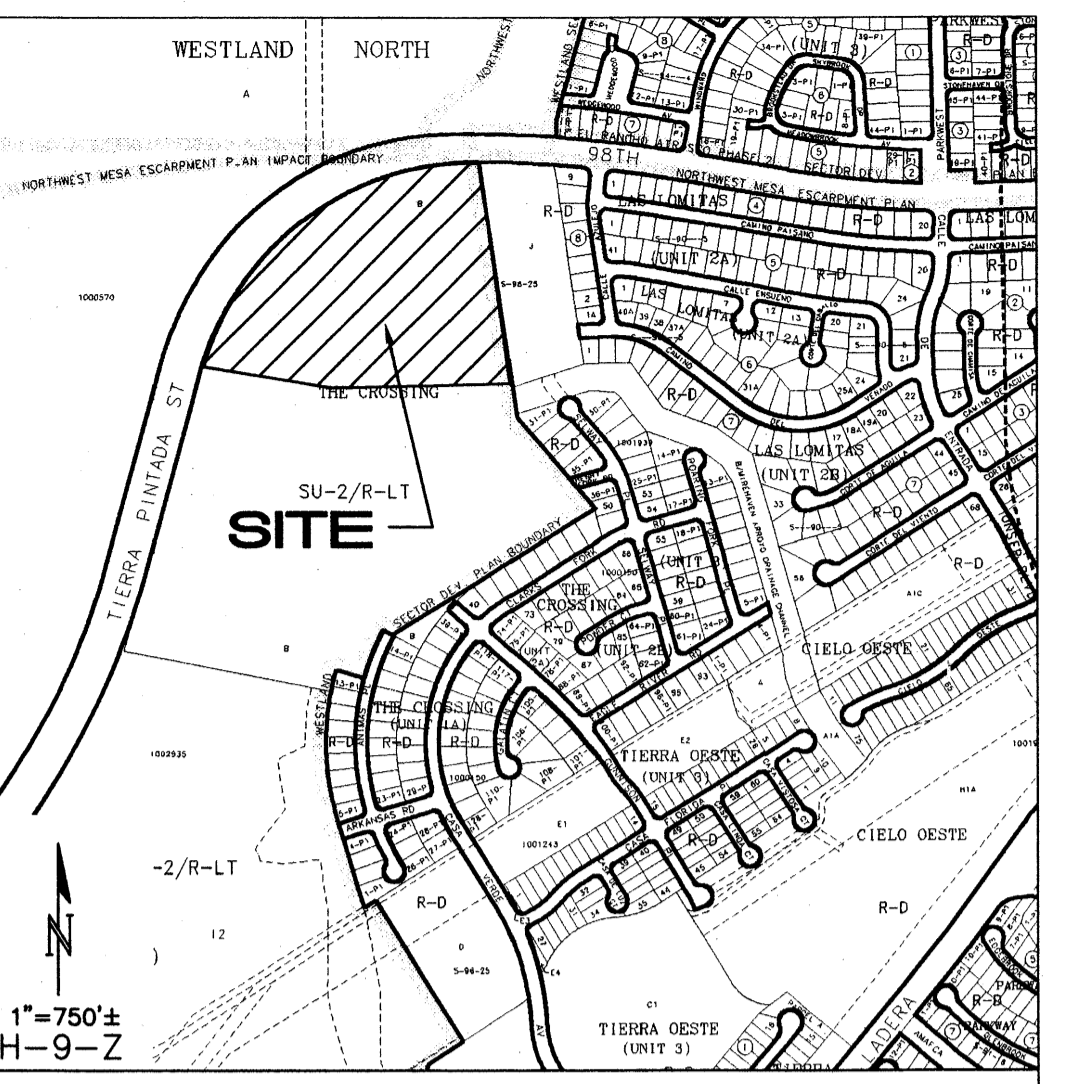
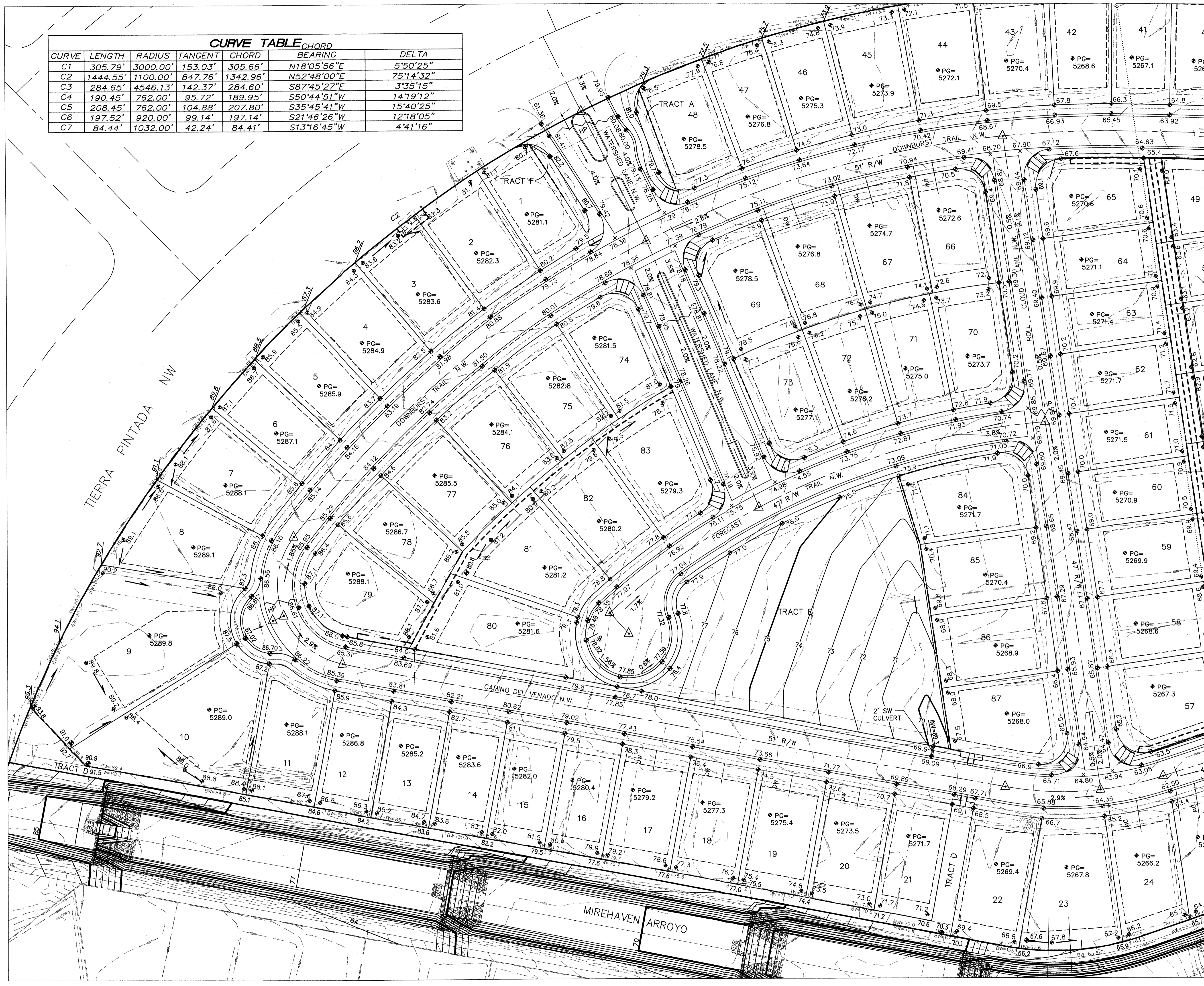


CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	305.79'	3000.00'	153.03'	305.66'	N18°05'56"E	5°50'25"
C2	1444.55'	1100.00'	847.76'	1342.96'	N52°48'00"E	75°14'32"
C3	284.65'	4546.13'	142.37'	284.60'	S87°45'27"E	3°35'15"
C4	190.45'	762.00'	95.72'	189.95'	S50°44'51"W	14°19'12"
C5	208.45'	762.00'	104.88'	207.80'	S35°45'41"W	15°40'25"
C6	197.52'	920.00'	99.14'	197.14'	S21°46'26"W	12°18'05"
C7	84.44'	1032.00'	42.24'	84.41'	S13°16'45"W	4°41'16"



**PROJECT NOTES:**

EXST LEGAL: TRACTS B & J, THE CROSSINGS  
 BENCHMARK: ACS MONUMENT 4-H9 ELEVATION: 5209.315 (NAVD 1988) UNIT 5=21.4 AC.  
 AREA:  
 ENGINEER: ASA NILSSON-WEBER ISAACSON & ARFMAN, P.A.  
 SURVEYOR: RUSTY HUGG SURVTEK, INC.

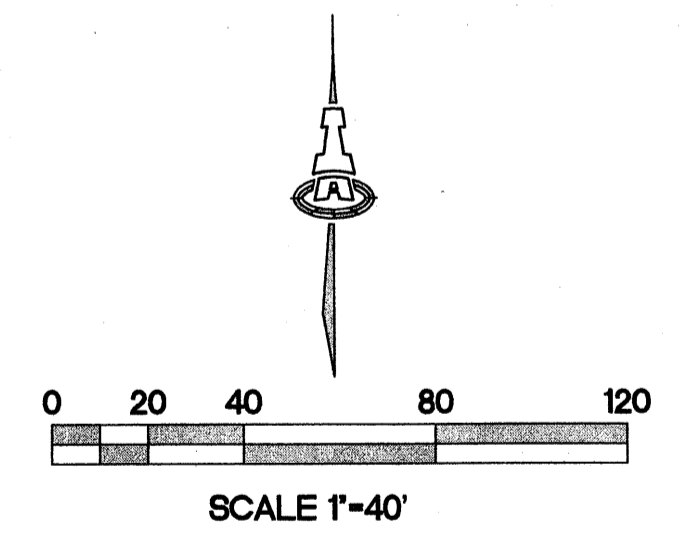
FLOOD PLAIN: THE SITE LIES WITHIN ZONE "X", ZONE "AO" AND ZONE "AE" PER FIRM MAP 35001C0326G.

**NOTES:**

- STREET GRADES ARE AT FLOWLINE.
- SEE SHEETS 4-6 FOR RETAINING WALL GRADES AND SECTIONS.

**LEGEND**

	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED ELEVATION
	PAD GRADE ELEVATION
	STANDARD (STD) CURB & GUTTER
	MOUNTABLE (MTBL) CURB & GUTTER
	STORM DRAIN W/ MANHOLE
	STORM DRAIN INLET
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	RECOMMENDED DRIVEWAY LOCATION



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**STORM CLOUD SUBDIVISION, UNIT 5  
 GRADING & DRAINAGE PLAN  
 WALH, LLC.**

**GRADING AND DRAINAGE PLAN**

Date:	NOV. 2011	No. Revisions:	1	Date:		Job No.:	1822
Drawn By:	ANW	Checked By:		Page:		<b>PAGE</b>	
Ckd By:						<b>SH.1 OF 6</b>	



SEE SHEET 1

Albuquerque Control Survey Monument "3-H9"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83) as published  
North= 1,496,938,322 feet  
East= 1,496,470,170 feet  
Elevation= 5,209.519 (NAVD 1988)  
Delta Alpha= -00'16"36.72"  
Ground to Grid Factor= 0.999678486

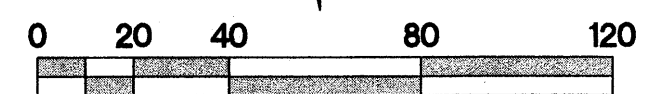
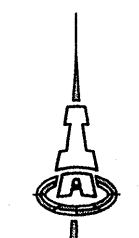


NOTES:

1. STREET GRADES ARE AT FLOWLINE.
2. SEE SHEETS 4-6 FOR RETAINING WALL GRADES AND SECTIONS.

LEGEND

- 5270 --- EXISTING CONTOUR
- 52 --- PROPOSED CONTOUR
- ◆ 78.3 PROPOSED ELEVATION
- PG=5272.1 PAD GRADE ELEVATION
- ==== STANDARD (STD) CURB & GUTTER
- ==== MOUNTABLE (MTBL) CURB & GUTTER
- STORM DRAIN W/ MANHOLE
- STORM DRAIN INLET
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- DW | RECOMMENDED DRIVEWAY LOCATION



SCALE 1"=40'

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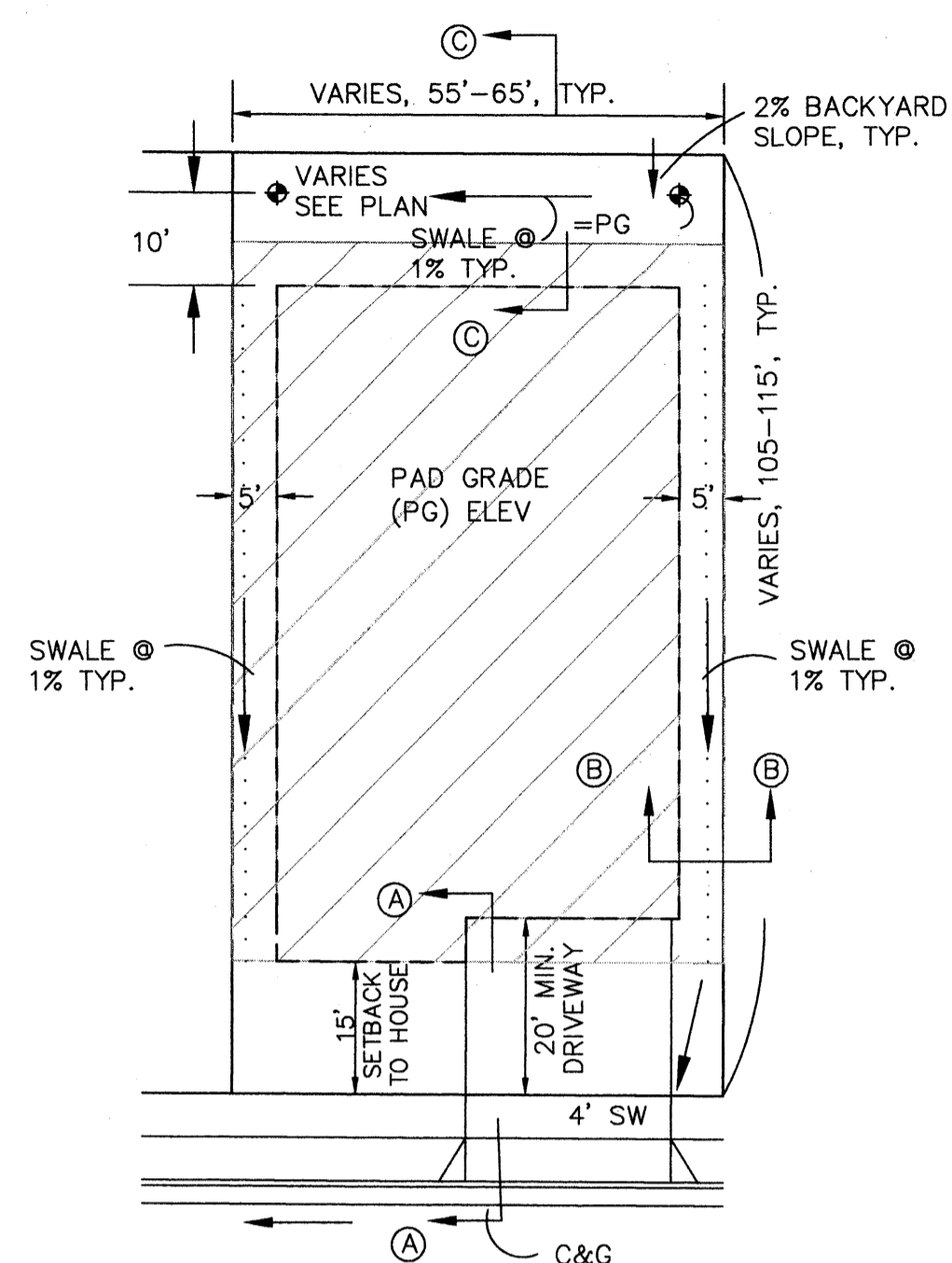
1822 CG-101.dwg Feb 09, 2012

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**STORM CLOUD SUBDIVISION, UNIT 5  
GRADING & DRAINAGE PLAN  
WALH, LLC.**

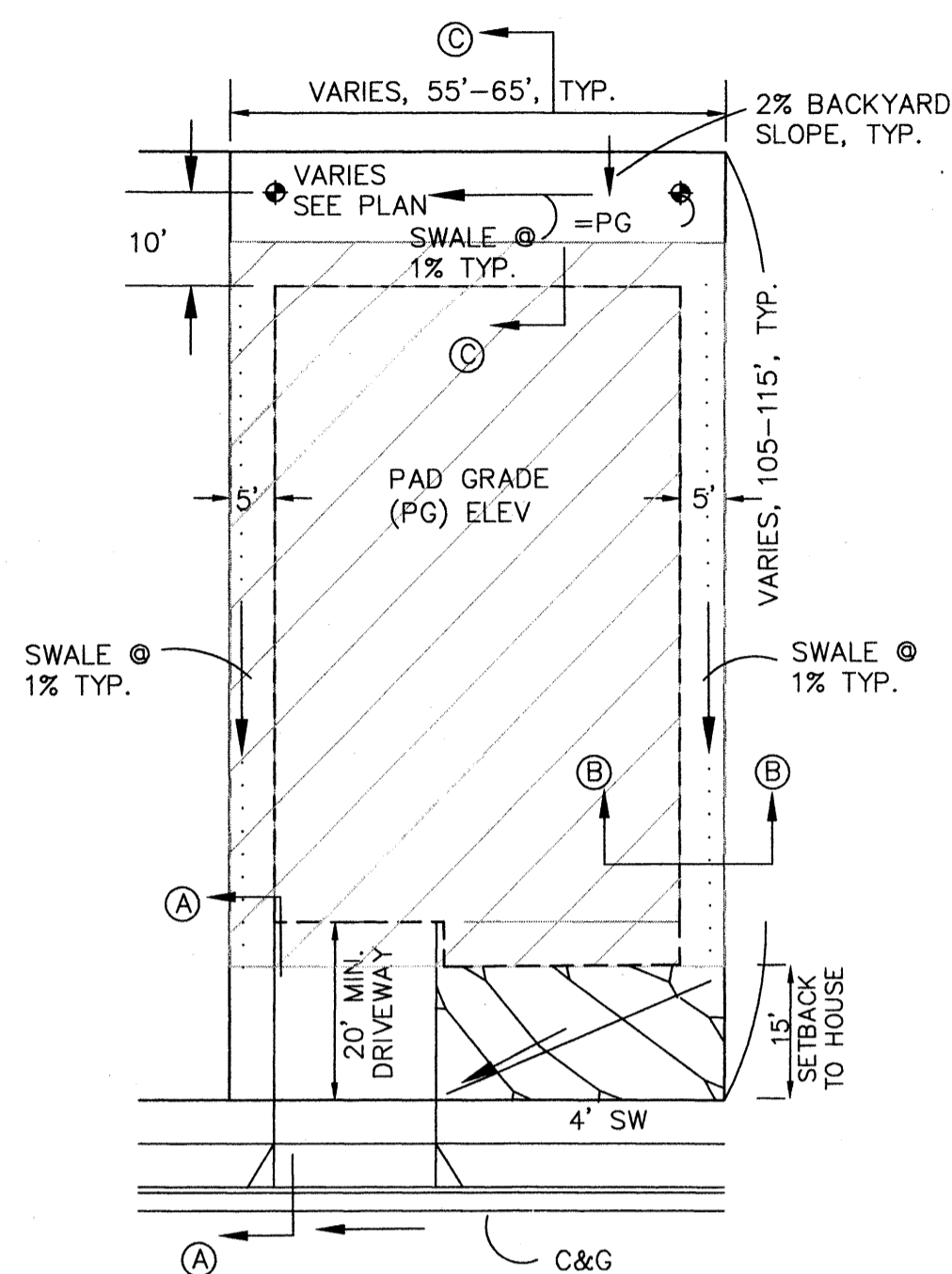
**GRADING AND DRAINAGE PLAN**

Date:	No. Revision	Date	Job No.
NOV. 2011			1822
Drawn By:			PAGE
ANW			
Ckd By:			SH 2 OF 6



**TYPICAL LOT GRADING DETAIL**

SCALE: 1"=20' NOTE: 10' SIDERYARD SETBACK ADJACENT TO STREETS.

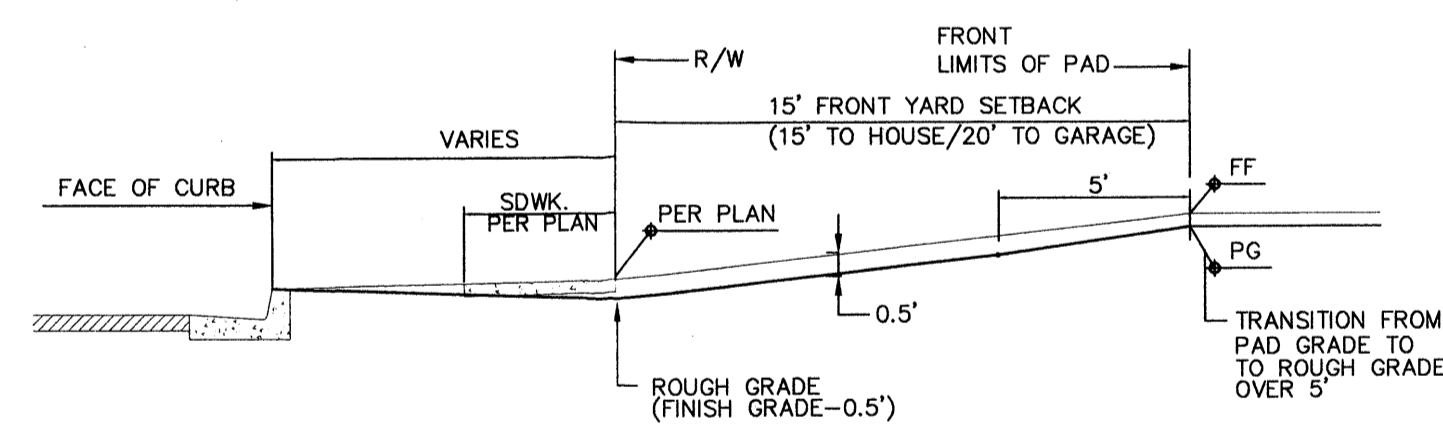


**TYPICAL LOT GRADING DETAIL  
DRIVEWAY ON LOW SIDE**

SCALE: 1"=20' NOTE: 10' SIDERYARD SETBACK ADJACENT TO STREETS.

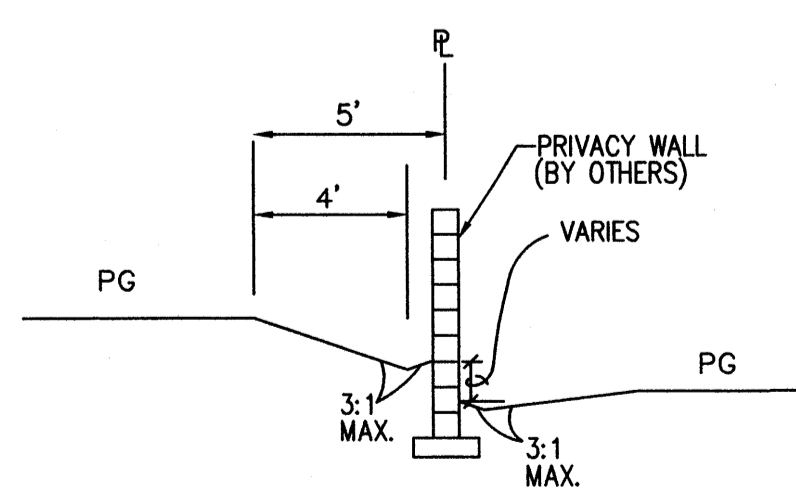
**DRIVEWAY NOTE:**

RECOMMENDED DRIVEWAY LOCATIONS ARE SHOWN ON PLANS WHERE STEEP STREET SLOPES OCCUR TO MINIMIZE DRIVEWAY SLOPES AND TO MINIMIZE RETAINING WALL HEIGHTS. WHERE DRIVEWAYS ARE SHOWN ON LOW SIDE, DRIVEWAYS SHALL BE CONSTRUCTED IN THIS LOCATION TO ENSURE A MIN. 1% SIDERYARD SWALE SLOPE.



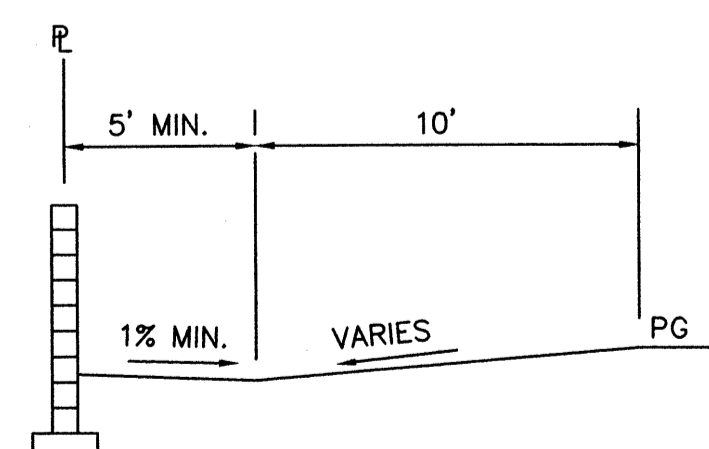
**SECTION A-A  
FRONT YARD GRADING**

SCALE: 1"=5'-0"



**SECTION B-B  
TYPICAL SIDERYARD GRADING**

SCALE: 1"=5'



**SECTION C-C  
TYPICAL BACKYARD GRADING**

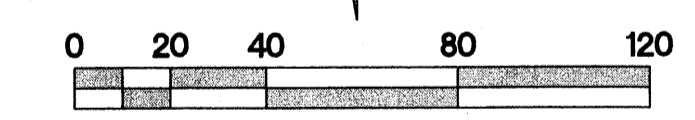
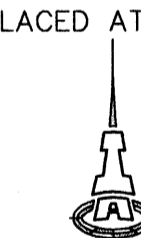
SCALE: 1"=5'

**OVEREXCAVATION NOTE:**

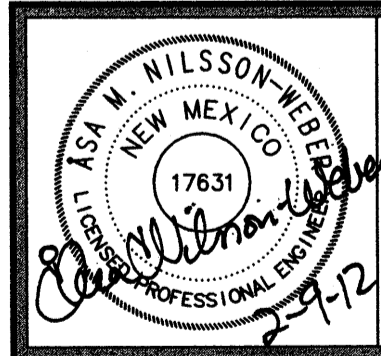
THREE FEET OF STRUCTURAL FILL SHALL BE PLACED ON BUILDING PADS PER THE GEOTECHNICAL REPORT BY VINYARD & ASSOCIATES, JUNE 6, 2006 (PROJECT #05-1-466).

**GRADING NOTES:**

- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT BY VINYARD & ASSOCIATES, JUNE 6, 2006 (PROJECT #05-1-466) AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED BY GEOTECHNICAL REPORT, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- PAD AND ROUGH GRADING ELEVATIONS SHALL CONFORM TO ELEVATIONS SHOWN ON PLANS LESS MATERIAL THICKNESS WITHIN A TOLERANCE OF 0.2± FEET.
- GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- FIVE (5) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATI.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ENGINEER AND VERIFY THE ENGINEER'S INTENT BEFORE PROCEEDING.
- TRANSITIONS TO EXISTING PAVEMENT GRADES SHALL BE SMOOTH AND LEVEL. ANY NEW PAVING SURFACE HOLDING WATER (BIRDBATH) SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S SOLE EXPENSE.
- SEE SITE DEMOLITION PLAN FOR ALL SITE DEMOLITION INFORMATION.



SCALE 1"=40'


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**STORM CLOUD SUBDIVISION, UNIT 5  
GRADING & DRAINAGE PLAN  
WALH, LLC.**

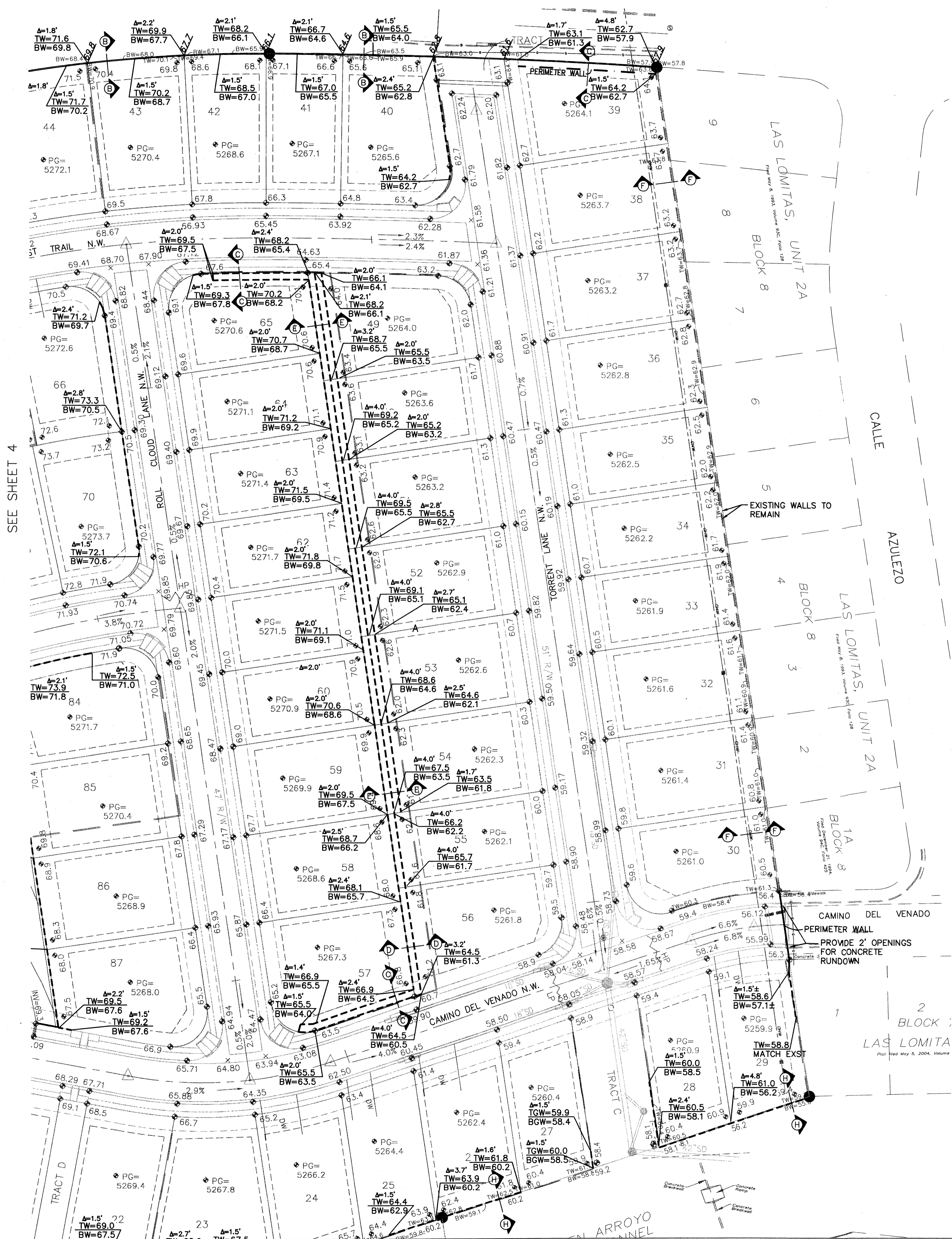
**GRADING DETAILS**

Date:	NOV. 2011	No. Revision:	Date:	Job No.	1822
Drawn By:	ANW			<b>PAGE</b>	
Ckd By:				<b>SH. 3 OF 6</b>	







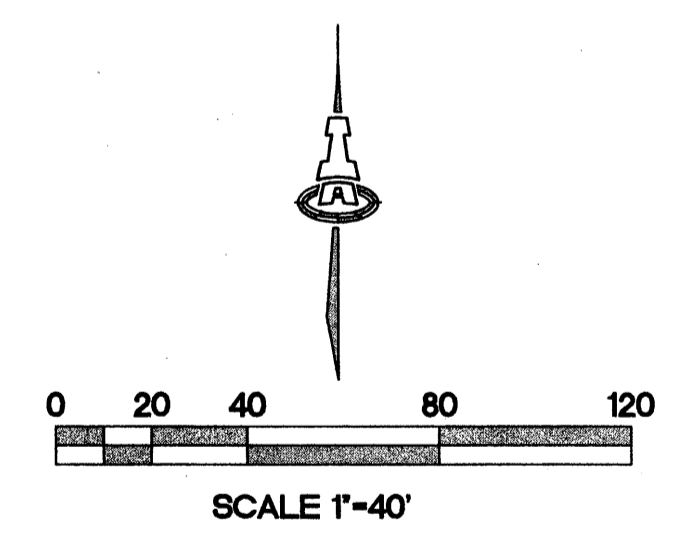


**GENERAL WALL NOTES:**

1. RETAINING WALL DESIGN BY OTHERS.
2. ALL EXISTING RETAINING WALLS AND PERIMETER WALLS SHALL BE REMOVED, UNLESS OTHERWISE NOTED.
3. SEE SHEET 6 FOR RETAINING WALL SECTIONS.

