

PLAT OF
TRACTS A-1-A-1, B-1-A-1 & B-1-A-2
BLACK ARROYO DAM
 ALBUQUERQUE, NEW MEXICO
 AUGUST, 2013

EASEMENT NOTE:
 AN EXISTING 30' PRIVATE EASEMENT CREATED BY PLAT (FILED 07-16-2007, BK. 2007C, PG. 190) UNDERLIES THE 32' AND TAPERED WIDTH MULTIPLE USE EASEMENTS GRANTED WITH THIS PLAT. THE EASEMENTS HAVE THE SAME USES, RIGHTS AND RESPONSIBILITIES.

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 AN EXISTING 30' PRIVATE EASEMENT CREATED BY PLAT (FILED 07-16-2007, BK. 2007C, PG. 190) UNDERLIES THE 32' AND TAPERED WIDTH MULTIPLE USE EASEMENTS GRANTED WITH THIS PLAT. THE EASEMENTS HAVE THE SAME USES, RIGHTS AND RESPONSIBILITIES.

32' PRIVATE AND AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC WATER & SEWER EASEMENT, PRIVATE EASEMENTS ARE FOR THE BENEFIT OF TRACTS A-1-A-1, B-1-A-1 AND B-1-A-2 GRANTED BY THIS PLAT. MAINTENANCE IS THE RESPONSIBILITY OF THE UNDERLYING TRACTS.

WESTSIDE BLVD. NW
 RIGHT-OF-WAY VARIES

ROAD NW
 RIGHT-OF-WAY VARIES

COURSE

TRACT A-1-A-1
 8.0350 ACRES

TRACT B-1-A-2
 0.8553 ACRES

TRACT B-1-A-1
 3.0651 ACRES

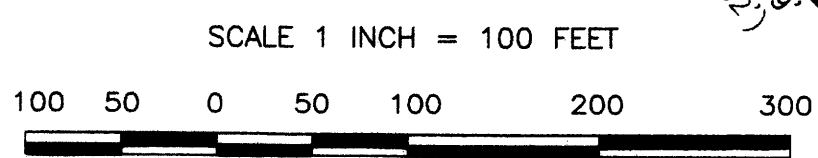
TRACT A1, BLACK ARROYO DAM
 (DRAINAGE RIGHT-OF-WAY)
 (FILED 03-05-1992, BK. 92C, PG. 34)

32' PRIVATE AND AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC WATER & SEWER EASEMENT, PRIVATE EASEMENTS ARE FOR THE BENEFIT OF TRACTS A-1-A-1, B-1-A-1 AND B-1-A-2 GRANTED BY THIS PLAT. MAINTENANCE IS THE RESPONSIBILITY OF THE UNDERLYING TRACTS.

ACS MONUMENT 8-A11
 SURVEY TIE
 N87°50'09"W, 4799.34'

10' P.U.E. GRANTED BY THIS PLAT.
 S89°49'54"E 461.71'

32' PRIVATE AND AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC WATER & SEWER EASEMENT, PRIVATE EASEMENTS ARE FOR THE BENEFIT OF TRACTS A-1-A-1, B-1-A-1 AND B-1-A-2 GRANTED BY THIS PLAT. MAINTENANCE IS THE RESPONSIBILITY OF THE UNDERLYING TRACTS.



TANGENT TABLE

LINE	FIELD		RECORD	
	BEARING	DISTANCE	BEARING	DISTANCE
PLAT BOUNDARY LINES				
L1	S00°20'34"W	18.46'	S00°20'34"W	13.44'
L2	S89°59'54"E	15.00'	N89°59'54"W	15.00'
L3	S18°59'54"E	56.00'	S19°01'22"W	56.00'
L4	N89°03'34"W	110.48'	N89°03'34"E	110.48'
L5	N51°39'41"W	125.84'	N51°40'55"W	126.05'
L6	N31°48'38"E	101.07'	N32°52'14"E	101.10'
L7	N58°05'54"W	78.01'	N58°07'37"W	78.14'
L8	N29°53'57"E	71.20'	N29°57'37"E	71.40'
LOT LINES				
L9	S89°49'54"E	6.14'		
L10	S41°36'10"E	88.09'		
L11	S46°38'26"E	43.01'		
L12	S46°38'W6"E	259.67'		
L13	S19°01'22"E	38.40'		
L14	N70°58'38"E	89.52'		
L15	S18°59'56"E	28.00'		
L16	N18°59'56"E	28.00'		
L17	S50°56'39"E	30.23'		
EASEMENT LINES				
L18	S42°07'44"E	25.90'		
L19	S19°01'22"E	4.37'		
L20	N65°11'11"E	48.76'		
L21	N65°11'11"E	106.07'		
L22	S18°59'56"E	21.40'		
L23	S18°59'56"E	20.61'		
L24	S74°38'46"W	77.46'		

CURVE TABLE

CURVE	DELTA	RADIUS	ARC	CHORD	CHD BRG
PLAT BOUNDARY LINES					
C1	16°03'38"	25.00'	7.01'	6.98'	S20°02'36"E
record	16°05'00"	25.00'	7.02'	6.99'	S20°32'15"E
C2	91°11'27"	25.00'	39.79'	35.72'	S44°47'23"E
record	90°07'01"	25.00'	39.32'	35.39'	S44°46'23"E
C3	26°01'36"	696.46'	316.27'	313.55'	S12°42'26"E
record	26°01'10"	696.46'	316.28'	313.57'	S12°43'28"W
C4	96°47'57"	25.00'	42.24'	37.39'	S22°36'06"W
record	96°42'42"	25.00'	42.20'	37.36'	S22°37'18"W
C5	94°22'29"	25.00'	41.18'	36.68'	S61°48'42"E
record	94°12'53"	25.00'	41.11'	36.63'	S61°54'55"E
C6	14°52'45"	747.37'	194.09'	193.54'	S07°19'54"E
record	14°52'56"	747.37'	194.13'	193.58'	S07°22'00"E
LOT LINES					
C7	13°23'33"	696.46'	162.79'	162.42'	S06°23'39"E
C8	12°37'33"	696.46'	153.48'	153.16'	S19°24'12"E
EASEMENT LINES					
C9	48°13'44"	65.00'	54.71'	53.11'	S65°43'02"E
C10	05°02'16"	1000.00'	87.92'	87.90'	S44°07'18"E
C11	27°37'04"	50.00'	24.10'	23.87'	S32°49'54"E
C12	70°54'29"	25.00'	30.94'	29.00'	S35°06'46"E
C13	28°57'55"	81.00'	40.95'	40.51'	S56°05'08"E
C14	23°06'22"	50.00'	20.16'	20.03'	S30°34'33"E
C15	95°47'27"	23.00'	38.45'	34.13'	S66°55'06"E
C16	74°20'43"	23.00'	29.84'	27.79'	S37°28'24"E

NOTES

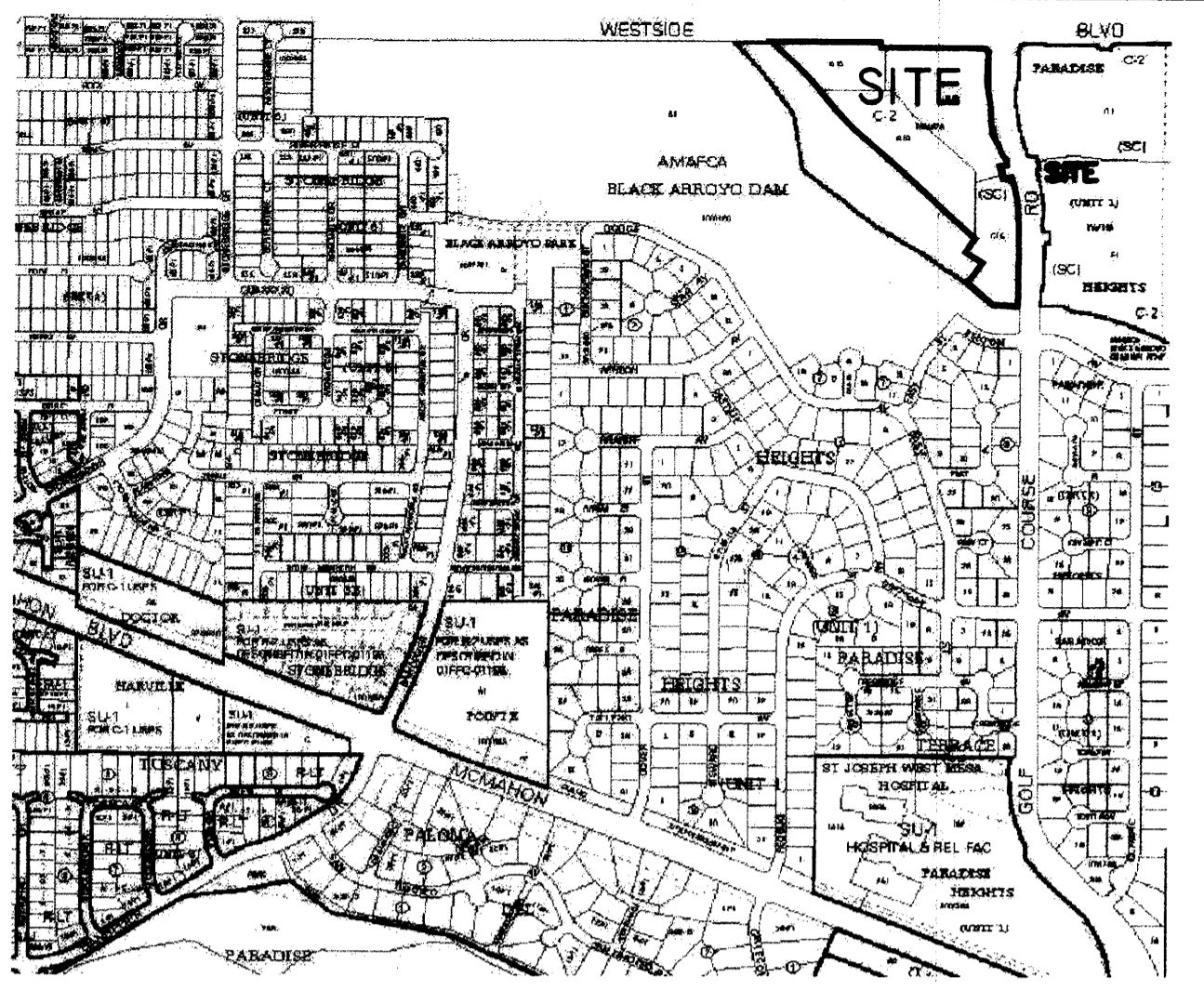
- MILES OF FULL WIDTH PRIVATE STREETS CREATED BY THIS PLAT: 0.0000
- CURRENT ZONING OF ALL LOTS: C2 (SC).
- TOTAL NUMBER OF LOTS CREATED: 3
- BASIS OF BEARINGS (NEW MEXICO STATE PLANE, CENTRAL ZONE, NAD1988, NGVD 1983)
 ACS 8-A11
 X = 1,507,071.174
 Y = 1,534,934.957
 ELEVATION = 5283.030
 MAPPING ANGLE - 00°15'26.89"
 GROUND TO GRID
 FACTOR - 0.999671590
 KOAT TVTT
 X = 1,580,452.068
 Y = 1,533,533.274
 ELEVATION = NA
 MAPPING ANGLE - NA
 GROUND TO GRID
 FACTOR - NA
- ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
- FOUND MONUMENTS ARE DESCRIBED ON THE PLAT DRAWING.
- MONUMENTS SET ON LOT CORNERS ARE 5/8" REBARs WITH RED OR YELLOW PLASTIC CAPS STAMPED "BORDENAVE, LS 5110" UNLESS SHOWN OTHERWISE ON THE PLAT DRAWING.
- LOT CORNERS ON THE STREET CENTERLINE ARE SHOWN THUS Δ ON THE PLAT DRAWING. PHYSICAL MONUMENTS ARE A NAIL AND WASHER.
- NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON THE BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THE PROPOSED PLAT. THE FORGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

FLOODPLAIN NOTE:

TRACTS A-1-A-1, B-1-A-1 AND B-1-A-2 ARE IMPACTED BY FEMA DESIGNATED FLOOD HAZARD AREAS ZONED AO (ONE FOOT). SEE FEMA FIRM PANEL 350002-0108 FOR ADDITIONAL DETAILS.

DOCH 2013091099
 08/15/2013 09:17 AM Page 2 of 2
 City: PLAT R \$25.00 B: 201309 P. 0096 R. Taulous Olivere, Bernalillo Col.

BORDENAVE DESIGNS
 P.O. BOX 91194, ALBUQUERQUE, NM 87199
 (505)823-1344 FAX (505)821-9105



LOCATION MAP ZONE ATLAS SHEET A-12 SCALE 1" = 750' +/-

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# See parcels listed
 PROPERTY OWNER OF RECORD: Calabacillas Group
 BERNALILLO COUNTY TREASURER'S OFFICE: [Signature] 8/15/13

PUBLIC UTILITY EASEMENT APPROVALS

[Signature] 8/14/13
 QWEST COMMUNICATIONS /d/b/a CENTURYLINK
[Signature] 8-14-13
 PUBLIC SERVICE CO. OF NEW MEXICO
[Signature] 8/13/2013
 NEW MEXICO GAS CO.
[Signature] 8/14/13
 COMCAST CABLE

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of: PUBLIC SERVICE COMPANY OF NEW MEXICO ((PNM), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services
 NEW MEXICO GAS COMPANY for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
 QWEST for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services.
 CABLE TV for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable services.
 Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of the transformer/switchgear doors and five (5) feet on each side.

Disclaimer
 In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

LEGAL DESCRIPTION

A PARCEL OF LAND SITUATED IN PROJECTED SECTION 1, T11N, R2E, N.M.P.M., TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO; SAID PARCEL BEING THE SAME AS TRACT A-1-A, B-1-A, B-1-B & C-1-A OF BLACK ARROYO DAM, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 16, 2007 IN BK. 2007C. PG. 190 AND MORE PARTICULARLY DESCRIBED USING NEW MEXICO STATE PLANE BEARINGS (CENTRAL ZONE) AND HORIZONTAL GROUND DISTANCES AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED, FROM WHENCE THE MONUMENT ACS 1-E11 BEARS N87°50'09"W A DISTANCE OF 4799.34 FEET; THENCE,
 S89°49'54"E, 461.71 feet along the south right-of-way of Westside Blvd. NW to a point; thence,
 Southeasterly, 7.01 feet along the arc of a curve right, said curve having a radius of 25.00 feet and a long chord bearing S20°02'36"E a distance of 6.98 feet; thence,
 S00°20'34"W, 18.46 feet to a point; thence,
 S89°49'54"E, 430.25 feet to a point; thence,
 Southeasterly, 39.79 feet along the arc of a curve right, said curve having a radius of 25.00 feet and a long chord bearing S44°47'23"E a distance of 35.72 feet and transitioning from the south right-of-way of Westside Blvd. NW to the west right-of-way of Golf Course Rd. NW; thence,
 S00°15'59"W, 161.47 feet to a point; thence
 Southeasterly, 316.27 feet along the arc of a curve left, said curve having a radius of 696.46 feet and a long chord bearing S12°42'26"E a distance of 313.55 feet; thence,
 Southwesterly, 42.24 feet along the arc of a curve right, said curve having a radius of 25.00 feet and a long chord bearing S22°36'06"W a distance of 35.72; thence,
 S18°59'54"E, 56.00 feet to a point; thence
 Southeasterly, 41.18 feet along the arc of a curve right, said curve having a radius of 25.00 feet and a long chord bearing S61°48'42"E a distance of 36.68 feet; thence,
 Southeasterly, 194.09 feet along the arc of a curve right, said curve having a radius of 747.37 feet and a long chord bearing S07°19'54"E a distance of 193.54 feet; thence,
 S00°18'44"W, 192.09 feet to a point; thence
 S01°24'18"E, 137.86 feet to a point; thence departing from the west right-of-way of Golf Course Rd. NW,
 N89°03'34"W, 110.48 feet to a point; thence
 N51°39'41"W, 125.84 feet to a point; thence
 N31°48'38"E, 101.07 feet to a point; thence
 N58°05'54"W, 78.01 feet to a point; thence
 N29°53'57"E, 71.20 feet to a point; thence
 N46°38'43"W, 554.44 feet to a point; thence
 N42°49'25"W, 678.39 FEET TO A POINT, SAID POINT BEING THE POINT OF BEGINNING.
 SAID PARCEL CONTAINS 11.9554 ACRES MORE OF LESS.

SURVEYOR'S CERTIFICATION

I, JEAN J. BORDENAVE, A REGISTERED PROFESSIONAL ENGINEER AND LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION; MEETS THE MINIMUM REQUIREMENTS OF MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS EASEMENTS OF RECORD AND/OR INDICATED IN TITLE COMMITMENT NO. FT000120470, DATED FEBRUARY 19, 2007, ISSUED BY FIDELITY NATIONAL TITLE CO. AND OR MADE KNOWN TO ME BY THE OWNERS; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
[Signature] 08/13/13
 JEAN J. BORDENAVE, NMPE&LS NO. 8110

DOCH 2013091099
 09/15/2013 09:17 AM Page 1 of 2
 City/PLAT R: \$25.00 B: 2013C P: 0089 N: Toulouse Oliveira, Bernalillo Co.

PLAT OF
TRACTS A-1-A-1, B-1-A-1 & B-1-A-2
BLACK ARROYO DAM
 ALBUQUERQUE, NEW MEXICO
 AUGUST, 2013

APPROVALS

PROJECT NO: 1004976 APPLICATION NO: 13DRB-70650

<u>[Signature]</u> CITY OF ALBUQUERQUE SURVEYOR	8-14-13 DATE
<u>[Signature]</u> PARKS AND RECREATION DEPARTMENT	8-14-13 DATE
<u>[Signature]</u> AMAFCA	8-14-13 DATE
<u>[Signature]</u> CITY ENGINEER	08/14/13 DATE
<u>[Signature]</u> ABCWUA	08-14-13 DATE
<u>[Signature]</u> TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	8-14-13 DATE
<u>[Signature]</u> DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO: REDEFINE THE INTERNAL LOT LINES BETWEEN TRACTS, REDEFINE THE AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC UTILITY EASEMENT TO CONFORM TO THE AS-BUILT INFRASTRUCTURE AND GRANT PUBLIC UTILITY EASEMENTS FOR GAS, POWER AND COMMUNICATIONS.

FREE CONSENT AND DEDICATION

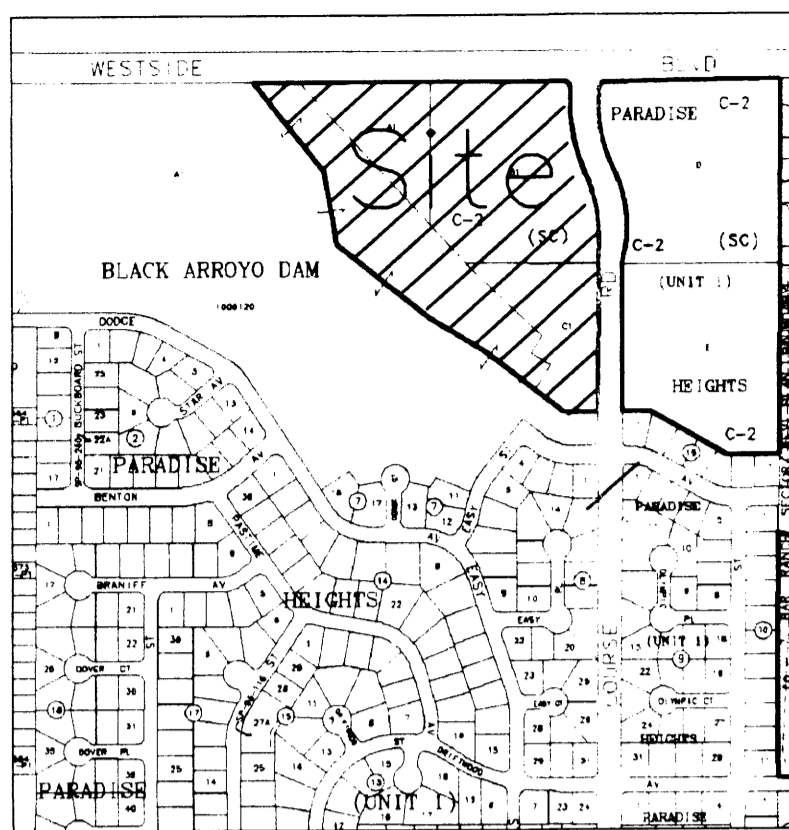
THE SUBDIVISION OF THE LAND DESCRIBED ON THIS PLAT IS WITH THE FREE CONSENT OF AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS OF THE LAND. THE OWNERS DO HEREBY:
 WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED,
 GRANT SPECIFIC SURFACE AND SUBSURFACE POWER, GAS, WATER, SEWER AND COMMUNICATION EASEMENTS AS DELINEATED ON THIS PLAT;
 ACKNOWLEDGE EXISTING EASEMENTS AS SHOWN ON THIS PLAT;
 STATE THAT THIS SUBDIVISION LIES WITHIN THE SUBDIVISION REGULATION JURISDICTION OF THE CITY OF ALBUQUERQUE, NEW MEXICO.
 IN ADDITION THE OWNER OF TRACTS D AND E DOES HEREBY DEDICATE PUBLIC RIGHTS-OF-WAY, SHOWN HEREON, IN FEE SIMPLE WITH WARRANTY COVENANTS TO THE CITY OF ALBUQUERQUE.

CALABACILLAS GROUP, A NEW MEXICO GENERAL PARTNERSHIP

[Signature]
 DONALD. D. HARVILLE, GENERAL PARTNER
 STATE OF NEW MEXICO }
 COUNTY OF BERNALILLO } SS
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 08/13/13 BY
[Signature], GENERAL PARTNER.

NOTARY PUBLIC: [Signature]

BORDENAVE DESIGNS
 P.O. BOX 91194, ALBUQUERQUE, NM 87199
 (505)823-1344 FAX (505)821-9105



Vicinity Map
no scale

Zone Atlas Page Number A-12
Talos Log Number 2006431742

SUBDIVISION DATA

- Total gross acreage: 13.3341 acres
- Zoning: C-2(SC)
- Total number of lots created by this plat is 4.
- The basis of bearings for this survey is the northerly property line of said Tract "A-1", as shown on the plat of Black Arroyo Dam, filed March 5, 1992 in Plat Book 92C, Page 34. Bearings are New Mexico State Plane Grid, Central Zone. Distances are ground.
- Measured bearings and distances are identical to record. The bearings of the permanent easement to the City of Albuquerque have been rotated to match plat bearings.
- The purpose of this plat is to replat three tracts into four tracts, vacate the floating private drainage easement, dedicate additional public right-of-way, and grant easements necessary to serve the four tracts.
- Unless otherwise indicated all corners are set 1/2" rebar w/cap LS 6126.
- Date of field survey: October 3, 2005.
- Documents used in the preparation of this survey: plat of Black Arroyo Dam, filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 5, 1992, in Plat Book 92C, page 34; Title Commitment File Number 6218000427, effective September 21, 2005, issued by Commonwealth Land Title Insurance Company, countersigned by LandAmerica Albuquerque Title Company; Plat of Paradise Heights Unit 1, recorded December 13, 1966, Plat Book D3, Pages 154-155; Permanent Easement granted to the City of Albuquerque recorded in Book A30, page 4242, records of Bernalillo County, New Mexico; Warranty Deed recorded May 31, 1983, Book D185-A, Page 676.

New Mexico Utilities Note

Public utility easements shown on this plat are also granted for the common and joint use of New Mexico Utilities, Inc., for the installation, maintenance and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for the installation, maintenance, and service of overhead and underground electric lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- Qwest Telecommunications for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast, Inc. for the installation, maintenance and service of such lines, cable and related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

Leah D. Munk 3-19-07
PNM ELECTRIC SERVICES DATE

Leah D. Munk 3-19-07
PNM GAS SERVICES DATE

Paul Chabru 3-19-07
QWEST TELECOMMUNICATIONS DATE

Thane Surber 3-19-07
COMCAST, INC. DATE

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

DOCH 2007099747

07/11/2007 03:21 PM Page 1 of 4
PLAT R-522 00 9 2007C P. 0185 M. Toulouse, Bernalillo County



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
PAID ON UPC # 1120603895131565
PROPERTY OWNER OF RECORD:
CALABACILLAS GROUP
BERNALILLO COUNTY TREASURER'S OFFICE:
7-11-07

LEGAL DESCRIPTION

Tracts "A-1", "B-1" and "C-1" of Black Arroyo Dam, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 5, 1992, in Plat Book 92C, page 34.

FREE CONSENT AND DEDICATION

The platting of the land comprising Tracts A-1-A, B-1-A, B-1-B and C-1-A as shown hereon and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees. Said owners do hereby dedicate the additional public right-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants. Said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Calabacillas Group, a New Mexico general partnership

Donald D. Harville
Donald D. Harville, Trustee of the Donald D. and Beverley Harville
Revocable Trust UTA dated February 9, 1983

ACKNOWLEDGMENT

State of NEW MEXICO } SS
County of BERNALILLO

This instrument was acknowledged before me this 23rd day of FEBRUARY, 2007 by
Donald D. Harville, on behalf of said Revocable Trust.

Notary Public Donald D. Harville My Commission expires 09/13/2010
Donald D. Harville, Trustee of the Donald D. Harville, M.D., P.A.
Profit-Sharing Trust.

ACKNOWLEDGMENT

State of NEW MEXICO } SS
County of BERNALILLO

This instrument was acknowledged before me this 23rd day of FEBRUARY, 2007 by
Donald D. Harville on behalf of said Profit-Sharing Trust.

Notary Public Olson Goldston My Commission expires 09/12/2010
Olson Goldston

ACKNOWLEDGMENT

State of NEW MEXICO } SS
County of BERNALILLO

This instrument was acknowledged before me this 23rd day of February, 2007 by
Olson Goldston.

Notary Public Bradley Z Bingham Commission expires 07-28-2007

Tracts A-1-A, B-1-A, B-1-B & C-1-A
Being a Replat of
Tracts A-1, B-1 & C-1
Black Arroyo Dam
Town of Alameda Grant
Projected Section 1
T.11N., R.2E. N.M.P.M.
City of Albuquerque
Bernalillo County, New Mexico
February 2007

PROJECT NUMBER 1004976
Application Number 07PEB-00303

The purpose of this plat is to replat 3 tracts into 4 tracts; vacate the floating private drainage easement; dedicate additional public right-of-way, and grant easements necessary to serve the four tracts.

