



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

July 26, 2006

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Kristal Metro & Brad Bingham, Alter City Engineer

Bill Balch, Utility Development  
Christina Sandoval, Parks & Recreation

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**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 11:50 A.M.  
B. Changes and/or Additions to the Agenda  
C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1004909**  
06DRB-00930 Major- SiteDev Plan  
BldPermit

HARTMAN & MAJEWSKI DESIGN GROUP agent(s) for SOUTHWEST GASTROENTEROLOGY ASSOCIATES, request(s) the above action(s) for Tract(s) 2A-2A-2B-2, Block(s) 0000, JOURNAL CENTER (to be known as SOUTHWEST GASTROENTEROLOGY) zoned IP, located on the northeast corner of JEFFERSON NE between JOURNAL CENTER BLVD NE ANSD HEADLINE AVE NE containing approximately 2.5 acre(s). [REF: DRB-97-442, ZA-96-44, 06DRB-00717] (D-17) THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR FIRE FLOW CALCULATIONS AND REVISED UTILITY

**PLAN AND TRANSPORTATION DEVELOPMENT FOR  
BUILD NOTES, SIDEWALK EASEMENT, JOURNAL  
CENTER APPROVAL LETTER, 3 COPIES OF THE SITE  
PLAN AND THE 15-DAY APPEAL PERIOD.**

2. **Project # 1004228**  
06DRB-00937 Major-Vacation of Pub  
Right-of-Way

TERRAMETRICS OF NEW MEXICO agent(s) for  
HEADSTART ENTERPRISES request(s) the above  
action(s) for all or a portion of Tahoe Place right-of-way  
(**SUNRISE HEIGHTS ADDITION**) ) zoned M-1 light  
manufacturing zone, located on MONTANO RD NE AND  
RENAISSANCE BLVD NE containing approximately 1  
acre(s). [REF: 05DRB-01765] (F-15) **THE VACATION  
WAS APPROVED AS SHOWN ON EXHIBIT B IN THE  
PLANNING FILE.**
  
3. **Project # 1004091**  
06DRB-00942 Major-Preliminary Plat  
approval  
06DRB-00943 Minor- Temp Deferral of  
Sidewalk

RIO GRANDE ENGINEERING agent(s) for IRVING  
PARTNERS LLC request(s) the above action(s) for all or a  
portion of Unplatted Lands of Amalgamated Partners (to be  
known as **DESERT GARDEN ESTATES SUBDIVISION**),  
zoned RLT, located on IRVING BLVD NW between  
RAINBOW RD NW and PASEO DEL OESTE NW  
containing approximately 12 acre(s). *[Deferred from  
7/26/06]* (A-9) **DEFERRED AT THE AGENT'S  
REQUEST TO 8/2/06.**
  
4. **Project # 1004076**  
06DRB-00880 Major-Vacation of Pub  
Right-of-Way

SURVEYS SOUTHWEST LTD agent(s) for HILTON  
AVENUE LOFTS LLC, request(s) the above action(s) for a  
portion of HILTON AVE NE adjacent to Lot(s) 6 (to be  
known as **HILTON AVENUE LOFTS**) zoned RLT, located  
on HILTON AVE NE, between PARSIFAL ST NE and  
HENDRIX RD NE. [REF: 05DRB-01403, 05DRB00526] *[Deferred from  
7/19/06]* (G-20) **THE VACATION WAS APPROVED AS  
SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

5. **Project # 1004240**  
06DRB-00890 Major-Preliminary Plat  
Approval  
06DRB-00891 Minor-Sidewalk Waiver  
06DRB-00892 Minor-Temp Defer SDWK  
06DRB-00893 Minor-Vacation of Private  
Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) 87-A-1-B, 87-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89-B-1, 89-B-2-A, Lot(s) A-1 and A-2, LANDS OF E. MAS (to be known as **VILLAS LAS MANANITAS SUBDIVISION**, zoned SU-1 FOR C-1 AND R-1, located on INDIAN SCHOOL RD NW between the ALAMEDA DRAIN AND RIO GRANDE BLVD NW containing approximately 5 acres. [REF: 05DRB-00918] [Deferred from 7/12/06] (H-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/26/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/6/06 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: 1) LANDSCAPING MUST BE SHOWN ON A REVISED WALL DESIGN PRIOR TO FINAL PLAT 2) ALL LOTS MUST MEET THE MINIMUM 5000 SQUARE FOOT LOT SIZE. 3) IF THE FINAL PLAT IS APPROVED AFTER 10/31/06 THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS). 4) ALL LOTS SHALL HAVE P-2 DESIGNATIONS. 5) A SUBDIVISION DESIGN VARIANCE NEEDS TO BE APPLIED FOR BEFORE OR CONCURRENT WITH THE FINAL PLAT APPLICATION. 6) NEED EASEMENTS OR DEDICATION ALONG RIO GRANDE BOULEVARD NORTH OF THE EXISTING HISTORIC BUILDING. 7) THE EASEMENTS ALONG MANANITAS LANE NW MUST BE WIDER. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

- 06DRB-01042 Minor-SiteDev Plan  
Subd/EPC

CONSENSUS PLANNING agent(s) for GARCIA INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) A, **VILLAS LAS MANANITAS SUBDIVISION**, zoned SU-1 FOR PERMISSIVE C-1 W/RESTRICTIONS, located on the northeast corner of INDIAN SCHOOL RD NW and RIO GRANDE BLVD NW and containing approximately 2 acre(s). [REF: 06DRB-00890, 06DRB-00891, 06DRB-00892, 06DRB-00893] [David Stallworth, EPC Case Planner] (H-13) **THE SITE**



PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DAVID STALLWORTH'S INITIALS, 3 COPIES OF THE SITE PLAN AND A REVISED WALL DESIGN WITH LANDSCAPING.

6. **Project # 1003612**  
06DRB-00737 Major-Preliminary Plat Approval  
06DRB-00738 Major-Vacation of Pub Right-of-Way  
06DRB-00739 Minor-Temp Defer SDWK

THOMPSON ENGINEERING CONSULTANTS INC agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 37, TOWN OF ATRISCO GRANT (to be known as **SUNDORO SOUTH, UNIT 9**) zoned SU-2 R-LT, located on ENDEE RD NW, between 98<sup>TH</sup> ST NW and 94<sup>TH</sup> ST NW containing approximately 6 acre(s). [REF: 04DRB-01868] *[Deferred from 6/21/06 & 6/28/06 & 7/12/06 & 7/26/06]* (J-9) **DEFERRED AT THE BOARD'S REQUEST TO 8/2/06.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

7. **Project # 1003087**  
06DRB-01034 Minor-SiteDev Plan Subd

BOHANNAN HUSTON INC agent(s) for WESTLAND DEVELOPMENT CO request(s) the above action(s) for all or a portion of Block(s) 1-39, Tract(s) A-L, **WATERSHED SUBDIVISION**, zoned SU-2 FOR PDA RR, located on TIERRA PINTADA ST NW, between 98<sup>TH</sup> ST NW and ARROYO VISTA BLVD NW containing approximately 47 acre(s). [REF: 05DRB-00788] (H-9) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR LANDSCAPE PLAN ATTACHED TO COPIES OF THE SITE PLAN, NO UNIFORM FRONT YARD SETBACK, PLACEMENT AND ORIENTATION OF GARAGES AND INFRASTRUCTURE LIST LANGUAGE ON THE SIGNATURE BLOCK.**

8. **Project # 1005025**  
06DRB-01031 Minor-SiteDev Plan  
BldPermit

M & M REAL ESTATE INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 217, SANTA BARBARA- MARTINEZTOWN (to be known as **523 LOMAS OFFICE BUILDING**) zoned C-3, located on LOMAS BLVD NE, between HIGH ST NE and EDITH BLVD NE containing approximately 1 acre(s). (J-15) **WITHDRAWN AT THE AGENT'S REQUEST.**

9. **Project # 1003272**  
06DRB-00941 Minor-SiteDev Plan  
Subd/EPC

CONSENSUS PLANNING agent(s) for AMERI CONTRACTORS LLC request(s) the above action(s) for all or a portion of Lot(s) 2-A-1-B-2, 3-A and 4-A-1, **ALBUQUERQUE WEST, UNIT 2**, zoned SU-1 PDA to include C-3 uses, located on PASEO DEL NORTE NW, between COORS BLVD NW and EAGLE RANCH RD NW containing approximately 10 acre(s). [REF: 06EPC-00283] **[Stephanie Shumsky, EPC Case Planner]** *[Deferred from 7/12/06]* (C-13) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD.**

05DRB-01354 Minor-Prelim&Final Plat  
Approval

ISAACSON & ARFMAN PA agent(s) for HIGH ASSETS LAND CO LTD request(s) the above action(s) for all or a portion of Lot(s) 2-A-1-B-2 and 3A (to be known as **ALBUQUERQUE WEST, UNIT 2**, Lot(s) 3-A-1, 3-A-2, 2-A-1-B-2-A and 2-A-1-B-2-B), zoned SU-1 PDA TO INCLUDE C-3 USES, located on EAGLE RANCH RD NW, between PASEO DEL NORTE NW and ALL SAINTS RD NW containing approximately 8 acre(s). [REF: DRB-96-14, DRB-90-252] *[Indef Deferred from 9/7/05 & 11/2/05]* (C-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

10. **Project # 1003993**  
06DRB-01006 Minor-SiteDev Plan  
BldPermit/EPC  
06DRB-01005 Minor-Prelim&Final Plat  
Approval  
06DRB-01003 Minor-Vacation of Private  
Easements

RHOMBUS PA INC agent(s) for GLOBAL STORAGE request(s) the above action(s) for all or a portion of Lot(s) A-37-1, NORTHEAST UNIT, TOWN OF ATRISCO GRANT (to be known as **GLOBAL STORAGE**) zoned SU-1-O-1, located on COORS BLVD NW, between SEQUOIA NW and ST JOSEPHS DR NW containing approximately 4 acre(s). [REF: 05EPC-00369, 05EPC-00370] **[David**

**Stallworth, EPC Case Planner] [Deferred from 7/19/06 & 7/26/06] (G-11) DEFERRED AT THE AGENT'S REQUEST TO 8/2/06.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

- 11. Project # 1003112**  
06DRB-01012 Minor-Prelim&Final Plat Approval

ROSS HOWARD CO agent(s) for ARLAN COLLATZ INC request(s) the above action(s) for all or a portion of Lot(s) 20, 25 & 26, **RINCONADA TRAILS**, zoned RD, located on HUYANA DR NW, between UNSER BLVD NW and WESTERN TRAIL NW. (F-11) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**
  
- 12. Project # 1004858**  
06DRB-01037 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for JEFF & EVANGELINE ROMERO request(s) the above action(s) for all or a portion of Lot(s) 7-9 & PORTION OF Lot(s) 10, Block(s) N, **MANDELL BUSINESS & RESIDENCE ADDITION**, zoned SU-3 special center zone, located on SLATE AVE NW, between 5<sup>th</sup> ST NW and LOMAS BLVD NW containing approximately 1 acre(s). [REF: 06DRB-00573] (J-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR 10-FOOT RADIUS AT ALLEY.**

13. **Project # 1004774**  
06DRB-01036 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for JESUS SANCHEZ request(s) the above action(s) for all or a portion of Lot(s) H-1-A, Block(s) 2, **MONTOYA'S SECOND REPLAT**, zoned SU-2 MR special neighborhood zone, located on ABAJO RD SE, between TOPEKA ST SE and JOHN ST SE containing approximately 1 acre(s). [REF: 06DRB-01036] (M-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

14. **Project # 1003057**  
06DRB-00877 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST agent(s) for ROBERT RUSSELL request(s) the above action(s) for all or a portion of Tract(s) A-2-C-1, Block(s) 1, **CLIFFORD WEST BUSINESS PARK, UNIT 3**, zoned IP, located on LOS VOLCANES RD NW, between SAUL BELL RD NW and UNSER BLVD NW containing approximately 6 acre(s). [REF: 05DRB-00893] [*Indef Deferred from 6/28/06*] (K-9/K-10) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

15. **Project # 1004782**  
06DRB-00928 Minor-Prelim&Final Plat  
Approval

CARTESIAN SURVEYS INC agent(s) for THOMAS P GUTIERREZ request(s) the above action(s) for all or a portion of Lot(s) 18, Block(s) 1, **SLOAN'S ACRES**, zoned R-1, located on ESTANCIA NW, between LADERA DR NW and WESTERN TRAILS NW containing approximately 1 acre(s). [*Deferred from 7/12/06*] (G-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/26/06 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**



16. **Project # 1004785**  
06DRB-00403 Minor- Final Plat Approval

TERRAMETRICS OF NEW MEXICO agent(s) for LLAVE DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 18, Block(s) 1, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D 3DU/A, located on EAGLE ROCK AVE NE, between VENTURA ST NE and BARSTOW ST NE containing approximately 1 acre(s). *(Indef Deferred from 4/5/06 for SIA)* (C-20) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

17. **Project # 1005021**  
06DRB-01000 Minor-Prelim&Final Plat Approval

WAYJOHN SURVEYING INC agent(s) for JC PETERSON LLC request(s) the above action(s) for all or a portion of Lot(s) 3, 4, 5, 15, 16 and 17, Block(s) 5, **ESPERANZA ADDITION**, zoned C-1 & P, located on SAN MATEO BLVD SE, between TRUMBULL AVE SE and SOUTHERN AVE SE containing approximately 1 acre(s). *[Deferred from 7/19/06]* (L-18) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PLACEMENT OF SIDEWALK AND PLANNING TO RECORD THE PLAT.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

18. **Project # 1005029**  
06DRB-01045 Minor-Sketch Plat or Plan

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for WESTLAND DEVELOPMENT COMPANY INC request(s) the above action(s) for all or a portion of Tract(s) B & J, **THE CROSSING**, zoned R-D & SU-2 FOR R-LT, located on TIERRA PINTADA BLVD NW, between CALLE AZULEJO NW and CLARKS FORK NW containing approximately 55 acre(s). (H-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**



