

USC & GS BRASS TABLE STAMPED "TUMBLE"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X=425,465.55 Y=1,513,470.01
 GROUND TO GRID FACTOR = 0.99961970
 DELTA ALPHA = -00°08'37"
 NGVD 1929 SPIRIT ELEVATION = 6009.155

EXISTING US FOREST SERVICE
 HIKING & BIKING EASEMENT
 FILED: JUNE 30, 1993
 (BK. 93-17, PGS. 2845-2853)
 DOCUMENT NO. 93-069101

ONE-STORY (18') (LOTS)	TWO-STORY (24') (LOTS)
1	2
5	3
6	4
7	14
8	15
9	16
10	18
11	19
12	
13	
17	

Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C14	92°27'07"	26.09'	40.34'	25.00'	36.10'	S45°35'18"E
C15	57°35'08"	4.40'	8.04'	8.00'	7.71'	S63°01'18"E
C16	98°30'18"	32.87'	48.69'	28.32'	42.91'	S70°37'14"E
C17	61°33'34"	1.19'	2.15'	2.00'	2.05'	S89°05'36"E
C18	29°29'51"	39.49'	77.22'	150.00'	76.37'	S43°33'53"E
C19	26°56'31"	21.56'	42.32'	90.00'	41.93'	S15°20'41"E
C20	51°35'27"	4.83'	9.00'	10.00'	8.70'	S23°55'18"W
C21	68°40'35"	19.13'	33.56'	28.00'	31.59'	S15°22'44"W
C22	23°30'50"	14.15'	27.91'	68.00'	27.71'	S07°12'09"E
C23	56°18'27"	6.42'	11.79'	12.00'	11.32'	S32°42'30"W
C24	81°52'22"	19.08'	31.44'	22.00'	28.83'	S19°55'33"W
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Tangent Data		
ID	BEARING	DISTANCE
T10	N90°00'00"W	12.11'
T11	N00°00'00"W	40.00'
T12	S90°00'00"W	5.30'
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ACS ALUMINUM TABLE STAMPED "1-024 RESET 1973/1995"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X = 431,318.24 Y = 1,513,364.75
 GROUND TO GRID FACTOR = 0.999605987
 DELTA ALPHA = -00°07'56"
 ELEVATION=6261.978

- SURVEY NOTES:**
- UNLESS OTHERWISE NOTED, ALL COORDINATE CORNERS SHOWN THUS (●) SHALL BE MARKED BY A #5 REBAR STAMPED "GROMATZKY, PS 16469".
 - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED. DO NOT DISTURB, P.L.S. 16469".
 - THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
 - DISTANCES SHALL BE GROUND DISTANCES.
 - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES
for RCB/M... August 9, 2007
 CITY SURVEYOR DATE

THE PURPOSE OF THIS PRELIMINARY PLAT IS TO SUBDIVIDE TRACT A INTO 19 LOTS.

GENERAL NOTES

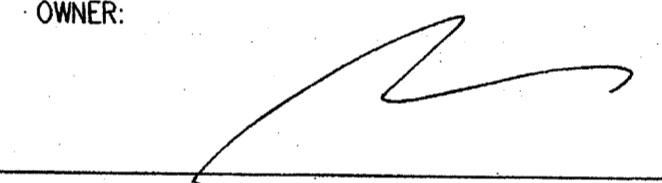
- EXISTING ZONING: SU-2 HD/R-R
 PROPOSED DEVELOPMENT: SINGLE FAMILY DETACHED
- DESCRIPTION: TRACT 'A' OF UNIT 2 WILDERNESS AT HIGH DESERT
 FILED: DECEMBER 11, 2003, BK.-2003C, PG.-373
 DOCUMENT NO. 2003220908

TOTAL SUBDIVISION ACREAGE:
 WILDERNESS CAÑON TRACT 'A' 3.9653 ACRES
 0.6353 ACRES

TOTAL NUMBER OF LOTS 19

PROPOSED DENSITY:
 UNIT 1 4.80 D.U./AC.
 MINIMUM LOT WIDTH 53'
 MINIMUM LOT AREA 5256.26 SF / 0.1207 AC.

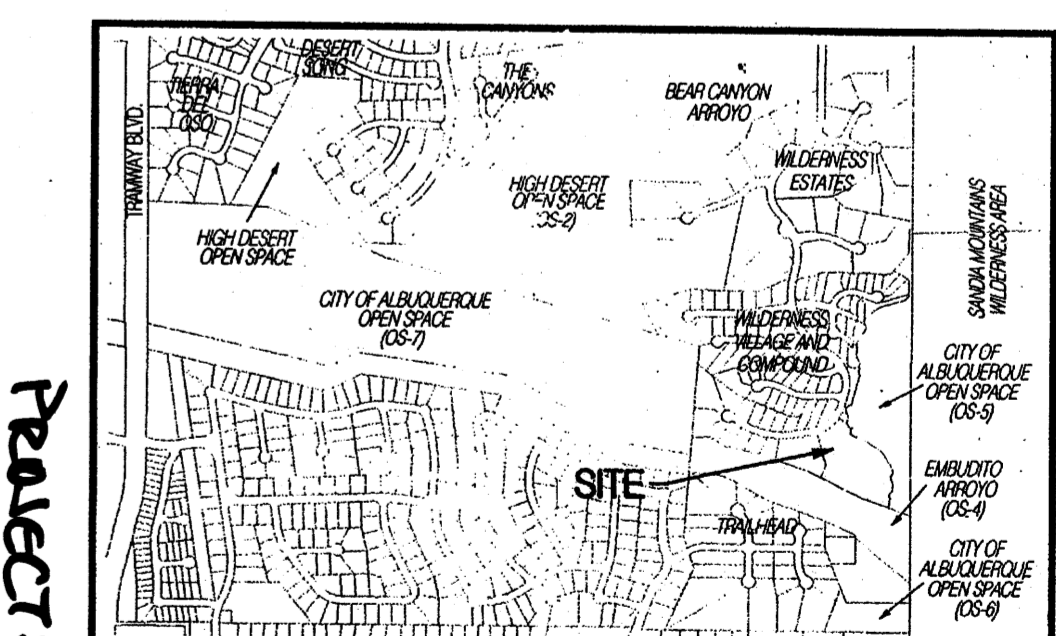
- GENERAL NOTES**
- NO WOOD BURNING FIREPLACE WILL BE PERMITTED. ALL FIREPLACES MUST BE GAS FIRED USING ARTIFICIAL LOGS.
 - ALL SETBACKS SHOWN ARE IN ACCORDANCE WITH THE R-T ZONING.
 - ALL INTERIOR STREETS ARE TO BE PRIVATE AND TO BE GRANTED TO AND MAINTAINED BY THE HIGH DESERT RESIDENTIAL OWNERS ASSOCIATION (TRACT A)
 - ALL SANITARY AND WATER UTILITIES IN THE TRACT A ARE TO BE PUBLIC, AND OWNED AND MAINTAINED BY THE ABCWUA.
 - THIS SUBDIVISION LIES WITHIN THE CITY OF ALBUQUERQUE WATER AND SANITARY SEWER CAPABILITIES ARE BASED ON THE CITY OF ALBUQUERQUE'S & ABCWUA FACILITIES. WATER AND SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS MUST BE APPROVED BY THE CITY OF ALBUQUERQUE & ABCWUA.
 - ALL SUBSURFACE STORM DRAINS IN TRACT A AND/OR UTILITY EASEMENTS ARE TO BE PUBLIC AND SHALL BE DEDICATED TO AND MAINTAINED BY THE CITY OF ALBUQUERQUE AS SHOWN ON FINAL PLAT.

OWNER:

 SCOTT SCHIABOR

LEGEND

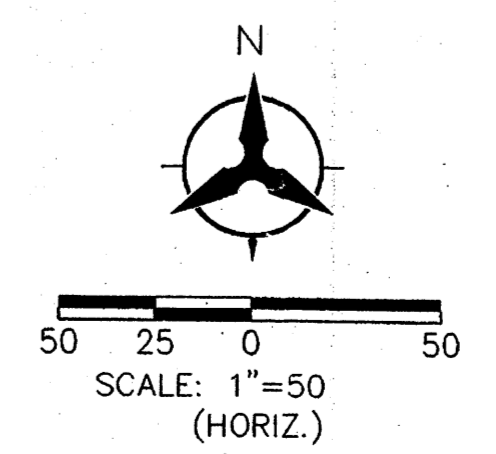
SUBDIVISION BOUNDARY	———
TRACT BOUNDARY LINE	- - - - -
PROPOSED PROPERTY LINE	—————
PROPOSED RIGHT OF WAY LINE	—————

CROSS HATCHING REPRESENTS EXISTING EASEMENT AREAS TO BE VACATED BY VACATION ACTION AND FINAL PLAT



LOCATION MAP
 ZONE ATLAS MAP NO. F-23-Z
 NOT TO SCALE

PROJECT: 1004989
 DATE: 5-13-15
 APP: 15-70186 (SK)



