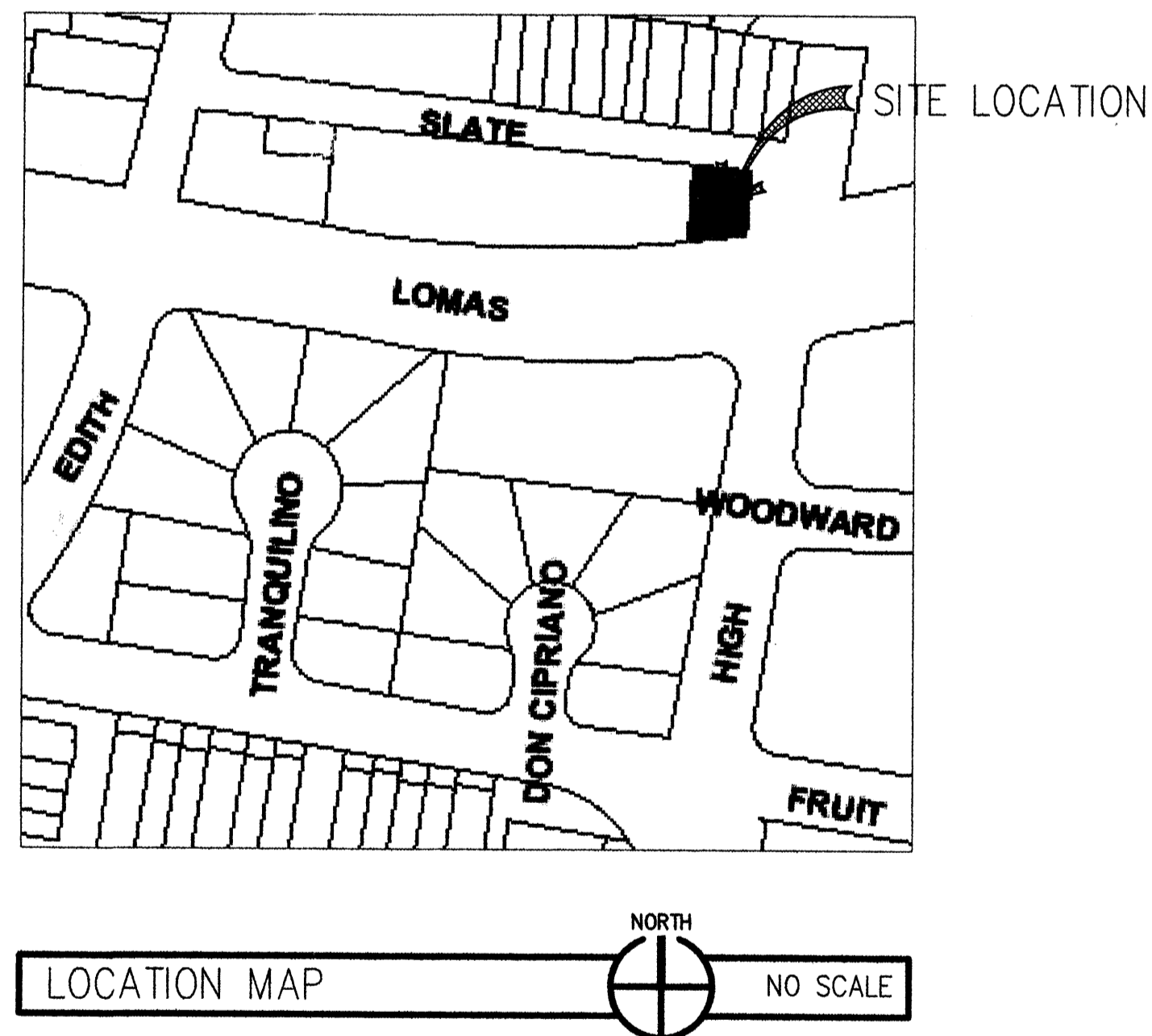


523 Lomas Office Building

PROJECT NO. 0601

Albuquerque, New Mexico



Abbreviations Key

ACQST.	ACOUSTICAL	INSUL.	INSULATION
ALT.	ALTERNATE	KIT.	KITCHEN
ARCH.	ARCHITECT(URAL)	LAM.	LAMINATE
ADD.	ADDITIVE	L.O.C.	LIMITS OF CONSTRUCTION
APPROX.	APPROXIMATELY	LTG.	LIGHTING
BD.	BOARD	MECH.	MECHANICAL
B.M.	BENCH MARK	MFR.	MANUFACTURER
BLDG.	BUILDING	MIN.	MINIMUM
B.O.W.	BOTTOM OF WALL	MTD.	MOUNTED
CONT.	CONTIGUOUS	H.T.S.	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	NEC.	NATIONAL ELECTRIC CODE
CTR.	COUNTER	N.I.C.	NOT IN CONTRACT
CONC.	CONCRETE	NO.	NUMBER
CLR.	CLEAR	OC.	ON CENTER
CLG.	CEILING	P. LAM.	PLASTIC LAMINATE
C.L.	CENTER LINE	P.E.W.T	PRE-ENGINEERED WOOD TRUSS
C.J.	CONTROL JOINT	P.E.R.T.	PRE-ENGINEERED ROOF TRUSS
DEMO.	DEMOLITION	P.L.	PROPERTY LINE
DWG.	DRAWING	REC.	RECOMMENDATIONS
DET.	DETAIL	REF.	REFERENCE
DIV.	DIVISION	REFL.	REFLECT(ED)
DISP.	DISPENSER	REINF.	REINFORCE(D),(ING),(MENT)
DIM.	DIMENSION	RELOC.	RELOCATE, RELOCATED
E.J.	EXPANSION JOINT	REQD.	REQUIRED
ELEC.	ELECTRICAL	RESIST.	RESISTANT
ENCL.	ENCLOSE(URE)	REV.	REVISION
EQ.	EQUAL	RM	ROOM
EQUIP.	EQUIPMENT	SPEC(S)	SPECIFICATION(S)
EXIST.	EXISTING	SUSP.	SUSPENDED
EXP.	EXPOSED	STRUCT.	STRUCTURAL
EXT.	EXTERIOR	STOR.	STORAGE
F.E.	FIRE EXTINGUISHER	STD.	STANDARD
F.F.	FINISH FLOOR	T.C.	TOP OF CONCRETE
FIN.	FINISH(ED)	T.O.B.	TOP OF BEAM
FIX.	FIXTURE	T.O.C.	TOP OF CURB
F.L.	FLOWLINE	T.O.P.	TOP OF PARAPET
FLG.	FLASHING	T.O.S.	TOP OF SIDEWALK
FLR.	FLOOR	T.O.W.	TOP OF WALL
FT.	FOOT	TOI.	TOILET
GA.	GAGE, GAUGE	TYP.	TYPICAL
G.C.	GENERAL CONTRACTOR	U.N.O.	UNLESS NOTED OTHERWISE
GYP. BD.	GYP. BOARD	V.I.F.	VERIFY IN FIELD
HM	HOLLOW METAL	WIN.	WINDOW
HTR.	HEATER	WSCT	WAINSCOT
HVAC	HEATING VENTILATION AIR CONDITIONING		

NOTE: ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CMU, OR FACE OF CONCRETE UNLESS OTHERWISE NOTED. EXTERIOR FRAME WALL DIMENSIONS ARE TO FACE OF SHEATHING.