19. **Project # 1003467**  
06DRB-01022 Minor-Sketch Plat or Plan

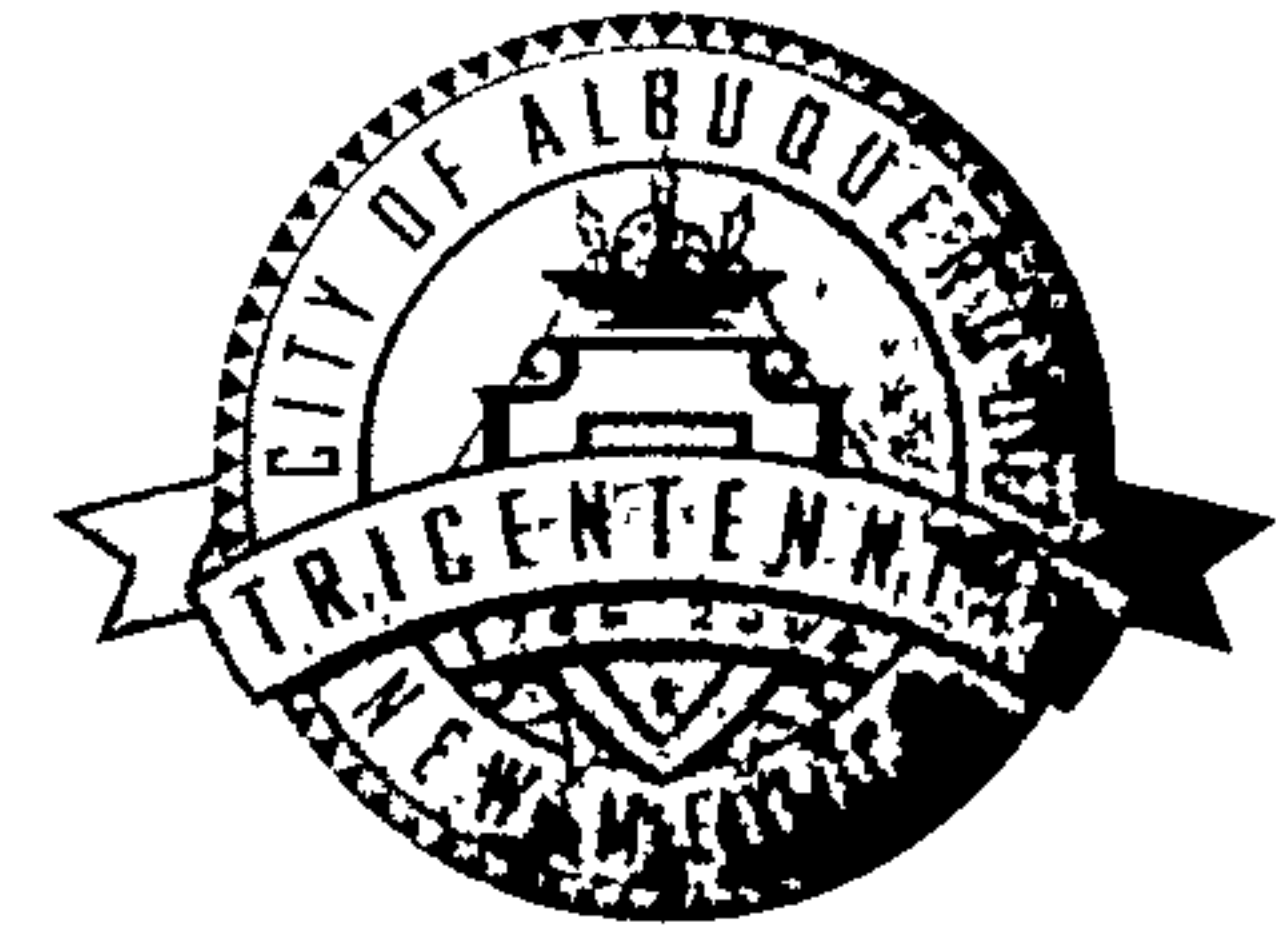
ALPHA PROFESSIONAL SURVEYING INC agent(s) for CHARLES MOSS, ASPEN HOMES NM request(s) the above action(s) for all or a portion of Tract(s) 11-A, 11-B & 11-C, **RICE DURANES ADDITION**, zoned R-2, located on RICE AVE NW, between RIO GRANDE NW and INDIAN SCHOOL NW containing approximately 1 acre(s). (H-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. Approval of the Development Review Board Minutes for July 12 & July 19, 2006. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR JULY 12 AND JULY 19, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:50 A.M.



# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

**DRB CASE NO/PROJECT NO: 1005025**

**AGENDA ITEM NO: 8**

**SUBJECT:**

Site Plan for BP

**ACTION REQUESTED:**

REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )

**ENGINEERING COMMENTS:**

This project will need an infrastructure list.  
An executed SIA with Financial Guarantee(s) is required for signoff by City Engineer.

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**RESOLUTION:**

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED \_\_\_; COMMENTS PROVIDED \_\_\_; WITHDRAWN

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** JULY 26, 2006

When this case comes back  
~~from Steve Chasen~~

Need to make a yellow sheet  
and a white card —

Route to TD, CE & UD. & Ring

WILL, BRAD & ROGER

Once their comments are in  
take it to Steve Chasen  
on 5th floor

Need new appl#?

Case for 523

Tom's Office  
Bea J



APPLICATION NO.	PROJECT NO.
PROJECT NAME	
EPC APPLICATION NO.	
APPLICANT / AGENT	PHONE NO.
ZONE ATLAS PAGE	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), (AA)	
<b>ONE STOP COMMENT FORM LOG</b>	

<b>HYDROLOGY DEV (505) 924-3986</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

<b>UTILITY DEV (505) 924-3989</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

<b>TRANSPORTATION DEV (505) 924-3990</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

<b>PARKS AND REC (505) 768-5328</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

<b>PLANNING (505) 924-3858</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

Revised 3/3/04

(Return form with plat / site plan)

APPLICATION NO.	PROJECT NO.
PROJECT NAME	
APPLICANT / AGENT	PHONE NO.
ZONE ATLAS PAGE	DATE SUBMITTED

# ONE STOP CASE TRACKING LOG

(This tracking log is for DRB Delegation Actions / Over the Counter Routing)

(rev. 7/03)

TYPE OF APPROVAL	TRANSP DEV	UTILITY DEV	PARKS & REC	HYD DEV (City Engr)	PLANNING	
					CASE PLANNER	DRB CHAIR
SDP-Building Permit / SDP-Subdivision	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____
Administrative Amendments (AA's)	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____		F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	
Minor Plat / Major Final Plat	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____		F: _____ D: _____ F: _____ D: _____ A: _____
Vacation-Private Easement	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____		F: _____ D: _____ F: _____ D: _____ A: _____

Project Number \_\_\_\_\_

First Review- Total City Days	
Second Review- Total City Days	
Third Review- Total City Days	
Subtotal	
Total Number of Developer Days (from back of form)	
Total Days	

\*Business Days

\*\*Pulled by Agent (P)

F = forwarded

D = disapproved

A = approved

**PLANS RELEASED TO APPLICANT OR AGENT TO CORRECT REJECTS**

	<b>First Review</b>	
Called Applicant: _____	Date Returned: _____	Developer Days: _____
Date Released: _____		
Print Name: _____		
Signed: _____		

	<b>Second Review</b>	
Called Applicant: _____	Date Returned: _____	Developer Days: _____
Date Released: _____		
Print Name: _____		
Signed: _____		

	<b>Third Review</b>	
Called Applicant: _____	Date Returned: _____	Developer Days: _____
Date Released: _____		
Print Name: _____		
Signed: _____		

	<b>Fourth Review</b>	
Called Applicant: _____	Date Returned: _____	Developer Days: _____
Date Released: _____		
Print Name: _____		
Signed: _____		



# CITY OF ALBUQUERQUE

Albuquerque, New Mexico

## Planning Department

**INTER-OFFICE MEMORANDUM**

**July 24, 2006**

**TO:** Vicky Kennelly, Administration Division

**FROM:** Claire A. Senova, Land Development Coordination Division

**SUBJECT: REFUND**

Please refund \$ 405.00 to Norbert Melnikov, M & M Real Estate Investments LLC, 4809 Madison St NE, Albuquerque, NM 87110.

This amount is for a site plan for building permit Development Review Board application and conflict management fee. The property is in the Santa Barbara-Martineztown Neighborhood and should be heard by the Zoning Enforcement Manager, **not** the Development Review Board.

He was charged an Application Fee of \$385.00 and a Conflict Management Fee of \$20.00, totaling \$ 405.00 in error. Mr. Melnikov's ID # is EIN 20-3542917.

**I have attached a copy of the receipt showing the date of the transaction.**



ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME M/M REAL ESTATE INVESTORS  
AGENT \_\_\_\_\_  
ADDRESS 4809 MADISON Ct. NE  
PROJECT & APP # 1005025 / DG DRB - 01031  
PROJECT NAME 523 Lomas office Building

\$ ~~385.00~~ <sup>20.00</sup> 441032/3424000 Conflict Management Fee  
\$ 385.00 441006/4983000 DRB Actions  
\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
\$ \_\_\_\_\_ 441018/4971000 Public Notification  
\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study  
\$ 405.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

\*\*\*DUPLICATE\*\*\*  
City Of Albuquerque  
Treasury Division

City Of Albuquerque  
Treasury Division

7/14/2006 1:07PM LOC# ANNX  
RECEIPT# 00065857 WS# 007 TRANSH# 0005  
Account 441006 Fund 0110  
Activity 4983000 TRSKAL  
Trans Amt \$405.00  
J24 Misc

7/14/2006 1:07PM LOC# ANNX  
RECEIPT# 00065856 WS# 007 TRANSH# 0005  
Account 441032 Fund 0110  
Activity 3424000 TRSKAL  
Trans Amt \$405.00  
J24 Misc

MC  
CHANGE

\$405.00  
\$0.00

\$20.00  
Thank You

Form **W-9**  
(Rev. January 2003)  
Department of the Treasury  
Internal Revenue Service

### Request for Taxpayer Identification Number and Certification

Give form to the requester. Do not send to the IRS.

Print or type  
See Specific Instructions on page 2.

Name **M&M REAL ESTATE INVESTMENTS LLC**

Business name, if different from above

Check appropriate box:  Individual/Sole proprietor  Corporation  Partnership  Other  Exempt from backup withholding

Address (number, street, and apt. or suite no.) **4809 MADISON CT NE**

City, state, and ZIP code **ALBUQUERQUE, NM 87110**

List account number(s) here (optional)

Requester's name and address (optional)

#### Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. For individuals, this is your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the Part I Instructions on page 3. For other entities, it is your employer identification number (EIN). If you do not have a number, see How to get a TIN on page 3.

Social security number

--	--	--	--	--	--	--	--	--	--

or

Employer identification number

20	35	92	91	7
----	----	----	----	---

Note: If the account is in more than one name, see the chart on page 4 for guidelines on whose number to enter.

#### Part II Certification

Under penalties of perjury, I certify that:

- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me), and
- I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding, and
- I am a U.S. person (including a U.S. resident alien).

**Certification instructions.** You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the Certification, but you must provide your correct TIN. (See the instructions on page 4.)

Sign Here Signature of U.S. person **Norbert Melniker** Date **7/29/06**

#### Purpose of Form

A person who is required to file an information return with the IRS, must obtain your correct taxpayer identification number (TIN) to report, for example, income paid to you, real estate transactions, mortgage interest you paid, acquisition or abandonment of secured property, cancellation of debt, or contributions you made to an IRA.

**U.S. person.** Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN to the person requesting it (the requester) and, when applicable, to:

- Certify that the TIN you are giving is correct (or you are waiting for a number to be issued),
- Certify that you are not subject to backup withholding, or
- Claim exemption from backup withholding if you are a U.S. exempt payee.

**Note:** If a requester gives you a form other than Form W-9 to request your TIN, you must use the requester's form if it is substantially similar to this Form W-9.

**Foreign person.** If you are a foreign person, use the appropriate Form W-8 (see Pub. 515, Withholding of Tax on Nonresident Aliens and Foreign Entities).

**Nonresident alien who becomes a resident alien.** Generally, only a nonresident alien individual may use the terms of a tax treaty to reduce or eliminate U.S. tax on certain types of income. However, most tax treaties contain a provision known as a "saving clause." Exceptions specified in the saving clause may permit an exemption from tax to continue for certain types of income even after the recipient has otherwise become a U.S. resident alien for tax purposes.

If you are a U.S. resident alien who is relying on an exception contained in the saving clause of a tax treaty to claim an exemption from U.S. tax on certain types of income, you must attach a statement that specifies the following five items:

- The treaty country. Generally, this must be the same treaty under which you claimed exemption from tax as a nonresident alien.
- The treaty article addressing the income.
- The article number (or location) in the tax treaty that contains the saving clause and its exceptions.
- The type and amount of income that qualifies for the exemption from tax.
- Sufficient facts to justify the exemption from tax under the terms of the treaty article.



# FRONT COUNTER ROUTING FAX FORM

TO: Robert

FAX NUMBER: \_\_\_\_\_

SENT BY: Alaine  
Initial

DATE: 7/26/06

PROJECT NO: \_\_\_\_\_ APPLICATION NO: \_\_\_\_\_

\*\*\*\*\*

City of Albuquerque  
Planning Department  
Development Services Center  
600 Second Street, NW  
Albuquerque, New Mexico 87102

**RE: WITHDRAWAL OF SITE DEVELOPMENT PLAN FOR BUILDING  
PERMIT: PROPOSED OFFICE BUILDING AT LOMAS BLVD NE AND HIGH  
STREET NE (PROPOSED)**

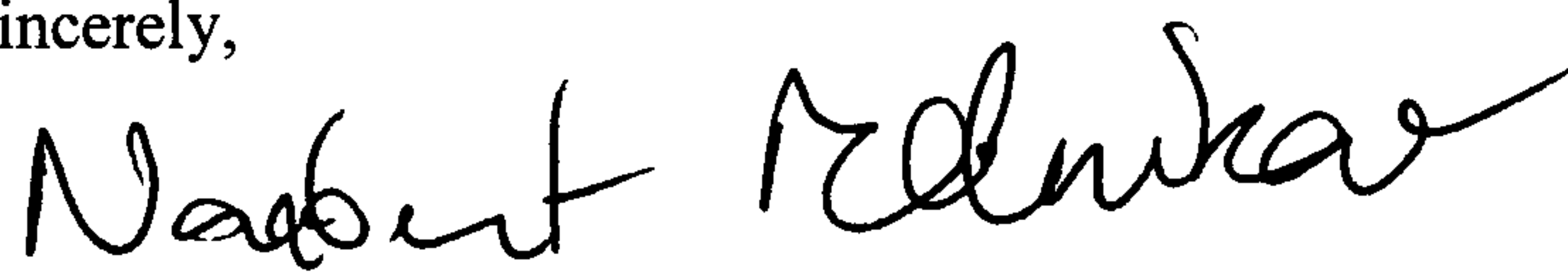
Dear Sir or Ma'am:

M&M Real Estate Investments, LLC requests the withdrawal of the site plan application (App # 06 DRB-01031) that was submitted on July 11, 2006 by Norbert Melnikov to the Development Review Board (DRB) for approval. This proposed development is for an office building (Project # 1005025) on lot 217 Block 0000 of the Santa Barbara-Martineztown Neighborhood, Albuquerque, New Mexico (Zone Map J15; UPC Code 101505802009631004). All site plan approvals for the afore-mentioned neighborhood need to be obtained from the Zoning Enforcement Manager rather than from the DRB.

