



Handwritten scribbles and initials

DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

9/13/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-01067 (P&F)	Project # 1004985
Project Name SUNPORT PARK	
Agent: Wayjohn Surveying Inc.	Phone No.: 255-2052

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/23/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: x lot of drainage easment.
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): record plat
- 15 apprise period.
- _____
- _____

Project Number 1004985

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required. —OK**
- Copy of recorded plat for Planning.**

Called agent for P.M. 1/5 9/13/04



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>06DRB-00916 (SBP)</u>	Project # <u>1004985</u>
Project Name <u>SUNPORT PARK</u>	
Agent: <u>Jim Medley</u>	Phone No.: <u>292-3514</u>

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/23/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: CITY DWG #'S for work within R/W
-
-
-
-
- UTILITIES: _____
-
-
-
- CITY ENGINEER / AMAFCA: _____
-
-
-
- PARKS / CIP: _____
-
-
-
- PLANNING (Last to sign): REVIEW 15 day appeal period
-
-
-

*2 Blue Sheets
P/F & SBP*

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

[Handwritten signature]

Project Number 1004985



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-01067 (P&F)
Project Name SUNPORT PARK
Agent: Wayjohn Surveying Inc.

Project # 1004985
Phone No.: 255-2052

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/23/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: x lot of drainage easment.
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): record plat
- 15 apprae period.
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.** OK
- Copy of recorded plat for Planning.**

Project Number 1004985



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 23, 2006

6. Project # 1004985
06DRB-00916 Major-SiteDev Plan BldPermit

JIM MEDLEY ARCHITECT AIA agent(s) for TNJ GROUP OF COMPANIES request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 4-B, **SUNPORT PARK**, zoned IP, located on SUNPORT BLVD SE, between UNIVERSITY BLVD SE and I-25 containing approximately 5 acre(s). [REF: Project# 1001067] [*Deferred from 7/19/06 & 8/2/06*] (M-15)

At the August 23, 2006, Development Review Board meeting, the site plan for building permit was approved with final sign off delegated to Transportation Development for City drawing numbers for work within the right-of-way and to Planning for 3 copies of the site plan.

06DRB-01067 Minor-Prelim&Final Plat Approval

WAYJOHN SURVEYING INC agent(s) for TNJ GROUP OF COMPANIES request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 4-B, **SUNPORT PARK**, zoned IP, located on WOODWARD RD SE, between TRANSPORT ST SE and SUNPORT PLACE SE containing approximately 5 acre(s). [REF: 06DRB-00916] [*Deferred from 8/2/06*] (M-15)

The preliminary and final plat was approved with final sign off delegated to City Engineer for cross lot drainage easement and Planning for 15-day appeal period and to record the plat.

If you wish to appeal this decision, you must do so by September 7, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.



OFFICIAL NOTICE OF DECISION

PAGE 2

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

A handwritten signature in cursive script, appearing to read "Sheran Matson", is written over the typed name.

for Sheran Matson, AICP, DRB Chair

Cc: TNJ Group of Companies, 12386 Lomas Blvd NE, 87112
Wayjohn Surveying Inc., 330 Louisiana Blvd NE, 87108
Jim Medley Architect AIA, 3100 Christine St NE, 87111
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004985 AGENDA#: 6 DATE: 8/23/06

1. Name: Jim Medley Address: 3100 CHRISTWELDE Zip: 87111

2. Name: Tom Johnston Address: Way John Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004985

AGENDA ITEM NO: 6

SUBJECT:

Site Plan for BP
pre-plan / Final plat

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) **(SP-BP)** **(FP)** TO: (UD) **(CE)** **(TRANS)** (PRKS) **(PLNG)**

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: AUGUST 23, 2006

4985

DXF Electronic Approval Form

DRB Project Case #: 1004985

Subdivision Name: SUNPORT PARK BLOCK 4B LOTS 4A & 4B

Surveyor: THOMAS D JOHNSTON

Contact Person: THOMAS D JOHNSTON

Contact Information: 255-2052

DXF Received: 7/28/2006

Hard Copy Received: 8/17/2006

Coordinate System: NMSP Grid (NAD 27)


Approved

8.18.2006
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc 4985 to agiscov on 8/17/2006 Contact person notified on 8/17/2006

Referred 8/23/06

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004985 AGENDA#: 2 DATE: 8.2.06

1. Name: _____ Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____



Intera Incorporated
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

#2
DATE: July 31, 2006

TO: Sheran Matson, Planning Department – Design Review Board

COPY: Rhonda Methvin, Environmental Health Department
Kevin Curran, Legal Department
WayJohn Surveying, Inc.

FROM: James Joseph, INTERA Inc.

SUBJECT: Project No. 1004985: Sunport Park, Lot 4, Block 4-B, located on Woodward Rd.
SE between Transport St. SE and Sunport Place SE (06DRB-01067 Minor-
Prelim&Final Plat Approval)

There is the potential for the above-named project to be impacted by the presence of landfill gas generated by two former landfills (Yale and Schwartzman Landfills). The developers of this site are required to follow the most current version of the "City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones." A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 2, 2006

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 10:50 A.M.
B. Changes and/or Additions to the Agenda
C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1004994**
06DRB-00947 Major-Vacation of Pub Easement
06DRB-00949 Major-Preliminary Plat Approval
06DRB-00948 Minor-Temp Defer SDWK
- MARK GOODWIN & ASSOCIATES PA agent(s) for J D HOME BUILDER CORPORATION request(s) the above action(s) for all or a portion of Tract(s) B-2-B-1, PARADISE HEIGHTS (to be known as **SEVILLE SUBDIVISION, UNIT 7A**) zoned R-LT, located on KAYENTA BLVD NW, between CALLE GANDIA NW and NAVAJO DR NW containing approximately 2 acre(s). [REF: PROJECT #1001306] (A-10) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED**

8/2/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/31/06 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION: IF THE FINAL PLAT IS APPROVED AFTER 10/31/06 THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENT WITH ALBUQUERQUE PUBLIC SCHOOLS (APS). THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

2. ~~Project # 1004985~~
06DRB-00916 Major-SiteDev Plan
BldPermit

JIM MEDLEY ARCHITECT AIA agent(s) for TNJ GROUP OF COMPANIES request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 4-B, **SUNPORT PARK**, zoned IP, located on SUNPORT BLVD SE, between UNIVERSITY BLVD SE and I-25 containing approximately 5 acre(s). [REF: Project# 1001067] *[Deferred from 7/19/06 & 8/2/06]* (M-15) **DEFERRED AT THE AGENT'S REQUEST TO 8/23/06.**

- 06DRB-01067 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for TNJ GROUP OF COMPANIES request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 4-B, **SUNPORT PARK**, zoned IP, located on WOODWARD RD SE, between TRANSPORT ST SE and SUNPORT PLACE SE containing approximately 5 acre(s). [REF: 06DRB-00916] *[Deferred from 8/2/06]* (M-15) **DEFERRED AT THE AGENT'S REQUEST TO 8/23/06.**

3. **Project # 1004091**
06DRB-00942 Major-Preliminary Plat approval
06DRB-00943 Minor- Temp Deferral of Sidewalk

RIO GRANDE ENGINEERING agent(s) for IRVING PARTNERS LLC request(s) the above action(s) for all or a portion of Unplatted Lands of Amalgamated Partners (to be known as **DESERT GARDEN ESTATES SUBDIVISION**), zoned RLT, located on IRVING BLVD NW between RAINBOW RD NW and PASEO DEL OESTE NW containing approximately 12 acre(s). *[Deferred from 7/26/06 & 8/2/06]* (A-9) **DEFERRED AT THE AGENT'S REQUEST TO 8/9/06.**

4. **Project # 1003612**
06DRB-00737 Major-Preliminary Plat Approval
06DRB-00738 Major-Vacation of Pub Right-of-Way
06DRB-00739 Minor-Temp Defer SDWK

THOMPSON ENGINEERING CONSULTANTS INC agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 37, TOWN OF ATRISCO GRANT (to be known as **SUNDORO SOUTH, UNIT 9**) zoned SU-2 R-LT, located on ENDEE RD NW, between 98TH ST NW and 94TH ST NW containing approximately 6 acre(s). [REF: 04DRB-01868] *[Deferred from 6/21/06 & 6/28/06 & 7/12/06 & 7/26/06]* (J-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/2/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/14/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1004565**
06DRB-01058 Minor-SiteDev Plan Subd/EPC
06DRB-01059 Minor-SiteDev Plan BldPermit/EPC
06DRB-00908 Minor-Prelim&Final Plat Approval
- WAYJOHN SURVEYING INC agent(s) for DOYLE & TRICARIO INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 7, 8 & 9, Block(s) 16-A, SANTILLA PLACE (to be known as **CAGUA TOWNHOMES**) zoned R-LT residential zone, located on CAGUA DR NE between COPPER AVE NE and GRAND AVE NE containing approximately 1 acre(s). **[Catalina Lehner, EPC Case Planner] [Deferred from 8/2/06] (K-18) DEFERRED AT THE AGENT'S REQUEST TO 8/16/06.**
6. **Project # 1003993**
06DRB-01006 Minor-SiteDev Plan BldPermit/EPC
06DRB-01005 Minor-Prelim&Final Plat Approval
06DRB-01003 Minor-Vacation of Private Easements
- RHOMBUS PA INC agent(s) for GLOBAL STORAGE request(s) the above action(s) for all or a portion of Lot(s) A-37-1, NORTHEAST UNIT, TOWN OF ATRISCO GRANT (to be known as **GLOBAL STORAGE**) zoned SU-1-O-1, located on COORS BLVD NW, between SEQUOIA NW and ST JOSEPHS DR NW containing approximately 4 acre(s). [REF: 05EPC-00369, 05EPC-00370] **[David Stallworth, EPC Case Planner] [Deferred from 7/19/06 & 7/26/06] (G-11) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/2/06 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND WATER METER RELOCATION AND PLANNING FOR DAVID STALLWORTH'S INITIALS AND 3 COPIES OF THE SITE PLAN. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT. THE VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

7. **Project # 1002478**
06DRB-01063 Minor-Final Plat
Approval

JOHN KUSIANOVICH MEMBER LLC agent(s) for PASEO PARTNERSHIP LLC request(s) the above action(s) for all or a portion of Tract(s) T-4, VISTA DEL NORTE SUBDIVISION (to be known as **BLUE SKY BUSINESS PARK**) zoned M-2 heavy manufacturing zone, located on EL PUEBLO NE between EDITH NE and JEFFERSON NE containing approximately 23 acre(s). [REF: 03DRB00232, 05DRB01343, 05DRB01344, 06DRB00509] (D-16) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

8. **Project # 1004977**
06DRB-01066 Minor-Prelim&Final Plat
Approval

JEFF MORTENSEN & ASSOCIATES agent(s) for AIRPORT TECHNICAL CENTER LIMITED request(s) the above action(s) for all or a portion of Lot(s) 6B-2 & 8B (to be known as **TRACTS A, B, C, D & E, AIRPORT TECHNICAL CENTER**) zoned M-2 heavy manufacturing zone, located on UNIVERSTY BLVD SE, between SUNPORT BLVD SE and INTERSTATE 25 containing approximately 11 acre(s). [REF: 06DRB00898, 06DRB00899] (N-15) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/2/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/19/06 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION OF FINAL PLAT: A NEW PUBLIC DRAINAGE EASEMENT FOR THE NEW STORM DRAIN IS REQUIRED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

9. **Project # 1004076**
06DRB-01064 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for JOHN EDGE, HILTON AVENUE LOFTS request(s) the above action(s) for all or a portion of Lot(s) 6, **HILTON AVENUE LOFTS**, zoned R-LT residential zone, located on HILTON AVE NE between PARSIFAL ST NE and HENDRIX RD NE containing approximately 1 acre(s). [REF: 05DRB01403] (G-20) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD FOR VACATION AND AGIS DXF FILE.**

10. **Project # 1004461**
06DRB-01065 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for PAUL LUCERO request(s) the above action(s) for all or a portion of Tract(s) A & B, **LANDS OF PAUL LUCERO**, zoned RA-2 residential and agricultural zone, located on LOS ANAYAS RD NW between GABALDON RD NW and LOS LUCEROS RD NW containing approximately 1 acre(s). [REF: 05DRB01519] (H-12) **THE PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

11. **Project # 1005037**
06DRB-01068 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for DUNCAN MILLOY request(s) the above action(s) for all or a portion of Lot(s) 6, Block(s) 1, **FITZGERALD ADDITION**, zoned R-1 residential zone, located on FITZGERALD RD NW, between CANDELARIA RD NW and 4TH ST NW containing approximately 1 acre(s). (G-14) **THE PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

12. **Project # 1004970**
06DRB-01070 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS INC agent(s) for PERFORMANCE TOOL & EQUIPMENT request(s) the above action(s) for all or a portion of Lot(s) 26-A, Block(s) 4, **WHITE CITY ADDITION**, zoned C-3 heavy commercial zone, located on 4TH ST NW, between MENAUL BLVD NW and PHOENIX NW containing approximately 1 acre(s). [REF: 06DRB00871] *[Deferred from 8/2/06]* (H-14) **DEFERRED AT THE AGENT'S REQUEST TO 8/9/06.**

13. **Project # 1005038**
06DRB-01069 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS INC agent(s) for SAGE RETAIL LLC request(s) the above action(s) for the southerly portion of Tract(s) 466, 467 and 468 TOWN OF ATRISCO GRANT, UNIT 7 (to be known as **TRACT A, SAGE ARCADA**) zoned C-1 neighborhood commercial zone, located on SAGE RD SW between UNSER BLVD SW and COREL DR SW containing approximately 3 acre(s). *[Indef deferred from 8/2/06]* (L-10) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

14. **Project # 1005039**
06DRB-01071 Minor-Sketch Plat or
Plan

LAND DEVELOPMENT CONSULTANTS LLC agent(s) for ERNEST BACA, KENYON PLASTERING request(s) the above action(s) for all or a portion of Lot(s) 17, Block(s) 7, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP, located on SAN PEDRO DR NE between FLORENCE AVE NE and GLENDALE AVE NE containing approximately 1 acre(s). (B-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. **Project # 1002701**
06DRB-01051 Minor-Sketch Plat or
Plan

MARIO RODRIGUEZ agent(s) for GUADALUPE
JUAN CARLOS AGUILAR request(s) the above
action(s) for all or a portion of Lot(s) 6 & 7, Block(s)
12, **LOWER BROADWAY ADDITION**, zoned SU-2
MR, located on TOPEKA ST SE between SAN JOSE
AVE SE and ALAMO AVE SE containing
approximately 1 acre(s). [REF: 03ZHE-00885] (M-14)
**ABOVE REQUEST WAS REVIEWED AND
COMMENTS WERE GIVEN.**

16. Approval of the Development Review Board Minutes for July 26, 2006. **THE DRB MINUTES
FOR JULY 26, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:50 A.M.



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004985

AGENDA ITEM NO: 2

SUBJECT:

Final Plat
Preliminary Plat
Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments on Site Plan for Building Permit.
Minor plat comments.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

8/23/06

APPROVED __; DENIED __; DEFERRED X; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: AUGUST 2, 2006



 COPY


INTERA Incorporated
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: August 24, 2006

TO: Jim Medley, Architect, AIA

COPY: Rhonda Methvin, Environmental Health Department
Kevin Curran, Legal Department
✓ Sheran Matson, Design Review Board
Zoning Enforcement/Building Review and Plan Check, Planning Department
Tushar Patel, Sunport 786, LLC
Martin Vinyard, Vinyard & Associates, Inc.

FROM: Jim Joseph, P.E., INTERA Inc. 

SUBJECT: Approval of Landfill Gas Assessment for Project No. 1004985, Proposed Staybridge Suites, Lot 4(B), Block 4B, Sunport Park Subdivision, at 1300 Sunport Place SE, Albuquerque, New Mexico

INTERA Incorporated (INTERA), in its role as the Albuquerque Environmental Health Department's (AEHD) landfill gas contractor, has reviewed reports and documents associated with the Landfill Gas Assessment completed for the above-referenced development. INTERA has found that the recommendations made by Vinyard & Associates, Inc. (V&A) in their report entitled *Landfill Gas Survey, La Quinta Inn & Suites [sic], 1300 Sunport Place, SE, Albuquerque, New Mexico*, dated January 23, 2006, and related correspondence to AEHD dated August 11, 2006; along with the acceptance of these recommendations by Tushar Patel of Sunport 786, LLC a TNJ Group of Companies, in a signed letter (dated August 21, 2006) in which Sunport 786, LLC agrees to:

- 1) implement V&A's recommendations, and
- 2) acknowledges that implementation of V&A's recommendations is a condition of obtaining development approval and a building permit

satisfy AEHD's concern that associated potential risk, both present and future, from landfill gases has been addressed.

Because the above issues have been addressed, the AEHD supports approval of the landfill gas recommendations. The development may proceed through the Planning Department process assuming all other Planning Department requirements have been met.



Y900 D

BEFORE BUILDING PERMITS CAN BE SUBMITTED TO THE BUILDING PERMIT AND PLAN REVIEW SECTION, THE PLANS MUST BE SUBMITTED TO AEHD FOR REVIEW AND APPROVAL. BOTH SETS OF PLANS MUST BE SUBMITTED TO AEHD. A LANDFILL DISCLOSURE STATEMENT AND SIGNATURE BLOCK FOR AEHD SHOULD BE INCLUDED ON BOTH SETS OF PLANS ON THE FIRST SHEET.

Also, upon completion of construction, the AEHD must receive a stamped certification letter from a New Mexico professional engineer stating that the construction of the project has been completed in compliance with the risk abatement measures as detailed on approved construction plans.

Any changes in the original design of the risk abatement measures (as approved by the AEHD) shall be coordinated with the landfill gas professional engineer and AEHD **prior** to construction of the change.

Copies of the landfill certification documentation will be submitted to the City's Environmental Health and Planning Departments and maintained in their files.




Intera Incorporated
One Park Square
6501 Americas Parkway NE
Suite 820
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: August 22, 2006

TO: Sheran Matson, Planning Department
Design Review Board

COPY: Rhonda Methvin, Albuquerque Environmental Health Department
Kevin Curran, Albuquerque Legal Department
Jim Medley, Architect

FROM: Jim Joseph, P.E., INTERA Inc. 

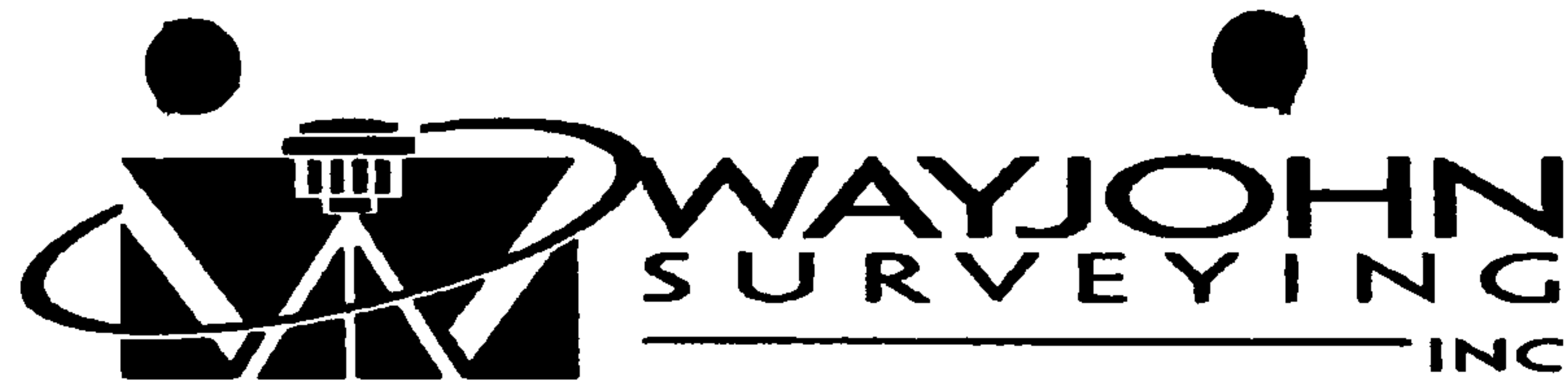
SUBJECT: Project No. 1004985, Design Review Board Plans, Proposed Staybridge Suites,
Lot 4(B), Block 4B, Sunport Park Subdivision, at 1300 Sunport Place SE,
Albuquerque, New Mexico

INTERA Incorporated (INTERA), in its role as the Albuquerque Environmental Health Department's (AEHD's) landfill gas contractor, has reviewed the plans prepared for the Design Review Board (DRB) that were provided by the Jim Medley, Architect, AIA for the above-referenced development proposed at 1300 Sunport Place SE on Lot 4 (also referenced as Lot 4B and Tract A), Block 4B, Sunport Park Subdivision. INTERA, in conjunction with the opinions of Ms. Methvin of the AEHD, has determined that the plans meet requirements of the City's *Interim Guidelines* and that the project can proceed through DRB if all other City requirements are met. Plans for building permit must still be submitted to the AEHD for review and approval.

Any changes in the original design of the risk abatement measures (as approved by the AEHD) shall be coordinated with the landfill gas professional engineer and AEHD **prior** to construction of the change.

Please note that in accordance with the *Interim Guidelines*, a New Mexico professional engineer must inspect the construction of the landfill gas mitigation structures/devices and provide a stamped certification letter stating that the construction of the project has been completed in compliance with the risk abatement measures as detailed on approved construction plans. A certificate of occupancy will not be issued without this certification.

Copies of the landfill certification documentation will be maintained in the Environmental Health Department's files.



330 Louisiana Blvd., N.E. • Albuquerque, NM 87108 • Phone: (505) 255-2052 • Fax: (505) 255-2887

August 1, 2006

Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Minor Preliminary/Final Plat of Lots 4-A and 4-B, Block 4-B, Sunport Park (Project 1004985)

To Whom It May Concern:

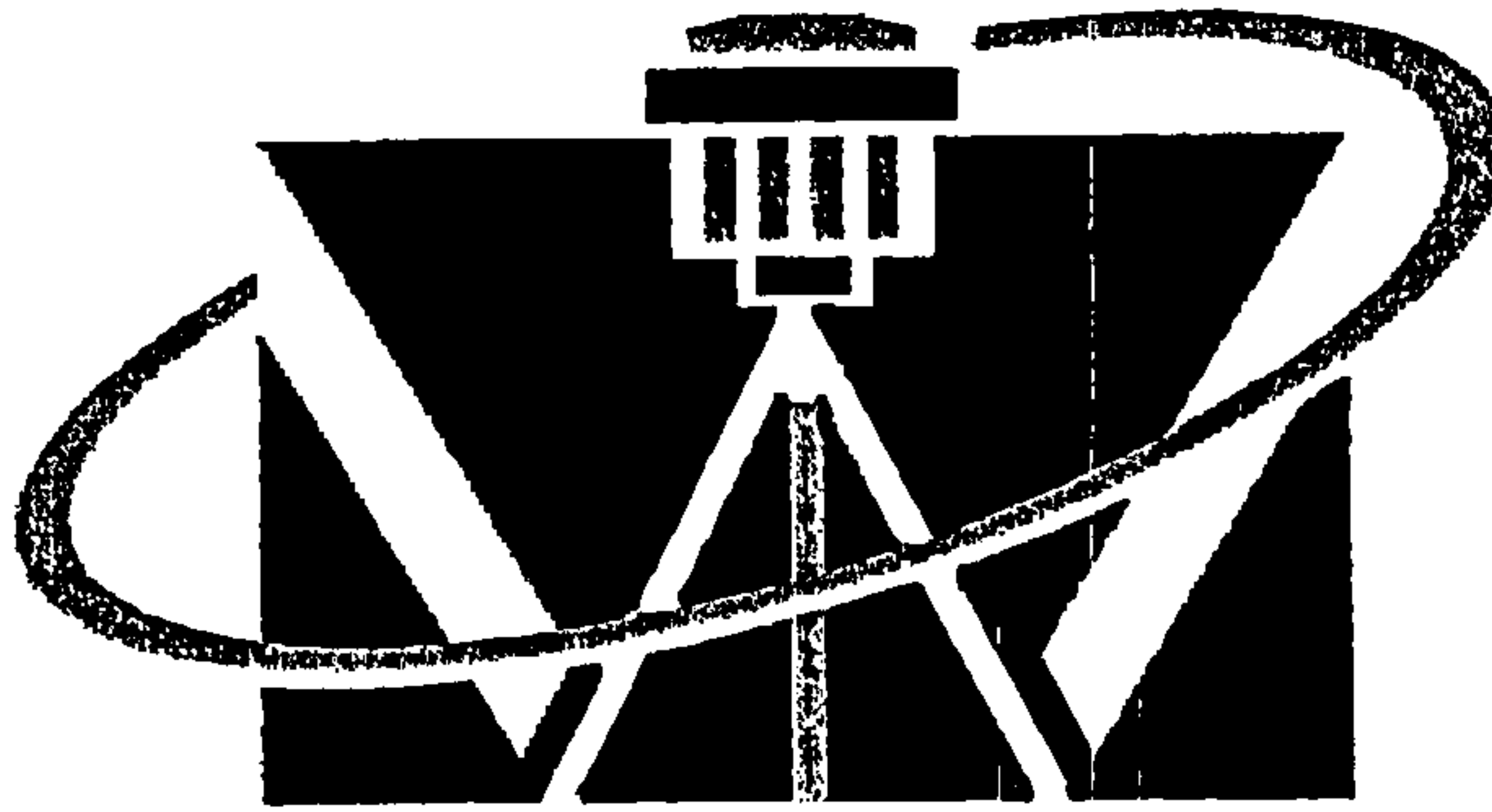
We have submitted a preliminary and final minor subdivision plat proposing to create two lots from one existing lot. This submittal is in support of a DRB site plan for building permit. The existing site is vacant. The proposed subdivision will contain a hotel and restaurant pad on the east lot. The west lot will remain undeveloped at this time. This parcel is currently zoned IP. The site plan has been deferred until August 23, 2006. We would like to request a deferral until August 23, 2006 as well, so that the plat and site plan will be concurrent.