Symbols Key

- WALL SECTION DETAIL OR ELEVATION SHEET ON WHICH DRAWING IS LOCATED
- DOOR # - SEE SHEET
- WINDOW OR FRAME - SEE SHEET
- KEYED NOTE ON RIGHT HAND SIDE OF SHEET
- DETAIL # SHEET ON WHICH DETAIL IS LOCATED
- INTERNAL ELEVATION -
- FINISHES - SEE FINISH SCHEDULE
- EQUIPMENT - SEE SCHEDULE ON FLOOR PLAN SHEETS
- NEW SPOT ELEVATION
- EXISTING SPOT ELEVATION
- CENTERLINE
- PROPERTY LINE

Index to Drawings

CVR	Cover, Project name, index to drawings, site location map, contact information (architect, consultants, user/owner agencies)
C-1.0	Site Survey
C-2.0	Existing Conditions / Demolition / Architectural / Landscaping Site Plan
A-1.0	Floor Plan (not included as part of DRB site plan submittal)
A-2.0	Exterior Elevations

Code Data:

Project Description: Relocate Exist. Curb to Enlarge Site, Construct Office Building on Site.
 Legal Description: Tract T Lands of Southwestern Construction Company Together With Tract of Land Adjacent Along The Wly Portion of Tract T Cont .1464 AC.

Address: 523 Lomas NE
 Albuquerque, NM 87102

Zoning: City of Albuquerque Zoning Code: SU-2 / C-3

International Building Code: 2003 EDITION
 New Mexico Building Code: 2003 EDITION

Construction Type: V-B

Occupancy Type: B, OFFICE

Allowable Floor Area: Per IBC, 9,000 s.f. + 75% Frontage Increase = 15,750.

Overall Floor Area: 1,225 s.f.

Manager's Office	179 s.f.	100 s.f./occ.	2 occ.
Office	135 s.f.	100 s.f./occ.	2 occ.
Reception	89 s.f.	100 s.f./occ.	1 occ.
Waiting	66 s.f.	50 s.f./occ.	2 occ.
Storage	22 s.f.	300 s.f./occ.	1 occ.
Restroom	59 s.f.	75 s.f./occ.	1 occ.
Open Office Area	131 s.f.	100 s.f./occ.	1 occ.
Kitchen	47 s.f.	100 s.f./occ.	1 occ.
Conference	201 s.f.	50 s.f./occ.	5 occ.
Accessory	179 s.f.	50 s.f./occ.	4 occ.

Total Leaseable Area: 1,108 s.f. 19 occ.

Plumbing Fixtures:

(1) water closets unisex

OWNER
 M&M Real Estate Investments, LLC
 Norbert Melnikov & Bryce McMurray
 Albuquerque, NM
 tel: (505) 453-7259
 e: norbert.melnikov@xilinx.com

ARCHITECT
 del sol Design
 1407 Roma Avenue NW
 Albuquerque, NM 87104
 tel: (505) 242-1461
 e: keleherdavid@yahoo.com

CIVIL ENGINEER
 James Hewitt Eng. & Environmental Consulting
 5615 Creggs St NW
 Albuquerque, NM 87120
 tel: (505) 899-3195
 e: heec@surbest.net

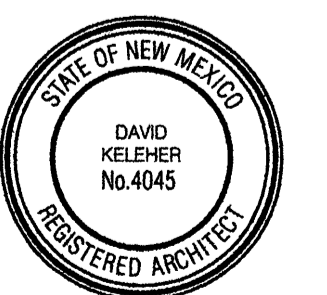
SITE DEVELOPMENT PLAN SUBMITTAL TO DRB

del sol Design

523 Lomas Office Building
 Albuquerque, New Mexico

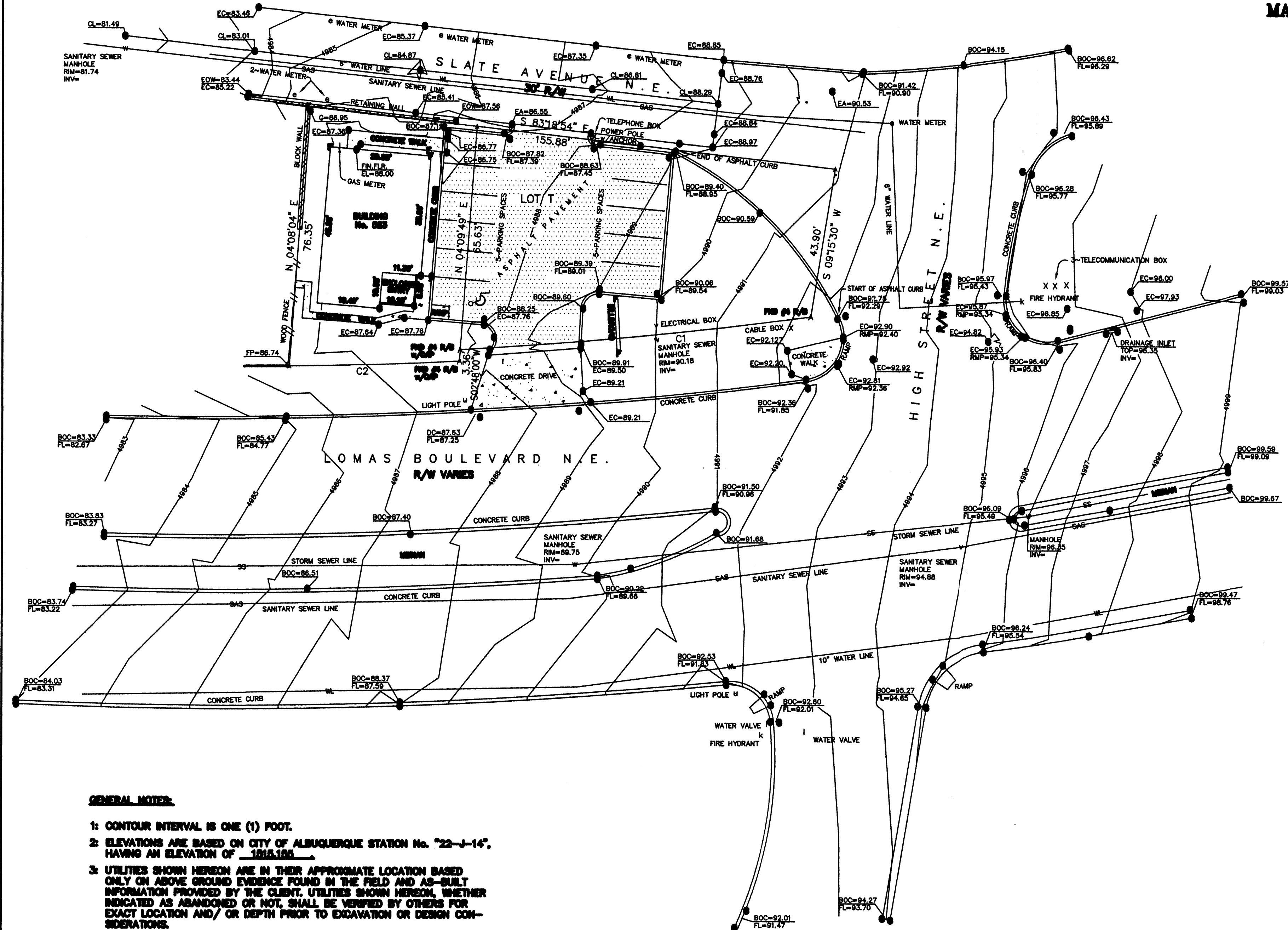
505.242.1461
 1407 Roma Avenue NW
 Albuquerque, New Mexico 87104

Project #: 0601
 Date: July 11, 2006
 File Name: CVR.dwg



Sheet 1 of
 COVER

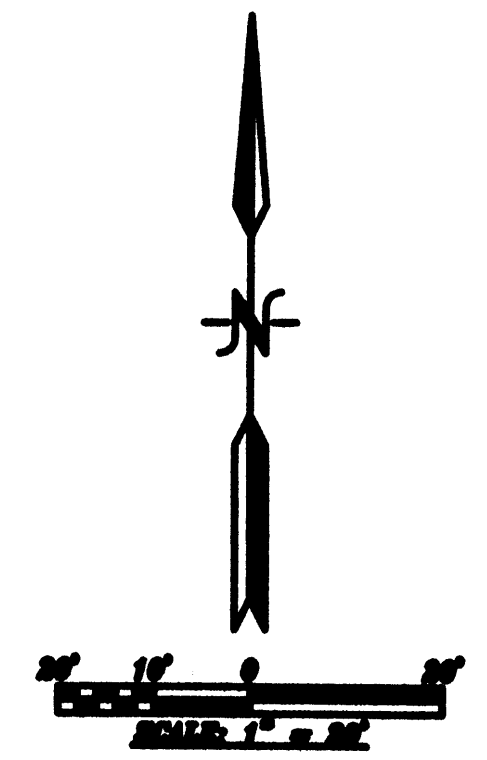
PLAT OF TOPOGRAPHY
OF
LOT T
LANDS OF SOUTHWESTERN
CONSTRUCTION Co.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2006