AMENDED PRELIMINARY PLAT

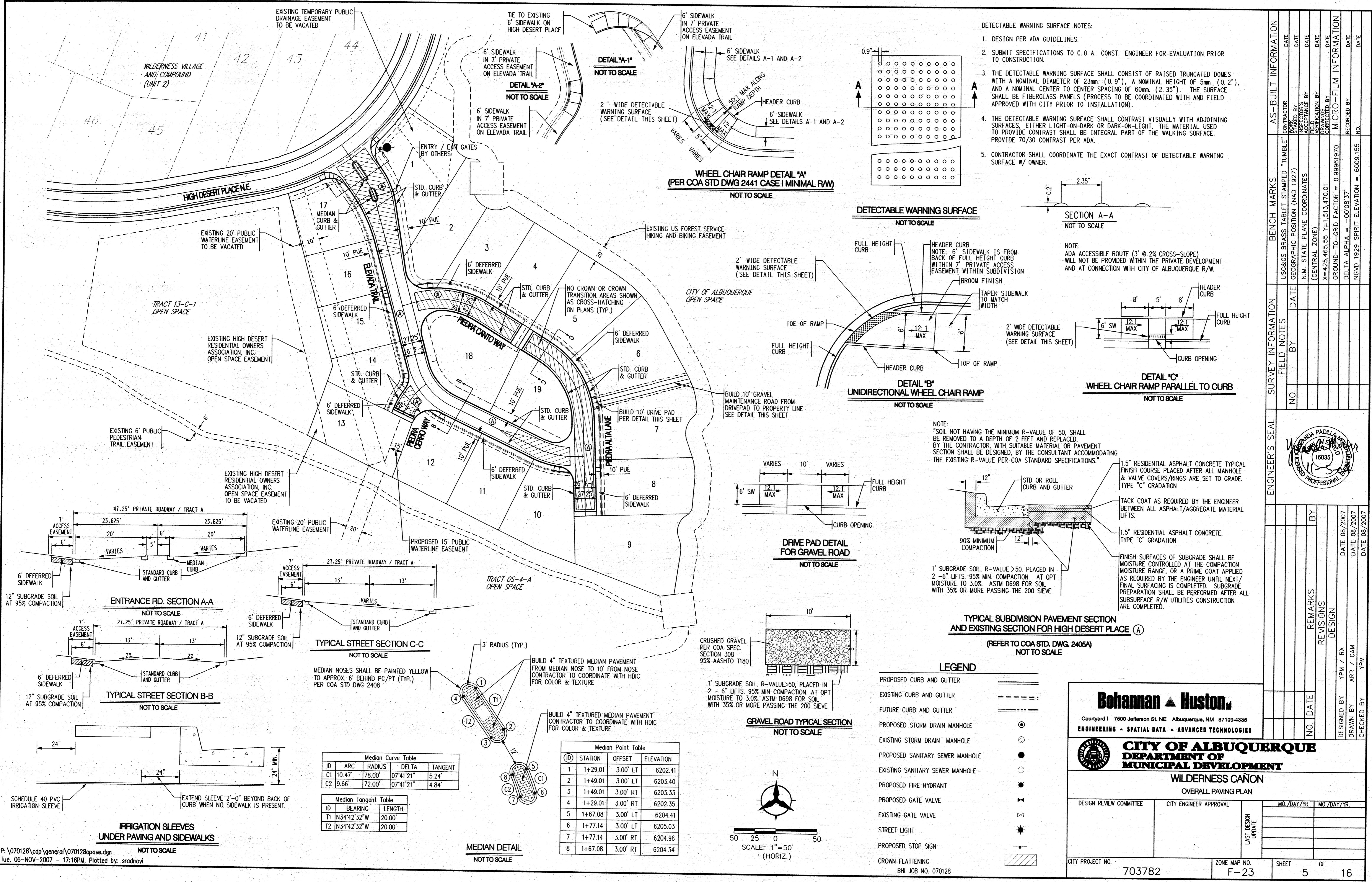
WILDERNESS CAÑON AT HIGH DESERT

(TRACT A OF UNIT 2 WILDERNESS)
 ALBUQUERQUE, NEW MEXICO
 AUGUST, 2007

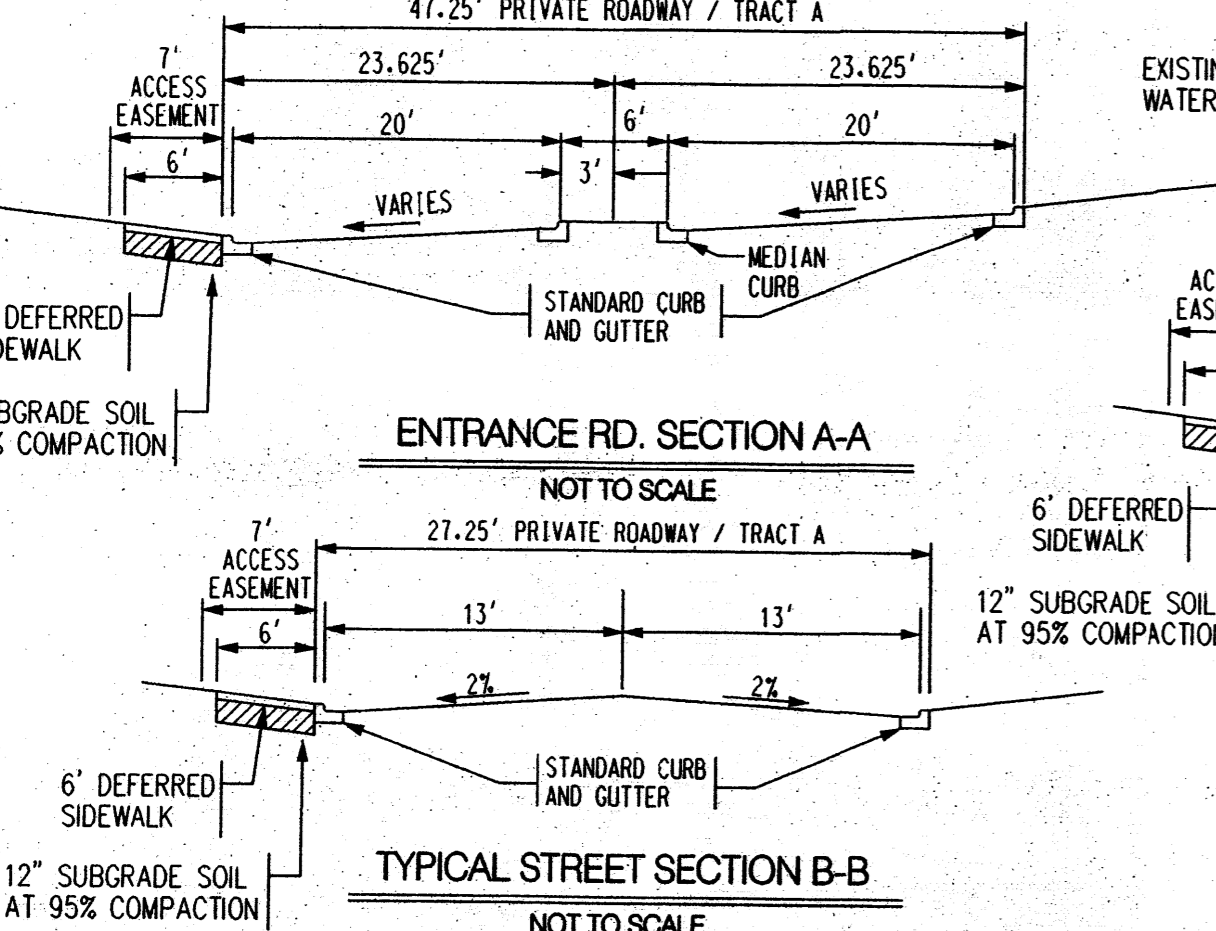
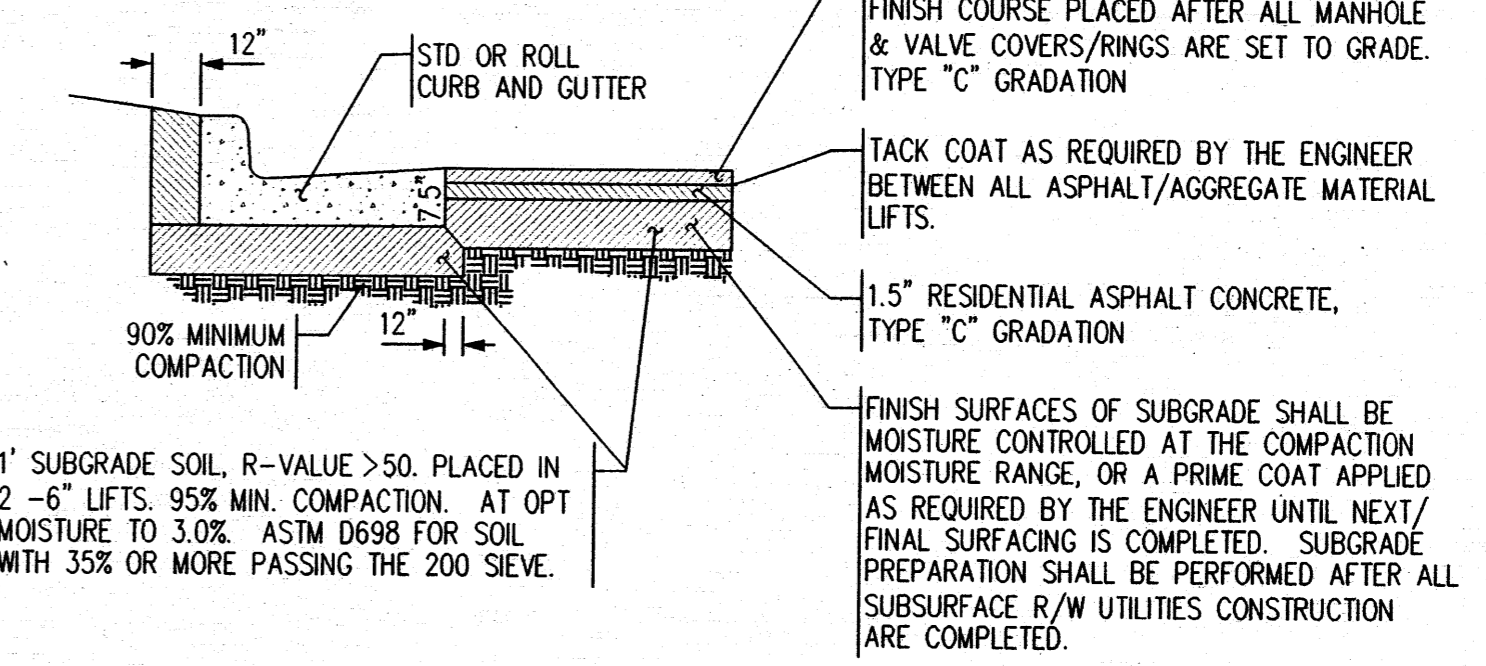
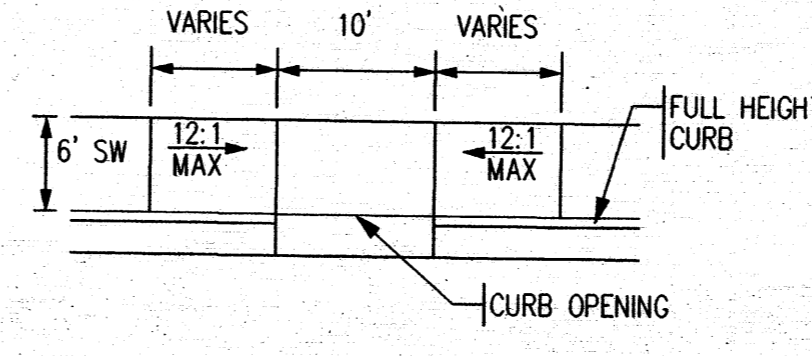
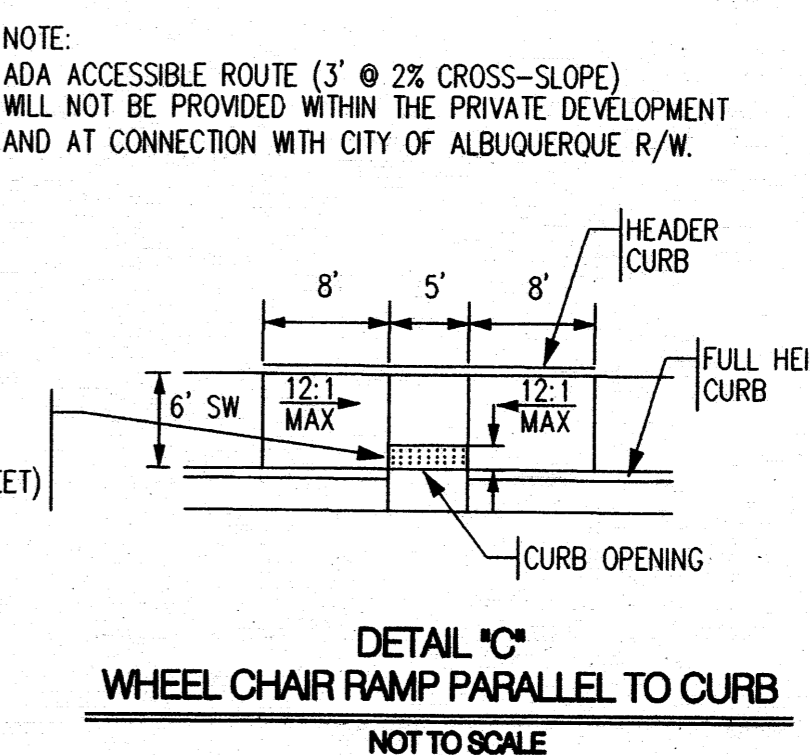
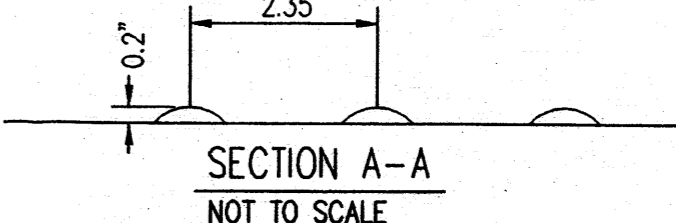
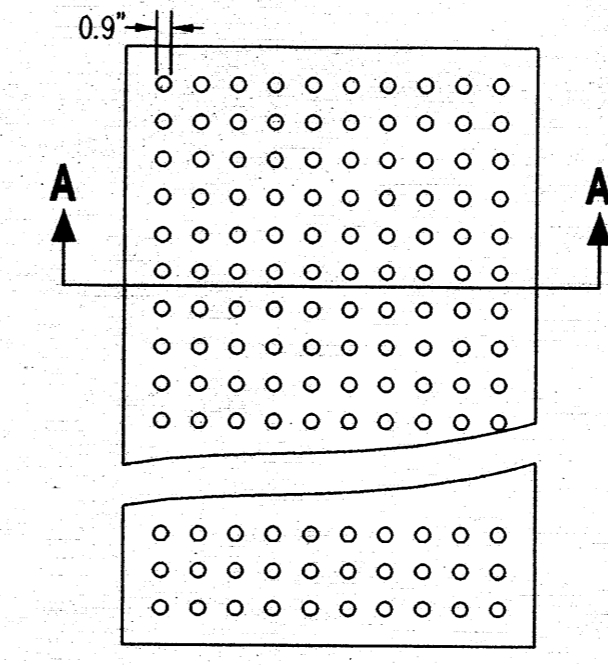
HIGH DESERT RESIDENTIAL OWNERS ASSOCIATION, INC.
 A NEW MEXICO NON-PROFIT CORPORATION

