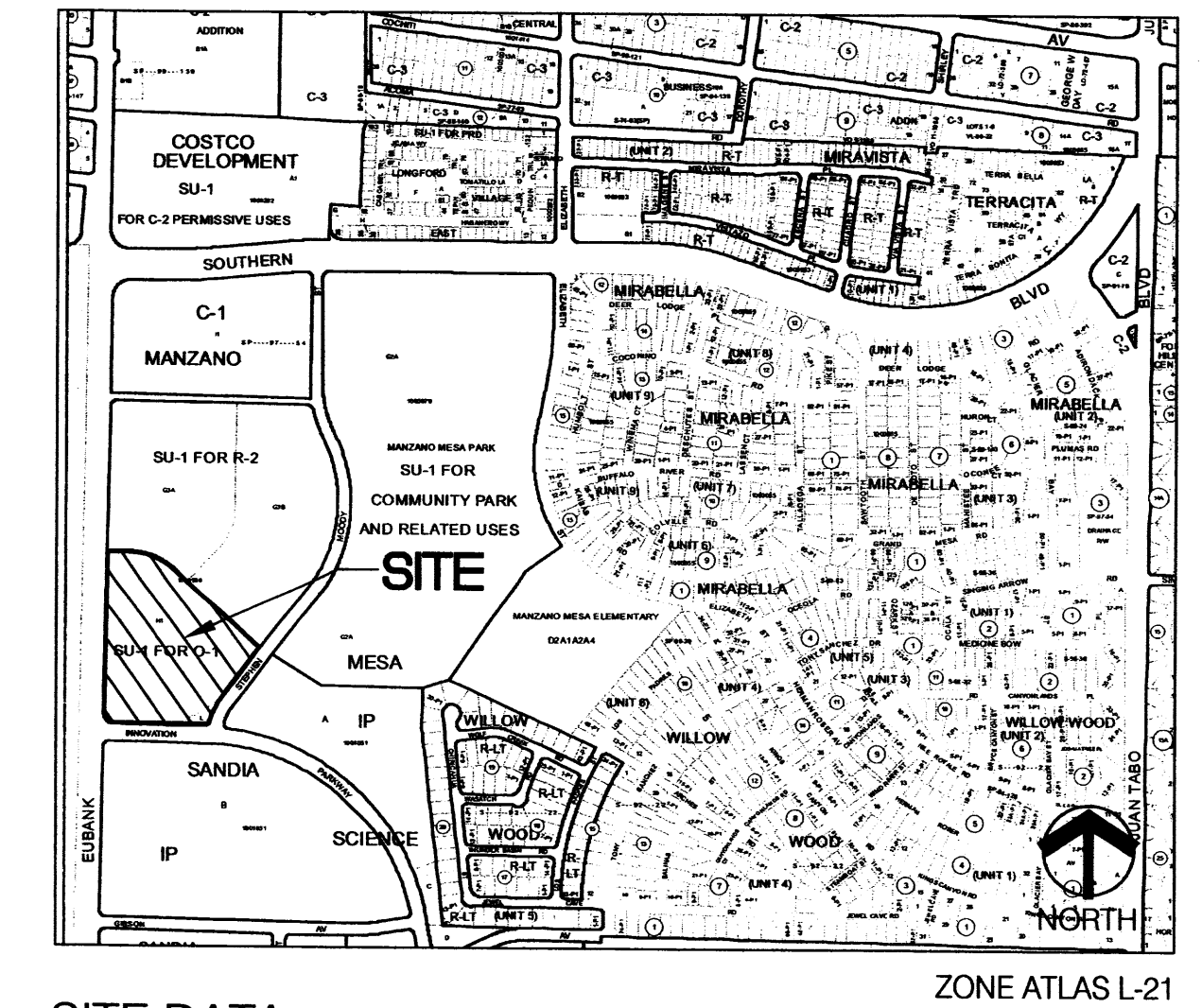


SITE VICINITY



ZONE ATLAS L-21

SITE DATA:

TOTAL SITE ACREAGE: 11.39 acres

Existing Zoning: SU-1 for O-1

Proposed Zoning: for the 7.49 acres residential portion: SU-1 for PRD (7.88 du/ac); 3.9 acre portion remains SU-1 for O-1

Land Use: 59 Single Family Residential Dwelling Units, School, and .91 acres Common Open Space.

Gross Residential Density: 7.88 du/ac

F.A.R. (O-1/C-1): .25 Max.

Maximum Building Height: For Non-Residential - As allowed in the O-1 Zone per the City Comprehensive Zoning Code.

Setbacks: See Design Standards, Sheet 4.

Landscape: See Landscape Plan, Sheet 2

PROJECT NUMBER: 1004998

Application Number: 06EPC-00963

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [redacted] and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division _____ Date _____

Water Utility Department _____ Date _____

Parks and Recreation Department _____ Date _____

City Engineer _____ Date _____

Solid Waste Management _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

Approved by City Council on 10/16/06 with no conditions. (see Notice inside)

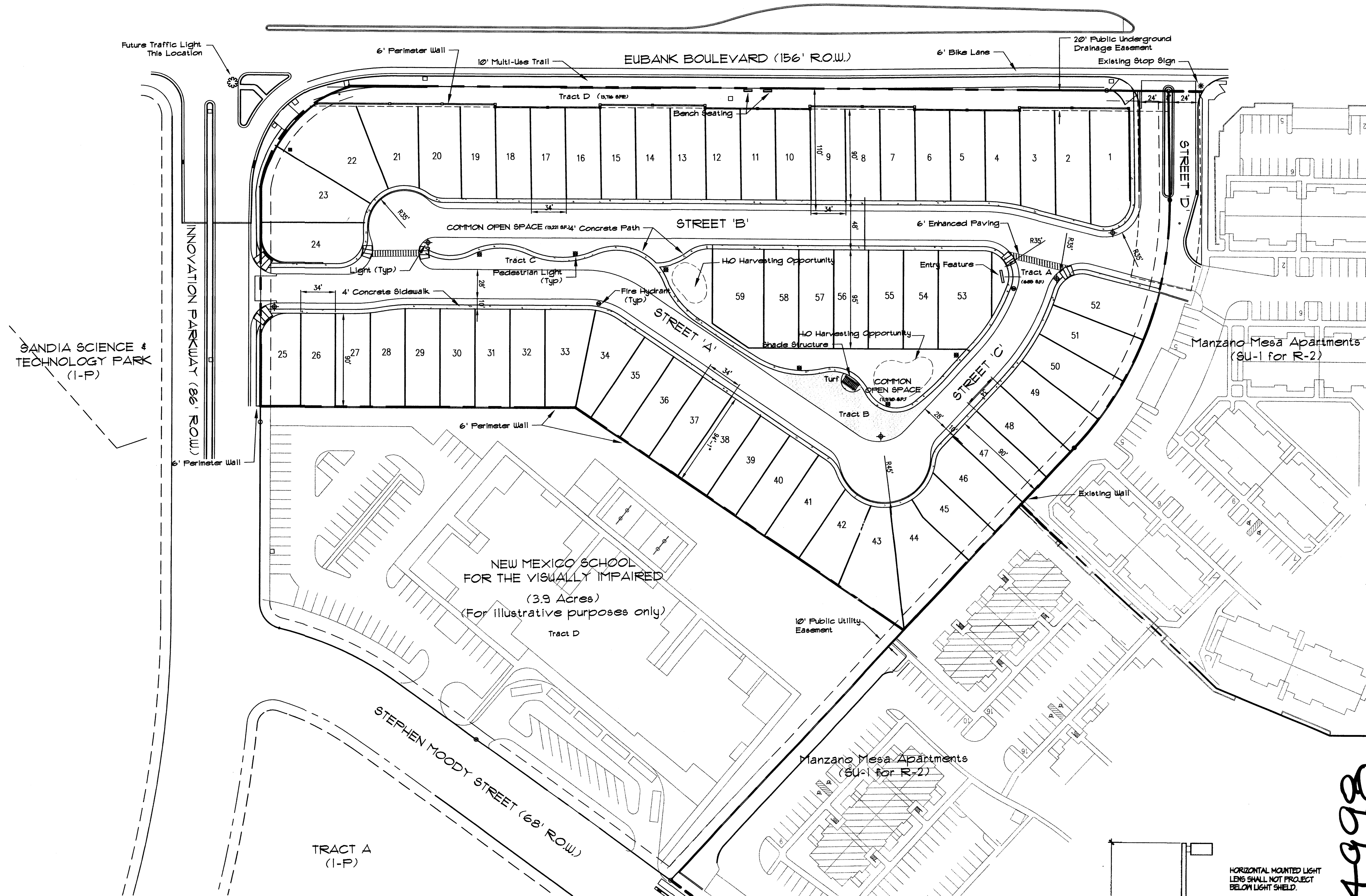
**SITE PLAN FOR SUBDIVISION
GSL MANZANO MESA**

Prepared For:
New Mexico State Land Office
310 Old Santa Fe Trail
Santa Fe, NM 87504-1148

Prepared By:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, New Mexico 87102

Isacson & Arman
128 Monroe Street NE
Albuquerque, New Mexico 87108

1004998



NEW MEXICO SCHOOL FOR THE VISUALLY IMPAIRED
(3.9 Acres)
(For illustrative purposes only)

SANDIA SCIENCE & TECHNOLOGY PARK (I-P)