Thank you for your time in considering this matter. If you have any questions, please give me a call at the above number.

Regards,

A handwritten signature in black ink, appearing to read "Tim R. Johnson". The signature is fluid and cursive, with a prominent initial "T" and "J".

Tim R. Johnson for Thomas D. Johnston, PS, PE
President, Wayjohn Surveying Inc.



WAYJOHN SURVEYING INC

330 Louisiana Boulevard, NE ♦ Albuquerque, NM 87108
(505) 255-2052 ♦ Fax: (505) 255-2887
Toll Free: 1-888-212-2052 ♦ email: wayjonsurv@aol.com

“Serving Albuquerque and New Mexico for over 25 years”

Fax Transmittal

From: TIM Date: 8/1/06 Pages: 2
To: CLAIRE SENDVA Fax No.: 924-3864
Company: CITY OF ALBUQUERQUE

Urgent For Review Please Comment Please Reply Please Recycle

Message: DEFERRAL REQUEST PROJECT 1004985

If you have received this transmission in error, or if there were problems in transmission, please contact us at the number(s) above. Thank you and have a great day!



Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING	Z
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation & Zone Establishment	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> Sector Plan	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> Zone Change	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Text Amendment	
SITE DEVELOPMENT PLAN	P	APPEAL / PROTEST of...	A
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Decision by: DRB, EPC,	
<input type="checkbox"/> ...for Building Permit		LUCC, Planning Director or Staff,	
<input type="checkbox"/> IP Master Development Plan		ZHE, Zoning Board of Appeals	
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: TNJ GROUP OF COMPANIES (TAJIDIN GILANI) PHONE: 220-5555
 ADDRESS: 12386 LOMAS BLVD NE FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87112 E-MAIL: _____
 Proprietary interest in site: OWNER
 AGENT (if any): WAYJOHN SURVEYING, INC. PHONE: 255-2052
 ADDRESS: 330 LOUISIANA BLVD NE FAX: 255-2887
 CITY: ALBUQUERQUE STATE NM ZIP 87108 E-MAIL: WAYJOHN SURVEY@AOL.COM

DESCRIPTION OF REQUEST: MINOR PRELIMINARY/FINAL PLAT TO CREATE TWO LOTS

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 4 Block: 4-B Unit: _____
 Subdiv. / Addn. SUNPORT PARK
 Current Zoning: IP Proposed zoning: SAME
 Zone Atlas page(s): M-15 No. of existing lots: 1 No. of proposed lots: 2
 Total area of site (acres): 4.9054 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? N/A
 UPC No. 1 015 055 158 156 30305 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: WOODWARD RD SE
 Between: TRANSPORT ST SE and SUNPORT PLACE SE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): S-97-18
1004985 (06DRB-00916)

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 7.25.06
 (Print) THOMAS D. JOHNSTON _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised September 2001

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB - 01067</u>	<u>PIF</u>	<u>5(3)</u>	\$ <u>285.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CWF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>August 2, 2006</u>	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ <u>305.00</u>

[Signature] 7/25/06
 Planner signature / date

Project # 1004985

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Infrastructure list if required (**verify with DRB Engineer**) **NO INTERNAL ROUTING**

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

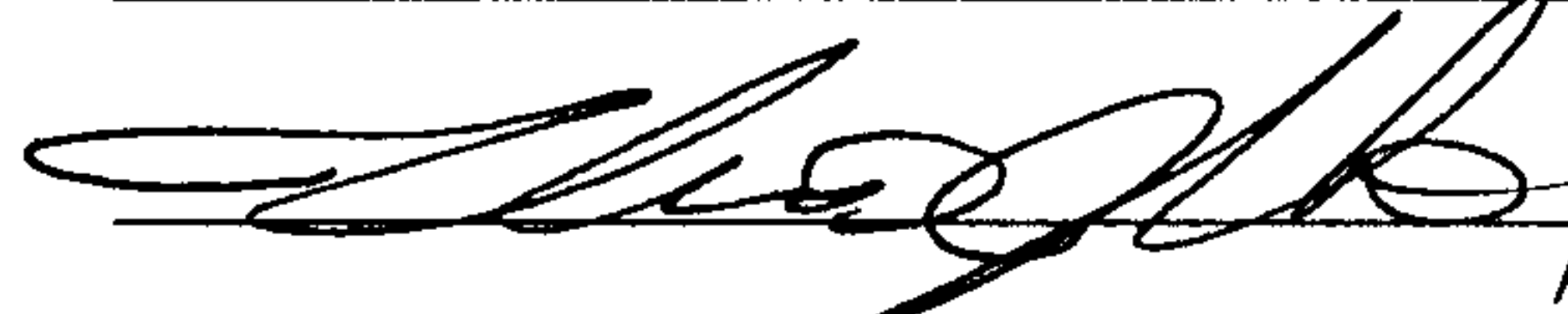
AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

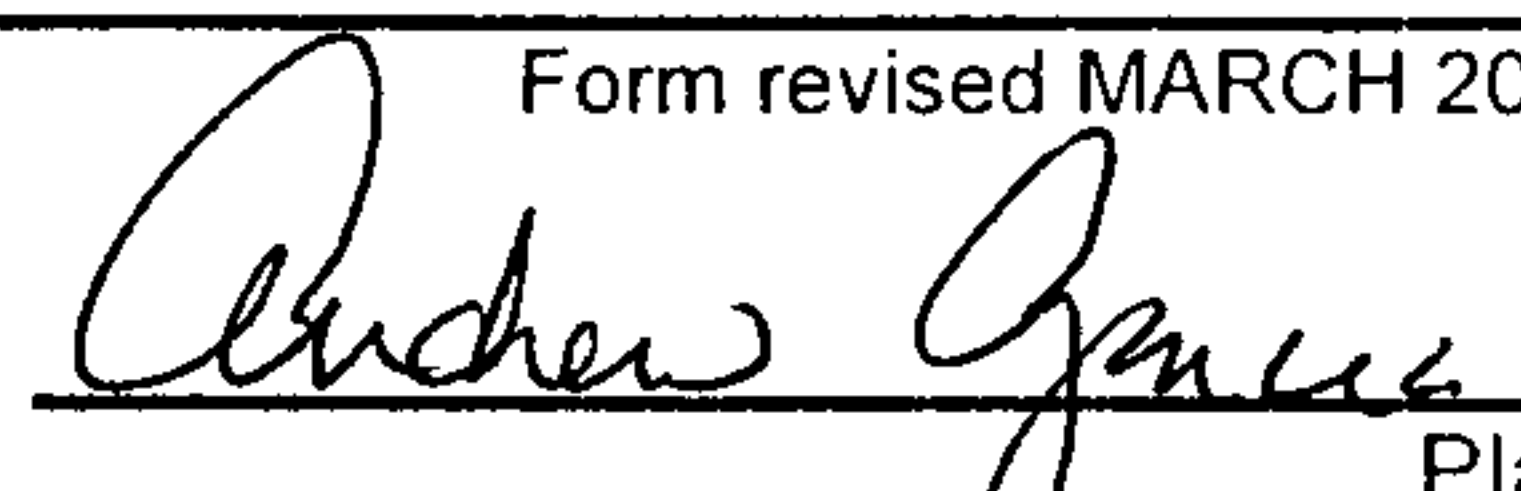
THOMAS D. JOHNSTON (AGENT)
Applicant name (print)

Applicant signature / date 7.25.06



Form revised MARCH 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
06 DRB - - - - - 01067


Planner signature / date 7/25/06
Project # 1004985



330 Louisiana Blvd., N.E. • Albuquerque, NM 87108 • Phone: (505) 255-2052 • Fax: (505) 255-2887

July 25, 2006

Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Minor Preliminary/Final Plat of Lots 4-A and 4-B, Block 4-B, Sunport Park (Project 1004985)

To Whom It May Concern:

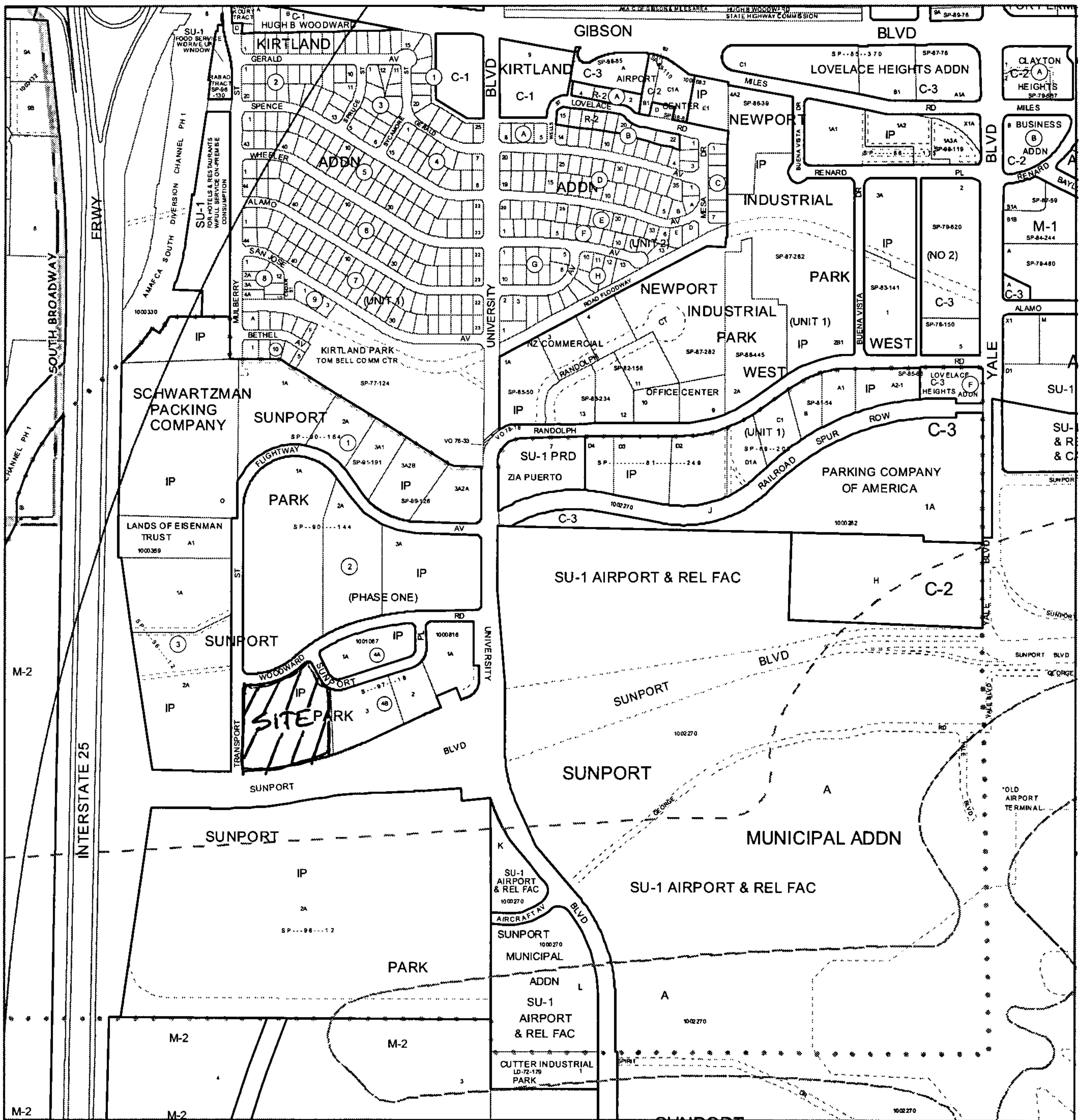
I am submitting a preliminary and final minor subdivision plat proposing to create two lots from one existing lot. This submittal is in support of a DRB site plan for building permit. The existing site is vacant. The proposed subdivision will contain a hotel and restaurant pad on the east lot. The west lot will remain undeveloped at this time. This parcel is currently zoned IP.

Thank you for your time in considering this matter. If you have any questions, please give me a call at the above number.

Regards,

A handwritten signature in black ink, appearing to read "Thomas D. Johnston", written in a cursive style.

Thomas D. Johnston, PS, PE
President, Wayjohn Surveying Inc.



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 3/14/2006

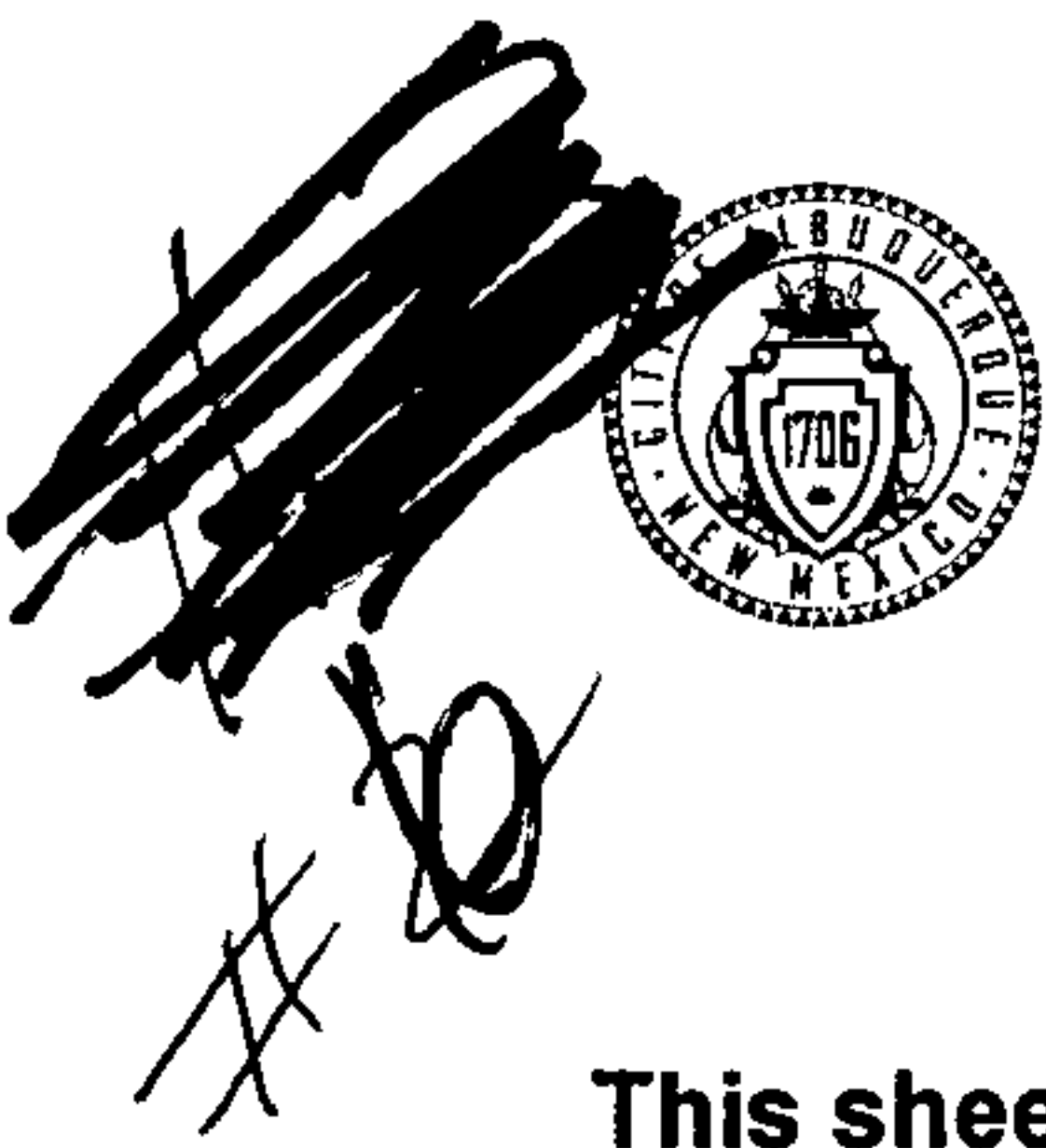
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
M-15-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



Complete 10/4/06 Ag.

DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00916 (SBP)
Project Name SUNPORT PARK
Agent: Jim Medley

Project # 1004985
Phone No.: 292-3514

Project Number 1004985

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/23/06 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: CITY DWG #'S for WORK WITHIN R/W

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): 3 copies 15 day appeal period

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

~~XXXXXXXXXX~~

2. **Project # 1002375**
06DRB-00902 Major-Vacation of Pub
Right-of-Way
06DRB-00903 Major-Vacation of Public
Easements
- JACKS HIGH COUNTRY agent(s) for BARRY & SANDY HOPKINS request(s) the above action(s) for all or a portion of Tract(s) A, B, J & K, **THE PALISADES ADDITION**, located on LOMA HERMOSA DR NW, between BLUEWATER NW and YUCCA DR NW containing approximately 1 acre(s). [REF: 02DRB-01852] *[Deferred from 7/19/06]* (J-11) **DEFERRED AT THE AGENT'S REQUEST TO 8/16/06.**
3. **Project # 1004985**
06DRB-00916 Major-SiteDev Plan
BldPermit
- JIM MEDLEY ARCHITECT AIA agent(s) for TNJ GROUP OF COMPANIES request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 4-B, **SUNPORT PARK**, zoned IP, located on SUNPORT BLVD SE, between UNIVERSITY BLVD SE and I-25 containing approximately 5 acre(s). [REF: Project# 1001067] *[Deferred from 7/19/06]*- (M-15) ~~DEFERRED AT THE AGENT'S REQUEST TO 8/2/06.~~
4. **Project # 1000045**
06DRB-00919 Major-Vacation of Public
Easements
06DRB-00920 Minor-Prelim&Final Plat
Approval
06DRB-00921 Minor- SiteDev Plan for
Subd
- TIERRA WEST LLC agent(s) for SAM'S EAST INC request(s) the above action(s) for Tract(s) 3B2-A & 3A4-A-1, **RENAISSANCE CENTER**, zoned SU-1 FOR C-2, located on RENAISSANCE BLVD NE, between ALEXANDER BLVD NE and CULTURE DR NE containing approximately 15 acre(s). [REF: 05DRB-00030, 05DRB-00313, 06EPC-00285] (F-16) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RECIPROCAL CROSS ACCESS EASEMENTS FOR ALL LOTS AND PLANNING FOR 15-DAY APPEAL PERIOD AND TO RECORD. THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

5. **Project # 1003102**
06DRB-00832 Major-Preliminary Plat
Approval
06DRB-00837 Minor-Sidewalk Waiver
06DRB-00838 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 Du/Acre), located on LAGRIMA DE ORO NE, between JUAN TABO NE and MORRIS ST NE containing approximately 2 acre(s). [REF: 04DRB-00236, 06EPC-00146, 06EPC-00147, 05DRB-00911] [*Deferred from 7/12/06*] (F-21) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/19/06 AND APPROVAL OF THE GRADNG PLAN ENGINEER STAMP DATED 6/8/06 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: IF THE FINAL PLAT IS APPROVED AFTER 10/31/06 THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS). THE HOME OWNER'S ASSOCIATION PRESIDENT SHALL SIGN THE FINAL PLAT. IF THERE IS NO HOME OWNER'S ASSOCIATION PRESIDENT THE OWNER CAN SIGN. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

- 06DRB-00935 Minor-SiteDev Plan
Subd/EPC
06DRB-00936 Minor-SiteDev Plan
BldPermit/EPC

INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER, (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 DU/acre) located on JUAN TABO BLVD NE, between MONTGOMERY BLVD NE and LAGRIMA DE ORO RD NE containing approximately 2 acre(s). [REF: 05DRB-00911, 06EPC-00146, 06EPC-00147] [**David Stallworth, EPC Case Planner**] [*Deferred from 7/12/06*] (F-21) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE VACATION OF THE 35-FOOT ROADWAY AND PUBLIC UTILITY EASEMENT AND 3 COPIES OF THE SITE PLAN. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE VACATION OF THE 35-FOOT ROADWAY AND PUBLIC UTILITY EASEMENT AND 3 COPIES OF THE SITE PLAN.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1005023**
06DRB-01010 Minor-SiteDev Plan
BldPermit

DON DUDLEY ARCHITECT agent(s) for KEITH CHESHIRE, RIO GRANDE PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) 56, **ALAMEDA BUSINESS PARK**, zoned SU-2-IP/EP, located on PASEO ALAMEDA NE, between CALLE ALAMEDA NE and VISTA ALAMEDA NE containing approximately 1 acre(s). [REF: PROJECT # 1000624] (C-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR BUILD NOTES AND PLANNING FOR ADDITIONAL LANGUAGE ON SIGNATURE BLOCK AND 3 COPIES OF THE SITE PLAN.**

7. **Project # 1002651**
06DRB-01011 Minor-Amnd SiteDev Plan
BldPermit

ADVANCED ENGINEERING & CONSULTANTS agent(s) for DEVALMONT VINEYARDS INC request(s) the above action(s) for all or a portion of Lot(s) 25-A, Block(s) 15, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 for IP, located on INTERSTATE 25 FRONTAGE ROAD between CARMEL AVE NE and CORONA AVE NE containing approximately 2 acre(s). [REF: DRB-93-78, ZA-93-38, ZA-93-91] (C-18) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

8. **Project # 1004820**
06DRB-01007 Minor-SiteDev Plan
BldPermit/EPC
06DRB-01008 Minor-Prelim&Final Plat
Approval
06DRB-01009 Minor-Ext of SIA for Temp
Defer SDWK

FANNING BARD TATUM ARCHITECTS agent(s) for AQUATIC CONSULTANTS INC request(s) the above action(s) for all or a portion of Tract(s) D-1-B, Adobe Wells Subdivision (to be known as **AQUATIC CONSULTANTS OFFICE BUILDING**) zoned C-2, located on IRVING BLVD NW and EAGLE RANCH RD NW and containing approximately 3 acre(s). [REF: 06EPC-00470, DRB-95-33] [Carmen Marrone, EPC Case Planner] (B-13) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR CARMEN MARRONE'S INITIALS, VACATION OF THE 10-FOOT PUBLIC UTILITY EASEMENT AND 3 COPIES OF THE SITE PLAN. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/19/06 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: CHANGE "SEWER EASEMENTS" TO "PRIVATE SEWER EASEMENTS", ADD ITEM 4 TO "PURPOSE OF PLAT" AND BOB GAY'S SIGNATURE FOR NMU INC ON THE PLAT. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. THE EXTENSION OF SIA FOR TEMPORARY DEFERRAL OF SIDEWALKS 06DRB01009 WAS WITHDRAWN AT THE AGENT'S REQUEST.**

9. **Project # 1003012**
06DRB-00991 Minor-AmendedSiteDev
Plan BldPermit/EPC

WILLIAM A MCCONNELL ARCHITECT agent(s) for BEN PADILLA, TOWER ROAD BAPTIST CHURCH request(s) the above action(s) for all or a portion of Tract(s) 430-A, **ATRISCO GRANT, UNIT 3**, zoned SU-1 special use zone, located on 86TH ST SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 2 acre(s). [REF: 06EPC-00609] [Petra Morris, EPC Case Planner] (L-9) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

10. **Project # 1003993**
06DRB-01006 Minor-SiteDev Plan
BldPermit/EPC
06DRB-01005 Minor-Prelim&Final Plat
Approval
06DRB-01003 Minor-Vacation of Private
Easements

RHOMBUS PA INC agent(s) for GLOBAL STORAGE request(s) the above action(s) for all or a portion of Lot(s) A-37-1, NORTHEAST UNIT, TOWN OF ATRISCO GRANT (to be known as **GLOBAL STORAGE**) zoned SU-1-O-1, located on COORS BLVD NW, between SEQUOIA NW and ST JOSEPHS DR NW containing approximately 4 acre(s). [REF: 05EPC-00369, 05EPC-00370] [**David Stallworth, EPC Case Planner**] [*Deferred from 7/19/06*] (G-11) **DEFERRED AT THE AGENT'S REQUEST TO JULY 26, 2006.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1000965**
06DRB-01002 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for ASW REALTY, ANDALUCIA DEVELOPMENT CO request(s) the above action(s) for Lot(s) 91-A thru 129-A & Tract(s) M-1 & N-1, **ANDALUCIA AT LA LUZ**, zoned SU-1-PRD (5 du acre), located on SEVILLA AVE NW, between MI CORDELLA DR NW and TRES GRACIAS DR NW containing approximately 4 acre(s). [REF: 05DRB-01025] (F-11) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