Raymond Berg 8/9/07
 BY: RAY BERG, ITS PRESIDENT DATE

SB 8/8/07
 HIGH DESERT INVESTMENT CORPORATION DATE



- DETECTABLE WARNING SURFACE NOTES:**
- DESIGN PER ADA GUIDELINES.
 - SUBMIT SPECIFICATIONS TO C.O.A. CONST. ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.
 - THE DETECTABLE WARNING SURFACE SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A NOMINAL DIAMETER OF 23mm (0.9"), A NOMINAL HEIGHT OF 5mm (0.2"), AND A NOMINAL CENTER TO CENTER SPACING OF 60mm (2.35"). THE SURFACE SHALL BE FIBERGLASS PANELS (PROCESS TO BE COORDINATED WITH AND FIELD APPROVED WITH CITY PRIOR TO INSTALLATION).
 - THE DETECTABLE WARNING SURFACE SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE INTEGRAL PART OF THE WALKING SURFACE. PROVIDE 70/30 CONTRAST PER ADA.
 - CONTRACTOR SHALL COORDINATE THE EXACT CONTRAST OF DETECTABLE WARNING SURFACE W/ OWNER.



Median Curve Table

ID	ARC	RADIUS	DELTA	TANGENT
C1	10.47'	78.00'	07°41'21"	5.24'
C2	9.66'	72.00'	07°41'21"	4.84'

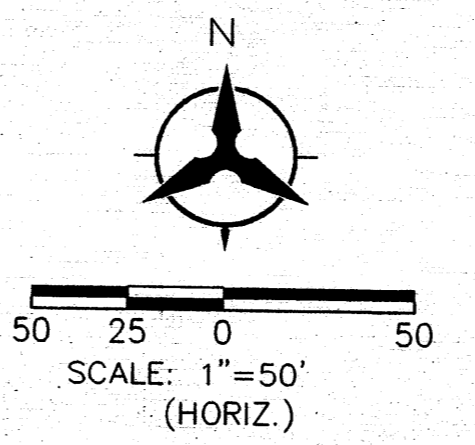
Median Tangent Table

ID	BEARING	LENGTH
T1	N34°42'32"W	20.00'
T2	N34°42'32"W	20.00'

Median Point Table

ID	STATION	OFFSET	ELEVATION
1	1+29.01	3.00' LT	6202.41
2	1+49.01	3.00' LT	6203.40
3	1+49.01	3.00' RT	6203.33
4	1+29.01	3.00' RT	6202.35
5	1+67.08	3.00' LT	6204.41
6	1+77.14	3.00' LT	6205.03
7	1+77.14	3.00' RT	6204.96
8	1+67.08	3.00' RT	6204.34

- LEGEND**
- PROPOSED CURB AND GUTTER
 - EXISTING CURB AND GUTTER
 - FUTURE CURB AND GUTTER
 - PROPOSED STORM DRAIN MANHOLE
 - EXISTING STORM DRAIN MANHOLE
 - PROPOSED SANITARY SEWER MANHOLE
 - EXISTING SANITARY SEWER MANHOLE
 - PROPOSED FIRE HYDRANT
 - PROPOSED GATE VALVE
 - EXISTING GATE VALVE
 - STREET LIGHT
 - PROPOSED STOP SIGN
 - CROWN FLATTENING



AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	US&GS BRASS TABLET STAMPED "TUMBLE"	DATE	NO.	DATE		REMARKS REVISIONS DESIGN
WORKED BY	DATE	GEOGRAPHIC POSITION (NAD 1927)	DATE	BY	DATE		
ACCEPTANCE BY	DATE	N.M. STATE PLANE COORDINATES	DATE	NO.	DATE		
FIELD CHECKED BY	DATE	(CENTRAL ZONE)	DATE	NO.	DATE		
DESIGNED BY	DATE	X=425,465.55 Y=1,513,470.01	DATE	NO.	DATE		
DRAWN BY	DATE	DELTA TO GRID FACTOR = 0.99961970	DATE	NO.	DATE		
CHECKED BY	DATE	DELTA ALPHA = -0.00837"	DATE	NO.	DATE		
	DATE	NGVD 1929 SPIRIT ELEVATION = 6009.155	DATE	NO.	DATE		