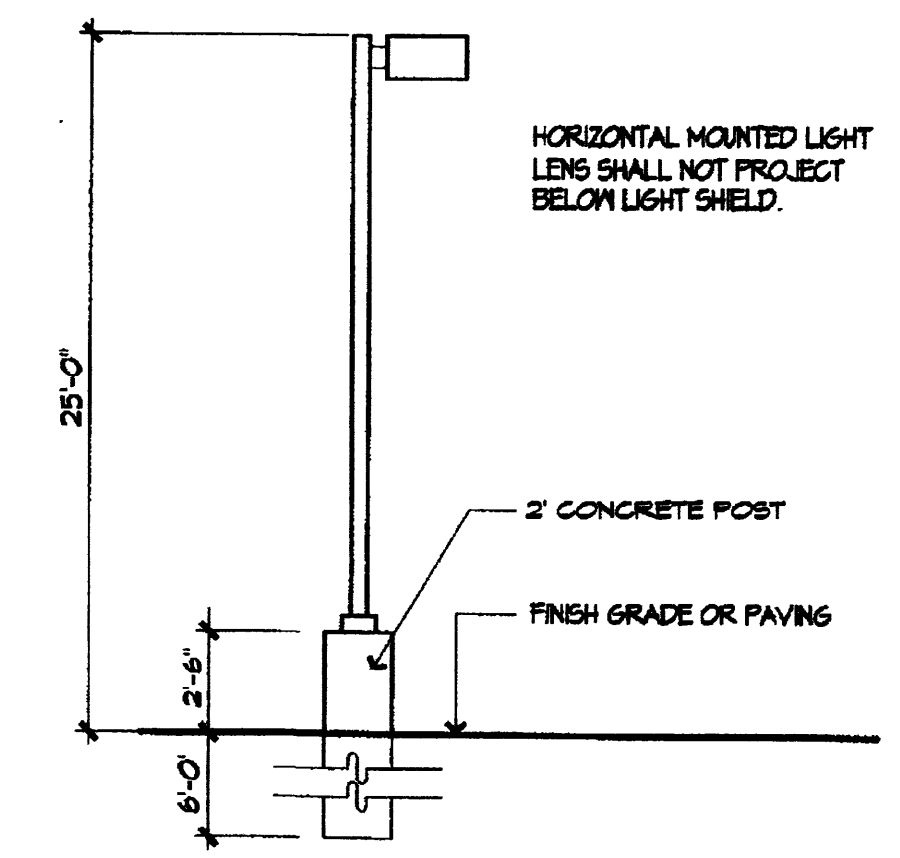
Manzano Mesa Apartments (SU-1 for R-2)

Manzano Mesa Apartments (SU-1 for R-2)

TRACT A (I-P)

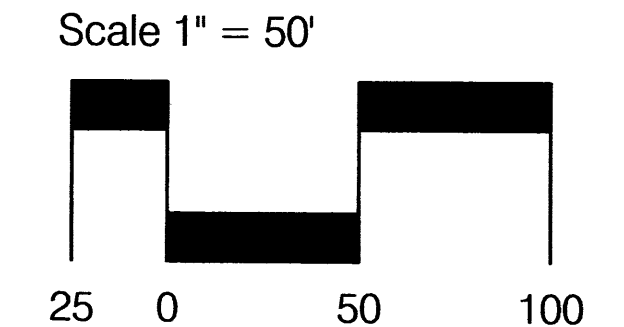
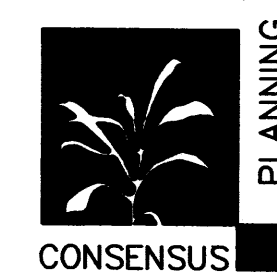
GENERAL NOTES

1. The 3.9 acre portion of the site is for the New Mexico School for the Visually Impaired. This project shall require a Site Plan for Building Permit to be approved by the Environmental Planning Commission at a later date.

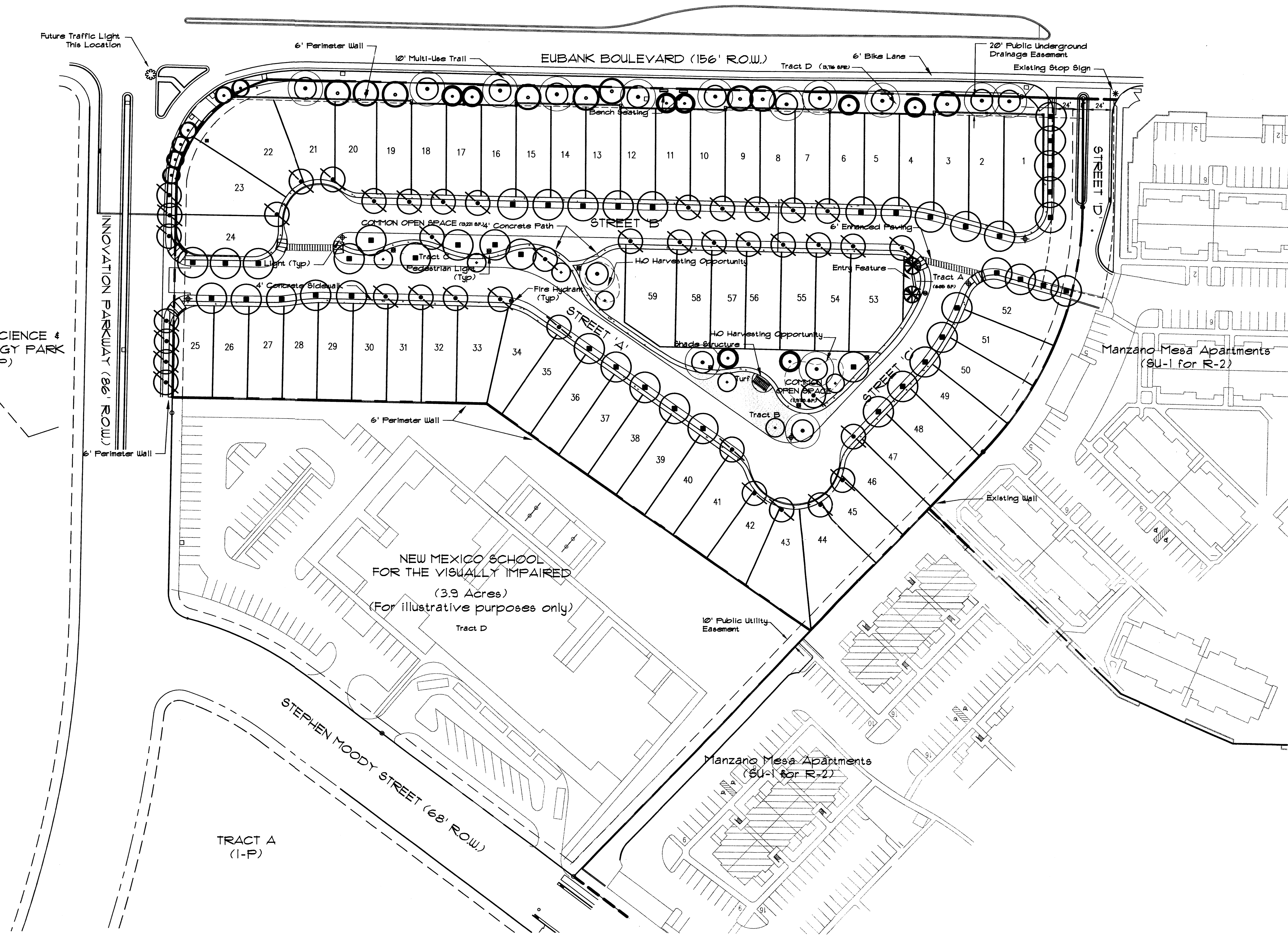


LIGHT FIXTURE

NTS



North
August 8, 2006
Sheet 1 of 6



PLANT PALETTE

Symbol	Scientific Name Common Name	Size	Water Use
Trees			
○	<i>Gleditsia triacanthos inermis</i> Honey Locust	2" B&B	Medium
⊗	<i>Sambucus mexicana</i> Mexican Elder	15 Gal.	Medium
○	<i>Fraxinus oxycarpa</i> 'Raywood' Raywood Ash	2" B&B	Medium+
⊙	<i>Pinus leucodermis</i> Bosnian Pine	B&B	Medium
○	<i>Koelreuteria paniculata</i> Goldenrain Tree	2" B&B	Medium
⊙	<i>Pistacia chinensis</i> Chinese Pistache	2" B&B	Medium +
⊙	<i>Platanus occidentalis</i> Sycamore	2 1/2" B&B	Medium
○	<i>Fraxinus velutina</i> 'Modesto' Modesto Ash	2" B&B	Medium +
Shrubs/Groundcovers			
⊗	<i>Caryopteris clandonensis</i> Blue Mist Spirea	5-Gal.	Medium
○	<i>Ericameria laricifolia</i> 'Aguirre' Turpentine Bush	1-Gal.	Low
*	<i>Hesperaloe parviflora</i> Red Yucca	1-Gal.	Medium
⊕	<i>Penstemon ambiguus</i> Sand Penstemon	1-Gal.	Low
○	<i>Potentilla fruticosa</i> Shrubby Cinquefoil	1-Gal.	Low +
⊙	<i>Rosmarinus officinalis</i> Rosemary	1-Gal.	Low +
⊕	<i>Salvia greggii</i> Cherry Sage	1-Gal.	Medium
Ornamental Grasses			
⊙	<i>Helictotrichon sempervirens</i> Blue Avena	5-Gal.	Medium
*	<i>Sporobolus cryptandrus</i> Sand Dropseed	1-Gal.	Low +
○	<i>Santolina</i> sp. Santolina	1-Gal.	Low

IRRIGATION SYSTEM

Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas. A temporary spray system will be provided to establish the native seeded areas.

MAINTENANCE RESPONSIBILITY

Maintenance of the landscaping and irrigation system, including those areas within the public ROW, shall be the responsibility of the Owner.

LANDSCAPE NOTE

Seventy-five percent of the landscape area shall be covered with living plant material.

STATEMENT OF WATER WASTE

The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area.

