf	Low+	2-1 gph	Low
4	○	Rhus trilobata	1-Gal	6/6'	36 sf=144 sf	Low	2-1 gph	Low
20	○	Fallugia	1-Gal	6/7'	49 sf=980 sf	Low	2-1 gph	Low
45	○	Perovskia	5-Gal	5/5'	20 sf=900 sf	Medium	2-2 gph	Low
34	○	Raphiolepis	5-Gal	3/4'	20 sf=680 sf	Medium	2-2 gph	Low

Total landscape coverage= 21,129 sf

**PLANTING RESTRICTIONS APPROACH**

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS  
A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

**MATERIALS LEGEND**

- BROWN CRUSHER FINES
- SAN LAZARUS GOLD 2"-4" COBBLESTONE
- ACCENT BOULDER

**NOTE**

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER  
PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE  
WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER  
THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH  
IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10  
LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2" DEPTH  
APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.  
NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.  
STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.  
LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.

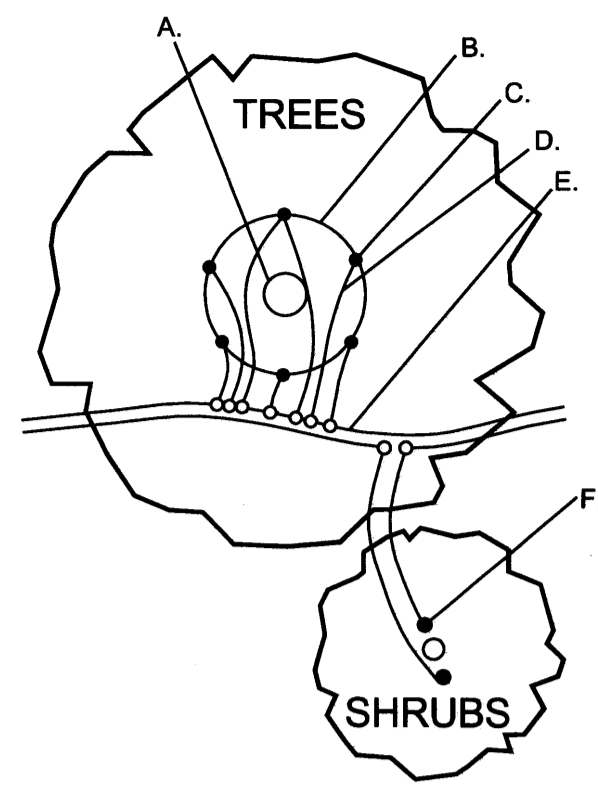
**NOTE**

MEDIUM+ WATER TREES ARE PROPOSED PER CALABACILLAS COMMERCIAL PARK LANDSCAPE STANDARDS/LANDSCAPE PALLETTE.  
IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.  
STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A 10' WIDE SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.  
FOR WATER HARVESTING PURPOSES, LANDSCAPE BEDS ARE DEPRESSED AND CURB NOTCHES WILL BE USED FOR SUPPLEMENTAL IRRIGATION.

**SITE DATA**

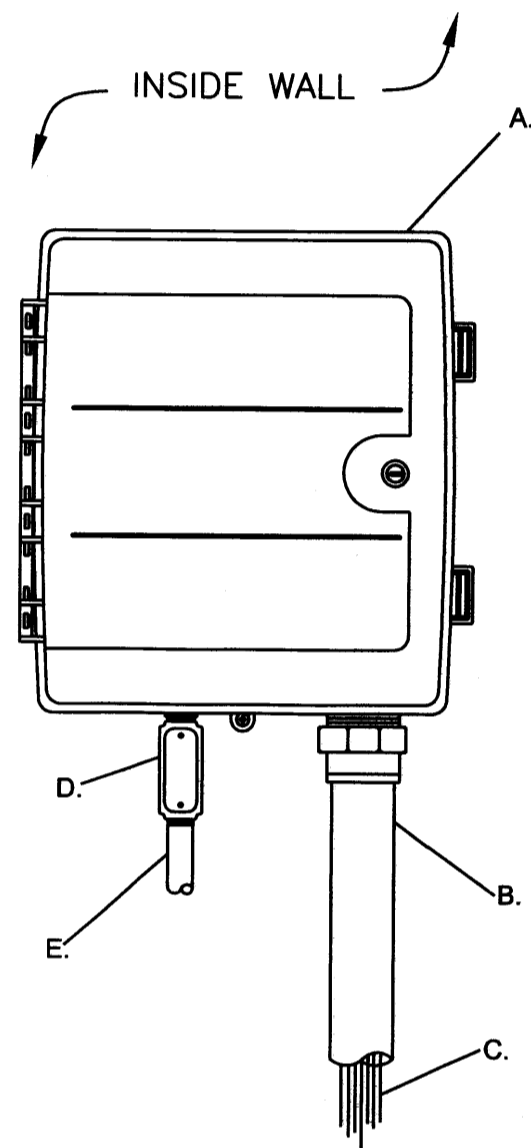
GROSS LOT AREA (3.0572 ACRES)	133,172 SF
LESS BUILDING(S)	30,000 SF
NET LOT AREA	103,172 SF
REQUIRED LANDSCAPE	20,634 SF
20% OF NET LOT AREA	20,634 SF
PROPOSED LANDSCAPE	20,525 SF
PROPOSED OFFSITE LANDSCAPE	10,650 SF
TOTAL PROPOSED LANDSCAPE	31,175 SF
PERCENT OF NET LOT AREA	30%
HIGH WATER USE TURF	0 SF
MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0%
REQUIRED STREET TREES	24
1 PER 30' L.F. OF STREET FRONTAGE	24
PROVIDED STREET TREES	24
REQUIRED PARKING LOT TREES	18
1 PER 10 SPACES	18
178 SPACES/10	18
PROVIDED PARKING LOT TREES	18
REQUIRED LANDSCAPE COVERAGE	15,394 SF MIN.
75% LIVE VEGETATIVE MATERIAL (20,525 SF PROPOSED LANDSCAPE X 75%)	21,129 SF
PROVIDED GROUND COVER COVERAGE	21,129 SF
PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS	102%

SITE DEVELOPMENT PLAN  
 HOME SPECIALISTS OFFICE/RETAIL  
 WESTSIDE & GOLF COURSE, NW  
 ALBUQUERQUE, NEW MEXICO



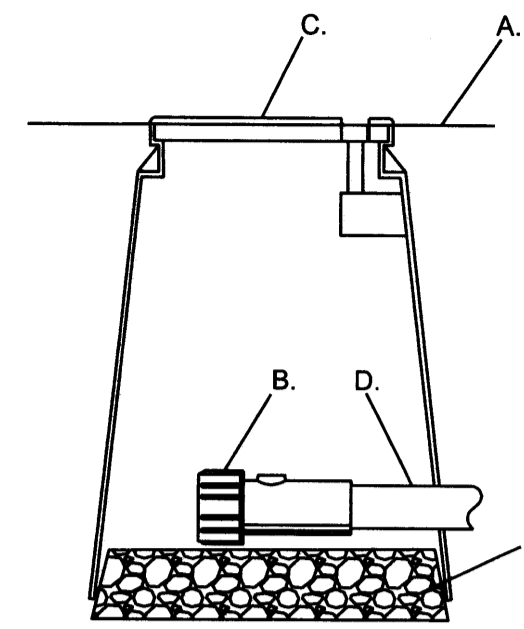
- A. TREE TRUNK/ ROOT CROWN
  - B. 24" CIRCLE FROM TRUNK
  - C. EMITTERS
  - D. 1/2" DISTRIBUTION LINE
  - E. PE DRIP LINE
  - F. EMITTER PLACED WITHIN 6" OF PLANT STEM
- NOTE: PLACE EMITTER ABOVE PLANT ON SLOPE

EMITTER PLACEMENT DETAIL



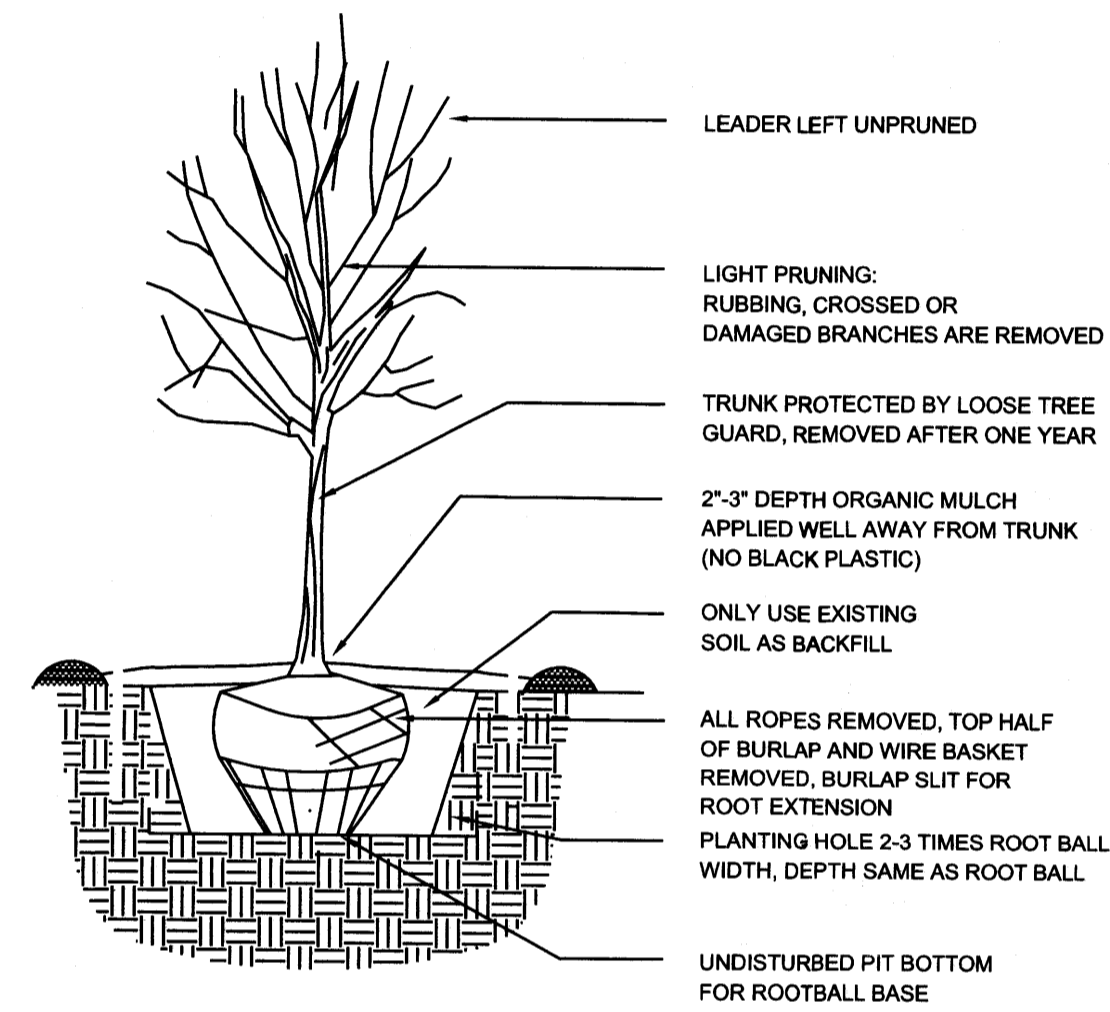
- A. WALL MOUNT CONTROLLER
- B. 2" PVC SCH 40 CONDUIT AND FITTINGS
- C. WIRES TO REMOTE CONTROL VALVES
- D. JUNCTION BOX
- E. 1" PVC SCH 40 CONDUIT AND FITTINGS TO POWER SUPPLY

CONTROLLER DETAIL



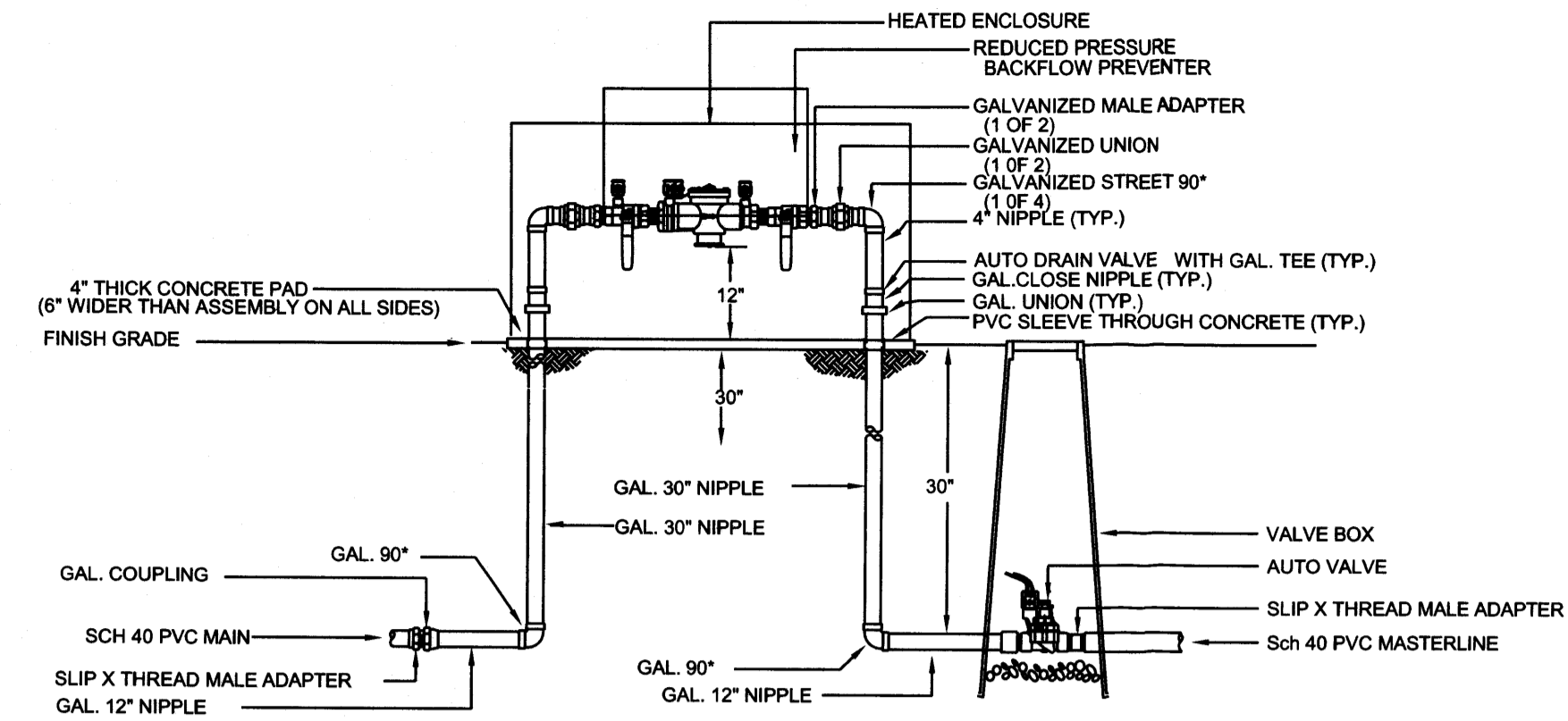
- A. FINISH GRADE
- B. END FLUSH CAP
- C. 6" ROUND BOX WITH LOCKING LID
- D. PE DRIP LINE
- E. 2" DEPTH 3/4" GRAVEL

END FLUSH CAP DETAIL



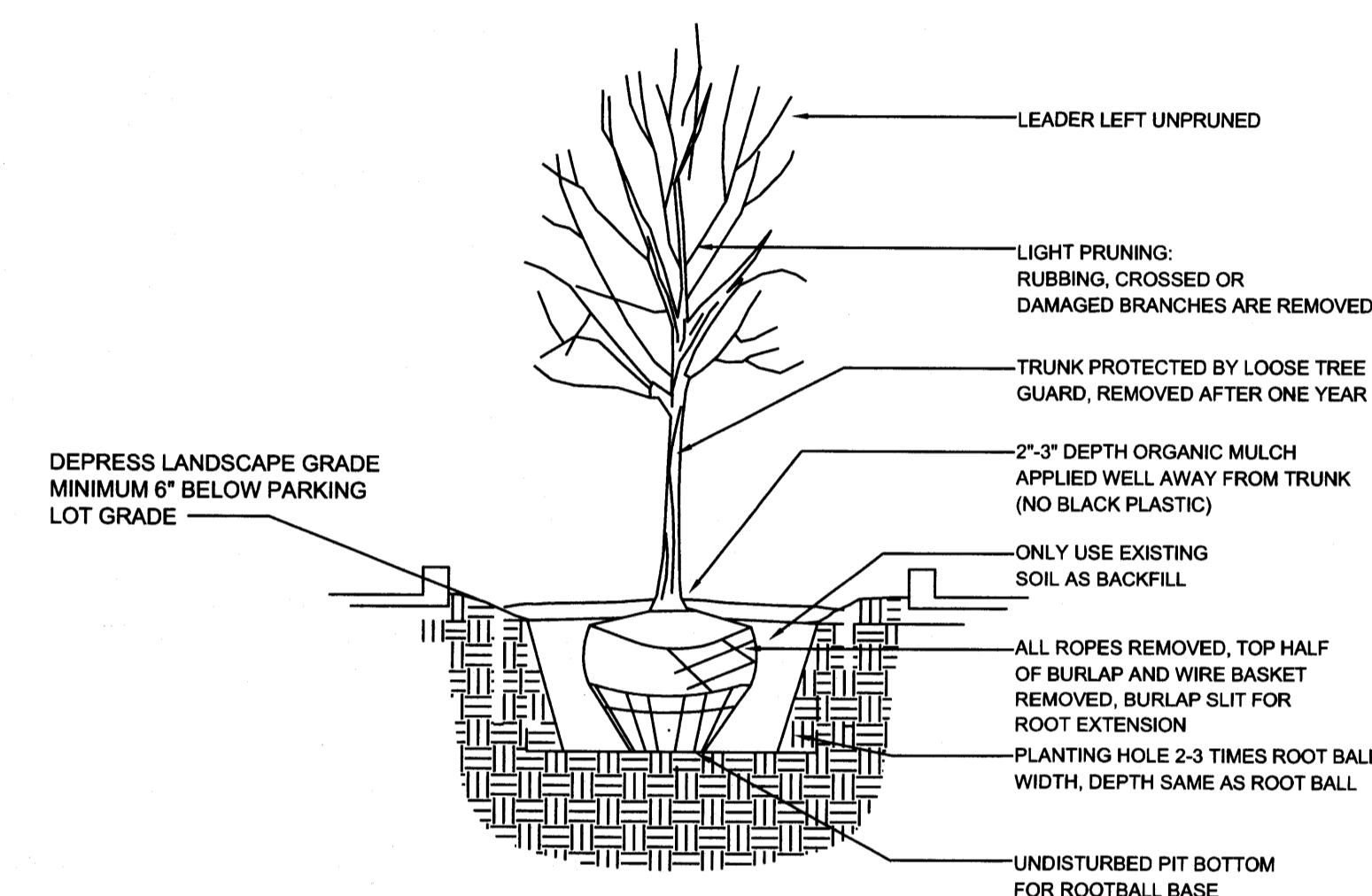
- LEADER LEFT UNPRUNED
- LIGHT PRUNING: RUBBING, CROSSED OR DAMAGED BRANCHES ARE REMOVED
- TRUNK PROTECTED BY LOOSE TREE GUARD, REMOVED AFTER ONE YEAR
- 2"-3" DEPTH ORGANIC MULCH APPLIED WELL AWAY FROM TRUNK (NO BLACK PLASTIC)
- ONLY USE EXISTING SOIL AS BACKFILL
- ALL ROPES REMOVED, TOP HALF OF BURLAP AND WIRE BASKET REMOVED, BURLAP SLIT FOR ROOT EXTENSION
- PLANTING HOLE 2-3 TIMES ROOT BALL WIDTH, DEPTH SAME AS ROOT BALL
- UNDISTURBED PIT BOTTOM FOR ROOTBALL BASE

TREE PLANTING DETAIL



- NOTE:  
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

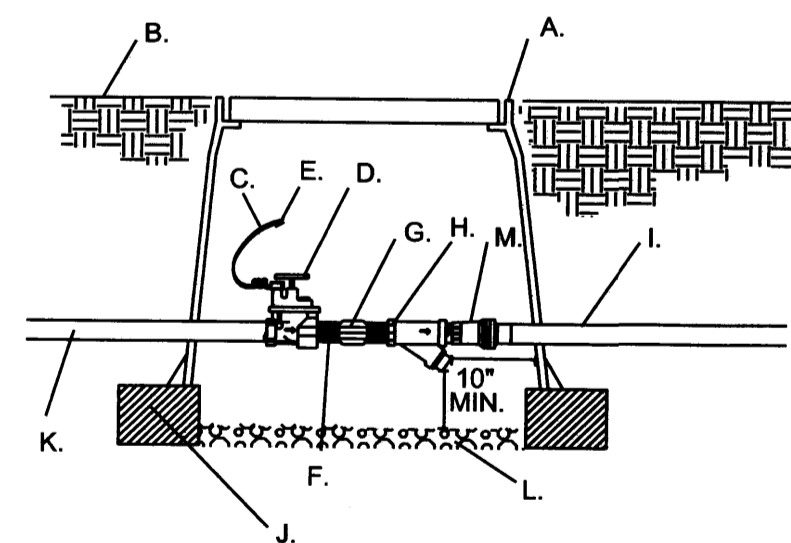
RP BACKFLOW/MASTER VALVE DETAIL



DEPRESS LANDSCAPE GRADE MINIMUM 6" BELOW PARKING LOT GRADE

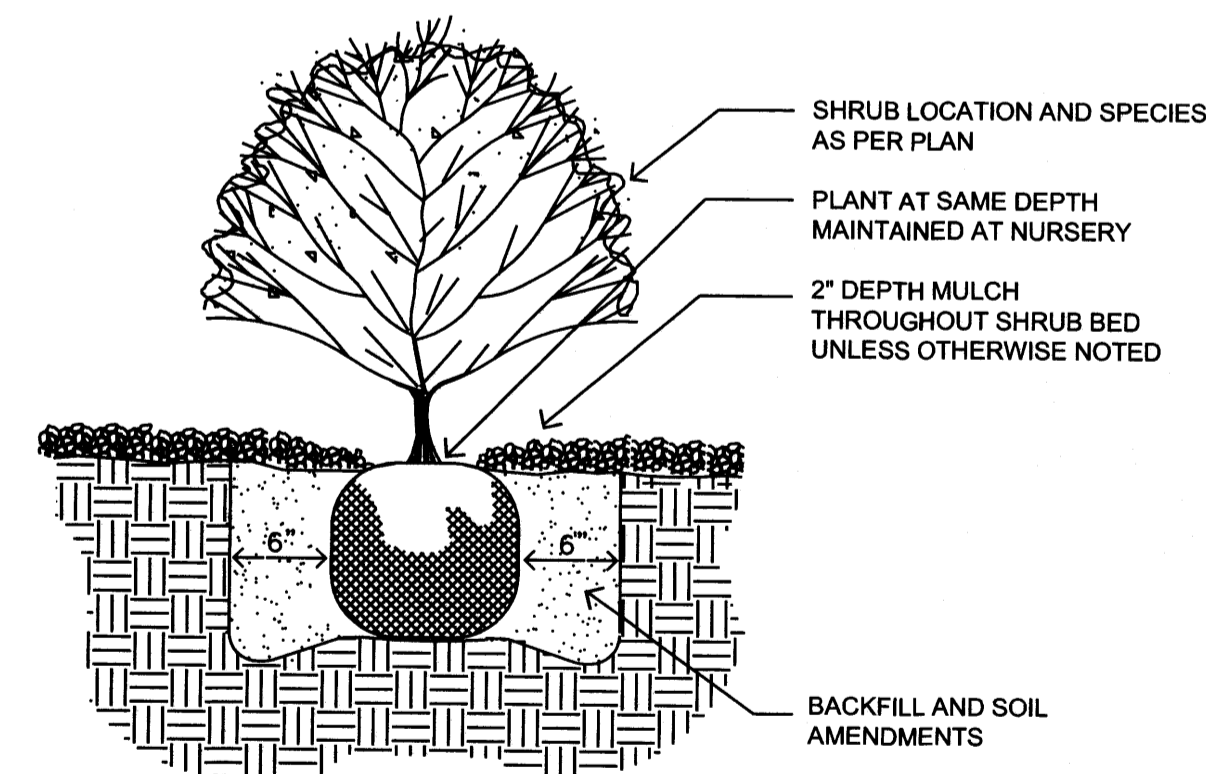
DEPRESS LANDSCAPE GRADE MINIMUM 6" BELOW PARKING LOT GRADE

TREE PLANTING DETAIL/WATER HARVESTING



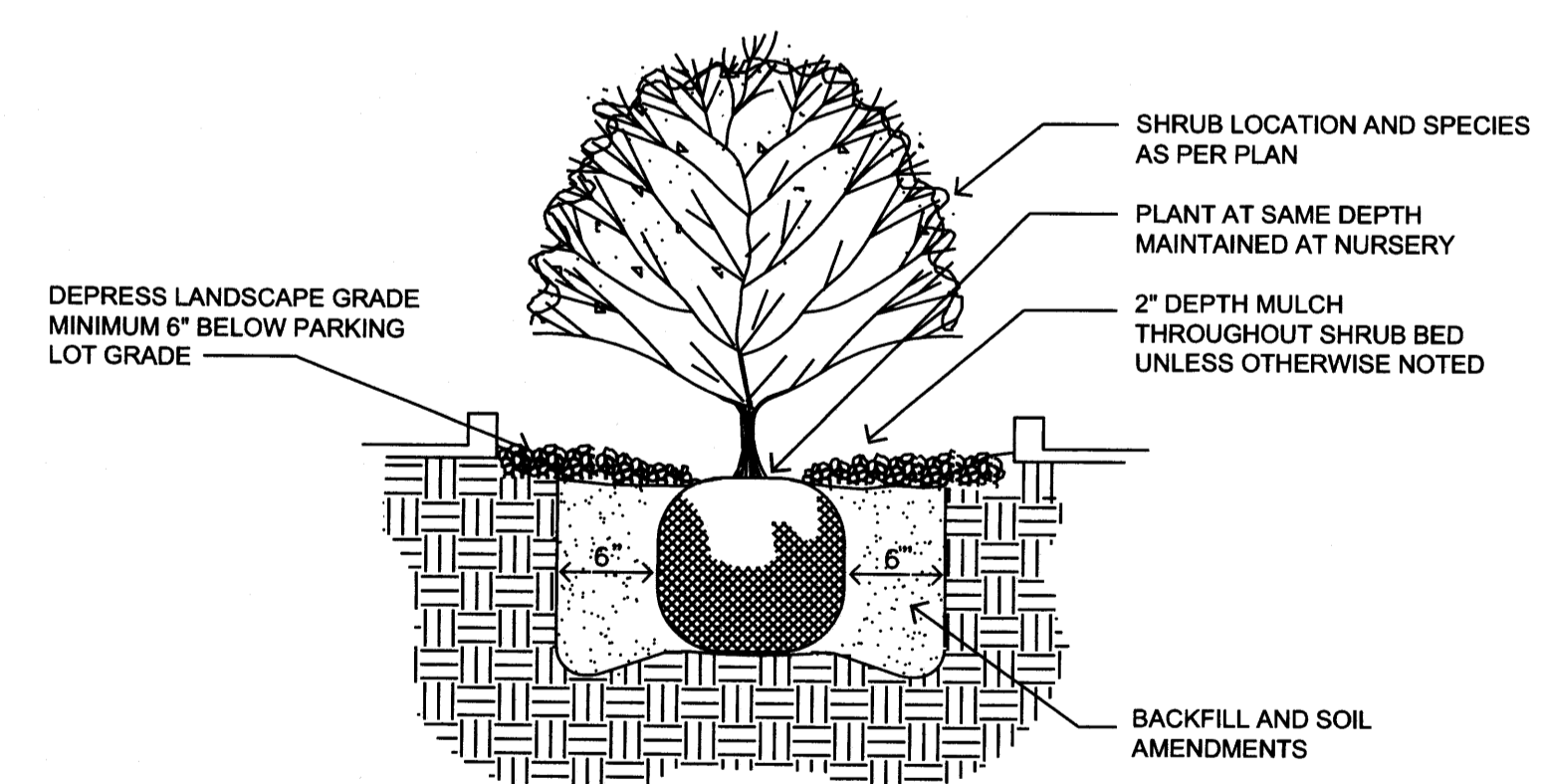
- A. BROOKS PRODUCTS INC. 1419-18 BODY (ABS) VALVE BOX W/ BOLT DOWN COVER, (ABS) AND ONE 8" EXTENSION.
- B. FINISH GRADE
- C. 24" WIRE LOOP
- D. AUTOMATIC VALVE- SEE IRRIGATION LEGEND.
- E. DRY SPLICE CONNECTOR OR EQUAL
- F. SCH. 80 NIPPLE
- G. SCH. 80 COUPLING
- H. "WYE" STRAINER STRAINER SHALL BE INSTALLED TO PROVIDE ACCESS FOR MAINTENANCE AND REPLACEMENT OF FILTER
- I. LATERAL LINE
- J. 8" X 8" X 16" CMU CONCRETE BLOCK
- K. MAINLINE
- L. 4" LAYER OF 3/4" GRAVEL
- M. PRESSURE REGULATOR