M&M Real Estate Investments, LLC also requests a refund of the \$405.00 (four hundred and five dollars) fee that was charged to submit the application for site plan approval. M&M Real Estate Investments (EIN 20-3542917) mailing address is following:  
4809 Madison Ct. NE  
Albuquerque, NM 87110

Should you have any questions please do not hesitate to contact me at 505-453-7259 or via email at [norbert.melnikov@xilinx.com](mailto:norbert.melnikov@xilinx.com).

Sincerely,

 7/24/06

Norbert Melnikov  
Property Owner  
M&M Real Estate Investment, LLC.



# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

<b>SUBDIVISION</b>	<b>S</b>	<b>Z</b>	<b>ZONING &amp; PLANNING</b>
___ Major Subdivision action	___	___	___ Annexation
___ Minor Subdivision action	___	___	___ County Submittal
___ Vacation	<b>V</b>	___	___ EPC Submittal
___ Variance (Non-Zoning)	___	___	___ Zone Map Amendment (Establish or Change Zoning)
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>	___	___ Sector Plan (Phase I, II, III)
___ for Subdivision Purposes	___	___	___ Amendment to Sector, Area, Facility or Comprehensive Plan
<b>X</b> for Building Permit	___	___	___ Text Amendment (Zoning Code/Sub Regs)
___ IP Master Development Plan	___	___	___ Street Name Change (Local & Collector)
___ Cert of Appropriateness (LUCC)	<b>L</b>	<b>A</b>	<b>APPEAL / PROTEST of...</b>
<b>STORM DRAINAGE</b>	<b>D</b>	___	___ Decision by DRB, EPC, LUCC Planning Director or Staff, ZHE, Zoning Board of Appeals
___ Storm Drainage Cost Allocation Plan	___	___	___

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION.**

NAME: M&M Real Estate Investments PHONE 505-453-7259  
 ADDRESS 4809 Madison Court NE FAX ---  
 CITY Albuquerque STATE NM ZIP 87110 E-MAIL norbert@xilinx.com  
 Proprietary interest in site: Owner List all owners: M&M Real Estate Investments LLC  
 AGENT (if any) --- PHONE ---  
 ADDRESS --- FAX ---  
 CITY --- STATE --- ZIP --- E-MAIL ---

858-3106

DESCRIPTION OF REQUEST: Site Plan approval for an office building (approx. 1300 square feet) on Lomas Blvd.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes  No

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No 217 Block 0000 Unit ---  
 Subdiv / Addn. Santa Barbara- Martineztown TBLK: 523 LOMAS  
 Current Zoning C3 Proposed zoning: C3  
 Zone Atlas page(s) J15 No of existing lots 2 No of proposed lots 2  
 Total area of site (acres) .1464 Density if applicable: dwellings per gross acre --- dwellings per net acre ---  
 Within city limits?  Yes No , but site is within 5 miles of the city limits ) Within 1000FT of a landfill?  No  
 UPC No 101505802009631004 MRGCD Map No ---  
 LOCATION OF PROPERTY BY STREETS. On or Near One lot east of 523 Lomas Blvd. NE  
 Between High Street NE and Edith Blvd NE

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj App DRB- AX\_Z\_V\_S\_ etc) N/A

Check-off if project was previously reviewed by Sketch Plan/Plan ? or Pre-application Review Team ? Date of review  
 SIGNATURE Norbert Melnikov DATE 07/11/06  
 (Print) Norbert Melnikov  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	SF	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>DRB</u> <u>0031</u>	<u>SBP</u>	<u>7(3)</u>	\$ <u>385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F H D P density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F H D P fee rebate	_____	_____	_____	\$ _____
Hearing date <u>7-26-06</u>	Total	\$ <u>405.00</u>		
<u>Ki Sis 7/14/06</u>	Project #	<u>1005025</u>		

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg setbacks, adjacent rights-of-way and street improvements, etc (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining and justifying the request
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline Your attendance is required.

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Completed Site Plan for Subdivision Checklist
  - Infrastructure List, if relevant to the site plan
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline Bring the original Mylar to the meeting for sign-off Your attendance is required.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted 6 copies
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline Bring the original Mylar to the meeting for sign-off Your attendance is required.

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline Bring the original Mylar to the meeting for sign-off Your attendance is required.

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List if relevant to the site plan
  - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline Bring the original Mylar to the meeting for sign-off Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Norbert Melnikov

Norbert Melnikov Applicant name (print)  
7/14/06 Applicant signature / date



Form revised JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
06DRB-01031

K. S. 7/14/06 Planner signature / date  
 Project # 1005025

~~STEWART TITLE~~

JF #

5080524 JB

**REAL ESTATE CONTRACT**

THIS CONTRACT IS MADE this 3rd day of October, 2005, by and between FREDERICK FIBER and ELAINE M. FIBER, Trustees of the FREDERICK FIBER AND ELAINE M. FIBER REVOCABLE TRUST dated December 13, 1991, whose address is \_\_\_\_\_

\_\_\_\_\_, hereinafter called the Seller, and M & M REAL ESTATE INVESTMENTS, LLC, a New Mexico limited liability company, whose address is 523 Lomas NE, Albuquerque, NM 87102, hereinafter called the Purchaser. Whenever the pronoun he is used herein, that shall also be considered as meaning she, they or it, which ever is proper.

1. **SALE:** The Seller, in consideration of the promises and agreements herein made by the Purchaser, agrees to sell and convey to the Purchaser the following described real estate, hereinafter called the Property, in the County of Bernalillo and State of New Mexico:

**PARCEL 1:**

A certain Parcel of Land situate in Section 16, Township 10 North, Range 3 East of the N.M.P.M., within the Town of Albuquerque Grant, Bernalillo County, New Mexico, and being more particularly described as follows:

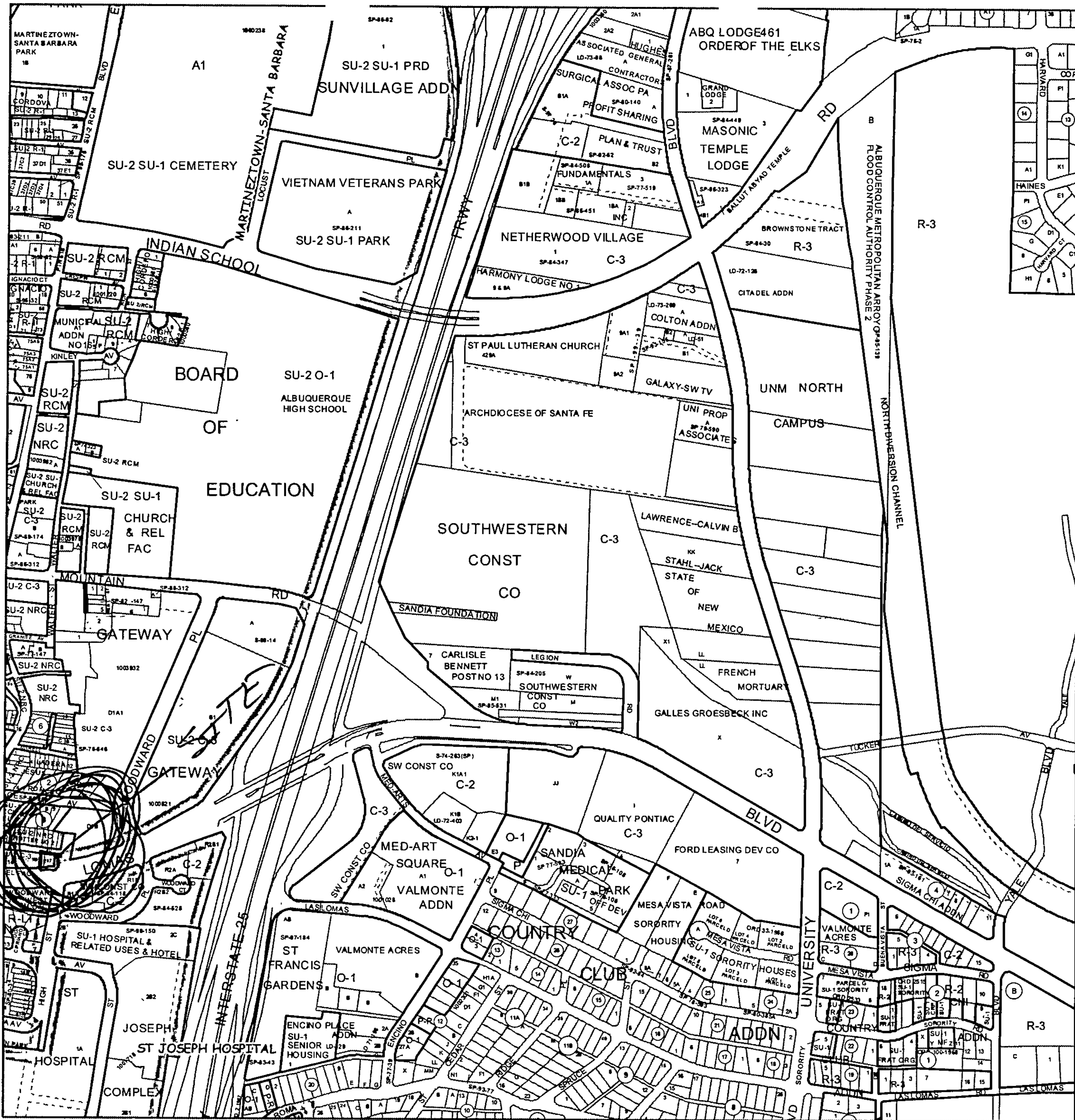
BEGINNING at the Northeast corner of said Parcel whence the Southeast corner of Lot numbered 17, Trotter Addition, Number 2, bears N. 81°22'00" E., 110.80 feet distant;  
Thence along the following bearings and distances: N. 83°53'00" W., 50.00 feet; S. 08°27'00" W., 77.60 feet;  
Thence Easterly along the Northerly right-of-way line of Lomas Boulevard, N.E., on a 4.84° curve (radius = 1174.1 feet) through an arc of 2.90° left, 51.23 feet distant to the Southeast corner of said Parcel;  
Thence N. 03°47'00" E., 69.00 feet to the point and place of beginning.

**PARCEL 2:**

Lot lettered "T" of Lands of Southwestern Construction Company, in the City of Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on January 10, 1967.

**SUBJECT TO** reservations, restrictions and easements of record and to taxes for the year 2005 and subsequent years.





For more current information and more details visit: <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Map amended through: 5/1/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**J-15-Z**

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet



City of Albuquerque  
Planning Department  
Development Services Center  
600 Second Street, NW  
Albuquerque, New Mexico 87102

**RE: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT: PROPOSED  
OFFICE BUILDING AT LOMAS BLVD NE AND HIGH STREET NE**

Dear Sir or Ma'am:

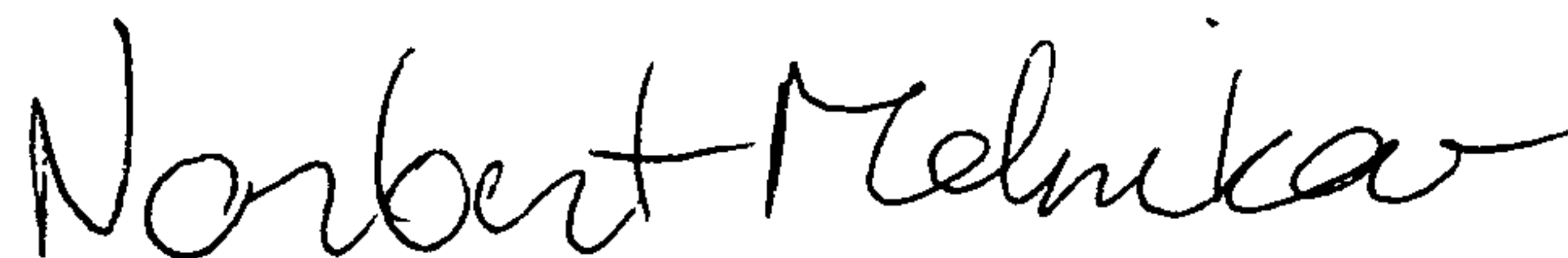
Transmitted herewith is a completed Development Review Application for a proposed 1300 (approximate) square foot office building to be located on lot 217 Block 0000 of the Santa Barbara-Martineztown Neighborhood, Albuquerque, New Mexico (Zone Map J15; UPC Code 101505802009631004). As the property owner, I respectfully request the Development Review Board's (DRB) approval of the accompanying Site Development Plan for Building Permit.

The zoning classification for this parcel is S-U C3 (Heavy Commercial Zone). The future land use is Commercial. The proposed use is for a one story approximately 1300 square foot office building. This is a conforming use for this zoning district. The neighboring use to the south, east, and west are all office buildings. A residential neighborhood is located to the north, this neighborhood is also zoned C3.

The attached site plan conforms to all city regulations and will not require any variances, special or conditional use approvals.

Should you have any questions please do not hesitate to contact me at 505-453-7259 or via email at [norbert.melnikov@xilinx.com](mailto:norbert.melnikov@xilinx.com).

Sincerely,



Norbert Melnikov  
Property Owner  
M&M Real Estate Investment, LLC.