**LANDSCAPE PLAN
GSL MANZANO MESA**

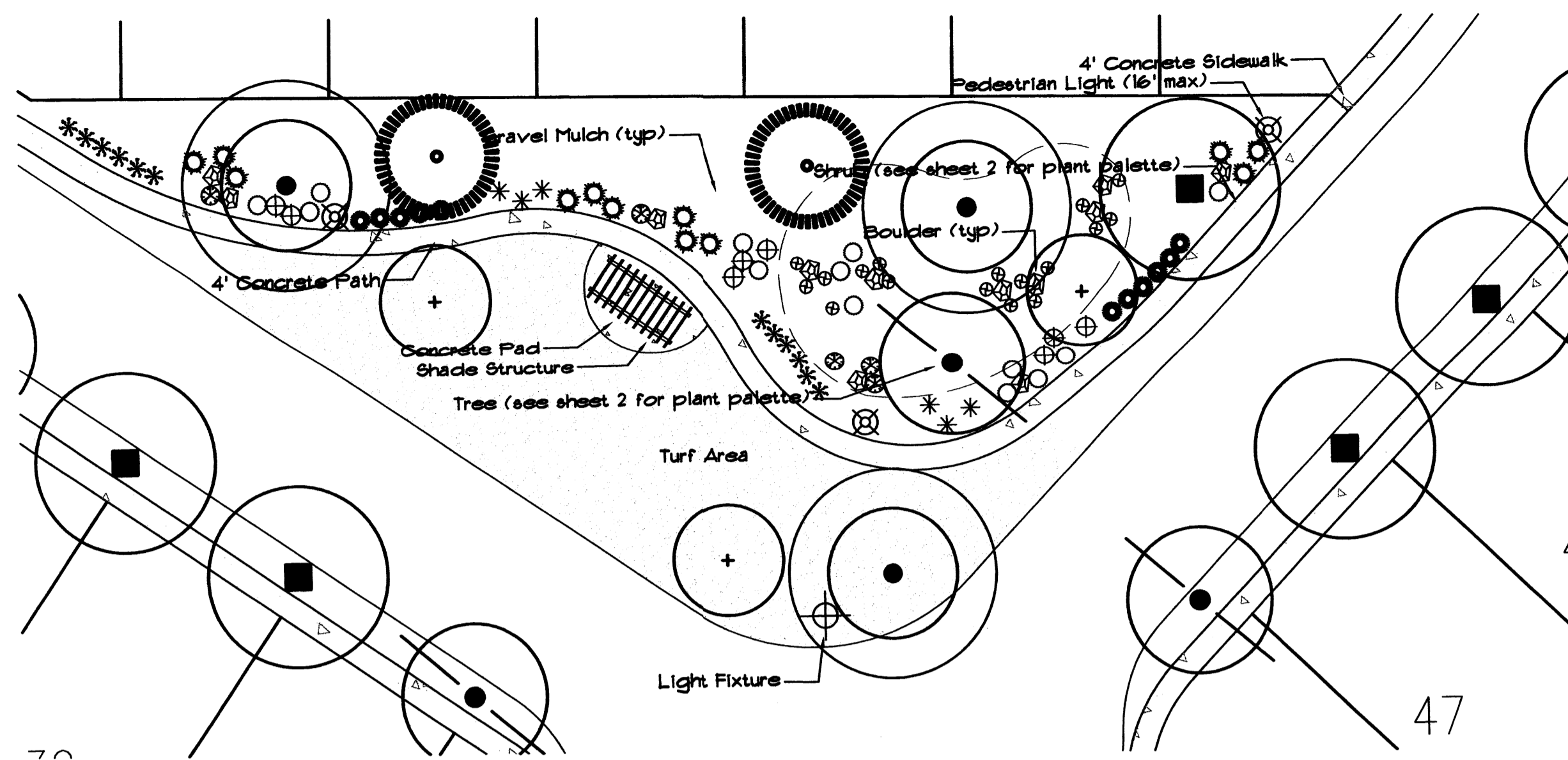
PREPARED FOR:
New Mexico State Land Office
310 Old Santa Fe Trail
Santa Fe, NM 87504-1148

PREPARED BY:
CONSENSUS PLANNING, INC.
302 Eighth Street NW
Albuquerque, New Mexico 87102

ISAACSON & ARIMAN
128 MONROE STREET NE
ALBUQUERQUE, New Mexico 87108

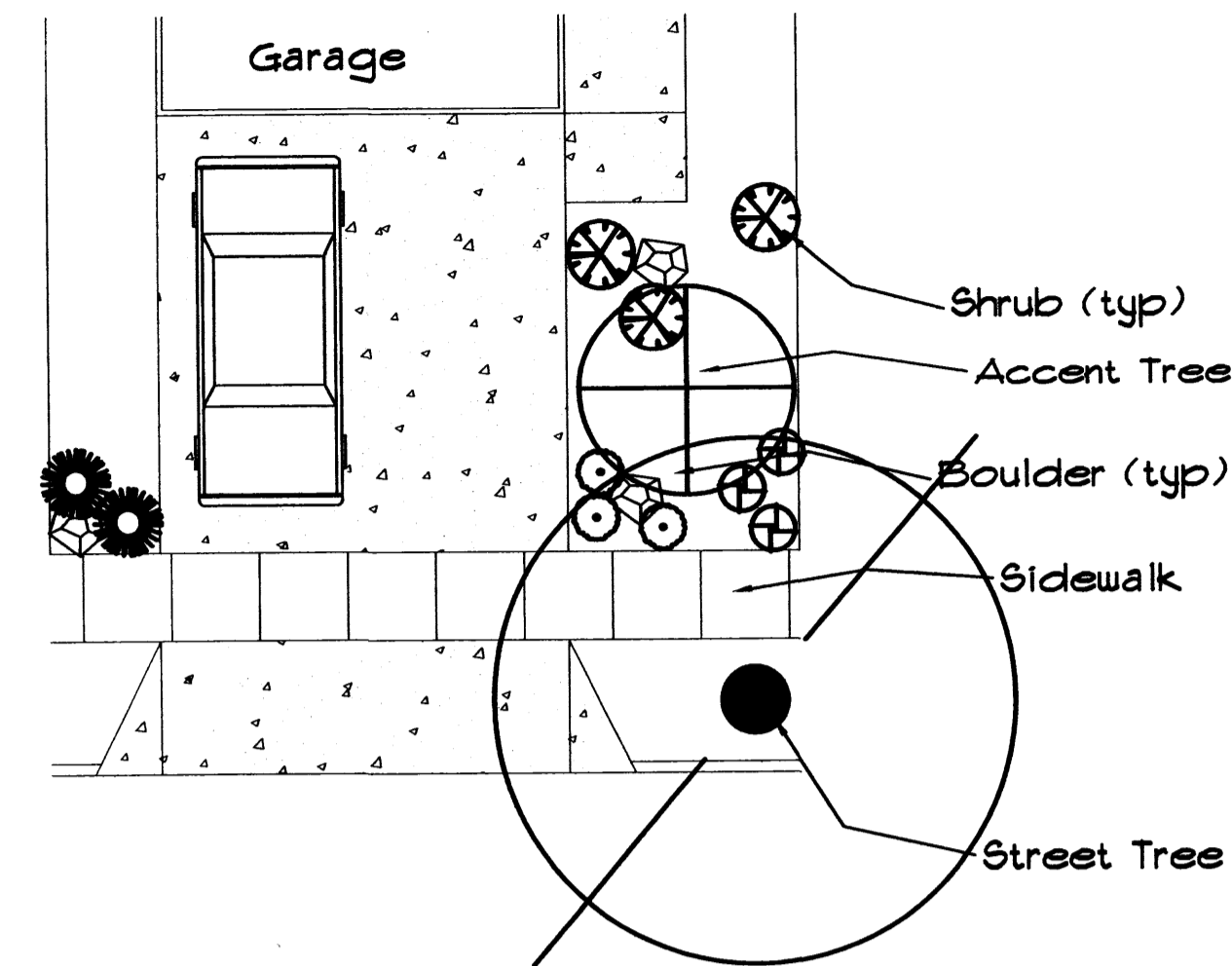
Scale 1" = 50'

north
 August 8, 2006
 Sheet 2 of 6



PLAN VIEW NEIGHBORHOOD PARK

Scale: 1" = 20'



PLAN VIEW FRONT YARD LANDSCAPE (TYPICAL)

MINIMUM FRONT YARD LANDSCAPE STANDARDS

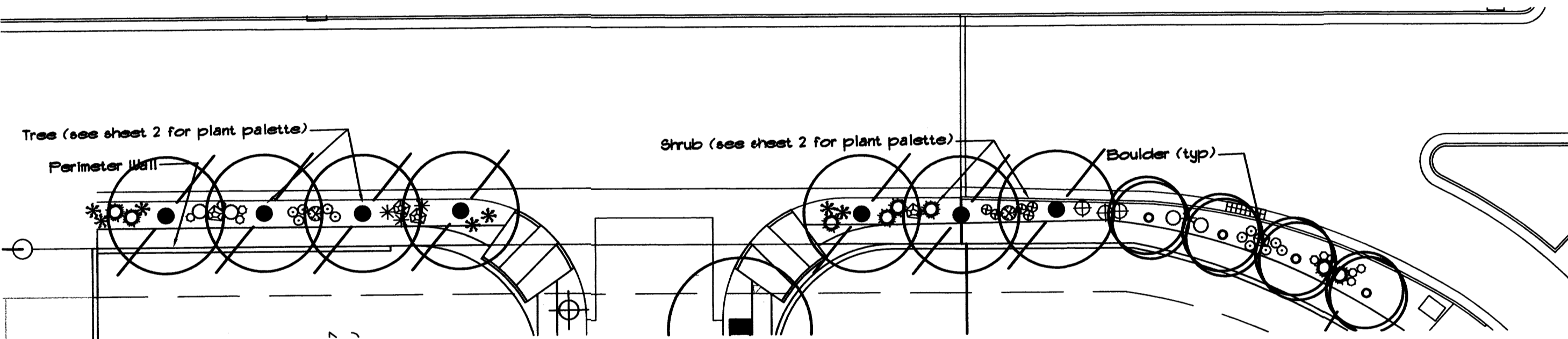
- 1 Accent Tree (15 gallon)
- 3 Shrubs (5 gallon)
- 8 Shrubs/Grasses (1 gallon)
- 3 Landscape Boulders (25' x 25')

In addition, all front yard landscapes shall be required to have the following:

3/4" Santa Ana Tan gravel over filter fabric (all landscape areas not covered with groundcover)

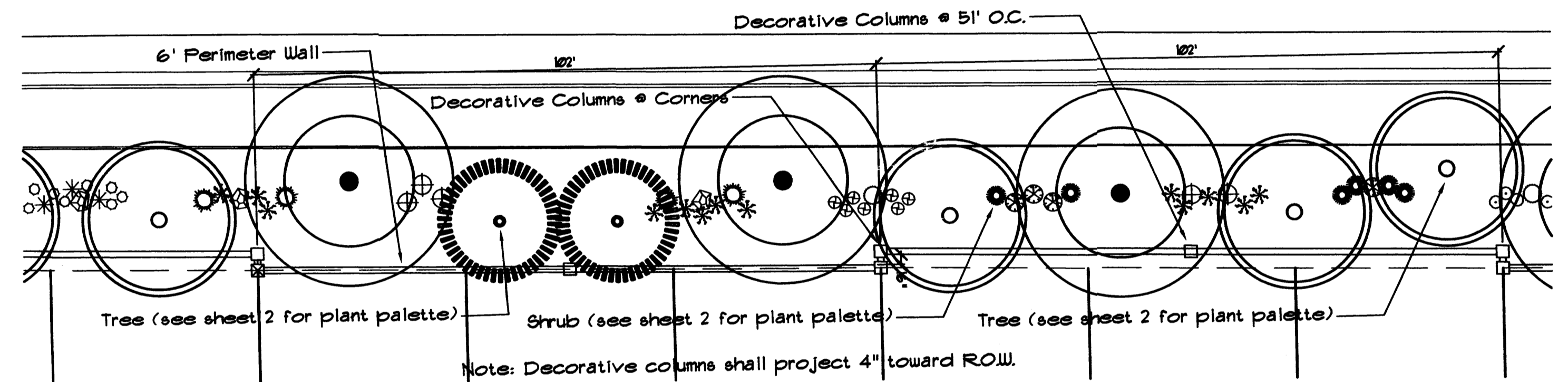
Automatic irrigation system with controller (includes plantings within ROW)