CURB DATA
 CI = 155.42
 S = 87.50
 G = 87.50
 CI = 155.42
 L = 155.42

CI
 S = 10.00
 S = 87.50
 CI = 87.50
 L = 87.50

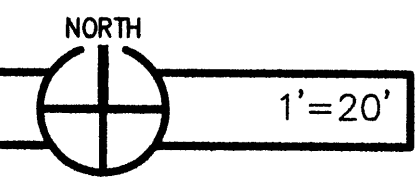
LEGEND
 BOC = BACK OF CURB
 CC = CURB CUT
 DI = DRAINAGE INLET
 EA = EDGE OF ASPHALT
 EC = EDGE OF CONCRETE
 EL = ELEVATION
 EDW = EDGE OF WALL
 ER = EDGE OF ROAD
 FIN.FLR = FINISH FLOOR
 FL = FLOW LINE
 FND = FOUND
 FP = FENCE POST
 G = GROUND
 INV = INVERT
 RMP = RAMP



- GENERAL NOTES:**
- 1: CONTOUR INTERVAL IS ONE (1) FOOT.
 - 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "22-J-14", HAVING AN ELEVATION OF 1825.188.
 - 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 - 4: THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

Anthony L. Harris, N.M.P.S.#11463 HARRIS SURVEYING, INC.
 2412-D Monroe Street, NE Albuquerque, New Mexico 87110
 Telephone (505) 889-8066 FAX (505) 889-8645

SITE SURVEY

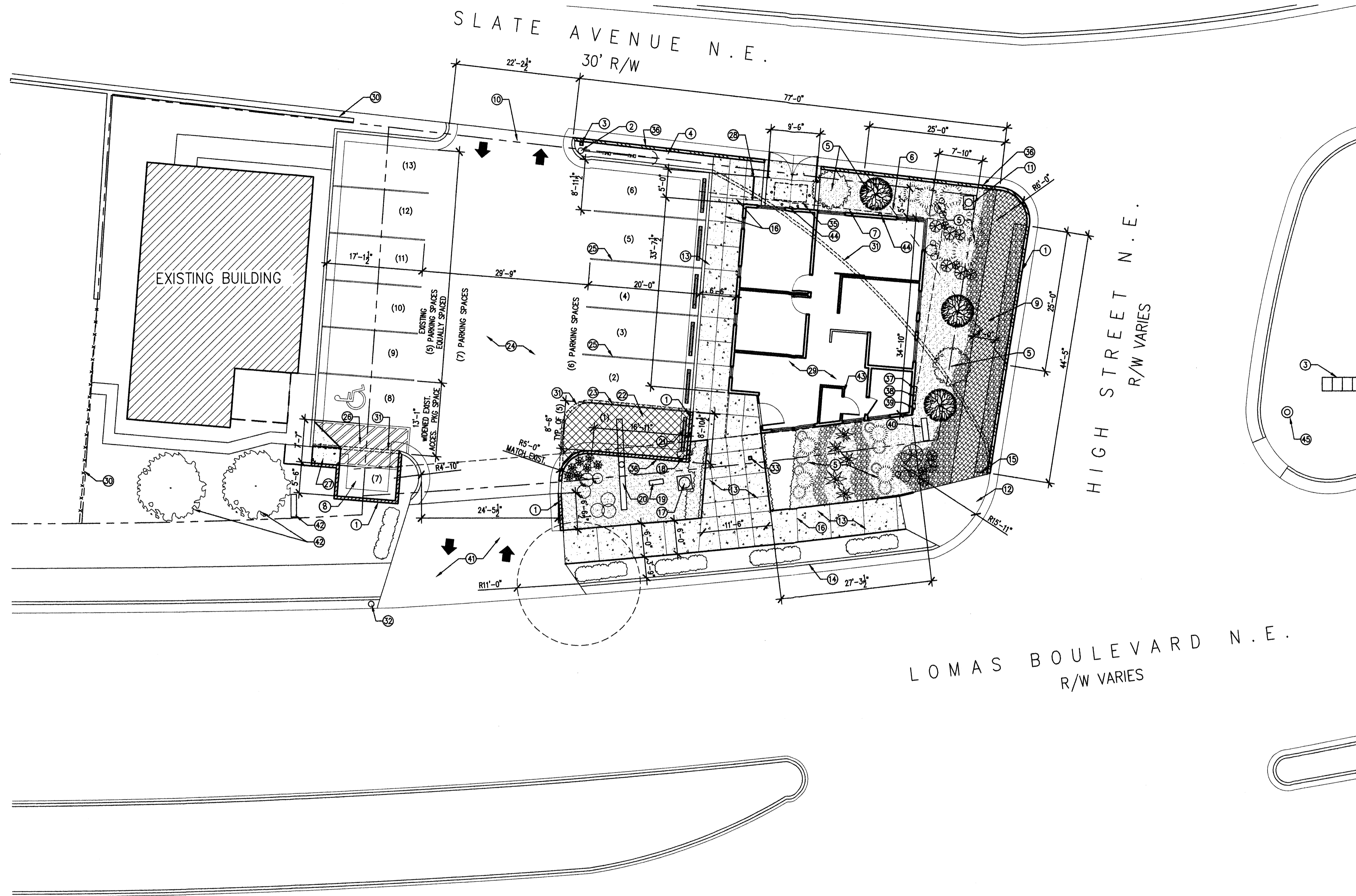


PROJECT ARCHITECT: DAVID KELEHER Project #: 0601
 Date: July 11, 2006

del sol Design
 David Keleher, architect

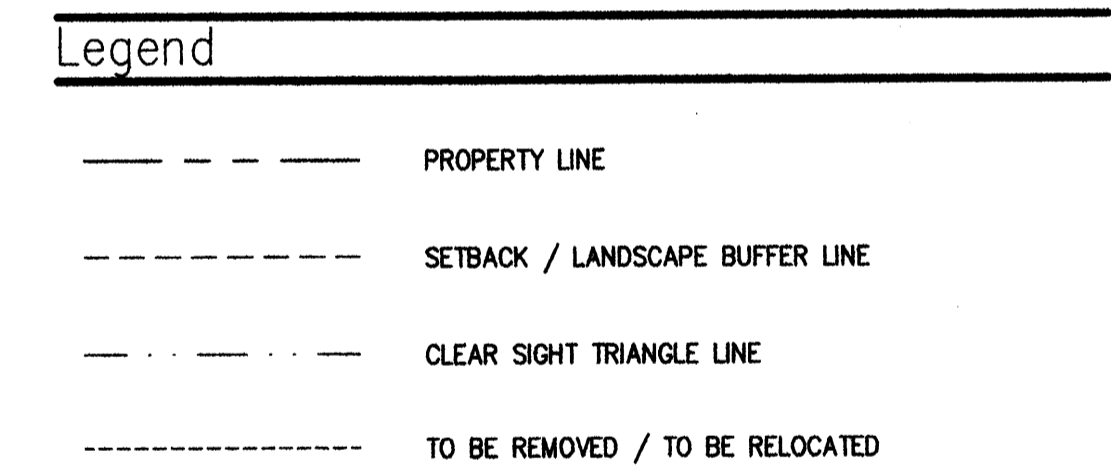
523 LOMAS OFFICE BUILDING
 SITE IMPROVEMENTS
 Albuquerque, New Mexico