12. **Project # 1005021**
06DRB-01000 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for JC PETERSON LLC request(s) the above action(s) for all or a portion of Lot(s) 3, 4, 5, 15, 16 and 17, Block(s) 5, **ESPERANZA ADDITION**, zoned C-1 & P, located on SAN MATEO BLVD SE, between TRUMBULL AVE SE and SOUTHERN AVE SE containing approximately 1 acre(s). [*Deferred from 7/19/06*] (L-18) **DEFERRED AT THE AGENT'S REQUEST TO 7/26/06.**

13. **Project # 1004940**
06DRB-00794 Minor-Prelim&Final Plat
Approval
06DRB-00795 Minor-Vacation of Private
Easements

ISAACSON & ARFMAN PA agent(s) for SIGNATURE J HOMES INC request(s) the above action(s) for all or a portion of Tract(s) A, Lot(s) 30, 31 & 32 (to be known as **CHAMISA ENCANTADA**) zoned R-D residential and related uses zone, developing area, located on GRAYSON RD NW, between DUSKFIRE DR NW and TARRINGTON DR NW containing approximately 1 acre(s). *[Was Indef deferred from 6/14/06]* (J-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/19/06 THE PRELIMINARY PLAT WAS APPROVED WITH A CONDITION: IF THE FINAL PLAT IS APPROVED AFTER 10/31/06 THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS). THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. THE VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

14. **Project # 1004804**
06DRB-00751 Minor-Prelim&Final Plat
Approval

JESUS SANDOVAL agent(s) for ALEX MCCALLUM request(s) the above action(s) for all or a portion of Lot(s) 10 & 11A, Block(s) 8, **CASAS SERENAS**, zoned R-2, located on PENNSYLVANIA SE, between TRUMBULL SE and BELL SE containing approximately 1 acre(s). *[Deferred from 6/7/06 & Indef deferred on a no show 6/21/06]* (L-19) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE & RECORD THE PLAT.**

15. **Project # 1004909**
06DRB-00717 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS agent(s) for JOURNAL CENTER CORPORATION request(s) the above action(s) for all or a portion of Tract(s) 2A-2A-2B, **JOURNAL CENTER**, zoned IP, located on JEFFERSON NE, between HEADLINE NE and JOURNAL CENTER NE containing approximately 9 acre(s). *[Deferred from 5/31/06 & 6/7/06 & 6/28/06]* (D-17) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1004986**
06DRB-00922 Minor-Sketch Plat or Plan

STEPHEN & PATRICIA DWYER request(s) the above action(s) for all or a portion of Lot(s) 2, Tract(s) 2, **FOUR HILLS VILLAGE INSTALLMENT 11-A**, zoned R-1 residential zone, located on STAGECOACH RD SE, between PEDREGOSO PL SE and LA CABRA DR SE containing approximately 1 acre(s). *[Deferred from 7/12/06]* (M-23) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. **Project # 1004999**
06DRB-00965 Minor-Sketch Plat or Plan

GLEN EFFERTZ request(s) the above action(s) for all or a portion of Tract(s) 316, **OLD TOWN ELEMENTARY SCHOOL**, zoned RA-1, located on MOUNTAIN RD NW, between RIO GRANDE NW and GABALDON NW containing approximately 1 acre(s). (J-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1005014**
06DRB-00989 Minor-Sketch Plat or Plan

JACK'S HIGH COUNTRY agent(s) for PRISCILLA MARY CHAVEZ request(s) the above action(s) for all or a portion of Tract(s) 89-B1-B-1 and 89-B-3, **MAP 33**, zoned R-1, located on 12TH ST NW, between MC MULLAN AVE NW and MILDRED AVE NW containing approximately 1 acre(s). (G-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1005022**
06DRB-01001 Minor-Sketch Plat or Plan

GREG BACZEK agent(s) for PAUL CHENEY & NANCY BACZEK request(s) the above action(s) for all or a portion of Lot(s) 9 and 10, **GRANADA HEIGHTS ADDITION**, zoned R-1, located on the corner of ALISO DR SE and GARFIELD AVE SE, containing approximately 1 acre(s). (K-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **ADJOURNED: 12:05 P.M.**

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004985

AGENDA ITEM NO: 3

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

8-2-06

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: JULY 19, 2006

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004985 AGENDA#: 3 DATE: 7.19.06

1. Name: JIM MEDLEY Address: 3100 CHRISTINE WAY Zip: 87111
2. Name: Tom Johnston Address: Waydon Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____



#3

10041985

7/19/04



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 19, 2006

Project # 1004985
06DRB-00916 Major-SiteDev Plan BldPermit

JIM MEDLEY ARCHITECT AIA agent(s) for TNJ GROUP OF COMPANIES request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 4-B, **SUNPORT PARK**, zoned IP, located on SUNPORT BLVD SE, between UNIVERSITY BLVD SE and I-25 containing approximately 5 acre(s). [REF: Project# 1001067] (M-15)

AMAFCA No adverse comments.

COG No adverse comments.

Transit No objections.

Zoning Enforcement The parking regulations require 4 motorcycle spaces.

Neighborhood Coordination No Association(s).

APS The request to construct a one hundred guestroom extended stay hotel near the Sunport Airport will have no adverse impacts to the APS district

Police Department

A review of the following DRB case(s) indicates the following problems or crime may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur.

Regarding the proposed Project 1004985, one hundred guestroom extended stay hotel, I respectfully submit the following comments based on Crime Prevention through Environmental Design:

Ensure adequate lighting throughout the project, to include parking areas, pedestrian walkways, and courtyards.

Police Department

Ensure natural surveillance and clear lines of sight throughout the facility. Natural surveillance requires a space free from natural and physical barrier. Establish a clear line of sight from the parking areas to the buildings and from the buildings to the parking areas.

Ensure that landscaping is maintained to provide natural surveillance, trimming trees up to create a canopy of at least six feet; and trimming shrubs and bushes down to three feet.

Ensure adequate locking devices (i.e. deadbolt locks) as well as supplemental locks (privacy locks) on doors.

Consider providing anti-lift protection on windows and sliding glass doors.

Ensure eye-viewers on entrance doors to guest rooms.

Ensure that all exterior doors are of solid-core or metal construction.

Ensure that addresses are posted and clearly visible.

Limit and clearly delineate access to the property; i.e. Commercial Deliveries, Employee Parking, Guest Parking.

Provide signage that clearly directs visitors to the appropriate parking and/or entrance(s), include a map if necessary.

Clearly delineate public, semi-public, semi-private, and private space throughout the project.

If you have any questions regarding these CPTED recommendations, please call me at 256-2050. I am also available to do an on-site security survey after the project is complete.

Fire Department Exact fire hydrant requirements will be figured when plans are submitted for review.

PNM Electric & Gas

Comcast No comments received.

QWEST No comments received.

Environmental Health No comments received.

M.R.G.C.D. No comments received.

Open Space Division

No adverse comments.

City Engineer

No adverse comments.

Transportation Development

Where is the plat? Which bus service is being referred to? (parking calculations). Will there be an infrastructure list? There are no build notes for work within the public r/w. Entrance radii need to be 25-feet. The sidewalk needs to front the entire property. Are there ADA ramps across the street on Sunport Place and Woodard? How do the entrances align with curb cuts across the streets? Why is parking being proposed on another lot?

Parks & Recreation

No objection.

Utilities Development

On the Utility Plan sheet, show the private fire line that will feed the private fire hydrant and also feed the sprinkler system for the proposed building.

Planning Department

Comments will be provided at the hearing.

Impact Fee Administrator

Construction of a new hotel of 80,302 sq. ft. with an impervious area of 2.09 acres will require payment of Impact Fees. Based on proposed site development plan, it is estimated that impact fees will total approximately \$33,505 if a permit is obtained prior to December 29, 2006, and the full impact fee of \$50,008 would be payable thereafter.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc: TNJ Group of Companies, 1520 Tramway Blvd NE, #200, 87112

Jim Medley Architect AIA, 3100 Christine St NE, 87111



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, July 19, 2006**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1004076

06DRB-00880 Major-Vacation of Pub Right-of-Way

SURVEYS SOUTHWEST LTD agent(s) for HILTON AVENUE LOFTS LLC, request(s) the above action(s) for a portion of HILTON AVE NE adjacent to Lot(s) 6 (to be known as **HILTON AVENUE LOFTS**) zoned RLT, located on HILTON AVE NE, between PARSIFAL ST NE and HENDRIX RD NE. [REF: 05DRB-01403, 05DRB00526] (G-20)

Project # 1002375

06DRB-00902 Major-Vacation of Pub Right-of-Way
06DRB-00903 Major-Vacation of Public Easements

JACKS HIGH COUNTRY agent(s) for BARRY & SANDY HOPKINS request(s) the above action(s) for all or a portion of Tract(s) A, B, J & K, **THE PALISADES ADDITION**, located on LOMA HERMOSA DR NW, between BLUEWATER NW and YUCCA DR NW containing approximately 1 acre(s). [REF: 02DRB-01852] (J-11)

-Project # 1004985

06DRB-00916 Major-SiteDev Plan BldPermit

JIM MEDLEY ARCHITECT AIA agent(s) for TNJ GROUP OF COMPANIES request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 4-B, **SUNPORT PARK**, zoned IP, located on SUNPORT BLVD SE, between UNIVERSITY BLVD SE and I-25 containing approximately 5 acre(s). [REF: Project# 1001067] (M-15)

Project # 1000045

06DRB-00919 Major-Vacation of Public Easements
06DRB-00920 Minor-Prelim&Final Plat Approval
06DRB-00921 Minor- SiteDev Plan for Subd

TIERRA WEST LLC agent(s) for SAM'S EAST INC request(s) the above action(s) for Tract(s) 3B2-A & 3A4-A-1, **RENAISSANCE CENTER**, zoned SU-1 FOR C-2, located on RENAISSANCE BLVD NE, between ALEXANDER BLVD NE and CULTURE DR NE containing approximately 15 acre(s). [REF: 05DRB-00030, 05DRB-00313, 06EPC-00285] (F-16)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 3, 2006.

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: JULY 19, 2006
Zone Atlas Page: M-15-Z
Notification Radius: 100 Ft.

Project# 1004985
App#06DRB-00916

Cross Reference and Location: SUNPORT BLVD SE & UNIVERSITY BETWEEN
UNIVERSITY SE AND I-25

Applicant: TNJ GROUP OF COMPANIES
Address: 1520 TRAMWAY BLVE NE #200
ALBUQUERQUE, NM 87112

Agent: JIM MEDLEY ARCHITECT AIA
3100 CHRISTINE ST NE
ALBUQUERQUE, NM 87111

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

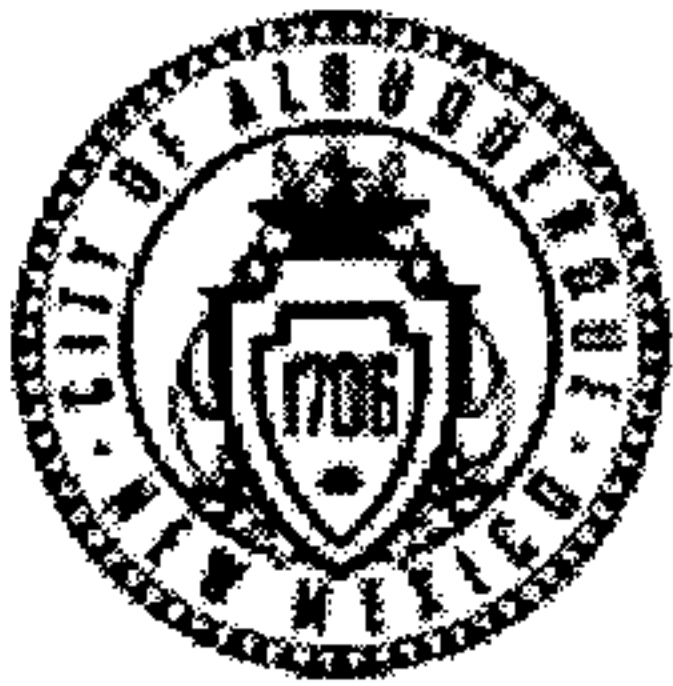
Date Mailed: JUNE 30, 2006
Signature: YVONNE SAAVEDRA

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

PROJECT # 1004985
APPLICATION # _____

PAGE 1 **OF** 1

ZONE ATLAS PAGE #	ZONE ATLAS #	GRID LOCATIONS	PARCEL SEQUENCES	NAME AND ADDRESS
M-15	1015055	198-160	303-06	✓
		224-170	07	✓
		245-191	08	✓
		211-195	306-01	✓
		158-156	303-05	✓
	1016054	200-300	201-01	✓ COA
	1015055	227-234	304-05	✓
		183-234	10	✓ Dup
		145-254	15	✓ Dup ²
		165-050	303-20	✓
		276-058	404-11	✓ COA
		097-163	303-15	✓ Dup
		093-220	03	✓ Dup ²
		092-256	202-16	✓



mainframe@coa1mp3.ca
bq.gov

06/28/2006 03:40 PM

To
cc
bcc
Subject

1 R E C O R D S W I T H L A B E L S PAGE
1
01015055 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0101505519816030306 LEGAL: LT 3 BLO CK 4B PLAT OF BLOCKS 4-A & 4-B OF
SUNPORT LAND USE:
PROPERTY ADDR: 00000 SUNPORT
OWNER NAME: STANHOPE LLC
OWNER ADDR: 00200 W MONROE
CHICAGO IL 60606
0101505522417030307 LEGAL: LT 2 BLO CK 4B PLAT OF BLOCKS 4-A & 4-B OF
SUNPORT LAND USE:
PROPERTY ADDR: 00000 SUNPORT
OWNER NAME: VAIO RESOURCES LLC
OWNER ADDR: 04338 ALTURA AV NE
ALBUQUERQUE NM 87110
0101505524519130308 LEGAL: LOT 1-A BLOCK 4-B PLAT OF LOT 1-A BLOCK 4-B
SUNPOR LAND USE:
PROPERTY ADDR: 00000 SUNPORT
OWNER NAME: MARQUEE HOSPITALITY INC
OWNER ADDR: 13215 VELMA CT NE
ALBUQUERQUE NM 87112
0101505521119530601 LEGAL: LT 1 -A P LAT OF LOT 1-A BLOCK 4-A SUNPORT PARK
LAND USE:
PROPERTY ADDR: 00000 SUNPORT
OWNER NAME: AMERITUS HOSPITALITY INC
OWNER ADDR: 00200 TRIMBLE BL NE
ALBUQUERQUE NM 87123
0101505515815630305 LEGAL: LT 4 BLO CK 4B PLAT OF BLOCKS 4-A & 4-B OF
SUNPORT LAND USE:
PROPERTY ADDR: 00000 SUNPORT
OWNER NAME: SUNPORT JOINT VENTURE
OWNER ADDR: PO BOX 26841
ALBUQUERQUE NM 87125
0101605420030020101 LEGAL: TR A SUN PORT MUNICIPAL ADDITION TRACTS
A, B, C, D, E, F LAND USE:
PROPERTY ADDR: 00000 N/A
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: PO BOX 1293
ALBUQUERQUE NM 87103
0101505522723430405 LEGAL: LOT 3A B LK 2 SUNPORT PARK REPL OF LTS 1, 2 & 3
BLK LAND USE:
PROPERTY ADDR: 00000 UNIVERSITY
OWNER NAME: BERNALILLO COUNTY/NM FOOD DIST
OWNER ADDR: 00001 CIVIC PLAZA
ALBUQUERQUE NM 87102
0101505518323430410 LEGAL: LOT 2A B LK 2 SUNPORT PARK REPL OF LTS 1, 2 & 3
BLK LAND USE:
PROPERTY ADDR: 00000 WOODWARD
OWNER NAME: JAYNES CORP
OWNER ADDR: 02906 BROADWAY BL NE
ALBUQUERQUE NM 87107

PAGE 2

0101505514525430415 LEGAL: LOT 1A B LK 2 SUNPORT PARK REPL OF LTS 1, 2 & 3
BLK LAND USE:

PROPERTY ADDR: 00000 TRANSPORT
OWNER NAME: JAYNES CORP
OWNER ADDR: 02906 BROADWAY BL NE

ALBUQUERQUE NM 87107

0101505516505030320 LEGAL: PARC EL 2 A BLK 4 PARK PLAT OF LTS 1A, 1B, 2B IN
BLK LAND USE:

PROPERTY ADDR: 00000 AIRCRAFT
OWNER NAME: R & B LLC
OWNER ADDR: 00110 COMMERCE ST

DALLAS TX 75207

0101505527605840411 LEGAL: TR K SUN PORT MUNICIPAL ADDITION TRACTS
A,B,C,D,E,F LAND USE:

PROPERTY ADDR: 00000 UNIVERSITY
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: PO BOX 1293

ALBUQUERQUE NM 87103

0101505509716330315 LEGAL: LT 2 A BL K 3 PLAT OF LTS 1A, 1B, 2B IN BLK 3,
PARCE LAND USE:

PROPERTY ADDR: 00000 TRANSPORT
OWNER NAME: MAST VOYAGER
OWNER ADDR: PO BOX 9555

ALBUQUERQUE NM 87119

0101505509322030303 LEGAL: PARC EL 1 A BLK 3 PLAT OF LTS 1A, 1B, 2B IN BLK
3, P LAND USE:

PROPERTY ADDR: 00000 TRANSPORT
OWNER NAME: MAST VOYAGER
OWNER ADDR: PO BOX 9555

ALBUQUERQUE NM 87119

0101505509225620216 LEGAL: TRAC T A- 1 PLAT OF TRACT A-1 LANDS OF EISENMAN
TRUS LAND USE:

PROPERTY ADDR: 00000 TRANSPORT
OWNER NAME: ALBUQUERQUE AIRPARK PARTNERS
OWNER ADDR: 02909 YALE BL SE

ALBUQUERQUE NM 87106

QUIT

101505515815630305

LEGAL: LT 4 BLK 4B PLAT OF BLOCKS 4A, & 4B OF SU 4.9047 AC
PROPERTY ADDR: 1300 SUNPORT PL SE

OWNERS NAME: SUNPORT JOINT VENTURE
OWNERS ADDR: PO BOX 26841
ALBUQUERQUE, NM 87125

101605420030020101

LEGAL: TR A SUNPORT MUNICIPAL ADDITION TRACTS A, B, C, L & M A
REPLAT OF L
PROPERTY ADDR: N/A

OWNERS NAME: CITY OF ALBUQUERQUE
OWNERS ADDR: PO BOX 1293
ALBUQUERQUE, NM 87103

101505527605840411

LEGAL: TR K SUNPORT MUNICIPAL ADDN N TRACTS A,B,C L & M A REPLAT
OF L
PROPERTY ADDR: UNIVERSITY BLVD SE

Property Address Same as

101505509716330315

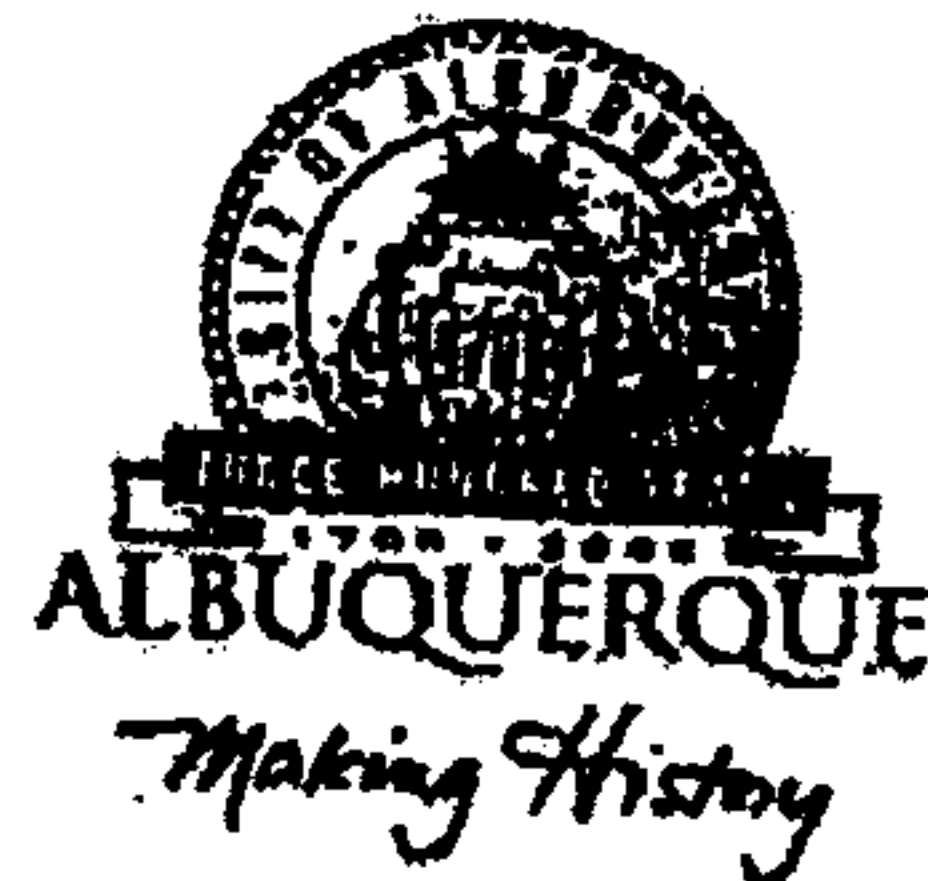
LEGAL: LOT 2A BLK 3 PLAT OF LOTS 1A, 1B, 2B IN BLK 3 A2, 1B1 IN BLK 4 P
PROPERTY ADDR: TRANSPORT ST SE

OWNERS NAME: MAST VOYAGER
OWNERS ADDR: PO BOX 9555
ALBUQUERQUE, NM 87119

01505509322030303

LEGAL: PARCEL 1A BLK 3 PLAT OF LTS 1A, 1B, 2B I BL 1, 1A2, 1B1 IN BLK
PROPERTY ADDR: TRANSPORT ST SE

OWNERS NAME: MAST VOYAGER
OWNERS ADDR: PO BOX 9555
ALBUQUERQUE, NM 87119



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

June 21, 2006

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on June 21, 2006:

CONTACT NAME: JIM MEDLEY

COMPANY OR AGENCY: JIM MEDLEY, ARCHITECT, AIA
3100 CHRISTINE ST. NE
PHONE: 292-3514/FAX: 294-5593

contacted the Office of Neighborhood Coordination requesting the contact names for any Recognized Neighborhood Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at **LOT 4, BLK 4-B, SUNPORT PARK LOCATED ON WOODWARD RD. SE BETWEEN TRANSPORTATION ST. & UNIVERSITY AND ALSO SUNPORT BLVD. BETWEEN UNIVERSITY & I-25 zone map M-15**

Our records indicate that as of June 21, 2006, there were no Recognized Neighborhood Associations in this area.

If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at dlcarmona@cabq.gov or by fax at (505) 924-3913.