APPROVED AND ACCEPTED BY:

[Signature] 2-28-07
CITY SURVEYOR DATE

N/A 7/11/07
REAL PROPERTY DIVISION DATE

[Signature] 3-17-07
NEW MEXICO UTILITIES, INC. DATE

[Signature] 7-11-07
TRAFFIC ENGINEERING/TRANSPORTATION DIVISION DATE

N/A 7/11/07
WATER UTILITY DEPARTMENT DATE

Christine Sandoval 7/11/07
PARKS & RECREATION DEPARTMENT DATE

[Signature] 3-19-07
A.M.A.F.C.A. DATE

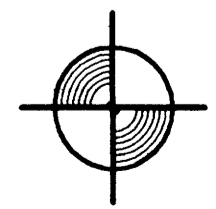
Bradley Z Bingham 7/11/07
CITY ENGINEER DATE

[Signature] 7/11/07
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, registered New Mexico Land Surveyor No. 6126 do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an approved field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Registration for Professional Engineers and Professional Land Surveyors effective October 1, 2000 and shows easements of record as indicated on Title Commitment No. 6218000427 effective September 21, 2005 issued by Commonwealth Land Title Insurance Company, countersigned by LandAmerica Albuquerque Title, and that the information shown hereon is true and correct to the best of my knowledge and belief.

R. A. Forstbauer 2/11/07
Ronald A. Forstbauer Date
N.M.L.S. No. 6126



Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032

Lot Geometry

WESTSIDE BOULEVARD N.W.

(106' Right-of-Way as platted)

Tracts A-1-A, B-1-A, B-1-B & C-1-A

Being a Replat of

Tracts A-1, B-1 & C-1

Black Arroyo Dam

Town of Alameda Grant

Projected Section 1

T.11N., R.2E. N.M.P.M.

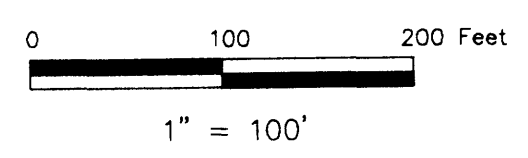
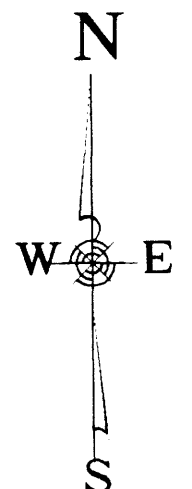
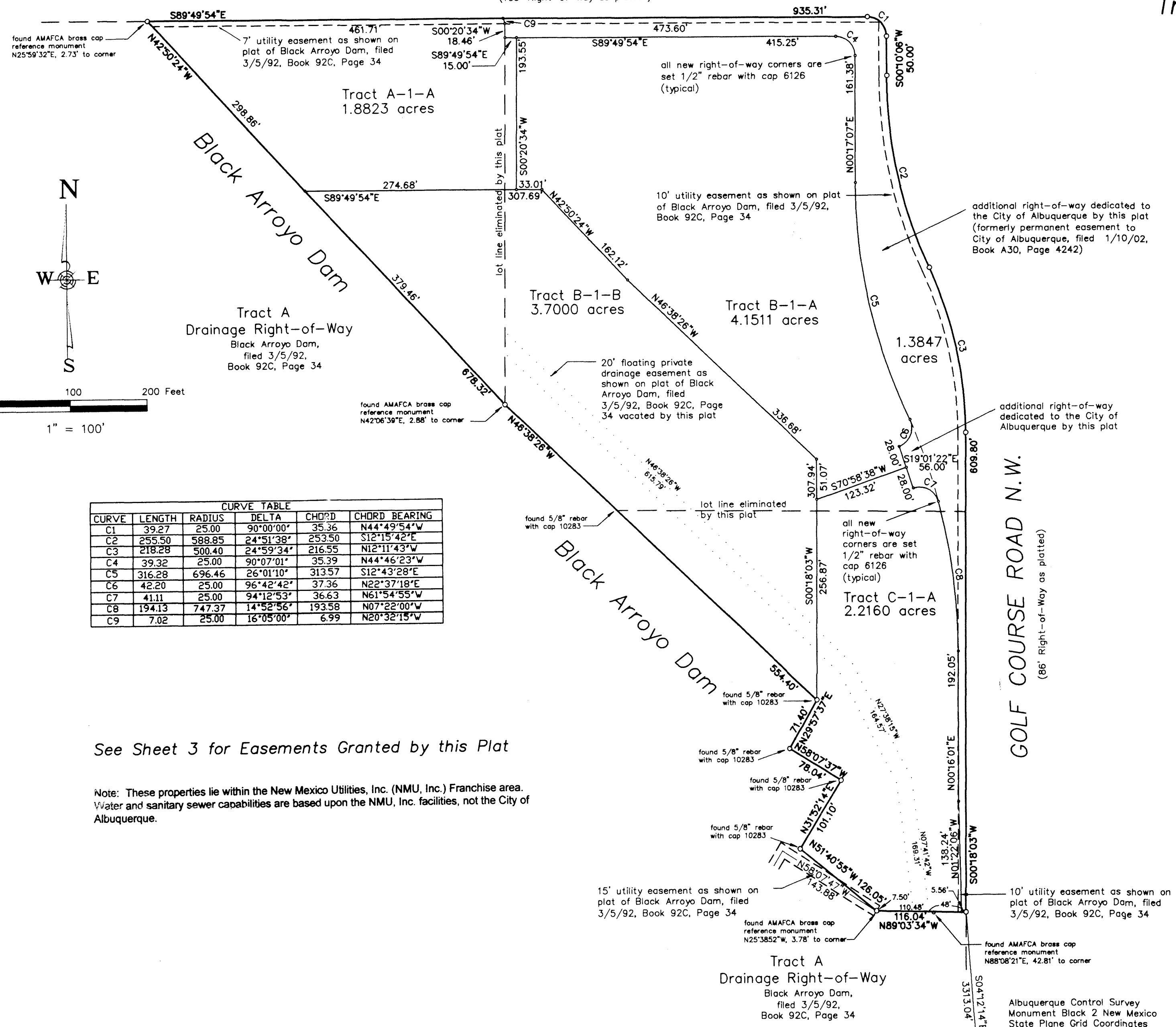
City of Albuquerque

Bernalillo County, New Mexico

February 2007

DOCH 2007099747

07/11/2007 03:21 PM Page 2 of 4
 PLAT R 222 00 B 2007C.P. 0185 M Toulouse, Bernalillo County



CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	39.27	25.00	90°00'00"	35.36	N44°49'54"W
C2	255.50	588.85	24°51'38"	253.50	S12°15'42"E
C3	218.28	500.40	24°59'34"	216.55	N12°11'43"W
C4	39.32	25.00	90°07'01"	35.39	N44°46'23"W
C5	316.28	696.46	26°01'10"	313.57	S12°43'28"E
C6	42.20	25.00	96°42'42"	37.36	N22°37'18"E
C7	41.11	25.00	94°12'53"	36.63	N61°54'55"W
C8	194.13	747.37	14°52'56"	193.58	N07°22'00"W
C9	7.02	25.00	16°05'00"	6.99	N20°32'15"W

See Sheet 3 for Easements Granted by this Plat

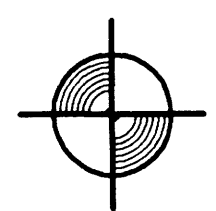
Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and sanitary sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

NOTE REGARDING PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS ON PROPERTY WITHIN AN AREA FOR WHICH DRB APPROVAL IS SOUGHT:

No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat.

GOLF COURSE ROAD N.W.
 (86' Right-of-Way as platted)

Albuquerque Control Survey Monument Black 2 New Mexico State Plane Grid Coordinates Central Zone NAD 1927
 X = 372,920.43
 Y = 1,530,241.52
 G/G Factor 0.9996784
 delta alpha = -00°14'43"
 NGVD 1929 Elevation 5213.93

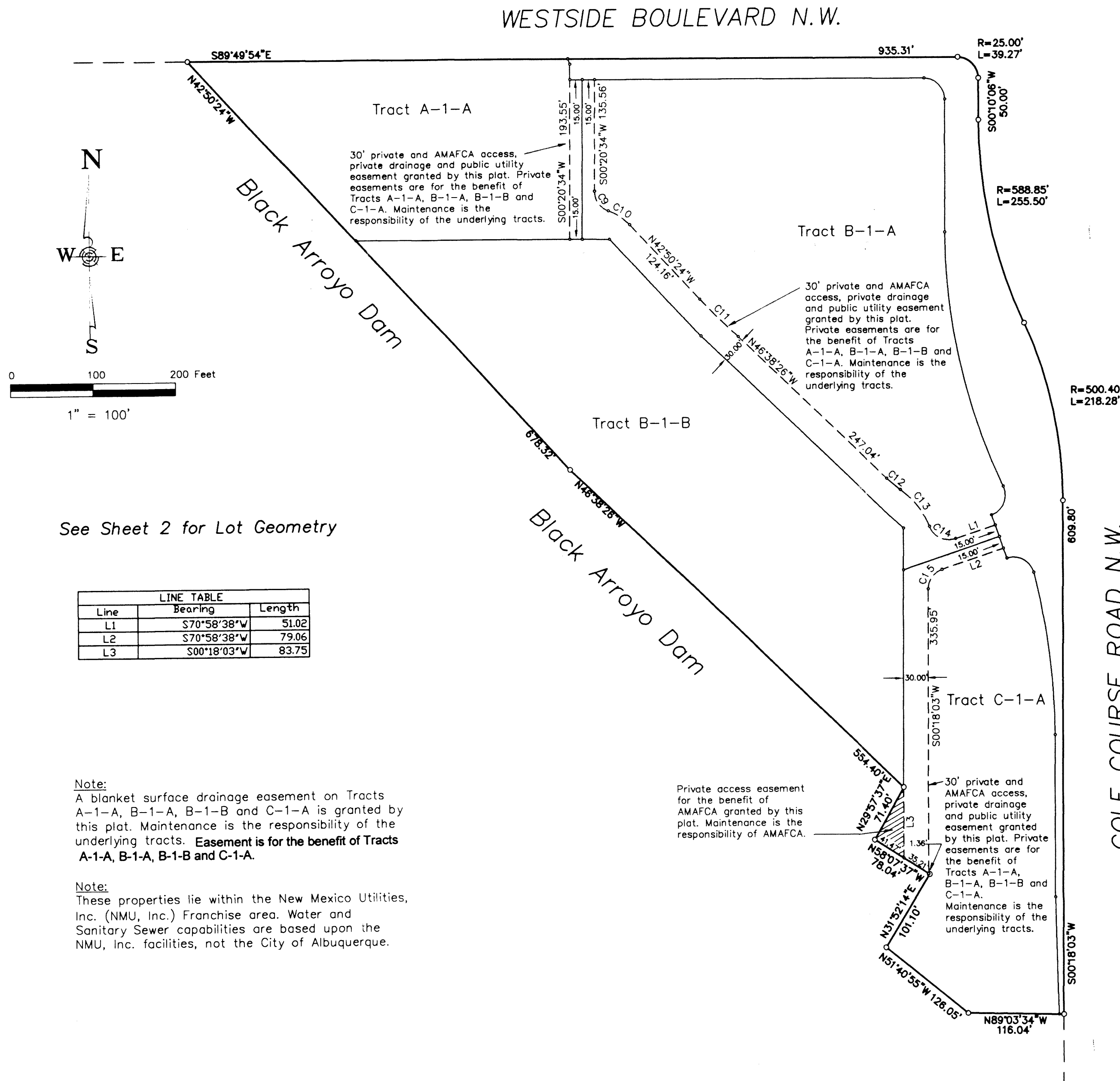


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 4116 Lomas Boulevard NE
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 (505) 268-2112 Fax 268-2032

Detail Easements Granted by this Plat

Tracts A-1-A, B-1-A, B-1-B & C-1-A
 Being a Replat of
 Tracts A-1, B-1 & C-1
 Black Arroyo Dam
 Town of Alameda Grant
 Projected Section 1
 T.11N., R.2E. N.M.P.M.
 City of Albuquerque
 Bernalillo County, New Mexico
 February 2007

DOCH 2007099747
 07/11/2007 03:21 PM Page 3 of 4
 PLAT R 322 00 B - 2007C P. 0185 M Toulouse, Bernalillo County



30' private and AMAFCA access, private drainage and public utility easement granted by this plat. Private easements are for the benefit of Tracts A-1-A, B-1-A, B-1-B and C-1-A. Maintenance is the responsibility of the underlying tracts.

30' private and AMAFCA access, private drainage and public utility easement granted by this plat. Private easements are for the benefit of Tracts A-1-A, B-1-A, B-1-B and C-1-A. Maintenance is the responsibility of the underlying tracts.

30' private and AMAFCA access, private drainage and public utility easement granted by this plat. Private easements are for the benefit of Tracts A-1-A, B-1-A, B-1-B and C-1-A. Maintenance is the responsibility of the underlying tracts.

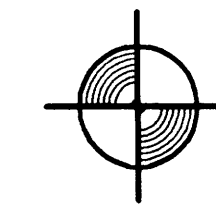
Private access easement for the benefit of AMAFCA granted by this plat. Maintenance is the responsibility of AMAFCA.

See Sheet 2 for Lot Geometry

LINE TABLE		
Line	Bearing	Length
L1	S70°58'38"W	51.02
L2	S70°58'38"W	79.06
L3	S00°18'03"W	83.75

Note:
 A blanket surface drainage easement on Tracts A-1-A, B-1-A, B-1-B and C-1-A is granted by this plat. Maintenance is the responsibility of the underlying tracts. **Easement is for the benefit of Tracts A-1-A, B-1-A, B-1-B and C-1-A.**

Note:
 These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

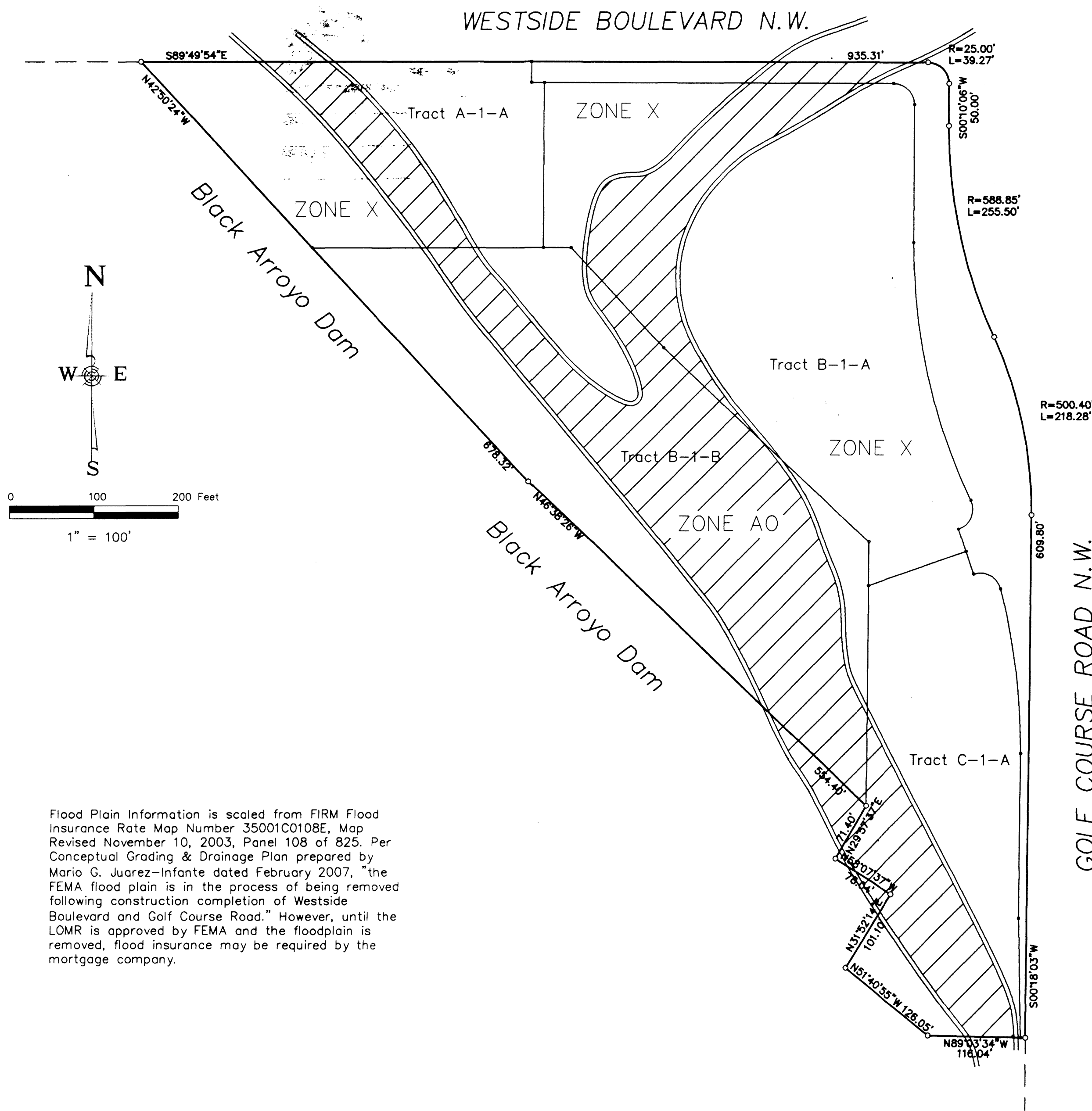


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 4116 Lomas Boulevard NE
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Flood Plain Location

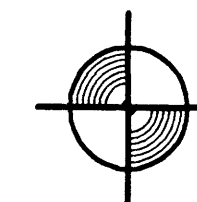
Tracts A-1-A, B-1-A, B-1-B & C-1-A
 Being a Replat of
 Tracts A-1, B-1 & C-1
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 Town of Alameda Grant
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 City of Albuquerque
 Bernalillo County, New Mexico
 February 2007

DOCH 2007099747
 07/11/2007 03:21 PM Page 4 of 4
 PLAT P: 022 00 B: 2007C P: 0185 M: Toulouse, Bernalillo County

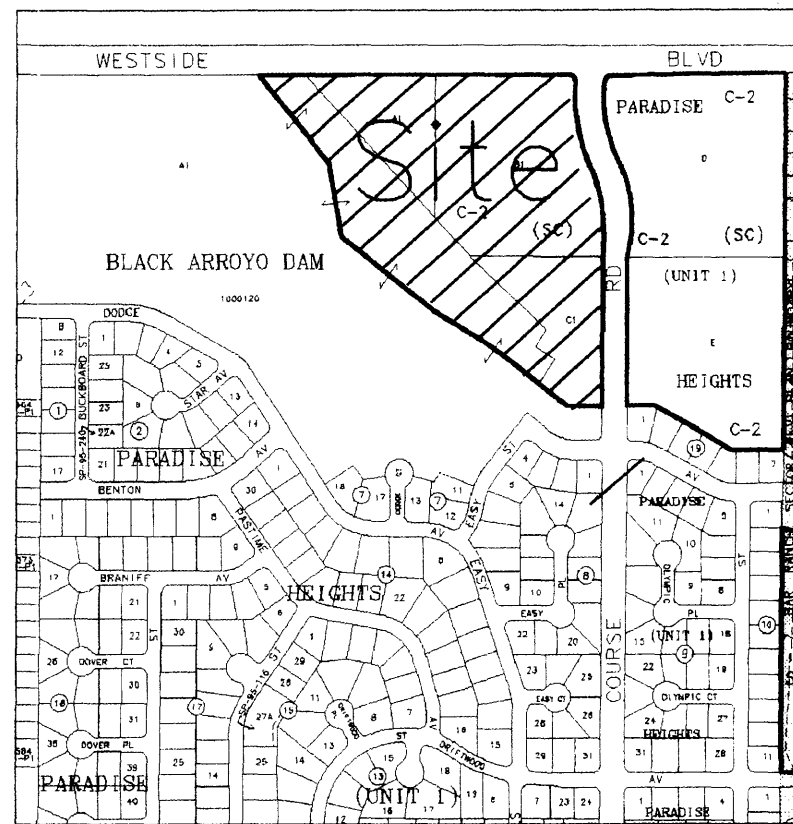


0 100 200 Feet
 1" = 100'

Flood Plain Information is scaled from FIRM Flood Insurance Rate Map Number 35001C0108E, Map Revised November 10, 2003, Panel 108 of 825. Per Conceptual Grading & Drainage Plan prepared by Mario G. Juarez-Infante dated February 2007, "the FEMA flood plain is in the process of being removed following construction completion of Westside Boulevard and Golf Course Road." However, until the LOMR is approved by FEMA and the floodplain is removed, flood insurance may be required by the mortgage company.



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Vicinity Map
no scale

Zone Atlas Page Number A-12
Talos Log Number 2006431742

SUBDIVISION DATA

- Total gross acreage: 13.3341 acres
- Zoning: C-2(SC)
- Total number of lots created by this plat is 4.
- The basis of bearings for this survey is the northerly property line of said Tract "A-1", as shown on the plat of Black Arroyo Dam, filed March 5, 1992 in Plat Book 92C, Page 34. Bearings are New Mexico State Plane Grid, Central Zone. Distances are ground.
- Measured bearings and distances are identical to record. The bearings of the permanent easement to the City of Albuquerque have been rotated to match plat bearings.
- The purpose of this plat is to replat three tracts into four tracts, vacate the floating private drainage easement, dedicate additional public right-of-way, and grant easements necessary to serve the four tracts.
- Unless otherwise indicated all corners are set 1/2" rebar w/cap LS 6126.
- Date of field survey: October 3, 2005.
- Documents used in the preparation of this survey: plat of Black Arroyo Dam, filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 5, 1992, in Plat Book 92C, page 34; Title Commitment File Number 6218000427, effective September 21, 2005, issued by Commonwealth Land Title Insurance Company, countersigned by LandAmerica Albuquerque Title Company; Plat of Paradise Heights Unit 1, recorded December 13, 1966, Plat Book D3, Pages 154-155; Permanent Easement granted to the City of Albuquerque recorded in Book A30, page 4242, records of Bernalillo County, New Mexico; Warranty Deed recorded May 31, 1983, Book D185-A, Page 676.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for the installation, maintenance, and service of overhead and underground electric lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- Qwest Telecommunications for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast, Inc. for the installation, maintenance and service of such lines, cable and related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST, INC.	DATE

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

LEGAL DESCRIPTION

Tracts "A-1", "B-1" and "C-1" of Black Arroyo Dam, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 5, 1992, in Plat Book 92C, page 34.

FREE CONSENT AND DEDICATION

The platting of the land comprising Tracts A-1-A, B-1-A, B-1-B and C-1-A as shown hereon and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees. Said owners do hereby dedicate the additional public right-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants. Said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Calabacillas Group, a New Mexico general partnership

Donald D. Harville
Donald D. Harville, Trustee of the Donald D. and Beverley Harville
Revocable Trust UTA dated February 9, 1983

ACKNOWLEDGMENT

State of NEW MEXICO } SS
County of BERNALILLO }
This instrument was acknowledged before me this 23rd day of FEBRUARY, 2007 by
Donald D. Harville, on behalf of said Revocable Trust.

Notary Public *Donald D. Harville* My Commission expires 07/13/2010
Donald D. Harville, Trustee of the Donald D. Harville, M.D., P.A.
Profit-Sharing Trust.

ACKNOWLEDGMENT

State of NEW MEXICO } SS
County of BERNALILLO }
This instrument was acknowledged before me this 23rd day of FEBRUARY, 2007 by
Donald D. Harville on behalf of said Profit-Sharing Trust.

Notary Public *Olan Goldston* My Commission expires 07/12/2010
Olan Goldston

ACKNOWLEDGMENT

State of NEW MEXICO } SS
County of BERNALILLO }
This instrument was acknowledged before me this 23 day of February, 2007 by
Olan Goldston.

Notary Public *Donald D. Harville* Commission expires 07/13/2010

Tracts A-1-A, B-1-A, B-1-B & C-1-A
Being a Replat of
Tracts A-1, B-1 & C-1
Black Arroyo Dam
Town of Alameda Grant
Projected Section 1
T.11N., R.2E. N.M.P.M.
City of Albuquerque
Bernalillo County, New Mexico
February 2007

PROJECT NUMBER
Application Number

**PRELIMINARY PLAT
APPROVED BY DRB**

The purpose of this plat is to replat 3 tracts into 4 tracts, vacate the floating private drainage easement; dedicate additional public right-of-way and grant easements necessary to serve the four tracts.

APPROVED AND ACCEPTED BY:

W. B. Forstbauer 2-28-07
CITY SURVEYOR DATE

REAL PROPERTY DIVISION DATE

NEW MEXICO UTILITIES, INC. DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

WATER UTILITY DEPARTMENT DATE

PARKS & RECREATION DEPARTMENT DATE

A.M.A.F.C.A. DATE

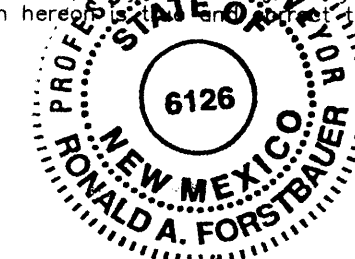
CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, registered New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Registration for Professional Engineers and Professional Land Surveyors effective October 1, 2000 and shows easements of record as indicated on Title Commitment No. 6218000427 effective September 21, 2005 issued by Commonwealth Land Title Insurance Company, countersigned by LandAmerica Albuquerque Title, and that the information shown hereon is true to the best of my knowledge and belief.

