



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

May 6, 2015

**Project# 1005029**

15DRB-70067 VACATION OF PUBLIC EASEMENTS

15DRB-70087 - FINAL PLAT APPROVAL

ISAACSON AND ARFMAN PA agents for WESTERN ALBUQUERQUE LAND HOLDINGS, LLC request the referenced/ above action for Tracts B & J, **THE CROSSING** and TRACT R, **STORMCLOUD UNIT 3**, zoned SU-2/R-LT and R-D, located on the south side of TIERRA PINTADA BLVD NW between ARKANSAS RD NW and CALLE AZULEJO NW containing approximately 86.2777 acres. (H-9)

*[Deferred from 3/11/15]*

At the May 6, 2015 the vacation was approved as shown on Exhibit B in the Planning file per section 14-14-7-2(a) (1) and (b) (1)(3) of the subdivision ordinance. The final plat was approved with final sign-off delegated to Planning for City Engineer signature, AMAFCA signature and AGIS dxf. approval.

Findings

The request was filed by the owner of the majority of the frontage for the proposed vacation.

The public welfare is in no way served by retaining the easement; based on the proposed replat, the City of Albuquerque does not anticipate any need to utilize the existing easement.

There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right. Property owners of record abutting the proposed vacation were notified by first class mail at least six days prior to the Development Review Board hearing approving the vacation and no objection regarding access or the abridgement of a substantial property right was raised.

CONDITIONS:

1. The turn key agreement with AMAFCA shall be fully executed.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by May 21, 2015 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Jack Cloud, DRB Chair

Emailed March 28, 2014

**To:** Angela Gomez, Development Review Board Secretary  
City of Albuquerque

**From:** Lynn M. Mazur, P.E., Development Review Engineer  
AMAFCA

**RE:** DRB COMMENTS FOR April 2, 2014

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P# 1005029

Stormcloud Subdivision, Units 4 and 5, (H-9)

1. No objection to extension of the vacation requests, which includes the Temporary Drainage Easement granted to AMAFCA by Plat 96C-302.
2. AMAFCA will not sign the Final Plat until the AMAFCA Quitclaim Deed is recorded. Per paragraph 2.5 of the Turnkey Agreement between the owner and AMAFCA, the deed will not be recorded until a Letter of Map Revision is received from FEMA.
3. If construction of the Mirehaven Arroyo improvements does not begin by December 2014, the agreement is null and void, and AMAFCA will not quitclaim / release the easement.

~~20140000025~~



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

April 2, 2014

### **Project# 1005029**

### **14DRB-70059 VACATION OF PUBLIC EASEMENTS**

ISAACSON AND ARFMAN PA agents for WESTERN ALBUQUERQUE LAND HOLDINGS, LLC request the referenced/ above action for Tracts B & J, THE CROSSING and TRACT R, STORMCLOUD UNIT 3, zoned SU-2/R-LT and R-D, located on the south side of TIERRA PINTADA BLVD NW between ARKANSAS RD NW and CALLE AZULÉJO NW containing approximately 86.2777 acres. (H-9)

At the April 2, 2014 Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file per section 14-14-7-2(A)(1) and (B) (1)(3) of the Subdivision Ordinance.

#### Findings

The request was filed by the owner of all the frontage of the proposed vacation.

Based on the proposed replat, the public welfare is in no way served by retaining the easement(s).

There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right. Property owners of record abutting the proposed vacation were notified by first class mail at least six days prior to the Development Review Board hearing approving the vacation and no objection regarding access or the abridgement of a substantial property right was raised.

#### CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by April 17, 2014 in the manner described below.

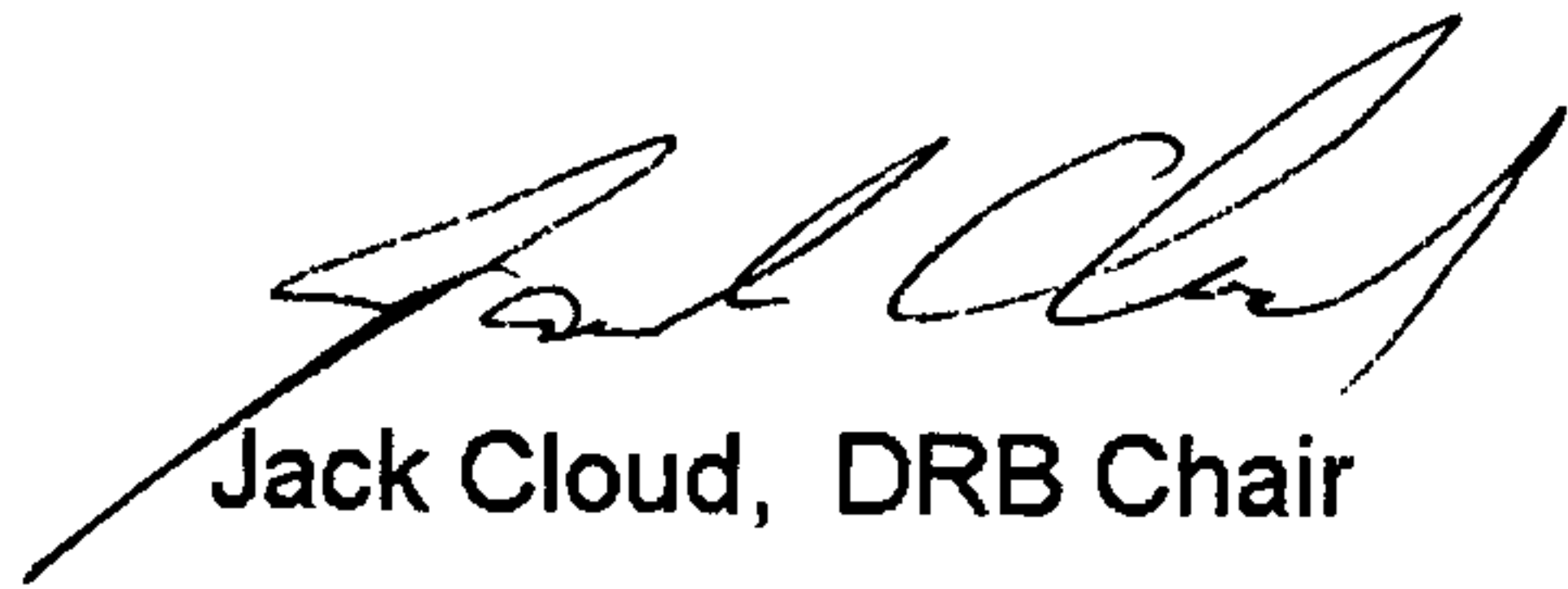
Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

A handwritten signature in black ink, appearing to read "Jack Cloud", is written over a horizontal line.

Jack Cloud, DRB Chair

Cc: ISAACSON AND ARFMAN PA  
File



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

April 10, 2013

**Project# 1005029**

13DRB-70478 VACATION OF PUBLIC EASEMENTS

ISAACSON AND ARFMAN PA agent(s) for WESTERN ALBUQUERQUE LAND HOLDINGS, LLC request(s) the referenced/ above action(s) for for all or a portion of Tract(s) B & J, **THE CROSSING** and Tract R **STORMCLOUD UNIT 3** zoned SU-2 RLT and RD, located on the south side of TIERRA PINTADA BLVD NW between ARKANSAS RD NW and CALLE AZULEJO NW containing approximately 55.2416 acre(s). (H-9)

At the April 10, 2013 Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file per section 14-14-7-2(A)(1) and (B) (1)(3) of the Subdivision Ordinance.

Findings

The Subdivision Ordinance, Section 14-14-7-2, specifies that a vacation may be approved only when the following items are determined:

**The public welfare is in no way served by retaining the way or easement;**

The City of Albuquerque does not anticipate any need to utilize the existing easement for roadway purposes.

**There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.**

Property owners of record abutting the proposed vacation were notified by first class mail at least six days prior to the Development Review Board hearing approving the vacation and no objection regarding access or the abridgement of a substantial property right was raised.

CONDITIONS:

1. Final disposition shall be through the City Real Estate Office
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by April 25, 2013 in the manner described below.

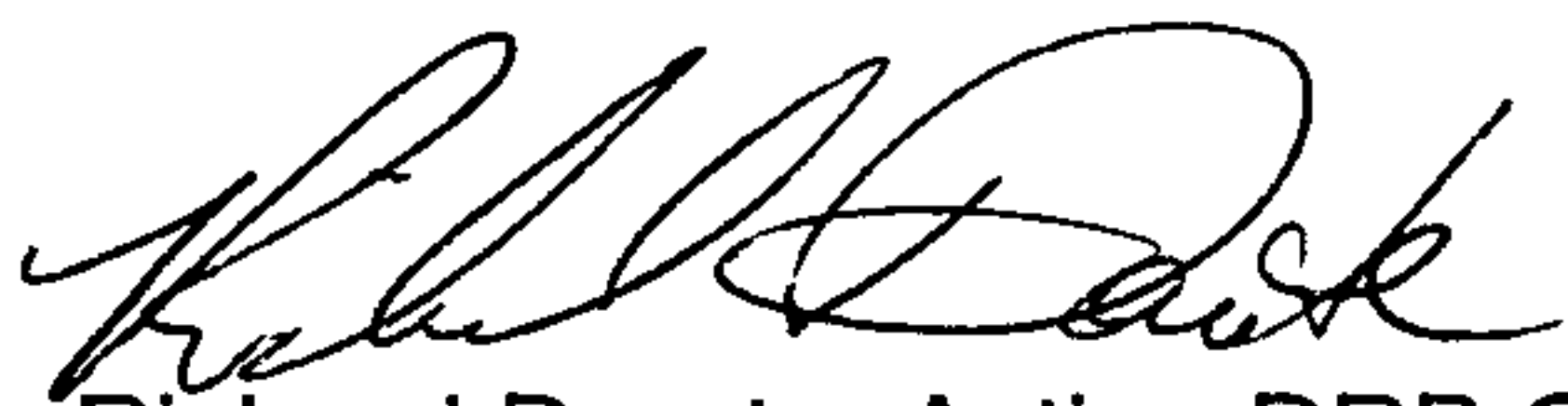
Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Richard Dourte, Acting DRB Chair

Cc: ISAACSON AND ARFMAN PA  
Marilyn Maldonado  
File



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

March 27, 2013

**Project# 1005029**

13DRB-70482 EXT OF MAJOR PRELIMINARY PLAT  
13DRB-70483 AMENDMENT TO PRELIMINARY PLAT

ISAACSON AND ARFMAN PA request(s) the above action(s) for all or a portion of Tract(s) B & J THE CROSSING TRACT R, **STORMCLOUD Unit(s) 3**, zoned SU-2R-LT, located on TIERRA PINTADA BLVD NW BETWEEN UNSER AND 98TH ST containing approximately 55.2416 acre(s). [REF: 06DRB01234, 01235, 01236, 01398, 12DRB70045, 70046, 70047, 70277] (H-09)

At the March 27, 2013 Development Review Board meeting, the one-year extension of the preliminary plat was approved. The amended preliminary plat was approved.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

If you wish to appeal this decision, you must do so by April 11, 2013 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing. You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Jack Cloud, DRB Chair

Cc: ISAACSON AND ARFMAN PA  
Marilyn Maldonado  
file



DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1005029

Application #: 13DRB-70547, 13DRB-70548,  
13DRB-70555

Project Name: TBKA STORMCLOUD SUBDIVISION UNIT 4 & STORMCLOUD SUBDIVISION UNIT 5)

Agent: ISAACSON & ARFMAN PA Phone #:

\*\*Your request was approved on 5-22-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed\*\*

TRANSPORTATION:  
\_\_\_\_\_  
\_\_\_\_\_

ABCWUA:  
\_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER / AMAFCA: to review  
\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP:  
\_\_\_\_\_  
\_\_\_\_\_

PLANNING (Last to sign): AMAFCA  
\_\_\_\_\_  
\_\_\_\_\_

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.



**DEVELOPMENT REVIEW BOARD**

**Action Sheet**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

May 22, 2013 9:00 am

MEMBERS:



**Jack Cloud, DRB Chair**

**Angela Gomez, Administrative Assistant**

**Kristal Metro, Transportation Development  
Curtis Cherne, City Engineer**

**Allan Porter, ABCWUA  
Carol Dumont, Parks & Recreation**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND  
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

1. **Project# 1008124**  
13DRB-70551 EPC APPROVED SDP  
FOR BUILD PERMIT  
13DRB-70552 EPC APPROVED SDP  
FOR SUBDIVISION   
  
ZANE ROSS agent(s) for MURPHY OIL USA request(s)  
the above action(s) for all or a portion of Lot(s) A-1-A1,  
**AMERICAN SQUARE** zoned C-1, located on NE  
CORNER OF CARLISLE AND PHOENIX containing  
approximately 1.1 acre(s). (H-16) **INDEFINITELY  
DEFERRED.**
  
2. **Project# 1001360**  
13DRB-70553 AMENDED SDP FOR BP  
  
  
CLAUDIO VIGIL ARCHITECTS agent(s) for ARRAY  
TECHNOLOGIES request(s) the above action(s) for all or  
a portion of Lot(s) B1B1A1, **ALBUQUERQUE  
INDUSTRIAL PARK** zoned IP, located on EAST END  
OF MIDWAY PL BETWEEN BALLOON PARK AND  
OFFICE BLVD containing approximately 6.1604 acre(s).  
(E-7) **THE AMENDED SITE PLAN FOR BUILDING  
PERMIT WAS APPROVED WITH FINAL SIGN OFF  
DELEGATED TO TRANSPORTATION FOR RECORDING  
INFORMATION AND REVISIONS AND TO PLANNING  
FOR FULL COLOR RENDERINGS FOR ALL SIDES AND  
ZONING MUST REVIEW.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

3. **Project# 1005029**  
13DRB-70547 MAJOR - FINAL PLAT  
APPROVAL  
13DRB-70548 AMENDMENT TO  
PRELIMINARY PLAT (AIL)  
13DRB-70555 AMENDMENT TO  
PRELIMINARY PLAT (AIL)  
  
ISAACSON AND ARFMAN PA agent(s) for WESTERN  
ALBUQUERQUE LAND HOLDINGS, LLC request(s) the  
above action(s) for all or a portion of Tract(s) B & J & R,  
**STORMCLOUD (TBKA STORMCLOUD  
SUBDIVISION UNIT 4 & STORMCLOUD  
SUBDIVISION UNIT 5)** zoned SU-2 R-LT, located on  
TIERRA PINTADA BLVD NW WEST OF UNSER  
BLVD NW containing approximately 31.0361 acre(s). (H-9)  
**THE INFRASTRUCTURE LISTS WERE APPROVED.  
THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-  
OFF DELEGATED TO CITY ENGINEER AND TO  
PLANNING FOR AMAFCA SIGNATURE AND TO  
RECORD.**

November 23, 2010

Mr. Jack Cloud, Chair  
Development Review Board  
Planning Department  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**Re: Stormcloud Subdivision, Unit 3  
COA Project No. 1004233**

**Stormcloud Subdivision, Units 4 & 5  
COA Project No. 1005029**

**Subject: Owner Authorization**

Dear Mr. Cloud:

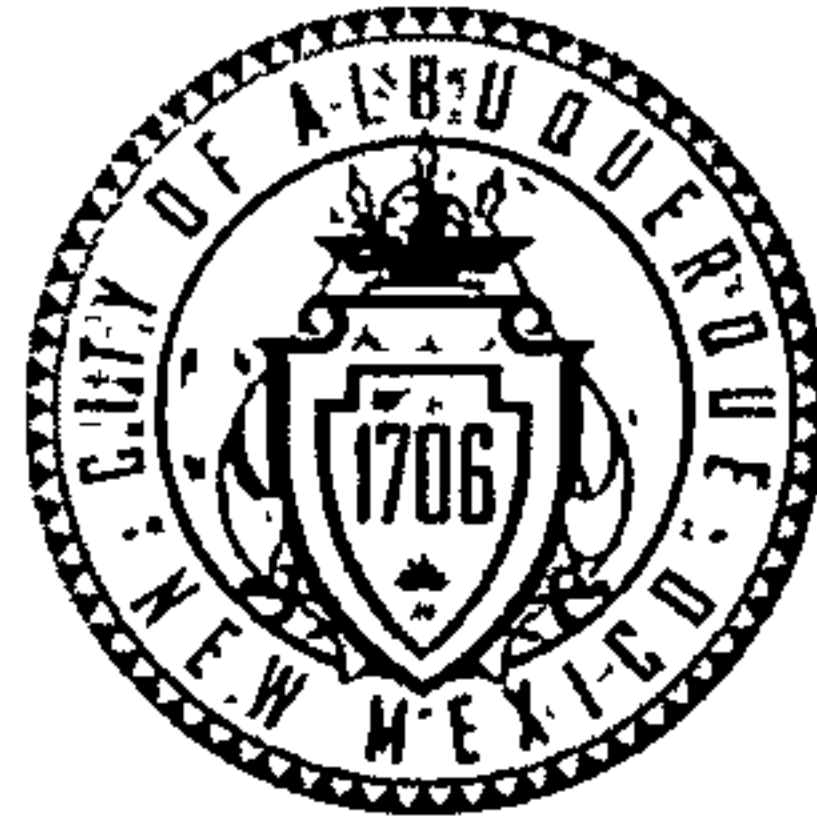
Douglas Wilson Companies, Receiver for Westland DevCo, L.P. per Case No. CV-2009-14749, in the State of New Mexico County of Bernalillo Second Judicial District Court, authorizes Garrett Development Corporation, Garrett Real Estate Development and Isaacson & Arfman, P.A. to obtain information and submit all entitlement and permit applications associated with the above referenced subdivisions.

Douglas Wilson Companies, Receiver for Westland DevCo, L.P.

By:   
Terry Plowden

Its: Authorized Agent

450 B Street, Suite 1900  
San Diego, CA 92101  
Telephone: (619) 641-1141  
Fax: (619) 641-1150



**INTER-OFFICE MEMORANDUM**

**COMMENTING AGENCIES**

- TRANSPORTATION DEVELOPMENT .....*John MacKenzie*  
TRANSIT & PARKING DEPARTMENT .....*Shabih Rizvi*  
COUNCIL OF GOVERNMENTS.....*Kendra Watkins/Andrew Gingerich*  
AMAFCA.....*Lynn Mazur*  
APD CRIME PREVENTION.....*Steve Sink*  
OPEN SPACE DIVISION.....*Kent Reed Swanson/Sarah Brown*
- FIRE DEPARTMENT.....*Antonio Chinchilla*  
ZONING ENFORCEMENT INSPECTOR.....*Vince Montano*  
NEIGHBORHOOD COORDINATION.....*Stephani Winklepleck*  
PNM.....*Daniel Aragon*  
NEW MEXICO GAS COMPANY.....*Patrick Sanchez*  
ALBUQUERQUE PUBLIC SCHOOLS.....*April Winters*  
COMCAST CABLE.....*Mike Mortus*  
Mid.Rio Grande Conserv. Dist. (MRGCD).....*Ray Gomez*  
ENVIRONMENTAL HEALTH.....*Paul Olson*

*Your comments on the following case(s) are requested.*

PROJECT # 1005029

**Board hearing date:**

**WEDNESDAY, March 11, 2015**



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, March 11, 2015**, beginning at **9:00 a.m.** and proceeding according to that day's agenda for the purpose of considering the following items. The Development Review Board will hold a Pre-Hearing Discussion in the Conference Room of Suite 201, Lobby Level, Plaza del Sol Building, 600 2nd St NW, Albuquerque, NM on **Tuesday, March 10, 2015** beginning at 3:00 p.m. for the purpose of reviewing these items prior to the public hearing; no action or public comments will be taken at this Discussion.

**Project# 1005029**  
**15DRB-70067 VACATION OF PUBLIC  
EASEMENTS**

ISAACSON AND ARFMAN PA agents for WESTERN ALBUQUERQUE LAND HOLDINGS, LLC request the referenced/ above action for Tracts B & J, **THE CROSSING** and **TRACT R, STORMCLOUD UNIT 3**, zoned SU-2/R-LT and R-D, located on the south side of **TIERRA PINTADA BLVD NW** between **ARKANSAS RD NW** and **CALLE AZULEJO NW** containing approximately 86.2777 acres. (H-9)

**Project# 1010373**  
**15DRB-70066 VACATION OF PUBLIC UTILITY  
EASEMENT**

CARTESIAN SURVEYS INC agents for HYLIN LLC request the referenced/ above action on a portion of Lot 22-A, Block 109, **SNOW HEIGHTS ADDITION** zoned C-1, located on the south side of **MENAU BLVD NE** between **MORRIS ST NE** and **PROSPECT AVE NE** containing approximately 2.0157 acres. (H-21)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

  
Jack Cloud, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, February 23, 2015.**



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Isaacson & Arfman, P.A. PHONE: 268-8828

ADDRESS: 128 Monroe Street NE FAX: \_\_\_\_\_

CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: asaw@iacivil.com

APPLICANT: Western Albuquerque Land Holdings, LLC PHONE: (480) 970-4003

ADDRESS: c/o Garrett Development Corporation  
6991 East Camelback Road, Suite D-212 FAX: \_\_\_\_\_

CITY: Scottsdale STATE AZ ZIP 85251 E-MAIL: \_\_\_\_\_

Proprietary interest in site: Owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Approval of Vacation of Public Easement

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tracts B & J, The Crossing and Tract R Block: \_\_\_\_\_ Unit: 3

Subdiv/Addn/TBKA: Stormcloud (tbka Stormcloud Subdivision Unit 4 and 5)

Existing Zoning: SU-2/R-LT Proposed zoning: Same MRGCD Map No NA

Zone Atlas page(s): H-9 UPC Code: 100905913119031506 100905919825731507  
100905905513832161

CASE HISTORY: 13DRB-70438; 13DRB-70478; 13DRB-70483; 13DRB-70495; 13DRB-70547; 13DRB-70548; 14DRB-70044  
List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 06DRB-01234;

06DRB-01235; 06DRB-01236; 06DRB-01045; 06DRB-01398; 09DRB-70371; 09DRB-70394; 10DRB-70258; 11DRB-70163; 12DRB-70043;

CASE INFORMATION: 12DRB-70044; 12DRB-70045; 12DRB-70046; 12DRB-70047; 12DRB-70277; 14DRB-70059; 14DRB-70044

Within city limits?  Yes Within 1000FT of a landfill?  No

No. of existing lots: 4 No. of proposed lots: 259 Total site area (acres): 86.2777

LOCATION OF PROPERTY BY STREETS: On or Near: Tierra Pintada Blvd. NW

Between: West of Unser Blvd. NW and \_\_\_\_\_

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: 06/22/2011

SIGNATURE Asa Nilsson-Weber DATE 2-13-15

(Print Name) Asa Nilsson-Weber Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

**INTERNAL ROUTING**

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

15DRB-70067

Action

VPE  
CMF  
ADV

S.F.

Fees

\_\_\_\_\_ \$ 225.00

\_\_\_\_\_ \$ 20.00

\_\_\_\_\_ \$ 75.00

\_\_\_\_\_ \$ \_\_\_\_\_

\_\_\_\_\_ \$ \_\_\_\_\_

Total

\$ 320.00

Hearing date

March 11, 2015

2-17-15

Project # 1005029

Staff signature & Date

**FORM V: SUBDIVISION VARIANCES & VACATIONS**

- BULK LAND VARIANCE (DRB04)** **(PUBLIC HEARING CASE)**  
 \_\_\_ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**  
 \_\_\_ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.  
 \_\_\_ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)  
 \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
 \_\_\_ Sign Posting Agreement  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**VACATION OF PUBLIC EASEMENT (DRB27)** Five

- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**  
 The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**  
 (Not required for City owned public right-of-way.)  
 Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**  
 Zone Atlas map with the entire property(ies) clearly outlined  
 Letter briefly describing, explaining, and justifying the request  
 Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
 Sign Posting Agreement  
 Fee (see schedule)  
 List any original and/or related file numbers on the cover application  
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**SIDEWALK VARIANCE (DRB20)**

- SIDEWALK WAIVER (DRB21)**  
 \_\_\_ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the variance or waiver  
 \_\_\_ List any original and/or related file numbers on the cover application  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

**SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**

- \_\_\_ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the variance  
 \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
 \_\_\_ Sign Posting Agreement  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
**DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**

- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**  
 \_\_\_ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the deferral or extension  
 \_\_\_ List any original and/or related file numbers on the cover application  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

**VACATION OF PRIVATE EASEMENT (DRB26)**

- VACATION OF RECORDED PLAT (DRB29)**  
 \_\_\_ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**  
 \_\_\_ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**  
 \_\_\_ Letter of authorization from the grantors and the beneficiaries (private easement only)  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Åsa Nilsson-Weber

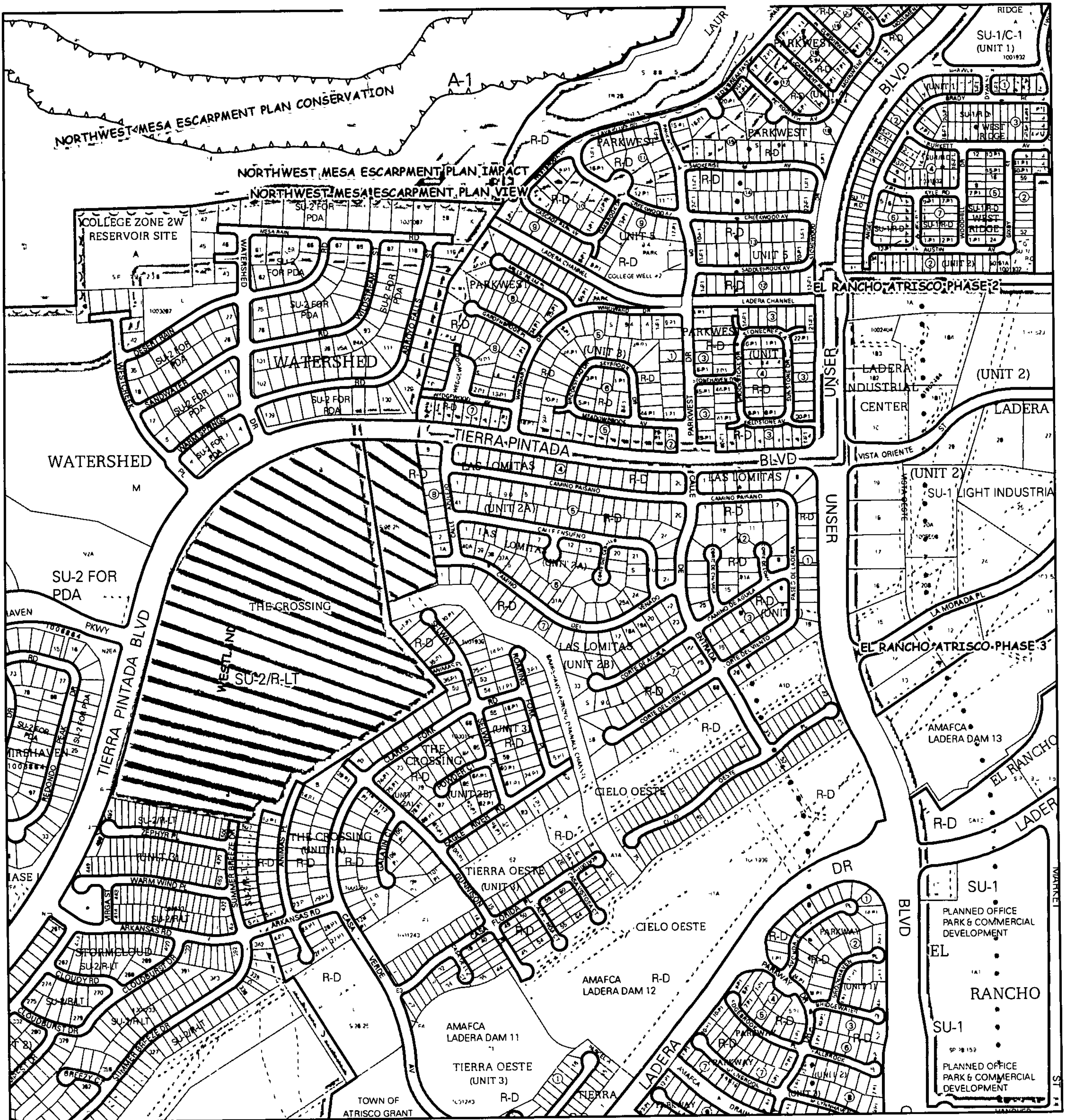
Åsa Nilsson-Weber Applicant name (print)  
Åsa Nilsson-Weber 2-13-15 Applicant signature / date



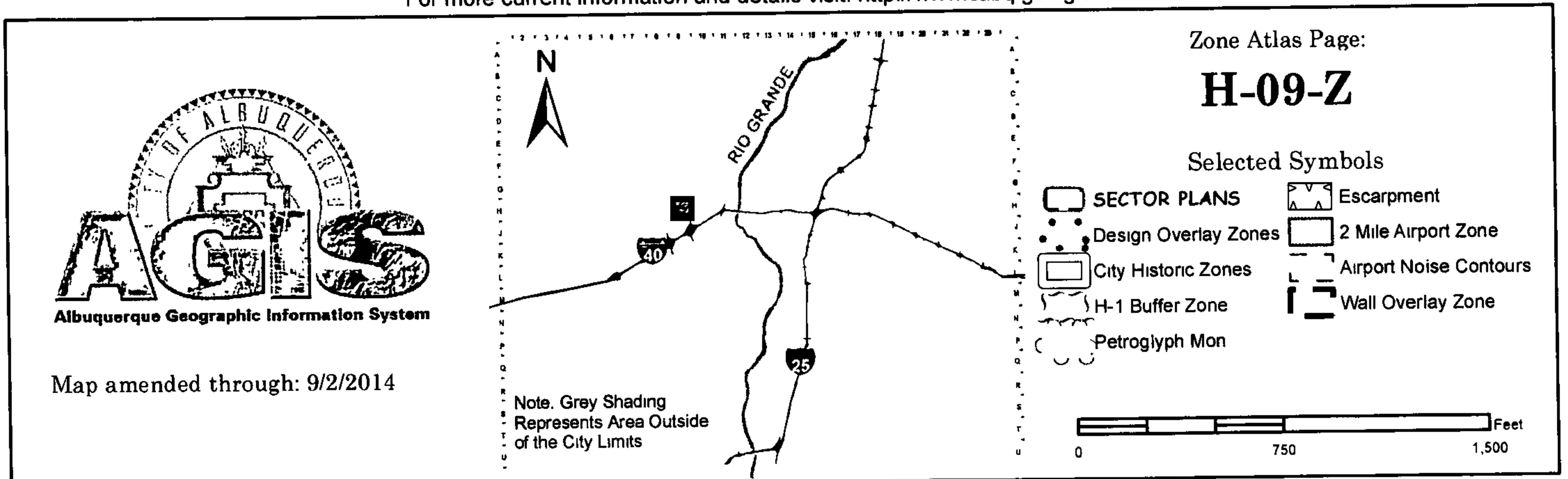
Form revised 4/07

- Checklists complete  
 Fees collected  
 Case #s assigned  
 Related #s listed
- Application case numbers  
15 - DRB - 70067  
 \_\_\_\_\_  
 \_\_\_\_\_

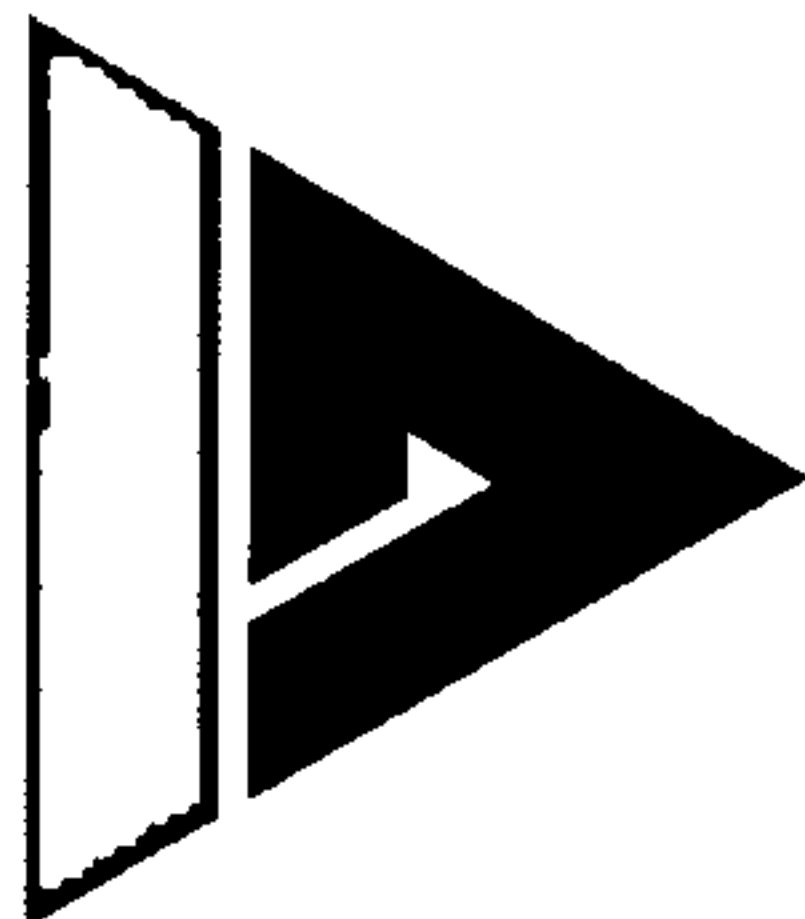
[Signature] 2-17-15  
 Planner signature / date  
 Project # 1005029



For more current information and details visit: <http://www.cabq.gov/gis>







**Isaacson & Arfman, P.A.** Consulting Engineering Associates

*Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE*

February 13, 2015

Mr. Jack Cloud  
DRB Chair  
City of Albuquerque  
600 2nd Street NW  
Albuquerque, NM 87103

**RE: Stormcloud Subdivisions, Units 4 & 5  
(Existing Legal: Tracts B & J, The Crossings and Tract R, Stormcloud Unit 3)  
Zone Atlas Map: H-9  
DRB Project No. 1005029**

Dear Mr. Cloud:

Isaacson & Arfman, acting as agents for the Owner of the above referenced site, is submitting a request for vacation of easements for the referenced project.

The site is located east and south of Tierra Pintada Blvd, NW and west of Unser Blvd, NW--see attached zone atlas map. Mirehaven Arroyo separates the two units with Unit 5 on the north side and Unit 4 on the south side.

This vacation request was approved at DRB last year but approval expires April 2, 2015. The request includes vacation of temporary drainage easements, a temporary roadway easement, portion of a waterline easement and a public utility easement as shown on the attached Easement Vacation Exhibit. New easements will be granted where applicable.

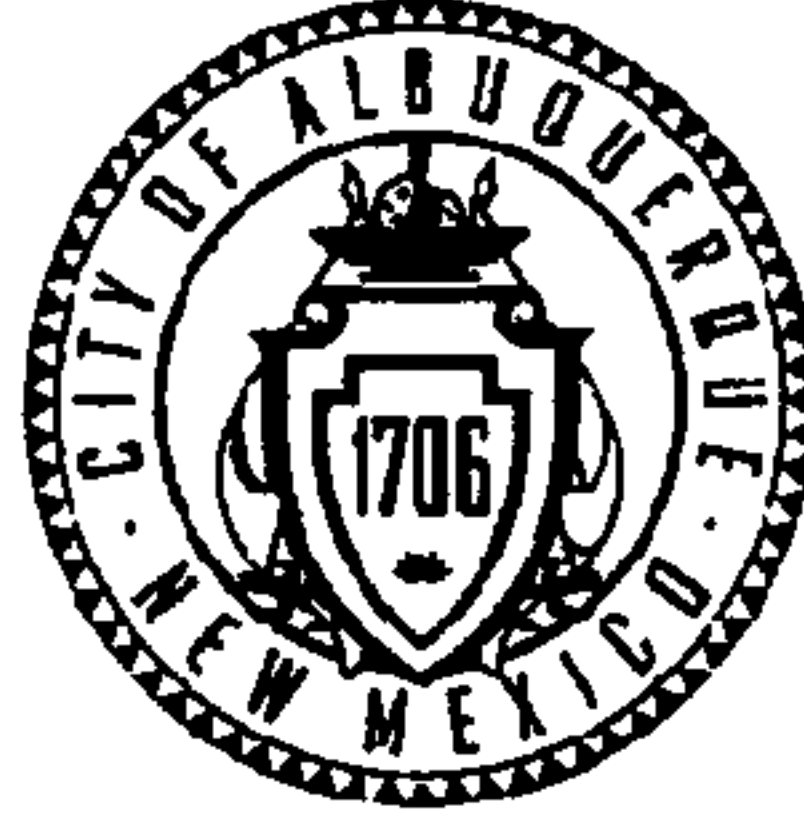
Please call me at 268-8828 if you have questions regarding this submittal. Thank you.

Sincerely,

**ISAACSON & ARFMAN, P.A.**

Asa Nilsson-Weber, P.E.

Attachments



## City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

**PLEASE NOTE:** The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office

February 12, 2015

Ruth Lozano  
Isaacson and Arfman, P.A.  
128 Monroe St. NE/87108  
Phone: (505) 268-8828/Fax: (505) 268-2632  
E-Mail: [Ruthl@iacivil.com](mailto:Ruthl@iacivil.com)

Dear Ruth:

Thank you for your inquiry of **February 12, 2015** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) – TRACTS B & J, THE CROSSING AND TRACT R, STORMCLOUD, UNIT 3, LOCATED ON TIERRA PNTADA BOULEVARD NW BETWEEN WEST OF UNSER BOULEVARD NW** zone map **H-9**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this submittal and the contact names are as follows:

**LAS LOMITAS N.A. "R"**

Mario Gonzales, 8104 Corte Del Viento NW/87120 259-4948 (c)  
David Skowran, 8116 Corte De Aguila NW/87120 839-9058 (h)

**TRES VOLCANES N.A. "R"**

Thomas Borst, 1908 Selway Pl. NW/87120 352-6563 (h)  
Antionette Lopez, 9774 Summer Shower Pl. NW/87120 710-7084 (c)

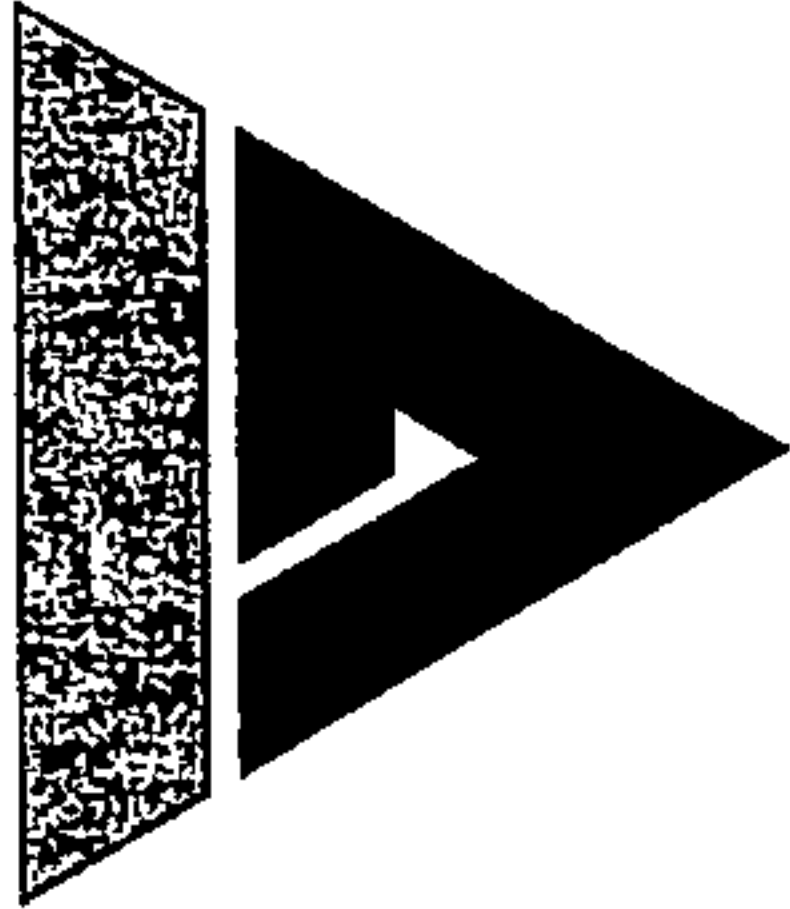
Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

*Stephani Winklepleck*

Stephani Winklepleck  
Neighborhood Liaison  
OFFICE OF NEIGHBORHOOD COORDINATION  
Planning Department

**LETTERS MUST BE SENT TO BOTH CONTACTS  
OF EACH NEIGHBORHOOD AND/OR  
HOMEOWNER ASSOCIATION FOR THIS  
PLANNING DEPARTMENT SUBMITTAL.**



# Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

February 13, 2015

CERTIFIED MAIL – 7005 1160 0001 1329 9133

Mr. Mario Gonzalez  
Las Lomas Neighborhood Association  
8104 Corte Del Viento NW  
Albuquerque, NM 87120

**RE: Stormcloud Subdivision Units 4 & 5  
(DRB Project No. 1005029)**

Dear: Mr. Gonzales:

As the consulting engineers for the above referenced site located east of Tierra Pintada (see attached zone map), we are writing this letter to inform the Las Lomas Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval for easement vacations.

The site will be developed in two units with a total of 241 single-family residential lots with the Mirehaven Arroyo separating the two units. Unit 4 is located south of the arroyo and has 154 lots, and Unit 5 is located north of the arroyo and has 87 lots. The easements requested to be vacated are temporary drainage easements, a waterline easement, a temporary turnaround easement, and a public utility easement.

The hearing date will take place in approximately 4 weeks. Please check the City DRB agenda for hearing date on the following web site:

<http://www.cabq.gov/planning/boards-and-commissions/development-review-board/agendas-actions/>

Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,  
**ISAACSON & ARFMAN, P.A.**

Asa Nilsson-Weber, PE  
Attachment

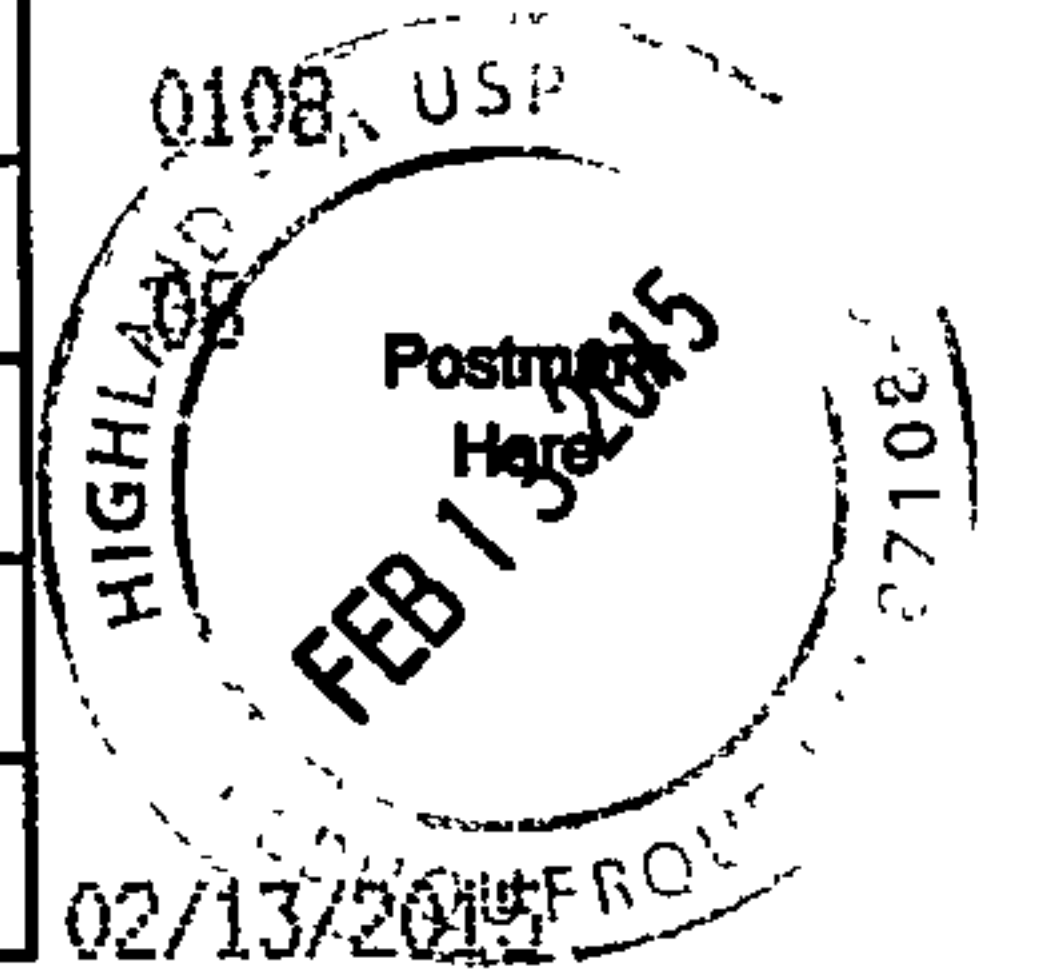
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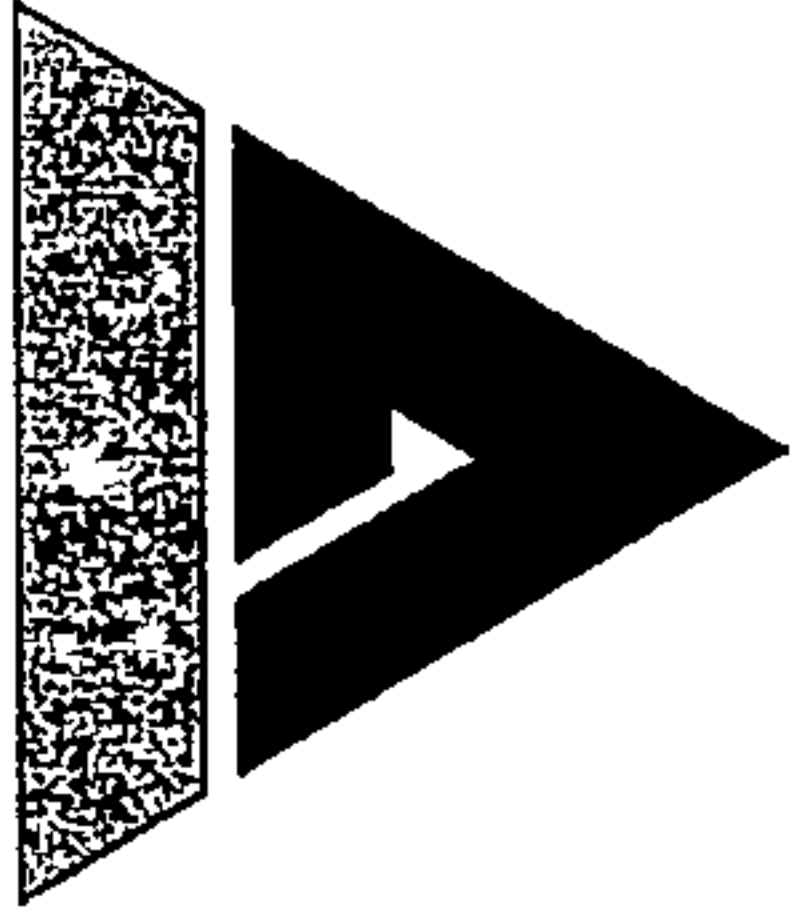
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<b>Total Postage &amp; Fees</b>	<b>\$ 6.49</b>



Sent To: Mario Gonzalez  
 Street, Apt. No.; or PO Box No.: Las Lomas Neighborhood Assoc.  
 8104 Corte Del Viento NW  
 City, State, ZIP+4: Albuquerque, NM 87120



# Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

February 13, 2015

CERTIFIED MAIL – 7005 1160 0001 1329 9140

Mr. David Skowran  
Las Lomas Neighborhood Association  
8116 Corte De Aguila NW  
Albuquerque, NM 87120

**RE: Stormcloud Subdivision Units 4 & 5  
(DRB Project No. 1005029)**

Dear: Mr. Skowran:

As the consulting engineers for the above referenced site located east of Tierra Pintada (see attached zone map), we are writing this letter to inform the Las Lomas Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval for easement vacations.

The site will be developed in two units with a total of 241 single-family residential lots with the Mirehaven Arroyo separating the two units. Unit 4 is located south of the arroyo and has 154 lots, and Unit 5 is located north of the arroyo and has 87 lots. The easements requested to be vacated are temporary drainage easements, a waterline easement, a temporary turnaround easement, and a public utility easement.

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Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,  
**ISAACSON & ARFMAN, P.A.**

Asa Nilsson-Weber, PE  
Attachment

128 Monroe St. N.E. • Albuquerque, NM

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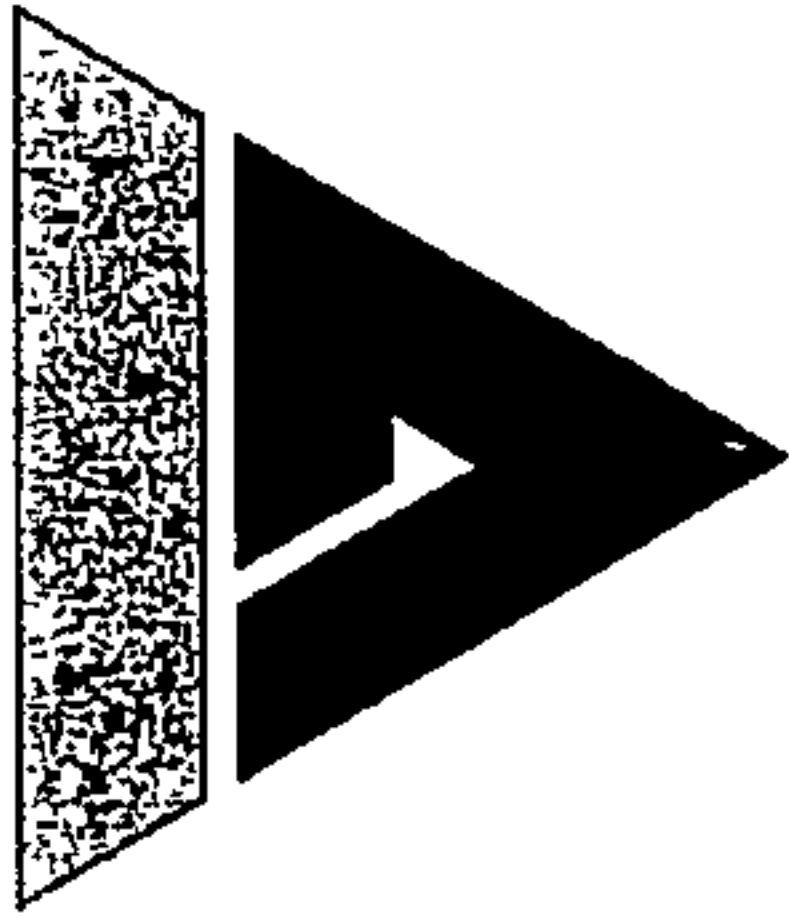
ALBUQUERQUE, NM 87120

02/13/2015

Postmark Here

Sent To: David Skowran  
Street, Apt. No.; or PO Box No.: Las Lomas Neighborhood Assoc.  
8116 Corte De Aguila NW  
City, State, ZIP+4: Albuquerque, NM 87120

PS Form 3800, June 2002 See Reverse for Instructions



# Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

February 13, 2015

CERTIFIED MAIL – 7005 1160 0001 1329 9157

Mr. Thomas Borst  
Tres Volcanes Neighborhood Association  
1908 Selway Place NW  
Albuquerque, NM 87120

**RE: Stormcloud Subdivision Units 4 & 5  
(DRB Project No. 1005029)**

Dear: Mr. Borst:

As the consulting engineers for the above referenced site located east of Tierra Pintada (see attached zone map), we are writing this letter to inform the Tres Volcanes Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval for easement vacations.

The site will be developed in two units with a total of 241 single-family residential lots with the Mirehaven Arroyo separating the two units. Unit 4 is located south of the arroyo and has 154 lots, and Unit 5 is located north of the arroyo and has 87 lots. The easements requested to be vacated are temporary drainage easements, a waterline easement, a temporary turnaround easement, and a public utility easement.

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Please call me at 268-8828 if you have questions on this action. Thank you.

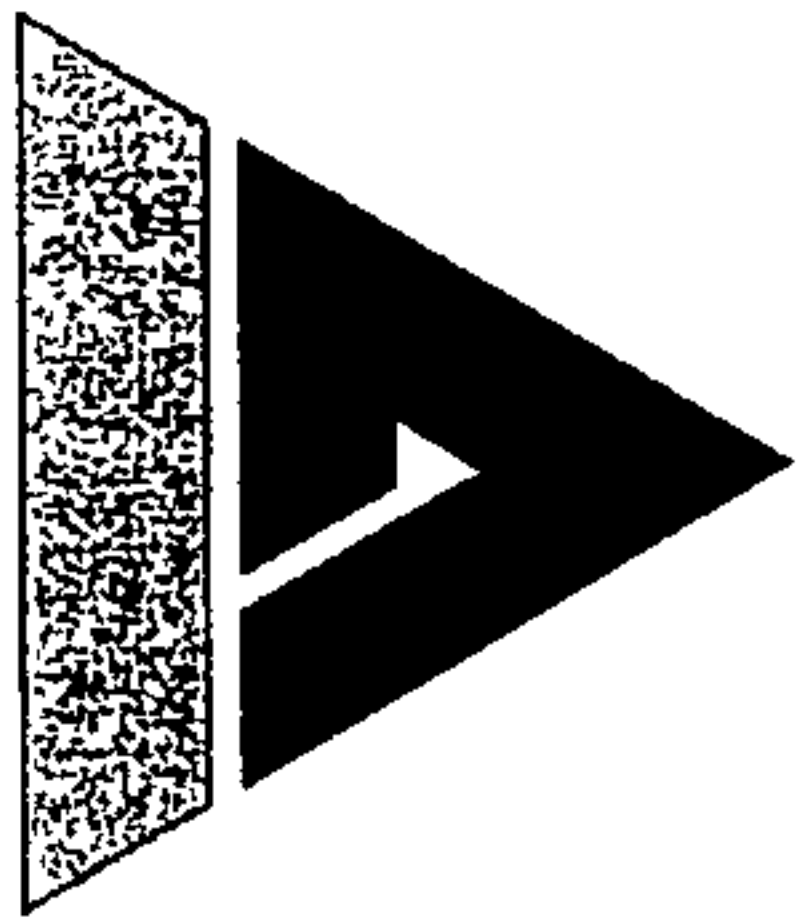
Sincerely,  
**ISAACSON & ARFMAN, P.A.**

Asa Nilsson-Weber, PE  
Attachment

128 Monroe St. N.E. • Albuquerque, NM

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<b>Total Postage &amp; Fees</b>	<b>\$</b>	<b>\$6.49</b>	
<b>Sent To</b>		Thomas Borst	
<b>Street, Apt. No., or PO Box No.</b>		Tres Volcanes Neighborhood Assoc	
<b>City, State, ZIP+4</b>		1908 Selway Place NW Albuquerque, NM 87120	
PS Form 3800 June 2002		See Reverse for Instructions	



# Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

February 13, 2015

CERTIFIED MAIL – 7005 1160 0001 1329 9164

Ms. Antionette Lopez  
Tres Volcanes Neighborhood Association  
9774 Summer Shower Place NW  
Albuquerque, NM 87120

**RE: Stormcloud Subdivision Units 4 & 5  
(DRB Project No. 1005029)**

Dear: Ms. Lopez:

As the consulting engineers for the above referenced site located east of Tierra Pintada (see attached zone map), we are writing this letter to inform the Tres Volcanes Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval for easement vacations.

The site will be developed in two units with a total of 241 single-family residential lots with the Mirehaven Arroyo separating the two units. Unit 4 is located south of the arroyo and has 154 lots, and Unit 5 is located north of the arroyo and has 87 lots. The easements requested to be vacated are temporary drainage easements, a waterline easement, a temporary turnaround easement, and a public utility easement.

The hearing date will take place in approximately 4 weeks. Please check the City DRB agenda for hearing date on the following web site:

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Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,  
ISAACSON & ARFMAN, P.A.

Asa Nilsson-Weber, PE  
Attachment

128 Monroe St. N.E. • Albuquerque, NM

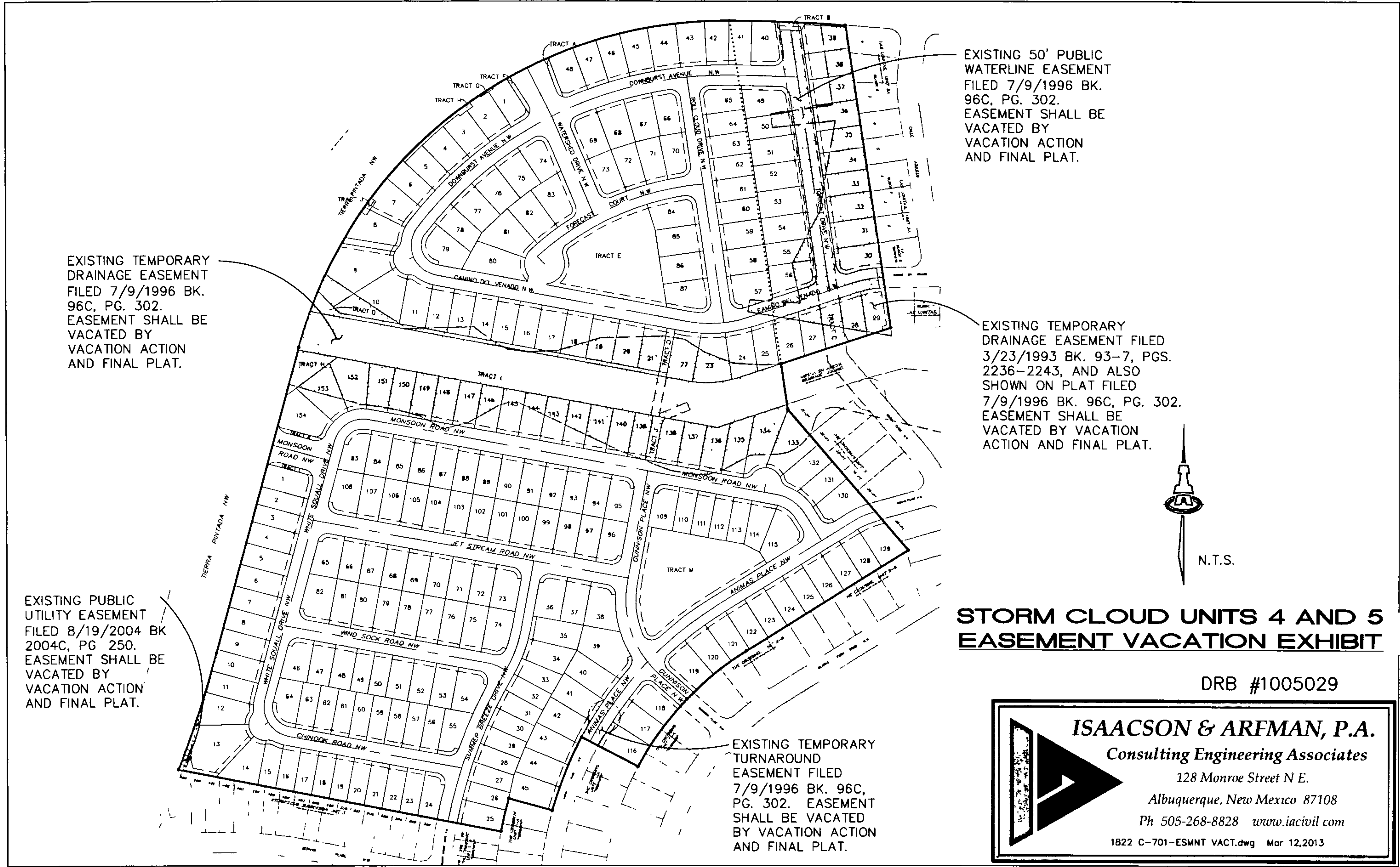
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02/13/2015

<b>Sent To</b>	
.....	Antionette Lopez
<b>Street, Apt. No.; or PO Box No.</b>	Tres Volcanes Neighborhood Assoc
<b>City, State, ZIP+4</b>	9774 Summer Shower Place NW Albuquerque, NM 87120

PS Form 3800, June 2002 See Reverse for Instructions



EXISTING TEMPORARY DRAINAGE EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.

EXISTING 50' PUBLIC WATERLINE EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.

EXISTING TEMPORARY DRAINAGE EASEMENT FILED 3/23/1993 BK. 93-7, PGS. 2236-2243, AND ALSO SHOWN ON PLAT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.



N.T.S.

EXISTING PUBLIC UTILITY EASEMENT FILED 8/19/2004 BK 2004C, PG 250. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.

EXISTING TEMPORARY TURNAROUND EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.

**STORM CLOUD UNITS 4 AND 5 EASEMENT VACATION EXHIBIT**

DRB #1005029



**ISAACSON & ARFMAN, P.A.**  
*Consulting Engineering Associates*  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph 505-268-8828 [www.iacivil.com](http://www.iacivil.com)  
 1822 C-701-ESMNT VACT.dwg Mar 12, 2013



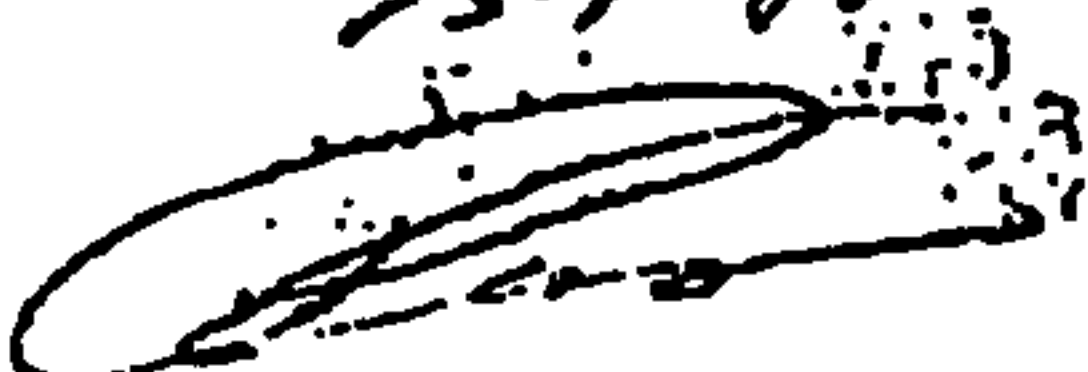






0002243

Land situated within projected Section 9, Township 10 North, Range 2 East, New Mexico Principal Meridian, within the Town of Atrisco Grant, City of Albuquerque, Bernalillo County, New Mexico, being within unplatted Lands of Westland Development Company, Inc. and Las Lunetas Unit II as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 20, 1993 in Volume 93C, Folio 20.

EXHIBIT C  
STATE OF NEW MEXICO  
COUNTY OF BERNALILLO  
53 MAR 23 AM 10:19  
93-7 2236-2243  


# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from Feb. 24, 2015 To March 11, 2015

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Ruth Lozano  
(Applicant or Agent)

2/17/15  
(Date)

I issued 2 signs for this application, 2-17-15  
(Date)

[Signature]  
(Staff Member)

DRB PROJECT NUMBER: 1005029



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

April 2, 2014

**Project# 1005029**  
14DRB-70059 VACATION OF PUBLIC EASEMENTS

ISAACSON AND ARFMAN PA agents for WESTERN ALBUQUERQUE LAND HOLDINGS, LLC request the referenced/ above action for Tracts B & J, THE CROSSING and TRACT R, STORMCLOUD UNIT 3, zoned SU-2/R-LT and R-D, located on the south side of TIERRA PINTADA BLVD NW between ARKANSAS RD NW and CALLE AZULEJO NW containing approximately 86.2777 acres. (H-9)

At the April 2, 2014 Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file per section 14-14-7-2(A)(1) and (B) (1)(3) of the Subdivision Ordinance.

### Findings

The request was filed by the owner of all the frontage of the proposed vacation.

Based on the proposed replat, the public welfare is in no way served by retaining the easement(s).

There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right. Property owners of record abutting the proposed vacation were notified by first class mail at least six days prior to the Development Review Board hearing approving the vacation and no objection regarding access or the abridgement of a substantial property right was raised.

### CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by April 17, 2014 in the manner described below.

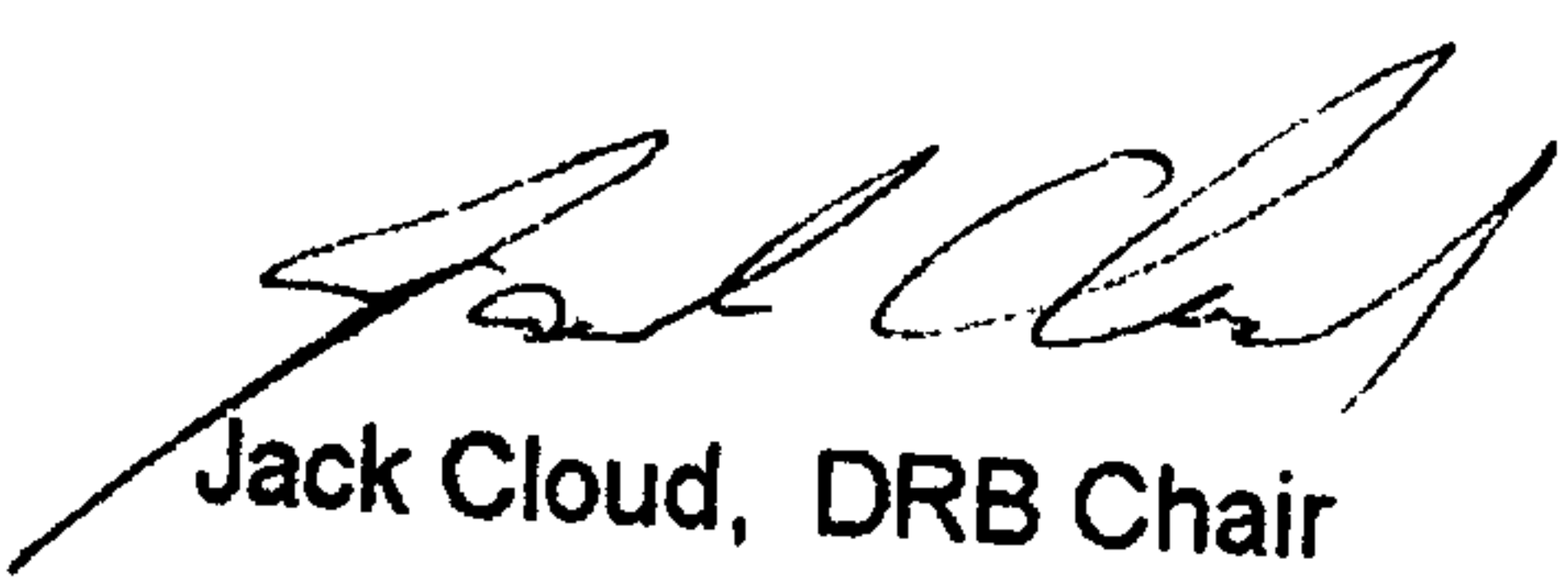
Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

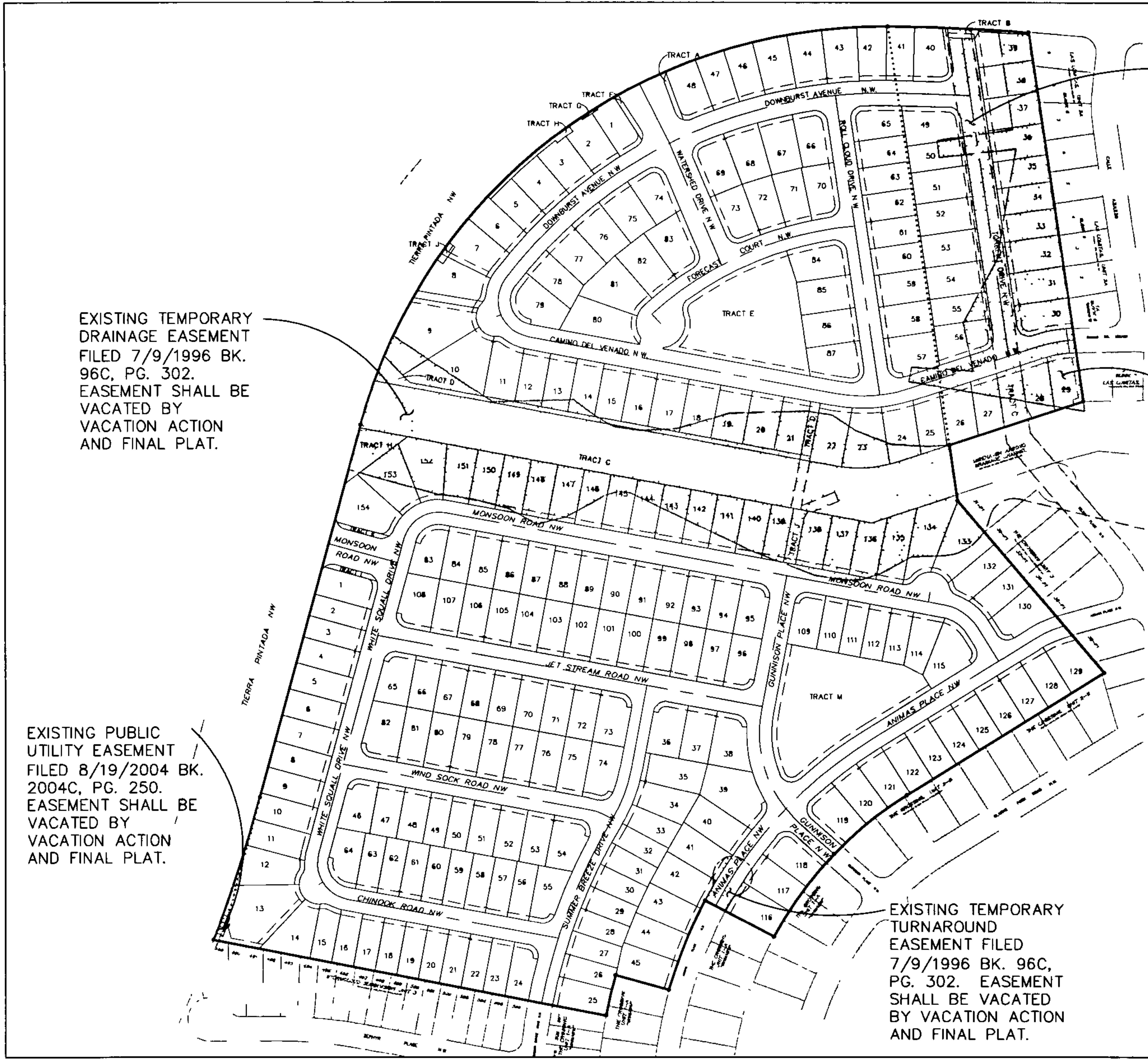
You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Jack Cloud, DRB Chair

Cc: ISAACSON AND ARFMAN PA  
File



EXISTING 50' PUBLIC WATERLINE EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT

EXISTING TEMPORARY DRAINAGE EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.

EXISTING TEMPORARY DRAINAGE EASEMENT FILED 3/23/1993 BK. 93-7, PGS. 2236-2243, AND ALSO SHOWN ON PLAT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.



N.T.S.

EXISTING PUBLIC UTILITY EASEMENT FILED 8/19/2004 BK. 2004C, PG. 250. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.

EXISTING TEMPORARY TURNAROUND EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.

**STORM CLOUD UNITS 4 AND 5 EASEMENT VACATION EXHIBIT**

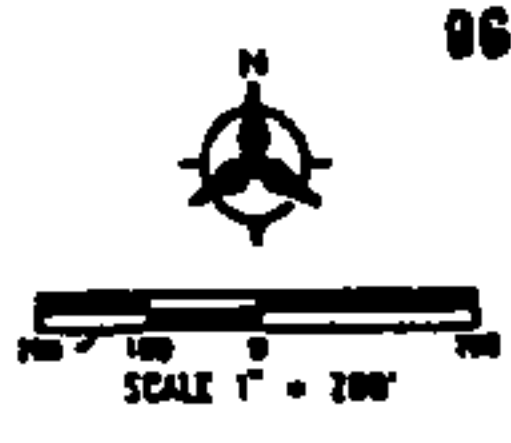
DRB #1005029



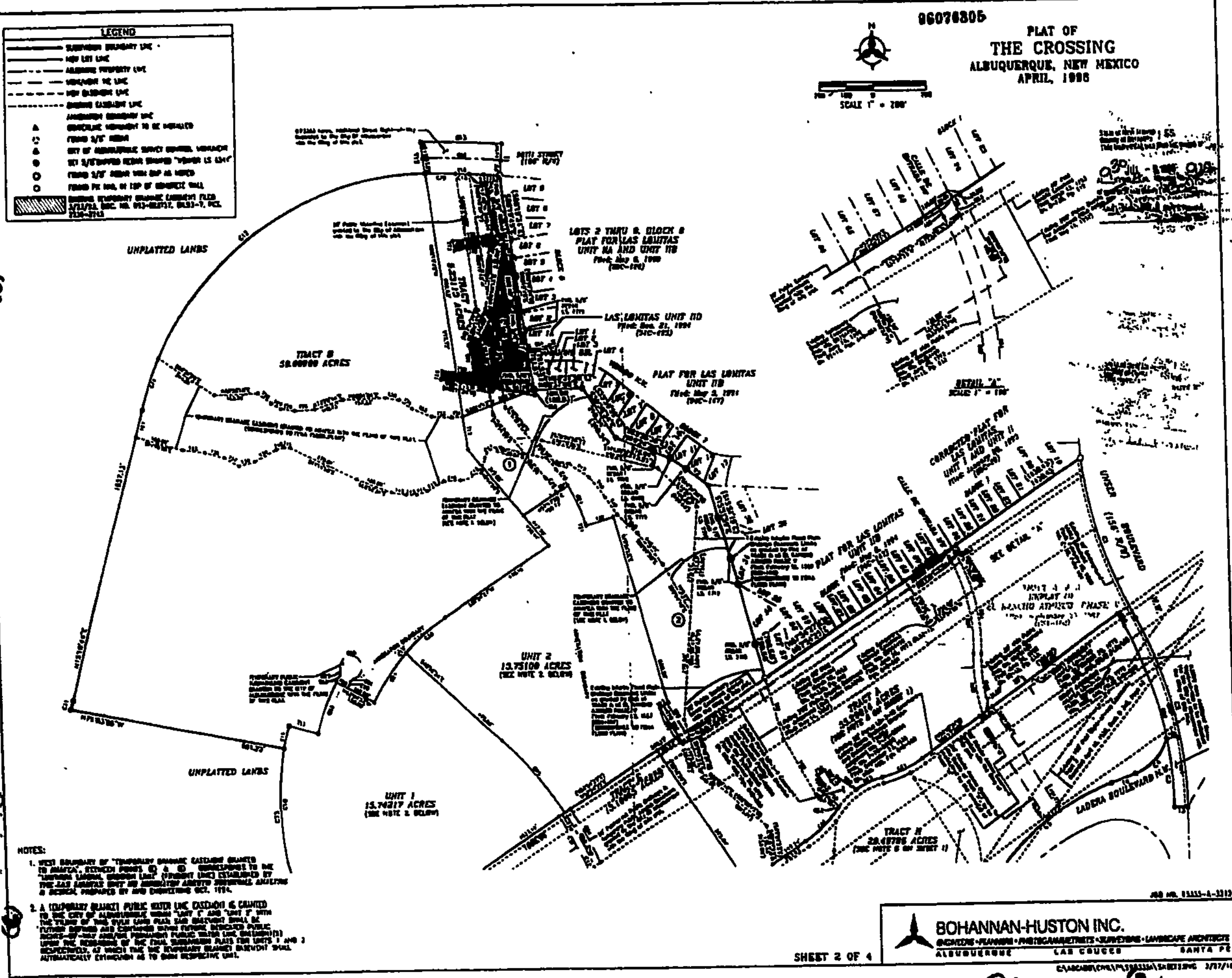
**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N E  
 Albuquerque, New Mexico 87108  
 Ph 505-268-8828 [www.iacivil.com](http://www.iacivil.com)  
 1822 C-701-ESMNT VACT.dwg Mar 12,2013

96c 302

96078305  
PLAT OF  
THE CROSSING  
ALBUQUERQUE, NEW MEXICO  
APRIL, 1998



LEGEND	
	UNPLATTED BOUNDARY LINE
	NEW LOT LINE
	ADJACENT PROPERTY LINE
	UNPLATTED LOT LINE
	NEW EASEMENT LINE
	EXISTING EASEMENT LINE
	UNPLATTED EASEMENT LINE
	EXISTING EASEMENT TO BE REVOKED
	FOUND 5/8" IRON
	SET BY ADJACENT SURVEY BEARING 150° 00' 00" W 150.00' TO CORNER
	SET BY STOPPED BEARING 150° 00' 00" W 150.00' TO CORNER
	FOUND 5/8" IRON WITH CAP AS SHOWN
	FOUND PE NAIL ON TOP OF CONCRETE WALL
	EXISTING TEMPORARY EASEMENT SUBJECT FILED 1/17/98, REC. NO. 963-00271, 04531-7, PCL. 153-1713



NOTES:

1. WEST BOUNDARY OF TEMPORARY EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE UNDER "UNIT 1" AND "UNIT 2" WITH THE "TEMPORARY EASEMENT LINE" (DASHED LINE) ESTABLISHED BY THE LAS ANIMAS SURVEY AND SUBSEQUENT SURVEYS AND PLATS IS A BOUNDARY PREPARED BY AND ENGINEERING DEC. 1974.
2. A TEMPORARY EASEMENT PUBLIC WATER LINE EASEMENT IS GRANTED TO THE CITY OF ALBUQUERQUE UNDER "UNIT 1" AND "UNIT 2" WITH THE "TEMPORARY EASEMENT LINE" (DASHED LINE) ESTABLISHED BY THE LAS ANIMAS SURVEY AND SUBSEQUENT SURVEYS AND PLATS IS A BOUNDARY PREPARED BY AND ENGINEERING DEC. 1974.