Sincerely,

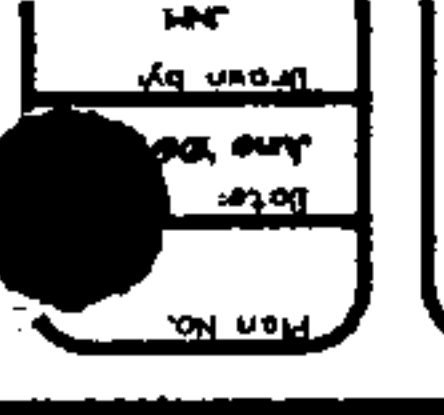
Dalaina L. Carmona

Senior Administrative Assistant
OFFICE OF NEIGHBORHOOD COORDINATION
PLANNING DEPARTMENT

planningnrnaform(10/18/04)



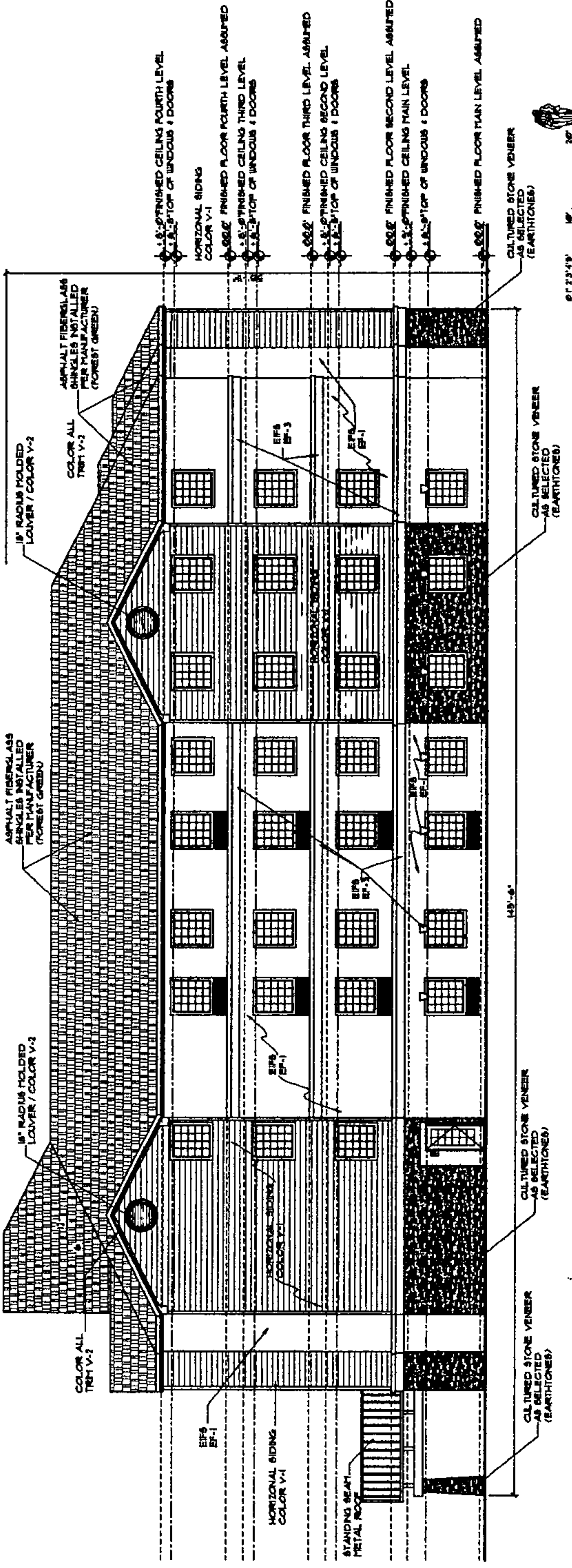
JIM MEDLEY, Architect
 3100 Christine N. E. Albuquerque, NM 87111
 505.263.8888
 www.jimmedley.com



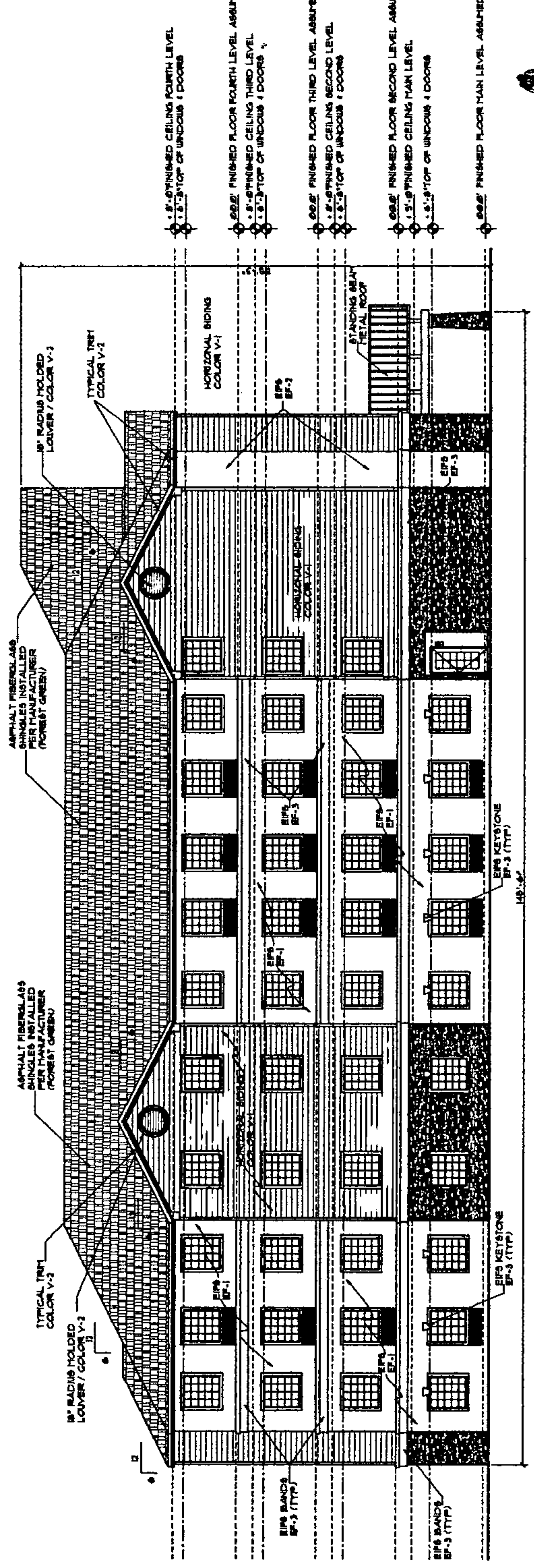
Revision / Issue	Date

SITE DEVELOPMENT PLAN
 NORTH AND COURTYARD
 EXTERIOR ELEVATIONS

Sheet Description
AS.1



NORTH ELEVATION



SOUTH ELEVATION

SIDING COLORS
 V-1 SANDSTONE (LIGHT BEIGE) (VNTL) OR GLIDDEN PAINT # 26776 (M17)
 V-2 CARVED (MEDIUM BEIGE) (VNTL) OR GLIDDEN PAINT # 46778 (M64)
 V-3 CONVENTIONAL SIDING IS ACCEPTABLE.

EIFS COLORS
 EF-1 CARBONATION # 3092 (MEDIUM BEIGE) CLASSIC FINISH
 EF-2 BIRCHOUT #100 (LIGHT BEIGE) CLASSIC FINISH
 EF-3 EDELWEISS #6049 (CREAM COLOR) CLASSIC FINISH
 MANUFACTURER'S COLORS ARE PER BINNEY.

NOTE: THE THINSET EIFS THICKNESS IS 1" SEE EIFS BAND NOTES FOR OTHER THICKNESS.

NOTE:

- COLOR OF FASCIA AND SOFFIT TO MATCH SIDING COLOR V-2
- ALIGNMENT DOWNSPOUTS NOT SHOWN FOR CLARITY. INSTALL AROUND ENTIRE PERIMETER OF ROOF WITH DOWNSPOUTS AS REQUIRED TO MATCH COLOR OF GUTTERS. PAINT DOWNSPOUTS TO MATCH ADJACENT EIFS WHERE NOTCH OCCURS IN BANDING.
- NOTCH BURN BAND WHERE DOWNSPOUTS PASS THRU PAINT DOWNSPOUT AT BAND TO MATCH BAND.
- ALL CONDENSATION LINES FROM PTAC UNITS SHALL DAYLIGHT INTO CLOSEST LANDSCAPE AREA.
- TRIM AROUND ALL WINDOWS AND DOORS TO BE COLOR EF-3.



Project # 1004985

TNJ GROUP OF COMPANIES
1520 TRAMWAY BLVD NE #200
ALBUQUERQUE, NM 87112

101505522417030307

VAIO RESOURCES LLC
4338 ALTURA AV NE
ALBUQUERQUE NM 87110

101505515815630305

SUNPORT JOINT VENTURE
PO BOX 26841
ALBUQUERQUE, NM 87125

101505516505030320

R & B LLC
110 COMMERCE ST
DALLAS TX 75207

Project # 1004985

JIM MEDLEY ARCHITECT AIA
3100 CHRISTINE ST NE
ALBUQUERQUE, NM 87111

101505524519130308

MARQUEE HOSPITALITY INC
13215 VELMA CT NE
ALBUQUERQUE NM 87112

101505522723430405

BERNALILLO COUNTY/NM FOOD DIS
1 CIVIC PLAZA
ALBUQUERQUE NM 87102

101505509716330315

MAST VOYAGER
PO BOX 9555
ALBUQUERQUE, NM 87119

101505519816030306

STANHOPE LLC
200 W MONROE
CHICAGO IL 60606

101505521119530601

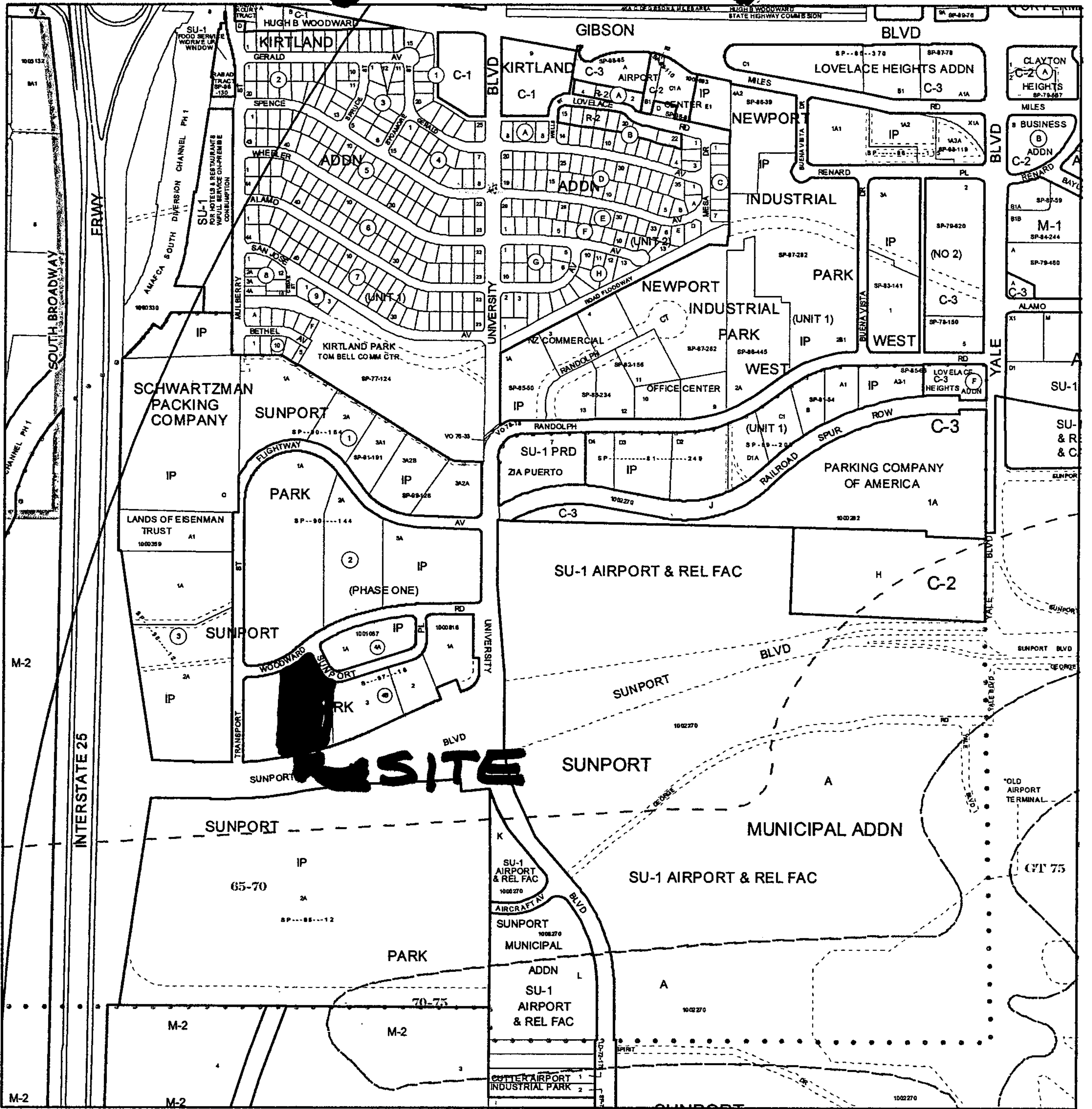
AMERITUS HOSPITALITY INC
200 TRIMBLE BL NE
ALBUQUERQUE NM 87123

101505518323430410

JAYNES CORP
2906 BROADWAY BL NE
ALBUQUERQUE NM 87107

101505509225620216

ALBUQUERQUE AIRPARK PARTNERS
2909 YALE BL SE
ALBUQUERQUE NM 87106



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
M-15-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

Map amended through: 5/1/2006

0 750 1,500 Feet

JIM MEDLEY, Architect AIA

jmedley@jim-medley-architect.com

Phone 505.292.3514 -|- Fax 505.294.5593 -|- Cell 505.350.6993

3100 Christine St. NE -|- Albuquerque, NM 87111 - 4824

June 19, 2006

City of Albuquerque Planning Department
PO Box 1293
Albuquerque, New Mexico 87103

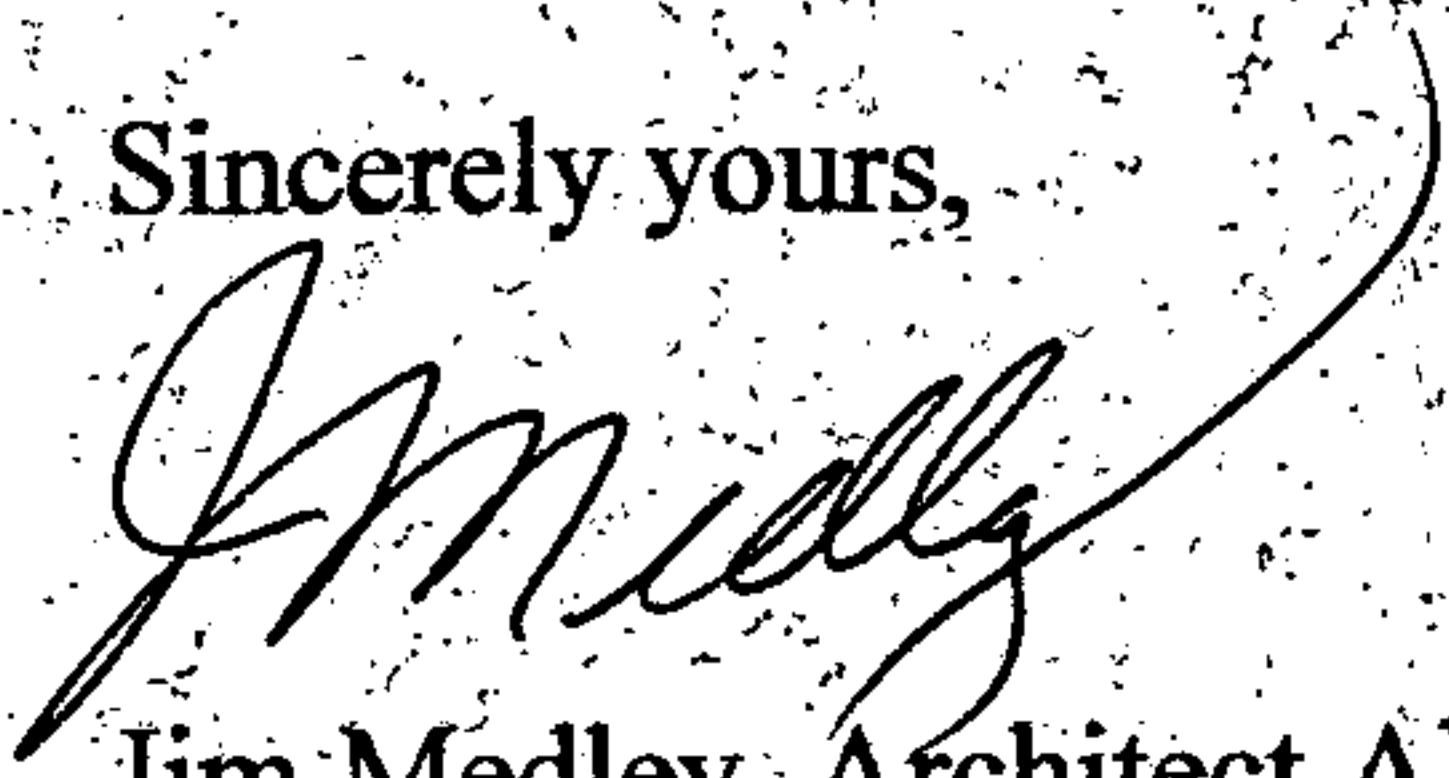
Re: Lot 4 Block 4-B, Sunport Park
Albuquerque, New Mexico
Site Development Plan for Building Permit

Gentlemen:

We are submitting plans for your review for the above project on referenced lot. We are requesting approval of Site Development Plan for Building Permit for the construction of a one hundred guestroom extended stay hotel on the above referenced site. This project will be a four story frame/stucco building of above average quality.

If we can provide you with additional information or other documents, please call us per information on this letterhead.

Sincerely yours,



Jim Medley, Architect AIA



Intera Incorporated
 One Park Square
 6501 Americas Parkway NE
 Suite 820
 Albuquerque, NM 87110
 Telephone: 505 246 1600
 Fax: 505 246 2600

MEMORANDUM

DATE: August 22, 2006
TO: Sheran Matson, Planning Department
 Design Review Board
COPY: Rhonda Methvin, Albuquerque Environmental Health Department
 Kevin Curran, Albuquerque Legal Department
 Jim Medley, Architect
FROM: Jim Joseph, P.E., INTERA Inc. *Q*
SUBJECT: Project No. 1004985, Design Review Board Plans, Proposed Staybridge Suites,
 Lot 4(B), Block 4B, Sunport Park Subdivision, at 1300 Sunport Place SE,
 Albuquerque, New Mexico

INTERA Incorporated (INTERA), in its role as the Albuquerque Environmental Health Department's (AEHD's) landfill gas contractor, has reviewed the plans prepared for the Design Review Board (DRB) that were provided by the Jim Medley, Architect, AIA for the above-referenced development proposed at 1300 Sunport Place SE on Lot 4 (also referenced as Lot 4B and Tract A), Block 4B, Sunport Park Subdivision. INTERA, in conjunction with the opinions of Ms. Methvin of the AEHD, has determined that the plans meet requirements of the City's *Interim Guidelines* and that the project can proceed through DRB if all other City requirements are met. Plans for building permit must still be submitted to the AEHD for review and approval.

Any changes in the original design of the risk abatement measures (as approved by the AEHD) shall be coordinated with the landfill gas professional engineer and AEHD prior to construction of the change.

Please note that in accordance with the *Interim Guidelines*, a New Mexico professional engineer must inspect the construction of the landfill gas mitigation structures/devices and provide a stamped certification letter stating that the construction of the project has been completed in compliance with the risk abatement measures as detailed on approved construction plans. A certificate of occupancy will not be issued without this certification.

Copies of the landfill certification documentation will be maintained in the Environmental Health Department's files.

Prq
1004985
8/23

INTERA 00081

Resubmittal

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME J N Group
AGENT Jim Medley
ADDRESS _____
PROJECT & APP # 1004985
PROJECT NAME Sunport Park

\$ _____ 441032/3424000 Conflict Management Fee

\$ 110.00 441006/4983000 DRB Actions Deferral fee

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 110.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

8/1/2006 11:30AM LOC: ANNX
RECEIPT# 00064530 WS# 006 TRANSH 0023
Account 441006 Fund 0110
Activity 4983000 TRSVRS
Trans. Amt \$110.00
J24 Misc

\$110.00

CK \$110.00
CHANGE \$0.00

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME 0004985
 AGENT Wayjohn Surveying Inc.
 ADDRESS 330 Louisiana Blvd NE.
 PROJECT & APP # 1004985/06DRB-00916
 PROJECT NAME Sumpert Park

City Of Albuquerque
Treasury Division

7/25/2006 10:08AM LOC: ANNX
 RECEIPT# 00066191 WSH 007 TRNSH 0002
 ACCOUNT 441006 Fund 0110
 ACTIVITY 4971000 TRSKAL
 TRANS AMT \$110.00
 J24 Misc

\$110.00

\$110.00
\$0.00

Thank You

- \$ 441032/3424000 Conflict Management Fee
- \$ 441006/4983000 DRB Actions
- \$ 110.⁰² 441006/4971000 EPC/AA/LUCC Actions & All Appeals *deferral fee (DRB)*
- \$ 441018/4971000 Public Notification
- \$ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
- \$ 110.⁰² TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

WAYJOHN SURVEYING, INC.
 11108 HUME AVE. NE. 505-255-2052
 ALBUQUERQUE, NM 87112

12543

PAY TO THE ORDER OF CITY OF ALBUQUERQUE DATE 7/25/06 95-32-1070

ONE HUNDRED TEN AND NO/100 \$ 110.00

Bank of America. DOLLARS

ACH R/T 107000327

FOR DEFERRAL FEES 1004985

[Signature]

⑈012543⑈+⑈107000327⑈000123386377⑈

SITE PLAN



Intera Incorporated
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600


MEMORANDUM

#3

DATE: July 18, 2006

TO: Sheran Matson, Planning Department – Design Review Board

COPY: Rhonda Mcthvin, Environmental Health Department
Kevin Curran, Legal Department
Jim Medley Architect AIA

FROM: James Joseph, INTERA Inc. 

SUBJECT: Project No. 1004985: Sunport Park, Lot 4, Block 4-B, located on Sunport Blvd.
NE between University Blvd. NE and I-25 (06DRB-00916 Major-Site
Development Plan Building Permit)

There is the potential for the above-named project to be impacted by the presence of landfill gas generated by two former landfills (Yalc and Schwartzman Landfills). The developers of this site are required to follow the most current version of the "City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones". A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division.




6000 Uptown Blvd NE Suite 100
Albuquerque, NM 87110
Phone: (505) 246-1600
Fax: (505) 246-2600

FACSIMILE COVER SHEET

TO: <u>SHERA MATSON</u>	FROM: <u>Jim Joseph</u>
COMPANY: <u>PLANNING DEPT - DRB</u>	NO. OF PAGES: <u>2</u> (Including cover page)
FAX #: _____	
PHONE #: _____	DATE: <u>7-18-06</u>

PLEASE MAKE COPIES FOR:

SUBJECT:

PLEASE SEE ATTACHED MEMO REGARDING 1004985 ON
TOMORROW'S DRB AGENDA.
TAX


If there are any problems with this transmission, please call (505) 246-1600

Thank You

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action	<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action	<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision Purposes	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/> for Building Permit	<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> IP Master Development Plan	<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A APPEAL / PROTEST of...
STORM DRAINAGE	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/> Storm Drainage Cost Allocation Plan	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: TNL GROUP OF COMPANIES PHONE: 275-8223
 ADDRESS: 1520 TRAMWAY BLVD. NE. #200 FAX: 275-9667
 CITY: ALBUQUERQUE STATE NM ZIP 87112 E-MAIL: LUSHER@TNLGROUP.COM
 Proprietary interest in site: OWNER List all owners: _____
 AGENT (if any): JIM MEDLEY ARCHITECT AIA PHONE: 292-3514
 ADDRESS: 3100 CHRISTINE ST. N.E. FAX: 294-5593
 CITY: ALBUQUERQUE STATE NM ZIP 87111 E-MAIL: jmedley@jim-medley-architect.com

DESCRIPTION OF REQUEST: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT & SUBDIVIDE INTO 3 LOTS

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 4 Block: 4-B Unit: _____
 Subdiv. / Addn. SUNPORT PARK
 Current Zoning: IP Proposed zoning: IP
 Zone Atlas page(s): M-15-Z No. of existing lots: 1 No. of proposed lots: 3
 Total area of site (acres): 4.9 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? YES
 UPC No. 101505515815630305 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: SUNPORT BLVD. & UNIVERSITY
 Between: UNIVERSITY and I-25

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z, V, S, etc.): 1001047

Check-off if project was previously reviewed by Sketch Plat/Plan 2, or Pre-application Review Team? . Date of review: _____

SIGNATURE James M. Medley DATE 6/19/06
 (Print) JAMES M. MEDLEY, ARCHITECT Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>DRB - 00916</u>	<u>SBP</u>	<u>7(2)</u>	<u>\$ 385.00</u>
<input type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input type="checkbox"/> All case #s are assigned	_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>7-19-06</u>	_____	_____	Total <u>\$ 480.00</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	_____

See 6/22/06 Project # 1004985

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 24 copies for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 24 copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Jim Medley, ARCHITECT
 Applicant name (print)
Jim Medley 6/22/06
 Applicant signature / date

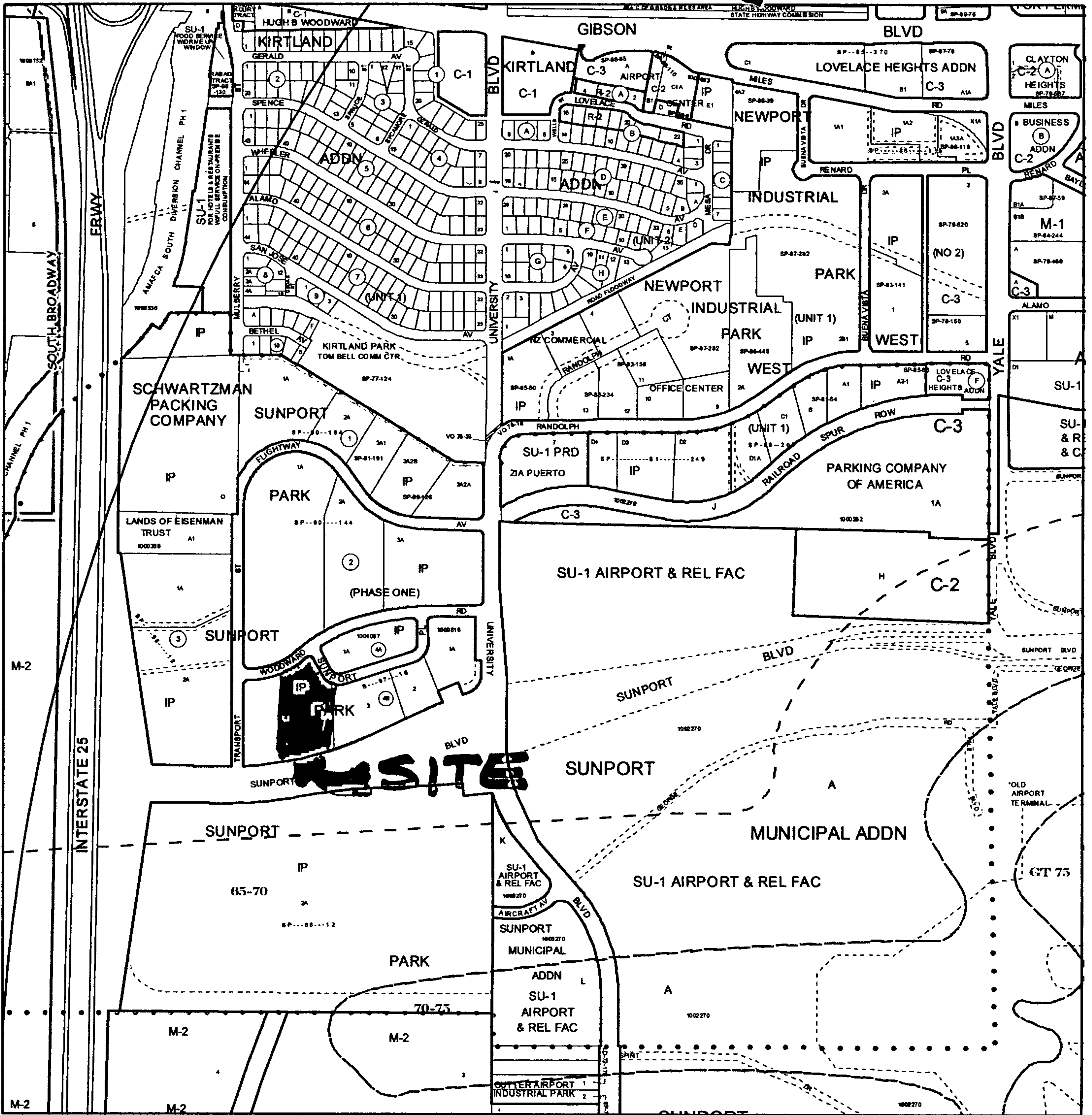


Form revised JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
060720-00916

Jim Sis 6/22/06
 Planner signature / date
Project # 1004985



For more current information and more details visit <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 5/1/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
M-15-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