DRIP VALVE DETAIL



- SHRUB LOCATION AND SPECIES AS PER PLAN
- PLANT AT SAME DEPTH MAINTAINED AT NURSERY
- 2" DEPTH MULCH THROUGHOUT SHRUB BED UNLESS OTHERWISE NOTED
- BACKFILL AND SOIL AMENDMENTS

SHRUB PLANTING DETAIL



DEPRESS LANDSCAPE GRADE MINIMUM 6" BELOW PARKING LOT GRADE

DEPRESS LANDSCAPE GRADE MINIMUM 6" BELOW PARKING LOT GRADE

SHRUB PLANTING DETAIL/WATER HARVESTING

REVISIONS

4/11/13  
2/27/13

DATE JANUARY 31, 2013

NORTH SCALE

NTS

DRAWING NAME

DETAIL SHEET

SHEET NUMBER

LP-2

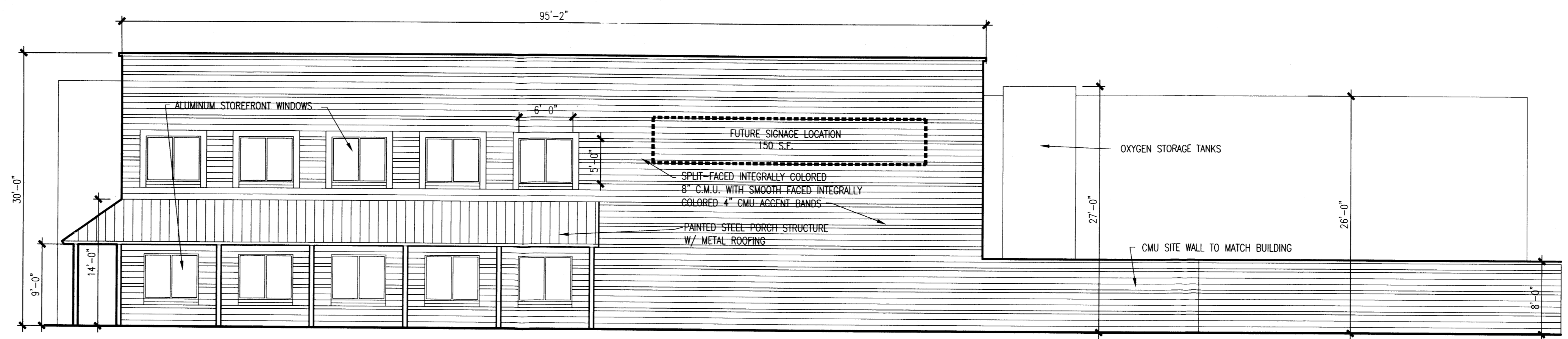
**EXTERIOR COLORS:**  
**BUILDING FINISH COLORS:**

CMU FIELD- MEDIUM TAN SPLIT FACED  
4" ACCENT CMU- DARK TAN SMOOTH FACE  
EXTERIOR STUCCO COLOR- TERRA COTTA  
ALUMINUM WINDOW FRAMES- BRONZE  
WINDOW GLAZING- 1" CLEAR INSULATED NON REFLECTIVE  
OVERHEAD & HM DOORS- MEDIUM TAN  
METAL ROOFING AT PORTALES- GALVANIZED STEEL- DULL, NON-REFLECTIVE  
PAINTED STEEL AT PORTALES- BRONZE

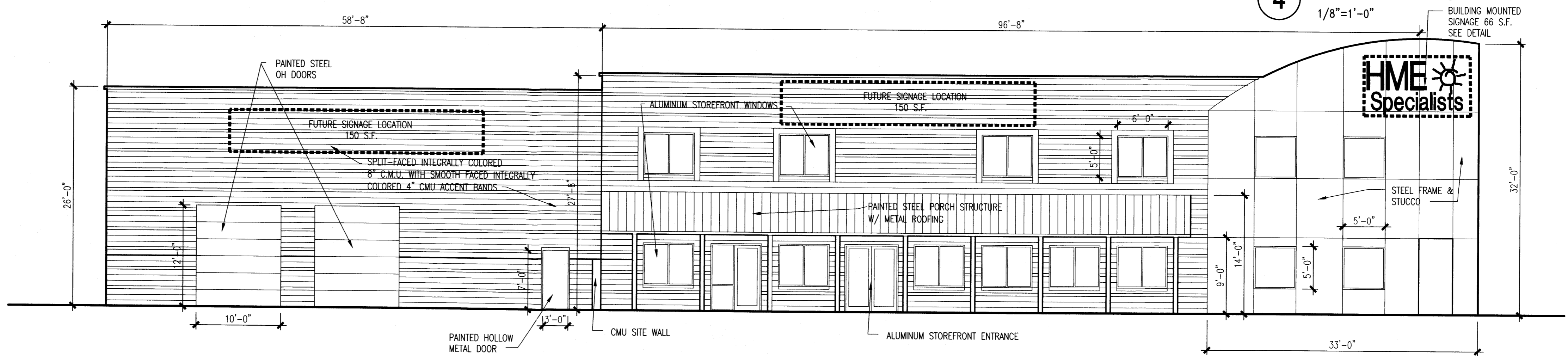
ALL BUILDING MOUNTED SIGNAGE TO BE LIGHTED EITHER INTERNALLY OR EXTERNALLY. ANY LIGHTING FOR SIGNAGE SHALL CONFORM TO NIGHT SKIES ACT.

**BUILDING SIGNAGE CALCS:**

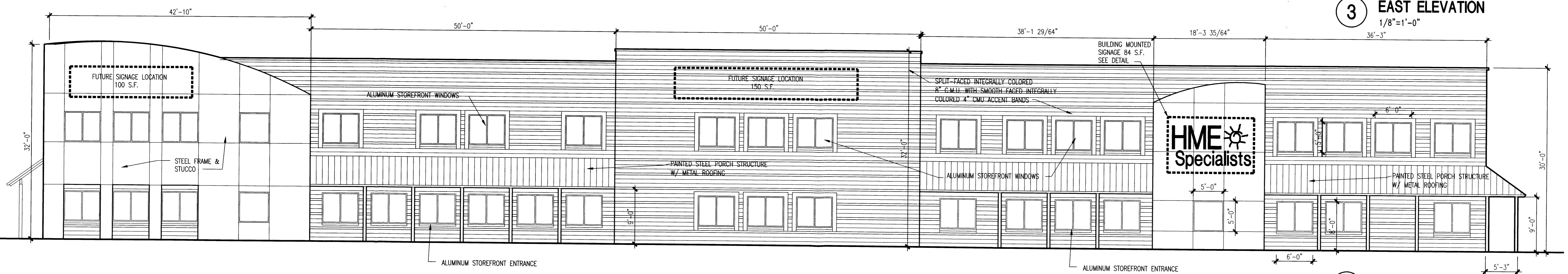
WEST ELEVATION- BLDG. AREA-2,850 S.F. SIGNAGE- 150 S.F.  
150 / 2850 = 5%  
EAST ELEVATION- BLDG. AREA-4,515 S.F. SIGNAGE- 366 S.F.  
366 / 4515 = 8%  
NORTH ELEVATION- BLDG. AREA-7,246 S.F. SIGNAGE- 334 S.F.  
334 / 7246 = 4.6%



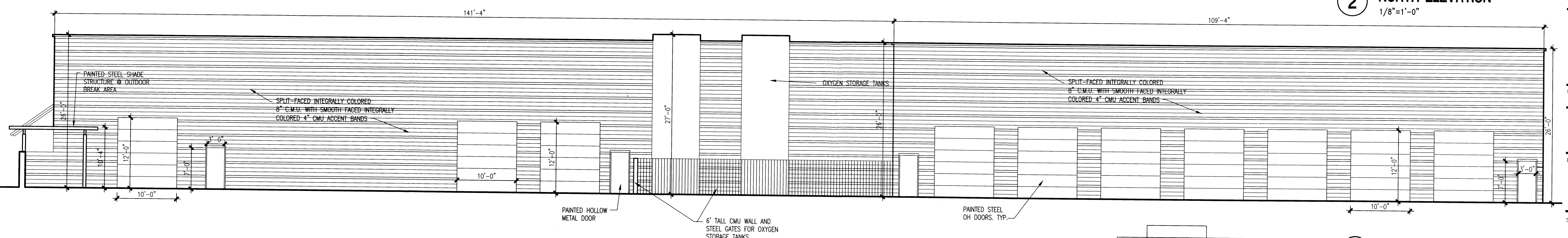
**4 WEST ELEVATION**  
1/8"=1'-0"



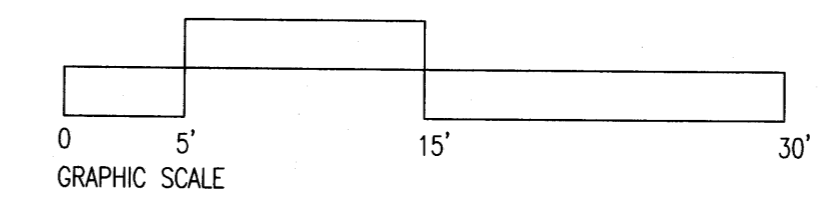
**3 EAST ELEVATION**  
1/8"=1'-0"



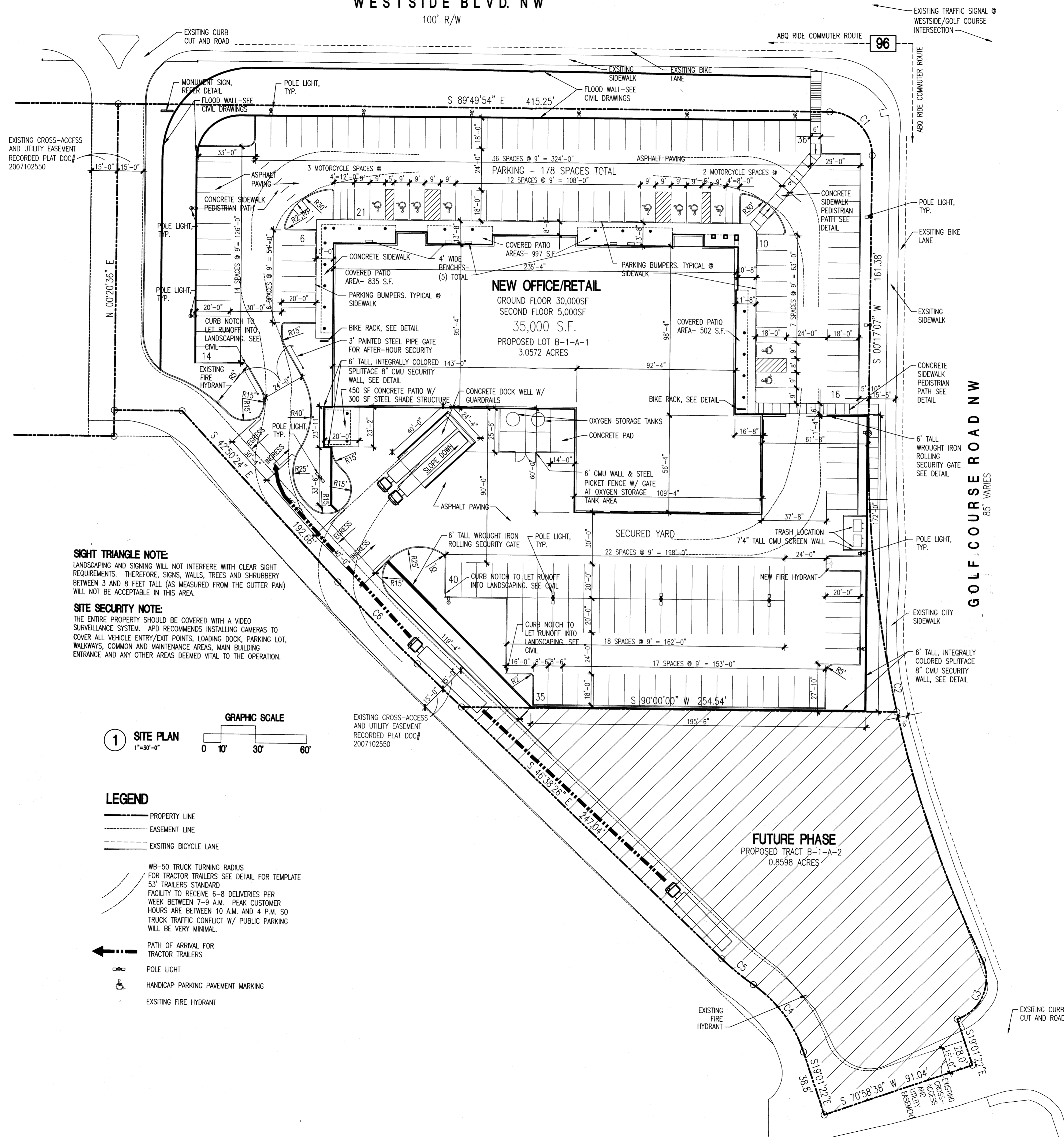
**2 NORTH ELEVATION**  
1/8"=1'-0"



**1 SOUTH ELEVATION**  
1/8"=1'-0"



WESTSIDE BLVD. NW  
100' R/W

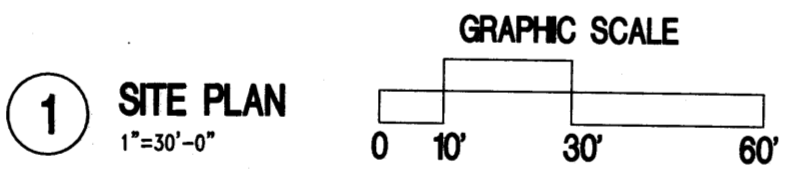


EXISTING CROSS-ACCESS AND UTILITY EASEMENT RECORDED PLAT DOC# 2007102550

EXISTING CROSS-ACCESS AND UTILITY EASEMENT RECORDED PLAT DOC# 2007102550

**SIGHT TRIANGLE NOTE:**  
LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

**SITE SECURITY NOTE:**  
THE ENTIRE PROPERTY SHOULD BE COVERED WITH A VIDEO SURVEILLANCE SYSTEM. APD RECOMMENDS INSTALLING CAMERAS TO COVER ALL VEHICLE ENTRY/EXIT POINTS, LOADING DOCK, PARKING LOT, WALKWAYS, COMMON AND MAINTENANCE AREAS, MAIN BUILDING ENTRANCE AND ANY OTHER AREAS DEEMED VITAL TO THE OPERATION.



- LEGEND**
- PROPERTY LINE
  - - - EASEMENT LINE
  - - - EXISTING BICYCLE LANE
  - WB-50 TRUCK TURNING RADIUS FOR TRACTOR TRAILERS SEE DETAIL FOR TEMPLATE
  - 53' TRAILERS STANDARD FACILITY TO RECEIVE 6-8 DELIVERIES PER WEEK BETWEEN 7-9 A.M. PEAK CUSTOMER HOURS ARE BETWEEN 10 A.M. AND 4 P.M. SO TRUCK TRAFFIC CONFLICT W/ PUBLIC PARKING WILL BE VERY MINIMAL.
  - ← PATH OF ARRIVAL FOR TRACTOR TRAILERS
  - ☉ POLE LIGHT
  - ♿ HANDICAP PARKING PAVEMENT MARKING
  - ⊕ EXISTING FIRE HYDRANT

**PROJECT INFORMATION**  
**PROJECT:** NEW OFFICE/RETAIL  
**LOCATION:** 10851 GOLF COURSE ROAD NW ALBUQUERQUE, NEW MEXICO  
**ARCHITECT:** TATE FISHBURN ARCHITECT  
**LEGAL DESCRIPTION:** LOT B-1-A BLACK ARROYO DAM  
**CURRENT ZONING CLASSIFICATION:** C-2(CS)  
**LOT AREA:** PROPOSED LOT B-1-A-1 3.0572 ACRES  
 PROPOSED LOT B-1-A-2 0.8598 ACRES  
 3.917 ACRES

**BUILDING ANALYSIS**  
 OFFICE 10,000 SF GROUND FLOOR  
 5,000 SF SECOND FLOOR  
 RETAIL 20,000 SF GROUND FLOOR  
 COVERED PORTALS 2,145 SF GROUND FLOOR  
 37,145 GSF

**PARKING ANALYSIS**  
 OFF-STREET PARKING  
 OFFICE 10,000 SF GROUND FLOOR 1:200 = 50 SPACES  
 5,000 SF SECOND FLOOR 1:300 = 17 SPACES  
 RETAIL 20,000 SF GROUND FLOOR 1:250 FOR 15,000SF = 75 SPACES  
 1:250 FOR 5,000SF = 20 SPACES  
 REQUIRED 162 SPACES  
 PROVIDED 178 SPACES

**HANDICAPPED PARKING** REQUIRED 8 SPACES  
 PROVIDED 10 SPACES  
**MOTORCYCLE PARKING** REQUIRED 5 SPACES  
 PROVIDED 5 SPACES  
**BICYCLE PARKING** 1:20 REQUIRED 9 SPACES  
 PROVIDED 10 SPACES

**OUTDOOR SPACE ANALYSIS**  
 TOTAL OUTDOOR PATIO AREA 5,063 S.F.  
 COVERED OUTDOOR PATIO AREA 2,634 S.F. (52%)  
 OUTDOOR SEATING REQUIRED 1 SEAT PER 25 LFT = 236 / 25 = 9.44  
 OUTDOOR SEATING PROVIDED (5) 48' BENCHES FOR 10 SEATS TOTAL

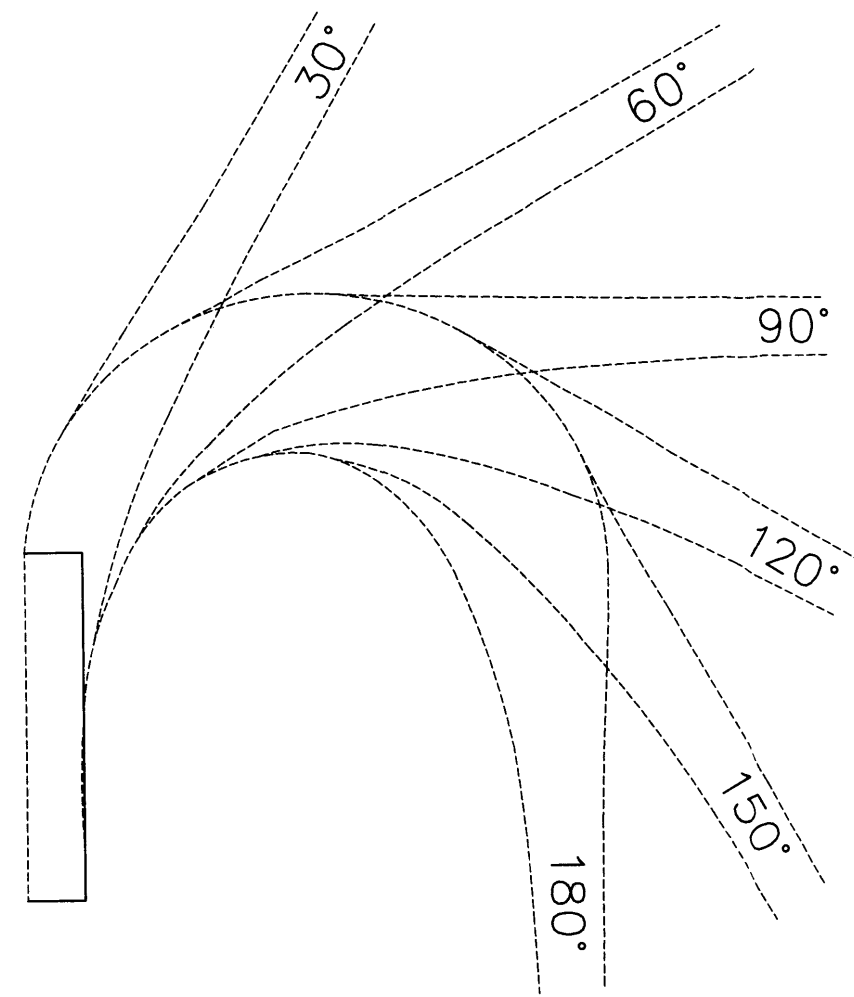
- GENERAL NOTES**
- ALL SITE LIGHTING SHALL BE CONSISTENT WITH SECTION 14-16-9, AREA LIGHTING REGULATIONS & THE NIGHT SKY ORDINANCE.
  - PARKING LOT POLE MOUNTED LIGHTING SHALL BE 15'-0" HIGH "CARBIDO LIGHTING" GLOW TOP MAG 18-1 OR EQUAL IN EARTH TONE COLOR.
  - PLACEMENT OF FIXTURES & STANDARDS SHALL CONFORM TO STATE & LOCAL SAFETY & ILLUM. REQUIREMENTS.
  - ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS W/ NO LIGHT, LENS OR BULB PROTRUDING BELOW THE BOTTOM OF THE CUT-OFF FIXTURE IN ORDER THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
  - ROOFTOP UTILITY EQUIPMENT, MECHANICAL EQUIPMENT AND TRANSFORMERS AND TELEPHONE BOXES VIEWED FROM THE RIGHT OF WAY SHALL BE SCREENED.