SITE SURVEY
 By: CFC Sheet of
 File: Survey.dwg Survey-tab C-1.0

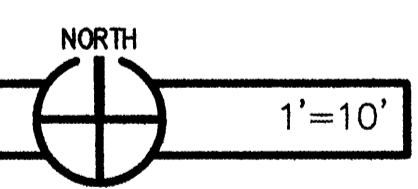
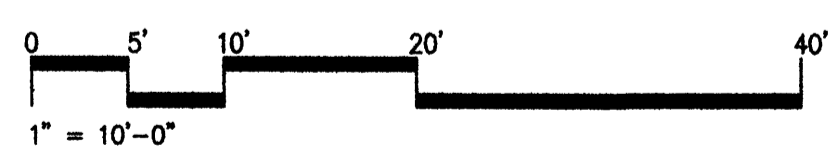


- General Notes**
- A. CONTRACTOR TO FIELD VERIFY ALL EXIST. CONDITIONS AND DIMENSIONS. BRING ANY AND ALL DISCREPANCIES TO ATTENTION OF OWNER AND ARCHITECT.
 - B. CONTRACTOR TO INSTALL NEW DRIP IRRIGATION SYSTEM.
 - C. COORDINATE CONSTRUCTION, INCLUDING INTERRUPTIONS TO UTILITY SERVICES, WITH OWNER TO OPTIMIZE NORMAL OPERATION OF EXISTING PARKING AND BUILDING FACILITIES.
 - D. PROTECT FROM DAMAGE ANY AND ALL EXISTING ELEMENTS DESIGNATED TO REMAIN OR FOR REUSE, REPAIR, AND/OR REPLACE ANY ITEMS DAMAGED.
 - E. COORDINATE W/ OWNER REMOVAL, STORAGE, AND REUSE OF SALVAGED ITEMS.

- Keyed Notes**
1. NEW STANDARD CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DRAWING NO. 2415A.
 2. EXISTING UTILITY POLE W/ LAMP, PHONE & ELECTRIC LINES.
 3. EXISTING TELECOMMUNICATION UTILITY.
 4. REUSE EXISTING GRAVEL IN LANDSCAPE AREA.
 5. XERIC LANDSCAPING W/ DRIP IRRIGATION. RE: LEGEND C2.0;
 6. COORDINATE EXACT LOCATION WITH ARCHITECT.
 7. LINE OF CLEAR SIGHT TRIANGLE.
 8. LINE OF SETBACK / LANDSCAPE BUFFER.
 9. MOTORCYCLE PARKING SPACE.
 10. NEW 4" DEEP CRUSHER FINE PEDESTRIAN PATH.
 11. PROPERTY LINE.
 12. WATER METER AND VALVE.
 13. EXISTING ACCESSIBLE RAMP.
 14. NEW 4" THK. CONC. SIDE WALK, AIR ENTRAINED.
 15. EXISTING CURB & GUTTER TO REMAIN.
 16. EXISTING STOP SIGN.
 17. CONC. CONTROL JOINTS 6'-0" O.C. MAX.
 18. EXISTING SEWER MANHOLE COVER.
 19. EXISTING ELECTRICAL UTILITY BOX TO BE REMOVED AND RELOCATED.
 20. RELOCATED ELECTRICAL UTILITY BOX.
 21. EXIST. ILLUMINATED BILLBOARD.
 22. NEW CONC. WHEEL STOP.
 23. NEW ASPHALT PAVING TO MATCH EXISTING.
 24. NEW 4" PARKING STRIPE.
 25. EXISTING ASPHALT PAVING.
 26. EXISTING PARKING STRIPING.
 27. NEW AREA STRIPED FOR NO PARKING.
 28. NEW ACCESSIBLE CONC. RAMP.
 29. BICYCLE RACK.
 30. PROPOSED BUILDING.
 31. EXISTING WALL / FENCE.
 32. EXISTING CURB TO BE REMOVED.
 33. EXISTING LIGHT POLE.
 34. WATERPROOF EXTERIOR LIGHT, MOUNT FLUSH TO WALKING SURFACE.
 35. EXIST. TREES TO REMAIN.
 36. NEW REFUSE CONTAINER.
 37. NEW GAS METER.
 38. NEW ELECTRICAL METER.
 39. NEW PROGRAMMABLE DRIP SYSTEM CONTROL BOX.
 40. NEW SIGN, SEE ELEVATIONS.
 41. EXISTING CONCRETE PAVING TO REMAIN.
 42. EXISTING SIGN TO BE REPLACED W/ NEW SIGN, SAME DIMENSIONS & MATERIALS.
 43. NEW ELECTRICAL PANEL.
 44. DOWNSPOUT.
 45. EXIST. FIRE HYDRANT.



SITE PLAN



Code Data:

PROJECT NUMBER:
Application Number:
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated and the Findings and Conditions in the Official Notification of Decision are satisfied.
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* must call for pre-pave inspection
 Enclosure must be a minimum of 9.6" inside
 Must provide oven container for site
 Call to set up service

Parking Calculation:
 Total Proposed Floor Area: 1,225
 Total Leaseable Area: 1,108
 Parking Spaces Required: 1 Car / 200 s.f.
 Parking Credit: 10% for Proximity to Bus Line
 (1,108 s.f. / 200 s.f.) x (.9) = 5 Parking Spaces Required.

Parking Required:	Parking Provided:
(5) Parking Spaces	(6) Parking Spaces
(1) Accessible Parking Space	(1) Accessible Parking Space*
(1) Motorcycle Parking Space	(1) Motorcycle Parking Space*
(1) Bicycle Parking Area	(1) Bicycle Parking Area