R. A. Forstbauer 2/21/07
Ronald A. Forstbauer Date
N.M.L.S. No. 6126



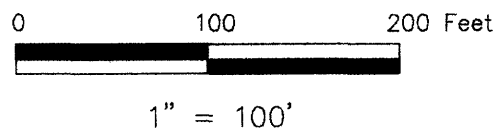
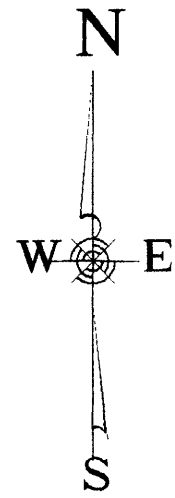
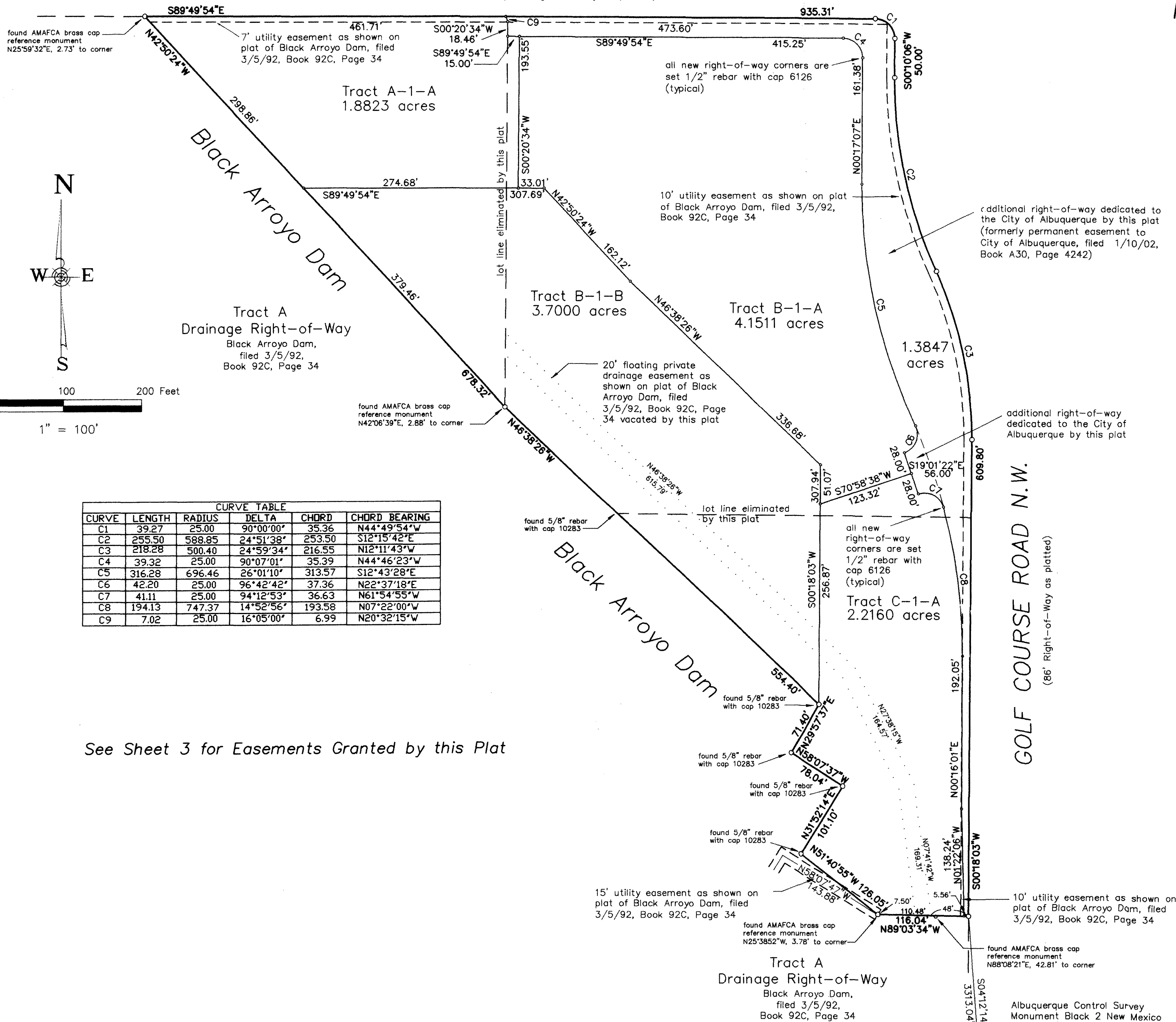
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Lot Geometry

WESTSIDE BOULEVARD N.W.

(106' Right-of-Way as platted)

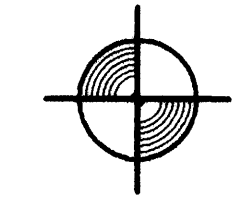
Tracts A-1-A, B-1-A, B-1-B & C-1-A
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 Town of Alameda Grant
 Projected Section 1
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 City of Albuquerque
 Bernalillo County, New Mexico
 February 2007



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See Sheet 3 for Easements Granted by this Plat

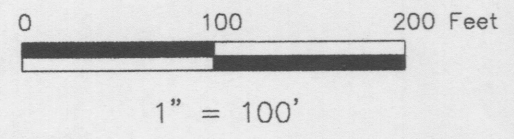
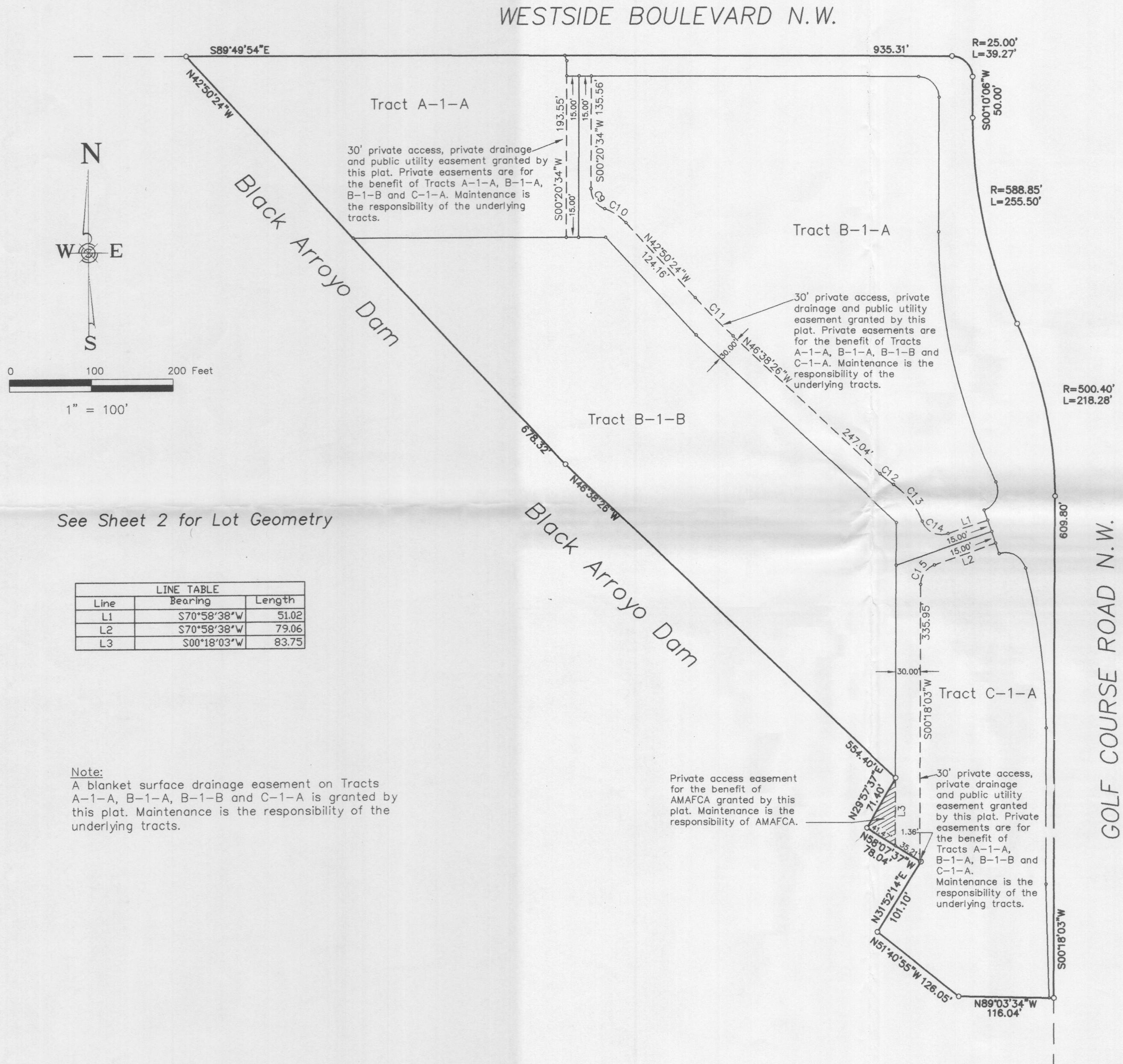
GOLF COURSE ROAD N.W.
 (86' Right-of-Way as platted)



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Detail Easements Granted by this Plat

Tracts A-1-A, B-1-A, B-1-B & C-1-A
 Being a Replat of
 Tracts A-1, B-1 & C-1
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See Sheet 2 for Lot Geometry

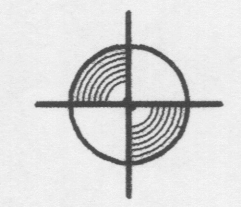
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Note:
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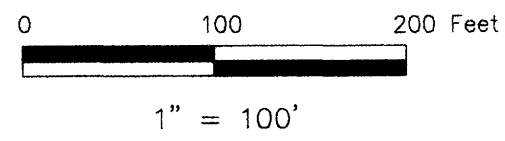
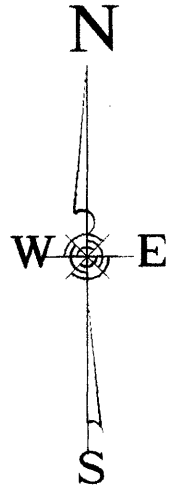
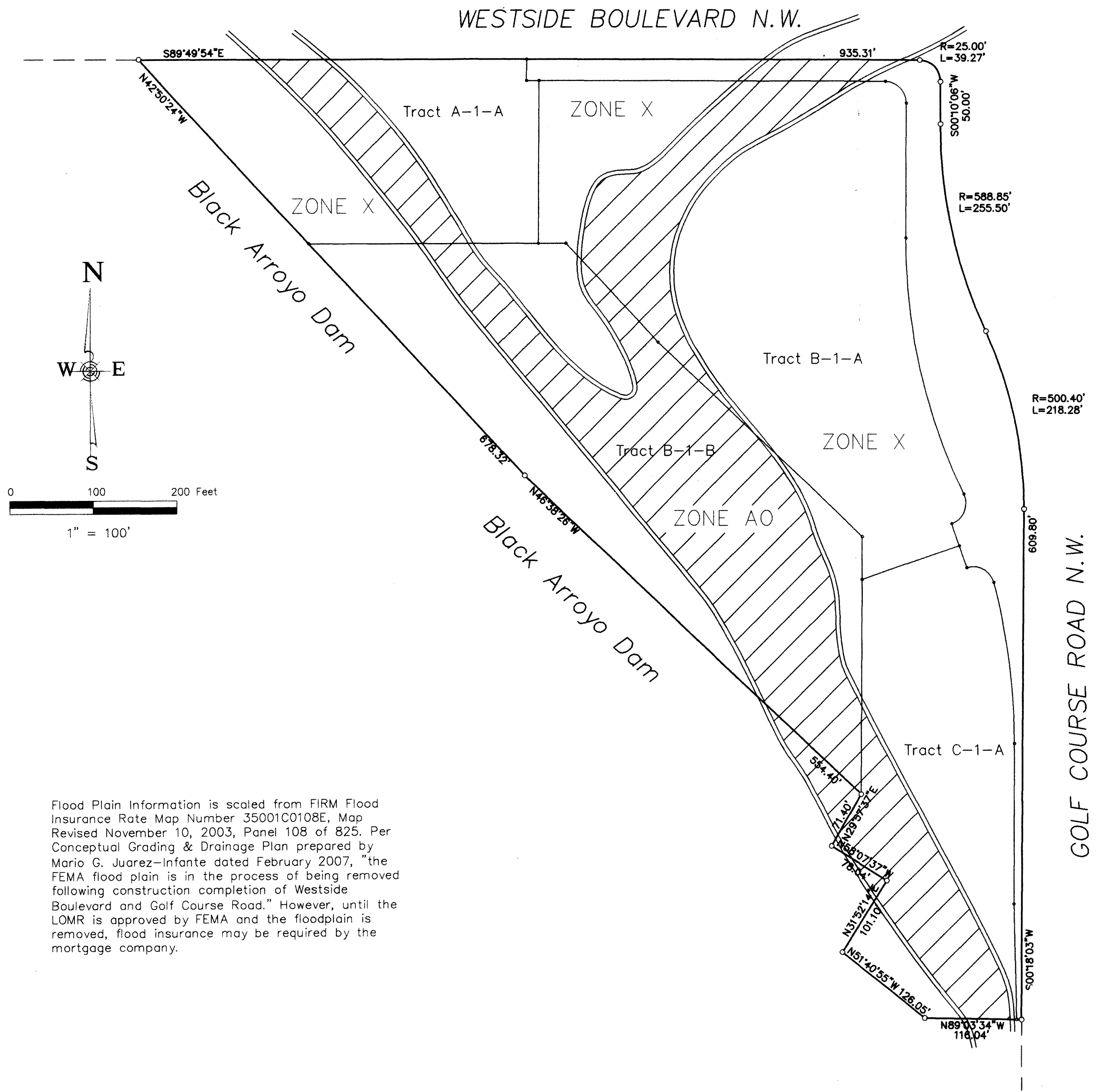
Public Water (Sewer) Easements to Tract B-1-B? to Match Site Plan



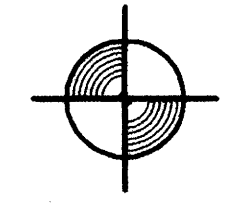
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Flood Plain Location

Tracts A-1-A, B-1-A, B-1-B & C-1-A
 Being a Replat of
 Tracts A-1, B-1 & C-1
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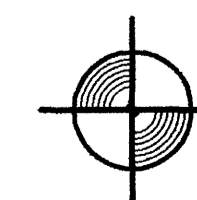
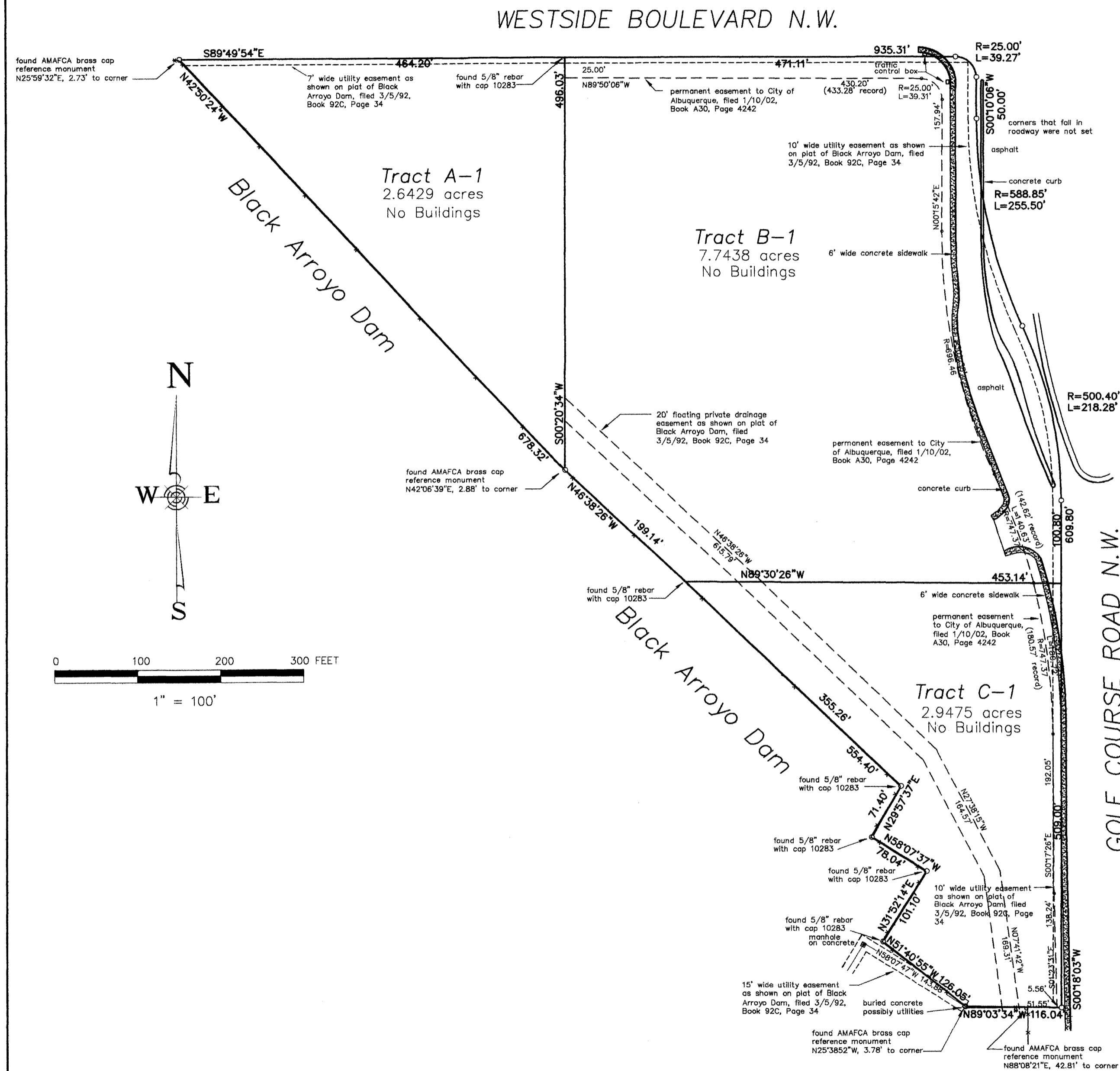


Flood Plain Information is scaled from FIRM Flood Insurance Rate Map Number 35001C0108E, Map Revised November 10, 2003, Panel 108 of 825. Per Conceptual Grading & Drainage Plan prepared by Mario G. Juarez-Infante dated February 2007, "the FEMA flood plain is in the process of being removed following construction completion of Westside Boulevard and Golf Course Road." However, until the LOMR is approved by FEMA and the floodplain is removed, flood insurance may be required by the mortgage company.

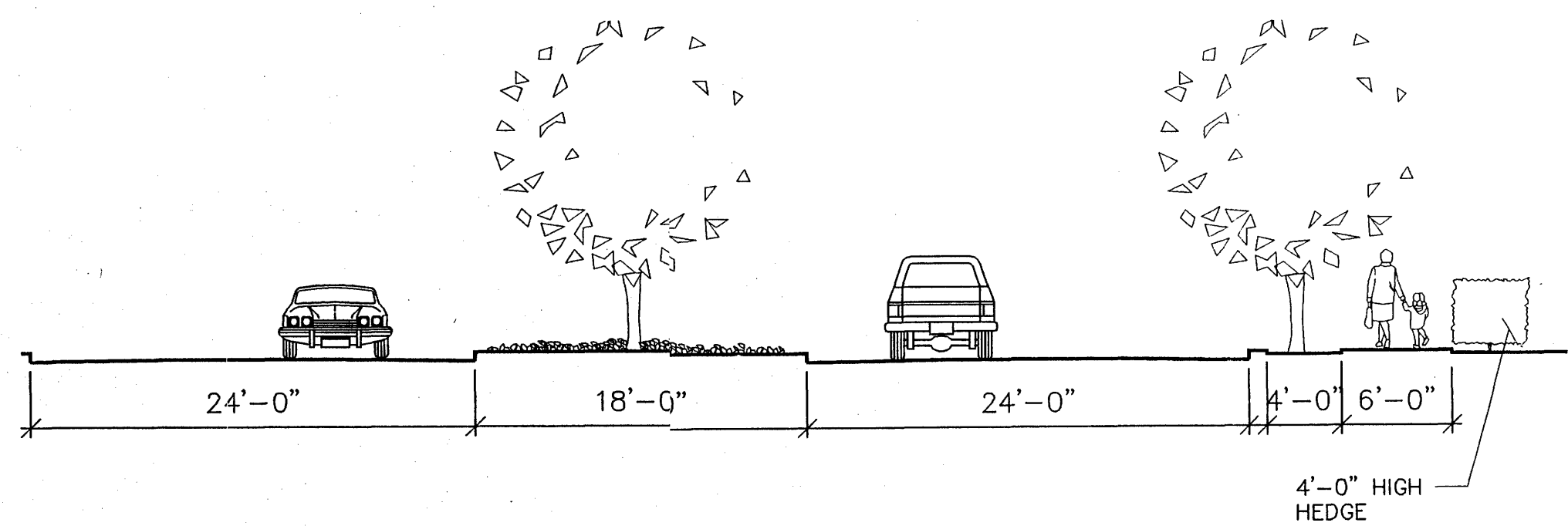


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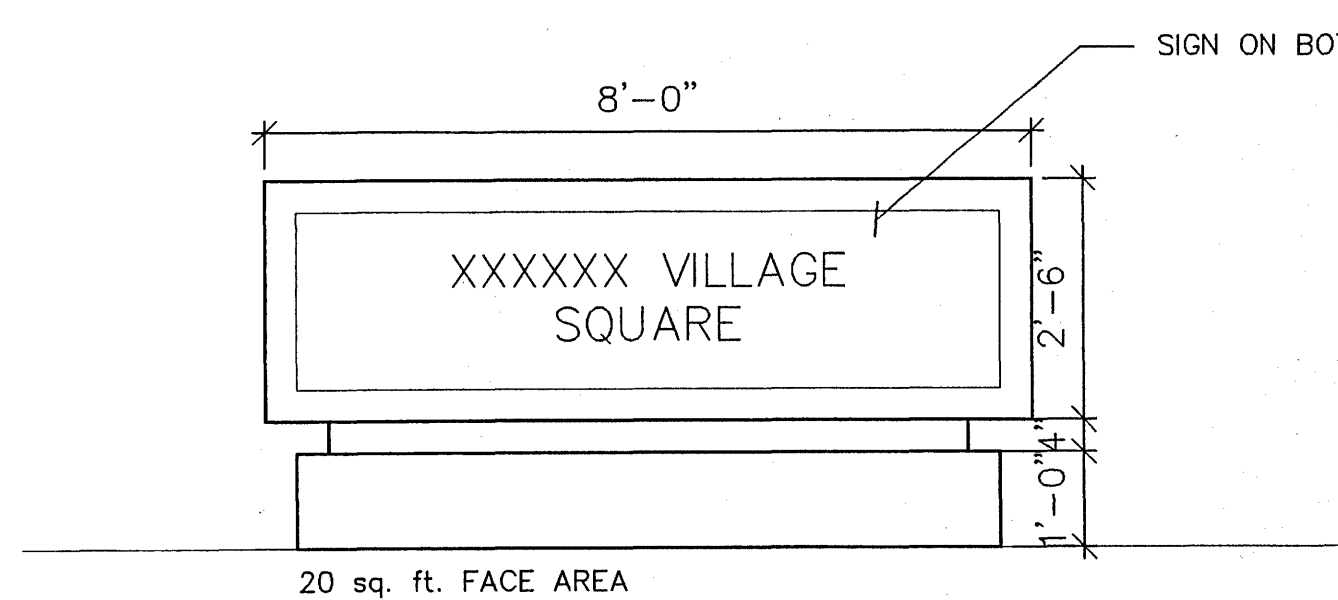
Improvement Sketch
 Tracts A-1, B-1 & C-1
 Black Arroyo Dam
 City of Albuquerque
 Bernalillo County, New Mexico
 February 2007



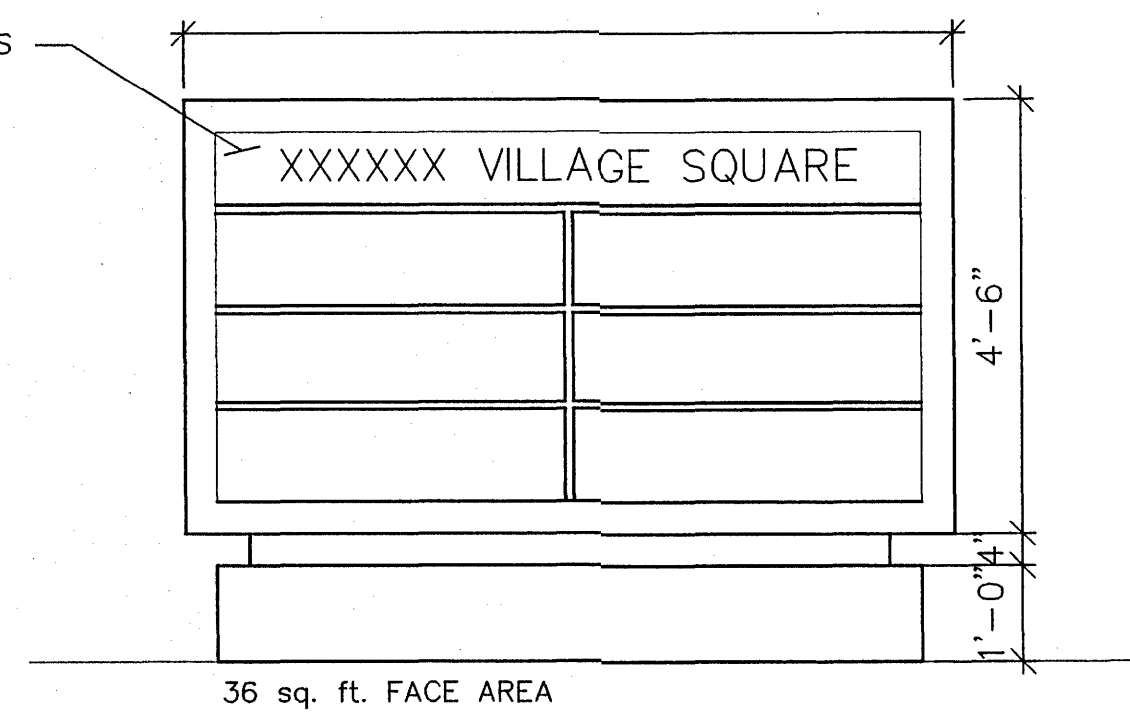
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GOLF COURSE ROAD & WESTSIDE BLVD. - TYP. SECTION
SCALE 1/8" = 1'



SIGNAGE DETAIL - MONUMENT SIGN
SCALE 1/2" = 1'



SIGNAGE DETAIL - PROJECT SIGN
SCALE 1/2" = 1'

LAND-USE ALLOCATIONS

Tract	Zoning	Land Area Acres	Max. F.A.R.	Building Area, g.s.ft.	Parking
A-2	C-2-SC	1.8911	0.30	24,713	TO MEET CITY REQUIREMENTS
B-2	C-2-SC	4.4311	0.30	57,906	
C-3	C-2-SC	2.2392	0.30	29,262	
C-2	C-2-SC	3.700	0.30	64,469	
TOTALS:		12.2614			

* LAND USE OF PARCEL F-1 TO BE SELF STORAGE FACILITY

Irrigation System: An automatic underground irrigation system will be utilized to provide even and adequate water levels to all plant material. Water use shall be done in such a manner as to conserve its use and prevent any and all runoff from landscaping materials. Irrigation shall be restricted to early morning hours to conserve this limited resource.

Landscape Maintenance: Shall be the responsibility of the property owner.

SITE PLAN FOR SUBDIVISION STANDARDS
SEE ATTACHED RESPONSE TO EPC CONDITIONS
Land Use is limited to the permissive uses of the C-2, C-1 and O-1 zones. However, these criteria may be superseded by restrictions imposed by the Planning Commission at Site Plan for Subdivision Hearing.

Land Use Intensity is determined by the floor area ratios (F.A.R.) as shown on the site plan for subdivision.

Access and parking agreements to be shared by all adjacent parcels

Setbacks to the face of the building shall be:
30 feet at perimeter property lines.
15 feet at interior property lines.

Lot Size shall be at least one acre with at least "mean dimension" of one hundred and eighty feet.

Building Facade Materials will consist of natural or man-made stone-like materials (e.g., stucco, brick); glass with a surface reflectance not greater than 20% of incident light; and wood or non-reflective metal trim colored in substantial conformance with the general coloration of the structures. Colors of opaque materials shall be "earth-tone", similar to those indigenous to the local landscape.

Signs:

A freestanding project sign is permitted at each entrance to the project from an arterial street. In addition one project sign shall be permitted on the Westside Boulevard frontage, in the event no access is permitted. The project signs will be freestanding "monument"-type signs, the top of which shall not be more than six feet above adjacent grade, and the face area of which shall not exceed 75 square feet per face.

Each building site is limited to one freestanding "monument" sign not higher than 4 feet above adjacent grade, and not greater than 50 square feet in area per sign face and each C-2 parcel is limited to one building mounted sign per tenant of business, which shall not exceed 10% of the area of the front facade of elevation of each tenant or business space to which it is applied.