**CURVE TABLE**

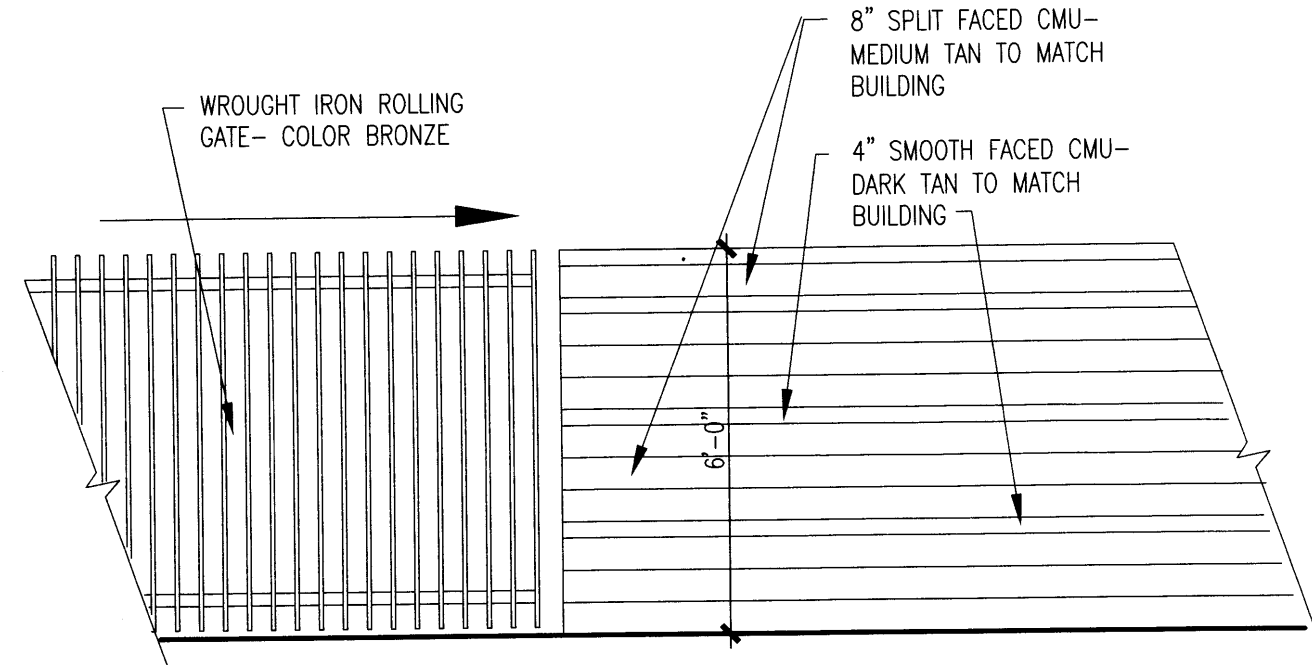
NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	90°07'01"	N 44°46'23" W	25.00	39.32	35.39
C2	26°01'10"	S 12°43'28" E	696.46	316.28	313.57
C3	96°42'42"	N 22°37'18" E	25.00	42.20	37.36
C4	36°41'27"	N 37°22'05" W	77.91	49.89	49.04
C5	09°04'23"	S 51°10'37" E	150.04	23.76	23.73
C6	03°48'02"	S 44°44'25" E	1000.37	66.36	66.34

**PROJECT NO.** \_\_\_\_\_  
**APPLICATION NO.** \_\_\_\_\_  
 IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO  
 IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.  
 DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.  
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_  
 ABC/WMA \_\_\_\_\_ DATE \_\_\_\_\_  
 PARKS & RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
 ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_  
 SOLID WASTE \_\_\_\_\_ DATE \_\_\_\_\_  
 DRB CHAIRPERSON, ALBUQUERQUE PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_  
 ENVIRONMENTAL HEALTH, IF NECESSARY \_\_\_\_\_

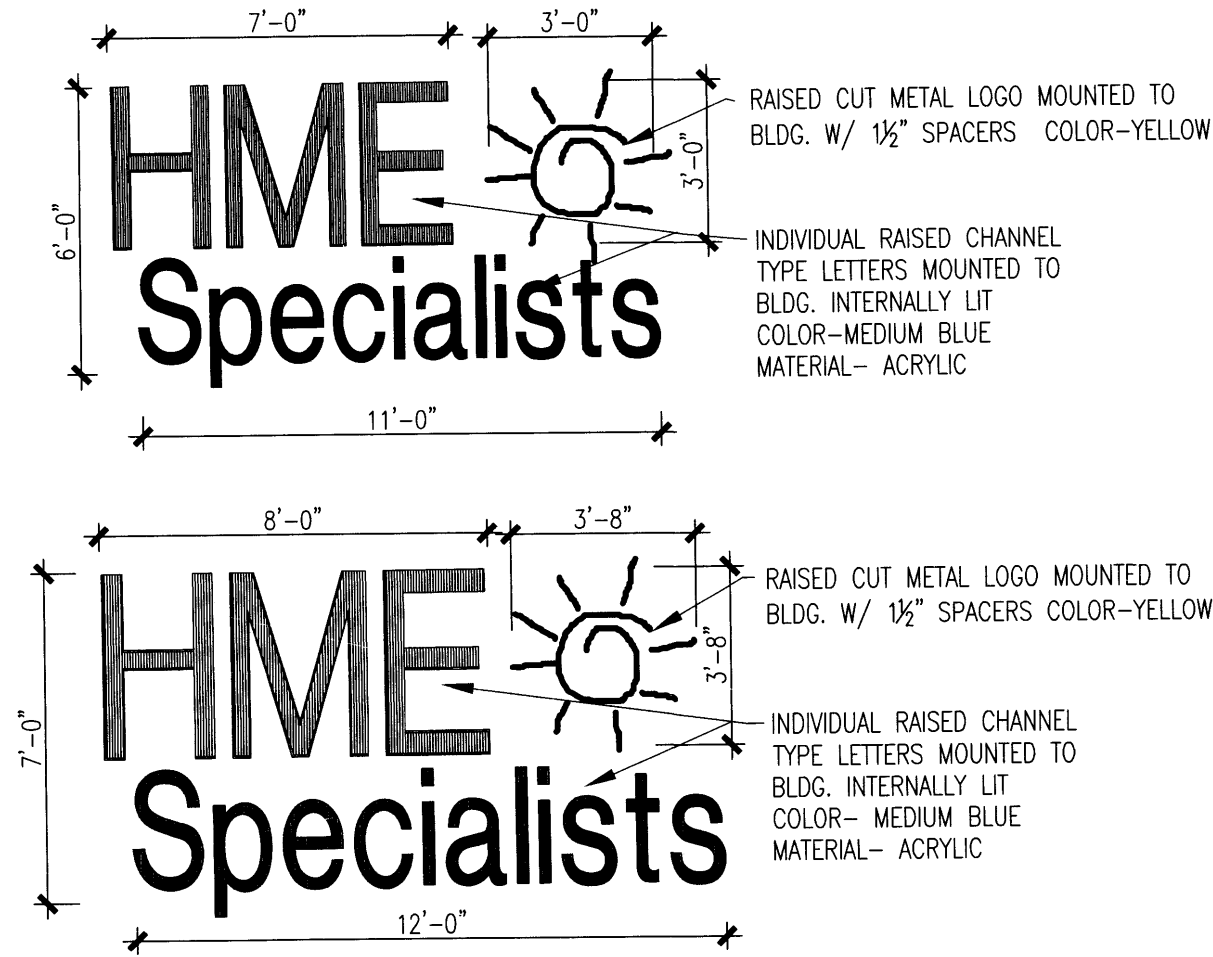
TATE FISHBURN ARCHITECT  
 ARCHITECT SEAL  
 ENGINEER SEAL  
 PROJECT  
 SITE DEVELOPMENT PLAN  
 HME SPECIALISTS OFFICE/RETAIL  
 WESTSIDE & GOLF COURSE, NW  
 ALBUQUERQUE, NEW MEXICO  
 REVISIONS  
 DATE JUNE 7, 2013  
 NORTH SCALE 1"=30'-0"  
 DRAWING NAME  
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
 SHEET NUMBER  
 SDP-1



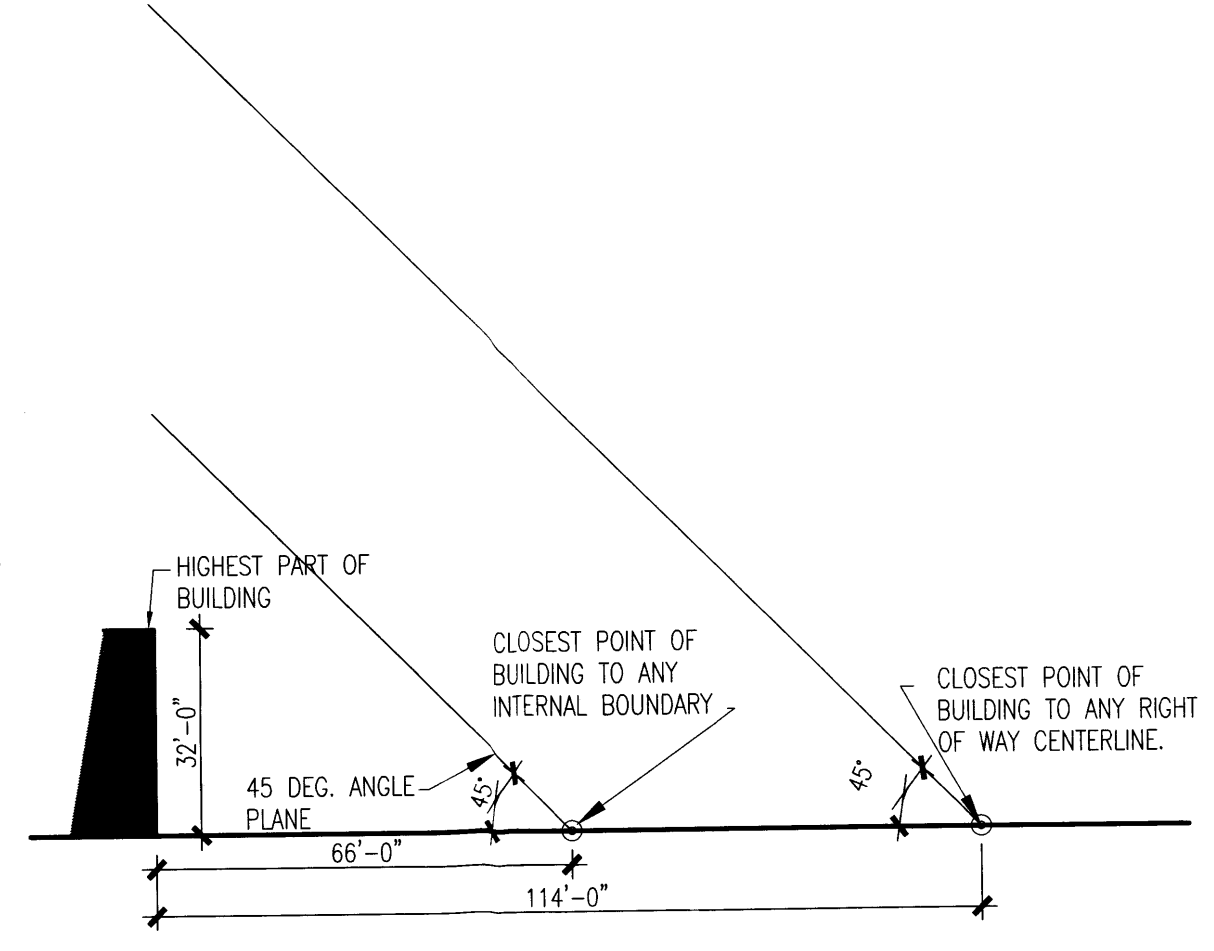
12 STANDARD TRACTOR TRAILER TURN RADIUS  
1"=30' WB-50



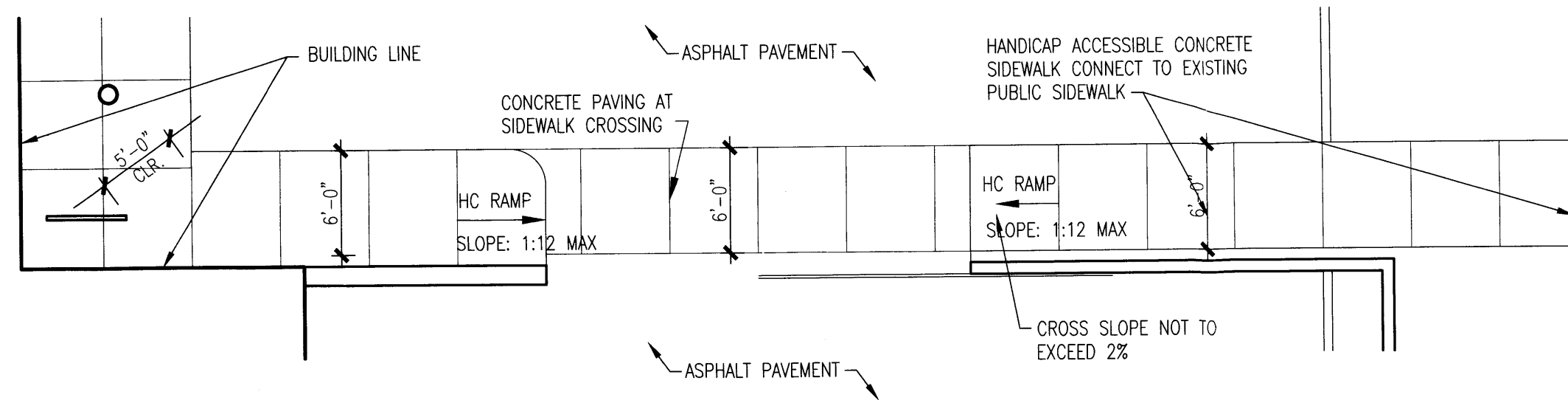
11 TYPICAL SITE SECURITY WALL & GATE  
1/4"=1'-0"



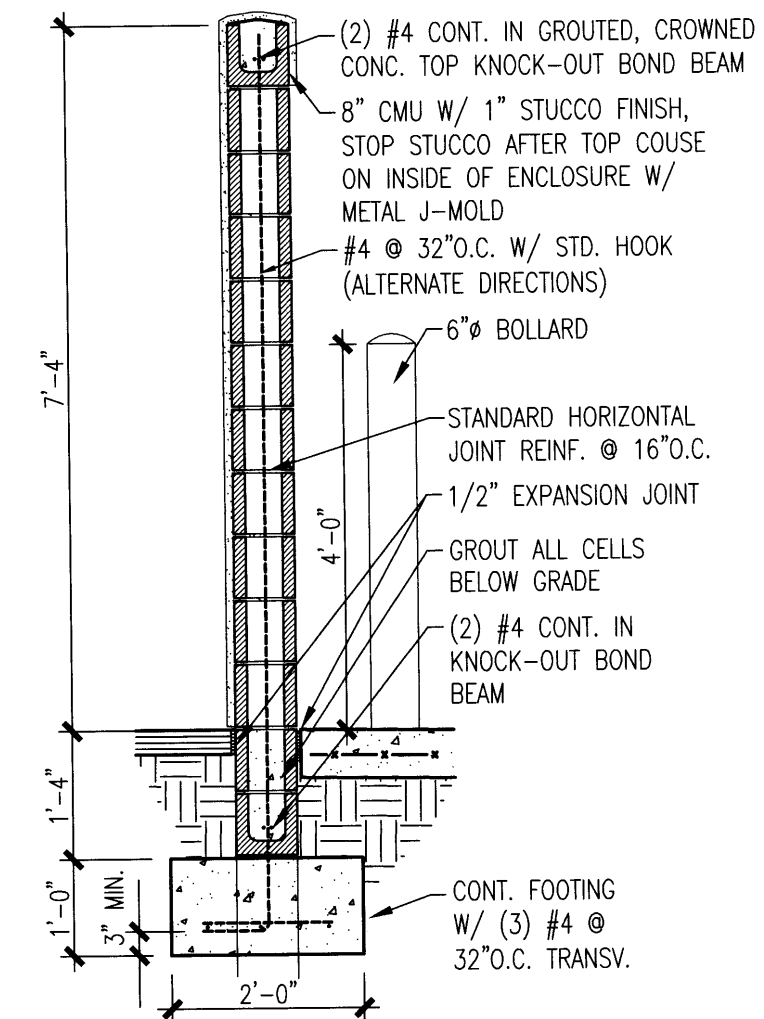
10 BUILDING MOUNTED SIGNAGE  
1/4"=1'-0"



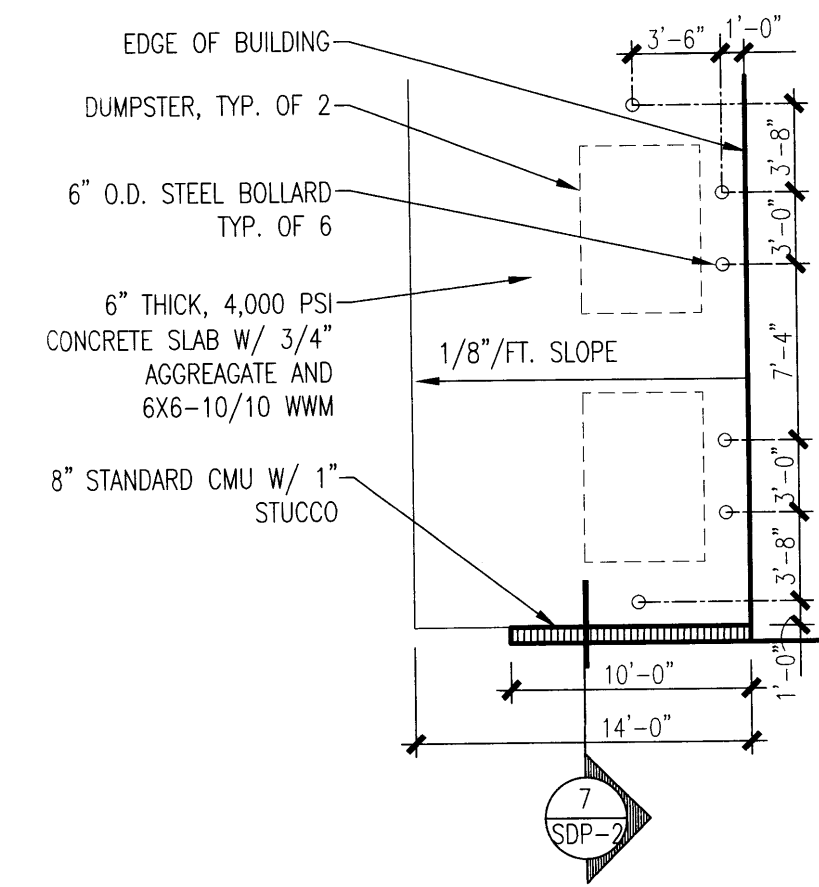
9 BUILDING HEIGHT DIAGRAM  
1/30"=1'-0"



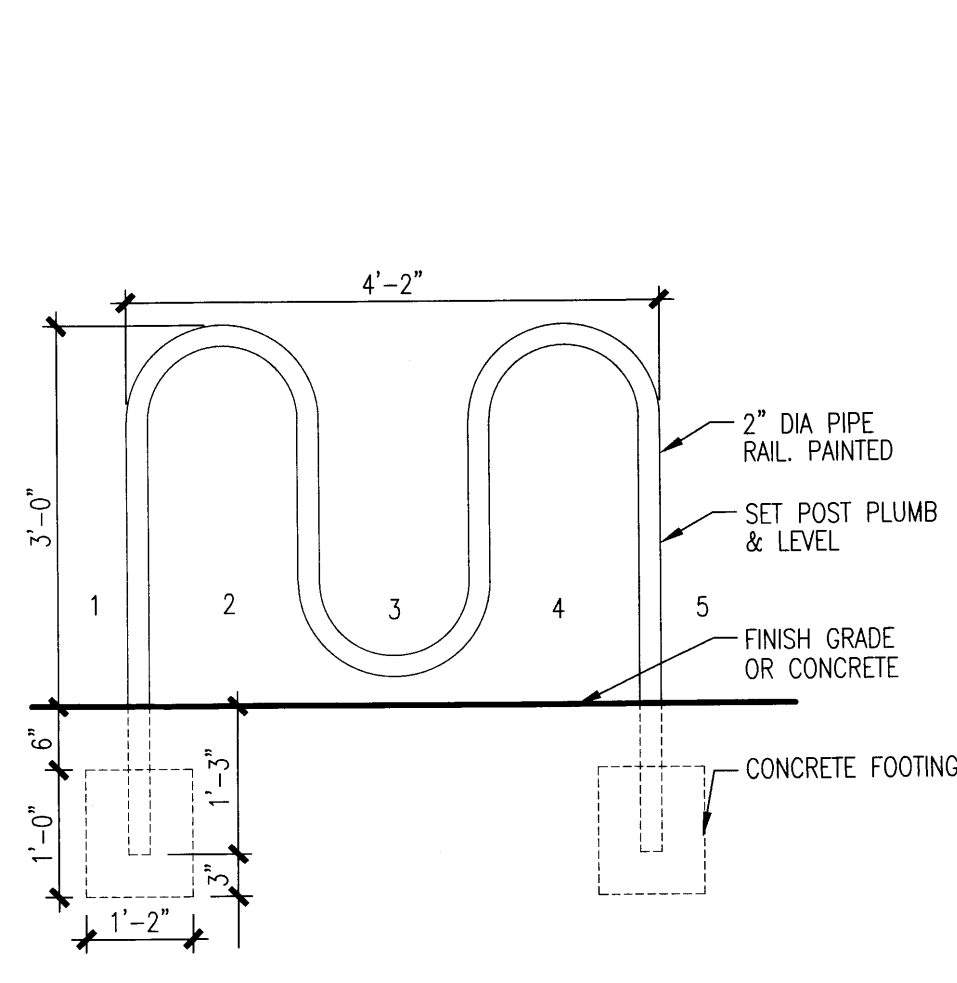
8 PEDESTRIAN PATH DETAIL  
1/8"=1'-0"  
TYPICAL AT BOTH LOCATIONS



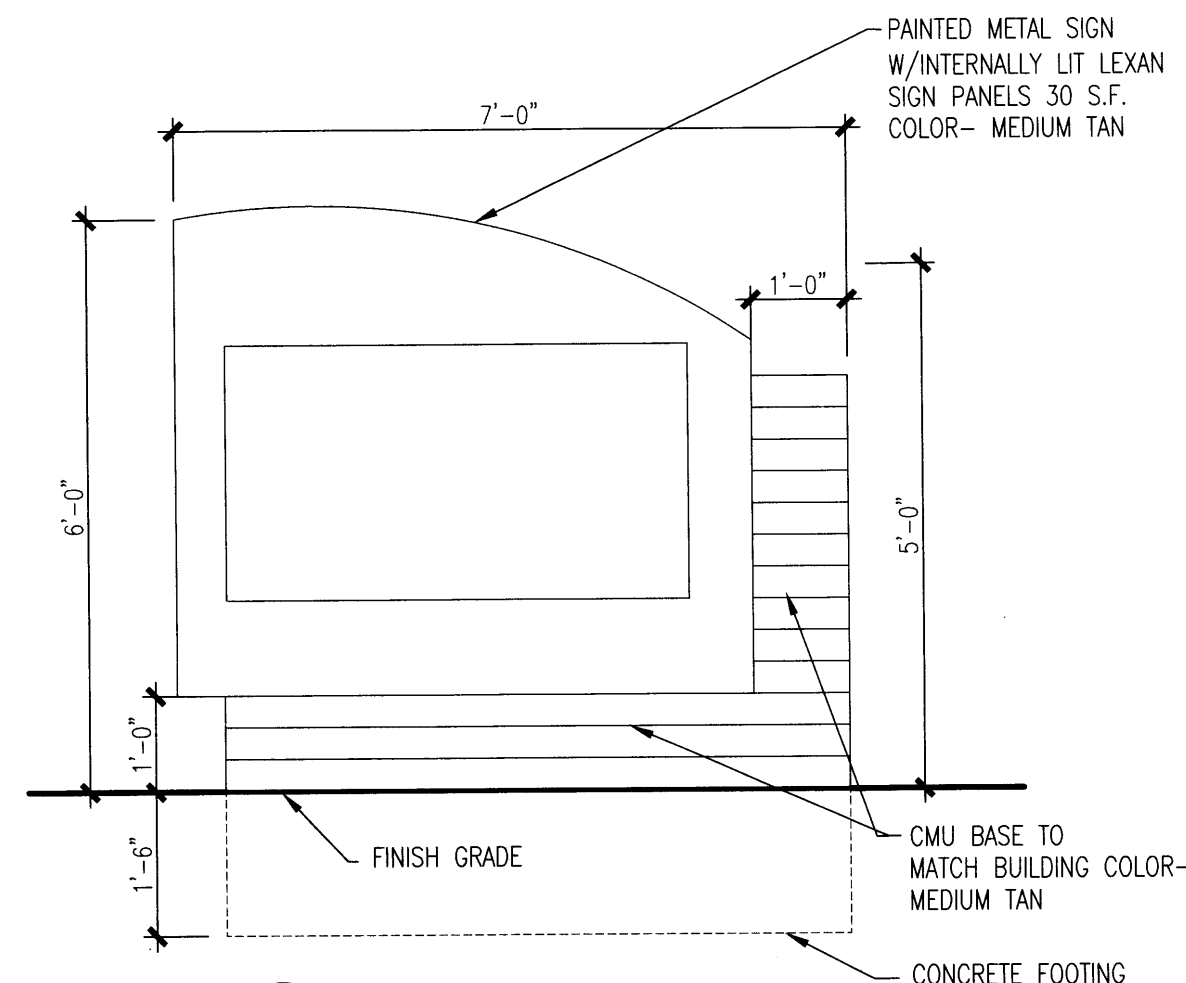
7 REFUSE SCREEN WALL DETAIL  
3/4"=1'-0"



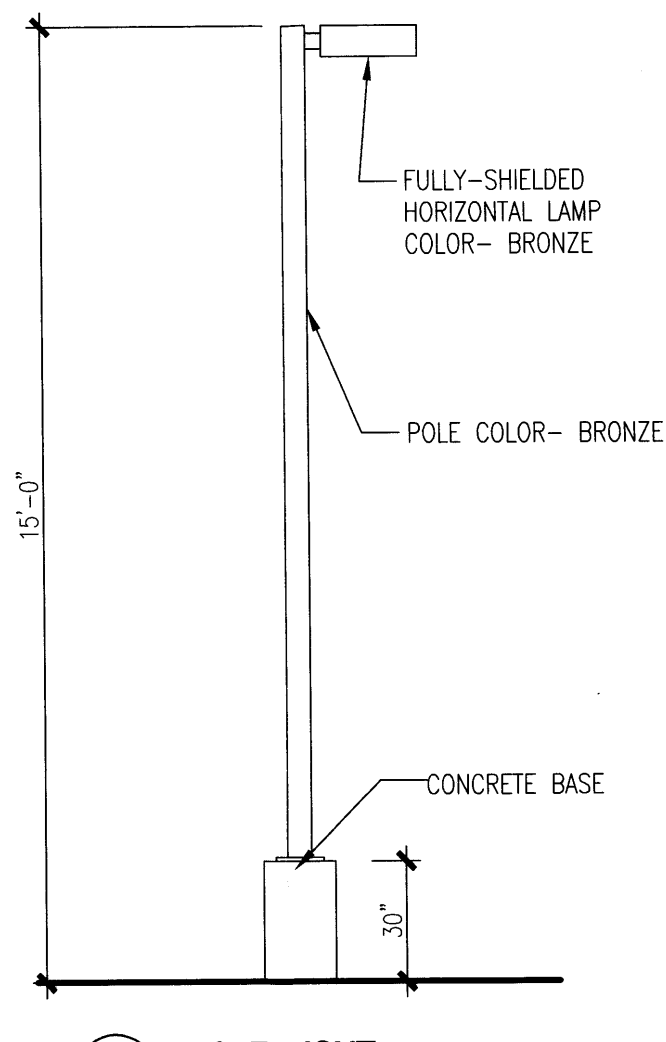
6 REFUSE PLAN  
1/8"=1'-0"



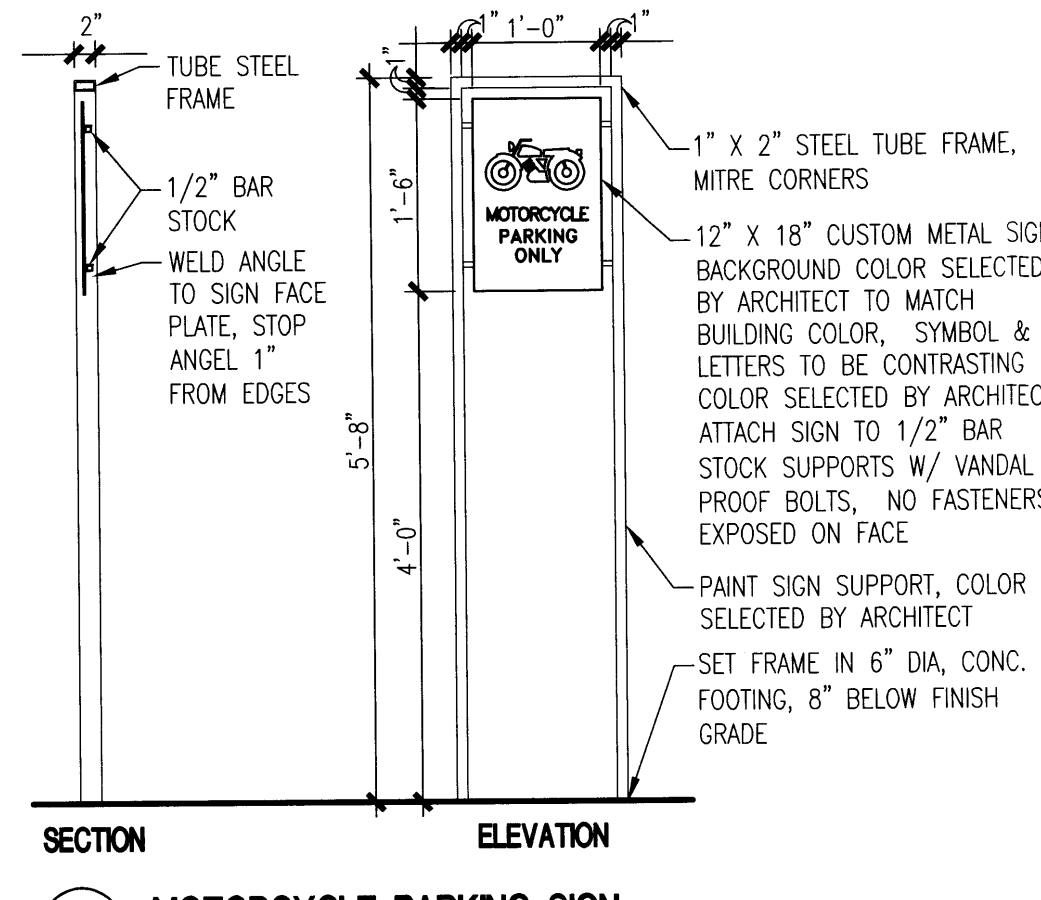
5 BIKE POST DETAIL  
1"=1'-0"



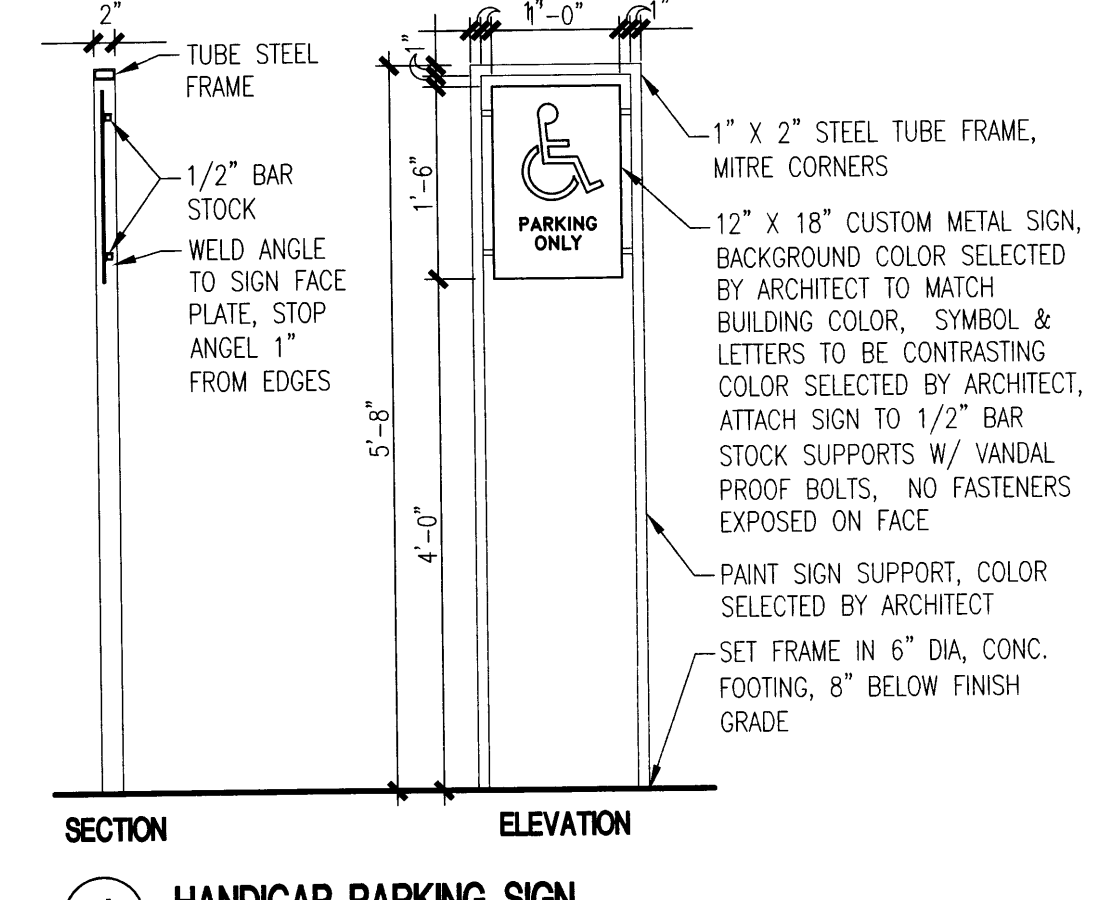
4 MONUMENT SIGN  
N.T.S.