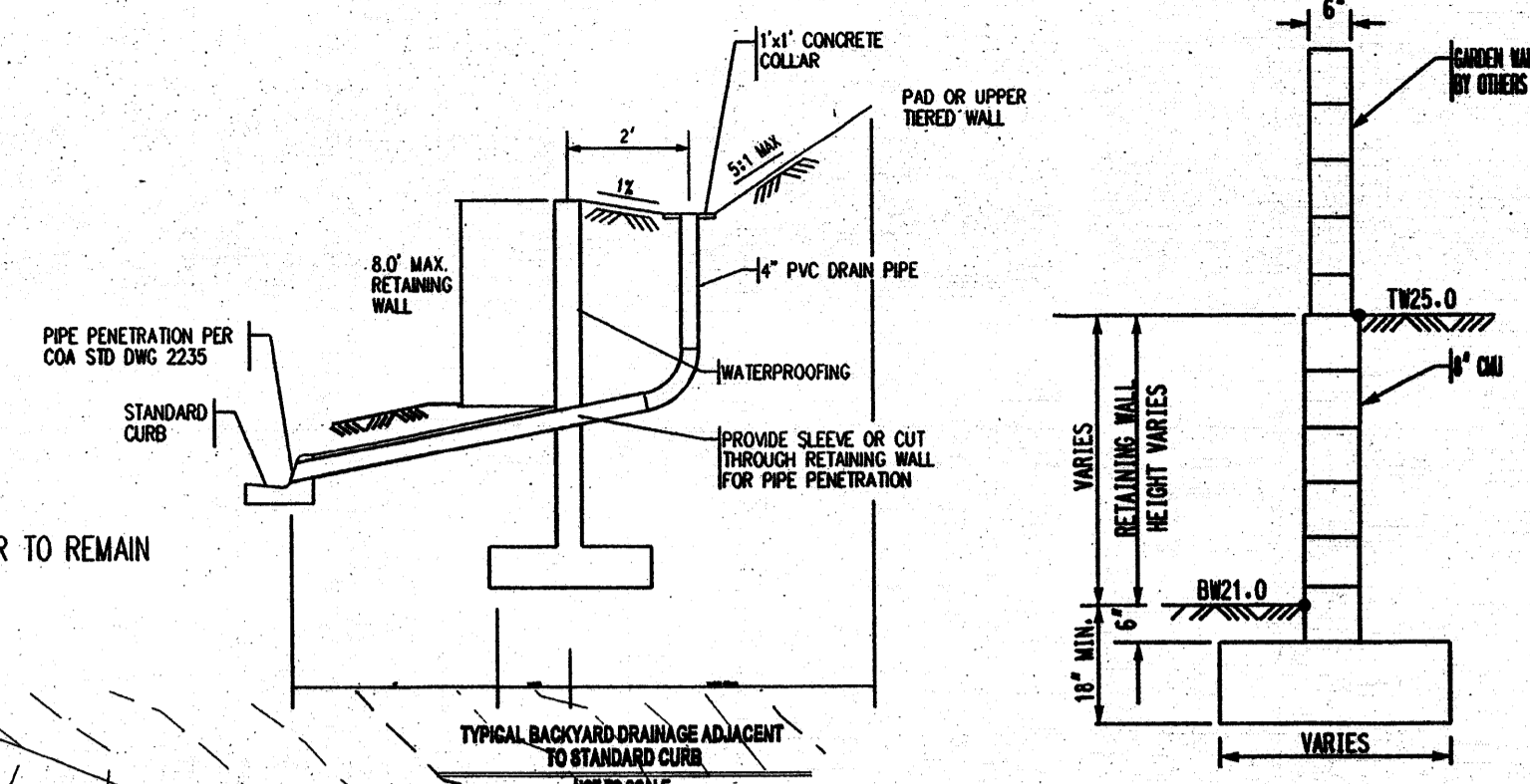
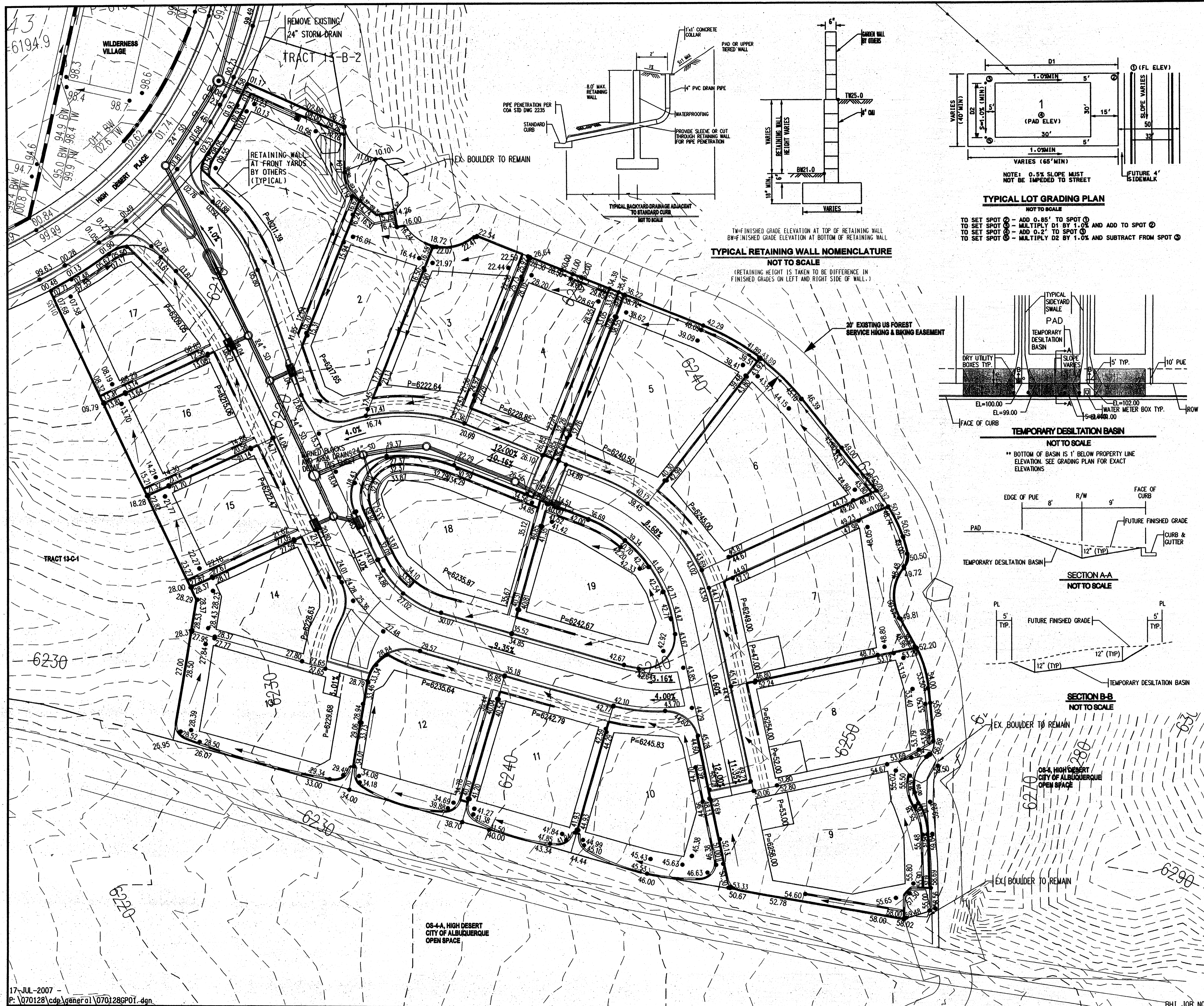
Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT

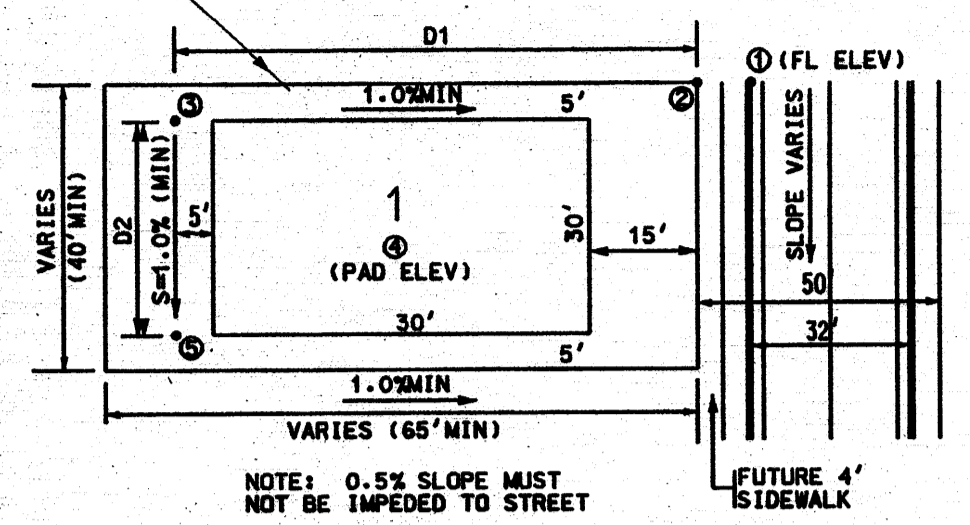
WILDERNESS CAÑON
 OVERALL PAVING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

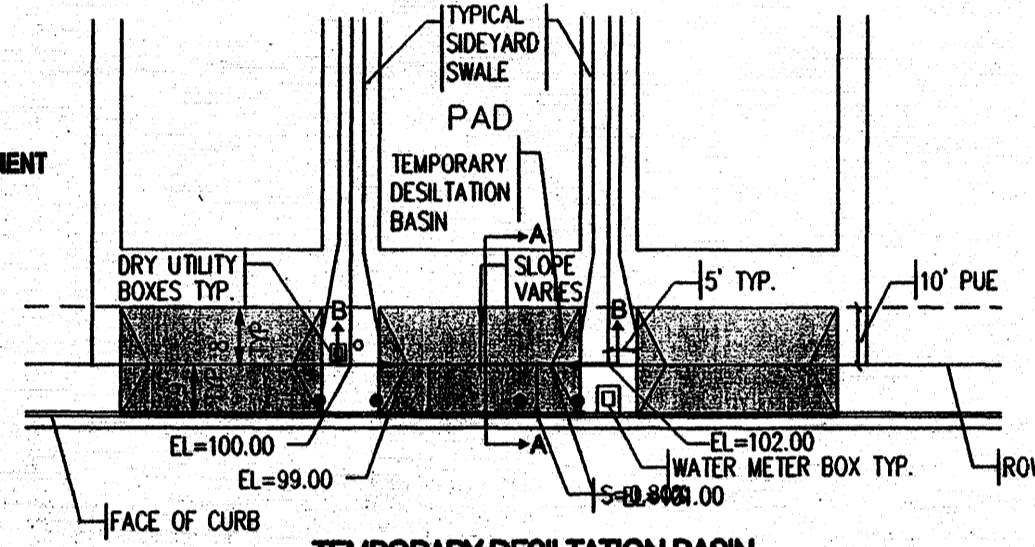
CITY PROJECT NO. 703782 ZONE MAP NO. F-23 SHEET 5 OF 16