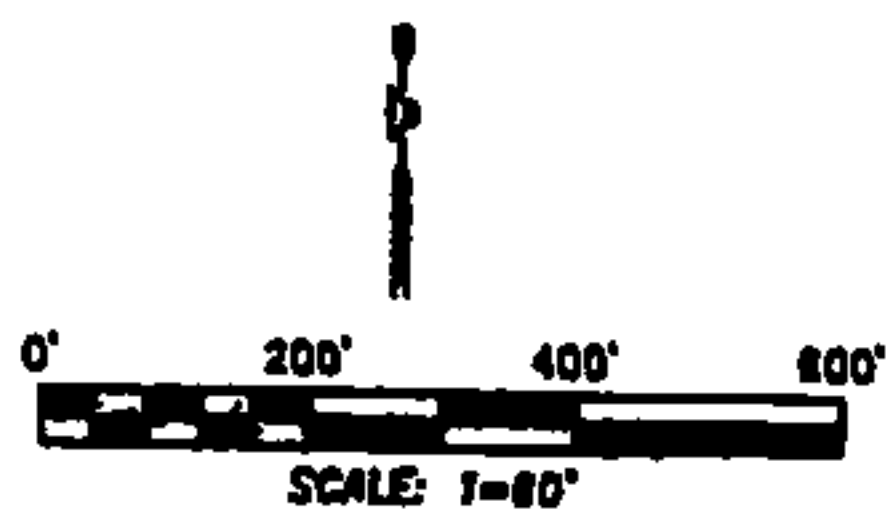
**BOHANNAN-HUSTON INC.**  
ENGINEERS-PLANNERS-ARCHITECTS-INTERIORS-LANDSCAPE ARCHITECTS  
ALBUQUERQUE LAS CRUCES SANTA FE

JOB NO. 83333-A-3113

DATE: 3/27/1998



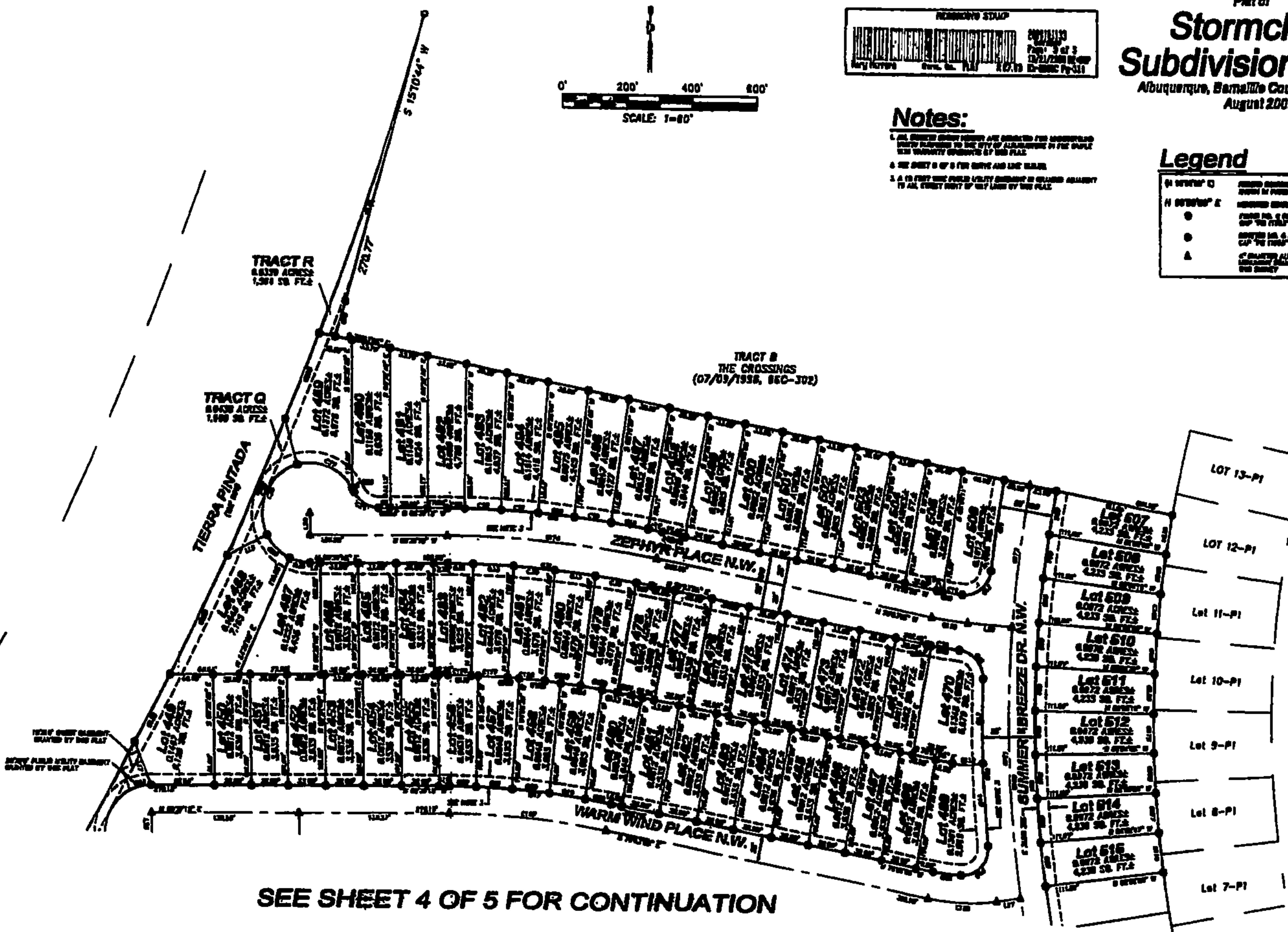
FORM 01  
**Stormcloud  
 Subdivision Unit 3**  
 Albuquerque, Bernalillo County, New Mexico  
 August 2008



**Notes:**  
 1. ALL SHOWN DIMENSIONS ARE SHOWN FOR INFORMATION AND ARE NOT TO BE USED AS A BASIS FOR CONSTRUCTION. THE CITY OF ALBUQUERQUE IS THE SOLE WARRANTY AGENT OF THIS PLAN.  
 2. THE DISTANCE OF 5 FEET DRIVE AND LANE WIDTH.  
 3. A 10 FOOT SIDE YARD SETBACK IS REQUIRED ADJACENT TO ALL STREET FRONT OF ALL LOTS BY THIS PLAN.

**Legend**

(H) DUTY OF CARE	SHOWN DIMENSIONS AND DIMENSIONS SHOWN IN PARAGRAPHS
(H) DUTY OF CARE	SHOWN DIMENSIONS AND DIMENSIONS SHOWN IN PARAGRAPHS
○	POLE TOP, A CORNER WITH COLLAR PLANNED OR THE FIELD'S COLLAR BOUNDARY MARK
●	SHOWN DIM. & DIMENSION SHOWN PLANNED OR THE TRAMP. SEE THE DIMENSION
△	SHOWN DIMENSION SHOWN PLANNED OR THE TRAMP. SEE THE DIMENSION



SEE SHEET 4 OF 5 FOR CONTINUATION

**PRECISION SURVEYS, INC.** 8500-A Jefferson Street, N.E. Albuquerque, NM 87113

INCLUDED IS THE RIGHT TO BUILD, REBUILD, RECONSTRUCT, LOCATE, RELOCATE, LEASE, MAINTAIN, MODIFY, REPAIR, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH

0002242

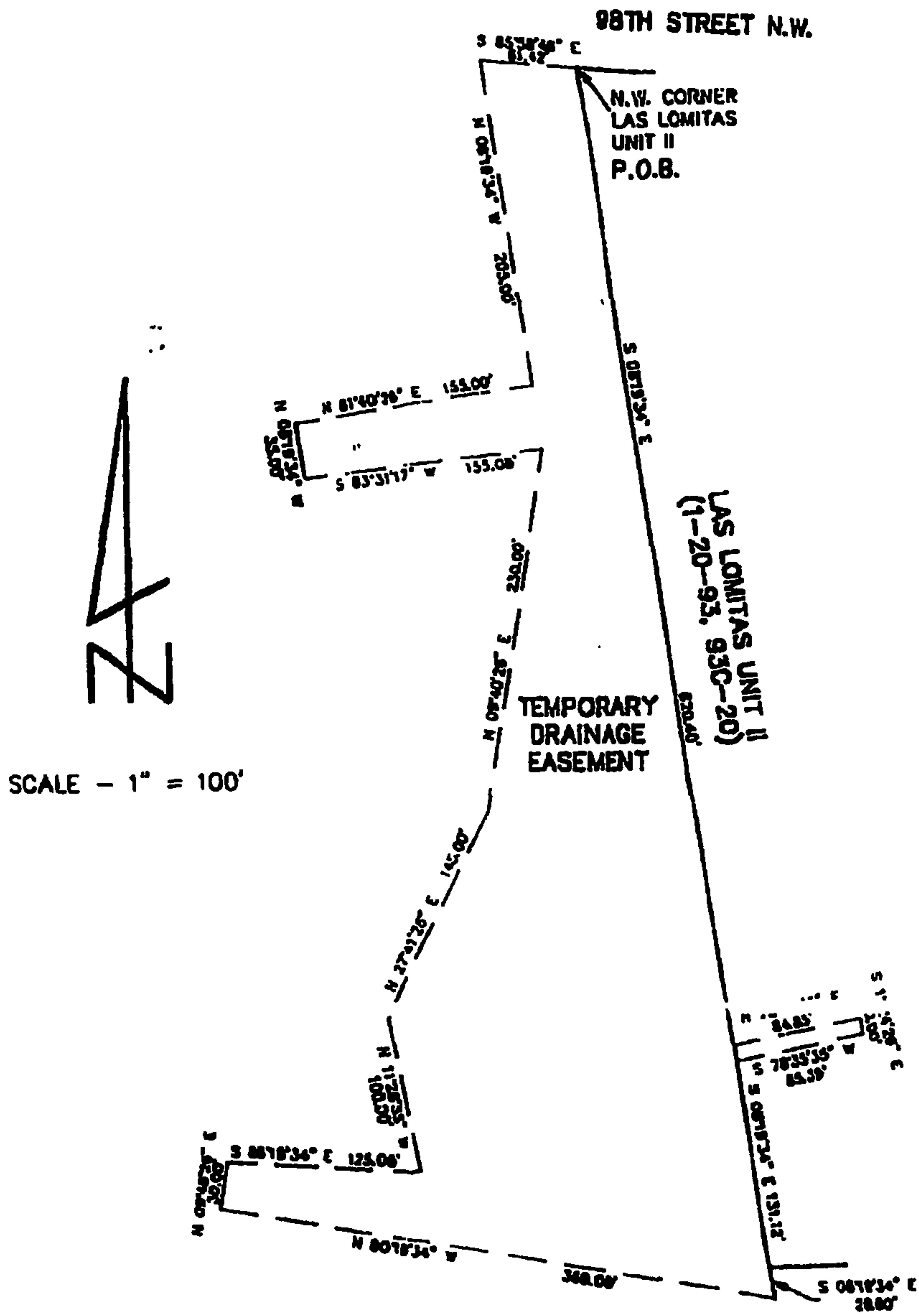


EXHIBIT B

0002243

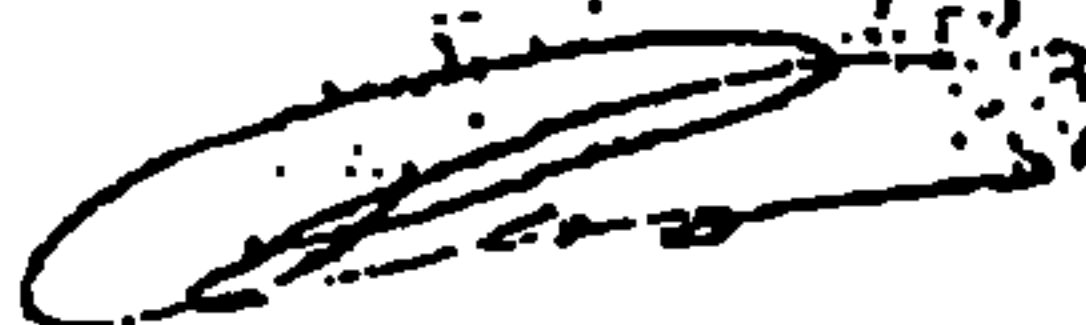
Land situated within projected Section 9, Township 10 North, Range 2 East, New Mexico Principal Meridian, within the Town of Atrisco Grant, City of Albuquerque, Bernalillo County, New Mexico, being within unplatted lands of Westland Development Company, Inc. and Las Lomas Unit II as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 20, 1993 in Volume 93C, Folio 20.

EXHIBIT C

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

MAR 23 11:10:19

93-7 2236-2243



#FRODO  
1005029

March 11, 2015

RF



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Isaacson & Arfman, P.A. PHONE: 268-8828

ADDRESS: 128 Monroe Street NE FAX: \_\_\_\_\_

CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: asaw@iacivil.com

APPLICANT: Western Albuquerque Land Holdings, LLC PHONE: (480) 970-4003

ADDRESS: c/o Garrett Development Corporation  
6991 East Camelback Road, Suite D-212 FAX: \_\_\_\_\_

CITY: Scottsdale STATE AZ ZIP 85251 E-MAIL: \_\_\_\_\_

Proprietary interest in site: Owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Approval of Extension of Preliminary Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tracts B & J, The Crossing and Tract R Block: \_\_\_\_\_ Unit: 3

Subdiv/Addn/TBKA: Stormcloud (tbka Stormcloud Subdivision Unit 4 and 5)

Existing Zoning: SU-2/R-LT Proposed zoning: Same MRGCD Map No NA

Zone Atlas page(s): H-9 UPC Code: 100905913119031506 100905919825731507  
100905905513832161

CASE HISTORY: 13DRB-70438; 13DRB-70478; 13DRB-70483; 13DRB-70495; 13DRB-70547; 13DRB-70548; 14DRB-70044  
List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 06DRB-01234;

06DRB-01235; 06DRB-01236; 06DRB-01045; 06DRB-01398; 09DRB-70371; 09DRB-70394; 10DRB-70258; 11DRB-70163; 12DRB-70043;

CASE INFORMATION: 12DRB-70044; 12DRB-70045; 12DRB-70046; 12DRB-70047; 12DRB-70277; 14DRB-70059; 14DRB-70044

Within city limits?  Yes Within 1000FT of a landfill?  No

No. of existing lots: 4 No. of proposed lots: 259 Total site area (acres): 86.2777

LOCATION OF PROPERTY BY STREETS: On or Near: Tierra Pintada Blvd. NW

Between: West of Unser Blvd. NW and \_\_\_\_\_

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: 06/22/2011

SIGNATURE Asa Nilsson-Weber DATE 2-13-15

(Print Name) Asa Nilsson-Weber Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

**INTERNAL ROUTING**

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

15DRB-70068

Action

EPP  
CMF

S.F.

\_\_\_\_\_

Fees

\$ 50.00

\$ 20.00

\$ \_\_\_\_\_

\$ \_\_\_\_\_

\$ \_\_\_\_\_

Total

\$ 70.00

Hearing date

Feb. 25  
2015

Project # 1005029

2-17-15  
Staff signature & Date

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Your attendance is required.**
  - Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** **Your attendance is required.**
  - Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application

**Extension of preliminary plat approval expires after one year.**

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** **Your attendance is required.**
  - Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
  - Design elevations & cross sections of perimeter walls **3 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - Copy of recorded SIA
  - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
  - List any original and/or related file numbers on the cover application
  - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** **Your attendance is required.**
  - 5 Acres or more: Certificate of No Effect or Approval
  - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
  - Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
  - Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
  - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
  - Infrastructure list if required (**verify with DRB Engineer**)
  - DXF file and hard copy of final plat data for AGIS is required.


- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** **Your attendance is required.**

**PLEASE NOTE:** There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

  - Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - List any original and/or related file numbers on the cover application

**Amended preliminary plat approval expires after one year**

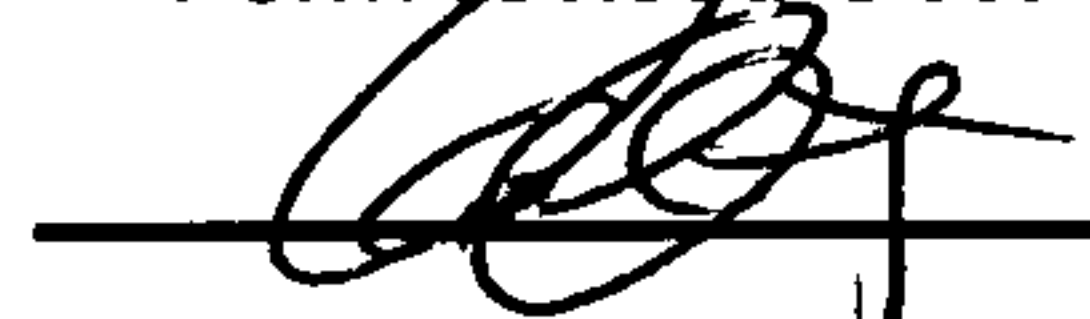
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

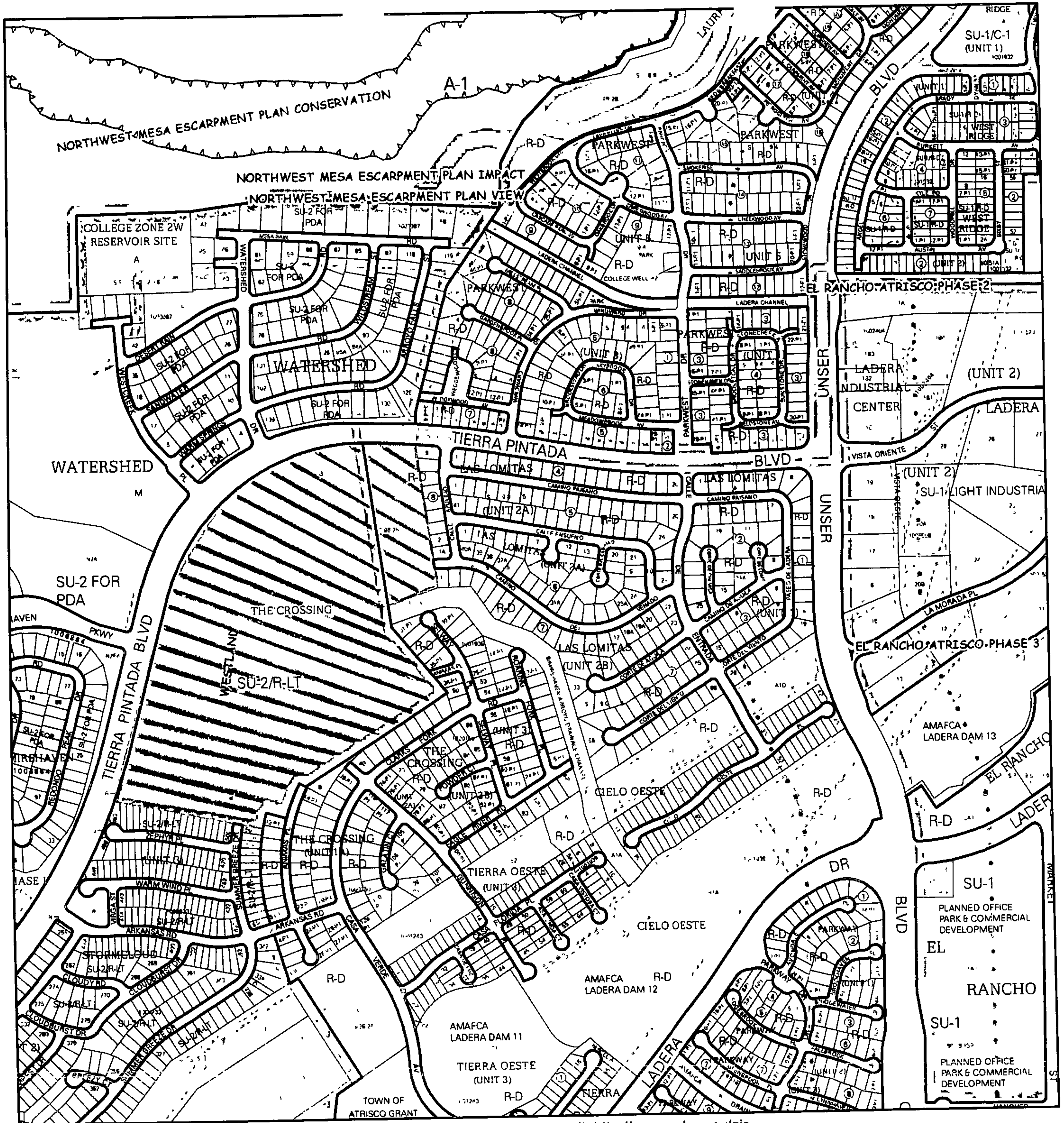
Åsa Nilsson-Weber  
 Applicant name (print)  
  
 Applicant signature / date




Form revised October 2007

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 15 - DRB - 70068

 2-17-15  
 Planner signature / date  
 Project # 1005029

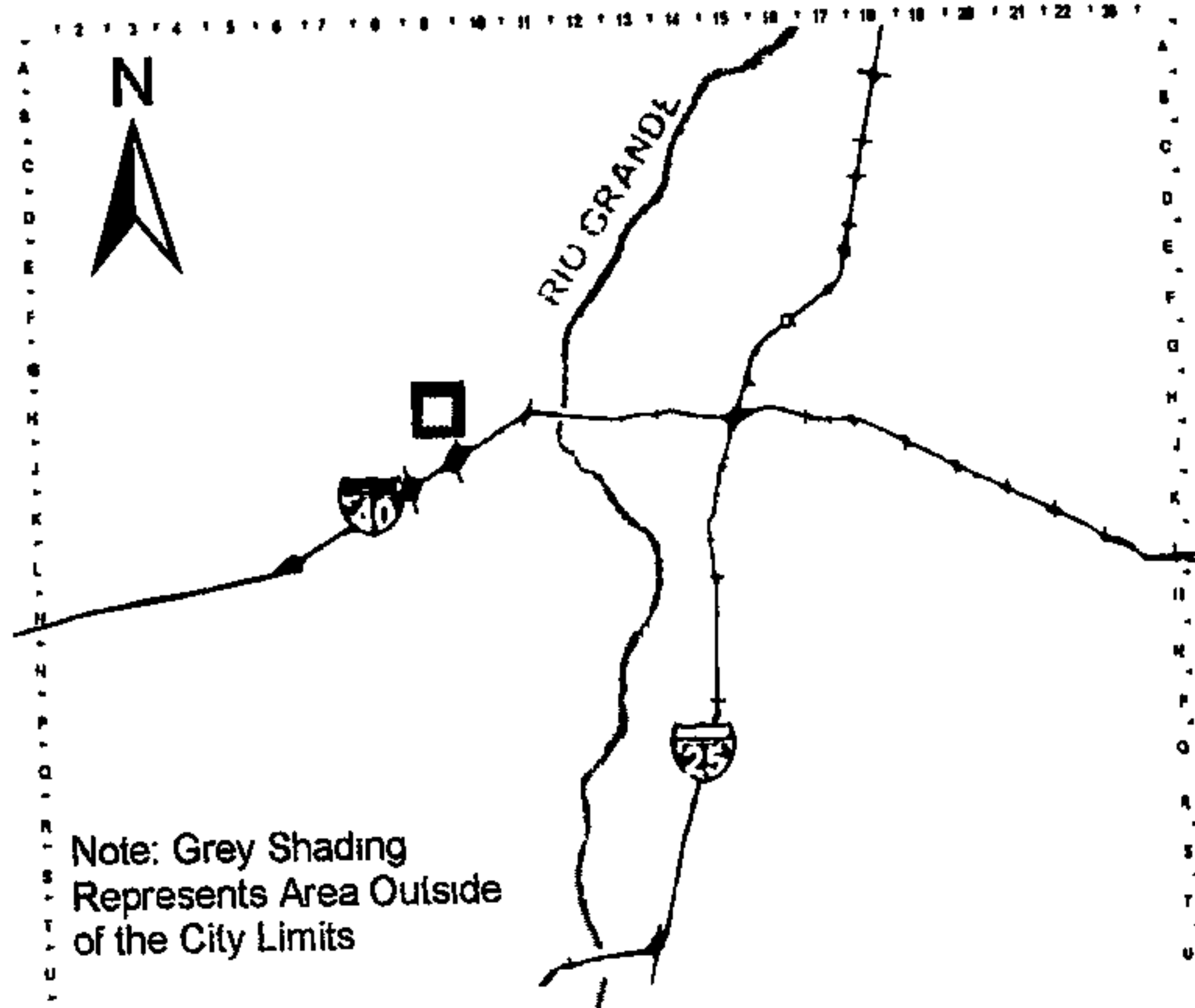


For more current information and details visit: <http://www.cabq.gov/gis>



Albuquerque Geographic Information System

Map amended through: 9/2/2014



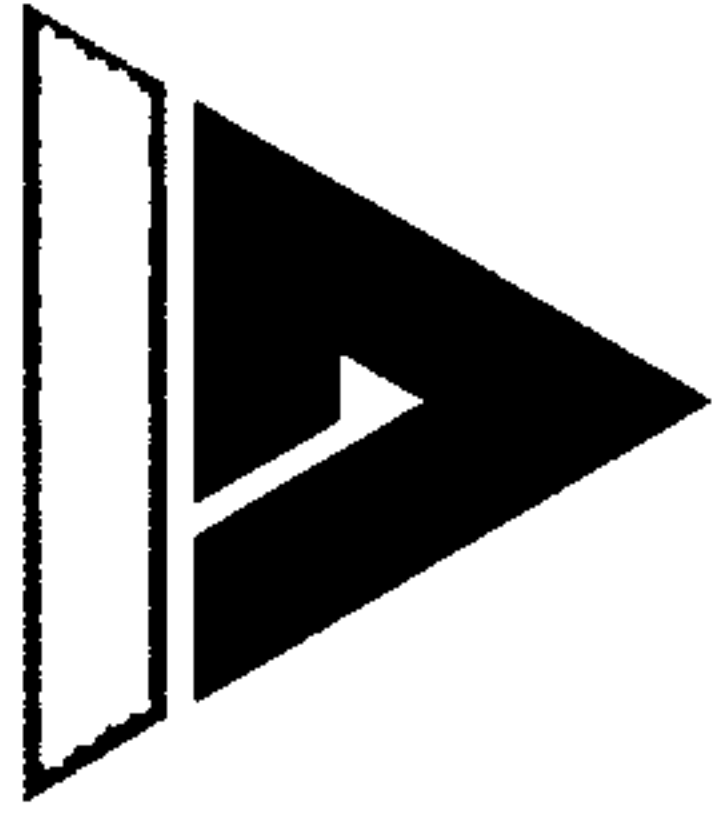
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**H-09-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon	

0 750 1,500 Feet



**ISAACSON & ARFMAN, P.A.**

*Consulting Engineering Associates*

*Thomas O. Isaacson, PE(RET.) & LS(RET.) . Fred C. Arfman, PE . Åsa Nilsson-Weber, PE*

February 13, 2015

Mr. Jack Cloud  
DRB Chair  
City of Albuquerque  
600 2nd Street NW  
Albuquerque, NM 87103

**RE: Stormcloud Subdivisions, Units 4 & 5**  
**Existing Legal: Tracts B & J, The Crossing and Tract R, Stormcloud Unit 3**  
**Zone Atlas Map: H-9**  
**DRB Project No. 1005029**

Dear Mr. Cloud:

Isaacson & Arfman, acting as agents for the Owner of the above referenced site, is submitting a request for approval of a one-year extension of the preliminary plat, including design variances and sidewalk deferral/waiver, for the referenced project.

The site is located east and south of Tierra Pintada Blvd, NW and west of Unser Blvd, NW--see attached zone atlas map. Mirehaven Arroyo separates the two units with Unit 5 on the north side and Unit 4 on the south side.

A one-year extension of the preliminary plat for Units 4 and 5 was approved at DRB on February 26, 2014. The final preliminary plat was approved with delegation of signatures on April 3, 2013 for Unit 5 and May 22, 2013 for Unit 4. Please see attached copies of the preliminary plat and final preliminary plats.

Since the Developer has not yet found a buyer for the two subdivisions, we are requesting a one-year extension of the preliminary plat/final preliminary plats.

Please call me at 268-8828 if you have questions regarding this submittal.

Thank you.

Sincerely,

**ISAACSON & ARFMAN, P.A.**

Åsa Nilsson-Weber, P.E.

Attachments





## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

February 26, 2014

**Project# 1005029**

14DRB-70044 EXT OF MAJOR PRELIMINARY PLAT

ISAACSON AND ARFMAN PA agent(s) for WESTERN ALBUQUERQUE LAND HOLDINGS, LLC request(s) the above action(s) for all or a portion of Lot(s) TRACTS B & J, THE CROSSING AND TRACT R, **STORMCLOUD (TBKA STORMCLOUD SBD UNIT 4 AND STORMCLOUD SBD UNIT 5) Unit(s) 3**, zoned SU-2/R-LT, located on TIERRA PINTADA WEST OF UNSER containing approximately 86.27 acre(s). (H-9)

At the February 26, 2014 Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)



Jack Cloud, DRB Chair

Cc: ISAACSON AND ARFMAN PA  
file

ORIGINAL

**INFRASTRUCTURE LIST**  
 (Rev. 9-20-05)  
**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**STORMCLOUD SUBDIVISION, UNIT 5**  
**PROPOSED NAME OF PLAT**

**REPLAT OF TRACTS B & J, THE CROSSING & TRACT R, STORMCLOUD SUBDIVISION, UNIT 3**  
**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		10"	WATERLINE, 3WR Waterline PVC C-900	Camino Del Venado NW	Lot 9 Public Easement	Public Easement East of Lot 21	/	/	/
		6"	Waterline PVC C-900	Camino Del Venado NW	Torrent Dr NW	Public Easement East of Lot 21	/	/	/
		8"	Waterline PVC C-900	Downburst Ave NW	Camino Del Venado NW	Torrent Dr NW	/	/	/
		6"	Waterline PVC C-900	Roll Cloud Dr NW	Downburst Ave NW	Camino Del Venado NW	/	/	/
		6"	Waterline PVC C-900	Forecast Ct NW	Roll Cloud Dr NW	Camino Del Venado NW	/	/	/
		6"	Waterline PVC C-900	Torrent Dr NW	Downburst Ave NW	Camino Del Venado NW	/	/	/
		4"	Waterline PVC C-900	Torrent Dr NW	Lots 38/39	Downburst Ave NW	/	/	/
		10"	Waterline PVC C-900	Public Easement East of Lot 21	Camino Del Venado NW	South Property Line	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		10"	Waterline PVC C-900	Lot 9 Public Easement	Downburst Ave NW	Existing 10" Waterline in Tierra Pintada Blvd NW	/	/	/
		10"	Waterline PVC C-900***	Public Easement in Mirehaven Arroyo	Public Easement N of Monsoon Rd NW	Public Easement S of Camino Del Venado NW	/	/	/
		8"	<b>SANITARY SEWER</b> Sanitary Sewer Line SDR-35	Camino Del Venado NW	Existing 8" SAS East Property Line, Unit 5	Downburst Ave NW	/	/	/
		8"	Sanitary Sewer Line SDR-35	Lot 9 Public Easement	Camino Del Venado NW	Existing 8" SAS in Tierra Pintada Blvd NW	/	/	/
		8"	Sanitary Sewer Line SDR-35	Downburst Ave NW	Camino Del Venado NW	Torrent Dr NW	/	/	/
		8"	Sanitary Sewer Line SDR-35	Roll Cloud Dr NW	Lot 65	Camino Del Venado NW	/	/	/
		8"	Sanitary Sewer Line SDR-35	Forecast Ct NW	Roll Cloud Dr NW	Lot 80	/	/	/
		8"	Sanitary Sewer Line SDR-35	Torrent Dr NW	Lot 39	Camino Del Venado NW	/	/	/
		32' F-F	<b>PAVING</b> Residential Pavement C&G on Both Sides 4' Sidewalk on S Side Only	Camino Del Venado NW	~18' from East Property Line	Torrent Dr NW	/	/	/
		32' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Camino Del Venado NW	Torrent Dr NW	Downburst Ave NW	/	/	/
		32' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Downburst Ave NW	Torrent Dr NW	Camino Del Venado NW	/	/	/
		54'-65' F-F	Residential Pavement C&G on Both Sides & Median C&G 6' Sidewalk on Both Sides	Watershed Dr NW (Entrance)	Downburst Ave NW	Tierra Pintada Blvd NW	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		46' F-F	Residential Pavement C&G on Both Sides & Median C&G 4' Sidewalk on Both Sides	Watershed Dr NW	Forecast Ct NW	Downburst Ave NW	/	/	/
		28' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Roll Cloud Dr NW	Downburst Ave NW	Camino Del Venado NW	/	/	/
		28' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Forecast Ct NW	Roll Cloud Dr NW	Camino Del Venado NW	/	/	/
		32' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Torrent Dr NW	Downburst Ave NW	Camino Del Venado NW	/	/	/
		32' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on E Side Only	Torrent Dr NW	Lot 39	Downburst Ave NW	/	/	/
		10'	Trail on South/East Side Only	Tierra Pintada Blvd NW	South Property Line, Tract O	West of Watershed Dr Unit 5 Entrance	/	/	/
		6'	Sidewalk on South Side Only	Tierra Pintada Blvd NW	East of Watershed Dr Unit 5 Entrance	Northeast Corner of Unit 5	/	/	/
		18"	<b>STORM SEWER</b> Storm Sewer Pipe RCP	Torrent Dr NW	Lots 31/32	Camino Del Venado NW	/	/	/
		18"	Storm Sewer Pipe RCP	Camino Del Venado NW	Lots 25/26	Public Easement West of Lot 28	/	/	/
		42"	Storm Sewer Pipe RCP	West of Lot 28 Public Easement	Camino Del Venado NW	S Property Line	/	/	/
		42"	Storm Sewer Pipe RCP	Mirehaven Arroyo (Tract O)	Public Easement South of Camino Del Venado NW	Mirehaven Arroyo (Tract O)	/	/	/



The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 Water infrastructure to include services, valves, fittings, valve boxes, and fire hydrants as required.
- 2 Catch basin and manholes connection included with storm sewer pipe.
- 3 Sanitary sewer to include manholes and service connections as required.
- 4 Signage and striping per DRC.
- 5 Certified grading and drainage and walls for SIA/Financial Release.
- \*\*6 Sidewalks which front the lots will be deferred and built during the construction of the individual houses.
- 7 Wall certification from Registered Engineer and/or Registered Architect prior to Release of Financial Guarantee.
- 8 Certification that perimeter wall has been constructed per DRB approved design prior to Release of Financial Guarantee.
- 9 Approval of LOMR is required for release of SIA and Financial Guarantee.
- \*\*\*10 To be constructed with development of either Unit (4 or 5) constructed first.

AGENT / OWNER

Asa Nilsson-Weber, PE  
NAME (print)

Isaacson & Arfman, P.A.  
FIRM

*Asa Nilsson-Weber* 5-7-13  
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

*[Signature]* 5-22-13  
DRB CHAIR - date

*[Signature]* 5-22-13  
TRANSPORTATION DEVELOPMENT - date

*Alan Peter* 05/22/13  
ABCWUA - date

*[Signature]* 5-22-13  
CITY ENGINEER - date

*Carol S. Dumont* 5-22-13  
PARKS & GENERAL RECREATION - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

**INFRASTRUCTURE LIST**

(Rev. 9-20-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**STORMCLOUD SUBDIVISION, UNIT 4**

**PROPOSED NAME OF PLAT**

**REPLAT OF TRACTS B & J, THE CROSSING & TRACT R, STORMCLOUD SUBDIVISION, UNIT 3  
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

**ORIGINAL**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		<b>UNIT 4</b>							
		8"	WATERLINE, 3WR Waterline PVC C-900	Chinook Rd NW	Summer Breeze Dr NW	White Squall Dr NW	/	/	/
		6"	Waterline PVC C-900	Wind Sock Rd NW	Summer Breeze Dr NW	White Squall Dr NW	/	/	/
		8"	Waterline PVC C-900	White Squall Dr NW	Chinook Rd NW	Monsoon Rd NW	/	/	/
		10"	Waterline PVC C-900	Summer Breeze Dr NW	S Property Line Existing 10" WL	Jet Stream Rd NW	/	/	/
		8"	Waterline PVC C-900	Monsoon Rd NW	White Squall Dr NW	Gunnison Pl NW	/	/	/
		6"	Waterline PVC C-900	Monsoon Rd NW	Gunnison Pl NW	Animas Pl NW	/	/	/
		6"	Waterline PVC C-900	Jet Stream Rd NW	White Squall Dr NW	Summer Breeze Dr NW	/	/	/
		10"	Waterline PVC C-900	Jet Stream Rd NW	Summer Breeze Dr NW	Gunnison Pl NW	/	/	/







Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	30' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Monsoon Rd NW	White Squall Dr NW	Animas PI NW	/	/	/
<input type="text"/>	<input type="text"/>	30' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Jet Stream Rd NW	Gunnison PI NW	White Squall Dr NW	/	/	/
<input type="text"/>	<input type="text"/>	28' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Animas PI NW	S Property Line	NE Property Line	/	/	/
<input type="text"/>	<input type="text"/>	50' F-F	Residential Pavement C&G on Both Sides & Median C&G 6' Sidewalk on Both Sides	Monsoon Rd NW (Entrance)	Tierra Pintada Blvd NW E R/W	White Squall Dr NW	/	/	/
<input type="text"/>	<input type="text"/>	30' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Gunnison PI NW	Monsoon Rd NW	Animas PI NW	/	/	/
<input type="text"/>	<input type="text"/>	28' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Gunnison PI NW	Animas PI NW	SE Property Line	/	/	/
<input type="text"/>	<input type="text"/>	10'	Trail on East Side Only	Tierra Pintada Blvd NW	South Property Line, Unit 4	South Property Line, Unit 5	/	/	/
<input type="text"/>	<input type="text"/>	18"-24"	<b>STORM SEWER</b> Storm Sewer Pipe RCP	Chinook Rd NW	Lots 55/56	Summer Breeze Dr NW	/	/	/
<input type="text"/>	<input type="text"/>	24"	Storm Sewer Pipe RCP	Summer Breeze Dr NW	Lots 27/28	Chinook Rd NW	/	/	/
<input type="text"/>	<input type="text"/>	42"	Storm Sewer Pipe RCP	Summer Breeze Dr NW	Chinook Rd NW	S Property Line Exst 36" Storm Drain	/	/	/
<input type="text"/>	<input type="text"/>	24"	Storm Sewer Pipe RCP	Monsoon Rd NW	Lots 139/140	Gunnison PI NW	/	/	/



The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature      Date							City User Dept. Signature      Date		

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

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AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
Asa Nilsson-Weber, PE NAME (print)	<i>[Signature]</i> DRB CHAIR - date 5-22-13	<i>[Signature]</i> PARKS & GENERAL RECREATION - date 5-22-13	
Isaacson & Arfman, P.A. FIRM	<i>[Signature]</i> TRANSPORTATION DEVELOPMENT - date 5-22-13	_____ AMAFCA - date	
<i>[Signature]</i> SIGNATURE - date 5-7-13	<i>[Signature]</i> ABCWUA - date 05/22/13	_____ - date	
	<i>[Signature]</i> CITY ENGINEER - date 5-22-13	_____ - date	

DESIGN REVIEW COMMITTEE REVISIONS				
REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER





DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1005029

Application #: 13DRB-70547, 13DRB-70548,  
13DRB-70555

Project Name: TBKA STORMCLOUD SUBDIVISION UNIT 4 & STORMCLOUD SUBDIVISION UNIT 5)

Agent: ISAACSON & ARFMAN PA Phone #:

\*\*Your request was approved on 5-22-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed\*\*

TRANSPORTATION: \_\_\_\_\_

ABCWUA: \_\_\_\_\_

CITY ENGINEER / AMAFCA: to record

PARKS / CIP: \_\_\_\_\_

PLANNING (Last to sign): AMAFCA signature

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.





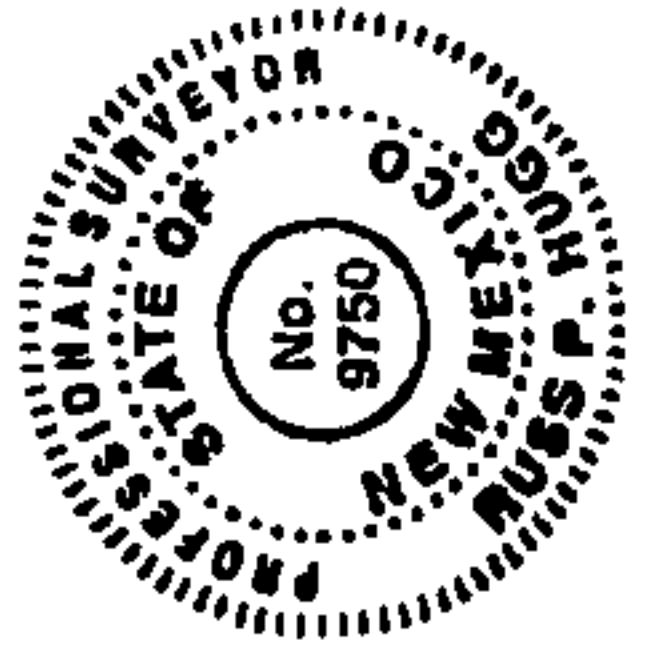
FLAT OF  
**STORMCLOUD SUBDIVISION**  
**UNIT 4**

(BEING A REPLAT OF TRACT N, STORMCLOUD SUBDIVISION UNIT 5)

SITUATE WITHIN  
 THE TOWN OF ATRISCO GRANT

PROJECTED SECTION 9  
 TOWNSHIP 10 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 APRIL, 2013

**SURVOTEK, INC.**  
 Consulting Surveyors  
 1991 Valley View Drive, N.E. Albuquerque, New Mexico 87114  
 Phone: 505-897-5568  
 Fax: 505-897-5577



**FREE CONSENT AND DEDICATION**

SURVEYED AND REPLATED and now comprising PLAT OF STORMCLOUD SUBDIVISION UNIT 4 (BEING A REPLAT OF TRACT N, STORMCLOUD SUBDIVISION UNIT 5) SITUATE WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO; with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s). Said owner(s) and proprietor(s) do hereby dedicate in fee simple street right-of-way as shown hereon to the City of Albuquerque, New Mexico, with special warranty covenants thereon. Said owner(s) and proprietor(s) do hereby warrant that they hold title to the land hereon in fee simple and indefeasible title in fee simple to the land hereon, with fact to matters of record. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easement(s) shown hereon. Said owner(s) and proprietor(s) do hereby consent to the foregoing and do hereby certify that they are so authorized to act, and that nothing in this plat shall be construed or shall operate to convey any part of these certain items of personal property known as, PIP Eligible Infrastructure Improvements, as such term is defined in the CITY OF ALBUQUERQUE, NEW MEXICO, and Acquisition Agreement between the CITY OF ALBUQUERQUE, NEW MEXICO, a political subdivision of the State of New Mexico, and ALBUQUERQUE LAND HOLDINGS LLC, a Delaware limited liability company, and to the extent applicable, any other parties to the Infrastructure Development and Acquisition Agreement, to be recorded in the office of the County Clerk of Bernalillo County, New Mexico, which PIP Eligible Infrastructure Improvements shall be conveyed by bill of sale or other appropriate instrument apart from this plat.

**OWNERS**

Western Albuquerque Land Holdings, LLC

By: Mark West, Vice President  
 Barclays Capital Real Estate, Inc.  
 As Servicing Member

**ACKNOWLEDGMENT**

STATE OF New York  
 COUNTY OF New York SS

The foregoing instrument was acknowledged before me this 1 day of May, 2013, by Mark West

My commission expires 10/10/2016  
 Notary Public

KRISTINA WALL  
 NOTARY PUBLIC-STATE OF NEW YORK  
 No. 01716628817  
 Qualified in New York County  
 My Commission Expires April 02, 2016

**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Atrisco Grant in Township 10 North, Range 2 East, New Mexico, Principal Meridian, Bernalillo County, New Mexico, comprising Tract N, Stormcloud Subdivision Unit 5, as the same is shown and designated on the plat entitled "PLAT OF STORMCLOUD SUBDIVISION UNIT 5 (BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3) SITUATE WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on \_\_\_\_\_, 2013 in Plat Book 2013C, Page \_\_\_\_\_, more particularly described by survey performed by Russ P. Rugg, New Mexico Professional Surveyor Number 9750, using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows:

BEGINNING at the southwesterly corner of the parcel herein described, said point also being the southwesterly corner of said Tract N, Stormcloud Subdivision Unit 5, and also being a point on the easterly right of way line of Tierra Pintada Boulevard N.W., and also being the northwesterly corner of Lot 489, Stormcloud Subdivision Unit 3, as the same is shown and designated on the plat thereof, filed December 21, 2006, in Plat Book 2006C, Page 394, whence Albuquerque Central Survey Monument "BH 41" bears N 19°15'12" W, 2948.64 feet distant; Thence, along said easterly right of way line of Tierra Pintada Boulevard N.W.,

Northerly, 305.79 feet on the arc of a curve to the left (said curve having a radius of 3000.00 feet, a central angle of 05°50'25", and a chord that bears N 18°05'56" E, 305.66 feet) to a point of tangency Thence,

N 15°10'44" E, 779.58 feet to the northwesterly corner of the parcel herein described, said point also being the northwesterly corner of said Tract N, Stormcloud Subdivision Unit 5, and also being the southwesterly corner of Tract O, Stormcloud Subdivision Unit 3; Thence,

S 79°28'48" E, 1055.88 feet to an angle point; Thence,

N 71°45'15" E, 182.04 feet to the northeasterly corner of the parcel herein described, said point also being the northeasterly corner of said Tract N, Stormcloud Subdivision Unit 5, and also being the southeasterly corner of said Tract O, Stormcloud Subdivision Unit 5, and also being the northwesterly corner of Lot 31-1-P1, The Crossing Unit 3, as the same is shown and designated on the plat thereof, filed July 26, 2004, in Plat Book 2004C, Page 216, whence Albuquerque Central Survey Monument "J-H9" bears N 47°42'05" E, 3137.88 feet distant; Thence,

S 08°19'45" E, 12.64 feet to an angle point, Thence,

S 40°14'59" E, 458.54 feet to the eastern-most corner of the parcel herein described, said point also being the eastern-most corner of said Tract N, Stormcloud Subdivision Unit 5, and also being a corner on the westerly boundary of Lot 50, The Crossing Unit 2-B, as the same is shown and designated on the plat thereof, filed November 18, 2003, in Plat Book 2003C, Page 347; Thence, along the northwesterly boundaries of Lots 40 thru 48 and 50, of said plat filed in Plat Book 2003C, Page 347; Gunnison Place N.W.; and Lots 37-P1 thru 39-P1, The Crossing, Unit 1-A, as the same is shown and designated on the plat thereof, filed December 3, 2002, in Plat Book 2002C, Page 380, the following 3 courses,

S 57°54'27" W, 470.16 feet to a point of curvature, Thence,

Southwesterly, 190.45 feet on the arc of a curve to the left (said curve having a radius of 762.00 feet, a central angle of 14°19'12", and a chord that bears S 50°44'51" W, 189.95 feet) to an angle point; Thence,

Southwesterly, 208.45 feet on the arc of a curve to the left (said curve having a radius of 762.00 feet, a central angle of 15°40'25", and a chord that bears S 35°45'41" W, 207.80 feet) to a corner, said corner also being the eastern-most corner on Lot 14-P1, The Crossing, Unit 1-A, of said plat filed in Plat Book 2002C, Page 380; Thence, along the northwesterly boundaries of said Lot 14-P1 and Animas Place N.W.,

N 62°04'32" W, 158.00 feet to a corner, said corner also being the northern-most corner of the northwesterly terminus of way line of said Animas Place N.W.; Thence, along the northwesterly right of way line of said Animas Place N.W.,

Southwesterly, 197.52 feet on the arc of a curve to the left (said curve having a radius of 920.00 feet, a central angle of 12°16'05", and a chord that bears S 21°46'26" W, 197.14 feet) to a corner, said corner also being the northeasterly corner of Lot 13-P1, The Crossing, Unit 1-A, of said plat filed in Plat Book 2002C, Page 380; Thence, along the northerly, then westerly boundaries of said Lot 13-P1, the following two courses

N 74°22'37" W, 112.00 feet to a corner, Thence,

Southerly, 84.44 feet on the arc of a curve to the left (said curve having a radius of 1032.00 feet, a central angle of 04°41'16", and a chord that bears S 13°16'45" W, 84.41 feet) to the southern-most corner of the parcel herein described, said point also being the southern-most corner of said Tract N, Stormcloud Subdivision Unit 5, and also being the northwesterly corner of Lot 507, Stormcloud Subdivision, Unit 3, as the same is shown and designated on the plat thereof, filed December 31, 2006, in Plat Book 2006C, Page 394; Thence, along the northerly boundaries of said Lot 507, Summer Breeze Drive N.W., and Lots 469 thru 505, Stormcloud Subdivision, Unit 3, of said plat filed in Plat Book 2006C, Page 394,

N 79°03'05" W, 816.22 feet to the point of beginning

Solid parcel contains 31 0361 acres, more or less.

**FLOOD ZONE DETERMINATION**

The subject property, as shown hereon, appears to lie within Zone "X" (areas determined to be outside the 0.2% annual chance floodplain), Zone "AO" (DEPTH 1') (Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined for areas of alluvial fan flooding; facilities also determined), and Zone "AE" (Base Flood Elevations determined) as shown on National Flood Insurance Program Flood Insurance Rate Map Number 35001C0326H, Map Revised August 16, 2012.

A PORTION OF THIS SUBDIVISION IS LOCATED WITHIN A 100-YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM "FLOOD INSURANCE RATE MAP". A LETTER OF MAP REVISION (LOMR) WILL BE REQUESTED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) TO REMOVE THE EXISTING FLOOD PLAIN. UNTIL THE LOMR IS ISSUED BY FEMA, PROPERTY OWNERS MAY BE REQUIRED TO PURCHASE FLOOD INSURANCE.

**APS AGREEMENT**

The Property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools recorded in the office of the County Clerk of Bernalillo County, New Mexico on 05/03/2013, 2013 as Doc.# 2013049342

**PRIVATE TRACT DESIGNATIONS**

Tracts G, H, J, K, L and M shall be conveyed to the Stormcloud Unit 4 Homeowners Association once established. These tracts shall be maintained by said Association.

Uses for tracts are listed below:

TRACT	USE
G	PNM, Comcast and Centurylink surface equipment/PUE
H	Private landscaping/PUE
J	Maintenance access road for COA and A.B.C.W.U.A. . Storm Drain and Waterline Easement, and AMAFCA access
K,L	Private Landscaping/PUE
M	Private park

# FLAT OF STORMCLOUD SUBDIVISION

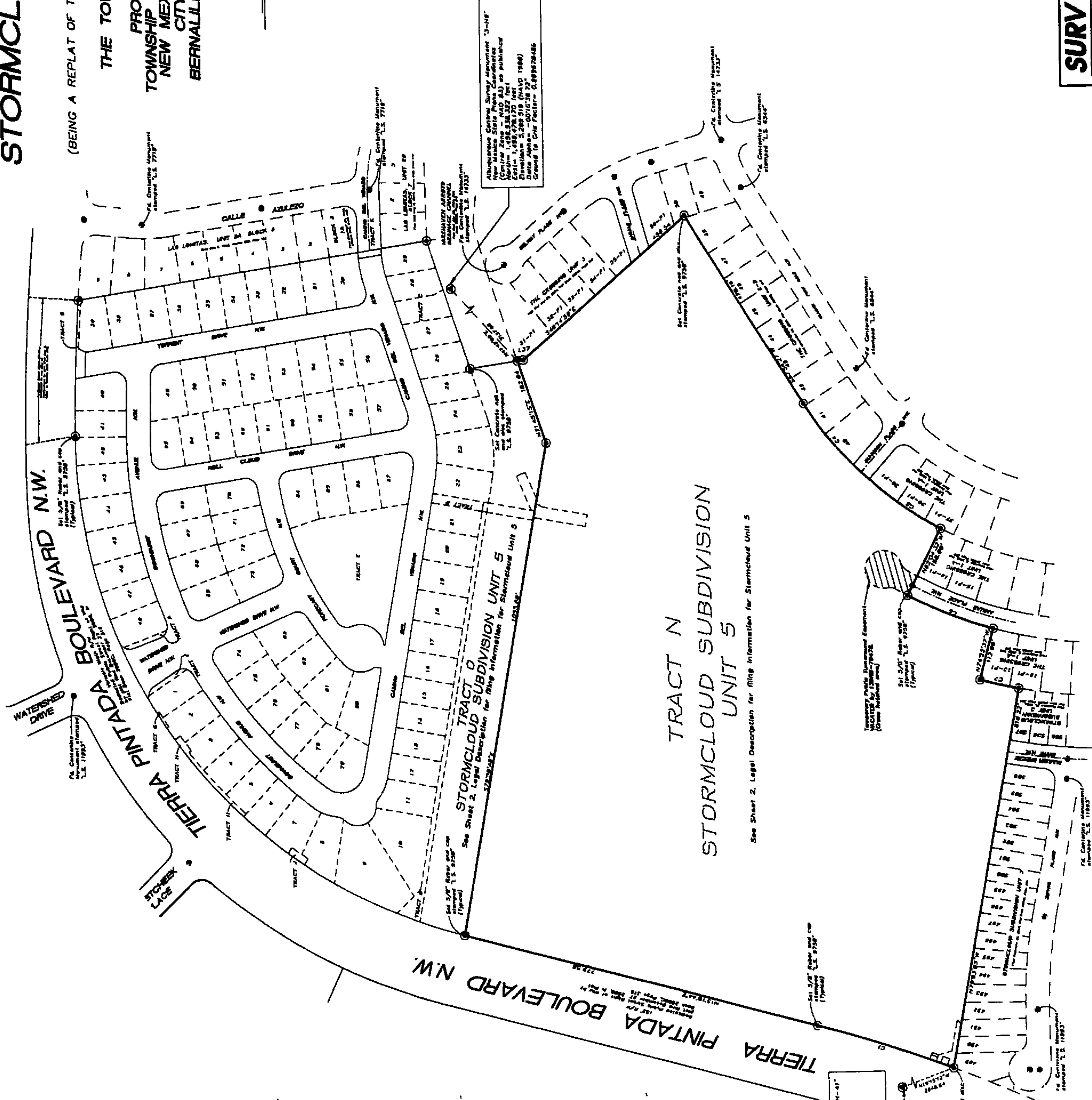
## UNIT 4

(BEING A REPLAT OF TRACT N, STORMCLOUD SUBDIVISION UNIT 5)

SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT

PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
APRIL, 2013

EXISTING TRACT

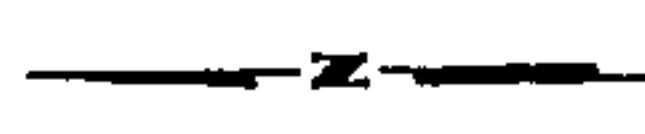


TRACT N  
STORMCLOUD SUBDIVISION  
UNIT 5

See Sheet 2, Legal Description for filing information for Stormcloud Unit 5

Albuquerque Central Survey Monument "281-41"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83) as published  
Center - 1,531,708.328 feet  
Datum - 1982  
Scale Factor - 0.999999997  
Ground to CHS Factor - 0.999999997

Albuquerque Central Survey Monument "3-118"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83) as published  
Center - 1,488,478.750 feet  
Datum - 1982  
Scale Factor - 0.999999997  
Ground to CHS Factor - 0.999999997



# FLAT OF STORMCLOUD SUBDIVISION UNIT 4

(BEING A REPLAT OF TRACT N, STORMCLOUD SUBDIVISION UNIT 5)

SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT  
IN  
PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
APRIL, 2013

### NEW EASEMENTS

- Ⓐ 10' Public Utility Easement granted by this plat
- Ⓑ 7' X 2' Public Utility Easement granted by this plat (centered on lot lines)
- Ⓒ 40' X 25' Public Service Company of New Mexico Easement granted by this plat.

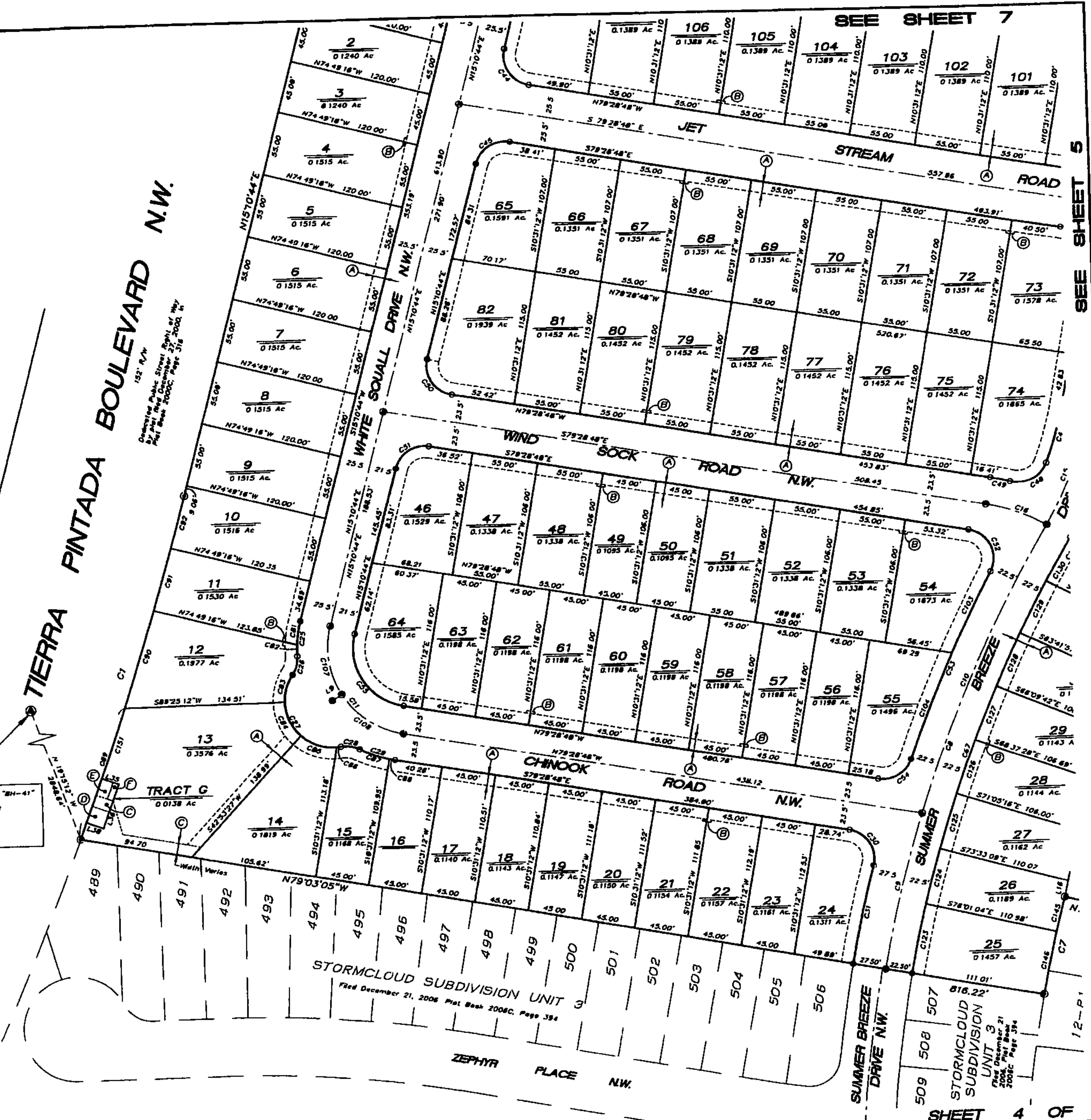
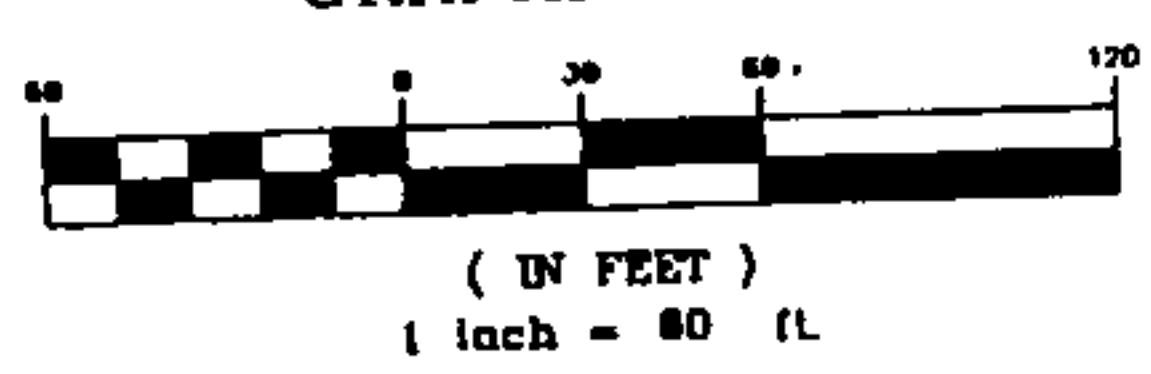
### EXISTING EASEMENTS

Existing Easements C thru J as listed below were granted by plat of Stormcloud Unit 5 See Sheet 2, Legal description for filing information

- Ⓒ Existing 10' Public Utility Easement.
- Ⓓ Existing Public Utility Easement granted to PNM.
- Ⓔ Existing Public Utility Easement granted to CenturyLink.
- Ⓕ Existing Public Utility Easement granted to Comcast.
- Ⓖ Existing Public Waterline Easement granted to Albuquerque Bernalillo County Water Utility Authority
- Ⓗ Existing Public Storm Drain Easement granted to the City of Albuquerque
- Ⓙ Existing Public Drainage Easement granted to the City of Albuquerque and Public Waterline Easement granted to Albuquerque Bernalillo County Water Utility Authority.

Albuquerque Central Survey Monument "24-41"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83) as published  
North = 1,498,608.828 feet  
East = 1,401,701.378 feet  
Delta Alpha = -0017'09"70"  
Ground to Grid Factor = 0.999670230

GRAPHIC SCALE



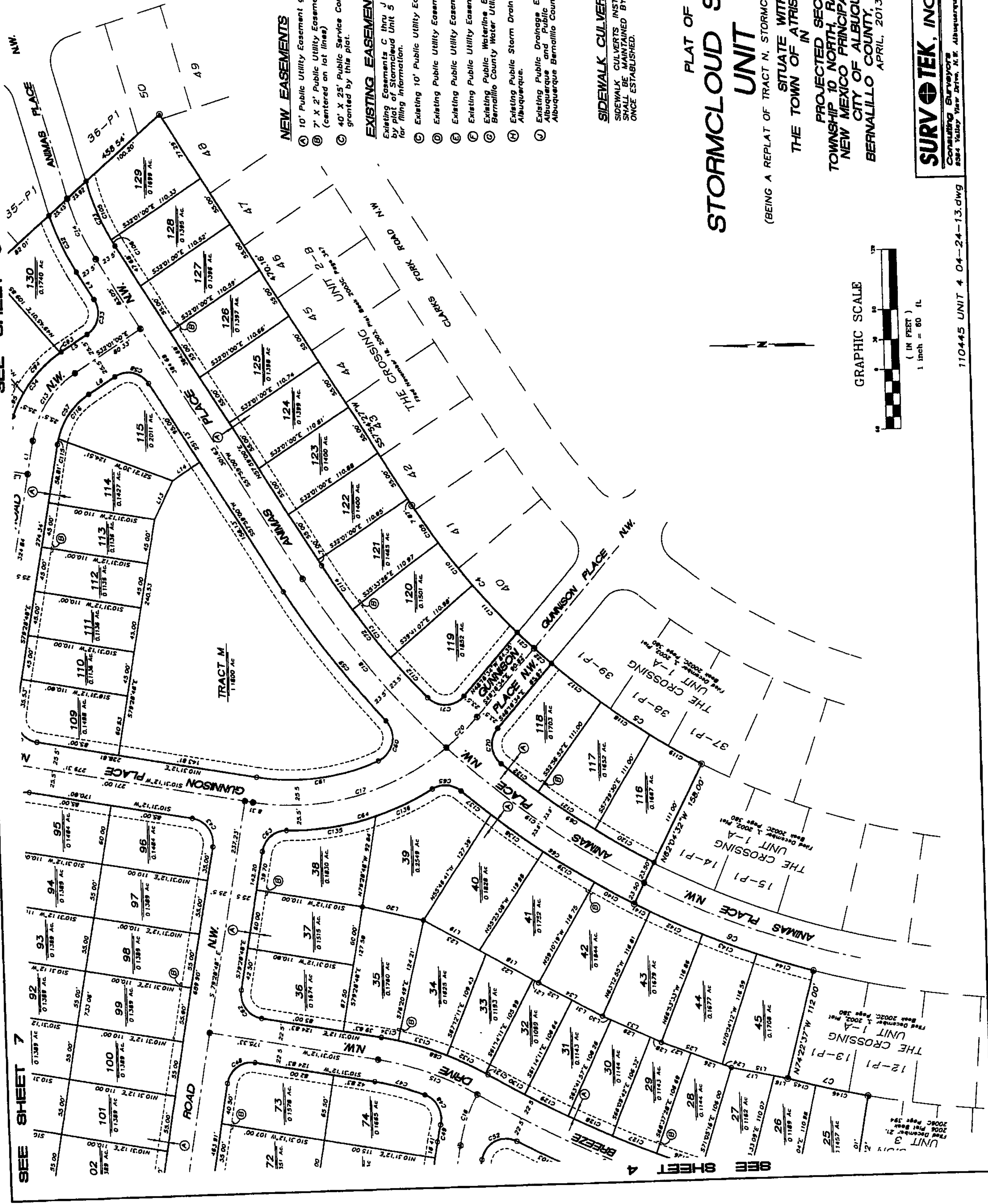
SHEET 4 OF 8

**SURVOTEK, INC.**  
Consulting Surveyors  
8584 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366  
Fax: 505-897-3377

110445 UNIT 4 04-24-13.dwg

SEE SHEET 6

SEE SHEET 7



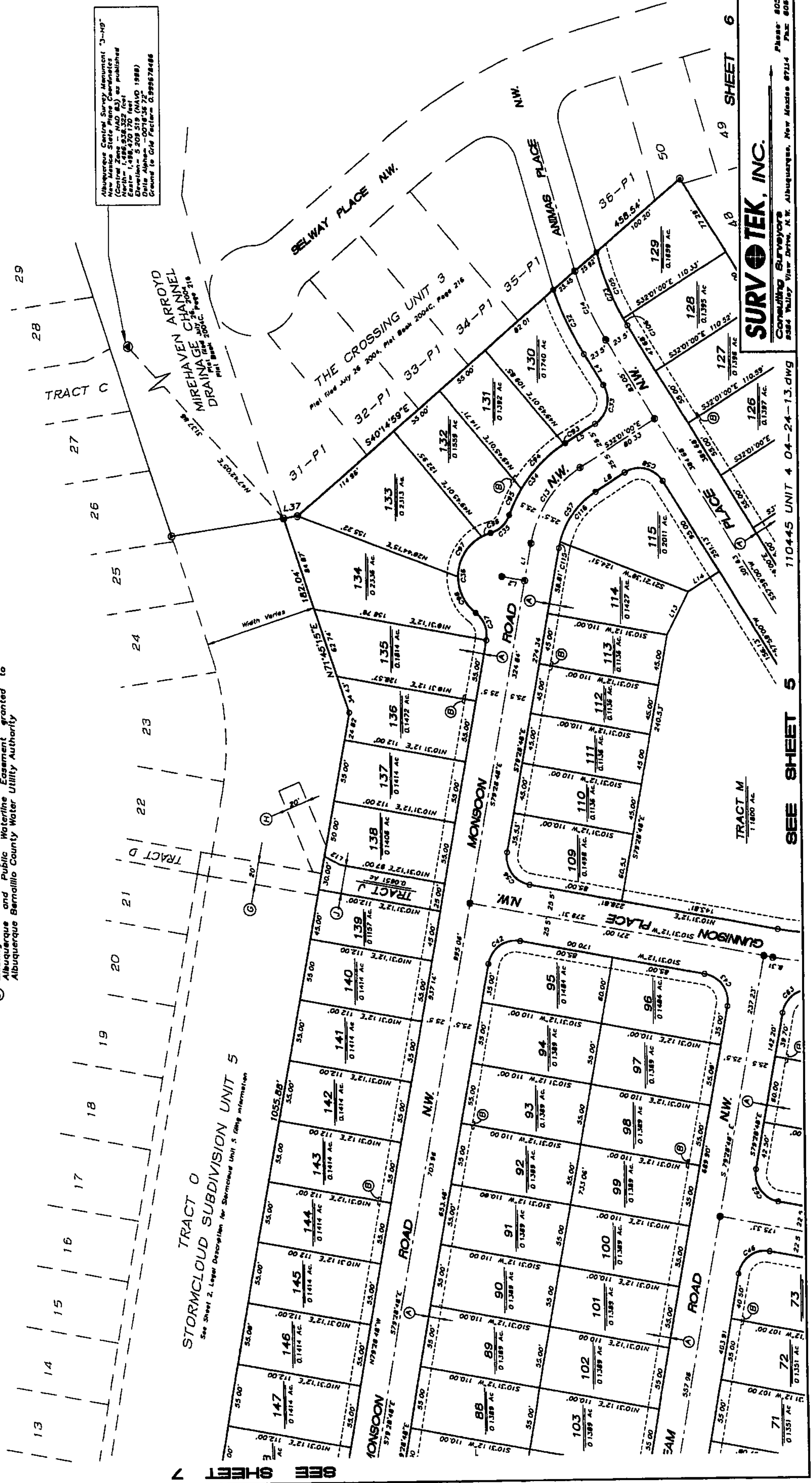
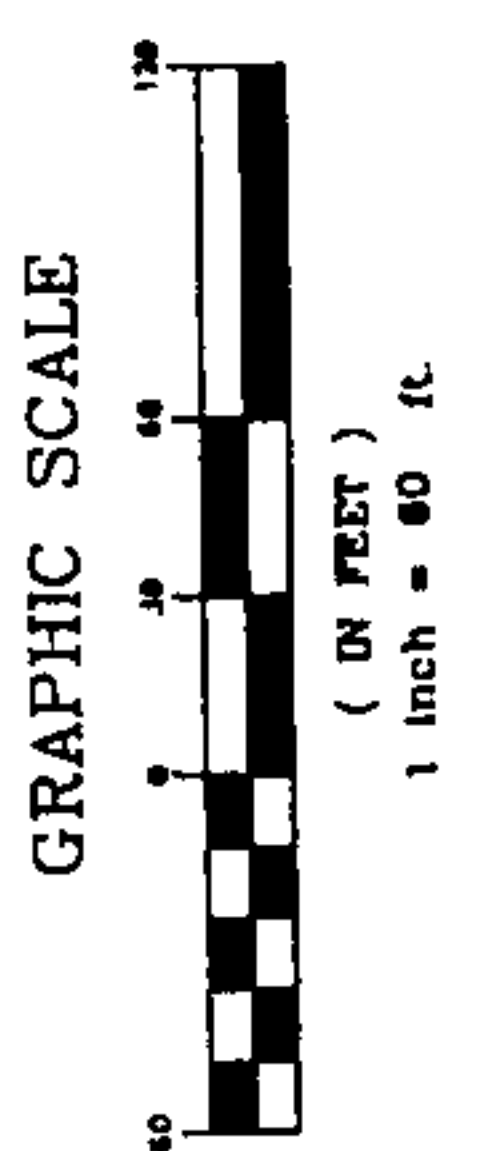
# FLAT OF STORMCLOUD SUBDIVISION UNIT 4

(BEING A REPLAT OF TRACT N, STORMCLOUD SUBDIVISION UNIT 5)  
SITUATE WITHIN  
THE TOWN OF ATHISCO GRANT  
IN

PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
APRIL, 2013

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  - Ⓖ Existing Public Waterline Easement granted to Albuquerque Bernalillo County Water Utility Authority.
  - Ⓗ Existing Public Storm Drain Easement granted to the City of Albuquerque.
  - Ⓙ Existing Public Drainage Easement granted to the City of Albuquerque and Public Waterline Easement granted to Albuquerque Bernalillo County Water Utility Authority.