Signs may be illuminated in accordance with the City of Albuquerque's Sign Regulations, except that no illuminated sign shall be placed on the building facade most proximate to a residential area, or in any event, closer than 150 feet to the boundary of a residential zone.

Cross Access Easements shall provide access and parking for all adjacent tracts. Pedestrian connections shall be provided between parking isles, public sidewalks and buildings.

Parking lot landscaping shall consist primarily of deciduous trees. The lineal distance between planting islands in paved areas shall not exceed 85 feet.

Residential Buffer and Landscape Easement materials shall consist primarily of deciduous trees and in addition coniferous trees shall be used for year-round partial screening.

"Streetscape" Landscaping shall consist primarily of a combination of shrubs and deciduous trees in a ten foot wide setback area between the right-of-way line of the street and the face of the curb of an adjacent parking area. Tree location shall meet the requirements of the Street-tree Ordinance. Clear-sight triangle requirements must be met.

Transit and Pedestrian amenities to be provided by the developers of A-1, B-1, & C-1.

A minimum of 20% of the site area must be landscaped; in addition to which 10% of the paved area shall be landscaped.

Internal Street and Parking Lot Lighting shall meet the requirements of Section 14-1-3-9 of the Zoning Code; in addition, fixtures will be standardized in design, and of a size suited to their function. Lighting shall conform to "Night Sky Standards"

Service Areas such as loading docks, janitorial and machine rooms, and other service entrances and refuse collection facilities may not be located in or adjacent to the building facades most proximate to the boundaries of residential areas.

INTENTION OF DEVELOPMENT

The primary objective of the site development plan is to establish a cohesive, harmonious development in which there is a visual relationship of buildings to one another. The intention is not to restrict creativeness but to provide a framework which will ultimately enhance the value of all properties. A mixture of "signature" buildings creates a chaotic environment in which no one benefits. Although development will occur at different times by different developers, a respect for the common southwestern, high desert context of the site will ensure a common architectural and landscape language.

ARCHITECTURAL DESIGN STANDARDS
SEE ATTACHED RESPONSE TO EPC CONDITIONS

The Site affords dramatic views to the Sandia and Manzano Mountains. Site design shall take advantage of this asset. Patios and plazas shall be designed to have views of the Manzano and Sandia Mountains to the greatest extent possible.

The Architectural Style of all buildings will be broadly defined as southwestern, neo-pueblo, Rio Grand Valley adobe style, New Mexico colonial, territorial style, etc. or a southwestern contemporary style as it relates to the previously mentioned historical architectural styles.

Building Design shall be architecturally integrated within the site and context of the commercial development with southwestern architecture per the West Side Strategic Plan.

Building Configuration, to the extent possible, should be in plaza-like development or other arrangements to avoid strip-type development. All restaurants are encouraged to provide outdoor dining.

The Primary Building Mass shall be of an earth-tone color, regardless of materials. Colors other than the earth-tone palette, shall be used only for accents and decorative elements and for the emphasis of certain design elements.

Exterior Building Materials should generally be non-reflective, cementitious in visual quality, no more than three major materials, excluding frames, trim, canopies, etc., shall be combined on any given building elevation. Glass will have a surface reflectance not greater than 20 % of incident light and wood or non-reflective metal trim colored in conformance with the general coloration of the structures.

All Canopies and Out-Buildings shall be integrated into the building architecture.

Extraneous Building Equipment, such as mechanical equipment, electrical equipment, communication equipment, solar equipment, etc. should be hidden by parapet walls and/or screen walls to obscure from vision from the public right-of-way.

Parking Areas should be screened from public right-of-ways by means of four feet high shrubs or hedges but not in any way to restrict a drivers line of sight.

Parking Lot Lighting will be done by using 15'-0" high "Gardco Lighting" Glow top MAG 18-1r equal in earthtone color, with a maximum spacing of 66'-0" on centers.

Design Review for compliance with design guidelines, herein, will be done by the City of Albuquerque's Planning Department Staff.

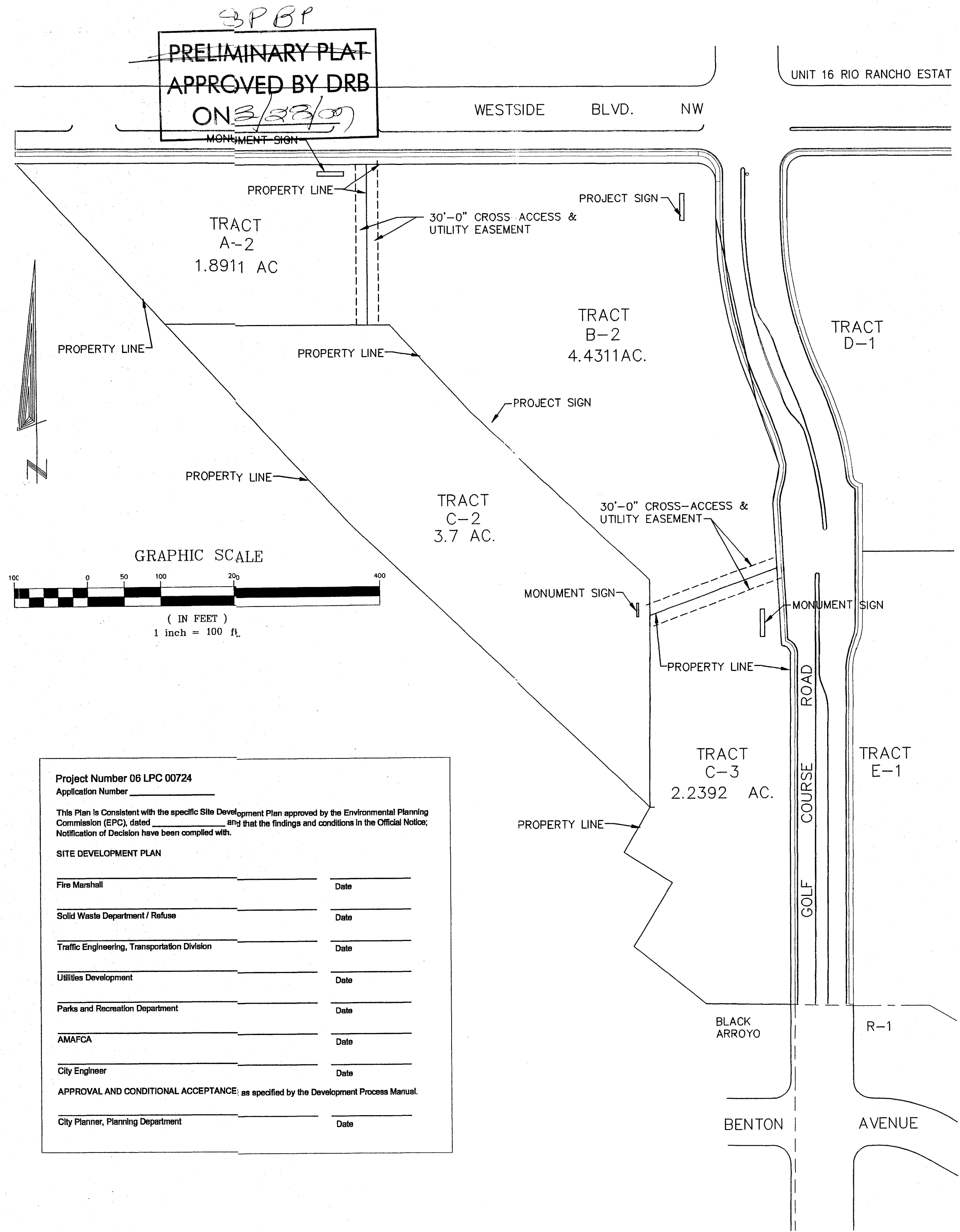
LANDSCAPE STANDARDS

Non-Organic Ground Cover: At least 80% of ground cover will be non-organic Basic Gravel: Santa Fe Brown and sunset rose with weed barrier. Cobblestone accents: 6" to 8" cobblestone and Mass rock boulders.

Sod is to be used sparingly throughout landscaped areas as ground cover. Small patches of sod will be avoided for ease of maintenance and practicality of irrigation. Red fescue type sod will be utilized to keep watering levels within reasonable limits.

Irrigation System: An automatic underground irrigation system will be utilized to provide even and adequate water levels to all plant material. Water use shall be done in such a manner as to conserve its use and prevent any and all runoff from landscaping materials. Irrigation shall be restricted to early morning hours to conserve this limited resource.

Landscaping Maintenance: Shall be the responsibility of the property owner.



Project Number 06 LPC 00724
Application Number _____

This Plan is Consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and that the findings and conditions in the Official Notice of Decision have been complied with.

SITE DEVELOPMENT PLAN

Fire Marshal	Date
Solid Waste Department / Refuse	Date
Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Planning Department	Date
-----------------------------------	------

VICINITY MAP

\\SERVER2\data\Projects\Bluerock\A-12-Z.tif

A-12-Z NOT TO SCALE

DATE: 5-27-2003
REVISIONS:
10-20-06

H. BARKER ARCHITECTS
ARCHITECTS & PLANNERS
208 GOLD AVENUE, S.W., ALBUQUERQUE, NEW MEXICO 87102-9426

DATE: 5-27-2003

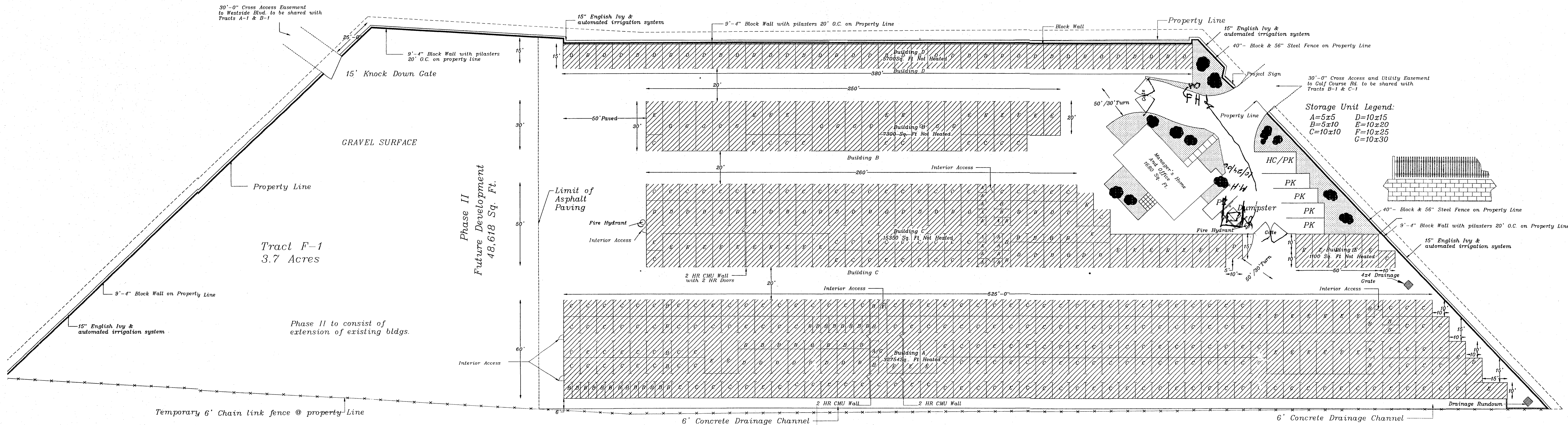
REVISIONS:

10-20-06

SITE PLAN FOR
SUBDIVISION PURPOSES

CALABACILLAS
COMMERCIAL PARK

SHT. NO.
1
1 OF 1



Black Arroyo Dam

Parking Calculations

Parking on one side of all interior streets:
 Street Lengths: 525 + 260 + 380 - 30 =
 1135 linear feet / 20 feet per parking space
 56 spaces on streets + 6 spaces at caretaker's area =
TOTAL PARKING SPACES PROVIDED = 62

Site Development Plan for Self Storage Facility

Total Storage Area - 62,204 sq. ft
 Total Includes Manager's Area - 63,884 sq. ft
 Total Landscaped area - 5815 sq. ft.
 Total Land Area of Phase I: 11,224 sq. ft.
 Total Asphalt Paved Area: 39,889 sq. ft.
 Required Parking: 32 Spaces
 Parking Provided: 62 Spaces

CLOVESMETAL BUILDINGS INC.
 2250 N ROSS
 CLOVES, NM 88101
 505-763-1150
 FAX 763-1155

VJW Inc. Storage Albuquerque
 OCT. 20, 2006

Scale: 1"=30'-0"

CITY OF ALBUQUERQUE
 "SOLID WASTE"
 MANAGEMENT DEPARTMENT
 APPROVED

ASD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 OCT 24 10-24-06
 SIGNATURE & DATE

KEY	COMMON NAME	BOTANICAL NAME	SIZE	QTY.
A	DESERT WILLOW	CHILOPSIS LINEARIS	5 GAL. 11	13
B	CHINESE PISTACHE	PISTACIA CHINEENSIS	5 GAL.	3
C	AUSTRIAN PINE	PINUS NIGRA	5 GAL.	2
D	GRAY SANTOLINA	SANTOLINA CHAMAECYPARISSIS	1 GAL.	10
E	UPRIGHT ROSEMARY	ROSEMARINUS OFFICINALIS	1 GAL.	4
F	SOFT BLADE YUCCA	YUCCA PENICILLA	1 GAL.	13
H	MEXICAN EVENING PRIMROSE	DELOTHEA BERLANDIERI	1 GAL.	14
J	HARDY PURPLE ICEPLANT	DELOSPERMA COOPERI	1 GAL.	11
K	ROCKY MOUNTAIN PENSTEMON	PENSTEMON STRICTUS	1 GAL.	8
L	SUNSET ROSE GRAVEL		BY AREA	BY A.
M	SANTA FE BROWN GRAVEL		BY AREA	BY A.
N	BLUEGRASS	POE PRATENSIS	BY AREA	BY A.
G	INDIGIA	INDIGIA DOMESTICA	1 GAL.	5

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

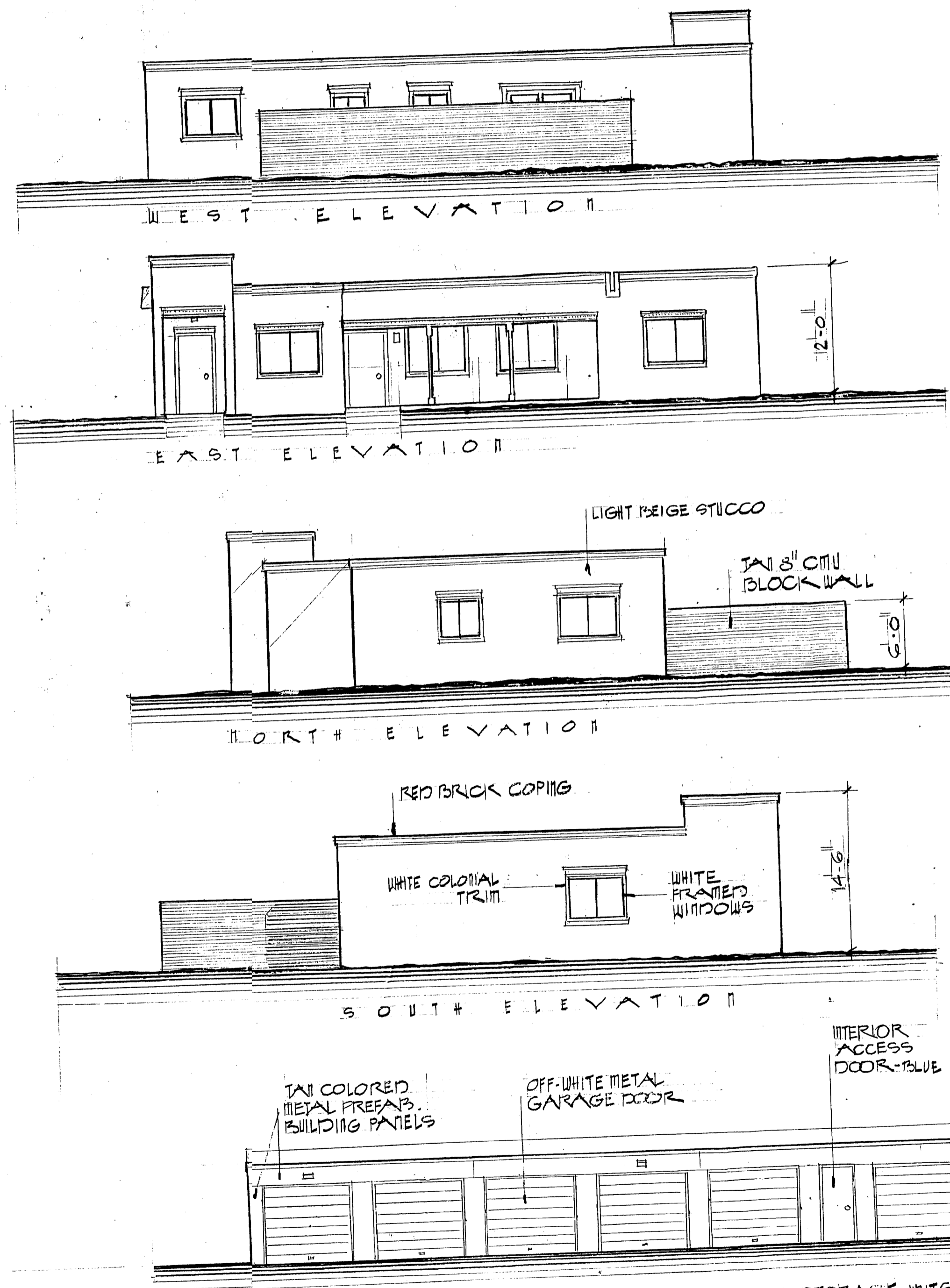
Plant beds shall achieve 75% live ground cover at maturity.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

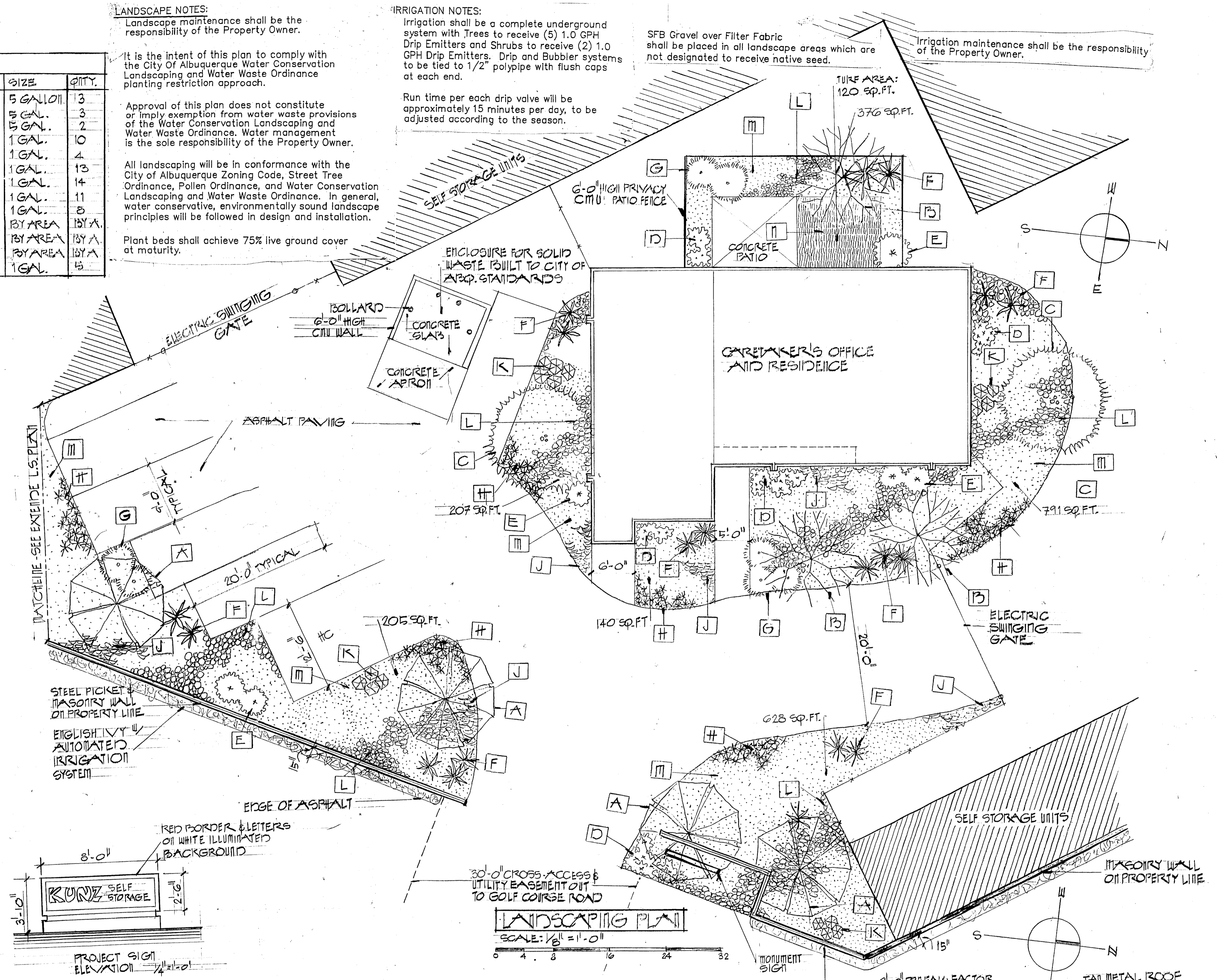
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

SFB Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

Irrigation maintenance shall be the responsibility of the Property Owner.



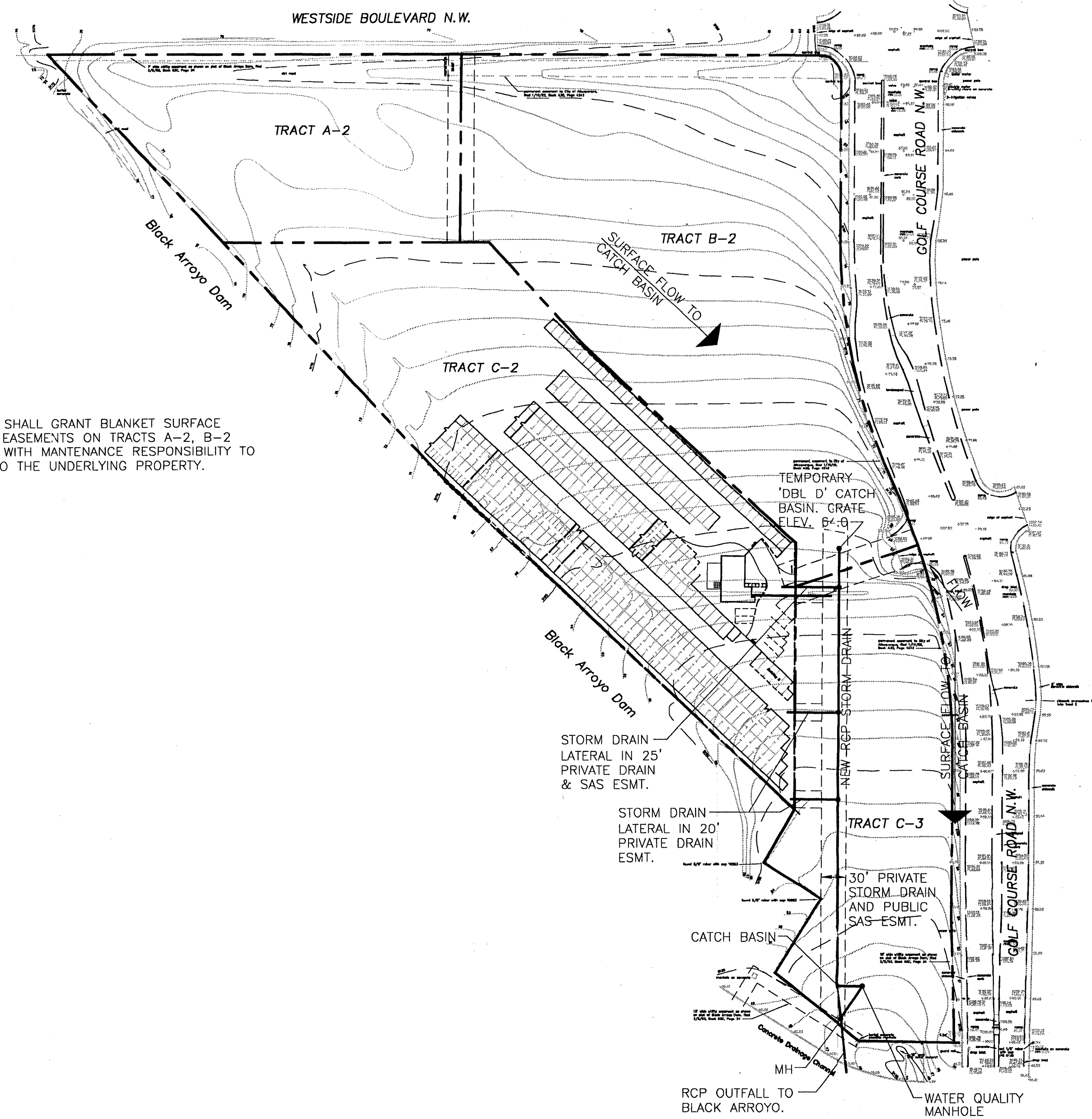
ELEVATIONS SCALE: 1/8" = 1'-0"