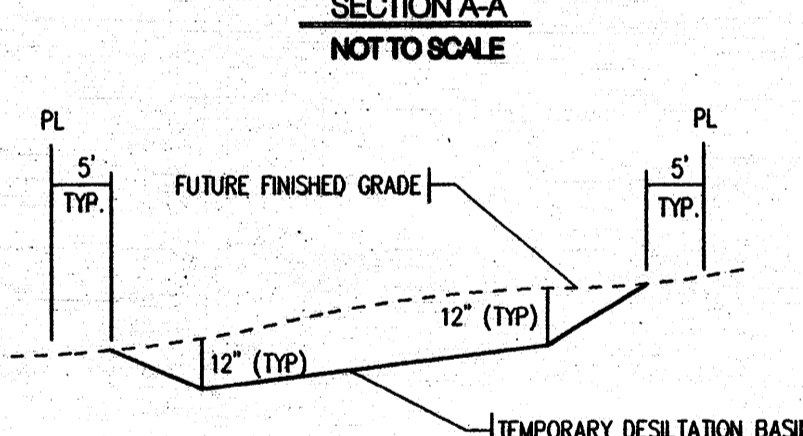
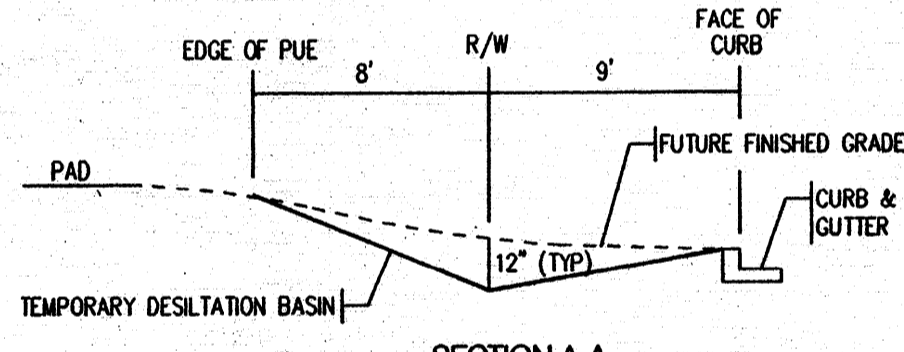
TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL
 BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL
TYPICAL RETAINING WALL NOMENCLATURE
 NOT TO SCALE
 (RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



TYPICAL LOT GRADING PLAN
 NOT TO SCALE
 TO SET SPOT 1 - ADD 0.85' TO SPOT 1
 TO SET SPOT 2 - MULTIPLY D1 BY 1.0% AND ADD TO SPOT 2
 TO SET SPOT 3 - ADD 0.2' TO SPOT 3
 TO SET SPOT 4 - MULTIPLY D2 BY 1.0% AND SUBTRACT FROM SPOT 4



TEMPORARY DESILTATION BASIN
 NOT TO SCALE
 ** BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION. SEE GRADING PLAN FOR EXACT ELEVATIONS

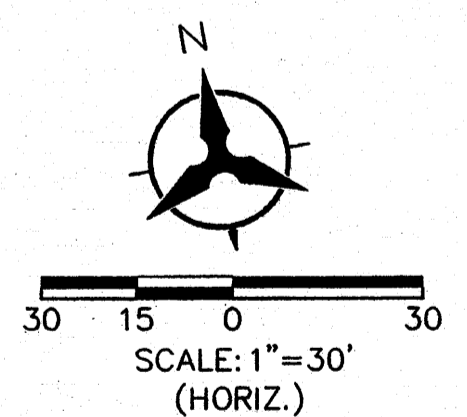


LEGEND

- PROPOSED SPOT ● 5235.25
- EXISTING SPOT ○ 5235.25
- LEE LINE - - - - -
- LIMITS OF GRADING - - - - -
- EXISTING CONTOUR - - - - -
- PROPOSED CONTOUR - - - - -
- FLOW DIRECTION ARROW →
- BUILDING ENVELOPE OR PAD [Symbol]
- RETAINING WALL [Symbol]
- GARDEN WALL [Symbol]
- EXISTING STORM DRAIN LINE [Symbol]
- PROPOSED STORM DRAIN INLET [Symbol]
- PROPOSED STORM DRAIN LINE [Symbol]
- PROPOSED STORM DRAIN MANHOLE [Symbol]
- TRACT BOUNDARY [Symbol]
- TEMPORARY DESILTATION BASIN [Symbol]

GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT PREPARED BY GEOTEST, DATED MAY, 2003.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY PONDS AS PER DETAIL THIS SHEET AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL SIDYARD SPOTS ARE SWALE POINTS AND LOCATED 2' OFFSET FROM PAD.
8. CONTRACTOR SHALL RESEED ALL DISTURBED AREAS. CONTRACTOR SHALL COORDINATE WITH OWNER ON EXACT SEED MIX AND LANDSCAPING.
9. ALL OFFSITE GRADING, TRAIL AND SWALE IMPROVEMENTS WILL BE PROVIDED ON THE INFRASTRUCTURE PLANS.



Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
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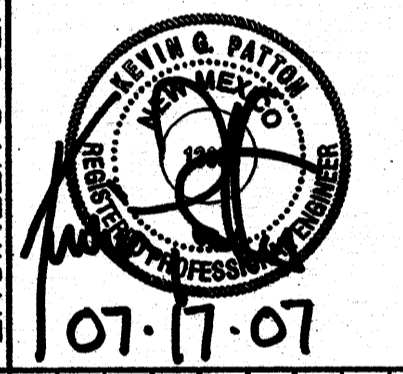
CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

WILDERNESS TRACT A AT HIGH DESERT GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	NO./DAY/YR.	NO./DAY/YR.
LAST DESIGN UPDATE			

CITY PROJECT NO. _____ ZONE MAP NO. _____ SHEET **F-23** OF _____

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	INSPECTED BY	ACS BRASS TABLE STAMPED "1-A8 1980"	DATE	NO.	BY	NO.	BY
ACCEPTED BY	DATE	GEOGRAPHIC POSITION (NAD 1927)					
DATE		N.M. STATE PLANE COORDINATES (CENTRAL ZONE)					
DATE		X=350,152.25 Y=1,531,818.60					
DATE		GROUND-TO-GRID FACTOR = 0.9996593					
DATE		DELTA ALPHA = -0017.21"					
DATE		NGVD 1929 ELEVATION = 5570.04'					



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 NGVD 1929 SPIRIT ELEVATION = 6009.155

CENTERLINE EXISTING PUBLIC
 ACCESS, WATERLINE, & SANITARY
 SEWER EASEMENT
 FILED: FEBRUARY 6, 2003
 (2003C-26)

EXISTING US FOREST SERVICE
 HIKING & BIKING EASEMENT
 FILED: JUNE 30, 1993
 (BK. 93-17, PGS. 2845-2853)
 DOCUMENT NO. 93-069101

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T15	S08°28'09"W	48.69'
T16	S82°30'46"W	17.03'

OS-5, HIGH DESERT
 CITY OF ALBUQUERQUE
 OPEN SPACE
 FILED: NOVEMBER 23, 1993
 (93C-325)

ACS ALUMINUM TABLE STAMPED "1-024 RESET 1973/1995"
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- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE POINTS OF TANGENCY, STREET INTERSECTIONS AND OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES

Soren M. Reinhardt P.E. 8/13/15
 CITY SURVEYOR DATE

- [A] 5' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO ABCWUA BY FINAL PLAT.
- [B] 7' PRIVATE PEDESTRIAN ACCESS EASEMENT.
- [C] FULLY ENCOMPASSED WITHIN TRACT 'A' IS A PUBLIC SANITARY SEWER AND WATERLINE EASEMENT GRANTED TO ABCWUA. A PUBLIC SUBSURFACE STORM DRAIN EASEMENT SHALL BE DEDICATED TO AND MAINTAINED BY THE CITY OF ALBUQUERQUE. AND A PRIVATE VEHICLE & PEDESTRIAN ACCESS AND SURFACE DRAINAGE EASEMENT GRANTED TO THE HIGH DESERT RESIDENTIAL OWNER'S ASSOCIATION WITH THE FILING OF THIS PLAT. ACCESS EASEMENT TO BE MAINTAINED BY HIGH DESERT RESIDENTIAL OWNERS ASSOCIATION.
- [D] LOT 9: SIDEYARD SETBACK ADJACENT TO OPEN SPACE SHALL BE 10 FT. NO BUILD ZONE ON SOUTHEAST SIDE OF LOT. (SEE HATCHED AREA).
 LOT 10: NO BUILD ZONE ON EAST SIDE OF LOT (SEE HATCHED AREA).
 LOT 13: SOUTH YARD SETBACK SPLIT 30% AT 15 FT AND 70% AT 10 FT
- [E] LANDSCAPE EASEMENT TO BE GRANTED TO HIGH DESERT RESIDENTIAL ASSOCIATION WITH FINAL PLAT.

THE PURPOSE OF THIS PRELIMINARY PLAT IS TO SUBDIVIDE TRACT A-1 INTO 19 LOTS.