**SURVOTEK, INC.**  
Consulting Surveyors  
2584 Valley View Drive, N.E. Albuquerque, New Mexico 87114  
Phone: 805-897-3348  
Fax: 805-897-3377

SEE SHEET 5

SHEET 6 OF 8

PLAT OF  
**STORMCLOUD SUBDIVISION**  
**UNIT 4**

(BEING A REPLAT OF TRACT N, STORMCLOUD SUBDIVISION UNIT 5)

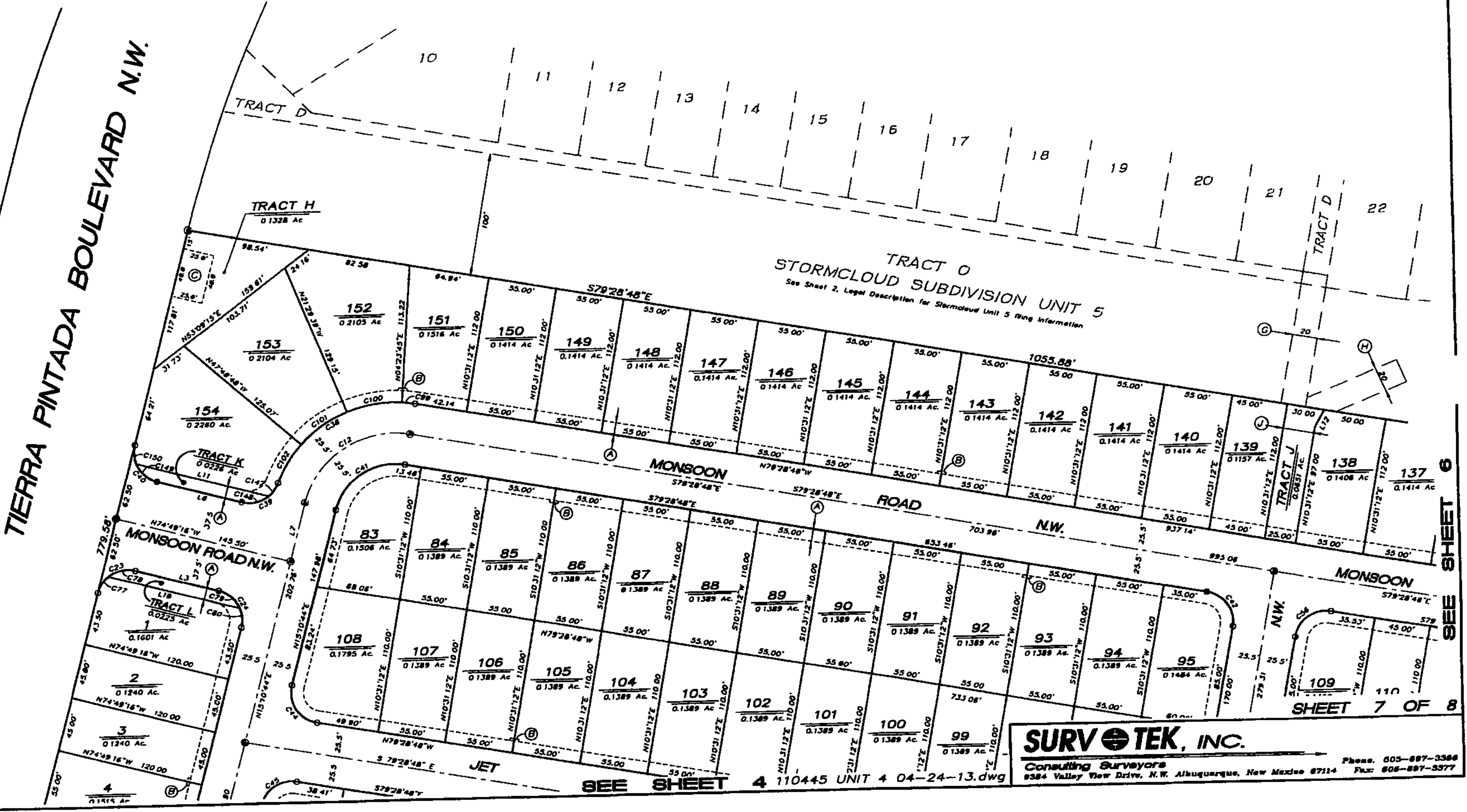
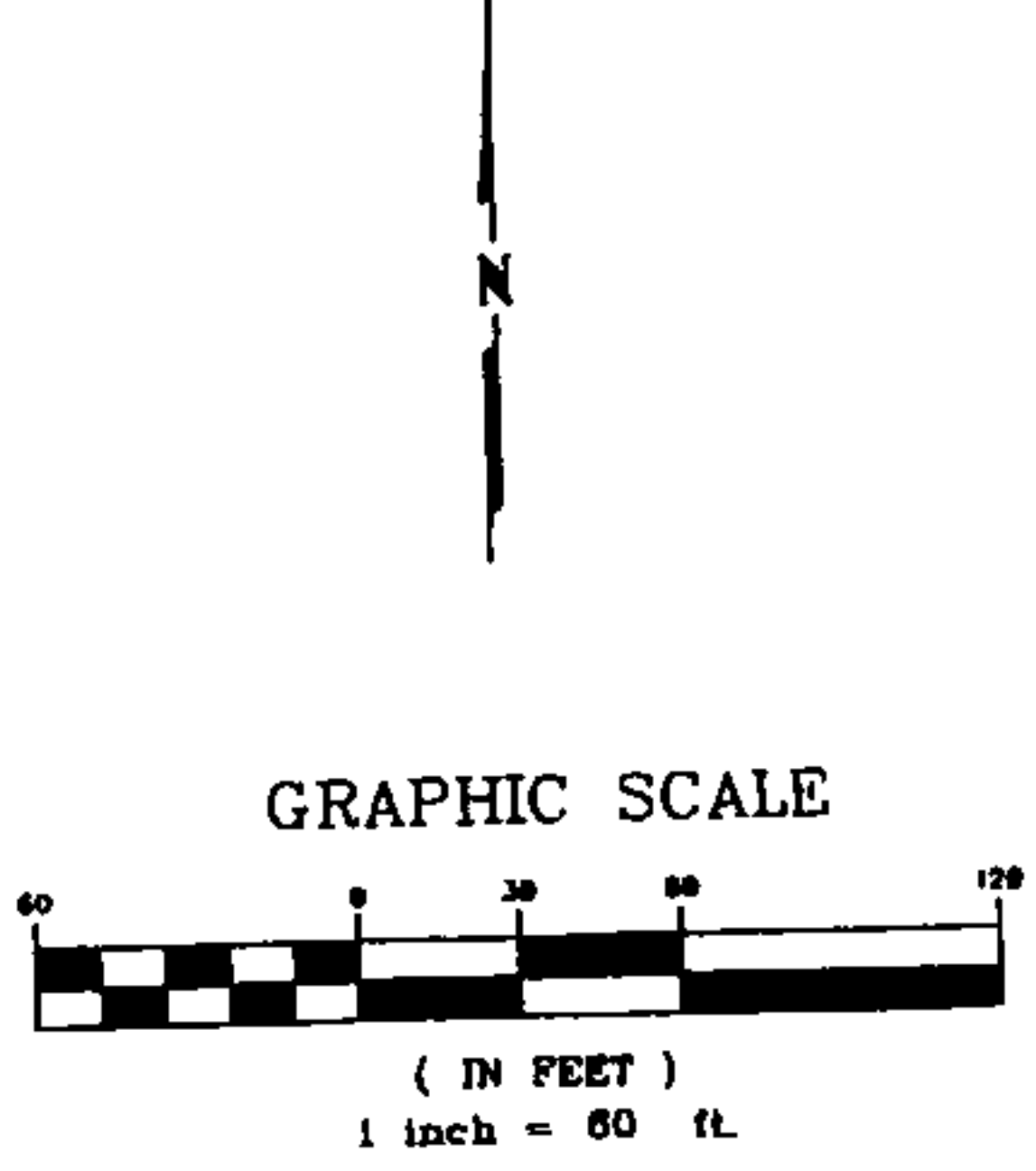
SITUATE WITHIN  
 THE TOWN OF ATRISCO GRANT  
 IN  
 PROJECTED SECTION 9  
 TOWNSHIP 10 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 APRIL, 2013

**NEW EASEMENTS**

- Ⓐ 10' Public Utility Easement granted by this plat
- Ⓑ 7' X 2' Public Utility Easement granted by this plat (centered on lot lines)
- Ⓒ 40' X 25' Public Service Company of New Mexico Easement granted by this plat

**EXISTING EASEMENTS**

- Existing Easements C thru J as listed below were granted by plat of Stormcloud Unit 5. See Sheet 2, Legal description for filing information.
- Ⓒ Existing 10' Public Utility Easement.
  - Ⓓ Existing Public Utility Easement granted to PNM
  - Ⓔ Existing Public Utility Easement granted to CenturyLink
  - Ⓕ Existing Public Utility Easement granted to Comcast.
  - Ⓖ Existing Public Waterline Easement granted to Albuquerque Bernalillo County Water Utility Authority.
  - Ⓗ Existing Public Storm Drain Easement granted to the City of Albuquerque
  - Ⓙ Existing Public Drainage Easement granted to the City of Albuquerque and Public Waterline Easement granted to Albuquerque Bernalillo County Water Utility Authority.



**SURV TEK, INC.**  
 Consulting Surveyors  
 8584 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3366 Fax: 505-897-3377

SEE SHEET 4 110445 UNIT 4 04-24-13.dwg

SEE SHEET 6

SHEET 7 OF 8

# FLAT OF STORMCLOUD SUBDIVISION UNIT 4

(BEING A REPLAT OF TRACT N, STORMCLOUD SUBDIVISION UNIT 5)  
SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT  
IN  
PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
APRIL, 2013

CURVE	LENGTH	RADIUS	TANGENT	CHORD BEARING	CHORD BEARING	DELTA
C101	46.17	100.50	23.50	S85°20'47"W	S85°20'47"W	26°19'09"
C102	36.78	100.50	18.60	S31°42'13"W	S31°42'13"W	20°57'58"
C103	76.32	1187.00	38.17	S28°15'45"W	S28°15'45"W	3°41'03"
C104	97.00	1187.00	48.53	S22°04'46"W	S22°04'46"W	4°40'55"
C105	64.12	226.50	32.28	S67°58'40"W	S67°58'40"W	16°13'14"
C106	7.32	226.50	3.66	S56°34'51"W	S56°34'51"W	1°51'03"
C107	60.38	75.00	31.81	S55°12'52"E	S55°12'52"E	48°07'38"
C108	63.53	75.00	33.81	S55°10'12"W	S55°10'12"W	3°28'31"
C109	46.22	782.00	23.12	S52°22'05"W	S52°22'05"W	4°07'41"
C110	54.90	782.00	27.46	S47°49'49"W	S47°49'49"W	4°56'51"
C111	65.80	782.00	32.92	S43°30'10"W	S43°30'10"W	3°37'25"
C112	55.21	873.00	28.98	S32°22'43"W	S32°22'43"W	4°07'41"
C113	62.90	873.00	31.46	S22°22'43"W	S22°22'43"W	3°37'25"
C114	53.95	873.00	26.98	S56°12'47"W	S56°12'47"W	4°23'45"
C115	5.25	74.50	2.66	S53°33'02"W	S53°33'02"W	4°34'03"
C116	58.00	74.50	29.40	S39°26'29"W	S39°26'29"W	4°46'43"
C117	63.55	782.00	31.80	S34°46'49"W	S34°46'49"W	4°35'08"
C118	60.43	782.00	30.23	S30°12'59"W	S30°12'59"W	4°32'38"
C119	60.96	782.00	30.80	S27°31'56"W	S27°31'56"W	4°32'38"
C120	69.84	873.00	34.84	S23°46'49"W	S23°46'49"W	4°32'38"
C121	69.23	873.00	34.84	S19°28'27"W	S19°28'27"W	3°01'00"
C122	46.81	873.00	23.46	S15°12'54"W	S15°12'54"W	2°27'55"
C123	60.12	1142.00	30.07	S17°40'48"W	S17°40'48"W	2°27'55"
C124	49.14	1142.00	24.57	S20°08'38"W	S20°08'38"W	2°27'46"
C125	49.12	1142.00	24.57	S22°36'25"W	S22°36'25"W	2°27'46"
C126	49.09	1142.00	24.55	S25°04'11"W	S25°04'11"W	2°27'46"
C127	49.09	1142.00	24.55	S27°31'56"W	S27°31'56"W	2°27'46"
C128	49.09	1142.00	24.55	S29°59'42"W	S29°59'42"W	2°27'46"
C129	49.09	1142.00	24.55	S32°28'28"W	S32°28'28"W	2°27'46"
C130	48.13	1142.00	21.07	S34°56'14"W	S34°56'14"W	2°27'46"
C131	2.89	325.00	1.44	S37°22'34"W	S37°22'34"W	0°30'31"
C132	42.95	325.00	21.51	N30°37'22"E	N30°37'22"E	2°34'18"
C133	41.87	325.00	20.99	N26°34'56"E	N26°34'56"E	9°08'38"
C134	51.87	325.00	25.99	N18°13'30"E	N18°13'30"E	3°07'59"
C135	17.77	325.00	8.99	N12°05'11"E	N12°05'11"E	19°25'26"
C136	93.40	225.50	47.15	S07°15'45"E	S07°15'45"E	13°22'08"
C137	38.40	920.00	19.21	S39°51'45"W	S39°51'45"W	2°23'29"
C138	38.40	920.00	19.21	S36°33'26"W	S36°33'26"W	4°03'09"
C139	65.07	920.00	32.55	S32°40'18"W	S32°40'18"W	3°47'11"
C140	60.80	920.00	30.41	S28°22'34"W	S28°22'34"W	2°54'13"
C141	46.65	920.00	23.32	S24°56'46"W	S24°56'46"W	1°08'23"
C142	18.30	920.00	9.15	S21°17'17"W	S21°17'17"W	3°40'39"
C143	59.05	920.00	29.53	S17°08'08"W	S17°08'08"W	3°48'25"
C144	81.13	920.00	40.58	S12°31'36"W	S12°31'36"W	1°40'34"
C145	30.19	1032.00	15.09	S14°47'06"W	S14°47'06"W	3°00'43"
C146	54.25	1032.00	27.13	S12°28'28"W	S12°28'28"W	3°00'43"
C147	13.45	25.00	6.69	N36°38'05"E	N36°38'05"E	3°04'42"
C148	23.18	25.00	12.50	N28°38'50"E	N28°38'50"E	5°10'48"
C149	23.18	25.00	12.50	S48°15'22"E	S48°15'22"E	5°10'48"
C150	16.09	25.00	8.33	S03°15'22"E	S03°15'22"E	36°52'19"
C151	63.48	3000.00	31.73	N19°21'46"E	N19°21'46"E	1°12'43"

LINE	LENGTH	BEARING
L1	33.73	S79°28'48"E
L2	21.00	N10°31'12"E
L3	70.00	S74°49'16"E
L4	32.55	S57°59'00"W
L5	31.83	N32°01'00"W
L6	70.70	N74°49'16"W
L7	49.29	N15°10'44"E
L8	31.83	S32°01'00"E
L9	9.43	S58°03'50"W
L10	110.00	N74°49'16"W
L11	110.70	N74°49'16"W
L12	15.81	N28°57'17"E
L13	42.97	S62°33'25"E
L14	33.42	S32°01'00"E
L15	58.87	N12°27'27"E
L16	14.21	N12°27'27"E
L17	44.66	N12°27'27"E
L18	68.68	N30°02'40"E
L19	64.35	N30°02'40"E
L20	64.50	N14°02'20"E
L21	6.78	N30°02'40"E
L22	54.28	N30°02'40"E
L23	71.96	N30°02'40"E
L24	10.09	N21°01'53"E
L25	66.53	N21°01'53"E
L26	44.53	N21°01'53"E
L27	32.09	N21°01'53"E
L28	12.43	N24°59'27"E
L29	44.51	N24°59'27"E
L30	9.59	N24°59'27"E
L31	34.94	N28°51'15"E
L32	38.21	N28°51'15"E
L33	66.53	N24°59'27"E
L34	73.15	N28°51'15"E
L35	15.09	S69°36'20"E
L36	40.00	S20°23'40"W
L37	12.64	S08°19'45"E
L38	15.06	N68°36'20"W

CURVE	LENGTH	RADIUS	TANGENT	CHORD BEARING	CHORD BEARING	DELTA
C1	305.79	3000.00	153.03	S05°58'E	N18°05'58"E	5°50'25"
C2	DELETED					
C3	190.45	782.00	95.72	S90°44'51"W	S90°44'51"W	14°19'12"
C4	208.45	782.00	104.68	S35°45'41"W	S35°45'41"W	15°40'28"
C5	197.59	920.00	99.14	S21°46'26"W	S21°46'26"W	12°18'05"
C6	84.44	1032.00	42.24	S13°16'45"W	S13°16'45"W	4°41'18"
C7	404.69	1184.50	204.41	S20°55'17"W	S20°55'17"W	19°54'42"
C8	366.99	1184.50	184.57	S14°20'08"W	S14°20'08"W	6°44'24"
C9	287.71	1184.50	144.50	S24°17'29"W	S24°17'29"W	3°10'18"
C10	123.91	75.00	61.36	S32°08'02"E	S32°08'02"E	94°39'32"
C11	111.71	75.00	58.14	S39°50'58"W	S39°50'58"W	85°20'28"
C12	82.84	100.00	43.96	N55°44'54"W	N55°44'54"W	42°27'48"
C13	67.36	250.00	33.69	S65°42'08"W	S65°42'08"W	13°26'16"
C14	107.48	302.50	54.31	N20°41'55"E	N20°41'55"E	20°21'27"
C15	53.85	150.00	27.22	N69°11'45"W	N69°11'45"W	20°34'06"
C16	212.69	230.00	113.28	S13°51'11"E	S13°51'11"E	48°44'46"
C17	223.65	896.50	113.42	S50°48'22"W	S50°48'22"W	15°38'16"
C18	244.68	896.50	123.11	S35°44'36"E	S35°44'36"E	15°38'16"
C19	43.85	250.00	21.98	S43°15'04"E	S43°15'04"E	10°03'00"
C20	23.53	250.00	11.76	S44°28'19"W	S44°28'19"W	1°46'09"
C21	23.53	782.00	11.75	S42°42'52"W	S42°42'52"W	1°46'09"
C22	23.50	782.00	11.75	S60°10'44"W	S60°10'44"W	9°00'00"
C23	39.27	25.00	25.00	S35°36'E	S35°36'E	90°00'00"
C24	39.27	25.00	25.00	N29°48'16"W	N29°48'16"W	90°00'00"
C25	30.21	92.00	15.23	S06°15'26"W	S06°15'26"W	17°50'36"
C26	16.34	25.00	8.17	N16°03'27"E	N16°03'27"E	37°26'37"
C27	93.21	40.00	53.12	S31°38'27"E	S31°38'27"E	133°30'23"
C28	16.34	25.00	8.17	N40°00'21"W	N40°00'21"W	37°26'37"
C29	30.81	97.00	15.53	S20°24'58"E	S20°24'58"E	18°11'46"
C30	41.27	25.00	27.08	N22°11'28"W	N22°11'28"W	94°34'45"
C31	86.00	1192.00	43.02	S13°01'55"W	S13°01'55"W	4°08'02"
C32	63.47	273.50	31.88	S64°37'54"W	S64°37'54"W	13°17'49"
C33	38.27	25.00	25.00	S77°01'00"E	S77°01'00"E	90°00'00"
C34	82.83	125.50	42.99	N50°55'29"W	N50°55'29"W	37°48'58"
C35	24.19	25.00	13.14	N25°31'12"E	N25°31'12"E	90°00'00"
C36	89.43	40.00	82.20	S42°06'31"E	S42°06'31"E	128°06'16"
C37	27.49	25.00	15.32	N28°26'13"W	N28°26'13"W	90°00'00"
C38	139.10	100.50	83.29	N49°00'55"E	N49°00'55"E	79°17'58"
C39	36.63	25.00	22.49	S80°52'13"W	S80°52'13"W	90°00'00"
C40	33.27	25.00	22.49	N83°11'59"E	N83°11'59"E	83°57'30"
C41	73.23	25.00	45.63	S29°49'16"E	S29°49'16"E	90°00'00"
C42	39.27	25.00	25.00	S57°50'58"W	S57°50'58"W	85°20'28"
C43	39.27	25.00	25.00	N34°28'48"W	N34°28'48"W	90°00'00"
C44	41.30	25.00	27.12	N55°31'12"E	N55°31'12"E	90°00'00"
C45	37.24	25.00	23.05	S32°09'02"E	S32°09'02"E	94°39'32"
C46	39.27	25.00	25.00	S37°50'58"W	S37°50'58"W	85°20'28"
C47	53.17	250.00	28.67	N34°28'48"W	N34°28'48"W	90°00'00"
C48	36.98	25.00	22.81	N63°46'48"E	N63°46'48"E	84°45'37"
C49	17.08	123.50	6.55	N76°39'36"W	N76°39'36"W	5°38'28"
C50	41.30	25.00	27.12	S32°09'02"E	S32°09'02"E	94°39'32"
C51	37.24	25.00	23.05	S57°50'58"W	S57°50'58"W	85°20'28"
C52	46.94	25.00	34.15	N25°41'16"W	N25°41'16"W	107°35'04"
C53	173.32	1187.00	86.82	S23°55'17"W	S23°55'17"W	8°21'58"
C54	35.25	25.00	21.27	N60°07'45"E	N60°07'45"E	60°46'54"
C55	82.61	50.00	54.24	S32°09'02"E	S32°09'02"E	94°39'32"
C56	39.27	25.00	25.00	S55°31'12"W	S55°31'12"W	90°00'00"
C57	61.72	24.50	32.25	N55°44'54"W	N55°44'54"W	47°27'48"
C58	39.27	25.00	25.00	N12°59'00"E	N12°59'00"E	90°00'00"
C59	167.71	920.00	84.09	S52°45'40"W	S52°45'40"W	10°26'40"
C60	44.11	25.00	35.88	S77°19'31"E	S77°19'31"E	110°16'17"
C61	128.16	224.50	65.68	S05°30'06"E	S05°30'06"E	32°42'34"
C62	39.27	25.00	25.00	S65°31'12"W	S65°31'12"W	90°00'00"
C63	35.75	25.00	21.71	N38°30'55"W	N38°30'55"W	61°35'47"
C64	157.68	275.50	81.07	S13°58'59"E	S13°58'59"E	32°42'34"
C65	31.15	25.00	17.86	N05°21'22"E	N05°21'22"E	71°24'03"
C66	210.89	920.00	105.91	S34°28'29"W	S34°28'29"W	13°08'02"
C67	396.87	1142.00	200.46	S20°55'17"W	S20°55'17"W	19°54'41"
C68	115.47	845.00	58.35	N20°41'55"E	N20°41'55"E	20°21'27"
C69	185.98	873.00	93.34	S14°01'53"W	S14°01'53"W	12°12'22"
C70	39.97	25.00	25.71	S45°55'36"W	S45°55'36"W	91°35'36"
C71	41.44	25.00	27.27	S00°47'33"E	S00°47'33"E	94°58'01"
C72	172.06	873.00	86.31	S82°20'14"W	S82°20'14"W	171°78"
C73	71.44	226.50	36.02	S67°01'08"W	S67°01'08"W	18°04'17"
C74	DELETED					
C75	DELETED					
C76	16.09	25.00	15.81	S33°36'50"W	S33°36'50"W	36

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1005029 Application #: 13DRB-70495  
Project Name: STORMCLOUD (TBKA STORMCLOUD SUBD UNIT 4 & 5) Unit(s) 3  
Agent: ISAACSON AND ARFMAN PA Phone #: \_\_\_\_\_

\*\*Your request was approved on 4-3-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed\*\*

TRANSPORTATION: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ABCWUA: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER / AMAFCA: Richard Powell & AMFCA signatures

PARKS / CIP: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PLANNING (Last to sign): to record

**PLATS:**  
 Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

**ALL SITE PLANS:**  
 3 copies of the approved site plan. Include all pages.



PLAT OF  
**STORMCLOUD SUBDIVISION**  
**UNIT 5**

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)

SITUATE WITHIN  
 THE TOWN OF ATRISCO GRANT  
 IN

PROJECTED SECTION 9  
 TOWNSHIP 10 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 MARCH, 2013

PROJECT NUMBER: 1005029

Application Number: 13DRB-70495

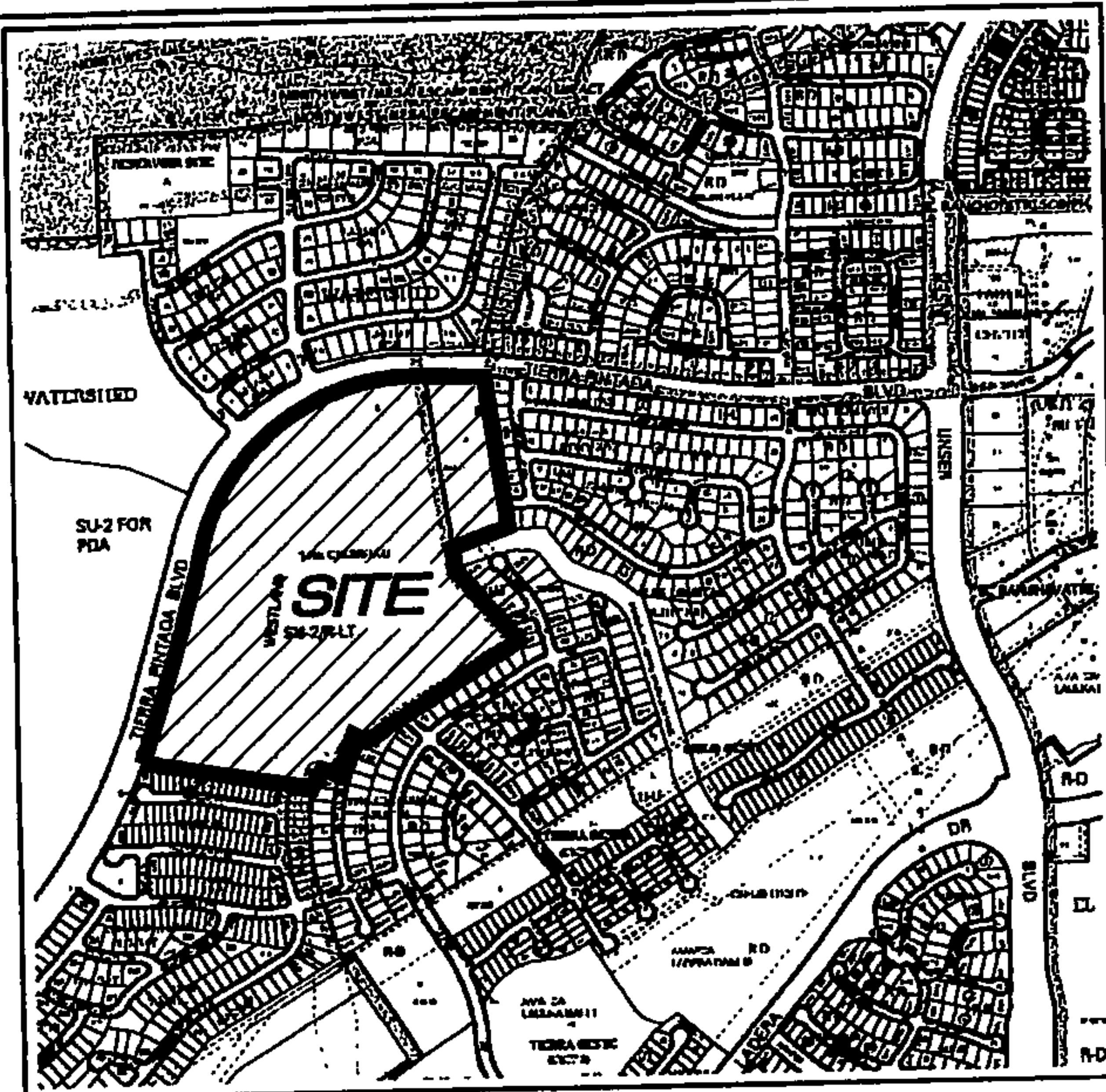
**PLAT APPROVAL**

**UTILITY APPROVALS:**

<i>Fernando Vigil</i>	4-1-2013
Public Service Company of New Mexico	Date
<i>[Signature]</i>	4-1-2013
New Mexico Gas Company	Date
<i>[Signature]</i>	4-1-13
Qwest Corporation d/b/a CenturyLink QC	Date
<i>[Signature]</i>	3/26/13
Castcast	Date

**CITY APPROVALS:**

<i>David P. Acosta</i>	3-19-13
City Surveyor	Date
Department of Municipal Development	
Real Property Division	Date
Environmental Health Department	Date
<i>[Signature]</i>	04-03-13
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	04/03/13
ABCWA	Date
<i>[Signature]</i>	4-3-13
Parks and Recreation Department	Date
<i>[Signature]</i>	5-14-13
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date



VICINITY MAP  
 ZONE ATLAS PAGE H-9-Z  
 Not To Scale

**GENERAL NOTES**

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- Distances are ground
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus @. All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do Not Disturb, PS Number 9750" and will be set flush with the final asphalt lift
- City of Albuquerque Zone Atlas Page H-9-Z
- No lot shall have direct access to Tierra Pintada Blvd, N.W
- Total remaining open space requirement is met via the provision of detached open space per the provisions of Section 14-16-3-B(A)(3)

**SUBDIVISION DATA**

- Total number of existing Tracts 3
- Total number of lots created 87
- Total number of Tracts created 12
- Public Street right of way dedicated by this plat 5.2922 Ac
- Gross Subdivision acreage. 55 2416 Ac.
- Total miles of new right of way 0.85 mi

**SHEET INDEX**

- Sheet 1 of 9 Approvals, General Notes, Purpose of plat
- Sheet 2 of 9 Legal Description, Free Consent & Dedication
- Sheet 3 of 9 Overall Existing Plat, Tracts and Vacated Easements and overall proposed platting exhibit
- Sheets 4-8 New Subdivision Lots, Tracts, right of ways and easements
- Sheet 9 of 9 Curve and Line Tables, Easement Details

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

\_\_\_\_\_

\_\_\_\_\_

Bernalillo County Treasurer Date

**PUBLIC UTILITY EASEMENTS**

- PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of
- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services
  - New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
  - Qwest Corporation d/b/a Century Link QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
  - Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation d/b/a Century Link (QC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**PURPOSE OF PLAT**

- The purpose of this plat is to
- Create 87 New Lots and 12 Tracts as shown hereon.
  - Dedicate the Public Street right of way as shown hereon
  - Show the Easements Vacated by 12DRB- 70043
  - Grant the New Easements as shown hereon.
  - Dedicate Tract "O" as shown hereon to AMAFCA in fee simple with special warranty covenants for Drainage right of way.

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record, and that it is true and correct to the best of my knowledge and belief

*[Signature]*  
 Russ P. Hugg  
 NMPS No. 9750  
 March 4, 2013

**SURV TEK, INC.**  
 Consulting Surveyors  
 8884 Valley View Drive, N.E. Albuquerque, New Mexico 87114  
 Phone: 505-897-3368 Fax: 505-897-3377

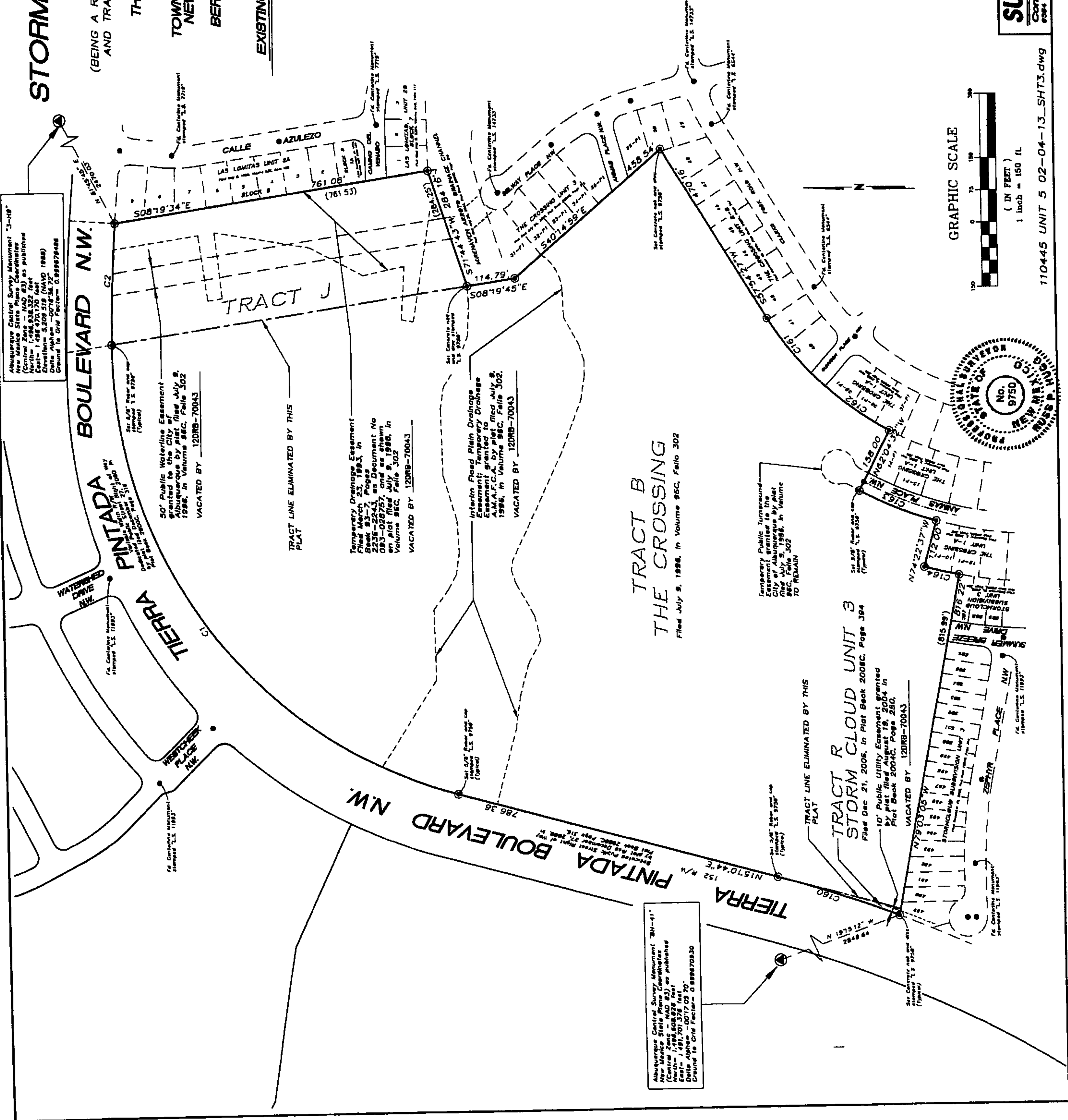
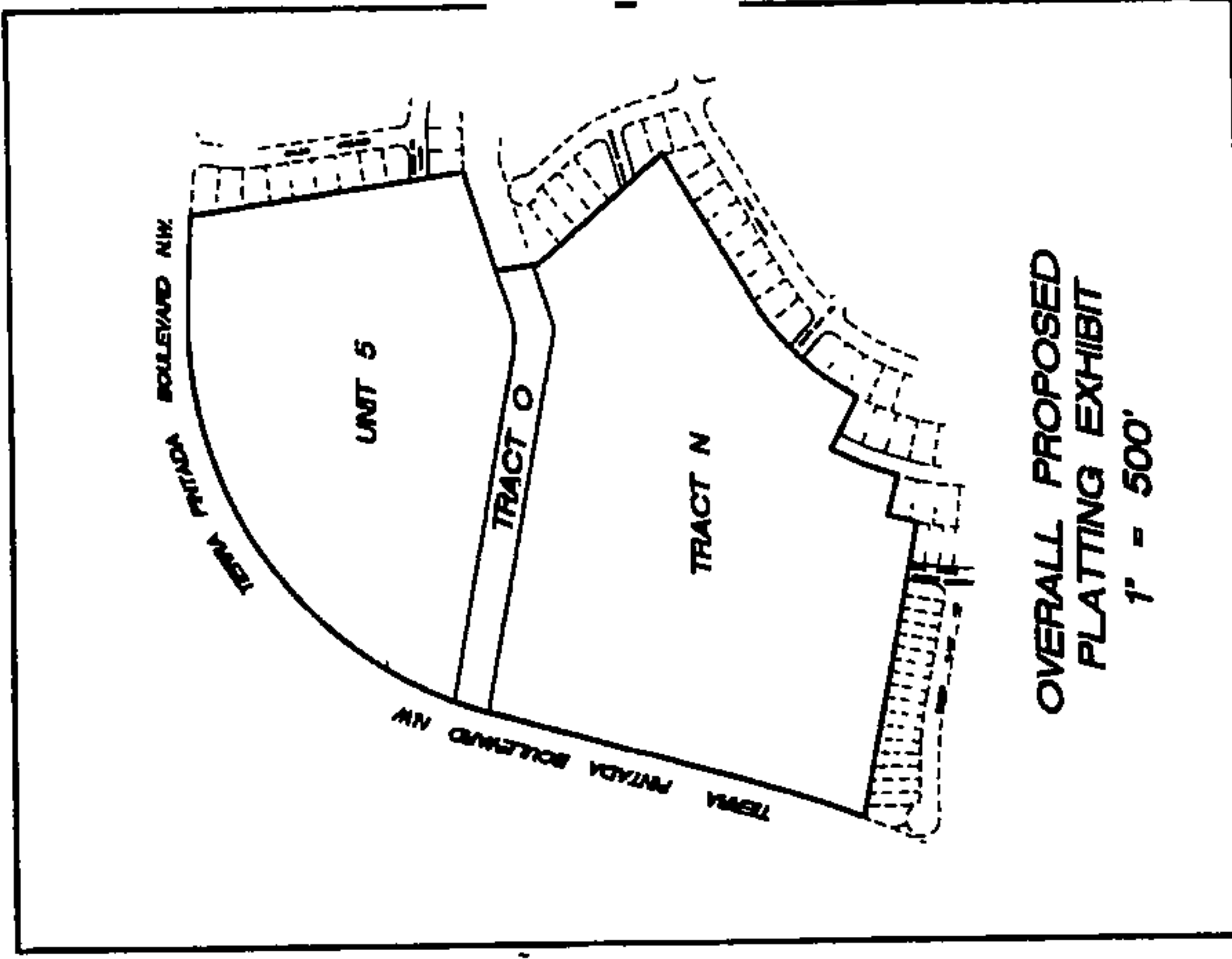


# PLAT OF STORMCLOUD SUBDIVISION UNIT 5

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)  
SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT

PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2013

EXISTING TRACTS AND EASEMENTS VACATED



Albuquerque Central Survey Monument "3-HB"  
New Mexico State Plane Coordinates  
(Control Zone - NAD 83) as published  
in the Official Surveyor's Record  
Book 1, 488-4701-70 (488)  
Elevation 5,209.512 (MAG 1988)  
Data Alpha - 007123.72  
Ground to Grid Factor - 0.999979448

50' Public Waterline Easement  
granted to the City of  
Albuquerque by plat filed July 9,  
1996, in Volume 96C, Folio 302  
VACATED BY 12DRB-70043

Temporary Drainage Easement  
Filed March 23, 1993, in  
Book 93-7, Pages  
223E-224E, as Document No  
985-101 filed July 9, 1996, in  
Volume 96C, Folio 302  
VACATED BY 12DRB-70043

Interim Flood Plain Drainage  
Easement granted to  
A.M.A.F.C.A. by plat filed July 9,  
1996, in Volume 96C, Folio 302.  
VACATED BY 12DRB-70043

Temporary Public Easement  
granted to the  
City of Albuquerque  
by Volume 96C, Folio 302  
TO REMAIN

10' Public Utility Easement granted  
Plat Book 2004C, Page 250.  
VACATED BY 12DRB-70043

TRACT LINE ELIMINATED BY THIS  
PLAT

TRACT LINE ELIMINATED BY THIS  
PLAT

TRACT LINE ELIMINATED BY THIS  
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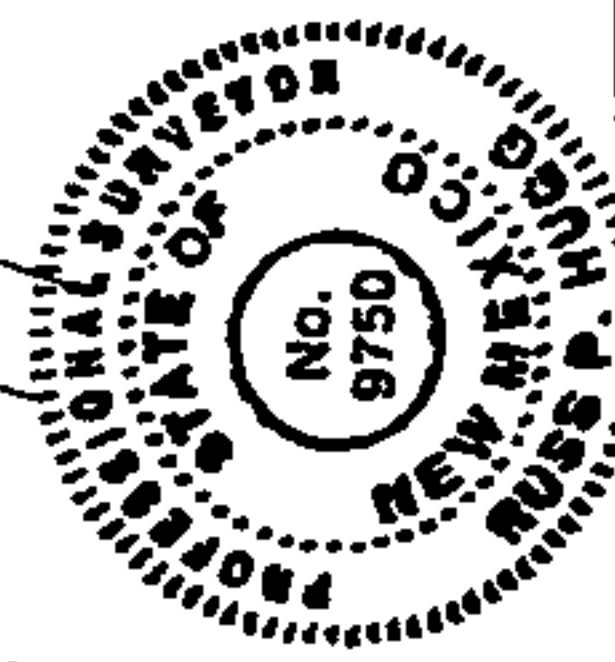
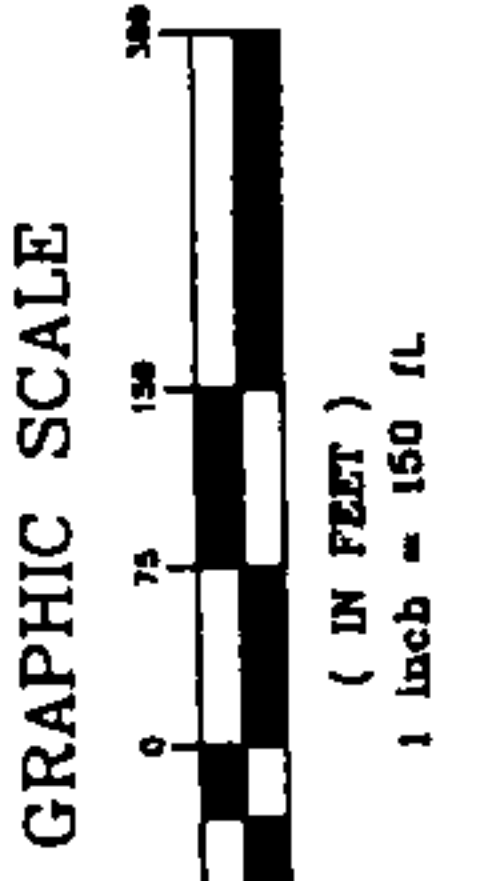
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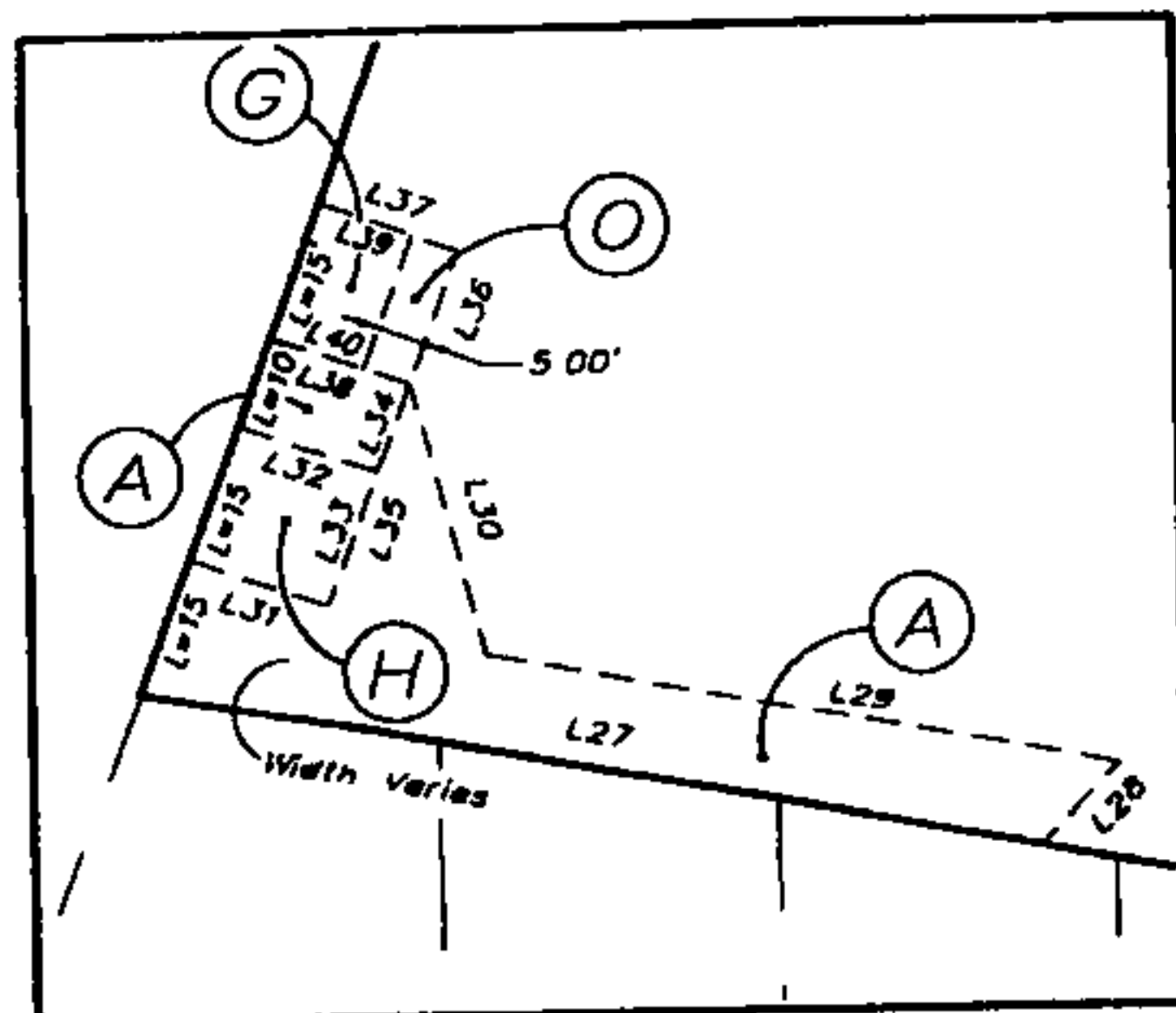
**SURVOTEK, INC.**  
Consulting Surveyors  
8884 Valley View Drive, N.E. Albuquerque, New Mexico 87114 Fax: 505-887-3877  
Phone: 505-887-5888

# PLAT OF STORMCLOUD SUBDIVISION UNIT 5

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)

SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT  
IN

PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2013



DETAIL 'D' 1" = 30'

LINE	LENGTH	BEARING
L27	94.70	S79°03'05"E
L28	11.78	N42°53'27"E
L29	66.58	N79°03'05"W
L30	29.85	N14°27'21"W
L31	15.06	S69°36'20"E
L32	15.01	S69°36'20"E
L33	15.00	N20°23'40"E
L34	10.00	N20°23'40"E
L35	25.00	N20°23'40"E
L36	15.00	N20°23'40"E
L37	15.09	N89°36'20"W
L38	15.02	S69°36'20"E
L39	10.09	S69°36'20"E
L40	10.02	S69°36'20"E

Albuquerque Central Survey Monument "BN-41"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83) as published  
North = 1,486,608.828 feet  
East = 1,491,701.376 feet  
Delta Alpha = -00°17'09.70"  
Ground to Grid Factor = 0.999870930

### SIDEWALK CULVERT MAINTENANCE NOTE

SIDEWALK CULVERTS INSTALLED ADJACENT TO TRACT E SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION ONCE ESTABLISHED

### TRACT DESIGNATIONS

TRACTS A THROUGH K SHALL BE CONVEYED TO THE HOMEOWNERS' ASSOCIATION ONCE ESTABLISHED. THESE TRACTS SHALL BE MAINTAINED BY SAID ASSOCIATION. USES FOR TRACTS ARE LISTED BELOW.

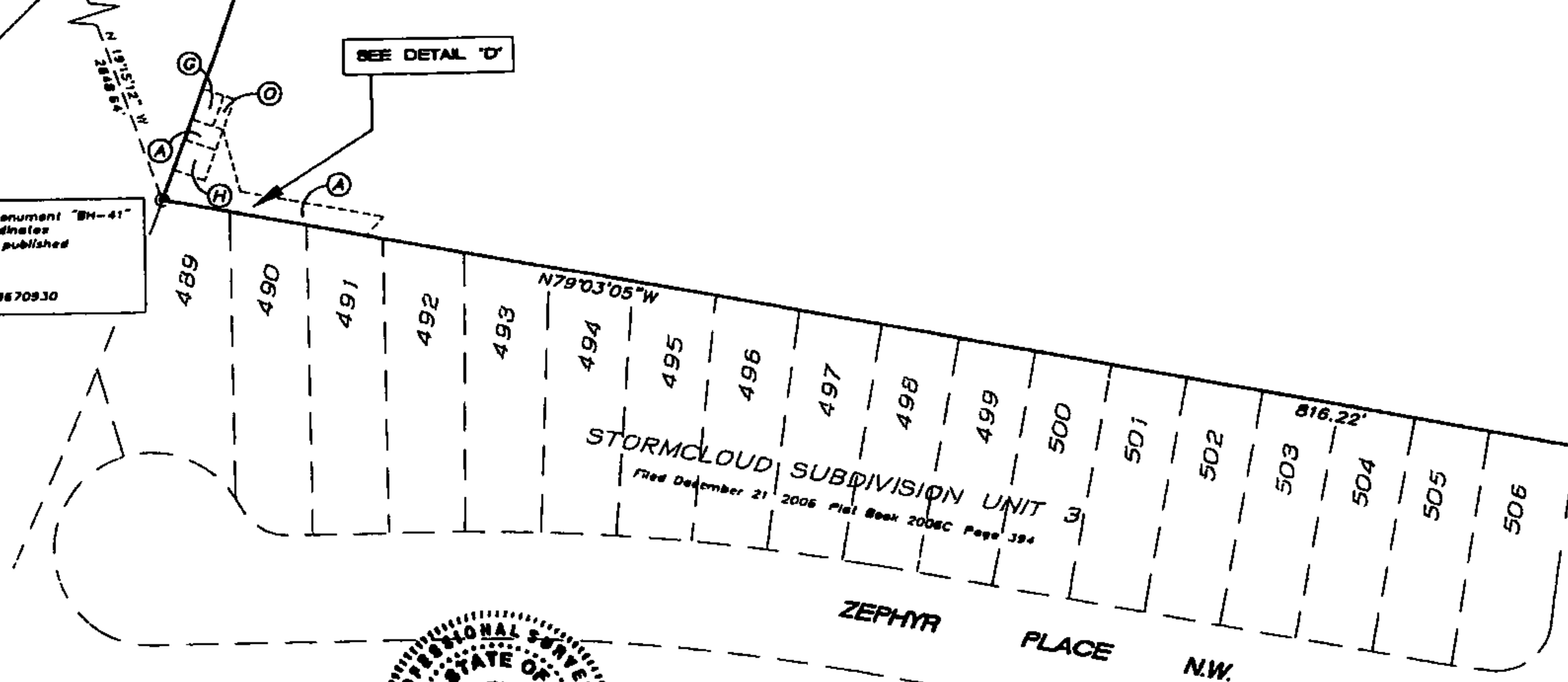
- | TRACT | USE  |
|-------|--|
| A     | LANDSCAPING  |
| B     | LANDSCAPING  |
| C     | MAINTENANCE ACCESS ROAD FOR COA, ABCWUA AND AMAFCA/WATERLINE AND STORM DRAIN EASEMENT                |
| D     | WATERLINE EASEMENT/AMAFCA MAINTENANCE ACCESS EASEMENT  |
| E     | PRIVATE PARK   |
| F     | LANDSCAPING/PUBLIC PEDESTRIAN ACCESS EASEMENT  |
| G     | WATERLINE EASEMENT FOR A.B.C.W.U.A. VAULT  |
| H     | WATERLINE EASEMENT FOR A B C.W.U.A. WATERLINE AND VAULT  |
| J     | PNM, COMCAST AND CENTURYLINK SURFACE EQUIPMENT/PUE.  |
| K     | LANDSCAPING/WATERLINE AND SANITARY SEWER LINE EASEMENT/DRAINAGE EASEMENT AND PUBLIC UTILITY EASEMENT |
| N     | TO BE RETAINED BY OWNER FOR FUTURE DEVELOPMENT   |
| O     | TO BE DEDICATED TO A.M.A.F.C.A FOR DRAINAGE CHANNEL  |

### NEW EASEMENTS

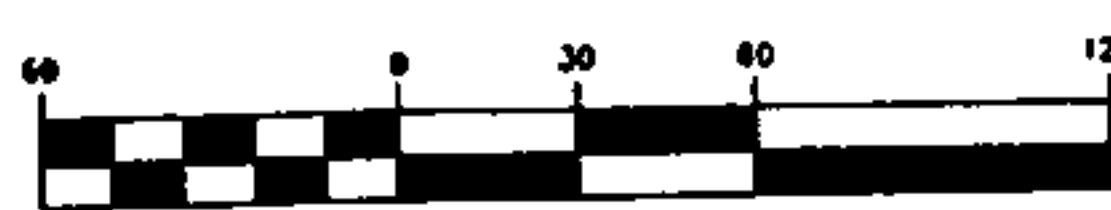
- (A) 10' Public Utility Easement granted by this plat
- (B) 10' Public Pedestrian Easement
- (C) Public Waterline Easement granted to A.B.C.W.U.A. by this plat.  
Public Storm Drain Easement granted to the City of Albuquerque by this plat.  
Maintenance Access Easement granted to A.M.A.F.C.A. by this plat.
- (D) Public Waterline and Sanitary Sewer Easement granted to A.B.C.W.U.A. by this plat
- (E) Public Waterline Easement granted to ABCWUA by this plat. (over all Tract G)
- (F) Public Waterline Easement granted to A.B.C.W.U.A. by this plat. (over all Tract H)
- (G) Public Utility Easement granted to CenturyLink by this plat.
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- (O) Public Utility Easement granted to Comcast by this plat
- (P) Public Waterline and sanitary Sewer line easement granted to ABCWUA, Public drainage easement granted to the City of Albuquerque and Public Utility Easement granted this plat (Over all of Tract K)

TRACT N  
31.0361 Ac

TIERRA PINTADA BOULEVARD N.W.



GRAPHIC SCALE



( IN FEET )  
1 inch = 80 ft.



**SURVOTEK, INC.**

Consulting Surveyors  
8384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-887-3588 Fax: 505-887-3377

SEE SHEET 8

**SIDEWALK CULVERT MAINTENANCE NOTE**

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**TRACT USE**

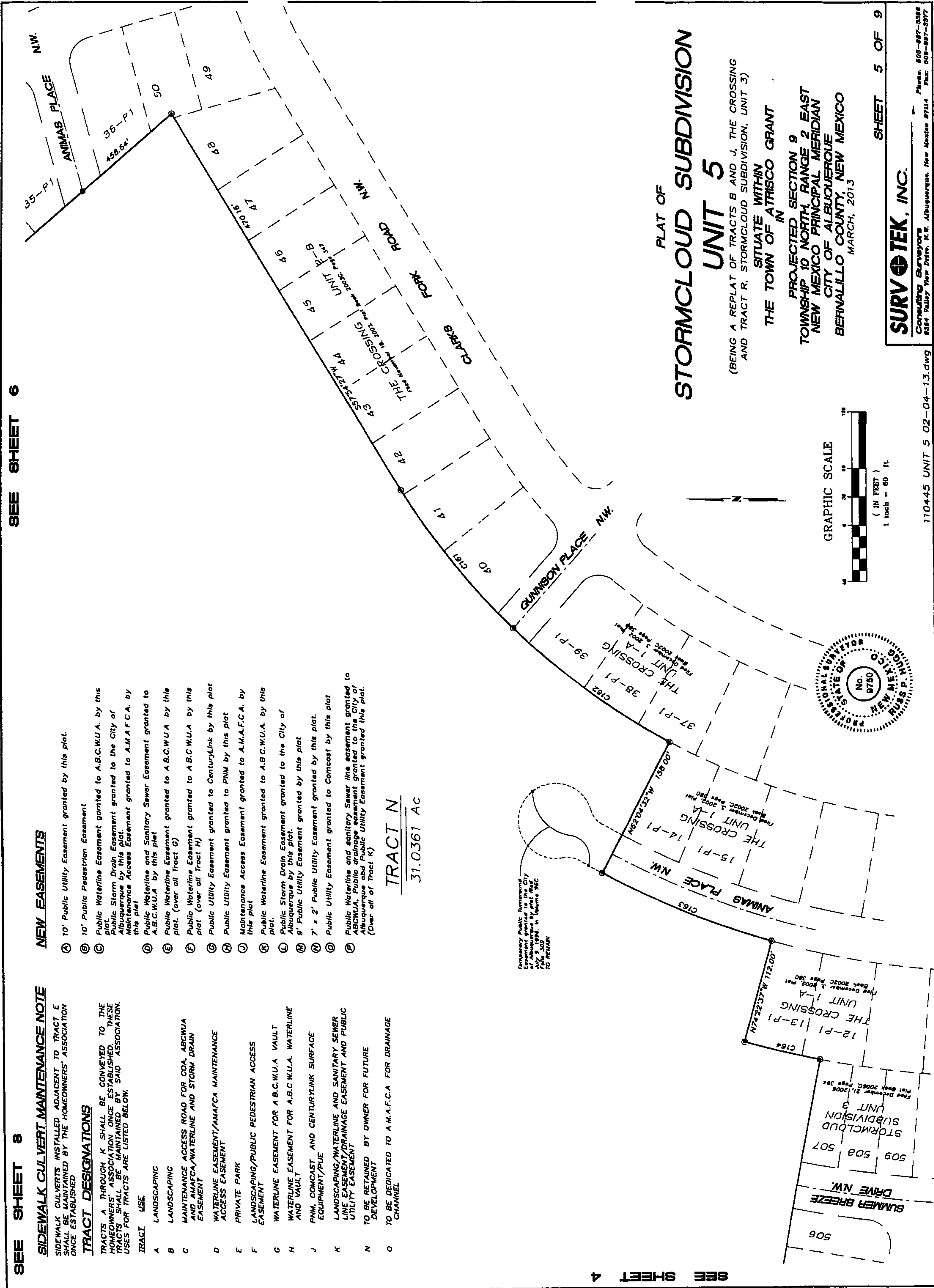
- A LANDSCAPING
- B LANDSCAPING
- C MAINTENANCE ACCESS ROAD FOR COA, ABCWUA AND AMAFCA/WATERLINE AND STORM DRAIN EASEMENT
- D WATERLINE EASEMENT/AMAFCA MAINTENANCE ACCESS EASEMENT
- E PRIVATE PARK
- F LANDSCAPING/PUBLIC PEDESTRIAN ACCESS EASEMENT
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- N TO BE RETAINED BY OWNER FOR FUTURE DEVELOPMENT
- O TO BE DEDICATED TO A.M.A.F.C.A FOR DRAINAGE CHANNEL

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- L 9' Public Utility Easement granted by this plat
- M 7' x 2' Public Utility Easement granted by this plat
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**TRACT N**  
31.0361 AC

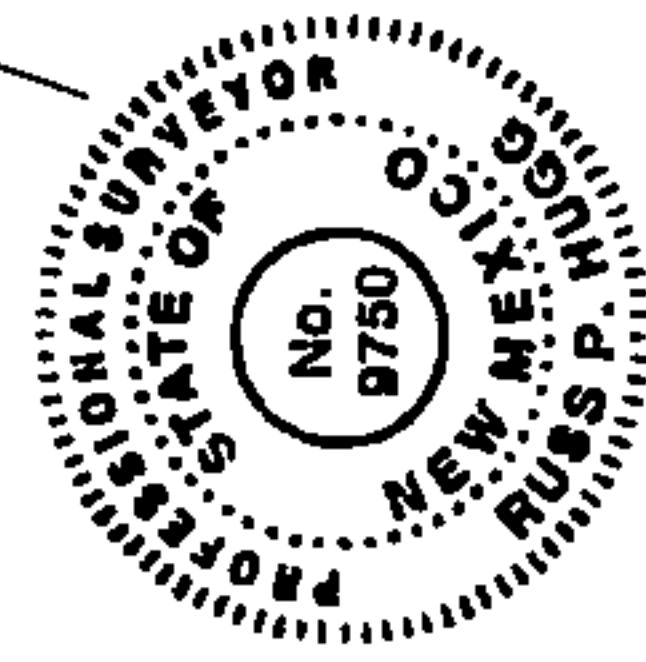
Temporary Public Easement granted to the City of Albuquerque by this plat on July 9, 1998, in Volume SEC File 302 TO REMAIN



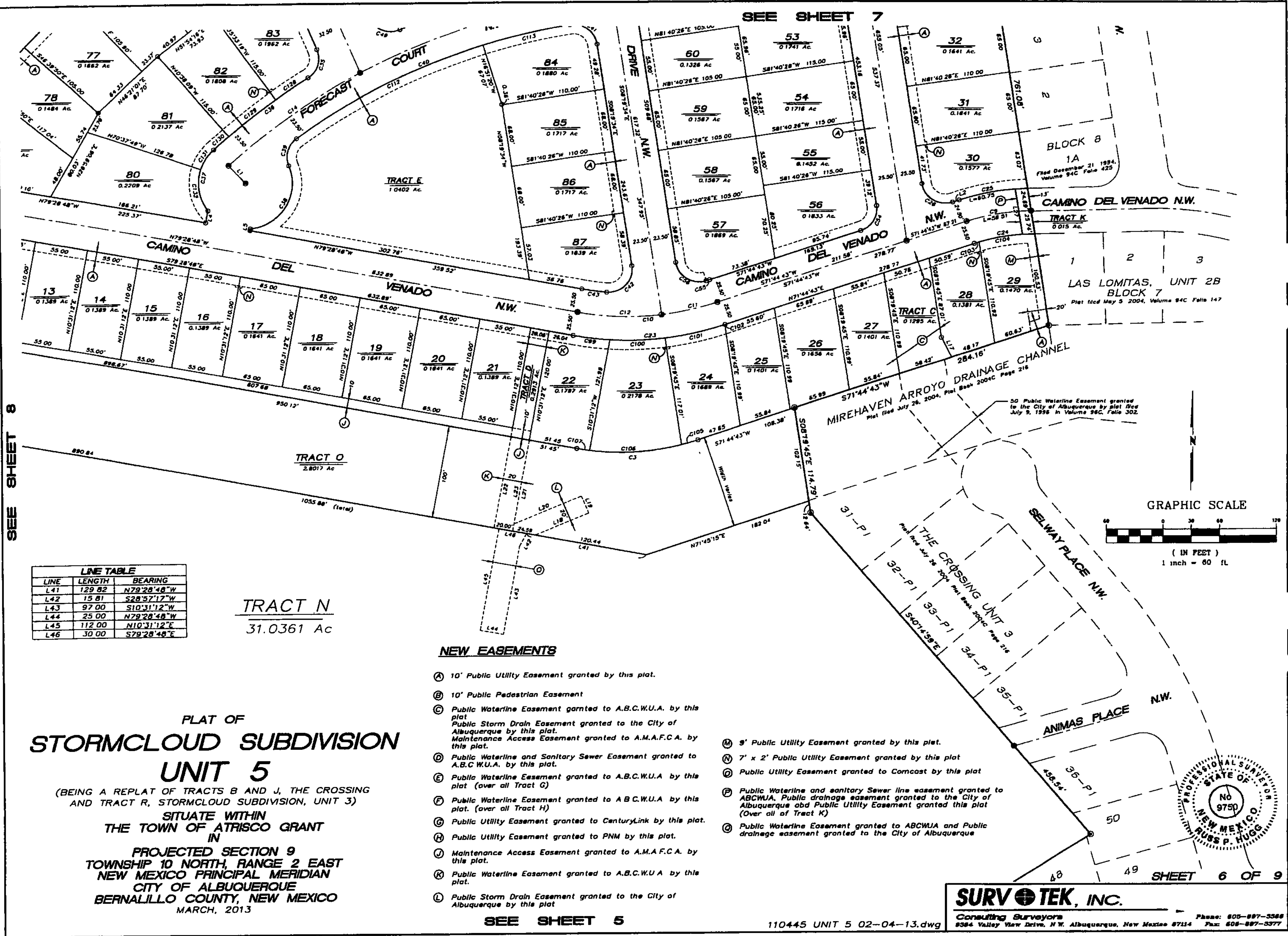
**FLAT OF STORMCLOUD SUBDIVISION UNIT 5**

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3) SITUATE WITHIN THE TOWN OF ATRISCO GRANT IN

PROJECTED SECTION 9 TOWNSHIP 10 NORTH, RANGE 2 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MARCH, 2013



SEE SHEET 7



SEE SHEET 8

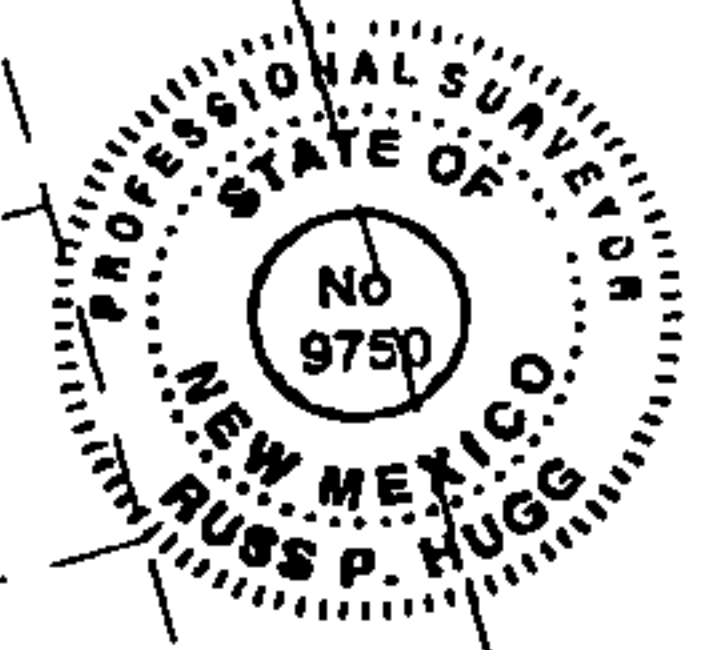
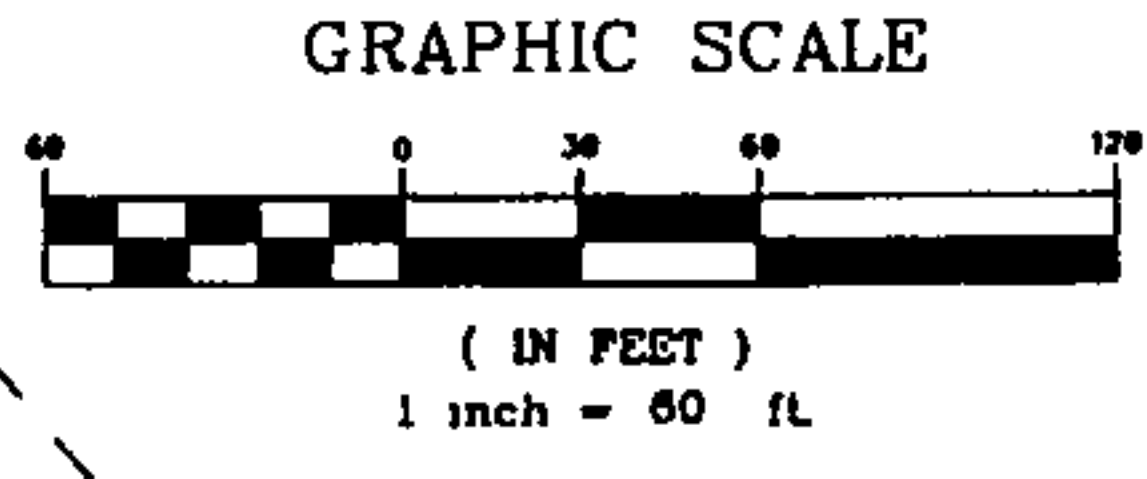
LINE	LENGTH	BEARING
L41	129.82	N79°28'48"W
L42	15.81	S28°57'17"W
L43	97.00	S10°31'12"W
L44	25.00	N79°28'48"W
L45	112.00	N10°31'12"E
L46	30.00	S79°28'48"E

**TRACT N**  
31.0361 Ac

**PLAT OF  
STORMCLOUD SUBDIVISION  
UNIT 5**  
(BEING A REPLAT OF TRACTS B AND J, THE CROSSING  
AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)  
SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT  
IN  
PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2013

**NEW EASEMENTS**

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- (Q) Public Waterline Easement granted to ABCWUA and Public drainage easement granted to the City of Albuquerque



SEE SHEET 5

110445 UNIT 5 02-04-13.dwg

**SURV TEK, INC.**  
Consulting Surveyors  
8584 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3588 Fax: 505-897-3577

SHEET 6 OF 9

# FLAT OF STORMCLOUD SUBDIVISION UNIT 5

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING  
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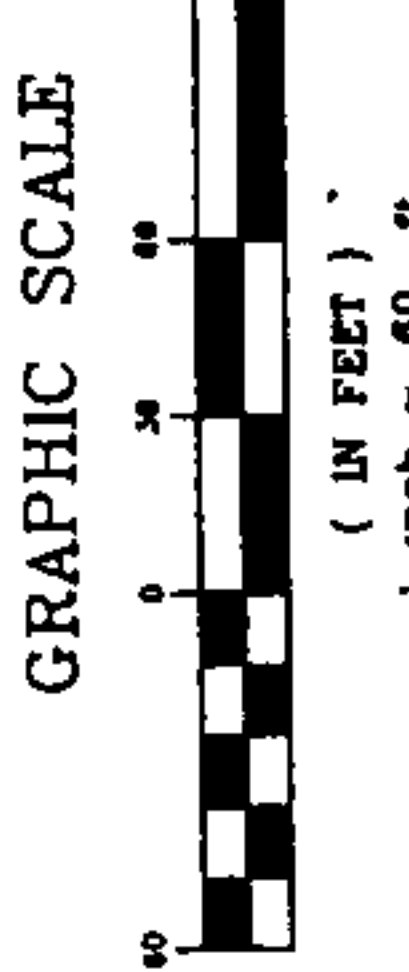
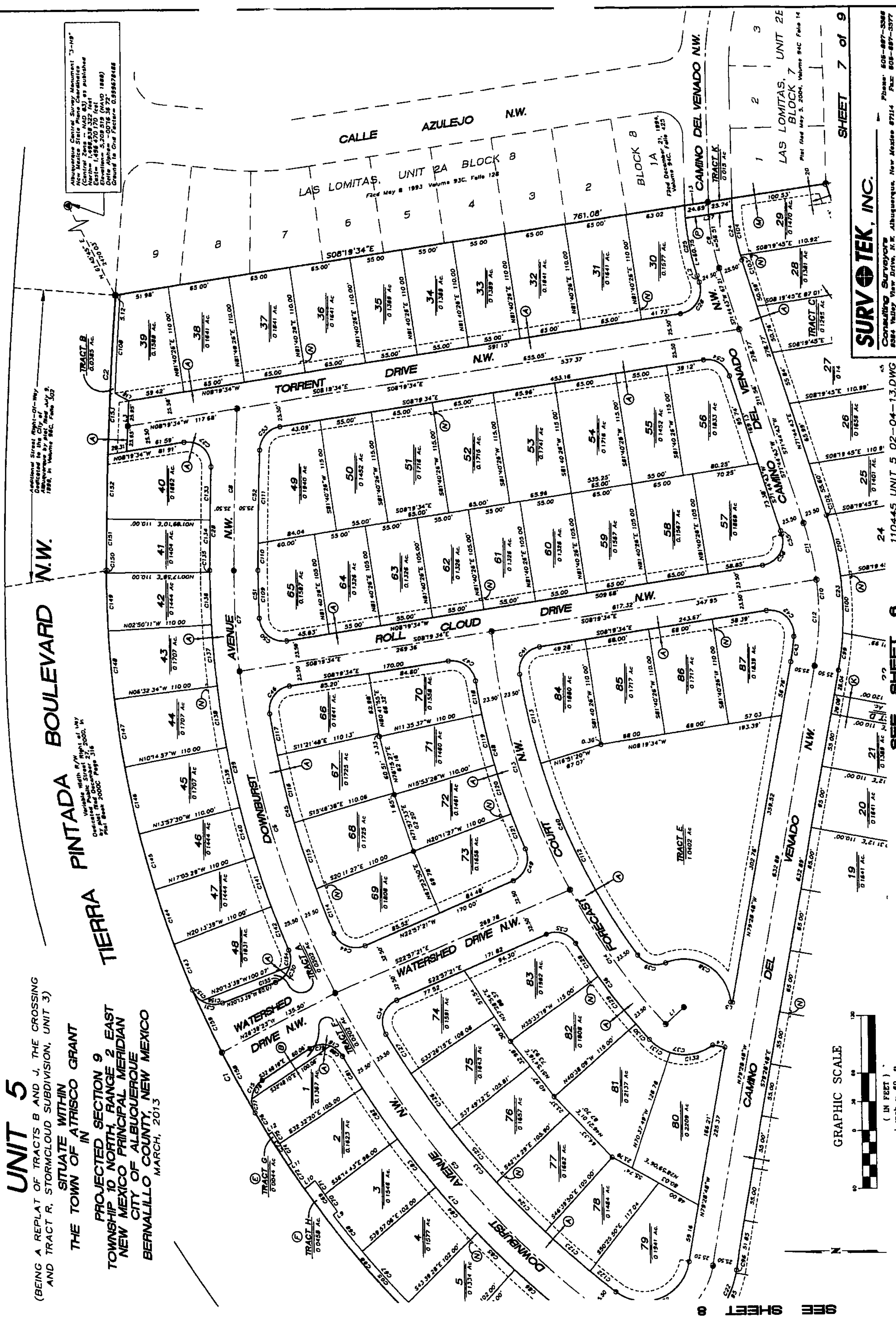
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TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2013

Albuquerque Central Survey Monument "3-19"  
New Mexico State Plane Coordinates  
(Center Zone - NAD 83) as published  
in the New Mexico State Plane  
Coordinate System  
Elevation - 5,209.515 (NAVD 1988)  
Datum - NAD 83  
Ground to Grid Factor - 0.9999999999

Acquired Street Right-of-Way  
Dedicated to the City of Albuquerque  
by Plat No. 100, July 9,  
1993, in Volume 93C, Page 307

Variable Right-of-Way  
Dedicated to the City of Albuquerque  
by Plat No. 2000, Page 316  
Plat No. 2000, Page 316



**SURVOTEK, INC.**  
Consulting Surveyors  
8384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-887-5566  
Fax: 505-887-3377