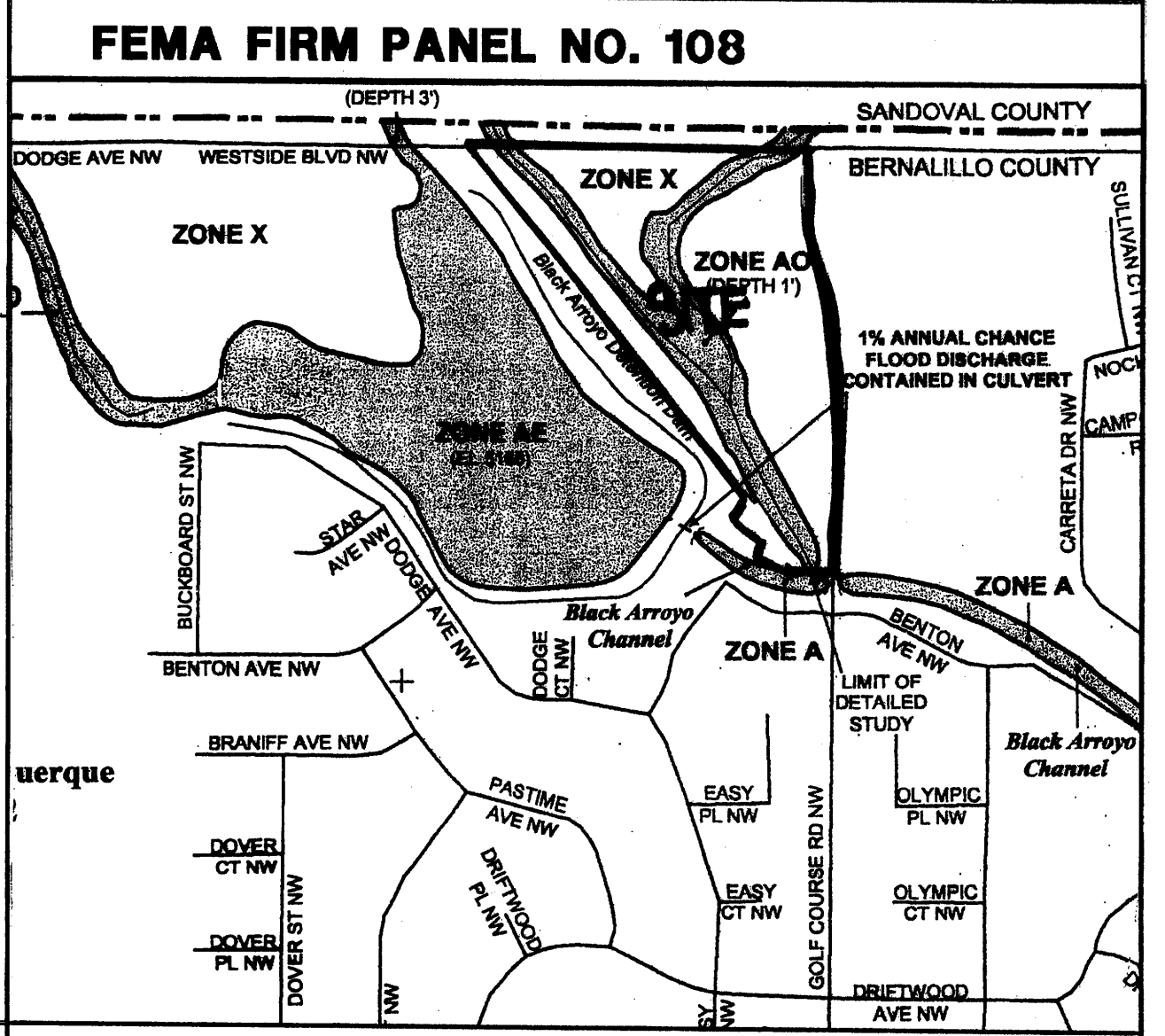
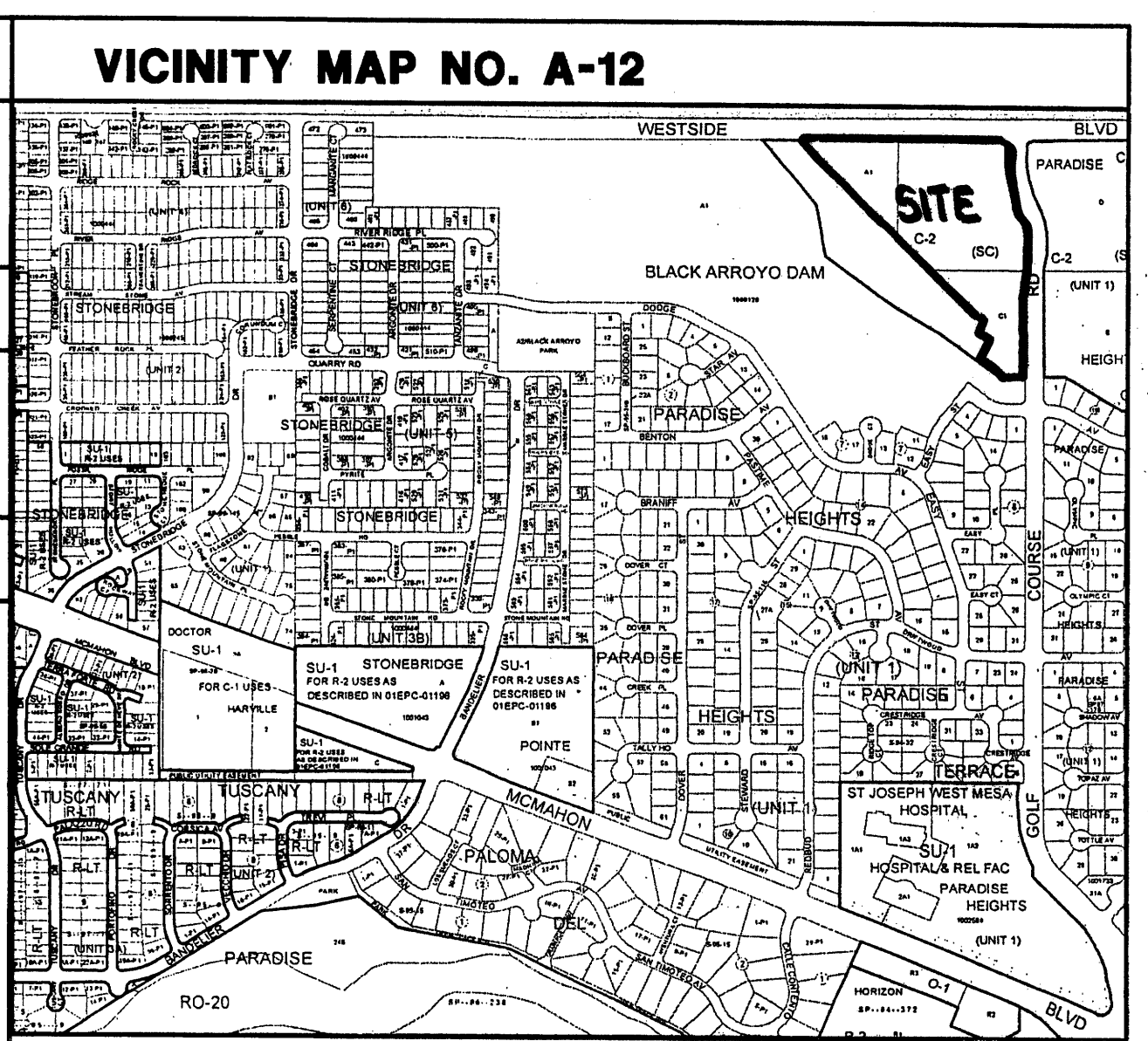
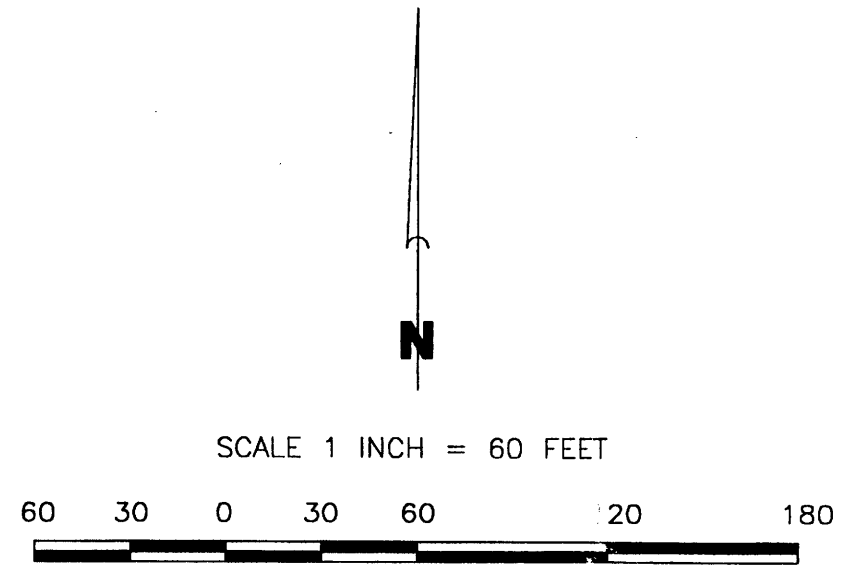
LANDSCAPING PLAN
SCALE: 1/8" = 1'-0"

VJV STORAGE FACILITY
ALBUQUERQUE, NEW MEXICO
5.31.06
REVISED 6.7.06

NOTE:
THE PLAT SHALL GRANT BLANKET SURFACE DRAINAGE EASEMENTS ON TRACTS A-2, B-2 AND C-2 WITH MAINTENANCE RESPONSIBILITY TO ACCRUE TO THE UNDERLYING PROPERTY.



LEGAL DESCRIPTION									
TRACTS A-2, B-2 & C-2 & F-1 BLACK ARROYO DAM									
PERMANENT BENCHMARK									
ACS 5-A12 ELEVATION 5140.43 (NGVD 1929)									
DRAINAGE DATA									
CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE	TABLE 9	
								sq. ft.	cu. ft.
EXISTING	10	A	534106	0.08	0.24	3561	2.94		
		B	0	0.22	0.76	0	0.00		
		C	0	0.44	1.49	0	0.00		
		D	0	1.24	2.89	0	0.00		
		TOTAL	534106			3561	2.94		
DEVELOPED	100	A	534106	0.44	1.29	19584	15.82		
		B	0	0.67	2.03	0	0.00		
		C	0	0.99	2.87	0	0.00		
		D	0	1.97	4.37	0	0.00		
		TOTAL	534106			19584	15.82		
EXISTING	10	A	0	0.08	0.24	0	0.00		
		B	89456	0.22	0.76	1273	1.21		
		C	484870	0.44	1.49	48016	30.83		
		D	534106	1.24	2.89	49289	32.04		
		TOTAL	534106			49289	32.04		
DEVELOPED	100	A	0	0.44	1.29	0	0.00		
		B	89456	0.67	2.03	3871	3.24		
		C	484870	0.99	2.87	76283	46.62		
		D	534106	1.97	4.37	80180	49.85		
		TOTAL	534106			80180	49.85		
EXISTING	2	A	0	0.00	0.00	0	0.00		
		B	89456	0.01	0.03	58	0.05		
		C	484870	0.12	0.47	0	0.00		
		D	484870	0.72	1.89	27880	18.03		
		TOTAL	534106			27938	18.08		



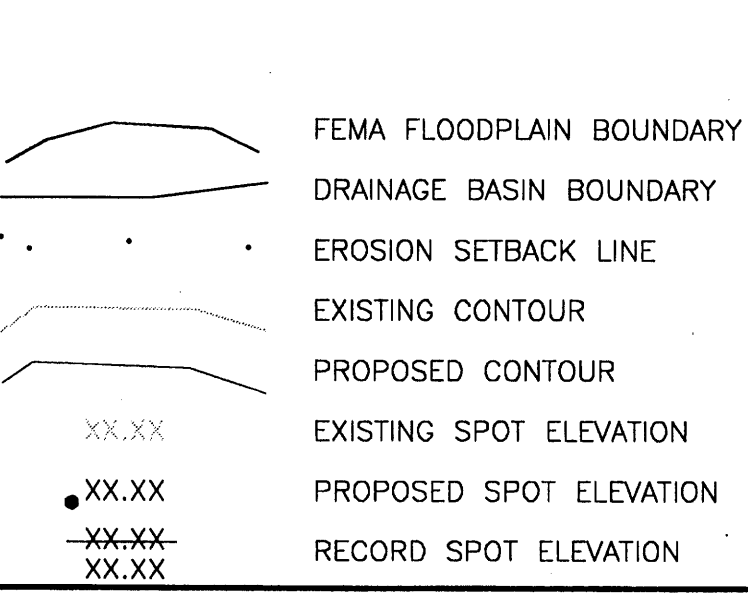
LEGEND	
TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT

DRAINAGE NOTES

EXISTING CONDITIONS:
THE SITE HAS BEEN DISTURBED BY MISCELLANEOUS GRADING, AND DUMPING WITH ASSORTED DIRT ROADS. VEGETATION IS SPARSE AND TYPICAL OF THE WEST MESA. DRAINAGE IS FROM NORTH TO SOUTH AND GRADES ARE RELATIVELY UNIFORM. FLOWS ARE OVERLAND WITH NO DEFINED DRAINAGE COUSES OF SIGNIFICANCE. DRAINAGE ENTERS THE BLACK ARROYO CHANNEL IN LOCATIONS DICTATED BY NATURAL CONDITIONS.

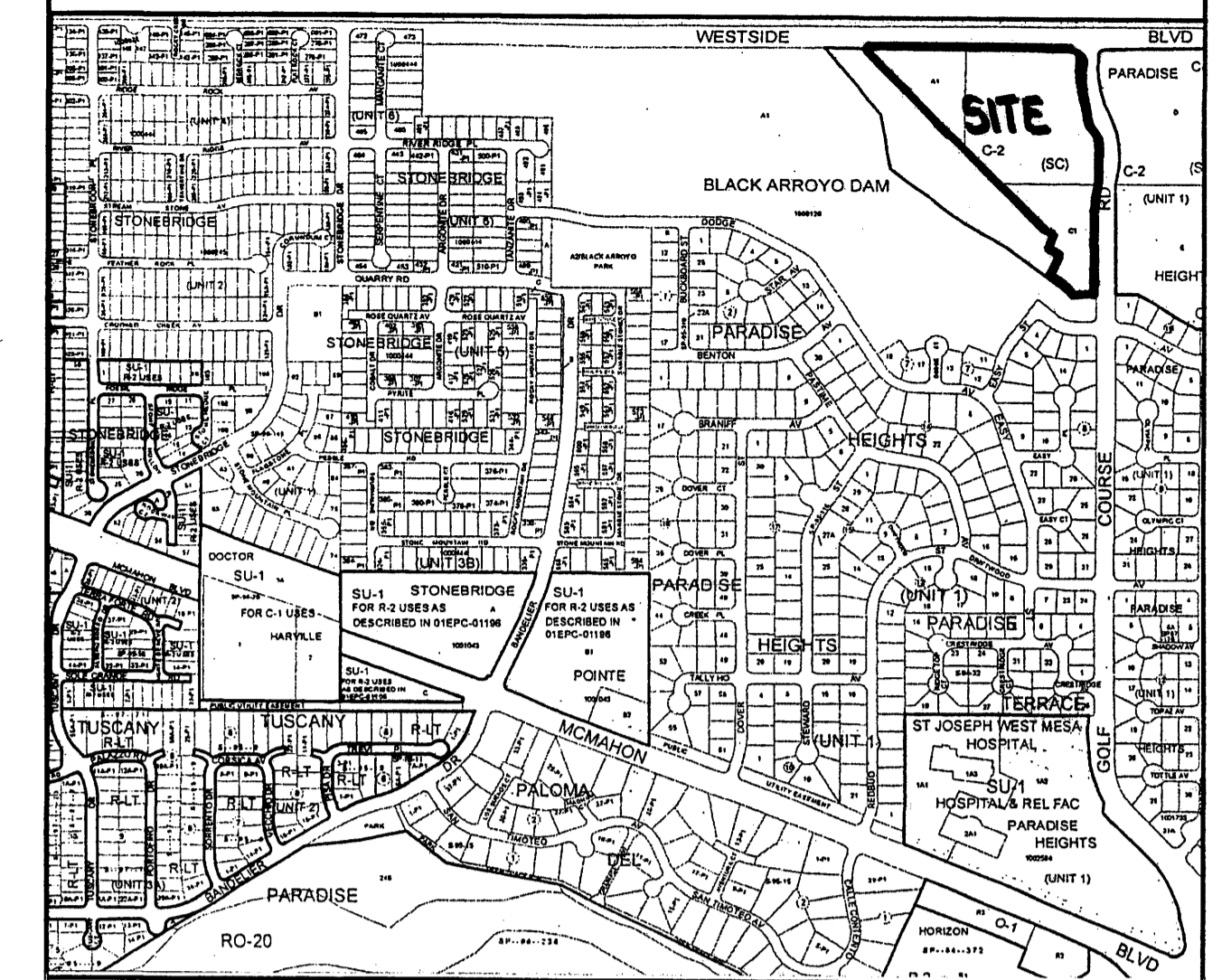
PROPOSED CONDITIONS:
NO MASS GRADING IS PROPOSED. THIS WILL REDUCE THE NEED FOR DUST CONTROL AS WELL AS REDUCE THE INCREASE OF RUNOFF UNTIL THE INDIVIDUAL TRACTS ARE DEVELOPED. THE 'SPINE' STORM DRAIN SYSTEM WILL BE INSTALLED IN THE INITIAL CONSTRUCTION. INDIVIDUAL TRACTS MAY INSTALL LATERALS FROM THE SPINE AS REQUIRED FOR THEIR GRADING CONDITIONS. A WATER QUALITY DISCHARGE IS PROPOSED AT THE CONNECTION TO THE BLACK ARROYO CHANNEL.

THE FEMA FLOOD PLAIN SHOWN ON THE MAP HEREON IS IN THE PROCESS OF BEING REMOVED BY OTHERS WITH THE CONSTRUCTION OF WESTSIDE BOULEVARD WEST OF GOLF COURSE ROAD.



no. date remarks by		
REVISIONS		
project title BLACK ARROYO DAM ALBUQUERQUE, NM		
sheet title CONCEPTUAL GRADING & DRAINAGE PLAN		
sheet date 03/21/06	design by JJB	project no. 0606
sheet		of
BORDENAVE DESIGNS P.O. BOX 91194, ALBUQUERQUE, NM 87199 (505)823-1344 FAX (505)821-9105		

VICINITY MAP NO. A-12



LEGAL DESCRIPTION

TRACTS A-2, B-2 & C-2 & F-1 BLACK ARROYO DAM

PERMANENT BENCHMARK

ACS 5-A12 ELEVATION 5140.43 (NGVD 1929)

UTILITY NOTES

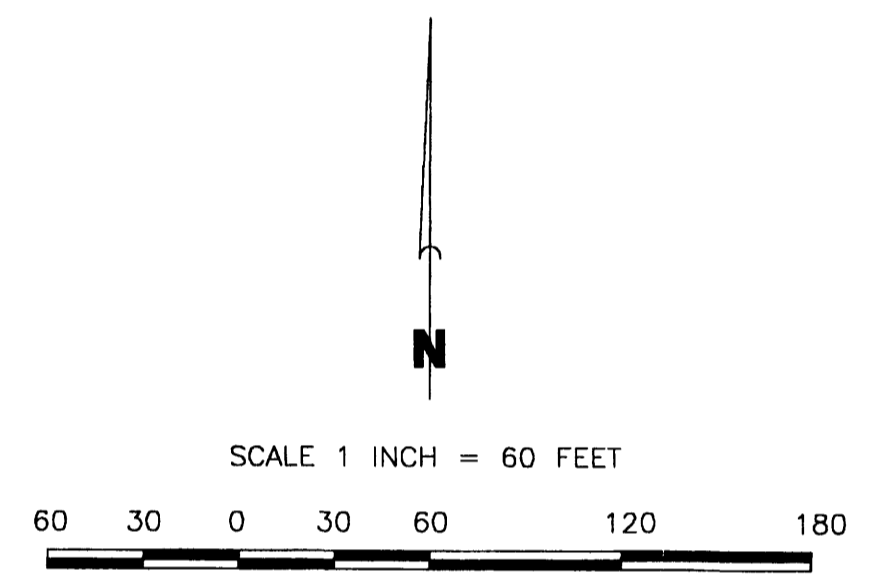
1. WATER, SANITARY SEWER, STORM DRAIN, POWER, GAS AND COMMUNICATIONS ARE AVAILABLE TO THE SUBDIVISION AT OR NEAR IT'S BOUNDARY. NO LONG DISTANCE OFFSITE CONSTRUCTION WILL BE REQUIRED.
2. TRACT A-2 SHALL OBTAIN DOMESTIC, LANDSCAPE AND FIRE WATER SERVICE FROM EXISTING PUBLIC STUBS IN WESTSIDE BLVD. TRACTS B-2 AND C-3 SHALL OBTAIN DOMESTIC SERVICE FROM EXISTING PUBLIC STUBS IN GOLF COURSE RD. TRACT C-2 SHALL OBTAIN DOMESTIC, LANDSCAPE AND FIRE WATER FROM AN EXTENDED PUBLIC STUB IN THE PRIVATE ACCESS AND WATER LINE EASEMENT AT IT'S EASTERN BOUNDARY.
3. TRACT A-2 SHALL HAVE A PRIVATE GRINDER PUMP SAS SERVICE TO A PROPOSED PUBLIC SAS SYSTEM IN WESTSIDE BLVD. TRACTS B-2, C-2 AND C-3 SHALL HAVE GRAVITY SAS SERVICE TO A PROPOSED ONSITE PUBLIC SAS SYSTEM.
4. COORDINATION OF FACILITY CONSTRUCTION MAY BE MADE THROUGH THE FOLLOWING:
 WATER AND SANITARY SEWER - NEW MEXICO UTILITIES
 POWER AND GAS - PUBLIC SERVICE CO. OF NEW MEXICO
 TELEPHONE - QWEST
 CABLE - COMCAST

no.	date	remarks	by

project title BLACK ARROYO DAM ALBUQUERQUE, NM		
sheet title CONCEPTUAL UTILITY PLAN		
sheet date 03/21/06	design by JJB	project no. 0606



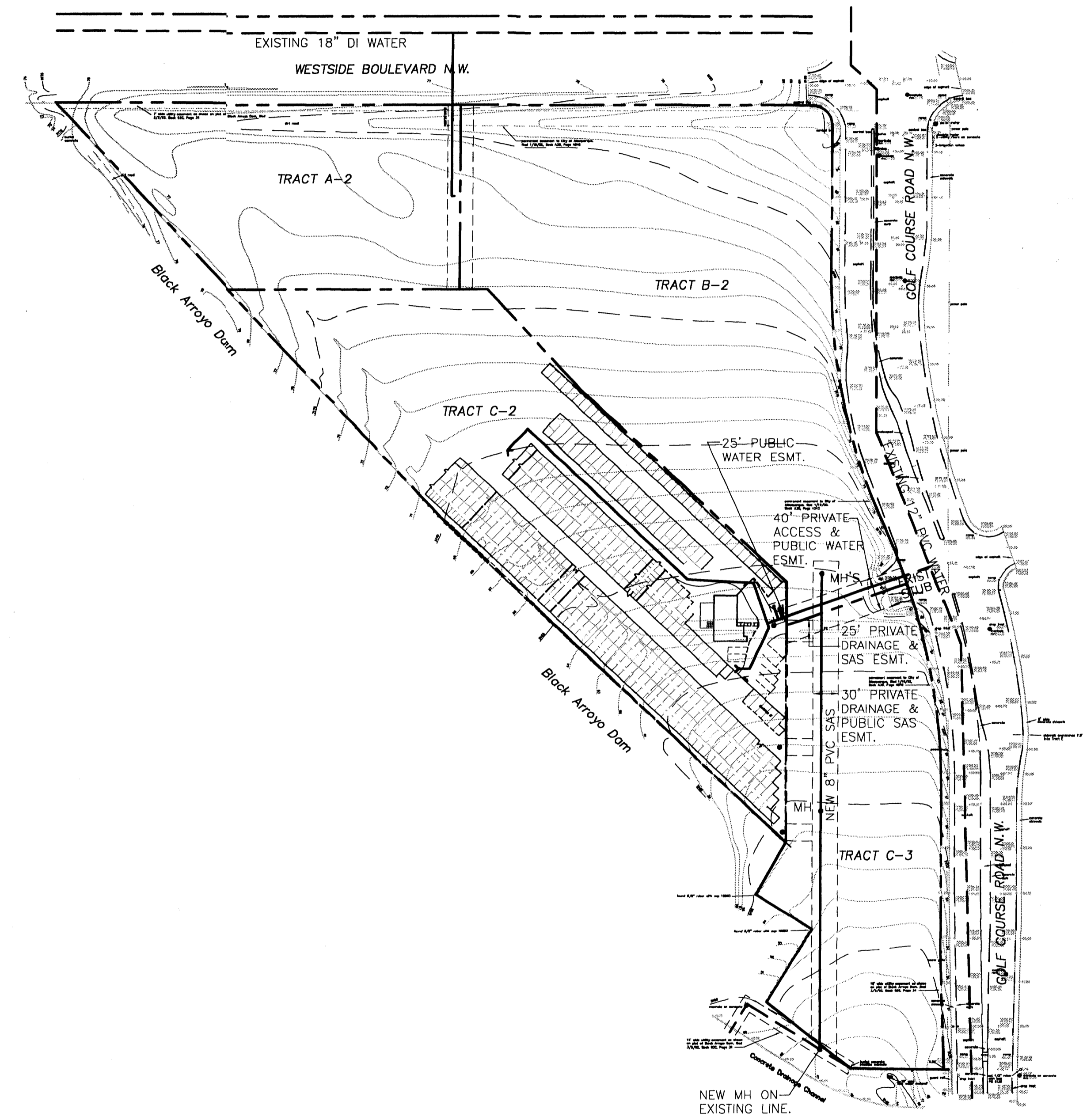
BORDENAVE DESIGNS
 P.O. BOX 91194, ALBUQUERQUE, NM 87199
 (505)823-1344 FAX (505)821-9105

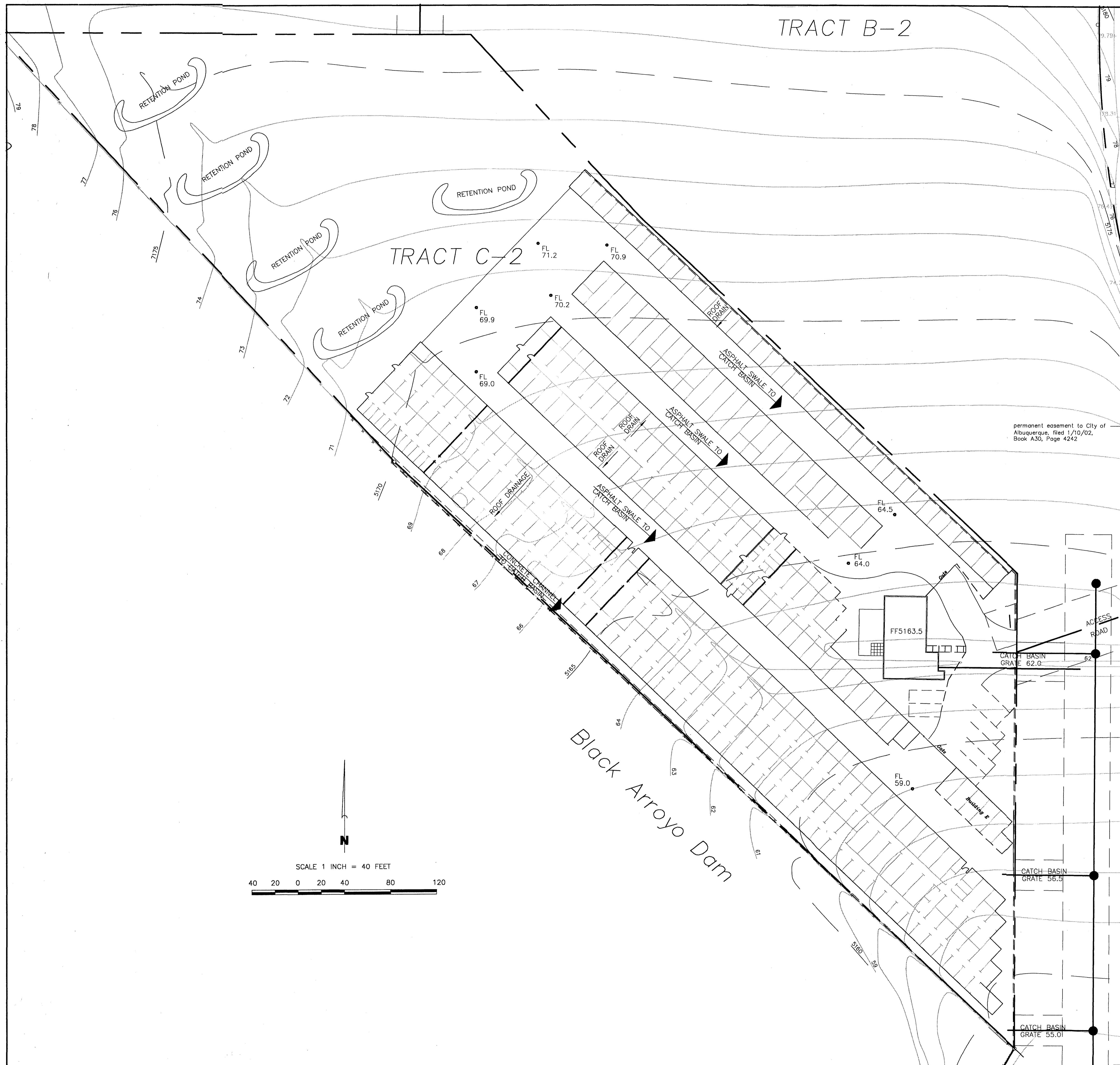


LEGEND

TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
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FH	FIRE HYDRANT
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GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT

	FEMA FLOODPLAIN BOUNDARY
	DRAINAGE BASIN BOUNDARY
	EROSION SETBACK LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	RECORD SPOT ELEVATION



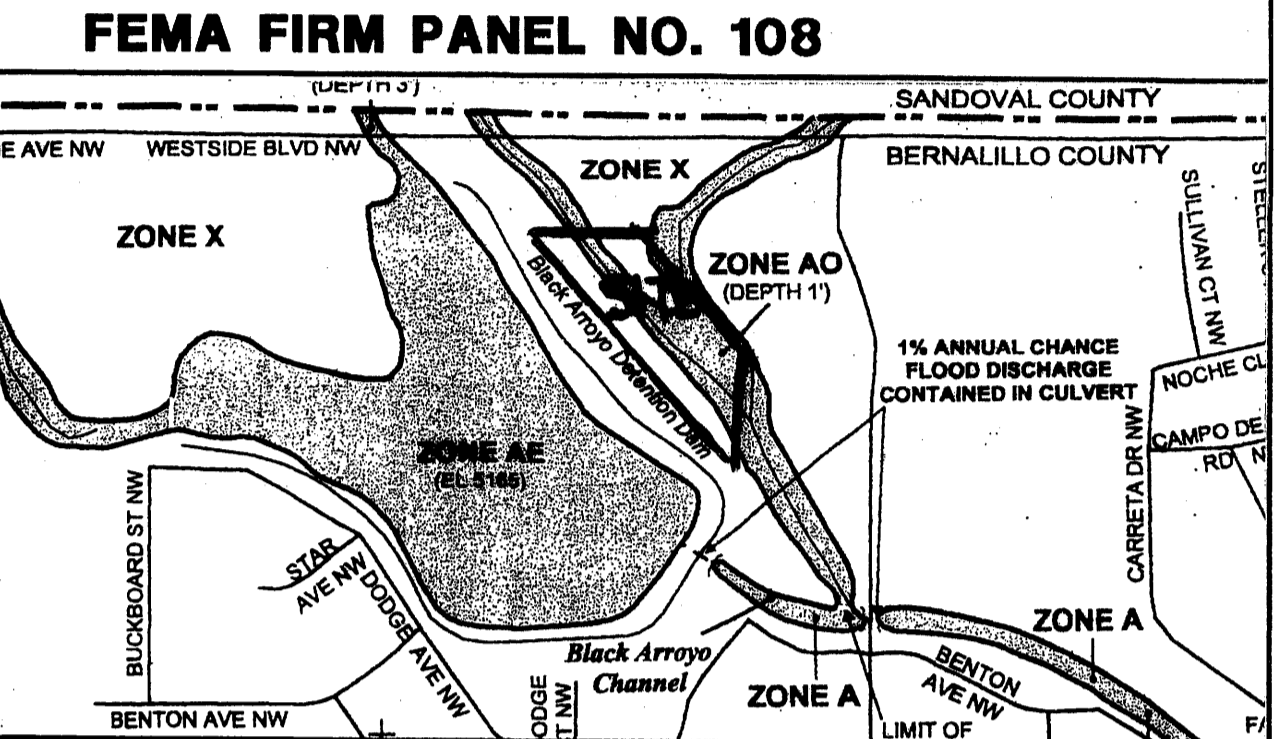
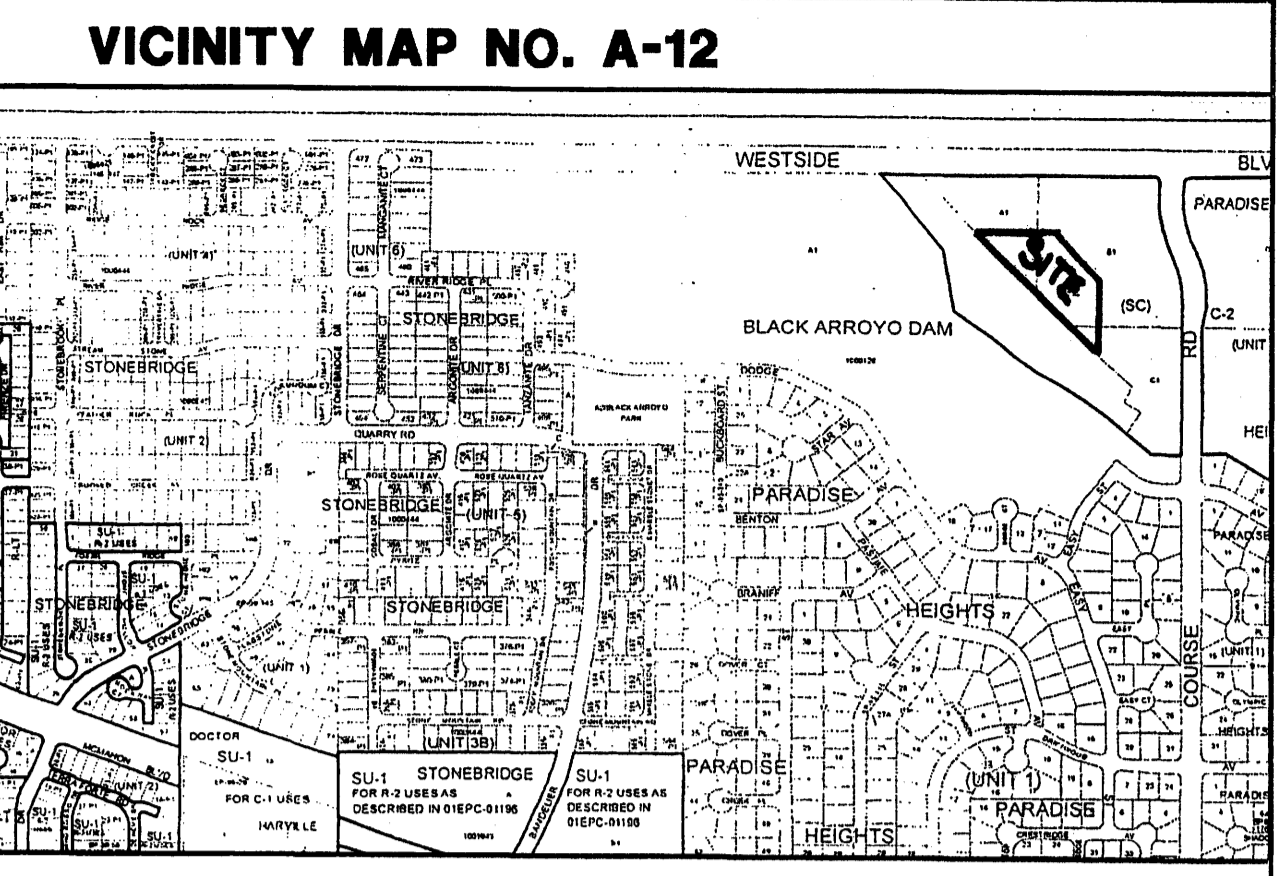
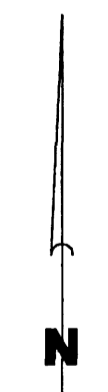
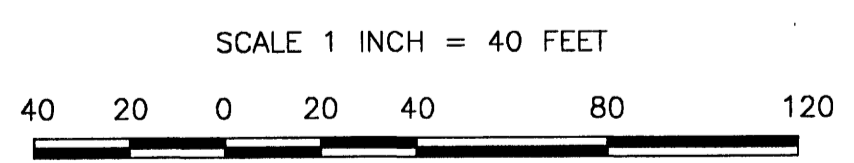


TRACT B-2

TRACT C-2

Black Arroyo Dam

permanent easement to City of Albuquerque, filed 1/10/02, Book A30, Page 4242



DRAINAGE DATA

CONTRIBUTING AREA	PERIOD	TYPE	AREA (ACR.)	PERCENTAGE IMPERVIOUS	PEAK FLOW (CFS)	PEAK FLOW (MGD)
ROOFING	15	A	181172	0.00	0.00	0.00
		B	181172	0.22	0.28	0.00
		C	181172	0.44	0.56	0.00
		TOTAL	181172	1.24	2.88	0.00
DEVELOPED	15	A	181172	0.44	1.38	0.00
		B	181172	0.87	2.00	0.00
		C	181172	0.88	2.87	0.00
		TOTAL	181172	1.97	4.37	0.00
TOTAL	15	A	181172	0.44	1.38	0.00
		B	181172	0.87	2.00	0.00
		C	181172	1.24	2.88	0.00
		TOTAL	181172	3.49	7.25	0.00

LEGEND

- TBM TEMPORARY BENCHMARK
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOWLINE
- TA TOP OF ASPHALT
- TCP TOP OF CONCRETE
- TC TOP OF CURB
- TP TOP OF EARTH PAD
- TS TOP OF SIDEWALK
- TW TOP OF WALL
- FH FIRE HYDRANT
- WM WATER METER
- WV WATER VALVE
- MH MANHOLE
- CB CATCH BASIN GRATE
- GM GAS METER
- GV GAS VALVE
- LP LIGHT POLE
- PP POWER POLE
- GW GUY WIRE
- PED ELEC. OR TEL. PEDESTAL
- RD ROOF DRAINAGE POINT

- FEMA FLOODPLAIN BOUNDARY
- DRAINAGE BASIN BOUNDARY
- EROSION SETBACK LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- RECORD SPOT ELEVATION

DRAINAGE NOTES

EXISTING CONDITIONS:
THE SITE IS IN ITS NATURAL CONDITION, BUT HAS BEEN DISTURBED BY DIRT ROADS AND DUMPING. THE SITE DRAINS FROM NORTH TO SOUTH AND IS PREVENTED FROM ENTERING THE BLACK ARROYO DAM BY A MAN MADE BERM. VEGETATION IS COMPOSED OF SPARSE GRASSES AND SCATTERED HERBACEOUS PLANTS.

PROPOSED CONDITIONS:
THE ENTIRE SITE WILL BE GRADED AND SURROUNDED WITH A CMU WALL. ONLY THE SOUTHERN PORTION OF THE SITE WILL BE DEVELOPED AT THIS TIME. TEMPORARY RETENTION PONDS ARE PROPOSED IN THE UNDEVELOPED AREA TO REDUCE SEDIMENT IN THE STORMWATER DISCHARGED FROM THE SITE. A CATCH BASIN WILL BE CONSTRUCTED IN THE SOUTHERLY CORNER OF THE SITE. REFINEMENT OF DESIGN MAY REQUIRE AN ADDITIONAL CATH BASIN AND EXTENSION OF THE STORM DRAIN ON THE SITE. CONSTRUCTION AND MAINTENANCE OF THE STORM DRAIN WITHIN THE SITE AND TO ITS CONNECTION TO THE SUBDIVISION STORM DRAIN SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT C-2.

LEGAL DESCRIPTION

TRACT C-2, BLACK ARROYO DAM

PERMANENT BENCHMARK

ACS 5-A12 ELEVATION 5140.43 (NGVD 1929)

no.	date	remarks	by
REVISIONS			

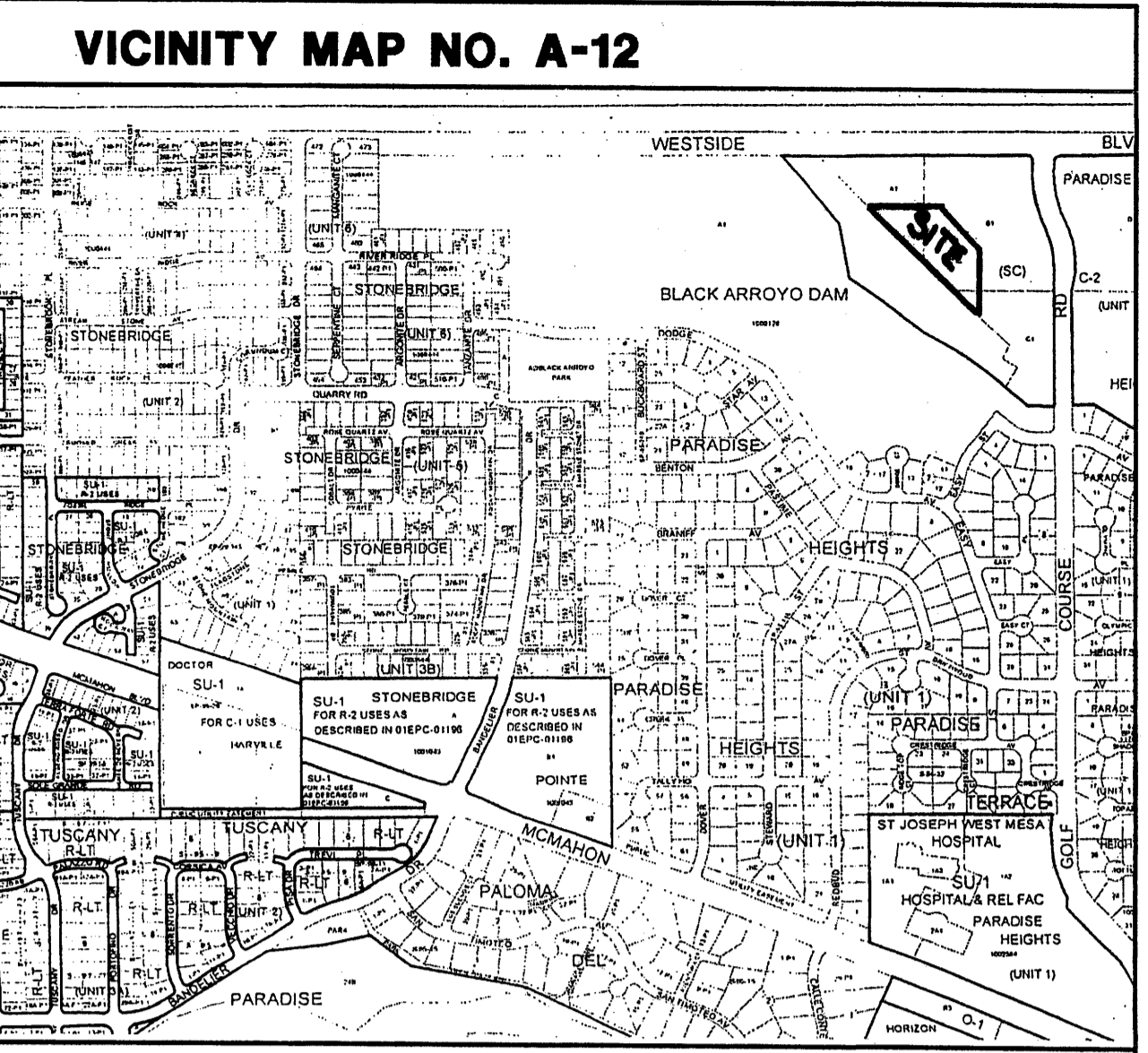
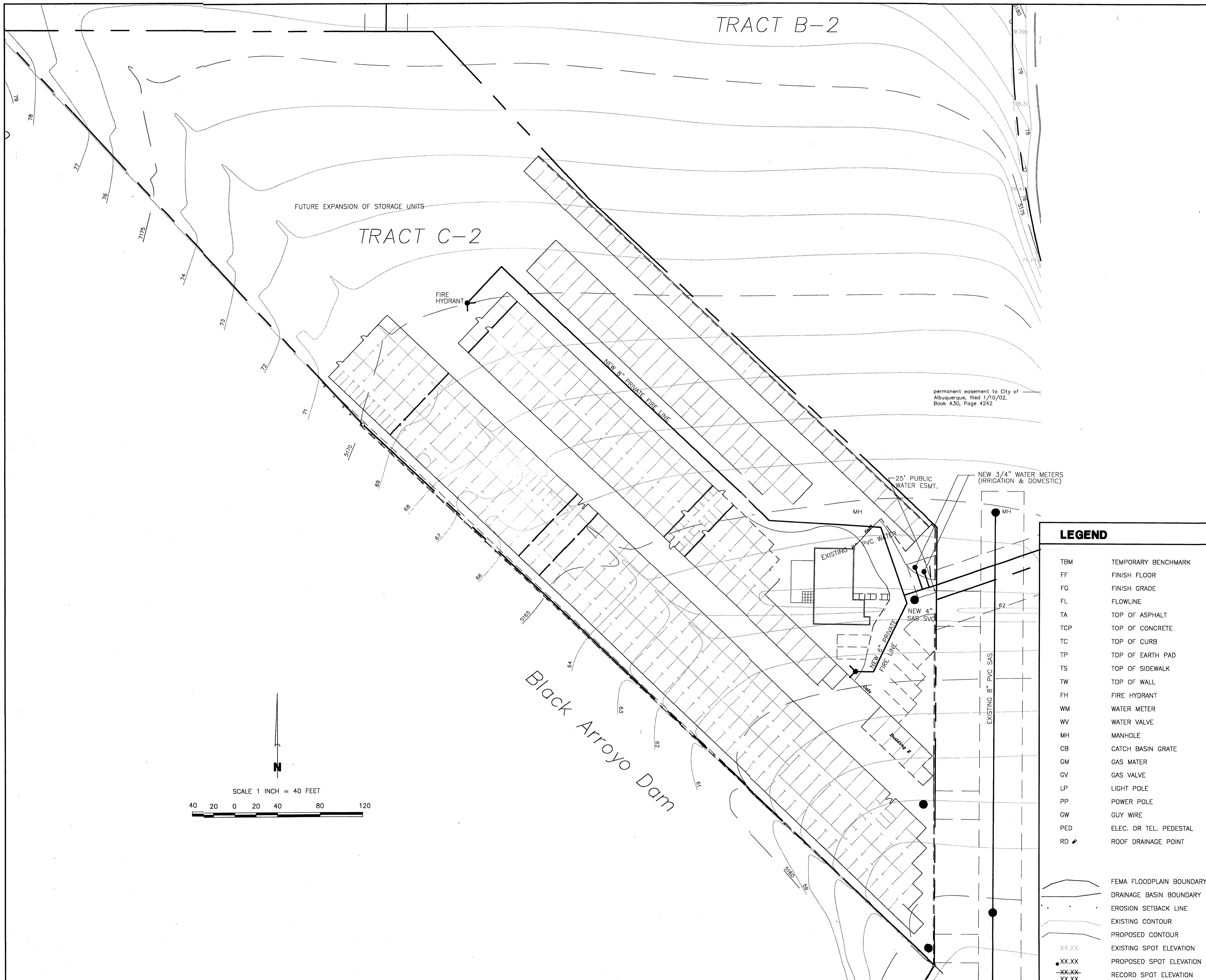


project title
VJW INC. STORAGE ALBUQUERQUE, NM

sheet title
CONCEPTUAL GRADING & DRAINAGE PLAN

sheet date 03/21/06 design by JJB project no. 0606

BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505)823-1344 FAX (505)821-9105



LEGAL DESCRIPTION

TRACT F-1, BLACK ARROYO DAM

PERMANENT BENCHMARK

ACS 5-A12 ELEVATION 5140.43 (NGVD 1929)

UTILITY NOTES

1. WATER, SANITARY SEWER, STORM DRAIN, POWER, GAS AND COMMUNICATIONS ARE AVAILABLE TO THE SITE AT ITS BOUNDARY OR IN A SHORT DISTANCE WITHIN THE SUBDIVISION BOUNDARY. NO OFFSITE (OUTSIDE THE SUBDIVISION BOUNDARY) CONSTRUCTION WILL BE REQUIRED.
2. COORDINATION OF FACILITY CONSTRUCTION MAY BE MADE THROUGH THE FOLLOWING:
 WATER AND SANITARY SEWER - NEW MEXICO UTILITIES
 POWER AND GAS - PUBLIC SERVICE CO. OF NEW MEXICO
 TELEPHONE - QWEST
 CABLE - COMCAST

LEGEND

TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT
(Symbol)	FEMA FLOODPLAIN BOUNDARY
(Symbol)	DRAINAGE BASIN BOUNDARY
(Symbol)	EROSION SETBACK LINE
(Symbol)	EXISTING CONTOUR
(Symbol)	PROPOSED CONTOUR
xx.xx	EXISTING SPOT ELEVATION
•xx.xx	PROPOSED SPOT ELEVATION
-xx.xx	RECORD SPOT ELEVATION
xx.xx	RECORD SPOT ELEVATION

no.	date	remarks	by
REVISIONS			

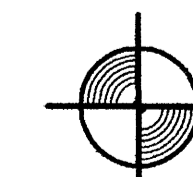
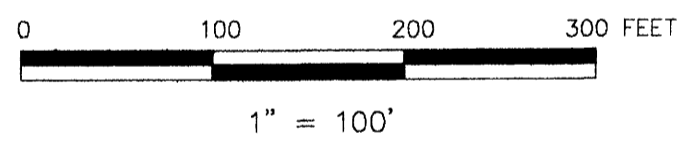
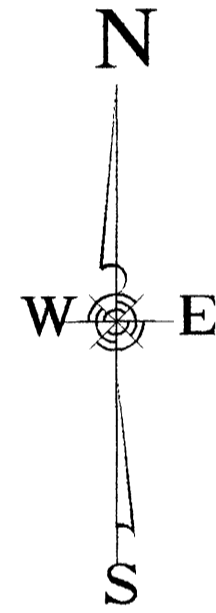
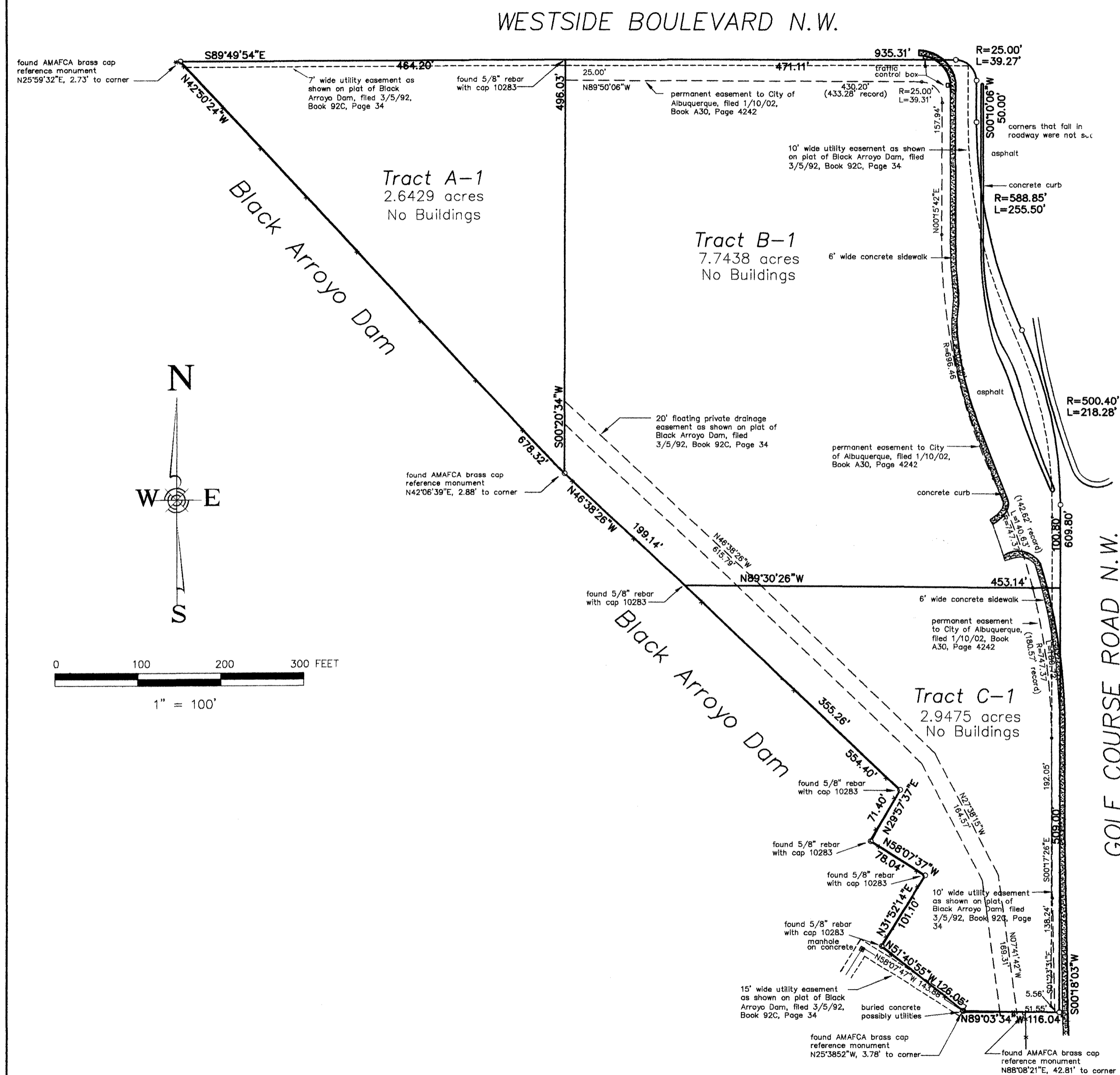
project title
**VJW INC. STORAGE
 ALBUQUERQUE, NM**