The following accents may be used:
 Cobblestone (25% of landscape area max.)
 Bark Mulch (plant wells only)



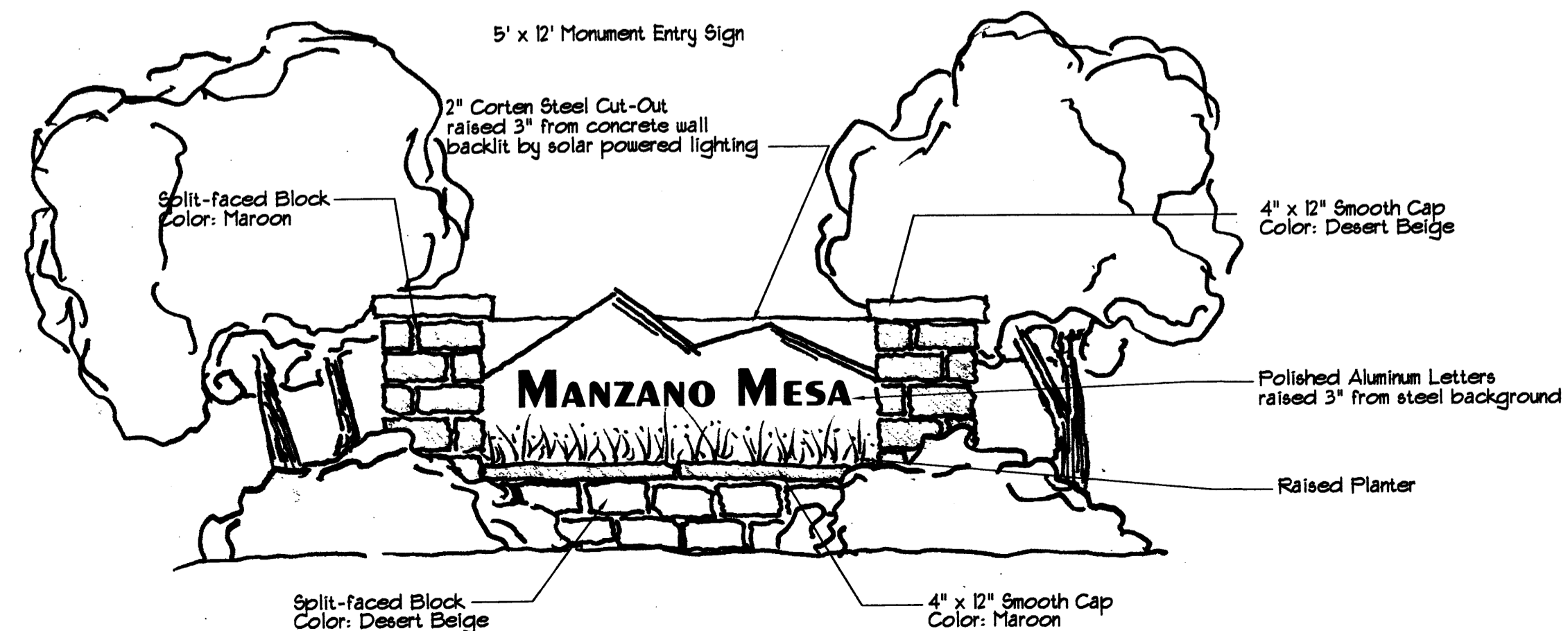
PLAN VIEW STREETSCAPE LAYOUT (INNOVATION PARKWAY)

NTS



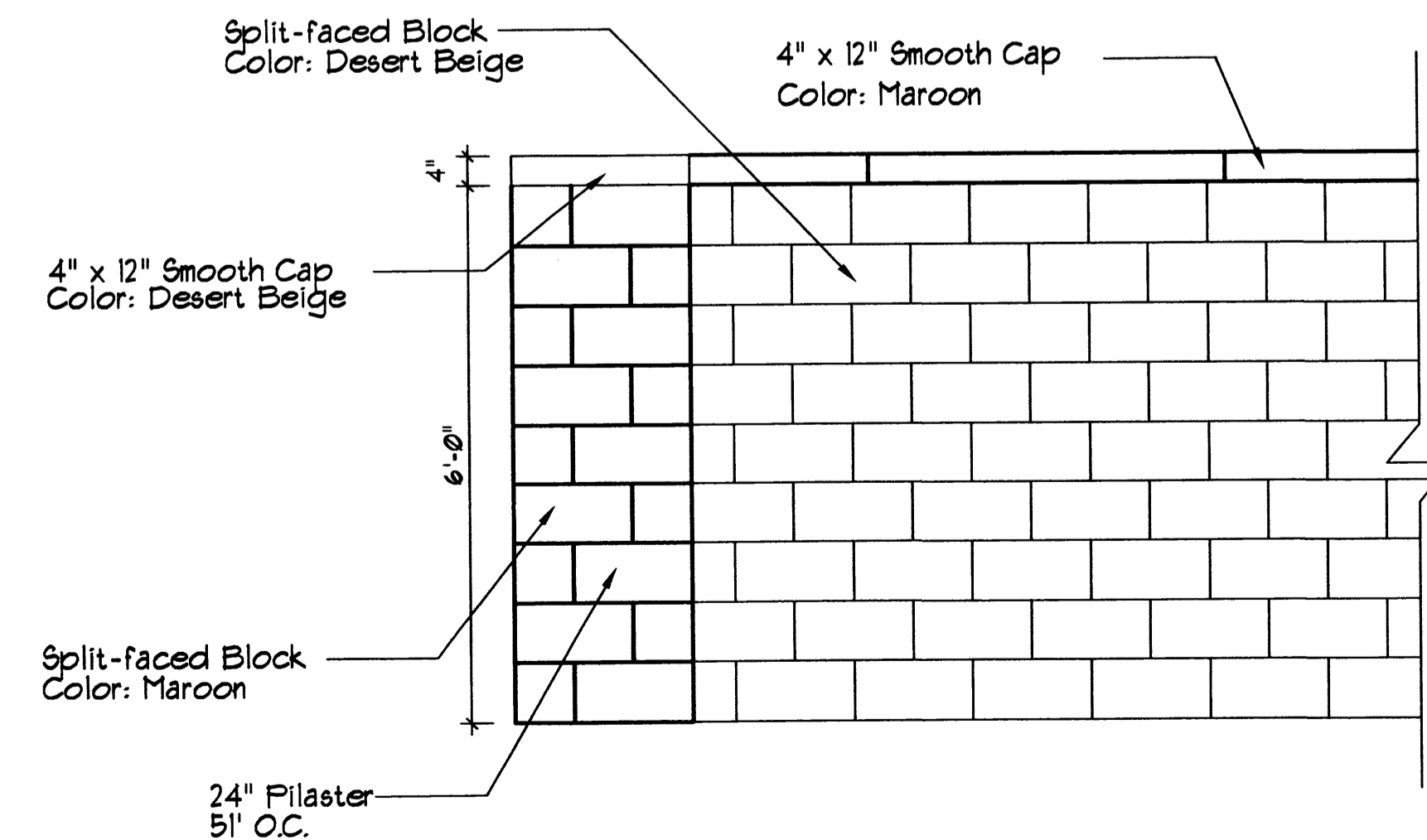
PLAN VIEW PERIMETER WALL LAYOUT (EUBANK)

NTS



MAIN ENTRY MONUMENT SIGN

NTS



PERIMETER WALL ELEVATION

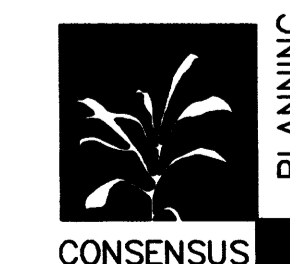
NTS

LANDSCAPE DETAILS
GSL MANZANO MESA

PREPARED FOR:
 NEW MEXICO STATE LAND OFFICE
 310 Old SANTA FE TRAIL
 SANTA FE, NM 87504-1148

PREPARED BY:
 CONSENSUS PLANNING, INC.
 302 EIGHTH STREET NW
 ALBUQUERQUE, NEW MEXICO 87102

ISAACSON & ARFMAN
 128 MONROE STREET NE
 ALBUQUERQUE, NEW MEXICO 87108



Design Guidelines For Manzano Mesa

A. Introduction

The purpose of these Design Guidelines is to provide a framework for ensuring that a high quality development occur within Manzano Mesa. Manzano Mesa is a subdivision that includes 59 detached, single-family homes and common open space.

The primary goal for this property is to achieve a vibrant, residential community that fosters pedestrian accessibility and high quality housing in a location that is emerging as one of Albuquerque's largest employment centers. The Design Guidelines address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, and signage and that will create the visual image desired for Manzano Mesa. They are intended to establish a development framework that is complementary to the surrounding neighborhoods and that establishes an identity for the subdivision.

In accordance with the PRD district of the City's Comprehensive Zoning Code, approval of this Site Plan for Subdivision and Design Standards provide that no additional approvals are required by the Environmental Planning Commission prior to applying for a subdivision plat and building permits for the single family dwellings.

B. Pedestrian and Site Amenities

The project's site amenities include common open space areas located centrally in Manzano Mesa. The common open space characteristics include:

- 1) The common areas will be developed by the developer.
- 2) The common areas will be owned and maintained by the Homeowners' Association.
- 3) The larger common area shall contain pedestrian amenities such as; benches, shade structures, picnic tables, BBQ grills, and/or trash containers.