**LEGEND**

- EXISTING RETAINING WALL
- TW= EXISTING TOP/BOTTOM OF WALL
- BW=
- - - - PROPOSED RETAINING WALL
- - - - PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)
- TW= PROPOSED TOP/BOTTOM OF RETAINING WALL
- TGW= PROPOSED TOP/BOTTOM OF GARDEN RETAINING WALL
- BGW=
- Δ=2.7' PROPOSED RETAINING WALL HEIGHT



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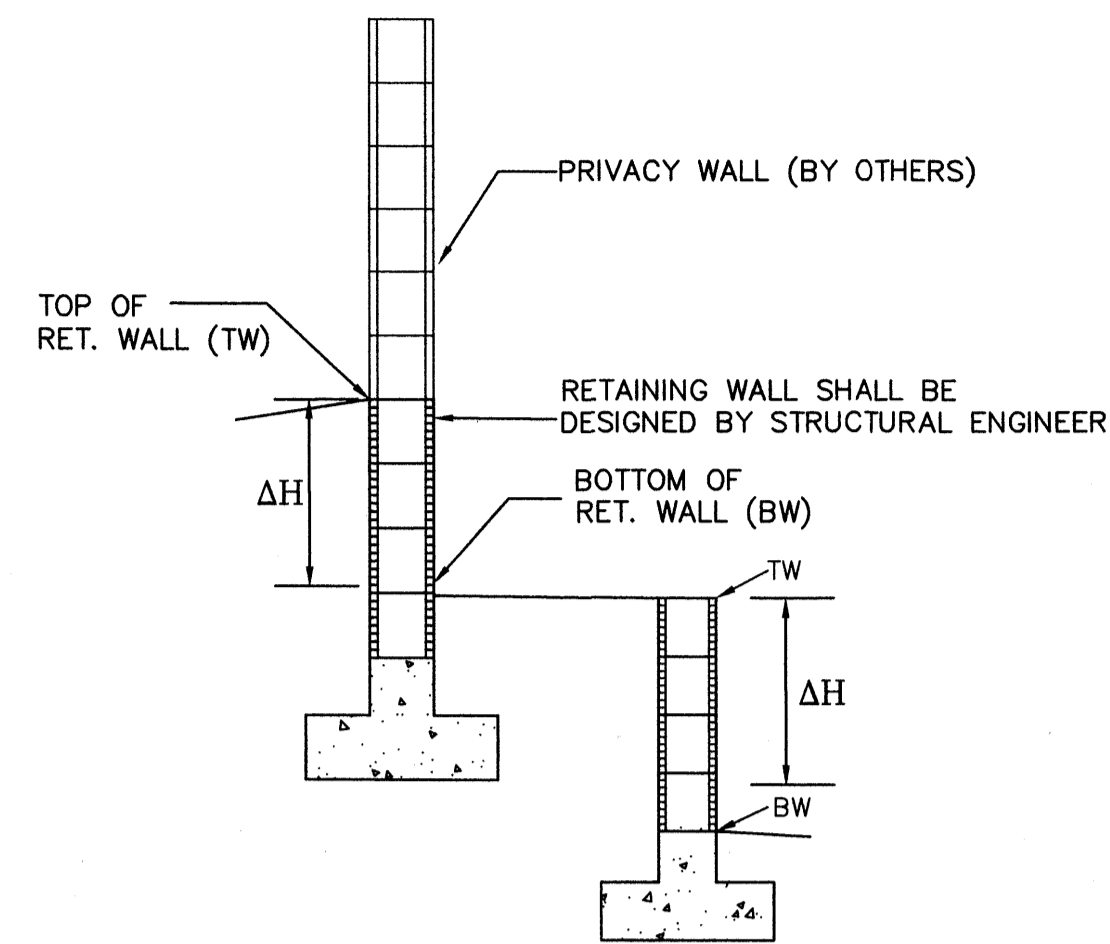
1822 CO-102.dwg Feb 09,2012

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**STORM CLOUD SUBDIVISION, UNIT 5  
 RETAINING WALL PLAN  
 WALH, LLC.**

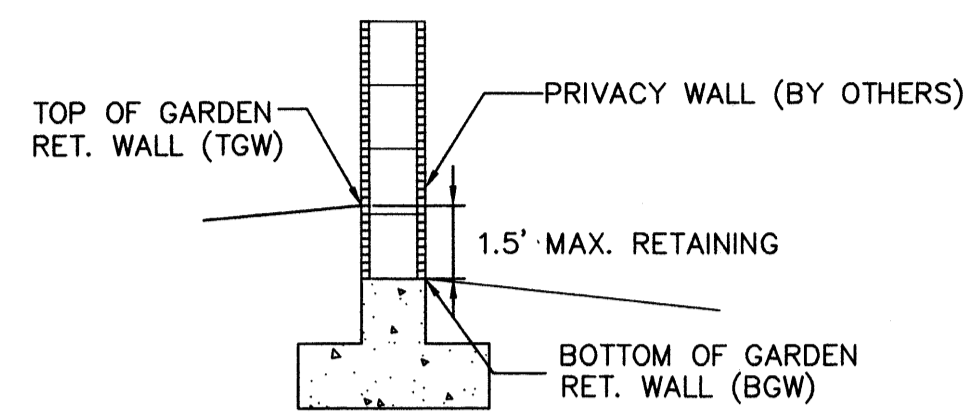
RETAINING WALL PLAN	
Date:	NOV. 2011
Drawn By:	ANW
Ckd By:	
NO. REVISIONS:	
Date:	
Job No.	1822
<b>PAGE</b>	
<b>SH 5 OF 6</b>	



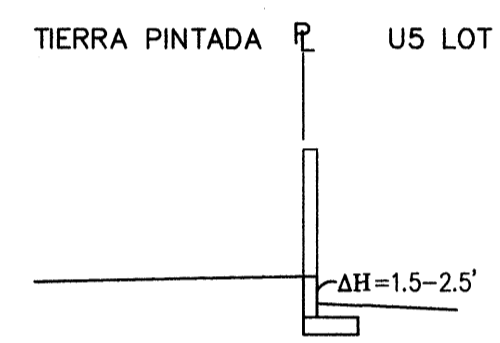


**RETAINING WALL**  
SCALE: 1"=5'-0"

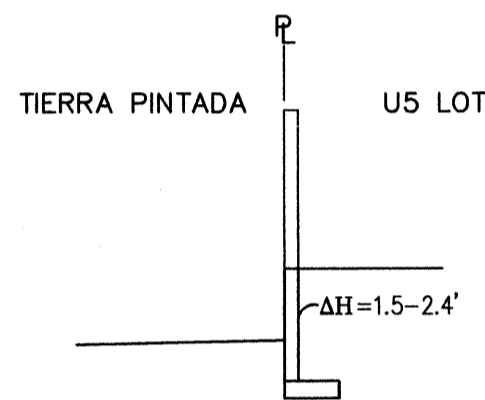
ΔH=RETAINING HEIGHT (SEE SECTIONS THIS SHEET)



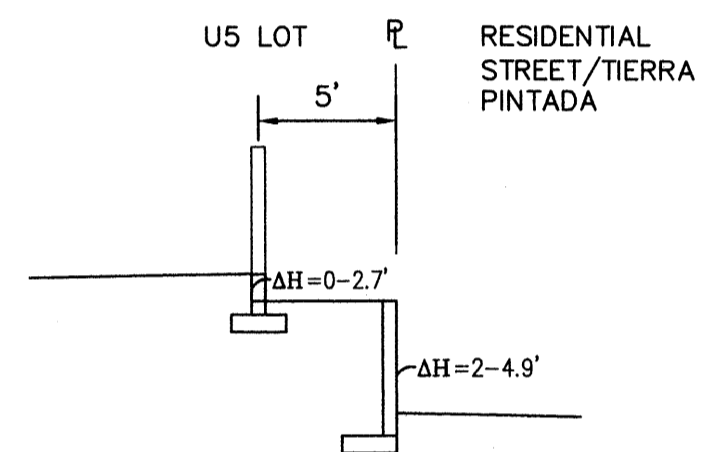
**GARDEN WALL RETAINING WALL**  
SCALE: 1"=5'-0"



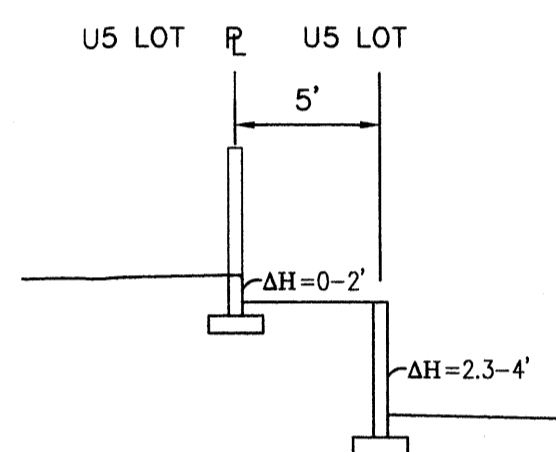
**SECTION A-A**  
NTS



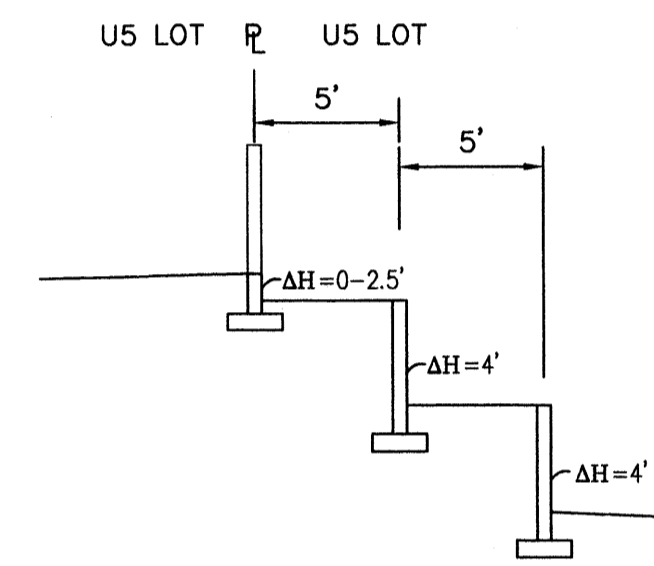
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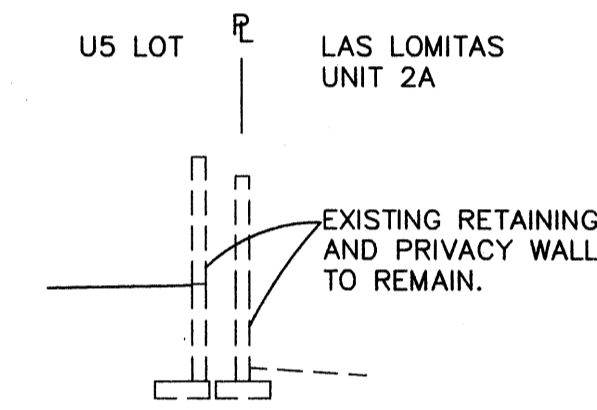
**SECTION C-C**  
NTS



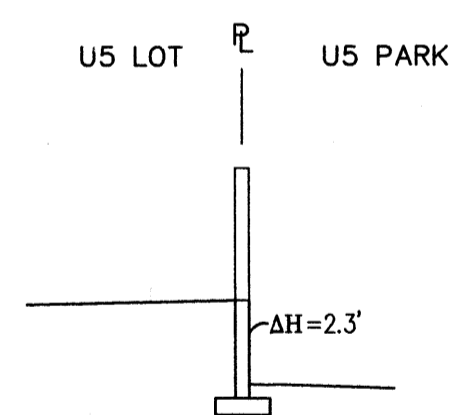
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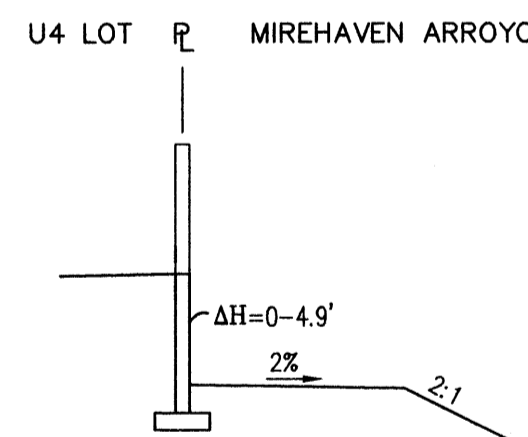
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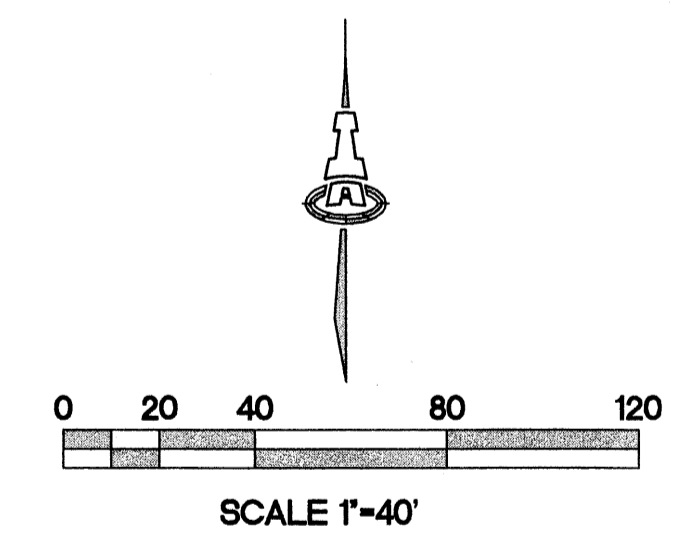
**SECTION F-F**  
NTS



**SECTION G-G**  
NTS



**SECTION H-H**  
NTS



ASA  
NEW MEXICO  
17831  
PROFESSIONAL ENGINEER

**ISAACSON & AREMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iacivil.com

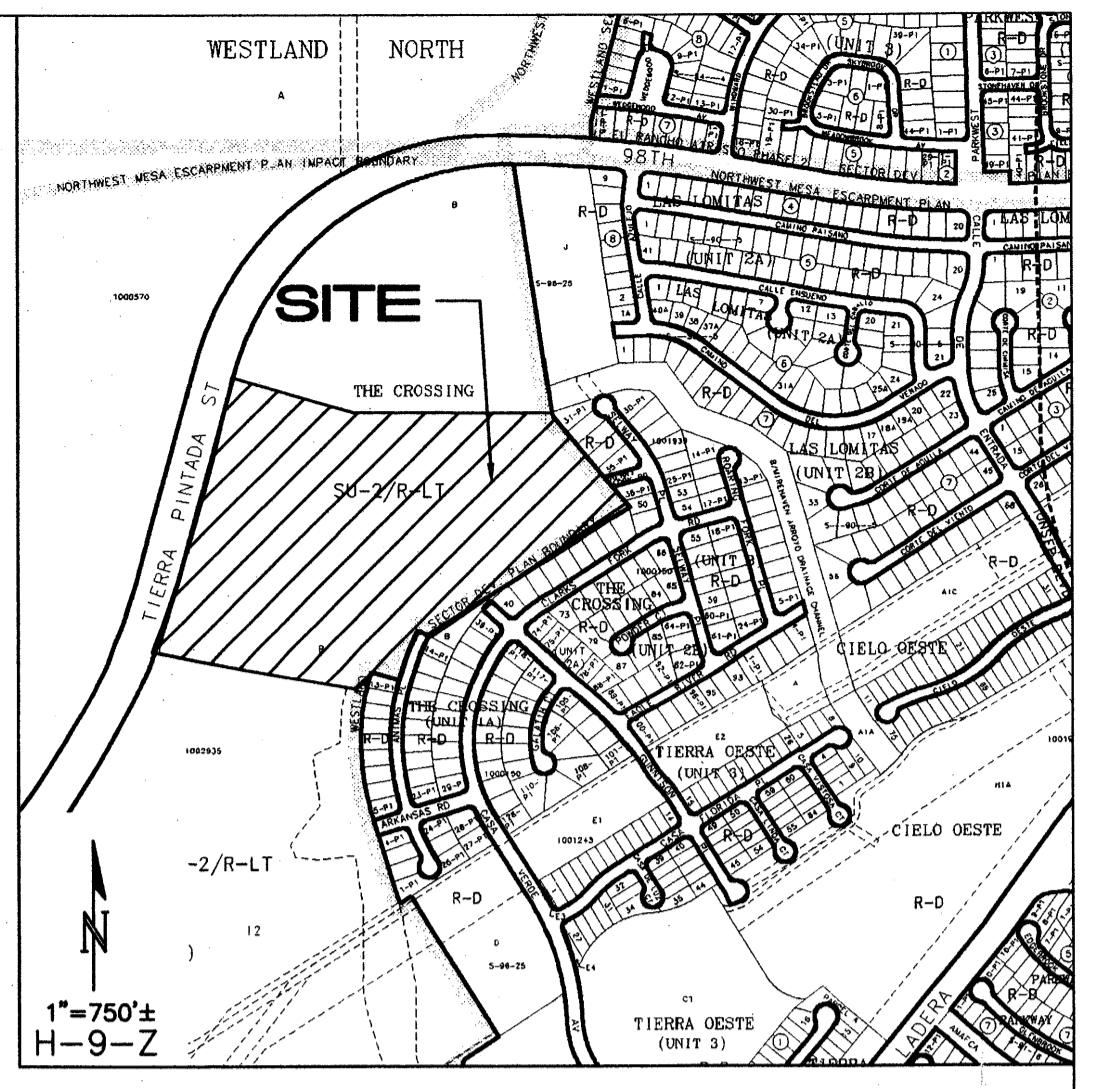
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<b>STORM CLOUD SUBDIVISION, UNIT 5</b>			
<b>WALH, LLC.</b>			
<b>RETAINING WALL SECTIONS</b>			
Date:	NOV. 2011	No. Revision:	Date:
Drawn By:	ANW	Job No.:	1822
Ckd By:		<b>PAGE</b>	
			<b>SH. 6 OF 6</b>



BOUNDARY CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	305.79'	3000.00'	153.03'	305.66'	N18°05'56"E	5°50'25"
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C5	208.45'	762.00'	104.88'	207.80'	S35°45'41"W	15°40'25"
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C7	84.44'	1032.00'	42.24'	84.41'	S13°16'45"W	4°41'16"



**PROJECT NOTES:**

EXST LEGAL: TRACTS B & J, THE CROSSINGS

BENCHMARK: ACS MONUMENT 4-H9  
ELEVATION: 5209.315 (NAVD 1988)

AREA:  
UNIT 4 AREA=31.03 AC.

ENGINEER: ASA NILSSON-WEBER  
ISAACSON & ARFMAN, P.A.

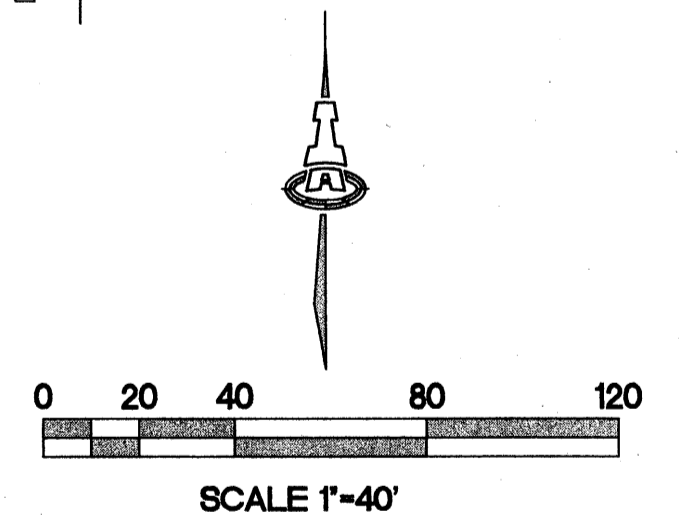
SURVEYOR: RUSTY HUGG  
SURVTEK, INC.

FLOOD PLAIN: THE SITE LIES WITHIN ZONE "X",  
ZONE "AO" AND ZONE "AE"  
PER FIRM MAP 35001C0326G.

- NOTES:**
- STREET GRADES ARE AT FLOWLINE.
  - SEE SHEETS 5-8 FOR RETAINING WALL GRADES AND SECTIONS.

**LEGEND**

	5270	EXISTING CONTOUR
	52	PROPOSED CONTOUR
	78.3	PROPOSED ELEVATION
	PG=5272.1	PAD GRADE ELEVATION
		STANDARD (STD) CURB & GUTTER
		MOUNTABLE (MTBL) CURB & GUTTER
		STORM DRAIN W/ MANHOLE
		STORM DRAIN INLET
		PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	DW	RECOMMENDED DRIVEWAY LOCATION



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**STORM CLOUD SUBDIVISION  
UNIT 4  
WALH, LLC.**

**GRADING AND DRAINAGE PLAN**

Date:	No. / Revision:	Date:	Job No. 1821
NOV 2011			
Drawn By:			<b>PAGE</b>
ANW			<b>51.1 OF 8</b>
Chk By:			

SEE SHEET 2

SEE SHEET 3



SEE SHEET 1



SEE SHEET 3

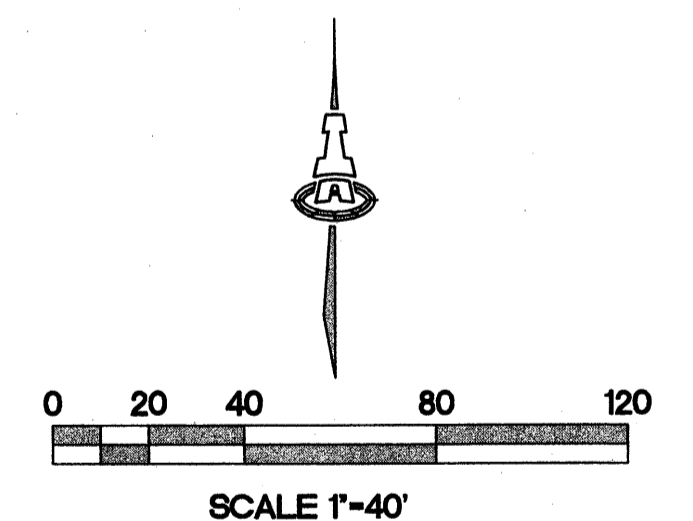
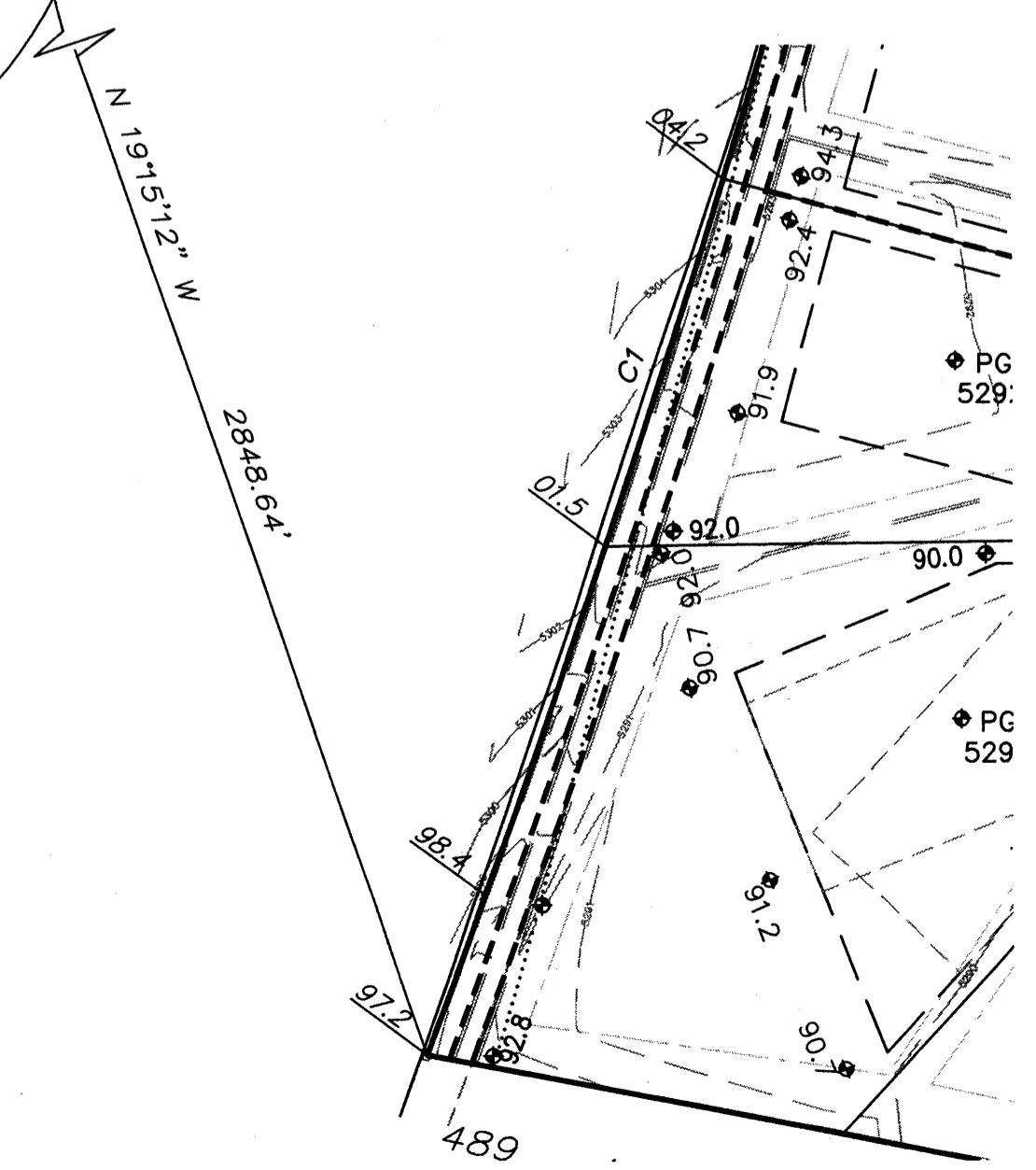
- NOTES:
1. STREET GRADES ARE AT FLOWLINE.
  2. SEE SHEETS 5-8 FOR RETAINING WALL GRADES AND SECTIONS.

LEGEND

	5270	EXISTING CONTOUR
	52	PROPOSED CONTOUR
	78.3	PROPOSED ELEVATION
	PG=5272.1	PAD GRADE ELEVATION
		STANDARD (STD) CURB & GUTTER
		MOUNTABLE (MTBL) CURB & GUTTER
		STORM DRAIN W/ MANHOLE
		STORM DRAIN INLET
		PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	DW	RECOMMENDED DRIVEWAY LOCATION

SEE BELOW FOR ACS MONUMENT TIE

Albuquerque Control Survey Monument "BH-41"  
 New Mexico State Plane Coordinates  
 (Central Zone - NAD 83) as published  
 North= 1,496,608.828 feet  
 East= 1,491,701.376 feet  
 Delta Alpha= -00°17'09.70"  
 Ground to Grid Factor= 0.999670930



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**STORM CLOUD SUBDIVISION  
 UNIT 4  
 WALH, LLC.**

**GRADING AND DRAINAGE PLAN CONT.**

Date:	NOV. 2011	No.:	Revisions:	Date:	Job No.:	1821
Drawn By:	ANW				<b>PAGE</b>	
Ckd By:					<b>SH. 2 OF 8</b>	





SEE SHEET 1

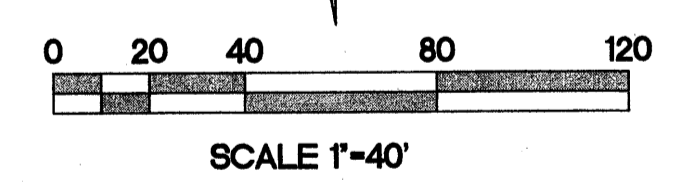
SEE SHEET 2

**NOTES:**

1. STREET GRADES ARE AT FLOWLINE.
2. SEE SHEETS 5-8 FOR RETAINING WALL GRADES AND SECTIONS.

**LEGEND**

- 5270 --- EXISTING CONTOUR
- 52 — PROPOSED CONTOUR
- ◆ 78.3 PROPOSED ELEVATION
- PG=5272.1 PAD GRADE ELEVATION
- ==== STANDARD (STD) CURB & GUTTER
- ==== MOUNTABLE (MTBL) CURB & GUTTER
- STORM DRAIN W/ MANHOLE
- STORM DRAIN INLET
- - - - - PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- DW RECOMMENDED DRIVEWAY LOCATION



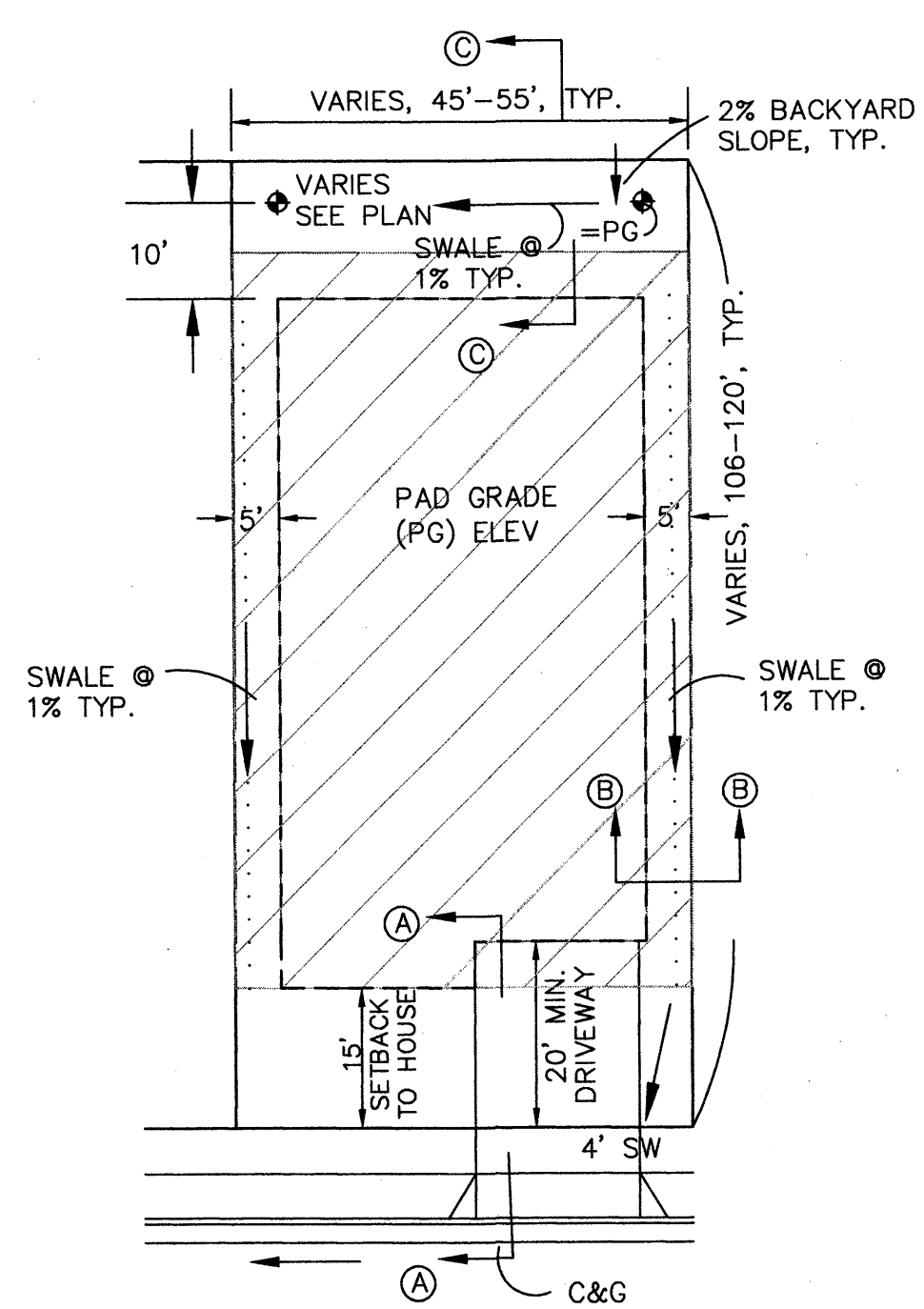
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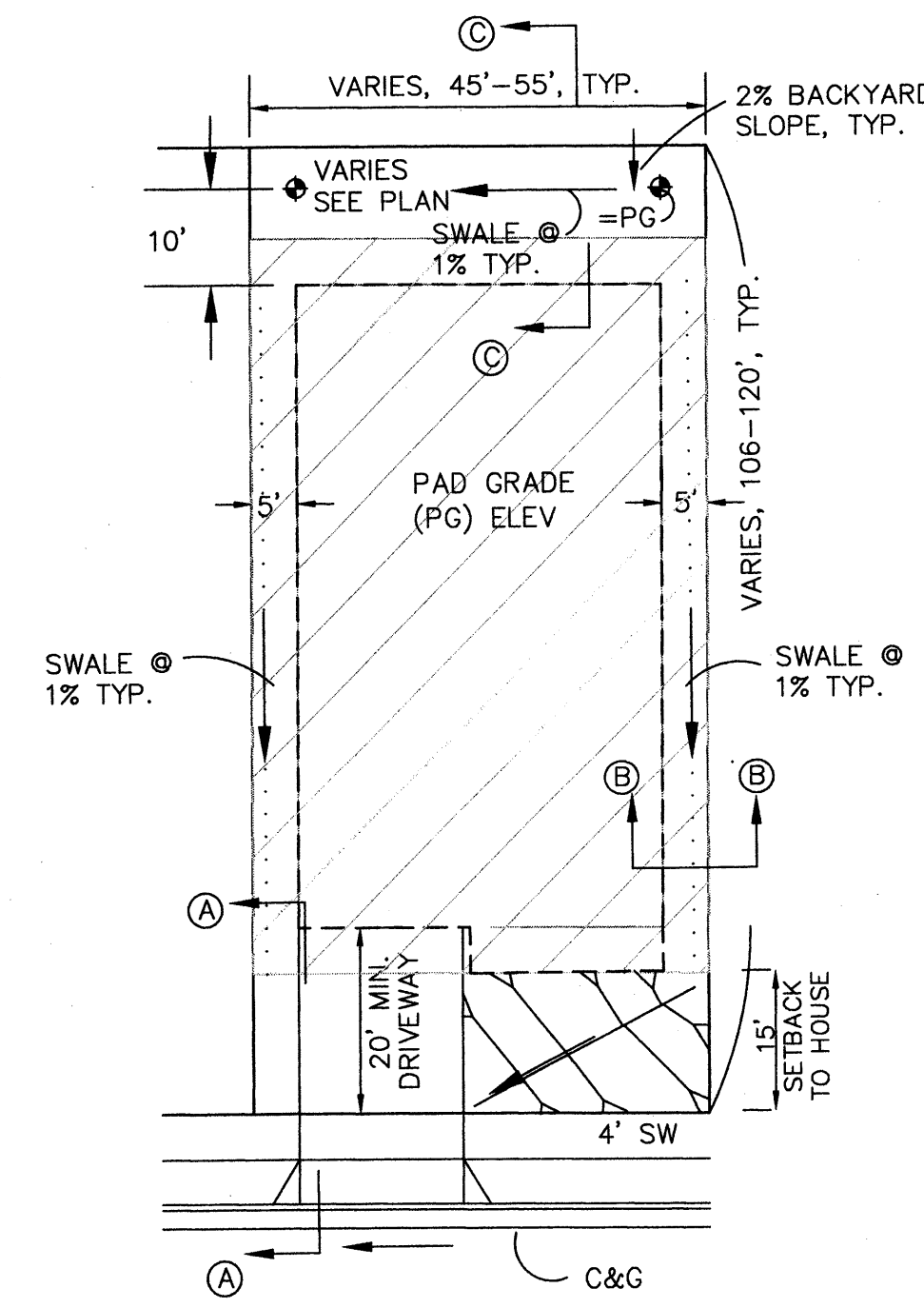
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<b>STORM CLOUD SUBDIVISION</b>			
<b>UNIT 4</b>			
<b>WALH, LLC.</b>			
<b>GRADING AND DRAINAGE PLAN CONT.</b>			
Date:	No. / Revision:	Date:	Job No.
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Chk By:			



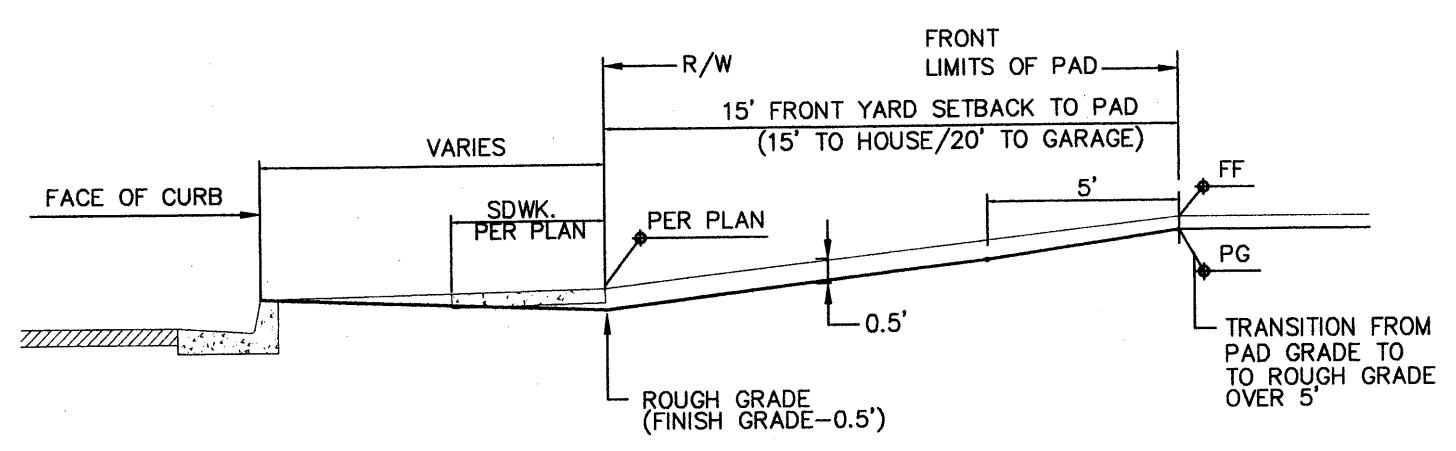


**TYPICAL LOT GRADING DETAIL**  
 SCALE: 1"=20' NOTE: 10' SIDEYARD SETBACK ADJACENT TO STREETS.

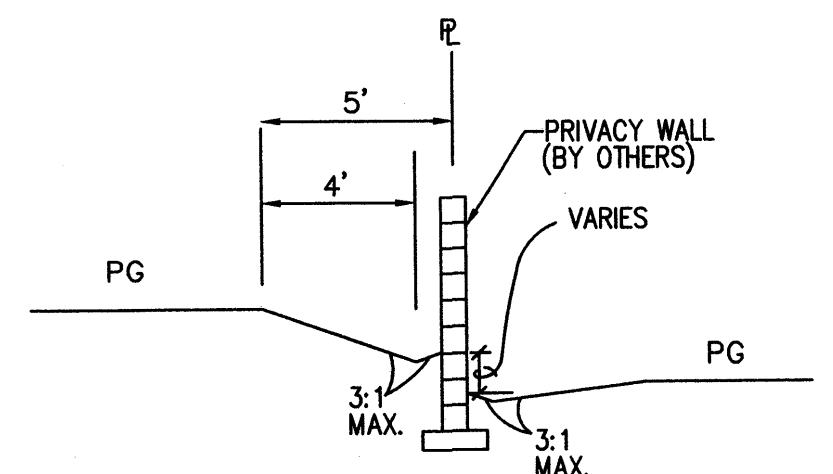


**TYPICAL LOT GRADING DETAIL  
 DRIVEWAY ON LOW SIDE**  
 SCALE: 1"=20' NOTE: 10' SIDEYARD SETBACK ADJACENT TO STREETS.

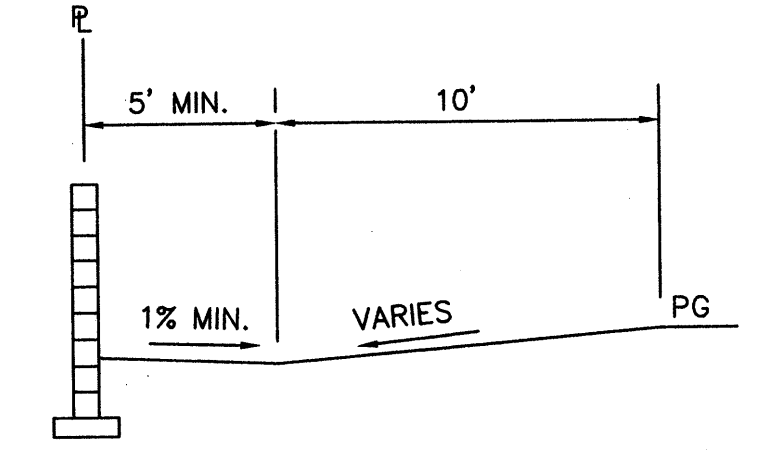
**DRIVEWAY NOTE:**  
 RECOMMENDED DRIVEWAY LOCATIONS ARE SHOWN ON PLANS WHERE STEEP STREET SLOPES OCCUR TO MINIMIZE DRIVEWAY SLOPES AND TO MINIMIZE RETAINING WALL HEIGHTS. WHERE DRIVEWAYS ARE SHOWN ON LOW SIDE, DRIVEWAYS SHALL BE CONSTRUCTED IN THIS LOCATION TO ENSURE A MIN. 1% SIDEYARD SWALE SLOPE.