sheet title
**CONCEPTUAL
 UTILITY PLAN**

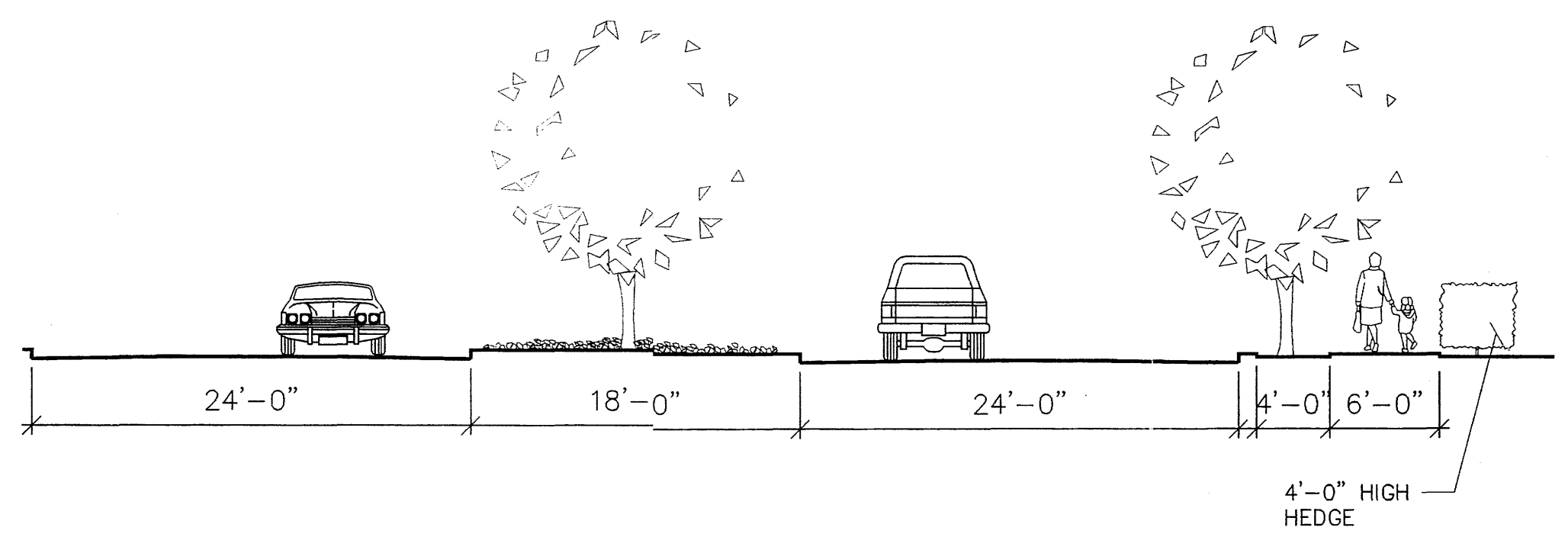
sheet date 03/21/06	design by JJB	project no. 0606
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B **BORDENAVE DESIGNS**
 P.O. BOX 91194, ALBUQUERQUE, NM 87199
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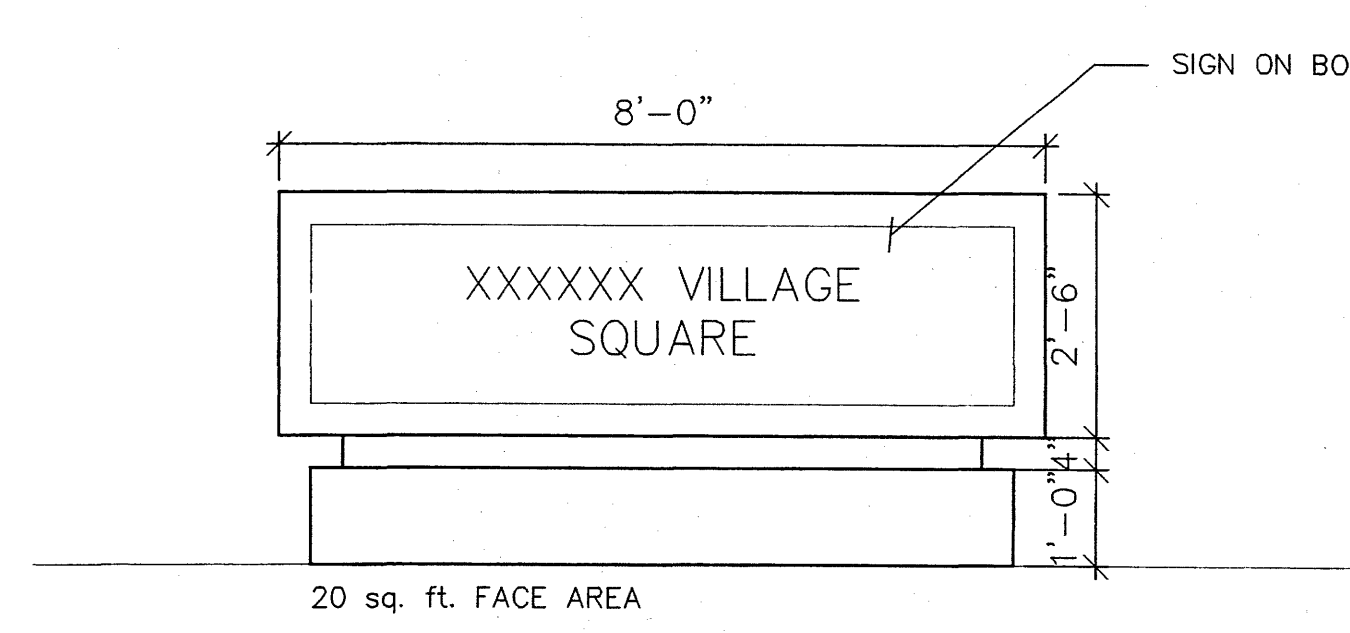
Improvement Sketch
 Tracts A-1, B-1 & C-1
 Black Arroyo Dam
 City of Albuquerque
 Bernalillo County, New Mexico
 February 2007



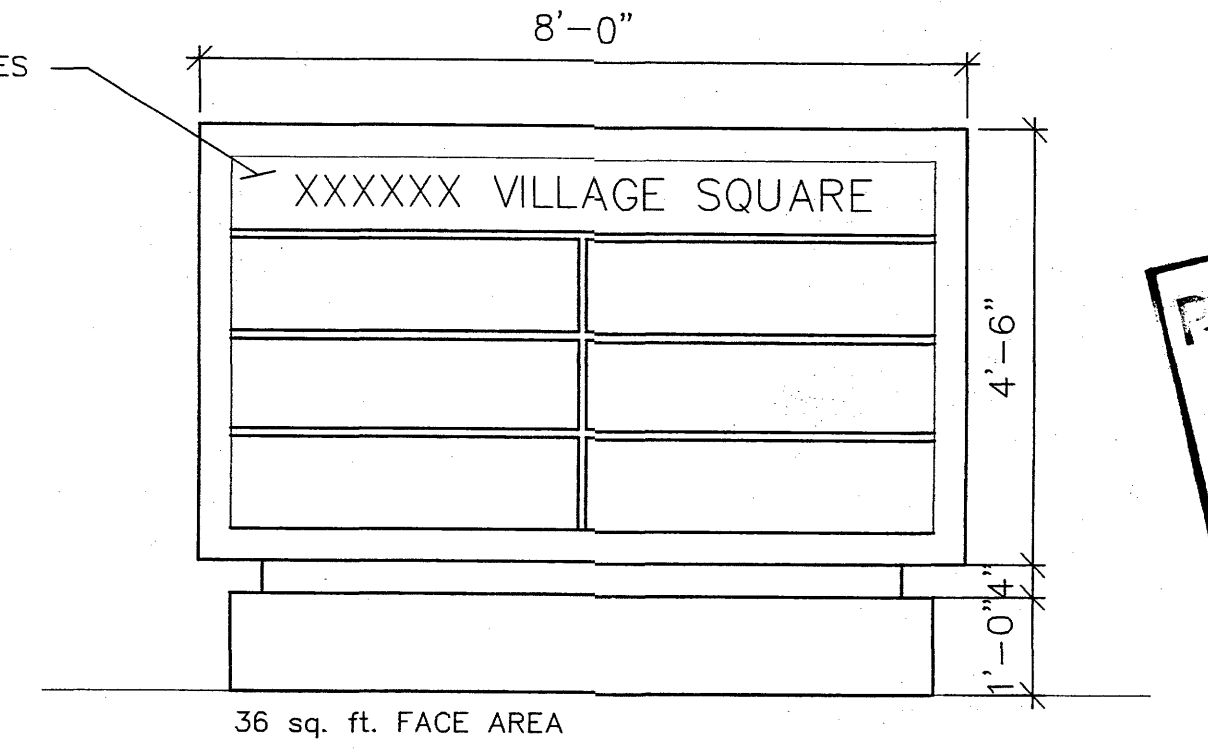
Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032



GOLF COURSE ROAD & WESTSIDE BLVD. — TYP. SECTION
SCALE 1/8" = 1'



SIGNAGE DETAIL — MONUMENT SIGN
SCALE 1/2" = 1'



SIGNAGE DETAIL — PROJECT SIGN
SCALE 1/2" = 1'

PRELIMINARY PLAT
APPROVED BY DRB
ON 3/22/07

LAND-USE ALLOCATIONS				
Zoning	Land Area Acres	Max. F.A.R.	Building Area g.s.ft.	Parking
C-2-SC	1.8911	0.30	24,713	TO MEET CITY REQUIREMENTS
C-2-SC	4.4311	0.30	57,906	
C-2-SC	2.2392	0.30	29,262	
C-2-SC	3.7000	0.30	64,469	
	12.2614			

* LAND USE OF PARCEL F-1 TO BE SELF STORAGE FACILITY

Irrigation System: An automatic underground irrigation system will be utilized to provide even and adequate water levels to all plant material. Water use shall be done in such a manner as to conserve its use and prevent any and all runoff from landscaping materials. Irrigation shall be restricted to early morning hours to conserve this limited resource.

Landscape Maintenance: Shall be the responsibility of the property owner.

SITE PLAN FOR SUBDIVISION STANDARDS

Land Use is limited to the permissive uses of the C-2, C-1 and O-1 zones. However, these criteria may be superseded by restrictions imposed by the Planning Commission at Site Plan for Subdivision Hearing.

Land Use Intensity is determined by the floor area ratios (F.A.R.) as shown on the site plan for subdivision.

Access and parking agreements to be shared by all adjacent parcels

Setbacks to the face of the building shall be:
30 feet at perimeter property lines.
15 feet at interior property lines.

Lot Size shall be at least one acre with at least "mean dimension" of one hundred and eighty feet.

Building Facade Materials will consist of natural or man-made stone-like materials (e.g., stucco, brick); glass with a surface reflectance not greater than 20% of incident light; and wood or non-reflective metal trim colored in substantial conformance with the general coloration of the structures. Colors of opaque materials shall be "earth-tone", similar to those indigenous to the local landscape.

Signs:
A freestanding project sign is permitted at each entrance to the project from an arterial street, in addition one project sign shall be permitted on the Westside Boulevard frontage, in the event no access is permitted. The project signs will be freestanding "monument"-type signs, the top of which shall not be more than six feet above adjacent grade, and the face area of which shall not exceed 75 square feet per face.

Each building site is limited to one freestanding "monument" sign not higher than 4 feet above adjacent grade, and not greater than 50 square feet in area per sign face and each C-2 parcel is limited to one building mounted sign per tenant of business, which shall not exceed 10% of the area of the front facade of elevation of each tenant or business space to which it is applied.

Signs may be illuminated in accordance with the City of Albuquerque's Sign Regulations, except that no illuminated sign shall be placed on the building facade most proximate to a residential area, or in any event, closer than 150 feet to the boundary to a residential zone.

Cross Access Easements shall provide access and parking for all adjacent tracts. Pedestrian connections shall be provided between parking isles, public sidewalks and buildings.

Parking Lot Landscaping shall consist primarily of deciduous trees. The lineal distance between planting islands in paved areas shall not exceed 85 feet.

Residential Buffer and Landscape Easement materials shall consist primarily of deciduous trees and in addition coniferous trees shall be used for year-round partial screening.

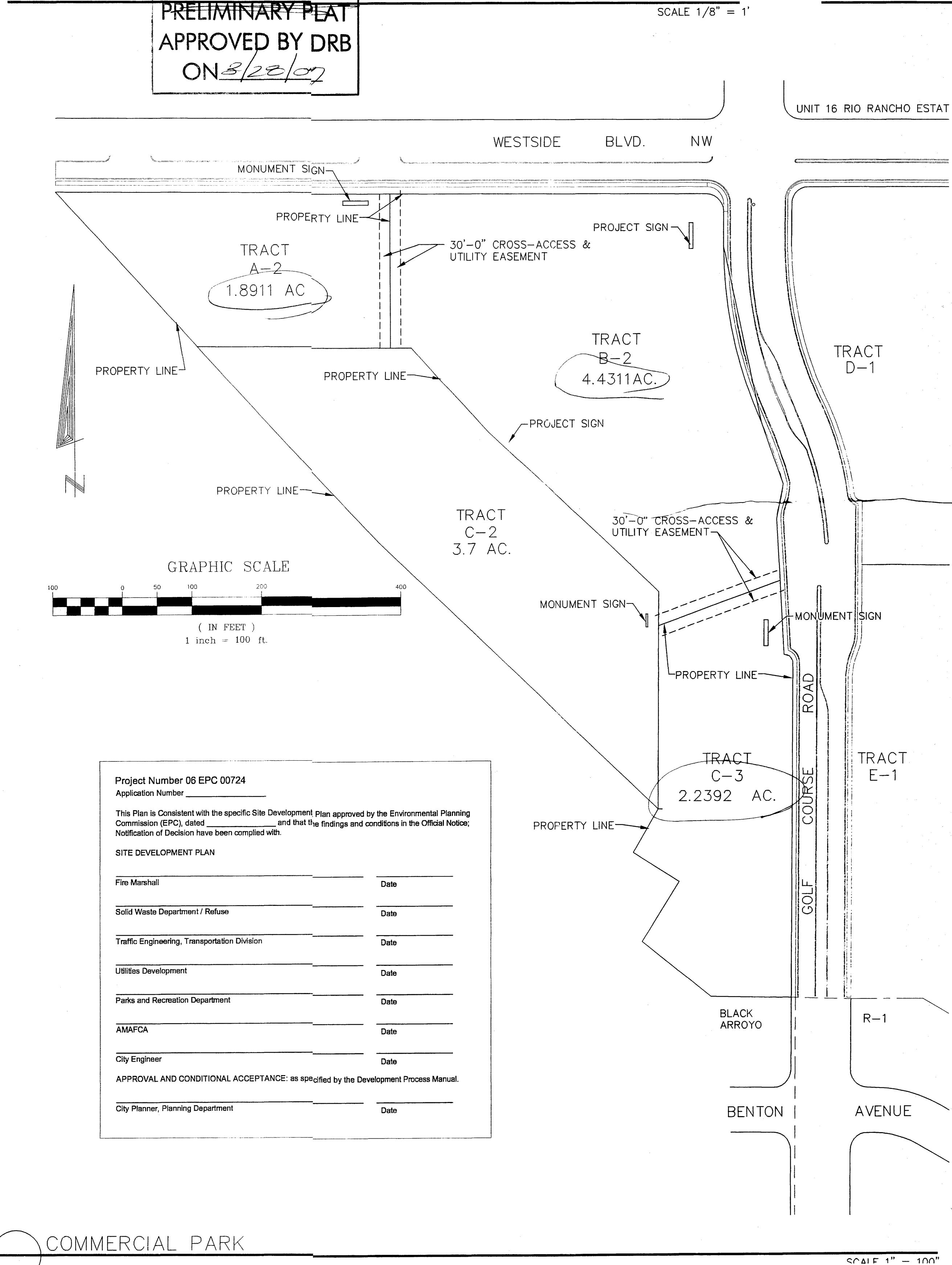
"Streetscape" Landscaping shall consist primarily of a combination of shrubs and deciduous trees in a ten foot wide setback area between the right-of-way line of the street and the face of the curb of an adjacent parking area. Tree location shall meet the requirements of the Street-tree Ordinance. Clear-sight triangle requirements must be met.

Transit and Pedestrian amenities to be provided by the developers of A-1, B-1, & C-1.

A minimum of 20% of the site area must be landscaped; in addition to which 10% of the paved area shall be landscaped.

Internal Street and Parking Lot Lighting shall meet the requirements of Section 14-16-3-9 of the Zoning Code; in addition, fixtures will be standardized in design, and of a size suited to their function. Lighting shall conform to "Night Sky Standards"

Service Areas such as loading docks, janitorial and machine rooms, and other service entrances and refuse collection facilities may not be located in or adjacent to the building facades most proximate to the boundaries of residential areas.



RESPONSE FOR COMPLIANCE TO "CONDITIONS" OF E.P.C. APPROVAL OF SITE PLAN FOR SUBDIVISION

- THE FOLLOWING SHALL BECOME PART OF THE "SITE PLAN FOR SUBDIVISION"
- ALL SUBSEQUENT SITE PLANS ON THE REMAINING TRACTS SHALL REQUIRE E.P.C. APPROVAL.
- THE USE OF TRACT F-1 IS CONDITIONAL.
- "SC" HAS BEEN ADDED TO THE ZONING DESIGNATION OF ALL TRACTS OF THIS SITE PLAN.
- EACH INDIVIDUAL SITE PLAN TO BE REVIEWED BY THE E.P.C. WILL ADDRESS THE FOLLOWING AND WILL COMPLY WITH ZONING CODE 14-16-1-5.
 - VEHICULAR INGRESS AND EGRESS
 - PEDESTRIAN INGRESS AND EGRESS
 - INTERNAL CIRCULATION
 - MAXIMUM BUILDING HEIGHT
 - MINIMUM BUILDING SETBACKS
- STANDARDS FOR SCREENING, WALLS & FENCES:
 - EACH INDIVIDUAL SITE PLAN TO BE REVIEWED BY THE E.P.C. WILL LIST AND SPECIFY WALL FINISHES, ROOFING MATERIALS, COLOR IF APPLICABLE, TYPES OF WALLS, FENCING AND SCREENS INCLUDING COLORS.
 - BARBED WIRE, CONCERTINA WIRE, CHAIN-LINK FENCING AND UNFINISHED CMU BLOCK SHALL BE PROHIBITED. COLOR CMU BLOCK WILL BE PERMITTED ONLY IF BROKEN BY HORIZONTAL BANDS OF CMU BLOCK OF A DIFFERENT TEXTURE AND COLOR.
- LIGHTING STANDARDS:
 - LIGHT FIXTURES SHALL BE FULLY SHIELDED.
 - HIGH-PRESSURE SODIUM LIGHTING AND UPLIGHTING ARE PROHIBITED.
 - THE HEIGHT OF LIGHT POLES SHALL BE MEASURED FROM FINISH GRADE TO TOP OF FIXTURE.
 - NOT USED.

STANDARD FOR PEDESTRIAN & BICYCLE ACCESS AND CIRCULATION:

 - SEE NOTE NO. 5
 - PEDESTRIAN CONNECTIONS SHALL BE PROVIDED BETWEEN ALL EXISTING AND/OR FUTURE TRACTS.
 - PEDESTRIAN CONNECTIONS OF TEXTURED, COLORED CONCRETE SHALL BE PROVIDED BETWEEN BUILDINGS AND PARKING AREAS.
 - RESTAURANTS SHALL PROVIDE OUTDOOR SEATING.

PARKING SHALL NOT EXCEED THE REQUIRED PARKING PLUS 10 %.
- LANDSCAPE STANDARDS:
 - THE LANDSCAPE STANDARDS SHALL LIST WATER USAGE AND ALLERGENIC POTENTIAL FOR ALL PLANT MATERIAL.
 - VARIETIES OF JUNIPER, A HIGH POLLEN PRODUCER, SHALL NOT BE INCLUDED.
 - CRABAPPLE, SYCAMORE (LONDON PLANE TREE) AND BRADFORD PEAR, HIGH WATER USE TREES, SHALL NOT BE INCLUDED.
 - BOXWOOD AND PRIVET, HIGH WATER USERS INAPPROPRIATE FOR ALBUQUERQUE'S CLIMATE SHALL NOT BE USED AS HEDGES. HEDGES SHALL BE OF XERIC PLANTS SUCH AS RUSSIAN SAGE OR BIG SAGE (ARTEMISIA).
 - BLUEGRASS AND FESCUE, HIGH WATER USE GRASSES, SHALL NOT BE USED IN THE SHOPPING CENTER EXCEPT FOR A SMALL TURF AREA AT A CARETAKERS RESIDENCE.
 - NOT LESS THAN 15% OF THE FUTURE LOT AREAS OF ANY TRACT SHALL BE LANDSCAPED. LANDSCAPE CALCULATIONS SHALL BE INDICATED ON EACH FUTURE SITE PLAN.

THE FOLLOWING PLANTS SHALL BE ADDED TO BROADEN THE LANDSCAPE PALETTE:

 - DESERT WILLOW, CHINESE PISTACHE, ROSEMARY, MEXICAN EVENING PRIMROSE, AND ROCKY MOUNTAIN PENSTEMON, WHICH ARE USED IN THE ASSOCIATED SITE PLAN FOR BUILDING PERMIT REQUEST (06EPC-00426).
 - ARIZONA SYCAMORE, CANADIAN CHOKO CHERRY, ENGLISH IVY, CHITALPA, APACHE PLUME, HONEY LOCUST, PURPLE ROBE LOCUST, (SKYLINE OR SHADER MASTER VARIETIES).
 - ADDITIONAL XERIC GRASSES (SUCH AS THREADGRASS, BLUE GAMMA GRASS, BLUE FESCUE) AND DESERT ACCENT PLANTS (SUCH AS HESPERALOE, SOTOL AND OCOTILLO).
 - ADDITIONAL PLANTS BUT NOT LIMITED TO THESE VARIETIES SUCH AS LAVENDER, THREE-LEAF SUMAC, CURLLEAF MOUNTAIN MAHOGANY, AUTUMN SAGE, FERNBUSH AND VITEX.
- UTILITY STANDARDS AND DESIGN: ROOFTOP UTILITY EQUIPMENT, MECHANICAL EQUIPMENT AND TRANSFORMERS AND TELEPHONE BOXES VIEWED FROM THE PUBLIC RIGHT OF WAY SHALL BE SCREENED.
- ARCHITECTURE AND DESIGN: UNMODIFIED, NON-SOUTHWESTERN FRANCHISE (SIGNATURE) ARCHITECTURE SHALL BE PROHIBITED.
- SINAGE STANDARDS:
 - THE STRUCTURE HOLDING THE MONUMENT TIGHT AND THE PROJECT SIGN SHALL BE COMPATIBLE WITH THE BUILDING ARCHITECTURE.
 - MONUMENT SIGNS SHALL NOT EXCEED 20 SF. OF SIGN FACE AREA AS SHOWN IN THE MONUMENT SIGN DETAIL.
 - BUILDING-MOUNTED SIGNAGE SHALL NOT EXCEED 8 % OF THE FACADE TO WHICH IT IS APPLIED.
 - POLE-MOUNTED SIGNS AND SIGNS SUPPORTED WITH WIRES SHALL BE PROHIBITED.

INTENTION OF DEVELOPMENT

The primary objective of the site development plan is to establish a cohesive, harmonious development in which there is a visual relationship of buildings to one another. The intention is not to restrict creativity but to provide a framework which will ultimately enhance the value of all properties. A mixture of "signature" buildings creates a chaotic environment in which no one benefits. Although development will occur at different times by different developers, a respect for the common southwestern, high desert context of the site will ensure a common architectural and landscape language.

ARCHITECTURAL DESIGN STANDARDS

The Site affords dramatic views to the Sandia and Manzano Mountains. Site design shall take advantage of this asset. Patios and plazas shall be designed to have views of the Manzano and Sandia Mountains to the greatest extent possible.

The Architectural Style of all buildings will be broadly defined as southwestern, neo-pueblo, Rio Grand Valley adobe style, New Mexico colonial, territorial style, etc. or a southwestern contemporary style as it relates to the previously mentioned historical architectural styles.

Building Design shall be architecturally integrated within the site and context of the commercial development with southwestern architecture per the West Side Strategic Plan.

Building Configuration, to the extent possible, should be in plaza-like development or other arrangements to avoid strip-type development. All restaurants are encouraged to provide outdoor dining.

The Primary Building Mass shall be of an earth-tone color, regardless of materials. Colors other than the earth-tone palette, shall be used only for accents and decorative elements and for the emphasis of certain design elements.

Exterior Building Materials should generally be non-reflective, cementitious in visual quality, no more than three major materials, excluding frames, trim, canopies, etc., shall be combined on any given building elevation. Glass will have a surface reflectance not greater than 20% of incident light and wood or non-reflective metal trim colored in conformance with the general coloration of the structures.

All Canopies and Out-Buildings shall be integrated into the building architecture.

Extraneous Building Equipment, such as mechanical equipment, electrical equipment, communication equipment, solar equipment, etc. should be hidden by parapet walls and/or screen walls to obscure from vision from the public right-of-way.

Parking Areas should be screened from public right-of-ways by means of four feet high shrubs or hedges but not in any way to restrict a drivers line of sight.

Parking Lot Lighting will be done by using 15'-0" high "Gardco Lighting" Glow top MAG 18-1or equal in earthtone color, with a maximum spacing of 65'-0" on centers.

Design Review for compliance with design guidelines, herein, will be done by the City of Albuquerque's Planning Department Staff.

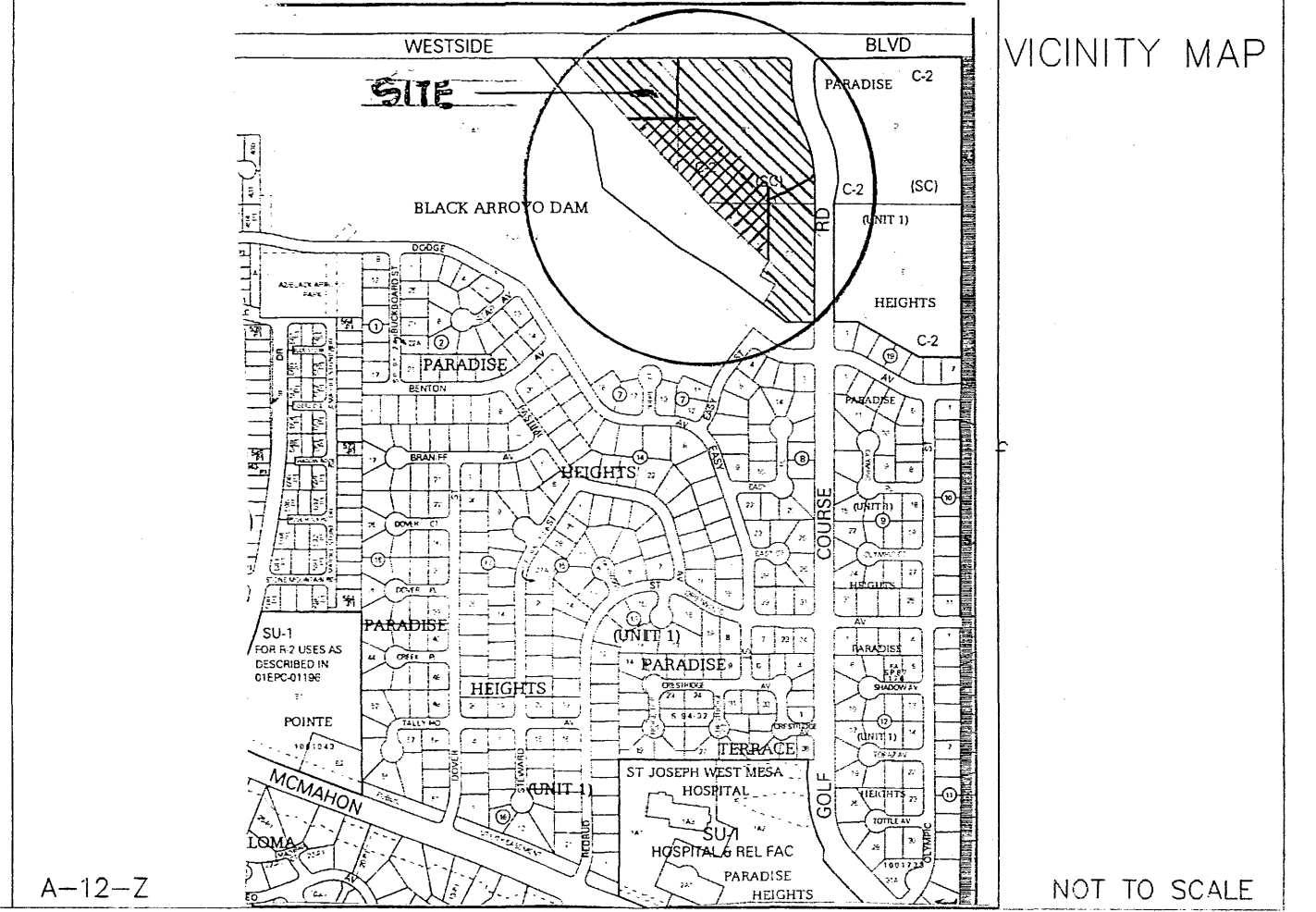
LANDSCAPE STANDARDS

Non-Organic Ground Cover.
At least 80% of ground cover will be non-organic Basic Gravel: Santa Fe Brown and sunset rose with weed barrier. Cobblestone accents: 6" to 8" cobblestone and Mass rock boulders.