SEE SHEET 6  
SEE SHEET 7 of 9

110445 UNIT 5 02-04-13.DWG

# PLAT OF STORMCLOUD SUBDIVISION UNIT 5

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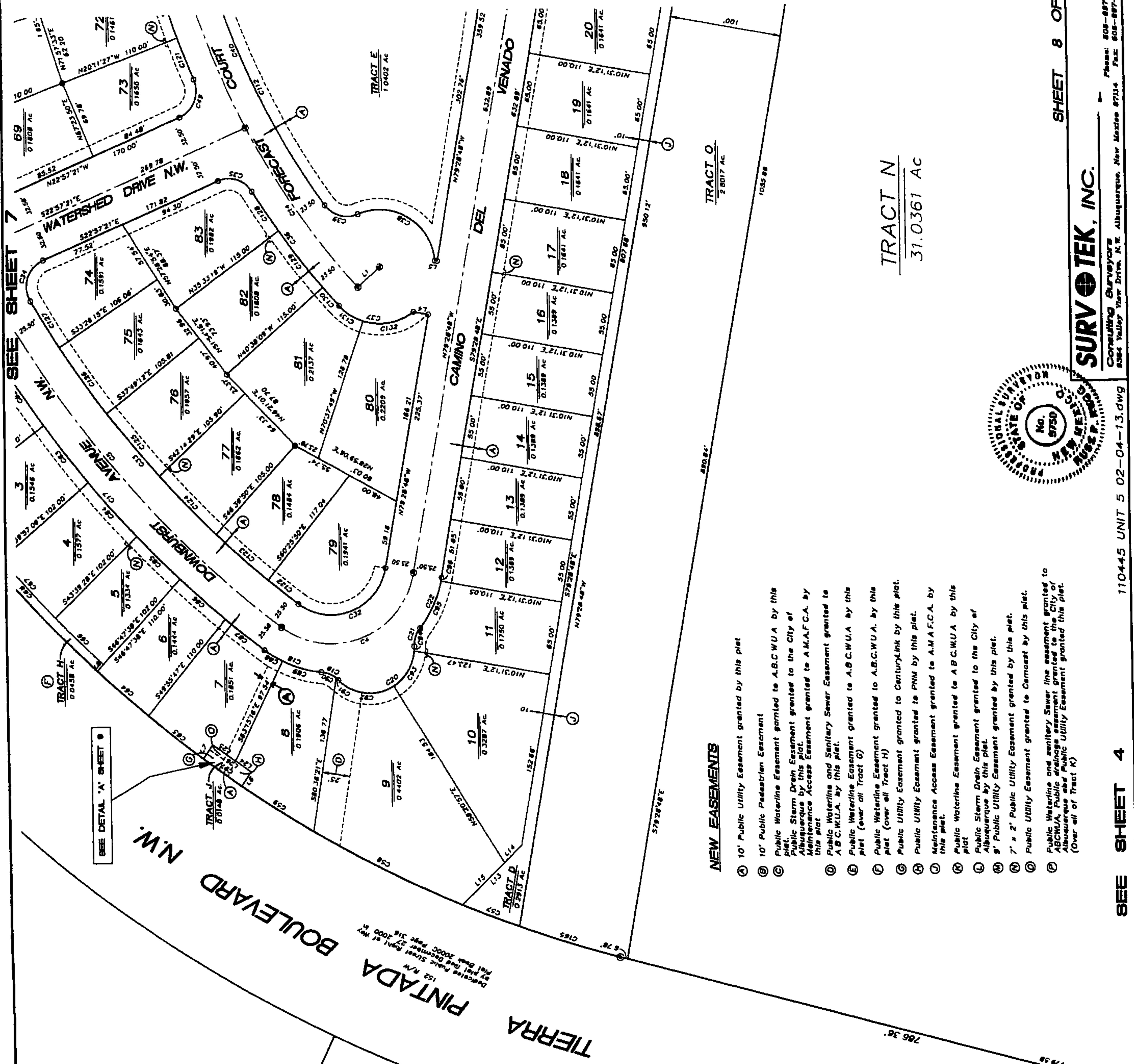
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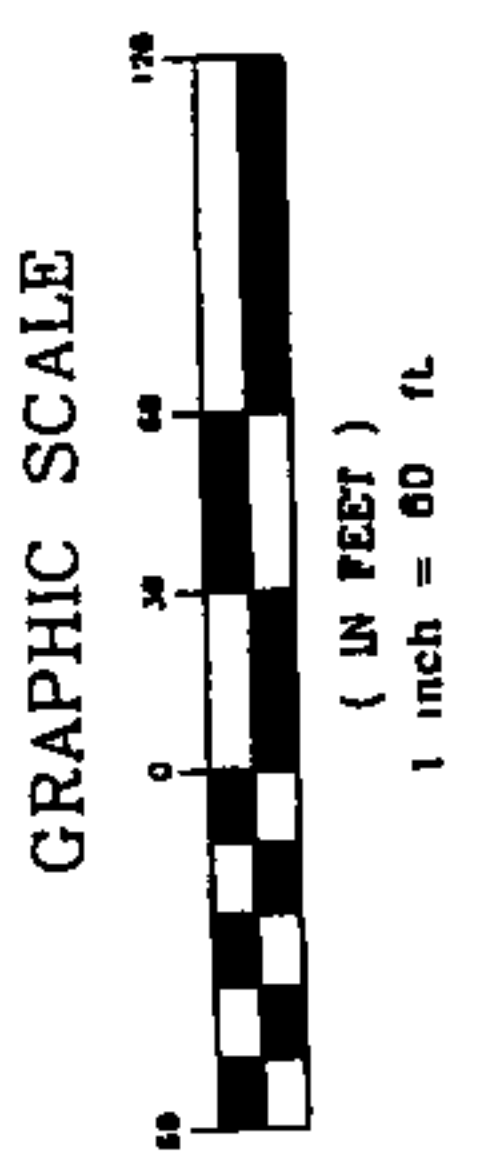
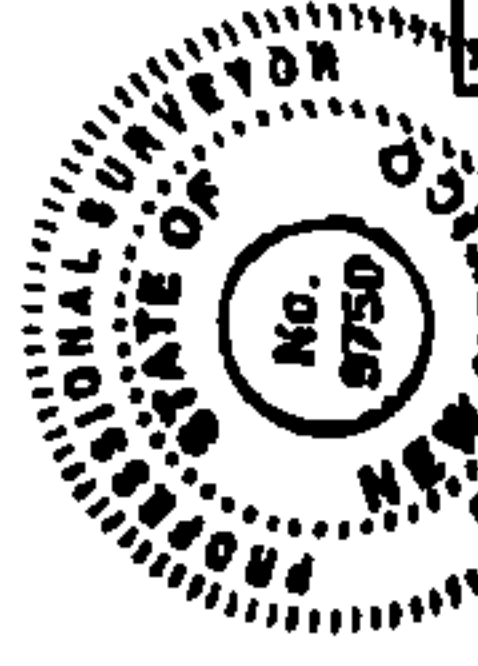
- TRACT USE**
- A LANDSCAPING
  - B LANDSCAPING
  - C MAINTENANCE ACCESS ROAD FOR COA, ABCWUA AND A.M.A.F.C.A./WATERLINE AND STORM DRAIN EASEMENT
  - D WATERLINE EASEMENT/AMAFCA MAINTENANCE ACCESS EASEMENT
  - E PRIVATE PARK
  - F LANDSCAPING/PUBLIC PEDESTRIAN ACCESS EASEMENT
  - G WATERLINE EASEMENT FOR A.B.C.W.U.A. VAULT AND VAULT
  - H WATERLINE EASEMENT FOR A.B.C.W.U.A. WATERLINE EQUIPMENT/PUE.
  - J PNM, COMCAST AND CENTURYLINK SURFACE
  - K LANDSCAPING/WATERLINE AND SANITARY SEWER LINE EASEMENT/DRAINAGE EASEMENT AND PUBLIC UTILITY EASEMENT
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  - O TO BE DEDICATED TO A.M.A.F.C.A. FOR DRAINAGE CHANNEL



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- E Maintenance Access Easement granted to A.M.A.F.C.A. by this plat.
- F Public Waterline and Sanitary Sewer Easement granted to A.B.C.W.U.A. by this plat.
- G Public Waterline Easement granted to A.B.C.W.U.A. by this plat (over all Tract G)
- H Public Waterline Easement granted to A.B.C.W.U.A. by this plat (over all Tract H)
- I Public Utility Easement granted to CenturyLink by this plat.
- J Public Utility Easement granted to PNM by this plat.
- K Maintenance Access Easement granted to A.M.A.F.C.A. by this plat.
- L Public Waterline Easement granted to A.B.C.W.U.A. by this plat.
- M Public Storm Drain Easement granted to the City of Albuquerque by this plat.
- N 5' Public Utility Easement granted by this plat.
- O 7' x 2' Public Utility Easement granted by this plat.
- P Public Utility Easement granted to Comcast by this plat.
- Q Public Waterline and sanitary Sewer line easement granted to ABCWUA, Public drainage easement granted to the City of Albuquerque and Public Utility Easement granted this plat. (Over all of Tract K)

TRACT N  
31.0361 AC



SEE SHEET 4

110445 UNIT 5 02-04-13.dwg

SHEET 8 OF 9

**SURVOTEK, INC.**

Consulting Surveyors  
504 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-5366  
Fax: 505-897-5377



PLAT OF  
**STORMCLOUD SUBDIVISION**  
**UNIT 5**

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)

SITUATE WITHIN  
 THE TOWN OF ATRISCO GRANT  
 IN

PROJECTED SECTION 9  
 TOWNSHIP 10 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 MARCH, 2013

**NEW EASEMENTS**

- A 10' Public Utility Easement granted by this plat.
- B 10' Public Pedestrian Easement
- C Public Waterline Easement granted to A.B.C.W.U.A. by this plat. Public Storm Drain Easement granted to the City of Albuquerque by this plat. Maintenance Access Easement granted to A.M.A.F.C.A. by this plat.
- D Public Waterline and Sanitary Sewer Easement granted to A.B.C.W.U.A. by this plat.
- E Public Waterline Easement granted to A.B.C.W.U.A. by this plat. (over all Tract G)
- F Public Waterline Easement granted to A.B.C.W.U.A. by this plat. (over all Tract H)
- G Public Utility Easement granted to CenturyLink by this plat.
- H Public Utility Easement granted to PNM by this plat.
- J Maintenance Access Easement granted to A.M.A.F.C.A. by this plat.
- K Public Waterline Easement granted to A.B.C.W.U.A. by this plat.
- L Public Storm Drain Easement granted to the City of Albuquerque by this plat.
- M 9' Public Utility Easement granted by this plat.
- N 7' x 2' Public Utility Easement granted by this plat.
- O Public Utility Easement granted to Comcast by this plat.
- P Public Waterline and sanitary Sewer line easement granted to ABCWUA. Public drainage easement granted to the City of Albuquerque and Public Utility Easement granted this plat. (Over all of Tract K)

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	1444.55'	1100.00'	847.76'	1342.96'	N52°48'00"E	75°14'32"
C2	284.85'	454.61'	142.37'	284.60'	S87°45'27"E	3°35'15"
C3	130.57'	260.00'	66.70'	129.21'	S86°07'57"W	28°46'29"
C4	153.08'	75.00'	122.26'	127.86'	S21°00'24"E	116°58'49"
C5	435.57'	964.50'	221.56'	431.88'	S50°24'15"W	25°52'29"
C6	351.17'	964.50'	177.55'	349.23'	S73°46'20"W	20°51'39"
C7	104.68'	964.50'	52.39'	104.63'	S87°18'43"W	6°13'08"
C8	167.39'	4099.50'	83.71'	167.38'	N88°24'33"W	2°20'22"
C9	69.58'	230.00'	35.06'	69.31'	S80°24'41"W	17°19'56"
C10	190.88'	300.00'	78.96'	149.09'	N86°07'57"E	28°46'29"
C11	60.87'	300.00'	30.34'	60.77'	N77°33'29"E	11°37'33"
C12	89.79'	300.00'	45.23'	89.46'	S88°03'16"E	17°08'56"
C13	282.53'	695.50'	143.24'	280.60'	S73°32'38"W	23°16'31"
C14	173.36'	695.50'	87.13'	172.91'	S54°45'36"W	14°16'54"
C15	38.22'	25.00'	23.97'	34.61'	N76°36'12"W	67°36'03"
C16	40.38'	25.00'	26.13'	36.13'	N13°28'03"E	92°32'28"
C17	384.82'	990.00'	194.87'	382.40'	S48°36'09"W	22°16'17"
C18	58.16'	100.50'	28.30'	54.47'	S21°44'32"W	31°26'56"
C19	17.27'	25.00'	9.00'	16.93'	N25°48'39"E	39°35'09"
C20	95.46'	40.00'	100.85'	74.36'	S22°45'43"E	136°43'53"
C21	17.27'	25.00'	9.00'	16.93'	N71°20'04"W	39°35'09"
C22	49.01'	100.50'	25.00'	48.52'	S65°30'39"E	27°56'19"
C23	163.47'	325.50'	83.50'	161.76'	N86°07'57"E	28°46'29"
C24	53.09'	204.50'	51.95'	51.95'	S79°02'34"W	14°35'42"
C25	73.81'	254.50'	37.16'	73.55'	S80°03'12"W	16°36'58"
C26	43.60'	25.00'	29.76'	38.28'	S58°17'26"E	99°55'43"
C27	43.74'	25.00'	29.92'	38.37'	N41°47'29"E	100°14'27"
C28	107.53'	4125.00'	53.77'	107.53'	N88°49'56"W	1°29'37"
C29	405.57'	990.00'	205.67'	402.74'	S78°41'06"W	23°28'19"
C30	40.50'	25.00'	26.26'	36.22'	S66°38'21"E	92°49'25"
C31	38.11'	25.00'	23.86'	34.52'	S23°26'23"W	87°20'03"
C32	101.03'	49.50'	80.69'	84.39'	S21°00'24"E	116°58'49"
C33	361.32'	939.00'	182.92'	359.09'	S48°29'25"W	22°02'49"
C34	42.56'	25.00'	28.52'	37.60'	N71°43'16"W	97°31'50"
C35	35.23'	25.00'	21.25'	32.38'	N17°24'42"E	80°44'06"
C36	127.43'	719.00'	63.88'	127.26'	S52°42'02"W	10°09'17"
C37	73.53'	50.00'	45.23'	62.08'	S05°29'39"W	84°15'40"
C38	92.92'	50.00'	66.93'	80.11'	N31°01'11"E	108°28'42"
C39	33.20'	25.00'	19.56'	30.81'	S15°49'33"W	76°05'32"
C40	319.90'	672.00'	163.04'	318.89'	S67°30'35"W	27°16'31"
C41	39.50'	25.00'	25.23'	35.52'	N53°35'22"W	90°31'36"
C42	45.07'	25.00'	31.60'	39.21'	N43°19'21"E	103°17'49"
C43	26.58'	274.50'	13.30'	26.57'	S82°15'17"E	5°32'56"
C44	39.14'	25.00'	24.87'	35.26'	S21°53'39"W	89°42'00"
C45	298.57'	939.00'	119.83'	237.93'	S74°01'22"W	14°33'25"
C46	39.43'	25.00'	24.16'	35.47'	N53°30'45"W	90°22'22"
C47	39.07'	25.00'	24.80'	35.21'	N36°26'42"E	89°32'32"
C48	182.46'	719.00'	91.72'	181.97'	S73°56'45"W	14°32'25"
C49	39.43'	25.00'	25.16'	35.47'	S68°08'24"E	90°22'06"
C50	41.78'	25.00'	27.63'	37.07'	S39°31'57"W	95°43'03"
C51	49.65'	939.00'	24.83'	49.65'	S88°34'22"W	3°01'47"
C52	124.57'	4074.00'	62.29'	124.56'	N88°42'11"W	1°45'07"
C53	34.89'	25.00'	20.79'	31.97'	N48°04'36"W	79°30'03"
C54	34.94'	25.00'	21.00'	32.16'	N31°42'35"E	80°04'17"
C55	3.80'	274.50'	1.90'	3.80'	N72°08'30"E	0°47'33"
C56	43.26'	25.00'	29.34'	38.06'	S57°53'39"E	99°08'10"
C57	54.48'	1100.00'	27.24'	54.47'	S21°29'36"W	2°50'15"
C58	148.75'	1100.00'	74.49'	148.64'	S26°47'10"W	7°44'53"
C59	75.95'	1100.00'	37.89'	75.93'	S32°38'17"W	3°57'21"
deleted						
deleted						
deleted						
C63	62.23'	1100.00'	31.12'	62.22'	S38°26'58"W	3°14'29"
C64	60.21'	1100.00'	30.11'	60.20'	S41°38'17"W	3°08'10"
C65	178.74'	1092.00'	89.57'	178.54'	S47°53'43"W	9°22'41"
C66	59.77'	1092.00'	29.89'	59.76'	S44°46'27"W	3°08'10"
C67	70.64'	1092.00'	35.35'	70.63'	S48°11'43"W	3°42'23"
C68	48.33'	1092.00'	24.17'	48.33'	S51°18'59"W	2°32'09"
C69	40.00'	1086.00'	20.00'	40.00'	S53°38'17"W	2°06'37"
C70	22.21'	1086.00'	11.11'	22.21'	S53°10'08"W	1°10'19"
C71	17.79'	1086.00'	8.89'	17.79'	S54°13'26"W	0°56'18"
C72	29.85'	1100.00'	14.92'	29.84'	S55°26'49"W	1°33'16"
C73	38.00'	1095.00'	19.00'	38.00'	S57°13'06"W	1°59'18"
C74	23.64'	1095.00'	11.82'	23.64'	S58°50'34"W	1°14'13"
C75	14.36'	1095.00'	7.18'	14.36'	S57°50'13"W	0°45'05"
C76	26.56'	1100.00'	13.28'	26.56'	S58°54'16"W	1°23'01"
C77	15.04'	25.00'	7.76'	14.81'	S76°48'54"W	34°28'15"
C78	23.18'	25.00'	12.50'	22.36'	N59°22'05"W	53°07'48"
C79	23.18'	25.00'	12.50'	22.36'	N06°14'16"W	53°07'48"
C80	17.20'	25.00'	8.95'	16.86'	N40°01'58"E	39°24'39"
C81	39.34'	990.00'	19.67'	39.34'	S58°35'59"W	2°16'37"
C82	64.04'	990.00'	32.03'	64.03'	S55°36'29"W	3°42'23"
C83	64.04'	990.00'	32.03'	64.03'	S51°54'06"W	3°42'23"
C84	64.04'	990.00'	32.03'	64.03'	S48°11'43"W	3°42'23"
C85	54.19'	990.00'	27.10'	54.18'	S44°46'27"W	3°08'10"
C86	54.19'	990.00'	27.10'	54.18'	S41°38'17"W	3°08'10"
C87	44.98'	890.00'	22.49'	44.98'	S38°46'07"W	2°36'12"
C88	18.81'	100.50'	9.43'	18.78'	S32°06'20"W	10°43'21"
C89	36.36'	100.50'	18.38'	36.16'	S16°22'52"W	20°43'36"
C90	14.25'	25.00'	7.33'	14.06'	N22°20'52"E	32°39'45"
C91	3.02'	25.00'	1.51'	3.02'	N42°08'32"E	6°55'24"
C92	53.93'	40.00'	31.86'	49.94'	S06°58'35"W	77°15'17"
C93	37.17'	40.00'	20.05'	35.85'	S58°16'24"E	53°14'41"
C94	4.35'	40.00'	2.18'	4.35'	S88°00'42"E	8°13'55"
C95	45.86'	100.50'	23.34'	45.46'	S64°36'49"E	26°08'38"
C96	3.15'	100.50'	1.57'	3.15'	S78°34'58"E	1°47'41"
C97	42.48'	1100.00'	21.24'	42.48'	S35°43'21"W	2°12'45"
C98	220.08'	1100.00'	110.41'	219.72'	S48°56'16"W	11°27'49"
C99	39.05'	325.50'	19.55'	39.03'	S82°55'02"E	6°52'26"
C100	58.90'	325.50'	29.53'	58.82'	N88°27'42"E	10°22'06"

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C101	65.28'	325.50'	32.75'	65.17'	N77°31'56"E	11°29'22"
C102	0.24'	325.50'	0.12'	0.24'	N71°45'58"E	0°02'30"
C103	5.24'	204.50'	2.62'	5.24'	S72°28'44"W	1°28'02"
C104	58.84'	204.50'	30.18'	58.72'	S81°36'32"W	16°47'34"
C105	18.24'	260.00'	9.12'	18.23'	N73°45'17"E	4°01'07"
C106	98.78'	260.00'	49.99'	98.19'	N86°38'54"E	21°46'08"
C107	13.55'	260.00'	6.78'	13.55'	S80°58'25"E	2°59'13"
C108	102.14'	4541.13'	51.07'	102.13'	N86°35'40"W	1°17'19"
C109	48.65'	939.00'	24.83'	48.65'	S88°54'22"W	3°01'47"
C110	28.60'	4074.00'	14.30'	28.60'	N89°22'40"W	0°24'08"
C111	95.86'	4074.00'	47.88'	95.86'	N88°30'07"W	1°20'59"
C112	224.80'	672.00'	113.46'	223.75'	S63°27'20"W	19°10'01"
C113	95.10'	672.00'	47.63'	95.02'	S77°05'35"W	8°08'30"
C114	50.23'	939.00'	25.12'	50.22'	S68°16'36"W	3°03'34"
C115	72.33'	939.00'	36.18'	72.32'	S72°00'58"W	4°24'49"
C116	72.33'	939.00'	36.18'	72.32'	S76°25'42"W	4°24'49"
C117	43.67'	939.00'	21.84'	43.67'	S79°58'08"W	2°39'53"
C118	35.26'	719.00'	17.63'	35.25'	S79°48'40"W	2°48'35"
C119	53.83'	719.00'	26.98'	53.82'	S76°15'27"W	4°17'51"
C120	53.86'	719.00'	26.99'	53.84'	S71°57'33"W	4°17'49"
C121	39.32'	719.00'	19.67'	39.32'	S68°14'35"W	3°08'00"
C122	34.46'	939.00'	17.23'	34.46'	S38°31'05"W	2°06'09"
C123	61.73'	939.00'	30.88'	61.72'	S41°27'10"W	3°46'00"
C124	72.48'	939.00'	36.26'	72.46'	S45°32'51"W	4°25'21"
C125	72.46'	939.00'	36.25'	72.44'	S49°38'10"W	4°25'17"
C126	71.82'	939.00'	35.93'	71.81'	S54°22'17"W	4°22'52"
C127	48.36'	939.00'	24.19'	48.36'	S58°02'17"W	2°57'04"
C128	41.85'	719.00'	20.93'	41.84'	S56°06'43"W	3°20'04"
C129	63.78'	719.00'	31.90'	63.73'	S51°54'16"W	5°04'50"
C130	21.83'	719.00'	10.92'	21.83'	S48°29'40"W	1°44'22"
C131	25.95'	50.00'	13.28'	25.86'	S32°45'15"W	29°44'28"
C132	47.58'	50.00'	25.26'	45.80'	S09°22'35"E	54°31'12"
C133	54.85'	4125.00'	27.43'	54.85'	N88°27'59"W	0°45'43"
C134	52.68'	4125.00'	26.34'	52.68'	N89°12'47"W	0°43'54"
C135	2.10'	990.00'	1.05'	2.10'	N89°32'33"W	0°07'17"
C136	54.19'	990.00'	27.10'	54.18'	S88°43'54"W	3°08'10"
C137	64.04'	990.00'	32.03'	64.03'	S85°18'37"W	3°42'23"
C138	64.04'	990.00'	32.03'	64.03'	S81°36'15"W	3°42'23"
C139	64.04'	990.00'	32.03'	64.03'	S77°53'52"W	3°42'23"
C140	54.19'	990.00'	27.10'	54.18'	S74°28'36"W	3°08'10"
C141	54.19'	990.00'	27.10'	54.18'	S71°20'26"W	3°08'10"
C142	48.79'	990.00'	24.40'	48.78'	S68°21'39"W	2°49'25"
C143	51.18'	1100.00'	25.60'	51.18'	S68°26'23"W	2°39'57"
C144	60.21'	11				



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

February 26, 2014

**Project# 1005029**  
**14DRB-70044 EXT OF MAJOR PRELIMINARY PLAT**

ISAACSON AND ARFMAN PA agent(s) for WESTERN ALBUQUERQUE LAND HOLDINGS, LLC request(s) the above action(s) for all or a portion of Lot(s) TRACTS B & J, THE CROSSING AND TRACT R, STORMCLOUD (TBKA STORMCLOUD SBD UNIT 4 AND STORMCLOUD SBD UNIT 5) Unit(s) 3, zoned SU-2/R-LT, located on TIERRA PINTADA WEST OF UNSER containing approximately 86.27 acre(s). (H-9)

At the February 26, 2014 Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

A handwritten signature in black ink, appearing to read "Jack Cloud".

Jack Cloud, DRB Chair

Cc: ISAACSON AND ARFMAN PA  
file

PROJECT #

1005029

February 25, 2015

EF

# City of Albuquerque Planning Department

## DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

### DEVELOPMENT REVIEW BOARD

03/03/2014 Issued By: BLDAVM 227759

Category Code **910**

**2014 070 059**

**Application Number:** 14DRB-70059, Vacation Of Public Easement

**Address:**

**Location Description:** TIERRA PINTADA WEST OF UNSER

**Project Number:** 1005029

#### Applicant

WESTERN ALBUQUERQUE LAND HOLDING, LLC  
C/O CARRETT DEVELOPMENT CORPORATION  
6991 EAST CAMELBACK RD, SUITE B-297  
SCOTTSDALE AZ 85251

#### Agent / Contact

ISAACSON AND ARFMAN PA  
ASA NILSSON-WEBER  
128 MONROE ST NE  
ALBUQUERQUE NM 87108

IAMENGRS@SWCP.COM

#### Application Fees

<b>APN Fee</b>	<b>\$75.00</b>
<b>Conflict Mgmt Fee</b>	<b>\$20.00</b>
<b>DRB Actions</b>	<b>\$225.00</b>
<b>TOTAL:</b>	<b>\$320.00</b>

City of Albuquerque Treasury  
Date: 3/3/2014 Office: AMIX  
Stat ID: 45000009 Cashier: TRSMAR  
Larch: 3322 Tracer: #151  
Permit: 2014070059  
Receipt Num: 00152857  
Payment Total: \$320.00  
0530 APN Fee \$75.00  
0901 Conflict Mgmt Fee \$20.00  
0903 DRB Actions \$225.00  
Check Tendered: \$320.00



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Isaacson & Arfman, P.A. PHONE: 268-8828  
 ADDRESS: 128 Monroe Street NE FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: asaw@iacivil.com

APPLICANT: Western Albuquerque Land Holdings, LLC PHONE: (602) 427-4064  
 ADDRESS: c/o Garrett Development Corporation  
6991 East Camelback Road, Suite B-297 FAX: \_\_\_\_\_  
 CITY: Scottsdale STATE AZ ZIP 85251 E-MAIL: \_\_\_\_\_

Proprietary interest in site: Owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Approval of Vacation of Public Easement

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tracts B & J, The Crossing and Tract R Block: \_\_\_\_\_ Unit: 3  
 Subdiv/Addn/TBKA: Stormcloud (tbka Stormcloud Subdivision Unit 4 and 5)  
 Existing Zoning: SU-2/R-LT Proposed zoning: Same MRGCD Map No NA  
 Zone Atlas page(s): H-9 UPC Code: 100905913119031506 100905919825731507  
100905905513832161

CASE HISTORY: 13DRB-70438; 13DRB-70478; 13DRB-70483; 13DRB-70495; 13DRB-70547; 13DRB-70548; 14DRB-70044  
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 06DRB-01234;  
06DRB-01235; 06DRB-01236; 06DRB-01045; 06DRB-01398; 09DRB-70371; 09DRB-70394; 10DRB-70258; 11DRB-70163

CASE INFORMATION: 12DRB-70043; 12DRB-70044; 12DRB-70045; 12DRB-70046; 12DRB-70047; 12DRB-70277

Within city limits?  Yes Within 1000FT of a landfill?  No

No. of existing lots: 4 No. of proposed lots: 259 Total site area (acres): 86.2777

LOCATION OF PROPERTY BY STREETS: On or Near: Tierra Pintada Blvd. NW  
 Between: West of Unser Blvd. NW and \_\_\_\_\_

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: 06/22/2011

SIGNATURE Asa Nilsson-Weber DATE 2/25/14

(Print Name) Asa Nilsson-Weber Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>14DRB-70059</u>	<u>VPE</u>	_____	\$ <u>225.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>ADV</u>	_____	\$ <u>75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>April 2, 2014</u>				Total
				\$ <u>320.00</u>

Asa Nilsson-Weber  
 Staff signature & Date 3-3-14

Project # 1005029

**FORM V: SUBDIVISION VARIANCES & VACATIONS**

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)
  - \_\_\_ Application for Minor Plat on FORM S-3, including those submittal requirements. 24 copies
  - \_\_\_ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
  - \_\_\_ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)** Five
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
  - The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**  
(Not required for City owned public right-of-way.)
  - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- SIDEWALK VARIANCE (DRB20)**
- SIDEWALK WAIVER (DRB21)**
  - \_\_\_ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") 6 copies
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the variance or waiver
  - \_\_\_ List any original and/or related file numbers on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
  - \_\_\_ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the variance
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

**DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**


- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
  - \_\_\_ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
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**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)**
  - \_\_\_ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
  - \_\_\_ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
  - \_\_\_ Letter of authorization from the grantors and the beneficiaries (private easement only)
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application


Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Asa Nilsson-Weber  
 Applicant name (print)  
  
 Applicant signature / date 2/25/14



- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 14 - DRB - 70059

Form revised 4/07  
  
 Planner signature / date 3.3.14

Project # **1005029**

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) all require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tear out less easily.

4. TIME

Signs must be posted from March 18, 2014 To April 2, 2014

5. REMOVAL

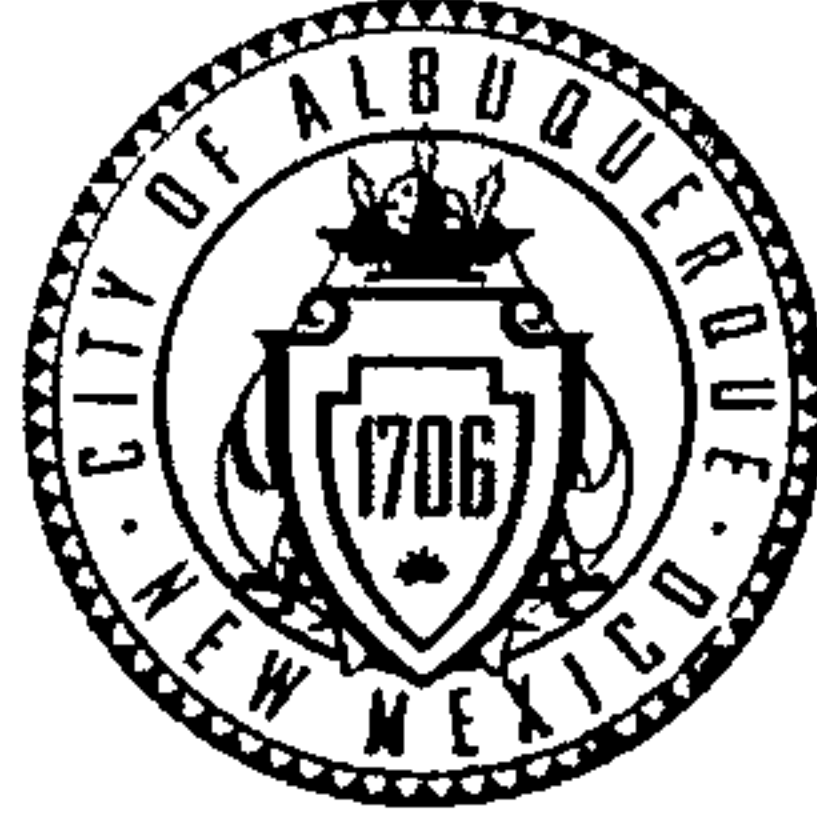
- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Ruth Lozano 3/3/14  
(Applicant or Agent) (Date)  
for Isaacson + Artman, P.A.

I issued 2 signs for this application, 3-3-14 (Date) [Signature] (Staff Member)

DRB PROJECT NUMBER: 1005029



**INTER-OFFICE MEMORANDUM**

***COMMENTING AGENCIES***

<b>DEBBIE BAUMAN/ JOHN MAKENZIE -</b>	Transportation Development
<b>SHABIH RIZVI - KENDRA WATKINS/ ANDREW GINGERICH -</b>	Transit & Parking Department
<b>LYNN MAZUR - STEVE SINK - SUSANNAH ABBEY - ANTONIO CHINCHILLA - DAVID KILPATRICK - STEPHANI WINKLEPLECK - DANIEL ARAGON - PATRICK SANCHEZ - APRIL WINTERS - MICHELE RAMIREZ - MIKE MORTUS - RAY GOMEZ -</b>	Council of Governments AMAFCA APD Crime Prevention Open Space Division Fire Department Zoning Enforcement Inspector Neighborhood Coordination Public Service Company of New Mexico New Mexico Gas Company Albuquerque Public Schools CenturyLink Comcast Cable Middle Rio Grande Conservancy District (MRGCD)
<b>SUZANNE BUSCH -</b>	Environmental Health

*Your comments on the following case(s) are requested. Board hearing date:*

PROJECT # 1005029

**WEDNESDAY, April 2, 2014**

Comments must be received by:

**Friday, March 28, 2014**

If comments are not received by this date, "no comments" will be listed on the staff report. Attached are copies of the requests. **If you have any questions, please contact me at 924-3946 or [agomez@cabq.gov](mailto:agomez@cabq.gov)**





Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any) Isaacson & Arfman, P.A. PHONE: 268-8828  
 ADDRESS: 128 Monroe Street NE FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL asaw@iacivil.com

APPLICANT Western Albuquerque Land Holdings, LLC PHONE: (602) 427-4064  
 ADDRESS: c/o Garrett Development Corporation  
6991 East Camelback Road, Suite B-297 FAX: \_\_\_\_\_  
 CITY: Scottsdale STATE AZ ZIP 85251 E-MAIL: \_\_\_\_\_

Proprietary interest in site. Owner List all owners \_\_\_\_\_

DESCRIPTION OF REQUEST: Approval of Vacation of Public Easement

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

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 Between West of Unser Blvd. NW and \_\_\_\_\_

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT) . Review Date. 06/22/2011

SIGNATURE Asa Nilsson-Weber DATE 2/25/14  
 (Print Name) Asa Nilsson-Weber Applicant  Agent

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	SF	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>14DRB - 70059</u>	<u>VPE</u>	_____	<u>\$ 225.00</u>
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<input type="checkbox"/> F H D.P density bonus	_____	_____	_____	Total
<input type="checkbox"/> F H D.P fee rebate	_____	_____	_____	<u>\$ 320.00</u>

Hearing date April 2, 2014

3-3-14  
 Staff signature & Date

Project # 1005029

FORM V: SUBDIVISION VARIANCES & VACATIONS

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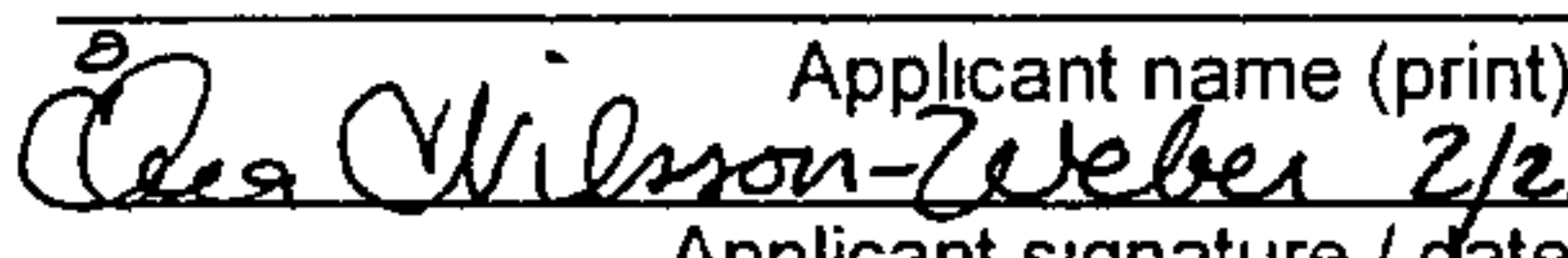
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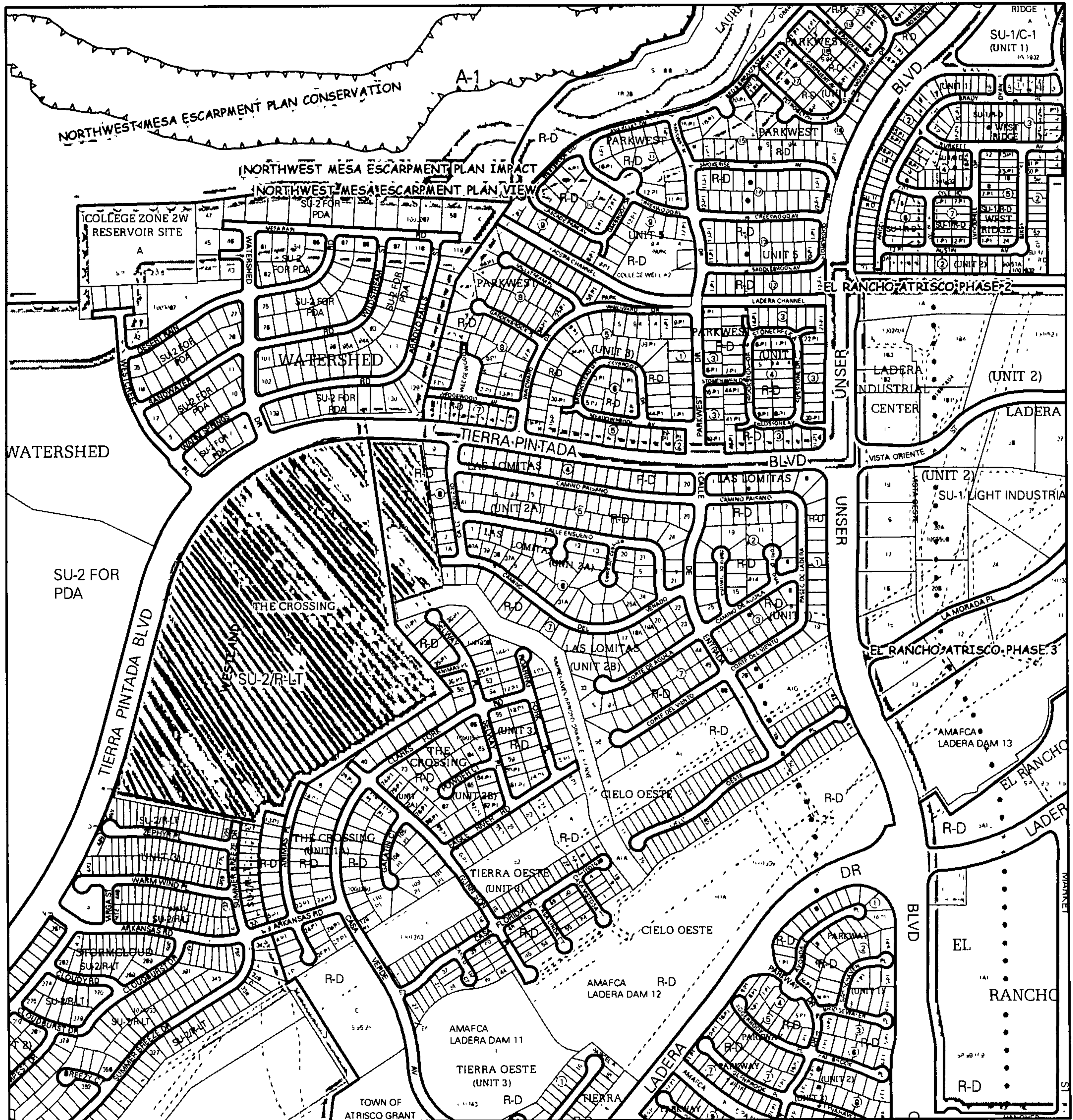
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions

Åsa Nilsson-Weber  
 Applicant name (print)  
  
 Applicant signature / date

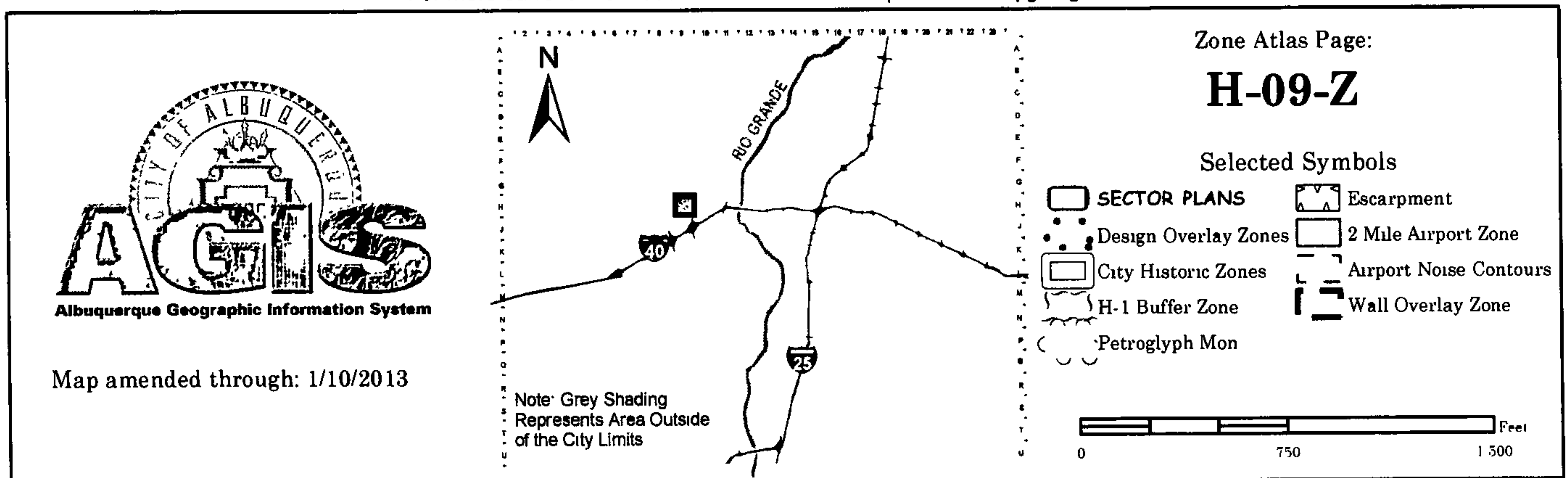


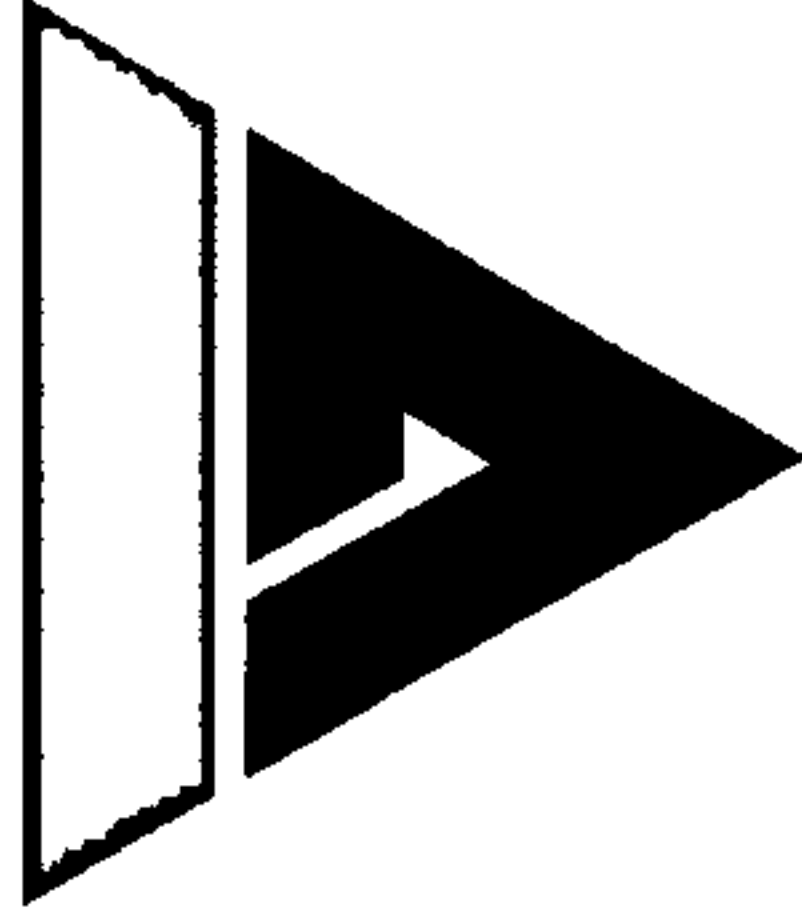
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 Fees collected  
 Case #s assigned  
 Related #s listed
- Application case numbers  
 14 - DRB - 70059

Form revised 4/07  
  
 Planner signature / date  
 Project # 1005029



For more current information and details visit: <http://www.cabq.gov/gis>





**Isaacson & Arfman, P.A.** Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE • Asa Nilsson-Weber, PE*

February 26, 2014

Mr. Jack Cloud  
DRB Chair  
City of Albuquerque  
600 2nd Street NW  
Albuquerque, NM 87103

**RE: Stormcloud Subdivisions, Units 4 & 5  
(Existing Legal: Tracts B & J, The Crossings and Tract R, Stormcloud Unit 3)  
Zone Atlas Map: H-9  
DRB Project No. 1005029**

Dear Mr. Cloud:

Isaacson & Arfman, acting as agents for the Owner of the above referenced site, is submitting a request for vacation of easements for the referenced project.

The site is located east and south of Tierra Pintada Blvd, NW and west of Unser Blvd, NW--see attached zone atlas map. Mirehaven Arroyo separates the two units with Unit 5 on the north side and Unit 4 on the south side.

This vacation request was approved at DRB last year but approval expires April 10, 2014. The request includes vacation of temporary drainage easements, a temporary roadway easement, portion of a waterline easement and a public utility easement as shown on the attached Easement Vacation Exhibit. New easements will be granted where applicable.

Please call me at 268-8828 if you have questions regarding this submittal. Thank you.

Sincerely,

**ISAACSON & ARFMAN, P.A.**

Asa Nilsson-Weber, P.E.

Attachments



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

April 10, 2013

**Project# 1005029**  
**13DRB-70478 VACATION OF PUBLIC EASEMENTS**

ISAACSON AND ARFMAN PA agent(s) for WESTERN ALBUQUERQUE LAND HOLDINGS, LLC request(s) the referenced/ above action(s) for for all or a portion of Tract(s) B & J, **THE CROSSING** and Tract R **STORMCLOUD UNIT 3** zoned SU-2 RLT and RD, located on the south side of TIERRA PINTADA BLVD NW between ARKANSAS RD NW and CALLE AZULEJO NW containing approximately 55.2416 acre(s). (H-9)

At the April 10, 2013 Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file per section 14-14-7-2(A)(1) and (B) (1)(3) of the Subdivision Ordinance.

### Findings

The Subdivision Ordinance, Section 14-14-7-2, specifies that a vacation may be approved only when the following items are determined:

**The public welfare is in no way served by retaining the way or easement;**  
The City of Albuquerque does not anticipate any need to utilize the existing easement for roadway purposes.

**There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.**  
Property owners of record abutting the proposed vacation were notified by first class mail at least six days prior to the Development Review Board hearing approving the vacation and no objection regarding access or the abridgement of a substantial property right was raised.

### CONDITIONS:

1. Final disposition shall be through the City Real Estate Office
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by April 25, 2013 in the manner described below.

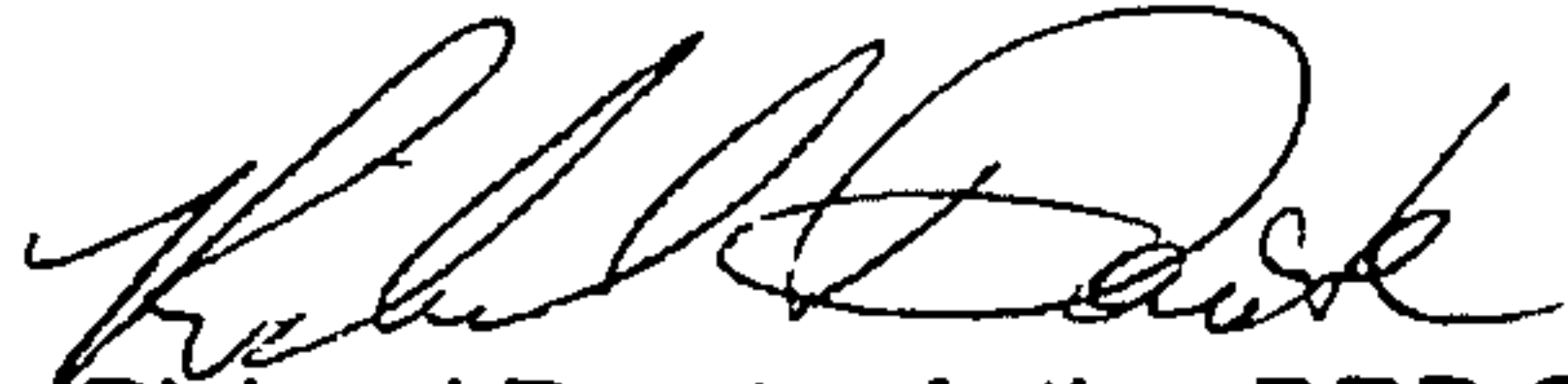
Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Richard Dourte, Acting DRB Chair

Cc: ISAACSON AND ARFMAN PA  
Marilyn Maldonado  
File



## City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

**PLEASE NOTE:** The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office

February 24, 2014

Ruth Lozano  
Isaacson and Arfman, P.A.  
128 Monroe St. NE/87108  
Phone: (505) 268-8828/Fax: (505) 268-2632  
E-Mail: [Ruthl@iacivil.com](mailto:Ruthl@iacivil.com)

Dear Ruth:

Thank you for your inquiry of **February 24, 2014** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD, UNIT 3 LOCATED ON TIERRA PINTADA BOULEVARD NW WEST OF UNSER BOULEVARD NW** zone map **H-9**.

Our records indicate that the **ALL Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

**TRES VOLCANES N.A. "R"**

Thomas Borst, 1908 Selway Pl. NW/87120 352-6563 (h)  
Antionette Lopez, 9774 Summer Shower Pl. NW/87120 831-0777 (h)

**LAS LOMITAS N.A. "R"**

Mario Gonzales, 8104 Corte Del Viento NW/87120 359-1859 (h)  
David Skowran, 8116 Corte De Aguila NW/87120 839-9058 (h)

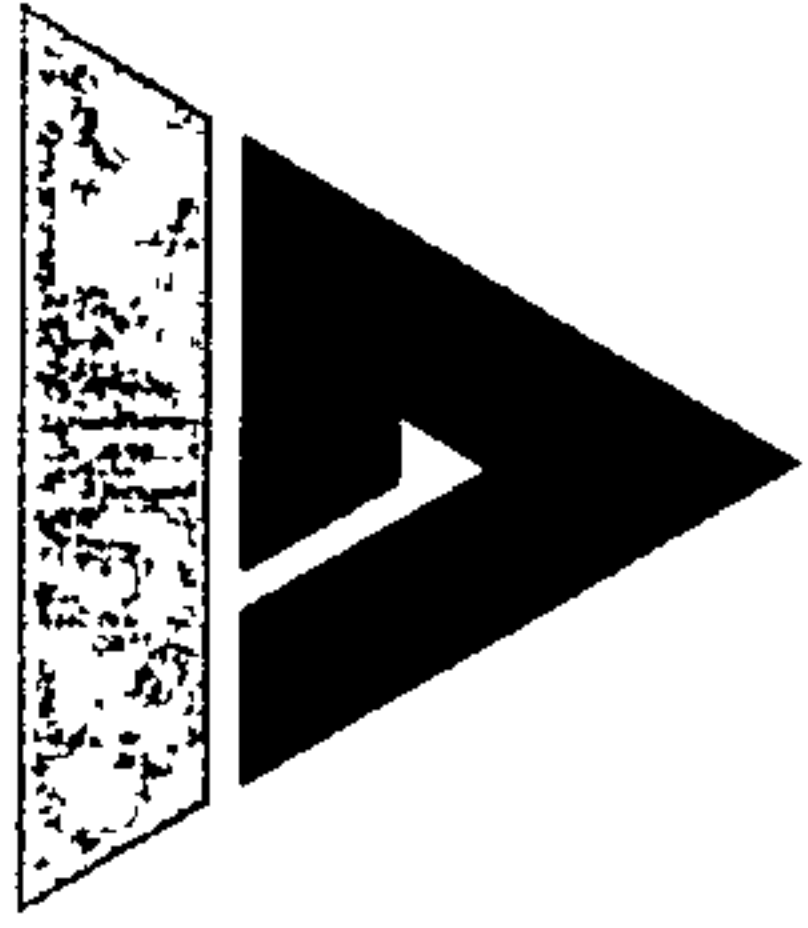
Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

*Stephani Winklepleck*

Stephani Winklepleck  
Neighborhood Liaison  
OFFICE OF NEIGHBORHOOD COORDINATION  
Planning Department

**LETTERS MUST BE SENT TO BOTH CONTACTS  
OF EACH NEIGHBORHOOD AND/OR  
HOMEOWNER ASSOCIATION FOR THIS  
PLANNING DEPARTMENT SUBMITTAL.**



# Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

March 25, 2014

CERTIFIED MAIL – 7005 1160 0001 1329 9119

Mr. Thomas Borst  
Tres Volcanes Neighborhood Association  
1908 Selway Place NW  
Albuquerque, NM 87120

**RE: Stormcloud Subdivision Units 4 & 5  
(DRB Project No. 1005029)**

Dear: Mr. Borst:

As the consulting engineers for the above referenced site located east of Tierra Pintada (see attached zone map), we are writing this letter to inform the Tres Volcanes Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval for easement vacations.

The site will be developed in two units with a total of 241 single-family residential lots with the Mirehaven Arroyo separating the two units. Unit 4 is located south of the arroyo and has 154 lots, and Unit 5 is located north of the arroyo and has 87 lots. The easements requested to be vacated are temporary drainage easements, a waterline easement, a temporary turnaround easement, and a public utility easement.

The hearing date will take place in approximately 4 weeks. Please check the City DRB agenda for hearing date on the following web site:

<http://www.cabq.gov/planning/boards-and-commissions/development-review-board/agendas-actions/>

Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,  
**ISAACSON & ARFMAN, P.A.**

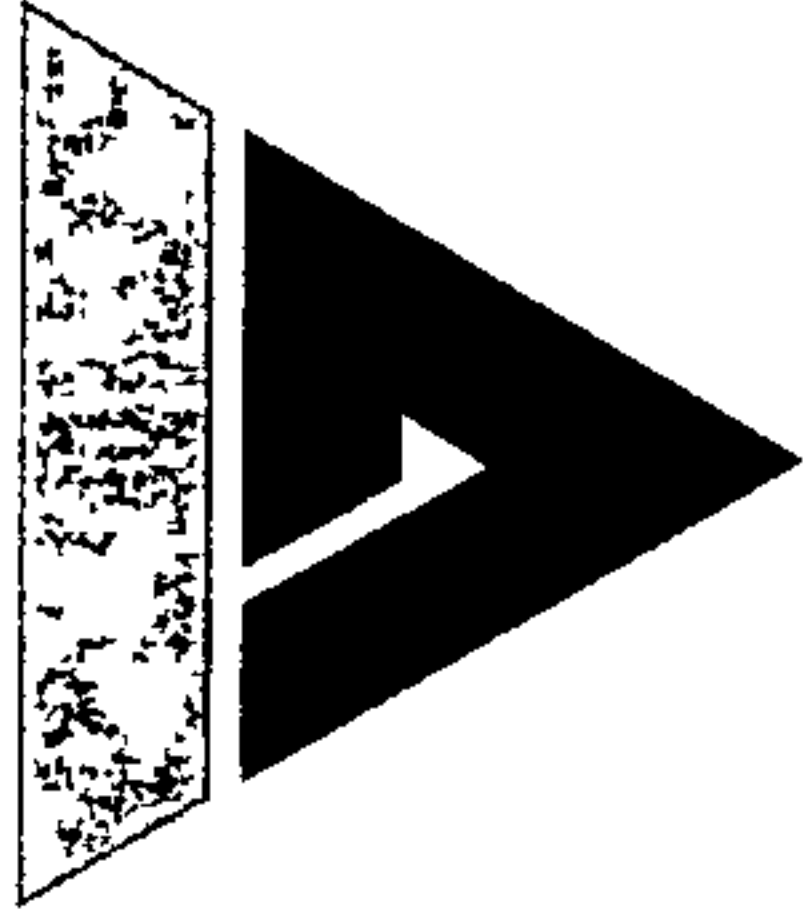
Asa Nilsson-Weber, PE  
Attachment

128 Monroe St. N.E. • Albuquerque, NM 8

7005 1160 0001 1329 9119

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For delivery information visit our website at <a href="http://www.usps.com">www.usps.com</a>		
<b>OFFICIAL USE</b>		
Postage	\$ 0.49	0108 HIGHLAND Postmark Here FEB 25 2014 ALBUQUERQUE NM 87108
Certified Fee	\$3.30	
Return Receipt Fee (Endorsement Required)	\$2.70	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 6.49	
Sent To	Thomas Borst	
Street, Apt. No., or PO Box No.	Tres Volcanes Neighborhood Assoc	
City, State, ZIP+	1908 Selway Place NW Albuquerque, NM 87120	
PS Form 3800, June 2002 See Reverse for Instructions		





# Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

March 25, 2014

CERTIFIED MAIL – 7005 1160 0001 1329 9126

Ms. Antionette Lopez  
Tres Volcanes Neighborhood Association  
9774 Summer Shower Place NW  
Albuquerque, NM 87120

**RE: Stormcloud Subdivision Units 4 & 5  
(DRB Project No. 1005029)**

Dear Ms. Lopez:

As the consulting engineers for the above referenced site located east of Tierra Pintada (see attached zone map), we are writing this letter to inform the Tres Volcanes Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval for easement vacations.

The site will be developed in two units with a total of 241 single-family residential lots with the Mirehaven Arroyo separating the two units. Unit 4 is located south of the arroyo and has 154 lots, and Unit 5 is located north of the arroyo and has 87 lots. The easements requested to be vacated are temporary drainage easements, a waterline easement, a temporary turnaround easement, and a public utility easement.

The hearing date will take place in approximately 4 weeks. Please check the City DRB agenda for hearing date on the following web site:

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Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,  
**ISAACSON & ARFMAN, P.A.**

Asa Nilsson-Weber, PE  
Attachment

128 Monroe St. N.E. • Albuquerque, NM

7005 1160 0001 1329 9126

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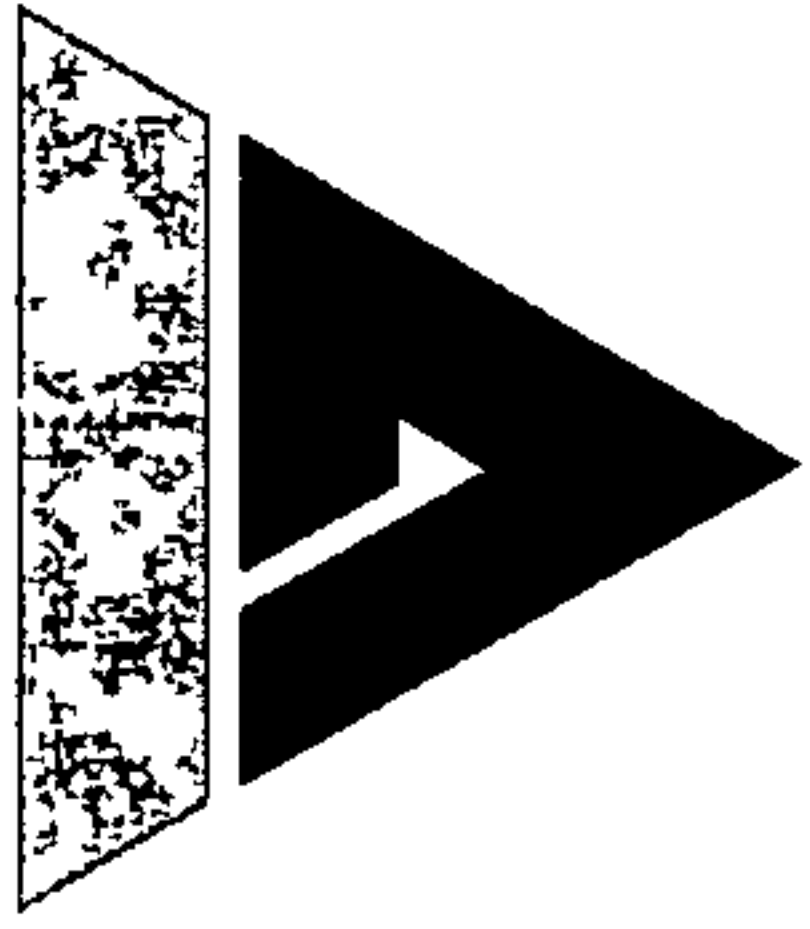
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Certified Fee	\$3.30
Return Receipt Fee (Endorsement Required)	\$2.70
Restricted Delivery Fee (Endorsement Required)	\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$ 6.49</b>

0108  
 HIGHLAND STA USPS  
 Postmark Here  
**FEB 25 2014**  
 8665-998  
 02/25/2014 87108-998

Sent To: Antionette Lopez  
 Street, Apt. No.; or PO Box No.: Tres Volcanes Neighborhood Assoc  
 9774 Summer Shower Place NW  
 City, State, ZIP+4: Albuquerque, NM 87120

PS Form 3800, June 2002 See Reverse for Instructions



# Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

March 25, 2014

CERTIFIED MAIL – 7005 1160 0001 1329 9096

Mr. Mario Gonzalez  
Las Lomitas Neighborhood Association  
8104 Corte Del Viento NW  
Albuquerque, NM 87120

**RE: Stormcloud Subdivision Units 4 & 5  
(DRB Project No. 1005029)**

Dear Mr. Gonzales:

As the consulting engineers for the above referenced site located east of Tierra Pintada (see attached zone map), we are writing this letter to inform the Las Lomitas Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval for easement vacations.

The site will be developed in two units with a total of 241 single-family residential lots with the Mirehaven Arroyo separating the two units. Unit 4 is located south of the arroyo and has 154 lots, and Unit 5 is located north of the arroyo and has 87 lots. The easements requested to be vacated are temporary drainage easements, a waterline easement, a temporary turnaround easement, and a public utility easement.

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Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,  
**ISAACSON & ARFMAN, P.A.**

Asa Nilsson-Weber, PE  
Attachment

128 Monroe St. N.E. • Albuquerque, NM 871

9606 62ET 1000 09TT 5002

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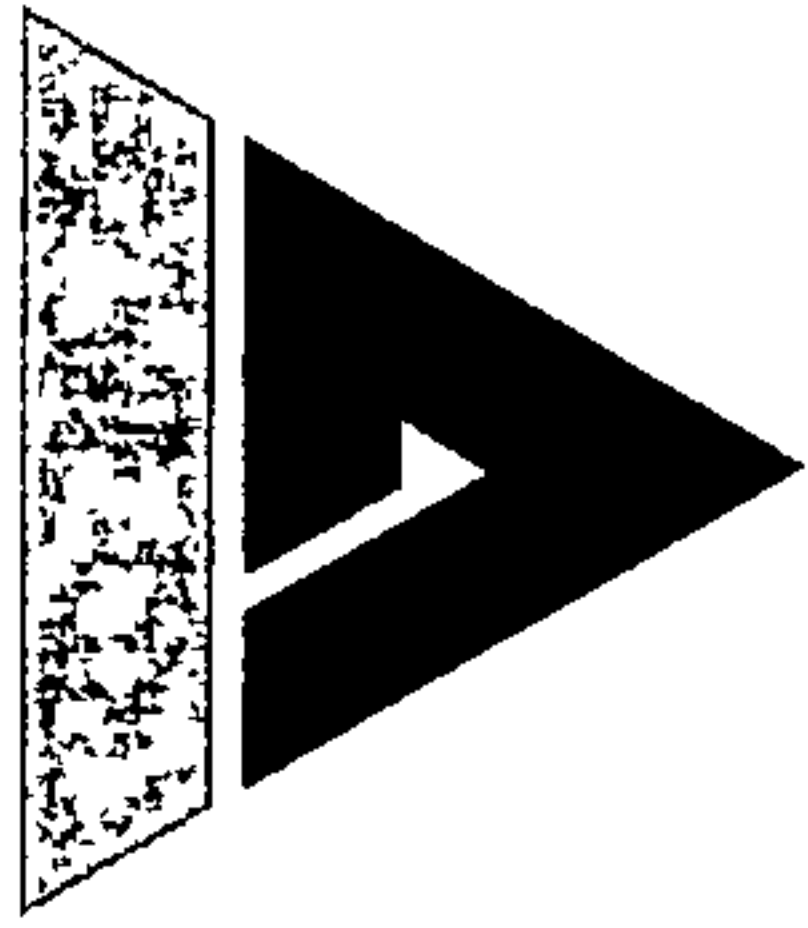
**OFFICIAL USE**

Postage	\$	\$0.49
Certified Fee		\$3.30
Return Receipt Fee (Endorsement Required)		\$2.70
Restricted Delivery Fee (Endorsement Required)		\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$</b>	<b>\$6.49</b>

ALBUQUERQUE NM 87120  
HIGHLAND ST. STA.  
FEB 25 2014  
Postmark Here  
27106-9908  
02/25/2014

Sent To: Mario Gonzalez  
Street, Apt. No., or PO Box No.: Las Lomitas Neighborhood Assoc.  
City, State, ZIP+4: 8104 Corte Del Viento NW Albuquerque, NM 87120

PS Form 3800, June 2002 See Reverse for Instructions



# Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

March 25, 2014

CERTIFIED MAIL – 7005 1160 0001 1329 9102

Mr. David Skowran  
Las Lomas Neighborhood Association  
8116 Corte De Aguila NW  
Albuquerque, NM 87120

**RE: Stormcloud Subdivision Units 4 & 5  
(DRB Project No. 1005029)**

Dear Mr. Skowran:

As the consulting engineers for the above referenced site located east of Tierra Pintada (see attached zone map), we are writing this letter to inform the Las Lomas Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval for easement vacations.

The site will be developed in two units with a total of 241 single-family residential lots with the Mirehaven Arroyo separating the two units. Unit 4 is located south of the arroyo and has 154 lots, and Unit 5 is located north of the arroyo and has 87 lots. The easements requested to be vacated are temporary drainage easements, a waterline easement, a temporary turnaround easement, and a public utility easement.

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Please call me at 268-8828 if you have questions on this action. Thank you.

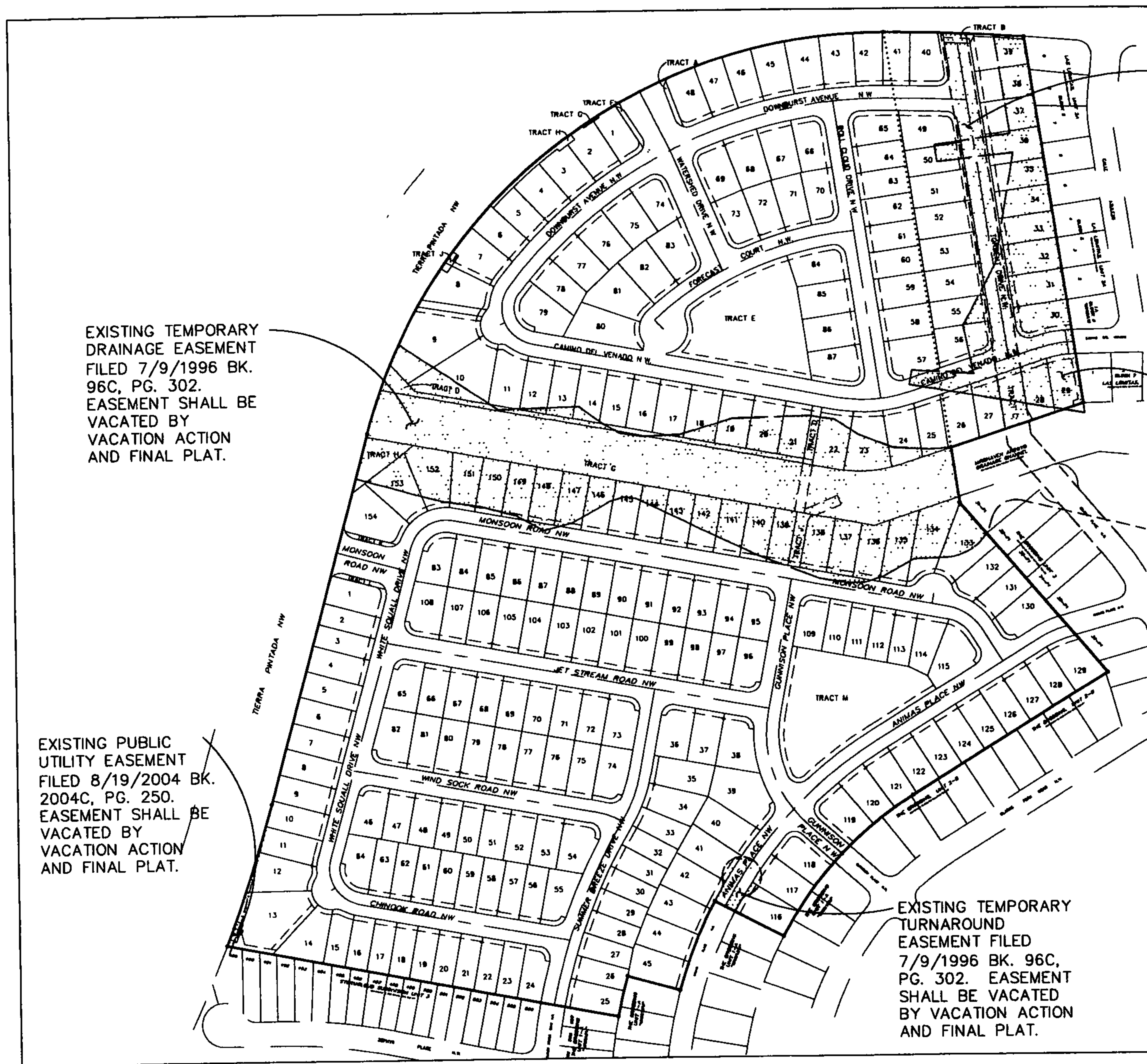
Sincerely,  
**ISAACSON & ARFMAN, P.A.**

Asa Nilsson-Weber, PE  
Attachment

128 Monroe St. N.E. • Albuquerque, NM 87102

7005 1160 0001 1329 9102

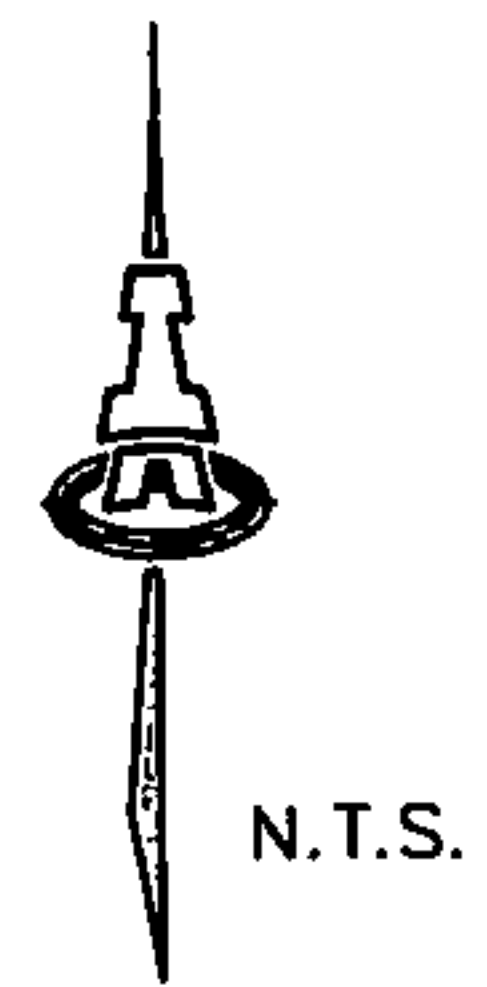
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ALBUQUERQUE, NM 87120	
Postmark Here FEB 25 2014	
Sent To David Skowran Las Lomas Neighborhood Assoc. 8116 Corte De Aguila NW Albuquerque, NM 87120	
PS Form 3800, June 2002 See Reverse for Instructions	



EXISTING 50' PUBLIC WATERLINE EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.

EXISTING TEMPORARY DRAINAGE EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.

EXISTING TEMPORARY DRAINAGE EASEMENT FILED 3/23/1993 BK. 93-7, PGS. 2236-2243, AND ALSO SHOWN ON PLAT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.



**STORM CLOUD UNITS 4 AND 5 EASEMENT VACATION EXHIII**

DRB #1005029

EXISTING PUBLIC UTILITY EASEMENT FILED 8/19/2004 BK. 2004C, PG. 250. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.

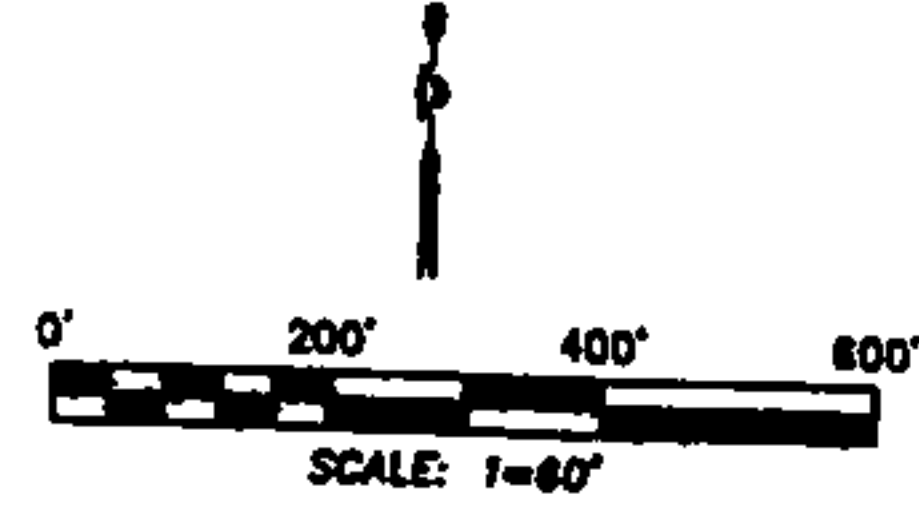
EXISTING TEMPORARY TURNAROUND EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.



**ISAACSON & ARFMAN, P.A.**  
*Consulting Engineering Associates*  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 [www.iacivil.com](http://www.iacivil.com)  
 1822 C-701-ESMNT VACT.dwg Mar 12,2013



Part of  
**Stormcloud Subdivision Unit 3**  
 Albuquerque, Bernalillo County, New Mexico  
 August 2008

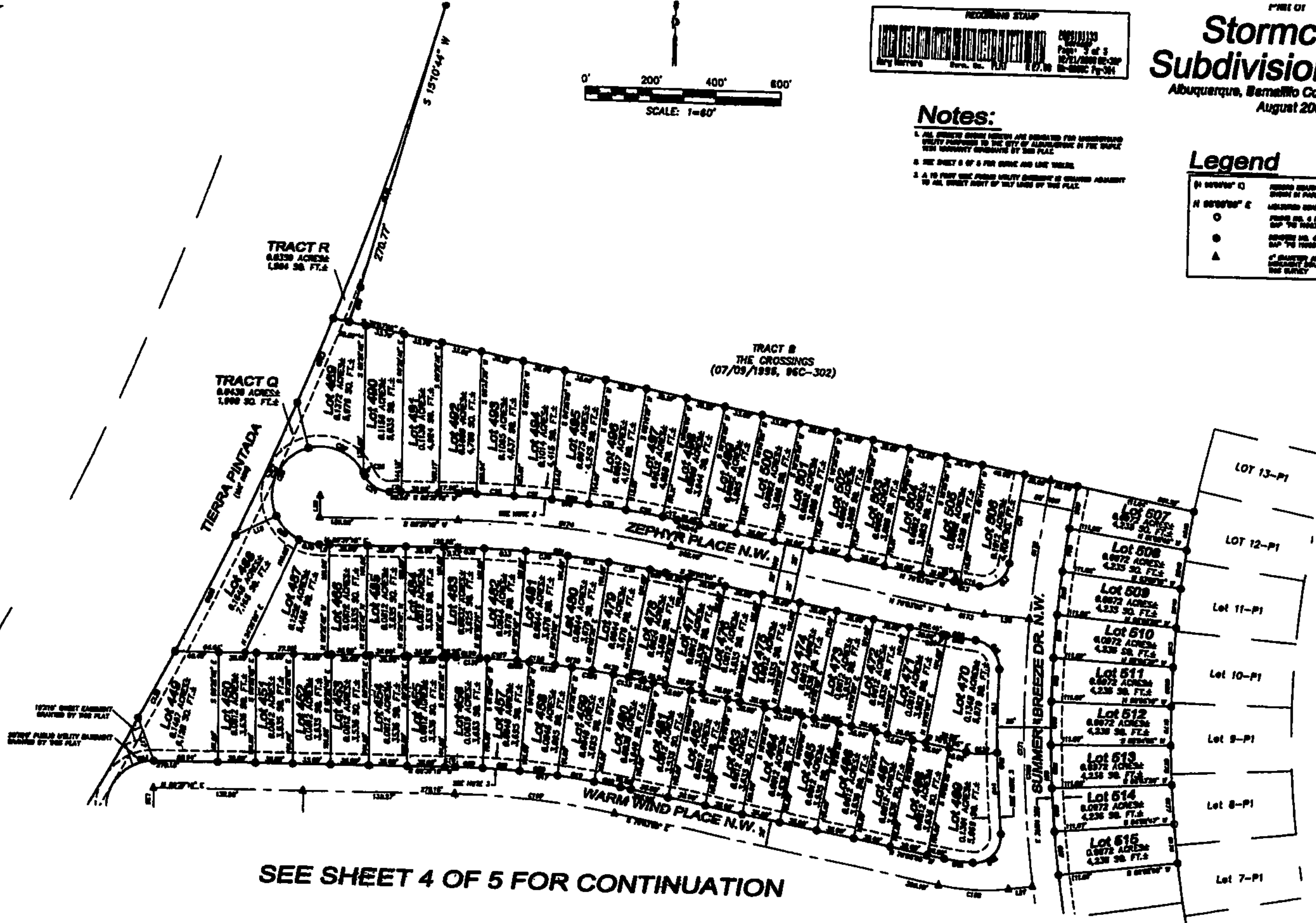


**Notes:**

1. ALL EASEMENTS SHOWN HEREIN ARE INTENDED FOR UNIMPROVED EASEMENTS TO THE CITY OF ALBUQUERQUE IN THE TRACT THIS DOCUMENT REPRESENTS BY THIS PLAN.
2. THE DENSITY IS OF 5 PER ACRE AND ONE UNIT PER ACRE.
3. A 10 FOOT WIDE PUBLIC UTILITY EASEMENT IS SHOWN ADJACENT TO ALL STREET FRONT OF THE LOTS OF THIS PLAN.