**SECTION A-A  
 FRONT YARD GRADING**  
 SCALE: 1"=5'-0"



**SECTION B-B  
 TYPICAL SIDEYARD GRADING**  
 SCALE: 1"=5'



**SECTION C-C  
 TYPICAL BACKYARD GRADING**  
 SCALE: 1"=5'

**OVEREXCAVATION NOTE:**  
 THREE FEET OF STRUCTURAL FILL SHALL BE PLACED ON BUILDING PADS PER THE GEOTECHNICAL REPORT BY VINYARD & ASSOCIATES, JUNE 6, 2006 (PROJECT #05-1-466).

- GRADING NOTES:**
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
  - ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT BY VINYARD & ASSOCIATES, JUNE 6, 2006 (PROJECT #05-1-466) AND CITY OF ALBUQUERQUE SPECIFICATIONS.
  - EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED BY GEOTECHNICAL REPORT, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
  - PAD AND ROUGH GRADING ELEVATIONS SHALL CONFORM TO ELEVATIONS SHOWN ON PLANS LESS MATERIAL THICKNESS WITHIN A TOLERANCE OF 0.2± FEET.
  - GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
  - UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
  - FIVE (5) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 280-1990, FOR LOCATION OF EXISTING UTILITIES.
  - IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
  - OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
  - OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT THE CONTRACTOR'S SOLE EXPENSE.
  - OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATI.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ENGINEER AND VERIFY THE ENGINEER'S INTENT BEFORE PROCEEDING.
  - TRANSITIONS TO EXISTING PAVEMENT GRADES SHALL BE SMOOTH AND LEVEL. ANY NEW PAVING SURFACE HOLDING WATER (BIRDBATH) SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S SOLE EXPENSE.
  - SEE SITE DEMOLITION PLAN FOR ALL SITE DEMOLITION INFORMATION.

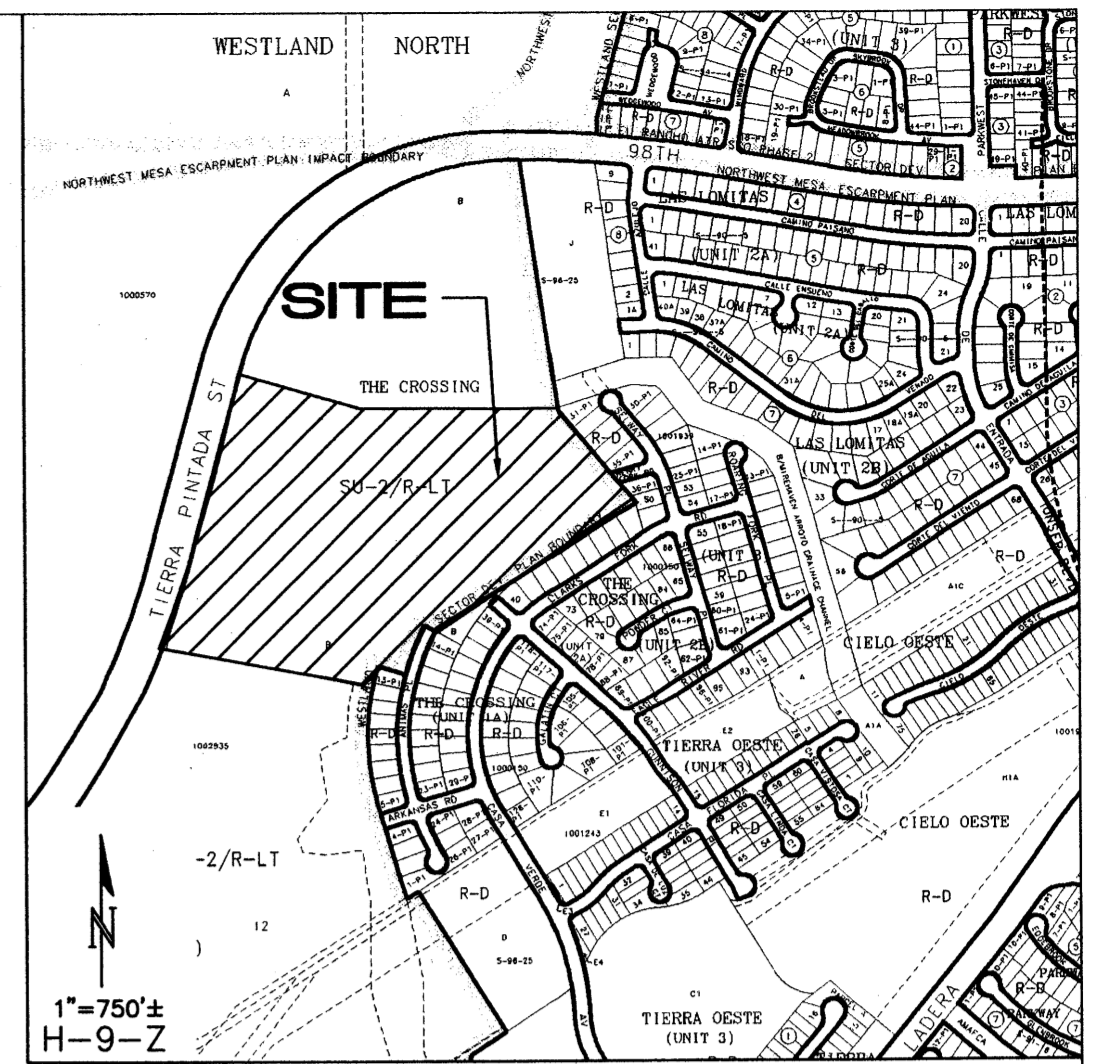
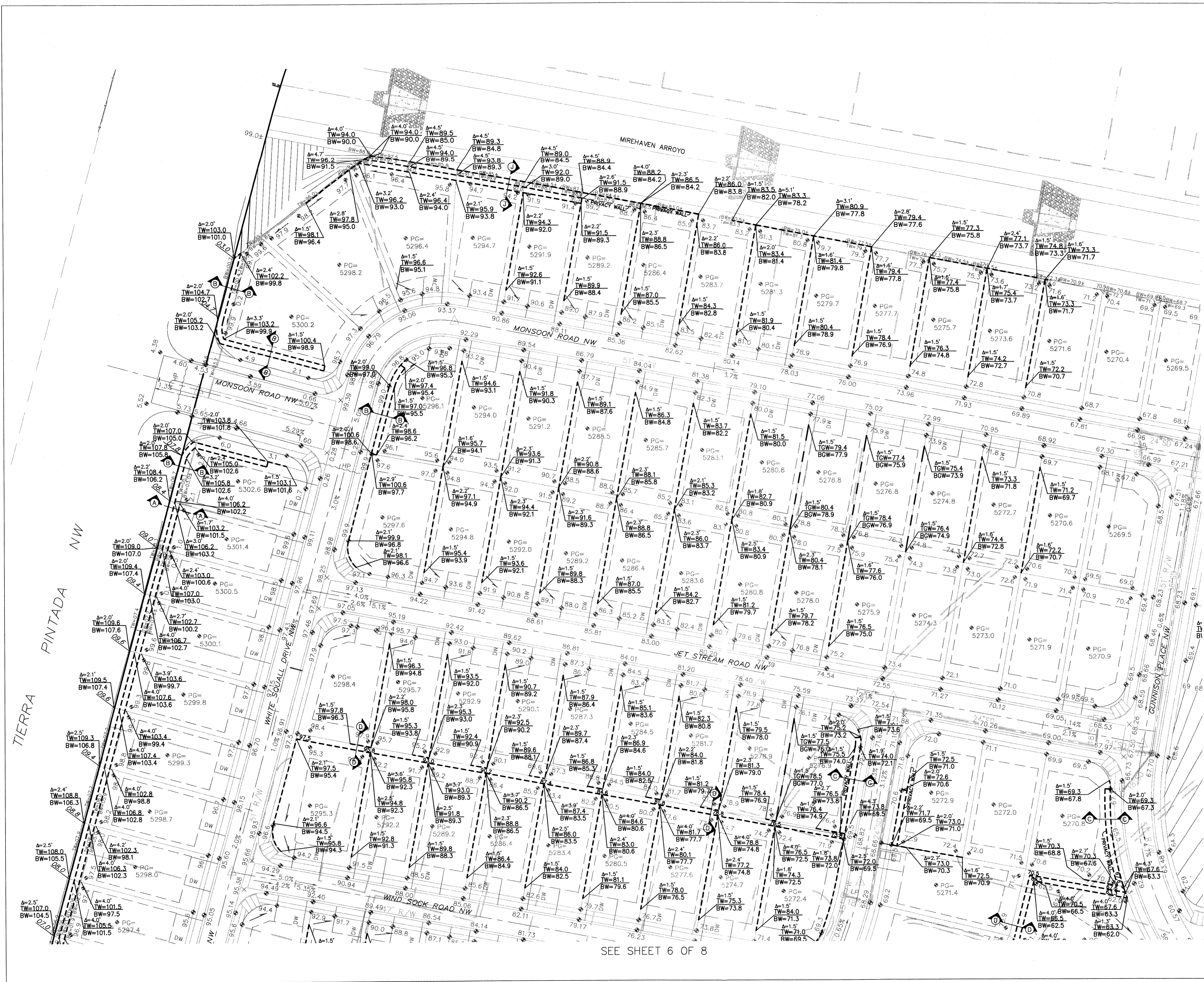
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<b>STORM CLOUD SUBDIVISION UNIT 4</b>			
<b>WALH, LLC.</b>			
<b>GRADING AND DRAINAGE PLAN</b>			
Date:	No.	Revision	Date
NOV 2011			1821
Drawn By:			<b>PAGE</b>
ANW			
Ckd By:			<b>SH. 4 OF 8</b>

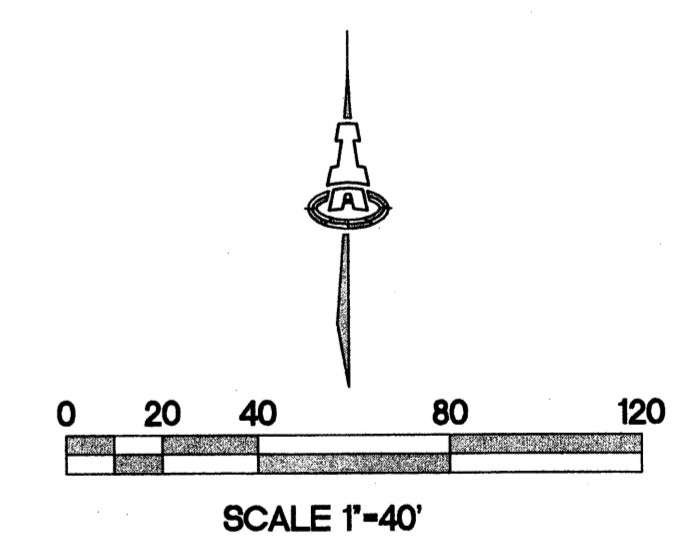




- GENERAL WALL NOTES:**
1. RETAINING WALL DESIGN BY OTHERS.
  2. ALL EXISTING RETAINING WALLS AND PERIMETER WALLS SHALL BE REMOVED, UNLESS OTHERWISE NOTED.
  3. SEE SHEET 8 FOR RETAINING WALL SECTIONS.

- LEGEND**
- EXISTING RETAINING WALL
  - TW= EXISTING TOP/BOTTOM OF WALL
  - BW=
  - - - PROPOSED RETAINING WALL
  - - - PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)
  - TW= PROPOSED TOP/BOTTOM OF RETAINING WALL
  - BW=
  - TGW= PROPOSED TOP/BOTTOM OF GARDEN RETAINING WALL
  - BGW=
  - A=2.7' PROPOSED RETAINING WALL HEIGHT

SEE SHEET 7 OF 8



SEE SHEET 6 OF 8

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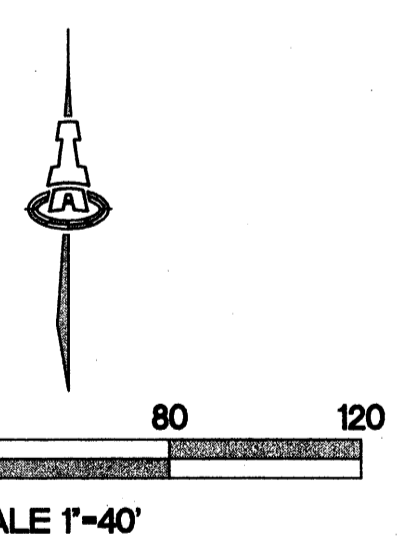
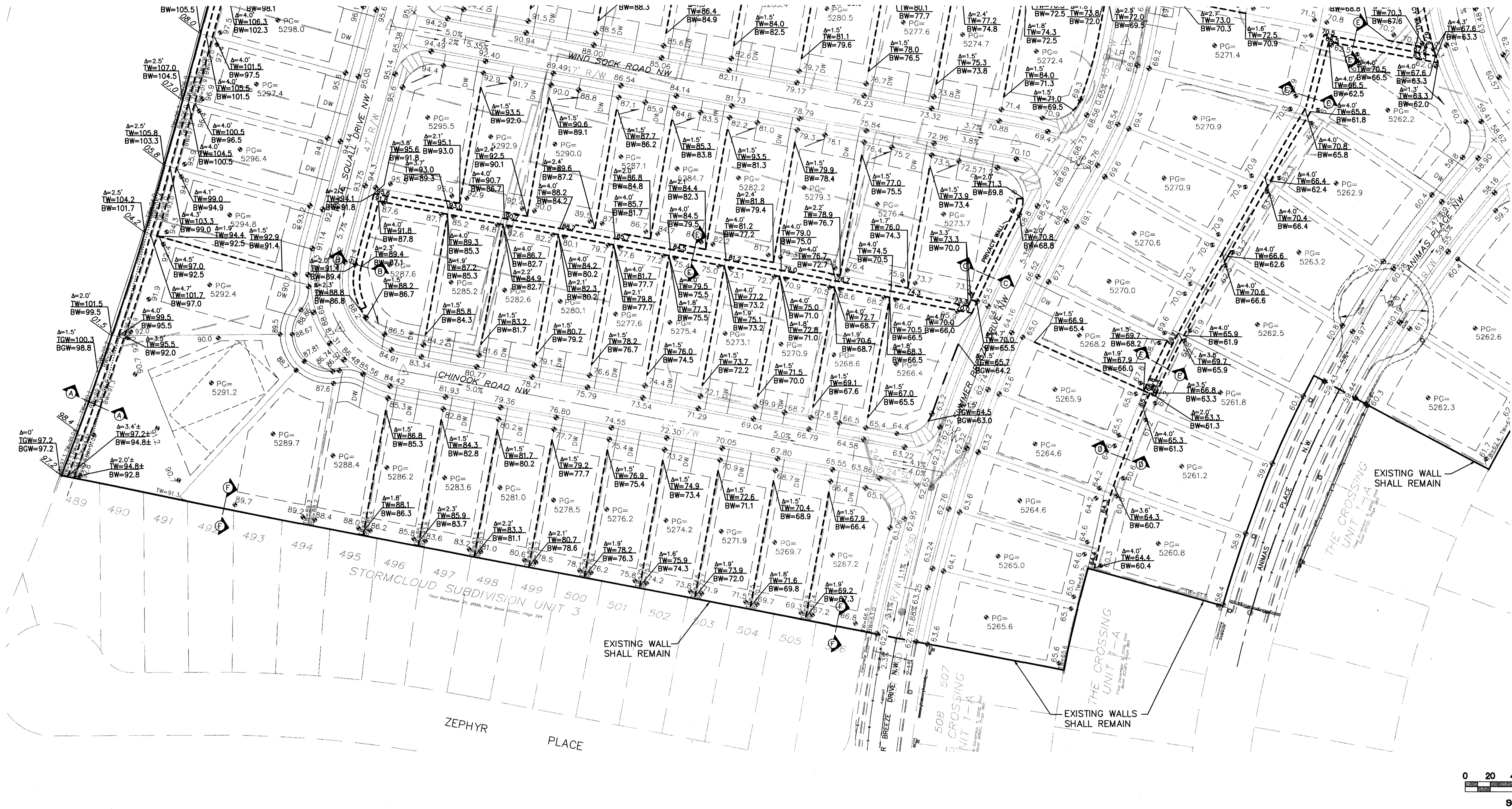
**STORM CLOUD SUBDIVISION  
 UNIT 4  
 WALH, LLC.  
 GRADING AND DRAINAGE PLAN**

Date:	NOV. 2011	Rev:	1	Date:		Job No.:	1821
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SEE SHEET 1 OF 8

SEE SHEET 7 OF 8



**GENERAL WALL NOTES:**

1. RETAINING WALL DESIGN BY OTHERS.
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3. SEE SHEET 8 FOR RETAINING WALL SECTIONS.

**LEGEND**

- EXISTING RETAINING WALL
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- BW= EXISTING TOP/BOTTOM OF WALL
- - - PROPOSED RETAINING WALL
- - - PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)
- TW= PROPOSED TOP/BOTTOM OF RETAINING WALL
- BW= PROPOSED TOP/BOTTOM OF GARDEN RETAINING WALL
- IGW= PROPOSED TOP/BOTTOM OF GARDEN RETAINING WALL
- BCW= PROPOSED TOP/BOTTOM OF GARDEN RETAINING WALL
- Δ=2.7' PROPOSED RETAINING WALL HEIGHT

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1821 CG-102.dwg Feb 09, 2012

**STORM CLOUD SUBDIVISION  
UNIT 4  
WALH, LLC.**

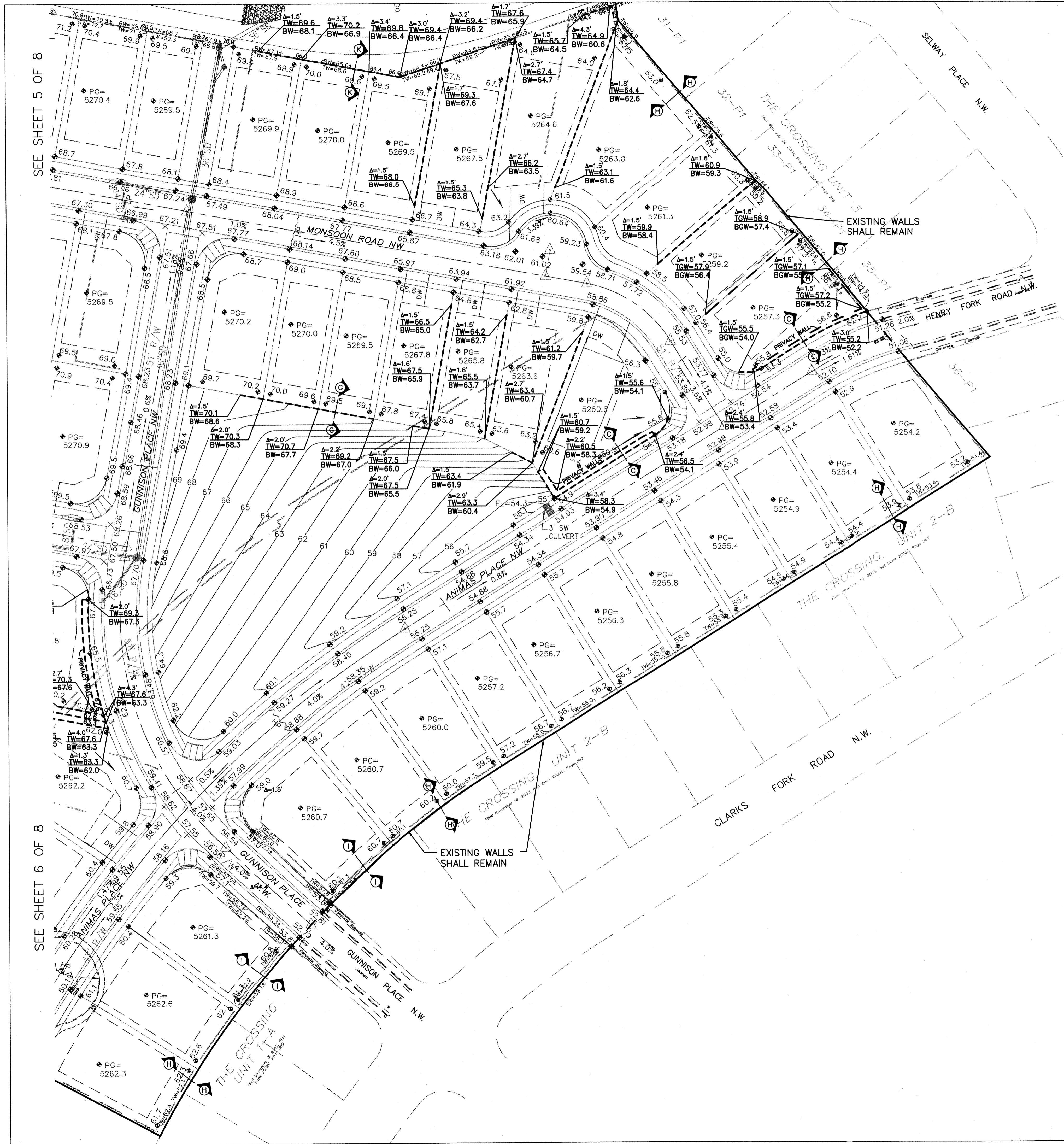
**GRADING AND DRAINAGE PLAN CONT.**

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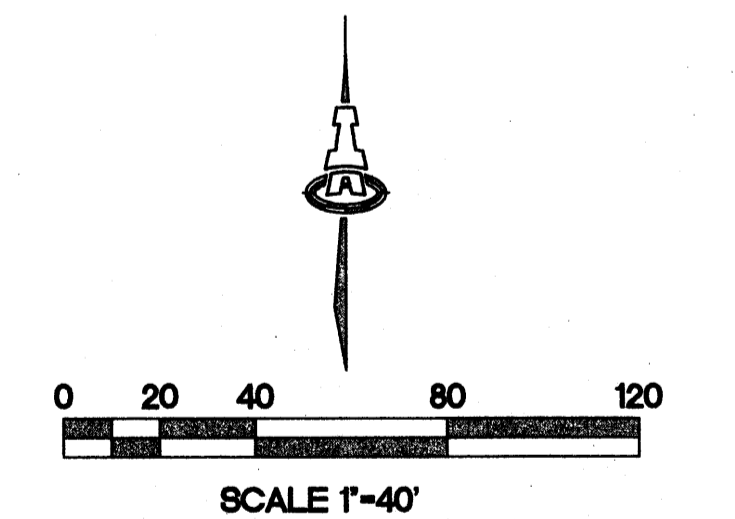


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3. SEE SHEET 8 FOR RETAINING WALL SECTIONS.

**LEGEND**

- EXISTING RETAINING WALL
- TW= --- EXISTING TOP/BOTTOM OF WALL
- BW= --- EXISTING TOP/BOTTOM OF WALL
- PROPOSED RETAINING WALL
- PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)
- TW= --- PROPOSED TOP/BOTTOM OF RETAINING WALL
- BW= --- PROPOSED TOP/BOTTOM OF RETAINING WALL
- TGW= --- PROPOSED TOP/BOTTOM OF GARDEN RETAINING WALL
- BGW= --- PROPOSED TOP/BOTTOM OF GARDEN RETAINING WALL
- A=2.7' --- PROPOSED RETAINING WALL HEIGHT



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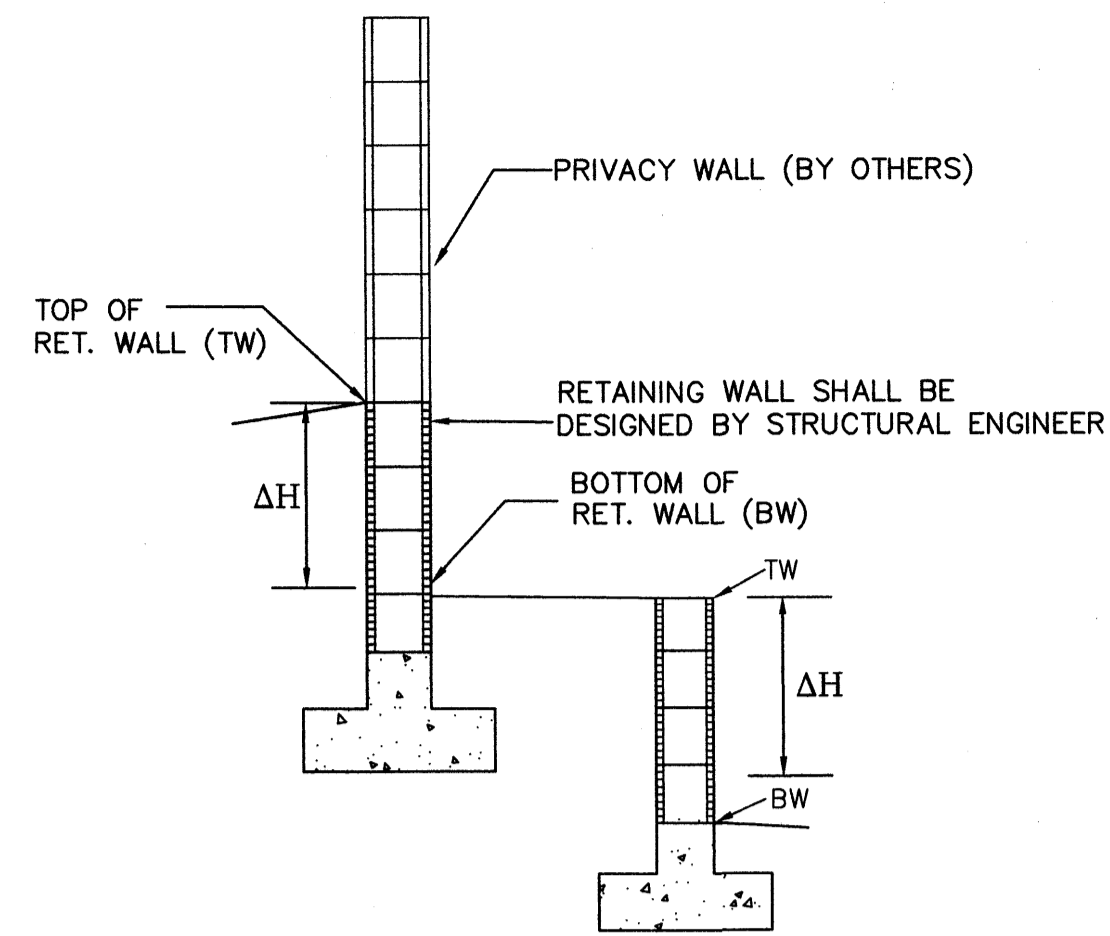
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 UNIT 4  
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**GRADING AND DRAINAGE PLAN CONT.**

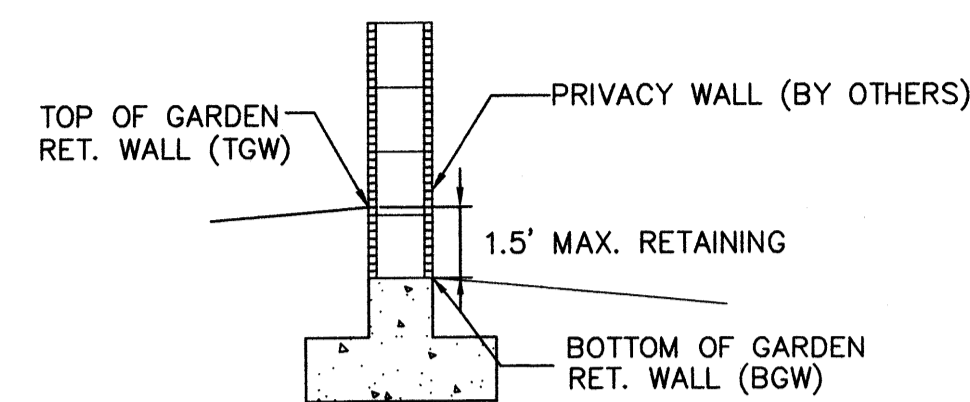
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Chk By:				<b>SH.7 OF 8</b>	