JIM MEDLEY, Architect AIA
jmedley@jim-medley-architect.com
Phone 505.292.3514 -|- Fax 505.294.5593 -|- Cell 505.350.6993
3100 Christine St. NE -|- Albuquerque, NM 87111 - 4824

June 19, 2006

City of Albuquerque Planning Department
PO Box 1293
Albuquerque, New Mexico 87103

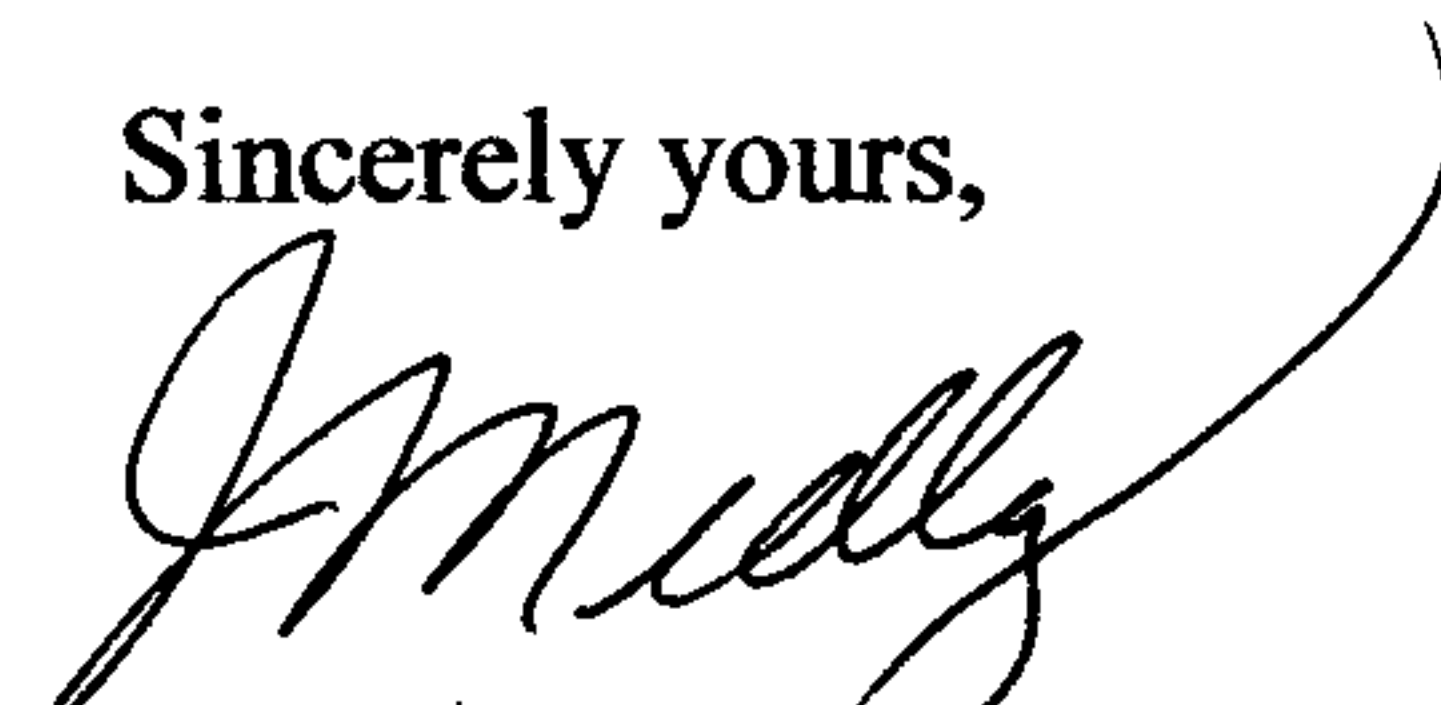
Re: Lot 4 Block 4-B, Sunport Park
Albuquerque, New Mexico
Site Development Plan for Building Permit

Gentlemen:

We are submitting plans for your review for the above project on referenced lot. We are requesting approval of Site Development Plan for Building Permit for the construction of a one hundred guestroom extended stay hotel on the above referenced site. This project will be a four story frame/stucco building of above average quality.

If we can provide you with additional information or other documents, please call us per information on this letterhead.

Sincerely yours,



Jim Medley, Architect AIA

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: JIM MEDLEY DATE OF REQUEST: 6/22/06 ZONE ATLAS PAGE(S): M-15-2

CURRENT:

ZONING IP

PARCEL SIZE (AC/SQ. FT.) _____

LEGAL DESCRIPTION:

LOT OR TRACT # 4 BLOCK # 4B

SUBDIVISION NAME SUNPORT PARK

REQUESTED CITY ACTION(S):

- | | | |
|----------------|---------------------|--|
| ANNEXATION [] | SECTOR PLAN [] | SITE DEVELOPMENT PLAN: |
| COMP. PLAN [] | ZONE CHANGE [] | A) SUBDIVISION [] BUILDING PERMIT <input checked="" type="checkbox"/> |
| AMENDMENT [] | CONDITIONAL USE [] | B) BUILD'G PURPOSES [] ACCESS PERMIT [] |
| | | C) AMENDMENT [] OTHER [] |

PROPOSED DEVELOPMENT:

- NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION: ¹

OF UNITS: _____
BUILDING SIZE: 80,550 (sq. ft.)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE [Signature] DATE 6/22/06
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES [] NO MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. *Any subsequent changes to the development proposal identified above may require an update or new TIS.*

[Signature]
TRAFFIC ENGINEER

6-22-06
DATE

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. *Any subsequent changes to the development proposal identified above may require an update or new AQIA.*

[Signature]
APPLICANT

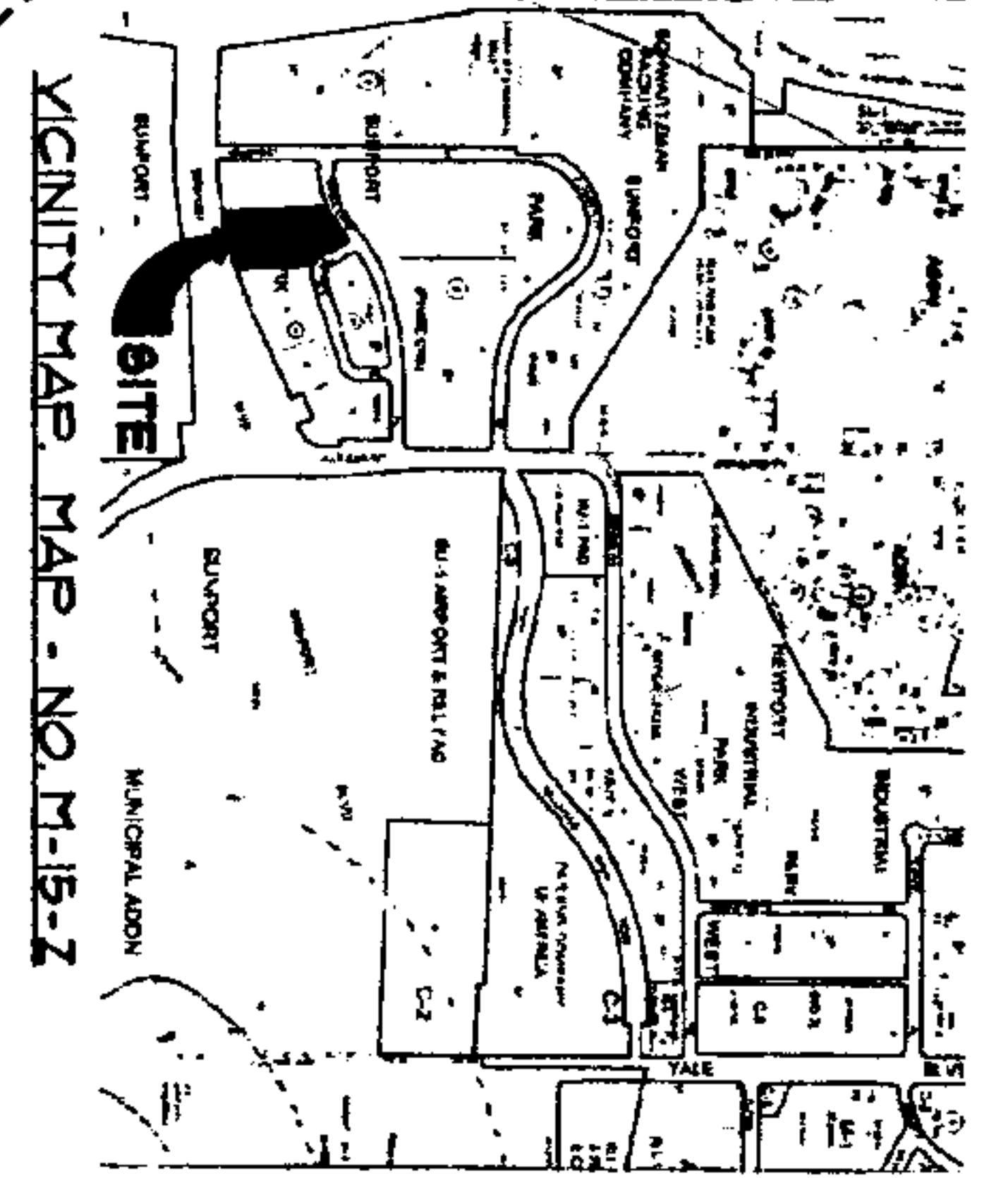
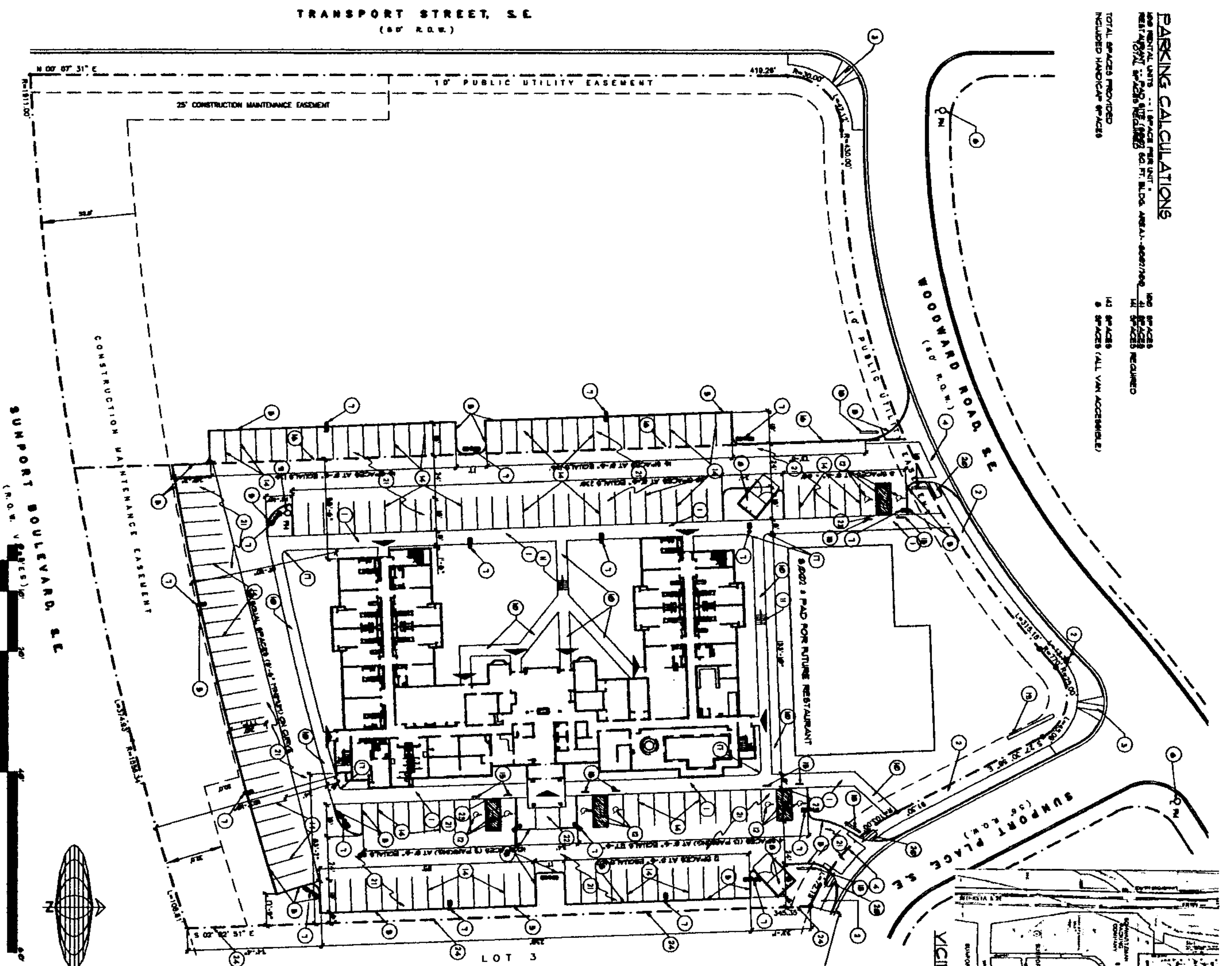
6/22/06
DATE

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / / TRAFFIC ENGINEER _____ DATE _____

PARKING CALCULATIONS

100 SPACES REQUIRED
 142 SPACES (ALL VAN ACCESSIBLE)
 TOTAL SPACES PROVIDED
 142 SPACES (ALL VAN ACCESSIBLE)



- ▲ DENOTES ENTRANCE TO BUILDING
- 1 8'-0" CONCRETE SIDEWALK WITH ADJACENT TO PARKING.
 - 2 6'-0" CONCRETE SIDEWALK TO SOUTH SIDE OF PROPERTY LINE.
 - 3 EXISTING HANDICAP USEL-CHAIR RAMP.
 - 4 REMOVE EXISTING CONCRETE CURB AND QUOTE NEW 18" HIGH CONCRETE CURB PER CITY OF ALBUQUERQUE DRAWING NO. 3429.
 - 5 8" STAIN UP CONCRETE HEADEN CURB SEE DETAIL.
 - 6 EXISTING CITY FIRE HYDRANT.
 - 7 NEW PARKING AND BUILDING AREA LIGHTS SEE DETAIL.
 - 8 TRASH ENCLOSURE - SEE DETAIL.
 - 9 PROPOSED NEW FIRE HYDRANT PER CITY OF ALBUQUERQUE STANDARD.
 - 10 11" CONCRETE WALK.
 - 11 CONCRETE STEPS IN SIDEWALK REFER TO DRAINAGE PLAN.
 - 12 2" WIDE BLUE HANDICAP STRIPES.
 - 13 CHITTED .. NOT USED.
 - 14 2" WIDE YELLOW PARKING SPACE STRIPES.
 - 15 12" X 18" BLUE AND WHITE HANDICAP SIGN ON STEEL POST, 60" TO BOTTOM ADA.
 - 16 NEW PROPERTY LINE ADDED BY SURVEY PLAN.
 - 17 36" SLOPE AT SIDEWALK INTERSECTIONS OR CHANGE OF DIRECTION.
 - 18 ENTRANCE AND EXIT SIGN 36" X 48" W X 36" H (NON-ILLUMINATED).
 - 19 ILLUMINATED SIGN SEE DETAIL.
 - 20 NEW 18" WIDE HANDICAP RAMP FOR USEL-CHAIR ACCESS.
 - 21 NEW 18" WIDE HANDICAP RAMP FOR USEL-CHAIR ACCESS.
 - 22 18" WIDE CONCRETE SIDEWALK (COLORADO-PATTERNED CONCRETE).
 - 23 ASPHALT AND CONCRETE SIDEWALK WITH NO HANDICAP RAMP REQUIRED.
 - 24 EXISTING RETAINER WALL, 10' 4" HIGH ABOVE APPROX. 1'-0" OF NEW 48" HIGH RETAINER WALL PER DRAINAGE PLAN.

DEVELOPMENT WITHIN 1000 FEET OF LANDFILL INTERIM GUIDELINES

THE SUBJECT PROPERTY IS LOCATED NEAR A POWER PLANT. CERTAIN REGULATORY REQUIREMENTS MAY BE REQUIRED TO PROTECT THE HEALTH AND SAFETY OF THE PUBLIC. THE CITY OF ALBUQUERQUE HAS DEVELOPED INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILL. THESE GUIDELINES ARE INTENDED TO PROTECT THE PUBLIC HEALTH AND SAFETY OF THE PUBLIC. THE FOLLOWING SHALL BE DONE TO ACCOMMODATE THEIR RECOMMENDATIONS:

1. THE PROPERTY SHALL BE SURVEYED BY A LICENSED SURVEYOR TO DETERMINE THE EXACT BOUNDARIES OF THE PROPERTY AND THE LOCATION OF THE POWER PLANT. THE SURVEY SHALL BE FILED IN THE PUBLIC RECORDS.

2. THE PROPERTY SHALL BE SURVEYED TO DETERMINE THE EXACT BOUNDARIES OF THE PROPERTY AND THE LOCATION OF THE POWER PLANT. THE SURVEY SHALL BE FILED IN THE PUBLIC RECORDS.

3. THE PROPERTY SHALL BE SURVEYED TO DETERMINE THE EXACT BOUNDARIES OF THE PROPERTY AND THE LOCATION OF THE POWER PLANT. THE SURVEY SHALL BE FILED IN THE PUBLIC RECORDS.

CONSTRUCTION OF THE VENTING SYSTEMS, THE SYSTEMS SHOULD BE DESIGNED BY A LICENSED MECHANICAL ENGINEER AND APPROVED BY THE CITY OF ALBUQUERQUE. THE SYSTEMS SHOULD BE DESIGNED TO OPERATE AT A PRESSURE OF 1.0 PSIG. THE SYSTEMS SHOULD BE DESIGNED TO OPERATE AT A PRESSURE OF 1.0 PSIG. THE SYSTEMS SHOULD BE DESIGNED TO OPERATE AT A PRESSURE OF 1.0 PSIG.

FIRST LEVEL, HEATED	20,350 SQ. FT.
SECOND LEVEL, HEATED	17,700 SQ. FT.
THIRD LEVEL, HEATED	10,725 SQ. FT.
FOURTH LEVEL, HEATED	20,725 SQ. FT.
TOTAL HEATED	69,500 SQ. FT.
COVERED ENTRY	246 SQ. FT.
TOTAL AREA UNDER ROOF	69,746 SQ. FT.