07/11/06

City of Albuquerque  
Planning Department  
Development Services Center  
600 Second Street, NW  
Albuquerque, New Mexico 87102

**RE: LANDSCAPE PLAN FOR BUILDING PERMIT**

Dear Sir or Ma'am:

The landscape plan consists primarily of new xeric landscaping materials and vegetation. This type of landscaping requires little to no additional irrigation, other than what precipitation is provided naturally. The owner's intent is to provide an attractively landscaped area that is consistent with the natural environment of the area. The site plan accurately depicts and describes the location and materials/plants to be used in the accomplishment of this objective.

Maintenance will remain the responsibility of the property owner.

Should you have any questions please do not hesitate to contact me at 505-453-7259 or via email at [norbert.melnikov@xilinx.com](mailto:norbert.melnikov@xilinx.com).

Sincerely,

*Norbert Melnikov*

*07/14/06*

Norbert Melnikov  
Property Owner  
M&M Real Estate Investment, LLC.

*4. Uses permissive in the R-2 Zone.*

**B. Conditional Use:**

- 1. Uses permissive or conditional in the C-2 or C-3 Zones and not permissive in this C-3 category.*
- 2. All existing C-3 uses which become non-conforming as of adoption of this Sector Development Plan are approved as conditional uses.*
- 3. Existing legal conforming uses which become non-conforming upon adoption of this plan are approved conditional uses.*

**C. Signage.** Sign as provided and as regulated by the C-1 Zone, except property located along arterials and collectors where C-2 regulations apply.

**D. Buffering.** All new commercial development must buffer according to requirements listed in the City Zoning Code.

**E. Height.** Structures shall not exceed 26 feet in height; except sites of five acres or more, and except as provided in Section 40.C. of the City Zoning Code. For sites of five acres or more height shall be as provided and as regulated in the O-1 Zone in the City Zoning Code.

**F. Site Plan Approval:**

*Site development plan approval is required by the Zoning Enforcement Manager for all new residential and commercial developments under two acres prior to approval of a building permit. Any developments over two acres will require review and approval by the Environmental Planning Commission.*

**The M1/Light Manufacturing zone corresponds to the M-1 zone in the Comprehensive City Zoning Code.**

**The HM/Heavy Manufacturing zone corresponds to the M-1 Light Manufacturing Zone in the Comprehensive City Zoning code with the following exceptions:**

**A. Conditional Uses:**

- 1. Uses conditional in the M-1 Zone and not permissive in this HM category.*
- 2. Uses permissive in the M-2 Zone and not permissive in this HM category.*
- 3. Existing residential uses which are non-conforming upon adoption of this plan are approved conditional uses.*

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST Revised 1/10/2005

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.**

*Narbert Melnikar* 7/14/06  
Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

**Accompanying Material**

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

**SHEET #1 - SITE PLAN**

**A. General Information**

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less      1" = 10'  
    1.0 - 5.0 acres            1" = 20'  
    Over 5 acres                    1" = 50'  
    Over 20 acres                 1" = 100'                    *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping



# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures
- B. Square footage of each structure and building footprint (if different from total square footage)
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, including location.

### 2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. **Location and typical dimensions**, including handicapped spaces
  - 2. **Calculations:** spaces required: 6 provided: 6  
Handicapped spaces required: 1 provided: 1
- B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required: 4  
provided: 4
  - N/A 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths
  - 2. Location and dimension of drive aisle crossings, including paving treatment
  - 3. Location and description of amenities, including patios, benches, tables, etc.

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities
  - N/A 2. Pedestrian trails and linkages
  - 3. Bus facilities, including routes, bays and shelters existing or required

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised. 1/10/2005

## 4. Utilities

- 1. Property lines
- 2. Building Footprint
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Fire hydrant locations, existing and proposed.
- 5. Distribution lines
- 6. Existing and proposed water, sewer, storm drainage facilities (public and/or private).

## SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Method for meeting Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

## SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location and detail of Retaining walls

## B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations and/or contour lines (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

## SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and "common name" colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

### B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

*Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.*

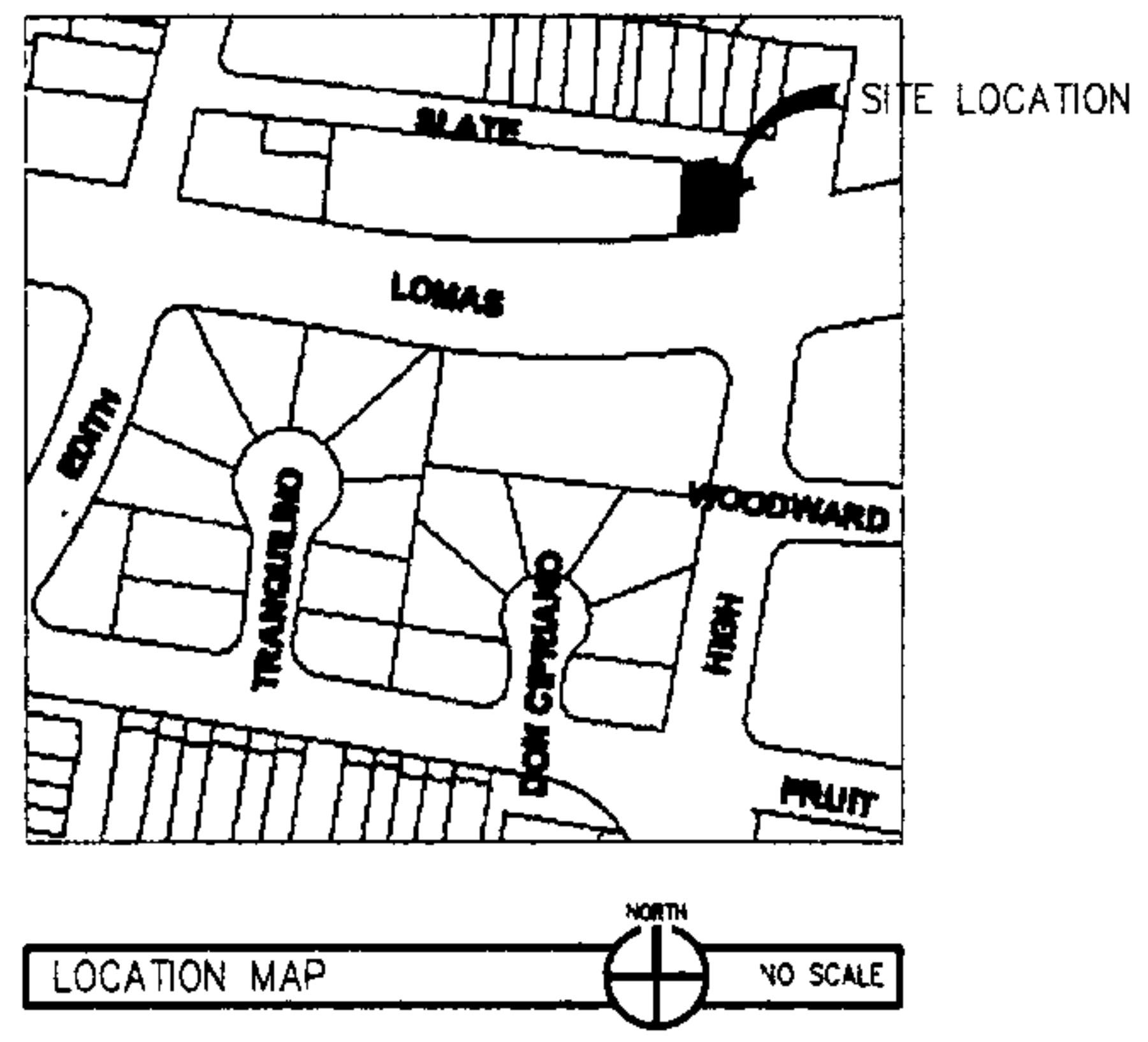


# 523 Lomas Office Building

PROJECT NO. 0601

Albuquerque, New Mexico

Index to Drawings	
CVR	Cover, Project Name, Index to drawings, site location map, contact information (architect, consultant, user/owner agencies)
C-10	Site Survey
C-20	Existing Conditions / Demolition / Architectural / Landscaping Site Plan
A-10	Floor Plan (not included as part of DBS site plan submittal)
A-20	Exterior Elevations
Code Data	
Project Description	Rebuilds Exist. Curb to Enlarge Site, Construct Office Building on Site.
Land Description	Tract T Lands of Southeastern Construction Company Together With Tract of Land Adjacent Along The West Portion of Tract T Cont 1484 AC.
Address	523 Lomas NE Albuquerque, NM 87102
Zoning	City of Albuquerque Zoning Code: SU-2 / O-3
International Building Code Edition	2003 EDITION
International Building Code Edition	2003 EDITION
Construction Type	V-B
Occupancy Type	B, OFFICE
Allowable Floor Area	Per IRC, 8,000 s.f. + 78% Frontage Increase = 15,750.
Overall Floor Area	1,225 s.f.
Manager's Office	178 s.f. 100 s.f./sec. 2 sec.
Office	135 s.f. 100 s.f./sec. 2 sec.
Reception	88 s.f. 50 s.f./sec. 1 sec.
Waiting	88 s.f. 50 s.f./sec. 1 sec.
Storage	22 s.f. 300 s.f./sec. 1 sec.
Restroom	58 s.f. 75 s.f./sec. 1 sec.
Open Office Area	131 s.f. 100 s.f./sec. 1 sec.
Kitchen	47 s.f. 100 s.f./sec. 1 sec.
Conference	201 s.f. 80 s.f./sec. 8 sec.
ACCURACY	179 s.f. 80 s.f./sec. 4 sec.
Total Leasable Area	1,108 s.f. 19 sec.
Finishing Features	(1) interior finish series



Abbreviations Key			
ACOUNT	ACOUSTICAL	INSUL	INSULATION
ALT	ALTERNATE	KIT	KITCHEN
ARCH	ARCHITECTURAL	LAM	LAMINATE
ADD	ADDITIVE	L.C.C.	LIMITS OF CONSTRUCTION
APPROX	APPROXIMATELY	LTD	LIMITING
BD	BOARD	MECH	MECHANICAL
B.M.	BENCH MARK	MFR	MANUFACTURER
BUILD	BUILDING	MNS	MANSION
B.O.W.	BOTTOM OF WALL	MTD	MOUNTED
CONT	CONTINUOUS	N.T.S.	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	NEC	NATIONAL ELECTRIC CODE
CTR	COUNTER	N.L.C.	NOT IN CONTRACT
CONC	CONCRETE	NO.	NUMBER
CUR	CLEAR	OC	ON CENTER
C.L.	CENTER LINE	P. LAM	PLASTIC LAMINATE
C.J.	CONTROL JOINT	P.E.W.T	PRE-ENGINEERED WOOD TRUSS
DEM.	DEMOLITION	P.E.R.T	PRE-ENGINEERED ROOF TRUSS
DWG	DRAWING	P.L.	PROPERTY LINE
DET	DETAIL	REC	RECOMMENDATIONS
DIV	DIVISION	REF	REFERENCE
DSP	DISPENSER	REFL	REFLECTED
DIM	DIMENSION	REFR	REFLECTED (REFLECTED)
E.J.	EXPANSION JOINT	REFR(D)	REFLECTED (DIRECTION)
ELEC	ELECTRICAL	RELOC	RELOCATED, RELOCATED
ENCL	ENCLOSURE	REQD	REQUIRED
EQ	EQUAL	RESIST	RESISTANT
EQUIP	EQUIPMENT	REV	REVISION
EXIST	EXISTING	RM	ROOM
EXP	EXPANDED	SPEC(S)	SPECIFICATION(S)
EXT	EXTERIOR	SUSP	SUSPENDED
F.E.	FIRE EXTINGUISHER	STRUCT	STRUCTURAL
F.F.	FRESH FLOOR	STOR	STORAGE
FIN	FINISH	STD	STANDARD
FIX	FIXTURE	T.C.	TOP OF CONCRETE
F.L.	FLOORLINE	T.O.B.	TOP OF BEAM
FLG	FLASHING	T.O.C.	TOP OF CURB
FLR	FLOOR	T.O.P.	TOP OF PARAPET
FT	FOOT	T.O.S.	TOP OF SIDEWALK
GA.	GAGE, GAUGE	T.O.W.	TOP OF WALL
G.C.	GENERAL CONTRACTOR	TOI	TOILET
GYP	GYPSON BOARD	TYP	TYPICAL
HM	HOLLOW METAL	UNO	UNLESS NOTED OTHERWISE
HTR	HEATER	V.I.F.	VERIFY IN FIELD
HVAC	HEATING VENTILATION AIR CONDITIONING	WIN	WINDOW
		WSCT	WASCOT

Symbols Key	
	WALL SECTION DETAIL OR ELEVATION SHEET ON WHICH DRAWING IS LOCATED
	DOOR # - SEE SHEET
	WINDOW OR FRAME - SEE SHEET
	KEYED NOTE ON RIGHT HAND SIDE OF SHEET
	DETAIL # SHEET ON WHICH DETAIL IS LOCATED
	INTERNAL ELEVATION -
	FINISHES - SEE FINISH SCHEDULE
	EQUIPMENT - SEE SCHEDULE ON FLOOR PLAN SHEETS
	NEW SPOT ELEVATION
	EXISTING SPOT ELEVATION
	CENTERLINE
	PROPERTY LINE

NOTE: ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CMU, OR FACE OF CONCRETE UNLESS OTHERWISE NOTED. EXTERIOR FRAME WALL DIMENSIONS ARE TO FACE OF SHEATHING.