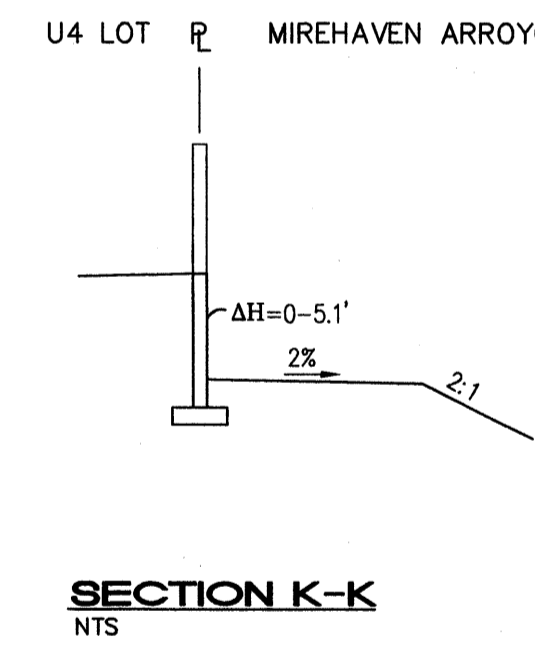
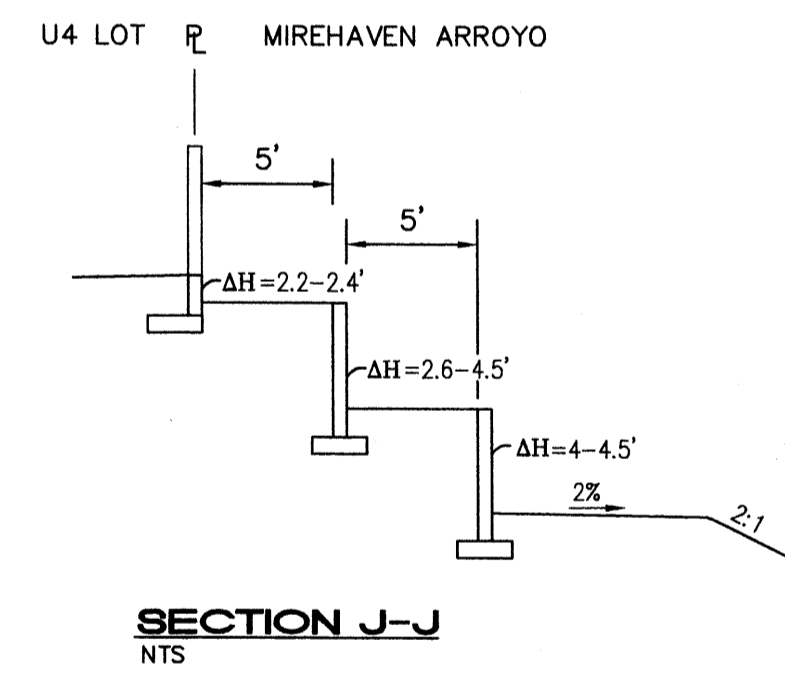
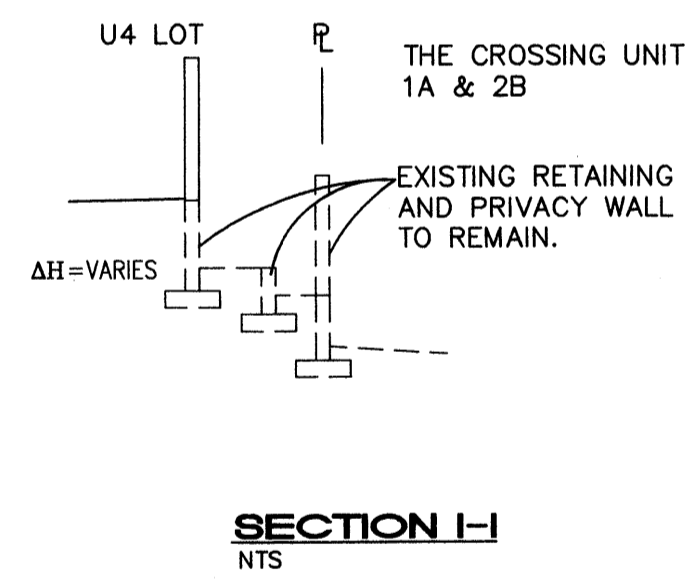
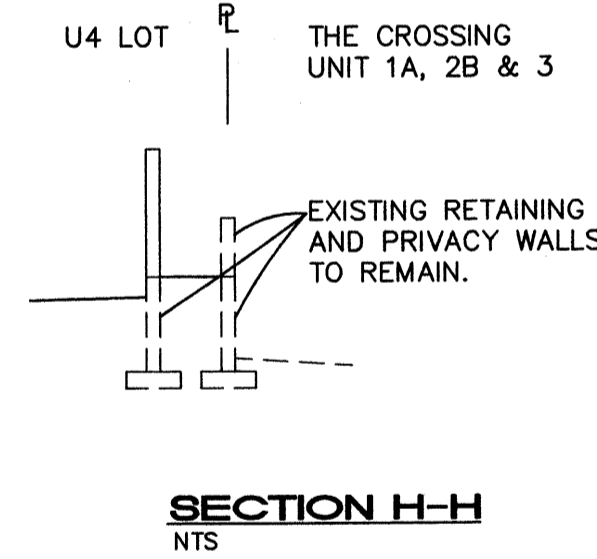
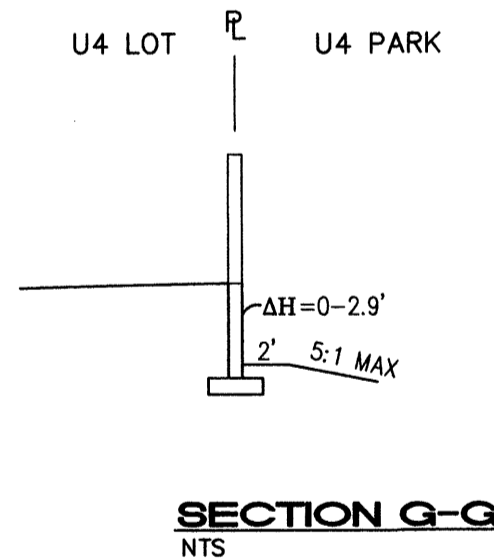
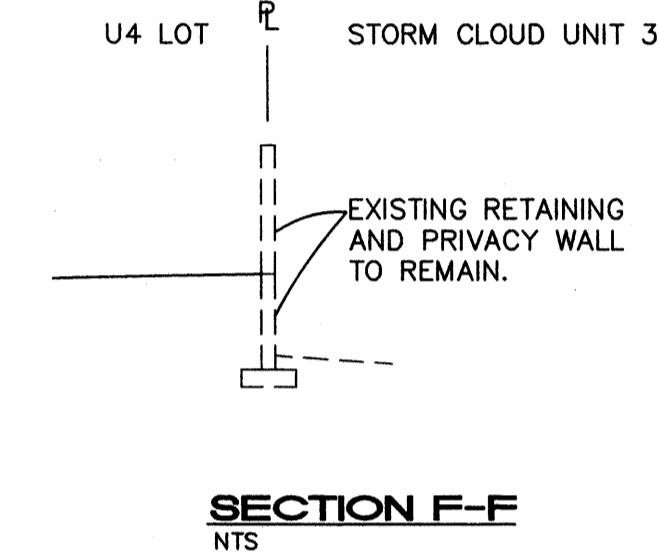
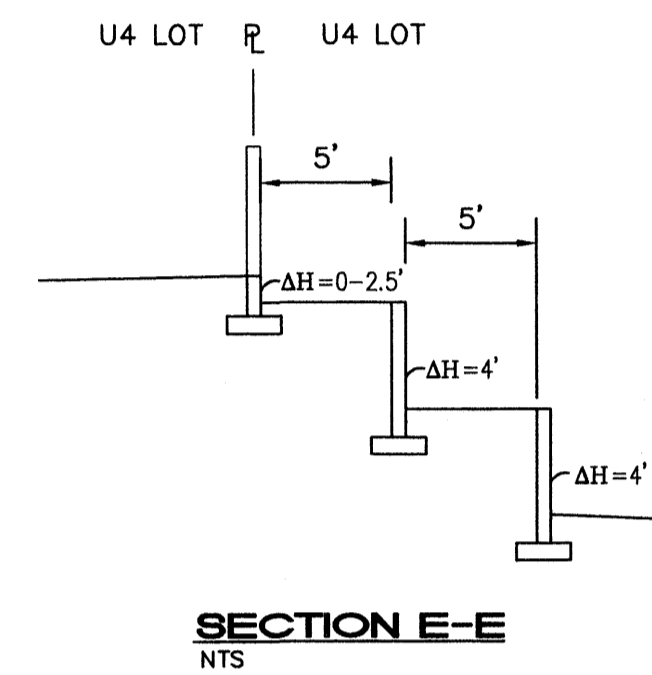
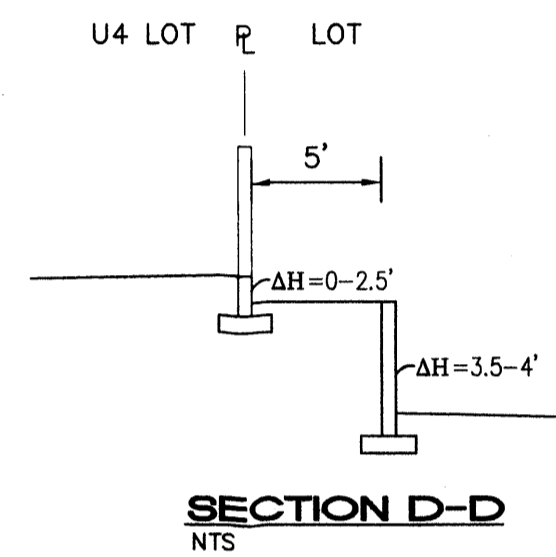
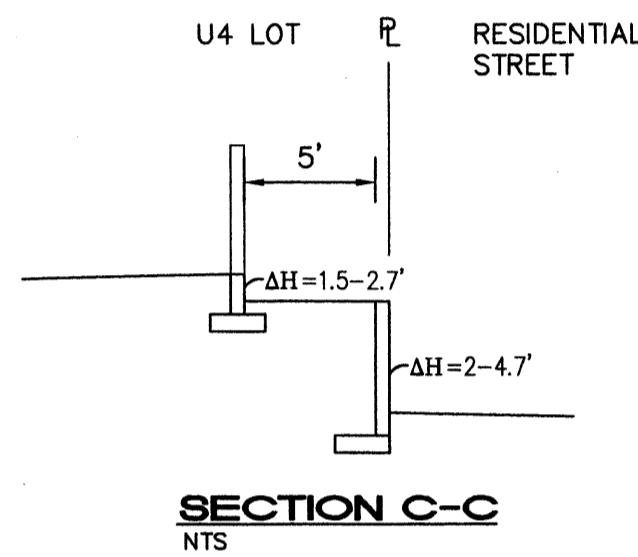
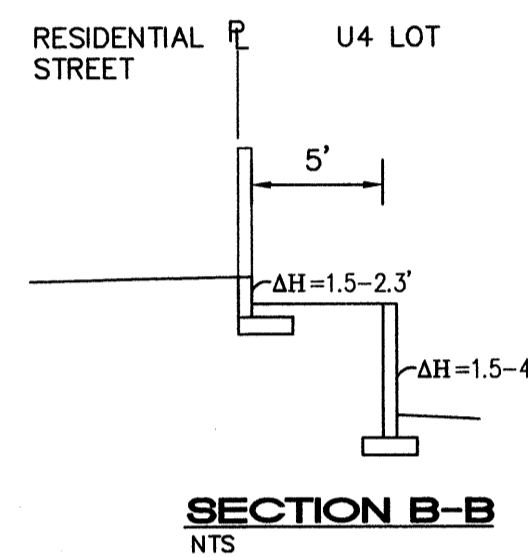
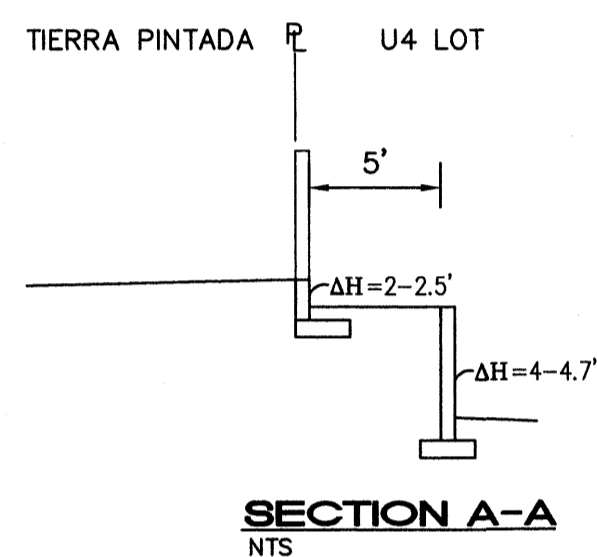


**RETAINING WALL**  
SCALE: 1"=5'-0"

ΔH=RETAINING HEIGHT (SEE SECTIONS THIS SHEET)



**GARDEN WALL RETAINING WALL**  
SCALE: 1"=5'-0"



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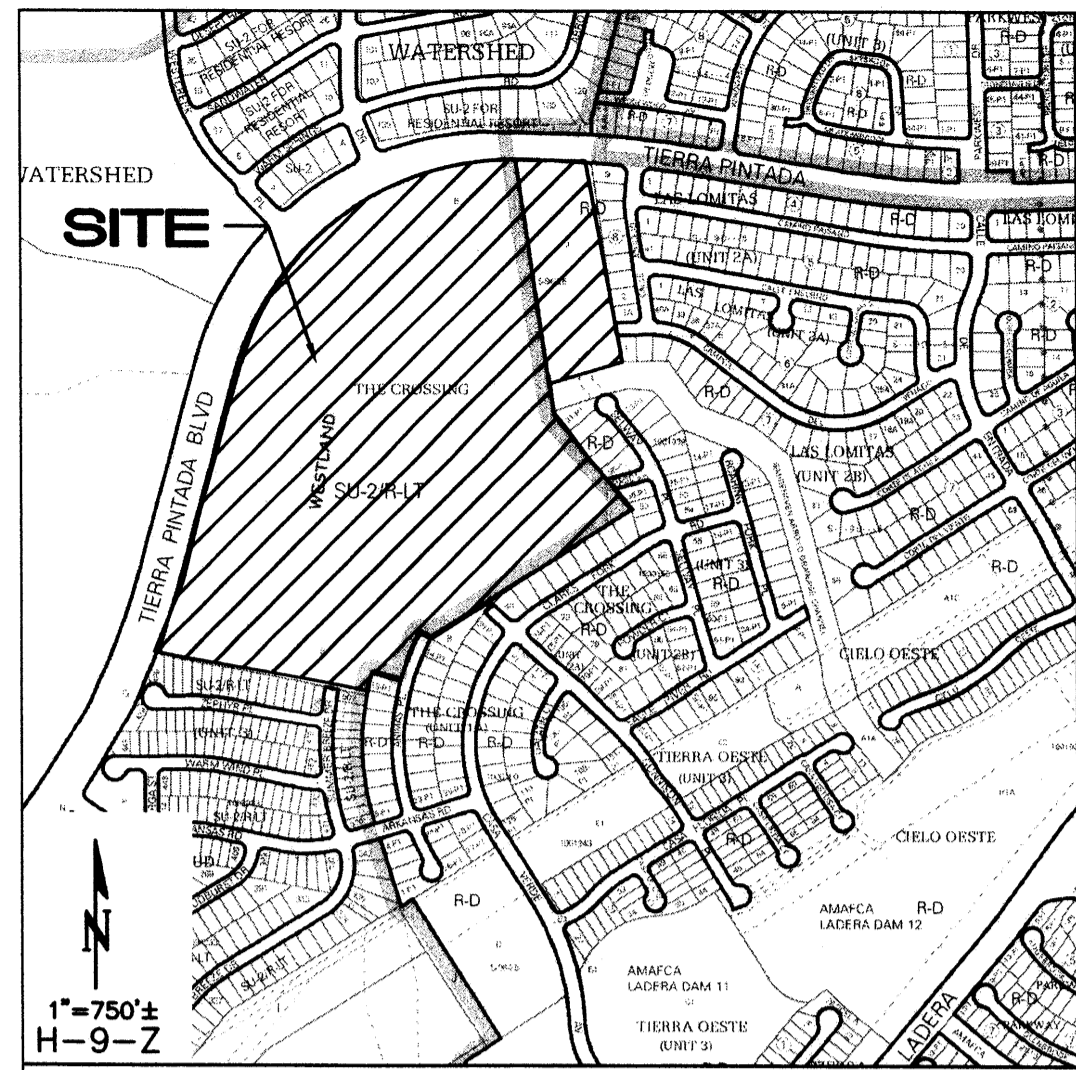
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**STORM CLOUD SUBDIVISION  
UNIT 4  
WALH, LLC.**

**GRADING AND DRAINAGE PLAN**

Date:	No.:	Revisors:	Date:	Job No.:
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CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	305.79'	3000.00'	153.03'	305.66'	N18°05'56"E	5°50'25"
C2	1444.55'	1100.00'	847.76'	1342.96'	N52°48'00"E	75°14'32"
C3	284.65'	4546.13'	142.37'	284.60'	S87°45'27"E	3°35'15"
C4	190.45'	762.00'	95.72'	189.95'	S50°44'51"W	14°19'12"
C5	208.45'	762.00'	104.88'	207.80'	S35°45'41"W	15°40'25"
C6	197.52'	920.00'	98.14'	197.14'	S21°46'26"W	12°18'05"
C7	84.44'	1032.00'	42.24'	84.41'	S13°16'45"W	4°41'16"

**FLOOD ZONE DETERMINATION**

The subject property, as shown hereon, appears to lie within Zone "X" (areas determined to be outside the 0.2% annual chance floodplain), Zone "A0, (DEPTH 1)" (Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined), and Zone "AE" (Base Flood Elevations determined) as shown on National Flood Insurance Program Flood Insurance Rate Map Number 35001C0326G, Map Revised September 26, 2008.

**EASEMENT AND TRACT NOTES**

- 10' PUE TO BE GRANTED BY FINAL PLAT, TYP.
- 20' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO ABCWUA BY FINAL PLAT.
- 25' PUBLIC DRAINAGE AND WATERLINE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE AND ABCWUA BY FINAL PLAT.
- 40' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO ABCWUA BY FINAL PLAT.
- 50' PUBLIC DRAINAGE AND WATERLINE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE AND ABCWUA BY FINAL PLAT.
- 25' PUBLIC WATERLINE AND SANITARY SEWER EASEMENT TO BE GRANTED TO ABCWUA BY FINAL PLAT.
- EXISTING 50' PUBLIC WATERLINE EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. SHADED PORTION OF EASEMENT TO BE VACATED BY VACATION ACTION AND FINAL PLAT.
- EXISTING TEMPORARY DRAINAGE EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT TO BE VACATED BY VACATION ACTION AND FINAL PLAT.
- EXISTING TEMPORARY TURNAROUND EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT TO BE VACATED BY VACATION ACTION AND FINAL PLAT.
- EXISTING PUBLIC UTILITY EASEMENT FILED 12/21/06, BK. 2006C, PG. 394. TO BE VACATED BY VACATION ACTION AND FINAL PLAT.
- TRACT PR SHALL BE CONVEYED TO THE HOMEOWNERS' ASSOCIATION (ONCE ESTABLISHED) FOR PRIVATE ACCESS AND SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION; TRACT PR SHALL BE COVERED BY A PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO ABCWUA; A PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE; AND AN ACCESS EASEMENT FOR EMERGENCY AND SERVICE VEHICLES.
- TRACTS A-F, UNIT 5 AND TRACTS H-M, UNIT 4 SHALL BE CONVEYED AS PRIVATE OPEN SPACE TO THE HOMEOWNERS' ASSOCIATION (ONCE ESTABLISHED) AS PRIVATE OPEN SPACE AND SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION.
- TRACT G SHALL BE DEDICATED TO AMAFCA BY FINAL PLAT.
- 10'x30' EASEMENT TO BE GRANTED TO ABCWUA FOR PRV VAULT BY FINAL PLAT.
- 10'x20' PUE TO BE GRANTED BY FINAL PLAT.
- 20'x20' PUE TO BE GRANTED BY FINAL PLAT.

Albuquerque Control Survey Monument "BH-41"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83) as published  
North= 1,496,608.828 feet  
East= 1,491,701.376 feet  
Delta Alpha= -00°17'09.70"  
Ground to Grid Factor= 0.999670930

LOT LINE SHALL BE ELIMINATED BY FINAL PLAT.

Albuquerque Control Survey Monument "3-H9"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83) as published  
North= 1,496,938.322 feet  
East= 1,496,470.700 feet  
Elevation= 5,209.519 (NAVD 1988)  
Delta Alpha= -00°16'36.72"  
Ground to Grid Factor= 0.999678486

**PRELIMINARY PLAT FOR**  
**STORMCLOUD SUBDIVISION UNITS 4 AND 5**  
BEING A REPLAT OF  
TRACTS B AND J THE CROSSINGS AND  
TRACT R STORMCLOUD SUBDIVISION UNIT 3  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JANUARY 2012

**LEGAL DESCRIPTION**  
SEE SHEET 2 OF 2.

**ACS BENCHMARK**  
ACS MONUMENT 4-H9  
ELEVATION: 5209.315 (NAVD 1988)

**SITE DATA**

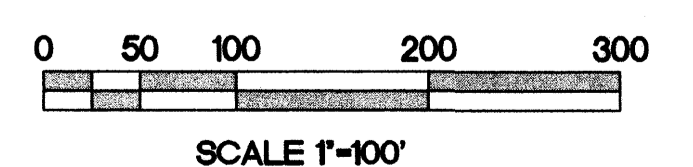
- NUMBER OF EXISTING TRACTS IS 3.
- TOTAL ACREAGE:  
EXISTING TRACT B, J, AND R = 55.2416 AC.  
NET ACREAGE:  
UNIT 4 = 31.0361 AC.  
UNIT 5 = 21.4038 AC.  
MIREHAVEN ARROYO = 2.8017
- NUMBER OF PROPOSED RESIDENTIAL LOTS:  
UNIT 4 = 154 LOTS  
UNIT 5 = 87 LOTS  
TOTAL NUMBER OF LOTS = 241 LOTS  
PROPOSED DENSITY: UNIT 4 = 4.96 DU/ACRE  
UNIT 5 = 4.06 DU/ACRE
- EXISTING ZONING: SU-2/R-LT AND R-D  
PROPOSED ZONING: SU-2/R-LT AND R-D  
PROPOSED RESIDENTIAL DEVELOPMENT: SINGLE FAMILY DETACHED  
RESIDENTIAL LOT SETBACKS SHALL CONFORM TO R-LT AND R-D  
ZONE REGULATIONS.
- UNIT 4 STREETS WILL BE PUBLIC BY PLAT DEDICATION AND BE MAINTAINED BY THE CITY OF ALBUQUERQUE.  
UNIT 5 SHALL BE A GATED COMMUNITY AND THE STREETS WILL BE PRIVATE AND DEEDED TO AND MAINTAINED BY THE FUTURE STORM CLOUD UNIT 5 HOMEOWNERS' ASSOCIATION.
- NO LOT SHALL HAVE DIRECT ACCESS TO TIERRA PINTADA NW.
- ALL STREETS HAVE RIGHT-OF-WAY/EASEMENT AND PAVING WIDTHS PER DPM STANDARDS, EXCEPT WHERE DESIGN VARIANCES ARE APPROVED.
- CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH ABCWUA.
- OPEN SPACE PROVIDED FOR LOTS WITHIN THE R-D ZONING IS SATISFIED BY USABLE OPEN SPACE ON THE LOTS AND DETACHED OPEN SPACE (TRACT E PARK).

**NOTES**

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ● WILL BE MARKED BY A NO. 5 IRON REBAR WITH PLASTIC CAP STAMPED "PLS #9750".
- ALL STREET CENTERLINE POINTS SHOWN THUS ▲ WILL BE SET USING THE STANDARD 4" ALUMINUM MONUMENT STAMPED "CENTERLINE MONUMENT-DO NOT DISTURB, PS #9750".
- BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NMSP GRID BEARINGS.
- DISTANCES WILL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.



**LEGEND**  
● SET 5/8" REBAR WITH CAP "HUGG L.S. 9750" (TYP.)  
— PROPERTY LINE  
- - - ADJOINING PROPERTY LINE  
▲ CENTERLINE MONUMENT



**SHEET 1 OF 2**

**APPROVED**

*[Signature]* 1-24-12  
CITY SURVEYOR DATE

**OWNER**  
WESTERN ALBUQUERQUE LAND HOLDINGS, LLC  
*[Signature]* 1/17/2012  
BY: MARK WUEST, VICE PRESIDENT  
BARCLAYS CAPITAL REAL ESTATE, INC.  
AS SERVING MEMBER DATE

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph: 505-268-8828 www.isaaci.com  
1822 C-701-PRELIM PLAT.dwg Jan 11, 2012



**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Atrisco Grant in Projected Sections 9 and 16, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising Tracts B and J, The Crossing, as the same is shown and designated on the plat entitled "PLAT OF THE CROSSING, ALBUQUERQUE, NEW MEXICO, APRIL, 1996", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 8, 1996 in Volume 96C, Folio 302, and Tract R, Stormcloud Subdivision Unit 3, as the same is shown and designated on the plat entitled "PLAT OF STORMCLOUD SUBDIVISION UNIT 3, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AUGUST, 2006", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 21, 2006, in Plat Book 2006C, Page 394, more particularly described by survey performed by Russ P. Rugg, New Mexico Professional Surveyor Number 9750, using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows:

BEGINNING at the northeasterly corner of the parcel herein described, said point also being the northeasterly corner of said Tract J, The Crossing, and also being a point on the southerly right of way line of Tierra Pintada Boulevard N.W., and also being the northwesterly corner of Lot 9, Block 8, Las Lomas Unit 2A, as the same is shown and designated on the plat thereof, filed May 8, 1993, in Volume 93C, Folio 128, whence Albuquerque Control Survey Monument "3-H9" bears N 61°45'45" E, 2,470.03 feet distant; Thence, along the westerly boundaries of said Block 8, Las Lomas, Unit 2A; Lot 1A, Block 8, Las Lomas, Unit 2A, as the same is shown and designated on the plat thereof, filed December 21, 1994, in Volume 94C, Folio 425; Camino Del Venada N.W.; and Lot 1, Block 7, Las Lomas Unit 2B, as the same is shown and designated on the plat thereof, filed May 5, 2004, in Plat Book 2004C, Page 147,

S 08°19'34" E, 761.08 feet to a corner, said point also being the southwesterly corner of said Lot 1, Block 7, Las Lomas, Unit 2B, and also being the southeasterly corner of said Tract J, The Crossing, and also being an angle point on the northerly boundary of Mirehaven Arroyo Drainage Channel, The Crossing, Unit 3, as the same is shown on the plat thereof, filed July 26, 2004, in Plat Book 2004C, Page 216; Thence, along the northerly, then westerly boundaries of said Mirehaven Arroyo; Lots 31 P-1 thru 36 P-1; Henry Fork Road N.W. of said plat filed in Plat Book 2004C, Page 216; and lot 50, The Crossing, Unit 2-B, as the same is shown and designated on the plat thereof, filed November 18, 2003, in Plat Book 2003C, Page 347, the following three courses:

S 71°44'43" W, 284.16 feet to a corner, said corner also being the southwesterly corner of said Tract J, The Crossing, and also being a point on the easterly boundary of said Tract B, The Crossing; Thence,

S 08°19'45" E, 114.79 feet to a corner; Thence,

S 40°14'59" E, 458.54 feet to the eastern-most corner of the parcel herein described, said point also being the eastern-most corner of said Tract B, The Crossing, and also being a corner on the westerly boundary of said Lot 50, The Crossing, Unit 2-B; Thence, along the northwesterly boundaries of Lots 40 thru 48 and 50, of said plat filed in Plat Book 2003C, Page 347; Gunnison Place N.W.; and Lots 37-P1 thru 39-P1, The Crossing, Unit 1-A, as the same is shown and designated on the plat thereof, filed December 3, 2002, in Plat Book 2002C, Page 380, the following 3 courses,

S 57°54'27" W, 470.16 feet to a point of curvature; Thence,

Southwesterly, 190.45 feet on the arc of a curve to the left (said curve having a radius of 762.00 feet, a central angle of 14°19'12", and a chord that bears S 50°44'51" W, 189.95 feet) to an angle point; Thence,

Southwesterly, 208.45 feet on the arc of a curve to the left (said curve having a radius of 762.00 feet, a central angle of 15°40'25", and a chord that bears S 35°45'41" W, 207.80 feet) to a corner, said corner also being the eastern-most corner on Lot 14-P1, The Crossing, Unit 1-A, of said plat filed in Plat Book 2002C, Page 380; Thence, along the northeasterly boundaries of said Lot 14-P1 and Animas Place N.W.,

N 62°04'32" W, 158.00 feet to a corner, said corner also being the northern-most corner of the northeasterly terminus of said Animas Place N.W.; Thence, along the northwesterly right of way line of said Animas Place N.W.,

Southwesterly, 197.52 feet on the arc of a curve to the left (said curve having a radius of 920.00 feet, a central angle of 12°18'05", and a chord that bears S 21°46'26" W, 197.14 feet) to a corner, said corner also being the northeasterly corner of Lot 13-P1, The Crossing, Unit 1-A, of said plat filed in Plat Book 2002C, Page 380; Thence, along the northerly, then westerly boundaries of said Lot 13-P1, the following two courses:

N 74°22'37" W, 112.00 feet to a corner; Thence,

Southerly, 84.44 feet on the arc of a curve to the left (said curve having a radius of 1032.00 feet, a central angle of 04°41'16", and a chord that bears S 13°16'45" W, 84.41 feet) to the southern-most corner of the parcel herein described, said point also being the southern-most corner of said Tract B, The Crossing, and also being the northeasterly corner of Lot 507, Stormcloud Subdivision, Unit 3, as the same is shown and designated on the plat thereof, filed December 31, 2006, in Plat Book 2006C, Page 394; Thence, along the northerly boundaries of said lot 507, Summer Breeze Drive N.W., and Lots 489 thru 505, Stormcloud Subdivision, Unit 3, of said plat filed in Plat Book 2006C, Page 394,

N 79°03'05" W, 816.22 feet to the southwesterly corner of the parcel herein described, said point also being the southwesterly corner of said Tract R, Stormcloud Subdivision, Unit 3, and also being the northwesterly corner of said Lot 489, Stormcloud Subdivision, Unit 3, and also being a point on the easterly right of way line of said Tierra Pintada Boulevard N.W., whence Albuquerque Control Survey Monument "BH-41" bears N 19°15'12" W, 2,848.64 feet distant; Thence, along the easterly, then southeasterly, then southerly right of way line of said Tierra Pintada Boulevard N.W. the following four courses:

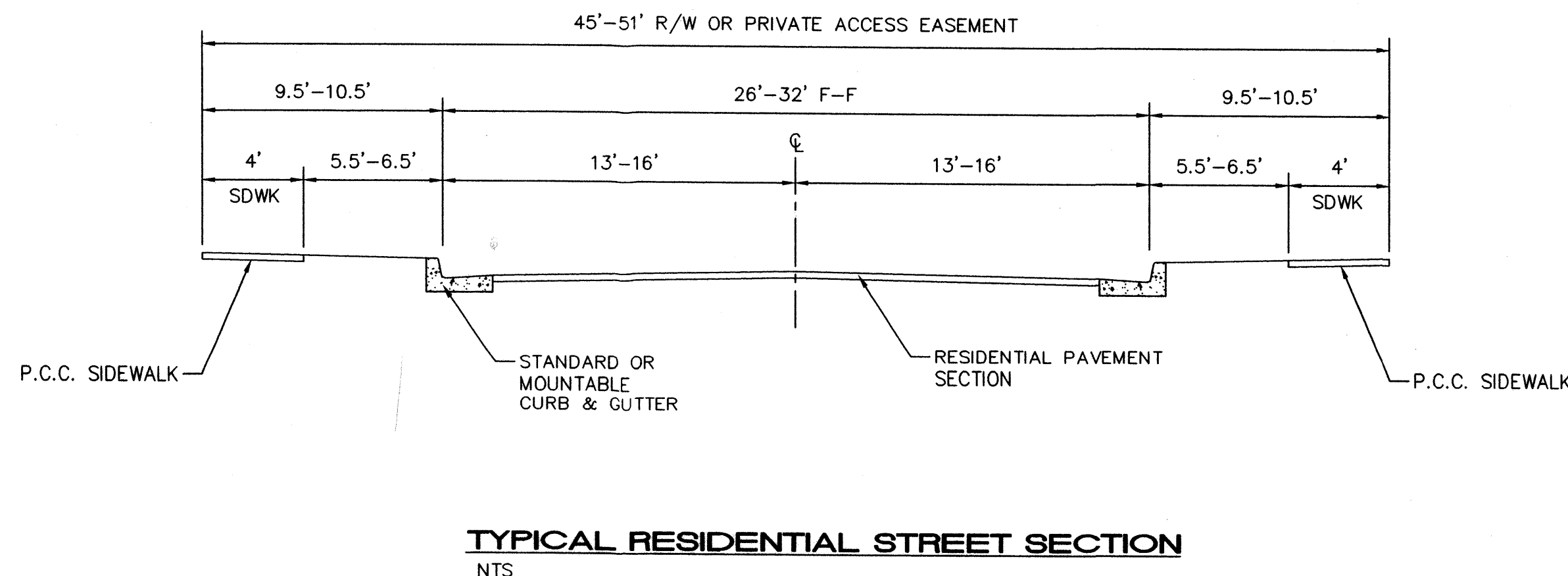
Northerly, 305.79 feet on the arc of a curve to the left (said curve having a radius of 3000.00 feet, a central angle of 05°50'25", and a chord that bears N 18°05'56" E, 305.66 feet) to a point of tangency; Thence,

N 15°10'44" E, 786.36 feet to a point of curvature; Thence,

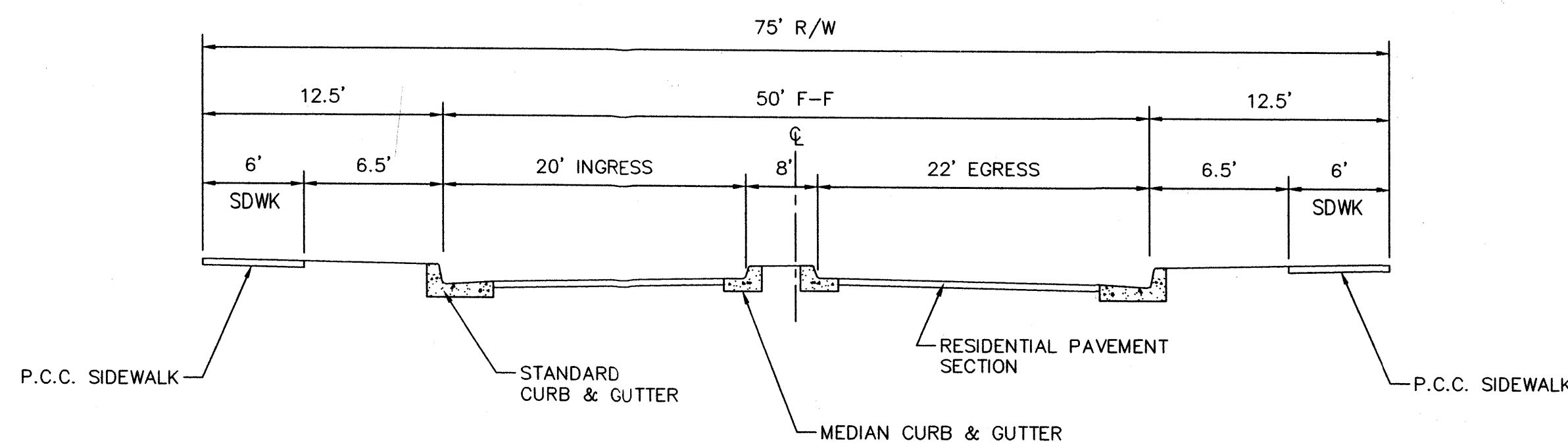
Northeasterly, 1444.55 feet on the arc of a curve to the right (said curve having a radius of 1100.00 feet, a central angle of 75°14'32", and a chord that bears N 52°48'00" E, 1342.96 feet) to a point of compound curvature, said point also being the northeasterly corner of said Tract B, The Crossing, and also being the northwesterly corner of said Tract J, The Crossing; Thence,

Easterly, 284.65 feet on the arc of a curve to the right (said curve having a radius of 4546.13 feet, a central angle of 03°35'15", and a chord that bears S 87°45'27" E, 284.60 feet) to the point of beginning.