- 4) Sidewalks within the subdivision shall be 4 feet in width and handicapped accessible.
- 5) There is an existing 10-foot wide multi-use trail along Eubank Boulevard.
- 6) Pedestrian crossings shall be clearly delineated using enhanced paving such as stamped concrete, interlocking pavers, or similar materials.
- 7) A minimum of one (1) seating area shall be provided adjacent to Eubank Boulevard.

C. Setbacks and Lot Size

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes.

- 1) Front Yard Setbacks - There shall be a front-yard setback of not less than 15 feet, except for garages which shall be setback 20 feet. No more than three garages in a row on a street will have the same setback. The minimum offset of garages shall be 3 feet.
- 2) Rear Yard Setbacks - Rear yard setbacks shall not be less than 15 feet to the main structure; except adjacent to Eubank Boulevard where 20 feet is required for all structures.
- 3) Side Yard Setbacks - There shall be a side-yard setbacks of not less than 5 feet.
- 4) Corner Side Yard Setbacks - There shall be a corner side-yard setback of not less than 10 feet from the right-of-way.
- 5) The minimum lot size within the subdivision shall be 3,060 square feet.

D. Landscaping

The development of an overall landscape concept will establish a framework that unifies the property and is complementary to the surrounding area. All landscaped areas need to be coordinated and responsive to existing environmental conditions. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Street Tree Ordinance, and landscape regulations included in the Comprehensive City Zoning Code.

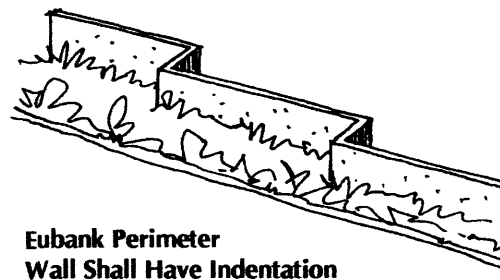
The following are minimum standards for the development of specific landscape plans:

- 1) Street trees are required along Eubank Boulevard in accordance with the City of Albuquerque Street Tree Ordinance. Per the Street Tree Ordinance, trees shall be planted at a rate of one (1) tree per 30 linear feet, linear or randomly places, along Eubank Boulevard. Innovation Parkway shall be planted at the rate of one (1) tree per 20 linear feet, to match the Sandia Science & Technology Park.
- 2) The street trees on Eubank Boulevard shall be a mix of London Plane Trees (Sycamore) and Honey Locust to match the established plant palette at the adjacent multi-family development.
- 3) For the interior residential streets, one street tree shall be provided along roadways at a rate of one (1) per lot where it does not impede access to the lot.
- 4) The Homeowners Association will be responsible for the maintenance of all landscaping in the common areas, landscaping on the exterior of all perimeter walls along Eubank Boulevard, and all street trees.
- 5) Minimum plant sizes at the time of installation for street trees shall be 1 1/2 inch caliper, or 10 to 12 feet in height for deciduous trees or 8 to 10 feet in height for evergreen trees.
- 6) A fully automated irrigation system shall be designed as part of the landscaping for each lot within the project. The system shall be designed to avoid overspraying walks, buildings, fences, etc.

E. Screening Walls, Fencing, and Buffering

All walls shall comply with the City of Albuquerque Zoning Code, Section 14-16-4-19, General Height and Design Regulations for Walls, Fences, and Retaining Walls. The effective use of screening devices for refuse collection and mechanical equipment is essential to limit their adverse visual impact on the property. A perimeter wall is required around the property; however, an effort shall be made by the site designer to lessen its visual impact through landscaping and plane changes.

- 1) A six-foot high, masonry, perimeter wall shall be provided on the project boundaries, with the exception of the northern boundary shared with the existing apartments, that has an existing wall.
- 2) Along the northern boundary shared with the existing apartments, the wall shall either be raised to six (6) feet in height or a six (6) foot high wall shall be constructed adjacent to the existing wall. If a second wall is constructed, the gap shall be capped.
- 3) The perimeter wall adjacent to Eubank Boulevard and Innovation Parkway shall be setback a minimum of 6 feet from the right-of-way with an average setback of 10 feet and will have indentations of not less than 48 inches at least every third lot.
- 4) Unfinished block walls and barbed wire, chain link, concertina wire and plastic/vinyl fencing are prohibited.



F. Architectural Standards

The architectural style for Manzano Mesa will be consistent with the following guidelines.

- 1) Elevations. Architectural styles for both the dwellings are shown. The elevations in this section are illustrative. Minor variations to these styles are permitted. The front and rear of the buildings shall have breaks in the plane to provide interest. All sides of the dwellings shall have architectural treatment in the form of sills, reveals, or similar features.



Typical Residential Elevations

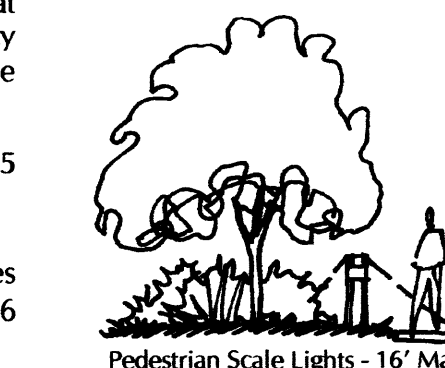
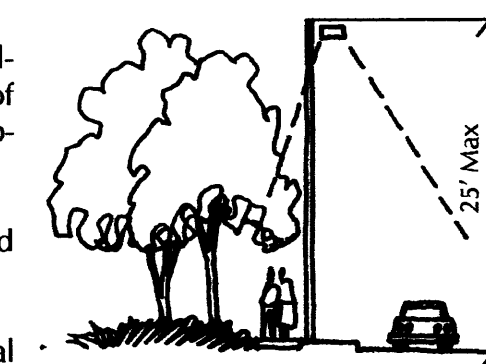
- 2) Building Height. Structures shall not exceed 26 feet in height, as defined in the City Comprehensive Zoning Code.
- 3) Roof Materials, Colors and Style.
 - a) All roofs shall be pitched with a 5:12 slope.
 - b) All roofs shall be constructed of clay or concrete roof tiles.
 - c) Roof materials shall match the primary building colors, which will be limited to browns, earth tones, light beige, medium beige, and dark beige.
- 4) Building Materials. All buildings shall be finished with stucco and acceptable accent materials including stone, brick, or combination of these materials.
- 5) Building Colors. Primary building colors shall be limited to earth tones: beige, brown, reddish brown, and tan. Trim colors shall be coordinated with the primary building color or material. Reflective materials will be avoided.
- 6) Garage Doors. The project shall include a minimum of 3 different garage door designs that differ by materials, design, and/or texture. The garage doors will complement the architecture of the dwelling and, at the same time, minimize the impact of the garage doors on the streetscape.
- 7) Rooftop Equipment. Rooftop equipment shall be screened from view. Rooftop equipment shall be painted to match the roof color or overall predominant building color. All ground mounted equipment shall be screened by walls or landscaping.
- 8) Solid Waste. Each home shall have a storage area for residential trash containers that is not visible from the street. The storage area may consist of additional space provided in the garage for that purpose.

G. Lighting

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and night-time appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lighting will comply with the City of Albuquerque Zoning Code (Section 14-16-3-9) and the State of New Mexico Night Sky Protection Act.

- 1) Placement of fixtures and standards shall conform to State and City safety and illumination standards.

- 2) All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky". Cobra lights are prohibited.
- 3) The use of spread lighting fixtures are encouraged to accent landscape and walkways.
- 4) All light fixtures shall be fully shielded horizontal lamps with no light, lens, or bulb protruding below the bottom of the cut-off fixture in order that no fugitive light shall escape beyond the property line and no site lighting light source shall be visible from the site perimeter.
- 5) The maximum height of street lights shall be 25 feet.
- 6) Pedestrian lighting within the project boundaries shall be pole mounted at a maximum height of 16 feet.



H. Signage

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within Manzano Mesa. The goal is to provide a signage program that is of high quality, maintains a consistent style, creates a sense of arrival, and complements the visual character of the property. All signs shall comply with Section 14-16-3-5 General Sign Regulations of the City Comprehensive Zoning Code.

- 1) Entry signs shall be monument type and shall complement the materials, color, and architectural character of the subdivision.
- 2) Entry signs shall not exceed five (5) feet in height. The sign shall be integrated into the landscaping, which shall be used to accent and frame the sign.



I. Utilities

To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment shall be minimized by the following:

- 1) All new electric distribution lines shall be placed underground.
- 2) Transformers, utility pads/boxes, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- 3) When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.
- 4) Except for the perimeter walls, no construction or accessory buildings shall be allowed in the 20-foot wide underground drainage easement located adjacent to Eubank Boulevard.

J. Green Building Techniques and Water Conservation

The following are examples of green building techniques that should be incorporated into the project where possible:

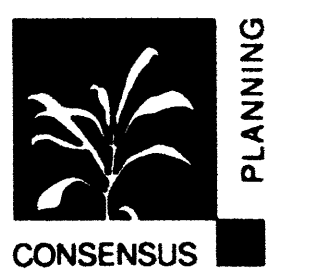
- 1) All new construction should incorporate energy efficient design features. Some of examples of energy efficient features include, but are not limited to, use of advanced framing techniques, installation of additional insulation, use of high efficiency water heaters, and use of airtight drywall approaches.
- 2) All new construction should incorporate interior air quality features, such as, but not limited to: using low-pile and/or less allergen-attracting carpet and pads, installing carpet by tacking rather than using glue, using natural fiber carpets, reducing the amount of carpeting and using alternate flooring made from sustainable natural products, using low-VOC and low-toxic interior paints and finishes, and/or installing a balanced or slightly positive ventilation system.
- 3) All new construction are encouraged to use products that are made from recycled materials.
- 4) All new construction shall contain low water use toilets. All appliances, including dishwashers and washing machines, should be low water use. Recirculating hot water heaters are encouraged.
- 5) Rainwater harvesting systems should be offered as an option on new homes. Rainwater harvesting for the subdivision is encouraged.