**OWNER**  
 W&M Real Estate Investments, LLC  
 Norbert Melnikov & Bryce McMurray  
 Albuquerque, NM  
 tel: (505) 453-7259  
 e. norbert.melnikov@mlinx.com

**ARCHITECT**  
 del sol Design  
 1407 Roma Avenue NW  
 Albuquerque, NM 87104  
 tel: (505) 242-1481  
 e. keleherdavid@yahoo.com

**CIVIL ENGINEER**  
 James Hewitt Eng & Environmental Consulting  
 5615 Cregga St NW  
 Albuquerque, NM 87120  
 tel: (505) 899-3195  
 e. heec@urbeat.net

SITE DEVELOPMENT PLAN SUBMITTAL TO DRB

del sol Design

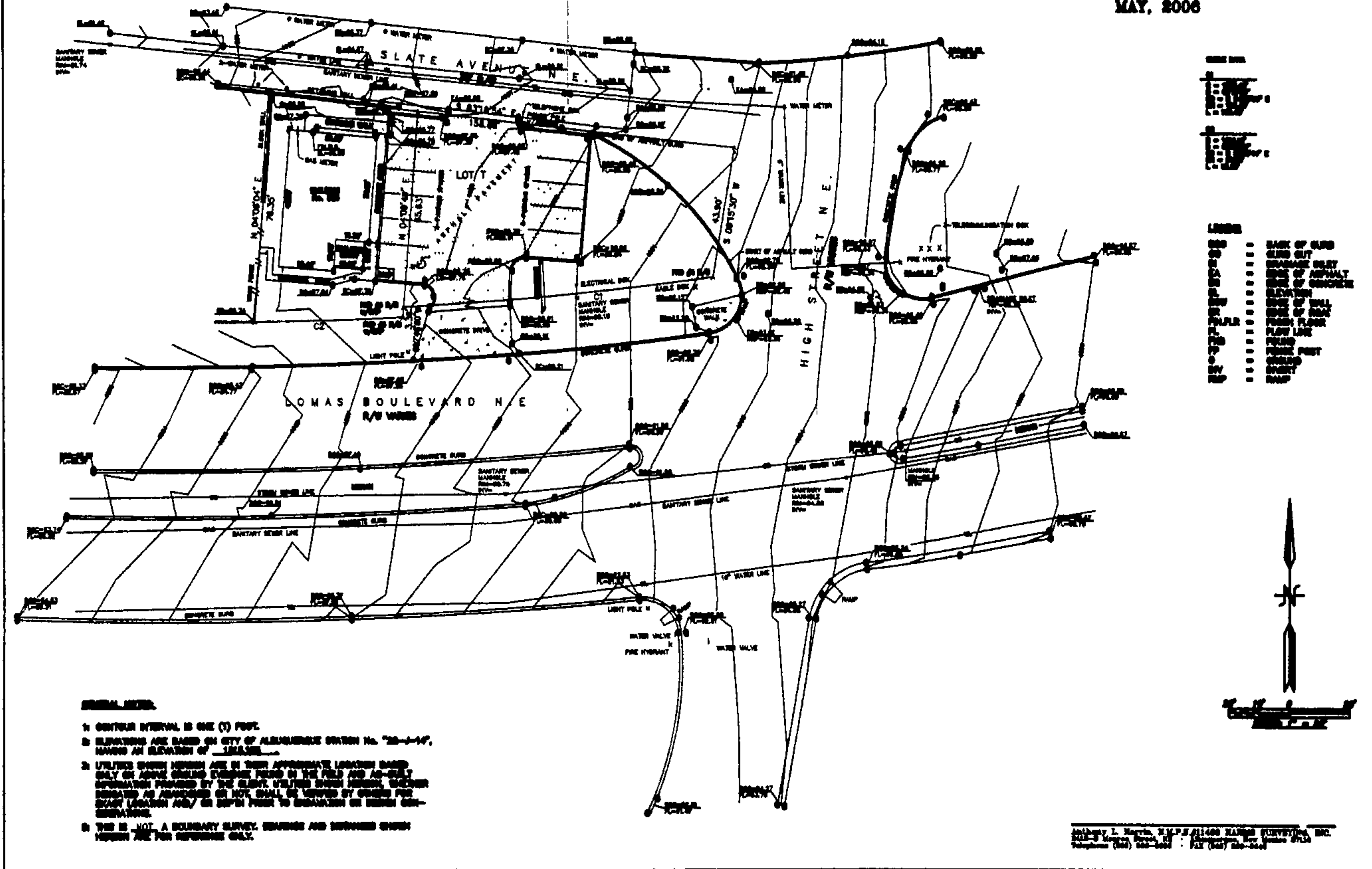
523 Lomas Office Building  
Albuquerque, New Mexico

Project # 0601  
 Date: July 11, 2006  
 File Name: CVR.dwg

Sheet 1 of 1  
COVER




PLAT OF TOPOGRAPHY  
 OF  
 LOT T  
 LANDS OF SOUTHWESTERN  
 CONSTRUCTION Co.  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 MAY, 2008



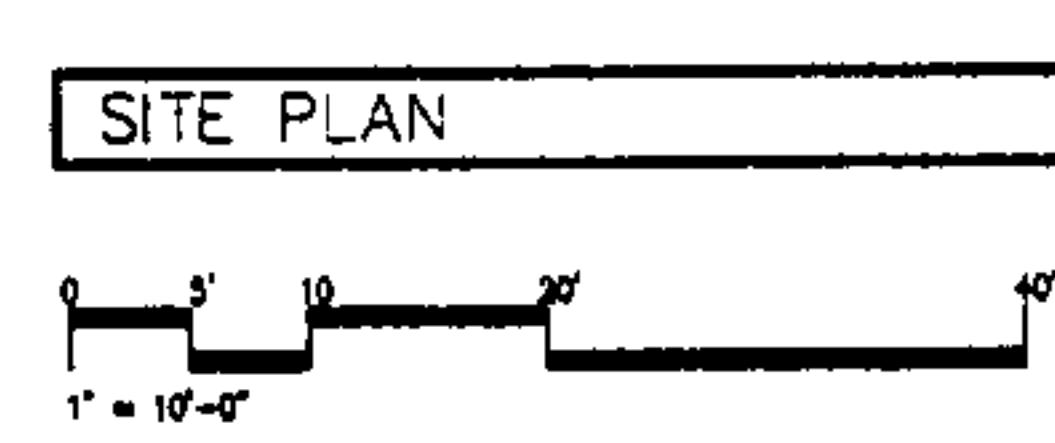
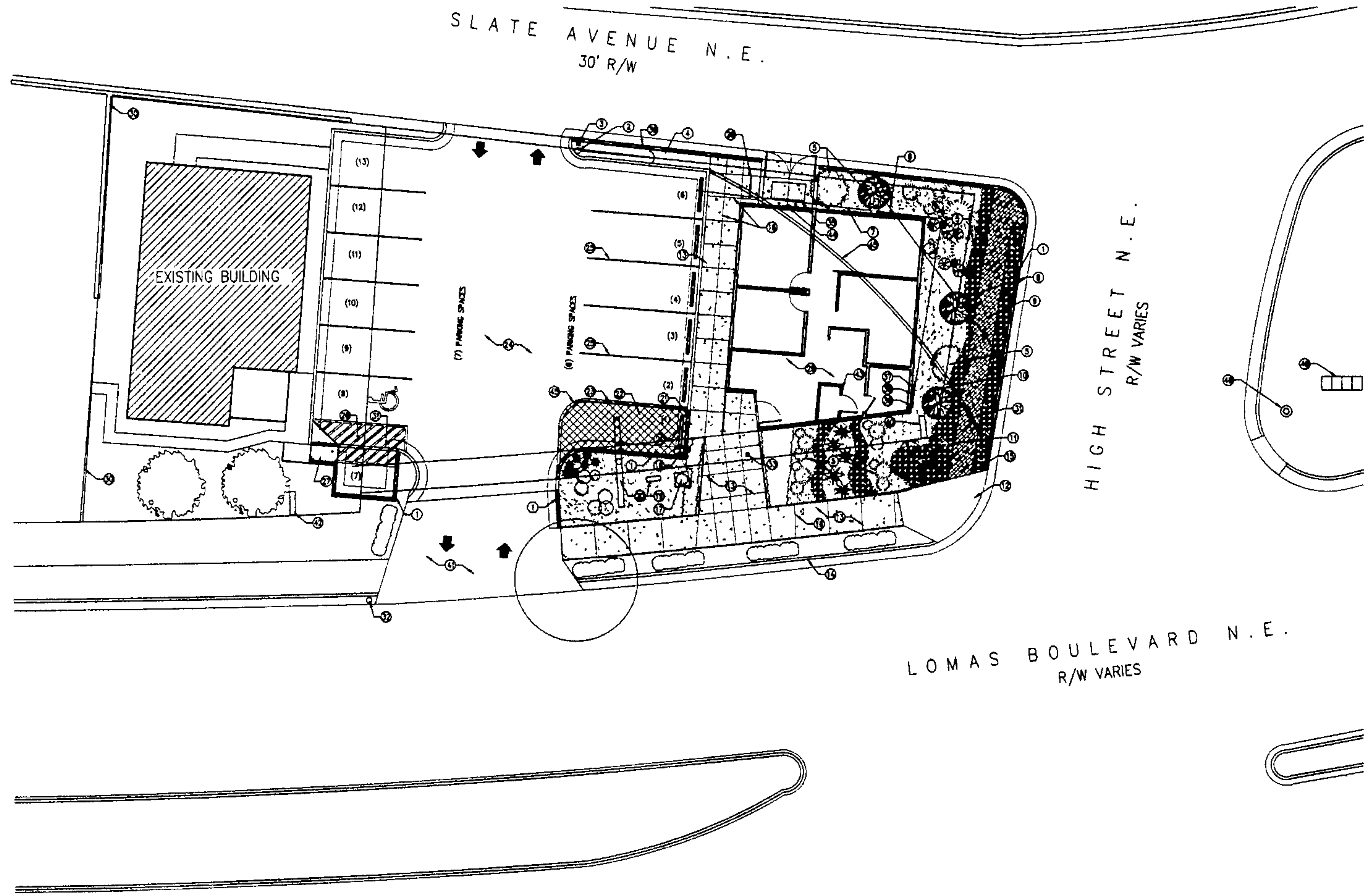
**GENERAL NOTES:**

1. CONTOUR INTERVAL IS ONE (1) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE DATUM No. "20-4-14", HAVING AN ELEVATION OF 5168.00.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATIONS BASED ONLY ON ABOVE CITED EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER SHOWN AS APPROVED OR NOT, SHALL BE LOCATED BY OWNER FOR EXACT LOCATION AND/OR DEPTH PRIOR TO CONSTRUCTION OR OTHER CONSTRUCTION.
4. THIS IS NOT A BOUNDARY SURVEY. BOUNDARIES AND DISTANCES GIVEN HEREON ARE FOR REFERENCE ONLY.

WILLIAM L. SMITH, S.P.E. (L.S.) LICENSE NO. 10001, SURVEYOR, INC.  
 1212-12 Grand Avenue, N.E. Albuquerque, New Mexico 87105  
 Telephone: (505) 842-2447 FAX: (505) 842-2444

SITE SURVEY  1"=20'

PROJECT ARCHITECT DAVID KELEHER	Project # 0801
	Date July 11, 2008
del soi Design	
523 LOMAS OFFICE BUILDING SITE IMPROVEMENTS	
Albuquerque, New Mexico	
SITE SURVEY	
By File	Sheet of C-1.0



SITE PLAN

**PROJECT NUMBER:**  
 Application Number:  
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.  
 Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.  
**ONE SITE DEVELOPMENT PLAN SIGNOFF APPROVAL.**

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRG Checkperson, Planning Department	Date

Code Data: \_\_\_\_\_

**Planning Division Required:**  
 (1) water street utility

**Parking Calculation:**  
 Total Proposed Floor Area: 1,225  
 Total Accessible Area: 1,108  
 Parking Spaces Required: 100 / 200 s.f.  
 Parking Credit: 10' Proximity to Bus Line  
 (1,108 s.f. / 200 s.f.) x (5) = 5 Parking Spaces Required.

**Parking Required:**  
 (5) Parking Spaces  
 (1) Accessible Parking Space  
 (1) Motorcycle Parking Space  
 (1) Bicycle Parking Area

**Parking Provided:**  
 (8) Parking Spaces  
 (1) Accessible Parking Space\*  
 (1) Motorcycle Parking Space  
 (1) Bicycle Parking Area

\* Cross Parking Agreement Will Be Recorded As Part of The Property Deed.

**Landscaping Requirement:**  
 Area Required: 15% of Total Property Area (Bldg Area + ROW Landscaping) = 502 s.f.  
 Provided: 850 s.f. = 18.4%

**General Notes**

A. CONTRACTOR TO INSTALL NEW DRIP IRRIGATION SYSTEM.

**Keyed Notes**

1. NEW CURB & GUTTER (MEDIAN CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DRAWING NO. 2415A).
2. EXISTING UTILITY POLE.
3. EXISTING UTILITIES.
4. REUSE EXISTING GRAVEL IN LANDSCAPE AREA.
5. NEW XEROX LANDSCAPING; COORDINATE TYPE AND LOCATION WITH ARCHITECT.
6. LINE OF CLEAR SIGHT TRIANGLE.
7. LINE OF LANDSCAPE BUFFER.
8. REUSE EXISTING 4"-6" COBBLE STONES TO PROVIDE STABILIZATION FOR PEDESTRIAN PATH.
9. NEW 4" DEEP CRUSHER FINE PEDESTRIAN PATH.
10. PROPERTY LINE.
11. REUSE EXISTING 4"-6" COBBLE STONE WHERE INDICATED.
12. EXISTING ACCESSIBLE RAMP.
13. NEW 4" CONC. SIDE WALK.
14. EXISTING CURB & GUTTER TO REMAIN.
15. EXISTING STOP SIGN.
16. CONC. CONTROL JOINTS 8'-0" O.C. MAX.
17. EXISTING SEWER MANHOLE COVER.
18. EXISTING ELECTRICAL UTILITY BOX TO BE REMOVED AND RELOCATED.
19. NEW LOCATION OF ELECTRICAL UTILITY BOX.
20. EXISTING BILLBOARD, WITH LIGHTING.
21. NEW CONC. WHEEL STOP.
22. NEW ASPHALT PAVING TO MATCH EXISTING.
23. NEW 4" PARKING STRIPE.
24. EXISTING ASPHALT PAVING.
25. EXISTING PARKING STRIPE.
26. NEW AREA STRIPED FOR HO PARKING.
27. NEW ACCESSIBLE CONC. RAMP.
28. BICYCLE RACK.
29. PROPOSED BUILDING.
30. EXISTING WALL / FENCE.
31. EXISTING CURB TO BE REMOVED.
32. EXISTING LIGHT POLE.
33. WATERPROOF EXTERIOR LIGHT, MOUNT FLUSH TO WALKING SURFACE.
34. NOT USED.
35. NEW REUSE CONTAINER.
36. SLOPE NEW CURB AND GUTTER TO THE NORTH, PER CIVL.
37. NEW GAS METER.
38. NEW ELECTRICAL METER.
39. NEW PROGRAMMABLE DRIP SYSTEM CONTROL BOX.
40. NEW SIGN, SEE ELEVATIONS.
41. EXISTING CONCRETE PAVING TO REMAIN.
42. EXISTING SIGN TO BE REPLACED W/ NEW SIGN, SAME DIMENSIONS & MATERIALS.
43. NEW ELECTRICAL PANEL.
44. DOWNSPOUT.
45. REMOVE CURB IN ITS ENTIRETY.
46. TELECOMMUNICATION BOX.
47. EXIST FIRE HYDRANT.