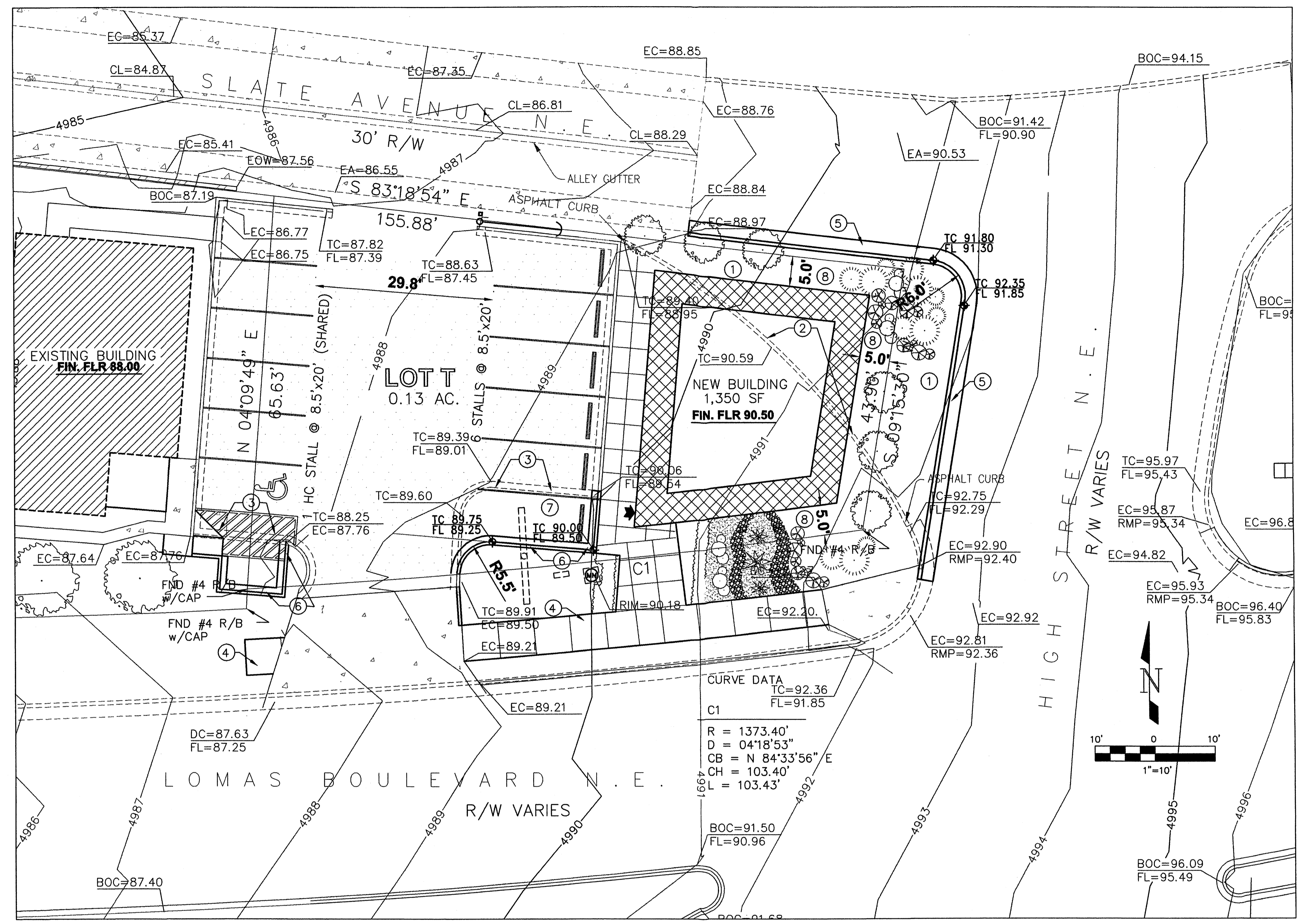
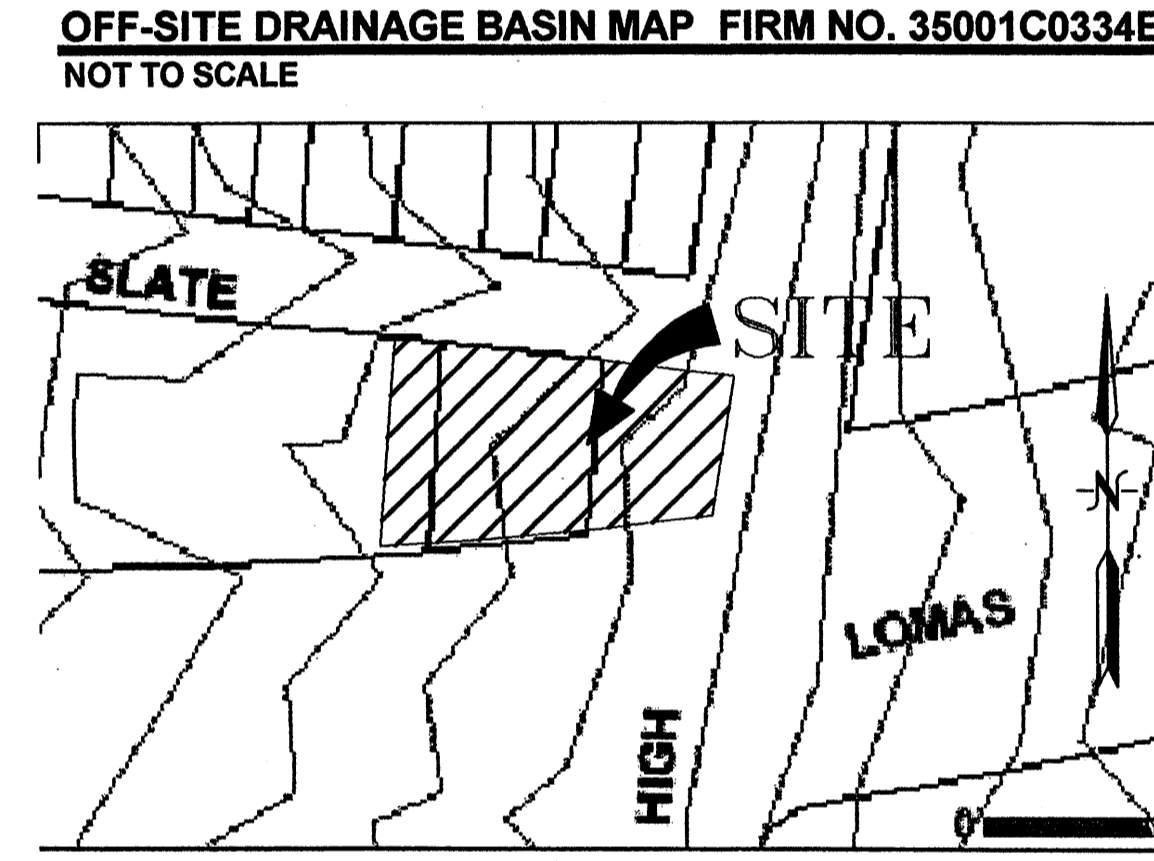
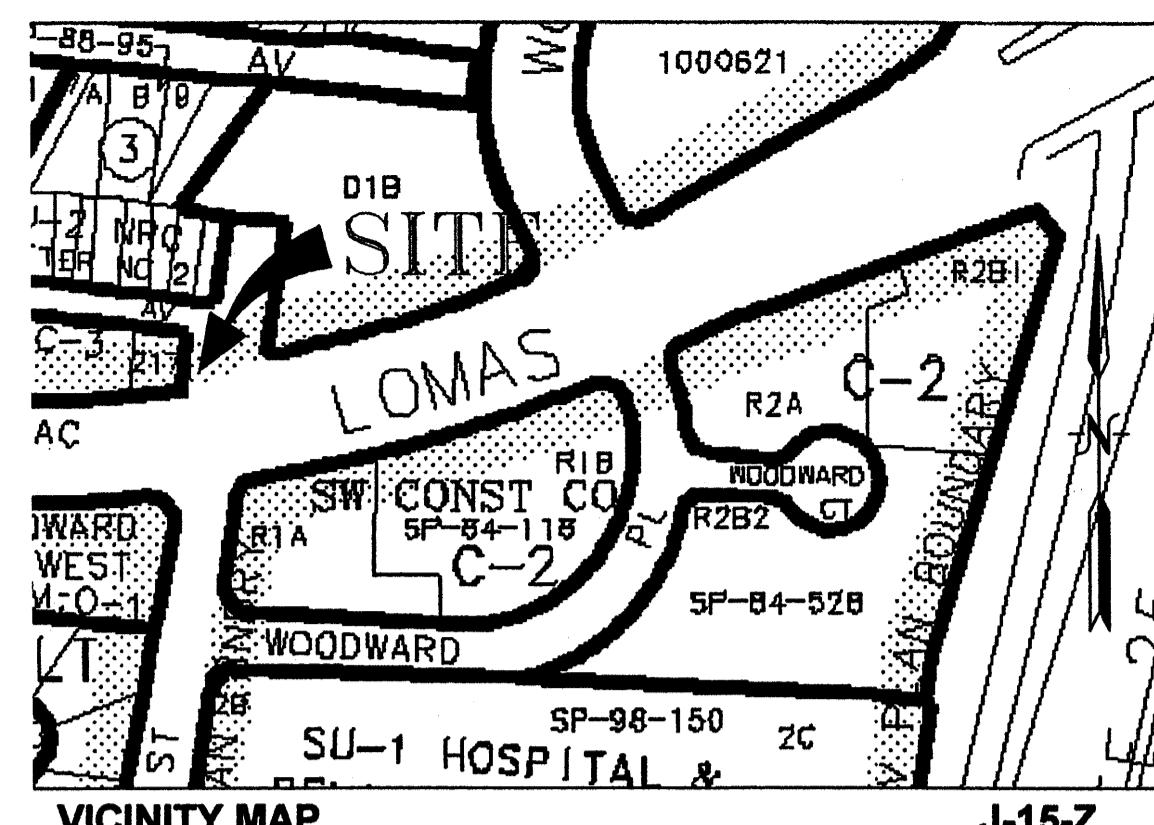
* Cross Parking Agreement Will Be Recorded As Part of The Property Deed.

Landscaping Requirement:
 Area Required: 15% of Total Property Area-(Bldg Area + ROW Landscpg)
 = 15(5669-(1,225+1,093)) = 502 s.f.
 Area Provided: 19.4% = 650 s.f.