Design Guidelines

GSL MANZANO MESA

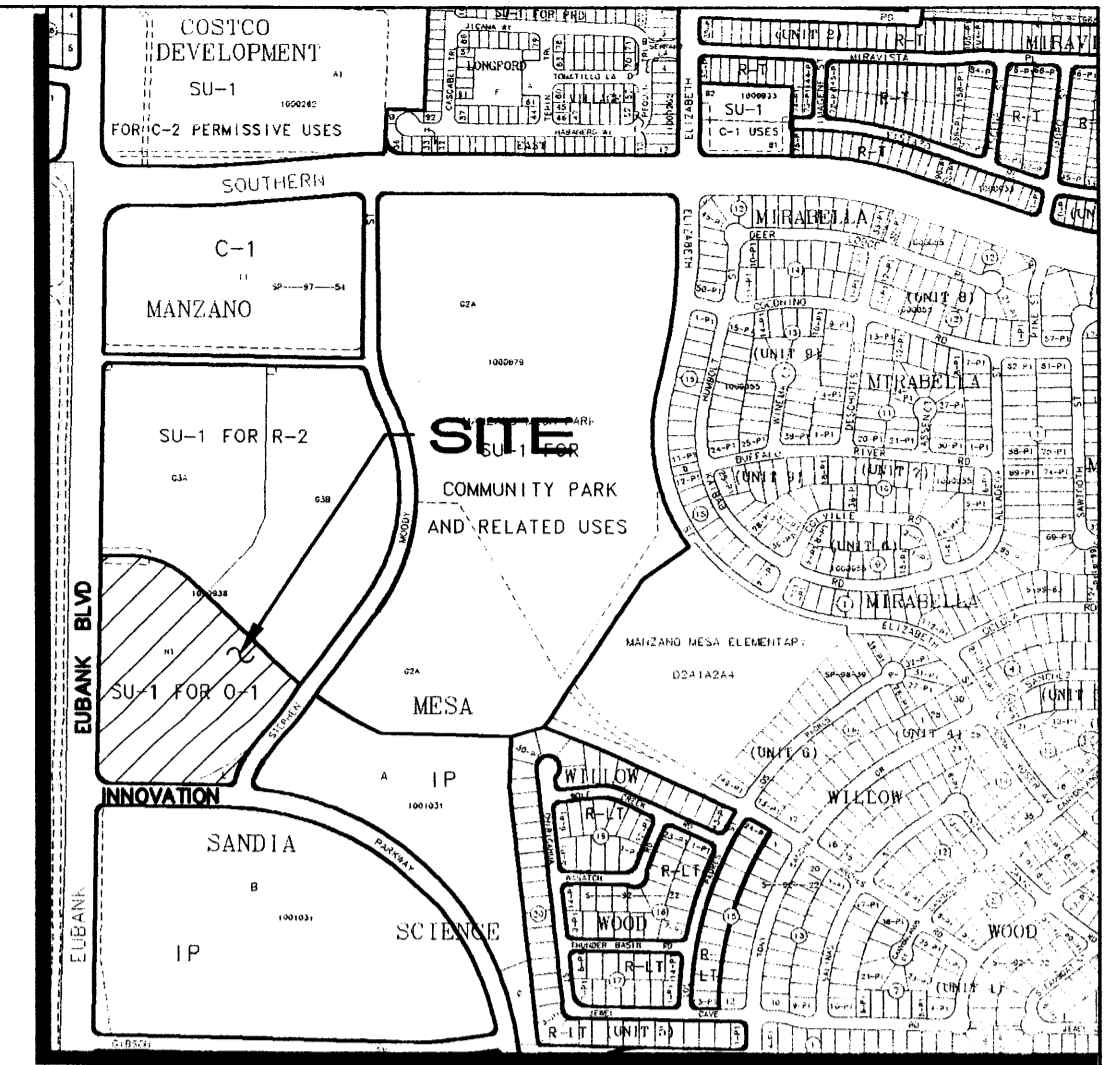
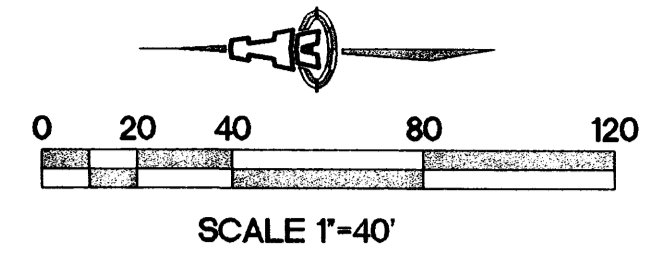
Prepared For:
GSL Properties, Inc.
2164 S.W. Park Place
Portland, OR 97205-1125

Prepared By:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102



July 31, 2006
Sheet 4 of 6

- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - ◆ 72.0 PROPOSED SPOT ELEVATION
 - FLOW ARROW
 - PG= 78.0 PAD GRADE ELEVATION
 - SIDEWALK CULVERT
 - TC 81.9
FL 81.4 TOP OF CURB ELEVATION FLOWLINE
 - - - PROPOSED BASIN BOUNDARY
 - Ⓐ BASIN ID
 - STORM DRAIN MANHOLE
 - NEW RETAINING WALL



VICINITY MAP

(FUTURE SITE OF THE SCHOOL FOR THE BLIND AND VISUALLY IMPAIRED)

TRACT H-1-A
3.8988 ACRES

LEGAL DESCRIPTION: TRACT H-1 MANZANO MESA
LAND AREA: 11.40 ACRES (CURRENTLY UNDEVELOPED)
TRACT H-1-A: 3.90 ACRES (FUTURE SCHOOL SITE)
RESIDENTIAL SUBDIVISION: 7.50
HYDROLOGY: ZONE 3 100% A
EXISTING: Q=(11.40 ACRES)(1.87 cfs/AC) = 21.3 cfs
PROPOSED RESIDENTIAL SUBDIVISION: 15% B, 25% C, 60% D
 Q=(7.50 ACRES)(4.26 cfs/AC)= 31.9 cfs
SCHOOL TRACT (UNDEVELOPED):
 Q=(3.90 ACRES)(1.87 cfs/AC)= 7.3 cfs

RESIDENTIAL SUBDIVISION DISCHARGE DATA		
BASIN	AREA (ACRES)	Q (cfs)
A	4.00	17.0
B	3.50	14.9
TOTAL	7.27	31.9

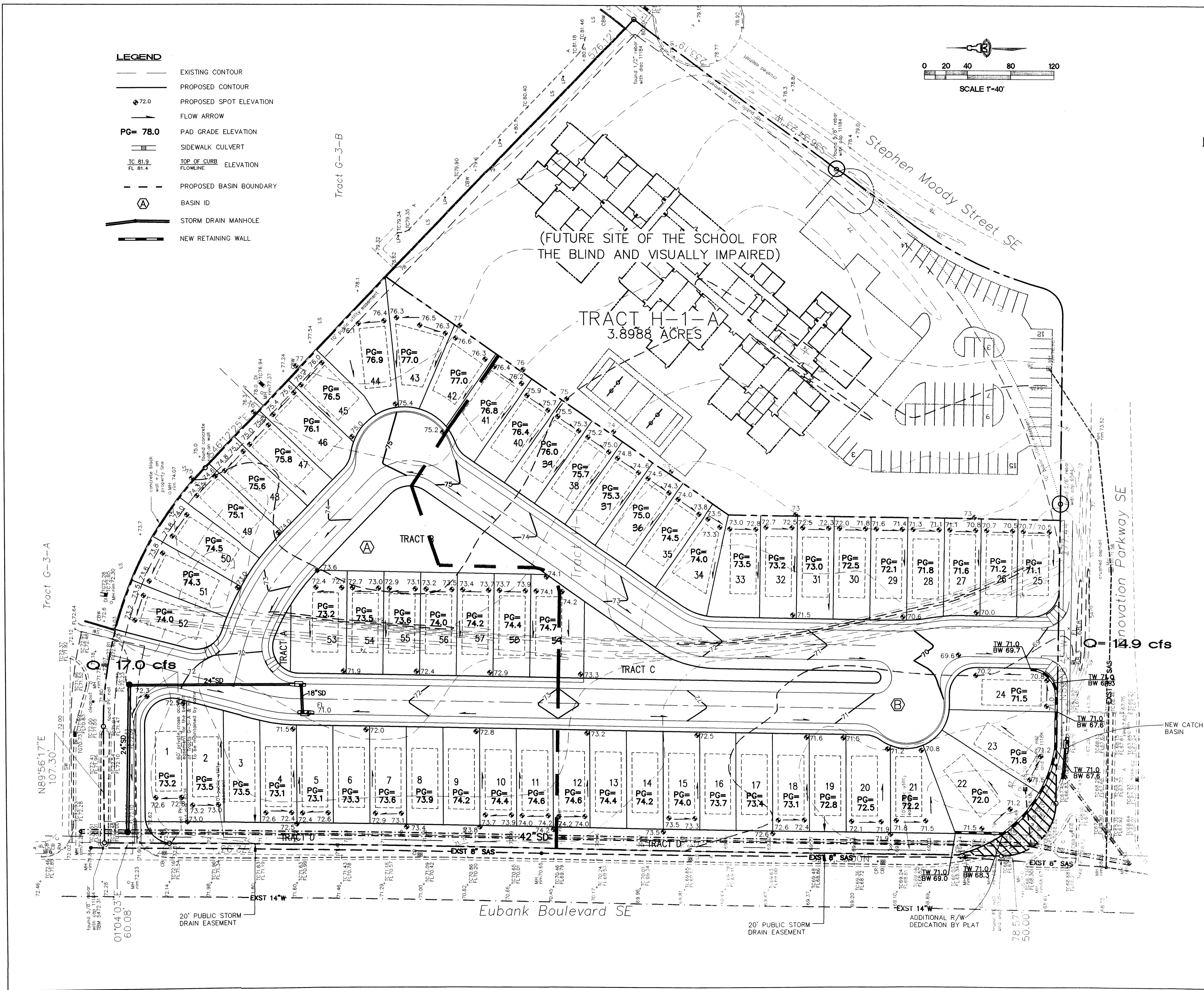
SUB-BASIN A WILL DRAIN TO PROPOSED INTERIOR SUMP CATCH BASINS. THE NEW CATCH BASINS WILL BE CONNECTED WITH A NEW 24" STORM DRAIN TO THE EXISTING 48" STORM DRAIN RUNNING ALONG THE EAST SIDE OF EUBANK BLVD SE.
 SUB-BASIN B WILL DRAIN VIA STREET FLOW SOUTH TO INNOVATION PARKWAY WHERE AN EXISTING INLET WILL ACCEPT THE FLOW.