**Legend**

- PROPERTY LINE
- SETBACK / LANDSCAPE BUFFER LINE
- TO BE REMOVED / TO BE RELOCATED LINE
- CHLOPSIS LINEARIS (DESERT WILLOW)
- HANONIA DOMESTICA
- ⊗ PLUMBAGO
- ⊗ PONS CASTLE
- ⊗ AGAVE PERRY (CENTURY PLANT)
- ⊗ CREEPING ROSEMARY
- ⊗ LAVANDULA ANOSTIFOLIA (ENGLISH LAVENDER)
- ⊗ ARTEMISA FRONDA (FRINGED SAGE)
- APACHE PLUME
- ⊗ ERICAMERA NARICIFOLIA (TURPENTINE BUSH)
- ⊗ ORYZOPSIS HYMERODES

PROJECT ARCHITECT: DAVID KELEHER  
 Project #: 0801  
 Date: July 11, 2008

**del sol Design**

1407 Santa Ana Ave NE  
 Albuquerque, New Mexico 87104

684.842.1401  
 Architecture, Interior Design & Construction

**523 LOMAS OFFICE BUILDING**  
 SITE IMPROVEMENTS

Albuquerque, New Mexico

**SITE PLAN**

By: \_\_\_\_\_ Date: \_\_\_\_\_  
 File: Arch\_Site.dwg Date: \_\_\_\_\_  
 Site-1a8 Date: \_\_\_\_\_

Sheet of \_\_\_\_\_  
**C-2.0**



**LEGAL DESCRIPTION**  
 Lot 1, Block 4 of Southwestern Construction Company, City of Albuquerque New Mexico

**FLOOD HAZARD ZONE**  
 Lot 1 is located in Flood Hazard Zone X (i.e., Areas determined to be outside 500-year floodplain) designated on the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Map Panel No. 3600100334E (November 18, 2003).

**DRAINAGE ANALYSIS**  
 City of Albuquerque, Development Process Manual - Vol. 2, Section 22.2 - Hydrology, January, 1993.  
 Principal Design Storm: 100-year 6-hour event

**Pre-treatment Zone 2 (Table A-1)**  
 Excess Precipitation (Table A-8):  
 $E_1 = 0.53$  in (Land Treatment 'A'),  $E_2 = 0.78$  in (Land Treatment 'B'),  
 $E_3 = 1.13$  in (Land Treatment 'C'), &  $E_4 = 2.12$  in (Land Treatment 'D')

**Peak Discharge (Table A-9):**  
 $Q_{p1} = 1.58$  ft<sup>3</sup>/sec-acre (Land Treatment 'A')  
 $Q_{p2} = 2.28$  ft<sup>3</sup>/sec-acre (Land Treatment 'B')  
 $Q_{p3} = 3.14$  ft<sup>3</sup>/sec-acre (Land Treatment 'C')  
 $Q_{p4} = 4.70$  ft<sup>3</sup>/sec-acre (Land Treatment 'D')

**On-Site Retention Condition (Lot 1):**  
 Total Site Area = 5,738 ft<sup>2</sup> x 1 acre/43,560 ft<sup>2</sup> = 0.13 acres  
 32.88% Land Treatment 'C' @ 77.32% Land Treatment 'D'

**Weighted E = ((E<sub>1</sub> x 0.04 acres) + (E<sub>2</sub> x 0.08 acres)/0.13 acres**  
 $E = 1.80$  in

**V<sub>300</sub> = ((1.80 in x 0.13 acres) x 1 ft/12 in**  
 $= 0.020$  acre-ft x 43,560 ft<sup>2</sup>/acre  
 $= 859$  ft<sup>3</sup>

**Total Q<sub>p</sub> = (Q<sub>p1</sub> x 0.04 acres) + (Q<sub>p2</sub> x 0.08 acres) = 0.58 ft<sup>3</sup>/sec**

**On-Site Retention Condition (Lot 1):**  
 10.328% Land Treatment 'C'; 89.71% Land Treatment 'D'

**Weighted E = ((E<sub>1</sub> x 0.01 acres) + (E<sub>2</sub> x 0.12 acres)/0.13 acres**  
 $E = 2.05$  in

**V<sub>300</sub> = ((2.05 in x 0.13 acres) x 1 ft/12 in**  
 $= 0.022$  acre-ft x 43,560 ft<sup>2</sup>/acre  
 $= 955$  ft<sup>3</sup>

**Total Q<sub>p</sub> = (Q<sub>p1</sub> x 0.01 acres) + (Q<sub>p2</sub> x 0.12 acres) = 0.80 ft<sup>3</sup>/sec**

Runoff from effluent drainage basins does not enter into Lot 1. All runoff from Lot 1 is discharged to State Avenue. This runoff enters the State Avenue storm drain through a catch basin located on the east side of the lot. The "Post Development" peak discharge from Lot 1 will have minimal impact on the Lomas Boulevard storm drain. Free discharge from Lot 1 is recommended for the following reasons:  
 1. The "Post Development" runoff from Lot 1 is a small percentage of the total runoff from the entire effluent drainage basin.  
 2. The Lomas Boulevard storm drain has sufficient capacity to convey 3. There are no storm water ponds on parcels adjacent to Lot 1.

**ENGINEER'S CERTIFICATION:**

THE ENGINEER HAS PERSONALLY VISITED AND INSPECTED THE SITE NO GRADING, FILLING, OR EXCAVATIONS HAVE OCCURRED AFTER THE TOPOGRAPHIC SURVEY WAS COMPLETED IN MAY 2008

JAMES L. HEWITT, JR., P.E. 6871 DATE 02/16/08

**PARKING CALCULATIONS:**

ACTUAL SQ. FT. LEASABLE LOT 1,350

PARKING REQUIRED OFFICES = 1/300

BIKE REQ = 1/20

HANDICAP REQ = 1/25

STORAGE: 0.8 x 6 = 6

ROAD: 1

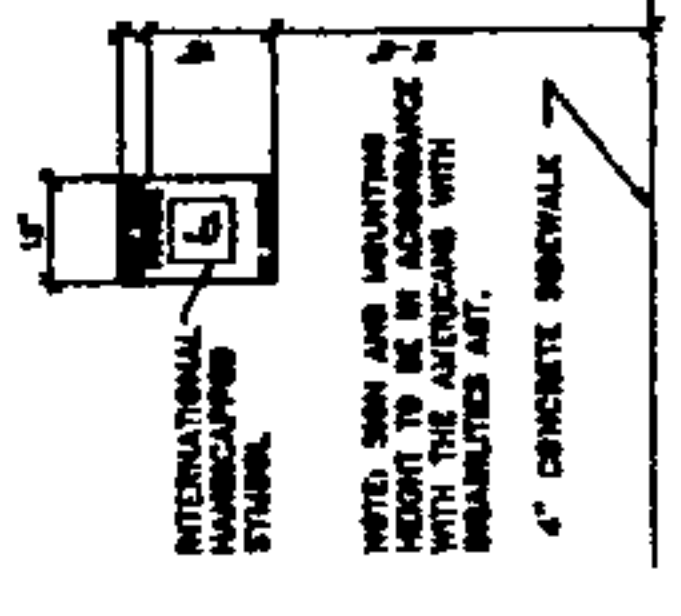
HANDICAP: 1 (SHARED)

TOTAL REQUIRED: 7

SPACES PROVIDED: 7

\*FOR REDUCTION W/ 300 FT OF ALBQ. TRANSIT STATION

**ACCESSIBLE PARKING SIGN**



INTERNATIONAL SYMBOL

NOTE: SIGN AND MOUNTING HOOKS TO BE ACCORDING TO INTERNATIONAL SYMBOLS WITH 4" CONCRETE MORTAR

**HEWITT ENGINEERING & ENVIRONMENTAL CONSULTANTS**

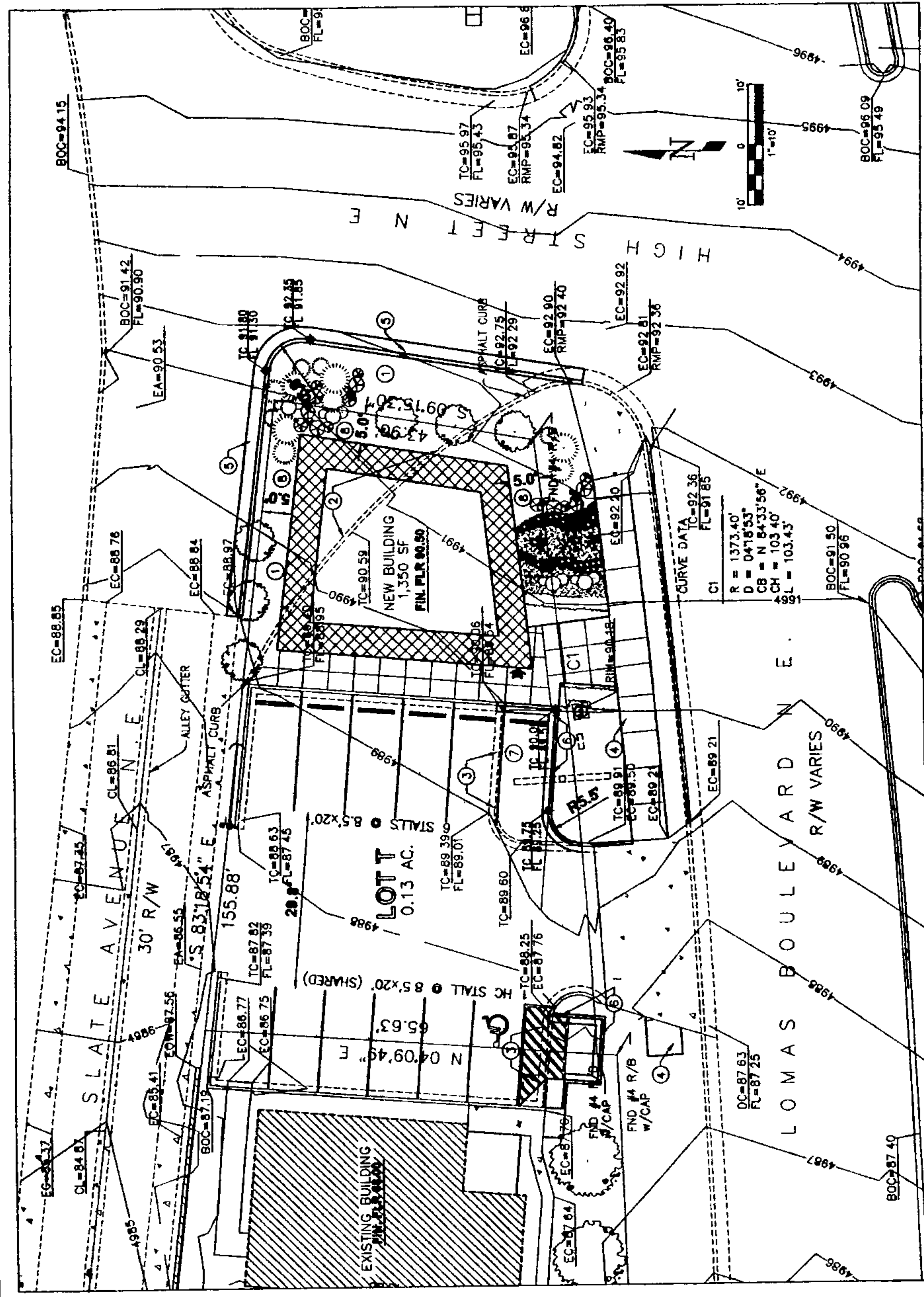
OFFICE BUILDING  
 800 LOMAS BLVD., SE  
 CITY OF ALBUQUERQUE, NEW MEXICO

LOT 1, BLOCK 4 OF SOUTHWESTERN CONSTRUCTION COMPANY

DATE 02/16/08

SCALE 1"=10'