Landscaping Legend

	CHILOPSIS LINEARIS (DESERT WILLOW)		LAVANDULA ANGSTIFOLIA (ENGLISH LAVENDER)
	NANDINA DOMESTICA (NANDINA)		ARTEMISIA FRIGIDA (FRINGED SAGE)
	PLUMBAGO (PLUMBAGINACEAE)		APACHEPLUME (FALLUGIA PARADOXA)
	POWS CASTLE (ARTEMISIA)		ERICAMERIA NARICIFOLIA (TURPENTINE BUSH)
	AGAVE PARRY (CENTURY PLANT)		ORYZOPSIS HYMENOIDES (INDIAN RICEGRASS)
	CREEPING ROSEMARY (ROSMARINUS OFFICINALIS)		EXIST. COBBLESTONE TO BE REUSED FOR LANDSCAPING

PROJECT ARCHITECT: DAVID KELEHER	Project #: 0601
	Date: July 11, 2006
del sol Design	
523 LOMAS OFFICE BUILDING SITE IMPROVEMENTS Albuquerque, New Mexico	
SITE PLAN	Sheet of
By: [Signature]	CFC
File: Arch_Site.dwg	Site-tab
C-2.0	



GRADING AND DRAINAGE PLAN/TRAFFIC CIRCULATION LAYOUT

- LEGEND**
- CONCRETE SIDEWALK
 - ASPHALT PAVEMENT
 - ENTRY DOOR
 - PROPOSED BIKE RACK LOCATION
 - CONCRETE WHEEL STOP
 - HC ACCESSIBLE SIGN ON BLDG WALL
 - NEW PARKING SPACE; 4" WIDE WHITE STRIPE SPACE MARKING
 - HC SYMBOL PAVEMENT MARKING
 - EXISTING SEWER MANHOLE
 - PROPOSED ELEV. CONTOUR
 - EXISTING ELEV. CONTOUR
 - PROPOSED BLDG FINISH FLOOR ELEV.
 - PROPOSED TOP OF ASPHALT PAVEMENT SPOT ELEVATION
 - PROPOSED TOP OF CONCRETE ELEVATION
 - PROPOSED TOP OF CURB ELEVATION
 - PROPOSED FLOWLINE ELEVATION
 - GRADE BREAK
 - FOUND 3/8" REBAR AS NOTED

- KEYED NOTES:**
- 1 DEMOLISH EXISTING PAVEMENT.
 - 2 DEMOLISH ASPHALT CURB.
 - 3 DEMOLISH MEDIAN CURB & GUTTER.
 - 4 CONSTRUCT 6 FT "OFFSET TYPE" SIDEWALK PER COA STD DWG 2430.
 - 5 CONSTRUCT STANDARD CURB & GUTTER PER COA STD DWG 2415A.
 - 6 CONSTRUCT MEDIAN CURB PER COA STD DWG 2415B.
 - 7 CONSTRUCT FLEXIBLE RESIDENTIAL PAVEMENT PER COA STD DWG #2405.
 - 8 INSTALL NEW LANDSCAPE.

TBM: #4 REBAR W/CAP
SE CORNER LOT T
TBM ELV. = 4988.06'

BM: ACS BM 22-J14
SE QUADRANT LOMAS BLVD. NE & EDITH BLVD. NE
BM ELV. = 4973.65

- GENERAL NOTES:**
1. ADD 4900.00 FEET TO ALL SPOT ELEVATIONS.
 2. FOR TOP OF CONCRETE SLABS AND TOP OF FINISH GRADE SEE: FLOOR PLAN, FOUNDATION PLAN AND DETAILS, AND EXTERIOR WALL SECTION INCLUDED IN BUILDING PERMIT SET OF DRAWINGS.
 3. THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

LEGAL DESCRIPTION
Lot T, Lands of Southwestern Construction Company, City of Albuquerque New Mexico.

FLOOD HAZARD ZONE
Lot T is located in Flood Hazard Zone X (i.e., Areas determined to be outside 500-year floodplain) designated on the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Map Panel No. 35001C0334E (November 19, 2003).

DRAINAGE ANALYSIS
REFERENCE: City of Albuquerque, Development Process Manual -Vol. 2, Section 22.2 - Hydrology, January, 1993.

Principal Design Storm: 100-year 6-hour event

Precipitation Zone 2 (Table A-1)

Excess Precipitation (Table A-8):
E₁ = 0.53 in (Land Treatment 'A'), E₂ = 0.78 in (Land Treatment 'B')
E₃ = 1.13 in (Land Treatment 'C'), & E₄ = 2.12 in (Land Treatment 'D')

Peak Discharge (Table A-9):
Q_{P1} = 1.56 ft³/sec-acre (Land Treatment 'A')
Q_{P2} = 2.28 ft³/sec-acre (Land Treatment 'B')
Q_{P3} = 3.14 ft³/sec-acre (Land Treatment 'C')
Q_{P4} = 4.70 ft³/sec-acre (Land Treatment 'D')

On-Site 'Existing' Condition (Lot T):
Total Site Area = 5,736.4 ft² x 1 acre/43,560 ft² = 0.13 acres
32.68% Land Treatment 'C'; 67.32% Land Treatment 'D'

Weighted E = ((E₃ x 0.04 acres) + (E₄ x 0.09 acres))/0.13 acres = 1.80 in

V₃₆₀ = (1.80 in x 0.13 acres) x 1 ft/12 in = 0.020 acre-ft x 43,560 ft²/acre = 859 ft³

Total Q_P = (Q_{P3} x 0.04 acres) + (Q_{P4} x 0.09 acres) = 0.55 ft³/sec

On-Site 'Post Development' Condition (Lot T):
10.29% Land Treatment 'C'; 89.71% Land Treatment 'D'

Weighted E = ((E₃ x 0.01 acres) + (E₄ x 0.12 acres))/0.13 acres = 2.02 in

V₃₆₀ = (2.02 in x 0.13 acres) x 1 ft/12 in = 0.022 acre-ft x 43,560 ft²/acre = 965 ft³

Total Q_P = (Q_{P3} x 0.01 acres) + (Q_{P4} x 0.12 acres) = 0.60 ft³/sec

Runoff from offsite drainage basins does not enter onto Lot T. All runoff from Lot T is discharged to Slate Avenue. This runoff enters the Lomas Boulevard storm drains near the intersection of Slate Avenue and Edith Boulevard. The 'Post Development' peak discharge from Lot T will have minimal impact on the Lomas Boulevard storm drain. Free discharge from Lot T is recommended for the following reasons:

1. The 'Post Development' runoff from Lot T is a small percentage of the total runoff from the entire offsite drainage basin.
2. The Lomas Boulevard storm drain has sufficient capacity to convey the 'Post Development' runoff from Lot T.
3. There are no storm water ponds on parcels adjacent to Lot T.

ENGINEER'S CERTIFICATION:

THE ENGINEER HAS PERSONALLY VISITED AND INSPECTED THE SITE. NO GRADING, FILLING, OR EXCAVATIONS HAVE OCCURRED AFTER THE TOPOGRAPHIC SURVEY WAS COMPLETED IN MAY 2006.

JAMES L. HEWITT, JR., P.E. # 6871 DATE 07/10/06

PARKING CALCULATIONS:

ACTUAL SQ. FT.	LEASABLE
1,350	1,200

PARKING REQUIRED
OFFICE = 1/200
BIKE REQ. = 1/20
HANDICAP REQ. = 1/25

PROVIDED*
STORAGE: 0.9 x 6 = 6
BIKE: 1
HANDICAP: 1 (SHARED)
TOTAL REQUIRED: 7
SPACES PROVIDED: 7
*10% REDUCTION W/1 300 FT OF ALBUQ. TRANSIT SYSTEM

ACCESSIBLE PARKING SIGN
NOT TO SCALE

NOTE: SIGN AND MOUNTING HEIGHT TO BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.