3 POLE LIGHT  
N.T.S.

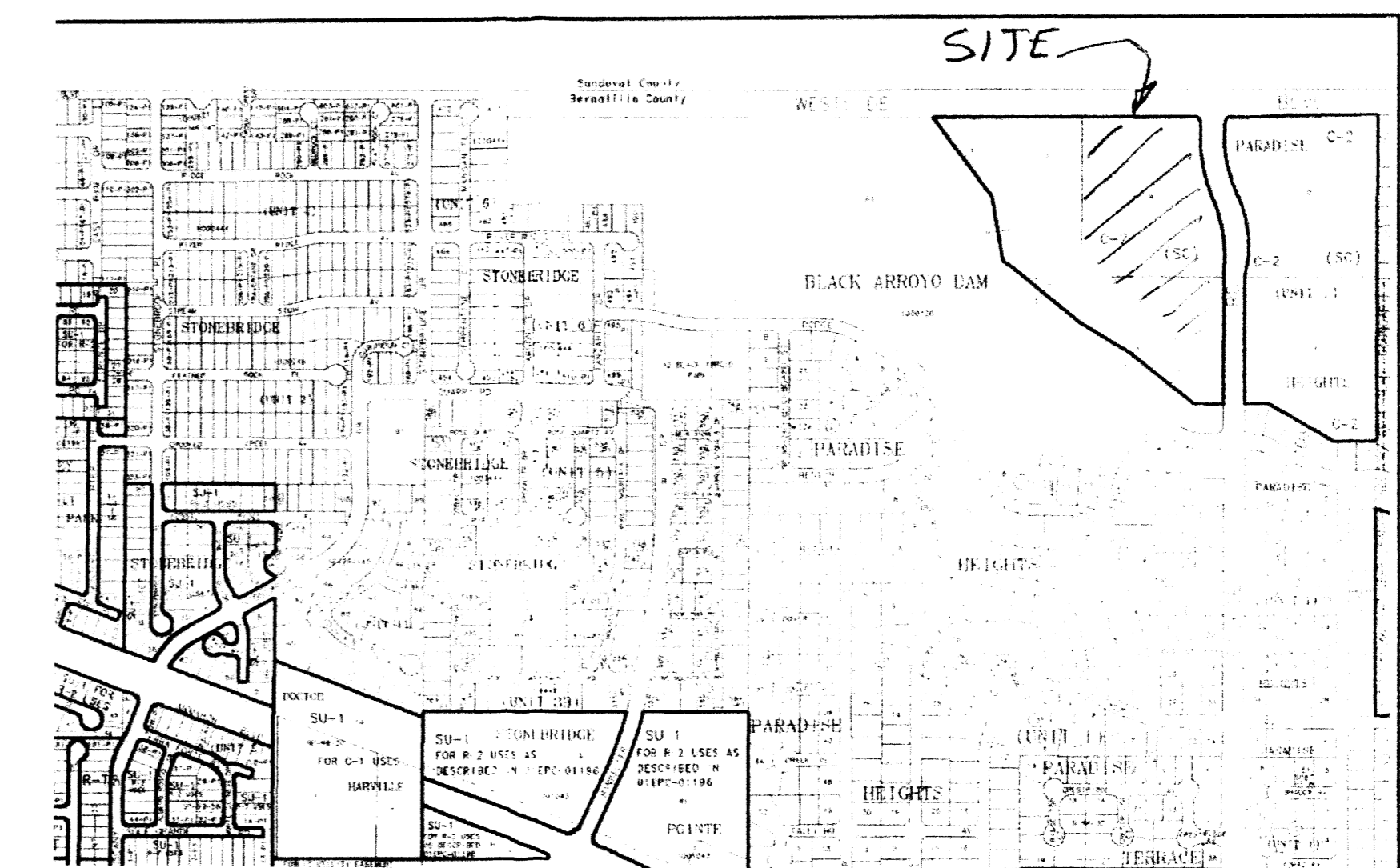


2 MOTORCYCLE PARKING SIGN  
1"=1'-0"

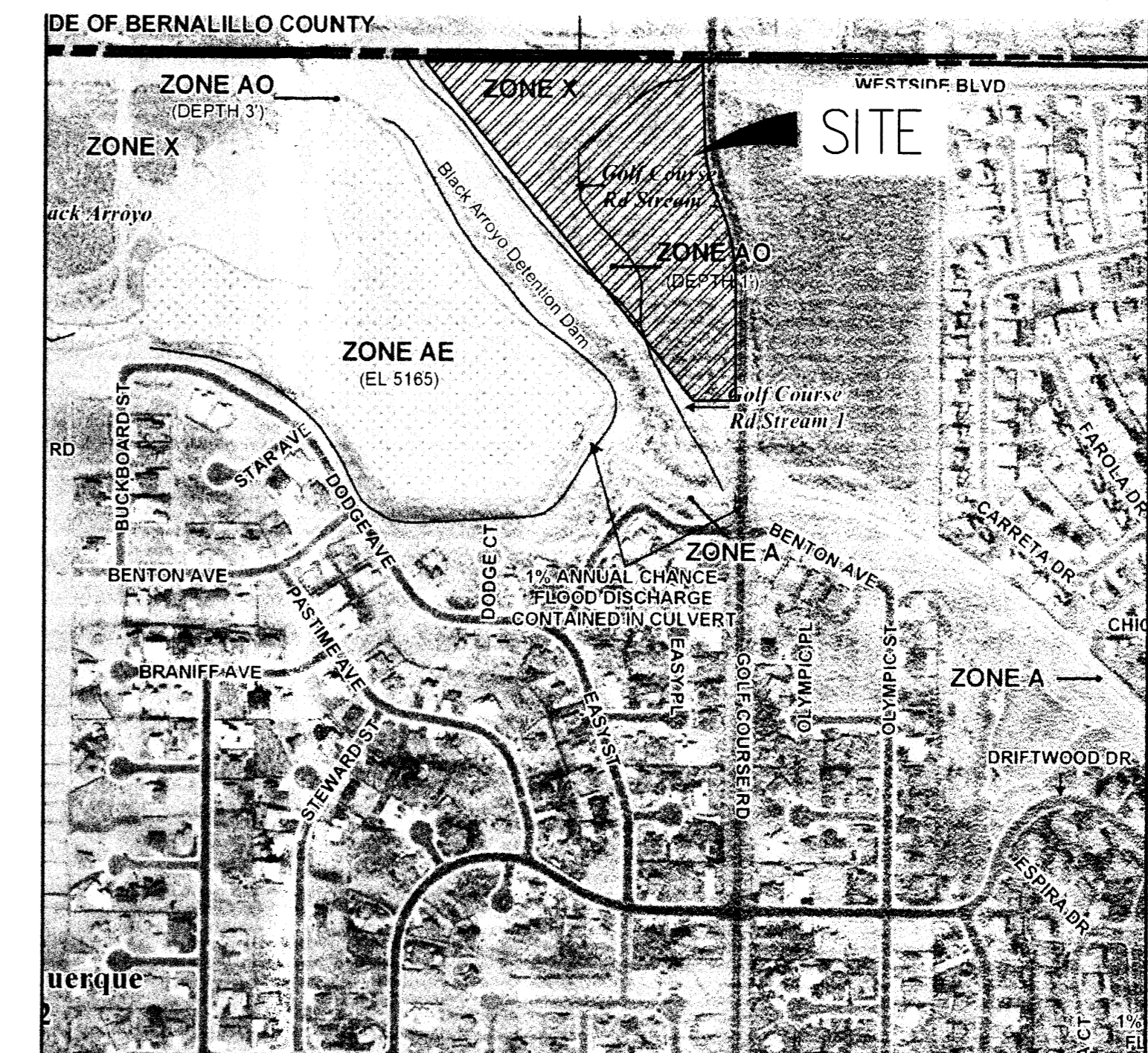


1 HANDICAP PARKING SIGN  
1"=1'-0"





VICINITY MAP ZONE ATLAS PAGE A-12



FIRM MAP PANEL 35001C0108G  
EFFECTIVE DATE SEPT 26, 2008

DRAINAGE REPORT

HYDROLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION

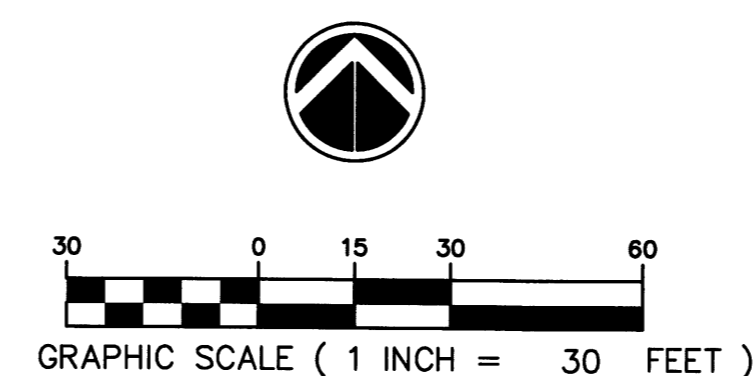
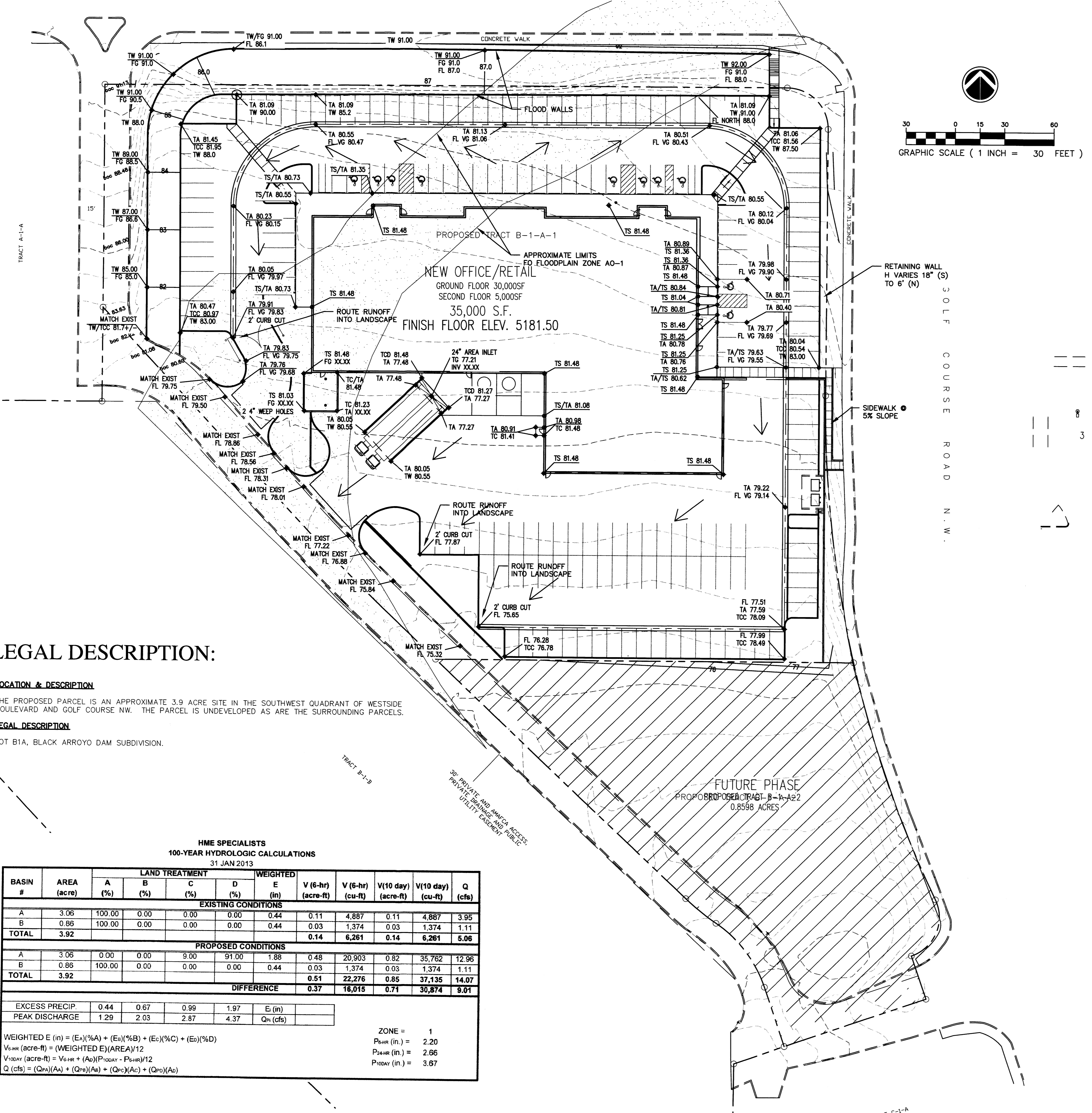
THE 100-YR, 6-HR STORM EVENT WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THE SITE LIES WITHIN THE ZONE 1 PRECIPITATION AREA FOR THE CITY OF ALBUQUERQUE, AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. THEREFORE, TABLES WITHIN THIS SECTION WERE USED TO ESTABLISH THE EXCESS PRECIPITATION AND PEAK DISCHARGE.

EXISTING DRAINAGE

THE SITE AS IT CURRENTLY EXISTS HAS A RELATIVELY UNIFORM NORTH TO SOUTH SLOPE OF APPROXIMATELY 3.3% RUNOFF MODE IS SHALLOW SHEET FLOW. PER THE EXISTING FLOOD RATE INSURANCE MAP, THIS IS AN AO-1 FLOOD PLAIN ON SITE FROM THE NORTHEAST CORNER TOWARD THE SOUTHWEST THEN SOUTH PARALLELING THE WEST PROPERTY LINE OF THIS PARCEL. THIS DISCUSSION ACKNOWLEDGES THE FLOODPLAIN IS NOTED ON THE MAP BUT ALSO REALIZES A LETTER OF MAP REVISION (LOMR) HAS BEEN SUBMITTED TO REVISE THE MAP BASED ON STORMWATER CONTROL FACILITIES RECENTLY CONSTRUCTED UPSTREAM OF THIS PARCEL. STORMWATER GENERATED FROM THIS SITE DISCHARGES ON THE SOUTH END OF THE SITE TO THE LOWER END OF THE BLACK ARROYO DAM.

DEVELOPED CONDITION

THE PROPOSED GRADING FOR THIS PROJECT GENERALLY CONTINUES THE PATTERN OF THE EXISTING STORMWATER RUNOFF EXCEPT THAT THE RUNOFF FROM THE NORTHERN PORTION OF THE SITE IS ROUTED AROUND THE BUILDING IN THE PAVED PARKING LOT. ONCE SOUTH OF THE BUILDING THE RUNOFF TAKES TWO PATHS. THE RUNOFF FROM THE WESTERN PORTION OF THE SITE FLOWS WEST THROUGH THE NORTHERN DRIVEPAD TO THE NEW PRIVATE ROAD THAT CONVEYS THE RUNOFF SOUTH TO THE SOUTHERN END OF THE BLACK ARROYO DAM. RUNOFF FROM THE EASTERN PORTION OF THE SITE SHEET FLOW SOUTH, ON THE PROPOSED PARKING LOT PAVEMENT, WHERE IT ULTIMATELY DISCHARGES FROM THE SITE INTO THE NEW PRIVATE ROAD DISCUSSED ABOVE. IN ORDER TO REDUCE THE RETAINING WALL HEIGHT ALONG THE NORTH PROPERTY LINE, THIS PLAN PROPOSES SLOPING FROM 10' BEYOND THE FACE OF THE CURB (STANDARD DISTANCE) TO THE RETAINING WALL FACE AT A SLOPE OF 4:1. THIS SLOP WILL BE LANDSCAPED. THE 10' FROM THE FACE OF CURB TO THE GRADE BREAK LINE (10') SLOPE TO THE CURB AS THE STANDARD 2%. IT IS THE INTENT OF THIS GRADING PLAN TO DEPRESS LANDSCAPE AREAS ALONG THE WEST SIDE OF THE SITE AND ROUTE THE RUNOFF FROM THE PAVED AREAS THROUGH THOSE LANDSCAPE AREAS AS A WATER HARVESTING MEASURE.



RETAINING WALL  
H VARIES 16" (S)  
TO 6' (N)

SIDEWALK  
5% SLOPE

C-1-A

LEGAL DESCRIPTION:

**LOCATION & DESCRIPTION**  
THE PROPOSED PARCEL IS AN APPROXIMATE 3.9 ACRE SITE IN THE SOUTHWEST QUADRANT OF WESTSIDE BOULEVARD AND GOLF COURSE NW. THE PARCEL IS UNDEVELOPED AS ARE THE SURROUNDING PARCELS.

**LEGAL DESCRIPTION**  
LOT B1A, BLACK ARROYO DAM SUBDIVISION.

HME SPECIALISTS  
100-YEAR HYDROLOGIC CALCULATIONS  
31 JAN 2013

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V (10 day) (acre-ft)	V (10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)						
<b>EXISTING CONDITIONS</b>											
A	3.06	100.00	0.00	0.00	0.44	0.11	4,887	0.11	4,887	3.95	
B	0.86	100.00	0.00	0.00	0.44	0.03	1,374	0.03	1,374	1.11	
<b>TOTAL</b>	<b>3.92</b>					<b>0.14</b>	<b>6,261</b>	<b>0.14</b>	<b>6,261</b>	<b>5.06</b>	
<b>PROPOSED CONDITIONS</b>											
A	3.06	0.00	0.00	9.00	1.88	0.48	20,903	0.82	35,762	12.96	
B	0.86	100.00	0.00	0.00	0.44	0.03	1,374	0.03	1,374	1.11	
<b>TOTAL</b>	<b>3.92</b>					<b>0.51</b>	<b>22,276</b>	<b>0.85</b>	<b>37,135</b>	<b>14.07</b>	
<b>DIFFERENCE</b>						<b>0.37</b>	<b>16,015</b>	<b>0.71</b>	<b>30,874</b>	<b>9.01</b>	
<b>EXCESS PRECIP.</b>		<b>0.44</b>	<b>0.67</b>	<b>0.99</b>	<b>1.97</b>	<b>E (in)</b>					
<b>PEAK DISCHARGE</b>		<b>1.29</b>	<b>2.03</b>	<b>2.87</b>	<b>4.37</b>	<b>Q<sub>h</sub> (cfs)</b>					
WEIGHTED E (in) = (E <sub>A</sub> )(%A) + (E <sub>B</sub> )(%B) + (E <sub>C</sub> )(%C) + (E <sub>D</sub> )(%D)						ZONE = 1					
V <sub>6HR</sub> (acre-ft) = (WEIGHTED E)(AREA)/12						P <sub>6HR</sub> (in.) = 2.20					
V <sub>10DAY</sub> (acre-ft) = V <sub>6HR</sub> + (A <sub>0</sub> )(P <sub>10DAY</sub> - P <sub>6HR</sub> )/12						P <sub>24HR</sub> (in.) = 2.66					
Q (cfs) = (Q <sub>PA</sub> )(A <sub>A</sub> ) + (Q <sub>PB</sub> )(A <sub>B</sub> ) + (Q <sub>PC</sub> )(A <sub>C</sub> ) + (Q <sub>PD</sub> )(A <sub>D</sub> )						P <sub>10DAY</sub> (in.) = 3.67					

# PUBLIC SERVICE COMPANY CONDITIONS

SCREENING SHOULD BE INSTALLED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10- FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5 TO 6- FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. PLEASE REFER TO THE PNM ELECTRIC SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.