SHEET 1 OF 1



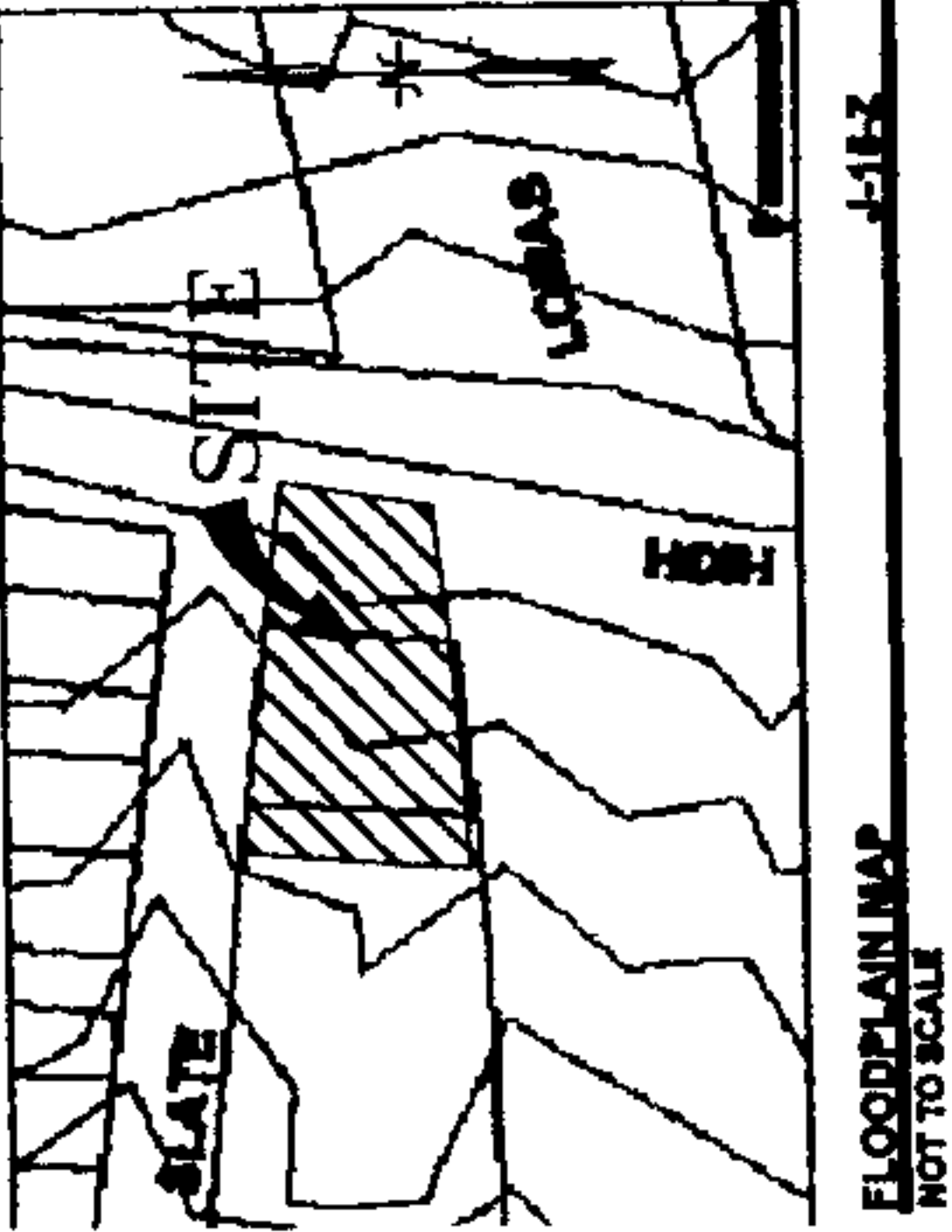
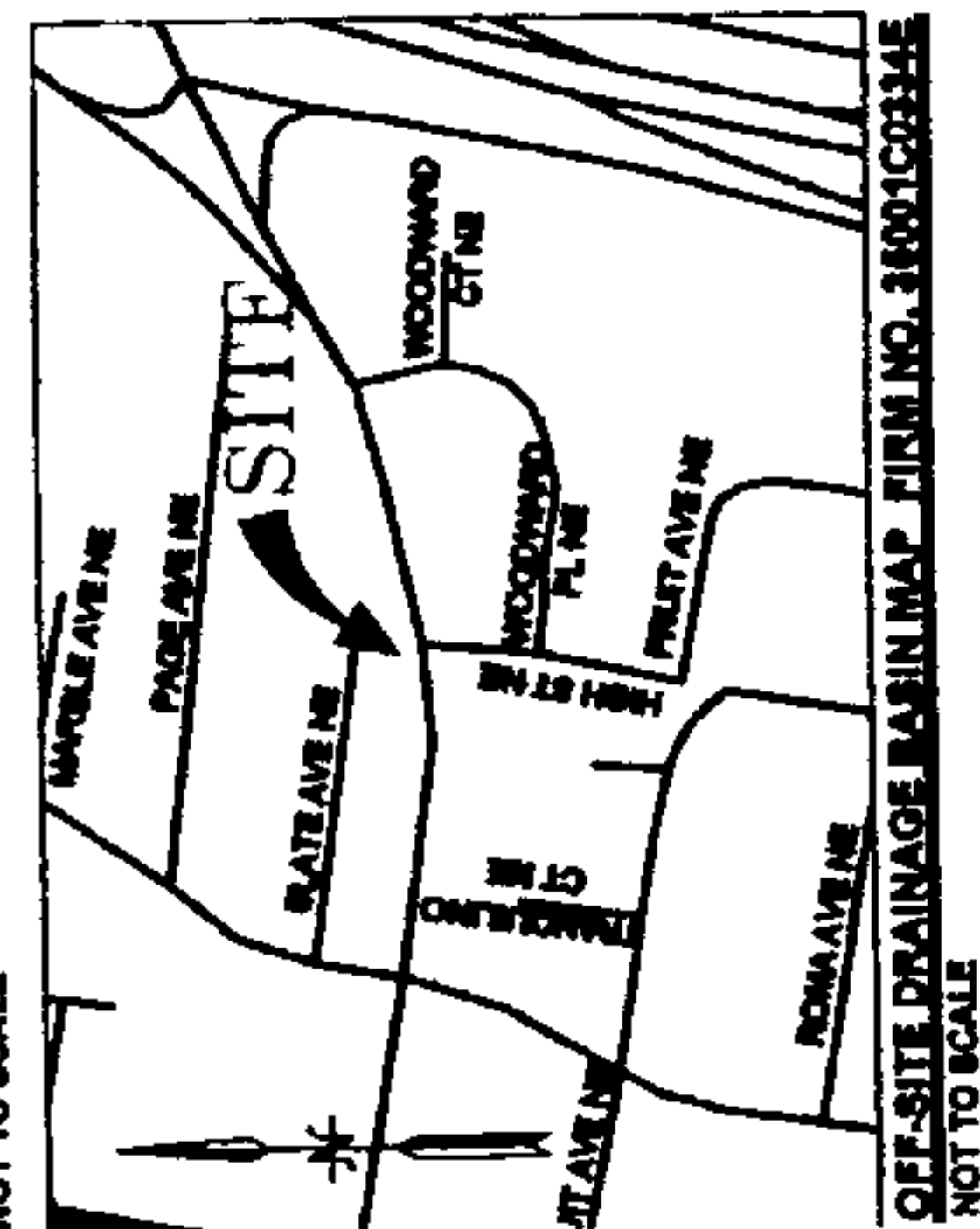
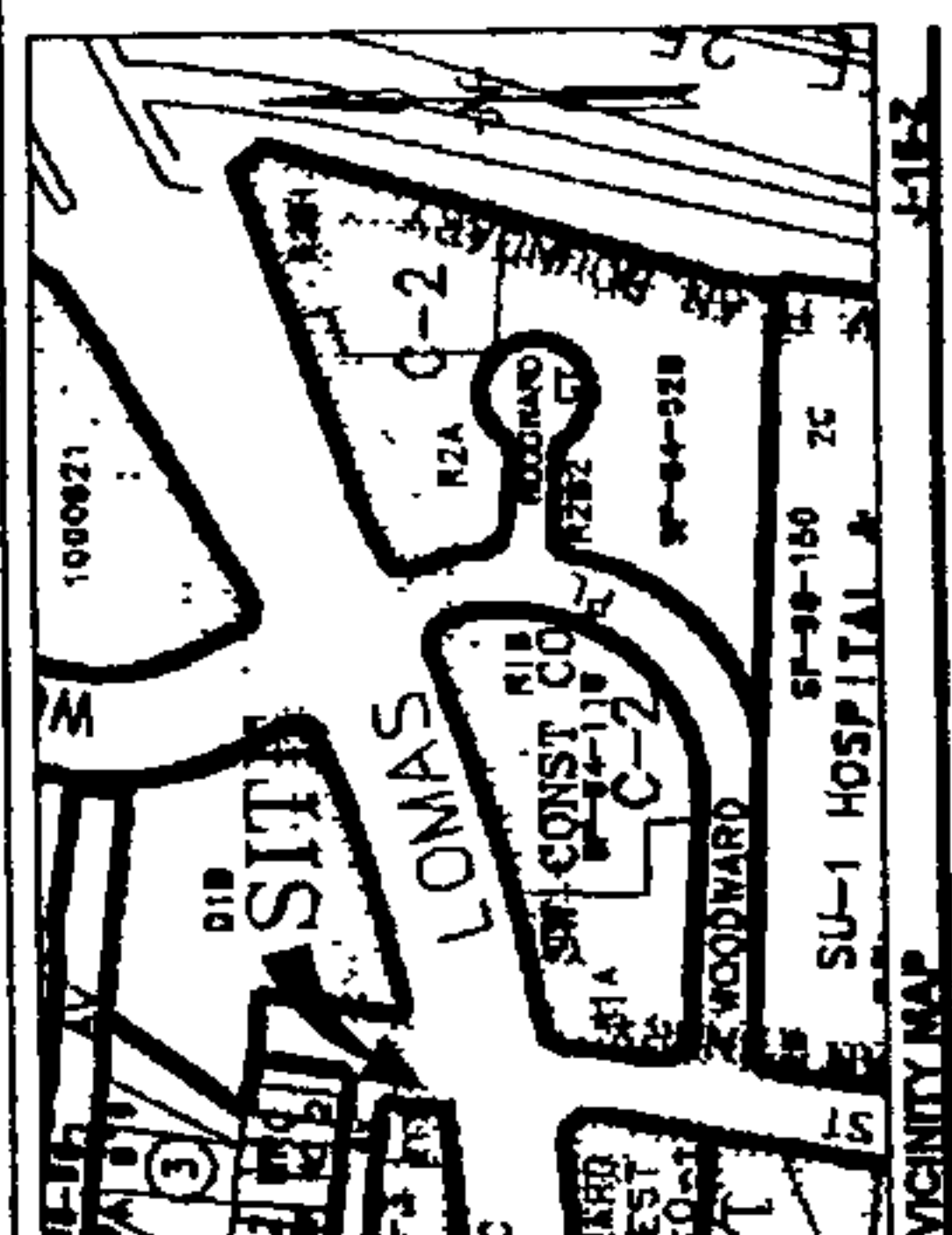
**GRADING AND DRAINAGE PLAN/TRAFFIC CIRCULATION LAYOUT**

TBM: #4 REBAR W/CAP AT CORNER LOT 1  
 TBM ELY. = 4988.06'

BM: ACS BM 22-114 AT CORNER LOMAS BLVD. SE & 4TH BLVD. NE  
 BM ELY. = 4973.65'

CURVE DATA  
 R = 1373.40'  
 D = 041°53'  
 CB = N 84°33'56" E  
 CH = 103.40'  
 CL = 103.45'

- GENERAL NOTES:**
- 1 AND 4800.00 FEET TO ALL SPOT ELEVATIONS.
  - 2 FOR TOP OF CONCRETE SLABS AND FOUNDATION WALLS, SEE PLAN. EXTERIOR WALL SECTION INCLUDED IN BUILDING PERMIT SET OF DRAWINGS.
  - 3 THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.



**LEGEND**

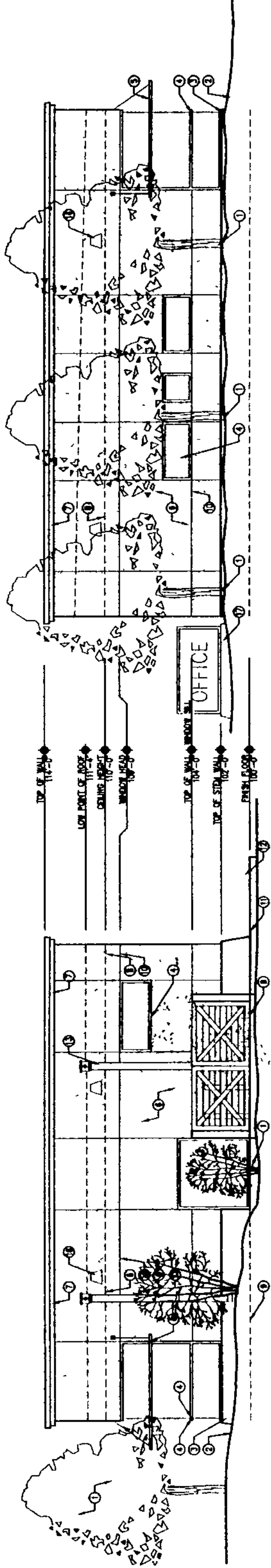
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- ENTRY DOOR
- PROPOSED BIKE RACK LOCATION
- CONCRETE WHEEL STOP ON BLDG WALL
- HC ACCESSIBLE SIGN ON BLDG WALL
- NEW PARKING SPACE, 4" WIDE WHITE STRIPE SPACE MARKING
- HC SYMBOL PAVEMENT MARKING
- EXISTING SEWER MANHOLE
- PROPOSED ELEV. CONTOUR
- EXISTING ELEV. CONTOUR
- PROPOSED BLDG FINISH FLOOR ELEV.
- PROPOSED TOP OF ASPHALT PAVEMENT
- PROPOSED TOP OF CONCRETE ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLOWLINE ELEVATION
- GRADE BREAK
- FOUND 3/8" REBAR AS NOTED

**KEYED NOTES:**

- 1 DEMOLISH EXISTING PAVEMENT
- 2 DEMOLISH ASPHALT CURB
- 3 DEMOLISH MEDIAN CURB & GUTTER
- 4 CONSTRUCT 6 FT "OFFSET TYPE" SIDEWALK PER COA STD DWG 2415A
- 5 CONSTRUCT 6 FT "OFFSET TYPE" CURB & GUTTER PER COA STD DWG 2415A
- 6 CONSTRUCT MEDIAN CURB PER COA STD DWG 2415B.
- 7 CONSTRUCT FLEXIBLE RESIDENTIAL PAVEMENT PER COA STD DWG #2405
- 8 INSTALL NEW LANDSCAPE

**Keyed Notes**

1. NEW LANDSCAPING, SEE SITE PLAN, COORDINATE LOCATION & TYPE W/ ARCH
2. BRASS SET GRASSING AND PERMANENT PLAN
3. ENGRAVED CONG. STAIR WALL WITH ENGRAVED SWAP THE PATTERN
4. ALUMINUM STORMDOOR GLAZING SYSTEM
5. STEEL SHADE STRUCTURE
6. 7/8" STUCCO SYSTEM, BASE COLOR MUSTET, ACCENT COLOR TAMER
7. (SEE KEY TO STUCCO SYSTEM)
8. LINE OF COLLAR
9. LINE OF FINISH FLOOR
10. STUCCO OVER WOOD ADHESIVE
11. NEW CONCRETE WALK
12. NEW BICYCLE RACK
13. 6"x12" G.S.M. LEADER HEAD AND DOWNSPOUT
14. ALUMINUM BUILDING SIGN, 7"x12" RAISED LETTERS
15. NEW CONCRETE WALK, 12" THICK, 4" REINFORCING
16. NEW MONUMENT SIGN, SEE DETAIL 5/A-2.0
17. ALUMINUM FRAME
18. BRASS LETTERS WITH LETTERING
19. BRASS LETTERS WITH LETTERING
20. BRASS LETTERS WITH LETTERING
21. BRASS LETTERS WITH LETTERING
22. CONG. FTL. 12" WIDE BY 1'-4" DEEP
23. 8" CONG. WALL
24. 4" x 8" STL. CONG.-FILLED PIPE W/ 1'-4" x 2'-8" DP FTR