HEWITT ENGINEERING & ENVIRONMENTAL CONSULTANTS
5615 CRECCOS ST., NW ALBUQUERQUE, NM 87120 TEL: (505) 899-3186

OFFICE BUILDING
523 LOMAS BLVD., NE
LOT T, LANDS OF SOUTHWESTERN CONSTRUCTION COMPANY
CITY OF ALBUQUERQUE, NEW MEXICO

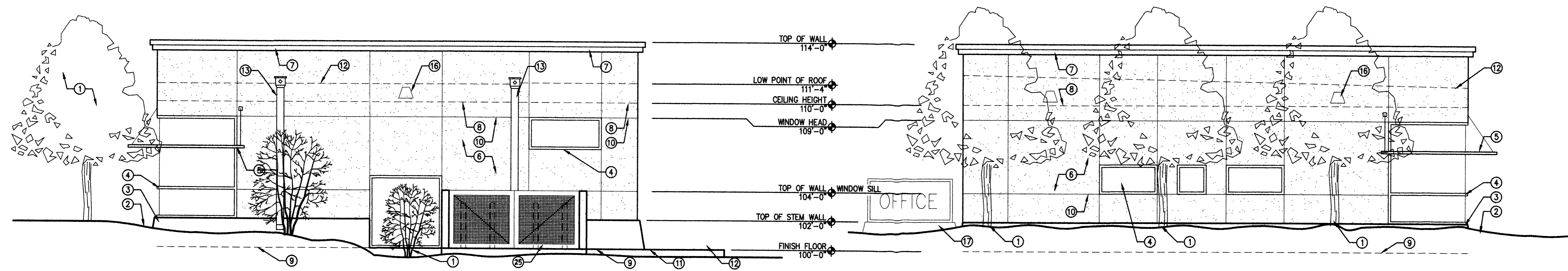
SIZE D	FSCM NO.	DWG NO.	REV
		M&M REI 06-002.dwg	

DATE 07/10/06 DRAWN BY: JLH SHEET 1 OF 1 C.2.1

06-002.DWG
 PROJECT: RECONSTRUCTION OF LOMAS BLVD. NE
 PLOTTED: 07/09/06

Keyed Notes

1. NEW LANDSCAPING, RE.: SITE PLAN. COORDINATE LOCATION & TYPE W/ ARCH.
2. FINISH GRADE, SEE GRADING AND DRAINAGE PLAN.
3. EXPOSED CONC. STEM WALL.
4. ALUMINUM STOREFRONT GLAZING SYSTEM.
5. STEEL SHADE STRUCTURE.
6. 7/8" STUCCO SYSTEM, BASE COLOR MUSKET, ACCENT COLOR TIMBER (COLORS BY "EL RAY").
7. BUILT-UP STUCCO CORNICE.
8. LINE OF CEILING.
9. LINE OF FINISH FLOOR.
10. STUCCO CONTROL JOINTS.
11. NEW CONC. SIDEWALK.
12. ROOF LINE.
13. 8"x12" G.S.M. LEADER HEAD AND DOWNSPOUT.
14. ALUMINUM BUILDING SIGN, 7"x12" RAISED LETTERS.
15. REUSE EXISTING 4'-8" COBBLE STONE.
16. WALL MOUNTED DOWN LIGHT.
17. NEW MONUMENT SIGN, SEE DETAIL 5/A-2.0.
18. 2" ALUMINUM FRAME.
19. BACK-LIT TRANSLUCENT PLEXIGLASS PANEL WITH LETTERING.
20. 4" REINF. CONC. SLAB RE.: STRUCT.
21. PREMANUF. STEEL TUBE BICYCLE RACK.
22. CONC. FTG. 12" WIDE BY 1'-6" DEEP.
23. 6" CMU WALL.
24. 4" # STL. CONC.-FILLED PIPE W/ 1'-4" # 2'-6" DP. FTG.
25. STL. WESH GATE.



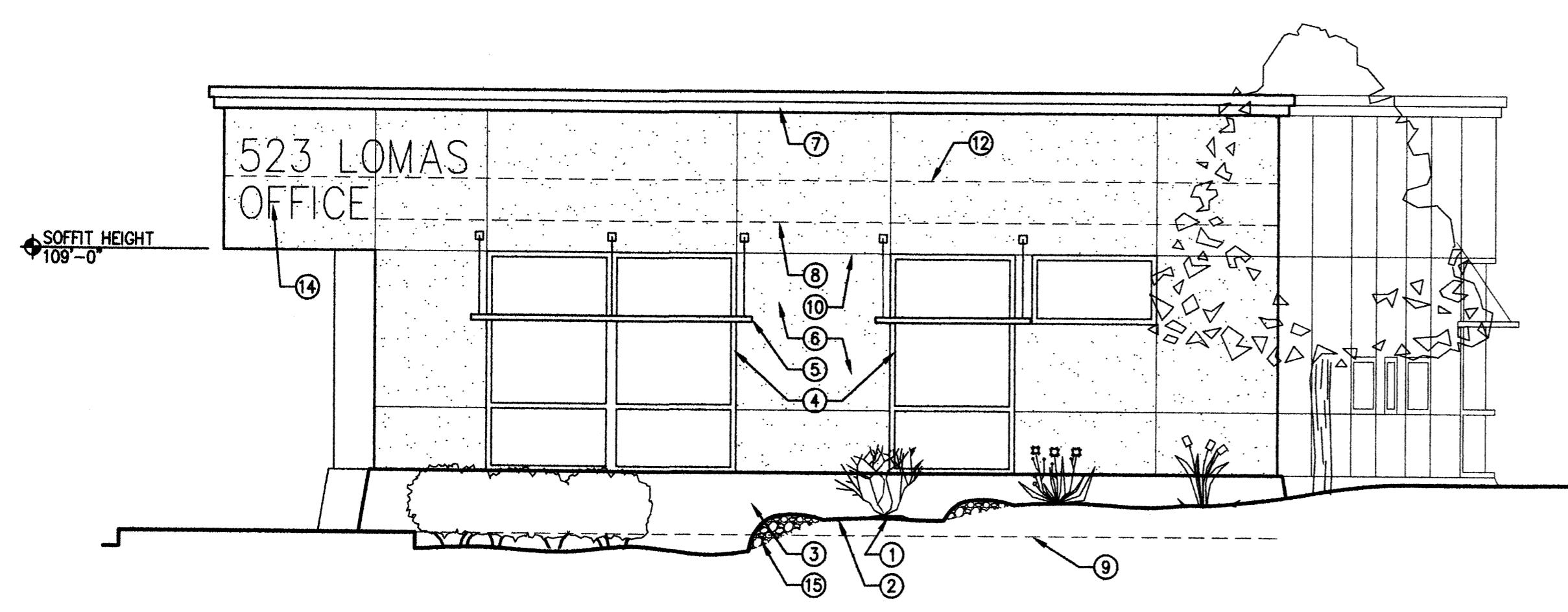
NORTH ELEVATION

1 1/4"=1'-0"