T A T E F I S H B U R N  
A R C H I T E C T

ARCHITECT SEAL

ENGINEER SEAL

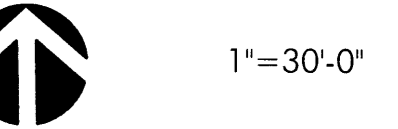
PROJECT

SITE DEVELOPMENT PLAN  
HME SPECIALISTS OFFICE/RETAIL  
WESTSIDE & GOLF COURSE, NW  
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE JUNE 7, 2013

NORTH SCALE



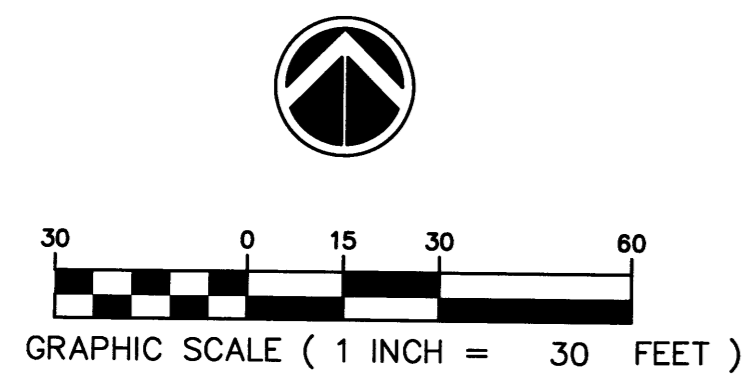
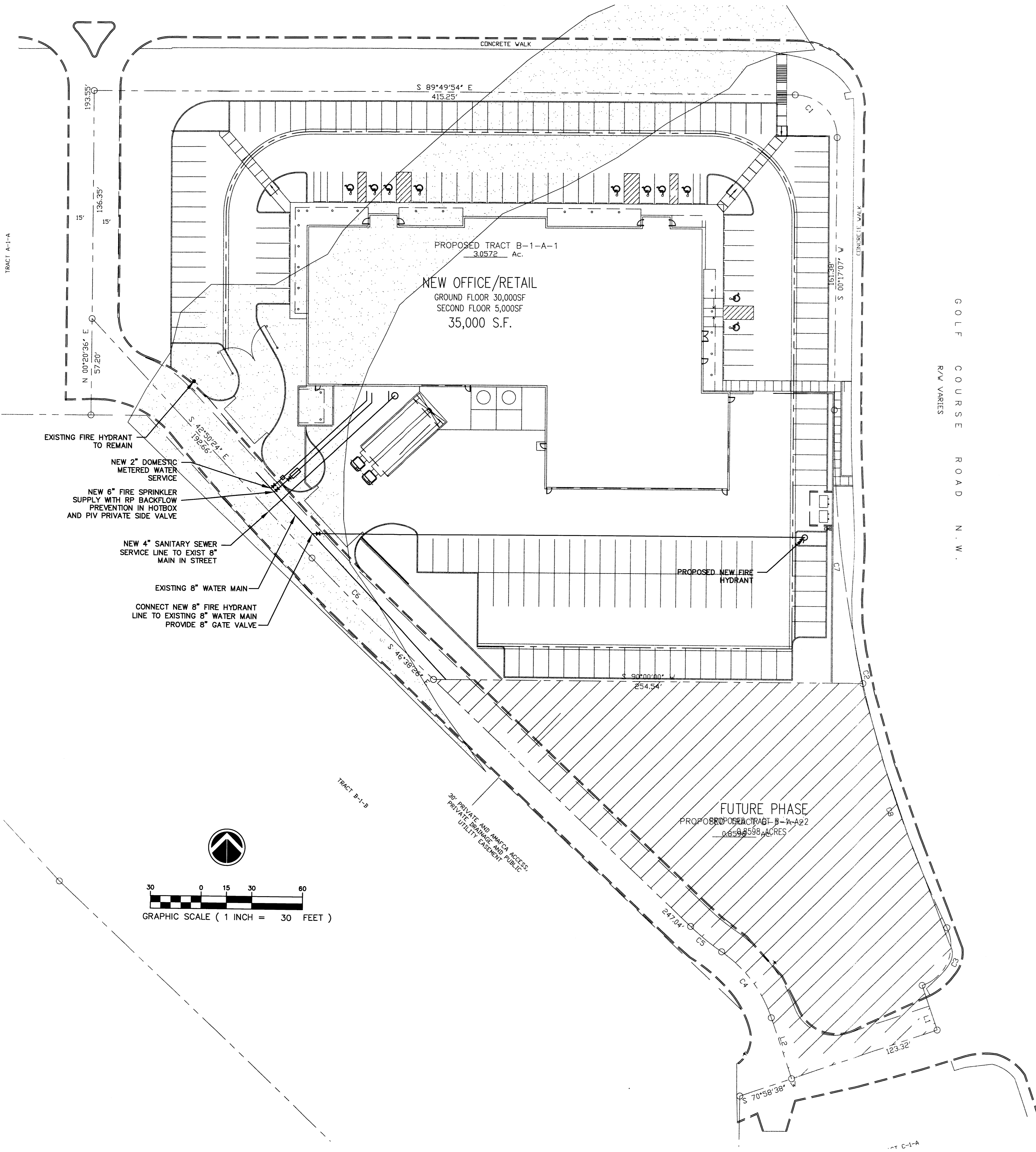
DRAWING NAME

CONCPTUAL  
WATER/SEWR PLAN

SHEET NUMBER

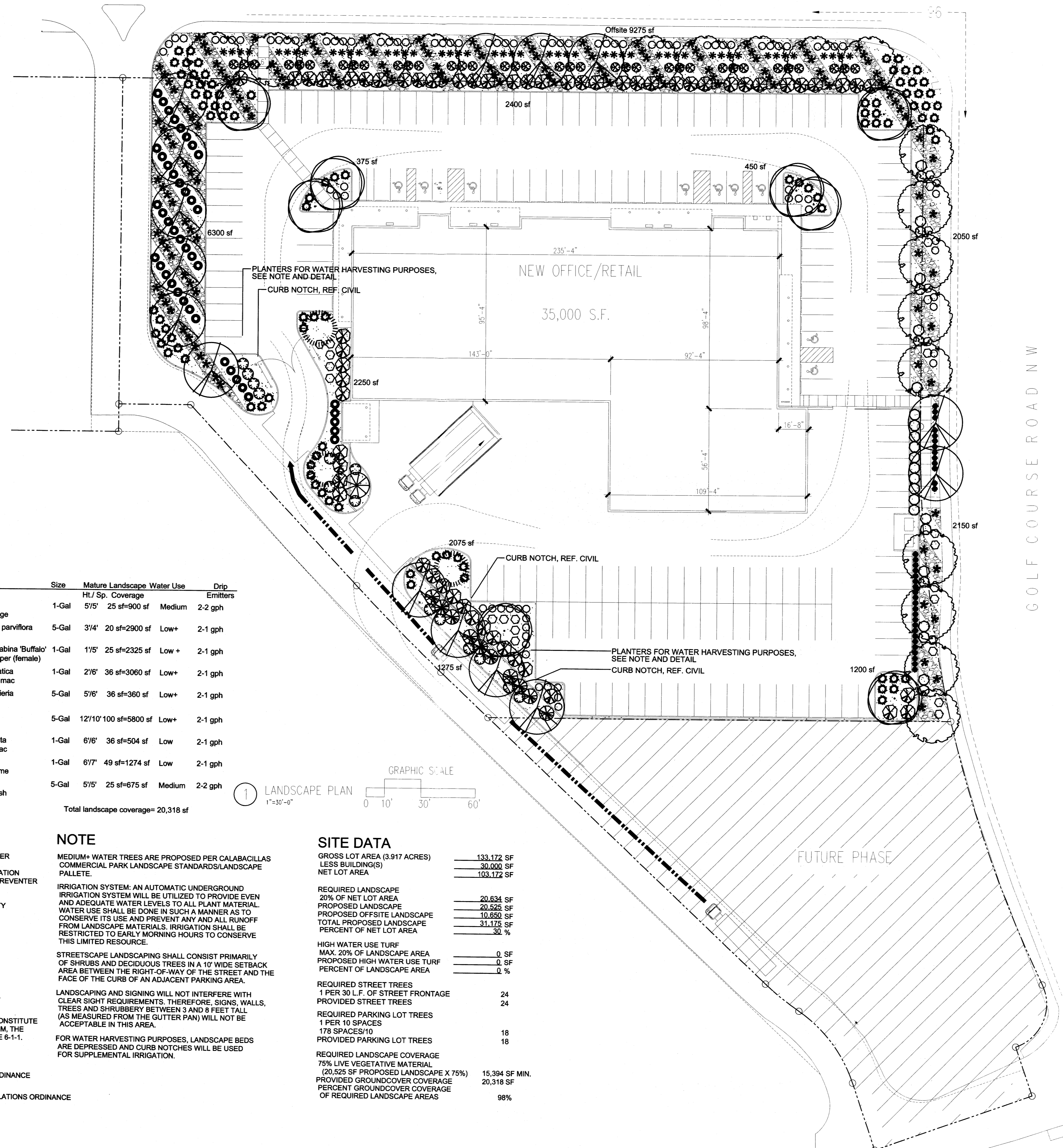
C0.2

BOJ/2941 CORRALES NEW MEXICO 87048 PHONE 505 899 9338 FAX 899 9328



at C-1-A

WESTSIDE BLVD. NW



**PLANT LEGEND**

Qty.	Symbol	Scientific Name Common Name	Size	Mature Landscape HL/ Sp. Coverage	Water Use	Drip Emitters
8	○	Gleditsia Shademaster Honey Locust	2" Cal	50/45'	Medium+ (see note)	6-2 gph
19	○	Pistacia Chinese Pistache	2" Cal	60/60'	Medium	6-2 gph
15	○	Fraxinus velutina Arizona Ash	2" Cal	40/35'	Medium + (see note)	6-2 gph
3	○	Pinus nigra Austrian Pine	6' ht.	35/25'	Medium +	6-2 gph
1	○	Vitex Chaste Tree	15-Gal	20/20'	400 sf=400 sf	Medium 6-2 gph
<b>Grasses</b>						
42	○	Miscanthus Maiden Grass	5-Gal	5/5'	25 sf=1050 sf	Medium 2-2 gph
48	○	Muhlenbergia Regal Mist Grass	1-Gal	2/3'	15 sf=720 sf	Medium 2-2 gph
35	○	Calamagrostis Karl Foerster Grass	5-Gal	3/2'	10 sf=340 sf	Medium 2-2 gph
36	○	Perovskia Russian Sage	1-Gal	5/5'	25 sf=900 sf	Medium 2-2 gph
145	○	Hesperaloe parviflora Red Yucca	5-Gal	3/4'	20 sf=2900 sf	Low+ 2-1 gph
93	○	Juniperus sabina 'Buffalo' Buffalo Juniper (female)	1-Gal	1/5'	25 sf=2325 sf	Low + 2-1 gph
85	○	Rhus aromatica Gro Low Sumac	1-Gal	2/6'	36 sf=3060 sf	Low+ 2-1 gph
10	○	Chamaebatia Fernbush	5-Gal	5/6'	36 sf=360 sf	Low+ 2-1 gph
58	○	Vauquelinia Rosewood	5-Gal	12/10'	100 sf=5800 sf	Low+ 2-1 gph
14	○	Rhus trilobata 3 Leaf Sumac	1-Gal	6/6'	36 sf=504 sf	Low 2-1 gph
26	○	Fallugia Apache Plume	1-Gal	6/7'	49 sf=1274 sf	Low 2-1 gph
27	○	Buddleia Butterfly Bush	5-Gal	5/5'	25 sf=675 sf	Medium 2-2 gph

Total landscape coverage= 20,318 sf

**PLANTING RESTRICTIONS APPROACH**

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS  
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

**MATERIALS LEGEND**

- BROWN CRUSHER FINES
- SAN LAZARUS GOLD 2"-4" COBBLESTONE

**NOTE**

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER  
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE  
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER  
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH  
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10  
 LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC  
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.  
 NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.  
 STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.  
 LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.

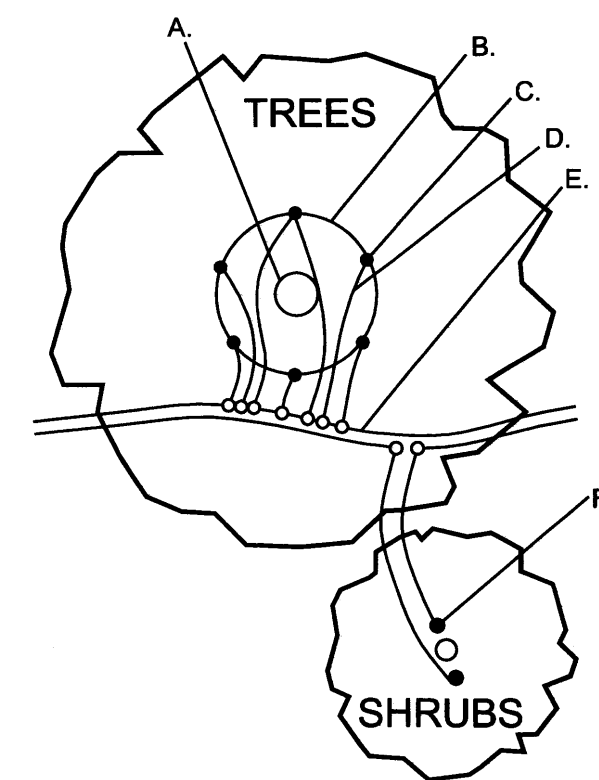
**NOTE**

MEDIUM+ WATER TREES ARE PROPOSED PER CALABACILLAS COMMERCIAL PARK LANDSCAPE STANDARDS/LANDSCAPE PALLETTE.  
 IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.  
 STREETScape LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A 10' WIDE SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA.  
 LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.  
 FOR WATER HARVESTING PURPOSES, LANDSCAPE BEDS ARE DEPRESSED AND CURB NOTCHES WILL BE USED FOR SUPPLEMENTAL IRRIGATION.

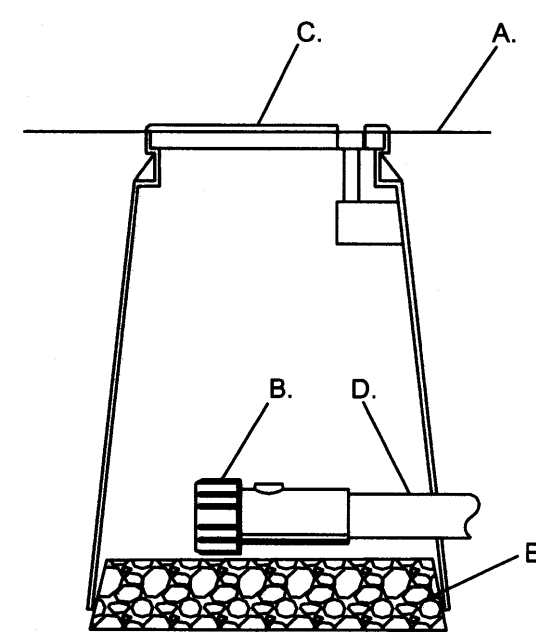
**SITE DATA**

GROSS LOT AREA (3.917 ACRES)	133,172 SF
LESS BUILDING(S)	30,000 SF
NET LOT AREA	103,172 SF
REQUIRED LANDSCAPE	20,634 SF
20% OF NET LOT AREA	20,634 SF
PROPOSED LANDSCAPE	20,525 SF
PROPOSED OFFSITE LANDSCAPE	10,650 SF
TOTAL PROPOSED LANDSCAPE	31,175 SF
PERCENT OF NET LOT AREA	30 %
HIGH WATER USE TURF	0 SF
MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0 %
REQUIRED STREET TREES	24
1 PER 30 L.F. OF STREET FRONTAGE	24
PROVIDED STREET TREES	24
REQUIRED PARKING LOT TREES	18
1 PER 10 SPACES	18
178 SPACES/10	18
PROVIDED PARKING LOT TREES	18
REQUIRED LANDSCAPE COVERAGE	15,394 SF MIN.
75% LIVE VEGETATIVE MATERIAL	20,525 SF
PROVIDED GROUND COVER COVERAGE	20,318 SF
PERCENT GROUND COVER COVERAGE	98%
OF REQUIRED LANDSCAPE AREAS	

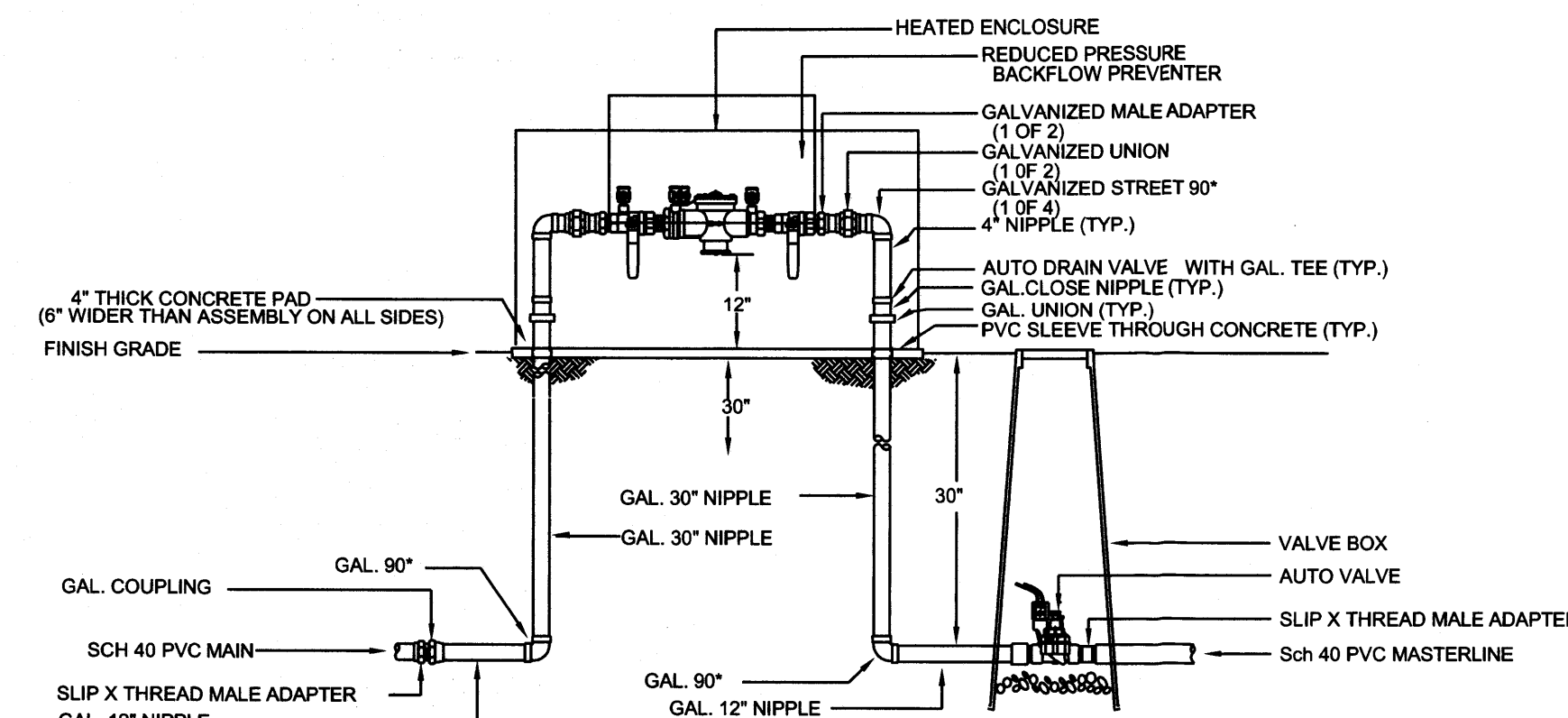
T A T E C H N I C A L D R A W I N G  
 ARCHITECT SEAL  
 ENGINEER SEAL  
 PROJECT  
 SITE DEVELOPMENT PLAN  
 HME SPECIALISTS OFFICE/RETAIL  
 WESTSIDE & GOLF COURSE, NW  
 ALBUQUERQUE, NEW MEXICO  
 REVISIONS  
 5/29/13  
 5/22/13  
 4/24/13  
 4/17/13  
 4/11/13  
 2/27/13  
 DATE: JANUARY 31, 2013  
 NORTH SCALE  
 1"=30'-0"  
 DRAWING NAME  
 LANDSCAPE PLAN  
 SHEET NUMBER  
 LP-1



- A. TREE TRUNK/ ROOT CROWN
  - B. 24" CIRCLE FROM TRUNK
  - C. EMITTERS
  - D. 1/2" DISTRIBUTION LINE
  - E. PE DRIPLENE
  - F. EMITTER PLACED WITHIN 6" OF PLANT STEM
- NOTE: PLACE EMITTER ABOVE PLANT ON SLOPE

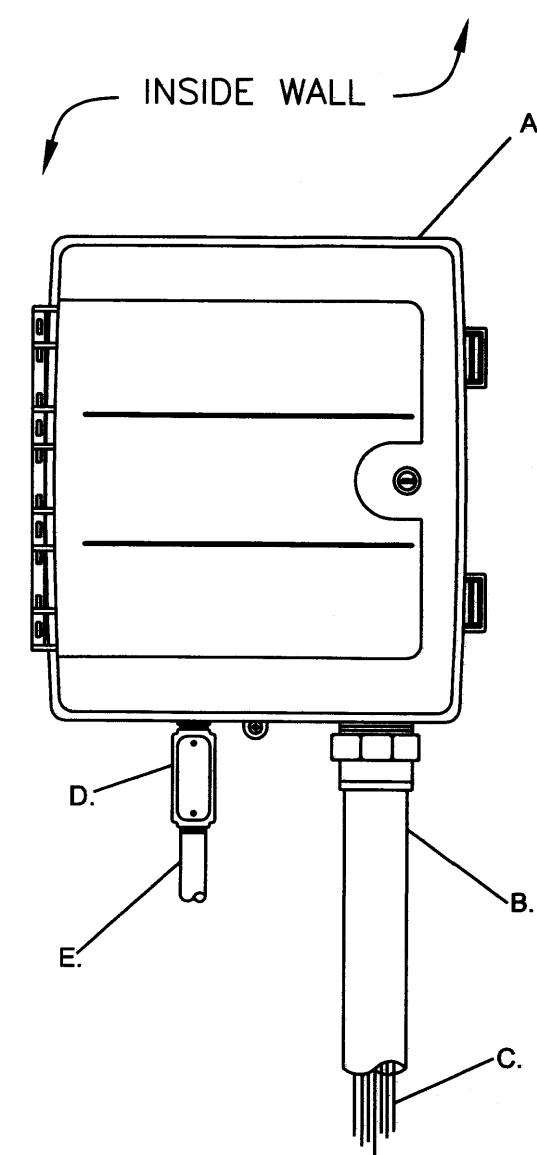


- A. FINISH GRADE
- B. END FLUSH CAP
- C. 8" ROUND BOX WITH LOCKING LID
- D. PE DRIP LINE
- E. 2" DEPTH 3/4" GRAVEL



NOTE:  
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

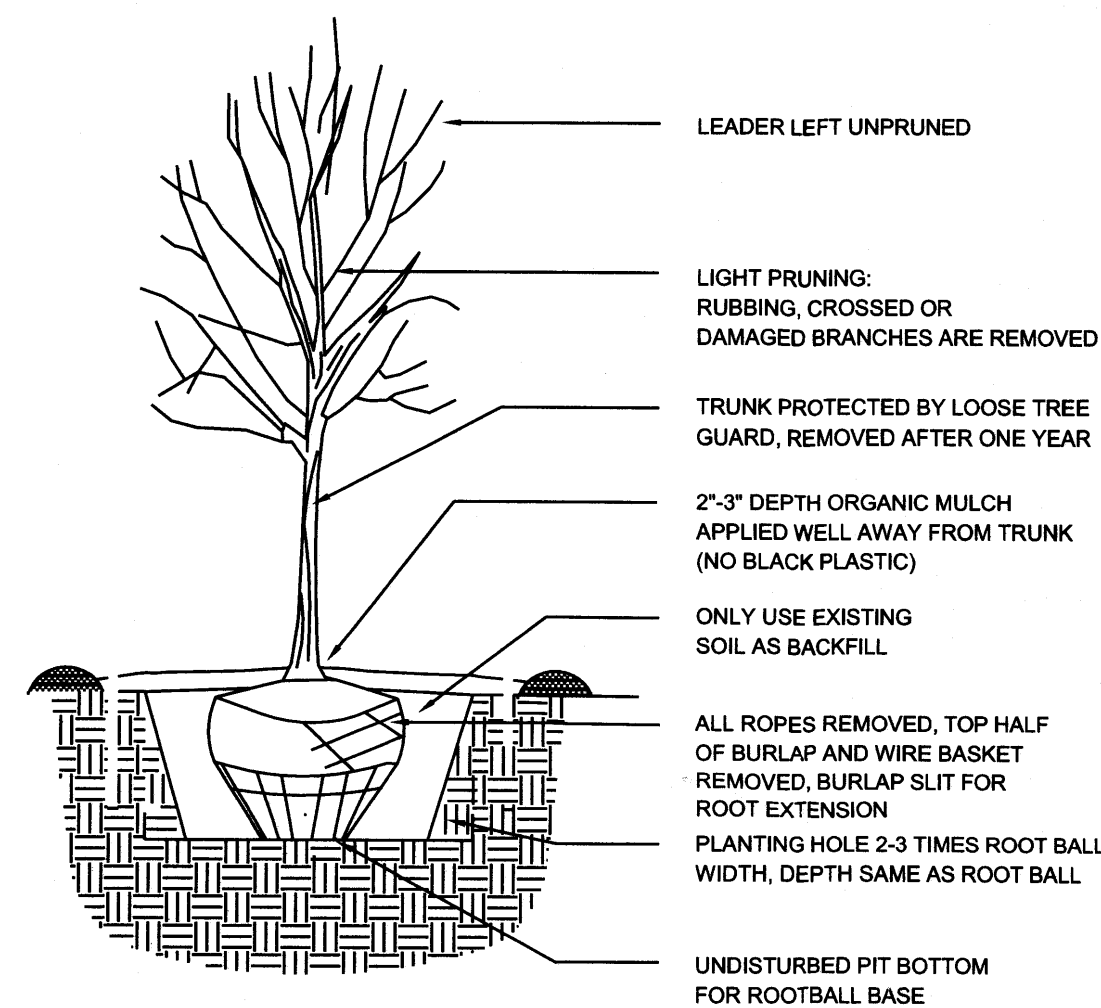
EMITTER PLACEMENT DETAIL



- A. WALL MOUNT CONTROLLER
- B. 2" PVC SCH 40 CONDUIT AND FITTINGS
- C. WIRES TO REMOTE CONTROL VALVES
- D. JUNCTION BOX
- E. 1" PVC SCH 40 CONDUIT AND FITTINGS TO POWER SUPPLY