PROJECT NUMBER: _____

Application Number: _____

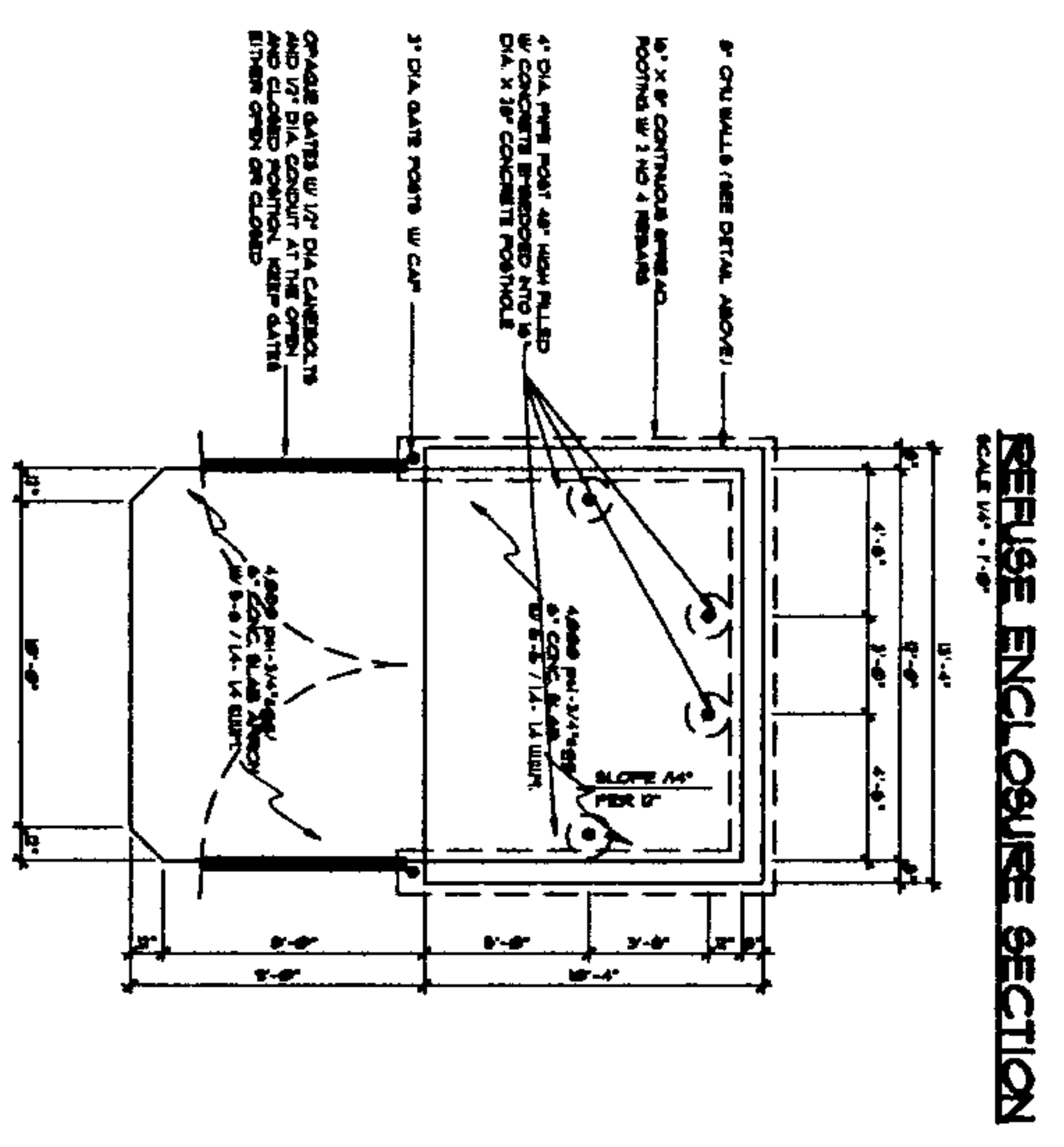
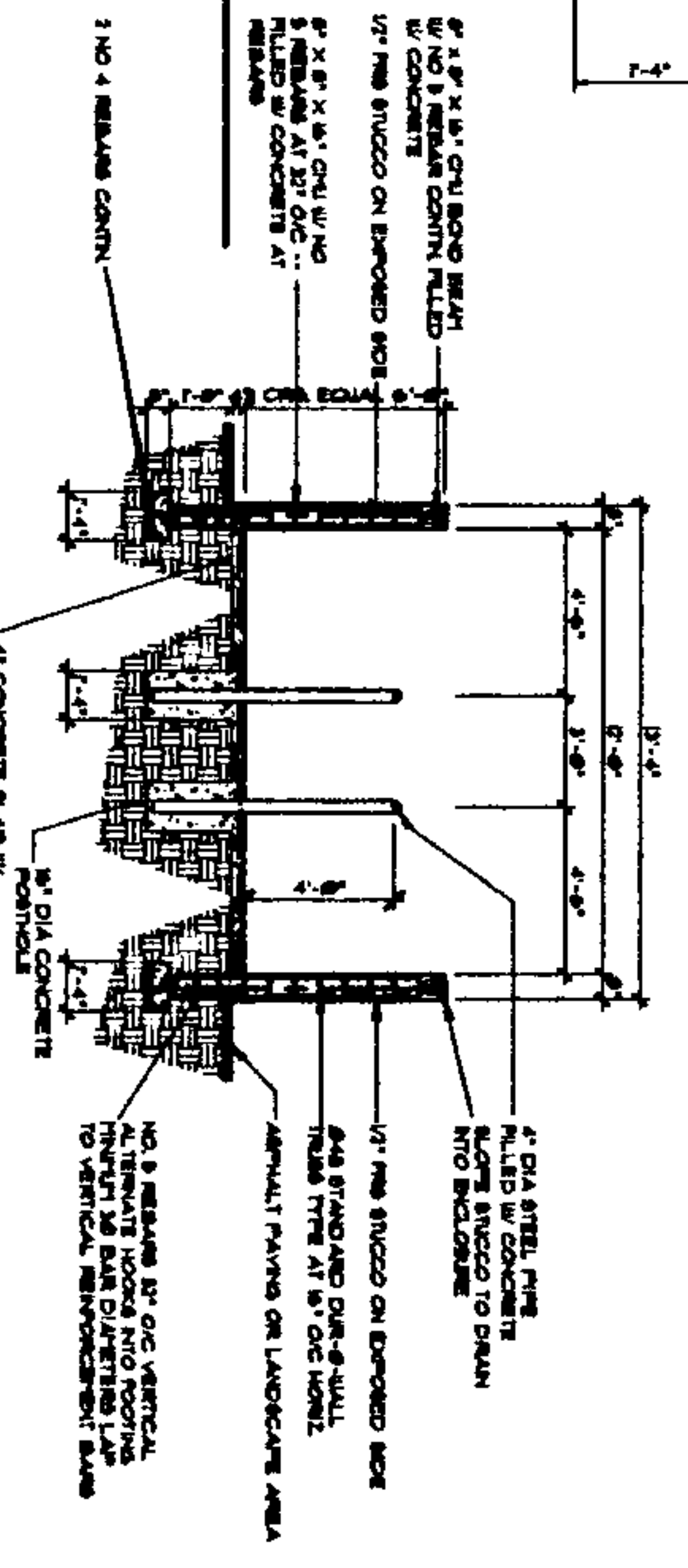
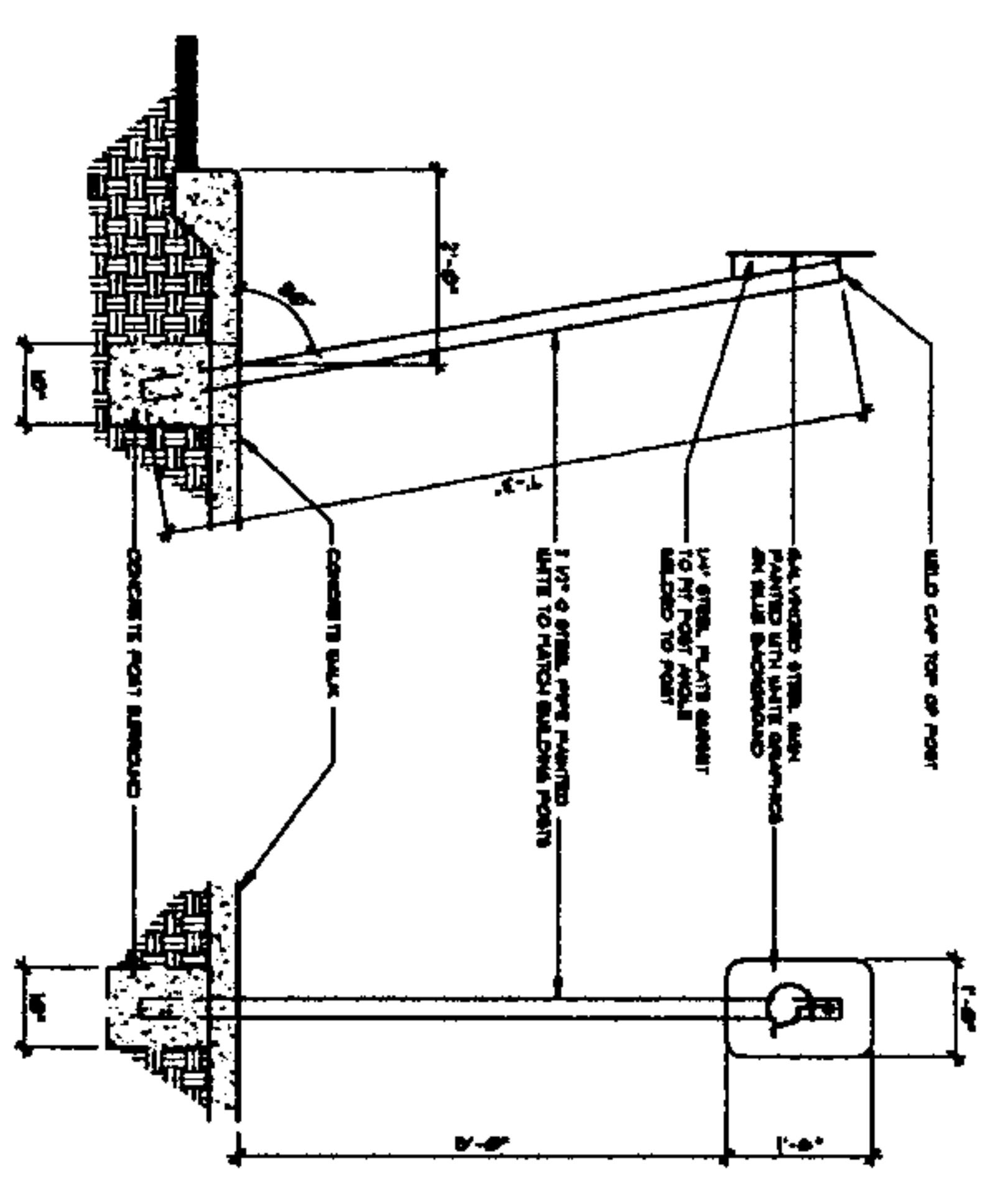
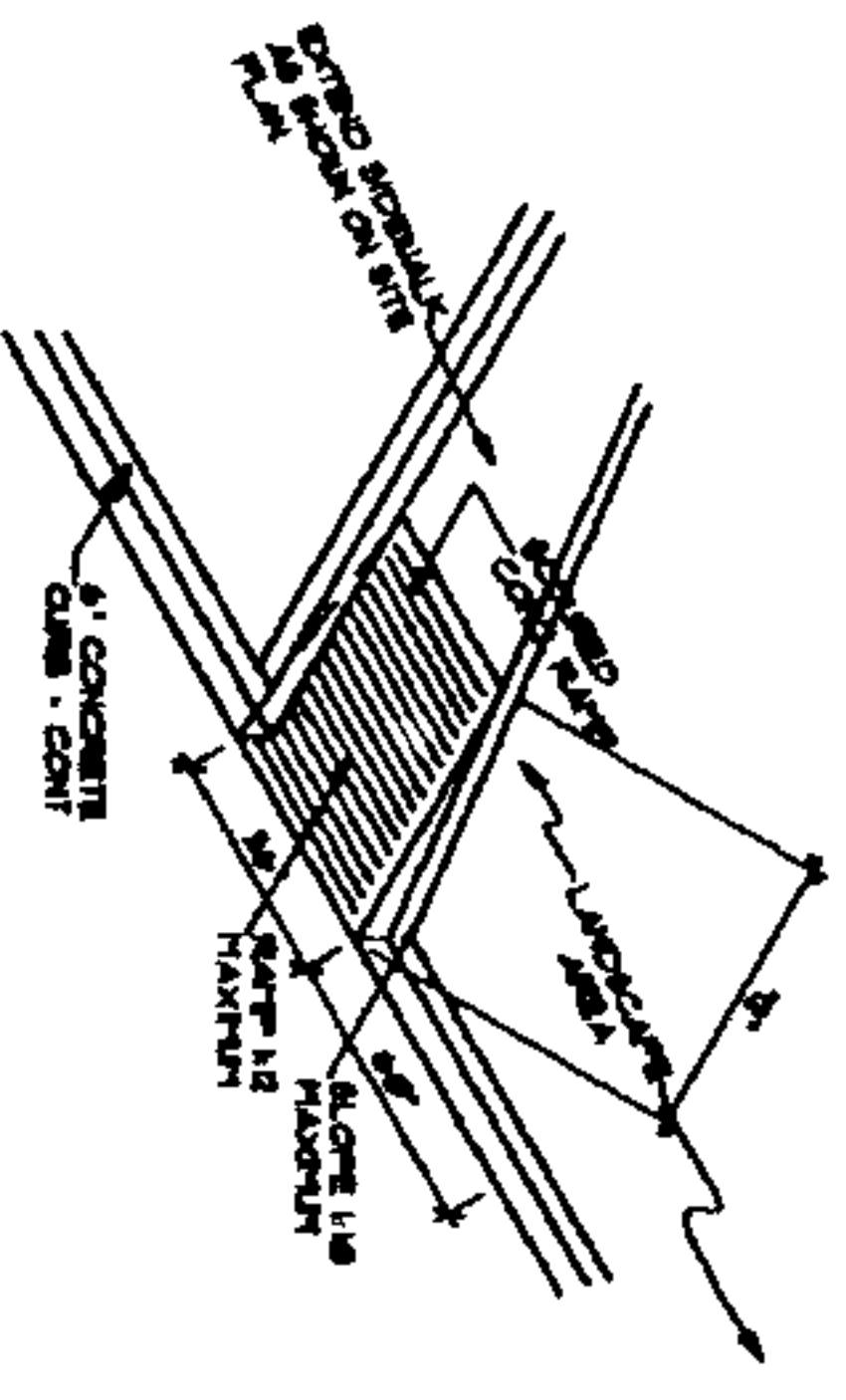
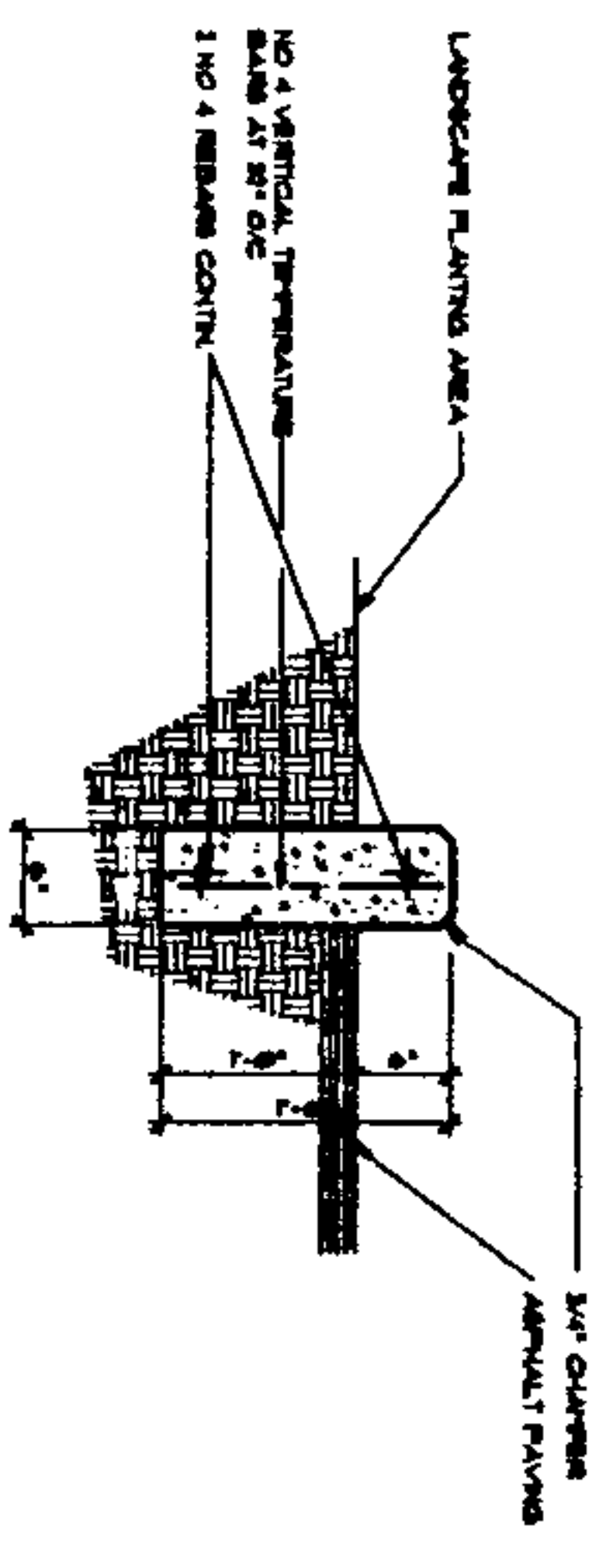
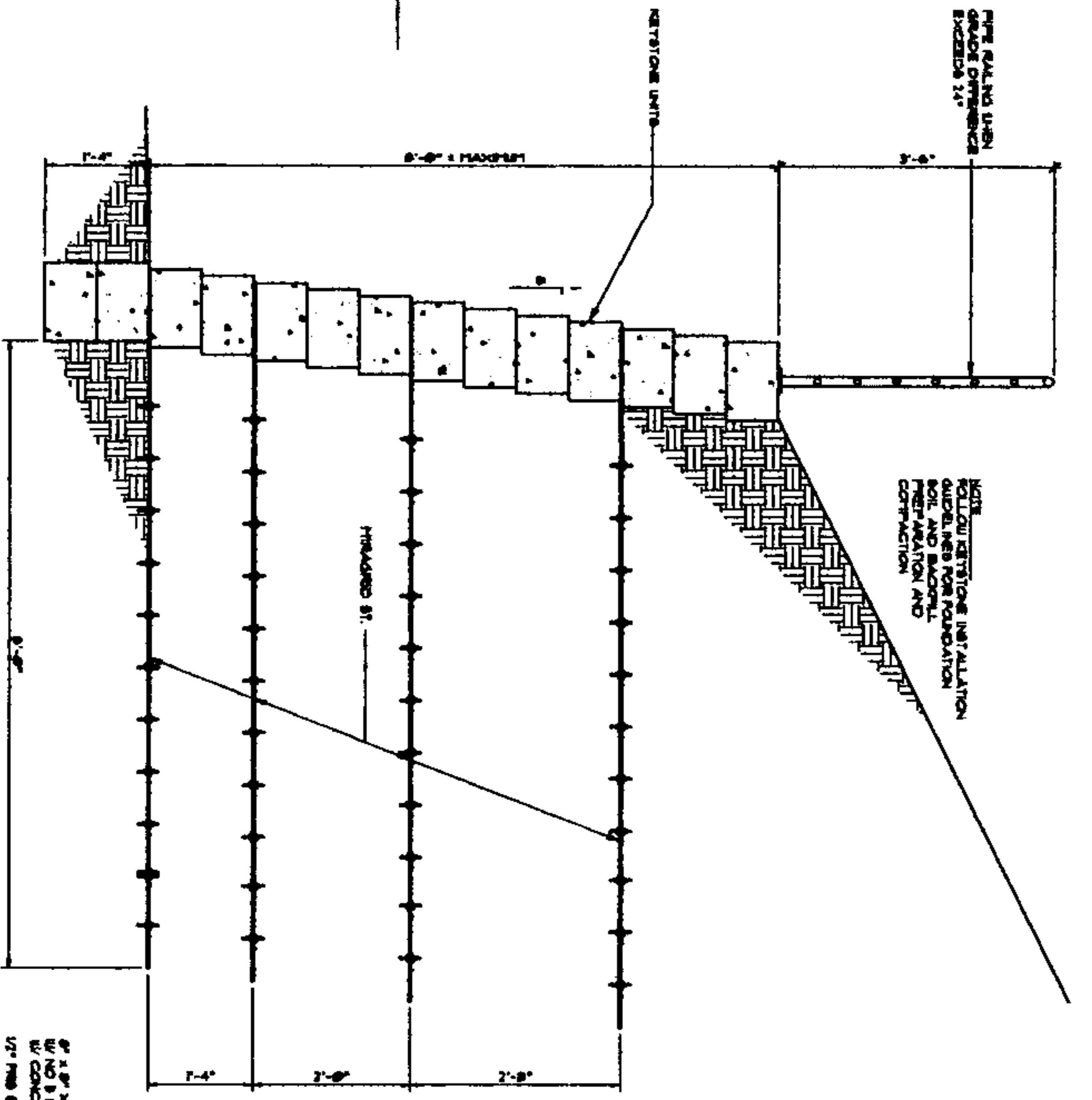
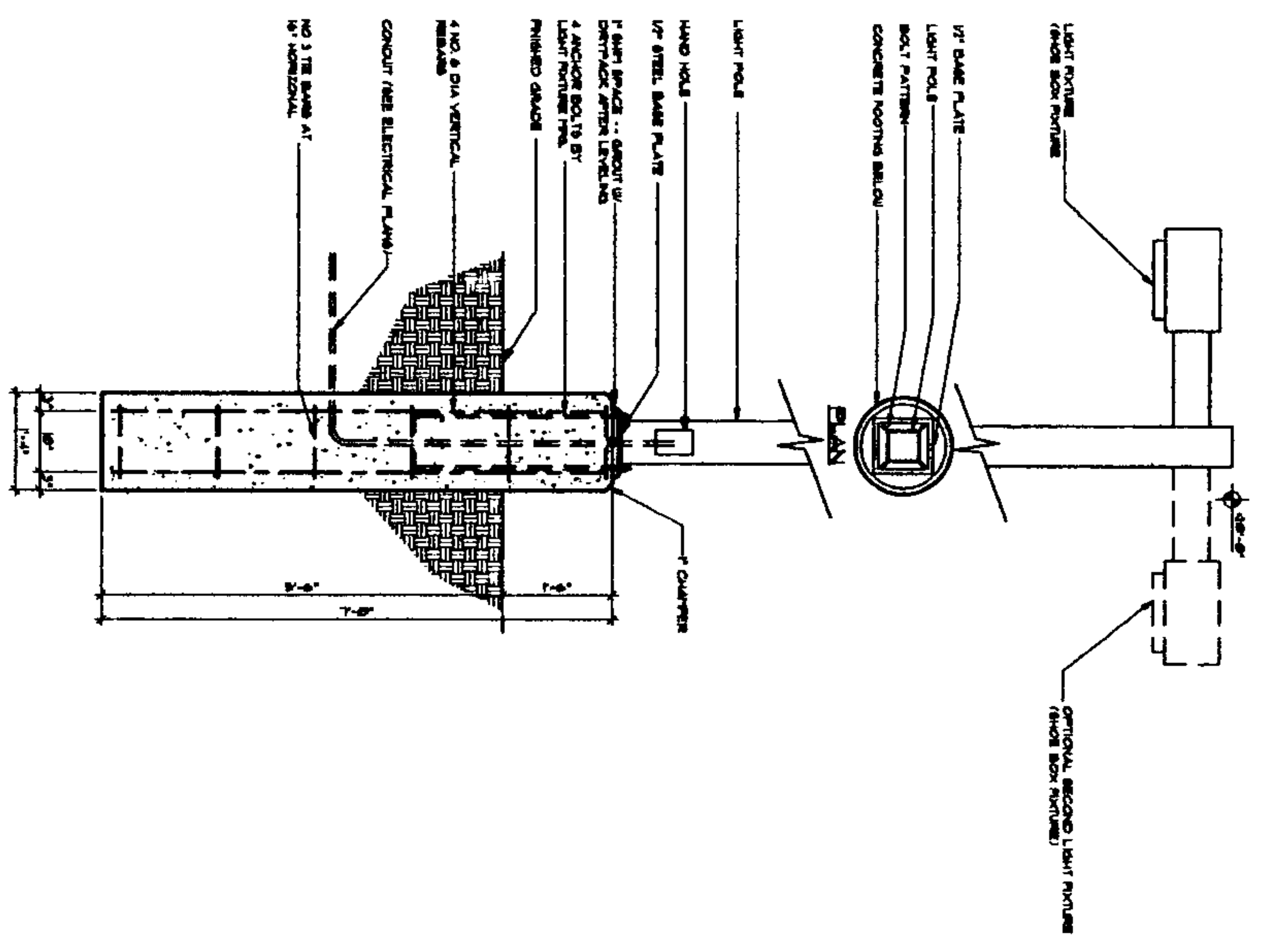
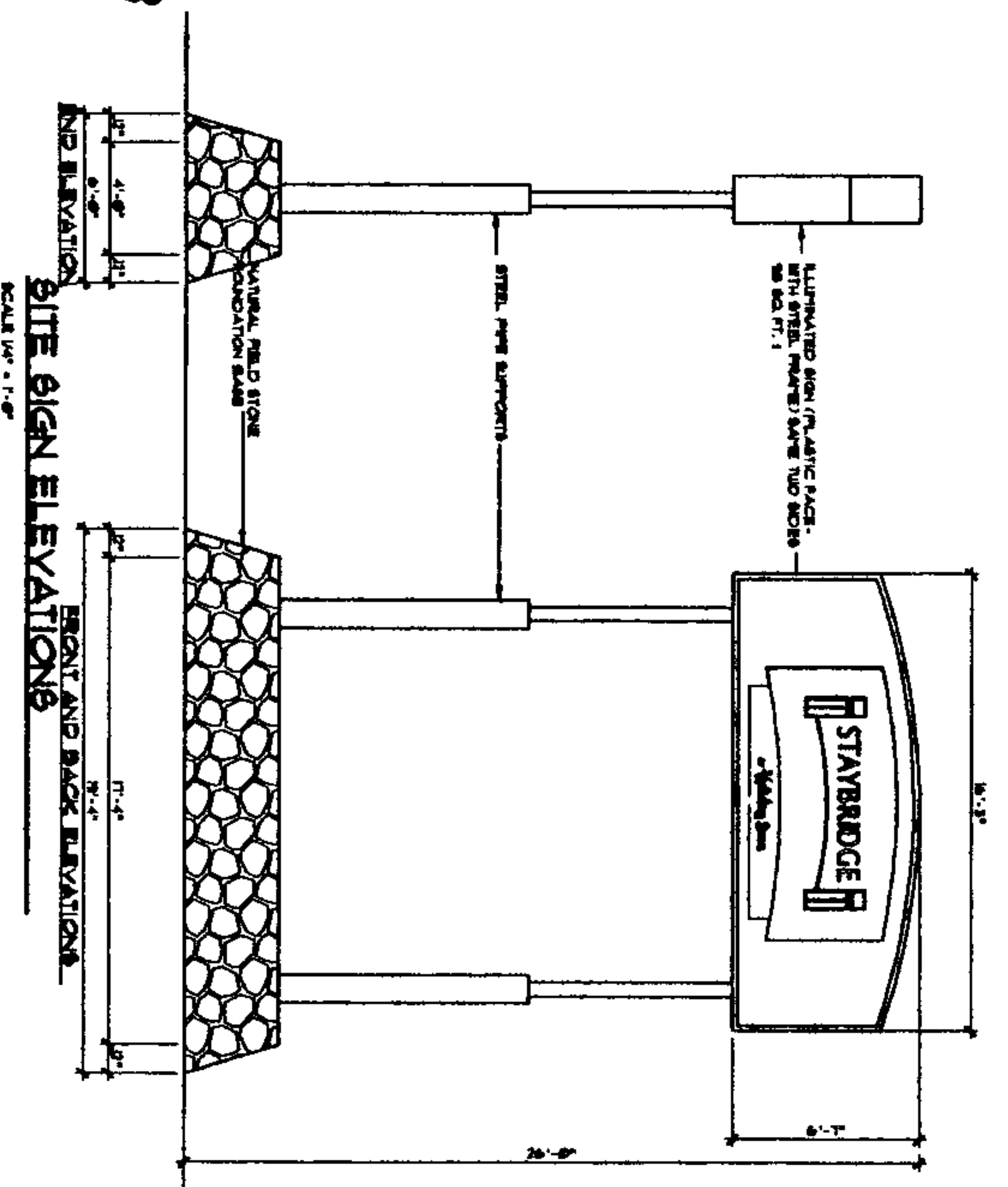
In an Alternative Use request (1) Yes () No. If Yes, then a set of approved CDD plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DESIGN SITE DEVELOPMENT PLAN APPROVAL:

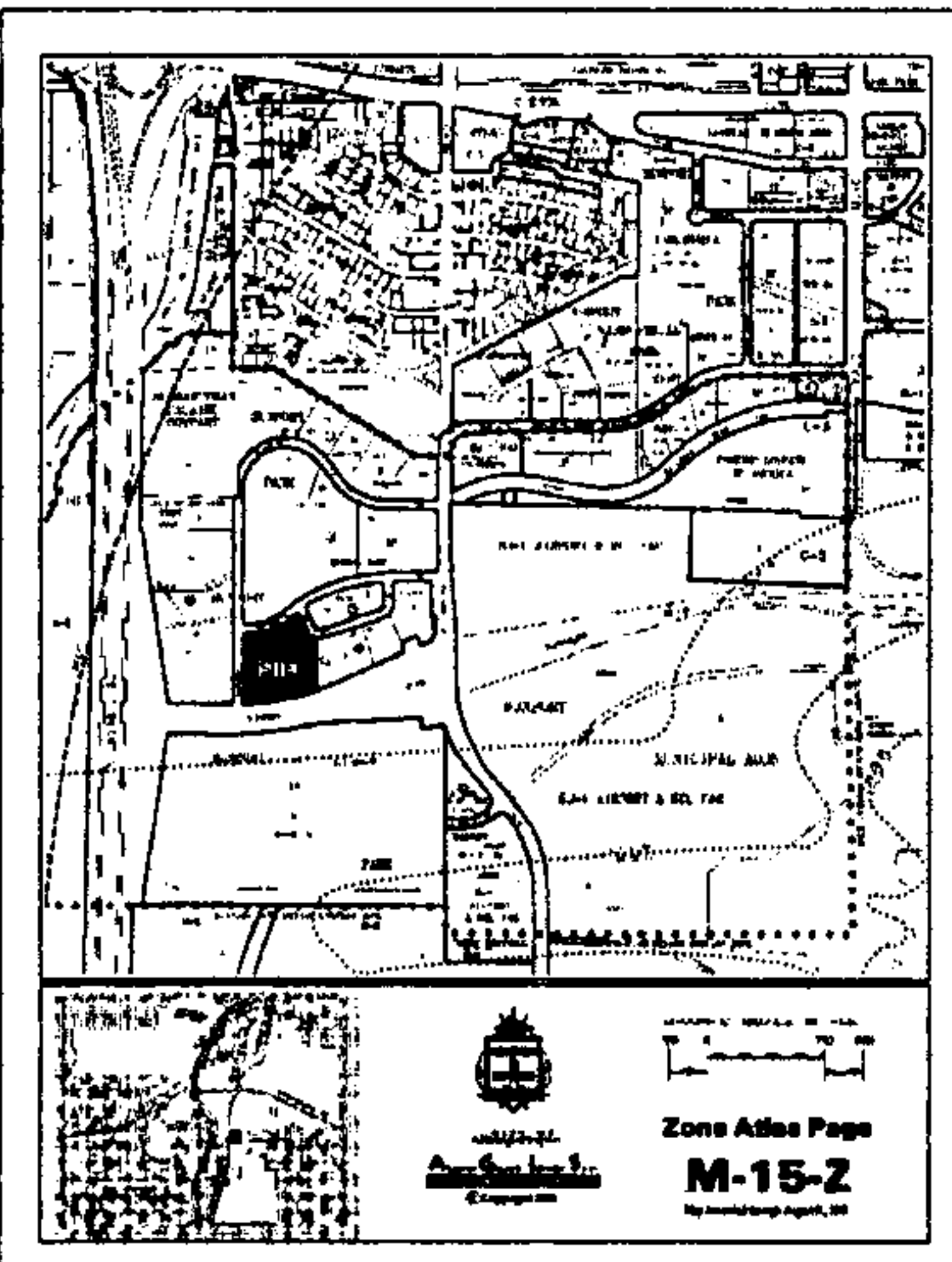
Traffic Engineer, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (optional)	Date
Solid Waste Management	Date
Public Works Department	Date

Professional Seal & Signature _____

	Project: _____ Date: June 10th Drawn by: JMM Checked by: _____	Plan No: _____ Date: _____ Drawn by: _____ Checked by: _____	JIM MEDLEY, Architect 3100 Christine N. E. Albuquerque, NM 87111 www.jimmedley.com	



VICINITY MAP



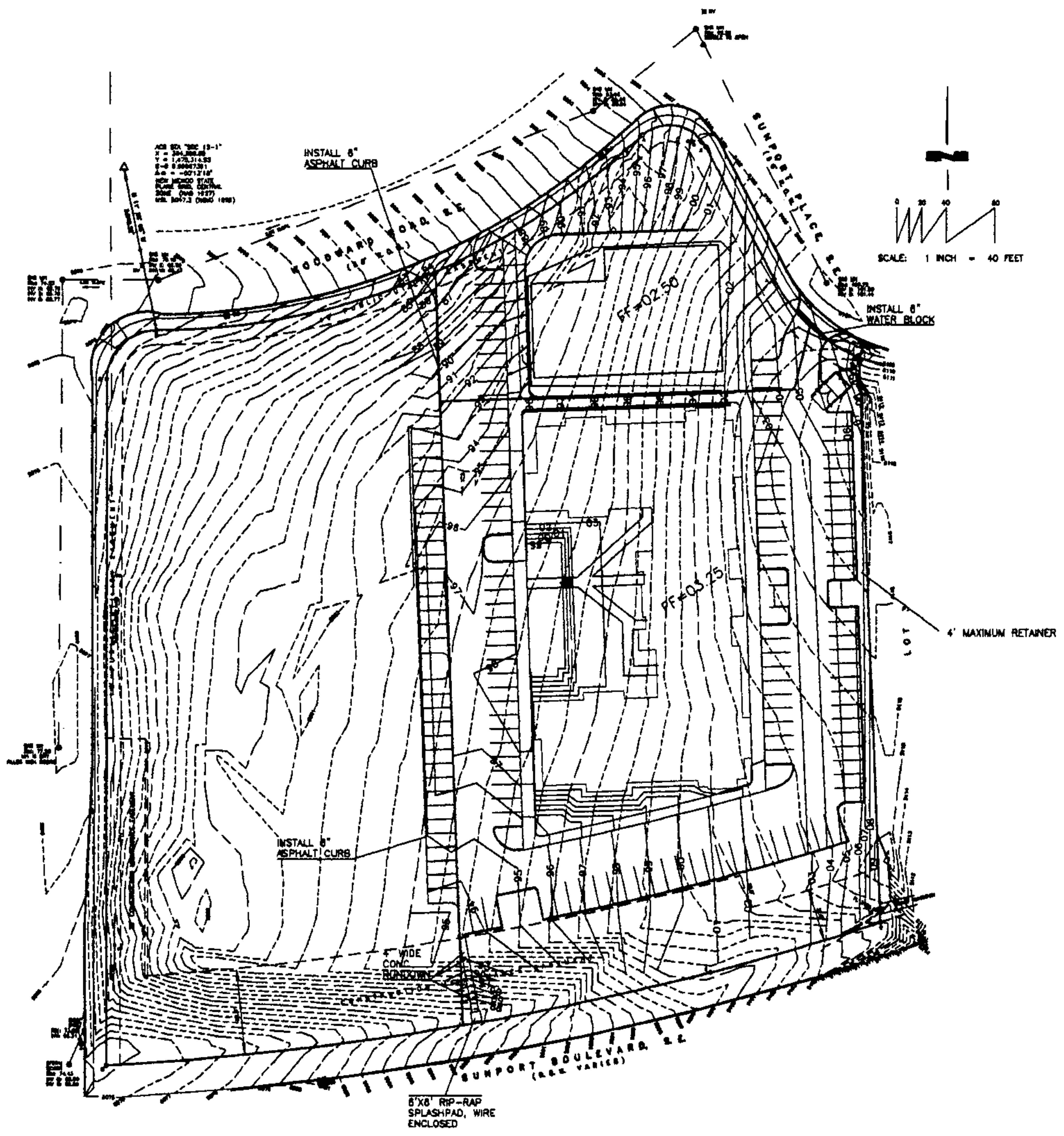
LEGEND

- 5 FT. INTERVALS --- EXISTING INDEX CONTOURS @ 5 FT. INTERVALS
- 1 FT. INTERVALS --- EXISTING CONTOURS @ 1 FT. INTERVALS
- 1.0' INTERVALS --- PROPOSED CONTOURS @ 1.0' INTERVALS
- 58.0 --- EXISTING SPOT ELEVATION
- 58.0 --- PROPOSED SPOT ELEVATION
- --- FLOW LINE
- --- PROPOSED RETAINER
- TC TOP OF CONCRETE
- FL FLOW LINE
- TSW TOP OF SIDEWALK
- RM RIM OF MANHOLE

LEGAL DESCRIPTION AND FLOOD ZONE

Lot numbered Four (4) in Block numbered Four-B (4-B) of SUNPORT PARK, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 7, 1997, in Plat Book 97C, folio 73.

The above described property is located within Zone "X" (No flood hazard), Community Panel No. 350002 0143, E, dated November 19, 2003, and is not located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only.



BENCH MARK

BENCH MARK IS ACS MONUMENT "SDC 12-1" LOCATED 1500' S. OF THE GIBSON BRIDGE OVER ANAFCA SOUTH DIVERSION CHANNEL. NGVD 1929 ELEVATION: 5047.3

OFFSITE FLOW INFORMATION

OFFSITE CONTRIBUTORY FLOW TO THE PROPERTY IS NEGLIGIBLE.

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO PARKING LOTS OR LANDSCAPING VIA GUTTER AND DOWNSPOUT. SEE ROOF PLAN FOR LOCATIONS.
- ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE

DRAINAGE CONCEPT

THIS SITE CURRENTLY FREE DISCHARGES TO TRANSPORT ST., S.E., SUNPORT BLVD., VIA THE 30' CONSTRUCTION EASEMENT AT THE SOUTH END OF THE SITE, OR TO WOODWARD ROAD, S.E., DEPENDING ON THE LOCATION ON THE SITE. THE PROPOSED CONFIGURATION WOULD ALLOW FOR FREE DISCHARGE OF THE SITE AT TWO CONST. LOCATIONS, ONE ON WOODWARD ROAD, S.E. AND ONE ON TRANSPORT ST., S.E. THE AMOUNT OF RUNOFF TO SUNPORT BLVD. WOULD BE GREATLY REDUCED DUE TO THE ADDITION OF CURB AND GUTTER AT THE SOUTH END OF THE DEVELOPED AREA OF THE SITE. NUISANCE RUNK SOUTH END OF THE NEW CURB AND GUTTER AT THE SOUTH END OF THE SITE WOULD STILL BE ALLOWED TO DRAIN TOWARD SUNPORT BLVD., S.E.

NOTICE TO CONTRACTOR

- PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.
- CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO ANY GRADING OR CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AN EPA NPDES, PHASE 2 PERMIT. DUE TO THE SIZE OF THE SITE, A SWPPP WILL BE REQUIRED.

OTHER NOTES

- RETAINING WALL DESIGN BY OTHERS
- TRAFFIC CIRCULATION PLAN BY OTHERS

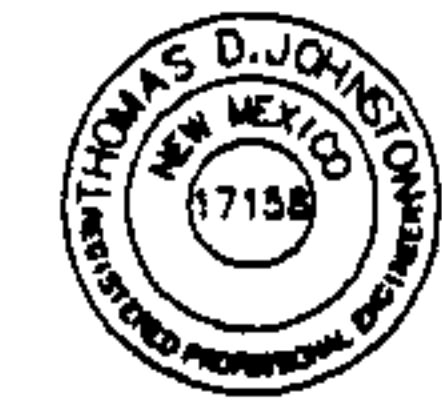
ONSITE HYDROLOGY

DRAINAGE DATA
THIS SITE LIES WITHIN PRECIPITATION ZONE 2

Condition	Return Table 4 (Years)	Treatment Type	Area (sq. ft.)	Precip. (in.)	Runoff Table A-B (cfs/ac)	Volume (cu. ft.)	Rate (cfs)
EXISTING	100	A	0	0.53	1.66	0.0	0.00
		B	213,847	0.78	2.28	13,887.1	11.18
		C	0	1.13	3.14	0.0	0.00
		D	0	2.12	4.70	0.0	0.00
EXISTING	10	A	0	0.13	0.38	0.0	0.00
		B	213,847	0.28	0.85	4,083.1	4.86
		C	0	0.52	1.71	0.0	0.00
		D	0	1.34	3.14	0.0	0.00
DEVELOPED	100	A	0	0.83	1.68	0.0	0.00
		B	106,981	0.78	2.28	8,848.8	8.52
		C	10,900	1.13	3.14	988.8	0.78
		D	97,798	2.12	4.70	17,272.0	10.55
DEVELOPED	10	A	0	0.13	0.38	0.0	0.00
		B	106,981	0.28	0.86	2,458.9	2.30
		C	10,900	0.52	1.71	455.0	0.41
		D	97,798	1.34	3.14	10,917.2	7.05
TOTAL (EXT)	100					13,887.1	11.2
	10					4,083.1	4.7
TOTAL (DEV)	100					25,110.5	16.8
	10					13,881.1	9.8

FLOW RATE INCREASES (100-YR) = 5.6 CFS
 FLOW RATE INCREASES (10-YR) = 5.1 CFS
 6-HOUR RUNOFF INCREASE (100-YR) = 11,223.5 CU. FT.
 6-HOUR RUNOFF INCREASE (10-YR) = 8,848.0 CU. FT.

FLOW RATE INCREASES OF 5.6 CFS AND 5.1 CFS FOR THE 100-YEAR AND 10 YEAR STORMS MAY BE EXPECTED. THE 6-HOUR RUNOFF VOLUMES WILL INCREASE BY 11223.5 CUBIC FEET FOR THE 100-YEAR STORM & 8848.0 CUBIC FEET FOR THE 10-YEAR STORM.



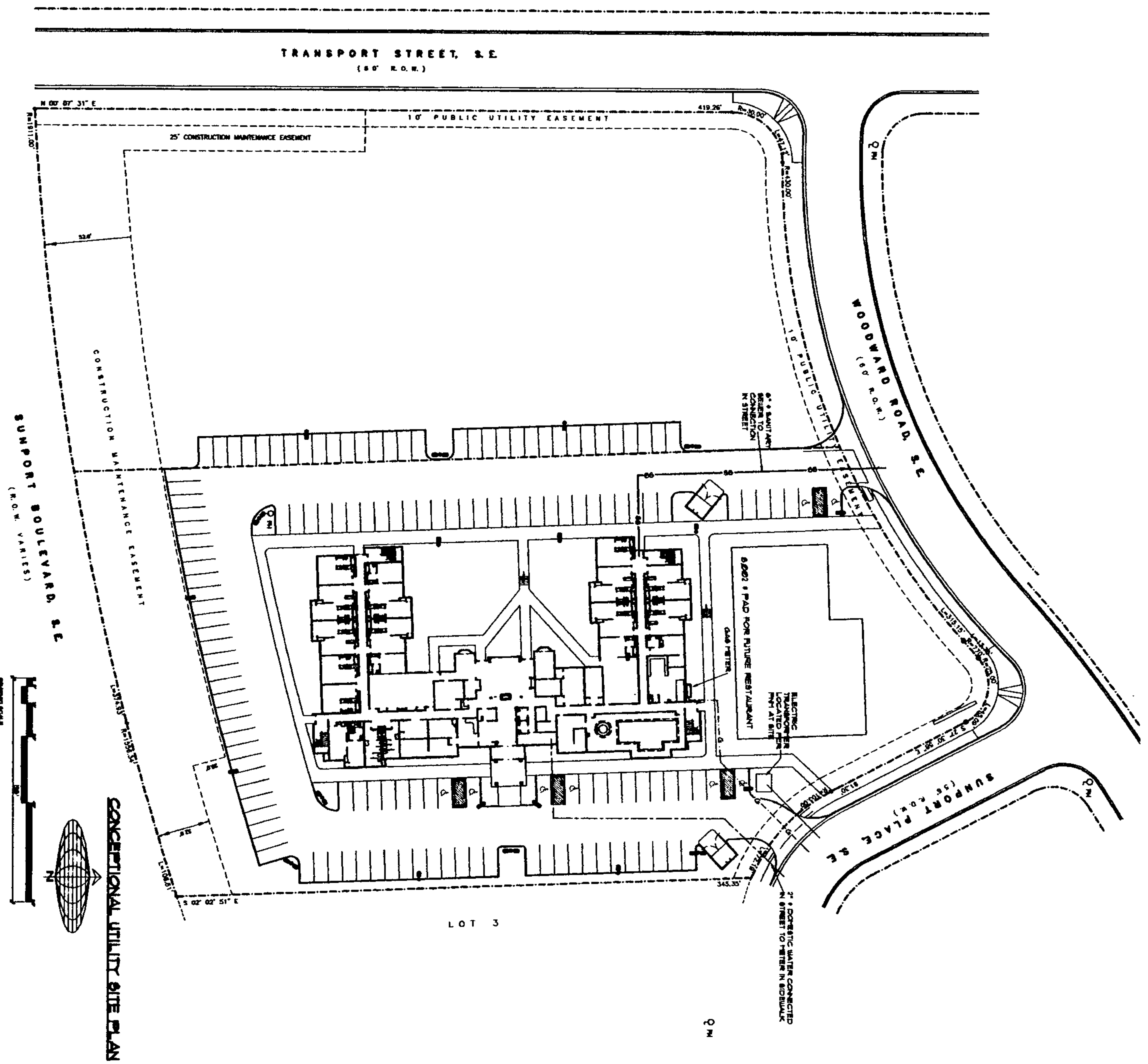
I, THOMAS JOHNSTON, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 14920, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON MAY 28, 2004, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

6-13-06

THOMAS JOHNSTON, N.M.P.E. NO. 17158

CONCEPTUAL DRAINAGE AND GRADING F
 STAYBRIDGE
 LOT 4, BLOCK 4-B, SUNPORT PARK
 FOR: 786 SUNPORT LLC





CONCEPTUAL UTILITY SITE PLAN

LOT 3

<p>U1.1</p>	<p>Sheet Description</p> <p>CONCEPTUAL UTILITY SITE PLAN--SITE DEVELOPMENT PLAN FOR BUILDING PERMIT</p>	<table border="1"> <thead> <tr> <th>No.</th> <th>Revision / Issue</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> </tbody> </table>	No.	Revision / Issue	Date	1			2			<p>Project:</p>	<table border="1"> <tr> <td>Plan No.</td> <td></td> </tr> <tr> <td>Date</td> <td>June 1996</td> </tr> <tr> <td>Drawn by</td> <td>J.M.</td> </tr> </table>	Plan No.		Date	June 1996	Drawn by	J.M.	<p>JIM MEDLEY, Architect <small>NCARB Certificate No. 26,206</small></p> <p>3100 Christine N. E. Albuquerque, NM 87111</p>	
		No.	Revision / Issue	Date																	
1																					
2																					
Plan No.																					
Date	June 1996																				
Drawn by	J.M.																				

FINISH SCHEDULE

1. ALL EXTERIOR SURFACES (WALLS, ROOFS, DRIVEWAYS, PATIOS, PORCHES, STAIRS, ETC.) SHALL BE FINISHED WITH A CONCRETE FINISH (COLOR V-1) UNLESS OTHERWISE NOTED.

2. ALL INTERIOR SURFACES SHALL BE FINISHED WITH A PLASTER FINISH (COLOR V-2) UNLESS OTHERWISE NOTED.

3. ALL INTERIOR SURFACES SHALL BE FINISHED WITH A GYPSONUM FINISH (COLOR V-3) UNLESS OTHERWISE NOTED.

4. ALL INTERIOR SURFACES SHALL BE FINISHED WITH A PLASTER FINISH (COLOR V-4) UNLESS OTHERWISE NOTED.

5. ALL INTERIOR SURFACES SHALL BE FINISHED WITH A GYPSONUM FINISH (COLOR V-5) UNLESS OTHERWISE NOTED.

EXTERIOR FINISHES

EP-1: CONCRETE FINISH (COLOR V-1)

EP-2: PLASTER FINISH (COLOR V-2)

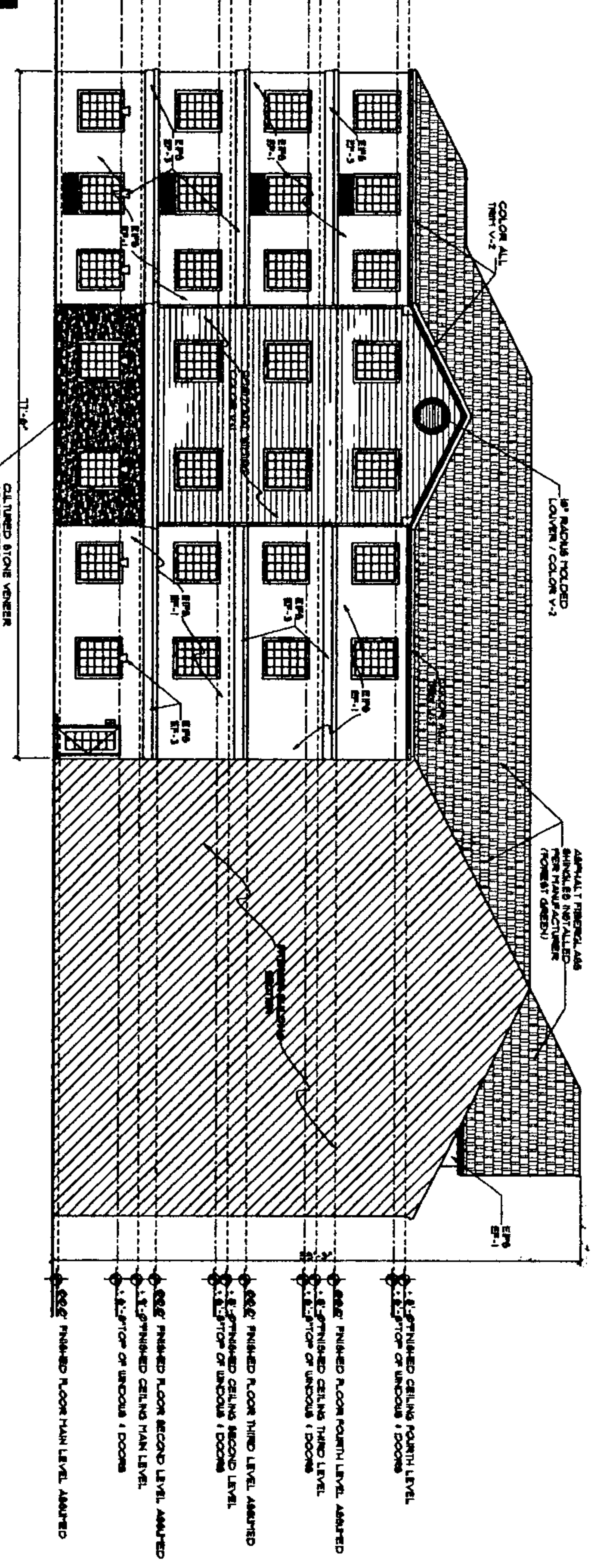
EP-3: GYPSONUM FINISH (COLOR V-3)

EP-4: PLASTER FINISH (COLOR V-4)

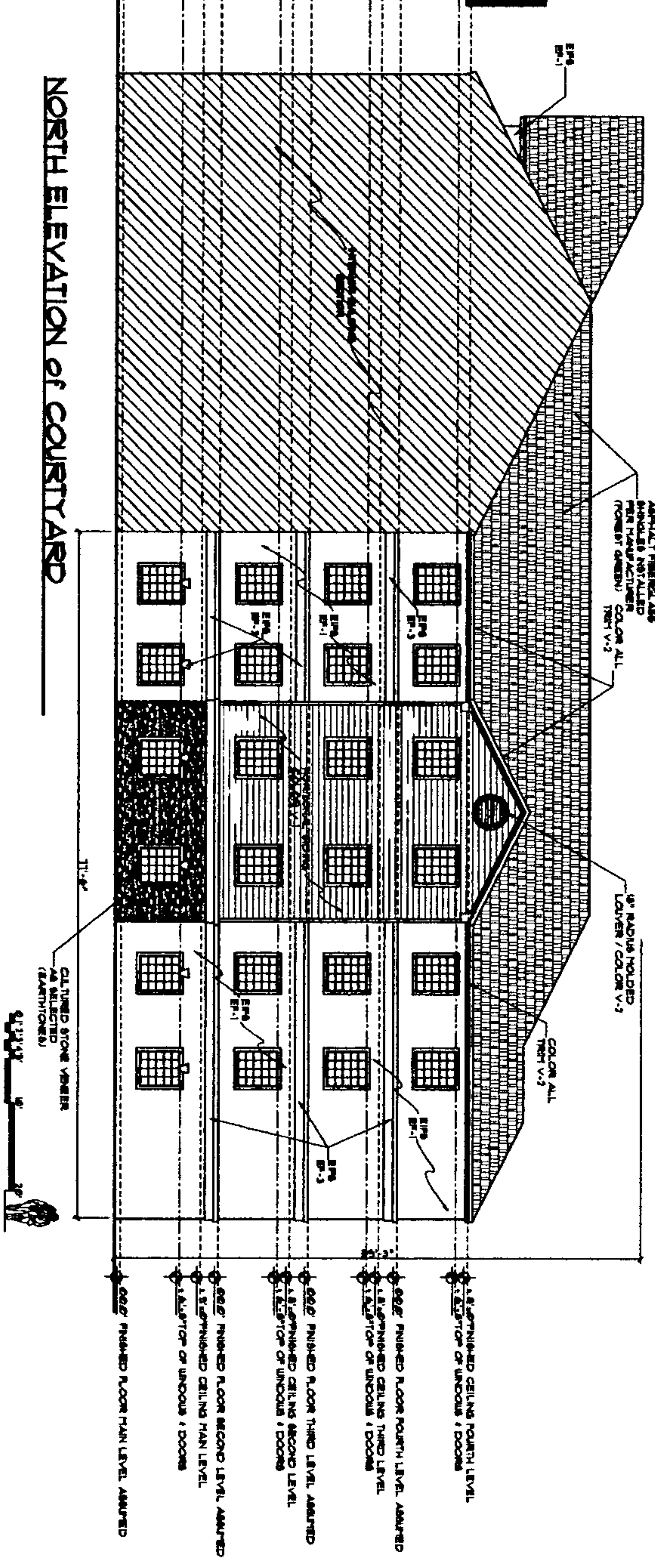
EP-5: GYPSONUM FINISH (COLOR V-5)

NOTE: THE FINISHES SHOWN ARE FOR INFORMATION ONLY. THE FINISHES TO BE USED SHALL BE DETERMINED BY THE ARCHITECT AND THE CONTRACTOR.