**Legend**

(Hatched) C	EXISTING EASEMENTS AND EASEMENTS SHOWN IN PARAGRAPHS
(Hatched) E	ADJACENT EASEMENTS AND EASEMENTS
○	POINTS OF A CURVE AND TANGENT PLACES OF THE TRACT'S CURVED BOUNDARY LINES
●	POINTS OF A CURVE AND TANGENT PLACES OF THE TRACT'S CURVED BOUNDARY LINES
▲	STREET, PUBLIC UTILITY EASEMENT, EASEMENT SHOWN IN THIS PLAN BY THE CITY



SEE SHEET 4 OF 5 FOR CONTINUATION

INCLUDED IS THE RIGHT TO BUILD, REPAIR, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, MAINTAIN, OPERATE, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH

**PRECISION SURVEYS, INC.** 6500-A Jefferson Street, NE Albuquerque, NM 87113

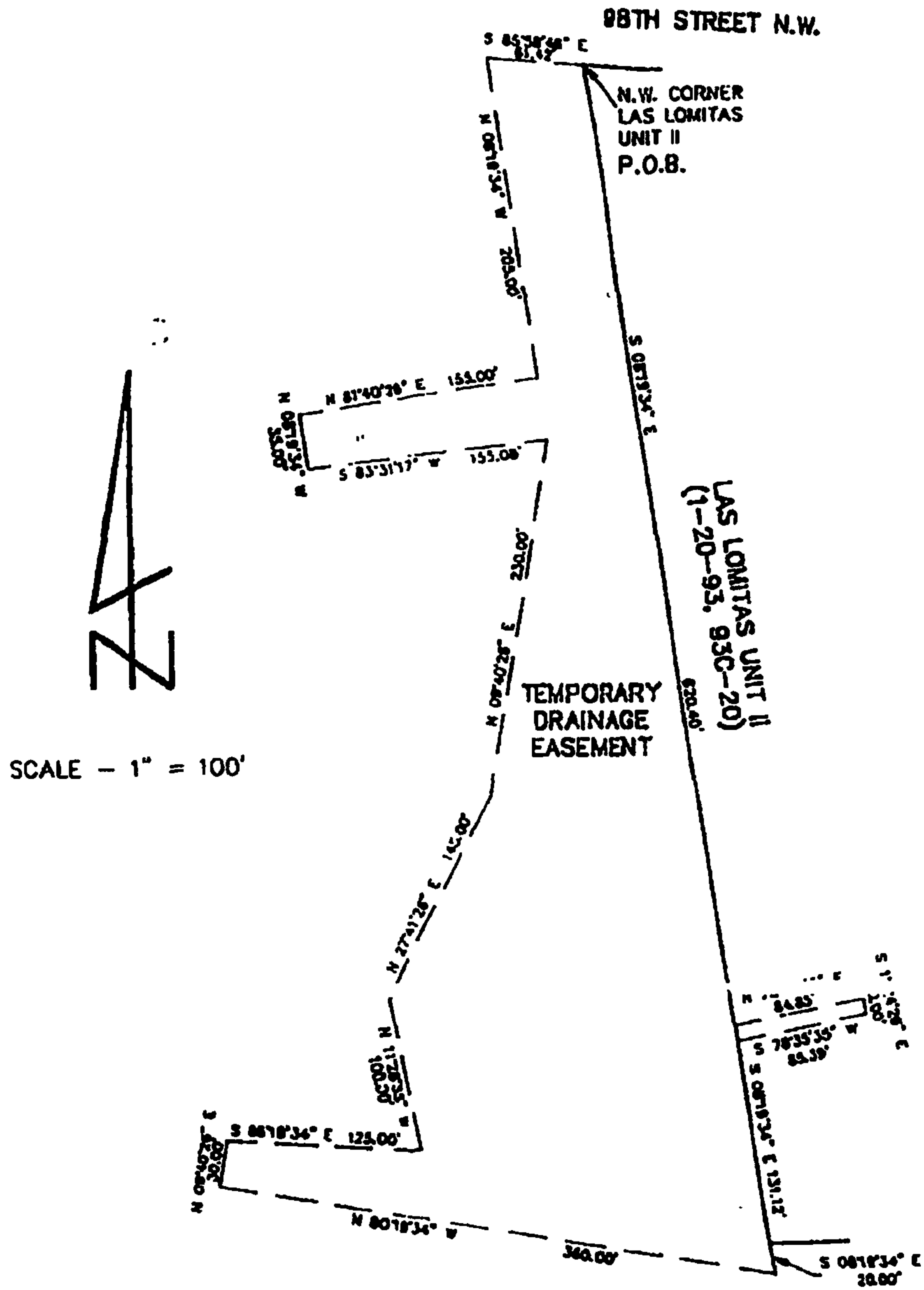


EXHIBIT B

0002243

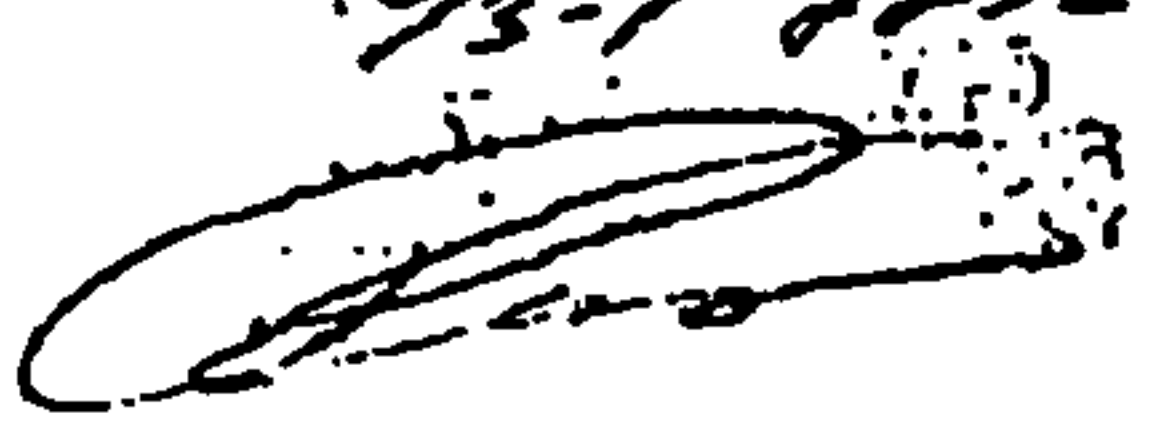
Land situated within projected Section 9, Township 10 North, Range 2 East, New Mexico Principal Meridian, within the Town of Atrisco Grant, City of Albuquerque, Bernalillo County, New Mexico, being within unplatted Lands of Westland Development Company, Inc. and Las Lomas Unit II as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 20, 1993 in Volume 93C, Folio 20.

EXHIBIT C

SEAL OF BERNALILLO COUNTY  
COUNTY CLERK

93 MAR 23 11:10:19

93-7 2236-2243





March 19, 2014

(VFE)

# City of Albuquerque Planning Department

## DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

### DEVELOPMENT REVIEW BOARD

02/18/2014 Issued By: BLDADM 225779

Category Code **910**  
**2014 070 044**

**Application Number:** 14DRB-70044, Ext Of Major Preliminary Plat

**Address:**

**Location Description:** TIERRA PINTADA WEST OF UNSER

**Project Number:** 1005029

#### Applicant

WESTERN ALBUQUERQUE LAN HOLDINGS, LLC  
C/O GARRETT DEVELOPMENT CORPORATION  
6991 EAST CAMELBACK RD, SUITE B-297  
SCOTTSDALE AZ 85251

#### Agent / Contact

ISAACSON AND ARFMAN PA  
ASA NILSSON-WEBER  
128 MONROE ST NE  
ALBUQUERQUE NM 87108

#### Application Fees

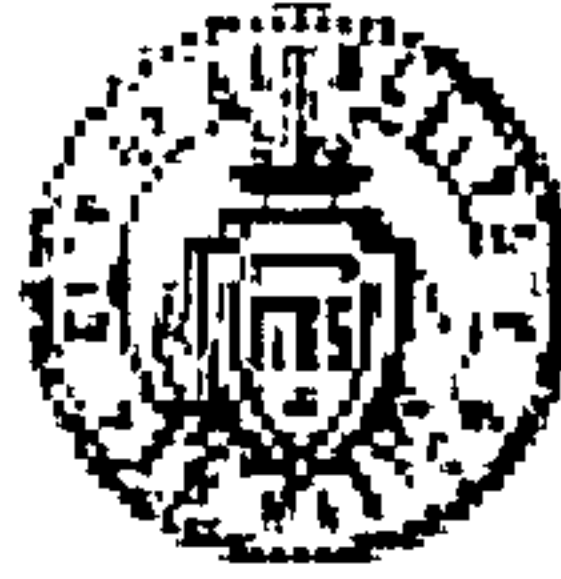
##### APN Fee

**Conflict Mgmt Fee** **\$20.00**

**DRB Actions** **\$50.00**

**TOTAL:** **\$70.00**

City of Albuquerque Treasury  
Date: 2/18/2014 Office: ANNEX  
Stat ID: W5000009 Cashier: TRSMAB  
Batch: 3262 Trans #: 14  
Permit: 2014070044  
Receipt Num 00179685  
Payment Total: \$70.00  
0901 Conflict Manag. Fee \$20.00  
0903 DRB Actions \$50.00  
Check Tendered : \$20.00  
Check Tendered : \$50.00



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Isaacson & Arfman, P.A. PHONE: 268-8828  
 ADDRESS: 128 Monroe Street NE FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: asaw@iacivil.com

APPLICANT: Western Albuquerque Land Holdings, LLC PHONE: (602) 427-4064  
 ADDRESS: c/o Garrett Development Corporation  
6991 East Camelback Road, Suite B-297 FAX: \_\_\_\_\_  
 CITY: Scottsdale STATE AZ ZIP 85251 E-MAIL: \_\_\_\_\_

Proprietary interest in site: Owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Approval of Extension of Preliminary Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tracts B & J, The Crossing and Tract R Block: \_\_\_\_\_ Unit: 3  
 Subdiv/Addn/TBKA: Stormcloud (tbka Stormcloud Subdivision Unit 4 and Stormcloud Subdivision Unit 5)  
 Existing Zoning: SU-2/R-LT Proposed zoning: Same MRGCD Map No NA  
 Zone Atlas page(s): H-9 UPC Code: 100905913119031506 100905919825731507  
100905905513832161

CASE HISTORY: 13DRB-70438; 13DRB-70478; 13DRB-70483; 13DRB-70495; 13DRB-70547; 13DRB-70548  
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_V\_S\_, etc.): 06DRB-01234;  
06DRB-01235; 06DRB-01236; 06DRB-01045; 06DRB-01398; 09DRB-70371; 09DRB-70394; 10DRB-70258; 11DRB-70163

CASE INFORMATION: 12DRB-70043; 12DRB-70044; 12DRB-70045; 12DRB-70046; 12DRB-70047; 12DRB-70277  
 Within city limits?  Yes  No Within 1000FT of a landfill?  Yes  No  
 No. of existing lots: Unit 4 1 Unit 5 3 No. of proposed lots: 160 Total site area (acres): 31.0361  
259 55.2416  
 LOCATION OF PROPERTY BY STREETS: On or Near: Tierra Pintada Blvd. NW 862777

Between: West of Unser Blvd. NW and \_\_\_\_\_

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT) . Review Date: 06/22/2011

SIGNATURE Asa Nilsson-Weber DATE 2-18-14

(Print Name) Asa Nilsson-Weber Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>14DRB-70044</u>	<u>EPP</u>	_____	<u>\$50.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>Feb. 26, 2014</u>			Total	<u>\$70.00</u>

[Signature] 2-18-14 Project # 1005029  
 Staff signature & Date

**FORM S(3): SUBDIVISION - L...B. MEETING (UNADVERTISED) ... INTERNAL ROUTING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.**

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Åsa Nilsson-Weber

Åsa Nilsson-Weber Applicant name (print)  
2/18/14 Applicant signature / date



Form revised October 2007

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
14088 70044

[Signature] 2-18-14  
 Planner signature / date

Project # 1005029



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by. DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102  
Fees must be paid at the time of application Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Isaacson & Arfman, P.A PHONE: 268-8828  
 ADDRESS: 128 Monroe Street NE FAX \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL asaw@iacivil.com

APPLICANT: Western Albuquerque Land Holdings, LLC PHONE: (602) 427-4064  
 ADDRESS: c/o Garrett Development Corporation FAX \_\_\_\_\_  
6991 East Camelback Road, Suite B-297  
 CITY: Scottsdale STATE AZ ZIP 85251 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: Owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Approval of Extension of Preliminary Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tracts B & J, The Crossing and Tract R Block \_\_\_\_\_ Unit 3  
 Subdiv/Addn/TBKA Stormcloud (tbka Stormcloud Subdivision Unit 4 and Stormcloud Subdivision Unit 5)  
 Existing Zoning SU-2/R-LT Proposed zoning Same MRGCD Map No NA  
 Zone Atlas page(s) H-9 UPC Code: 100905913119031506 100905919825731507  
100905905513832161

CASE HISTORY: 13DRB-70438, 13DRB-70478, 13DRB-70483, 13DRB-70495; 13DRB-70547, 13DRB-70548  
 List any current or prior case number that may be relevant to your application (Proj., App, DRB-, AX, Z, V, S, etc.): 06DRB-01234,  
06DRB-01235, 06DRB-01236, 06DRB-01045, 06DRB-01398, 09DRB-70371; 09DRB-70394; 10DRB-70258; 11DRB-70163

CASE INFORMATION: 12DRB-70043, 12DRB-70044; 12DRB-70045, 12DRB-70046, 12DRB-70047, 12DRB-70277  
 Within city limits?  Yes  No  
 Unit 4 1 Within 1000FT of a landfill? No  
 No. of existing lots Unit 5 3 No. of proposed lots 99 Total site area (acres): 31.0361  
4 259 55.2416  
862777

LOCATION OF PROPERTY BY STREETS. On or Near. Tierra Pintada Blvd. NW  
 Between: West of Unser Blvd. NW and \_\_\_\_\_

Check if project was previously reviewed by. Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date 06/22/2011

SIGNATURE Asa Nilsson-Weber DATE 2-18-14  
 (Print Name) Asa Nilsson-Weber Applicant  Agent

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>14DRB-70044</u>	<u>EPP</u>	_____	<u>\$50.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>Feb. 26, 2014</u>			Total <u>\$70.00</u>

[Signature] 2-18-14 Project # 1005029  
 Staff signature & Date

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.

- Preliminary Plat reduced to 8 5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8 5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

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  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions

Åsa Nilsson-Weber

Åsa Nilsson-Weber Applicant name (print)  
2/18/14 Applicant signature / date

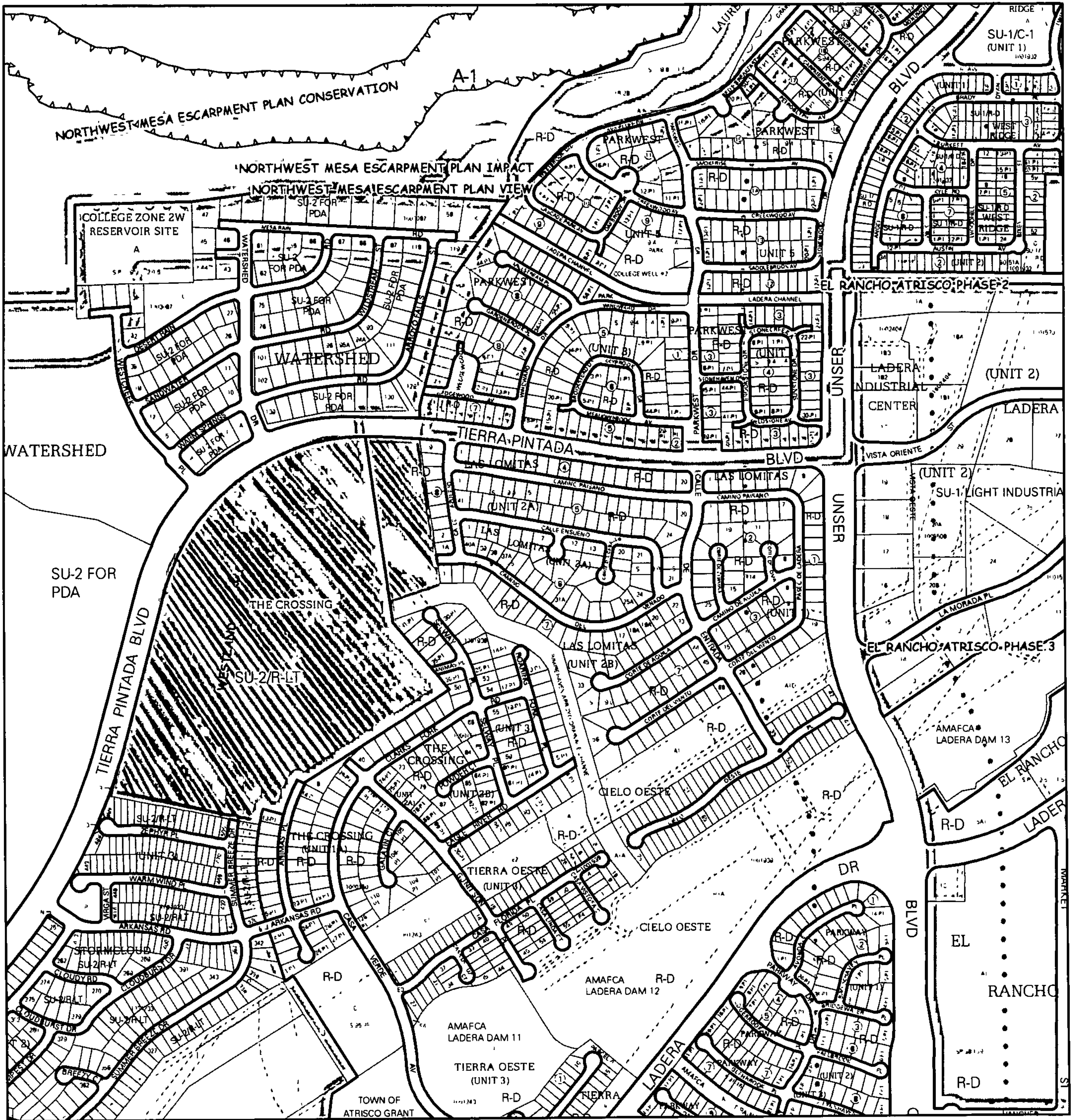


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
140RB 70044

2-18-14 Planner signature / date  
Project # 1005029



For more current information and details visit: <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Map amended through: 1/10/2013

RIO GRANDE

I-40

I-25

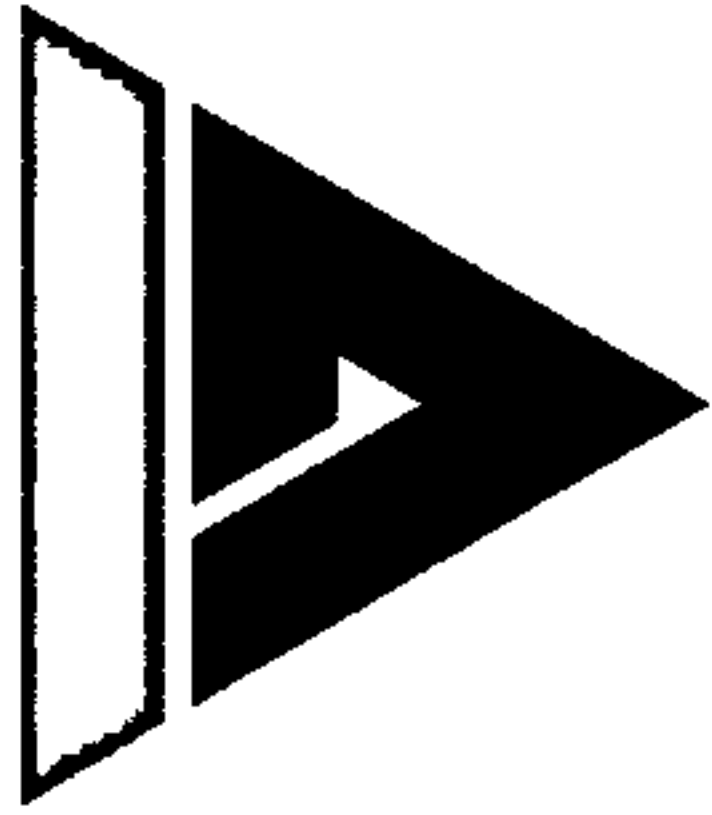
Zone Atlas Page:  
**H-09-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon	

Note: Grey Shading Represents Area Outside of the City Limits

0 750 1 500 Feet



**ISAACSON & ARFMAN, P.A.**

*Consulting Engineering Associates*

*Thomas O. Isaacson, PE(RET.) & LS(RET.) . Fred C. Arfman, PE . Åsa Nilsson-Weber, PE*

February 18, 2014

Mr. Jack Cloud  
DRB Chair  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87103

**RE: Stormcloud Subdivisions, Units 4 & 5**  
**Existing Legal: Tracts B & J, The Crossing and Tract R, Stormcloud Unit 3**  
**Zone Atlas Map: H-9**  
**DRB Project No. 1005029**

Dear Mr. Cloud:

Isaacson & Arfman, acting as agents for the Owner of the above referenced site, is submitting a request for approval of a one-year extension of the preliminary plat, including design variances and sidewalk deferral/waiver, for the referenced project.

The site is located east and south of Tierra Pintada Blvd, NW and west of Unser Blvd, NW—see attached zone atlas map. Mirehaven Arroyo separates the two units with Unit 5 on the north side and Unit 4 on the south side.

A one-year extension of the preliminary plat for Units 4 and 5 was approved at DRB on March 27, 2013. The final preliminary plat was approved with delegation of signatures on April 3, 2013 for Unit 5 and May 22, 2013 for Unit 4. Please see attached copies of the preliminary plat and final preliminary plats.

Since the Developer has not yet found a buyer for the two subdivisions, we are requesting a one-year extension of the preliminary plat/final preliminary plats.

Please call me at 268-8828 if you have questions regarding this submittal.

Thank you.

Sincerely,

**ISAACSON & ARFMAN, P.A.**

Åsa Nilsson-Weber, P.E.

Attachments







DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1005029

Application #: 13DRB-70547, 13DRB-70548,  
13DRB-70555

Project Name: TBKA STORMCLOUD SUBDIVISION UNIT 4 & STORMCLOUD SUBDIVISION UNIT 5)

Agent: ISAACSON & ARFMAN PA Phone #:

\*\*Your request was approved on 5-22-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed\*\*

TRANSPORTATION: \_\_\_\_\_  
\_\_\_\_\_

ABCWUA: \_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER / AMAFCA: to record  
\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
\_\_\_\_\_

PLANNING (Last to sign): AMAFCA signature  
\_\_\_\_\_  
\_\_\_\_\_

**PLATS:**

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

**ALL SITE PLANS:**

- 3 copies of the approved site plan. Include all pages.

# PLAT OF STORMCLOUD SUBDIVISION UNIT 4

(BEING A REPLAT OF TRACT N, STORMCLOUD SUBDIVISION UNIT 5)

SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT  
IN

PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
APRIL, 2013

PROJECT NUMBER 1005029

Application Number 13DRB-70547

## FLAT APPROVAL

### UTILITY APPROVALS

*[Signature]*  
Public Service Company of New Mexico  
Date 6-18-13

*[Signature]*  
New Mexico Gas Company  
Date 5/20/13

*[Signature]*  
Qwest Corporation, d/b/a CenturyLink QC  
Date 5/17/13

*[Signature]*  
Comcast  
Date 5/20/13

### CITY APPROVALS

*[Signature]*  
City Supervisor  
Department of Municipal Development  
Date 5-9-13

Real Property Division  
Date

Environmental Health Department  
Date

*[Signature]*  
Traffic Engineering, Transportation Division  
Date 05-22-13

*[Signature]*  
ABCWUA  
Date 05/22/13

*[Signature]*  
Parks and Recreation Department  
Date 5-22-13

*[Signature]*  
AMATEA  
Date 5-29-13

City Engineer  
Date

DRB Chairperson, Planning Department  
Date

## TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following.

Bernalillo County Treasurer  
Date

## PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of

- A Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services
  - B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and services reasonably necessary to provide natural gas services
  - C. Qwest Corporation d/b/a Century Link QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services
  - D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide cable services.
- Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgear, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

## DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation (Qwest), Century Link (CL) did not conduct a Title Search of the property shown hereon. Consequently, PNM and NMGC and Qwest Corporation d/b/a CenturyLink do not waive or release any easement or other rights which may have been granted by this plat, replat or other document and which are not shown on this plat.

## PURPOSE OF PLAT

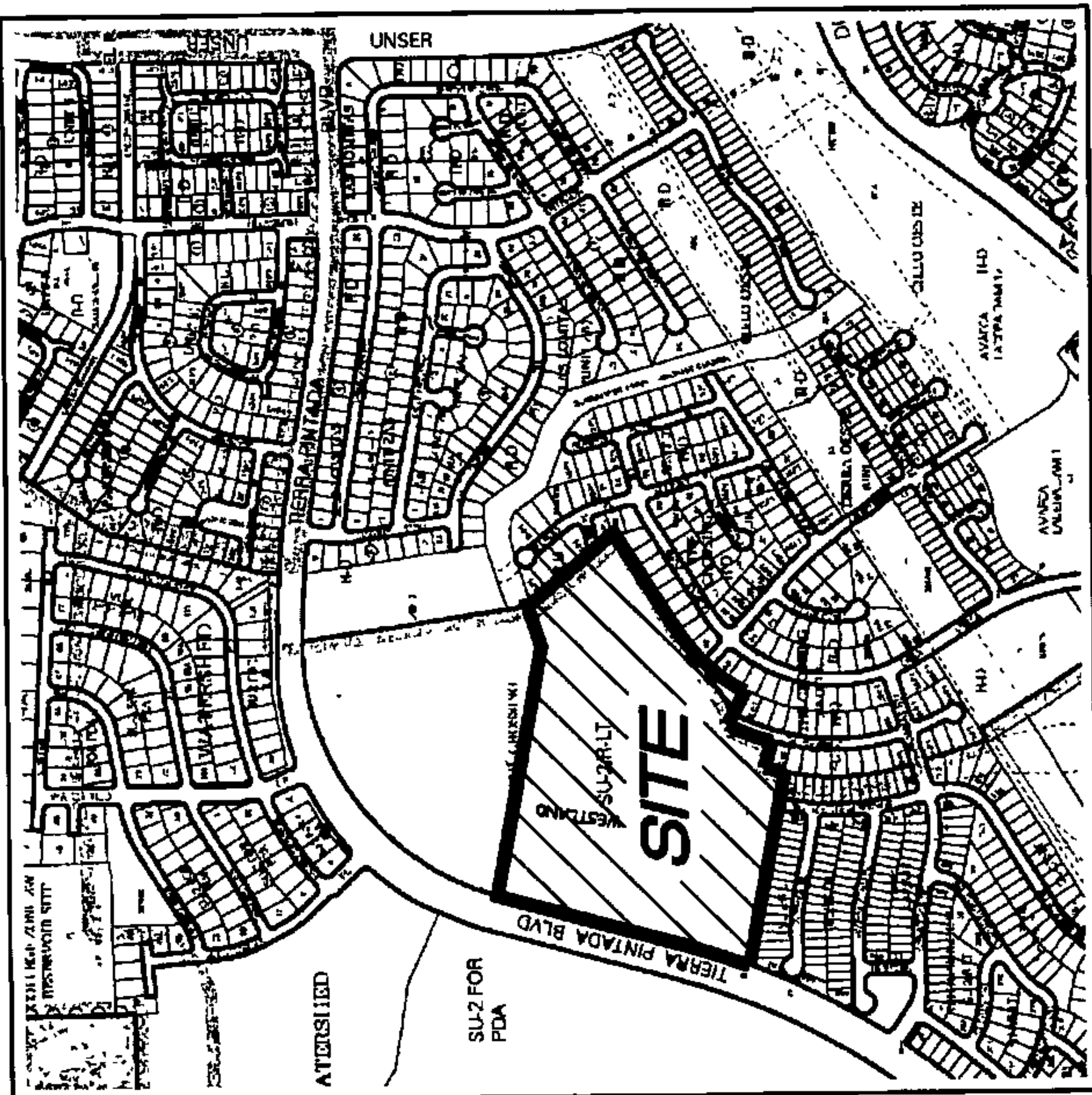
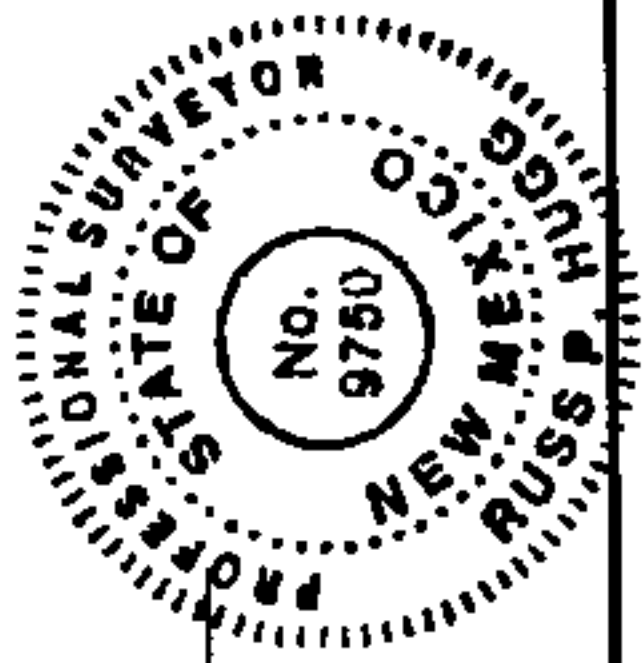
The purpose of this plat is to:

- A. Create 154 New Lots and 6 Tracts as shown hereon
- B. Dedicate the Public Street right of way as shown hereon
- C. Grant the New Public Utility Easements as shown hereon
- D. Show the Temporary Public Turnaround Easement VACATED by 13DRB-70478

## SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual survey performed by me or under my supervision, that it meets the Standards for Land Surveys in New Mexico, adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record, and that it is true and correct to the best of my knowledge and belief.

*[Signature]*  
Russ P. Hugg  
NMPS No. 9750  
April 24, 2013



VICINITY MAP  
Not To Scale

## GENERAL NOTES

- 1. Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83)
- 2. Distances are ground
- 3. Distances along curved lines are arc lengths
- 4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( )
- 5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon
- 6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- 7. All street centerline monumentation shall be installed at all centerline P.C.'s, P.T.'s, angle points and street intersections and shown thus: (A) centerline monumentation will be set using the standard four (4) aluminum "Do Not Disturb" PS Number Albuquerque Centerline Monument - Do Not Disturb, PS Number 9750 and will be set flush with the final asphalt lift.
- 8. City of Albuquerque Zone Atlas Page H-9-Z
- 9. No lot shall have direct access to Tierra Pintada Blvd N W

## SUBDIVISION DATA

- 1 Total number of existing Tracts. 1
- 2 Total number of lots created 154
- 3 Total number of Tracts created 6
- 4 Public Street right of way dedicated by this plat. 6 9703 Ac
- 5 Gross Subdivision acreage: 31 0361 Ac
- 6 Total miles of new right of way 1.17 mi

## SHEET INDEX

- Sheet 1 of 8 Approvals, General Notes, Purpose of plat
- Sheet 2 of 8 Legal Description, Free Consent & Dedication
- Sheet 3 of 8 Overall Existing Plat and Tract
- Sheets 4-7 New Subdivision Lots, Tracts, right of ways and easements
- Sheet 8 of 8 Curve and Line Tables

**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Atrisco Grant in Projected Section 9 Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising Tract N, Stormcloud, Unit 5, as the same is shown and designated on the plat entitled "PLAT OF STORMCLOUD SUBDIVISION UNIT 5 (BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3) SITUATE WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New

Mexico, on \_\_\_\_\_ 2013 in Plat Book 2013C, Page \_\_\_\_\_ more particularly described by survey performed by Russ P Rugg, New Mexico Professional Surveyor Number 9750, using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows

BEGINNING at the southwesterly corner of the parcel herein described, said point also being the southwesterly corner of said Tract N, Stormcloud Subdivision Unit 5, and also being a point on the easterly right of way line of Tierra Pintada Boulevard N.W., and also being the northwesterly corner of Lot 489, Stormcloud Subdivision Unit 3, as the same is shown and designated on the plat thereof, filed December 21, 2006, in Plat Book 2006C, Page 394, whence Albuquerque Control Survey Monument "BH 41" bears N 19°15'12" W, 2548.64 feet distant; Thence, along said easterly right of way line of Tierra Pintada Boulevard N.W.,

Northerly, 305.79 feet on the arc of a curve to the left (said curve having a radius of 3000.00 feet, a central angle of 05°50'25", and a chord that bears N 18°05'56" E, 305.66 feet) to a point of tangency; Thence,

N 15°10'44" E, 779.58 feet to the northwesterly corner of the parcel herein described, said point also being the northwesterly corner of said Tract N, Stormcloud Subdivision Unit 5, and also being the southwesterly corner of Tract O, Stormcloud Subdivision Unit 5, Thence,

S 79°28'48" E, 1055.88 feet to an angle point, Thence,

N 71°45'15" E, 182.04 feet to the northeasterly corner of the parcel herein described, said point also being the northeasterly corner of said Tract N, Stormcloud Subdivision Unit 5, and also being the southeasterly corner of said Tract O, Stormcloud Subdivision Unit 5, and also being the northwesterly corner of Lot 31-P1, The Crossing Unit 3, as the same is shown and designated on the plat thereof, filed July 26, 2004, in Plat Book 2004C, Page 216, whence Albuquerque Control Survey Monument "3-H9" bears N 47°42'05" E, 3137.88 feet distant, Thence,

S 08°19'45" E, 12.64 feet to an angle point, Thence,

S 40°14'59" E, 458.54 feet to the eastern-most corner of the parcel herein described, said point also being the eastern-most corner of said Tract N, Stormcloud Subdivision Unit 5, and also being a corner on the westerly boundary of Lot 50, The Crossing Unit 2-B as the same is shown and designated on the plat thereof, filed November 18, 2003, in Plat Book 2003C, Page 347; Thence, along the northwesterly boundaries of Lots 40 thru 48 and 50, of said plat filed in Plat Book 2003C, Page 347; Gunnison Place N.W.; and Lots 37-P1 thru 39-P1, The Crossing, Unit 1-A, as the same is shown and designated on the plat thereof, filed December 3, 2002, in Plat Book 2002C, Page 380, the following 3 courses,

S 57°54'27" W, 470.16 feet to a point of curvature, Thence,

Southwesterly, 190.45 feet on the arc of a curve to the left (said curve having a radius of 762.00 feet, a central angle of 14°19'12", and a chord that bears S 50°44'51" W, 189.95 feet) to an angle point; Thence,

Southwesterly, 208.45 feet on the arc of a curve to the left (said curve having a radius of 762.00 feet, a central angle of 15°40'25", and a chord that bears S 35°45'41" W, 207.80 feet) to a corner, said corner also being the eastern-most corner on Lot 14-P1, The Crossing, Unit 1-A, of said plat filed in Plat Book 2002C, Page 380, Thence, along the northeasterly boundaries of said Lot 14-P1 and Animas Place N.W.,

N 62°04'32" W, 158.00 feet to a corner, said corner also being the northern-most corner of the northeasterly terminus of said Animas Place N.W., Thence, along the northwesterly right of way line of said Animas Place N.W.,

Southwesterly, 197.52 feet on the arc of a curve to the left (said curve having a radius of 920.00 feet, a central angle of 12°18'05", and a chord that bears S 21°46'26" W, 197.14 feet) to a corner, said corner also being the northeasterly corner of Lot 13-P1, The Crossing, Unit 1-A, of said plat filed in Plat Book 2002C, Page 380, Thence, along the northerly, then westerly boundaries of said Lot 13-P1, the following two courses

N 74°22'37" W, 112.00 feet to a corner, Thence,

Southerly, 84.44 feet on the arc of a curve to the left (said curve having a radius of 1032.00 feet, a central angle of 04°41'16", and a chord that bears S 13°16'45" W, 84.41 feet) to the southern-most corner of the parcel herein described, said point also being the southern-most corner of said Tract N, Stormcloud Subdivision Unit 5, and also being the northeasterly corner of Lot 507, Stormcloud Subdivision, Unit 3, as the same is shown and designated on the plat thereof, filed December 31, 2006, in Plat Book 2006C, Page 394; Thence, along the northerly boundaries of said lot 507, Summer Breeze Drive N.W., and Lots 489 thru 505, Stormcloud Subdivision, Unit 3, of said plat filed in Plat Book 2006C, Page 394,

N 79°03'05" W, 816.22 feet to the point of beginning

Said parcel contains 31.0361 acres, more or less

PLAT OF  
**STORMCLOUD SUBDIVISION**  
**UNIT 4**

(BEING A REPLAT OF TRACT N, STORMCLOUD SUBDIVISION UNIT 5)

SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT  
IN  
PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
APRIL, 2013

**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat"

**FLOOD ZONE DETERMINATION**

The subject property, as shown hereon, appears to lie within Zone "X" (areas determined to be outside the 0.2% annual chance floodplain), Zone "AO, (DEPTH 1)" (Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain), average depths determined. For areas of alluvial fan flooding, velocities also determined), and Zone "AE" (Base Flood Elevations determined) as shown on National Flood Insurance Program Flood Insurance Rate Map Number 35001C0326H, Map Revised August 16, 2012.

A PORTION OF THIS SUBDIVISION IS LOCATED WITHIN A 100-YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM "FLOOD INSURANCE RATE MAP" A LETTER OF MAP REVISION (LOMR) WILL BE REQUESTED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) TO REMOVE THE EXISTING FLOOD PLAIN UNTIL THE LOMR IS ISSUED BY FEMA, PROPERTY OWNERS MAY BE REQUIRED TO PURCHASE FLOOD INSURANCE

**APS AGREEMENT**

The Property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools recorded in the office of the County Clerk of Bernalillo County, New Mexico on

05/03/2013, 2013 as Doc # 2013049342

**PRIVATE TRACT DESIGNATIONS**

Tracts G, H, J, K, L and M shall be conveyed to the Stormcloud Unit 4 Homeowners Association once established These tracts shall be maintained by said Association

Uses for tracts are listed below:

TRACT	USE
G	PNM, Comcast and Centurylink surface equipment/PUE
H	Private landscaping/PUE
J	Maintenance access road for COA and A.B.C.W.U.A., Storm Drain and Waterline Easement, and AMAFCA access
K,L	Private Landscaping/PUE
M	Private park

**FREE CONSENT AND DEDICATION**

SURVEYED AND REPLATTED and now comprising "PLAT OF STORMCLOUD SUBDIVISION UNIT 4 (BEING A REPLAT OF TRACT N, STORMCLOUD SUBDIVISION, UNIT 5) SITUATE WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) Said owner(s) and proprietor(s) do hereby dedicate the public street right-of-way as shown hereon to the City of Albuquerque in fee simple with special warranty covenants Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided, subject to matters of record Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act, provided, however, that nothing in this plat shall be construed or shall operate to convey any part of those certain items of personal property known as "PID Eligible Infrastructure Improvements," as such term is defined in that certain Infrastructure Development and Acquisition Agreement by and among the CITY OF ALBUQUERQUE, NEW MEXICO, a charter municipality, THE LOWER PETROGLYPHS PUBLIC IMPROVEMENT DISTRICT, a political subdivision of the State of New Mexico, and WESTERN ALBUQUERQUE LAND HOLDINGS LLC, a Delaware limited liability company, and, to the extent applicable, any other parties to the Infrastructure Development and Acquisition Agreement, to be recorded in the office of the County Clerk of Bernalillo County, New Mexico, which PID Eligible Infrastructure Improvements shall be conveyed by bill of sale or other appropriate instrument apart from this plat.

**OWNER(S)**

Western Albuquerque Land Holdings, LLC

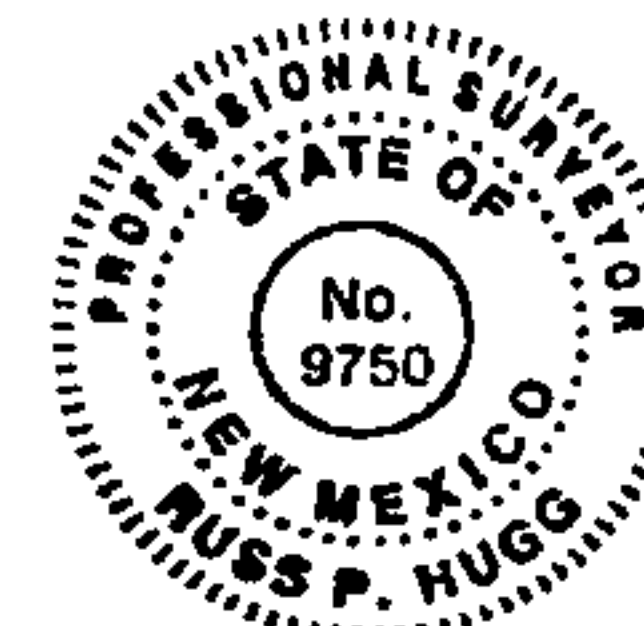
By:   
Mark Wuest, Vice President  
Barclays Capital Real Estate, Inc  
As Servicing Member

**ACKNOWLEDGMENT**

STATE OF New York  
COUNTY OF New York SS  
The foregoing instrument was acknowledged before me this 1  
day of May, 2013, by Mark Wuest

  
Notary Public My commission expires 11/2/2016

KRISTINA WALL  
NOTARY PUBLIC-STATE OF NEW YORK  
No 01WA6258017  
Qualified in New York County  
My Commission Expires April 02, 2016



**SURVOTEK, INC.**

Consulting Surveyors  
8384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3368  
FAX: 505-897-3377

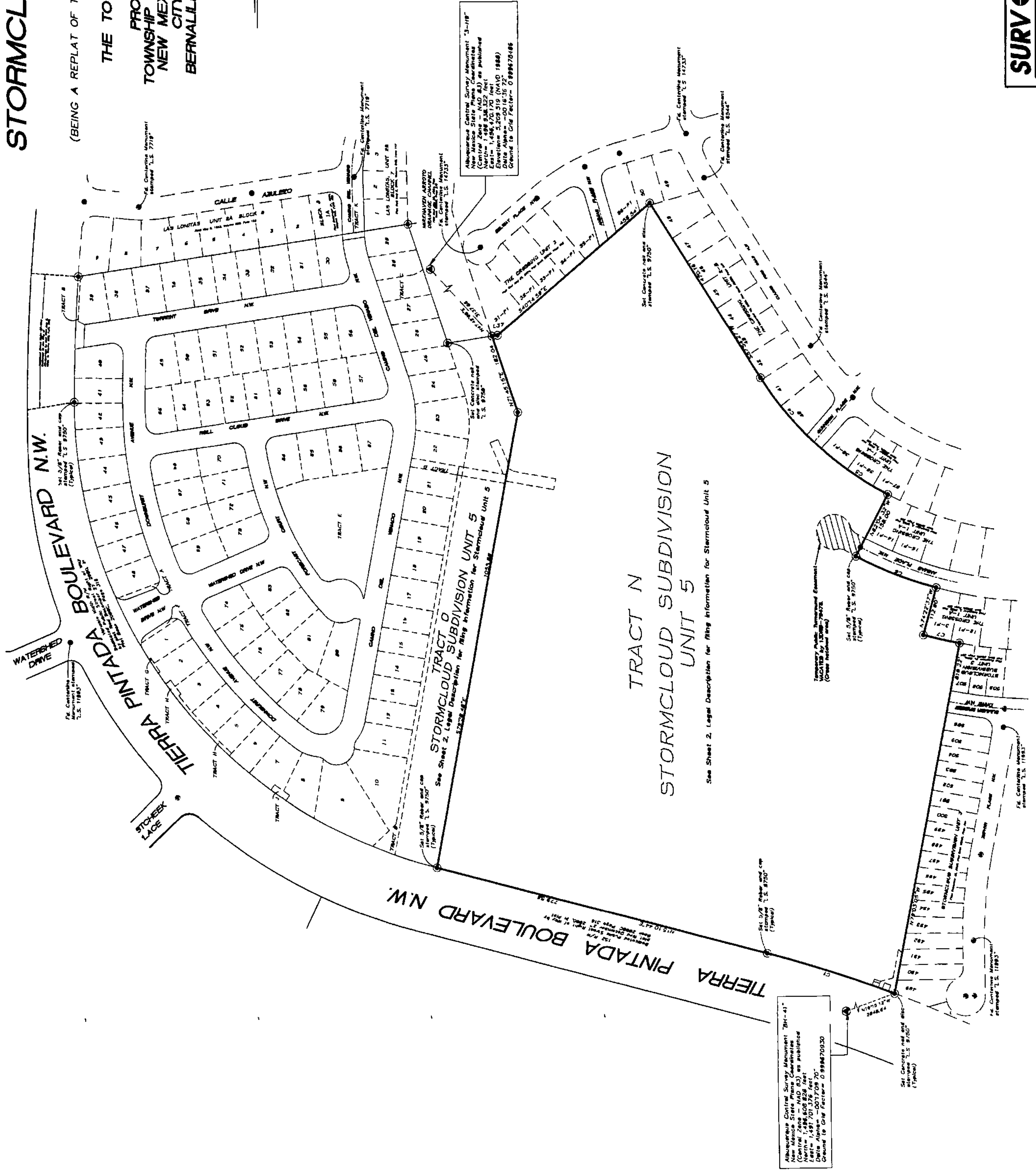
# FLAT OF STORMCLOUD SUBDIVISION UNIT 4

(BEING A REPLAT OF TRACT N, STORMCLOUD SUBDIVISION UNIT 5)

SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT

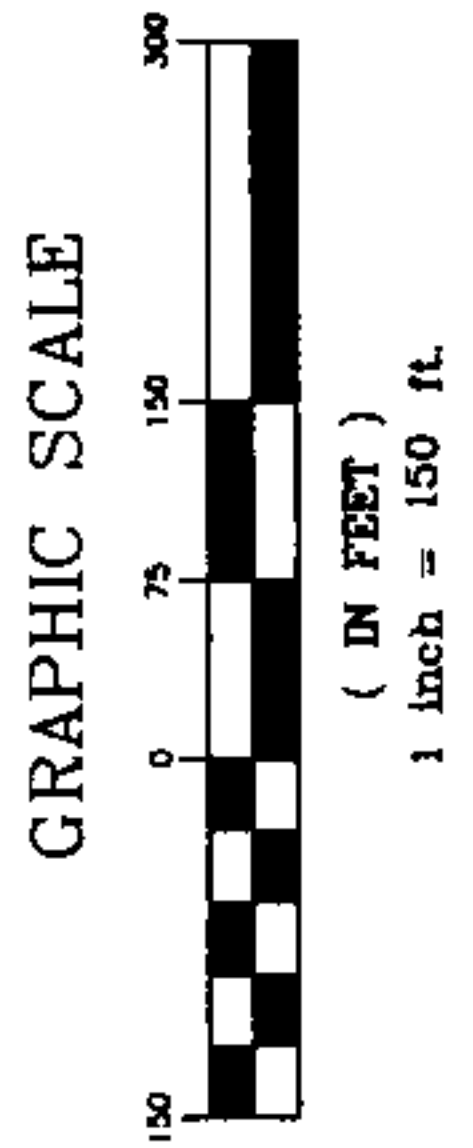
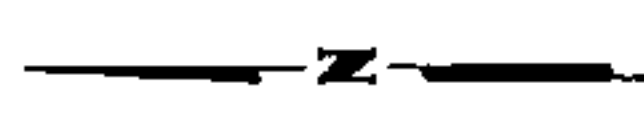
PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
APRIL, 2013

EXISTING TRACT



Albuquerque Central Survey Monument "21-41"  
(Central zone - NAD 83) as published  
North = 148° 01' 32" East  
Distance = 5,203.518 (NAD 1983)  
Delta Azimuth = 001° 09' 20"  
Ground to Grid Factor = 0.999970486

Albuquerque Central Survey Monument "3-118"  
(Central zone - NAD 83) as published  
North = 148° 01' 32" East  
Distance = 5,203.518 (NAD 1983)  
Delta Azimuth = 001° 09' 20"  
Ground to Grid Factor = 0.999970486



TRACT N  
STORMCLOUD SUBDIVISION  
UNIT 5

See Sheet 2, Legal Description for (Being Information for Stormcloud Unit 5)

PLAT OF  
**STORMCLOUD SUBDIVISION**  
**UNIT 4**

(BEING A REPLAT OF TRACT N, STORMCLOUD SUBDIVISION UNIT 5)

SITUATE WITHIN  
 THE TOWN OF ATRISCO GRANT  
 IN  
 PROJECTED SECTION 9  
 TOWNSHIP 10 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 APRIL, 2013

**NEW EASEMENTS**

- (A) 10' Public Utility Easement granted by this plat
- (B) 7' X 2' Public Utility Easement granted by this plat (centered on lot lines)
- (C) 40' X 25' Public Service Company of New Mexico Easement granted by this plat

**EXISTING EASEMENTS**

Existing Easements C thru J as listed below were granted by plat of Stormcloud Unit 5 See Sheet 2, Legal description for filing information.

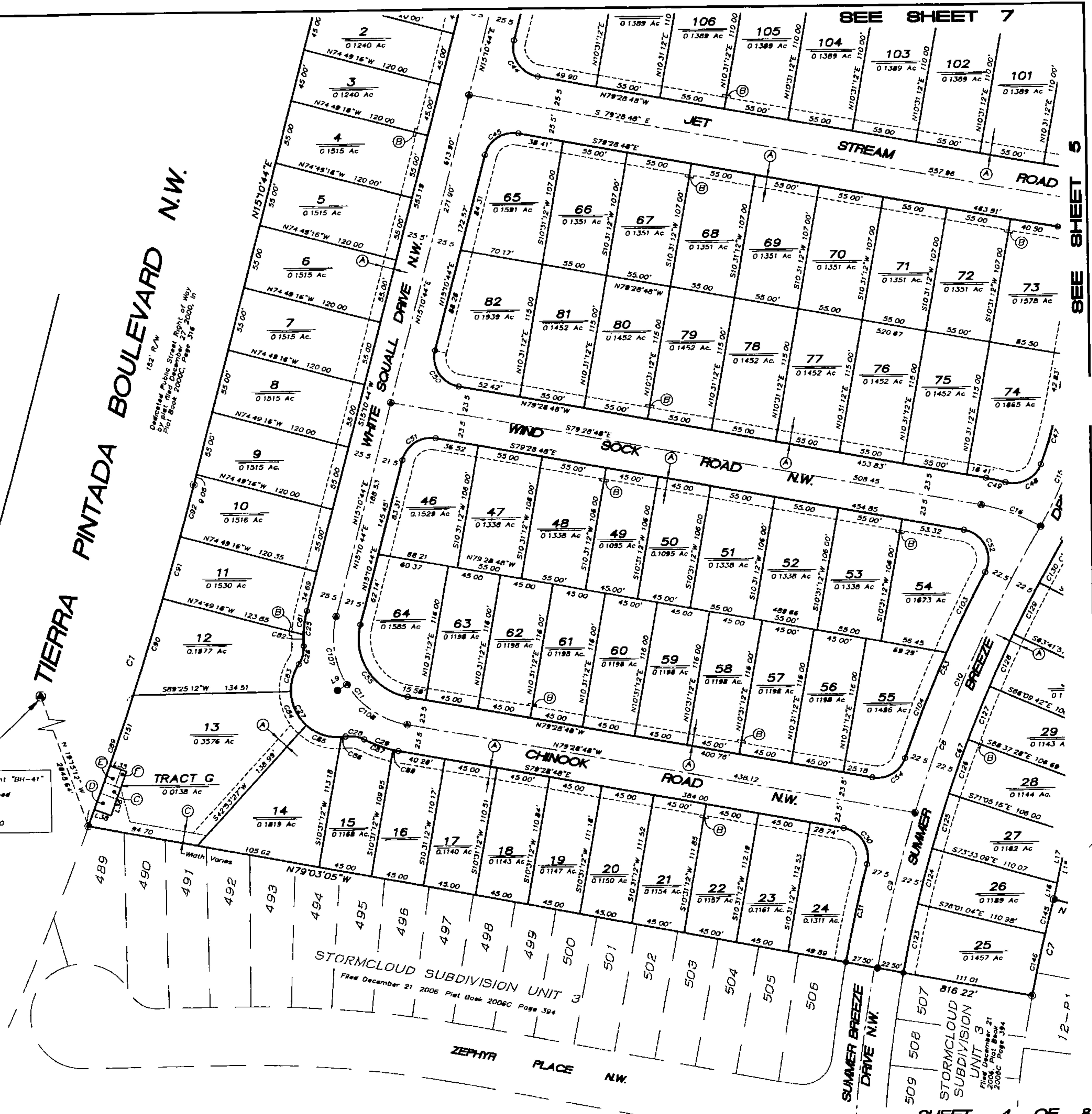
- (C) Existing 10' Public Utility Easement.
- (D) Existing Public Utility Easement granted to PNM
- (E) Existing Public Utility Easement granted to CenturyLink.
- (F) Existing Public Utility Easement granted to Comcast
- (G) Existing Public Waterline Easement granted to Albuquerque Bernalillo County Water Utility Authority
- (H) Existing Public Storm Drain Easement granted to the City of Albuquerque
- (J) Existing Public Drainage Easement granted to the City of Albuquerque and Public Waterline Easement granted to Albuquerque Bernalillo County Water Utility Authority

Albuquerque Control Survey Monument "BH-41"  
 New Mexico State Plane Coordinates  
 (Central Zone - NAD 83) as published  
 North = 1,496,608.828 feet  
 East = 1,491,701.376 feet  
 Delta Alpha = -00°17'09.70"  
 Ground to Grid Factor = 0.999670930

GRAPHIC SCALE



( IN FEET )  
 1 inch = 60 ft

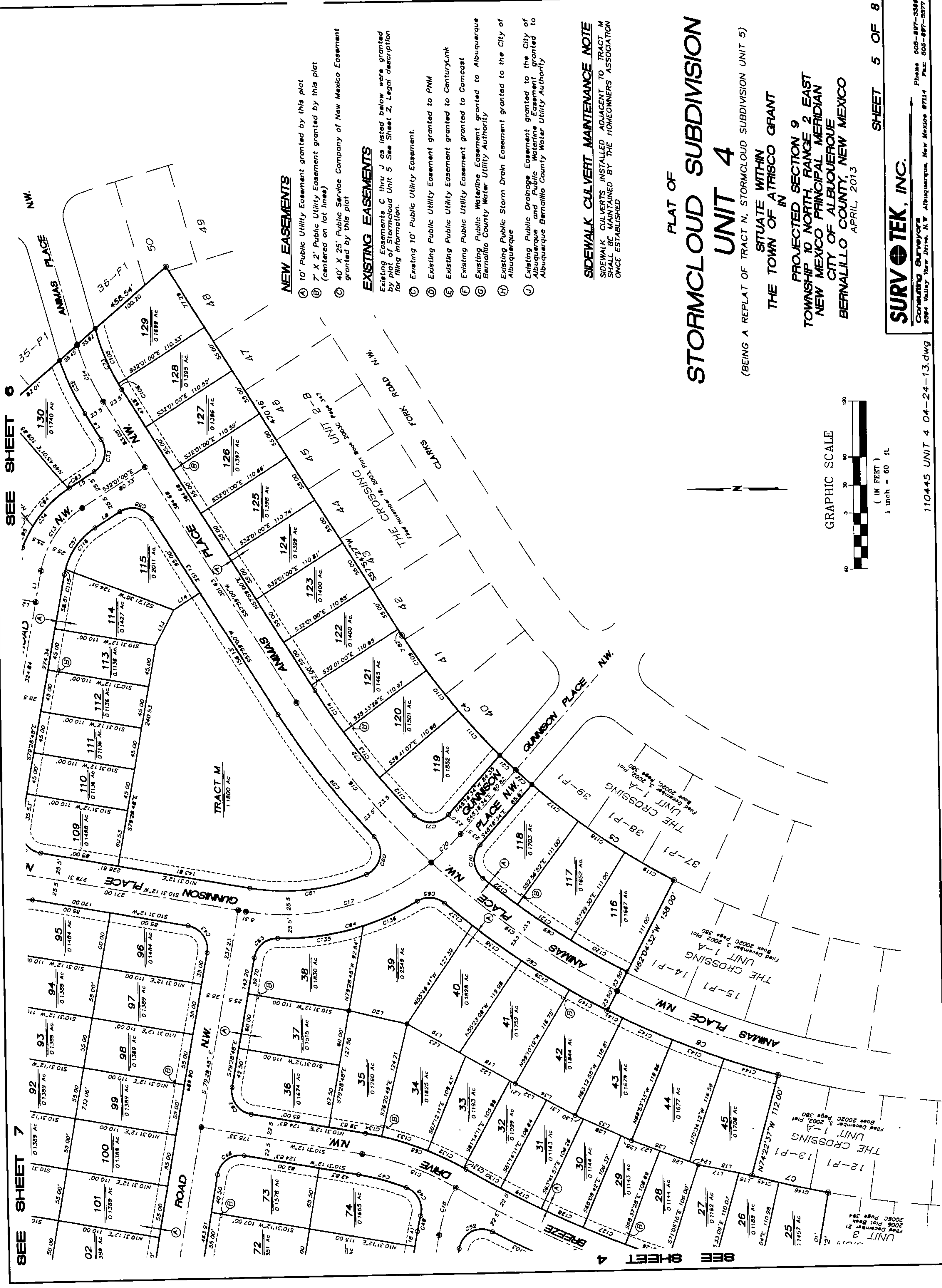


SEE SHEET 5

SHEET 4 OF 8

**SURV-TEK, INC.**  
 Consulting Surveyors  
 8084 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3568  
 Fax: 505-897-3577

110445 UNIT 4 04-24-13.dwg



SEE SHEET 6

SEE SHEET 7

SEE SHEET 4

**NEW EASEMENTS**

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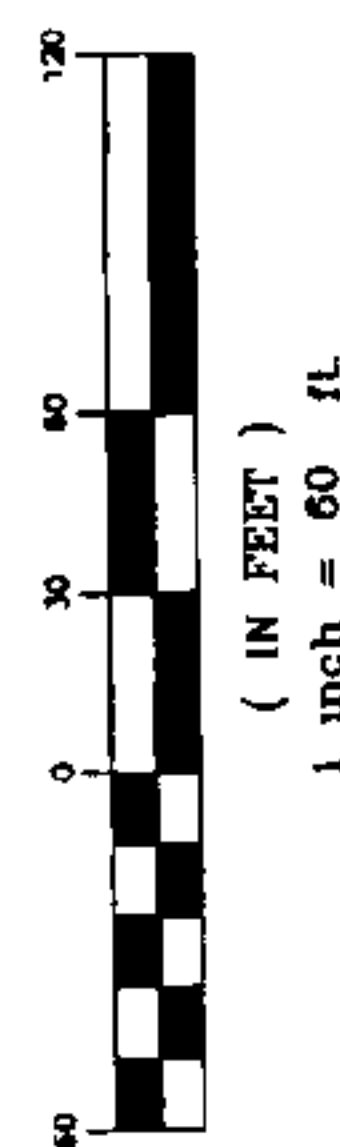
**SIDEWALK CULVERT MAINTENANCE NOTE**  
 SIDEWALK CULVERTS INSTALLED ADJACENT TO TRACT M SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION ONCE ESTABLISHED

FLAT OF  
**STORMCLOUD SUBDIVISION**  
**UNIT 4**

(BEING A REPLAT OF TRACT N, STORMCLOUD SUBDIVISION UNIT 5)  
 SITUATE WITHIN  
 THE TOWN OF ATRISCO GRANT

PROJECTED SECTION 9  
 TOWNSHIP 10 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 APRIL, 2013

GRAPHIC SCALE



**SURVOTEK, INC.**

Consulting Surveyors  
 2084 Valley View Drive, N.W.  
 Albuquerque, New Mexico 87114 Fax: 505-887-5377



# FLAT OF STORMCLOUD SUBDIVISION UNIT 4

(BEING A REPLAT OF TRACT N, STORMCLOUD SUBDIVISION UNIT 5)

SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT  
IN

PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
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APRIL, 2013

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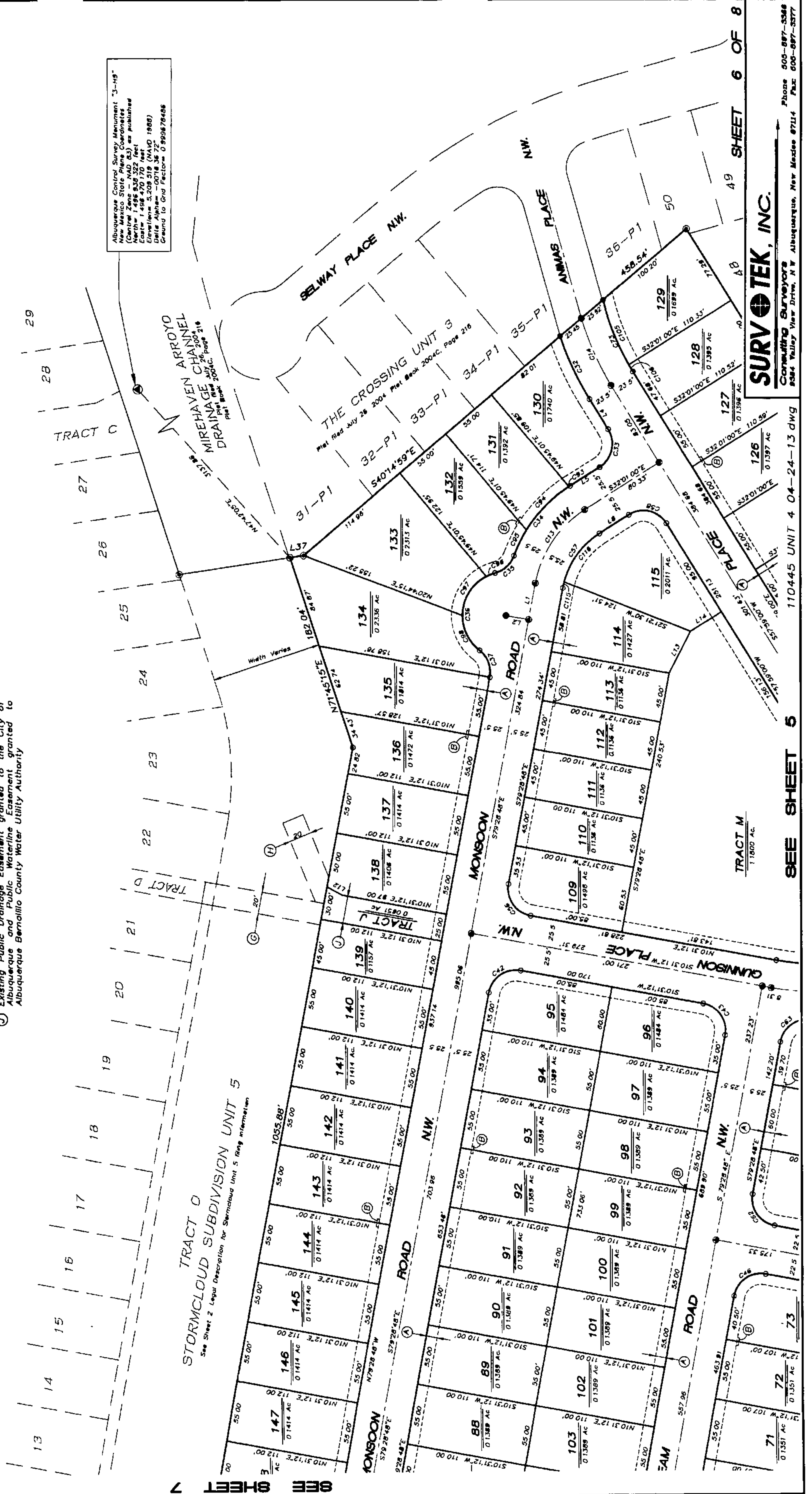
GRAPHIC SCALE



( IN FEET )

1 inch = 60 ft

Albuquerque Control Survey Monument "3-19"  
New Mexico State Plane Coordinates  
Zone 10N  
Northing 1496 838 922 feet  
Easting 1498 470 170 feet  
Elevations 5,209.519 (NAVD 1986)  
Datum: North American Datum of 1986  
Ground to Grid Factor: 0.999878486



**SURV-TEK, INC.**

Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone 505-897-3568  
Fax 505-897-3377

SEE SHEET 5

110445 UNIT 4 04-24-13.dwg

SHEET 6 OF 8

PLAT OF  
**STORMCLOUD SUBDIVISION**  
**UNIT 4**

(BEING A REPLAT OF TRACT N, STORMCLOUD SUBDIVISION UNIT 5)

SITUATE WITHIN  
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 TOWNSHIP 10 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
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 APRIL, 2013

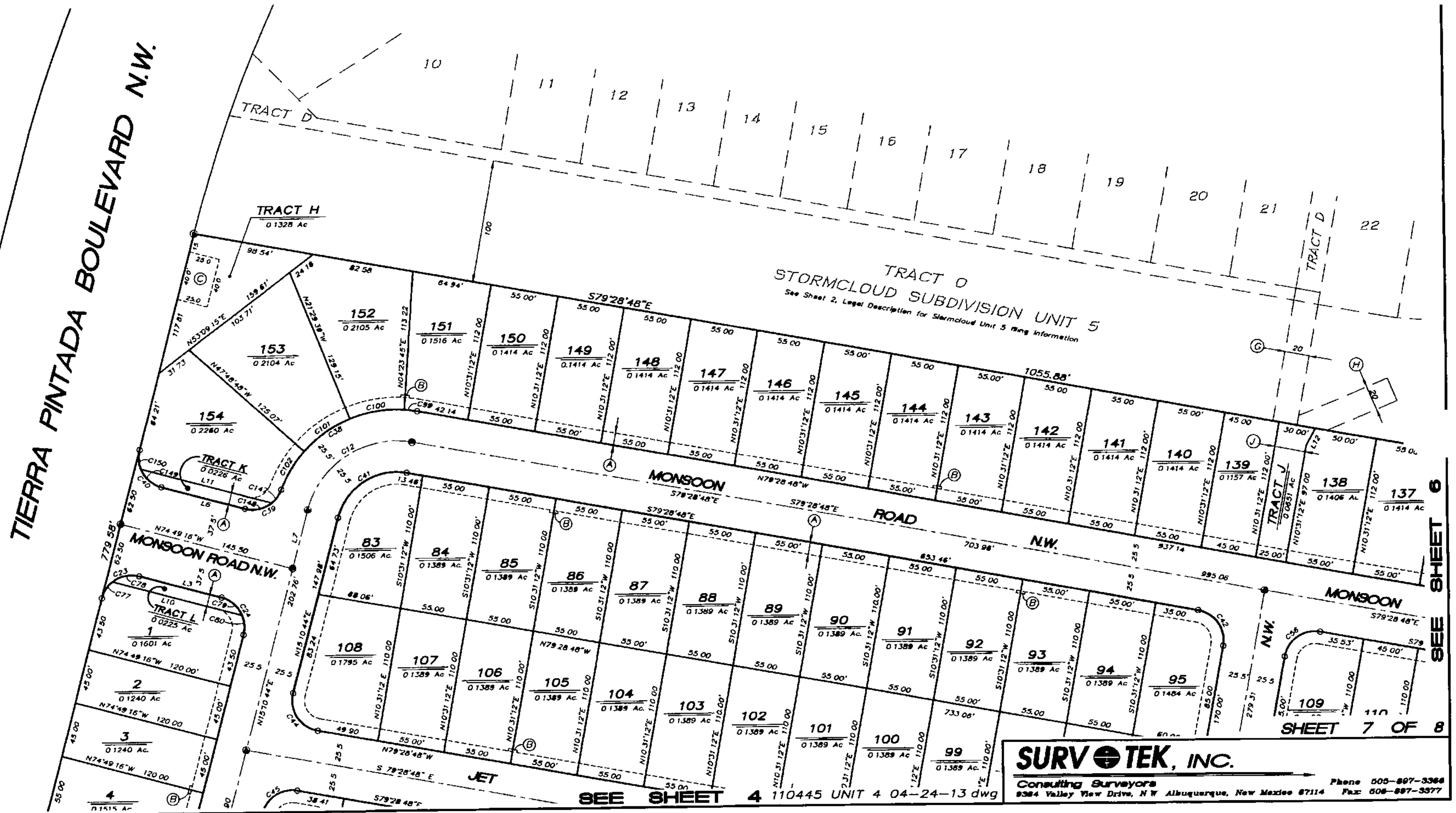
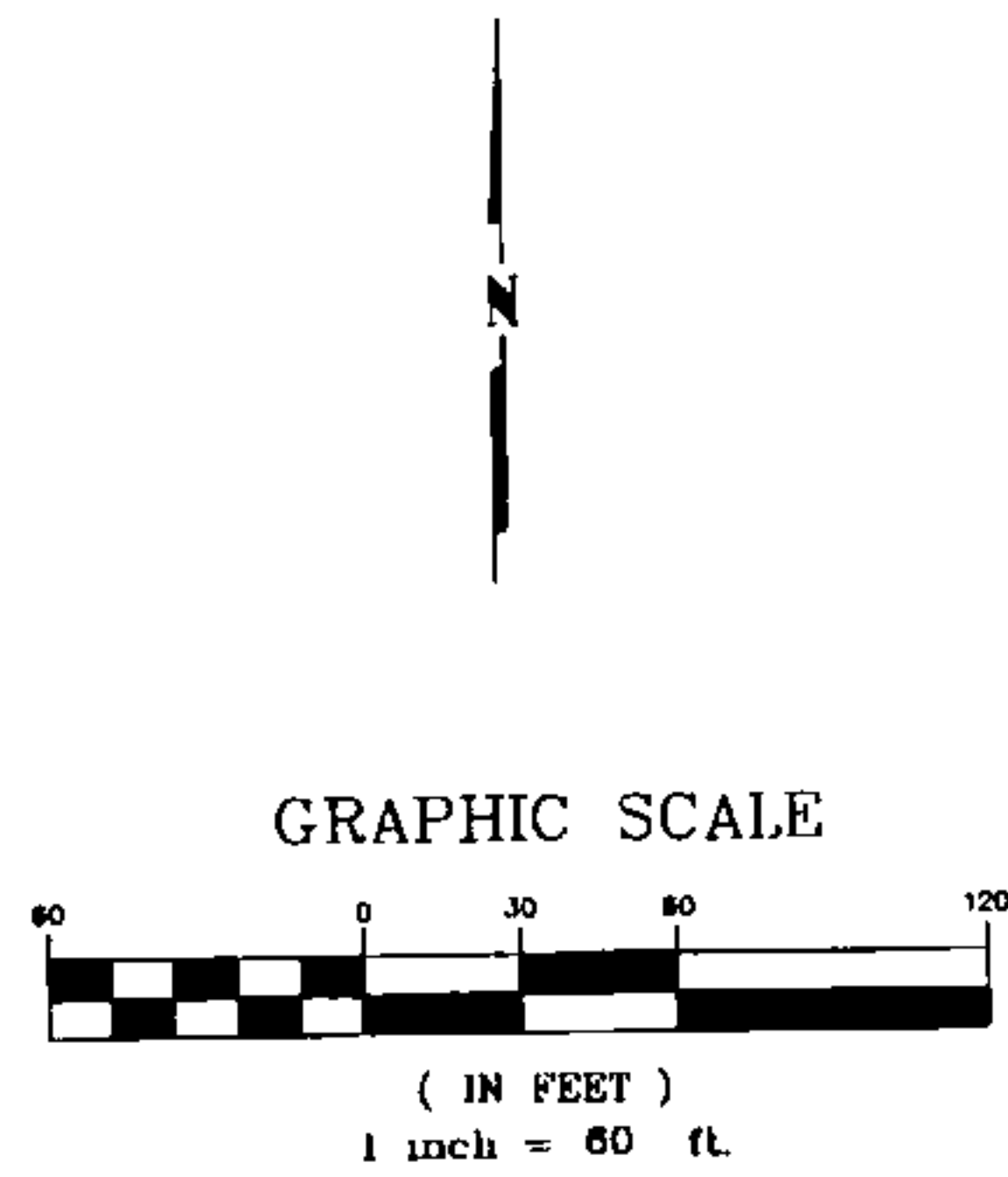
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**SURVOTEK, INC.**  
 Consulting Surveyors  
 8364 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
 Phone 505-897-3366 Fax 505-897-3377

SEE SHEET 4 110445 UNIT 4 04-24-13 dwg

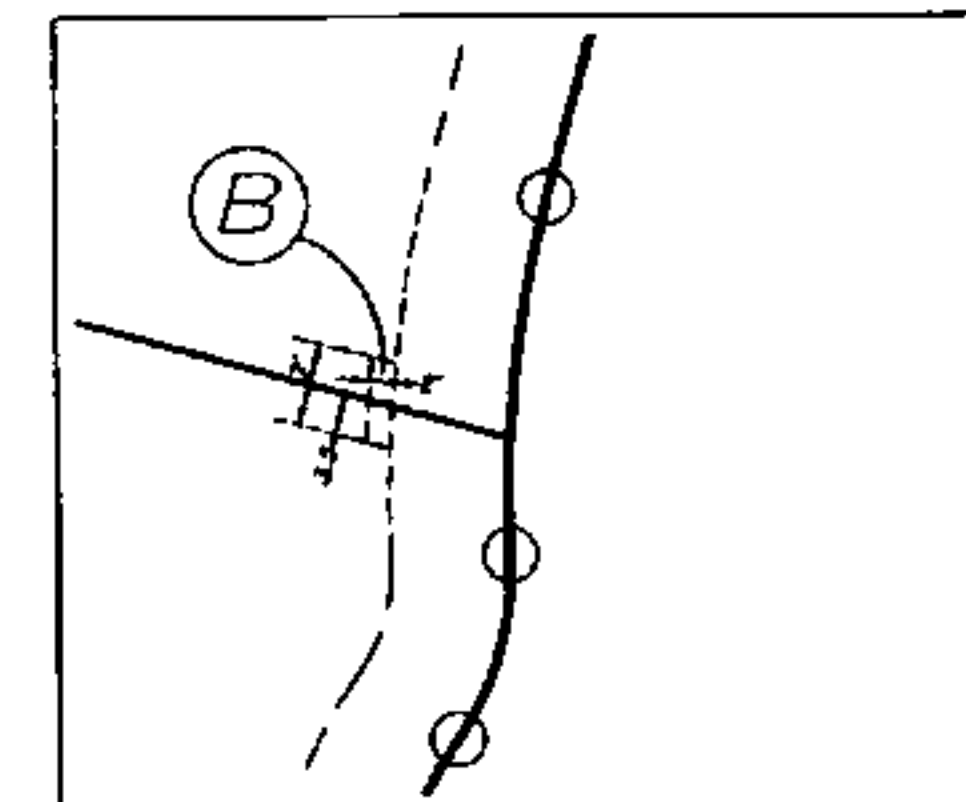
SHEET 7 OF 8

SEE SHEET 6

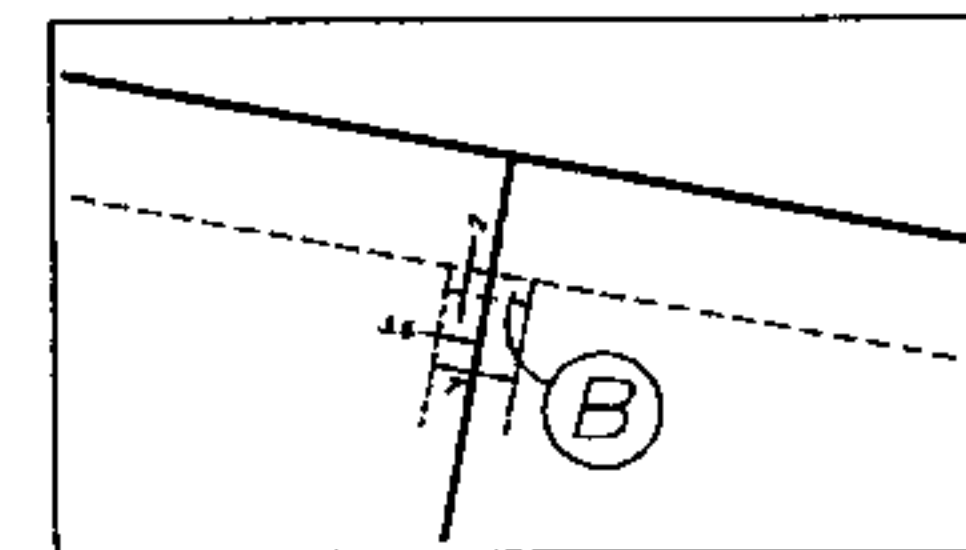
# PLAT OF STORMCLOUD SUBDIVISION UNIT 4

(BEING A REPLAT OF TRACT N, STORMCLOUD SUBDIVISION UNIT 5)