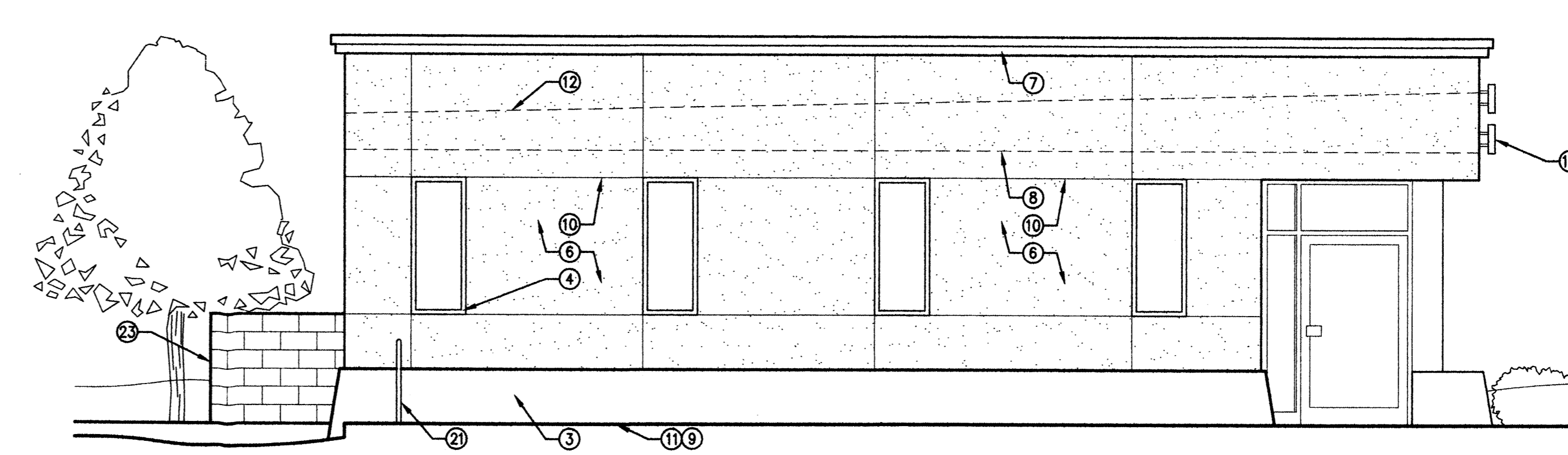
EAST ELEVATION

2 1/4"=1'-0"



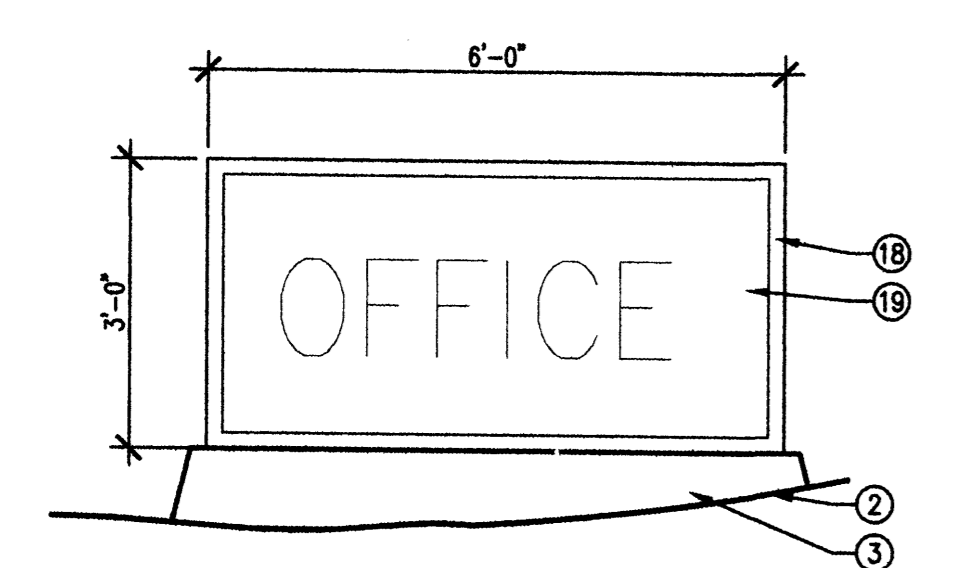
SOUTH ELEVATION

3 1/4"=1'-0"



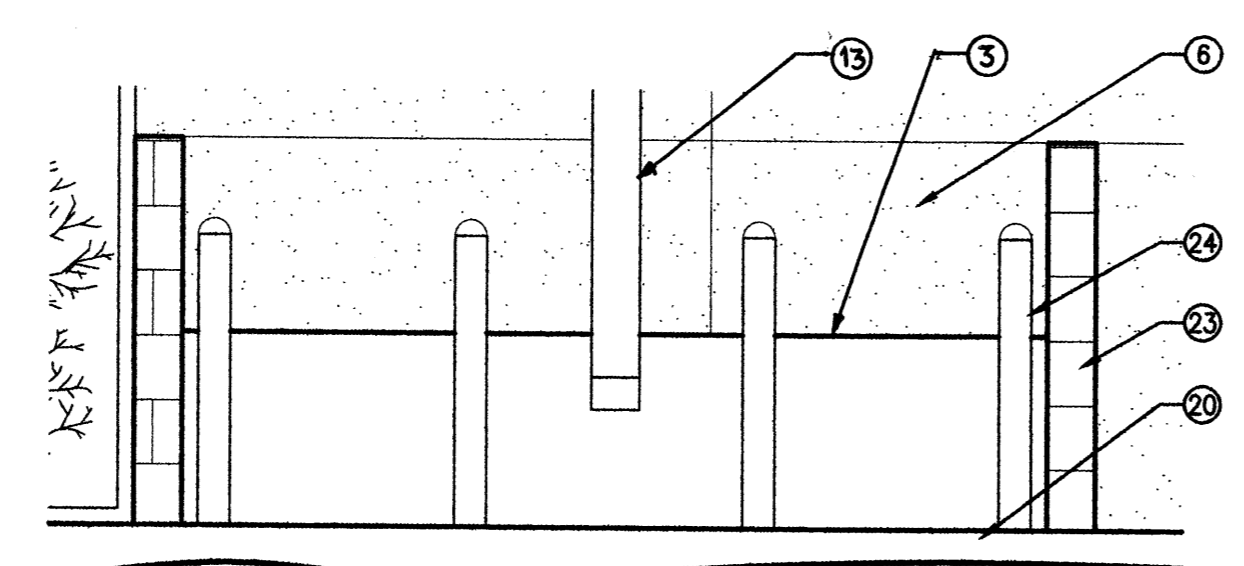
WEST ELEVATION

4 1/4"=1'-0"



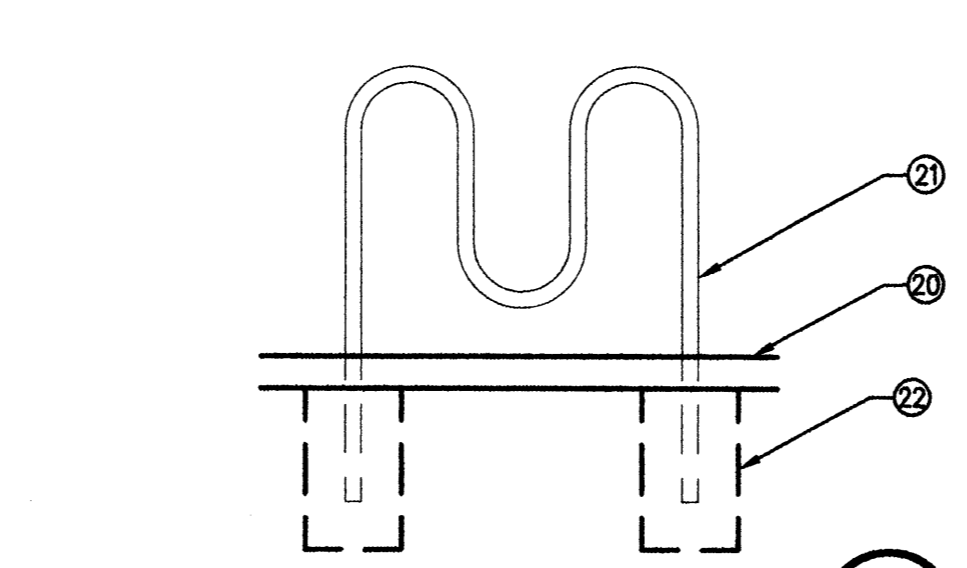
SIGN ELEVATION

5 1/2"=1'-0"



TRASH BIN ELEVATION

6 1/2"=1'-0"



BICYCLE RACK ELEV.

7 1/2"=1'-0"

PROJECT ARCHITECT: DAVID KELEHER Project #: 0601 Date: July 11, 2006

del sol Design

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523 LOMAS OFFICE BUILDING
SITE IMPROVEMENTS
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EXTERIOR ELEVATIONS

By: Arch_Elevations.dwg File: Elevations-tab CFC Sheet of A-2.0