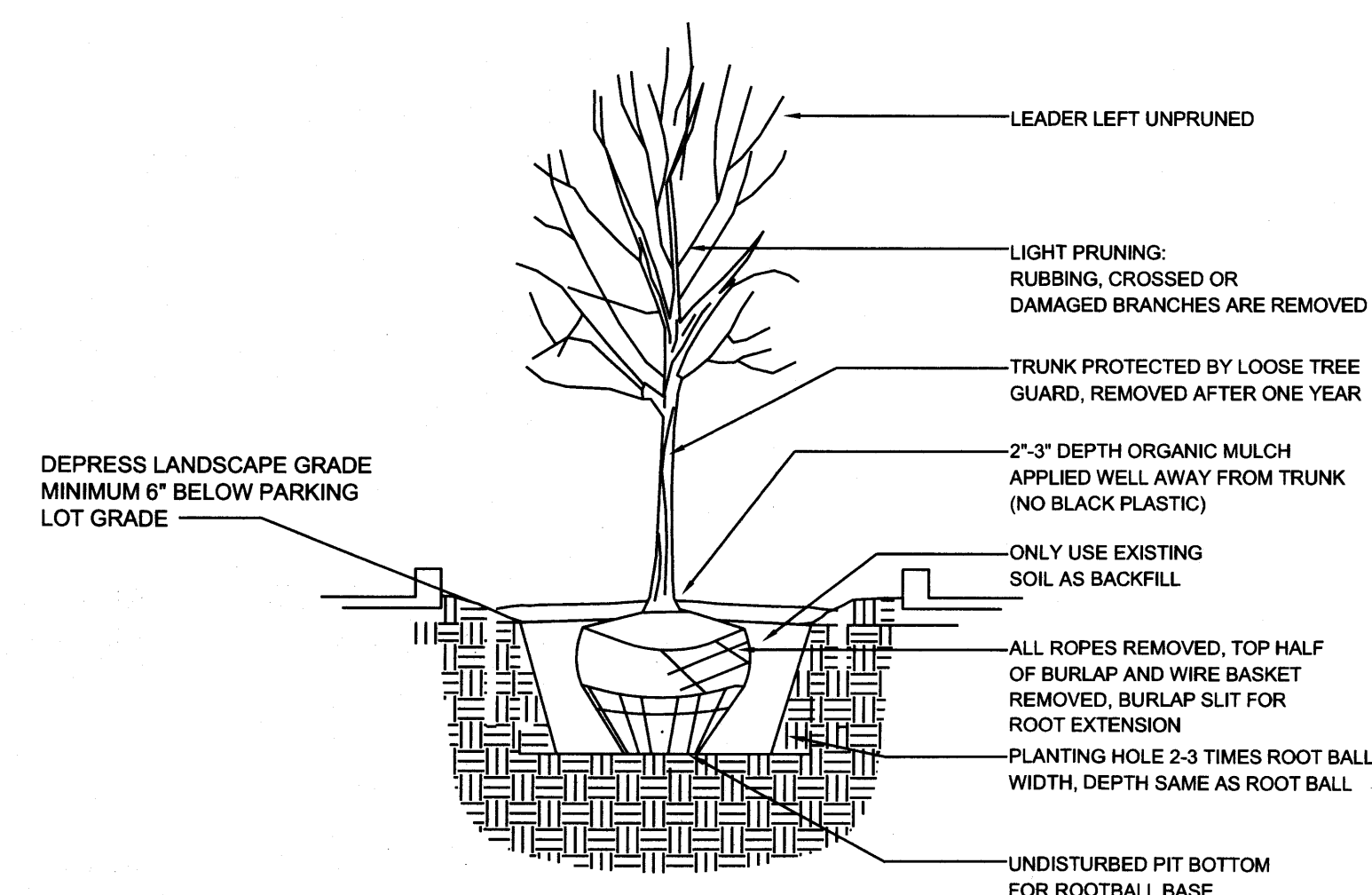
CONTROLLER DETAIL

END FLUSH CAP DETAIL

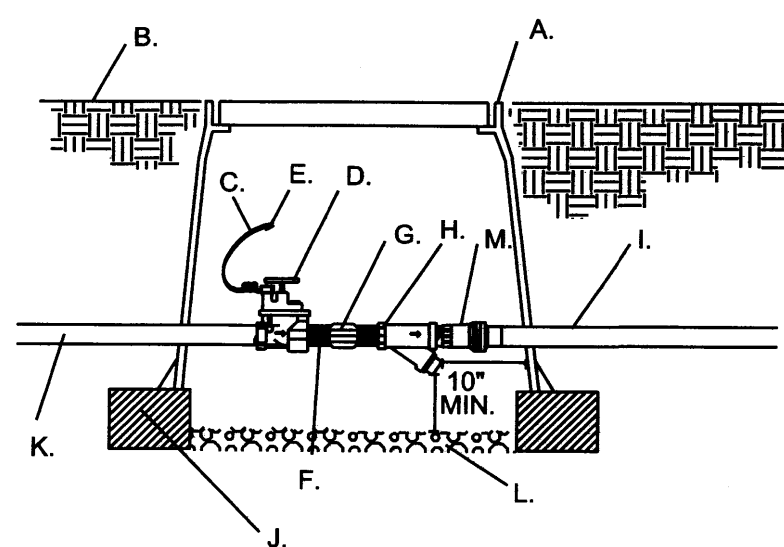


TREE PLANTING DETAIL

RP BACKFLOW/MASTER VALVE DETAIL

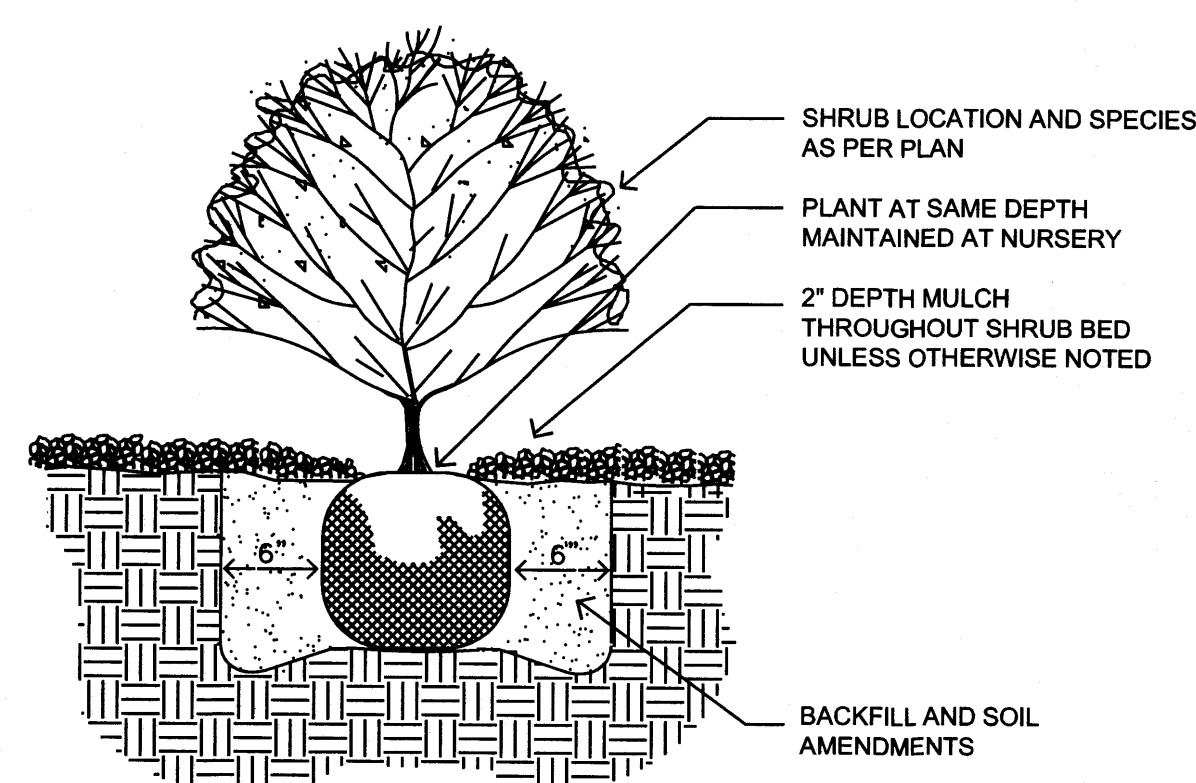


TREE PLANTING DETAIL/WATER HARVESTING

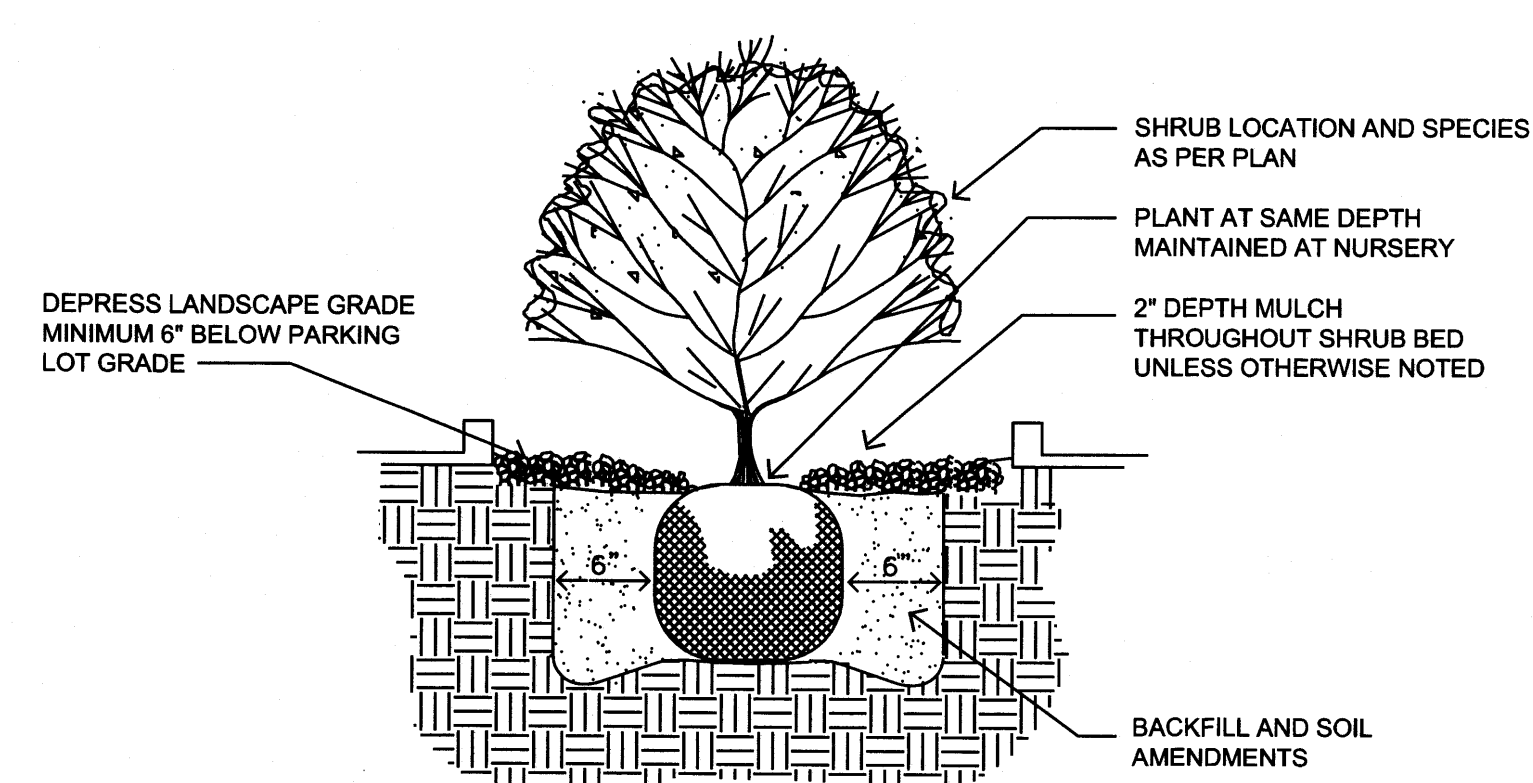


- A. BROOKS PRODUCTS INC. 1419-18 BODY (ABS) VALVE BOX W/ BOLT DOWN COVER, (ABS) AND ONE 8" EXTENSION.
- B. FINISH GRADE
- C. 24" WIRE LOOP
- D. AUTOMATIC VALVE- SEE IRRIGATION LEGEND.
- E. DRY SPLICE CONNECTOR OR EQUAL
- F. SCH. 80 NIPPLE
- G. SCH. 80 COUPLING
- H. "WYE" STRAINER STRAINER SHALL BE INSTALLED TO PROVIDE ACCESS FOR MAINTENANCE AND REPLACEMENT OF FILTER
- I. LATERAL LINE
- J. 8" X 8" X 16" CMU CONCRETE BLOCK
- K. MAINLINE
- L. 4" LAYER OF 3/4" GRAVEL
- M. PRESSURE REGULATOR

DRIP VALVE DETAIL



SHRUB PLANTING DETAIL



SHRUB PLANTING DETAIL/WATER HARVESTING

**BUILDING FINISH COLORS:**

CMU FIELD- MEDIUM TAN SPLIT FACED  
4" ACCENT CMU- DARK TAN SMOOTH FACE  
EXTERIOR STUCCO COLOR- TERRA COTTA  
ALUMINUM WINDOW FRAMES- BRONZE  
WINDOW GLAZING- 1" CLEAR INSULATED NON REFLECTIVE  
OVERHEAD & HM DOORS- MEDIUM TAN  
METAL ROOFING AT PORTALES- GALVANIZED STEEL- DULL, NON-REFLECTIVE  
PAINTED STEEL AT PORTALES- BRONZE

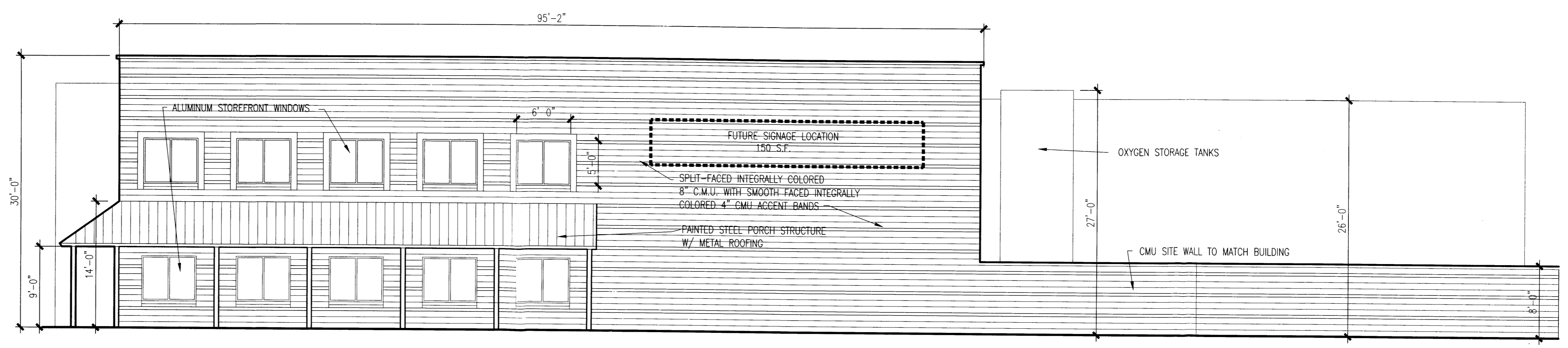
ALL BUILDING MOUNTED SIGNAGE TO BE LIGHTED EITHER INTERNALLY OR EXTERNALLY. ANY LIGHTING FOR SIGNAGE SHALL CONFORM TO NIGHT SKIES ACT.

**BUILDING SIGNAGE CALCS:**

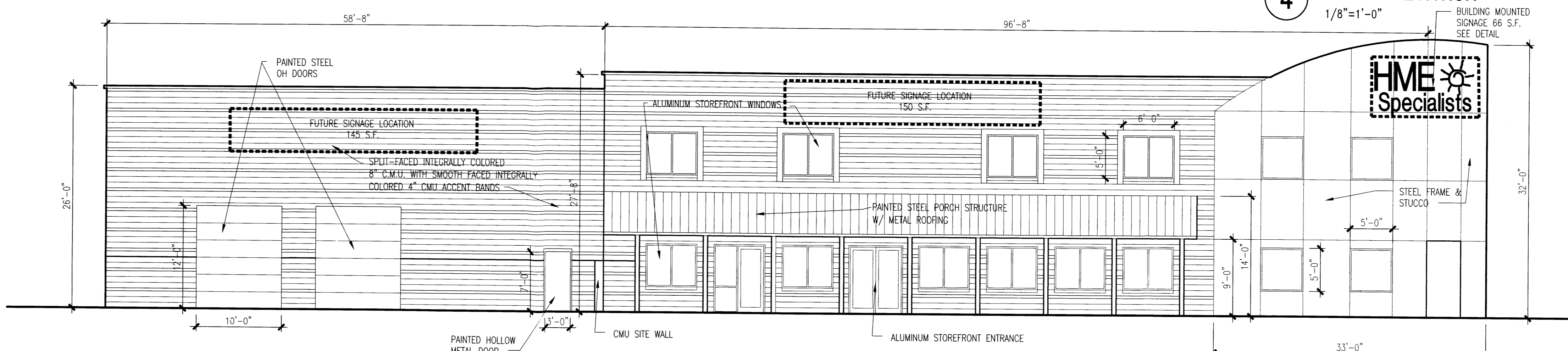
WEST ELEVATION- BLDG. AREA-2,850 S.F. SIGNAGE- 150 S.F.  
150 / 2850 = 5%

EAST ELEVATION- BLDG. AREA-4,515 S.F. SIGNAGE- 366 S.F.  
361 / 4515 = 8%

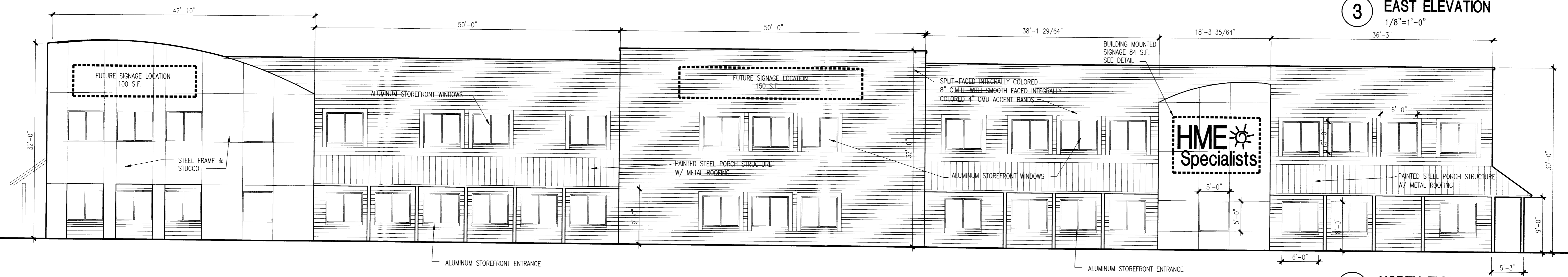
NORTH ELEVATION- BLDG. AREA-7,246 S.F. SIGNAGE- 334 S.F.  
334 / 7246 = 4.6%



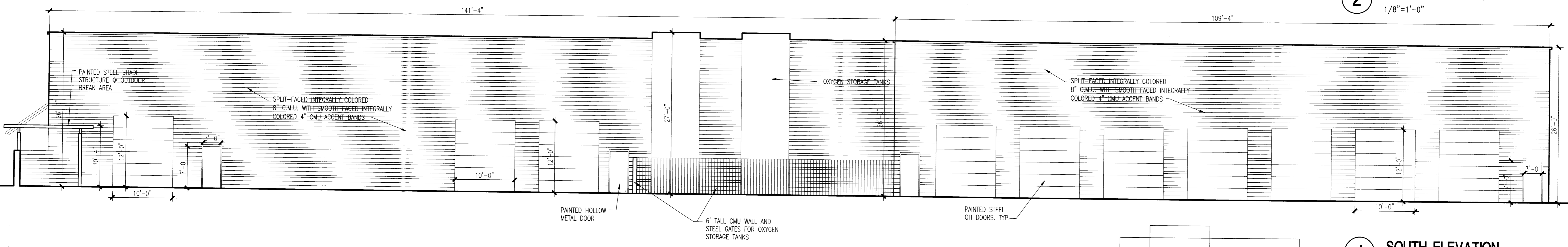
4 WEST ELEVATION  
1/8"=1'-0"



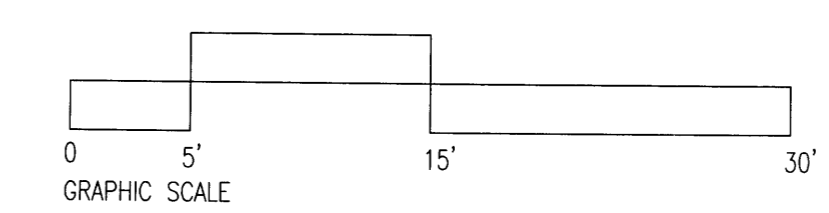
3 EAST ELEVATION  
1/8"=1'-0"

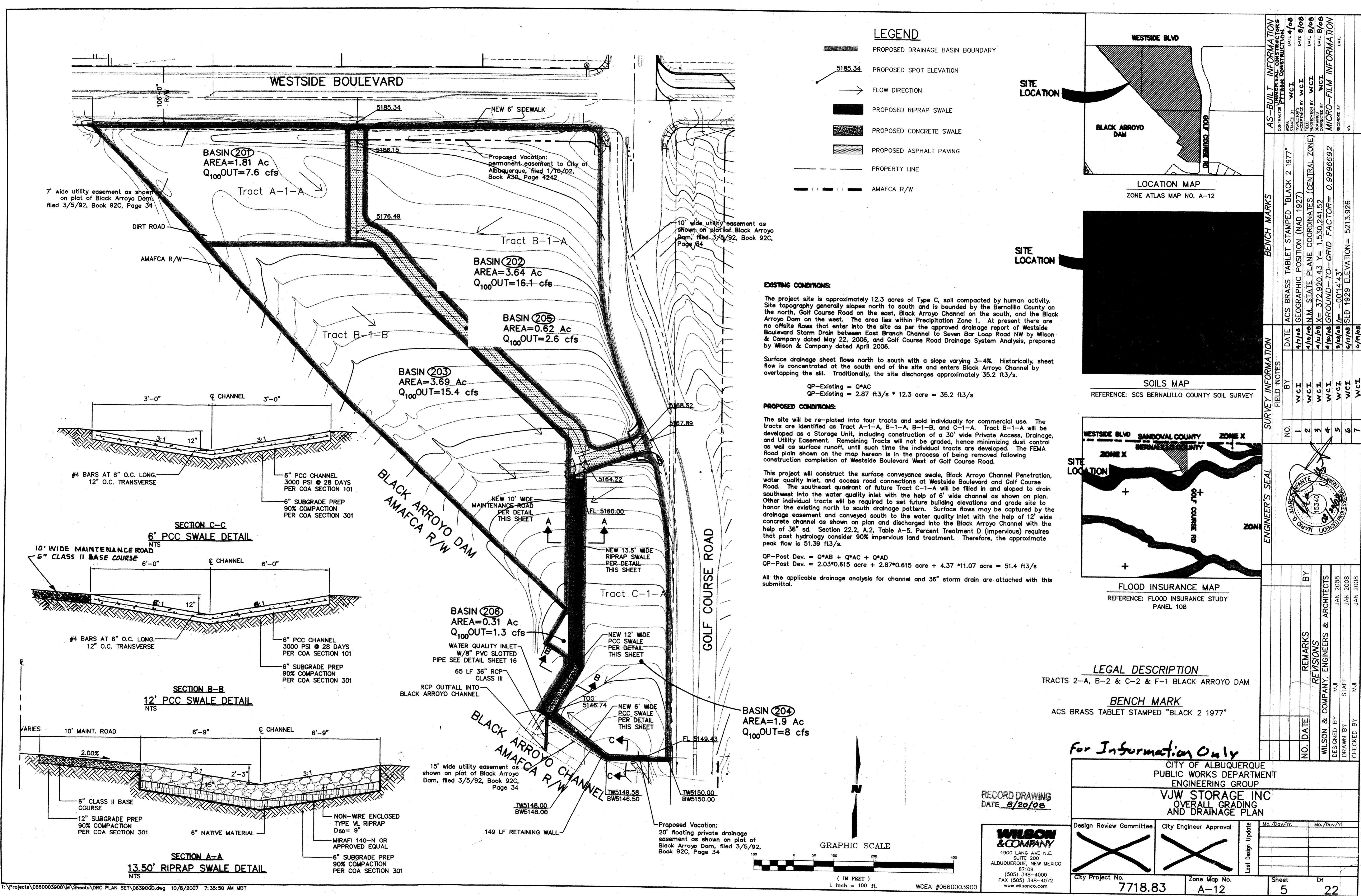


2 NORTH ELEVATION  
1/8"=1'-0"

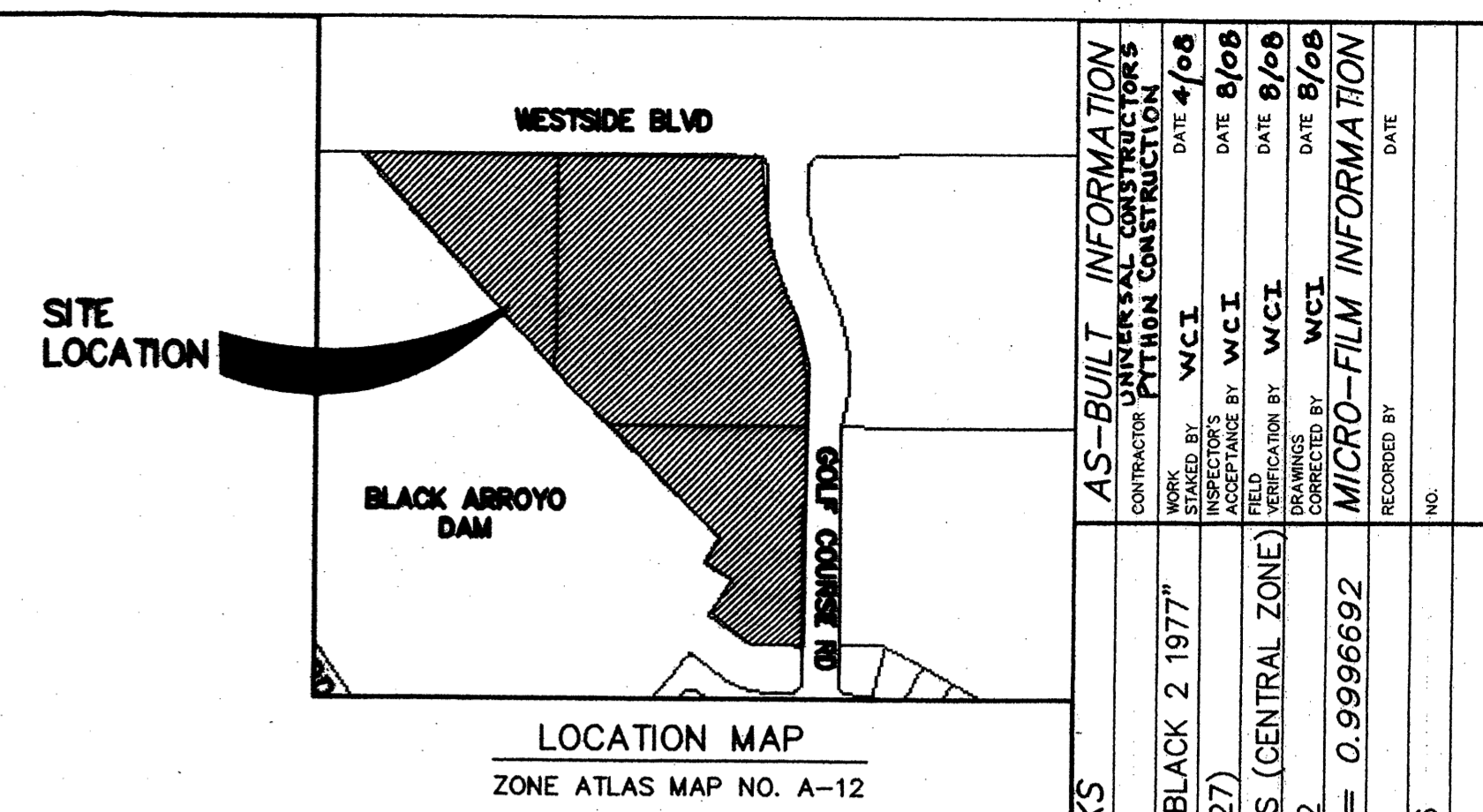


1 SOUTH ELEVATION  
1/8"=1'-0"





- LEGEND**
- PROPOSED DRAINAGE BASIN BOUNDARY
  - 5185.34 PROPOSED SPOT ELEVATION
  - FLOW DIRECTION
  - ▬ PROPOSED RIPRAP SWALE
  - ▬ PROPOSED CONCRETE SWALE
  - ▬ PROPOSED ASPHALT PAVING
  - - - - - PROPERTY LINE
  - - - - - AMAFCA R/W



**EXISTING CONDITIONS:**

The project site is approximately 12.3 acres of Type C, soil compacted by human activity. Site topography generally slopes north to south and is bounded by the Bernalillo County on the north, Golf Course Road on the east, Black Arroyo Channel on the south, and the Black Arroyo Dam on the west. The area lies within Precipitation Zone 1. At present there are no offsite flows that enter into the site as per the approved drainage report of Westside Boulevard Storm Drain between East Branch Channel to Seven Bar Loop Road NW by Wilson & Company dated May 22, 2006, and Golf Course Road Drainage System Analysis, prepared by Wilson & Company dated April 2006.

Surface drainage sheet flows north to south with a slope varying 3-4%. Historically, sheet flow is concentrated at the south end of the site and enters Black Arroyo Channel by overtopping the sill. Traditionally, the site discharges approximately 35.2 ft<sup>3</sup>/s.