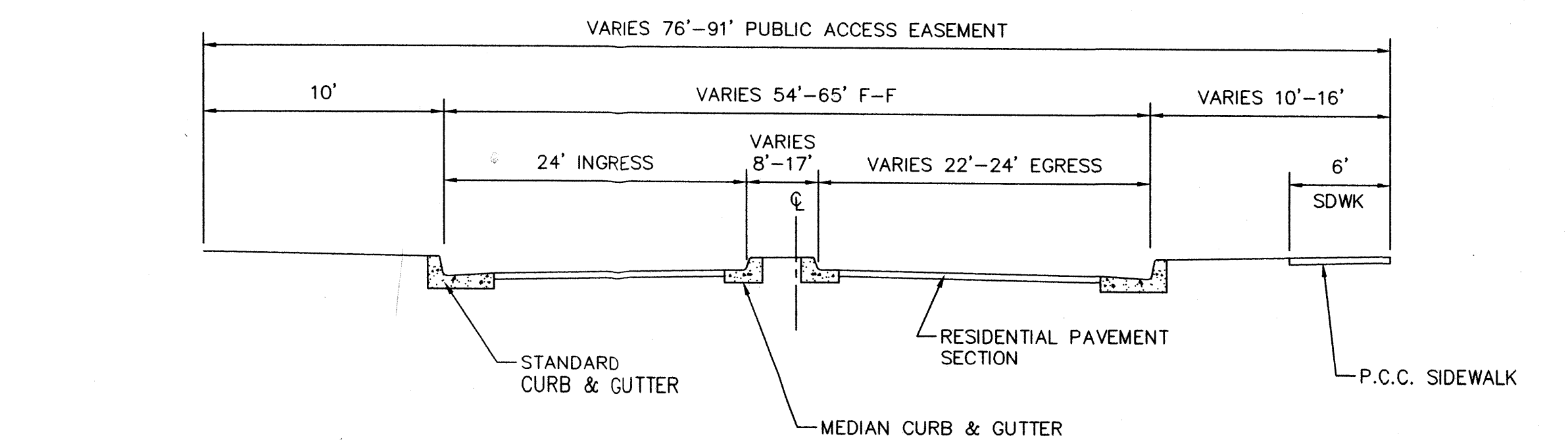
Said parcel contains 55.2416 acres, more or less



**TYPICAL RESIDENTIAL STREET SECTION**  
NTS

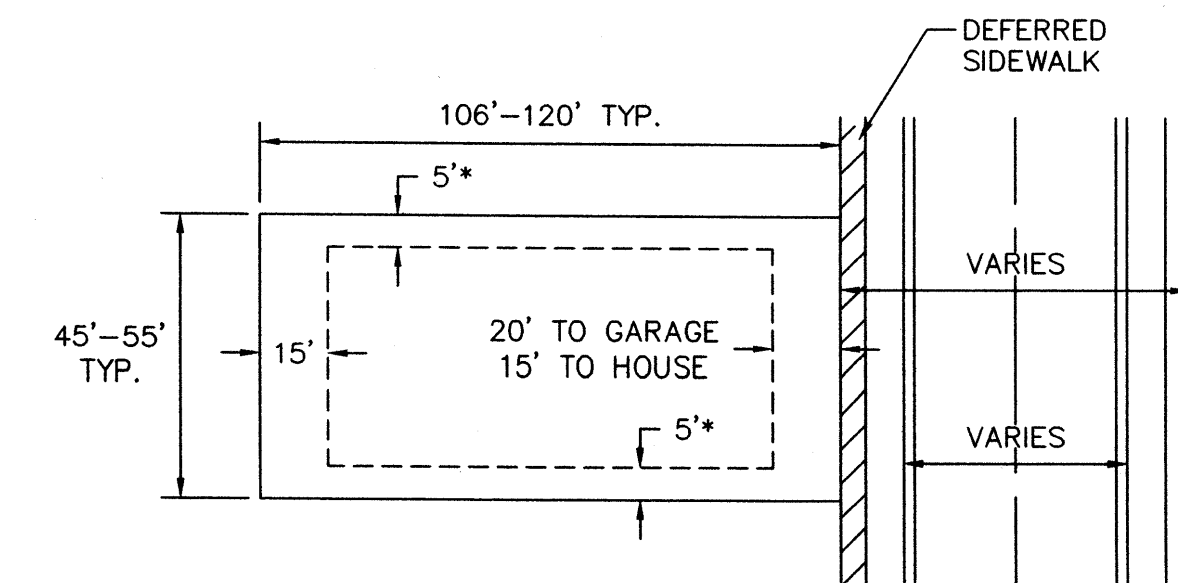


**UNIT 4 ENTRANCE STREET SECTION**  
NTS

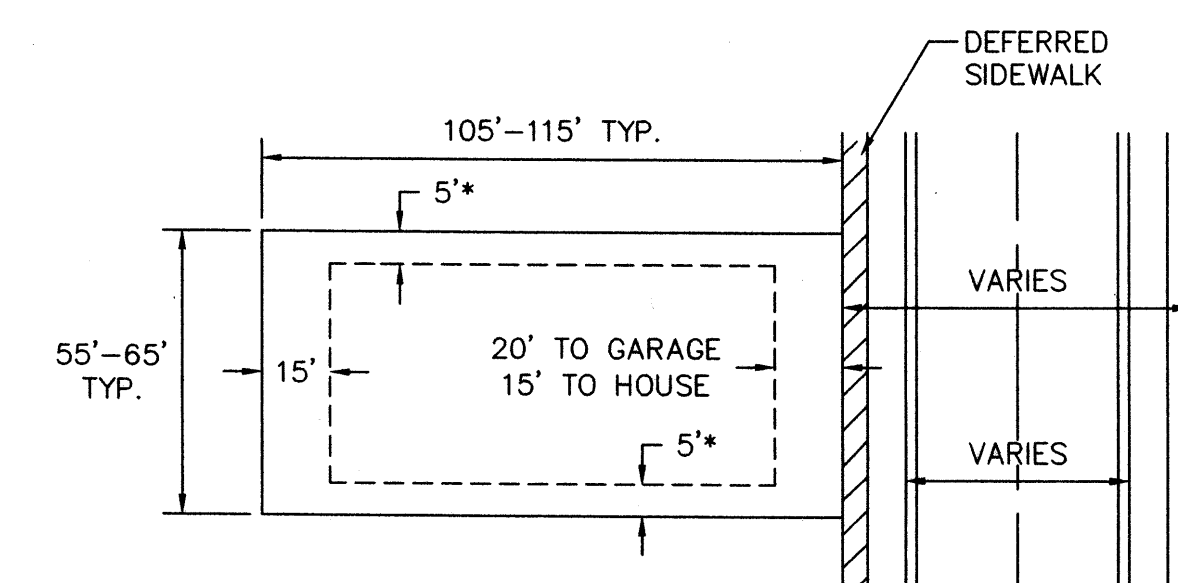


**UNIT 5 ENTRANCE STREET SECTION**  
NTS

PRELIMINARY  
PLAT FOR  
**STORMCLOUD SUBDIVISION UNITS 4 AND 5**  
BEING A REPLAT OF  
TRACTS B AND J THE CROSSINGS AND  
TRACT R STORMCLOUD SUBDIVISION UNIT 3  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JANUARY 2012



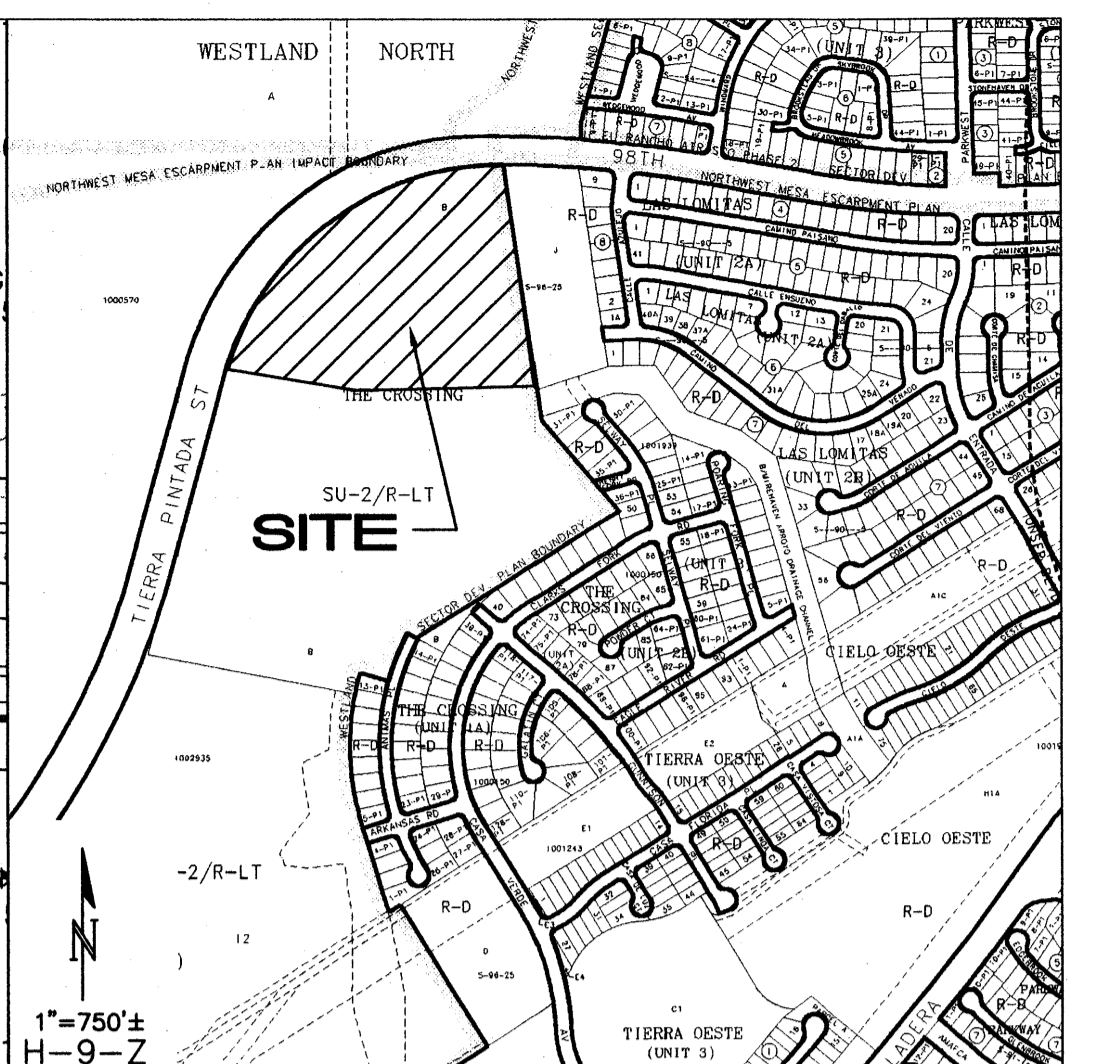
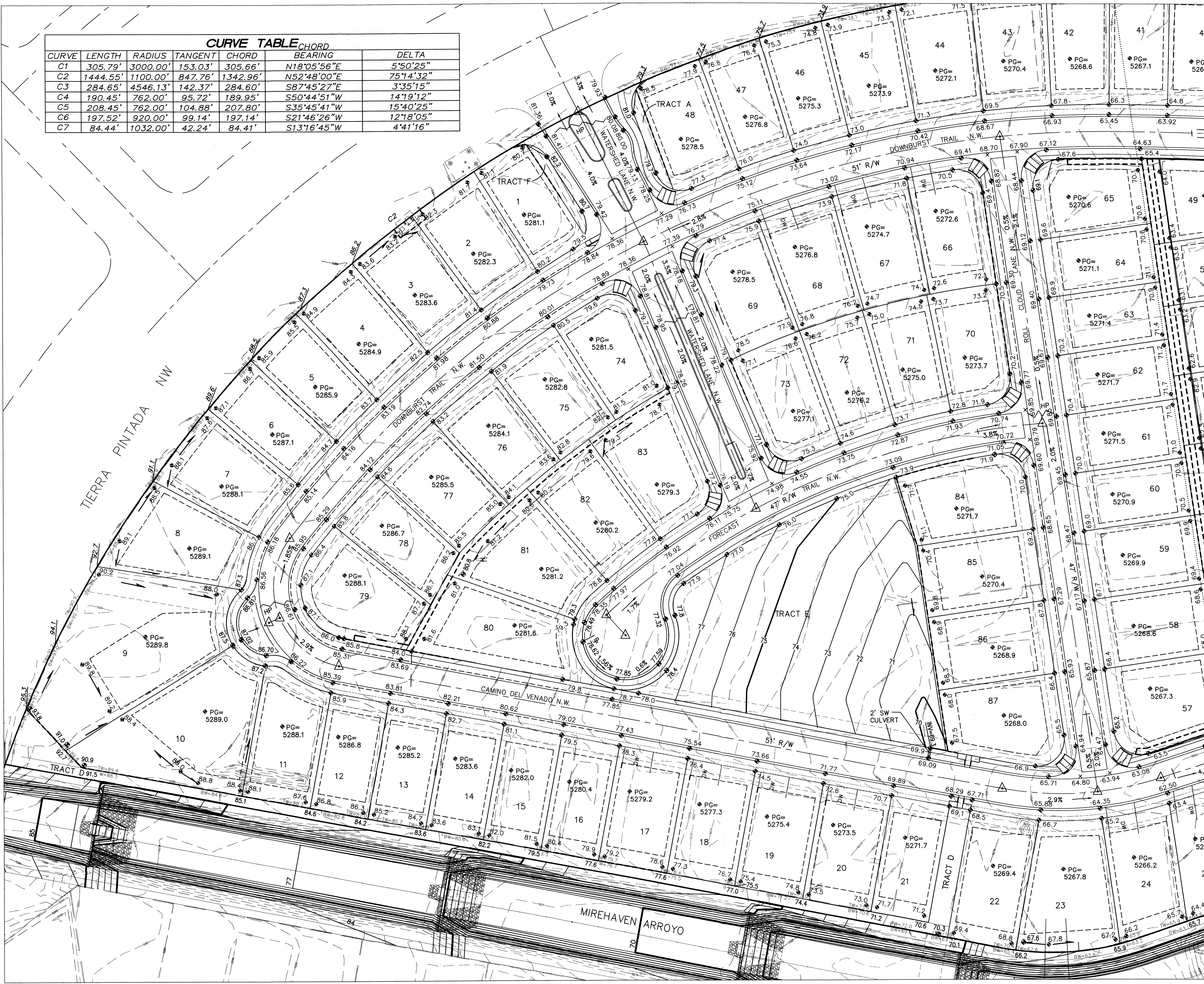
**TYPICAL UNIT 4 LOT DETAIL**  
NTS  
\* 10' SIDEYARD SETBACK  
ADJACENT TO STREET.  
MIN. LOT AREA=4770 SF



**TYPICAL UNIT 5 LOT DETAIL**  
NTS  
\* 10' SIDEYARD SETBACK  
ADJACENT TO STREET.  
MIN. LOT AREA=5775 SF



CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	305.79'	3000.00'	153.03'	305.66'	N18°05'56"E	5°50'25"
C2	1444.55'	1100.00'	847.76'	1342.96'	N52°48'00"E	75°14'32"
C3	284.65'	4546.13'	142.37'	284.60'	S87°45'27"E	3°35'15"
C4	190.45'	762.00'	95.72'	189.95'	S50°44'51"W	14°19'12"
C5	208.45'	762.00'	104.88'	207.80'	S35°45'41"W	15°40'25"
C6	197.52'	920.00'	99.14'	197.14'	S21°46'26"W	12°18'05"
C7	84.44'	1032.00'	42.24'	84.41'	S13°16'45"W	4°41'16"



**PROJECT NOTES:**

EXST LEGAL: TRACTS B & J, THE CROSSINGS

BENCHMARK: ACS MONUMENT 4-H9  
ELEVATION: 5209.315 (NAVD 1988)  
UNIT 5=21.4 AC.

ENGINEER: ASA NILSSON-WEBER  
ISAACSON & ARFMAN, P.A.

SURVEYOR: RUSTY HUGG  
SURVTEK, INC.

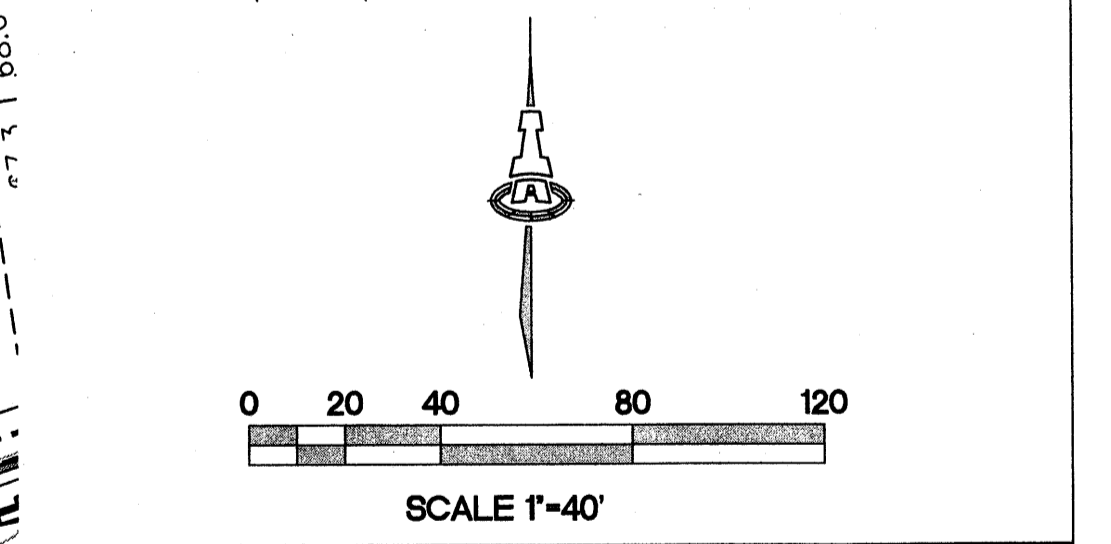
FLOOD PLAIN: THE SITE LIES WITHIN ZONE "X",  
ZONE "AO" AND ZONE "AE"  
PER FIRM MAP 35001C0326G.

**NOTES:**

- STREET GRADES ARE AT FLOWLINE.
- SEE SHEETS 4-6 FOR RETAINING WALL GRADES AND SECTIONS.

**LEGEND**

	5270	EXISTING CONTOUR
	52	PROPOSED CONTOUR
	78.3	PROPOSED ELEVATION
	PG=5272.1	PAD GRADE ELEVATION
		STANDARD (STD) CURB & GUTTER
		MOUNTABLE (MTBL) CURB & GUTTER
		STORM DRAIN W/ MANHOLE
		STORM DRAIN INLET
		PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	DW	RECOMMENDED DRIVEWAY LOCATION



	<b>ISAACSON &amp; ARFMAN, P.A.</b> Consulting Engineering Associates 128 Monroe Street N.E. Albuquerque, New Mexico 87108 Ph. 505-268-8828 www.isaacson.com
	1822 CG-101.dwg      Feb 09,2012

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**STORM CLOUD SUBDIVISION, UNIT 5  
GRADING & DRAINAGE PLAN**  
WALH, LLC.

<b>GRADING AND DRAINAGE PLAN</b>			
Date:	No. Revisions:	Date:	Job No.
NOV. 2011			1822
Drawn By:			<b>PAGE</b>
ANW			<b>SH.1 OF 6</b>
Ckd By:			

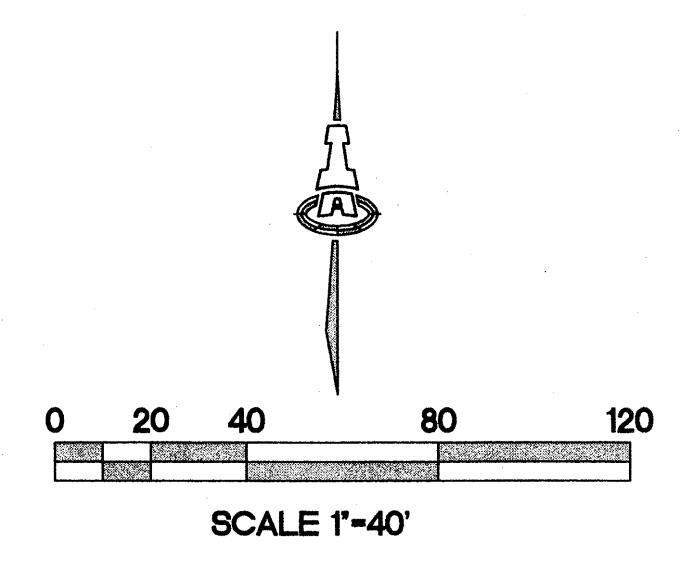


Albuquerque Control Survey Monument "3-H9"  
 New Mexico State Plane Coordinates  
 (Central Zone - NAD 83) as published  
 North = 1,496,938.322 feet  
 East = 1,496,470.170 feet  
 Elevation = 5,209.519 (NAVD 1988)  
 Delta Alpha = -00'16"36.72"  
 Ground to Grid Factor = 0.999678486

- NOTES:
1. STREET GRADES ARE AT FLOWLINE.
  2. SEE SHEETS 4-6 FOR RETAINING WALL GRADES AND SECTIONS.

**LEGEND**

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
◆	PROPOSED ELEVATION
PG=	PAD GRADE ELEVATION
---	STANDARD (STD) CURB & GUTTER
---	MOUNTABLE (MTBL) CURB & GUTTER
---	STORM DRAIN W/ MANHOLE
---	STORM DRAIN INLET
---	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
DW	RECOMMENDED DRIVEWAY LOCATION



ISAACSON & ARFMAN, P.A.  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 www.isacil.com

1822 CG-101.dwg Feb 09,2012

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**STORM CLOUD SUBDIVISION, UNIT 5  
 GRADING & DRAINAGE PLAN  
 WALH, LLC.**

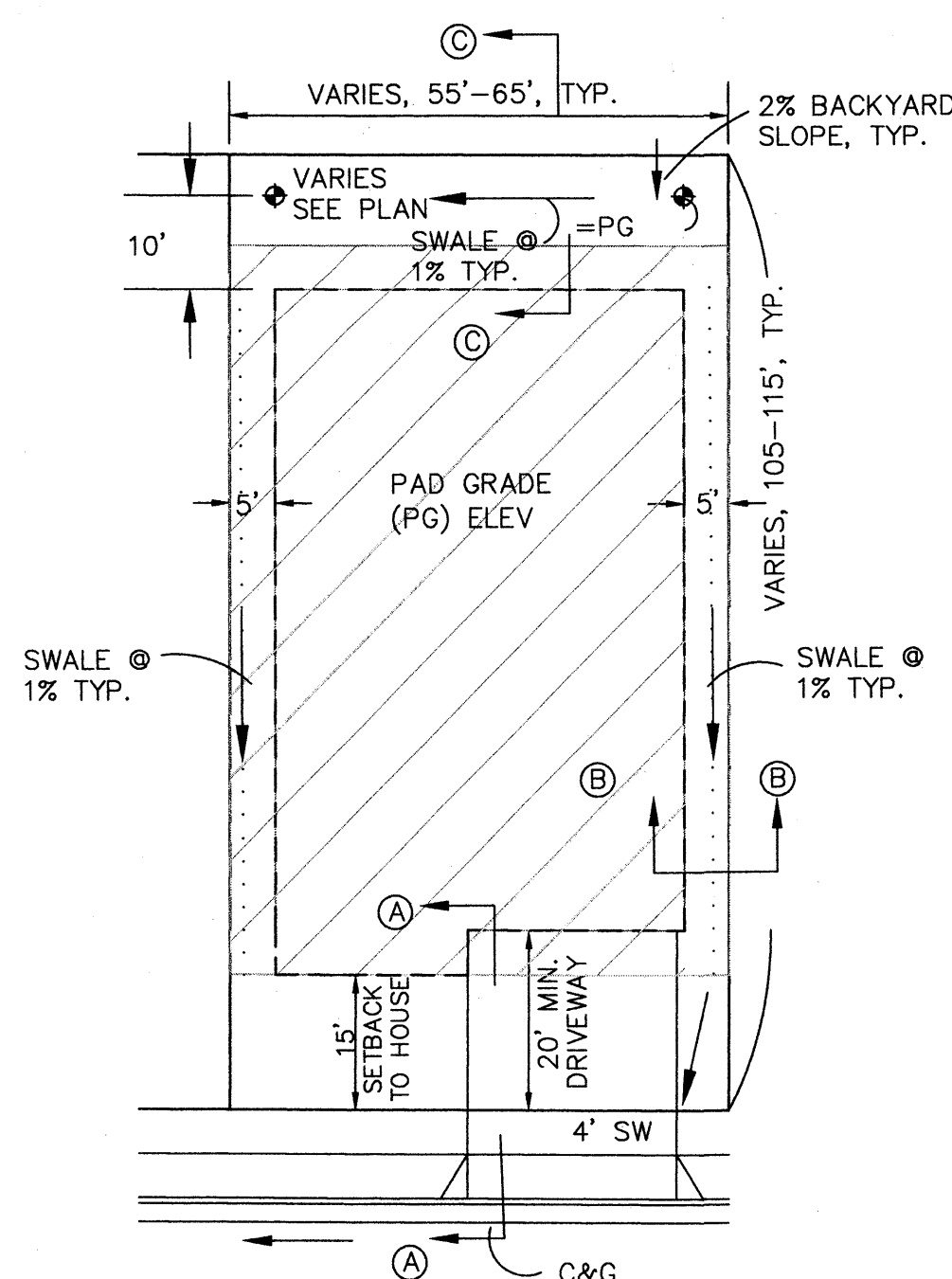
**GRADING AND DRAINAGE PLAN**

Date:	NOV. 2011	Date:	Job No. 1822
Drawn By:	ANW		<b>PAGE</b>
Ckd By:			<b>SH. 2 OF 6</b>

SEE SHEET 1

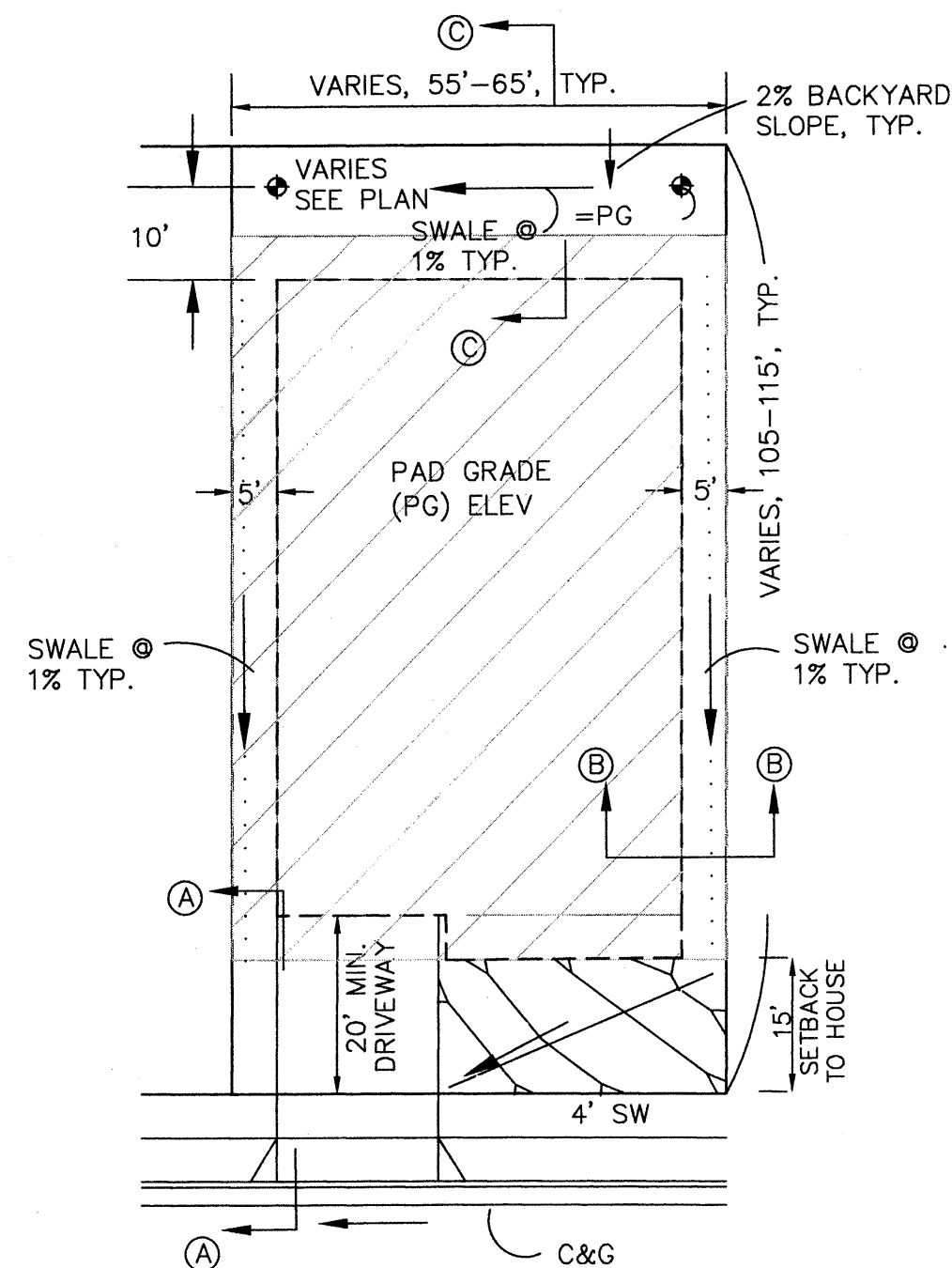






**TYPICAL LOT GRADING DETAIL**

SCALE: 1"=20' NOTE: 10' SIDEYARD SETBACK ADJACENT TO STREETS.

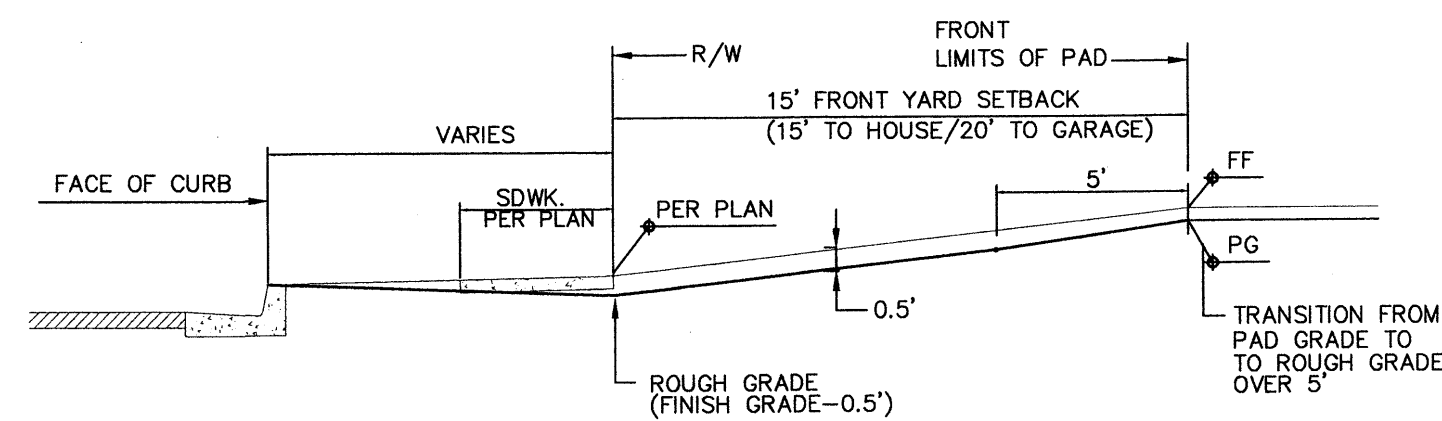


**TYPICAL LOT GRADING DETAIL  
DRIVEWAY ON LOW SIDE**

SCALE: 1"=20' NOTE: 10' SIDEYARD SETBACK ADJACENT TO STREETS.

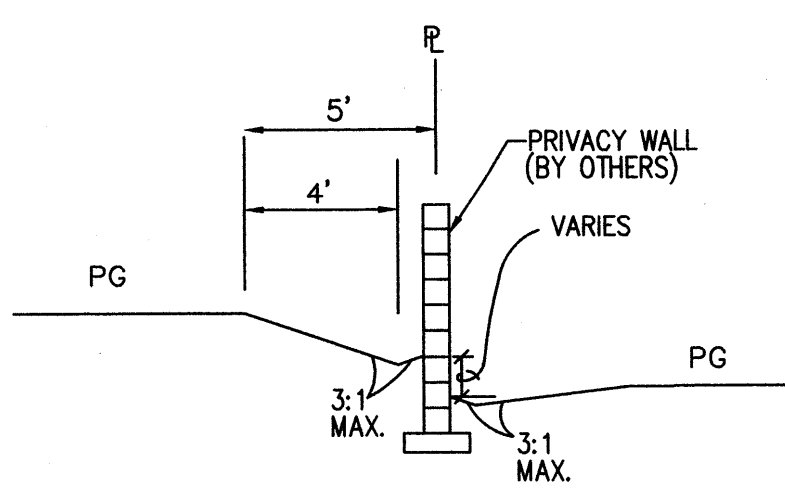
**DRIVEWAY NOTE:**

RECOMMENDED DRIVEWAY LOCATIONS ARE SHOWN ON PLANS WHERE STEEP STREET SLOPES OCCUR TO MINIMIZE DRIVEWAY SLOPES AND TO MINIMIZE RETAINING WALL HEIGHTS. WHERE DRIVEWAYS ARE SHOWN ON LOW SIDE, DRIVEWAYS SHALL BE CONSTRUCTED IN THIS LOCATION TO ENSURE A MIN. 1% SIDEYARD SWALE SLOPE.



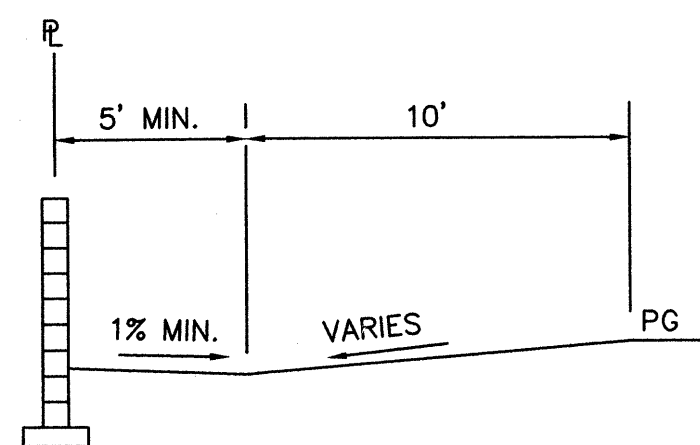
**SECTION A-A  
FRONT YARD GRADING**

SCALE: 1"=5'-0"



**SECTION B-B  
TYPICAL SIDEYARD GRADING**

SCALE: 1"=5'



**SECTION C-C  
TYPICAL BACKYARD GRADING**

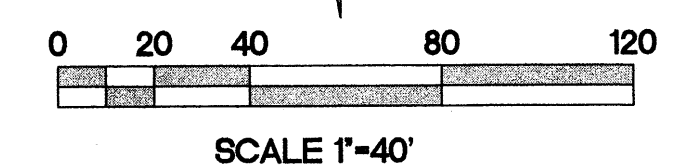
SCALE: 1"=5'

**OVEREXCAVATION NOTE:**

THREE FEET OF STRUCTURAL FILL SHALL BE PLACED ON BUILDING PADS PER THE GEOTECHNICAL REPORT BY VINYARD & ASSOCIATES, JUNE 6, 2006 (PROJECT #05-1-466).

**GRADING NOTES:**

- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT BY VINYARD & ASSOCIATES, JUNE 6, 2006 (PROJECT #05-1-466) AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED BY GEOTECHNICAL REPORT, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- PAD AND ROUGH GRADING ELEVATIONS SHALL CONFORM TO ELEVATIONS SHOWN ON PLANS LESS MATERIAL THICKNESS WITHIN A TOLERANCE OF 0.2± FEET.
- GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- FIVE (5) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATI.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION, REPORT ALL DISCREPANCIES TO THE ENGINEER AND VERIFY THE ENGINEER'S INTENT BEFORE PROCEEDING.
- TRANSITIONS TO EXISTING PAVEMENT GRADES SHALL BE SMOOTH AND LEVEL. ANY NEW PAVING SURFACE HOLDING WATER (BIRDBATH) SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S SOLE EXPENSE.
- SEE SITE DEMOLITION PLAN FOR ALL SITE DEMOLITION INFORMATION.



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1822 CO-101.dwg Feb 09,2012

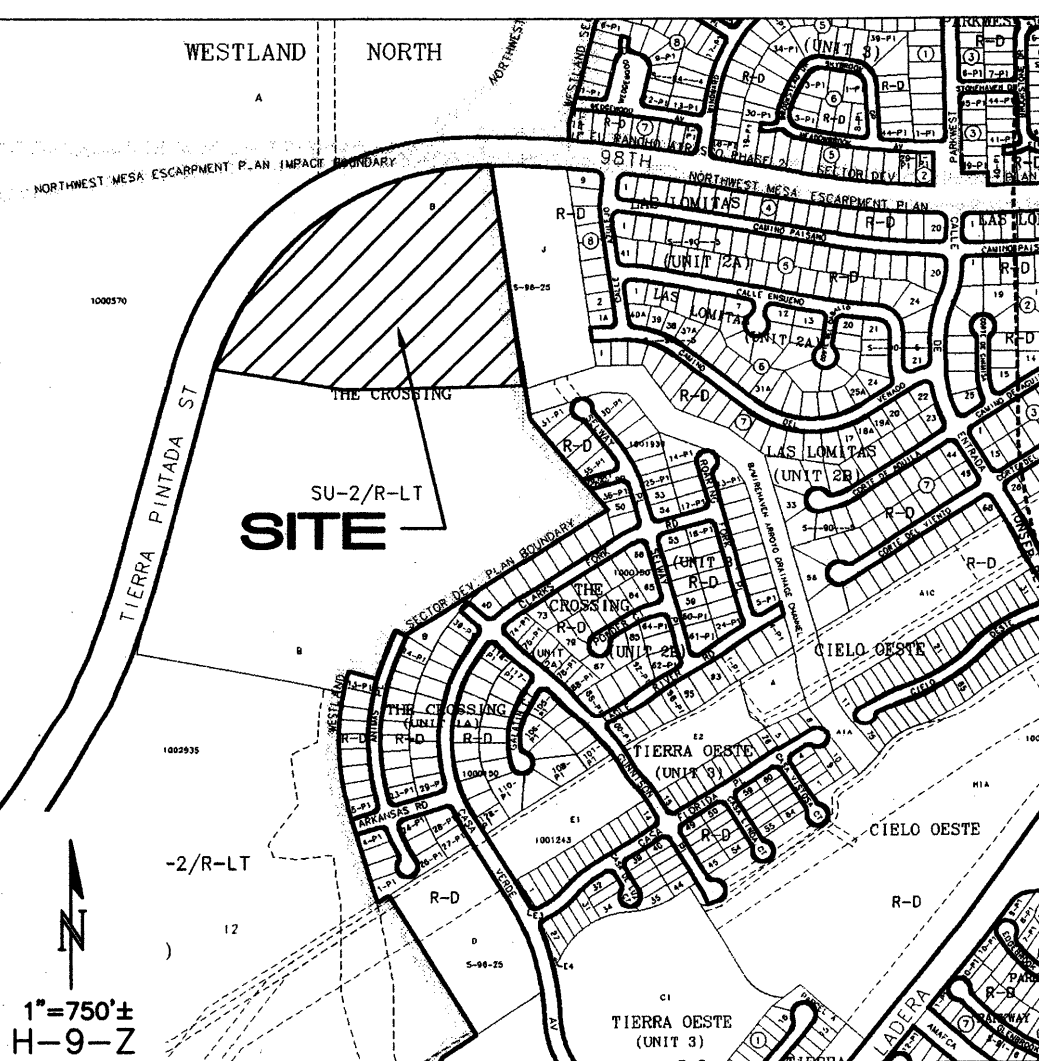
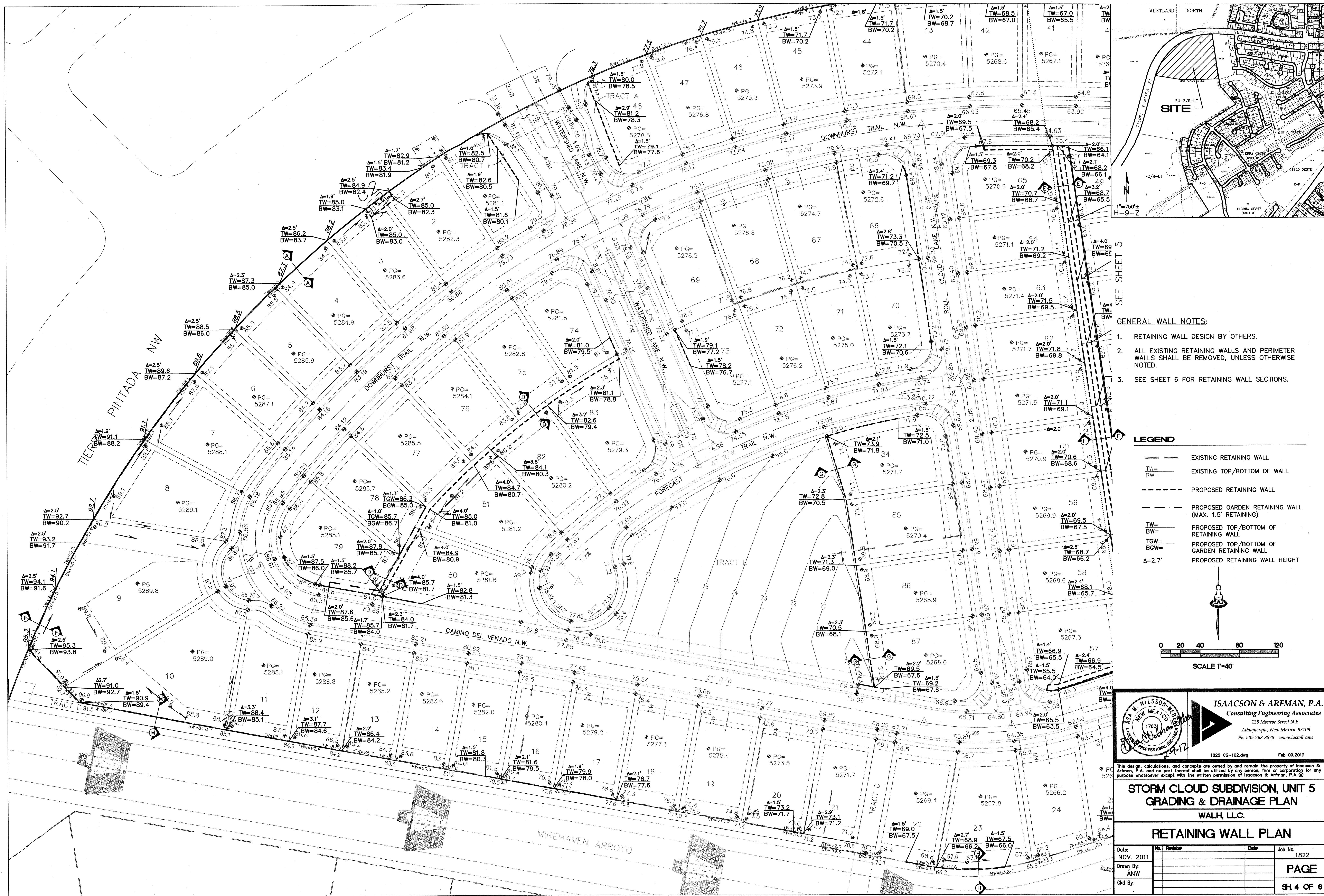
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**STORM CLOUD SUBDIVISION, UNIT 5  
GRADING & DRAINAGE PLAN**  
WALH, LLC.