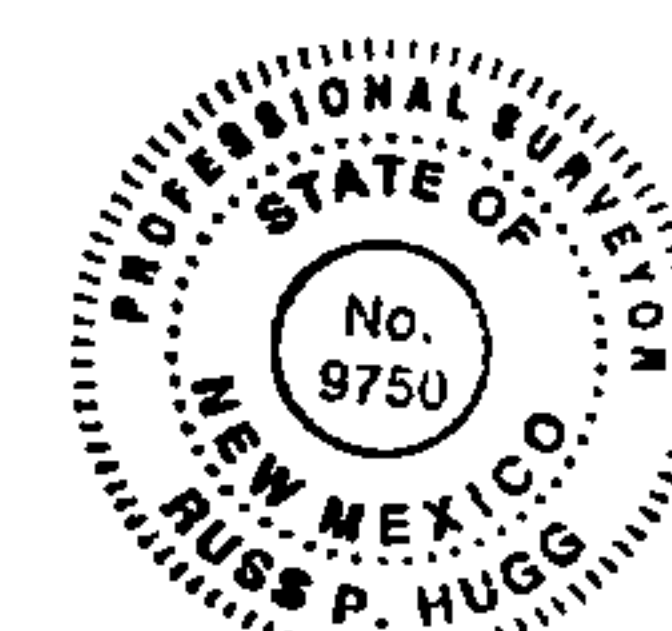
SITUATE WITHIN  
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TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
APRIL, 2013



DETAIL 'A' 1" = 30'



DETAIL 'B' 1" = 30'



**SURV** TEK, INC.

Consulting Surveyors Phone 505-897-5388  
8364 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3577

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	305.79'	3000.00'	153.03'	305.66'	N18°05'56"E	5°50'25"
DELETED						
DELETED						
C4	190.45'	762.00'	95.72'	189.95'	S50°44'51"W	14°19'12"
C5	208.45'	762.00'	104.88'	207.80'	S35°45'41"W	15°40'25"
C6	197.52'	920.00'	99.14'	197.14'	S21°46'26"W	12°18'05"
C7	84.44'	1032.00'	42.24'	84.41'	S13°16'45"W	4°41'16"
C8	404.69'	1164.50'	204.41'	402.66'	S20°55'17"W	19°54'42"
C9	136.99'	1164.50'	68.57'	136.91'	S14°20'08"W	6°44'24"
C10	267.71'	1164.50'	134.45'	267.12'	S24°17'29"W	13°10'18"
C11	123.91'	75.00'	61.36'	110.29'	S32°09'02"E	94°39'32"
C12	111.71'	75.00'	69.14'	101.67'	S57°50'58"W	85°20'28"
C13	82.84'	100.00'	43.96'	80.49'	N55°44'54"W	47°27'48"
C14	67.36'	250.00'	33.89'	67.16'	S65°42'08"W	15°26'16"
C15	107.48'	302.50'	54.31'	106.91'	N20°41'55"E	20°21'27"
C16	53.85'	150.00'	27.22'	53.56'	N69°11'45"W	20°34'06"
C17	212.69'	250.00'	113.26'	206.34'	S13°51'11"E	48°44'46"
C18	225.65'	896.50'	113.42'	225.05'	S50°46'22"W	14°29'16"
C19	244.68'	896.50'	123.11'	243.92'	S35°44'36"W	15°38'16"
C20	43.85'	250.00'	21.98'	43.80'	S43°15'04"E	10°03'00"
C21	23.53'	762.00'	11.76'	23.53'	S44°28'19"W	1°46'09"
C22	23.50'	762.00'	11.75'	23.50'	S42°42'52"W	1°46'02"
C23	39.27'	25.00'	25.00'	35.36'	N29°49'16"W	90°00'00"
C24	39.21'	25.00'	25.00'	35.36'	S06°15'26"W	17°50'36"
C25	30.21'	97.00'	15.23'	30.09'	N16°03'27"E	37°26'37"
C26	16.34'	25.00'	8.47'	16.05'	S31°58'27"E	133°30'29"
C27	9.321'	40.00'	9.312'	7.351'	N80°00'21"W	37°26'37"
C28	16.34'	25.00'	8.47'	16.05'	S70°22'56"E	18°11'46"
C29	30.81'	97.00'	15.53'	30.68'	N32°11'26"W	94°34'45"
C30	41.27'	25.00'	27.08'	36.74'	S13°01'55"W	4°08'02"
C31	86.00'	1192.00'	43.02'	85.99'	S64°37'54"W	13°17'49"
C32	63.47'	273.50'	31.88'	63.33'	S77°01'00"E	90°00'00"
C33	39.27'	25.00'	25.00'	35.36'	S77°01'00"E	90°00'00"
C34	82.83'	125.50'	42.99'	81.34'	N50°55'29"W	37°48'58"
C35	24.19'	25.00'	13.14'	23.26'	S42°06'31"E	55°26'55"
C36	89.43'	40.00'	82.20'	71.94'	N78°26'13"W	128°06'18"
C37	27.49'	25.00'	15.32'	26.13'	N69°00'55"E	63°00'33"
C38	139.10'	100.50'	83.29'	128.26'	S60°52'13"W	79°17'58"
C39	36.63'	25.00'	22.49'	33.44'	N63°11'59"E	83°57'30"
C40	39.27'	25.00'	25.00'	35.36'	S29°49'16"E	90°00'00"
C41	73.73'	49.50'	45.63'	67.10'	S57°50'58"W	85°20'28"
C42	39.27'	25.00'	25.00'	35.36'	N34°28'48"W	90°00'00"
C43	39.27'	25.00'	25.00'	35.36'	N55°31'12"E	90°00'00"
C44	41.30'	25.00'	27.12'	36.76'	S32°09'02"E	94°39'32"
C45	37.24'	25.00'	23.05'	33.89'	S57°50'58"W	85°20'28"
C46	39.27'	25.00'	25.00'	35.36'	N34°28'48"W	90°00'00"
C47	53.17'	280.00'	26.67'	53.09'	N15°57'36"E	10°52'48"
C48	36.98'	25.00'	22.81'	33.70'	N63°46'48"E	84°45'37"
C49	17.08'	173.50'	8.59'	17.07'	N76°39'36"W	5°38'25"
C50	41.30'	25.00'	27.12'	36.76'	S32°09'02"E	94°39'32"
C51	37.24'	25.00'	23.05'	33.89'	S57°50'58"W	85°20'28"
C52	46.94'	25.00'	34.15'	40.34'	N25°41'16"W	107°35'04"
C53	173.32'	1187.00'	86.82'	173.17'	S23°55'17"W	6°21'58"
C54	35.25'	25.00'	21.27'	32.40'	N60°07'45"E	80°46'54"
C55	82.61'	50.00'	54.24'	73.53'	S32°09'02"E	94°39'32"
C56	39.27'	25.00'	25.00'	35.36'	S55°31'12"W	90°00'00"
C57	61.72'	74.50'	32.75'	59.97'	N55°44'54"W	47°27'48"
C58	39.27'	25.00'	25.00'	35.36'	N12°59'00"E	90°00'00"
C59	167.71'	920.00'	84.09'	167.47'	S52°45'40"W	10°26'40"
C60	48.11'	25.00'	35.88'	41.03'	S77°19'31"E	110°16'17"
C61	128.16'	224.50'	65.88'	126.43'	S05°50'06"E	32°42'34"
C62	39.27'	25.00'	25.00'	35.36'	S55°31'12"W	90°00'00"
C63	35.75'	25.00'	21.71'	32.78'	N38°30'55"W	81°55'47"
C64	157.68'	275.50'	81.07'	155.54'	S13°56'49"E	32°17'34"
C65	31.15'	25.00'	17.96'	29.18'	N05°21'27"E	71°24'05"
C66	210.89'	920.00'	105.91'	210.43'	S34°29'29"W	13°08'02"
C67	396.87'	1142.00'	200.46'	394.87'	S20°55'17"W	19°54'41"
C68	115.47'	325.00'	58.35'	114.87'	N20°41'55"E	20°21'27"
C69	185.98'	873.00'	93.34'	185.63'	S34°01'39"W	12°12'22"
C70	39.97'	25.00'	25.71'	35.84'	S85°55'38"W	91°35'36"
C71	41.44'	25.00'	27.27'	36.85'	S00°47'33"E	94°58'01"
C72	172.06'	873.00'	86.31'	171.78'	S52°20'14"W	11°17'32"
C73	71.44'	226.50'	36.02'	71.14'	S67°01'08"W	18°04'17"
DELETED						
DELETED						
DELETED						
C77	16.09'	25.00'	8.33'	15.81'	S33°36'50"W	36°52'12"
C78	23.18'	25.00'	12.50'	22.36'	S78°36'50"W	53°07'48"
C79	23.18'	25.00'	12.50'	22.36'	N48°15'22"W	53°07'48"
C80	16.09'	25.00'	8.33'	15.81'	N03°15'22"W	36°52'12"
C81	20.46'	97.00'	10.27'	20.42'	S09°08'10"W	12°05'09"
C82	9.75'	97.00'	4.88'	9.74'	S00°12'52"W	5°45'27"
C83	24.69'	40.00'	12.75'	24.30'	S17°05'59"W	35°21'33"
C84	32.48'	40.00'	17.20'	31.60'	S23°50'41"E	46°31'45"
C85	32.48'	40.00'	17.20'	31.60'	S70°22'26"E	46°31'45"
C86	3.55'	40.00'	1.78'	3.55'	N83°49'01"E	5°05'21"
C87	26.06'	97.00'	13.11'	25.99'	S68°58'54"E	15°23'42"
C88	4.74'	97.00'	2.37'	4.74'	S78°04'47"E	2°48'03"
C89	118.45'	3000.00'	59.23'	118.45'	N19°53'17"E	2°15'44"
C90	86.38'	3000.00'	43.19'	86.37'	N17°55'55"E	1°38'59"
C91	55.02'	3000.00'	27.51'	55.02'	N16°34'54"E	1°03'03"
C92	45.95'	3000.00'	22.97'	45.94'	N15°37'03"E	0°52'39"
C93	1.27'	125.50'	0.64'	1.27'	N32°18'26"W	0°34'52"
C94	55.67'	125.50'	28.30'	55.21'	N45°18'20"W	25°24'56"
C95	25.89'	125.50'	12.99'	25.84'	N63°55'23"W	11°49'10"
C96	8.60'	40.00'	4.32'	8.59'	N20°32'43"W	12°19'19"
C97	43.85'	40.00'	24.42'	41.69'	N58°06'52"W	62°48'59"
C98	36.98'	40.00'	19.93'	35.68'	S63°59'39"W	52°58'01"
C99	10.74'	100.50'	5.38'	10.74'	N82°32'32"W	6°02'27"
C100	45.41'	100.50'	23.10'	45.03'	S81°27'03"W	25°53'23"

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C101	46.17'	100.50'	23.50'	45.76'	S55°20'47"W	26°19'09"
C102	36.78'	100.50'	18.60'	36.57'	S31°42'13"W	20°57'59"
C103	76.32'	1187.00'	38.17'	76.31'	S26°15'45"W	3°41'03"
C104	97.00'	1187.00'	48.53'	96.97'	S22°04'46"W	4°40'55"
C105	64.12'	226.50'	32.28'	63.91'	S67°56'40"W	16°13'14"
C106	7.32'	226.50'	3.66'	7.32'	S58°54'31"W	1°51'03"
C107	60.38'	75.00'	31.93'	58.76'	S07°53'05"E	46°02'39"
C108	63.53'	75.00'	33.81'	61.65'	S55°12'52"E	48°31'54"
C109	46.22'	762.00'	23.12'	46.21'	S56°10'12"W	3°28'31"
C110	54.90'	762.00'	27.46'	54.89'	S52°22'05"W	4°07'41"
C111	65.80'	762.00'	32.92'	65.78'	S47°49'49"W	4°56'51"
C112	55.21'	873.00'	27.62'	55.20'	S48°30'10"W	3°37'25"
C113	62.90'	873.00'	31.46'	62.88'	S52°22'43"W	4°07'41"
C114	53.95'	873.00'	26.98'	53.94'	S56°12'47"W	3°32'26"
C115	5.72'	74.50'	2.86'	5.71'	N77°16'56"W	4°23'45"
C116	56.00'	74.50'	29.40'	54.69'	N53°33'02"W	43°04'03"
C117	63.55'	762.00'	31.80'	63.54'	S39°26'29"W	4°46'43"
C118	60.43'	762.00'	30.23'	60.42'	S34°46'49"W	4°32'38"
C119	60.96'	762.00'	30.50'	60.95'	S30°12'59"W	4°35'02"
C120	69.84'	873.00'	34.94'	69.82'	S30°12'59"W	4°35'02"
C121	69.23'	873.00'	34.64'	69.22'	S34°46'49"W	4°32'38"
C122	46.91'	873.00'	23.46'	46.90'	S38°35'29"W	3°04'43"
C123	60.12'	1142.00'	30.07'	60.12'	S12°28'27"W	3°01'00"
C124	49.14'	1142.00'	24.57'	49.13'	S15°12'54"W	2°27'55"
C125	49.12'	1142.00'	24.57'	49.12'	S17°40'48"W	2°27'53"
C126	49.10'	1142.00'	24.55'	49.09'	S20°08'38"W	2°27'48"
C127	49.09'	1142.00'	24.55'	49.08'	S22°36'25"W	2°27'46"
C128	49.09'	1142.00'	24.55'	49.08'	S25°04'11"W	2°27'46"
C129	49.09'	1142.00'	24.55'	49.08'	S27°31'56"W	2°27'46"
C130	42.13'	1142.00'	21.07'	42.12'	S29°49'14"W	2°06'49"
C131	2.89'	325.00'	1.44'	2.89'	N30°37'22"E	0°30'31"
C132	42.95'	325.00'	21.51'	42.92'	N26°34'58"E	7°34'18"
C133						

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1005029

Application #: 13DRB-70495

Project Name: STORMCLOUD (TBKA STORMCLOUD SUBD UNIT 4 & 5) Unit(s) 3

Agent: ISAACSON AND ARFMAN PA

Phone #:

\*\*Your request was approved on 4-9-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed\*\*

TRANSPORTATION: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ABCWUA: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER/AMAFC: Richard Poole & AMFC signatures

PARKS / CIP: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PLANNING (Last to sign): to record

PLATS:

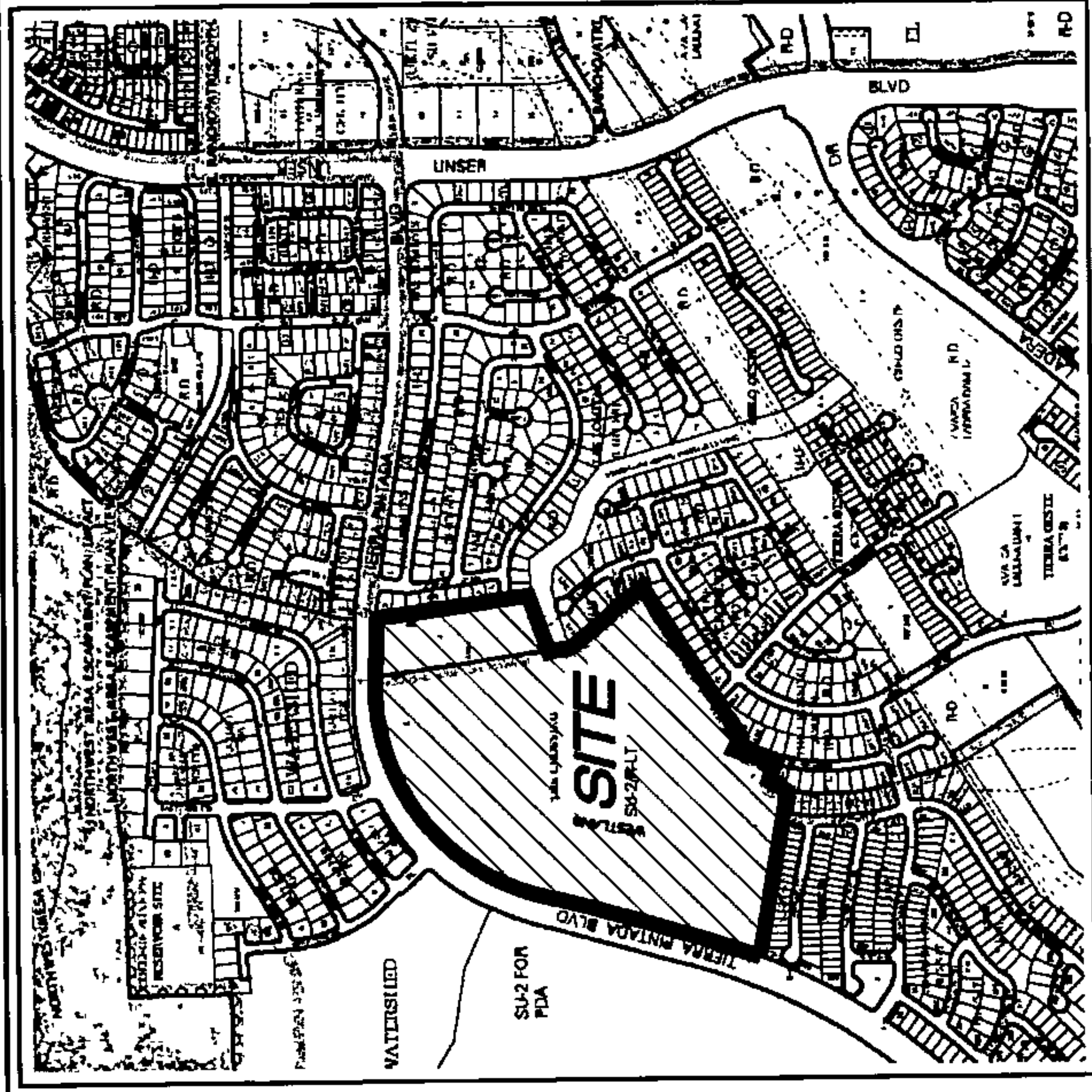
Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.



VICINITY MAP  
ZONE ATLAS PAGE H-9-Z  
Not To Scale

**GENERAL NOTES**

- 1 Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- 2 Distances are ground.
- 3 Distances along curved lines are arc lengths.
- 4 Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- 5 All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- 6 All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- 7 All street centerline monumentation shall be installed at all centerline P.C.'s, P.T.'s, angle points and street intersections and shown thus . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument - Do Not Disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- 8 City of Albuquerque Zone Atlas Page H-9-Z.
- 9 No lot shall have direct access to Tierra Pintada Blvd, N.W.
- 10 Total remaining open space requirement is met via the provision of detached open space per the provisions of Section 14-16-3-8(A)(3)

**SUBDIVISION DATA**

- 1 Total number of existing Tracts 3
- 2 Total number of lots created: 87
- 3 Total number of Tracts created: 12
- 4 Public Street right of way dedicated by this plat 5.2922 Ac
- 5 Gross Subdivision acreage 55.2416 Ac.
- 6 Total miles of new right of way 0.85 mi

**SHEET INDEX**

- Sheet 1 of 9 Approvals, General Notes, Purpose of plat
- Sheet 2 of 9 Legal Description, Free Consent & Dedication
- Sheet 3 of 9 Overall Existing Plat, Tracts and Vacated Easements and overall proposed platting exhibit
- Sheets 4-8 New Subdivision Lots, Tracts, right of ways and easements
- Sheet 9 of 9 Curve and Line Tables, Easement Details

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Bernalillo County Treasurer \_\_\_\_\_ Date \_\_\_\_\_

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of

- A Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services
- B New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services
- D Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over, and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working space to remove trees, shrubs or bushes which interfere with the purpose and set forth herein No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on any easement, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of poles, decking, or any structures adjacent to or near easements shown on this plat

Easements for electric transformer/switchgear, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation d/b/a CenturyLink (QC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat

**PURPOSE OF PLAT**

The purpose of this plat is to

- A Create 87 New Lots and 12 Tracts as shown hereon
- B Dedicate the Public Street right of way as shown hereon
- C Show the Easements Vacated by 12DRB-70043
- D Grant the New Easements as shown hereon
- E Dedicate Tract "O" as shown hereon to A.M.A.F.C.A. in fee simple with special warranty covenants for Drainage right of way

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors, that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg  
NMPSS No. 9750  
March 4, 2013

**PLAT OF  
STORMCLOUD SUBDIVISION**

**UNIT 5**

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)

**SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT**

**PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2013**

PROJECT NUMBER: 1005029

Application Number: 13DRB-70495

**PLAT APPROVAL**

**UTILITY APPROVALS**

*[Signature]*  
Public Service Company of New Mexico  
Date: 4-1-2013

*[Signature]*  
New Mexico Gas Company  
Date: 4-1-2013

*[Signature]*  
Qwest Corporation d/b/a CenturyLink QC  
Date: 4-1-13

*[Signature]*  
Castcast  
Date: *[Signature]*

**CITY APPROVALS**

*[Signature]*  
City Surveyor  
Department of Municipal Development  
Date: 3-19-13

Real Property Division  
Date: \_\_\_\_\_

Environmental Health Department  
Date: \_\_\_\_\_

*[Signature]*  
Traffic Engineering, Transportation Division  
Date: 04-03-13

*[Signature]*  
ABQWA  
Date: 04/03/13

*[Signature]*  
Parks and Recreation Department  
Date: 4-3-13

*[Signature]*  
AMAFCA  
Date: 5-14-13

City Engineer  
Date: \_\_\_\_\_

DRB Chairperson, Planning Department  
Date: \_\_\_\_\_

**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Atrisco Grant in Projected Section 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, comprising Tracts B and J, The Crossing, as the same is shown and designated on the plat entitled "PLAT OF THE CROSSING, ALBUQUERQUE, NEW MEXICO, APRIL, 1996", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 8, 1996 in Volume 96C, Folio 302, and Tract R, Stormcloud Subdivision, Unit 3, as the same is shown and designated on the plat entitled "PLAT OF STORMCLOUD SUBDIVISION UNIT 3, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AUGUST, 2006", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 21, 2006, in Plat Book 2006C, Page 394, more particularly described by survey performed by Russ P. Rugg, New Mexico Professional Surveyor Number 9750, using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows:

BEGINNING at the northeasterly corner of the parcel herein described, and also being the northeasterly corner of said Tract J, The Crossing, and also being a point on the southerly right of way line of Tierra Pintada Boulevard N.W., and also being the southeasterly corner of Lot 9, Block 8, Las Lomas Unit 2A, as the same is shown and designated on the plat thereof, filed May 8, 1993, in Volume 93C, Folio 126, whence Albuquerque Central Survey Monument "3-19" bears N 61°45'45" E, 2,470.03 feet distant; Thence, along the westerly boundaries of said Block 8, Las Lomas, Unit 2A, Lot 1A, Block 8, Las Lomas, Unit 2A, as the same is shown and designated on the plat thereof, filed December 21, 1994, in Volume 94C, Folio 425; Camino Del Venado N.W., and Lot 1, Block 7, Las Lomas Unit 2B, as the same is shown and designated on the plat thereof, filed May 5, 2004, in Plat Book 2004C, Page 147;

S 08°19'34" E, 761.08 feet to a corner, said point also being the southeasterly corner of said Lot 1, Block 7, Las Lomas, Unit 2B, and also being the southeasterly corner of said Tract J, The Crossing, and also being an angle point on the northerly boundary of Mirabeau Arroyo Drainage Channel, The Crossing, Unit 3, as the same is shown on the plat thereof, filed July 26, 2004, in Plat Book 2004C, Page 216; Thence, along the northerly, then westerly boundaries of said Mirabeau Arroyo, Lots 31 P-1 thru 36 P-1, Henry Fork Road N.W. of said plat filed in Plat Book 2004C, Page 216, and lot 50, The Crossing, Unit 2-B, as the same is shown and designated on the plat thereof, filed November 18, 2003, in Plat Book 2003C, Page 347, the following three courses

S 71°44'43" W, 284.16 feet to a corner, said corner also being the southeasterly corner of said Tract U, The Crossing, and also being a point on the easterly boundary of said Tract B, The Crossing, Thence,  
S 08°19'45" E, 114.79 feet to a corner, Thence,  
S 40°14'59" E, 458.54 feet to the eastern-most corner of the parcel herein described, said point also being the eastern-most corner of said Tract B, The Crossing, and also being a corner on the westerly boundary of said Lot 50, The Crossing, Unit 2-B; Thence, along the northerly boundaries of Lots 40 thru 48 and 50, of said plat filed in Plat Book 2003C, Page 347, Gunnison Place N.W., and Lots 37-P1 thru 39-P1, The Crossing, Unit 1-A, as the same is shown and designated on the plat thereof, filed December 3, 2002, in Plat Book 2002C, Page 380, the following 3 courses,  
S 57°54'27" W, 470.16 feet to a point of curvature, Thence,  
Southwesterly, 190.45 feet on the arc of a curve to the left (said curve having a radius of 762.00 feet, a central angle of 14°19'12", and a chord that bears S 50°44'51" W, 189.95 feet) to an angle point, Thence,  
Southwesterly, 208.45 feet on the arc of a curve to the left (said curve having a radius of 762.00 feet, a central angle of 15°40'25", and a chord that bears S 35°45'41" W, 207.80 feet) to a corner, said corner also being the eastern-most corner on Lot 14-P1, The Crossing, Unit 1-A, of said plat filed in Plat Book 2002C, Page 380, Thence, along the northeasterly boundaries of said Lot 14-P1 and Animas Place N.W.,

N 62°04'32" W, 158.00 feet to a corner, said corner also being the northern-most corner of the northeasterly terminus of said Animas Place N.W., Thence, along the northwesterly right of way line of said Animas Place N.W.,  
Southwesterly, 197.52 feet on the arc of a curve to the left (said curve having a radius of 920.00 feet, a central angle of 12°15'05", and a chord that bears S 21°46'26" W, 197.14 feet) to a corner, said corner also being the northeasterly corner of Lot 13-P1, The Crossing, Unit 1-A, of said plat filed in Plat Book 2002C, Page 380; Thence, along the northerly, then westerly boundaries of said Lot 13-P1, the following two courses  
N 74°22'37" W, 112.00 feet to a corner, Thence,  
Southerly, 84.44 feet on the arc of a curve to the left (said curve having a radius of 1032.00 feet, a central angle of 04°41'16", and a chord that bears S 13°16'45" W, 84.41 feet) to the southern-most corner of the parcel herein described, said point also being the southern-most corner of said Tract B, The Crossing, and also being the northeasterly corner of Lot 507, Stormcloud Subdivision, Unit 3, as the same is shown and designated on the plat thereof, filed December 31, 2006, in Plat Book 2006C, Page 394, Thence, along the northerly boundaries of said lot 507, Summer Breeze Drive N.W., and Lots 489 thru 505, Stormcloud Subdivision, Unit 3, of said plat filed in Plat Book 2006C, Page 394.

**LEGAL DESCRIPTION - continued**

N 79°03'05" W, 816.22 feet to the southwesterly corner of the parcel herein described, said point also being the southwesterly corner of said Tract R, Stormcloud Subdivision, Unit 3, and also being the northwesterly corner of said Lot 489, Stormcloud Subdivision, Unit 3, and also being a point on the easterly right of way line of said Tierra Pintada Boulevard N.W., whence Albuquerque Central Survey Monument "8H-41" bears N 19°15'12" W, 2,849.64 feet distant; Thence, along the easterly, then southeasterly, then southerly right of way line of said Tierra Pintada Boulevard N.W. the following four courses:

Northerly, 305.79 feet on the arc of a curve to the left (said curve having a radius of 3000.00 feet, a central angle of 05°30'25", and a chord that bears N 18°05'56" E, 305.66 feet) to a point of tangency, Thence,  
N 15°10'44" E, 786.36 feet to a point of curvature, Thence,  
Northeasterly, 1444.55 feet on the arc of a curve to the right (said curve having a radius of 1100.00 feet, a central angle of 75°14'32", and a chord that bears N 52°48'00" E, 1342.96 feet) to a point of compound curvature, said point also being the northeasterly corner of said Tract B, The Crossing, and also being the northeasterly corner of said Tract U, The Crossing, Thence,

Easterly, 284.65 feet on the arc of a curve to the right (said curve having a radius of 4546.13 feet, a central angle of 03°35'15", and a chord that bears S 87°45'27" E, 284.60 feet) to the point of beginning  
Said parcel contains 55.2416 acres, more or less

**FREE CONSENT AND DEDICATION**

SURVEYED AND REPLATED and now comprising "PLAT OF STORMCLOUD SUBDIVISION UNIT 5 (BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3) SITUATE WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wisdom and desires of the undersigned owner(s) and proprietor(s). Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple with special warranty covenants. Said matters of record. Said owner(s) and proprietor(s) do hereby grant to the use of the public for ever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate Tract O, a drainage channel right-of-way shown hereon to Albuquerque Metropolitan Arroyo Flood Control Authority, in fee simple with special warranty covenants. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act, provided, however, that nothing in this plat shall be construed or shall operate to convey any part of those certain items of personal property known as "PIP, Eligible Infrastructure Improvements, Acquired Term" as defined in the ordinance titled "CITY OF ALBUQUERQUE, NEW MEXICO, A CHARTER MUNICIPALITY, THE LOWER PETROQUILPHS PUBLIC IMPROVEMENT DISTRICT, A POLITICAL SUBDIVISION OF THE STATE OF NEW MEXICO, AND WESTERN ALBUQUERQUE LAND HOLDINGS LLC, a Delaware limited liability company, and, to the extent applicable, any other parties to the Infrastructure Development and Acquisition Agreement, to be recorded in the office of the County Clerk of Bernalillo County, New Mexico, which PIP, Eligible Infrastructure Improvements shall be conveyed by bill of sale or other appropriate instrument apart from this plat

**OWNERS**

Western Albuquerque Land Holdings, LLC ("WALH")  
A Delaware Limited Liability Company

By: Barclays Capital Real Estate, Inc., its Servicing Member

Mark West, Vice President Barclays Capital Real Estate, Inc.

**ACKNOWLEDGMENT**

STATE OF New York  
COUNTY OF New York SS

This instrument was acknowledged before me this 13 day of March, 2013, by Mark West, Vice President of Barclays Capital Real Estate, Inc., a Delaware Corporation and Servicing Member of Western Albuquerque Land Holdings, LLC, a Delaware Limited Liability Company

Michael W. McLean  
Notary Public

MICHAEL W. McLEAN  
Notary Public, State of New York  
Qualified in New York County  
Commission Expires October 22, 2016

My commission expires October 23, 2016



**FLAT OF STORMCLOUD SUBDIVISION UNIT 5**

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3) SITUATE WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 9 TOWNSHIP 10 NORTH, RANGE 2 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MARCH, 2013

**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

**FLOOD ZONE DETERMINATION**

The subject property, as shown hereon, appears to lie within Zone "X" (areas determined to be outside the 0.2% annual chance floodplain) Zone "AO" (DEPTH 1") (Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined for areas of alluvial fan flooding; velocities also determined) and Zone "AE" (Base Flood Elevations determined) within the National Flood Insurance Program Flood Insurance Rate Map Number 3500100326H, Map Revised August 16, 2012

**AMA.F.C.A. NOTES**

FINAL CONFIRMATION AND RELEASE OF A.M.A.F.C.A.'S TEMPORARY DRAINAGE EASEMENT (INTERIM FLOOD PLAIN DRAINAGE EASEMENT) WILL BE COMPLETED UPON ISSUANCE OF A LETTER OF MAP REVISION (LOMR) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND UPON ISSUANCE OF QUITCLAIM DEED(S) FROM A.M.A.F.C.A.

AS SHOWN ON THIS SUBDIVISION IS LOCATED WITHIN A 100-YEAR FLOOD PLAIN RATE MAP. A LETTER OF MAP REVISION (LOMR) WILL BE REQUESTED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) TO REMOVE THE EXISTING FLOOD PLAIN UNTIL THE LOMR IS ISSUED BY FEMA. PROPERTY OWNERS MAY BE REQUIRED TO PURCHASE FLOOD INSURANCE

**AFS AGREEMENT**

The Property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 12, 2013 as Doc # 201302-7823

**SURV TEK, INC.**

Consulting Surveyors  
2584 Valley View Drive, N.E. Albuquerque, New Mexico 87114  
Phone 505-897-3566  
Fax 505-897-3577

# PLAT OF STORMCLOUD SUBDIVISION UNIT 5

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING  
AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)

SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT  
IN

PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2013

EXISTING TRACTS AND EASEMENTS VACATED

Albuquerque Control Survey Monument "3-H9"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83) as published  
North= 1 496 838 322 feet  
East= 1 496 470 170 feet  
Elevation= 3,208 519 (NAVD 1988)  
Delta Alpha= -0018'36" 72"  
Ground to Grid Factor= 0.999678468

Albuquerque Control Survey Monument "BH-41"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83) as published  
North= 1 496 608 828 feet  
East= 1 491 701 376 feet  
Elevation= -0017'09" 70"  
Ground to Grid Factor= 0.999670930

**TRACT B  
THE CROSSING**  
Filed July 9, 1996, in Volume 96C, Folio 302

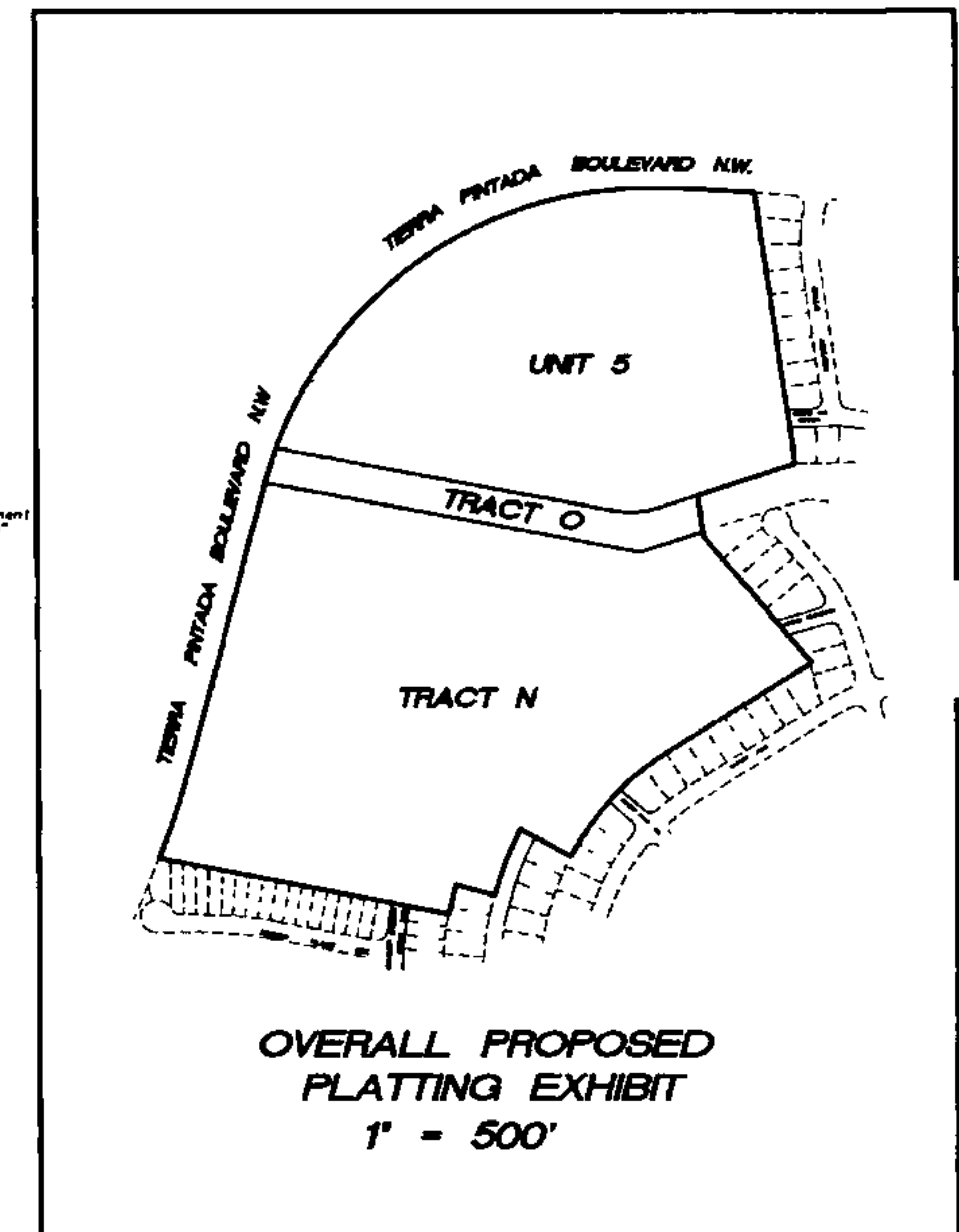
**TRACT R  
STORM CLOUD UNIT 3**  
Filed Dec 21, 2006, in Plat Book 2006C Page 394  
10' Public Utility Easement granted  
by plat filed August 19, 2004 in  
Plat Book 2004C, Page 250,  
VACATED BY 12DRB-70043

Temporary Public Turnaround  
Easement granted to the  
City of Albuquerque by plat  
filed July 9, 1996, in Volume  
96C, Folio 302  
TO REMAIN

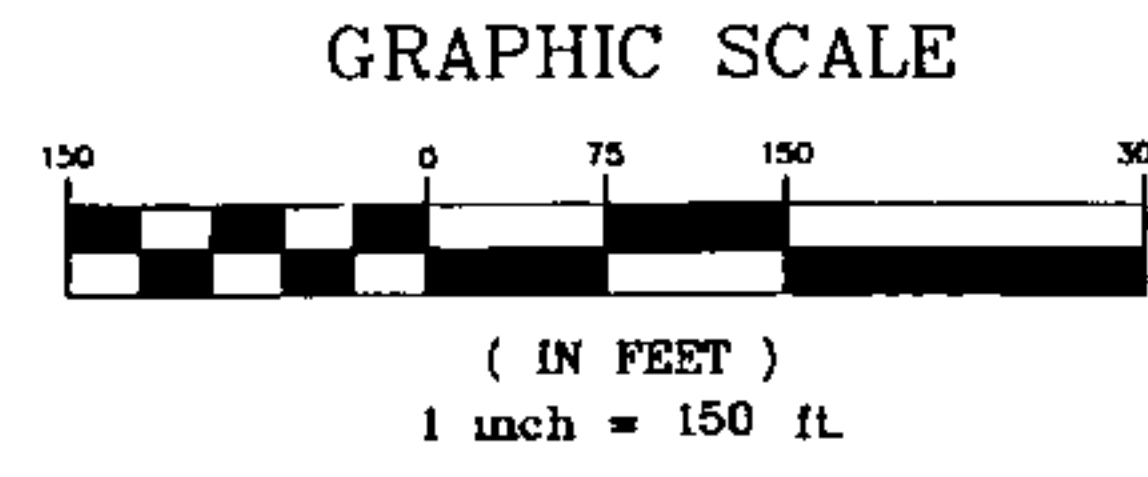
50' Public Waterline Easement  
granted to the City of  
Albuquerque by plat filed July 9,  
1996, in Volume 96C, Folio 302  
VACATED BY 12DRB-70043

Temporary Drainage Easement  
Filed March 23, 1993, in  
Book 93-7, Pages  
2236-2243, as Document No  
093-028757, and as shown  
on plat filed July 9, 1996, in  
Volume 96C, Folio 302  
VACATED BY 12DRB-70043

Interim Flood Plain Drainage  
Easement; Temporary Drainage  
Easement granted to  
A.M.A.F.C.A. by plat filed July 9,  
1996, in Volume 96C, Folio 302,  
VACATED BY 12DRB-70043



OVERALL PROPOSED  
PLATTING EXHIBIT  
1" = 500'



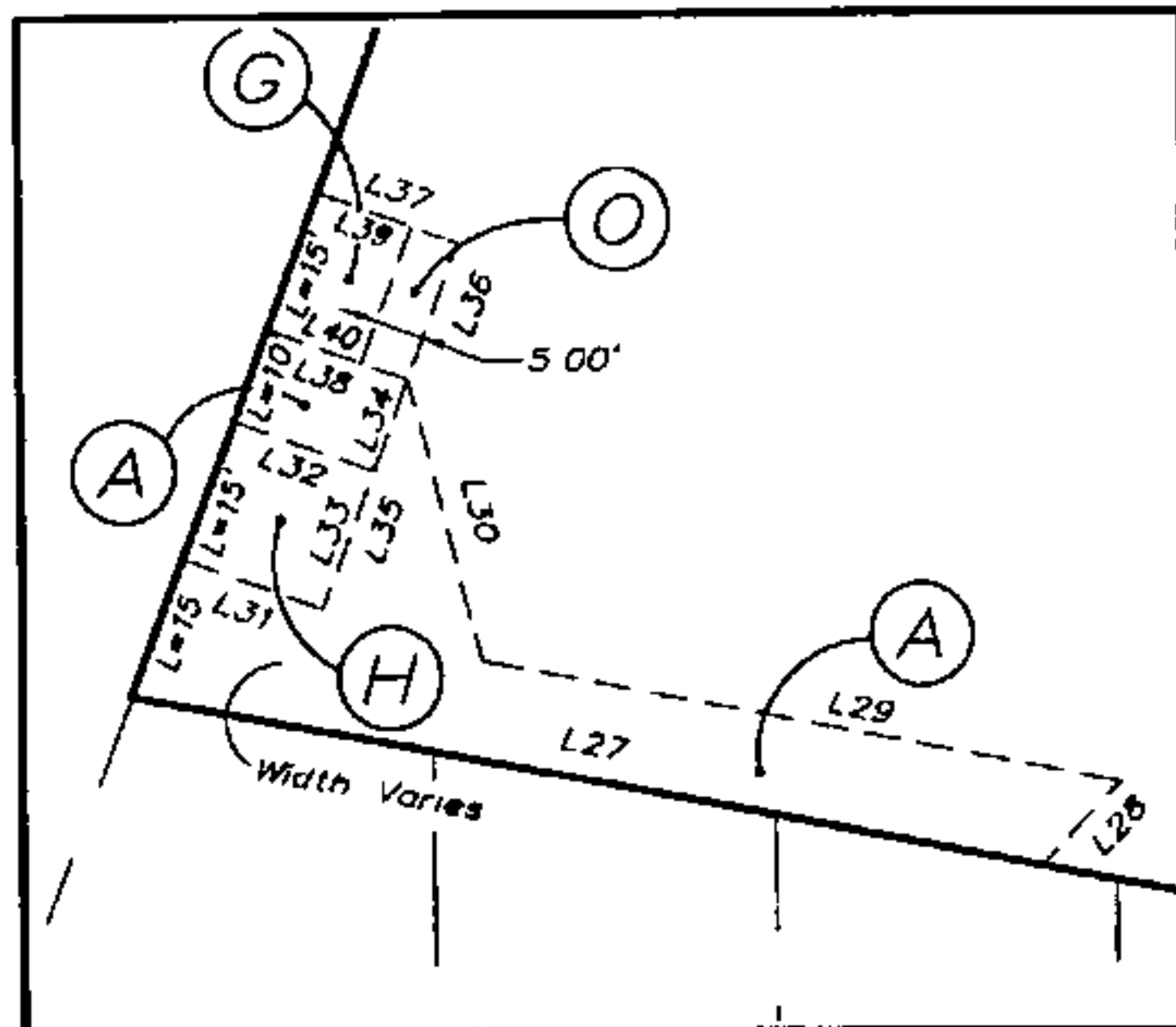
110445 UNIT 5 02-04-13\_SHT3.dwg

PLAT OF  
**STORMCLOUD SUBDIVISION**  
**UNIT 5**

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)

SITUATE WITHIN  
 THE TOWN OF ATRISCO GRANT  
 IN

PROJECTED SECTION 9  
 TOWNSHIP 10 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 MARCH, 2013



DETAIL 'D' 1" = 30'

**SIDEWALK CULVERT MAINTENANCE NOTE**

SIDEWALK CULVERTS INSTALLED ADJACENT TO TRACT E SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION ONCE ESTABLISHED

**TRACT DESIGNATIONS**

TRACTS A THROUGH K SHALL BE CONVEYED TO THE HOMEOWNERS' ASSOCIATION ONCE ESTABLISHED. THESE TRACTS SHALL BE MAINTAINED BY SAID ASSOCIATION USES FOR TRACTS ARE LISTED BELOW.

**TRACT USE**

- A LANDSCAPING
- B LANDSCAPING
- C MAINTENANCE ACCESS ROAD FOR COA, ABCWUA AND AMAFCA/WATERLINE AND STORM DRAIN EASEMENT
- D WATERLINE EASEMENT/AMAFCA MAINTENANCE ACCESS EASEMENT
- E PRIVATE PARK
- F LANDSCAPING/PUBLIC PEDESTRIAN ACCESS EASEMENT
- G WATERLINE EASEMENT FOR ABCWUA VAULT
- H WATERLINE EASEMENT FOR ABCWUA WATERLINE AND VAULT
- J PNM, COMCAST AND CENTURYLINK SURFACE EQUIPMENT/PUE
- K LANDSCAPING/WATERLINE AND SANITARY SEWER LINE EASEMENT/DRAINAGE EASEMENT AND PUBLIC UTILITY EASEMENT
- N TO BE RETAINED BY OWNER FOR FUTURE DEVELOPMENT
- O TO BE DEDICATED TO A.M.A.F.C.A FOR DRAINAGE CHANNEL

SEE SHEET 8

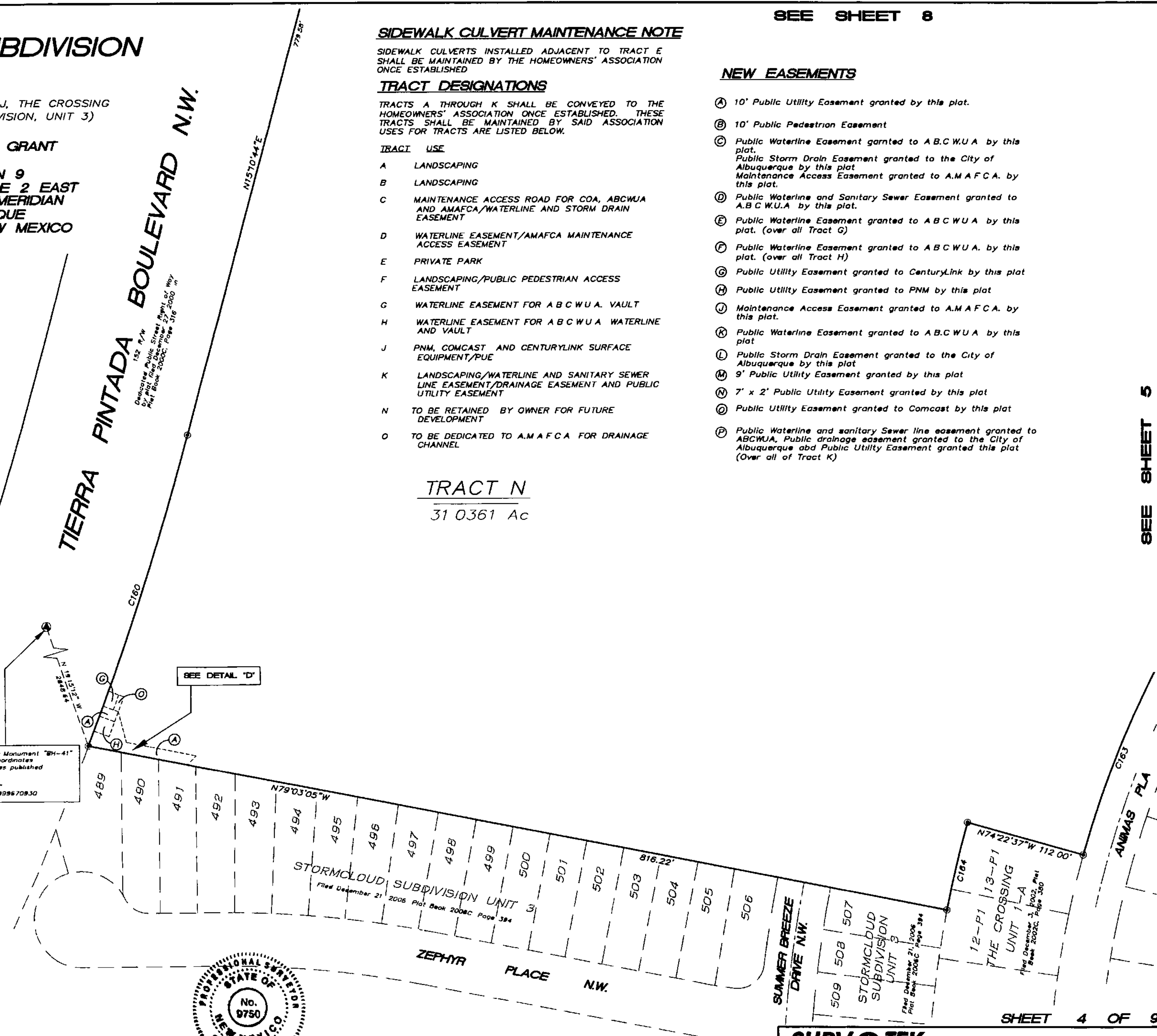
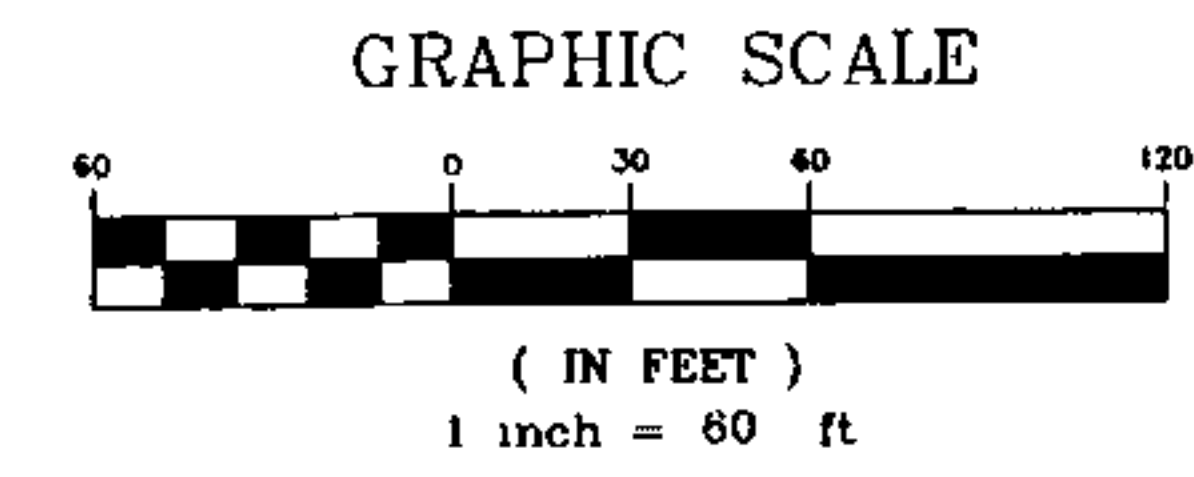
**NEW EASEMENTS**

- (A) 10' Public Utility Easement granted by this plat.
- (B) 10' Public Pedestrian Easement
- (C) Public Waterline Easement granted to ABCWUA by this plat. Public Storm Drain Easement granted to the City of Albuquerque by this plat. Maintenance Access Easement granted to A.M.A.F.C.A. by this plat.
- (D) Public Waterline and Sanitary Sewer Easement granted to ABCWUA by this plat.
- (E) Public Waterline Easement granted to ABCWUA by this plat. (over all Tract G)
- (F) Public Waterline Easement granted to ABCWUA by this plat. (over all Tract H)
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- (H) Public Utility Easement granted to PNM by this plat
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- (N) 7' x 2' Public Utility Easement granted by this plat
- (O) Public Utility Easement granted to Comcast by this plat
- (P) Public Waterline and sanitary Sewer line easement granted to ABCWUA, Public drainage easement granted to the City of Albuquerque and Public Utility Easement granted this plat (Over all of Tract K)

**TRACT N**  
 31.0361 Ac

LINE	LENGTH	BEARING
L27	94.70	S79°03'05"E
L28	11.78	N42°53'27"E
L29	66.58	N79°03'05"W
L30	29.85	N14°27'21"W
L31	15.06	S69°36'20"E
L32	15.01	S69°36'20"E
L33	15.00	N20°23'40"E
L34	10.00	N20°23'40"E
L35	25.00	N20°23'40"E
L36	15.00	N20°23'40"E
L37	15.09	N69°36'20"W
L38	15.02	S69°36'20"E
L39	10.09	S69°36'20"E
L40	10.02	S69°36'20"E

Albuquerque Control Survey Monument "BH-41"  
 New Mexico State Plane Coordinates  
 (Central Zone - NAD 83) as published  
 North = 1,498,508.828 feet  
 East = 1,491,701.376 feet  
 Delta Alpha = -00°17'09.70"  
 Ground to Grid Factor = 0.999670930



SEE SHEET 5

SHEET 4 OF 9

**SURV TEK, INC.**  
 Consulting Surveyors  
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-5368 Fax: 505-897-5377



**SIDEWALK CULVERT MAINTENANCE NOTE**

SIDEWALK CULVERTS INSTALLED ADJACENT TO TRACT E SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION ONCE ESTABLISHED

**TRACT DESIGNATIONS**

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**TRACT USE**

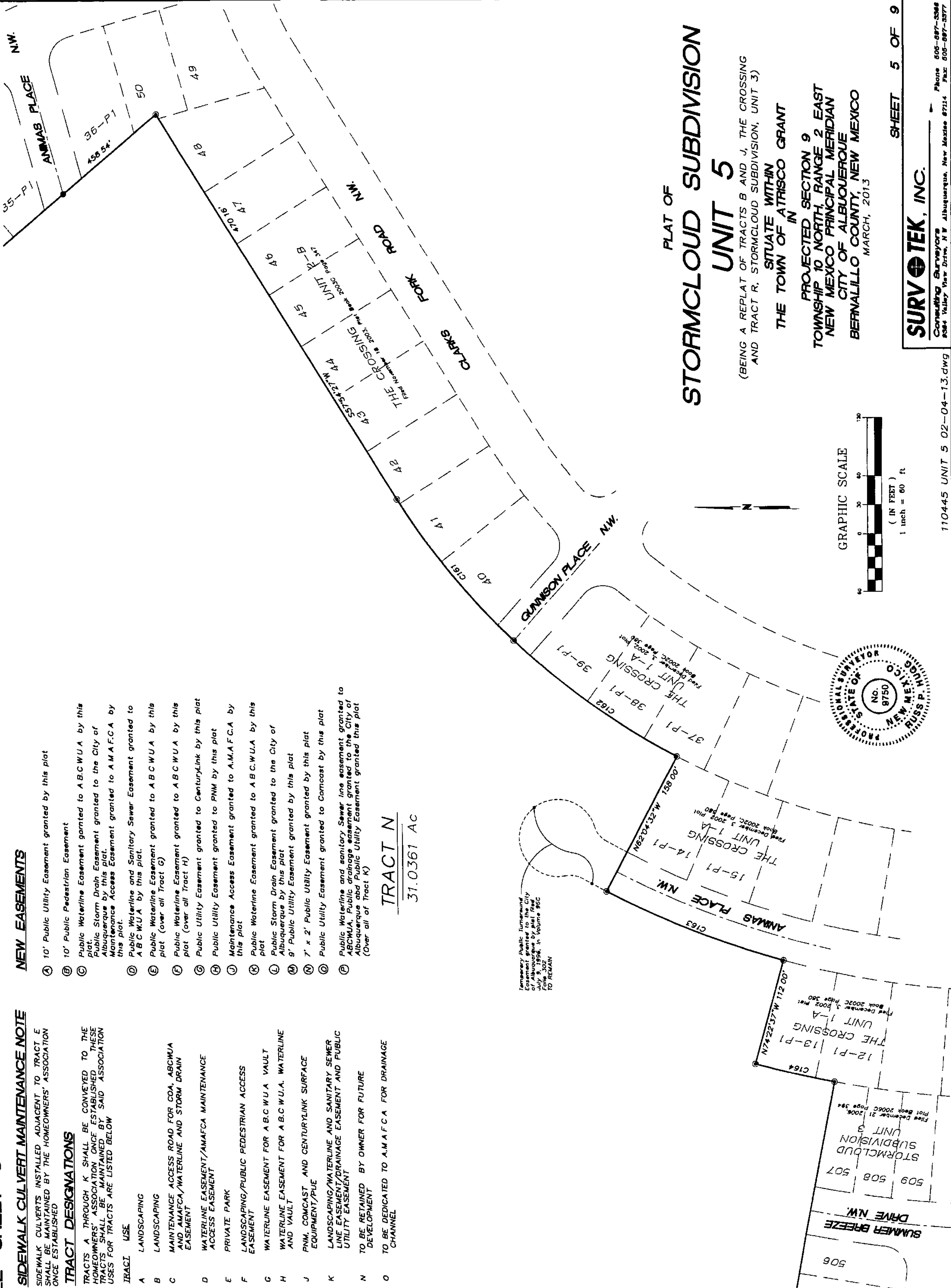
- A LANDSCAPING
- B LANDSCAPING
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- O TO BE DEDICATED TO A.M.A.F.C.A. FOR DRAINAGE CHANNEL

**NEW EASEMENTS**

- A 10' Public Utility Easement granted by this plat
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- D Public Storm Drain Easement granted to the City of Albuquerque by this plat.
- E Maintenance Access Easement granted to A.M.A.F.C.A. by this plat.
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- G Public Waterline Easement granted to A.B.C.W.U.A. by this plat (over all Tract G)
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- M Public Storm Drain Easement granted to the City of Albuquerque by this plat
- N 9' Public Utility Easement granted by this plat
- O 7' x 2' Public Utility Easement granted by this plat
- P Public Utility Easement granted to Comcast by this plat
- Q Temporary Public Underground Easement granted to the City of Albuquerque by plat filed July 3, 2012, in Volume 90C of the Public Records, File No. 2012-00186, to REMAIN
- R Public Waterline and sanitary Sewer line easement granted to ABCWUA. Public drainage easement granted to the City of Albuquerque and Public Utility Easement granted this plat (Over all of Tract K)

**TRACT N**  
31.0361 AC

Temporary Public Underground Easement granted to the City of Albuquerque by plat filed July 3, 2012, in Volume 90C of the Public Records, File No. 2012-00186, to REMAIN

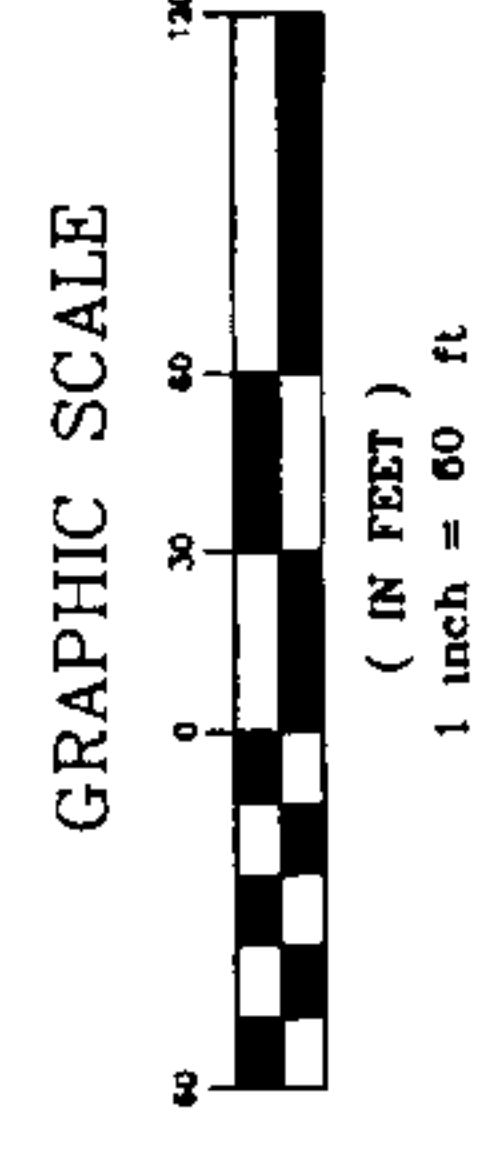
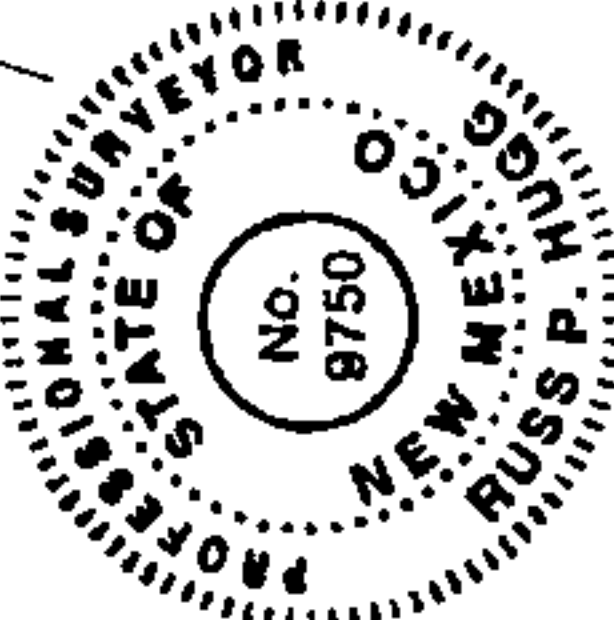


**PLAT OF  
STORMCLOUD SUBDIVISION  
UNIT 5**

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)

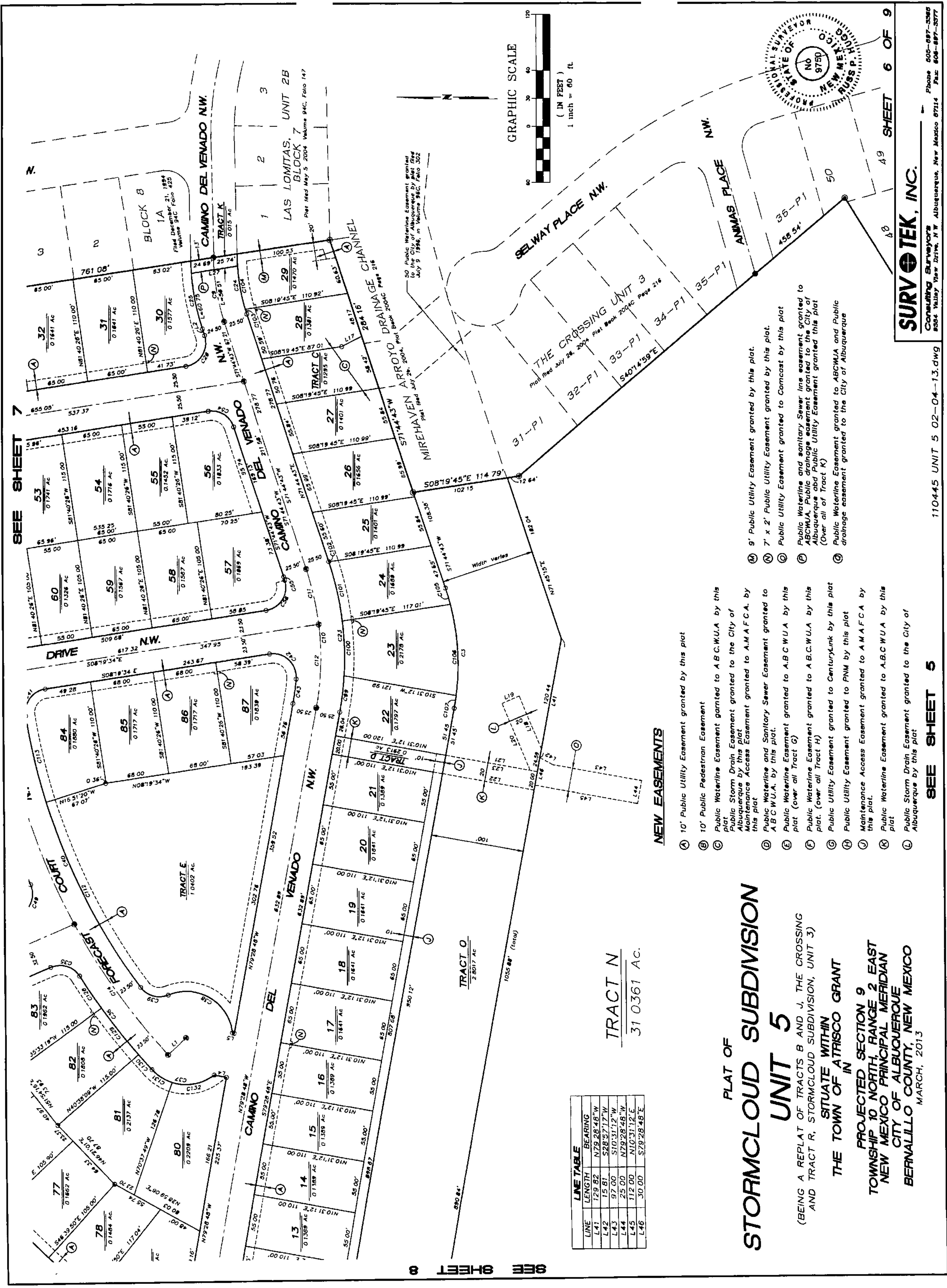
**SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT**

PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2013



**SURVOTEK, INC.**

Consulting Surveyors  
5084 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone 505-887-5568 Fax 505-887-3577



LINE	LENGTH	BEARING
L41	129.82	N29.28.48"W
L42	15.81	S28.57.17"W
L43	97.00	S10.31.12"W
L44	25.00	N29.28.48"W
L45	112.00	N10.31.12"E
L46	30.00	S29.28.48"E

TRACT N  
31 0361 AC.

PLAT OF  
**STORMCLOUD SUBDIVISION**  
**UNIT 5**

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)

SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT

PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2013

**NEW EASEMENTS**

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- (G) Public Waterline Easement granted to A.B.C.W.U.A. by this plat (over all Tract G)
- (H) Public Waterline Easement granted to A.B.C.W.U.A. by this plat. (over all Tract H)
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- (R) Public Waterline Easement granted to ABCWUA and Public drainage easement granted to the City of Albuquerque

**SURVOTEK, INC.**

Consulting Surveyors  
2504 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone 505-887-3366 Fax 505-887-3377

110445 UNIT 5 02-04-13.dwg

**SEE SHEET 5**

**SHEET 6 OF 9**

**SEE SHEET 7**

**SEE SHEET 8**

**FLAT OF  
STORMCLOUD SUBDIVISION  
UNIT 5**

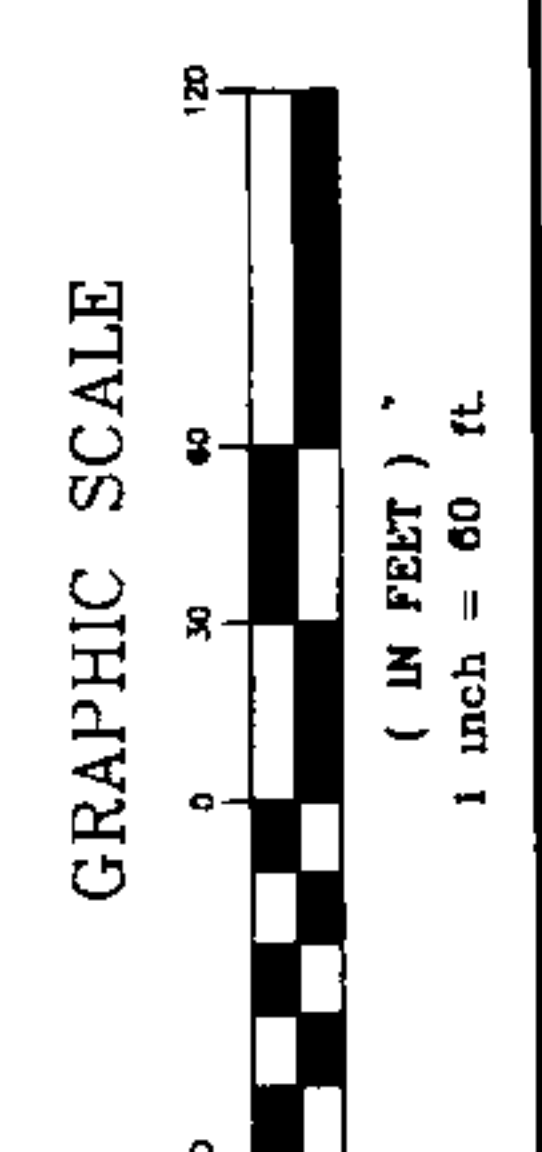
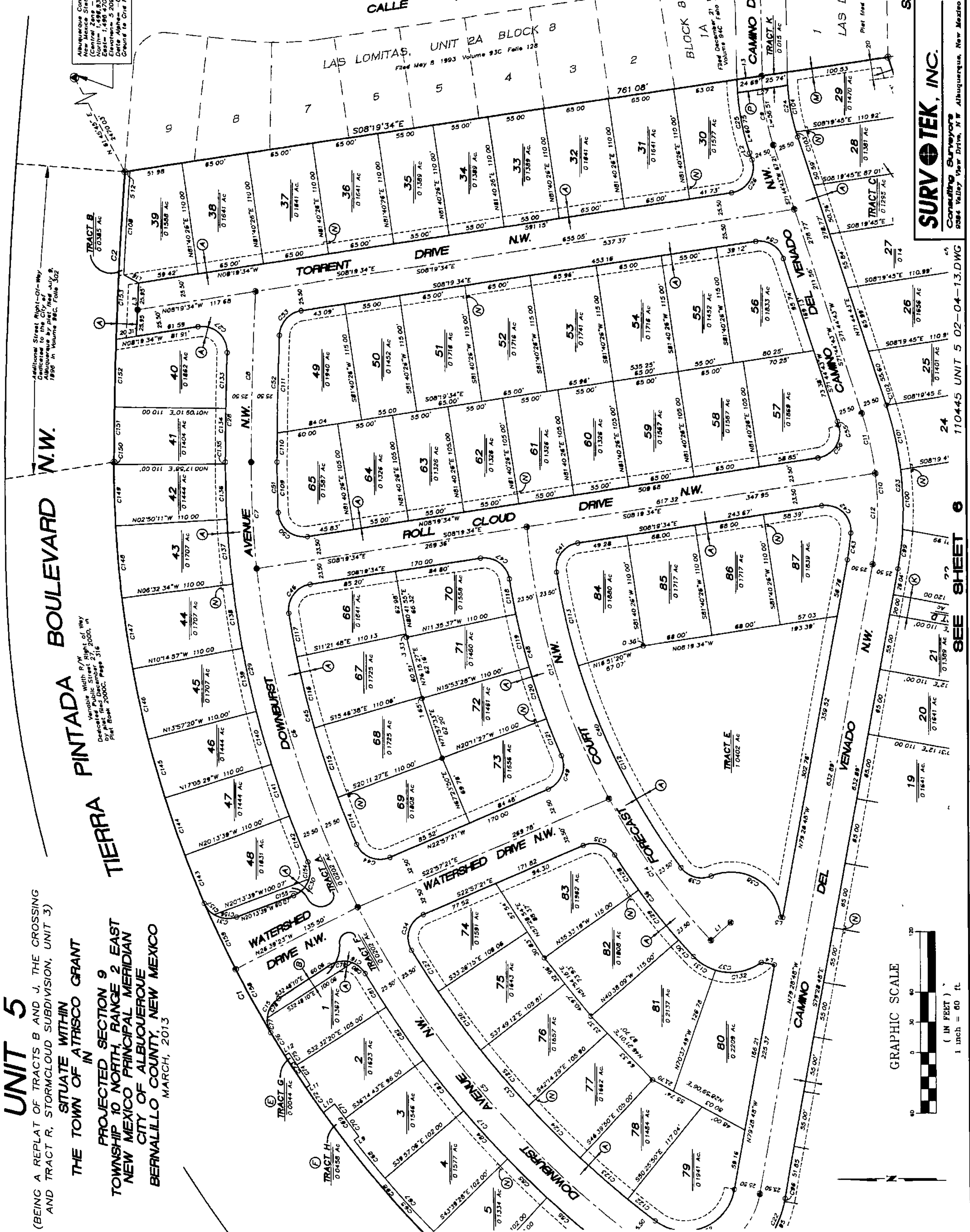
(BEING A REPEAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)  
SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT  
IN  
PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2013

Additional Street Right-of-Way  
Dedicated to the City of  
Albuquerque by Plat filed July 9,  
1999 in Volume 93C, Folio 302

Additional Street Right-of-Way  
Dedicated to the City of  
Albuquerque by Plat filed May 8,  
1993 in Volume 93C, Folio 128

Additional Street Right-of-Way  
Dedicated to the City of  
Albuquerque by Plat filed May 5,  
2004, Volume 94C, Folio 14

Albuquerque Control Survey Monument "3-118"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83) as published  
in the Survey of the City of Albuquerque  
Plat No. 1499-470-171  
Elevation - 5,209.519 (NAVD 1988)  
Date of Alignment - 00718 36 72-  
Change to Grid Factor - 0.999876466



# PLAT OF STORMCLOUD SUBDIVISION UNIT 5

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3) SITUATE WITHIN THE TOWN OF ATRISCO GRANT IN

PROJECTED SECTION 9 TOWNSHIP 10 NORTH, RANGE 2 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MARCH, 2013

### SIDEWALK CULVERT MAINTENANCE NOTE

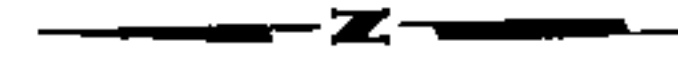
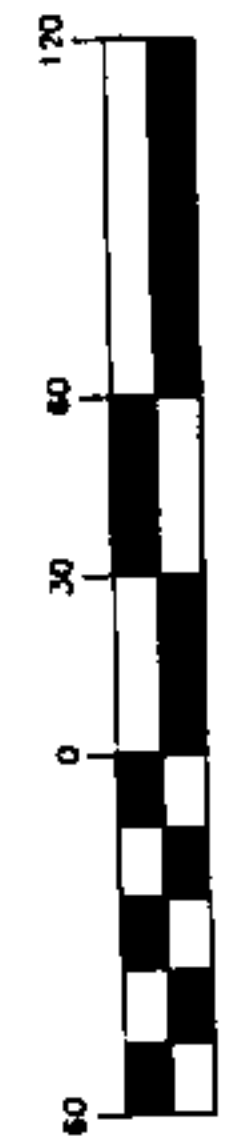
SIDEWALK CULVERTS INSTALLED ADJACENT TO TRACT E SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION ONCE ESTABLISHED.

### TRACT DESIGNATIONS

TRACTS A THROUGH K SHALL BE CONVEYED TO THE HOMEOWNERS' ASSOCIATION ESTABLISHED. THESE TRACTS SHALL BE MAINTAINED BY SAID ASSOCIATION. USES FOR TRACTS ARE LISTED BELOW.