QP-Existing = Q\*AC  
QP-Existing = 2.87 ft<sup>3</sup>/s \* 12.3 acre = 35.2 ft<sup>3</sup>/s

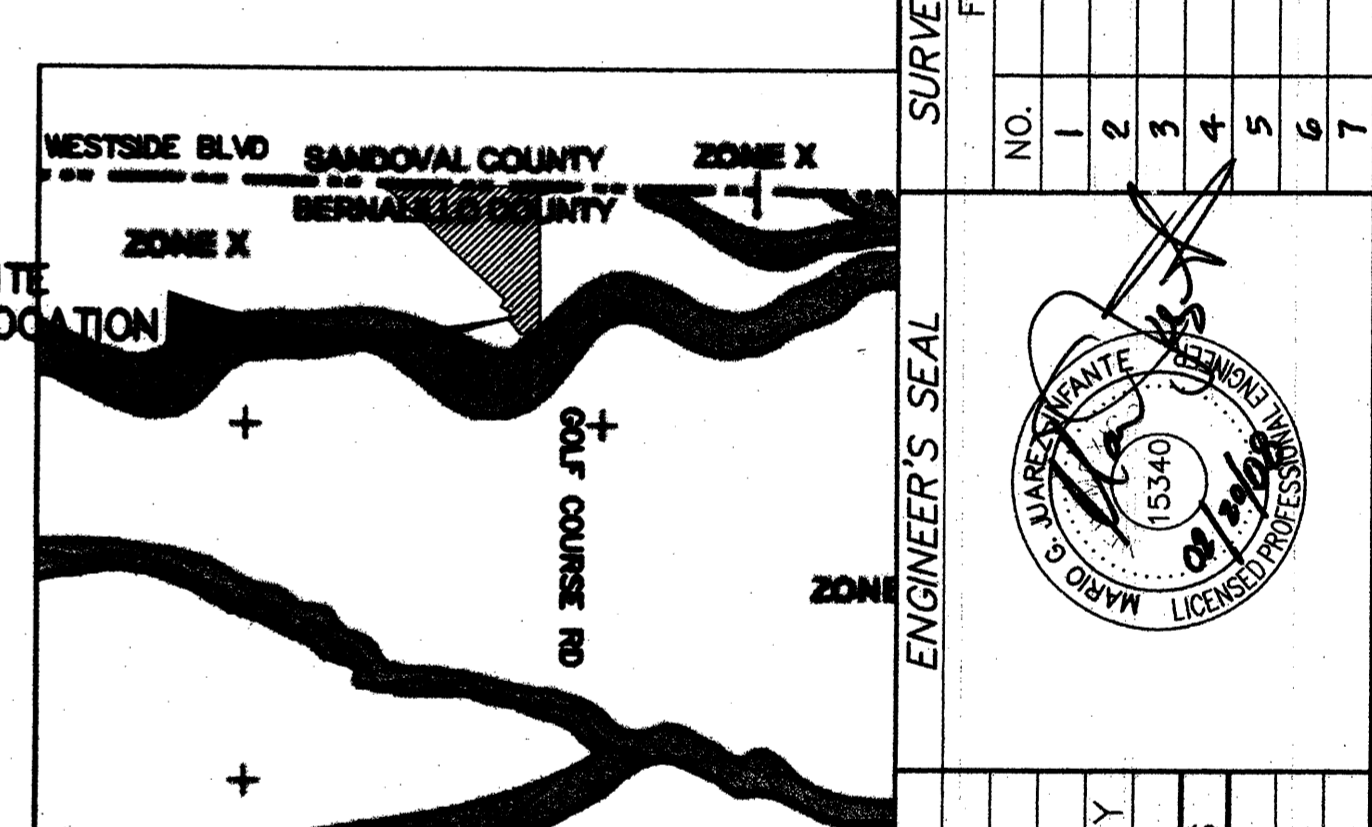
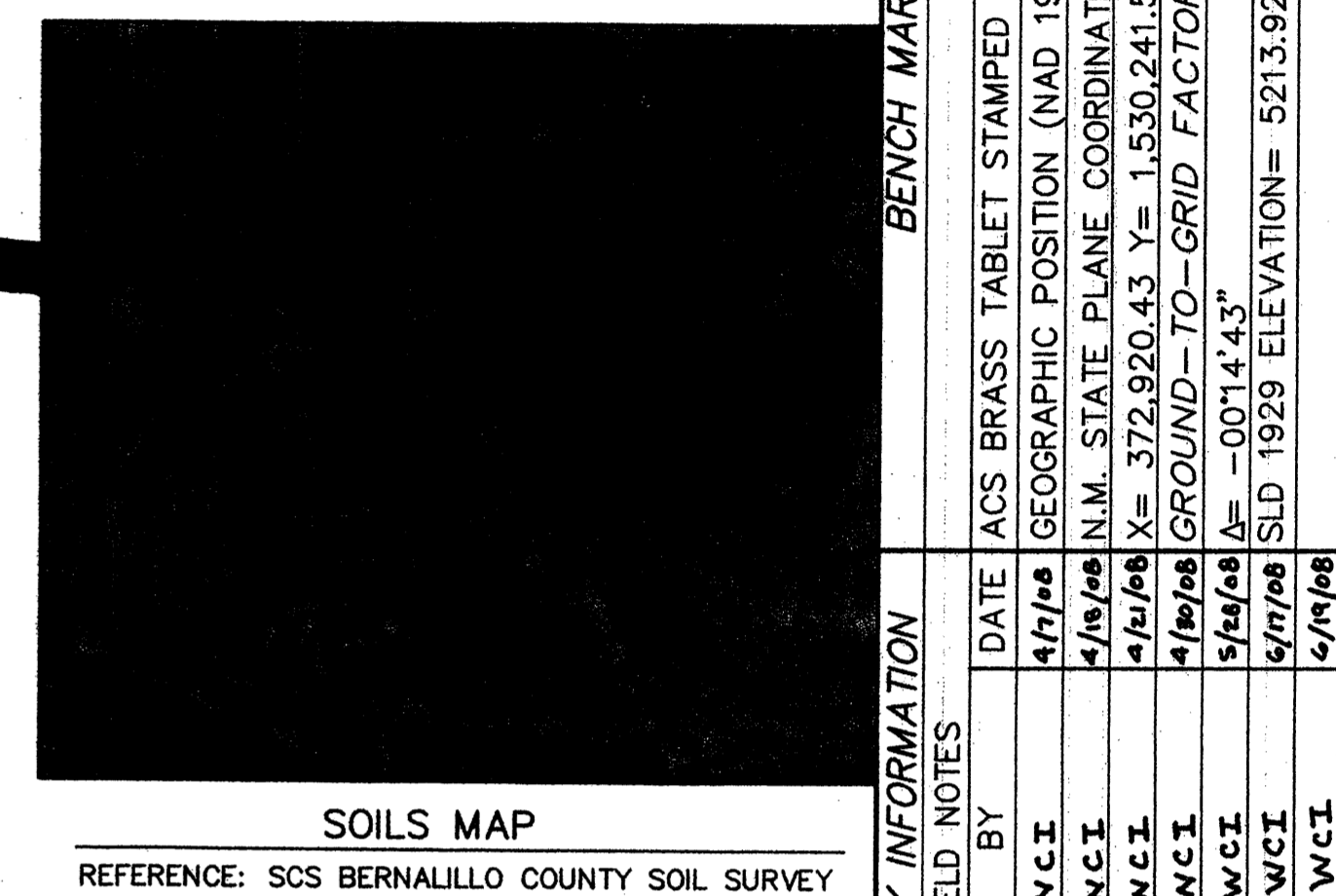
**PROPOSED CONDITIONS:**

The site will be re-platted into four tracts and sold individually for commercial use. The tracts are identified as Tract A-1-A, B-1-A, B-1-B, and C-1-A. Tract B-1-A will be developed as a Storage Unit, including construction of a 30' wide Private Access, Drainage, and Utility Easement. Remaining Tracts will not be graded, hence minimizing dust control as well as surface runoff, until such time the individual tracts are developed. The FEMA flood plain shown on the map hereon is in the process of being removed following construction completion of Westside Boulevard West of Golf Course Road.

This project will construct the surface conveyance swale, Black Arroyo Channel Penetration, water quality inlet, and access road connections at Westside Boulevard and Golf Course Road. The southeast quadrant of future Tract C-1-A will be filled in and sloped to drain southwest into the water quality inlet with the help of 6' wide channel as shown on plan. Other individual tracts will be required to set future building elevations and grade site to honor the existing north to south drainage pattern. Surface flows may be captured by the drainage easement and conveyed south to the water quality inlet with the help of 12' wide concrete channel as shown on plan and discharged into the Black Arroyo Channel with the help of 36" sd. Section 22.2, A.2, Table A-5. Percent Treatment D (Impervious) requires that post hydrology consider 90% impervious land treatment. Therefore, the approximate peak flow is 51.39 ft<sup>3</sup>/s.

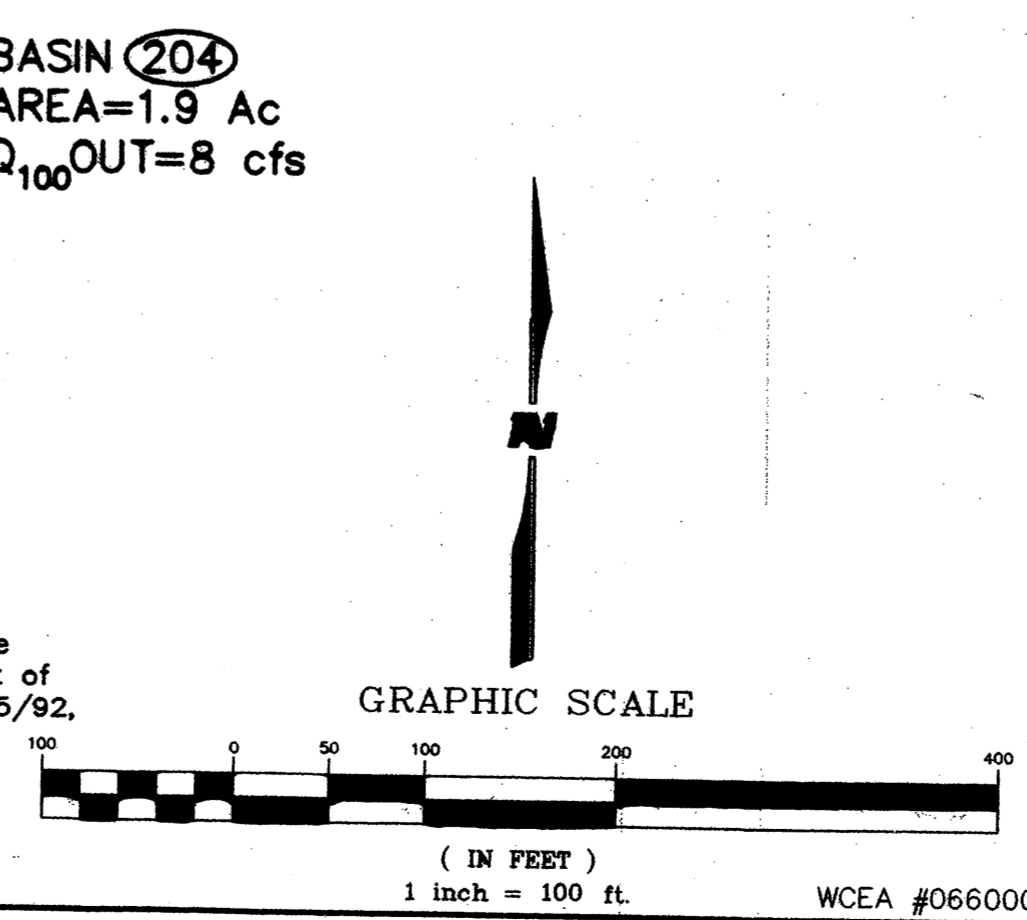
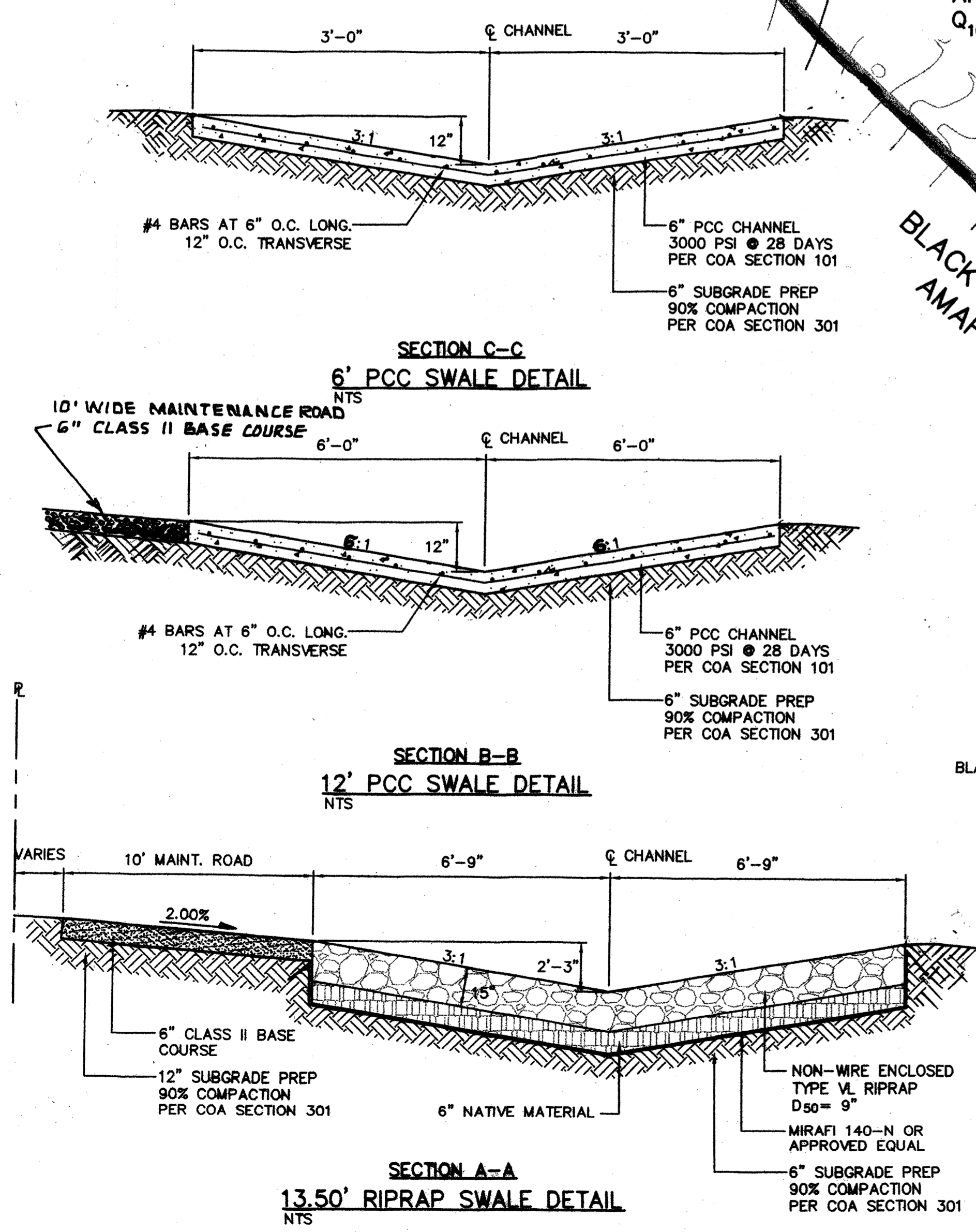
QP-Post Dev. = Q\*AB + Q\*AC + Q\*AD  
QP-Post Dev. = 2.03\*0.615 acre + 2.87\*0.615 acre + 4.37 \*11.07 acre = 51.4 ft<sup>3</sup>/s

All the applicable drainage analysis for channel and 36" storm drain are attached with this submittal.



**LEGAL DESCRIPTION**  
TRACTS 2-A, B-2 & C-2 & F-1 BLACK ARROYO DAM

**BENCH MARK**  
ACS BRASS TABLET STAMPED "BLACK 2 1977"



**RECORD DRAWING**  
DATE 9/20/08

**WILSON & COMPANY**  
4900 LANG AVE N.E.  
SUITE 200  
ALBUQUERQUE, NEW MEXICO  
87109  
(505) 348-4000  
FAX (505) 348-4072  
www.wilsonco.com

*For Information Only*

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING GROUP

**VJW STORAGE INC**  
OVERALL GRADING  
AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
7718.83	A-12	5	22

AS-BUILT INFORMATION		CONTRACTOR		DATE	
NO.	BY	NO.	BY	NO.	BY
1	WCI	1	WCI	1	WCI
2	WCI	2	WCI	2	WCI
3	WCI	3	WCI	3	WCI
4	WCI	4	WCI	4	WCI
5	WCI	5	WCI	5	WCI
6	WCI	6	WCI	6	WCI
7	WCI	7	WCI	7	WCI

**FIELD NOTES**

DATE ACS BRASS TABLET STAMPED "BLACK 2 1977" 4/17/08

DATE GEOGRAPHIC POSITION (NAD 1927) 4/19/08

DATE STATE PLANE COORDINATES (CENTRAL ZONE) 4/19/08

DATE GROUND-TO-GRID FACTOR= 0.9996692 4/19/08

DATE SLD 1929 ELEVATION= 5213.926 4/19/08

**ENGINEER'S SEAL**

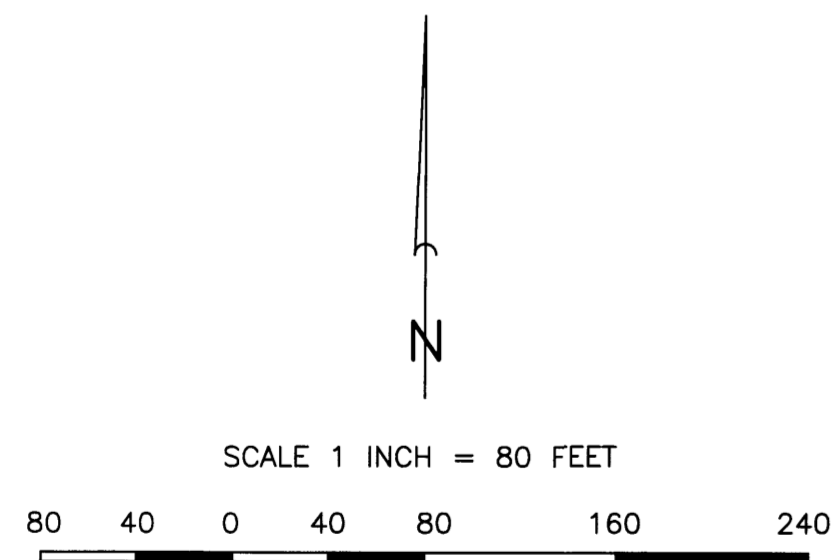
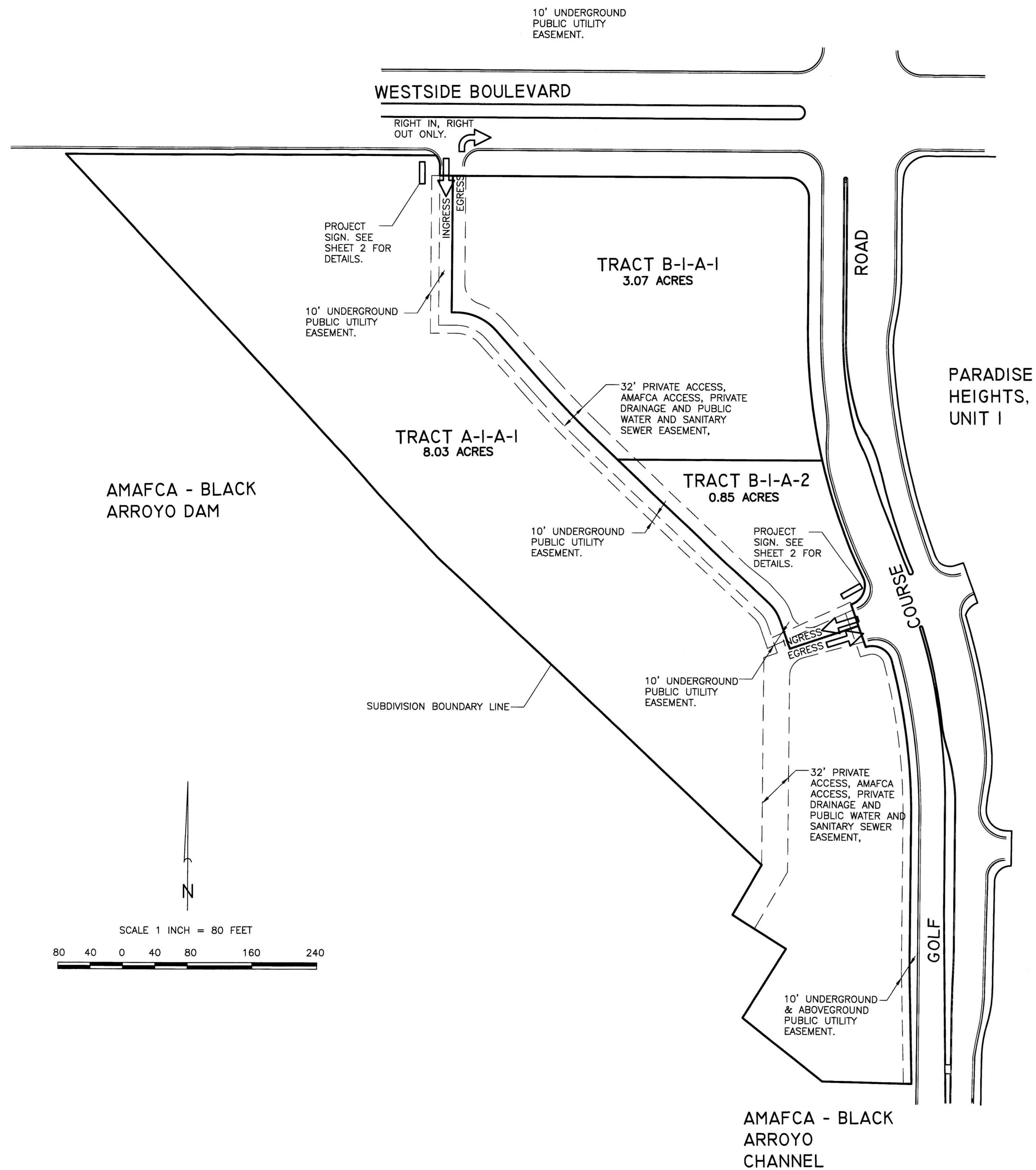
MARKED & SEALED  
15340  
LICENSED PROFESSIONAL ENGINEER

REVISIONS

NO.	DATE	REMARKS	BY

DESIGNED BY: MJI  
DRAWN BY: STAFF  
CHECKED BY: MJI

JAN 2008  
JAN 2008  
JAN 2008



GENERAL SITE INFORMATION

SITE INFORMATION

The existing Site Development Plan indicates an area of 12.5 acres. Additional right-of-way has since been dedicated to the City of Albuquerque for street construction. The remaining site has a total area of 11.95 acres divided into three lots; separated by the internal private access road. The site will be further subdivided as needed to meet requirements of individual developers.

PROPOSED USE

The site is zoned C-2 (SC). It is intended that the site develop as a mix of a commercial uses including, retail, restaurants, financial, medical, office, etc.

INGRESS AND EGRESS

Vehicular access within the site is provided by a private access road. Each lot will have direct access to this road. The access road is connected to Westside Blvd. on the north and to Golf Course Rd. on the east side of the subdivision.

Pedestrian access is along the private access road and along the city streets named above.

Public transit (cross town commuter route) access is available at nearby park and ride sites on weekdays. Local service is not available.

Bicycle access is provided by a six foot wide bike lane on Golf Course Rd. and to the east on Westside Blvd.

Cross access easements will provide access and parking between adjacent tracts. Pedestrian connections will be provided between parking isles, public sidewalks, buildings and adjacent tracts.

LOT SIZE

All lots will have a minimum area of one acre and a least mean dimension of one hundred eighty feet. See least mean dimension calculation example below.

BUILDING SETBACKS

See sheet 2 of 2 "ARCHITECTURAL STANDARDS" and City of Albuquerque Comprehensive Zoning Ordinance for control.

MAXIMUM FAR

A maximum floor area ratio (FAR) will be 0.30 for all tracts.

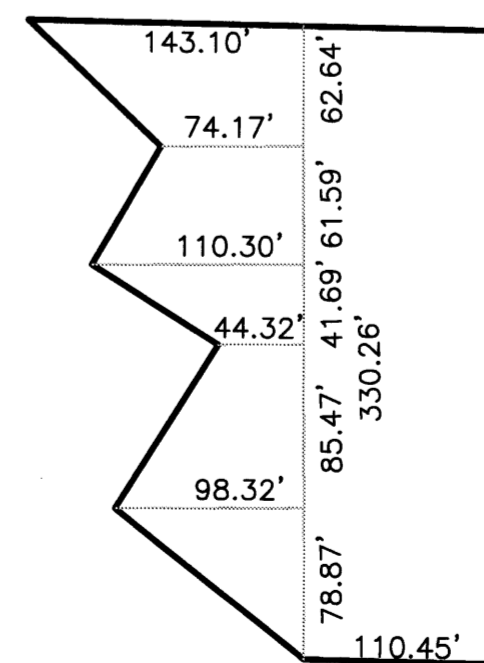
LANDSCAPING

The landscape design standards shown on sheet 2 place an emphasis on native and/or naturalized plant species, landscape criteria, and landscape buffers. Subsequent landscape plans will be detailed and will be consistent with city standards regarding pollen control and water conservation.