Sod is to be used sparingly throughout landscaped areas as ground cover. Small patches of sod will be avoided for areas of maintenance and practicality of irrigation. Red fescue type sod will be utilized to keep watering levels within reasonable limits.

Irrigation System: An automatic underground irrigation system will be utilized to provide even and adequate water levels to all plant material. Water use shall be done in such a manner as to conserve its use and prevent any and all runoff from landscaping materials. Irrigation shall be restricted to early morning hours to conserve this limited resource.

Landscaping Maintenance: Shall be the responsibility of the property owner.



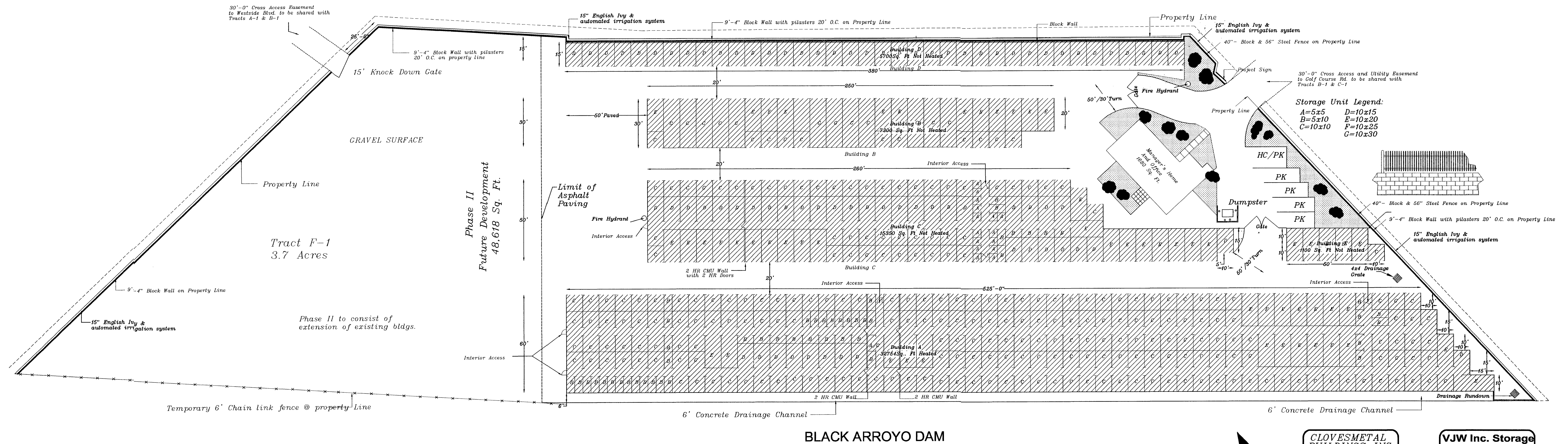
H. BARKER ARCHITECTS
ARCHITECTS & PLANNERS
289 GOLD AVENUE S.W., ALBUQUERQUE, NEW MEXICO 87102-8427/89.

DATE: 5-27-2006
REVISIONS:
11-07-06

SITE PLAN FOR
SUBDIVISION PURPOSES

CALABACILLAS
COMMERCIAL PARK

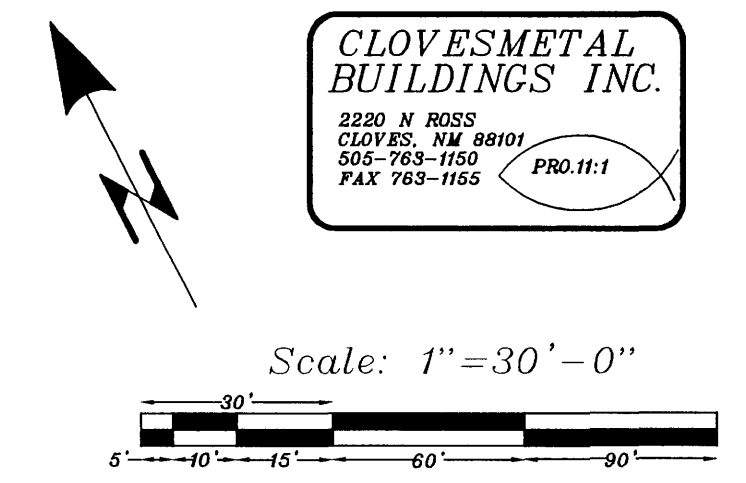
SHT. NO.
1
1 OF 1



BLACK ARROYO DAM

CLOVESMETAL BUILDINGS INC.
 2220 N ROSS
 CLOVES, NM 88001
 505-763-1150
 FAX 763-1155

VJW Inc. Storage Albuquerque
 OCT. 20, 2006
 REV. 11-07-06



SITE DEVELOPMENT PLAN FOR SELF STORAGE FACILITY

- TOTAL STORAGE AREA - 62,204 SQ. FT.
- TOTAL INCLUDES MANAGER'S AREA - 63,884 SQ. FT.
- TOTAL LANDSCAPED AREA - 5815 SQ. FT.
- TOTAL LAND AREA OF PHASE I - 11,224 SQ. FT.
- TOTAL ASPHALT PAVED AREA - 39,889 SQ. FT
- REQUIRED PARKING - 32 SPACES
- PARKING PROVIDED - 62 SPACES

PARKING CALCULATIONS

PARKING ON ONE SIDE OF ALL INTERIOR STREETS:
 STREET LENGTHS: 525 + 260 + 380 - 30 = 1153 LINEAR FEET / 20 FEET PER PARKING SPACE 56 SPACES ON STREETS + 5 SPACES AT CARETAKER'S AREA = TOTAL PARKING SPACES PROVIDED = 62.

NOTE TO BE ADDED:
 LIGHTING DETAIL: SEE ELEVATION OF GARAGE DOOR FACADES.
 PEDESTRIAN AND BICYCLES SEE NOTE NO. 7.

RESPONSE FOR COMPLIANCE TO "CONDITIONS" OF E.P.C. APPROVAL OF SITE PLAN FOR BUILDING PERMIT.

CONDITIONS:

1. THE FOLLOWING SHALL BECOME AN INTEGRAL PART OF "SITE PLAN FOR BUILDING PERMIT."
2. WALLS AND FENCES:
 - A) THE CMU WALL AROUND THE REFUSE ENCLOSED SHALL BE SIX FEET FROM FINISH GRADE TO TOP OF THAT WALL.
 - B) PILASTERS, EVERY 20 FT. SHALL BE ADDED TO THE WALL TO IMPROVE ITS QUALITY AND LESSEN THE FORTRESS FEELING.
 - C) PATIO FENCED AROUND THE CARETAKERS YARD SHALL BE LIGHT TAN CMU BLOCK.
 - D) THE CHAIN LINK FENCE SURROUNDING THE PHASE II FUTURE DEVELOPMENT SHALL BE REMOVED 3 YEARS FROM SEPTEMBER 21, 2006
 - E) THE CHAIN LINK FENCE SHALL EXTEND TO THE BUILDING AND STOP, AND THE BUILDING CAN BE USED AS A BOUNDARY - LEAVING THE 6 FT. DRAINAGE CHANNEL FREE AND USING LESS FENCING.
3. THE LIGHTING HAS BEEN ADDRESSED ON THE ELEVATIONS SHEET, ELEVATION AT TYPICAL GARAGE DOORS OF THE PREFAB STORAGE UNITS.
4. PEDESTRIAN AND BICYCLE ACCESS AND CIRCULATION: PEDESTRIAN AND BICYCLE ACCESS AND CIRCULATION IS NOT A REQUIREMENT OF THIS SPECIFIC PROJECT BECAUSE SELF-STORAGE IMPLIES TRANSPORTING ITEMS IN AND OUT OF THE UNITS USING A CAR OR A TRUCK.
5. MOTORCYCLE AND BICYCLE PARKING IS NOT REQUIRED FOR THE REASON STATED IN THE ABOVE NOTE.
6. THE ADDITIONAL LANDSCAPING HAS BEEN ADDED. SEE REVISED SITE PLAN.

Project Number 06 EPC 00725
 Application Number

This plan is Consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated and that the findings and conditions in the Official Notice: Notification of Decision have been compiled with.

SITE DEVELOPMENT PLAN

Fire Marshall	_____	Date	_____
Solid Waste Department / Refuse	_____	Date	_____
Traffic Engineering, Transportation Div.	_____	Date	_____
Utilities Development	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
AMAFCA	_____	Date	_____
City Engineer	_____	Date	_____
APPROVAL AND CONDITIONAL ACCEPTANCE: as applied by the Development Process Manual.			
City Planner, Planning Department	_____	Date	_____

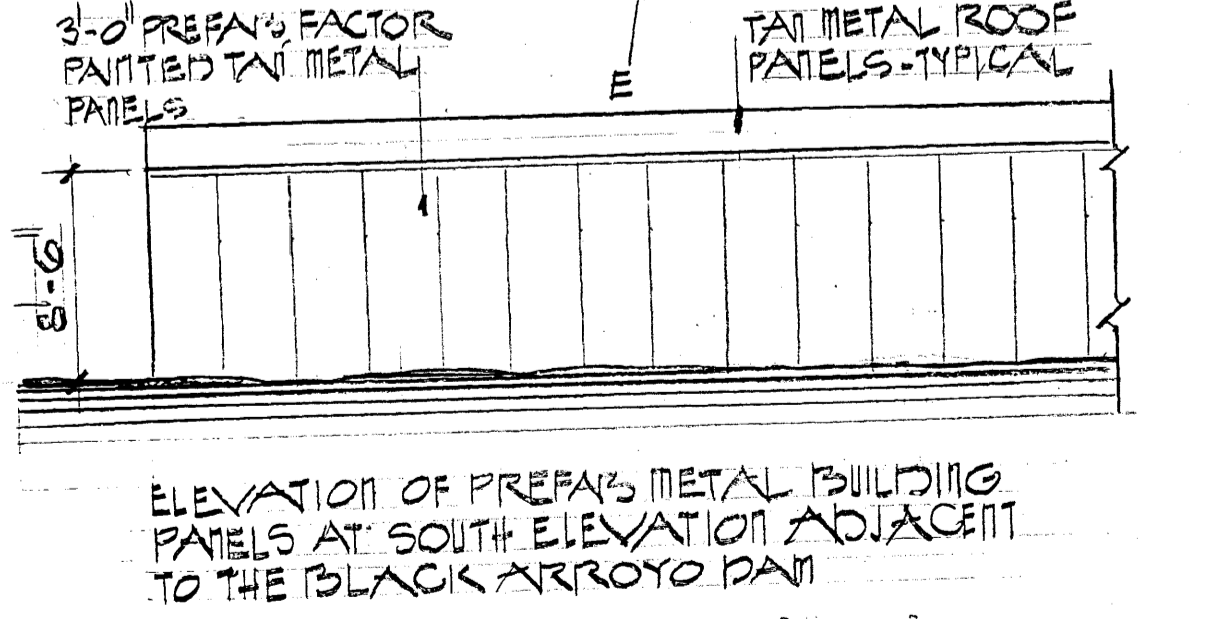
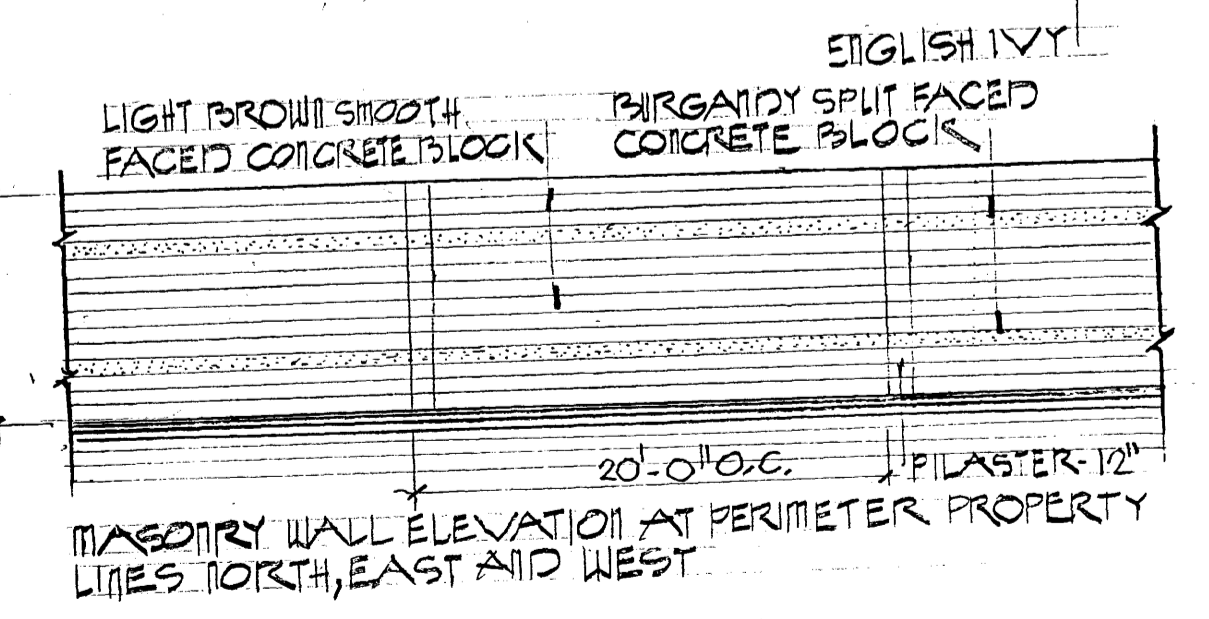
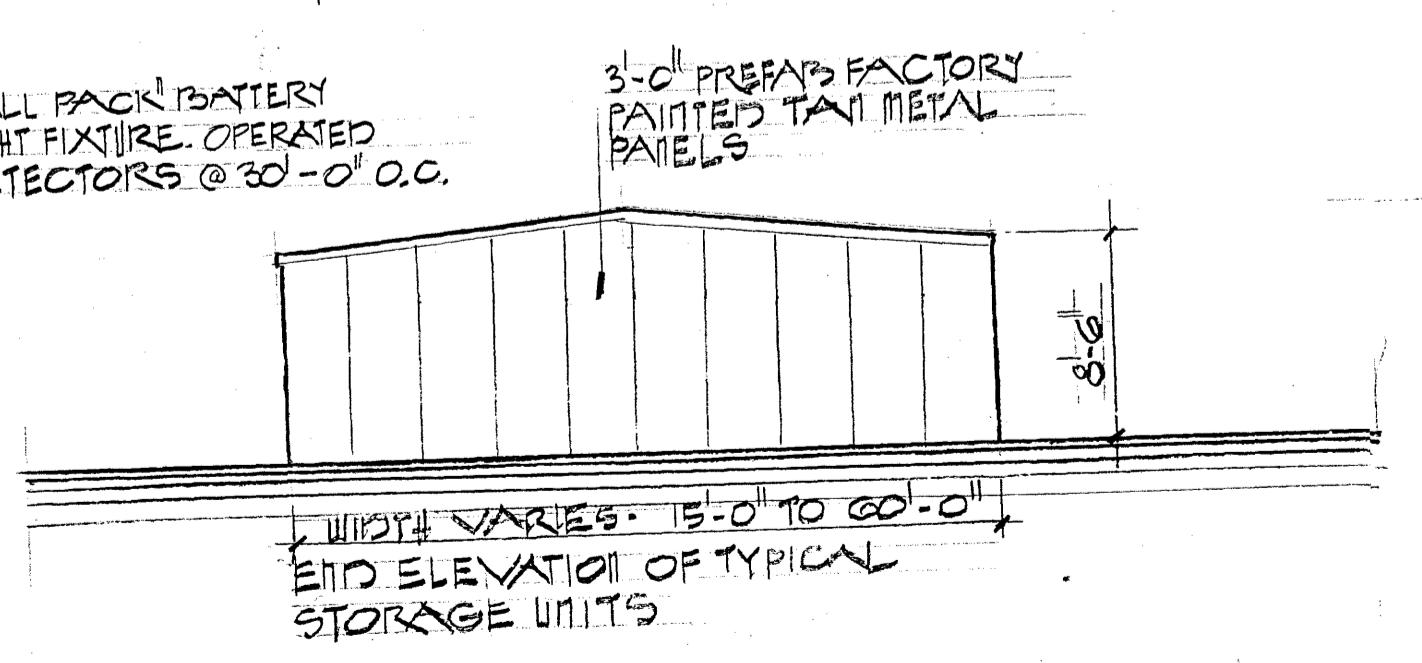
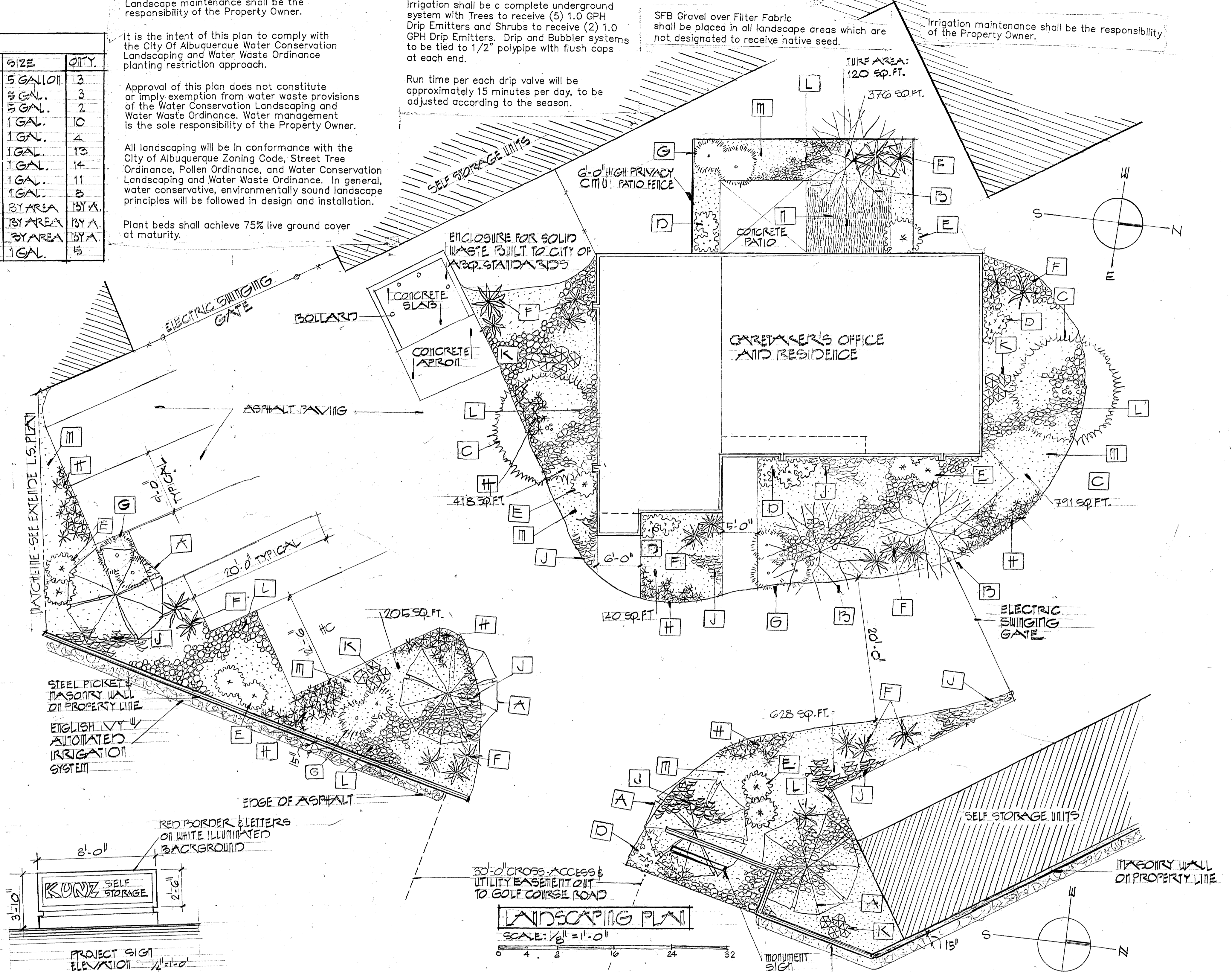
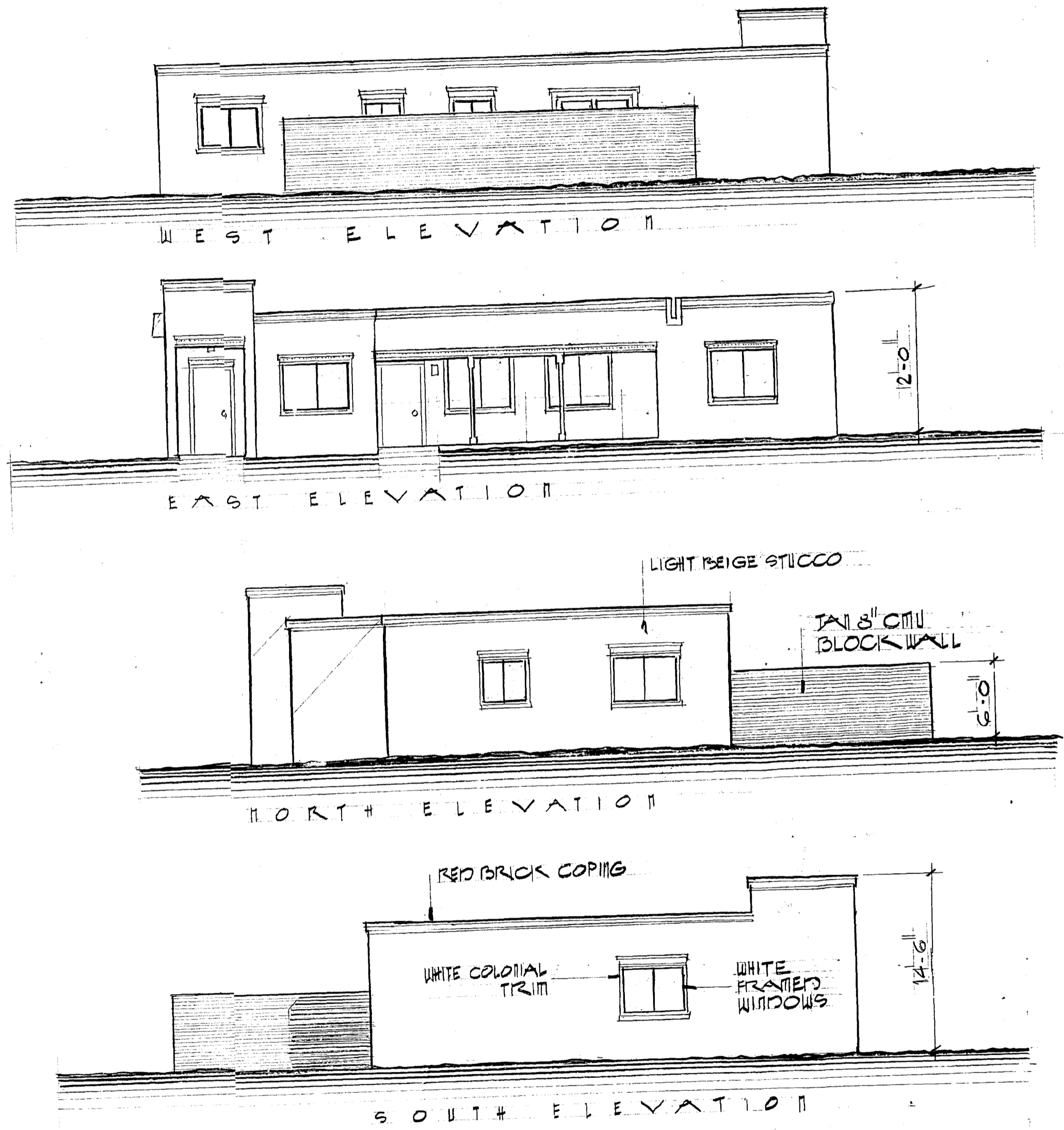
KEY	COMMON NAME	POTENTIAL NAME	SIZE	QTY.
A	DESERT WILLOW	CHILOPSIS LINEARIS	5 GAL.	3
B	CHINESE PISTACHE	PISTACIA CHINEENSIS	5 GAL.	3
C	AUSTRIAN PINE	PINUS NIGRA	5 GAL.	2
D	GRAY SANTOLINA	SANTOLINA CHAMAECYPARISSIS	1 GAL.	10
E	UPRIGHT ROSEMARY	ROSEMARINUS OFFICINALIS	1 GAL.	4
F	SOFT BLADE YUCCA	YUCCA PENNOLIA	1 GAL.	13
H	TEXICANEVENING PRIMROSE	OENOTHERA BERLANDIERI	1 GAL.	14
J	HARDY PURPLE ICEPLANT	DELOSPERMA COOPERI	1 GAL.	11
K	ROCKY MOUNTAIN PENSTEMON	PENSTEMON STRICTUS	1 GAL.	8
L	SUNSET ROSE GRAVEL		BY AREA	BY A.
M	SANTA FE BROWN GRAVEL		BY AREA	BY A.
N	BUFFALOGRASS	BOUTELOE DACTYLOIDES	BY AREA	BY A.
G	LANIDIA	LANIDIA DOMESTICA	1 GAL.	5

LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner.
 It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.
 Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.
 All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
 Plant beds shall achieve 75% live ground cover at maturity.

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.
 Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

SFB Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

Irrigation maintenance shall be the responsibility of the Property Owner.



ELEVATIONS SCALE: 1/8" = 1'-0"

VJW STORAGE FACILITY
 ALBUQUERQUE, NEW MEXICO
 5.31.06

REVISED 6-7-06 - 11-7-06