- TRACT USE**
- A LANDSCAPING
  - B LANDSCAPING
  - C MAINTENANCE ACCESS ROAD FOR COA, ABCWUA AND AMAFCA/WATERLINE AND STORM DRAIN EASEMENT
  - D WATERLINE EASEMENT/AMAFCA MAINTENANCE ACCESS EASEMENT
  - E PRIVATE PARK
  - F LANDSCAPING/PUBLIC PEDESTRIAN ACCESS EASEMENT
  - G WATERLINE EASEMENT FOR ABCWUA VAULT AND VAULT
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  - J PNM, COMCAST AND CENTURYLINK SURFACE EQUIPMENT/PUE
  - K LANDSCAPING/WATERLINE AND SANITARY SEWER LINE EASEMENT/DRAINAGE EASEMENT AND PUBLIC UTILITY EASEMENT
  - N TO BE RETAINED BY OWNER FOR FUTURE DEVELOPMENT
  - O TO BE DEDICATED TO A.M.A.F.C.A. FOR DRAINAGE CHANNEL.

### GRAPHIC SCALE



### NEW EASEMENTS

- A 10' Public Utility Easement granted by this plat
- B 10' Public Pedestrian Easement
- C Public Waterline Easement granted to A.B.C.W.U.A. by this plat
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TRACT N  
31.0361 AC.



**SURVOTEK, INC.**

Consulting Surveyors  
8984 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-887-3348 Fax: 505-887-3377





## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

March 27, 2013

**Project# 1005029**  
13DRB-70482 EXT OF MAJOR PRELIMINARY PLAT  
13DRB-70483 AMENDMENT TO PRELIMINARY PLAT

ISAACSON AND ARFMAN PA request(s) the above action(s) for all or a portion of Tract(s) B & J THE CROSSING TRACT R, **STORMCLOUD Unit(s) 3**, zoned SU-2R-LT, located on TIERRA PINTADA BLVD NW BETWEEN UNSER AND 98TH ST containing approximately 55.2416 acre(s). [REF: 06DRB01234, 01235, 01236, 01398, 12DRB70045, 70046, 70047, 70277] (H-09)

At the March 27, 2013 Development Review Board meeting, the one-year extension of the preliminary plat was approved. The amended preliminary plat was approved.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

If you wish to appeal this decision, you must do so by April 11, 2013 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing. You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Jack Cloud, DRB Chair

Cc: ISAACSON AND ARFMAN PA  
Marilyn Maldonado  
file

February 26, 2014

CEP

**INFRASTRUCTURE LIST**  
 (Rev. 9-20-05)  
**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**STORMCLOUD SUBDIVISION, UNIT 4**  
**PROPOSED NAME OF PLAT**

**REPLAT OF TRACTS B & J, THE CROSSING & TRACT R, STORMCLOUD SUBDIVISION, UNIT 3**  
**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		<b>UNIT 4</b>							
		8"	<b>WATERLINE, 3WR</b> Waterline PVC C-900	Chinook Rd NW	Summer Breeze Dr NW	White Squall Dr NW	/	/	/
		6"	Waterline PVC C-900	Wind Sock Rd NW	Summer Breeze Dr NW	White Squall Dr NW	/	/	/
		8"	Waterline PVC C-900	White Squall Dr NW	Chinook Rd NW	Monsoon Rd NW	/	/	/
		10"	Waterline PVC C-900	Summer Breeze Dr NW	S Property Line Existing 10" WL	Jet Stream Rd NW	/	/	/
		8"	Waterline PVC C-900	Monsoon Rd NW	White Squall Dr NW	Gunnison PI NW	/	/	/
		6"	Waterline PVC C-900	Monsoon Rd NW	Gunnison PI NW	Animas PI NW	/	/	/
		6"	Waterline PVC C-900	Jet Stream Rd NW	White Squall Dr NW	Summer Breeze Dr NW	/	/	/
		10"	Waterline PVC C-900	Jet Stream Rd NW	Summer Breeze Dr NW	Gunnison PI NW	/	/	/



Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		6"	Waterline PVC C-900	Gunnison PI NW	Animas PI NW	Jet Stream Rd NW	/	/	/
		10"	Waterline PVC C-900	Gunnison PI NW	Jet Stream Rd NW	Monsoon Rd NW	/	/	/
		10"	Waterline PVC C-900	Public Easement E of Lot 139	Monsoon Rd NW	Lots 138/139 N Line	/	/	/
		6"	Waterline PVC C-900	Animas PI NW	Lot 117 Existing 6" Waterline	Monsoon Rd NW	/	/	/
		4"	Waterline PVC C-900	Animas PI NW	Lots 128/129	Monsoon Rd NW	/	/	/
		10"	Waterline PVC C-900***	20' Waterline Easement	Public Easement N of Monsoon Rd NW	Public Easement S of Camino Del Venado NW	/	/	/
		6"	<b>WATERLINE, 2W</b> Waterline PVC C-900	Animas PI NW	Gunnison PI NW	Lot 117 Existing 6" Waterline	/	/	/
		6"	Waterline PVC C-900	Gunnison PI NW	Animas PI NW	E Property Line Existing 8" Waterline	/	/	/
		8"	<b>SANITARY SEWER</b> Sanitary Sewer Line SDR-35	Chinook Rd NW	Summer Breeze Dr NW	White Squall Dr NW	/	/	/
		8"	Sanitary Sewer Line SDR-35	Wind Sock Rd NW	Summer Breeze Dr NW	Lot 46	/	/	/
		8"	Sanitary Sewer Line SDR-35	White Squall Dr NW	Chinook Rd NW	Lot 1	/	/	/
		8"	Sanitary Sewer Line SDR-35	Summer Breeze Dr NW	South Property Line Existing 8" SAS	Lot 35	/	/	/
		8"	Sanitary Sewer Line SDR-35	Monsoon Rd NW	Lot 154	Animas PI NW	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		8"	Sanitary Sewer Line SDR-35	Jet Stream Rd NW	Lot 65	Gunnison Pl NW	/	/	/
		8"	Sanitary Sewer Line SDR-35	Animas Pl NW	Lot 117	Lot 116 Existing 8" SAS	/	/	/
		8"	Sanitary Sewer Line SDR-35	Animas Pl NW	Lot 120	N Property Line Existing 8" SAS	/	/	/
		8"	Sanitary Sewer Line SDR-35	Gunnison Pl NW	Animas Pl NW	Jet Stream Rd NW	/	/	/
		10"	Sanitary Sewer Line SDR-35	Gunnison Pl NW	E Property Line Existing 10" SAS	Animas Pl NW	/	/	/
		28' F-F	<b>PAVING</b> Residential Pavement C&G on Both Sides	Chinook Rd NW	Summer Breeze Dr NW	White Squall Dr NW	/	/	/
		**	4' Sidewalk on Both Sides						
		28' F-F	Residential Pavement C&G on Both Sides	Wind Sock Rd NW	White Squall Dr NW	Summer Breeze Dr NW	/	/	/
		**	4' Sidewalk on Both Sides						
		28' F-F	Residential Pavement C&G on Both Sides	White Squall Dr NW	Chinook Rd NW	Wind Sock Rd NW	/	/	/
		**	4' Sidewalk on Both Sides						
		30' F-F	Residential Pavement C&G on Both Sides	White Squall Dr NW	Wind Sock Rd NW	Monsoon Rd NW	/	/	/
		**	4' Sidewalk on Both Sides						
		32' F-F	Residential Pavement C&G on Both Sides	Summer Breeze Dr NW	S Property Line	Chinook Rd NW	/	/	/
		**	4' Sidewalk on Both Sides						
		26' F-F	Residential Pavement C&G on Both Sides	Summer Breeze Dr NW	Chinook Rd NW	Jet Stream Rd NW	/	/	/
		**	4' Sidewalk on Both Sides						

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		30' F-F	Residential Pavement C&G on Both Sides ** 4' Sidewalk on Both Sides	Monsoon Rd NW	White Squall Dr NW	Animas PI NW	/	/	/
		30' F-F	Residential Pavement C&G on Both Sides ** 4' Sidewalk on Both Sides	Jet Stream Rd NW	Gunnison PI NW	White Squall Dr NW	/	/	/
		28' F-F	Residential Pavement C&G on Both Sides ** 4' Sidewalk on Both Sides	Animas PI NW	S Property Line	NE Property Line	/	/	/
		50' F-F	Residential Pavement C&G on Both Sides & Median C&G ** 6' Sidewalk on Both Sides	Monsoon Rd NW (Entrance)	Tierra Pintada Blvd NW E R/W	White Squall Dr NW	/	/	/
		30' F-F	Residential Pavement C&G on Both Sides ** 4' Sidewalk on Both Sides	Gunnison PI NW	Monsoon Rd NW	Animas PI NW	/	/	/
		28' F-F	Residential Pavement C&G on Both Sides ** 4' Sidewalk on Both Sides	Gunnison PI NW	Animas PI NW	SE Property Line	/	/	/
		10'	Trail on East Side Only	Tierra Pintada Blvd NW	South Property Line, Unit 4	South Property Line, Unit 5	/	/	/
		18"-24"	<b>STORM SEWER</b> Storm Sewer Pipe RCP	Chinook Rd NW	Lots 55/56	Summer Breeze Dr NW	/	/	/
		24"	Storm Sewer Pipe RCP	Summer Breeze Dr NW	Lots 27/28	Chinook Rd NW	/	/	/
		42"	Storm Sewer Pipe RCP	Summer Breeze Dr NW	Chinook Rd NW	S Property Line Exst 36" Storm Drain	/	/	/
		24"	Storm Sewer Pipe RCP	Monsoon Rd NW	Lots 139/140	Gunnison PI NW	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		36"	Storm Sewer Pipe RCP	Gunnison PI NW	Monsoon Rd NW	Jet Stream Rd NW	/	/	/
		24"	Storm Sewer Pipe RCP	Jet Stream Rd NW	Gunnison PI NW	Summer Breeze Dr NW	/	/	/
		24"	Storm Sewer Pipe RCP	Summer Breeze Dr NW	Jet Stream Rd NW	Lots 34/35	/	/	/
		36"	Storm Sewer Pipe RCP	Public Easement E of Lot 139	Monsoon Rd NW	N Property Line Unit 4	/	/	/
		36"	Storm Sewer Pipe RCP	Mirehaven Arroyo (Tract O)	Public Easement N of Monsoon Rd NW	Mirehaven Arroyo (Tract O)	/	/	/
		\$25,000	LOMR***	Mirehaven Arroyo (Tract O)	East Property Line Unit 4	West Property Line Unit 4	/	/	/
		53' Top Width	Shotcrete Channel***	Mirehaven Arroyo (Tract O)	East Property Line Unit 4	West Property Line Unit 4	/	/	/
		3'	Sidewalk Culvert	Animas PI NW	West of Lot 124		/	/	/
							/	/	/
							/	/	/
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature      Date							City User Dept. Signature      Date		

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

1. Water infrastructure to include services, valves, fittings, valve boxes, and fire hydrants as required.
2. Catch basin and manholes connection included with storm sewer pipe
3. Sanitary sewer to include manholes and service connections as required.
4. Signage and striping per DRC.
5. Certified grading and drainage and walls for SIA/Financial Release
- \*\*6. Sidewalks which front the lots will be deferred and built during the construction of the individual houses
7. Wall certification from Registered Engineer and/or Registered Architect prior to Release of Financial Guarantee.
8. Certification that perimeter wall has been constructed per DRB approved design prior to Release of Financial Guarantee
9. Approval of LOMR is required for release of SIA and Financial Guarantee.
- \*\*\*10. To be constructed with development of either Unit (4 or 5) constructed first

**AGENT / OWNER**

Asa Nilsson-Weber, PE  
NAME (print)

Isaacson & Arfman, P.A.  
FIRM

*Asa Nilsson-Weber* 5/7/13  
SIGNATURE - date

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

\_\_\_\_\_  
DRB CHAIR - date

\_\_\_\_\_  
TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_  
ABCWUA - date

\_\_\_\_\_  
CITY ENGINEER - date

\_\_\_\_\_  
PARKS & GENERAL RECREATION - date

\_\_\_\_\_  
AMAFCA - date

\_\_\_\_\_  
- date

\_\_\_\_\_  
- date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

**ORIGINAL**

**INFRASTRUCTURE LIST**  
 (Rev. 9-20-05)  
**EXHIBIT "A"**  
 TO SUBDIVISION IMPROVEMENTS AGREEMENT  
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

**STORMCLOUD SUBDIVISION, UNIT 4**  
 PROPOSED NAME OF PLAT

**REPLAT OF TRACTS B & J, THE CROSSING & TRACT R, STORMCLOUD SUBDIVISION, UNIT 3**  
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		<b>UNIT 4</b>							
		8"	WATERLINE, 3WR Waterline PVC C-900	Chinook Rd NW	Summer Breeze Dr NW	White Squall Dr NW	/	/	/
		6"	Waterline PVC C-900	Wind Sock Rd NW	Summer Breeze Dr NW	White Squall Dr NW	/	/	/
		8"	Waterline PVC C-900	White Squall Dr NW	Chinook Rd NW	Monsoon Rd NW	/	/	/
		10"	Waterline PVC C-900	Summer Breeze Dr NW	S Property Line Existing 10" WL	Jet Stream Rd NW	/	/	/
		8"	Waterline PVC C-900	Monsoon Rd NW	White Squall Dr NW	Gunnison PI NW	/	/	/
		6"	Waterline PVC C-900	Monsoon Rd NW	Gunnison PI NW	Animas PI NW	/	/	/
		6"	Waterline PVC C-900	Jet Stream Rd NW	White Squall Dr NW	Summer Breeze Dr NW	/	/	/
		10"	Waterline PVC C-900	Jet Stream Rd NW	Summer Breeze Dr NW	Gunnison PI NW	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #
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Size	Type of Improvement	Location	From	To
6"	Waterline PVC C-900	Gunnison PI NW	Animas PI NW	Jet Stream Rd NW
10"	Waterline PVC C-900	Gunnison PI NW	Jet Stream Rd NW	Monsoon Rd NW
10"	Waterline PVC C-900	Public Easement E of Lot 139	Monsoon Rd NW	Lots 138/139 N Line
6"	Waterline PVC C-900	Animas PI NW	Lot 117 Existing 6" Waterline	Monsoon Rd NW
4"	Waterline PVC C-900	Animas PI NW	Lots 128/129	Monsoon Rd NW
10"	Waterline PVC C-900***	20' Waterline Easement	Public Easement N of Monsoon Rd NW	Public Easement S of Camino Del Venado NW
6"	<b>WATERLINE, 2W</b> Waterline PVC C-900	Animas PI NW	Gunnison PI NW	Lot 117 Existing 6" Waterline
6"	Waterline PVC C-900	Gunnison PI NW	Animas PI NW	E Property Line Existing 8" Waterline
8"	<b>SANITARY SEWER</b> Sanitary Sewer Line SDR-35	Chinook Rd NW	Summer Breeze Dr NW	White Squall Dr NW
8"	Sanitary Sewer Line SDR-35	Wind Sock Rd NW	Summer Breeze Dr NW	Lot 46
8"	Sanitary Sewer Line SDR-35	White Squall Dr NW	Chinook Rd NW	Lot 1
8"	Sanitary Sewer Line SDR-35	Summer Breeze Dr NW	South Property Line Existing 8" SAS	Lot 35
8"	Sanitary Sewer Line SDR-35	Monsoon Rd NW	Lot 154	Animas PI NW

Construction Certification		
Private		City Cnst Engineer
Inspector	P.E.	
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Financially Guaranteed DRC #	Constructed Under DRC #

Size	Type of Improvement	Location	From	To
8"	Sanitary Sewer Line SDR-35	Jet Stream Rd NW	Lot 65	Gunnison PI NW
8"	Sanitary Sewer Line SDR-35	Animas PI NW	Lot 117	Lot 116 Existing 8" SAS
8"	Sanitary Sewer Line SDR-35	Animas PI NW	Lot 120	N Property Line Existing 8" SAS
8"	Sanitary Sewer Line SDR-35	Gunnison PI NW	Animas PI NW	Jet Stream Rd NW
10"	Sanitary Sewer Line SDR-35	Gunnison PI NW	E Property Line Existing 10" SAS	Animas PI NW
28' F-F	PAVING Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Chinook Rd NW	Summer Breeze Dr NW	White Squall Dr NW
28' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Wind Sock Rd NW	White Squall Dr NW	Summer Breeze Dr NW
28' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	White Squall Dr NW	Chinook Rd NW	Wind Sock Rd NW
30' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	White Squall Dr NW	Wind Sock Rd NW	Monsoon Rd NW
32' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Summer Breeze Dr NW	S Property Line	Chinook Rd NW
26' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Summer Breeze Dr NW	Chinook Rd NW	Jet Stream Rd NW

Construction Certification		
Private		City Cnst
Inspector	P.E.	Engineer
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Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Crst Engineer
<input type="text"/>	<input type="text"/>	30' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Monsoon Rd NW	White Squall Dr NW	Animas PI NW	/	/	/
<input type="text"/>	<input type="text"/>	30' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Jet Stream Rd NW	Gunnison PI NW	White Squall Dr NW	/	/	/
<input type="text"/>	<input type="text"/>	28' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Animas PI NW	S Property Line	NE Property Line	/	/	/
<input type="text"/>	<input type="text"/>	50' F-F	Residential Pavement C&G on Both Sides & Median C&G 6' Sidewalk on Both Sides	Monsoon Rd NW (Entrance)	Tierra Pintada Blvd NW E RW	White Squall Dr NW	/	/	/
<input type="text"/>	<input type="text"/>	30' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Gunnison PI NW	Monsoon Rd NW	Animas PI NW	/	/	/
<input type="text"/>	<input type="text"/>	28' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on Both Sides	Gunnison PI NW	Animas PI NW	SE Property Line	/	/	/
<input type="text"/>	<input type="text"/>	10'	Trail on East Side Only	Tierra Pintada Blvd NW	South Property Line, Unit 4	South Property Line, Unit 5	/	/	/
<input type="text"/>	<input type="text"/>	18"-24"	<b>STORM SEWER</b> Storm Sewer Pipe RCP	Chinook Rd NW	Lots 55/56	Summer Breeze Dr NW	/	/	/
<input type="text"/>	<input type="text"/>	24"	Storm Sewer Pipe RCP	Summer Breeze Dr NW	Lots 27/28	Chinook Rd NW	/	/	/
<input type="text"/>	<input type="text"/>	42"	Storm Sewer Pipe RCP	Summer Breeze Dr NW	Chinook Rd NW	S Property Line Exst 36" Storm Drain	/	/	/
<input type="text"/>	<input type="text"/>	24"	Storm Sewer Pipe RCP	Monsoon Rd NW	Lots 139/140	Gunnison PI NW	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #

Size	Type of Improvement	Location	From	To
36"	Storm Sewer Pipe RCP	Gunnison PI NW	Monsoon Rd NW	Jet Stream Rd NW
24"	Storm Sewer Pipe RCP	Jet Stream Rd NW	Gunnison PI NW	Summer Breeze Dr NW
24"	Storm Sewer Pipe RCP	Summer Breeze Dr NW	Jet Stream Rd NW	Lots 34/35
36"	Storm Sewer Pipe RCP	Public Easement E of Lot 139	Monsoon Rd NW	N Property Line Unit 4
36"	Storm Sewer Pipe RCP	Mirehaven Arroyo	Public Easement N of Monsoon Rd NW	Mirehaven Arroyo
4	Concrete & Riprap Drop Structures***	Mirehaven Arroyo	East Property Line	West Property Line
	<i>\$25,000</i> <i>OMR</i> <i>2/13/13</i> <i>cc 2-18-13</i> <del>\$40,000</del> LOMR***	Mirehaven Arroyo	East Property Line Unit 4	West Property Line
3,900± CY	Dirt Work and Riprap Placement Both Sides of Channel***	Mirehaven Arroyo	East Property Line	West Property Line
3'	Sidewalk Culvert	Animas PI NW	West of Lot 124	

Construction Certification		
Private		City Cnst Engineer
Inspector	P.E.	
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Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature      Date		City User Dept. Signature      Date	

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

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5. Certified grading and drainage and walls for SIA/Financial Release.
- \*\*6. Sidewalks which front the lots will be deferred and built during the construction of the individual houses.
7. Wall certification from Registered Engineer and/or Registered Architect prior to Release of Financial Guarantee.
8. Certification that perimeter wall has been constructed per DRB approved design prior to Release of Financial Guarantee.
9. Approval of LOMR is required for release of SIA and Financial Guarantee.
- \*\*\*10. To be constructed with development of either Unit (4 or 5) constructed first.

**AGENT / OWNER**

Asa Nilsson-Weber, PE  
NAME (print)

Isaacson & Arfman, P.A.  
FIRM

*Asa Nilsson-Weber* 2-4-13  
SIGNATURE - date

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

*[Signature]* 2-13-13  
DRB CHAIR - date

*[Signature]* 02/13/13  
TRANSPORTATION DEVELOPMENT - date

*[Signature]* 02/13/13  
ABCWUA - date

*[Signature]* 2-13-13  
CITY ENGINEER - date

*Carol S. Dumont* 2-13-13  
PARKS & GENERAL RECREATION - date

\_\_\_\_\_  
AMAFCA - date

\_\_\_\_\_  
- date

\_\_\_\_\_  
- date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

## **Asa Nilsson-Weber**

---

**From:** Asa Nilsson-Weber [asaw@iacivil.com]  
**Sent:** Wednesday, March 06, 2013 11:33 AM  
**To:** Jack Cloud  
**Cc:** Kevin Curran (kcurran@cabq.gov); 'Whitcomb, Blake'; R. P. Bohannon ; Richard Starr (richard@gdc-az.com); Jeff Garrett (jeff@gdc-az.com)  
**Subject:** FW: Stormcloud Units 4 and 5, Mirehaven Arroyo Platting and Improvements

RE: Stormcloud Unit 5, Final Plat  
DRB #1005029

Jack,

Per our phone conversation, I'm attaching an email summarizing a meeting at the City with Kevin Curran, Blake Whitcomb, Richard Dourte and Jane Rael regarding the platting/SIA sequence for the Stormcloud project. The process described below (see paragraphs in red) states that plat will be approved at DRB first, then SIA and plat will be recorded in immediate succession. Therefore, we cannot provide a recorded SIA as part of the DRB submittal for final plat.

Please let me know if you have questions.

Thank you.

**Asa Nilsson-Weber, P.E.**  
**Principal / Vice President**



**Isaacson & Arfman, P.A.**

Consulting Engineering Associates  
128 Monroe St. N.E.  
Albuquerque, NM 87108  
Phone: (505)268-8828  
Fax: (505)268-2632  
[asaw@iacivil.com](mailto:asaw@iacivil.com)

**From:** RP Bohannon [mailto:rpbohannon@gmail.com]  
**Sent:** Tuesday, February 05, 2013 5:07 PM  
**To:** Jeff Garrett; Kevin Curran; Richard Dourte; Blake Whitcomb; Jane Rael; Asa Nilsson-Weber  
**Cc:** RP Bohannon  
**Subject:** Stormcloud Units 4 and 5, Mirehaven Arroyo Platting and Improvements

Hello Jeff, Kevin, Richard, Blake, Jane and Asa,

Based on the discussion in our meeting last Thursday and additional information that Asa has obtained from Jack Cloud, the process for moving forward with Stormcloud Unit 5 is outlined as follows:

1. WALH prepares amended preliminary Plat for SC4 and SC5
  - a. Eliminate gate (private streets) for SC5
  - b. Amend the infrastructure lists for Stormcloud Units 4 and 5 to remove Tierra Pintada Phase 1 improvements except for the respective sidewalks and trails abutting SC4 and SC5
  - c. Process through DRB with one week turn-around
2. WALH prepares and signs the final plat for SC5 with a tract for the Mirehaven and a tract for SC4, obtains DRB approvals and signatures but does not record.
3. WALH will prepares Procedure B SIAs to be executed by DR Horton, Horton executes and provides the required financial guaranties for
  - a. SC5 subdivision improvements

- b. SC5 deferred sidewalk
  - c. Mirehaven Improvements
  - d. Trail and sidewalk improvements in Tierra Pintada Phase 1 abutting SC5
4. Final Plat from City of Albuquerque, SIAs with financial guaranties from DR Horton, and Deed to DR Horton for all of Stormcloud 5 (lots, HOA tracts and ABCWUA tracts) from WALH are held in escrow until the City, DR Horton and WALH all approve recording of all documents (need 4 party escrow agreement to facilitate – City of Albuquerque, DR Horton, WALH and FATCO. Upon approval, escrow agent records plat, deed and SIA in immediate succession.
  5. Horton purchases all of SC5 and deeds back tracts to HOA and ABCWUA after improvements are completed.
  6. After purchase:
    - a. Horton executes construction contracts
      - i. "At risk" grading and Wall construction can begin
      - ii. Work order package is finalized and submitted for work order permit.
        1. Work order construction can begin after work order issued
  7. Horton constructs the SC5 improvements, Mirehaven improvements, the TP1 trail and sidewalk improvements abutting SC5, and, eventually, deferred sidewalks. City releases financial guaranties as improvements are completed. DR Horton will deed all completed improvements to PID so that all improvements are eligible for PID reimbursement.
  8. WALH may construct "at risk" grading and walls for Stormcloud 4 simultaneously with SC5 construction.
  9. As long as the TP1 surface course paving is complete, the TP1 improvements other than the sidewalks and trails abutting SC4 and SC5 may be removed from the respective SC4 and SC5 infrastructure lists. No financial guaranty or municipal lien is required to guaranty remaining TP1 miscellaneous construction (striping, seeding, etc.).
  10. With proper construction completion documentation, City will issue a certificate of completion for Tierra Pintada Phase 1 but will not accept the improvements until after the PID is formed.
  11. The procedure for subsequent platting of SC4 will be similar once a builder or builders are confirmed for SC4.

If you believe that the above information is not accurate, please advise as soon as possible.

Also, I am happy to report that the concrete sidewalks on the east side of Tierra Pintada and the surface course paving are now complete.

Thank you,

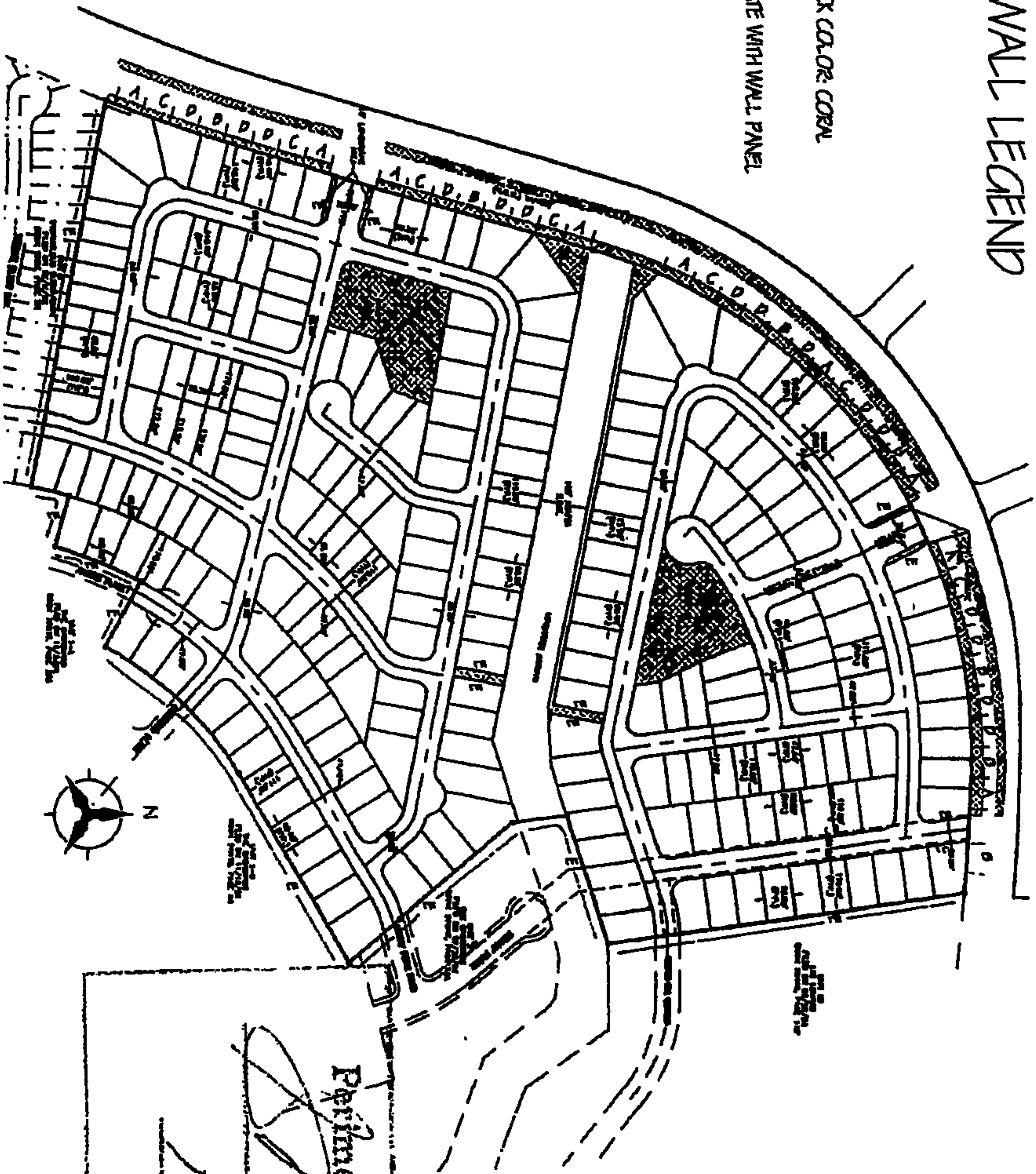
RP

R.P. Bohannon, PE  
**Paragon Engineering Group, LLC**  
(505) 414-2292

# STORMCLOUD PERIMETER WALL LEGEND

- 1. STORMCLOUD ACCENT-I PANEL
- 2. STORMCLOUD ACCENT-II PANEL
- 3. STORMCLOUD ACCENT-III PANEL
- 4. STORMCLOUD PLAN WALL PANEL
- 5. STORMCLOUD GARDEN WALL - SMOOTH CONCRETE BLOCK COLOR CORN

NOTE:  
 1) PERIMETER WALL LANDSCAPE PLANS WILL COORDINATE WITH WALL PANEL DESIGNS  
 2) LANDSCAPE AREAS



Scale: 1" = 30'

Perimeter Wall Approved  
*[Signature]*  
 DBB Chair  
 10/11/08  
 ADVANCED  
 ENGINEERING  
 AND CONSULTING, LLC

Approved:

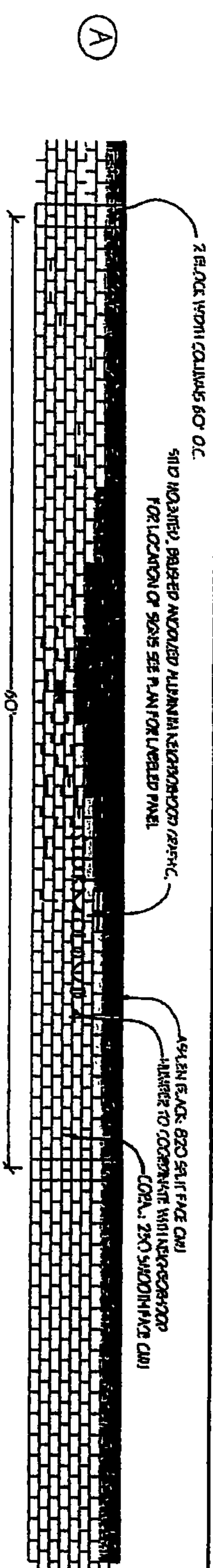
Scale set for 1/17  
 August 25, 2008

STORMCLOUD 4 & 5  
 ZONE MAPS PHASE 1-2, 3-4 & 5

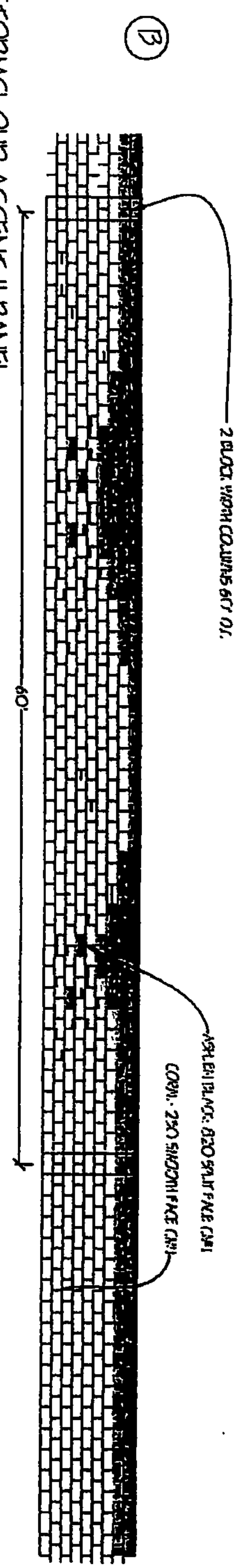
Woodland Development Co., Inc.

DRB  
 1005029

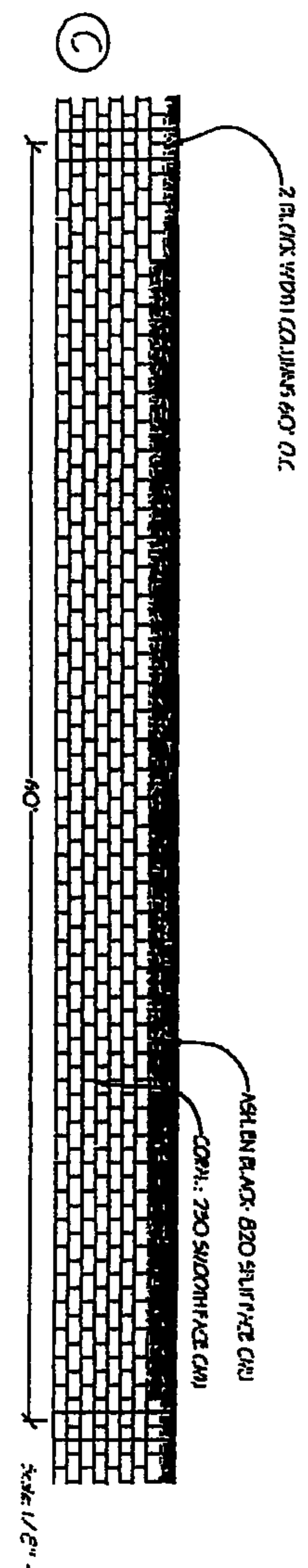




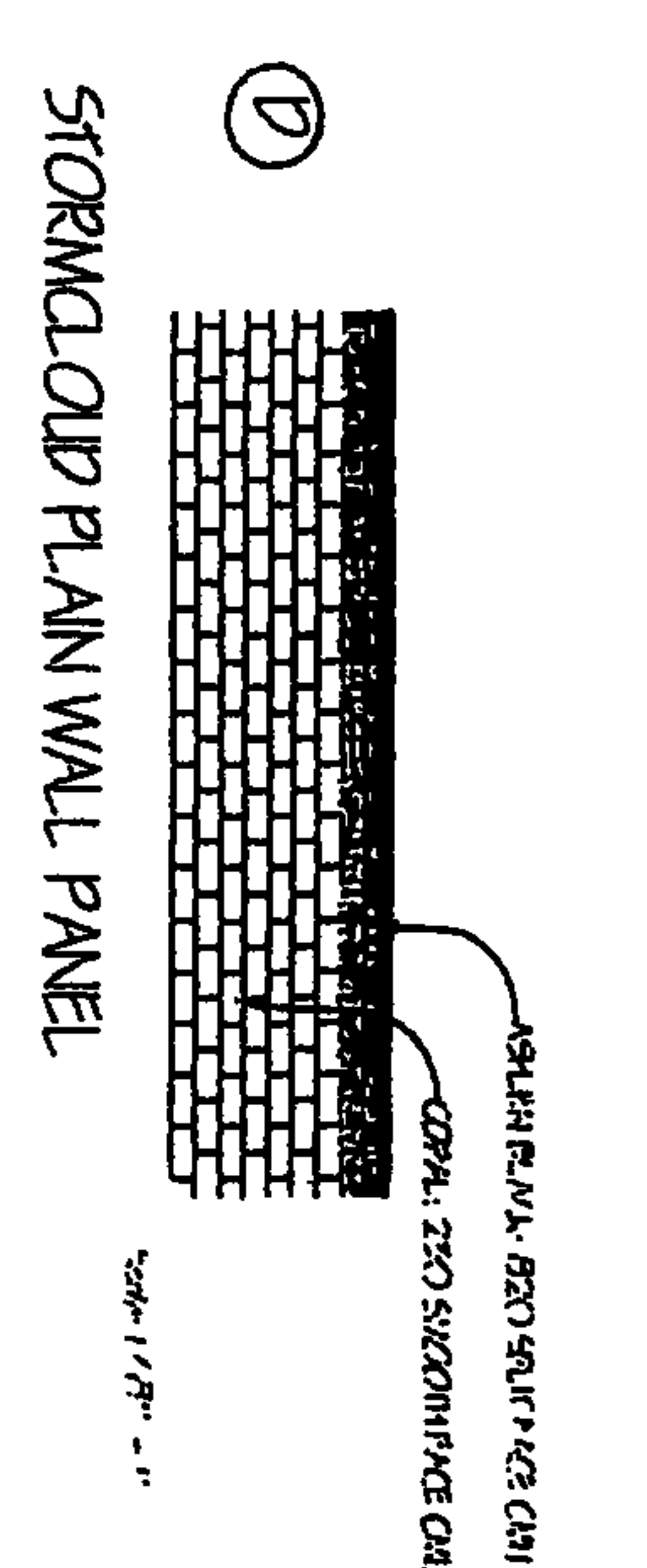
STORMCLOUD ACCENT-I PANEL



STORMCLOUD ACCENT-II PANEL

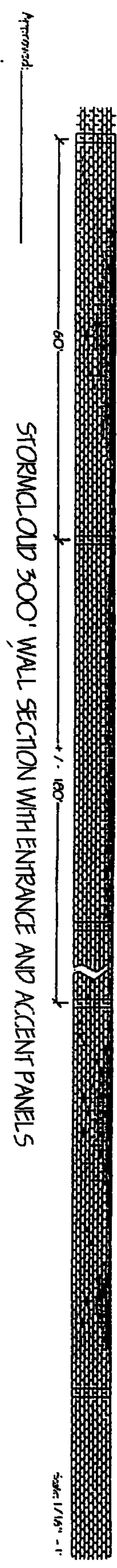


STORMCLOUD ACCENT-III PANEL



STORMCLOUD PLAIN WALL PANEL

- Notes:**
1. All block numbers called out are per utility block.
  2. Use 4"x4", 4"x8", and 8"x16" blocks to create this pattern.
  3. See plan view for wall design variations, materials listed with representative letters.
- 4. Max Wall Height 6'.**
- Additional Notes:**
- Panel A at corner of Terra Firma St. & Arroyo Vista Blvd to include sign - see plan for exact location.
- Panel B at intersection of Terra Firma St. & Arroyo Vista Blvd to include sign - see plan for exact location.



STORMCLOUD 300' WALL SECTION WITH ENTRANCE AND ACCENT PANELS

Scale set for 1/16" = 1'-0"

STORMCLOUD 4 & 5

Westland Development Co., Inc.



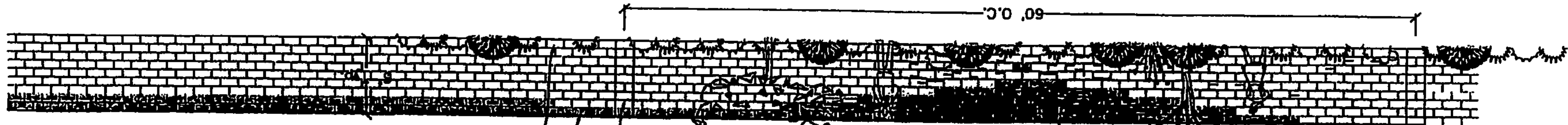


# STORMCLOUD 4 & 5

DATE: 04/15/2008  
PROJECT: 04/15/2008

Scale set for 11/17  
4/28/2008

## Wall/Landscape Elevation



16" wide columns to be spaced 60' O.C.  
around wave design features and then at  
regular intervals of 60' or less O.C. along  
the remainder of the wall surface. Columns  
to project 4" from the public side of the wall  
surface. Pattern, color, and texture of  
columns to match adjacent wall surface.

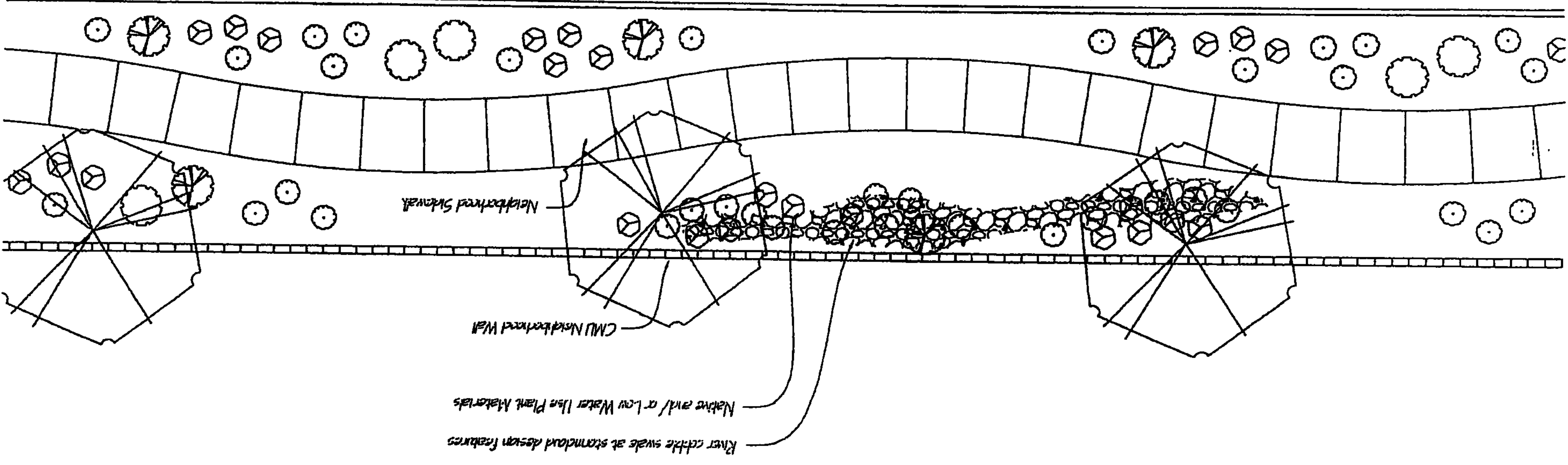
Asken Black Split Face CMU

(cont.) 230 Smooth Face CMU



Asken Black: 820  
Split Face CMU

## Wall/Landscape Plan



Neighborhood Sidewalk

CMU Neighborhood Wall

Native and/or Low Water Use Plant Materials

River cottle swale at standard design features

- SUGGESTED PLANT LIST**
- 1. Prickly Pear (Cylindropuntia), Little Leaf Shrub (L.), Salsola (L.), Cholla Tree (M)
  - 2. Olive Tree (M), Bird of Paradise (L), Fuchsia (L), Orange (L), Sweet Orange (L)
  - 3. Carrot Top (M), Agave (L), Big Sage (L), Sage (L), Saw Sage (M)
  - 4. Iron Sage (L), Yucca (L), Yucca (L), Yucca (L), Yucca (L), Yucca (L)
  - 5. Poinsettia (L), Fern (L), Pink Sage, Desert Marigold (L), Yucca (L)
- Note: - Please check with the contractor for any special requirements for irrigation and maintenance. A professional landscape architect will be responsible for irrigation and maintenance. All plants are to be installed on the same day as the wall.*

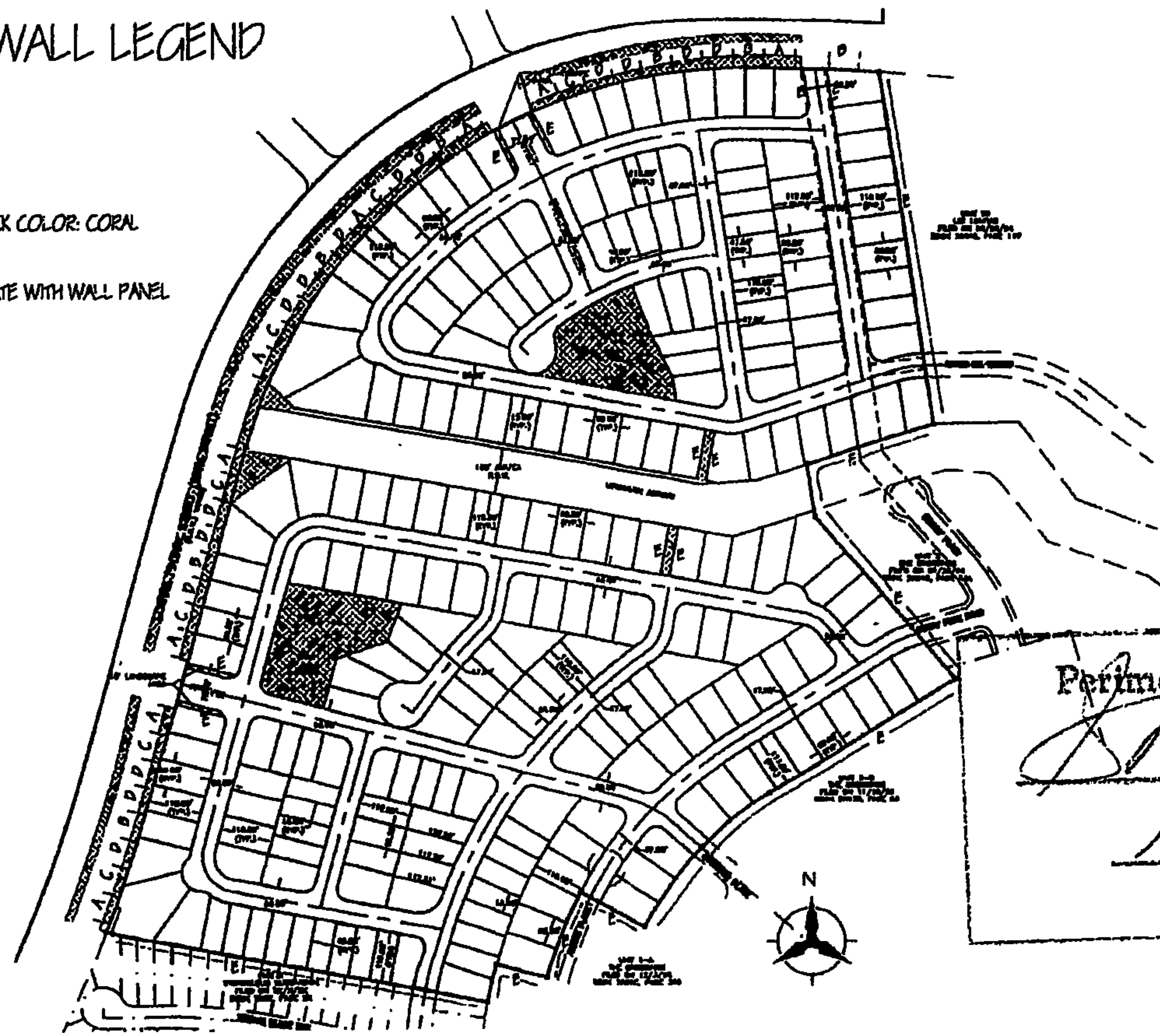


# STORMCLOUD PERIMETER WALL LEGEND

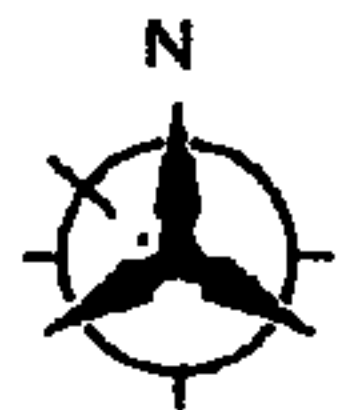
- A STORMCLOUD ACCENT-I PANEL
- 1" STORMCLOUD ACCENT-II PANEL
- 7 STORMCLOUD ACCENT-III PANEL
- 7 STORMCLOUD PLAIN WALL PANEL
- 5 STORMCLOUD GARDEN WALL - SMOOTH CONCRETE BLOCK COLOR: CORAL

NOTE\*\*  
 FUTURE PERIMETER WALL LANDSCAPE PLANS WILL COORDINATE WITH WALL PANEL DESIGNS.

 LANDSCAPE AREAS



Perimeter Wall Approved  
*Matson*  
 DRB Chair  
 10/11/06  
 ADVANCED  
 ENGINEERING  
 and CONSULTING, LLC




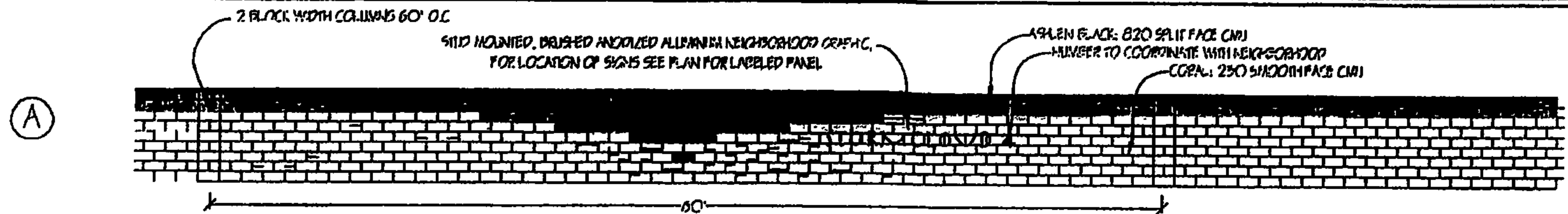
Scale: 1" = 200'

Approved: \_\_\_\_\_

Scale set for 11x17  
 April 25 2006

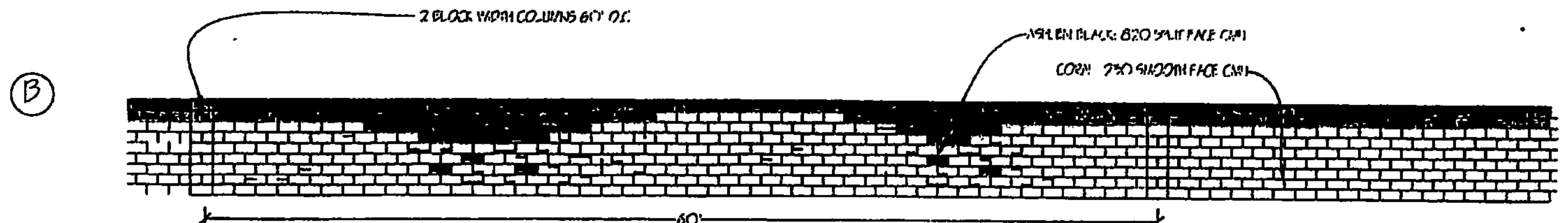
STORMCLOUD 4 & 5  
 ZONE ARLAS P425 H-D, J-D & J-G (13) primer

DRB  
 1005029  
 Westland Development Co. Inc. 



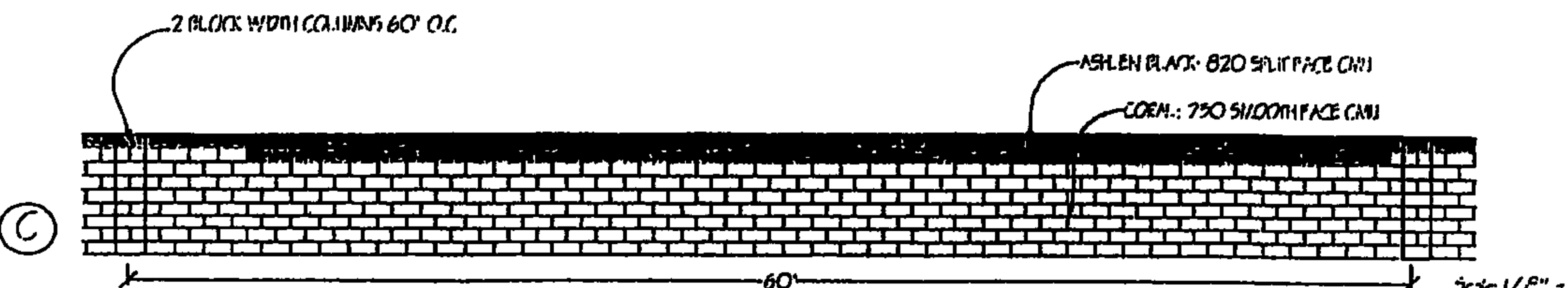
STORMCLOUD ACCENT-I PANEL

Scale: 1/8" = 1'



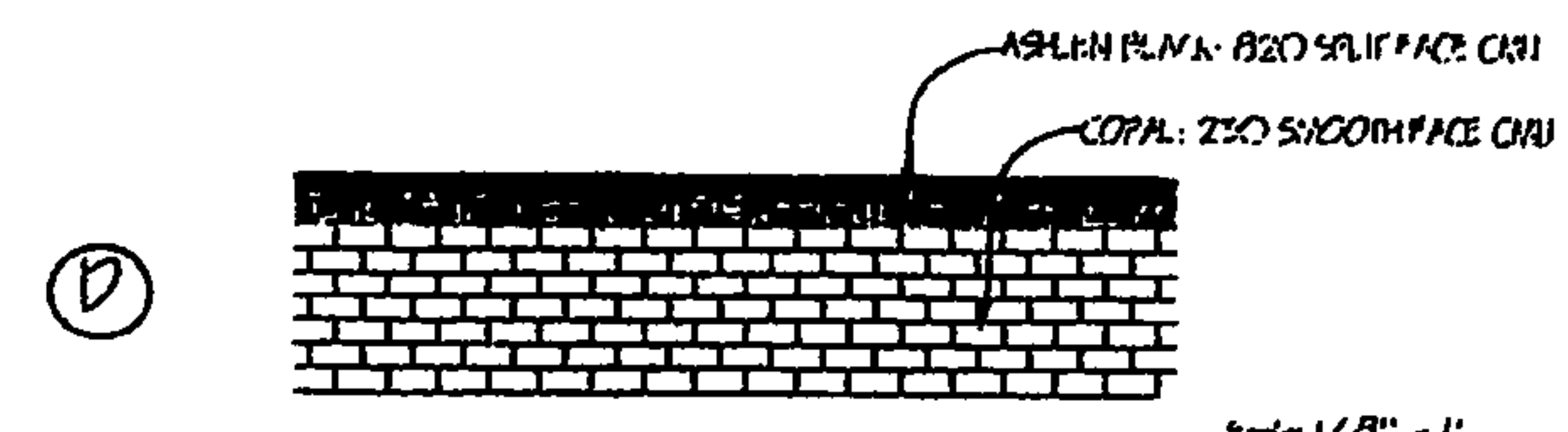
STORMCLOUD ACCENT-II PANEL

Scale: 1/8" = 1'



STORMCLOUD ACCENT-III PANEL

Scale: 1/8" = 1'



STORMCLOUD PLAIN WALL PANEL

Scale: 1/8" = 1'

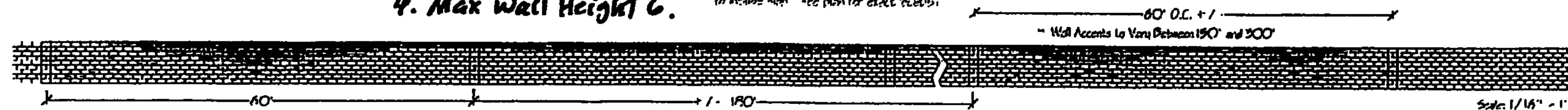
Notes:

1. All block numbers called out as per utility block
2. Use 4"x4", 4"x8", and 8"x16" blocks to create this pattern.
3. See plan view for wall design location, panels labeled with representative letters
4. Max Wall Height 6'

Additional Notes:

Panel A at corner of Terra Florida St. & Arroyo Vista Blvd. to include sign - see plan for exact location.  
 Panel B at intersection of Terra Florida St. & Arroyo Rd.  
 to include sign - see plan for exact location.

16' wide columns to be spaced 60' O.C., around entrance features and then at regular intervals of 60' or less at O.C. along the remainder of the wall surface. Columns to project 4" from the public side of the wall surface. Pattern, color and texture of columns to match adjacent wall surface.



STORMCLOUD 300' WALL SECTION WITH ENTRANCE AND ACCENT PANELS

Scale: 1/16" = 1'

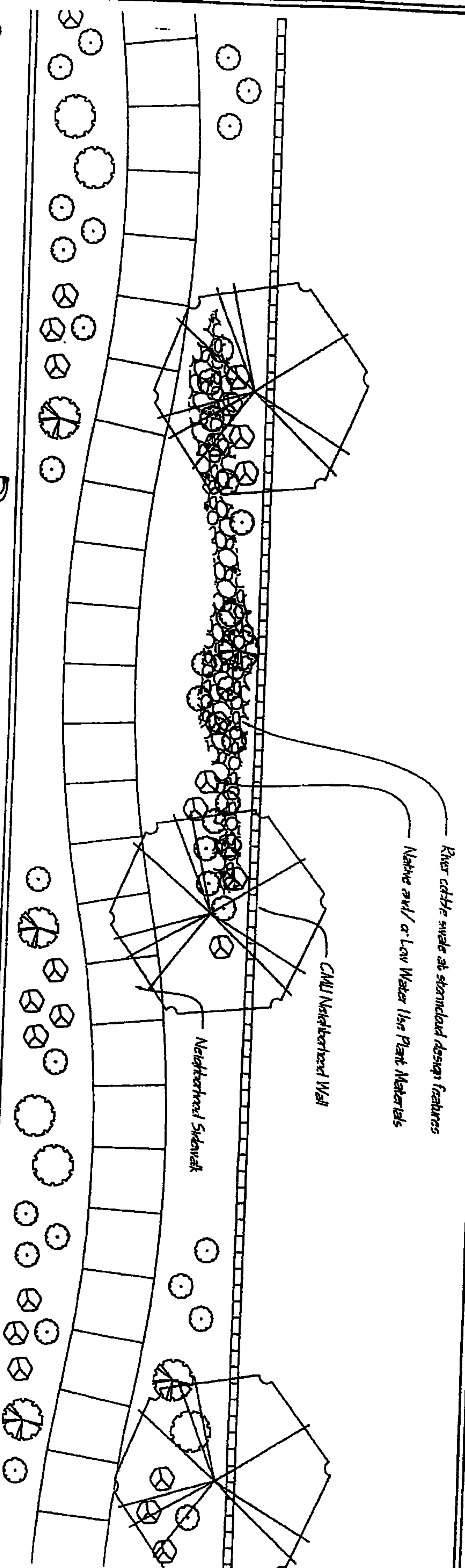
Approved: \_\_\_\_\_

Scale set for 11x17  
 March 25, 2006

STORMCLOUD 4 & 5  
 ZONE 40.145(P)/6511-P, 1-A & 1-B 0703 project # \_\_\_\_\_

Westland Development Co. Inc.





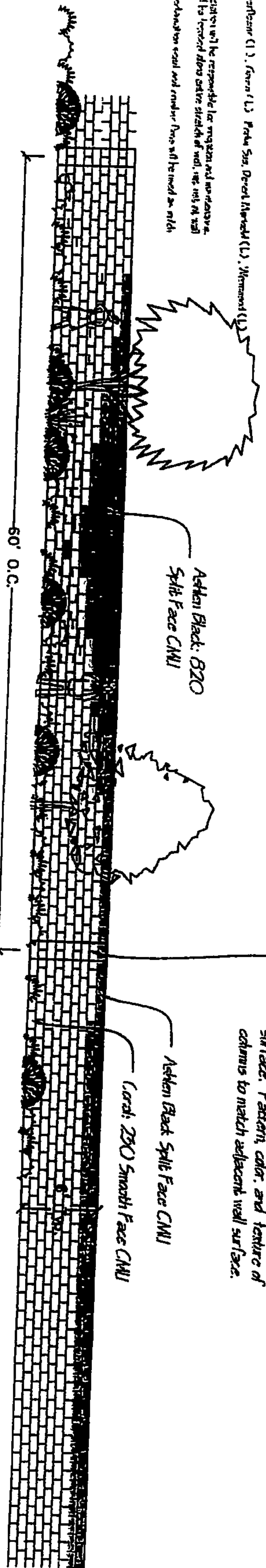
**SUGGESTED PLANT LIST**

- 1. *Plantinga* (L), *Concord Redstart* (L), *Little Leaf Shrub* (L), *Sandstone* (L), *Claytonia* (L)
- 2. *Quince Tree* (H), *Bird of Paradise* (L), *Fern* (L), *Quince* (L), *Spencer Impatiens* (L)
- 3. *Garland Mandarin* (L), *Big Sun* (L), *Acacia* (L), *Sand Sage*, *Redleaf Aster* (L)
- 4. *Cherry Sage* (L), *Alberca* (L), *Acacia* (L), *Acacia* (L), *Acacia* (L), *Acacia* (L)
- 5. *Four O'Clock* (L), *Four O'Clock* (L), *Four O'Clock* (L), *Four O'Clock* (L)

**Wall/Landscape Plan**



16" wide columns to be spaced 60' O.C. around wave design features and then at regular intervals of 60' or less O.C. along the remainder of the wall surface. Columns to project 4" from the public side of the wall surface. Pattern, color, and texture of columns to match adjacent wall surface.



**Wall/Landscape Elevation**

Scale not for 1/4" = 1'-0"

STORMCLOUD 4 & 5

Westland Development Co. Inc

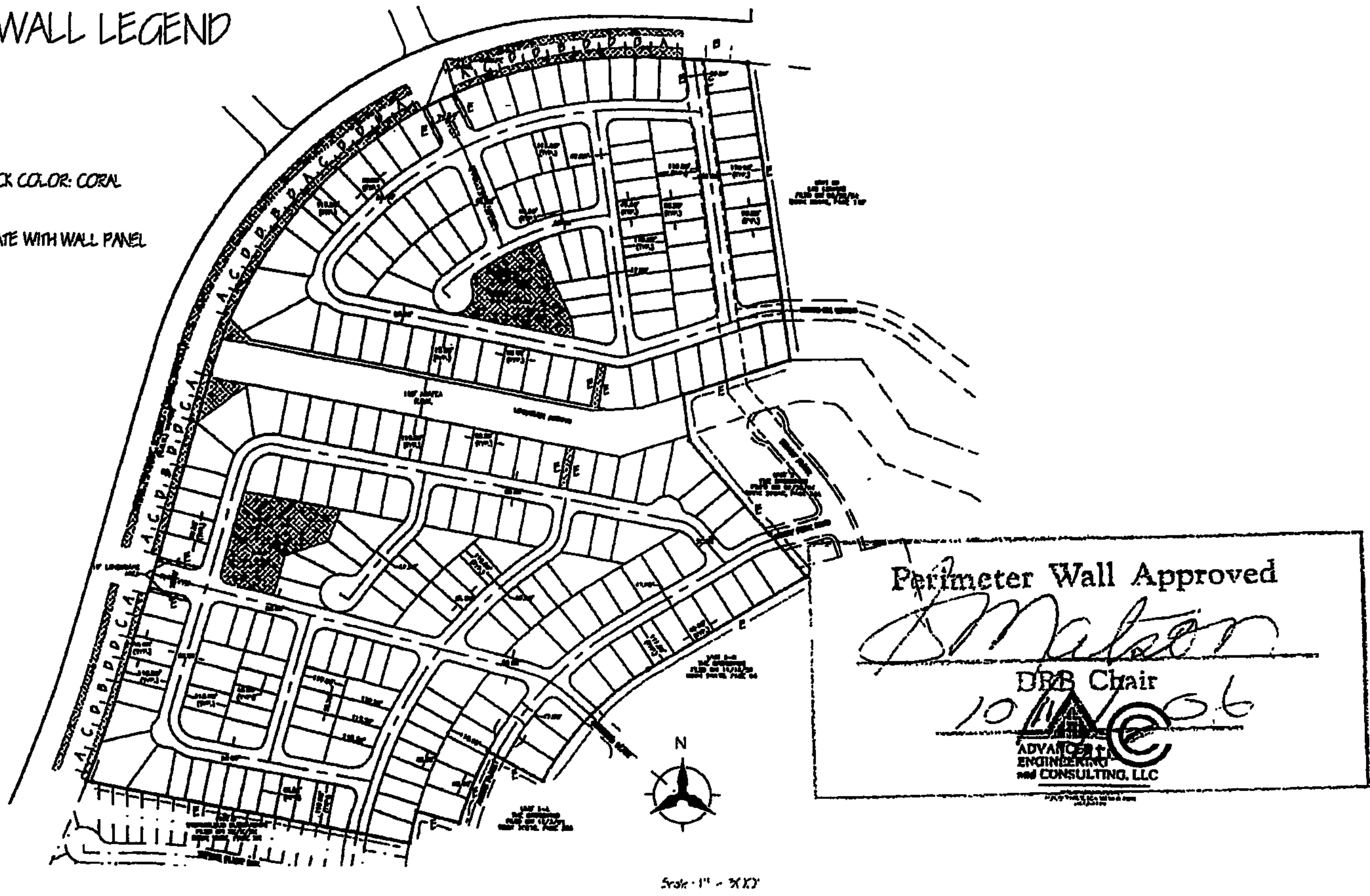


# STORMCLOUD PERIMETER WALL LEGEND

- A STORMCLOUD ACCENT-I PANEL
- 1A STORMCLOUD ACCENT-II PANEL
- C STORMCLOUD ACCENT-III PANEL
- D STORMCLOUD PLAIN WALL PANEL
- E STORMCLOUD GARDEN WALL - SMOOTH CONCRETE BLOCK COLOR: CORAL

NOTE: \*\*  
 FUTURE PERIMETER WALL LANDSCAPE PLANS WILL COORDINATE WITH WALL PANEL DESIGNS

 LANDSCAPE AREAS

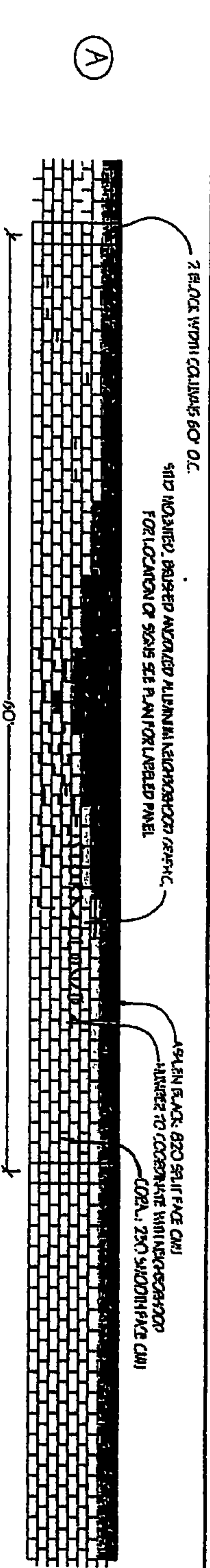


Approved: \_\_\_\_\_

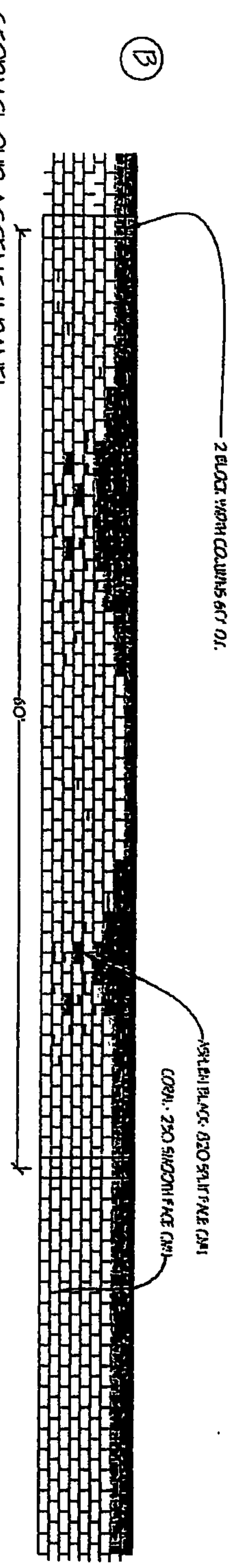
Scale set for 11/17  
 April 25, 2003

**STORMCLOUD 4 & 5**  
 ZONE ATLAS PAGES H-2, J-8 & J-9 (TP) project # \_\_\_\_\_

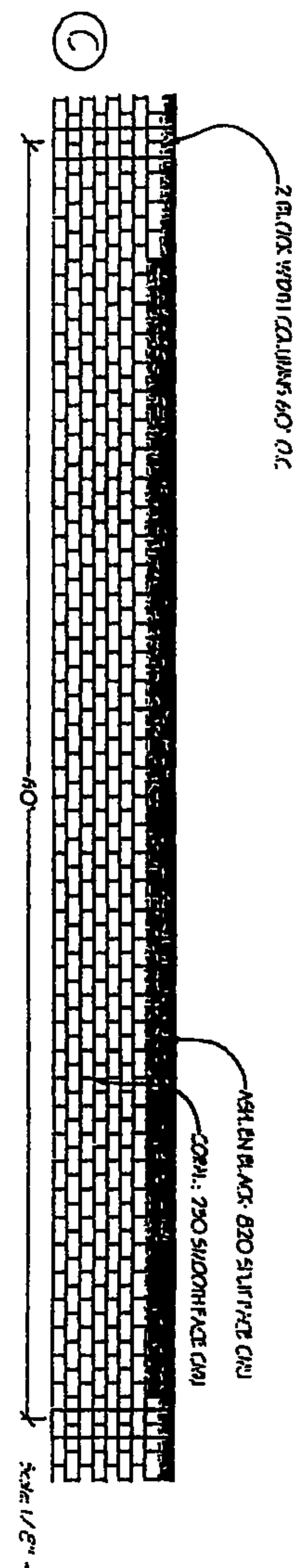
**DRB**  
**1005029**  
 Westland Development Co. Inc.



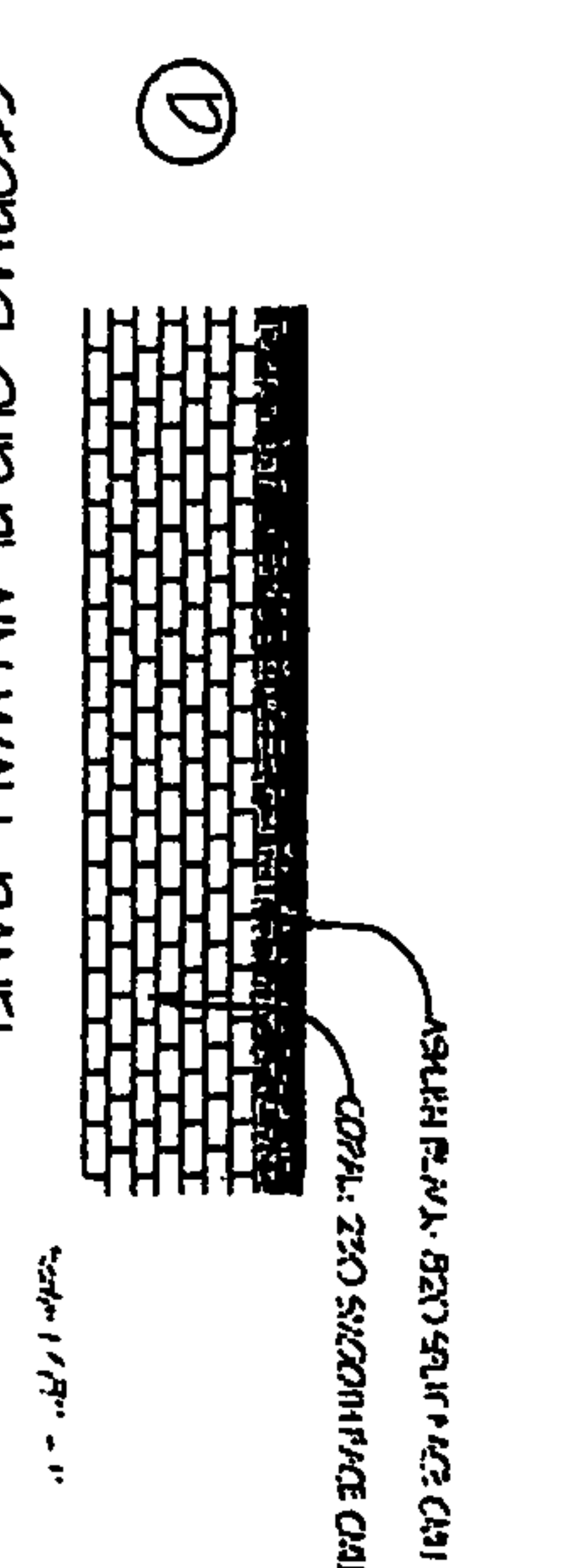
STORMCLOUD ACCENT-I PANEL



STORMCLOUD ACCENT-II PANEL

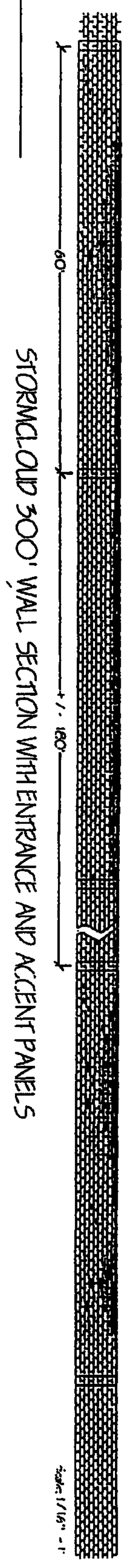


STORMCLOUD ACCENT-III PANEL



STORMCLOUD PLAIN WALL PANEL

- Notes:**
1. All block numbers called out, no part within block.
  2. Use 4" x 4" x 8" and 8" x 8" x 16" blocks in create this system.
  3. See plan view for wall design locations, panels labeled with representative letters.
- 4. Max Wall Height 6'.**
- Additional Notes:**
- Panel A at corner of 1 corner of 2 & Arroyo Vista Blvd to inside wall - see plan for exact location.
- Panel B at intersection of 1 corner of 2 & Arroyo Vista Blvd to inside wall - see plan for exact location.
- Panel C at intersection of 1 corner of 2 & Arroyo Vista Blvd to inside wall - see plan for exact location.



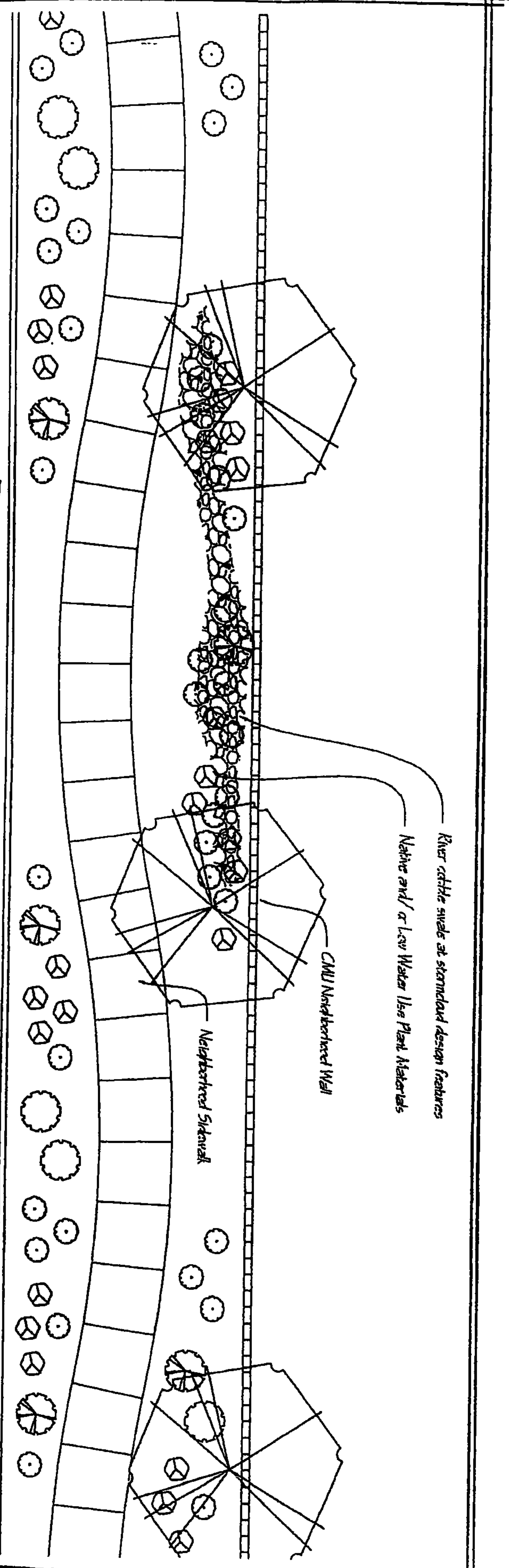
STORMCLOUD 300' WALL SECTION WITH ENTRANCE AND ACCENT PANELS

Scale set for 1/16" = 1' - 200'

STORMCLOUD 4 & 5

Westland Development Co., Inc.