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 Fax. 505-268-2632
 1511GRD.DWGdtp 08.08.06

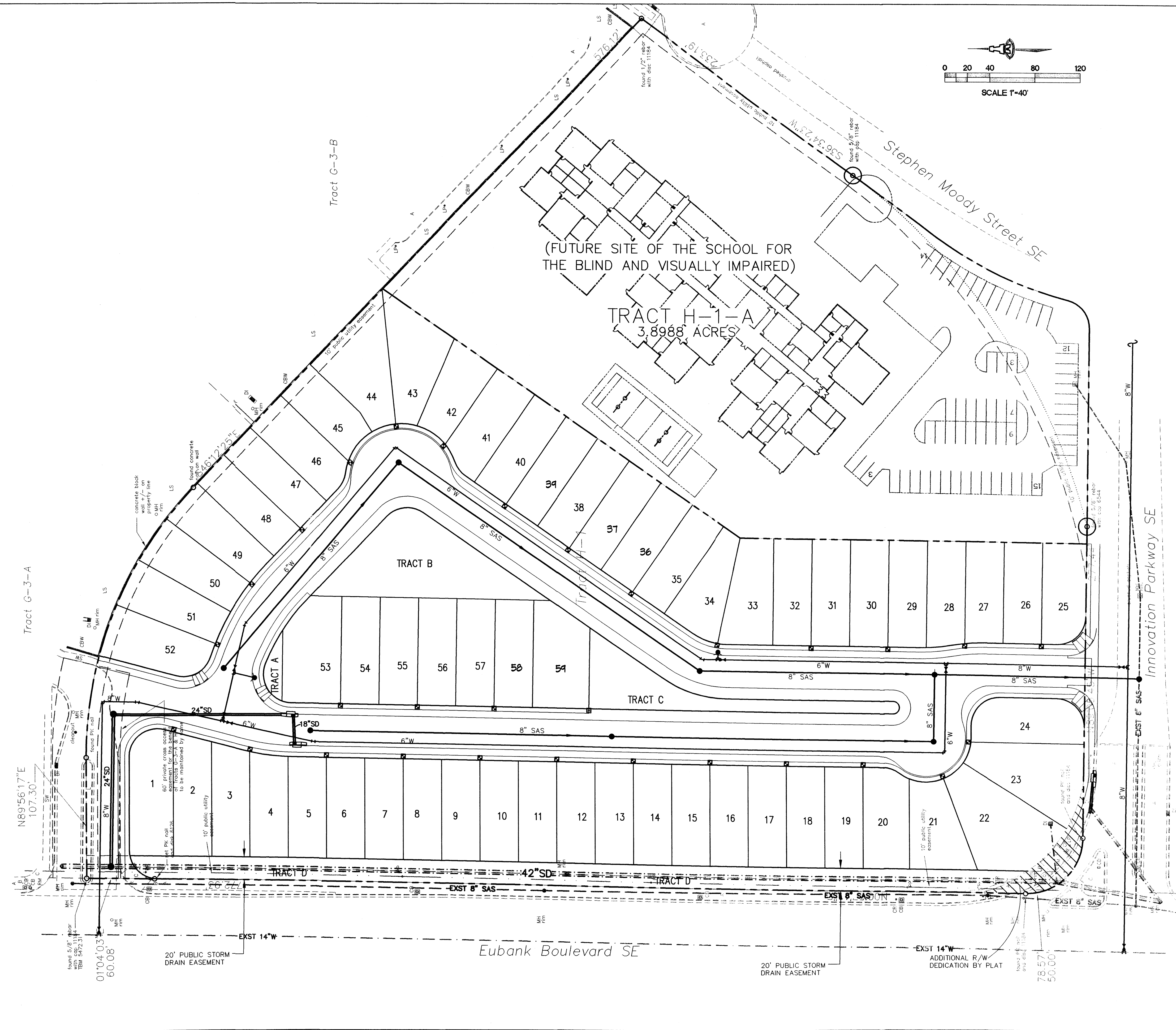
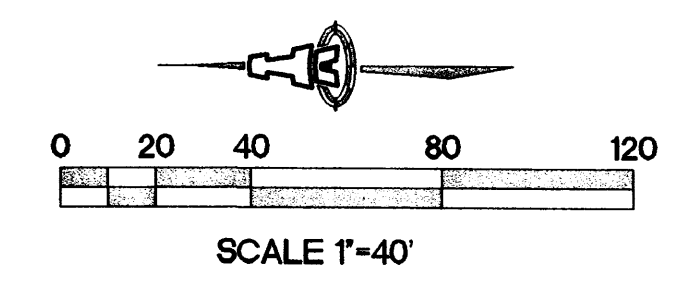
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MANZANO MESA SUBDIVISION
GSL PROPERTIES
CONCEPTUAL GRADING AND DRAINAGE PLAN

Date:	05/30/06	Revision:		Date:		Job No.:	1511
Drawn By:	thor					PAGE	
Chk By:	SMM					5	OF 6



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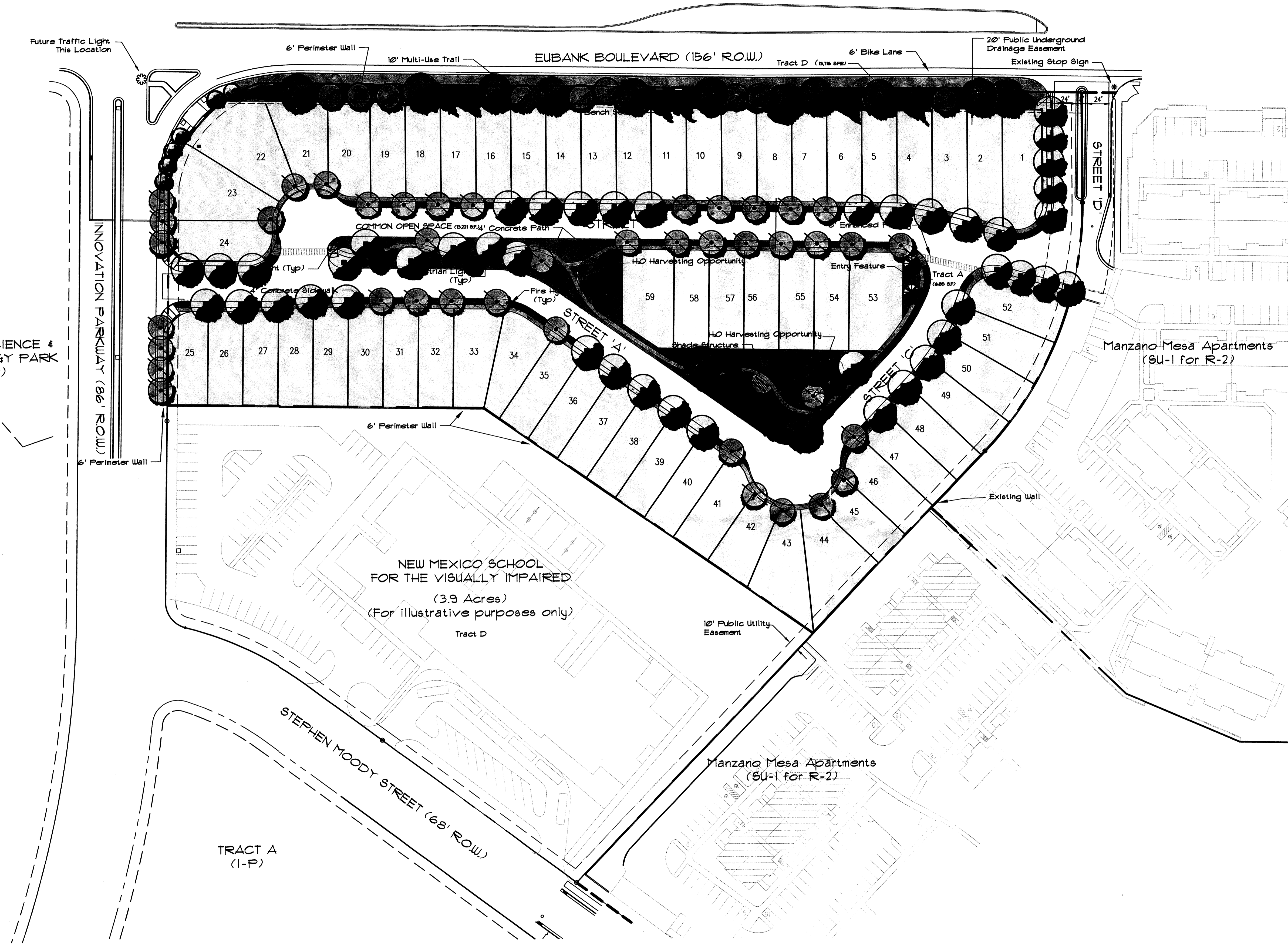


- LEGEND**
- SINGLE WATER METER & BOX
 - DOUBLE WATER METER & BOX
 - GATE VALVE W/ VALVE BOX
 - FIRE HYDRANT
 - SAS MANHOLE
 - WATER LINE W/ FITTING
 - EXISTING SANITARY SEWER
 - EXISTING WATERLINE

	ISAACSON & ARFMAN, P.A. Consulting Engineering Associates 128 Monroe Street N.E. Albuquerque, New Mexico 87108 Ph. 505-268-8828 Fax. 505-268-2632 1511UMSTR.DWCdip 08.08.06
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MANZANO MESA SUBDIVISION GSL PROPERTIES			
CONCEPTUAL UTILITY PLAN			
Date: 05/30/06	No. Revision	Date	Job No. 1511
Drawn By: thor			PAGE
Ckd By: SMM			51.6 of 6

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PLANT PALETTE

Symbol	Scientific Name Common Name	Size	Water Use
Trees			
○	<i>Gleditsia triacanthos inermis</i> Honey Locust	2" B&B	Medium
⊗	<i>Sambucus mexicana</i> Mexican Elder	15 Gal.	Medium
○	<i>Fraxinus oxycarpa</i> 'Raywood' Raywood Ash	2" B&B	Medium+
●	<i>Pinus leucodermis</i> Bosnian Pine	B&B	Medium
○	<i>Koelreuteria paniculata</i> Goldenrain Tree	2" B&B	Medium
⊠	<i>Pistacia chinensis</i> Chinese Pistache	2" B&B	Medium +
⊙	<i>Platanus occidentalis</i> Sycamore	2 1/2" B&B	Medium
⊗	<i>Fraxinus velutina</i> 'Modesto' Modesto Ash	2" B&B	Medium +
Shrubs/Groundcovers			
⊗	<i>Caryopteris clandonensis</i> Blue Mist Spirea	5-Gal.	Medium
○	<i>Ericameria laricifolia</i> 'Aguirre' Turpentine Bush	1-Gal.	Low
*	<i>Hesperaloe parviflora</i> Red Yucca	1-Gal.	Medium
⊕	<i>Penstemon ambiguus</i> Sand Penstemon	1-Gal.	Low
○	<i>Potentilla fruticosa</i> Shrubby Cinquefoil	1-Gal.	Low +
⊗	<i>Rosmarinus officinalis</i> Rosemary	1-Gal.	Low +
⊕	<i>Salvia greggii</i> Cherry Sage	1-Gal.	Medium
Ornamental Grasses			
●	<i>Helictotrichon sempervirens</i> Blue Avena	5-Gal.	Medium
*	<i>Sporobolus cryptandrus</i> Sand Dropseed	1-Gal.	Low +
○	<i>Santolina sp.</i> Santolina	1-Gal.	Low

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate trees, shrub and groundcover planting areas. A temporary spray system will be provided to establish the native seeded areas.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public ROW, shall be the responsibility of the Owner.