NOTE: THE FINISHES SHOWN ARE FOR INFORMATION ONLY. THE FINISHES TO BE USED SHALL BE DETERMINED BY THE ARCHITECT AND THE CONTRACTOR.

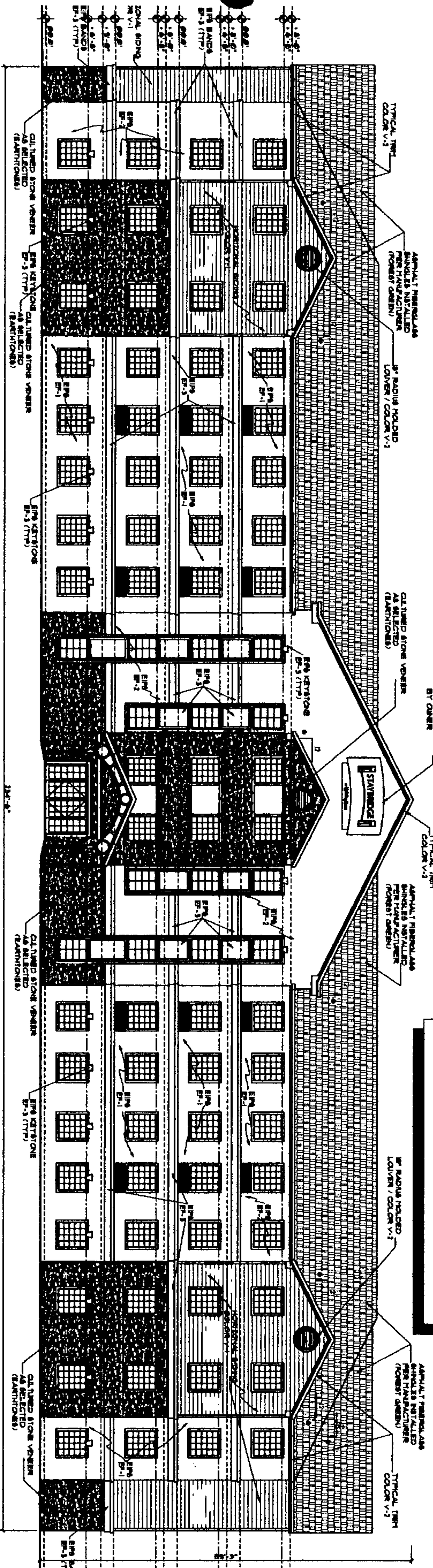


SOUTH ELEVATION of COURTYARD



NORTH ELEVATION of COURTYARD

EAST ELEVATION

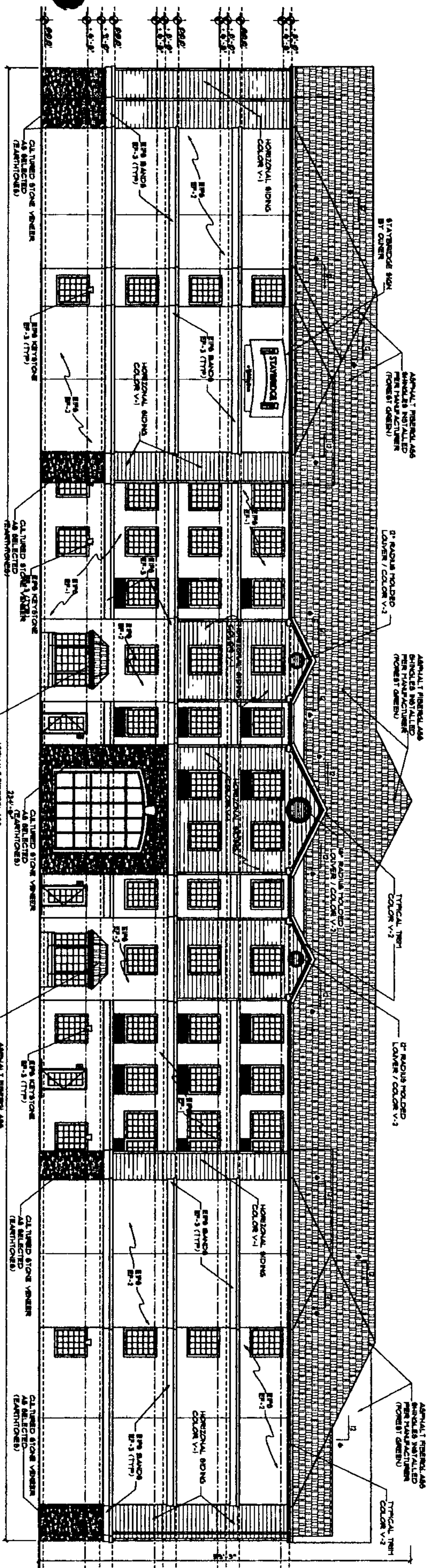


USA COLORS:
 BR-1: CAMPAIGN 1 SAND (MEDIUM SAND), CLASSIC FINISH
 BR-2: SIBOUT 9500 (LIGHT SAND), CLASSIC FINISH
 BR-3: EXCELLENCE 5000 (CREAM COLOR), CLASSIC FINISH
 MANUFACTURER'S COLORS ARE PER SEENERY.
 NOTE: THE FINISH BR-3 THICKNESS IS 1\"/>

ADDITIONAL NOTES:
 V-1: SANDSTONE (LIGHT SAND) / V-2: OR GLEASON PAINT * 200775107
 V-3: SANDSTONE (MEDIUM SAND) / V-4: OR GLEASON PAINT * 48775354
 GENTLENESS COLOR IS ACCEPTABLE.

NOTE:
 1. COLOR OF FACIA AND ROOF TO MATCH SIGN COLOR V-3
 2. ALL POINT DOWNPOINTS NOT FROM FROM CLARITY, INSTALL
 REQUIRED TO MATCH COLOR OF GLEASON PAINT DOWNPOINTS
 TO MATCH ADJACENT SIGN USING NOTION COORDS IN BANDS.
 3. NOTION STAINED USING DOWNPOINTS PAIR TRAIL PAINT
 DOWNPOINT AT BAND TO MATCH BAND.
 4. ALL CONSIGNATION LINES FROM FROM SMALL DAVILIGHT
 INTO CLOSET LANDSCAPE AREA.
 5. TRIM AROUND ALL WINDOWS AND DOORS TO BE COLOR BR-3.

WEST ELEVATION



USA COLORS:
 BR-1: CAMPAIGN 1 SAND (MEDIUM SAND), CLASSIC FINISH
 BR-2: SIBOUT 9500 (LIGHT SAND), CLASSIC FINISH
 BR-3: EXCELLENCE 5000 (CREAM COLOR), CLASSIC FINISH
 MANUFACTURER'S COLORS ARE PER SEENERY.
 NOTE: THE FINISH BR-3 THICKNESS IS 1\"/>

ADDITIONAL NOTES:
 V-1: SANDSTONE (LIGHT SAND) / V-2: OR GLEASON PAINT * 200775107
 V-3: SANDSTONE (MEDIUM SAND) / V-4: OR GLEASON PAINT * 48775354
 GENTLENESS COLOR IS ACCEPTABLE.

NOTE:
 1. COLOR OF FACIA AND ROOF TO MATCH SIGN COLOR V-3
 2. ALL POINT DOWNPOINTS NOT FROM FROM CLARITY, INSTALL
 REQUIRED TO MATCH COLOR OF GLEASON PAINT DOWNPOINTS
 TO MATCH ADJACENT SIGN USING NOTION COORDS IN BANDS.
 3. NOTION STAINED USING DOWNPOINTS PAIR TRAIL PAINT
 DOWNPOINT AT BAND TO MATCH BAND.
 4. ALL CONSIGNATION LINES FROM FROM SMALL DAVILIGHT
 INTO CLOSET LANDSCAPE AREA.
 5. TRIM AROUND ALL WINDOWS AND DOORS TO BE COLOR BR-3.



AS

Sheet Description
**SITE DEVELOPMENT PLAN
 EAST AND WEST
 EXTERIOR ELEVATIONS**

No.	Revision / Issue	Date:
1		
2		

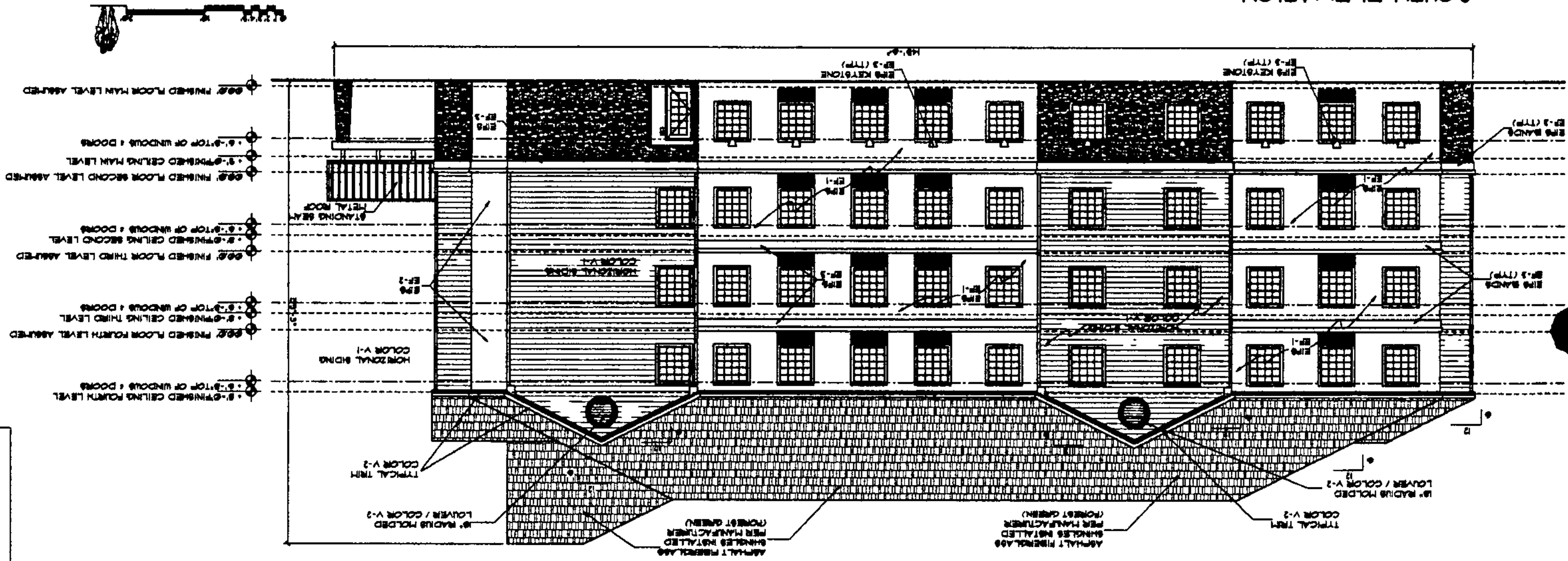
Project:

Plan No.
 Date: June '06
 Drawn by: JMM

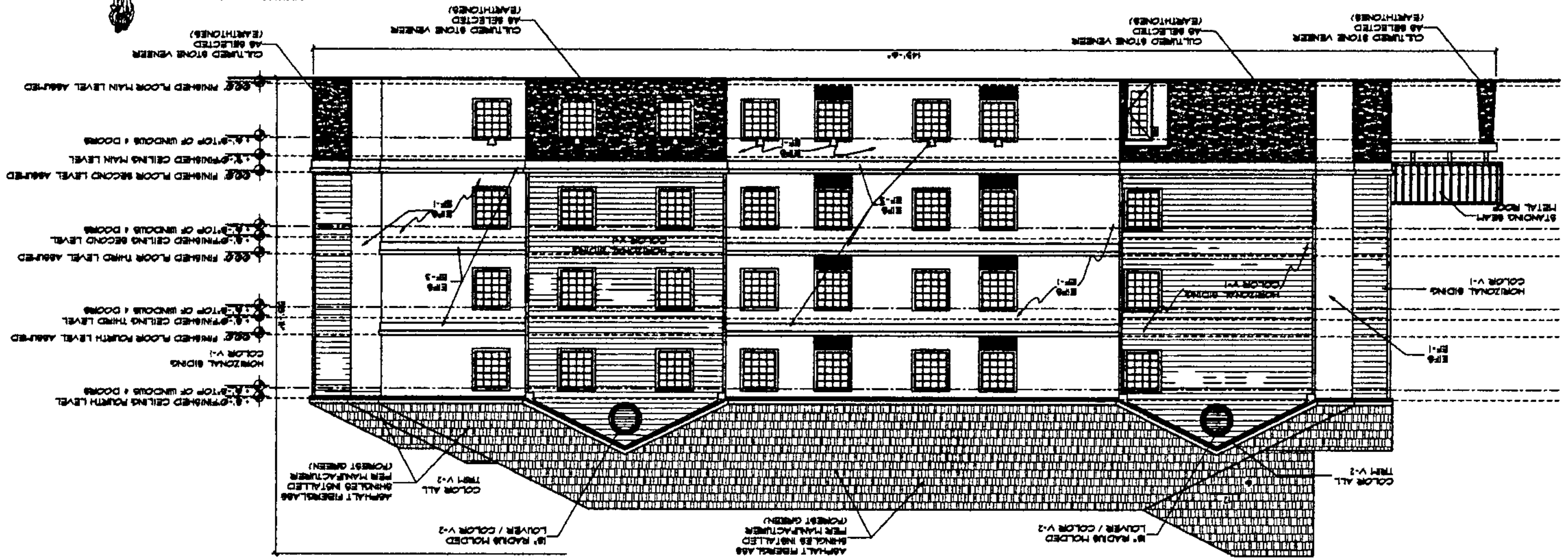
JIM MEDLEY, Architect
 NCARB Certificate No. 05,000
 3100 Christine N. E. Albuquerque, NM 87111



SOUTH ELEVATION



NORTH ELEVATION



NOTE:

1. COLOR OF FACIA AND ROOF TO MATCH BROWN COLOR V-2.
2. ALL SHUNT DOWNPOUTS (NOT SHOWN FOR CLARITY, INSTALL AROUND EXISTING DOWNPOUTS OR NEW WITH DOWNPOUTS AS REQUIRED) TO MATCH COLOR OF EXISTING PAINT DOWNPOUTS TO MATCH ADJACENT EAVE THERE WHERE NOTCH DOORS IN BANDING.
3. NOTCH STAIRS AND WHERE DOWNPOUTS PASS TRAIL PAINT DOWNPOUT AT BAND TO MATCH BAND.
4. ALL CONDENSATION LINES FROM TRAC UNITS SHALL DAYLIGHT INTO CLOSEST LANDSCAPE AREA.
5. TRIM AROUND ALL WINDOWS AND DOORS TO BE COLOR EP-1.

NOTE: THE NUMBER EAVE THICKNESS IS 1". SEE EAVE NOTES FOR OTHER THICKNESS.

EXTRA COLORS:

- EP-1: CANTONMENT (200) (REDUPT BROWN) CLASSIC FINISH
- EP-2: BRIGHT (200) (LIGHT BROWN) CLASSIC FINISH
- EP-3: EDUCLINE (200) (CREAM COLOR) CLASSIC FINISH

MANUFACTURERS COLORS ARE PER SPECIFICATION.

STONE COLORS:

V-1: SANDSTONE (LIGHT BROWN) (VINTL) OR SLUDGER PAINT (2077/8/8/8/8)

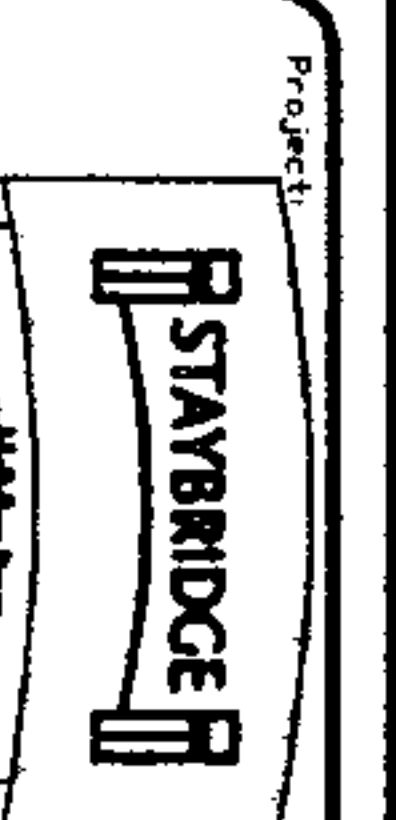
V-2: CALLED (REDUPT BROWN) (VINTL) OR SLUDGER PAINT (2077/8/8/8/8)

CERTAINUS BROWN IS ACCEPTABLE.



Sheet Description
**SITE DEVELOPMENT PLAN
 NORTH AND COURTYARD
 EXTERIOR ELEVATIONS**

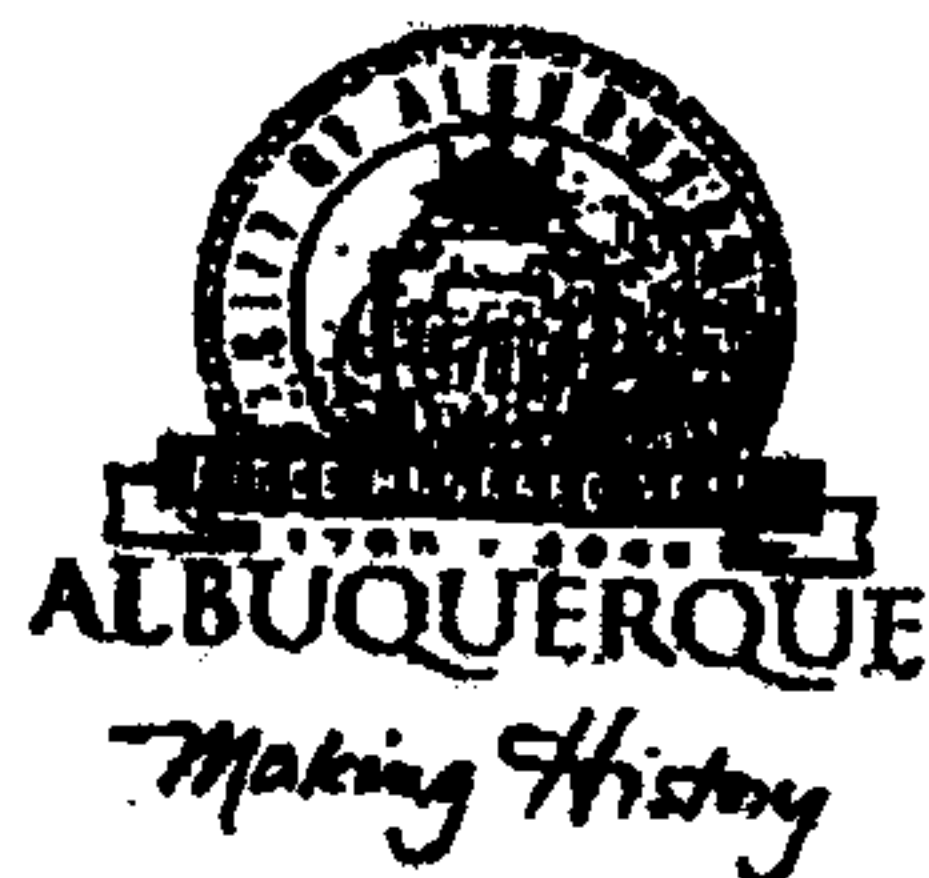
No.	Revision / Issue	Date



Project No.
 Date
 Job No.
 Drawn By
 Date

STW MEDLEY, Architect
 3100 Chestnut N. E.
 Albuquerque, NM 87111





City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

June 21, 2006

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on June 21, 2006:

CONTACT NAME:

JIM MEDLEY

COMPANY OR AGENCY: JIM MEDLEY, ARCHITECT, AIA
3100 CHRISTINE ST. NE
PHONE: 292-3514/FAX: 294-5593

contacted the Office of Neighborhood Coordination requesting the contact names for any Recognized Neighborhood Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at **LOT 4, BLK 4-B, SUNPORT PARK LOCATED ON WOODWARD RD. SE BETWEEN TRANSPORTATION ST. & UNIVERSITY AND ALSO SUNPORT BLVD. BETWEEN UNIVERSITY & I-25 zone map M-15**

Our records indicate that as of June 21, 2006, there were no Recognized Neighborhood Associations in this area.

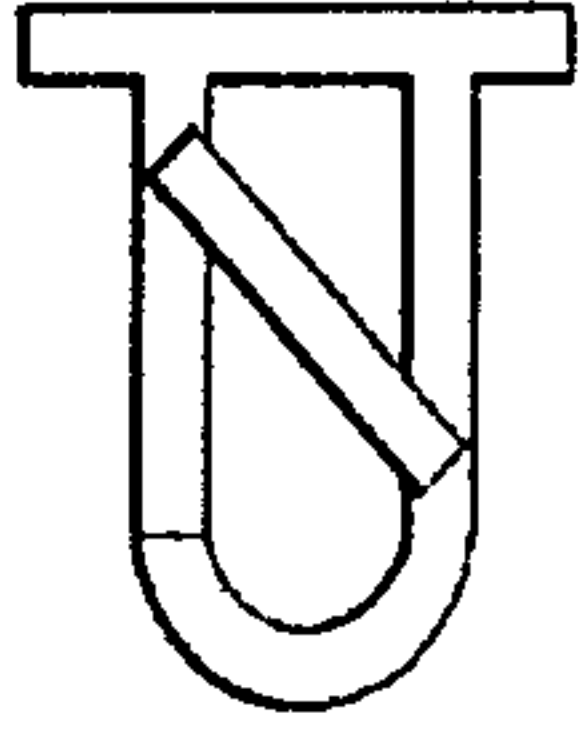
If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at dlcarmona@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Dalaina L. Carmona

Senior Administrative Assistant
OFFICE OF NEIGHBORHOOD COORDINATION
PLANNING DEPARTMENT

planningnrnaform(10/18/04)



TNJ Group of Companies

1520 Tramway Blvd. NE, #200
Albuquerque, NM 87112
Ph: (505) 275-8223 Fax: (505) 275-9667

June 14, 2006

To Whom It May Concern:

By way of this letter 786 Sunport, LLC is appointing Mr. Jim Medley as its agent for the purpose obtaining all zoning and architectural plan approvals with the City of Albuquerque.

Should you have any questions please call me at the above number.

Sincerely,

Tushar Patel
786 Sunport, LLC,
Managing Member

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 6/19/06
Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' [Other scales as approved by staff]
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures
- B. Square footage of each structure and building footprint (if different from total square footage)
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, including location.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: _____ provided: _____
Handicapped spaces required: _____ provided: _____
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: _____ provided: _____
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Bus facilities, including routes, bays and shelters existing or required

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

4. Utilities

- 1. Property lines
- 2. Building Footprint
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Fire hydrant locations, existing and proposed.
- 5. Distribution lines
- 6. Existing and proposed water, sewer, storm drainage facilities (public and/or private).

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Method for meeting Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location and detail of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations and/or contour lines (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and "common name" colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME TNJ GROUP OF COMPANIES
 AGENT JIM MEDLEY ARCHITECT AIA
 ADDRESS 3100 CHRISTINE ST. NE
 PROJECT & APP # 1004985/06DRB 00916
 PROJECT NAME STAY BRIDGE

City of Albuquerque
Treasury Division

6/22/2006 1:17PM LOC: ANNX
 RECEIPT# 00060083 WSH 008 TRANSH 0014
 Account 441018 Fund 0110
 Activity 4971000 TRSLJS
 Trans Amt \$480.00
 J24 Misc \$75.00

- \$ 20.00 441032/3424000 Conflict Management Fee
- \$ 385.00 441006/4983000 DRB Actions
- \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
- \$ 75.00 441018/4971000 Public Notification
- \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
- \$ 480.00 TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

6/22/2006 1:17PM
 RECEIPT# 00060082 WSH 008 TRANSH 0114
 Account 441006 Fund 0110
 Activity 4983000 TRSL
 Trans Amt \$480.00
 J24 Misc

City of Albuquerque
Treasury Division

City Of Albuquerque
Treasury Division

6/22/2006 1:17PM LOC: ANNX
 RECEIPT# 00060081 WSH 008 TRANSH 0014
 Account 441032 Fund 0110
 Activity 3424000 TRSLJS
 Trans Amt \$480.00
 J24 Misc

\$20.00
Thank You

Counterreceipt.doc 6/21/04

\$480.00
\$0.00

Thank You

VI
CHANGE

\$385.00
Thank You

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from JULY 4th, 2006 To JULY 19th, 2006

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature]
(Applicant or Agent)

6/22/06
(Date)

I issued 1 signs for this application, 6/22/06 [Signature]
(Date) (Staff Member)

DRB PROJECT NUMBER: 1004985