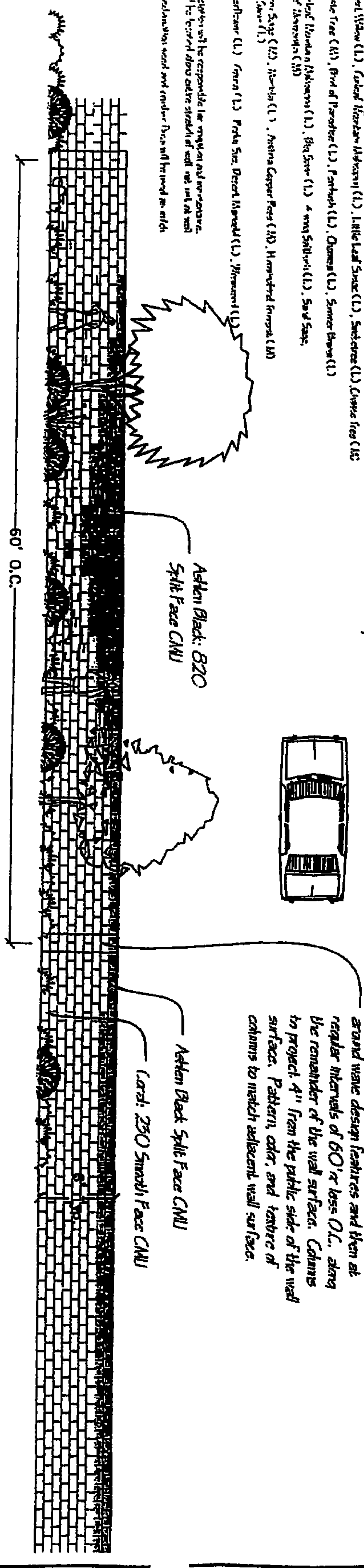




**SKETCHED PLANT LIST**

- 1. Potted Willow (L), Golden Threaded Hibiscus (L), Little Leaf Shrub (L), Sandstone (L) Chinese Tree (L)
  - 2. Double Tree (M), Bird of Paradise (L), Fuchsia (L), Orange (L), Summer Breeze (L)
  - 3. Gaiety of Mountain Hibiscus (L), Big Star (L), 4 King Saffron (L), Snow Star, Fuchsia Hibiscus (M)
  - 4. Trumpet Sage (L), Hibiscus (L), Autumn Copper Rose (M), Hammered Ironwood (M) Rose - Rose (L)
  - 5. Pigeonflower (L), Fern (L), Pink Star, Peach Blossom (L), Yucca (L)
- Note:**  
 - Homeowner Association will be responsible for irrigation and maintenance.  
 - These plants will be provided along entire stretch of wall, not just at wall.  
 - Several varieties.  
 - A combination of replacement wood and timber. Plants will be used in order of their structure.

**Wall/Landscape Plan**



Scale set for 1/17  
 April 25, 2020

**STORMCLOUD 4 & 5**

DATE PLANNING JUNE 3, 2020

Westland Development Co. Inc



EXHIBIT B

FINAL  
PRE-DEVELOPMENT FACILITIES FEE AGREEMENT

THIS AGREEMENT is made by and between the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, New Mexico ("Albuquerque Public Schools" or "APS"), a public school district organized and existing pursuant to the laws of New Mexico, and

Western Albuquerque Land Holdings, LLC ("Developer") effective as of this 1st day of May, 2013, and pertains to the subdivision commonly known as Tracts B & J, The Crossing and\*, and more particularly described as Storm Cloud Subdivision, Unit 4 (proposed legal), a 154-lot single-family detached home subdivision.  
\*Tract R, Storm Cloud Subdivision, Unit 3 (existing legal)

(the "Subdivision".) The following individual lots comprise the subdivision:

*[List lots by street address; Lots which will be used for multi-family residences should be marked "multifamily- \_\_ units" with the number of units filled in.] See attached list*

WHEREAS, the City of Albuquerque requires that APS approve the plat(s) for any new subdivision; and

WHEREAS, Developer is proposing the development of a new residential subdivision, and requires APS approval of the plat for said subdivision; and

WHEREAS, Developer is the owner of the real estate being subdivided and platted; and

WHEREAS, Developer is required by the Albuquerque Subdivision Ordinance to provide appropriate infrastructure and improvements as a condition of developing a subdivision; and

WHEREAS, as a condition of approving such plat APS requires the provision of appropriate infrastructure and facilities or the payment of a facilities fee for each new residence to be constructed to help defray the cost of school construction, expansion, or maintenance; and

WHEREAS, APS has determined that the amount of the facilities fee is reasonably related to the impact the subdivision will have on the operation of the area schools.

THEREFORE, in consideration of the mutual promises contained herein, APS and Developer agree as follows:

1. Developer agrees to pay to APS a facilities fee for each dwelling unit to be constructed in the Subdivision.
2. The amount of the fee shall be:

Doc# 2013049342

05/03/2013 01:59 PM Page: 1 of 5  
AGRE R-\$25.00 M. Toulouse Oliver, Bernalillo County



- If the building permit is issued on or after January 1, 2007, the fee shall be \$1875 per dwelling unit.
- If the building permit is issued on or after July 1, 2008, the fee shall be \$2425 per dwelling unit.
- If the permit is issued on or after January 1, 2010, the fee shall be \$2975 per dwelling unit.

The fee for each dwelling unit in multi-family residential structures shall be sixty percent (60 %) of the fee for a single family home. "Multi-family residential structure" means any type of residential property other than single-family houses (one single family, detached dwelling unit per lot).

3. Developer agrees that the fee shall be paid to APS at or before the issuance of any building permit for any lot or other parcel of property subject to this agreement.
4. Developer may satisfy all or part of its obligations under this contract by transferring improved or unimproved property to APS, provided that APS must agree to the transfer and to the value placed on the transferred property. APS, upon accepting such transfer, shall credit Developer with an amount equal to the agreed value, and the developer may designate the lot(s) to which such amount(s) shall be applied in satisfaction of its obligations hereunder.
5. This contract may be recorded in the office of the County Clerk of Bernalillo and/or Sandoval County, and shall serve as notice of the Developer's obligation to pay facilities fees. Developer shall include on the plat of the Subdivision a statement that "The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools, recorded at [recording data]."
6. APS, through its Facilities Fee Administrator, will provide a Payment Acknowledgement in the form attached hereto to the Developer reflecting receipt of the facilities fee (or equivalent compensation as described in paragraph 4 above), which form may be given to the City to show satisfaction of the fee obligation and satisfy that condition for receiving building permits. Developer may record that Payment Acknowledgment in the real estate records of Bernalillo or Sandoval County, but APS shall not be responsible for paying any recording fees nor shall APS be responsible for recording any such documents with the office of the County Clerk or any other office.

Signature

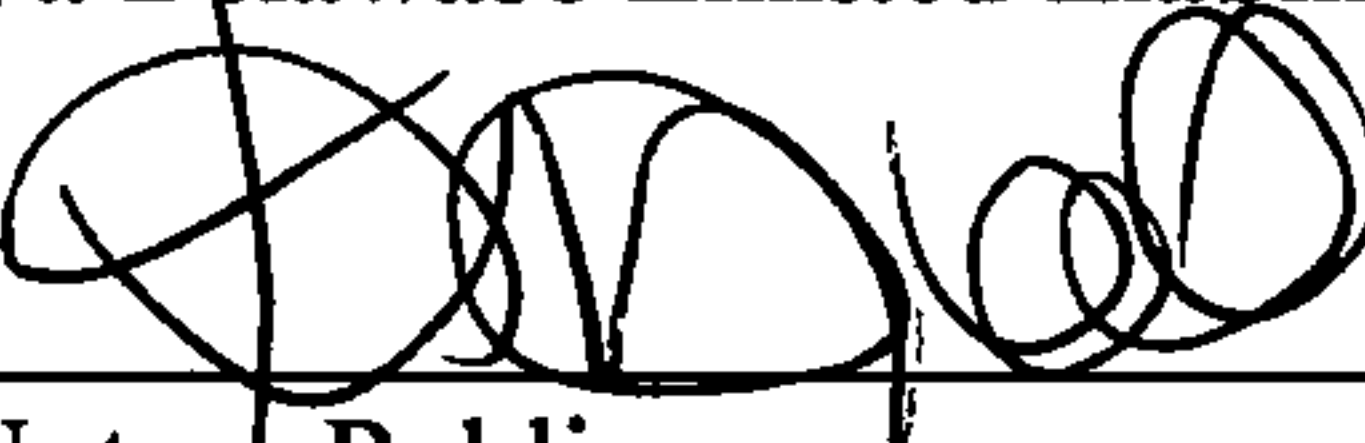
Mark Wuest, Vice President Barclays Capital Real Estate, Inc.

Name (typed or printed) and title  
 Western Albuquerque Land Holdings, LLC ("WALH")  
 A Delaware Limited Liability Company  
By: Barclays Capital Real Estate, Inc., its Servicing Member  
 Developer



STATE OF NEW YORK  
COUNTY OF NEW YORK

This instrument was acknowledged before me on May 1, 2013 by Mark Wuest,  
Vice President of Barclays Capital Real Estate, Inc., a Delaware Corporation and Servicing Member  
of Western Albuquerque Land Holdings, LLC, a Delaware Limited Liability Company.

  
\_\_\_\_\_  
Notary Public

(Seal)

My commission expires: 4/21/2016

ALBUQUERQUE PUBLIC SCHOOLS

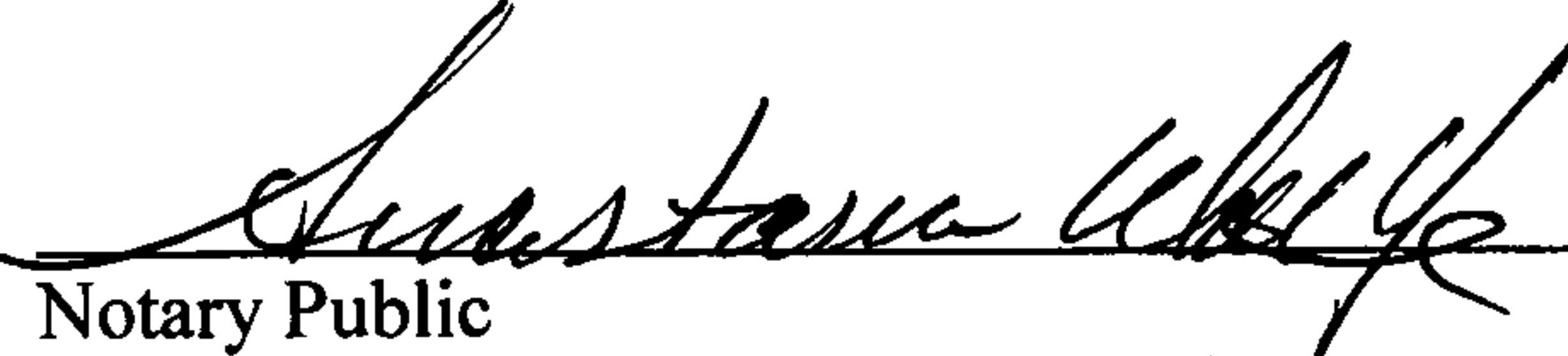
By: April L. Winters  
\_\_\_\_\_  
Signature

KRISTINA WALL  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01WA6258817  
Qualified in New York County  
My Commission Expires April 02, 2016

April L. Winters, Facility Fee Planner  
Name (typed or printed) and title

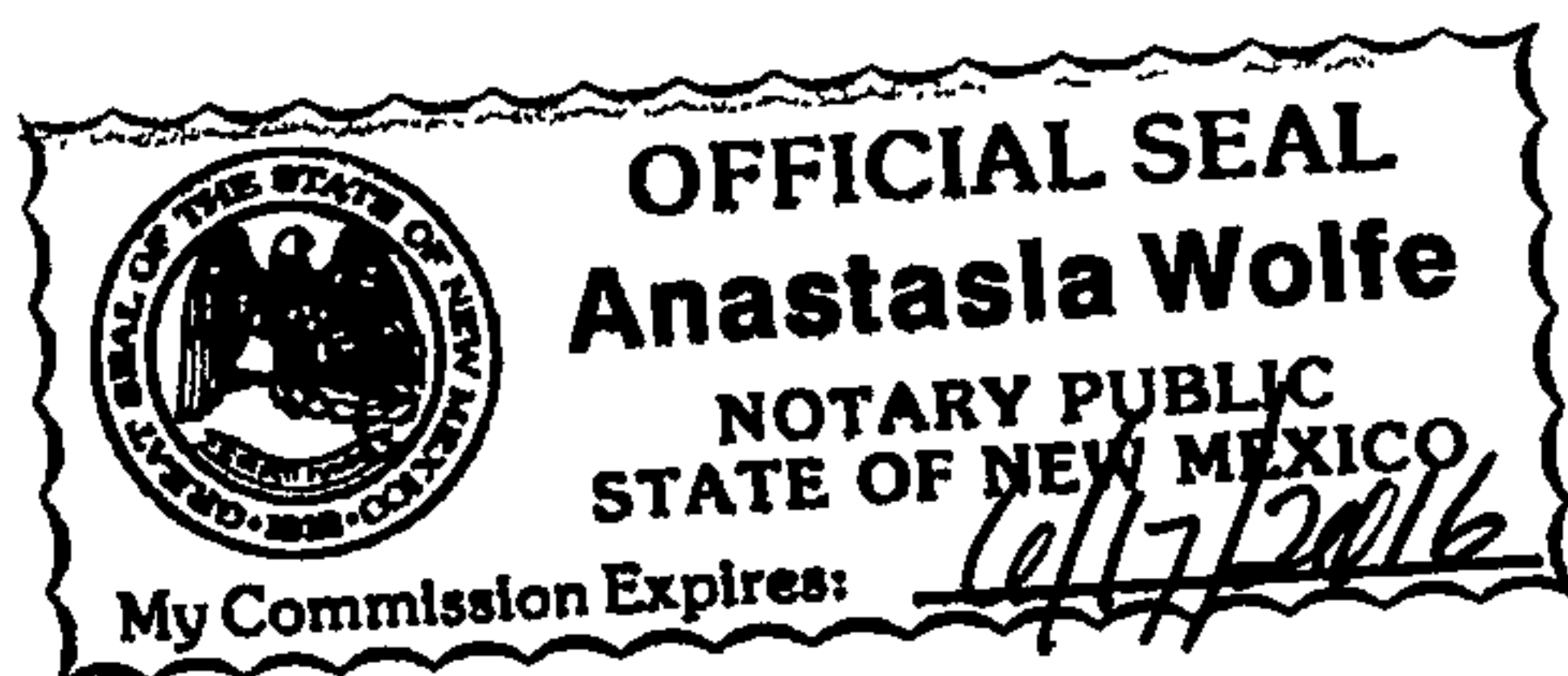
STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on May 3, 2013, by April L. Winters  
\_\_\_\_\_ as Facility Fee Planner of the Albuquerque Municipal School  
District No. 12, Bernalillo and Sandoval Counties, a school district organized and existing under  
the laws of the State of New Mexico.

  
\_\_\_\_\_  
Notary Public

(Seal)

My commission expires: 6/17/2016



# STORMCLOUD SUBDIVISION UNIT 4

## UNIT 4 - 154 LOTS

<u>Lot No.</u>	<u>Address</u>	<u>Lot No.</u>	<u>Address</u>
Lot 1	2047 White Squall Drive NW	Lot 44	8611 Animas Place NW
Lot 2	2043 White Squall Drive NW	Lot 45	8613 Animas Place NW
Lot 3	2039 White Squall Drive NW	Lot 46	8832 Wind Sock Road NW
Lot 4	2035 White Squall Drive NW	Lot 47	8828 Wind Sock Road NW
Lot 5	2031 White Squall Drive NW	Lot 48	8824 Wind Sock Road NW
Lot 6	2027 White Squall Drive NW	Lot 49	8820 Wind Sock Road NW
Lot 7	2023 White Squall Drive NW	Lot 50	8816 Wind Sock Road NW
Lot 8	2019 White Squall Drive NW	Lot 51	8812 Wind Sock Road NW
Lot 9	2015 White Squall Drive NW	Lot 52	8808 Wind Sock Road NW
Lot 10	2009 White Squall Drive NW	Lot 53	8804 Wind Sock Road NW
Lot 11	2005 White Squall Drive NW	Lot 54	8800 Wind Sock Road NW
Lot 12	2001 White Squall Drive NW	Lot 55	8801 Chinook Road NW
Lot 13	8844 Chinook Road NW	Lot 56	8805 Chinook Road NW
Lot 14	8840 Chinook Road NW	Lot 57	8809 Chinook Road NW
Lot 15	8836 Chinook Road NW	Lot 58	8815 Chinook Road NW
Lot 16	8832 Chinook Road NW	Lot 59	8819 Chinook Road NW
Lot 17	8828 Chinook Road NW	Lot 60	8823 Chinook Road NW
Lot 18	8824 Chinook Road NW	Lot 61	8827 Chinook Road NW
Lot 19	8820 Chinook Road NW	Lot 62	8831 Chinook Road NW
Lot 20	8816 Chinook Road NW	Lot 63	8835 Chinook Road NW
Lot 21	8812 Chinook Road NW	Lot 64	8839 Chinook Road NW
Lot 22	8808 Chinook Road NW	Lot 65	8832 Jet Stream Road NW
Lot 23	8804 Chinook Road NW	Lot 66	8828 Jet Stream Road NW
Lot 24	8800 Chinook Road NW	Lot 67	8824 Jet Stream Road NW
Lot 25	1976 Summer Breeze Drive NW	Lot 68	8820 Jet Stream Road NW
Lot 26	1980 Summer Breeze Drive NW	Lot 69	8816 Jet Stream Road NW
Lot 27	2000 Summer Breeze Drive NW	Lot 70	8812 Jet Stream Road NW
Lot 28	2004 Summer Breeze Drive NW	Lot 71	8808 Jet Stream Road NW
Lot 29	2008 Summer Breeze Drive NW	Lot 72	8804 Jet Stream Road NW
Lot 30	2012 Summer Breeze Drive NW	Lot 73	8800 Jet Stream Road NW
Lot 31	2016 Summer Breeze Drive NW	Lot 74	8801 Wind Sock Road NW
Lot 32	2020 Summer Breeze Drive NW	Lot 75	8805 Wind Sock Road NW
Lot 33	2024 Summer Breeze Drive NW	Lot 76	8809 Wind Sock Road NW
Lot 34	2028 Summer Breeze Drive NW	Lot 77	8815 Wind Sock Road NW
Lot 35	2032 Summer Breeze Drive NW	Lot 78	8819 Wind Sock Road NW
Lot 36	8708 Jet Stream Road NW	Lot 79	8823 Wind Sock Road NW
Lot 37	8704 Jet Stream Road NW	Lot 80	8827 Wind Sock Road NW
Lot 38	8700 Jet Stream Road NW	Lot 81	8831 Wind Sock Road NW
Lot 39	8601 Animas Place NW	Lot 82	8835 Wind Sock Road NW
Lot 40	8603 Animas Place NW	Lot 83	8824 Monsoon Road NW
Lot 41	8605 Animas Place NW	Lot 84	8820 Monsoon Road NW
Lot 42	8607 Animas Place NW	Lot 85	8816 Monsoon Road NW
Lot 43	8609 Animas Place NW	Lot 86	8812 Monsoon Road NW

**UNIT 4 - 154 LOTS -- CONTINUED**

<u>Lot No.</u>	<u>Address</u>	<u>Lot No.</u>	<u>Address</u>
Lot 87	8808 Monsoon Road NW	Lot 130	8601 Monsoon Road NW
Lot 88	8804 Monsoon Road NW	Lot 131	8605 Monsoon Road NW
Lot 89	8800 Monsoon Road NW	Lot 132	8609 Monsoon Road NW
Lot 90	8720 Monsoon Road NW	Lot 133	8615 Monsoon Road NW
Lot 91	8716 Monsoon Road NW	Lot 134	8619 Monsoon Road NW
Lot 92	8712 Monsoon Road NW	Lot 135	8623 Monsoon Road NW
Lot 93	8708 Monsoon Road NW	Lot 136	8627 Monsoon Road NW
Lot 94	8704 Monsoon Road NW	Lot 137	8631 Monsoon Road NW
Lot 95	8700 Monsoon Road NW	Lot 138	8635 Monsoon Road NW
Lot 96	8701 Jet Stream Road NW	Lot 139	8701 Monsoon Road NW
Lot 97	8705 Jet Stream Road NW	Lot 140	8705 Monsoon Road NW
Lot 98	8709 Jet Stream Road NW	Lot 141	8709 Monsoon Road NW
Lot 99	8715 Jet Stream Road NW	Lot 142	8715 Monsoon Road NW
Lot 100	8801 Jet Stream Road NW	Lot 143	8719 Monsoon Road NW
Lot 101	8805 Jet Stream Road NW	Lot 144	8723 Monsoon Road NW
Lot 102	8809 Jet Stream Road NW	Lot 145	8727 Monsoon Road NW
Lot 103	8815 Jet Stream Road NW	Lot 146	8801 Monsoon Road NW
Lot 104	8819 Jet Stream Road NW	Lot 147	8805 Monsoon Road NW
Lot 105	8823 Jet Stream Road NW	Lot 148	8809 Monsoon Road NW
Lot 106	8827 Jet Stream Road NW	Lot 149	8815 Monsoon Road NW
Lot 107	8831 Jet Stream Road NW	Lot 150	8819 Monsoon Road NW
Lot 108	8835 Jet Stream Road NW	Lot 151	8823 Monsoon Road NW
Lot 109	8624 Monsoon Road NW	Lot 152	8827 Monsoon Road NW
Lot 110	8620 Monsoon Road NW	Lot 153	8831 Monsoon Road NW
Lot 111	8616 Monsoon Road NW	Lot 154	8835 Monsoon Road NW
Lot 112	8612 Monsoon Road NW		
Lot 113	8608 Monsoon Road NW		
Lot 114	8604 Monsoon Road NW		
Lot 115	8600 Monsoon Road NW		
Lot 116	8606 Animas Place NW		
Lot 117	8604 Animas Place NW		
Lot 118	8600 Animas Place NW		
Lot 119	8540 Animas Place NW		
Lot 120	8536 Animas Place NW		
Lot 121	8532 Animas Place NW		
Lot 122	8528 Animas Place NW		
Lot 123	8524 Animas Place NW		
Lot 124	8520 Animas Place NW		
Lot 125	8516 Animas Place NW		
Lot 126	8512 Animas Place NW		
Lot 127	8508 Animas Place NW		
Lot 128	8504 Animas Place NW		
Lot 129	8500 Animas Place NW		

**5029**

### DXF Electronic Approval Form

DRB Project Case #: 1005029

Subdivision Name: STORMCLOUD SUBDIVISION, Unit 4 and Unit 5

Surveyor: RUSS P HUGG

Contact Person: RUSS P HUGG

Contact Information: 897-3366

DXF Received: 8/6/2013

Hard Copy Received: 8/6/2013

Coordinate System: NMSP Grid (NAD 83)

*Catherine Bradley*  
Approved

*Aug 6 2013*  
Date

\* The DXF file cannot be accepted (at this time) for the following reason(s):

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#### AGIS Use Only

Copied fc **5029**

to agiscov on **8/6/2013**

Contact person notified on **8/6/2013**



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
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- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Isaacson & Arfman, P.A. PHONE: 268-8828  
 ADDRESS: 128 Monroe Street NE FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: asaw@iacivil.com

APPLICANT: Western Albuquerque Land Holdings, LLC PHONE: (602) 427-4064  
 ADDRESS: c/o Garrett Development Corporation  
6991 East Camelback Road, Suite B-297 FAX: \_\_\_\_\_  
 CITY: Scottsdale STATE AZ ZIP 85251 E-MAIL: \_\_\_\_\_

Proprietary interest in site: Owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Approval of Final Plat and Approval of Amendment to Infrastructure List

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tracts B & J, The Crossing and Tract R Block: \_\_\_\_\_ Unit: 3  
 Subdiv/Addn/TBKA: Stormcloud (tbka Stormcloud Subdivision Unit 4)  
 Existing Zoning: SU-2/R-LT Proposed zoning: Same MRGCD Map No NA  
 Zone Atlas page(s): H-9 UPC Code: 1009059131190315 06 100905919825731507  
1009059055138321 61

CASE HISTORY: 13DRB-70438; 13DRB-70478; 13DRB-70483; 13DRB-70495  
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): 06DRB-01234;  
06DRB-01235; 06DRB-01236; 06DRB-01045; 06DRB-01398; 09DRB-70371; 09DRB-70394; 10DRB-70258; 11DRB-70163

CASE INFORMATION: 12DRB-70043; 12DRB-70044; 12DRB-70045; 12DRB-70046; 12DRB-70047; 12DRB-70277  
 Within city limits?  Yes Within 1000FT of a landfill?  No  
 No. of existing lots: 1 No. of proposed lots: 154 & 6 Tracts Total site area (acres): 31.0361  
 LOCATION OF PROPERTY BY STREETS: On or Near: Tierra Pintada Blvd. NW  
 Between: West of Unser Blvd. NW and \_\_\_\_\_

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: 06/22/2011

SIGNATURE Asa Nilsson-Weber DATE 5/14/13  
 (Print Name) Asa Nilsson-Weber Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

13DRB - 70547

13DRB - 70555

Action

FP

CMF

AIL

S.F.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Fees

\$ 0

\$ 20.00

\$ 50.00

\$ \_\_\_\_\_

\$ \_\_\_\_\_

Total

\$ 70.00

Hearing date: May 22, 2013

[Signature] 5-14-13  
 Staff signature & Date

Project # 1005029

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A **Bulk Land Variance** requires application on FORM -V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA **See Attached E-Mail**
- N/A Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required. **Forthcoming**

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** **Your attendance is required.**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
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- Fee (see schedule)
- List any original and/or related file numbers on the cover application
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**INFRASTRUCTURE LIST**

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** **Your attendance is required.**

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  - N/A Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Asa Nilsson-Weber  
Asa Nilsson-Weber Applicant name (print)  
5/14/13 Applicant signature / date



Form revised October 2007

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
13DRB-70547

[Signature] 5-14-13  
 Planner signature / date  
 Project # 1005029



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

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6991 East Camelback Road, Suite B-297  
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Proprietary interest in site: Owner List all owners: \_\_\_\_\_

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Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No

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Lot or Tract No. Tracts B & J, The Crossing and Tract R Block: \_\_\_\_\_ Unit: 3  
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 Within city limits?  Yes Within 1000FT of a landfill?  No  
 No. of existing lots 1 No. of proposed lots 154 & 6 Total site area (acres). 31.0361

LOCATION OF PROPERTY BY STREETS: On or Near Tierra Pintada Blvd. NW  
 Between: West of Unser Blvd. NW and \_\_\_\_\_

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: 06/22/2011

SIGNATURE Asa Nilsson-Weber DATE 5/14/13  
 (Print Name) Asa Nilsson-Weber Applicant.  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>13DRB - 70547</u>	<u>FP</u>	—	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	—	<u>CMF</u>	—	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	<u>13DRB - 70555</u>	<u>AIL</u>	—	\$ <u>50.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	—	—	—	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	—	—	—	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	—	—	—	\$ _____
<input type="checkbox"/> F.H.D.P density bonus	—	—	—	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	—	—	—	\$ _____
				Total
				\$ <u>70.00</u>

Hearing date: May 22, 2013

[Signature] 5-14-13  
 Staff signature & Date

Project # 1005029

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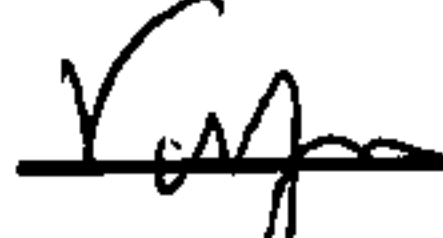
Asa Nilsson-Weber  
  
 Applicant name (print) / Applicant signature / date



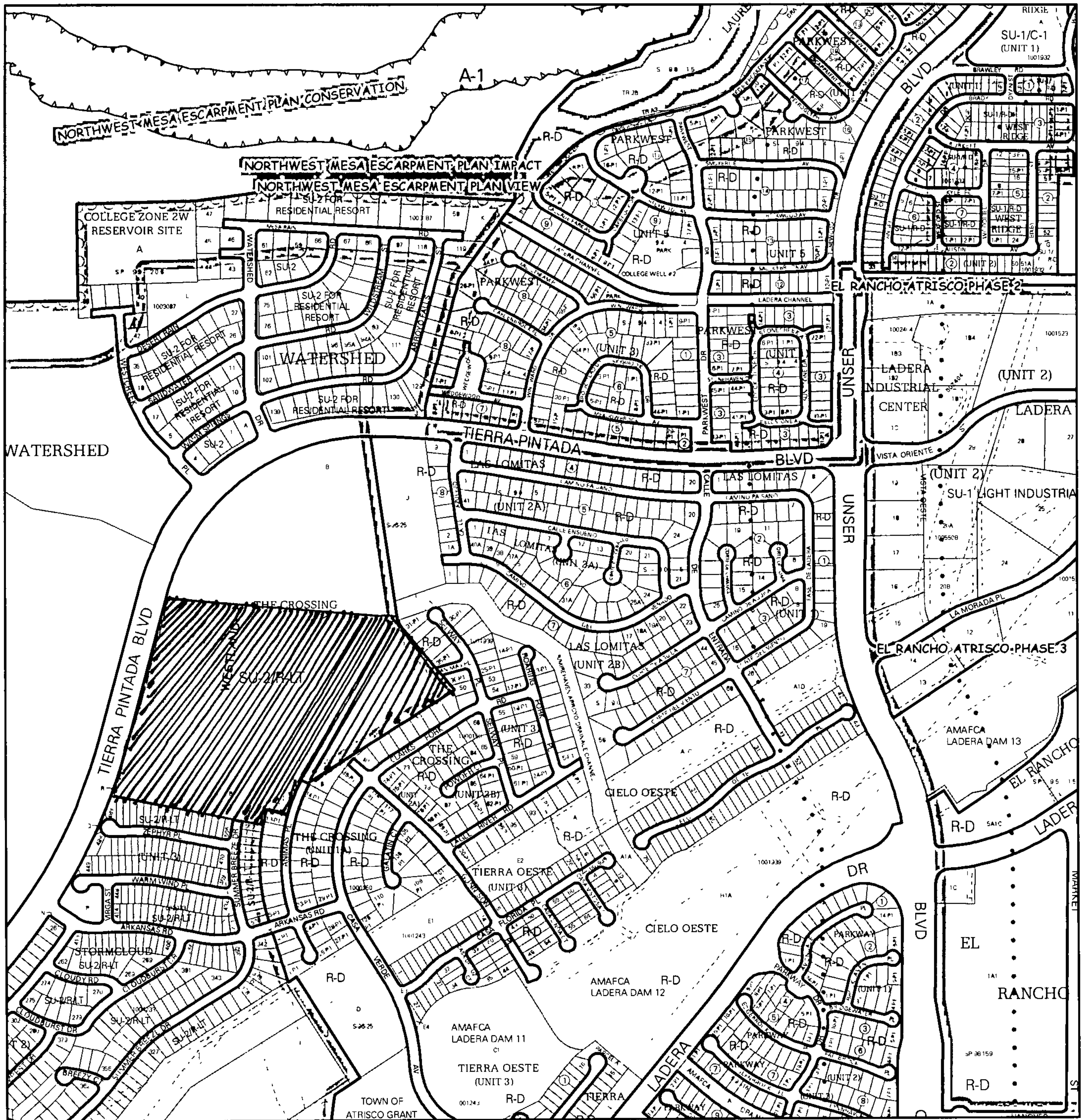
Form revised October 2007

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Application case numbers  
 13DRB-70547

 5-14-13  
 Planner signature / date  
 Project # 1005029





For more current information and details visit <http://www.cabq.gov/gis>

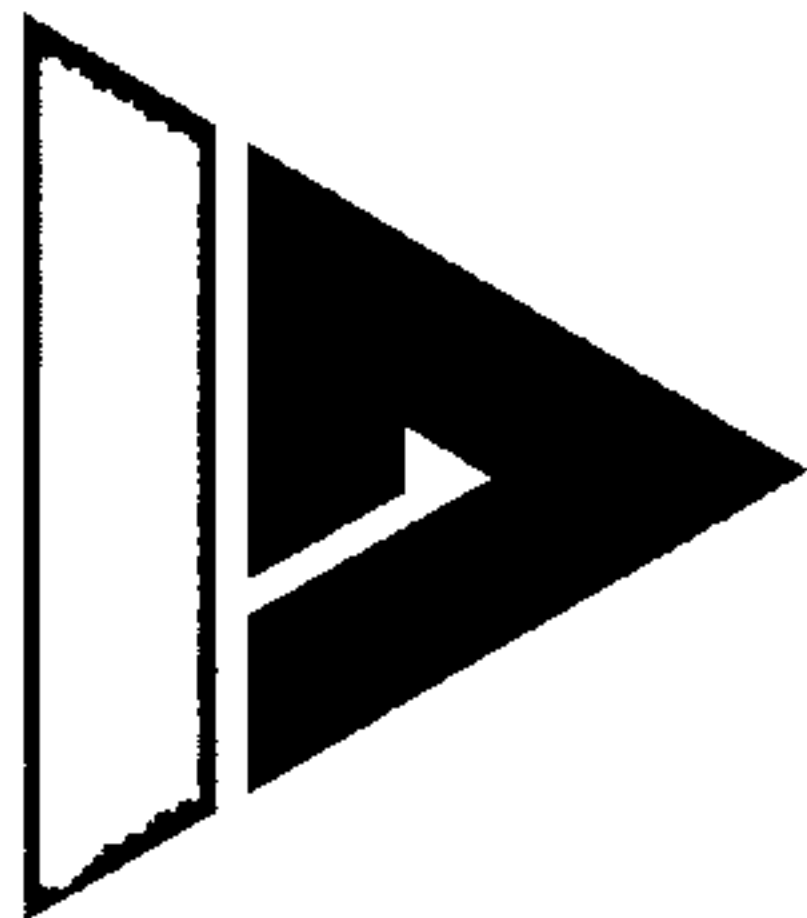
Map amended through: 4/2/2012

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**H-09-Z**

Selected Symbols


0 750 1 500 Feet



# Isaacson & Arfman, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS · Fred C. Arfman, PE · Åsa Nilsson-Weber, PE*

May 7, 2013

Mr. Jack Cloud  
DRB Chair  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87103

**RE: Stormcloud Subdivision, Unit 4  
(Existing Legal: Tracts B & J, The Crossing and Tract R, Stormcloud Unit 3)  
Zone Atlas Map: H-9  
DRB Project No. 1005029**

Dear Mr. Cloud:

Isaacson & Arfman, acting as agents for the Owner of the above referenced site, is submitting a request for approval of final plat and an amendment to the infrastructure list.

The site is located east and south of Tierra Pintada Blvd, NW and west of Unser Blvd, NW—see attached zone atlas map. The amendment to the infrastructure list includes replacing the concrete drop structure and riprap items with a shotcrete-lined channel item.

Please call me at 268-8828 if you have questions regarding this submittal.

Thank you.

Sincerely,  
**ISAACSON & ARFMAN, P.A.**

Åsa Nilsson-Weber, P.E.

Attachments



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
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- Administrative Amendment/Approval (AA)
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- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

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**APPLICATION INFORMATION:**

Professional/Agent (if any): Isaacson & Arfman, P.A. PHONE: 268-8828

ADDRESS: 128 Monroe Street NE FAX: \_\_\_\_\_

CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: asaw@iacivil.com

APPLICANT: Western Albuquerque Land Holdings, LLC PHONE: (602) 427-4064

ADDRESS: c/o Garrett Development Corporation FAX: \_\_\_\_\_

ADDRESS: 6991 East Camelback Road, Suite B-297

CITY: Scottsdale STATE AZ ZIP 85251 E-MAIL: \_\_\_\_\_

Proprietary interest in site: Owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Approval of Amendment to Infrastructure List

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tracts B & J, The Crossing and Tract R Block: \_\_\_\_\_ Unit: 3

Subdiv/Addn/TBKA: Stormcloud (tbka Stormcloud Subdivision Unit 5)

Existing Zoning: SU-2/R-LT Proposed zoning: Same MRGCD Map No NA

Zone Atlas page(s): H-9 UPC Code: 1009059131190315 06 100905919825731507

1009059055138321 61

CASE HISTORY: 13DRB-70438; 13DRB-70478; 13DRB-70483; 13DRB-70495

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): 06DRB-01234;

06DRB-01235; 06DRB-01236; 06DRB-01045; 06DRB-01398; 09DRB-70371; 09DRB-70394; 10DRB-70258; 11DRB-70163

CASE INFORMATION: 12DRB-70043; 12DRB-70044; 12DRB-70045; 12DRB-70046; 12DRB-70047; 12DRB-70277

Within city limits?  Yes Within 1000FT of a landfill?  No

No. of existing lots: 3 No. of proposed lots: 87 & 12 Tracts Total site area (acres): 55.2416

LOCATION OF PROPERTY BY STREETS: On or Near: Tierra Pintada Blvd. NW

Between: West of Unser Blvd. NW and \_\_\_\_\_

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: 06/22/2011

SIGNATURE Asa Nilsson-Weber DATE 5/14/13

(Print Name) Asa Nilsson-Weber Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

13DRB - \_\_\_\_\_

\_\_\_\_\_ - \_\_\_\_\_

\_\_\_\_\_ - \_\_\_\_\_

\_\_\_\_\_ - \_\_\_\_\_

\_\_\_\_\_ - \_\_\_\_\_

\_\_\_\_\_ - \_\_\_\_\_

Hearing date May 22, 2013

Action

AIL

CMF

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

S.F.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Fees

\$ 50.00

\$ 20.00

\$ \_\_\_\_\_

\$ \_\_\_\_\_

\$ \_\_\_\_\_

Total

\$ 70.00

Vogel

5-14-13  
Staff signature & Date

Project # 1005029

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A **Bulk Land Variance** requires application on FORM -V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Your attendance is required.**
  - Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** **Your attendance is required.**
  - Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
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**Extension of preliminary plat approval expires after one year.**

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** **Your attendance is required.**
  - Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
  - Design elevations & cross sections of perimeter walls **3 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - Copy of recorded SIA **See Attached E-Mail**
  - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
  - List any original and/or related file numbers on the cover application
  - DXF file and hard copy of final plat data for AGIS is required. **Forthcoming**

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** **Your attendance is required.**
  - 5 Acres or more: Certificate of No Effect or Approval
  - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
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**INFRASTRUCTURE LIST**

- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** **Your attendance is required.**

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I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Asa Nilsson-Weber  
Asa Nilsson-Weber Applicant name (print)  
 Applicant signature / date 5/14/13



Form revised October 2007

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 13DRB- \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

K. [Signature] 5-14-13  
 Planner signature / date  
 Project # 1005029



Supplemental Form (SF)

<b>SUBDIVISION</b>	<b>S</b>	<b>Z</b>	<b>ZONING &amp; PLANNING</b>
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input checked="" type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	<b>V</b>		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>		<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
<input type="checkbox"/> for Subdivision			<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd Regulations
<input type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment/Approval (AA)	<b>D</b>		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert of Appropriateness (LUCC)	<b>L A</b>		<b>APPEAL / PROTEST of...</b>
<b>STORM DRAINAGE (Form D)</b>			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

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 Between: West of Unser Blvd. NW and \_\_\_\_\_

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT) . Review Date: 06/22/2011

SIGNATURE Asa Nilsson-Weber DATE 5/14/13  
 (Print Name) Asa Nilsson-Weber Applicant  Agent

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>13DRB</u>	<u>ALL</u>		<u>\$ 50.00</u>
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<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H D P. density bonus				Total
<input type="checkbox"/> F.H D P. fee rebate				<u>\$ 70.00</u>

Hearing date May 22, 2013

Vogt 5-14-13  
 Staff signature & Date

Project # 1005029

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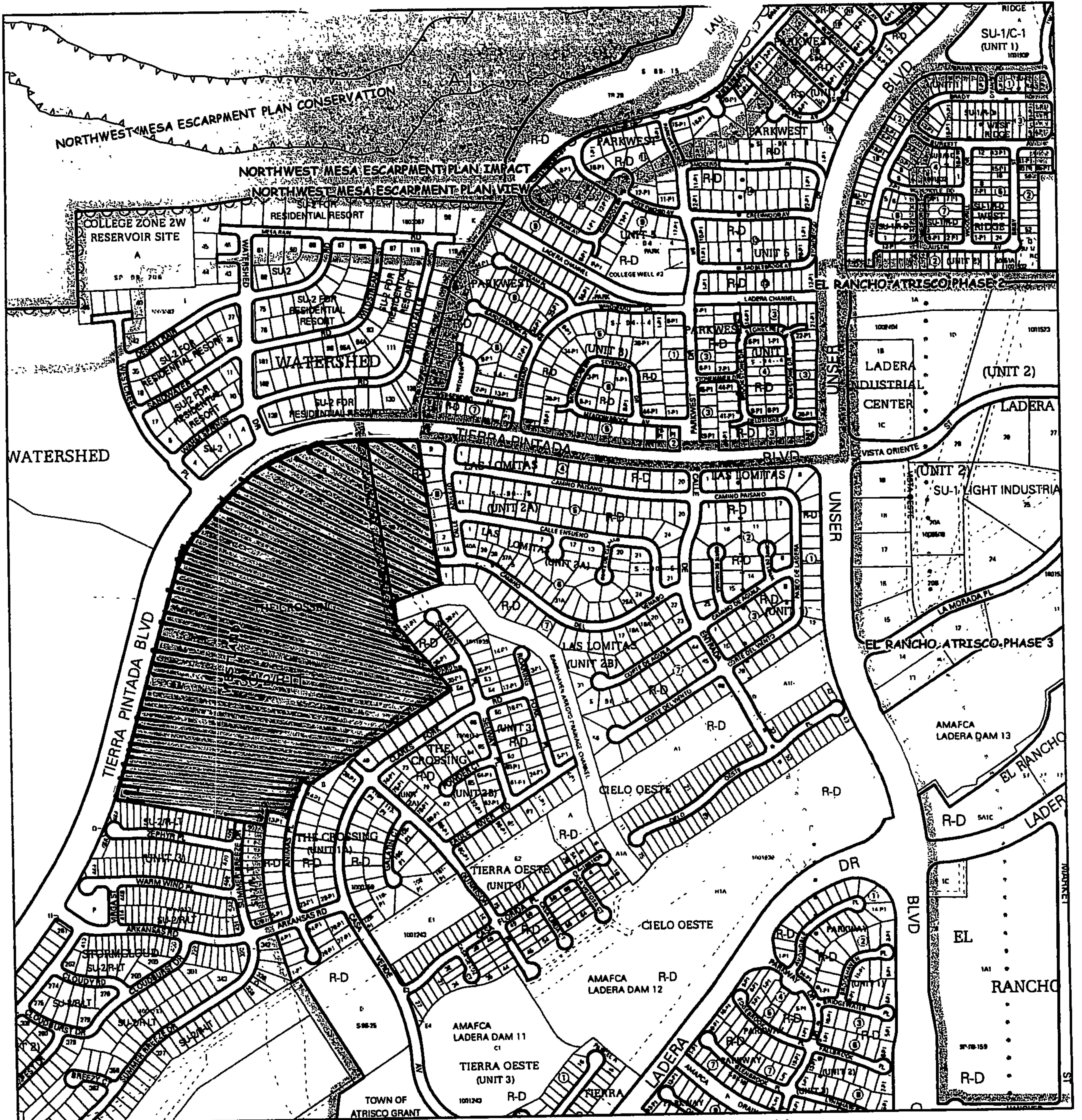
Åsa Nilsson-Weber  
*Åsa Nilsson-Weber* 5/14/13  
 Applicant name (print) / date



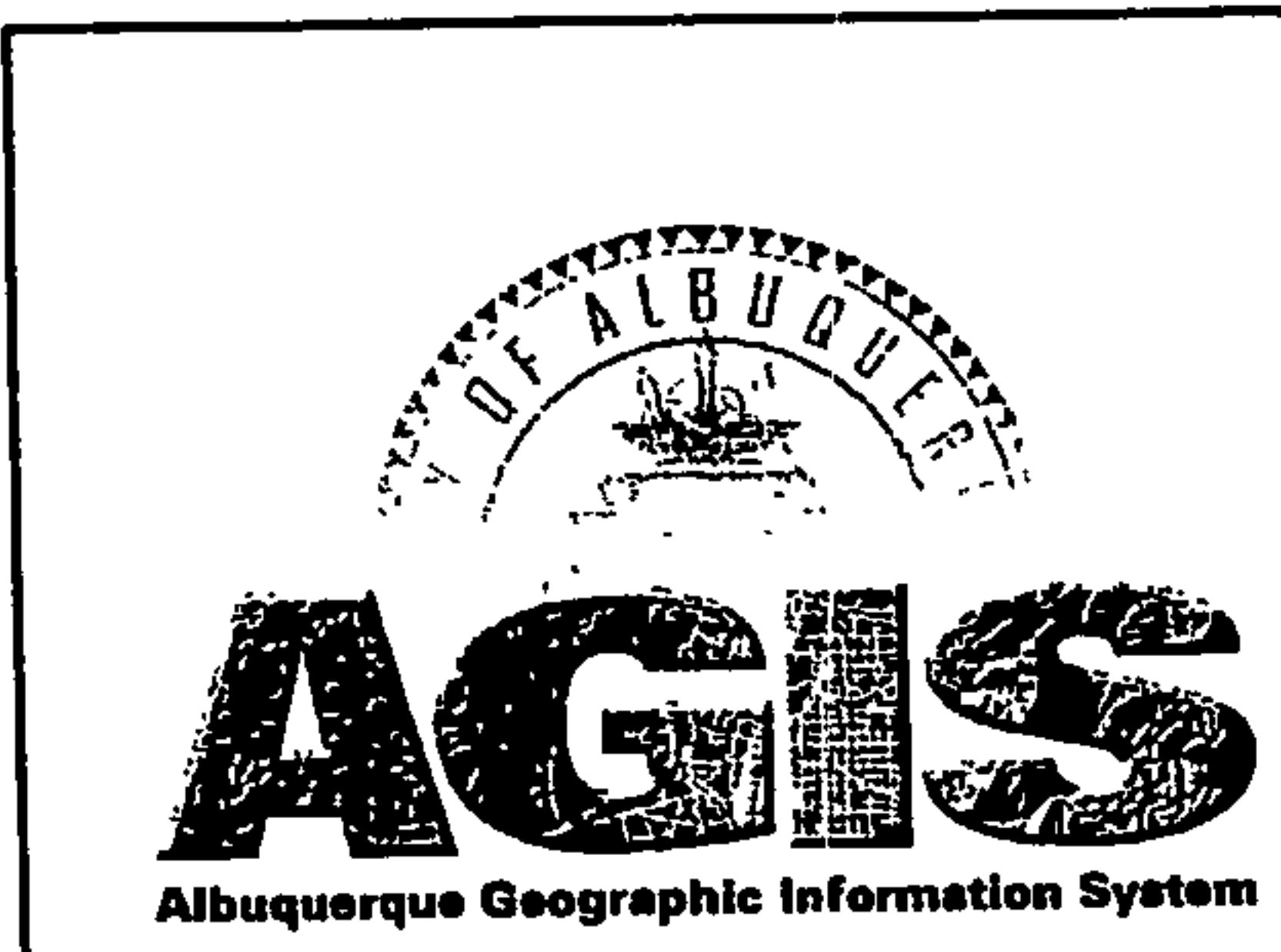
Form revised October 2007

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- Application case numbers  
 13DRB- \_\_\_\_\_

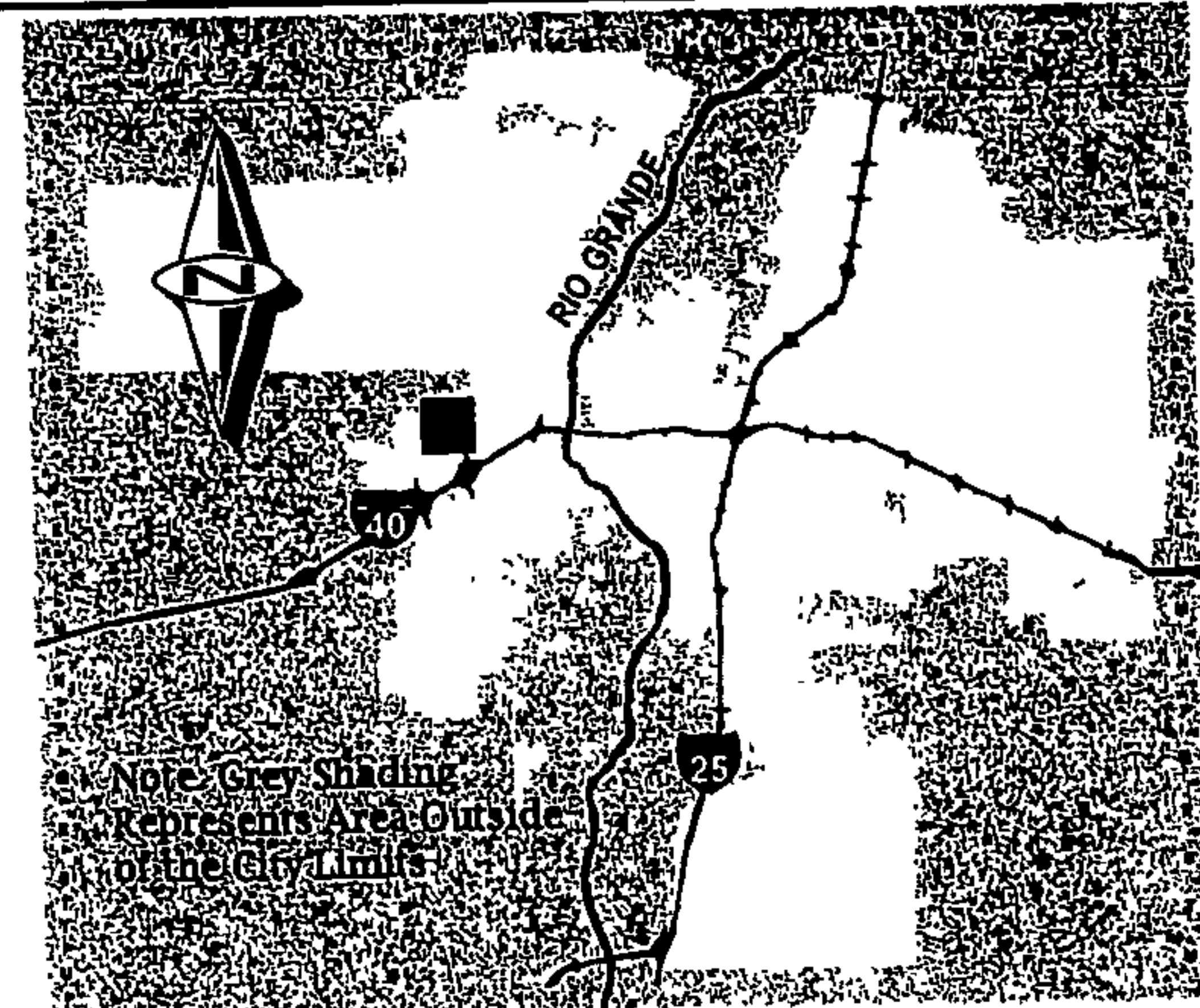
*[Signature]* 5-14-13  
 Planner signature / date  
 Project # 1005029



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 1/24/2011



Note: Grey Shading Represents Area Outside of the City Limits

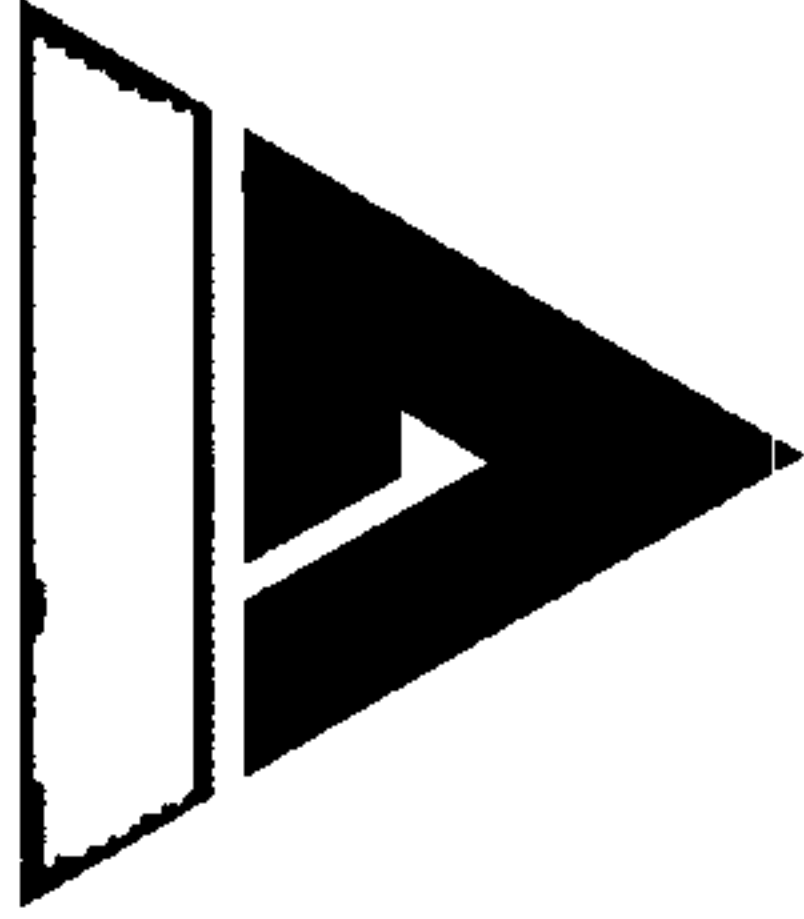
Zone Atlas Page:

**H-09-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





# Isaacson & Arfman, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS · Fred C. Arfman, PE · Åsa Nilsson-Weber, PE*

May 7, 2013

Mr. Jack Cloud  
DRB Chair  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87103

**RE: Stormcloud Subdivision, Unit 5  
(Existing Legal: Tracts B & J, The Crossing and Tract R, Stormcloud Unit 3)  
Zone Atlas Map: H-9  
DRB Project No. 1005029**

Dear Mr. Cloud:

Isaacson & Arfman, acting as agents for the Owner of the above referenced site, is submitting a request for approval of an amendment to the infrastructure list.

The site is located east and south of Tierra Pintada Blvd, NW and west of Unser Blvd, NW—see attached zone atlas map. The amendment to the infrastructure list includes replacing the concrete drop structure and riprap items with a shotcrete-lined channel item.

Please call me at 268-8828 if you have questions regarding this submittal.

Thank you.

Sincerely,  
**ISAACSON & ARFMAN, P.A.**

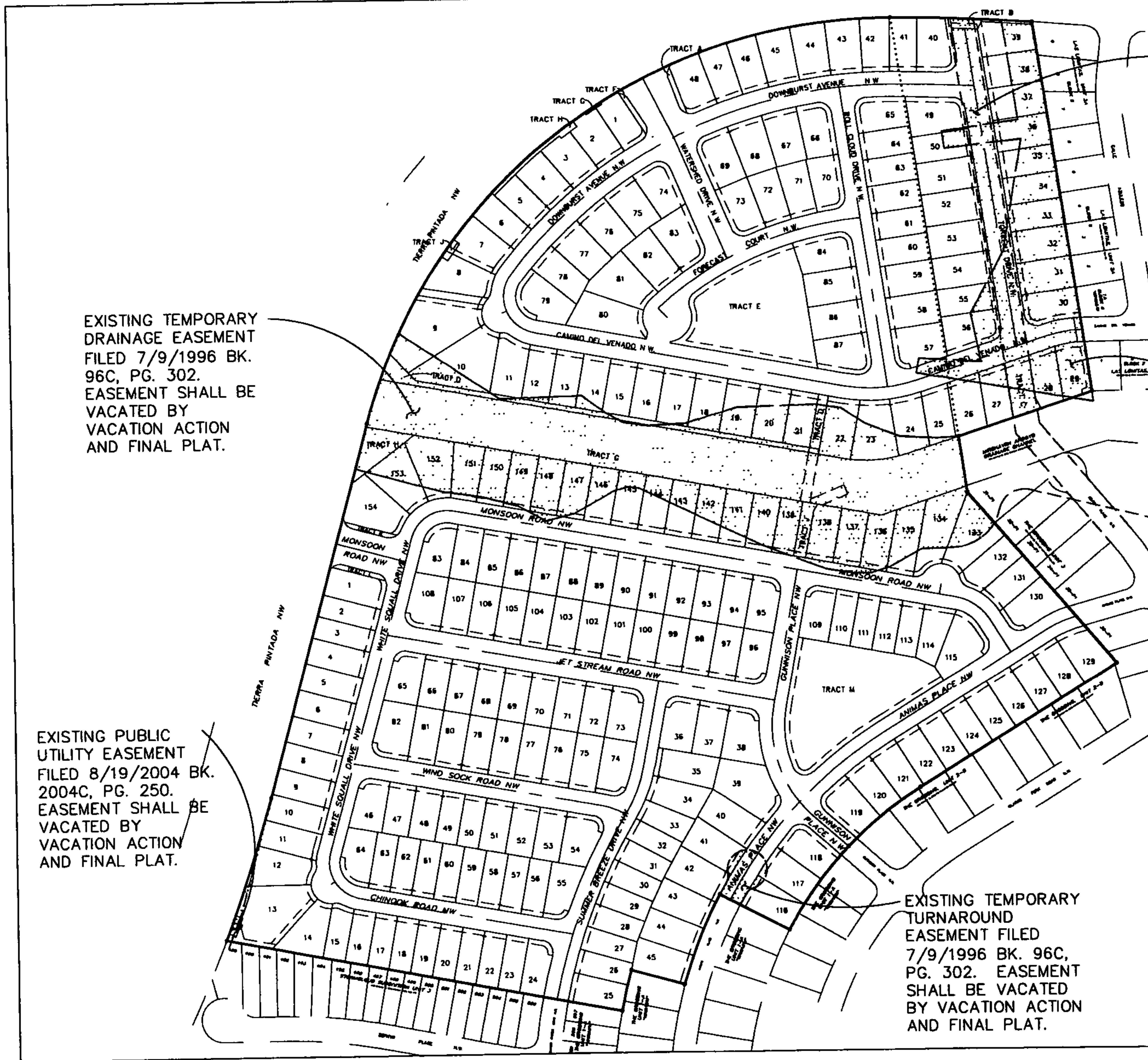
Åsa Nilsson-Weber, P.E.

Attachments



MAY 22, 2013

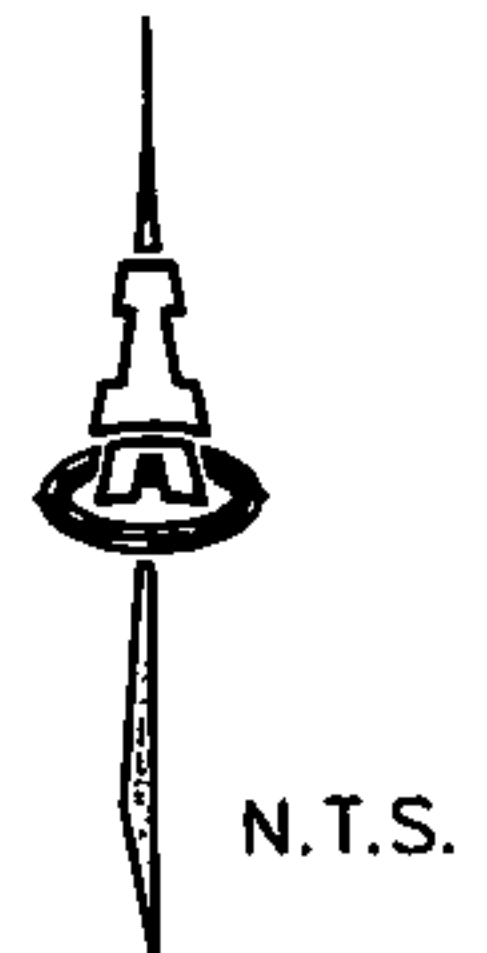
**PROJECT #: 1005029**  
**DATE: 4-2-14 (VPE)**



EXISTING 50' PUBLIC WATERLINE EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.

EXISTING TEMPORARY DRAINAGE EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.

EXISTING TEMPORARY DRAINAGE EASEMENT FILED 3/23/1993 BK. 93-7, PGS. 2236-2243, AND ALSO SHOWN ON PLAT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.




EXISTING PUBLIC UTILITY EASEMENT FILED 8/19/2004 BK. 2004C, PG. 250. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.

EXISTING TEMPORARY TURNAROUND EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT SHALL BE VACATED BY VACATION ACTION AND FINAL PLAT.

**STORM CLOUD UNITS 4 AND 5 EASEMENT VACATION EXHIBIT**

DRB #1005029



**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 [www.iacivil.com](http://www.iacivil.com)  
 1822 C-701-ESMNT VACT.dwg Mar 12, 2013

PROJECT#: 1008029  
 DATE: 4-2-14  
 APP #: 14-70059  
 (NPE)

96C-302

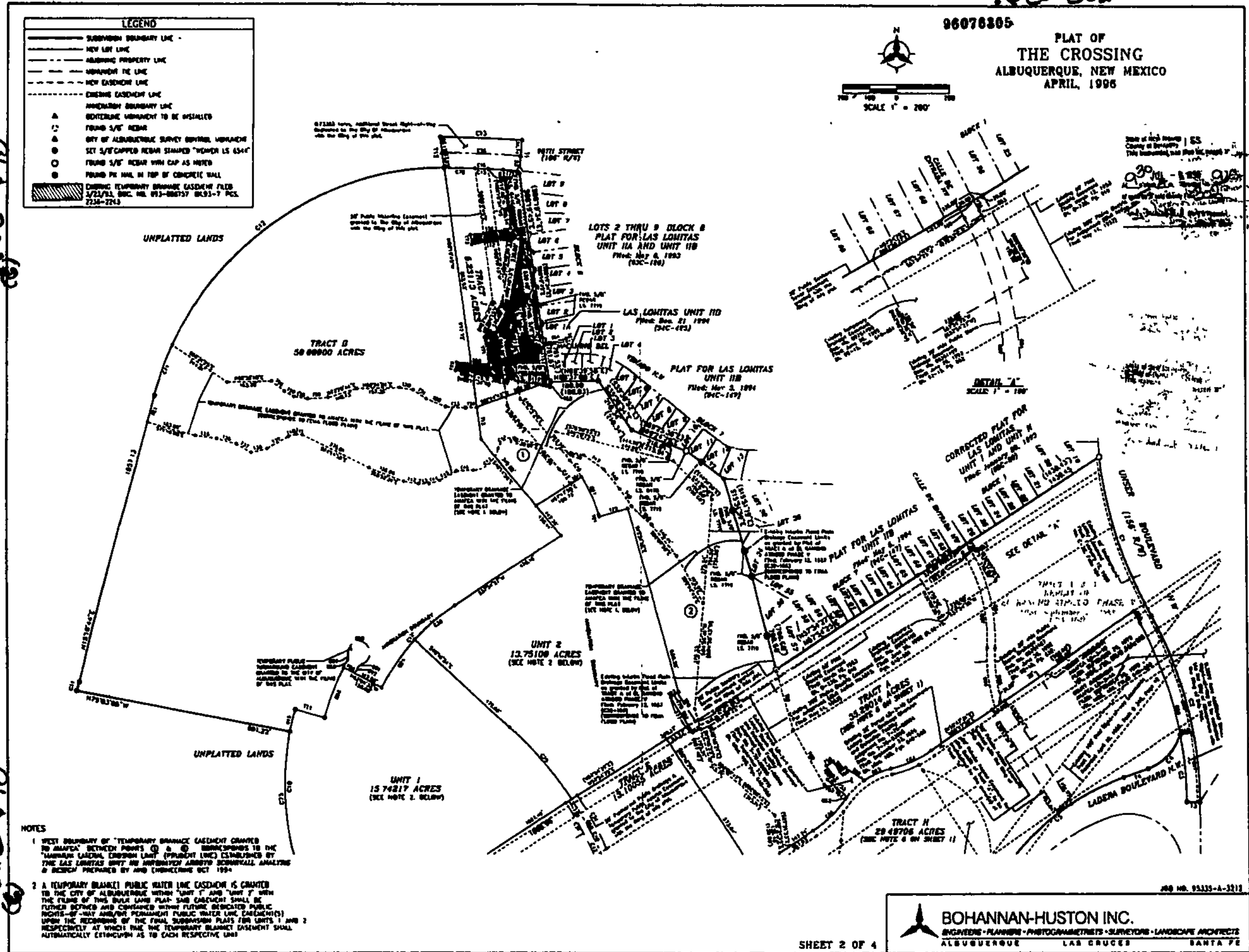
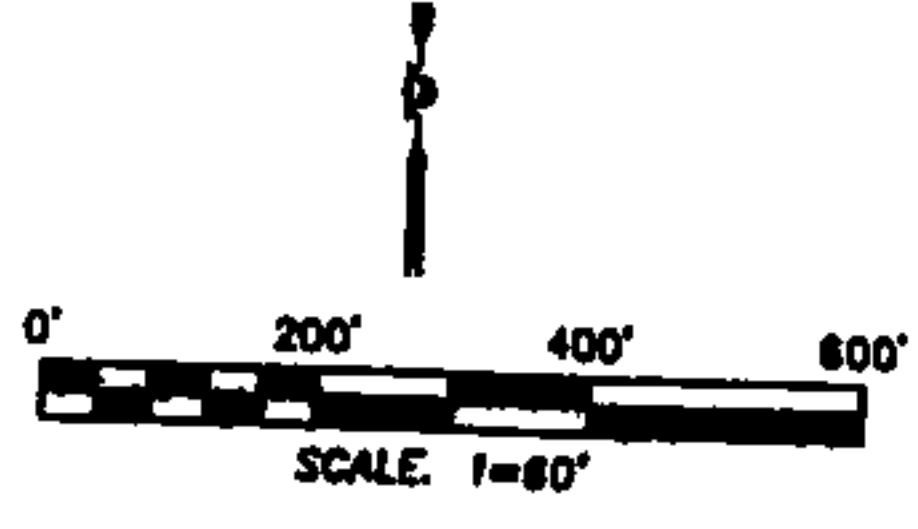


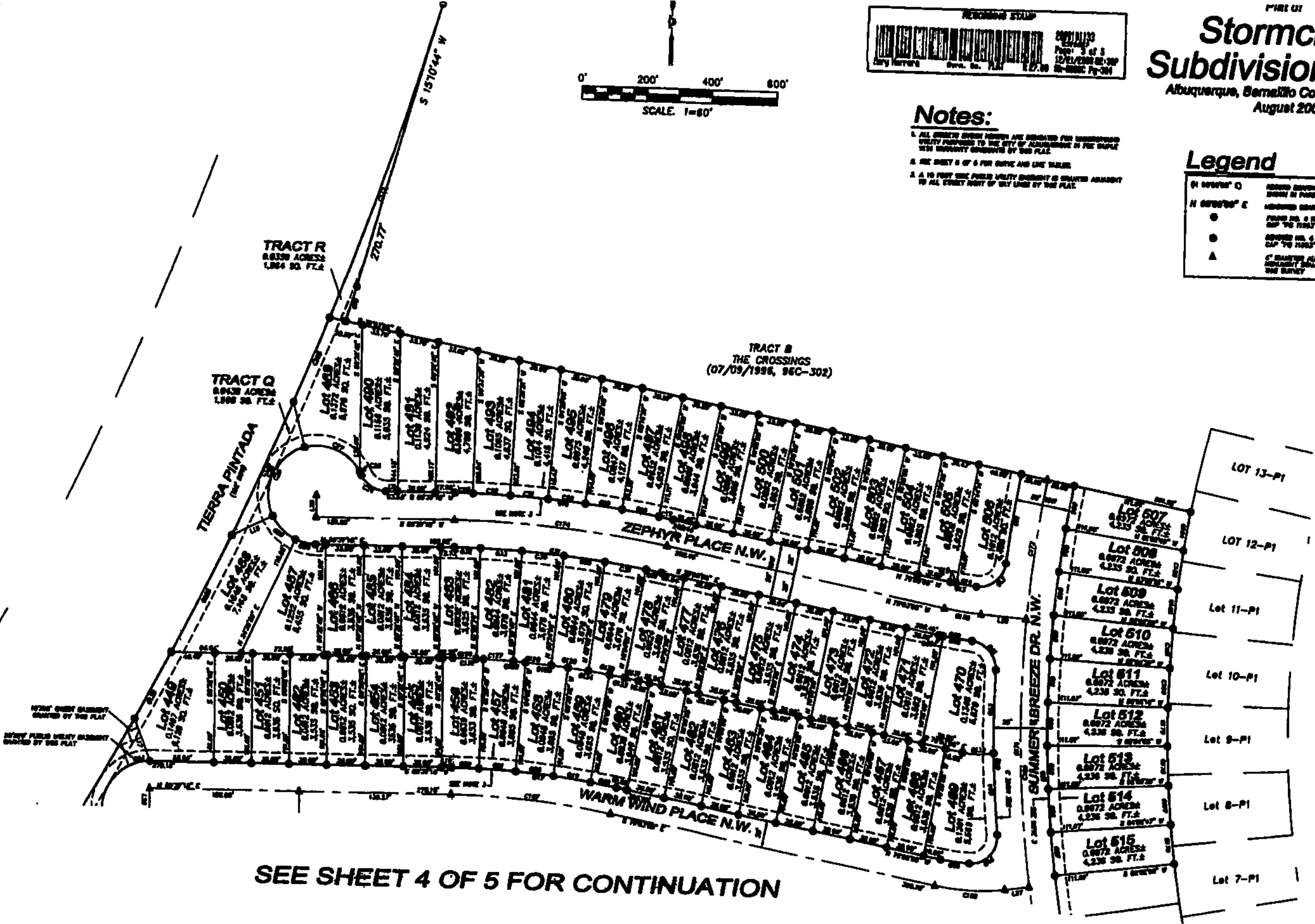
FIGURE 01  
**Stormcloud Subdivision Unit 3**  
 Albuquerque, Bernalillo County, New Mexico  
 August 2008



**Notes:**  
 1. ALL LOT AREA AND PERCENTAGE ARE INDICATED FOR INFORMATION ONLY. PROPERTY TO THE CITY OF ALBUQUERQUE IN THE MAPS WITH VARIATION THEREIN BY THE FILE.  
 2. SEE SHEET 4 OF 5 FOR DRIVE AND LOT TABLES.  
 3. A 10 FOOT WIDE PUBLIC UTILITY EASEMENT IS SHOWN ADJACENT TO ALL STREET FRONT OF LOT LINED BY THIS PLAN.

**Legend**

□	ADJACENT LOT
○	ADJACENT LOT
●	ADJACENT LOT
▲	ADJACENT LOT



SEE SHEET 4 OF 5 FOR CONTINUATION

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELocate, LEASE, REPAIR, MAINTAIN, MODIFY, ADJUST, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH

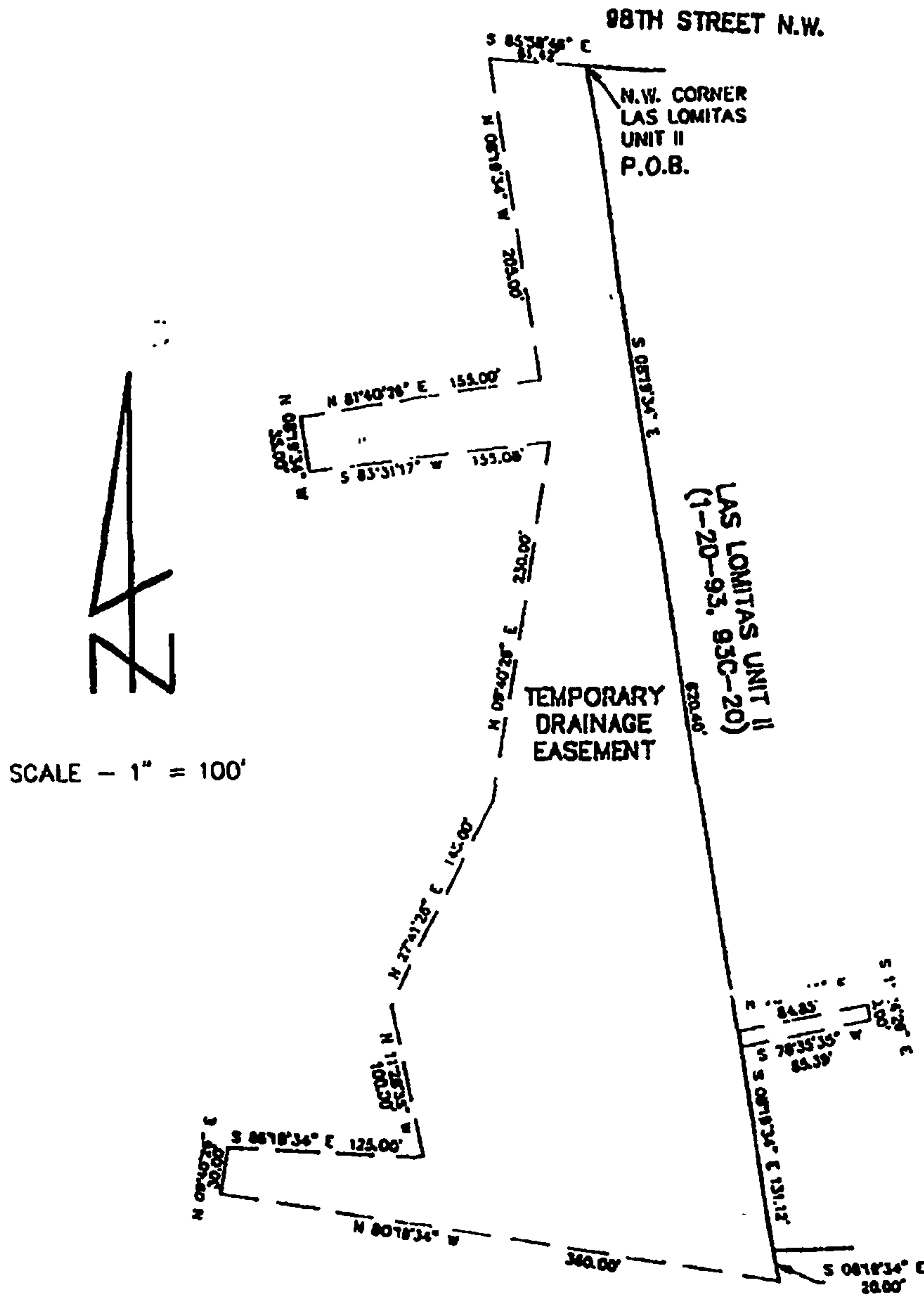


EXHIBIT B

0002243

Land situated within projected Section 9, Township 10 North, Range 2 East, New Mexico Principal Meridian, within the Town of Atrisco Grant, City of Albuquerque, Bernalillo County, New Mexico, being within unplatted Lands of Westland Development Company, Inc. and Las Conchas Unit II as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 20, 1993 in Volume 93C, Folio 20.

EXHIBIT C

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

53 MAR 23 11:10:19

93-7 2236-2243