LANDSCAPE NOTE
Seventy-five percent of the landscape area shall be covered with living plant material.

STATEMENT OF WATER WASTE
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area.

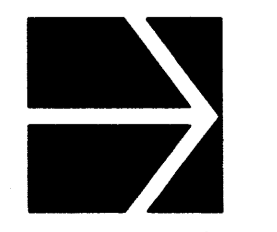
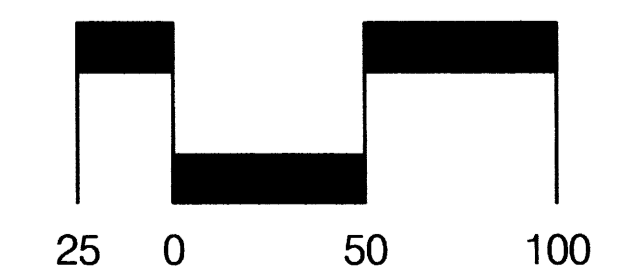
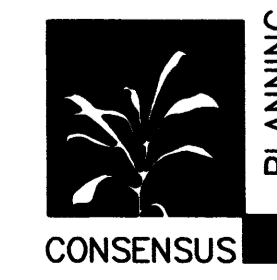
**LANDSCAPE PLAN
GSL MANZANO MESA**

PREPARED FOR:
New Mexico State Land Office
310 Old Santa Fe Trail
Santa Fe, NM 87504-1148

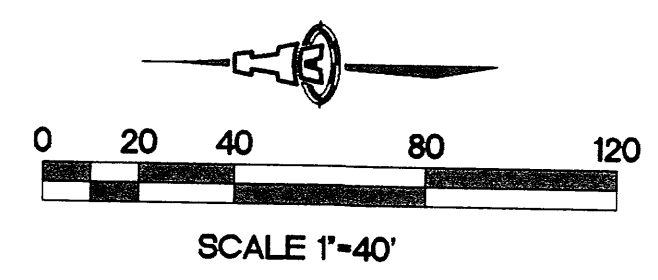
PREPARED BY:
CONSENSUS PLANNING, INC.
302 Eighth Street NW
Albuquerque, New Mexico 87102

ISAACSON & ARMAN
128 MONROE STREET NE
ALBUQUERQUE, NEW MEXICO 87108

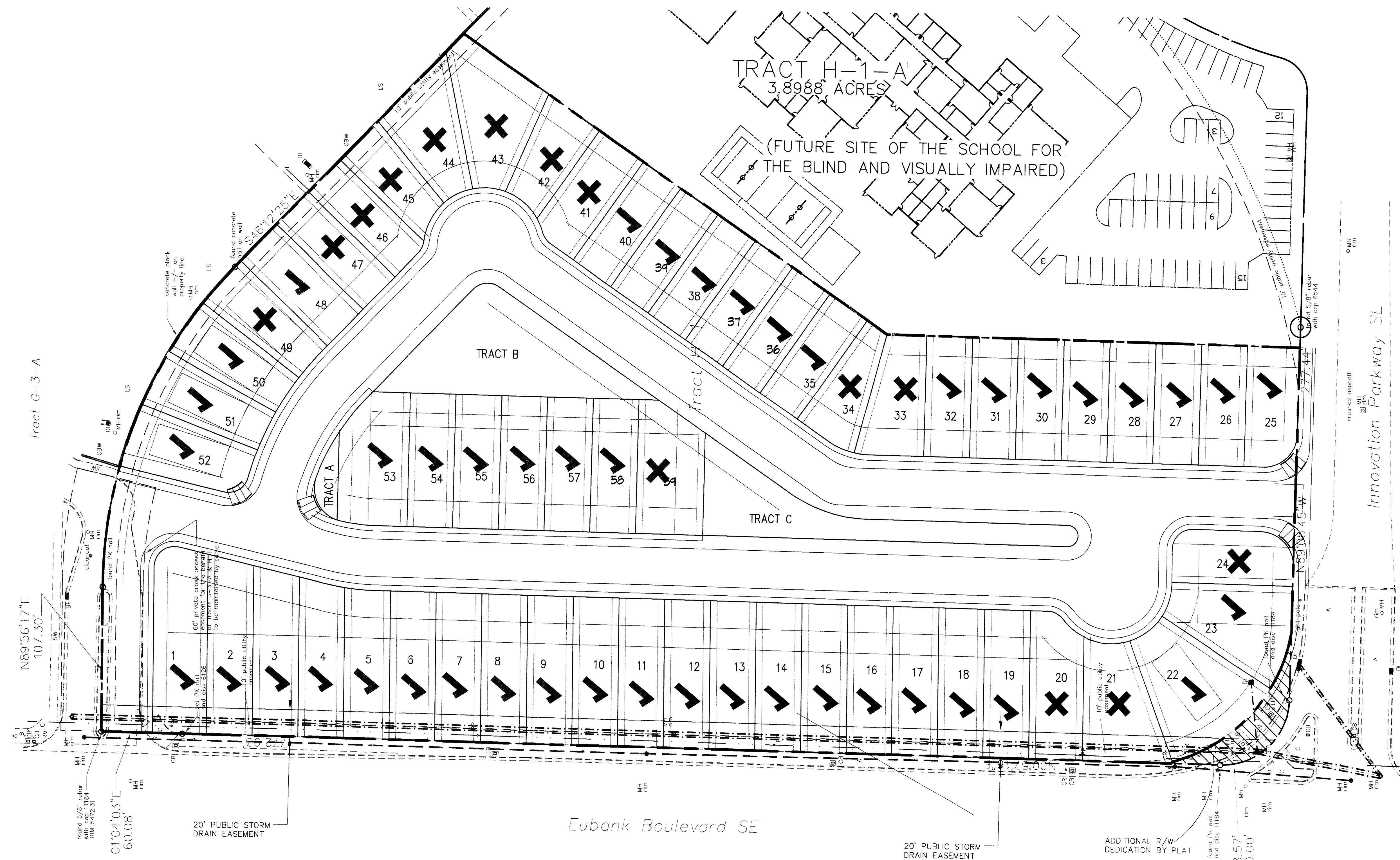
Scale 1" = 50'



north
August 8, 2006
Sheet 2 of 6



TRACT H-1-A
3.8988 ACRES
(FUTURE SITE OF THE SCHOOL FOR THE BLIND AND VISUALLY IMPAIRED)



	FIT	DONT FIT
BLOCK 1=	18	10
BLOCK 2=	6	1
BLOCK 3=	21	3

LEGEND

- TYPICAL 24'x55' PAD FITS
- TYPICAL PAD DOES NOT FIT ALTERNATE 20'x50' PAD

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 1511 E. Manzano Street N.E.
 Albuquerque, New Mexico 87106
 Tel. 505-268-8828 Fax. 505-268-2632
 1511EXH-LOT FIT.DWG

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MANZANO AREA SUBMISSION
GSJ PROPERTIES

LOT FIT EXHIBIT

Date:	No.	Revision:	Date:	Job No.
05/30/06				1511
Drawn By:				
thor				
Ckd By:				
SMM				

C:\IPEVD_2006\1511\dwg\1511_EXH-LOT FIT.dwg, 7/24/2006 10:37:17 AM

Notice of Decision
City Council
City of Albuquerque
October 16, 2006

AC-06-25 Consensus Planning, Agent for New Mexico State Land Office Appeals the Environmental Planning Commission's Denial of a Zone Map Amendment from SU-1 for O-1 to SU-1 for PRD, and a Site Development Plan for Subdivision, Located on Innovation Way SE, Between Eubank Blvd SE and Stephen Moody SE

Decision

On October 16, 2006, by a vote of 7 FOR, 0 AGAINST, 1 EXCUSED and 2 ABSTAINED, the City Council voted to grant the appeal.

Excused: Mayer

Abstained: Cadigan, Winter

IT IS THEREFORE ORDERED THAT THE APPEAL IS GRANTED AND THE ZONE MAP AMENDMENT AND SITE DEVELOPMENT PLAN FOR SUBDIVISION ARE APPROVED.

The Council approved the following findings:

1. The change is consistent with the health, safety, morals and general welfare of the City.
2. The proposed change is not in significant conflict with adopted elements of the Comprehensive Plan or other City master plans including City adopted privately developed area plans.
3. The change is justified by changed neighborhood or community conditions and/or the proposed use category is more advantageous to the community as articulated in the Comprehensive Plan.
4. The proposed zone change will not create permissive uses harmful to adjacent property.
5. The cost of land or other economic considerations pertaining to the applicant is not the determining factor for the zone change.
6. The zone change will create a spot zone but is justified because it furthers many Comprehensive Plan goals and policies.

Attachments

1. Action Summary from the October 16, 2006 City Council meeting

Appeal of Final Decision

A person aggrieved by this decision may appeal the decision to the Second Judicial District Court by filing in the Court a notice of appeal within thirty (30) days from the date this decision is filed with the City Clerk.



Martin Heinrich, President
City Council

Date: 10/30/06

Received by: M. Candlish Date: 10/30/06
City Clerk's Office

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