**GRADING DETAILS**

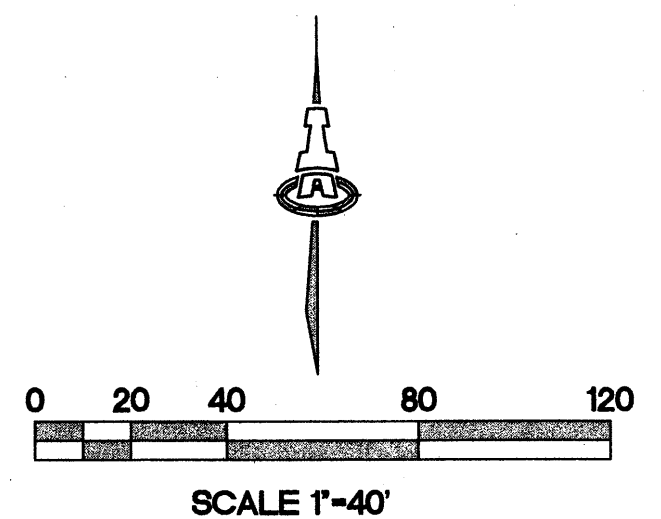
Date:	NOV. 2011	No. Revisions:	Date:	Job No.
Drawn By:	ANW			1822
Clk By:				<b>PAGE</b>
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- GENERAL WALL NOTES:**
- RETAINING WALL DESIGN BY OTHERS.
  - ALL EXISTING RETAINING WALLS AND PERIMETER WALLS SHALL BE REMOVED, UNLESS OTHERWISE NOTED.
  - SEE SHEET 6 FOR RETAINING WALL SECTIONS.

- LEGEND**
- EXISTING RETAINING WALL
  - TW= EXISTING TOP/BOTTOM OF WALL
  - BW=
  - - - PROPOSED RETAINING WALL
  - - - PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)
  - TW= PROPOSED TOP/BOTTOM OF RETAINING WALL
  - BGW= PROPOSED TOP/BOTTOM OF GARDEN RETAINING WALL
  - Δ=2.7' PROPOSED RETAINING WALL HEIGHT



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Albuquerque, New Mexico 87108  
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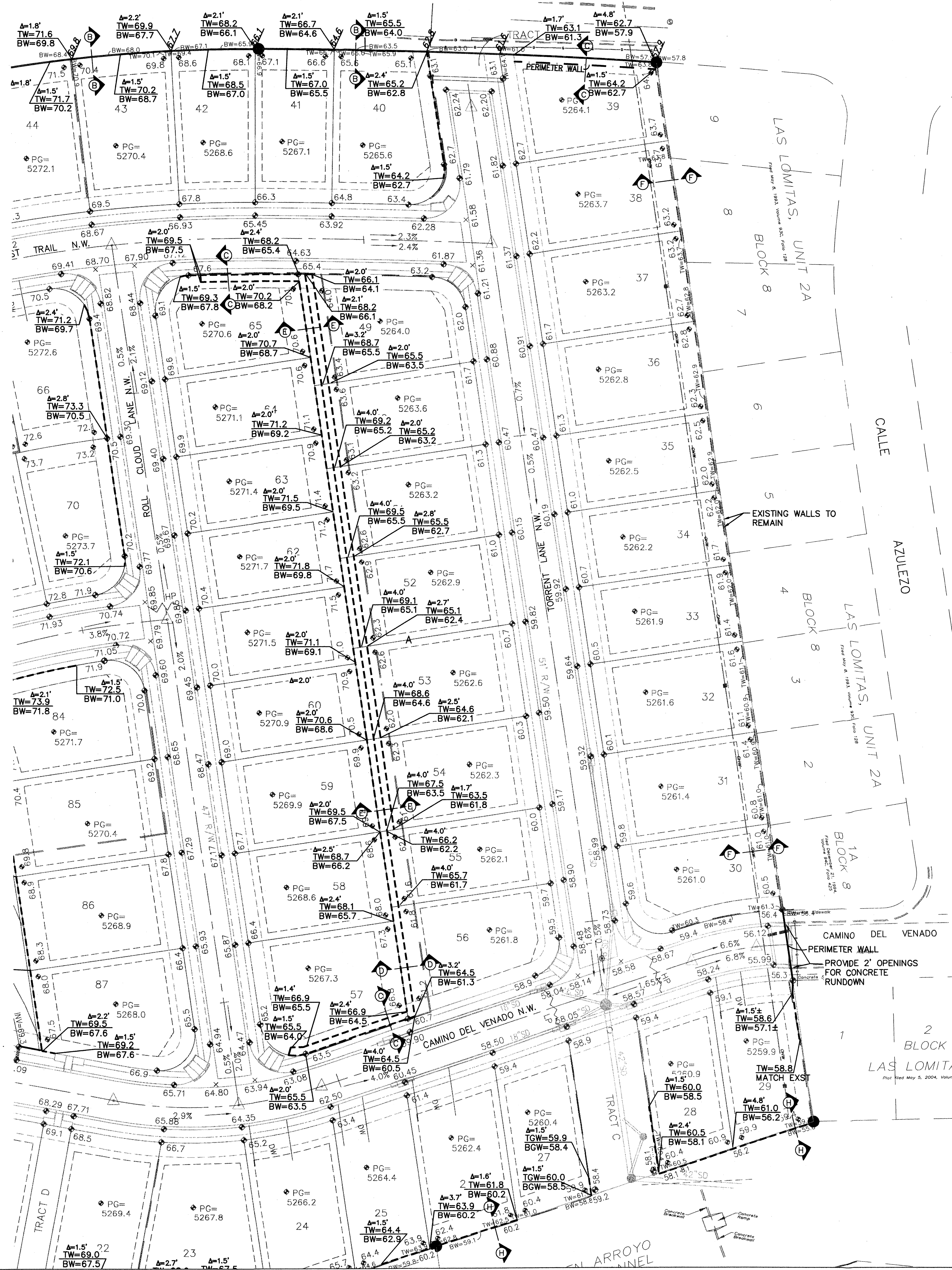
**STORM CLOUD SUBDIVISION, UNIT 5  
GRADING & DRAINAGE PLAN  
WALH, L.L.C.**

**RETAINING WALL PLAN**

Date:	NOV. 2011	Revision:	Date:	Job No.	1822
Drawn By:	ANW			<b>PAGE</b>	
Chk By:				<b>SH. 4 OF 6</b>	



SEE SHEET 4

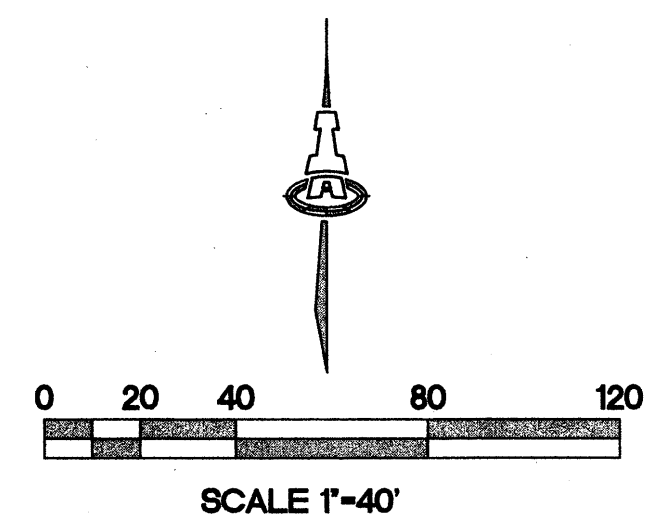


**GENERAL WALL NOTES:**

1. RETAINING WALL DESIGN BY OTHERS.
2. ALL EXISTING RETAINING WALLS AND PERIMETER WALLS SHALL BE REMOVED, UNLESS OTHERWISE NOTED.
3. SEE SHEET 6 FOR RETAINING WALL SECTIONS.

**LEGEND**

- — — — — EXISTING RETAINING WALL
- TW= — — — — — EXISTING TOP/BOTTOM OF WALL
- BW= — — — — — EXISTING TOP/BOTTOM OF WALL
- - - - - PROPOSED RETAINING WALL
- - - - - PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)
- TGW= — — — — — PROPOSED TOP/BOTTOM OF RETAINING WALL
- BGW= — — — — — PROPOSED TOP/BOTTOM OF GARDEN RETAINING WALL
- Δ=2.7' — — — — — PROPOSED RETAINING WALL HEIGHT



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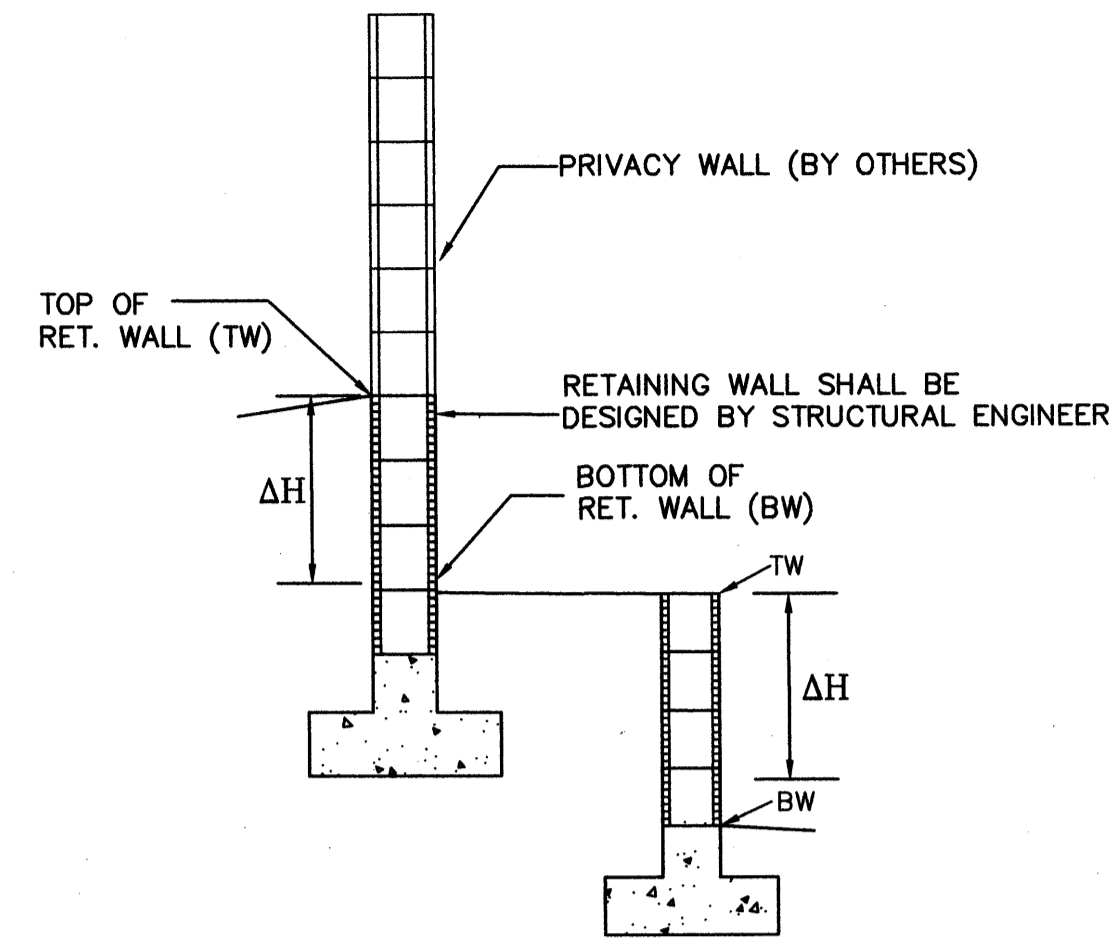
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**STORM CLOUD SUBDIVISION, UNIT 5  
 RETAINING WALL PLAN  
 WALH, LLC.**

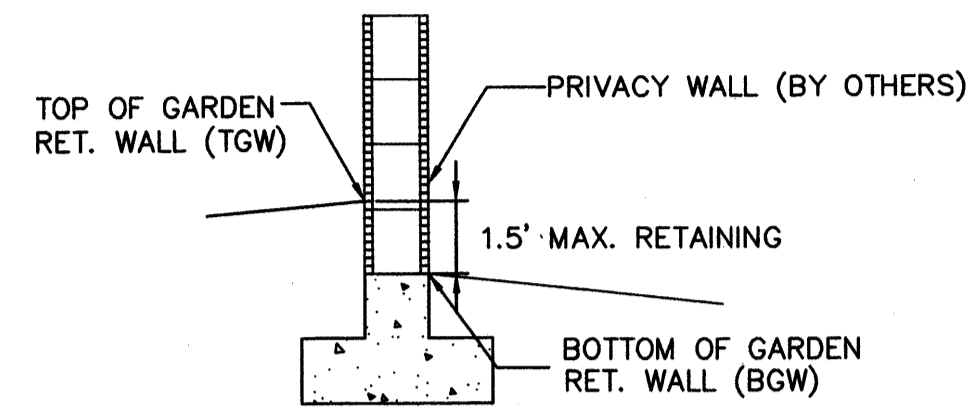
RETAINING WALL PLAN			
Date:	NOV. 2011	Date:	Job No. 1822
Drawn By:	ANW		<b>PAGE</b>
Ckd By:			<b>SH.5 OF 6</b>



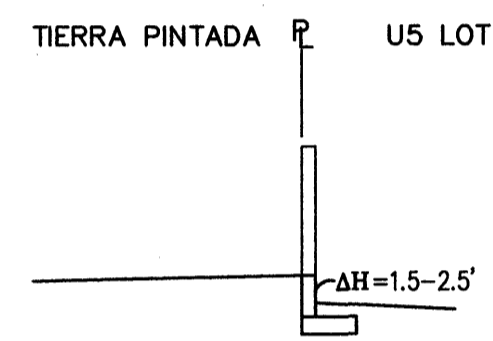


**RETAINING WALL**  
SCALE: 1"=5'-0"

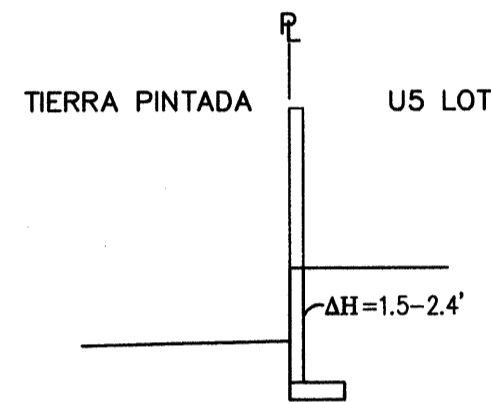
ΔH=RETAINING HEIGHT (SEE SECTIONS THIS SHEET)



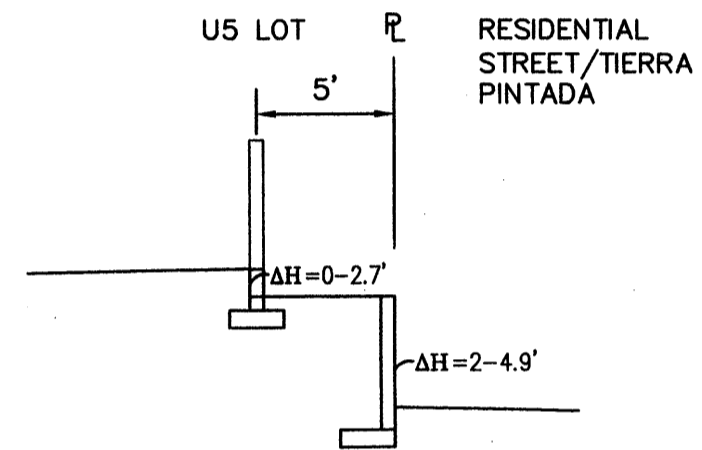
**GARDEN WALL RETAINING WALL**  
SCALE: 1"=5'-0"



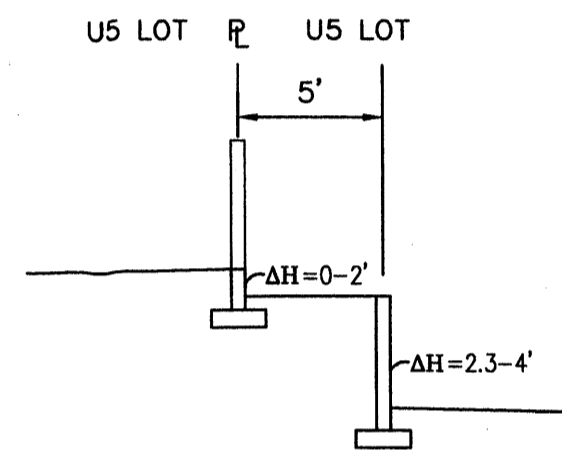
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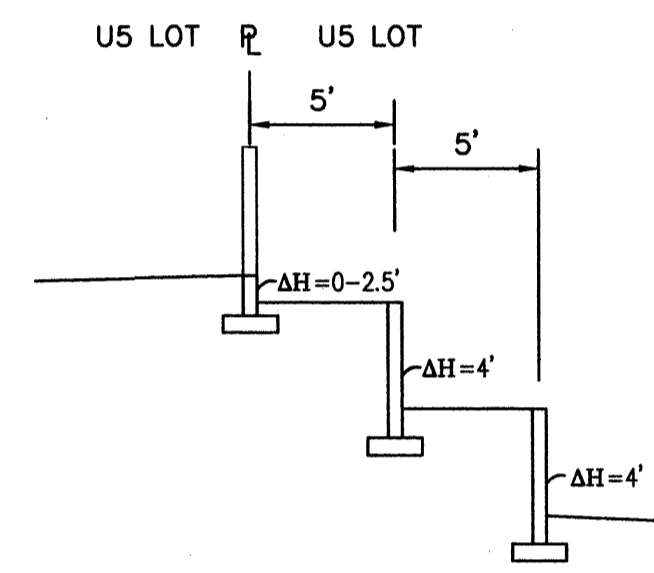
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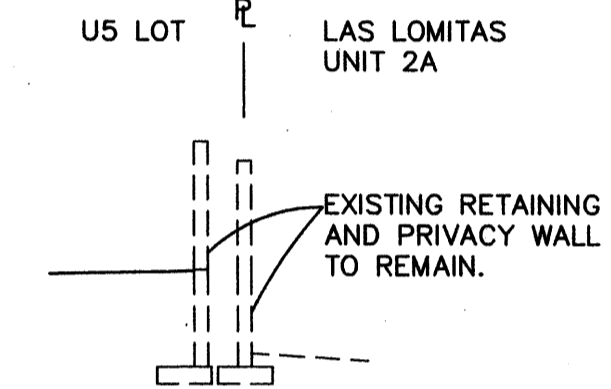
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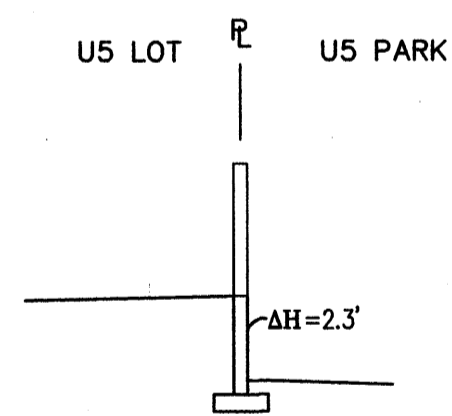
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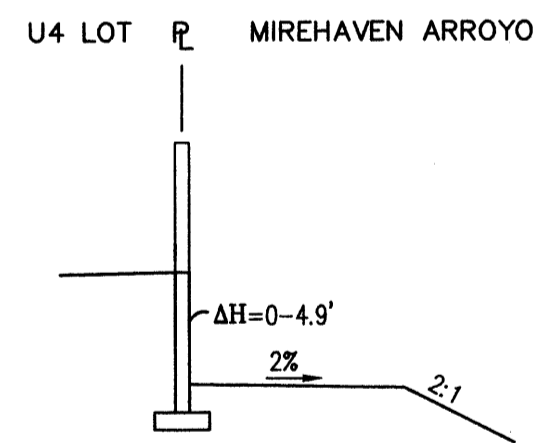
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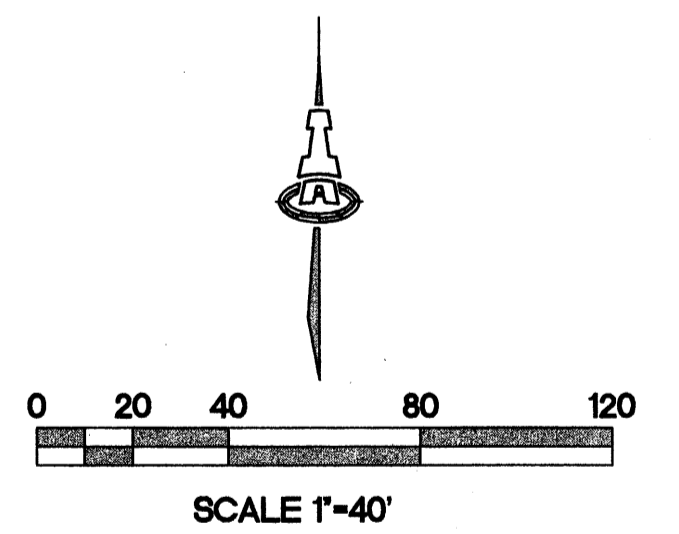
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**SECTION G-G**  
NTS



**SECTION H-H**  
NTS



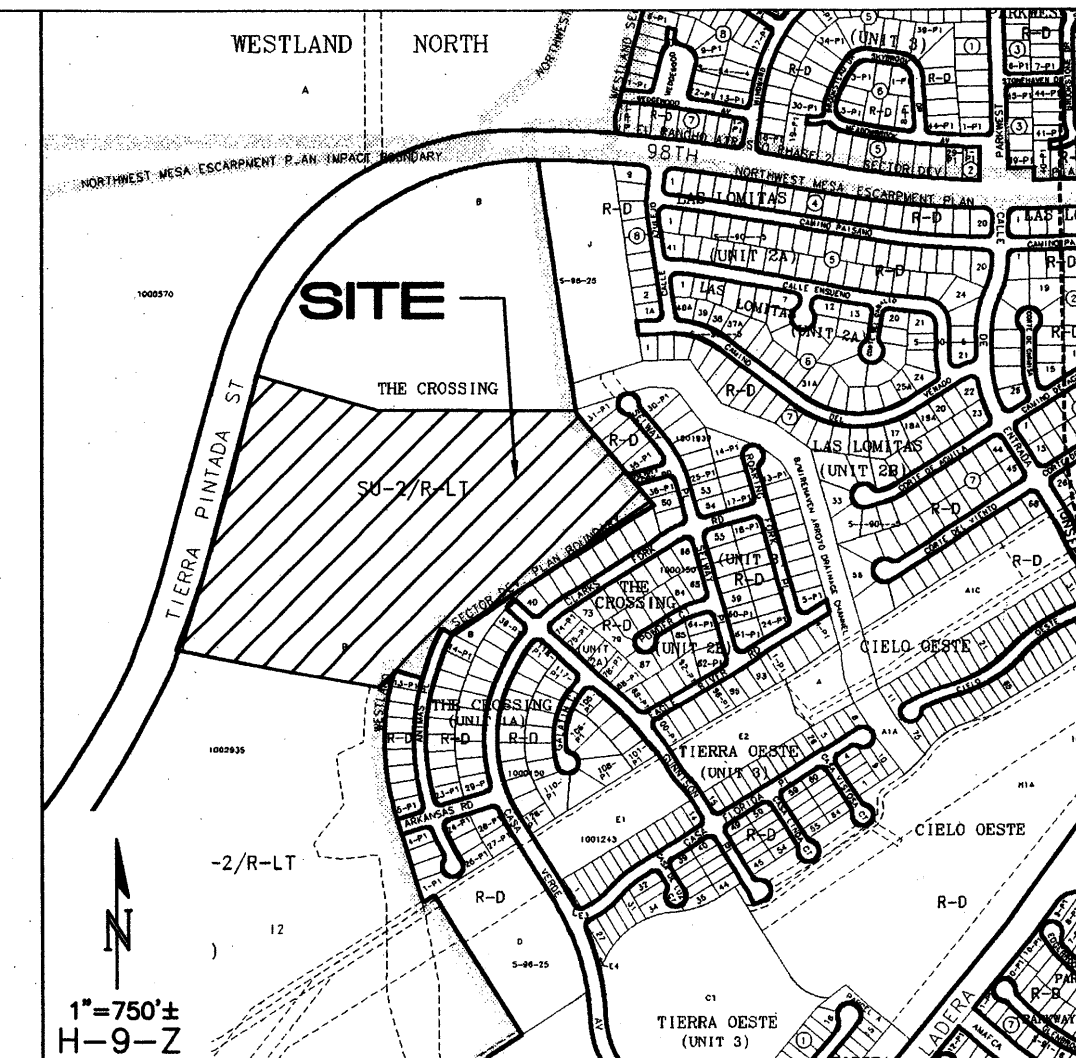

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<b>STORM CLOUD SUBDIVISION, UNIT 5</b>			
<b>WALH, LLC.</b>			
<b>RETAINING WALL SECTIONS</b>			
Date:	No. Revision	Date	Job No.
NOV. 2011			1822
Drawn By:			<b>PAGE</b>
ANW			
Ckd By:			<b>SH.6 OF 6</b>



BOUNDARY CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	305.79'	3000.00'	153.03'	305.66'	N18°05'56"E	5°50'25"
C2	1444.55'	1100.00'	847.76'	1342.96'	N52°48'00"E	75°14'32"
C3	284.65'	4546.13'	142.37'	284.60'	S87°45'27"E	3°35'15"
C4	190.45'	762.00'	95.72'	189.95'	S50°44'51"W	14°19'12"
C5	208.45'	762.00'	104.88'	207.80'	S35°45'41"W	15°40'25"
C6	197.52'	920.00'	99.14'	197.14'	S21°46'26"W	12°18'05"
C7	84.44'	1032.00'	42.24'	84.41'	S13°16'45"W	4°41'16"



**PROJECT NOTES:**

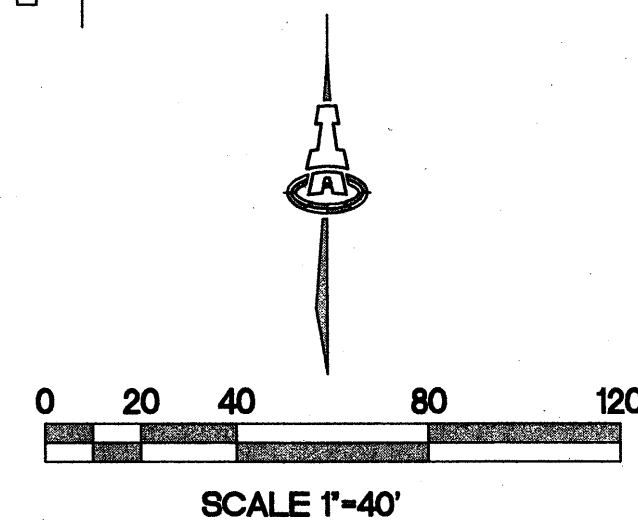
- EXIST LEGAL: TRACTS B & J, THE CROSSINGS
- BENCHMARK: ACS MONUMENT 4-H9  
ELEVATION: 5209.315 (NAVD 1988)  
AREA: UNIT 4 AREA=31.03 AC.
- ENGINEER: ASA NILSSON-WEBER  
ISAACSON & ARFMAN, P.A.
- SURVEYOR: RUSTY HUGG  
SURVEY, INC.
- FLOOD PLAIN: THE SITE LIES WITHIN ZONE "X",  
ZONE "AO" AND ZONE "AE"  
PER FIRM MAP 35001C0326G.

**NOTES:**

- STREET GRADES ARE AT FLOWLINE.
- SEE SHEETS 5-8 FOR RETAINING WALL GRADES AND SECTIONS.