LEAST MEAN DIMENSION CALCULATION

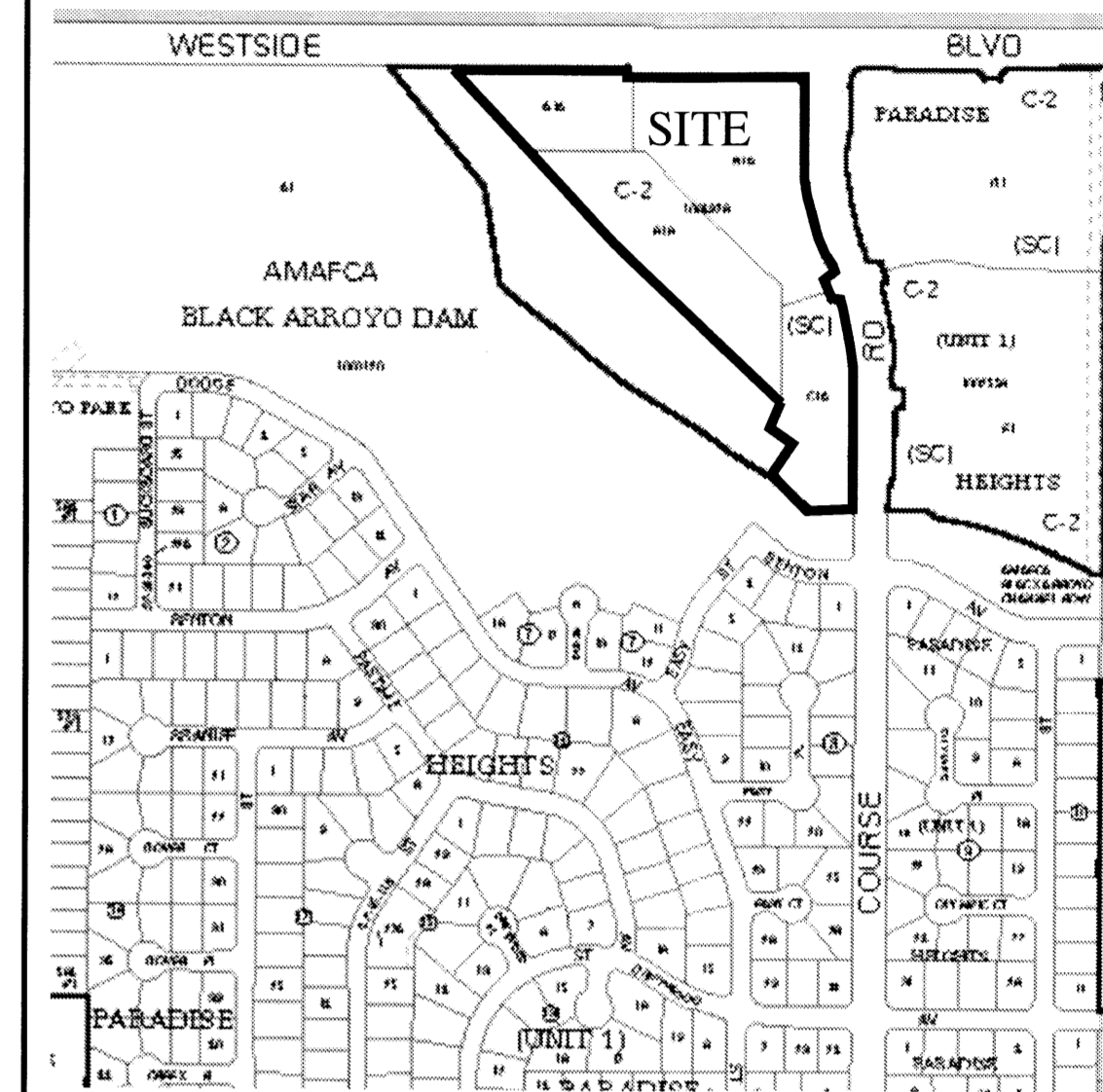
$$\begin{aligned} (143.10 + 74.17) / 2 &= 62.64 / 2 = 6805 \\ (74.17 + 110.30) / 2 &= 61.59 / 2 = 5681 \\ (110.30 + 44.32) / 2 &= 41.89 / 2 = 1159 \\ (44.32 + 98.32) / 2 &= 87.47 / 2 = 6238 \\ (98.32 + 0) &= 78.87 \\ \hline 23760 / 330.26 &= 71.94 \end{aligned}$$

LEAST MEAN DIMENSION = 110.45 + 71.94 = 182.39'



AMENDED  
SITE PLAN FOR SUBDIVISION  
CALABACILLAS  
COMMERCIAL PARK  
ALBUQUERQUE, NEW MEXICO  
JULY, 2013

VICINITY MAP A-12



APPROVALS

PROJECT NO: 1004976  
APPLICATION NO: 13EPC-40090

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED \_\_\_\_\_ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF DECISION.

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO  
IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED OF ANY CONSTRUCTION OF PUBLIC IMPROVEMENTS.

PARKS AND RECREATION DEPARTMENT	DATE
A.M.A.F.C.A.	DATE
CITY ENGINEER	DATE
A.B.C.W.U.A.	DATE
TRAFFIC ENGINEERING AND TRANSPORTATION DIVISION	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



**BORDENAVE DESIGNS**  
P.O. BOX 91194, ALBUQUERQUE, NM 87199-1194  
OFFICE(505)823-1344 FAX (505)821-9105  
CELL(505)480-6812 jakebordenave@comcast.net

**GENERAL**

Future development will ensure consistency with these standards and the City of Albuquerque Zoning Code. The purpose of these design standards is to provide a framework to assist the architects, landscape architects, engineers and surveyors in understanding the vision and development goals for the property. The primary goal for this property is to achieve a vibrant variety of commercial uses.

The design standards should be used to facilitate the design of buildings and amenities which respect to the natural conditions of the site, maintain and highlight the views of the Sandia and Manzano mountains and take advantage of the open area created by the Black Arroyo Dam on the west boundary of the site. Innovative techniques such as water harvesting and use of 'green' building design are strongly encouraged.

These standards address the issues of architecture, screening, lighting, landscape, setbacks, pedestrian amenities, and parking lots that will create the visual image desire for Black Arroyo Dam.

Subsequent site plans for building permits shall be consistent with the City of Albuquerque zoning code as well as the design standards established by this Site Plan for Subdivision and shall be approved by the Environmental Planning Commission (EPC). Minor amendments to this Site Plan for Subdivision shall be approved administratively by the Planning Director in accordance with the Comprehensive City Zoning Code, Section 14-16-2-22 (a)(6) Special Use Zone and major amendments shall be approved by the Environmental Planning Commission (EPC).

**ARCHITECTURAL STANDARDS**

1. The site affords dramatic views of the Sandia and Manzano mountains. Site design will take advantage of this asset. Patios and plazas will be designed to have views of the mountains to the greatest extent possible.

2. The style for all buildings is broadly defined as 'Southwestern, Neo-Pueblo', 'Rio Grande Valley Adobe style', 'New Mexico Colonial style', 'Territorial style', etc. or a 'Southwestern Contemporary style', as it relates to the historical architectural styles. Unmodified, non-southwestern 'Franchise' architecture is prohibited.

3. Building design shall be architecturally integrated within the site and context of the commercial development with southwestern architecture per the "West Side Strategic Plan".

4. Building configuration, to the extent possible, should be in a plaza-like design or other similar arrangements to avoid strip-type development. On this regard, restaurants are encouraged to provide outdoor dining.

5. The primary building mass will be an earth-tone color (earth-tone is considered to be colors found in soils common to the southwest) regardless of materials. Colors other than the earth-tone palette, shall be used only for accents, decorative elements and for the emphasis of certain design elements.

6. Exterior building materials should generally be non-reflective and cementitious in visual quality. No more than three major materials, excluding frames, trim, canopies, etc., will be combined on any given building elevation.

7. Glass will have a surface reflectance no greater than 20% of incident light and wood or non-reflective metal trim will be colored in conformance with the general coloration of the structure.

8. All canopies and out-buildings will be integrated into the main building architecture.

9. Colored CMU walls will be permitted only if broken by horizontal bands of CMU of a different texture and color. Barbed wire, concertina wire, chain link fencing and unfinished cmu are prohibited.

**SCREENING**

1. Service areas, such as loading docks, janitorial and mechanical rooms and other service entrances and refuse collection facilities will not be located in or adjacent to the building faces most proximate to the boundaries of residential areas.

2. Rooftop equipment, such as mechanical, electrical, communication and solar equipment, etc., will be hidden by parapet and/or screen walls to obscure them from public view.

3. Ground based equipment, such as mechanical, electrical, communication and solar equipment, etc., will be hidden by screen walls. Walls will be at least 6" higher than the object(s) being screened and consistent with the main building architectural style.

4. Screening will be designed to allow for access to utility facilities. All screening and landscaping surrounding ground-mounted transformers and utility pads are to allow ten (10) feet of clearance in front of the equipment door and six (6) feet of clearance on the remaining sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric service Guide and www.pnm.com for specifications.

**SETBACKS**

1. Minimum building setbacks from the face of the building to the property line will be 30 feet from the public street right-of-way line and private easement line and 15 feet from all other property lines.

**LANDSCAPE STANDARDS**

The development of an overall landscape concept will establish a framework that unifies the property and is complementary to the high desert landscape of the west side. The landscape design should emphasize native and naturalized plant species. All landscaped areas need to be coordinated and responsive to existing environmental conditions and local building policies. These guidelines are to be used as a supplement to the city requirements in the 'Water Conservation Landscaping and Water Waste Ordinance', the 'Street Tree Ordinance' and landscape regulation included in the 'City of Albuquerque Comprehensive City Zoning Code'.

1. The total landscape area for each lot must exceed 15% of the total lot area less the building footprint area.

2. Landscape plans will list water usage and allergenic potential for all plant material proposed.

3. An automatic underground irrigation system will be utilized to provide even and adequate water levels to all plant material. Water use will be done in such a manner as to conserve water use and prevent irrigation runoff.

4. Landscape maintenance is the responsibility of the property owner.

5. Parking lot landscaping will primarily consist of deciduous trees. The distance between planting islands will not exceed 85 feet.

6. Street-scape landscaping will primarily consist of a combination of shrubs and deciduous trees in a 10 foot wide area between the street right-of-way line and the face of the curb of an adjacent parking area. Tree location will meet the requirements of the street tree ordinance. Note that clear sight triangle requirements must be met.

7. Residential buffer materials shall primarily consist of deciduous trees in combination with conifers to provide year round partial screening.

8. Non-living ground cover will be limited to 15% of the required landscaped area.

9. Suggested trees for this site: desert willow, chinese pistache, arizona sycamore, canadian choke cherry, honey locust, purple robe locust. Varieties of juniper, crab apple, sycamore and bradford pear will not be used.

10. Suggested shrubs are apache plume, rosemary, russian sage, big sage, lavender, three leaf sumac, mountain mahogany, autumn sage and fernbush. Boxwood and privet will not be used.

11. Suggested ornamental grasses are threadgrass, blue gramma and blue fescue. Sod will not be used.

12. Landscaped areas shall be depressed a minimum of two inches below adjacent confining elements.

**SIGNAGE STANDARDS**

These signage standards were developed to regulate the size, location, type and quality of sign elements within the Black Arroyo Dam site. The goal is to provide a signage program that is of high quality, maintains a consistent style, creates a sense of arrival and complements the visual nature of the property.

1. All signs shall be in compliance with Section 14-16-3-5, General Sign Regulation of the Comprehensive City Zoning Code.

2. The support structures for the monument and project signs will be compatible with the building architecture.

3. No sign on a building facade facing a residential area will be illuminated.

4. A project sign is permitted at each entrance to the project from an arterial street. The project signs will be freestanding 'monument type' signs. The top of the sign will no be more than 6 feet above the adjacent finish grade and the face will have a maximum area of 36 square feet.

5. Each building site is limited to one monument sign. The monument will be a 'monument type' freestanding sign. The top of the sign will be no more than 4 feet above the adjacent finish grade and the face will have a maximum area of 20 square feet.

6. Each parcel is limited to one building mounted sign per tenant or business. The sign will not exceed 8% of the area of the facade to which it is attached.

7. Pole mounted signs and signs supported with wires are prohibited.

**PARKING & PEDESTRIAN STANDARDS**

In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design. An effort should be made by site designers to lessen the impact of parking facilities on the land and preserve views. In order to ease the visual impact of parking areas, parking facilities should be broken up into smaller areas.

1. Handicapped parking spaces will be provided adjacent to building entries.

2. Provided parking shall not exceed the required parking by more than 10%.

3. Buildings and on-site circulation should be located to minimize pedestrian/vehicle conflicts.

4. Pedestrian access will be provided to link buildings and public sidewalks as well as from lot to lot.

5. Parking areas will be designed to include a pedestrian pathway (textured, colored concrete) to buildings.

6. Where parking is adjacent to public streets, landscaping for screening purposes will be required. The screen will be composed of shrubs trimmed to a height of 4 feet.

7. Blanket cross access and parking easements will be granted on all lots.

8. All tracts will provide pedestrian connections to abutting tracts.

9. A pedestrian pathway with a minimum width of six feet will be provided along the western and southern side of the internal roadway.

**LIGHTING STANDARDS**

In order to enhance the safety, security and visual aesthetics, careful consideration must be given to both daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system will be to maximize public safety while not affecting adjacent properties, buildings or roadways with unnecessary glare or reflection.

1. All lighting shall comply with section 14-16-3-9, area lighting regulations of the comprehensive city zoning code. Placement of fixtures and standards will conform to state and local safety and illumination standards.

2. Lighting shall conform to 'dark sky' standards.

3. All lighting will be fully shielded.

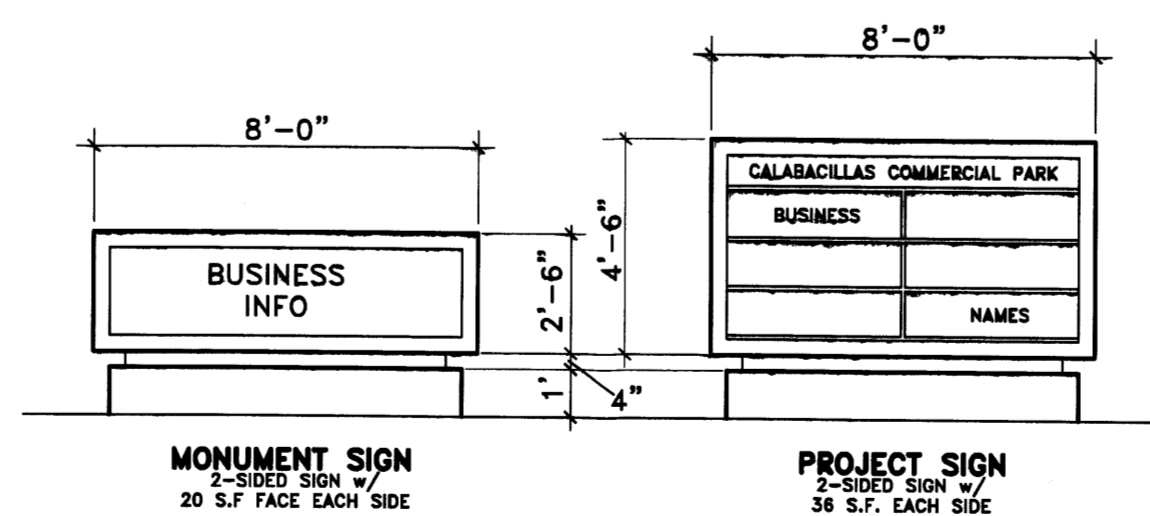
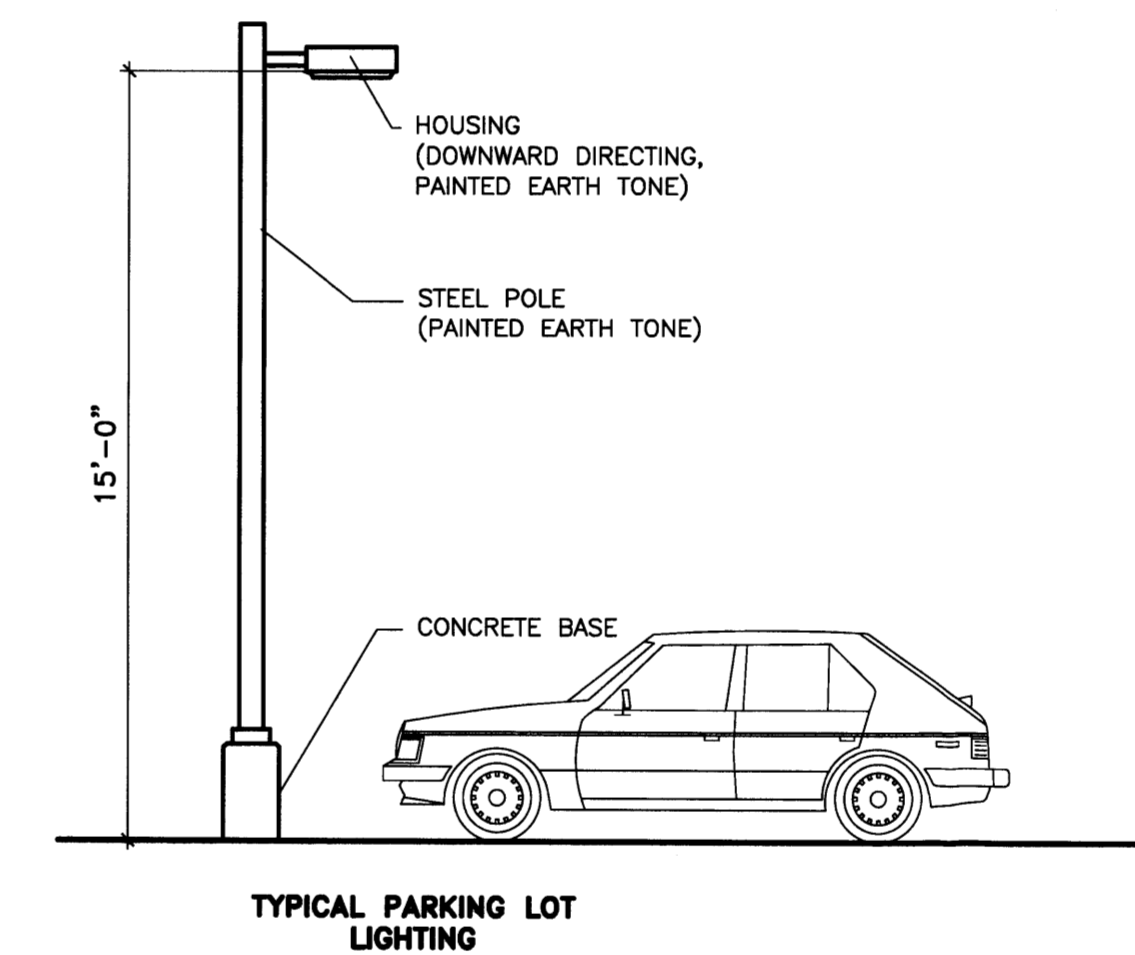
4. Parking lot lighting shall be provided by 15'-0" high light poles in an earth-tone color.

5. Lighting height will be measured from adjacent finish grade to the top of the fixture.

6. High pressure sodium lighting and up-lighting are prohibited.

**CLEAR SIGHT TRIANGLE**

1. Landscaping and signage will no interfere with clear sight requirements. Signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan will not be acceptable in the clear sight triangle.



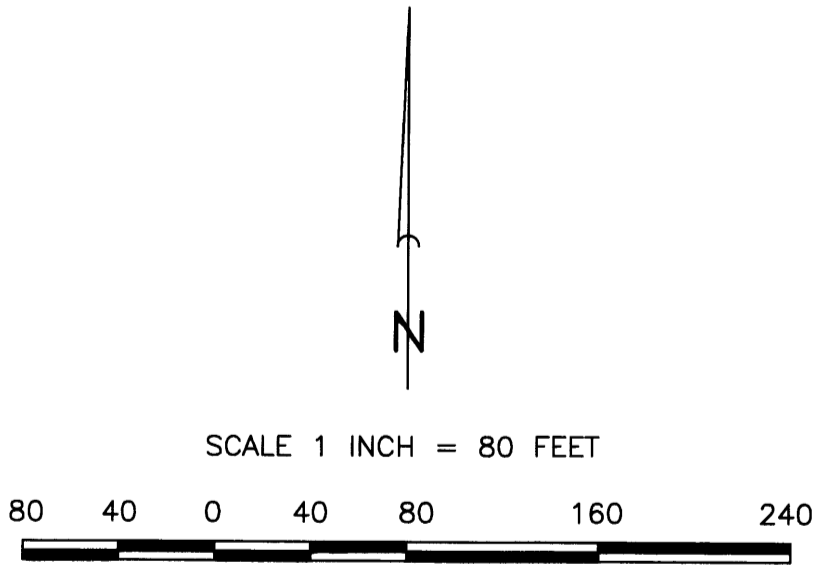
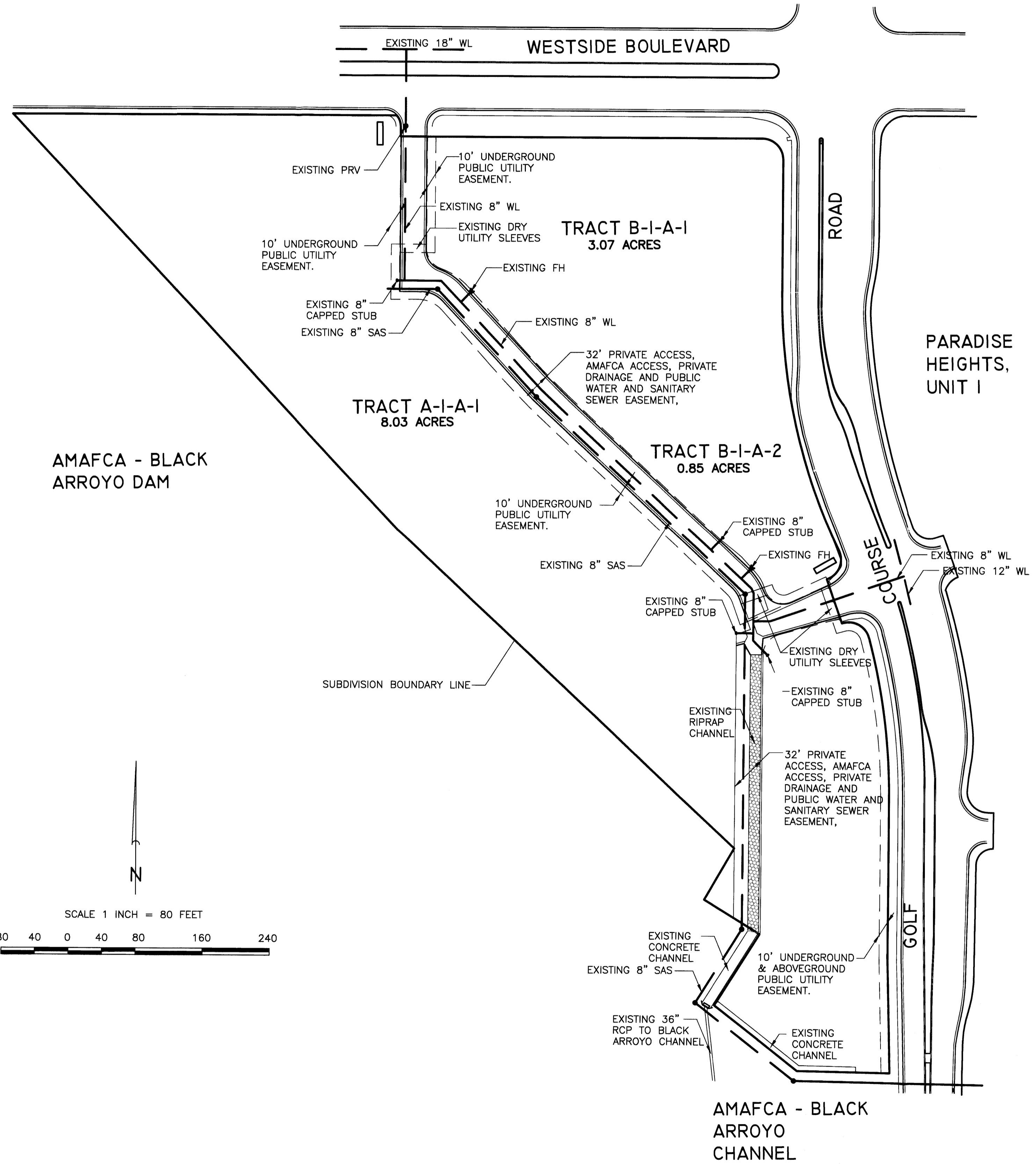
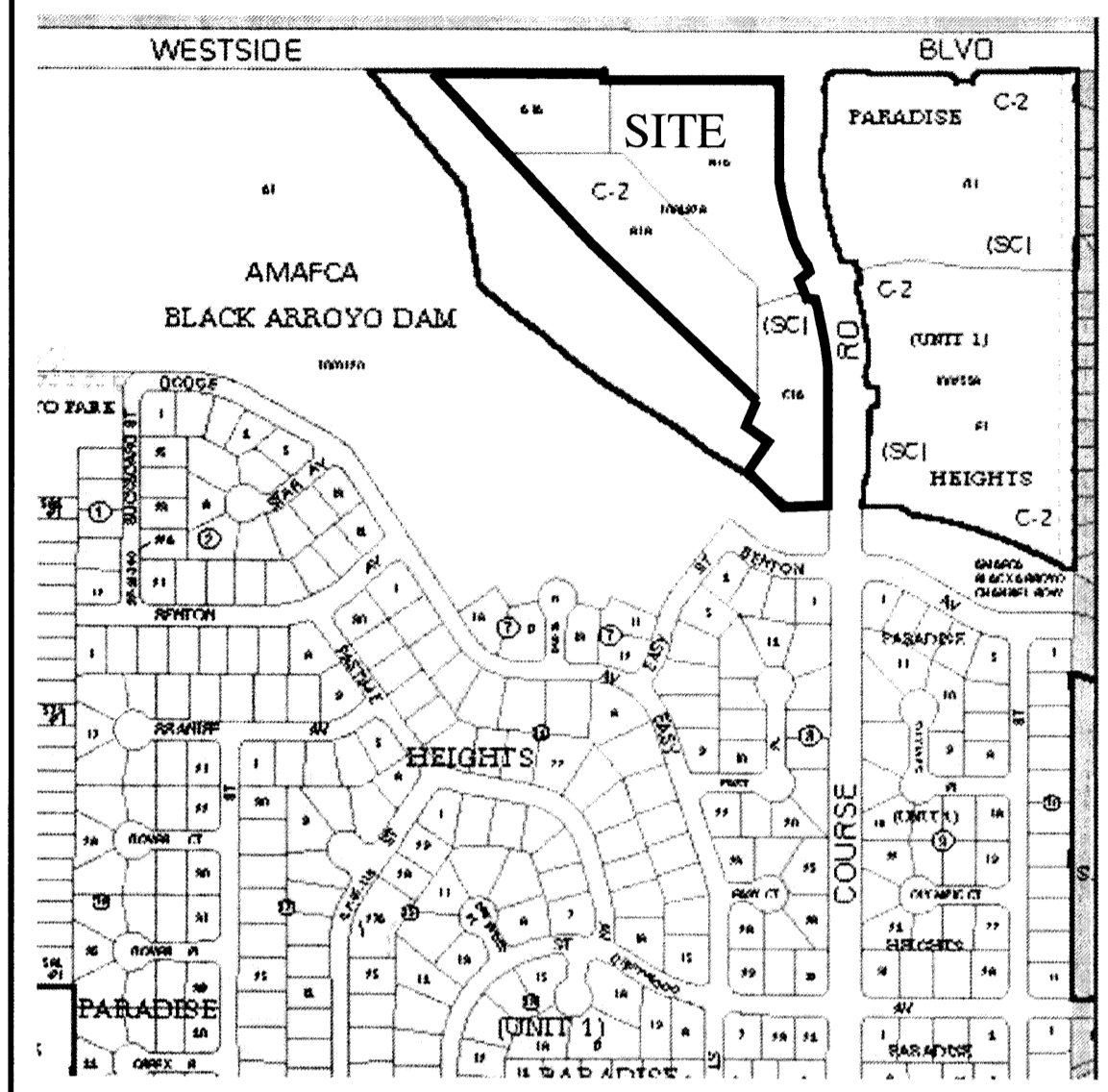
**BORDENAVE DESIGNS**  
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SITE UTILITIES FOR CALABACILLAS COMMERCIAL PARK ALBUQUERQUE, NEW MEXICO JULY, 2013

- 1. WATER, SANITARY SEWER, STORM DRAIN, POWER, GAS AND COMMUNICATIONS ARE AVAILABLE TO THE SUBDIVISION ALONG THE INTERNAL ACCESS ROAD. NO OFFSITE CONSTRUCTION IS REQUIRED.
- 2. COORDINATION OF UTILITY SERVICES MAY BE MADE THROUGH THE FOLLOWING:  
 WATER AND SANITARY SEWER - ABCWUA  
 POWER - PUBLIC SERVICE CO. OF NEW MEXICO  
 GAS - NEW MEXICO GAS CO.  
 TELEPHONE - CENTURY LINK  
 CABLE - COMCAST

VICINITY MAP A-12



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