GENERAL NOTES

- EXISTING ZONING: SU-2 HD/R-R
 PROPOSED DEVELOPMENT: SINGLE FAMILY DETACHED
- DESCRIPTION: TRACT A-1 WILDERNESS CAÑON AT HIGH DESERT
 FILED: AUGUST 19, 2008, BK-2008C, PG.-188
 DOCUMENT NO. 2008093695

TOTAL SUBDIVISION ACREAGE:
 WILDERNESS CAÑON TRACT 'A-1' 3.9653 ACRES
 0.6353 ACRES

TOTAL NUMBER OF LOTS 19

PROPOSED DENSITY:
 UNIT 1 4.80 D.U./AC.
 MINIMUM LOT WIDTH 53'
 MINIMUM LOT AREA 5256.26 SF / 0.1207 AC.

GENERAL NOTES

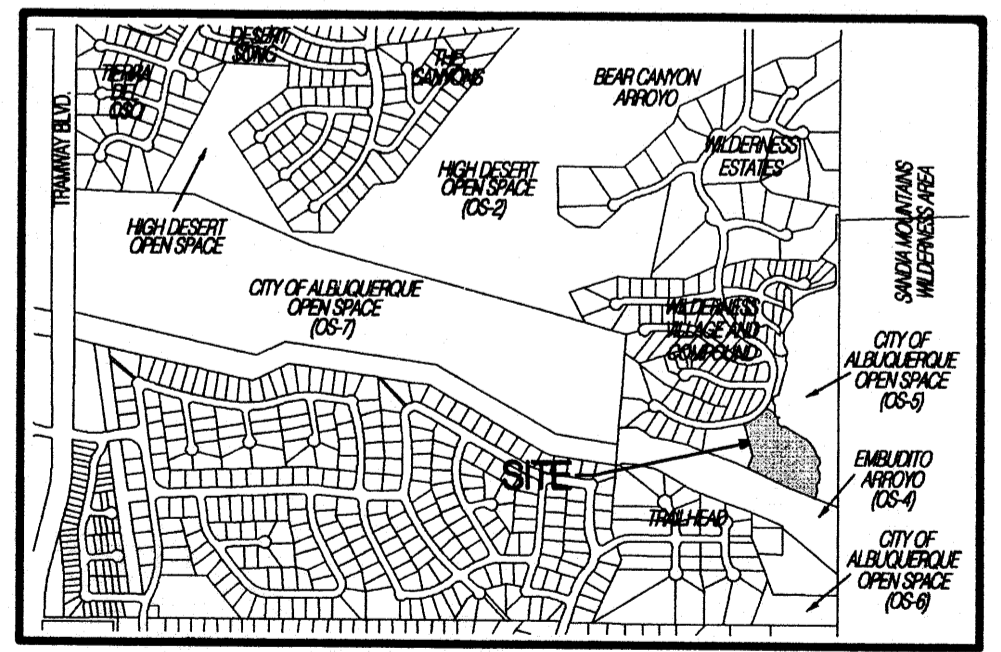
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- ALL INTERIOR STREETS ARE TO BE PRIVATE AND TO BE GRANTED TO AND MAINTAINED BY THE HIGH DESERT RESIDENTIAL OWNERS ASSOCIATION (TRACT A)
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- ALL SUBSURFACE STORM DRAINS IN TRACT A AND/OR UTILITY EASEMENTS ARE TO BE PUBLIC AND SHALL BE DEDICATED TO AND MAINTAINED BY THE CITY OF ALBUQUERQUE AS SHOWN ON FINAL PLAT.

OWNER:

MESA VERDE DEVELOPMENT
 SCOTT SCHIABOR

LEGEND

SUBDIVISION BOUNDARY	—————
TRACT BOUNDARY LINE	- - - - -
PROPOSED PROPERTY LINE	—————
PROPOSED RIGHT OF WAY LINE	—————
CROSS HATCHING REPRESENTS EXISTING EASEMENT AREAS TO BE VACATED BY VACATION ACTION AND FINAL PLAT	▨▨▨▨▨



LOCATION MAP
 ZONE ATLAS MAP NO. F-23-Z
 NOT TO SCALE

THE HIGH DESERT RESIDENTIAL OWNER'S ASSOCIATION HEREBY CERTIFIES TO THE CITY OF ALBUQUERQUE THAT THIS PRELIMINARY PLAT OF WILDERNESS CAÑON AT HIGH DESERT MEETS THE REQUIREMENTS OF THE HIGH DESERT SECTOR DEVELOPMENT PLAN AND FURTHER CERTIFIES THAT THE NUMBER OF UNITS TO BE CONSTRUCTED IN THE ZONE DOES NOT EXCEED THE MAXIMUM ALLOWED BY THE SECTOR PLAN.

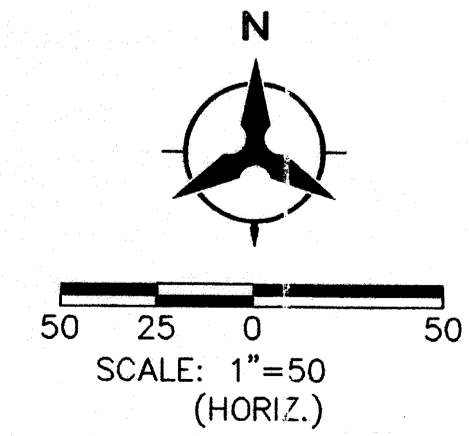
HIGH DESERT RESIDENTIAL OWNERS ASSOCIATION, INC.
 A NEW MEXICO NON-PROFIT CORPORATION

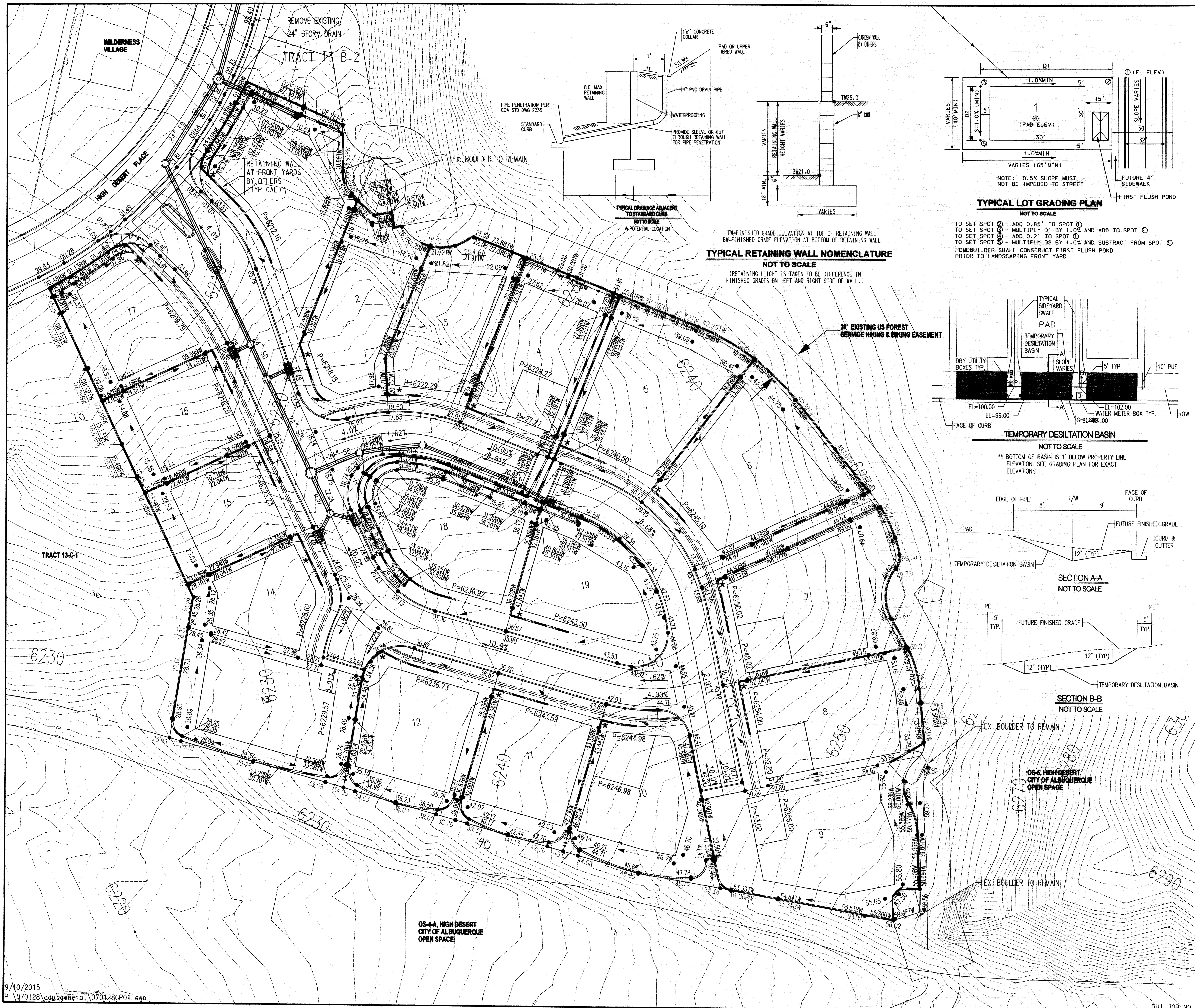
Tom Murdock 8 SEP 2015
 BY: TOM MURDOCK, ITS PRESIDENT DATE