**LEGEND**

- 5270 — EXISTING CONTOUR
- 52 — PROPOSED CONTOUR
- ◆ 78.3 PROPOSED ELEVATION
- PG=5272.1 PAD GRADE ELEVATION
- — STANDARD (STD) CURB & GUTTER
- — MOUNTABLE (MTBL) CURB & GUTTER
- — STORM DRAIN W/ MANHOLE
- — STORM DRAIN INLET
- - - PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- DW — RECOMMENDED DRIVEWAY LOCATION



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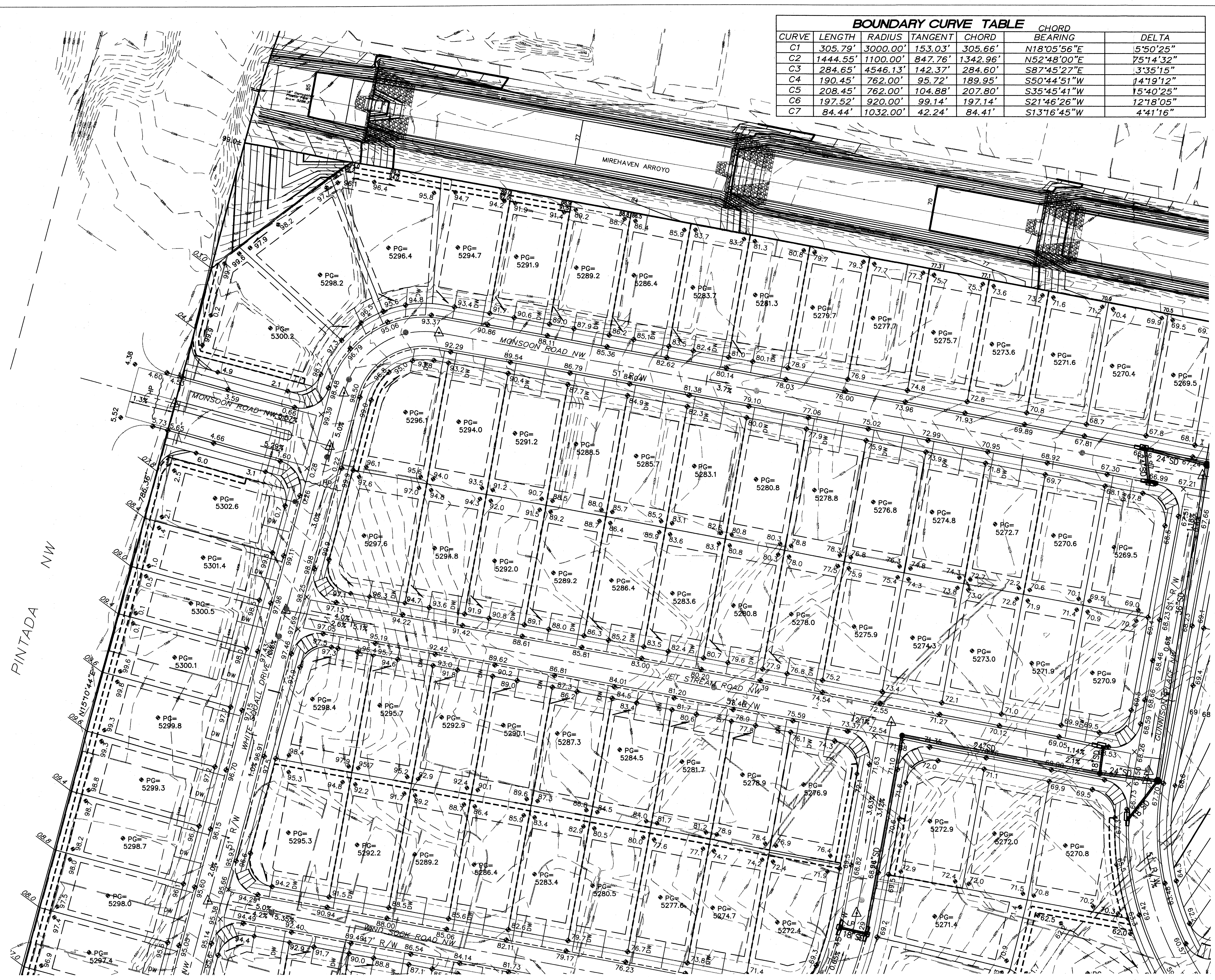
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**STORM CLOUD SUBDIVISION  
UNIT 4  
WALH, LLC.**

**GRADING AND DRAINAGE PLAN**

Date:	No. / Revision:	Date:	Job No. 1821
Nov 2011			
Drawn By:			<b>PAGE</b>
ANW			
Ckd By:			<b>SH.1 OF 8</b>



SEE SHEET 2

SEE SHEET 3



SEE SHEET 1



SEE SHEET 3

NOTES:

1. STREET GRADES ARE AT FLOWLINE.
2. SEE SHEETS 5-8 FOR RETAINING WALL GRADES AND SECTIONS.

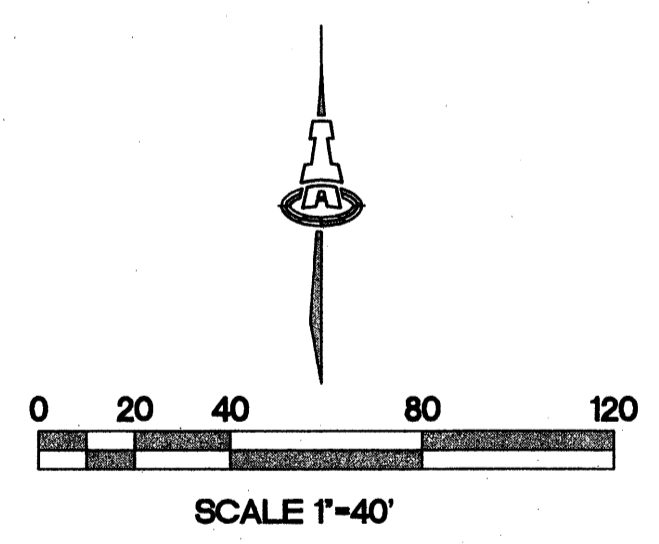
LEGEND

- 52.0 --- EXISTING CONTOUR
- 52 --- PROPOSED CONTOUR
- ◆ 78.3 PROPOSED ELEVATION
- PG=5272.1 PAD GRADE ELEVATION
- ==== STANDARD (STD) CURB & GUTTER
- ==== MOUNTABLE (MTL) CURB & GUTTER
- ==== STORM DRAIN W/ MANHOLE
- ◆ STORM DRAIN INLET
- - - - PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- DW RECOMMENDED DRIVEWAY LOCATION

SEE BELOW FOR ACS MONUMENT TIE

Albuquerque Control Survey Monument "BH-41"  
 New Mexico State Plane Coordinates  
 (Central Zone - NAD 83) as published  
 North = 1,496,608.828 feet  
 East = 1,491,701.376 feet  
 Delta Alpha = -0017'09.70"  
 Ground to Grid Factor = 0.999670930

ZEPHYR PLACE



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<b>STORM CLOUD SUBDIVISION UNIT 4</b>			
<b>WALH, LLC.</b>			
<b>GRADING AND DRAINAGE PLAN CONT.</b>			
Date: NOV. 2011	No. Revisions:	Date:	Job No. 1821
Drawn By: ANW			<b>PAGE</b>
Ckd By:			<b>SH. 2 OF 8</b>





SEE SHEET 1

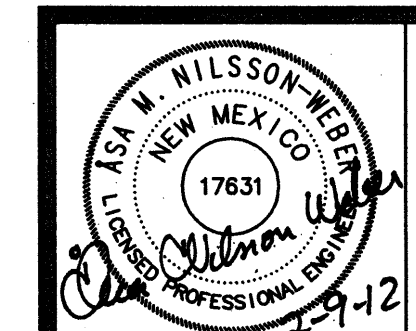
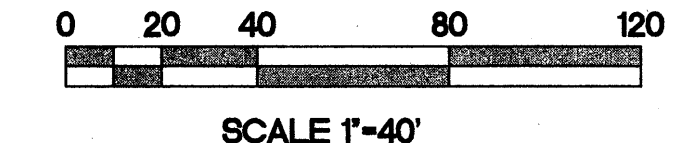
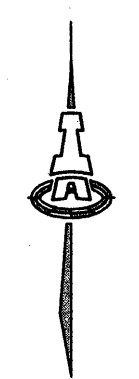
SEE SHEET 2

**NOTES:**

1. STREET GRADES ARE AT FLOWLINE.
2. SEE SHEETS 5-8 FOR RETAINING WALL GRADES AND SECTIONS.

**LEGEND**

- 5270 --- EXISTING CONTOUR
- 52 — PROPOSED CONTOUR
- ◆ 78.3 PROPOSED ELEVATION
- PG=5272.1 PAD GRADE ELEVATION
- ==== STANDARD (STD) CURB & GUTTER
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- ==== STORM DRAIN INLET
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- DW RECOMMENDED DRIVEWAY LOCATION



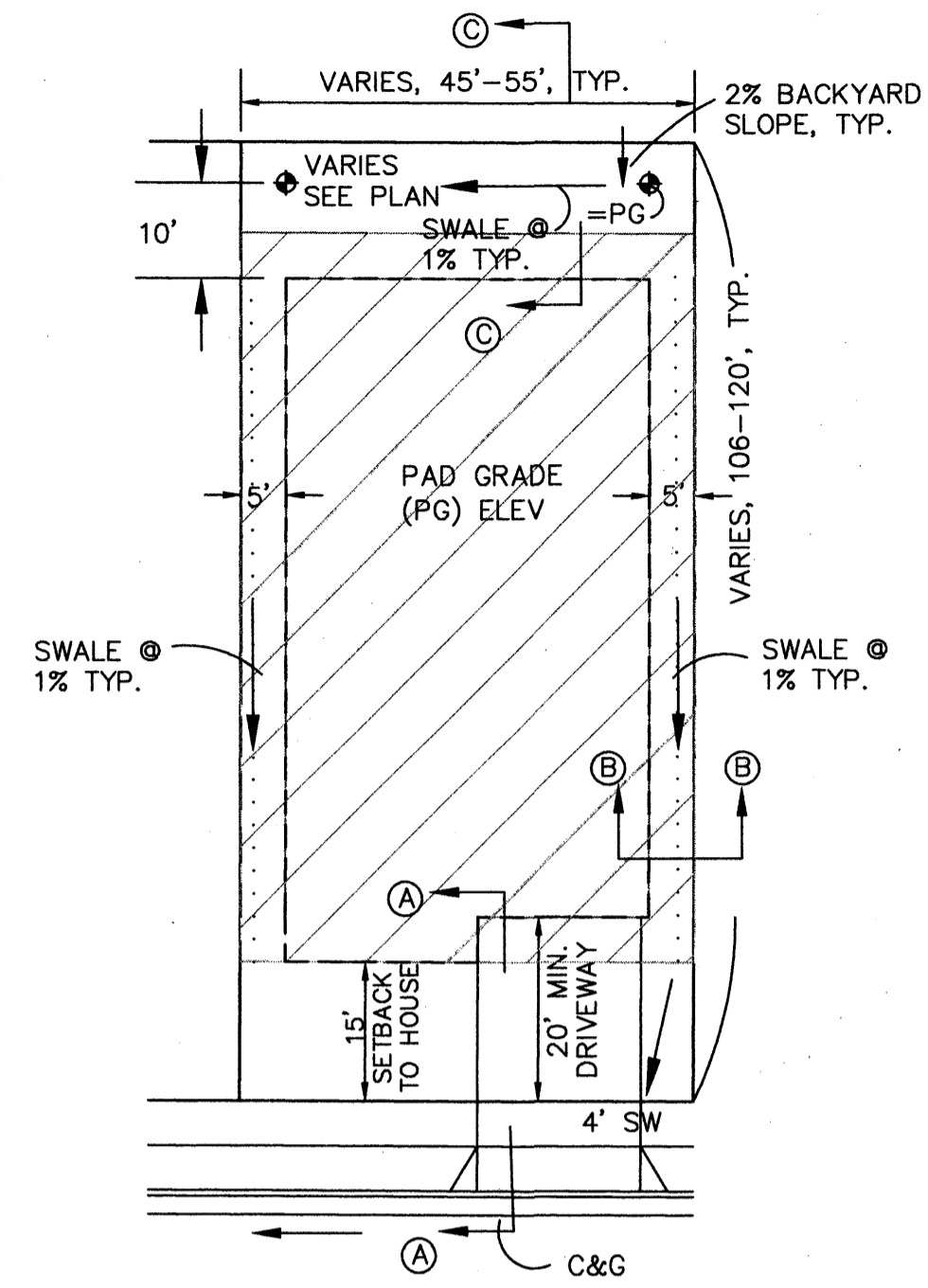
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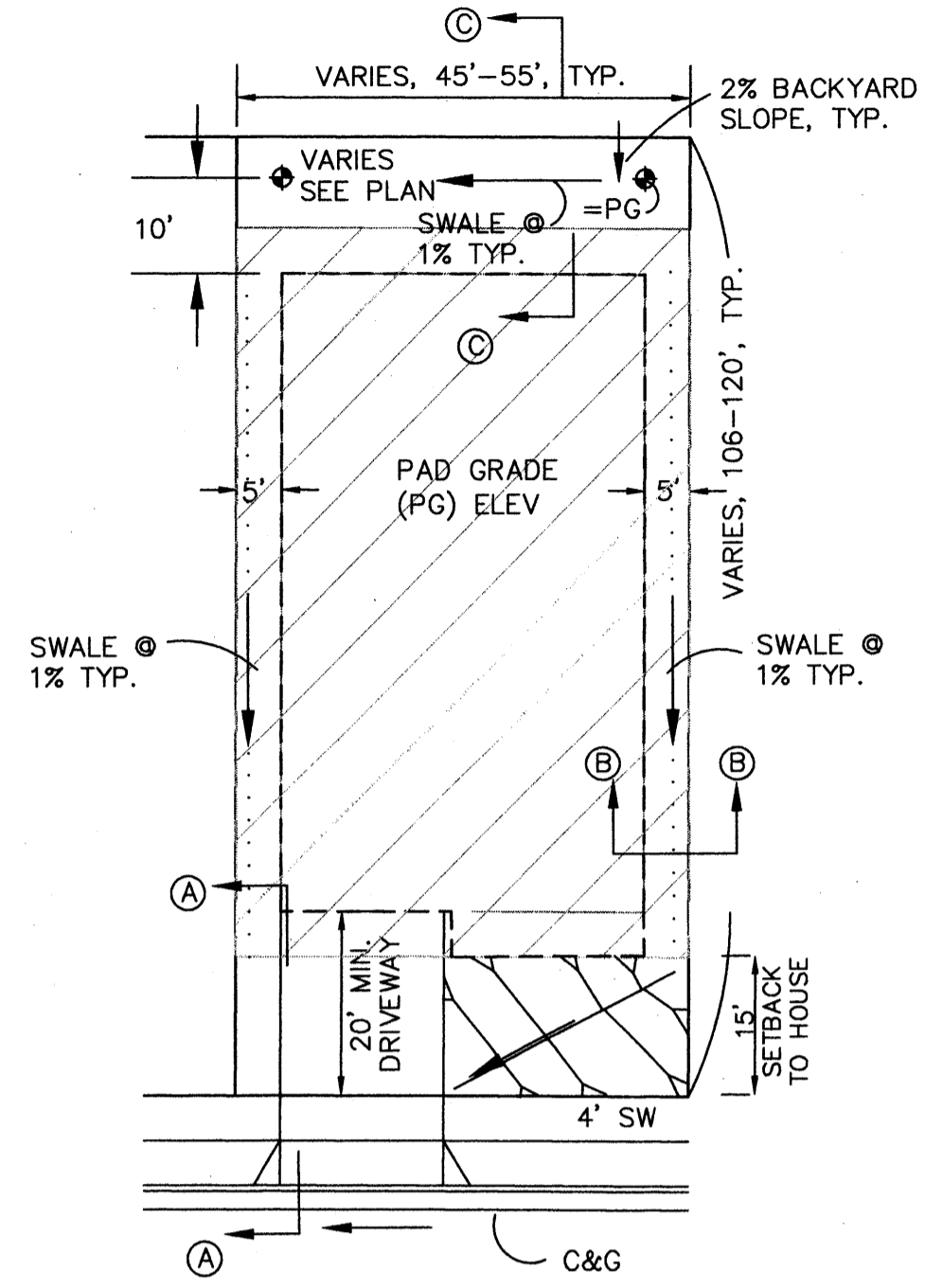
<b>STORM CLOUD SUBDIVISION UNIT 4 WALH, LLC.</b>			
<b>GRADING AND DRAINAGE PLAN CONT.</b>			
Date:	No. / Revisors	Date	Job No.
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Chk By:			





**TYPICAL LOT GRADING DETAIL**

SCALE: 1"=20' NOTE: 10' SIDERYARD SETBACK ADJACENT TO STREETS.

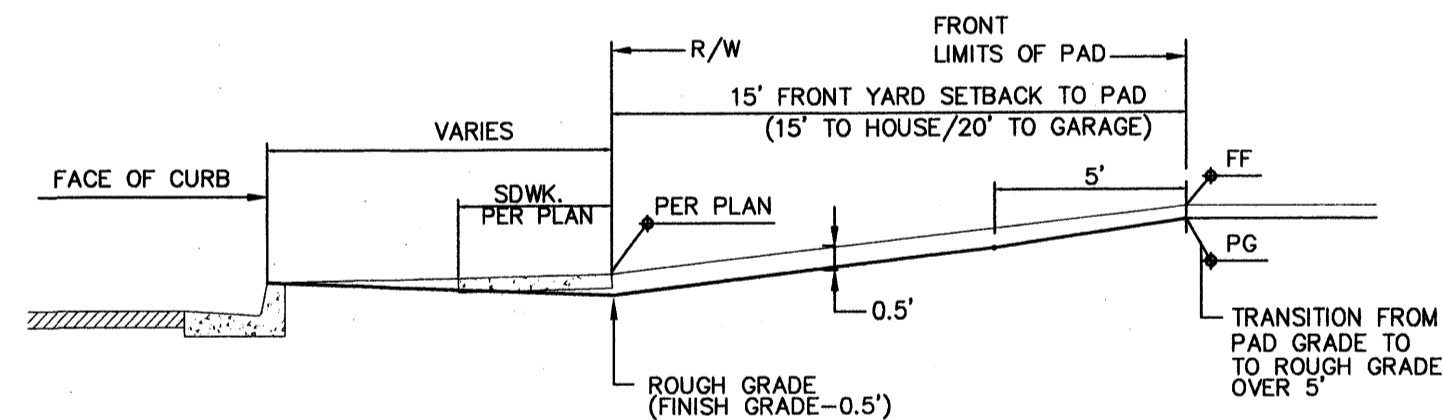


**TYPICAL LOT GRADING DETAIL**  
**DRIVEWAY ON LOW SIDE**

SCALE: 1"=20' NOTE: 10' SIDERYARD SETBACK ADJACENT TO STREETS.

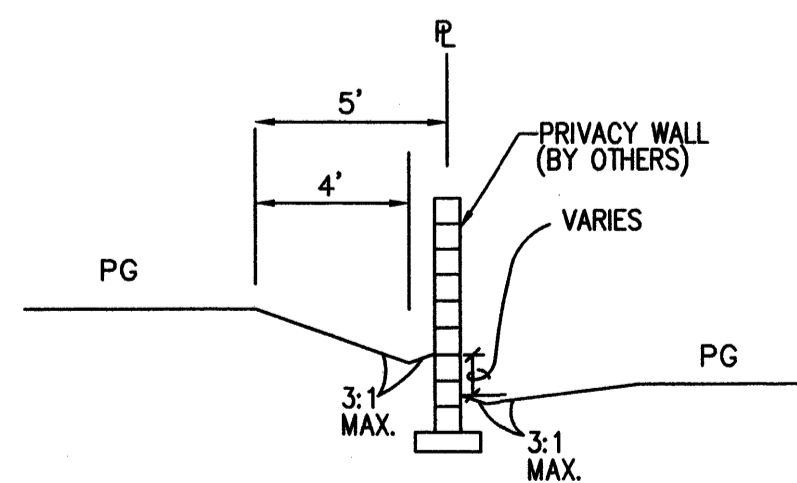
**DRIVEWAY NOTE:**

RECOMMENDED DRIVEWAY LOCATIONS ARE SHOWN ON PLANS WHERE STEEP STREET SLOPES OCCUR TO MINIMIZE DRIVEWAY SLOPES AND TO MINIMIZE RETAINING WALL HEIGHTS. WHERE DRIVEWAYS ARE SHOWN ON LOW SIDE, DRIVEWAYS SHALL BE CONSTRUCTED IN THIS LOCATION TO ENSURE A MIN. 1% SIDERYARD SWALE SLOPE.



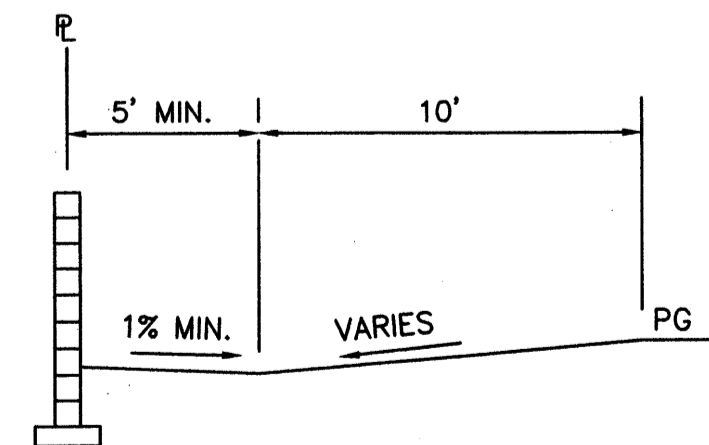
**SECTION A-A**  
**FRONT YARD GRADING**

SCALE: 1"=5'-0"



**SECTION B-B**  
**TYPICAL SIDERYARD GRADING**

SCALE: 1"=5'



**SECTION C-C**  
**TYPICAL BACKYARD GRADING**

SCALE: 1"=5'

**OVEREXCAVATION NOTE:**

THREE FEET OF STRUCTURAL FILL SHALL BE PLACED ON BUILDING PADS PER THE GEOTECHNICAL REPORT BY VINYARD & ASSOCIATES, JUNE 6, 2006 (PROJECT #05-1-466).

**GRADING NOTES:**

- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT BY VINYARD & ASSOCIATES, JUNE 6, 2006 (PROJECT #05-1-466) AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED BY GEOTECHNICAL REPORT, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- PAD AND ROUGH GRADING ELEVATIONS SHALL CONFORM TO ELEVATIONS SHOWN ON PLANS LESS MATERIAL THICKNESS WITHIN A TOLERANCE OF 0.2± FEET.
- GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.) CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- FIVE (5) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ENGINEER AND VERIFY THE ENGINEER'S INTENT BEFORE PROCEEDING.
- TRANSITIONS TO EXISTING PAVEMENT GRADES SHALL BE SMOOTH AND LEVEL. ANY NEW PAVING SURFACE HOLDING WATER (BIRDBATH) SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S SOLE EXPENSE.
- SEE SITE DEMOLITION PLAN FOR ALL SITE DEMOLITION INFORMATION.

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Ph. 505-268-8828 www.isaacson.com

1821 CG-101.dwg Feb 09, 2012

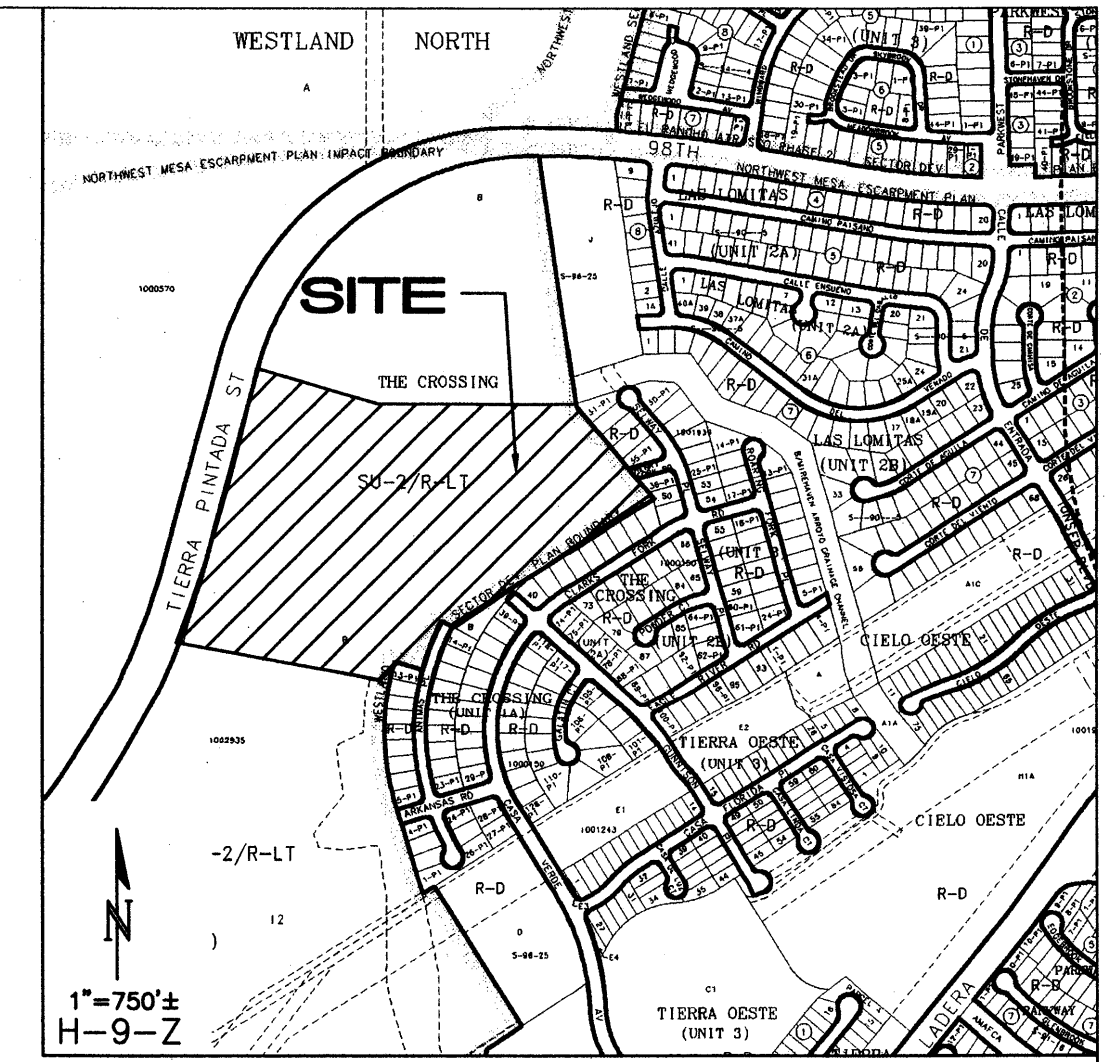
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**STORM CLOUD SUBDIVISION**  
**UNIT 4**  
**WALH, LLC.**

**GRADING AND DRAINAGE PLAN**

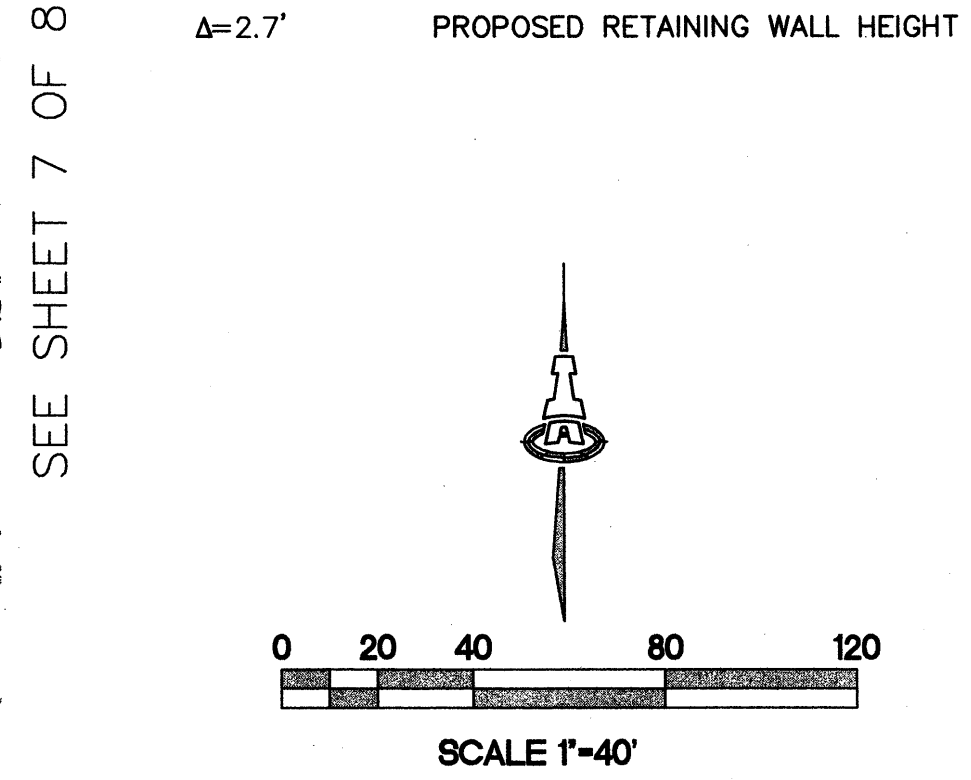
Date:	No. / Reviser:	Date:	Job No.:
NOV 2011			1821
Drawn By:			<b>PAGE</b>
ANW			<b>SH. 4 OF 8</b>
Chk By:			





- GENERAL WALL NOTES:**
- RETAINING WALL DESIGN BY OTHERS.
  - ALL EXISTING RETAINING WALLS AND PERIMETER WALLS SHALL BE REMOVED, UNLESS OTHERWISE NOTED.
  - SEE SHEET 8 FOR RETAINING WALL SECTIONS.

- LEGEND**
- EXISTING RETAINING WALL
  - TW= EXISTING TOP/BOTTOM OF WALL
  - BW=
  - - - PROPOSED RETAINING WALL
  - - - PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)
  - TW= PROPOSED TOP/BOTTOM OF RETAINING WALL
  - BW=
  - TGW= PROPOSED TOP/BOTTOM OF GARDEN RETAINING WALL
  - BGW=
  - A=2.7' PROPOSED RETAINING WALL HEIGHT



**ISACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 www.isac.com

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**STORM CLOUD SUBDIVISION  
 UNIT 4  
 WALH, LLC.**

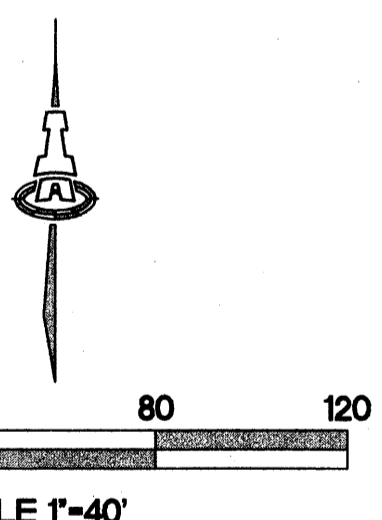
**GRADING AND DRAINAGE PLAN**

Date:	No.	Revision	Date	Job No.
NOV. 2011				1821
Drawn By:				<b>PAGE</b>
Ckd By:				<b>SH 5 OF 8</b>

SEE SHEET 6 OF 8

SEE SHEET 7 OF 8





**GENERAL WALL NOTES:**

1. RETAINING WALL DESIGN BY OTHERS.
2. ALL EXISTING RETAINING WALLS AND PERIMETER WALLS SHALL BE REMOVED, UNLESS OTHERWISE NOTED.
3. SEE SHEET 8 FOR RETAINING WALL SECTIONS.

**LEGEND**

- EXISTING RETAINING WALL
- TW= EXISTING TOP/BOTTOM OF WALL
- BW=
- - - PROPOSED RETAINING WALL
- - - PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)
- TW= PROPOSED TOP/BOTTOM OF RETAINING WALL
- BW=
- IGW= PROPOSED TOP/BOTTOM OF GARDEN RETAINING WALL
- BCW=
- Δ=2.7' PROPOSED RETAINING WALL HEIGHT

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1821 CG-102.dwg Feb 09, 2012

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<b>STORM CLOUD SUBDIVISION UNIT 4</b>			
<b>WALH, LLC.</b>			
<b>GRADING AND DRAINAGE PLAN CONT.</b>			
Date:	No. / Revision:	Date:	Job No. 1821
Nov. 2011			
Drawn By:			<b>PAGE</b>
ANW			<b>SH. 6 OF 8</b>
Ckd By:			





SEE SHEET 5 OF 8

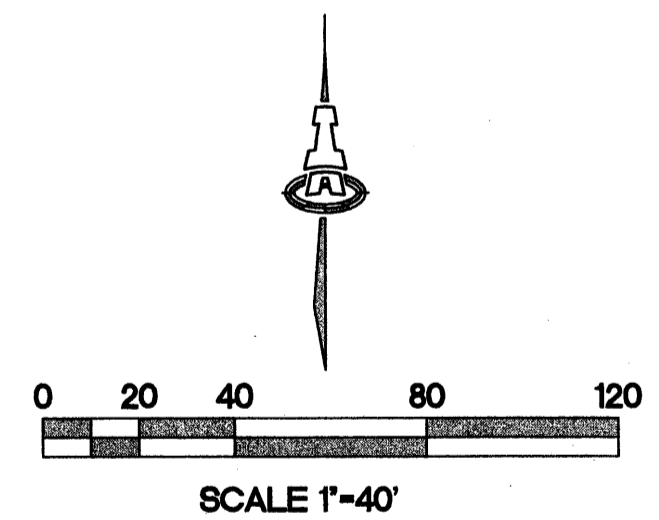
SEE SHEET 6 OF 8

**GENERAL WALL NOTES:**

1. RETAINING WALL DESIGN BY OTHERS.
2. ALL EXISTING RETAINING WALLS AND PERIMETER WALLS SHALL BE REMOVED, UNLESS OTHERWISE NOTED.
3. SEE SHEET 8 FOR RETAINING WALL SECTIONS.

**LEGEND**

- EXISTING RETAINING WALL
- TW= --- EXISTING TOP/BOTTOM OF WALL
- BW= ---
- PROPOSED RETAINING WALL
- PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)
- TW= --- PROPOSED TOP/BOTTOM OF RETAINING WALL
- BW= ---
- TGW= --- PROPOSED TOP/BOTTOM OF GARDEN RETAINING WALL
- BGW= ---
- Δ=2.7' PROPOSED RETAINING WALL HEIGHT



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Ph. 505-268-8828 www.isaacson.com

1821 CG-102.dwg Feb 09, 2012

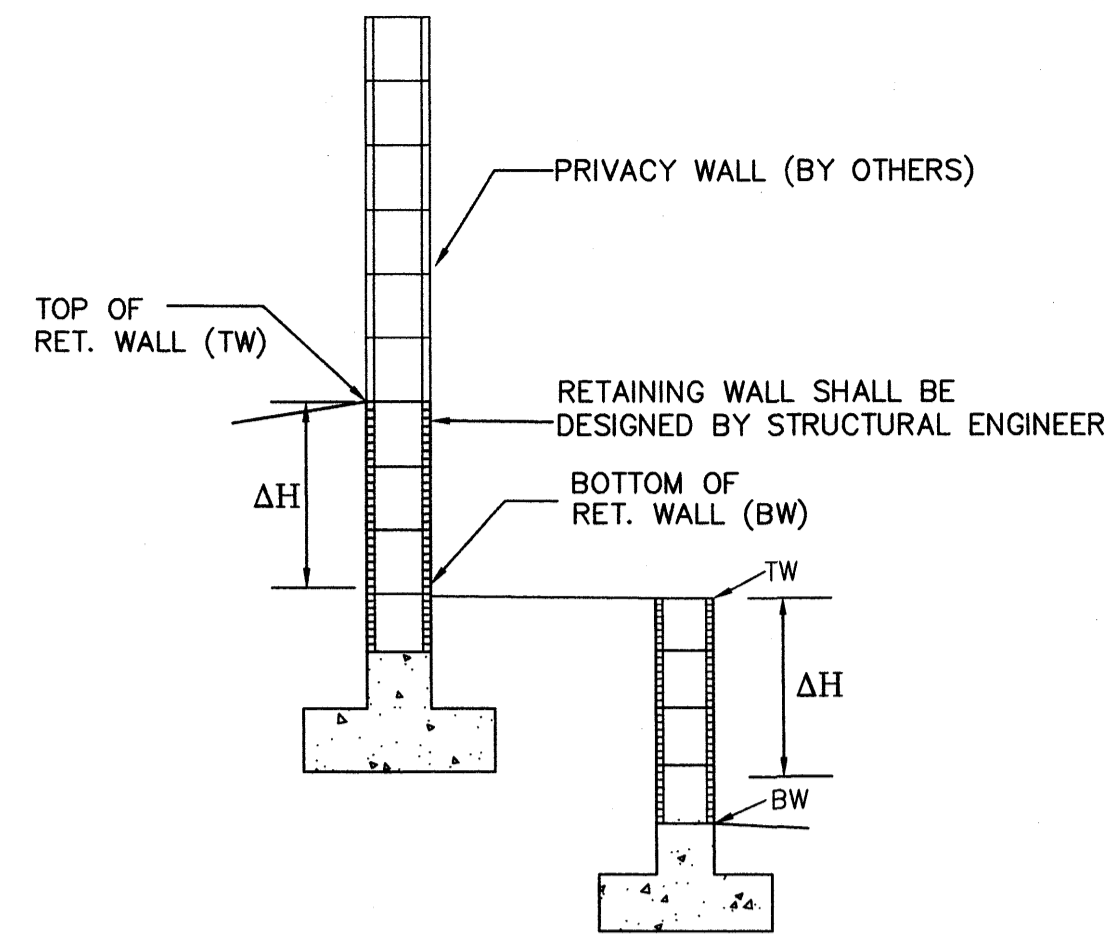
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**STORM CLOUD SUBDIVISION  
UNIT 4  
WALH, LLC.**

**GRADING AND DRAINAGE PLAN CONT.**

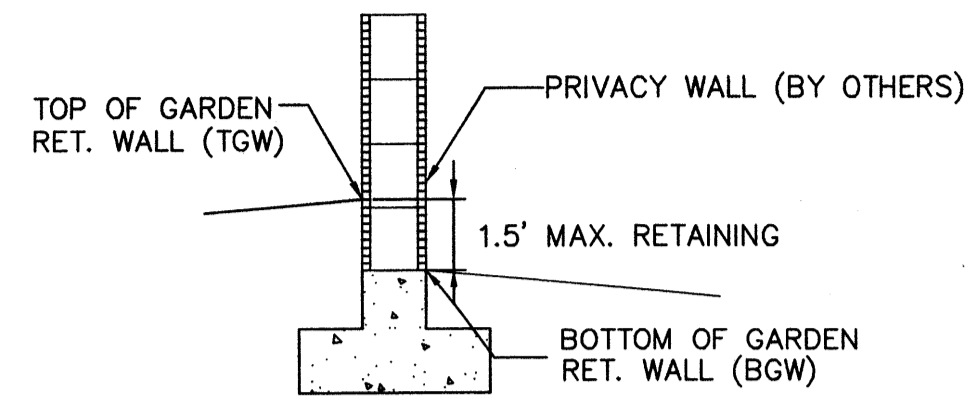
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NOV. 2011			1821
Drawn By:			<b>PAGE</b>
ANW			
Ckd By:			<b>31.7 OF 8</b>