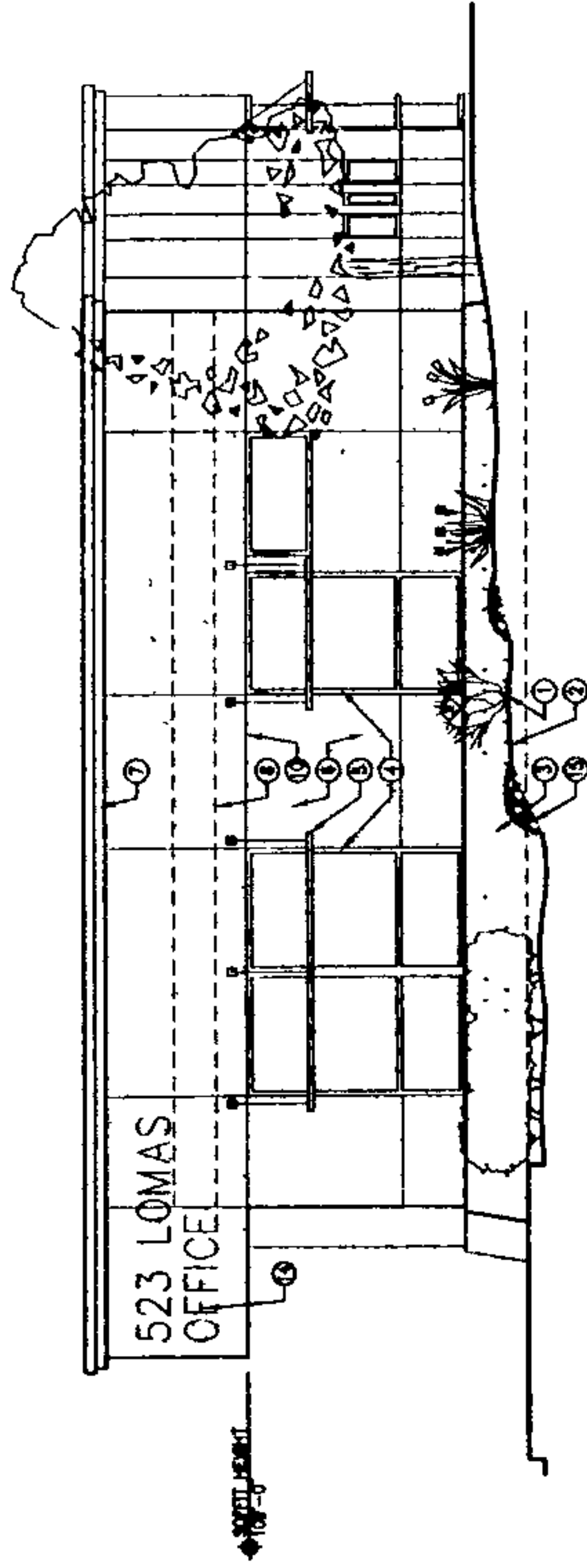


NORTH ELEVATION

1 1/4"=1'-0"

EAST ELEVATION

2 1/4"=1'-0"

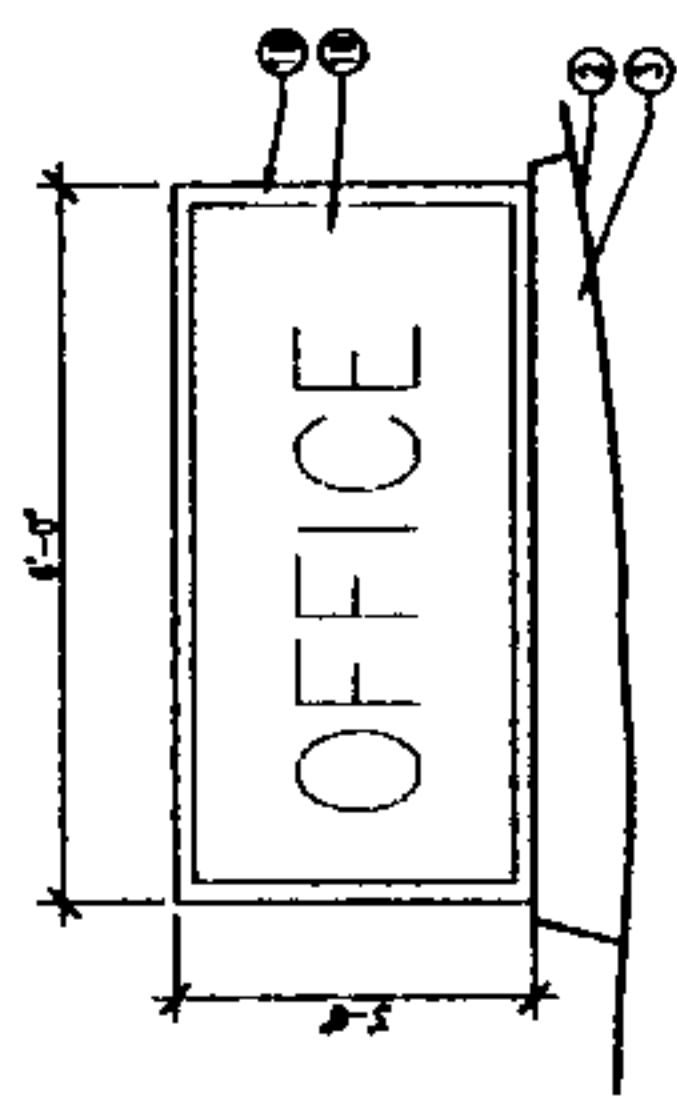


SOUTH ELEVATION

3 1/4"=1'-0"

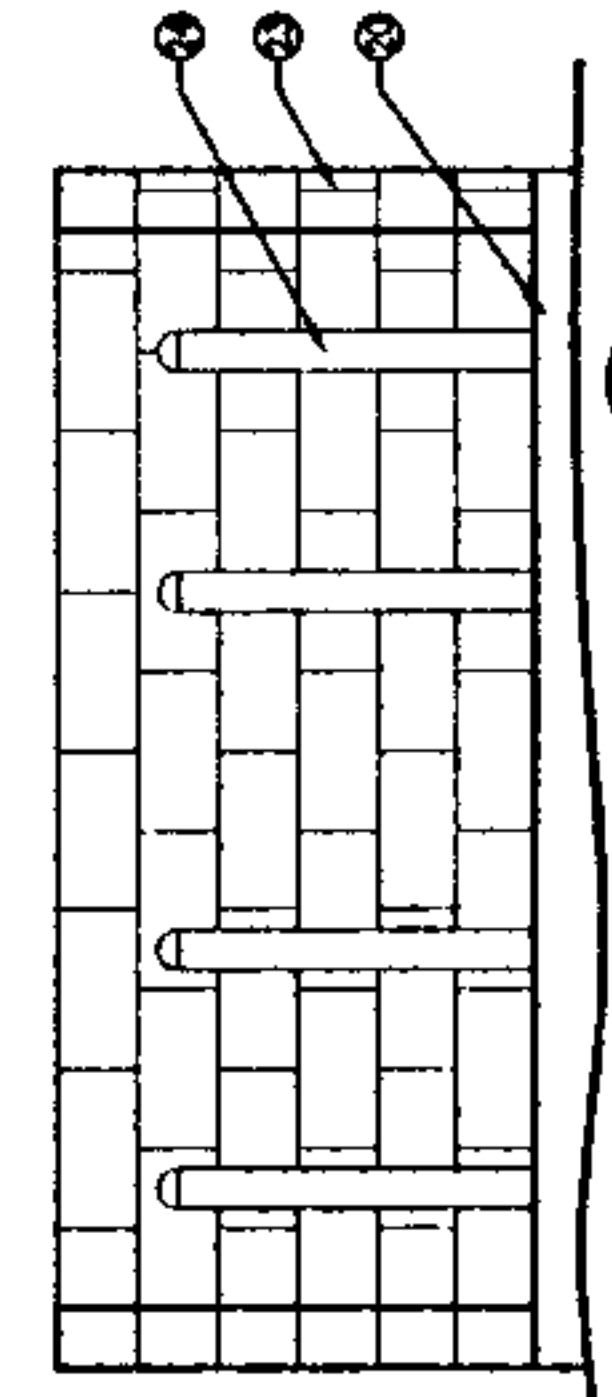
WEST ELEVATION

4 1/4"=1'-0"



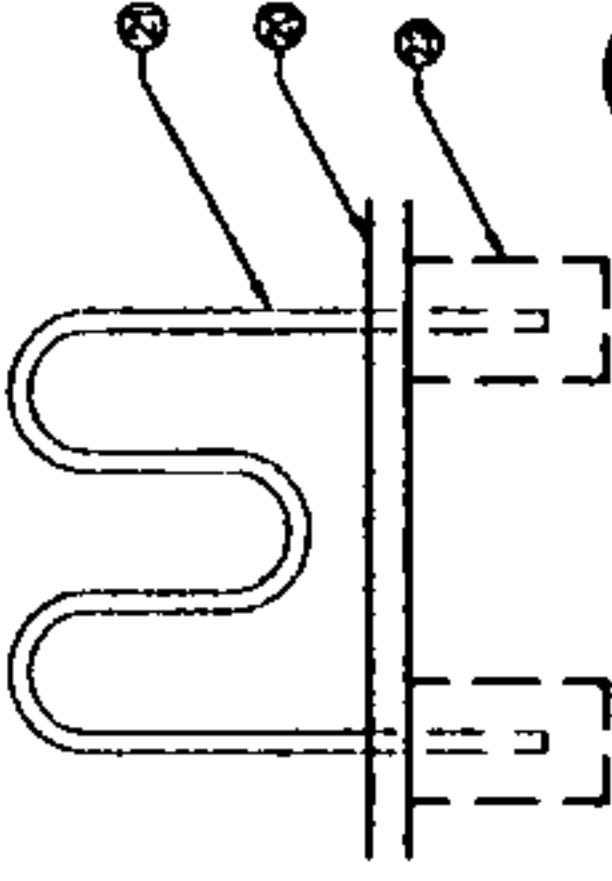
SIGN ELEVATION

5 1/2"=1'-0"



TRASH BIN ELEVATION

6 1/2"=1'-0"



BICYCLE RACK ELEV

7 1/2"=1'-0"

PROJECT ARCHITECT DAVID KELEHER	PROJECT # 0801	DATE July 11, 2008
<b>del sol Design</b> 1000 North Academy Avenue, Suite 100 Albuquerque, New Mexico 87102		
<b>523 LOMAS OFFICE BUILDING</b> SITE IMPROVEMENTS		
Albuquerque, New Mexico		
EXTERIOR ELEVATIONS		SHEET # <b>A-2.0</b>



**ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services**

**PAID RECEIPT**

APPLICANT NAME M/M REAL ESTATE INVESTORS  
 AGENT \_\_\_\_\_  
 ADDRESS 4809 MADISON CL NE  
 PROJECT & APP # 1005025 / DG DRB - D1031  
 PROJECT NAME 523 Lomas office Building

\$ ~~385.00~~ <sup>20.00</sup> 441032/3424000 Conflict Management Fee  
 \$ 385.00 441006/4983000 DRB Actions  
 \$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
 \$ \_\_\_\_\_ 441018/4971000 Public Notification  
 \$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
     ( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
     ( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
     ( ) Traffic Impact Study  
 \$ 405.00 TOTAL AMOUNT DUE

**\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

**\*\*\*DUPLICATE\*\*\***  
 City Of Albuquerque  
 Treasury Division

City Of Albuquerque  
 Treasury Division

7/14/2006 1:07PM LOC# ANN  
 RECEIPT# 00065857 WS# 007 TRANS# 0005  
 Counterreceipt doc 6/21/04  
 ACCOUNT 441006 Fund 0110  
 Activity 4983000 TRSKAL  
 Trans Amt \$405.00  
 J24 Misc  
 MC \$405.00  
 CHANGE \$0.00

7/14/2006 1:07PM LOC: ANN  
 RECEIPT# 00065856 WS# 007 TRANS# 0005  
 Account 441032 Fund 0110  
 Activity 3424000 TRSKAL  
 Trans Amt \$405.00  
 J24 Misc  
 \$20.00  
 Thank You

**4. Uses permissive in the R-2 Zone.**

**B. Conditional Use:**

- 1. Uses permissive or conditional in the C-2 or C-3 Zones and not permissive in this C-3 category.*
- 2. All existing C-3 uses which become non-conforming as of adoption of this Sector Development Plan are approved as conditional uses.*
- 3. Existing legal conforming uses which become non-conforming upon adoption of this plan are approved conditional uses.*

**C. Signage.** Sign as provided and as regulated by the C-1 Zone, except property located along arterials and collectors where C-2 regulations apply.

**D. Buffering.** All new commercial development must buffer according to requirements listed in the City Zoning Code.

**E. Height.** Structures shall not exceed 26 feet in height; except sites of five acres or more, and except as provided in Section 40.C. of the City Zoning Code. For sites of five acres or more height shall be as provided and as regulated in the O-1 Zone in the City Zoning Code.

**F. Site Plan Approval:**

*Site development plan approval is required by the Zoning Enforcement Manager for all new residential and commercial developments under two acres prior to approval of a building permit. Any developments over two acres will require review and approval by the Environmental Planning Commission.*

**The M1/Light Manufacturing zone corresponds to the M-1 zone in the Comprehensive City Zoning Code.**

**The HM/Heavy Manufacturing zone corresponds to the M-1 Light Manufacturing Zone in the Comprehensive City Zoning code with the following exceptions:**

**A. Conditional Uses:**

- 1. Uses conditional in the M-1 Zone and not permissive in this HM category.*
- 2. Uses permissive in the M-2 Zone and not permissive in this HM category.*
- 3. Existing residential uses which are non-conforming upon adoption of this plan are approved conditional uses.*

Frankie Chavez  
286-9014