Stephen P. Hamm 8/20/15
 BY: STEPHEN P. HAMM, ITS HIGH DESERT NCC CHAIRMAN DATE

PRELIMINARY PLAT WILDERNESS CAÑON AT HIGH DESERT

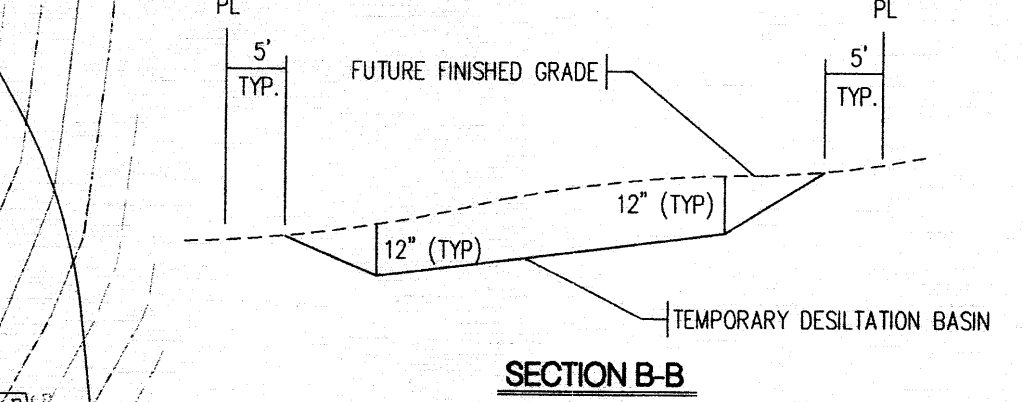
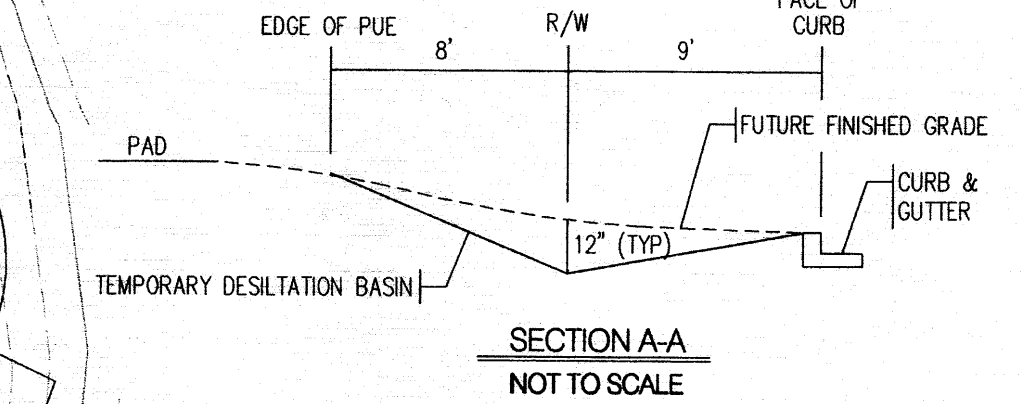
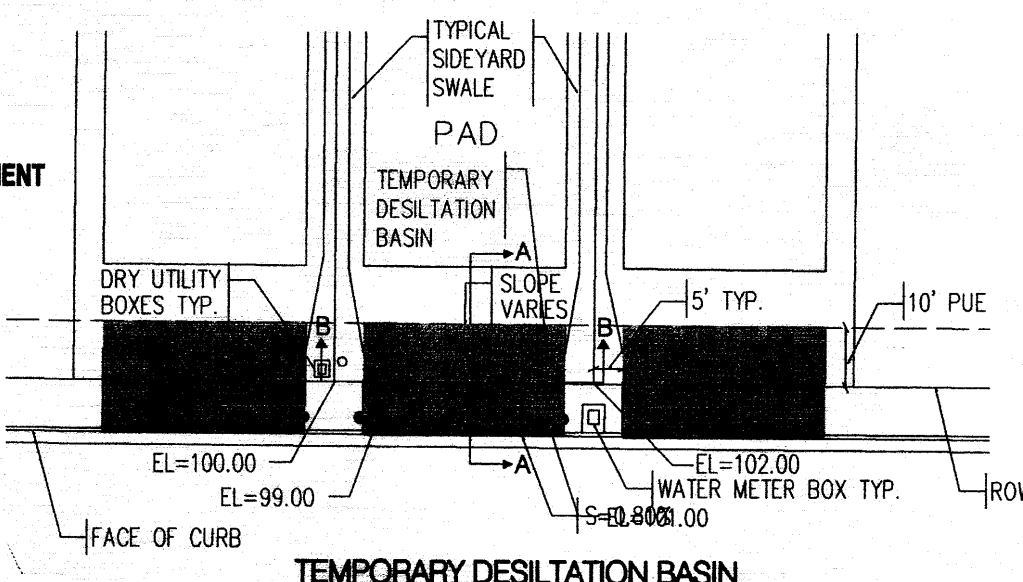
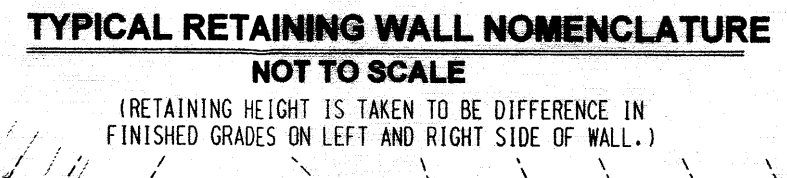
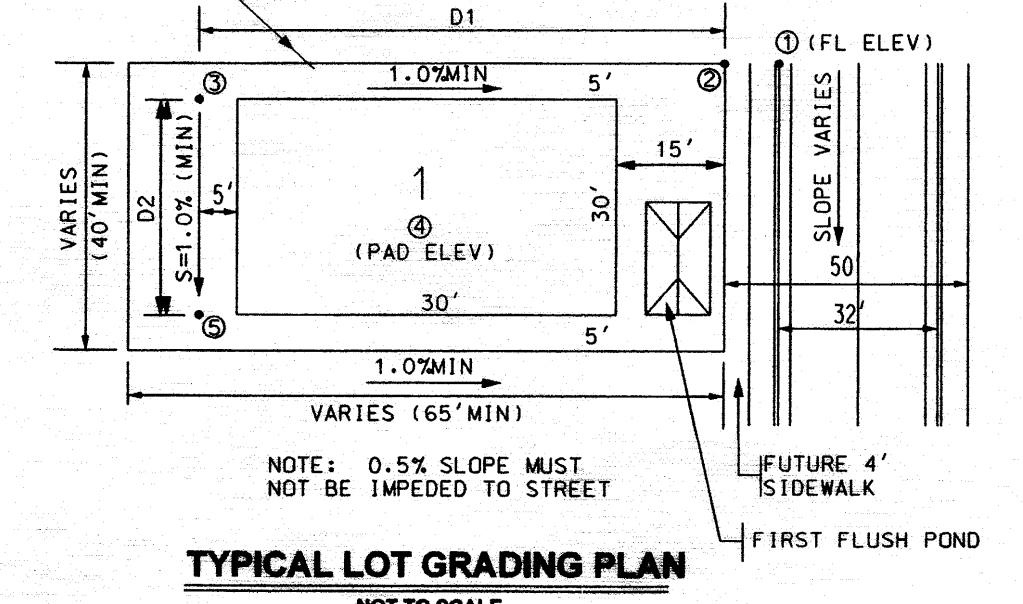
(TRACT A-1, WILDERNESS CAÑON AT HIGH DESERT)
 ALBUQUERQUE, NEW MEXICO
 AUGUST, 2015





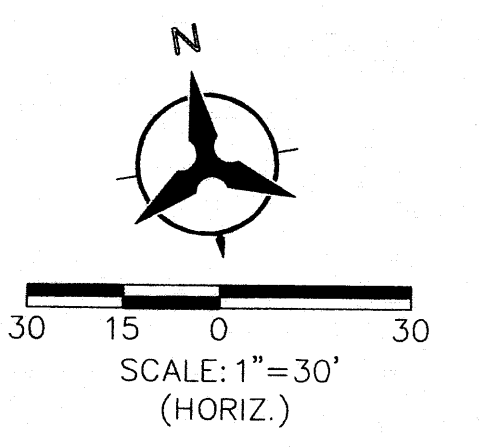
LEGEND

PROPOSED SPOT	● 5235.25
EXISTING SPOT	○ 5235.25
LEE LINE	---
LIMITS OF GRADING	---
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
FLOW DIRECTION ARROW	→
BUILDING ENVELOPE OR PAD	▭
RETAINING WALL	▬
GARDEN WALL	▬
EXISTING STORM DRAIN LINE	▬
PROPOSED STORM DRAIN INLET	⊕
PROPOSED STORM DRAIN LINE	▬
PROPOSED STORM DRAIN MANHOLE	⊙
TRACT BOUNDARY	---
TEMPORARY DESILTATION BASIN	▬



GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT PREPARED BY GEOTEST, DATED MAY, 2003.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY PONDS AS PER DETAIL THIS SHEET AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL SIDEYARD SPOTS ARE SWALE POINTS AND LOCATED 2' OFFSET FROM PAD.
8. CONTRACTOR SHALL RESEED ALL DISTURBED AREAS. CONTRACTOR SHALL COORDINATE WITH OWNER ON EXACT SEED MIX AND LANDSCAPING.
9. ALL OFFSITE GRADING, TRAIL AND SWALE IMPROVEMENTS WILL BE PROVIDED ON THE INFRASTRUCTURE PLANS.



Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

WILDERNESS TRACT A AT HIGH DESERT
 GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. _____ ZONE MAP NO. _____ SHEET _____ OF _____

LAST DESIGN UPDATE _____

DESIGNED BY _____ DATE 07/2007
 DRAWN BY _____ YPM DATE 07/2007
 CHECKED BY _____ YPM DATE 07/2007

9/10/2015
 P:\070128\cdd\gener\1\070128GPO1.dgn

810 536 841 1234 Trina



USC & GS BRASS TABLET STAMPED "TUMBLE"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=425,465.55 Y=1,513,470.01
GROUND TO GRID FACTOR = 0.99961970
DELTA ALPHA = -00°08'37"
NGVD 1929 SPIRIT ELEVATION = 6009.155

CENTERLINE EXISTING PUBLIC ACCESS, WATERLINE, & SANITARY SEWER EASEMENT
FILED: FEBRUARY 6, 2003
(2003C-26)

EXISTING US FOREST SERVICE HIKING & BIKING EASEMENT
FILED: JUNE 30, 1993
(BK. 93-17, PGS. 2845-2853)
DOCUMENT NO. 93-069101

ONE-STORY (18') (LOTS)	TWO-STORY (24') (LOTS)
1	2
5	3
6	4
7	14
8	15
9	16
10	18
11	19
12	
13	
17	

Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C14	92°27'07"	26.09'	40.34'	25.00'	36.10'	S45°35'18"E
C15	57°35'08"	4.40'	8.04'	8.00'	7.71'	S63°01'18"E
C16	98°30'18"	32.87'	48.69'	28.32'	42.91'	S70°37'14"E
C17	61°33'34"	1.19'	2.15'	2.00'	2.05'	S89°05'36"E
C18	29°29'51"	39.49'	77.22'	150.00'	76.37'	S43°33'53"E
C19	26°56'31"	21.56'	42.32'	90.00'	41.93'	S15°20'41"E
C20	51°35'27"	4.83'	9.00'	10.00'	8.70'	S23°55'18"W
C21	68°40'35"	19.13'	33.56'	28.00'	31.59'	S15°22'44"W
C22	23°30'50"	14.15'	27.91'	68.00'	27.71'	S07°12'09"E
C23	56°18'27"	6.42'	11.79'	12.00'	11.32'	S32°42'30"W
C24	81°52'22"	19.08'	31.44'	22.00'	28.83'	S19°55'33"W
C25	29°28'47"	10.52'	20.58'	40.00'	20.35'	S06°16'14"E
C26	38°16'12"	94.72'	182.35'	273.00'	178.98'	N53°28'02"E

Tangent Data		
ID	BEARING	DISTANCE
T10	N90°00'00"W	12.11'
T11	N00°00'00"W	40.00'
T12	S90°00'00"W	5.30'
T13	N18°57'34"W	20.00'
T14	S04°33'17"W	34.00'
T15	S08°28'09"W	48.69'
T16	S82°30'46"W	17.03'

ACS ALUMINUM TABLET STAMPED "1-024 RESET 1973/1995"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X = 431,316.24 Y = 1,513,364.75
GROUND TO GRID FACTOR = 0.99960987
DELTA ALPHA = -00°07'56"
ELEVATION=6261.978

- SURVEY NOTES:**
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (●) SHALL BE MARKED BY A #5 REBAR STAMPED "GROMATZKY, PS 16469".
 - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED. DO NOT DISTURB, P.L.S. 16469".
 - THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
 - DISTANCES SHALL BE GROUND DISTANCES.
 - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES
Steven M. Reinhardt P.S. 8/13/15
CITY SURVEYOR DATE

- [A] 5' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO ABCWJA BY FINAL PLAT.
- [B] 7' PRIVATE PEDESTRIAN ACCESS EASEMENT.
- [C] FULLY ENCOMPASSED WITHIN TRACT 'A' IS A PUBLIC SANITARY SEWER AND WATERLINE EASEMENT GRANTED TO ABCWJA. A PUBLIC SUBSURFACE STORM DRAIN EASEMENT SHALL BE DEDICATED TO AND MAINTAINED BY THE CITY OF ALBUQUERQUE. AND A PRIVATE VEHICLE & PEDESTRIAN ACCESS AND SURFACE DRAINAGE EASEMENT GRANTED TO THE HIGH DESERT RESIDENTIAL OWNER'S ASSOCIATION WITH THE FILING OF THIS PLAT. ACCESS EASEMENT TO BE MAINTAINED BY HIGH DESERT RESIDENTIAL OWNERS ASSOCIATION.
- [D] LOT 9: SIDEYARD SETBACK ADJACENT TO OPEN SPACE SHALL BE 10 FT. NO BUILD ZONE ON SOUTHEAST SIDE OF LOT. (SEE HATCHED AREA)
LOT 10: NO BUILD ZONE ON EAST SIDE OF LOT (SEE HATCHED AREA)
LOT 13: SOUTH YARD SETBACK SPLIT 30% AT 15 FT AND 70% AT 10 FT
- [E] LANDSCAPE EASEMENT TO BE GRANTED TO HIGH DESERT RESIDENTIAL ASSOCIATION WITH FINAL PLAT

THE PURPOSE OF THIS PRELIMINARY PLAT IS TO SUBDIVIDE TRACT A-1 INTO 19 LOTS.

GENERAL NOTES

- EXISTING ZONING: SU-2 HD/R-R
PROPOSED DEVELOPMENT: SINGLE FAMILY DETACHED
- DESCRIPTION: TRACT A-1 WILDERNESS CAÑON AT HIGH DESERT
FILED: AUGUST 19, 2008, BK.-2008C, PG.-188
DOCUMENT NO. 2008093695

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WILDERNESS CAÑON TRACT 'A-1' 3.9653 ACRES
0.6353 ACRES

TOTAL NUMBER OF LOTS 19

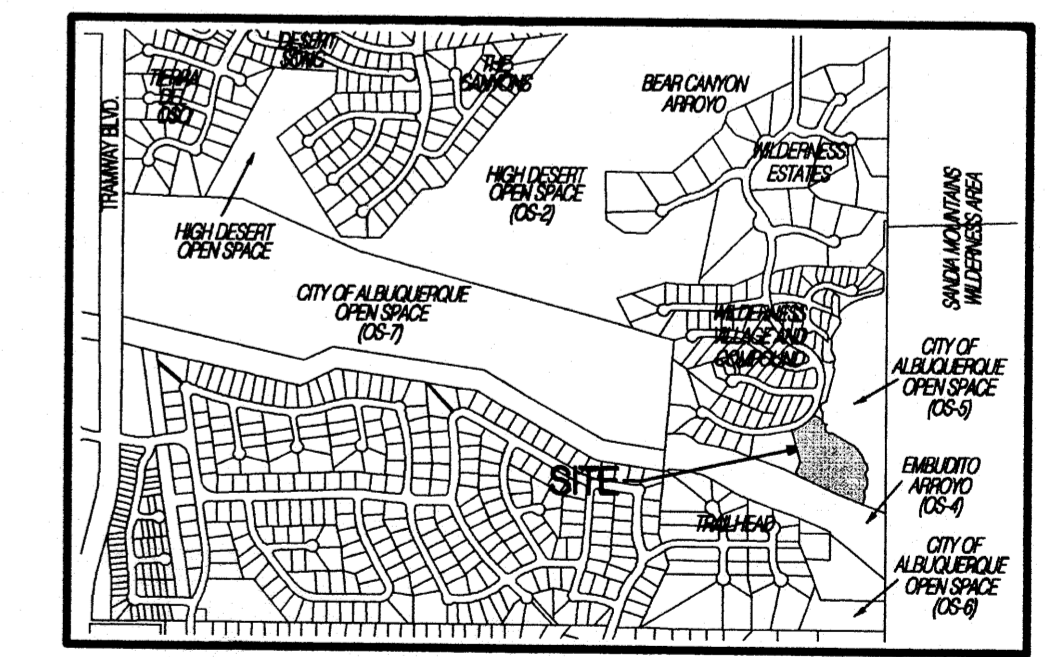
PROPOSED DENSITY:
UNIT 1 4.80 D.U./AC.
MINIMUM LOT WIDTH 53'
MINIMUM LOT AREA 5256.26 SF / 0.1207 AC.

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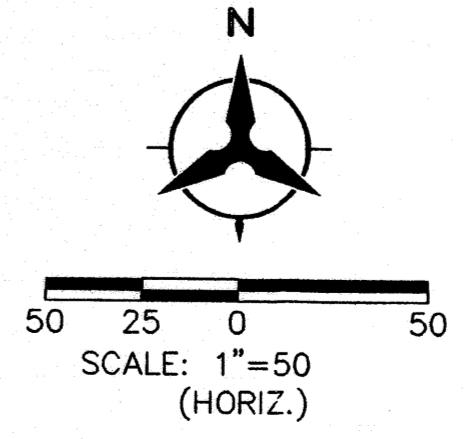
OWNER:
MESA VERDE DEVELOPMENT
SCOTT SCHIABOR

LEGEND

- SUBDIVISION BOUNDARY ————
- TRACT BOUNDARY LINE - - - - -
- PROPOSED PROPERTY LINE ————
- PROPOSED RIGHT OF WAY LINE ————
- CROSS HATCHING REPRESENTS EXISTING EASEMENT AREAS TO BE VACATED BY VACATION ACTION AND FINAL PLAT



LOCATION MAP
ZONE ATLAS MAP NO. F-23-2
NOT TO SCALE



THE HIGH DESERT RESIDENTIAL OWNER'S ASSOCIATION HEREBY CERTIFIES TO THE CITY OF ALBUQUERQUE THAT THIS PRELIMINARY PLAT OF WILDERNESS CAÑON AT HIGH DESERT MEETS THE REQUIREMENTS OF THE HIGH DESERT SECTOR DEVELOPMENT PLAN AND FURTHER CERTIFIES THAT THE NUMBER OF UNITS TO BE CONSTRUCTED IN THE ZONE DOES NOT EXCEED THE MAXIMUM ALLOWED BY THE SECTOR PLAN.

HIGH DESERT RESIDENTIAL OWNERS ASSOCIATION, INC.
A NEW MEXICO NON-PROFIT CORPORATION

Thomas P. Murdoch 8 SEP 2015
BY: TOM MURDOCK, ITS PRESIDENT DATE

Stephen P. Hamm 8/20/15
BY: STEPHEN P. HAMM, ITS HIGH DESERT NCC CHAIRMAN DATE

PRELIMINARY PLAT WILDERNESS CAÑON AT HIGH DESERT

(TRACT A-1, WILDERNESS CAÑON AT HIGH DESERT)
ALBUQUERQUE, NEW MEXICO
AUGUST, 2015