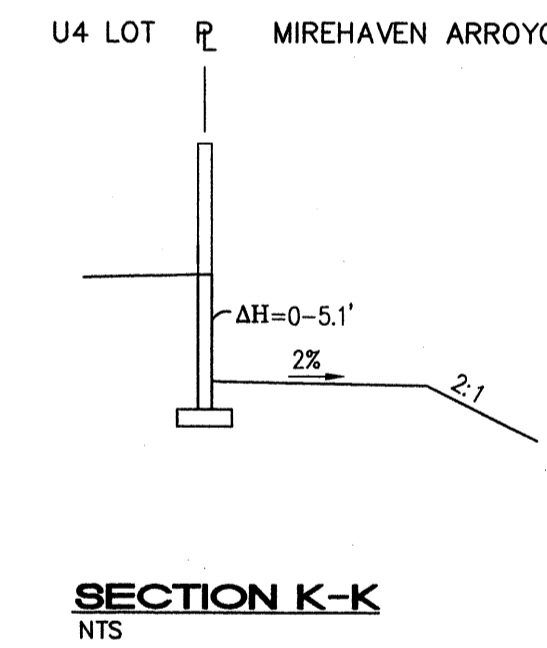
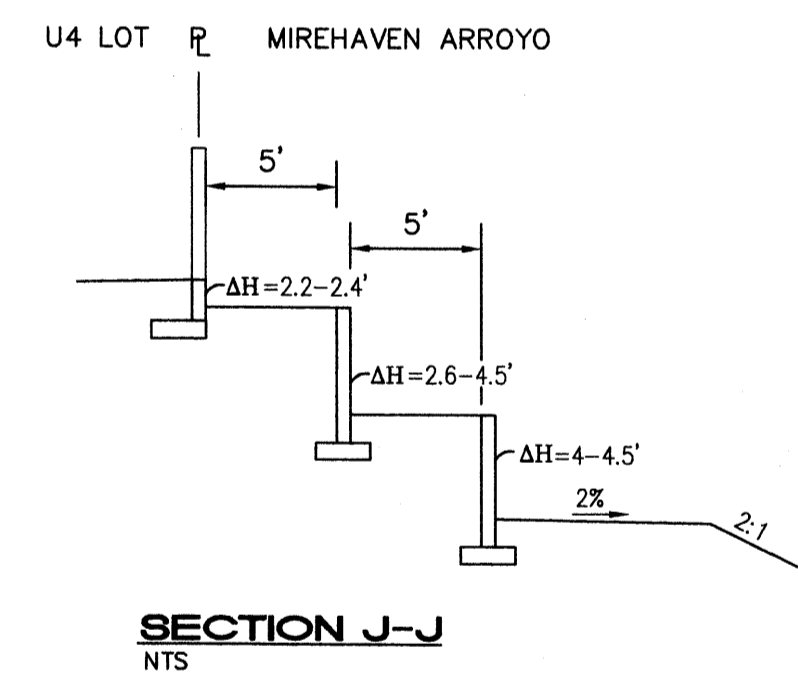
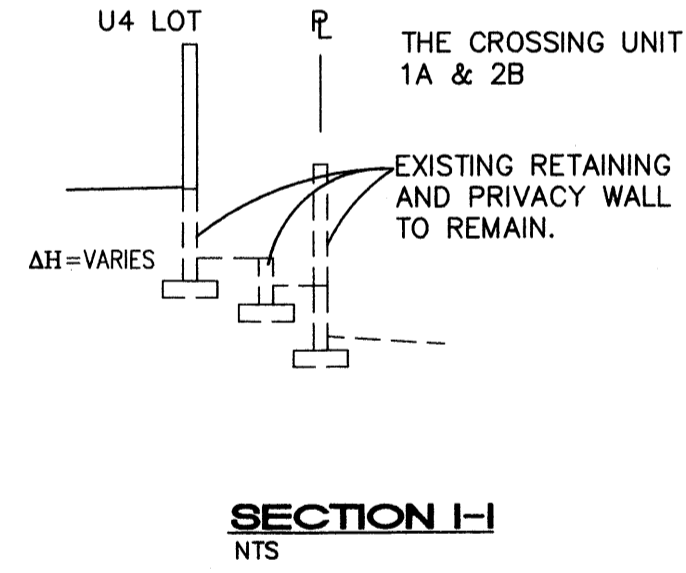
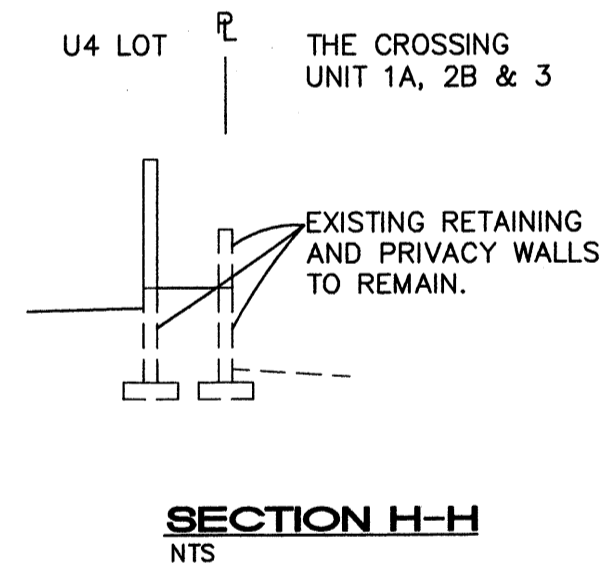
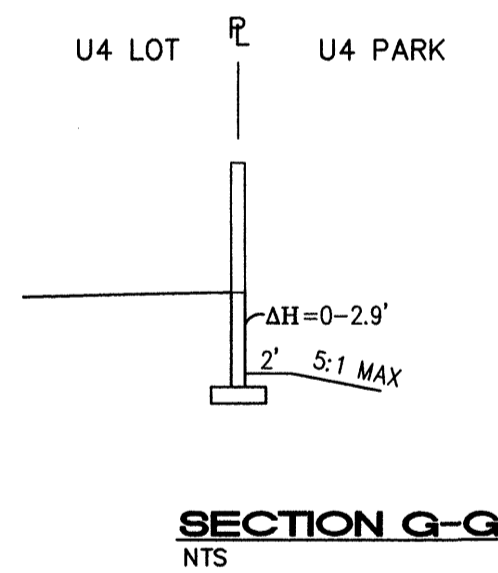
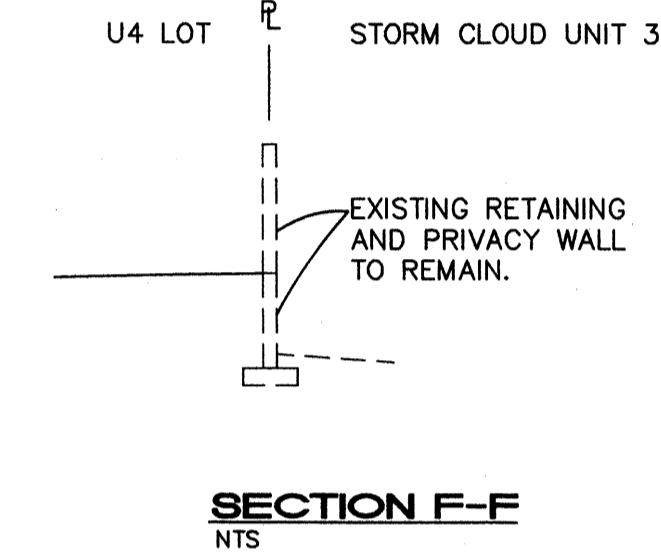
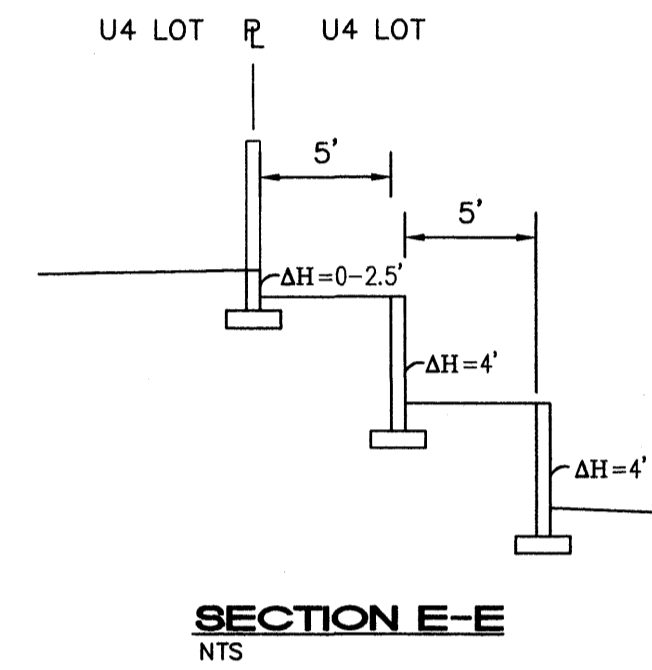
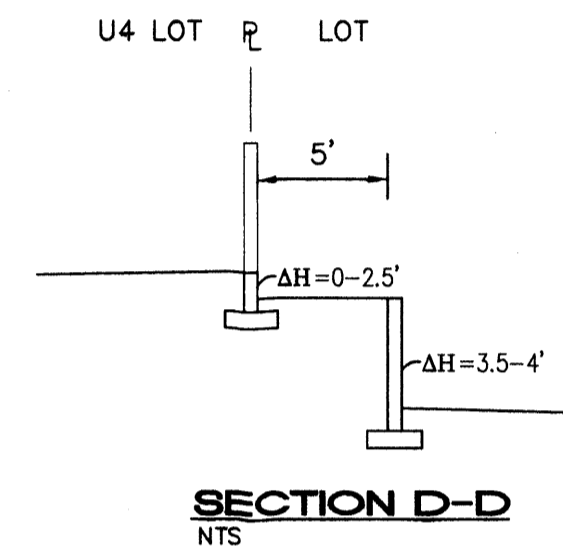
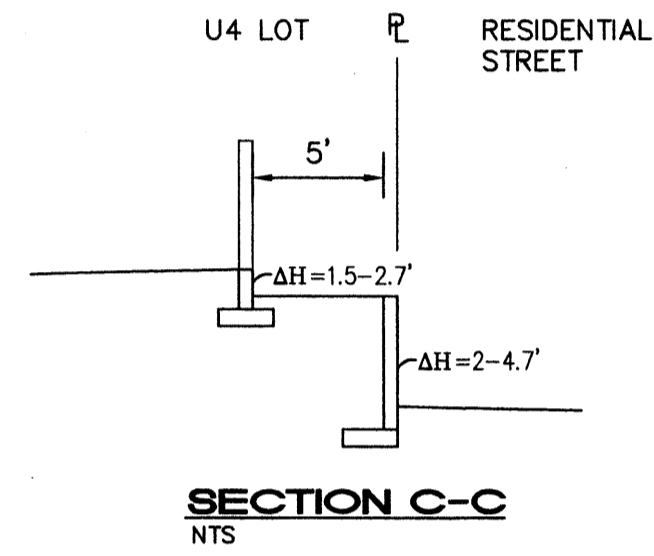
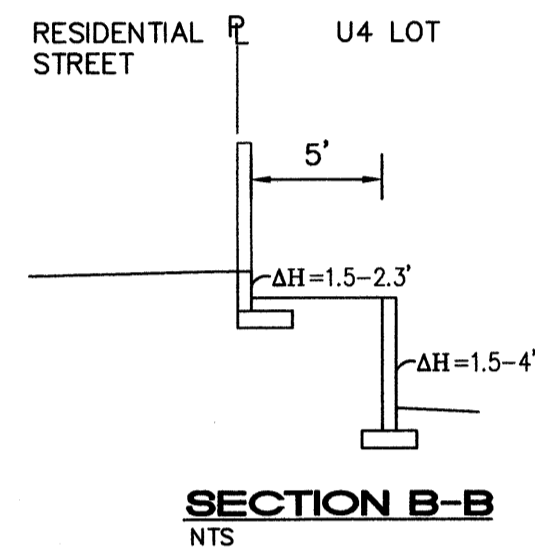
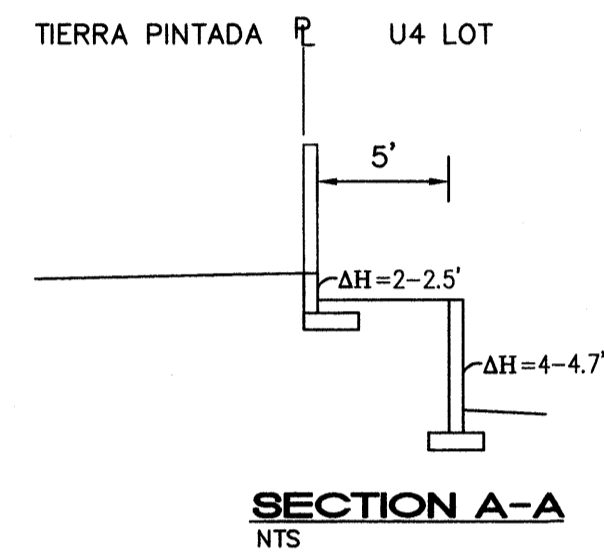


**RETAINING WALL**  
SCALE: 1"=5'-0"

ΔH=RETAINING HEIGHT (SEE SECTIONS THIS SHEET)



**GARDEN WALL RETAINING WALL**  
SCALE: 1"=5'-0"



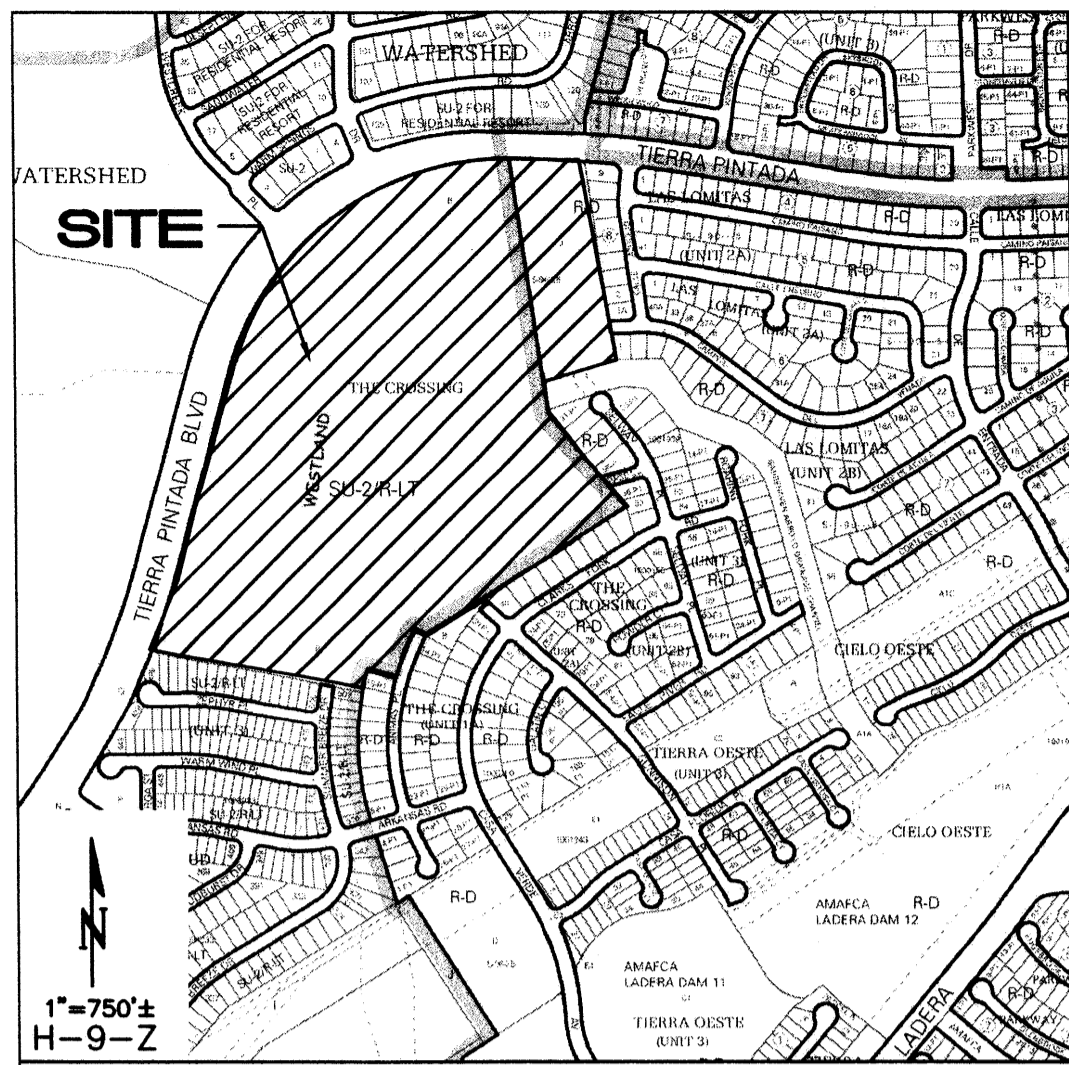
**ISAACSON & AREMAN, P.A.**  
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128 Monroe Street N.E.  
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Ph. 505-268-8828 www.iacoll.com

1821 CG-102.dwg Feb. 09, 2012

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<b>STORM CLOUD SUBDIVISION</b>			
<b>UNIT 4</b>			
<b>WALH, LLC.</b>			
<b>GRADING AND DRAINAGE PLAN</b>			
Date:	No. Revisions	Date	Job No.
NOV. 2011			1821
Drawn By:			<b>PAGE</b>
ANW			<b>SH. 8 OF 8</b>
Ckd By:			





CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	305.79'	3000.00'	153.03'	305.66'	N18°05'56"E	5°50'25"
C2	1444.55'	1100.00'	847.76'	1342.96'	N52°48'00"E	75°14'32"
C3	284.65'	4546.13'	142.37'	284.60'	S87°45'27"E	3°35'15"
C4	190.45'	762.00'	95.72'	189.95'	S50°44'51"W	14°19'12"
C5	208.45'	762.00'	104.88'	207.80'	S35°45'41"W	15°40'25"
C6	197.52'	920.00'	99.14'	197.14'	S21°46'26"W	12°18'05"
C7	84.44'	1032.00'	42.24'	84.41'	S13°16'45"W	4°41'16"

**FLOOD ZONE DETERMINATION**

The subject property, as shown hereon, appears to lie within Zone "X" (areas determined to be outside the 0.2% annual chance floodplain), Zone "AO, (DEPTH 1)" (Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined), and Zone "AE" (Base Flood Elevations determined) as shown on National Flood Insurance Program Flood Insurance Rate Map Number 35001C0326G, Map Revised September 26, 2008.

**EASEMENT AND TRACT NOTES**

- A. 10' PUE TO BE GRANTED BY FINAL PLAT, TYP.
- B. 20' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO ABCWUA BY FINAL PLAT.
- C. 25' PUBLIC DRAINAGE AND WATERLINE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE AND ABCWUA BY FINAL PLAT.
- D. 40' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO ABCWUA BY FINAL PLAT.
- E. 50' PUBLIC DRAINAGE AND WATERLINE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE AND ABCWUA BY FINAL PLAT.
- F. 25' PUBLIC WATERLINE AND SANITARY SEWER EASEMENT TO BE GRANTED TO ABCWUA BY FINAL PLAT.
- G. EXISTING 50' PUBLIC WATERLINE EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. SHADED PORTION OF EASEMENT TO BE VACATED BY VACATION ACTION AND FINAL PLAT.
- H. EXISTING TEMPORARY DRAINAGE EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT TO BE VACATED BY VACATION ACTION AND FINAL PLAT.
- I. EXISTING TEMPORARY TURNAROUND EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT TO BE VACATED BY VACATION ACTION AND FINAL PLAT.
- J. EXISTING PUBLIC UTILITY EASEMENT FILED 12/21/06, BK. 2006C, PG. 394. TO BE VACATED BY VACATION ACTION AND FINAL PLAT.
- K. TRACT PR SHALL BE CONVEYED TO THE HOMEOWNERS' ASSOCIATION (ONCE ESTABLISHED) FOR PRIVATE ACCESS AND SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION; TRACT PR SHALL BE COVERED BY A PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO ABCWUA; A PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE; AND AN ACCESS EASEMENT FOR EMERGENCY AND SERVICE VEHICLES.
- L. TRACTS A-F, UNIT 5 AND TRACTS H-M, UNIT 4 SHALL BE CONVEYED AS PRIVATE OPEN SPACE TO THE HOMEOWNERS' ASSOCIATION (ONCE ESTABLISHED) AS PRIVATE OPEN SPACE AND SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION.
- M. TRACT G SHALL BE DEDICATED TO AMAFCA BY FINAL PLAT.
- N. 10'x30' EASEMENT TO BE GRANTED TO ABCWUA FOR PRV VAULT BY FINAL PLAT.
- O. 10'x20' PUE TO BE GRANTED BY FINAL PLAT.
- P. 20'x20' PUE TO BE GRANTED BY FINAL PLAT.

Albuquerque Control Survey Monument "BH-41"  
 New Mexico State Plane Coordinates  
 (Central Zone - NAD 83) as published  
 North= 1,496,608.828 feet  
 East= 1,491,701.376 feet  
 Delta Alpha= -0017°09.70"  
 Ground to Grid Factor= 0.999670930



Albuquerque Control Survey Monument "3-H9"  
 New Mexico State Plane Coordinates  
 (Central Zone - NAD 83) as published  
 North= 1,496,938.322 feet  
 East= 1,496,470.170 feet  
 Elevation= 5,209.519 (NAVD 1988)  
 Delta Alpha= -0016°36.72"  
 Ground to Grid Factor= 0.999678486

**PRELIMINARY PLAT FOR**  
**STORMCLOUD SUBDIVISION UNITS 4 AND 5**  
 BEING A REPLAT OF  
 TRACTS B AND J AND THE CROSSINGS AND  
 TRACT R STORMCLOUD SUBDIVISION UNIT 3  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JANUARY 2012

**LEGAL DESCRIPTION**  
 SEE SHEET 2 OF 2.

**ACS BENCHMARK**  
 ACS MONUMENT 4-H9  
 ELEVATION: 5209.315 (NAVD 1988)

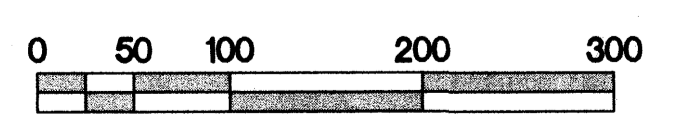
- SITE DATA**
- NUMBER OF EXISTING TRACTS IS 3.
  - TOTAL ACREAGE:  
 EXISTING TRACT B, J, AND R = 55.2416 AC.  
 NET ACREAGE:  
 UNIT 4 = 31.0361 AC.  
 UNIT 5 = 21.4038 AC.  
 MIREHAVEN ARROYO = 2.8017
  - NUMBER OF PROPOSED RESIDENTIAL LOTS:  
 UNIT 4 = 154 LOTS  
 UNIT 5 = 87 LOTS  
 TOTAL NUMBER OF LOTS = 241 LOTS  
 PROPOSED DENSITY: UNIT 4 = 4.96 DU/ACRE  
 UNIT 5 = 4.06 DU/ACRE
  - EXISTING ZONING: SU-2/R-LT AND R-D  
 PROPOSED ZONING: SU-2/R-LT AND R-D  
 PROPOSED RESIDENTIAL DEVELOPMENT: SINGLE FAMILY DETACHED RESIDENTIAL. LOT SETBACKS SHALL CONFORM TO R-LT AND R-D ZONE REGULATIONS.
  - UNIT 4 STREETS WILL BE PUBLIC BY PLAT DEDICATION AND BE MAINTAINED BY THE CITY OF ALBUQUERQUE. UNIT 5 SHALL BE A GATED COMMUNITY AND THE STREETS WILL BE PRIVATE AND DEEDED TO AND MAINTAINED BY THE FUTURE STORM CLOUD UNIT 5 HOMEOWNERS' ASSOCIATION.
  - NO LOT SHALL HAVE DIRECT ACCESS TO TIERRA PINTADA NW.
  - ALL STREETS HAVE RIGHT-OF-WAY/EASEMENT AND PAVING WIDTHS PER DPM STANDARDS, EXCEPT WHERE DESIGN VARIANCES ARE APPROVED.
  - CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH ABCWUA.
  - OPEN SPACE PROVIDED FOR LOTS WITHIN THE R-D ZONING IS SATISFIED BY USABLE OPEN SPACE ON THE LOTS AND DETACHED OPEN SPACE (TRACT E PARK).

- NOTES**
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ● WILL BE MARKED BY A NO. 5 IRON REBAR WITH PLASTIC CAP STAMPED "PLS #9750".
  - ALL STREET CENTERLINE POINTS SHOWN THUS ▲ WILL BE SET USING THE STANDARD 4" ALUMINUM MONUMENT STAMPED "CENTERLINE MONUMENT-DO NOT DISTURB, PS #9750".
  - BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
  - BASIS OF BEARINGS WILL BE MNPS GRID BEARINGS.
  - DISTANCES WILL BE GROUND DISTANCES.
  - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

**APPROVED**  
  
 CITY SURVEYOR 1-24-12 DATE

**OWNER**  
 WESTERN ALBUQUERQUE LAND HOLDINGS, LLC  
  
 BY: MARK WEST, VICE PRESIDENT BARCLAY'S CAPITAL REAL ESTATE, INC. AS SERVICING MEMBER 1/17/2012 DATE

- LEGEND**
- SET 5/8" REBAR WITH CAP "HUGG L.S. 9750" (TYP.)
  - PROPERTY LINE
  - - - ADJOINING PROPERTY LINE
  - ▲ CENTERLINE MONUMENT



**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 www.iacivil.com  
 1822 C-701-PRELIM PLAT.dwg Jan 11, 2012



**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Atrisco Grant in Projected Sections 9 and 16, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising Tracts B and J, The Crossing, as the same is shown and designated on the plat entitled "PLAT OF THE CROSSING, ALBUQUERQUE, NEW MEXICO, APRIL, 1996", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 8, 1996 in Volume 96C, Folio 302, and Tract R, Stormcloud Subdivision Unit 3, as the same is shown and designated on the plat entitled "PLAT OF STORMCLOUD SUBDIVISION UNIT 3, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AUGUST, 2006", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 21, 2006, in Plat Book 2006C, Page 394, more particularly described by survey performed by Russ P. Rugg, New Mexico Professional Surveyor Number 9750, using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows:

BEGINNING at the northeasterly corner of the parcel herein described, said point also being the northeasterly corner of said Tract J, The Crossing, and also being a point on the southerly right of way line of Tierra Pintada Boulevard N.W., and also being the northwesterly corner of Lot 9, Block 8, Las Lomitas Unit 2A, as the same is shown and designated on the plat thereof, filed May 8, 1993, in Volume 93C, Folio 128, whence Albuquerque Control Survey Monument "3-H9" bears N 61°45'45" E, 2,470.03 feet distant; Thence, along the westerly boundaries of said Block 8, Las Lomitas, Unit 2A; Lot 1A, Block 8, Las Lomitas, Unit 2A, as the same is shown and designated on the plat thereof, filed December 21, 1994, in Volume 94C, Folio 425; Camino Del Venada N.W.; and Lot 1, Block 7, Las Lomitas Unit 2B, as the same is shown and designated on the plat thereof, filed May 5, 2004, in Plat Book 2004C, Page 147,

S 08°19'34" E, 761.08 feet to corner, said point also being the southwesterly corner of said Lot 1, Block 7, Las Lomitas, Unit 2B, and also being the southeasterly corner of said Tract J, The Crossing, and also being an angle point on the northerly boundary of Mirehaven Arroyo Drainage Channel, The Crossing, Unit 3, as the same is shown on the plat thereof, filed July 26, 2004, in Plat Book 2004C, Page 216; Thence, along the northerly, then westerly boundaries of said Mirehaven Arroyo; Lots 31 P-1 thru 36 P-1; Henry Fork Road N.W. of said plat filed in Plat Book 2004C, Page 216; and lot 50, The Crossing, Unit 2-B, as the same is shown and designated on the plat thereof, filed November 18, 2003, in Plat Book 2003C, Page 347, the following three courses:

S 71°44'43" W, 284.16 feet to a corner, said corner also being the southwesterly corner of said Tract J, The Crossing, and also being a point on the easterly boundary of said Tract B, The Crossing; Thence,

S 08°19'45" E, 114.79 feet to a corner; Thence,

S 40°14'59" E, 458.54 feet to the eastern-most corner of the parcel herein described, said point also being the eastern-most corner of said Tract B, The Crossing, and also being a corner on the westerly boundary of said Lot 50, The Crossing, Unit 2-B; Thence, along the northwesterly boundaries of Lots 40 thru 48 and 50, of said plat filed in Plat Book 2003C, Page 347; Gunnison Place N.W.; and Lots 37-P1 thru 39-P1, The Crossing, Unit 1-A, as the same is shown and designated on the plat thereof, filed December 3, 2002, in Plat Book 2002C, Page 380, the following 3 courses,

S 57°54'27" W, 470.16 feet to a point of curvature; Thence,

Southwesterly, 190.45 feet on the arc of a curve to the left (said curve having a radius of 762.00 feet, a central angle of 14°19'12", and a chord that bears S 50°44'51" W, 189.95 feet) to an angle point; Thence,

Southwesterly, 208.45 feet on the arc of a curve to the left (said curve having a radius of 762.00 feet, a central angle of 15°40'25", and a chord that bears S 35°45'41" W, 207.80 feet) to a corner, said corner also being the eastern-most corner on Lot 14-P1, The Crossing, Unit 1-A, of said plat filed in Plat Book 2002C, Page 380; Thence, along the northeasterly boundaries of said Lot 14-P1 and Animas Place N.W.,

N 62°04'32" W, 158.00 feet to a corner, said corner also being the northern-most corner of the northeasterly terminus of said Animas Place N.W.; Thence, along the northwesterly right of way line of said Animas Place N.W.,

Southwesterly, 197.52 feet on the arc of a curve to the left (said curve having a radius of 920.00 feet, a central angle of 12°18'05", and a chord that bears S 21°46'26" W, 197.14 feet) to a corner, said corner also being the northeasterly corner of Lot 13-P1, The Crossing, Unit 1-A, of said plat filed in Plat Book 2002C, Page 380; Thence, along the northerly, then westerly boundaries of said Lot 13-P1, the following two courses:

N 74°22'37" W, 112.00 feet to a corner; Thence,

Southerly, 84.44 feet on the arc of a curve to the left (said curve having a radius of 1032.00 feet, a central angle of 04°41'16", and a chord that bears S 13°16'45" W, 84.41 feet) to the southern-most corner of the parcel herein described, said point also being the southern-most corner of said Tract B, The Crossing, and also being the northeasterly corner of Lot 507, Stormcloud Subdivision, Unit 3, as the same is shown and designated on the plat thereof, filed December 31, 2006, in Plat Book 2006C, Page 394; Thence, along the northerly boundaries of said lot 507, Summer Breeze Drive N.W., and Lots 489 thru 505, Stormcloud Subdivision, Unit 3, of said plat filed in Plat Book 2006C, Page 394,

N 79°03'05" W, 816.22 feet to the southwesterly corner of the parcel herein described, said point also being the southwesterly corner of said Tract R, Stormcloud Subdivision, Unit 3, and also being the northwesterly corner of said Lot 489, Stormcloud Subdivision, Unit 3, and also being a point on the easterly right of way line of said Tierra Pintada Boulevard N.W., whence Albuquerque Control Survey Monument "BH-41" bears N 19°15'12" W, 2,848.64 feet distant; Thence, along the easterly, then southeasterly, then southerly right of way line of said Tierra Pintada Boulevard N.W. the following four courses:

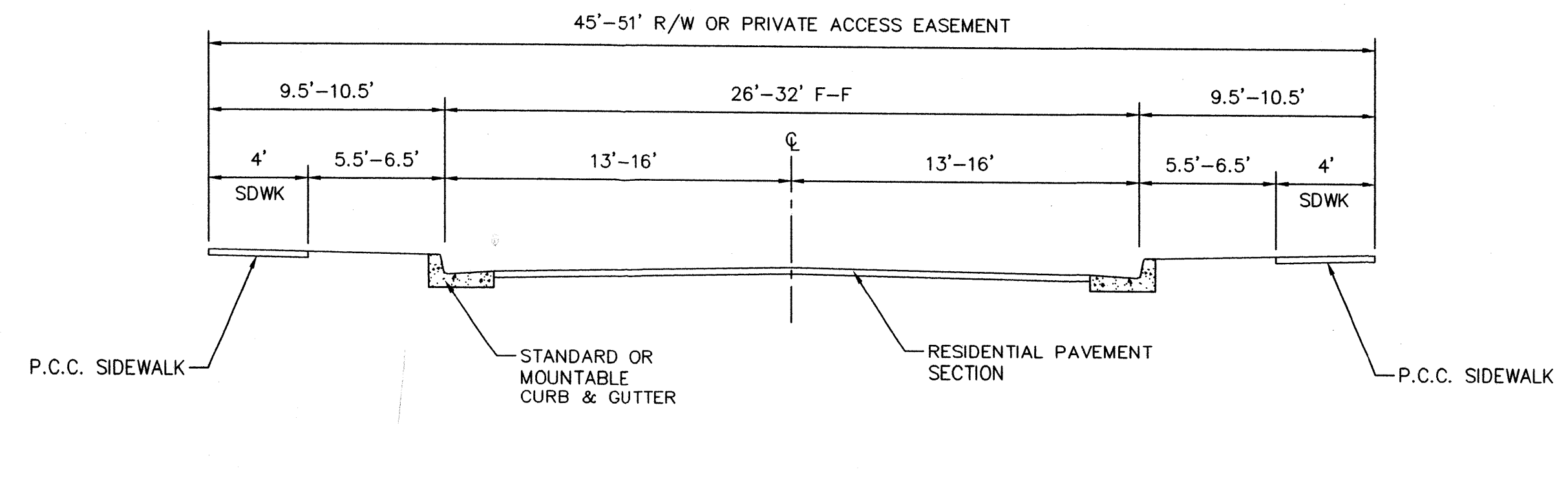
Northerly, 305.79 feet on the arc of a curve to the left (said curve having a radius of 3000.00 feet, a central angle of 05°50'25", and a chord that bears N 18°05'56" E, 305.66 feet) to a point of tangency; Thence,

N 15°10'44" E, 786.36 feet to a point of curvature; Thence,

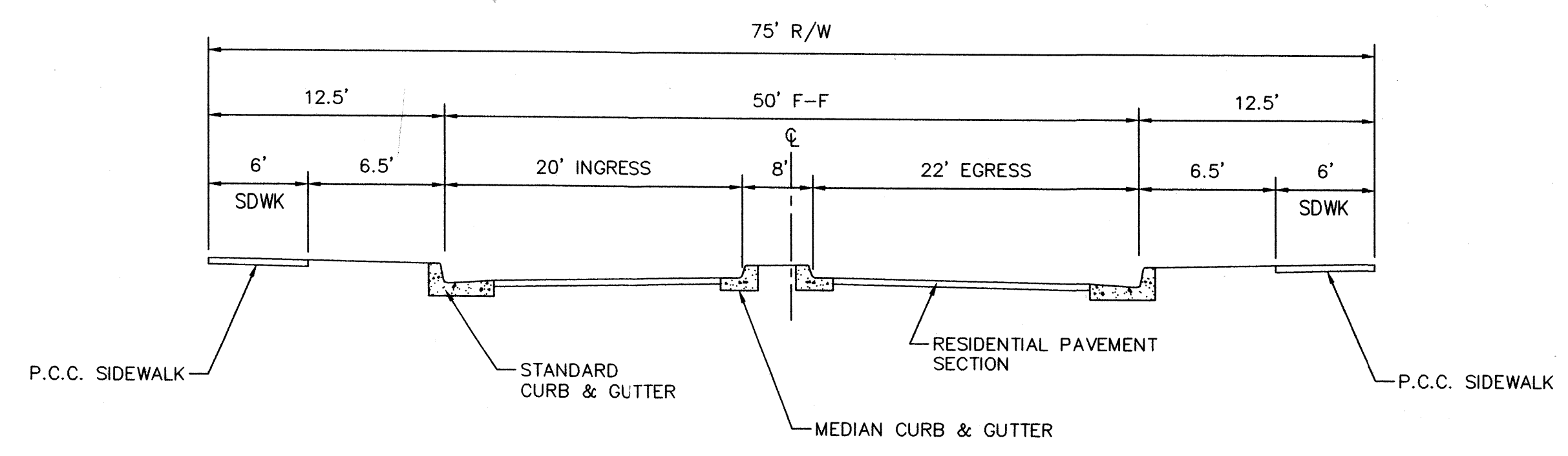
Northeasterly, 1444.55 feet on the arc of a curve to the right (said curve having a radius of 1100.00 feet, a central angle of 75°14'32", and a chord that bears N 52°48'00" E, 1342.96 feet to a point of compound curvature, said point also being the northeasterly corner of said Tract B, The Crossing, and also being the northwesterly corner of said Tract J, The Crossing; Thence,

Easterly, 284.65 feet on the arc of a curve to the right (said curve having a radius of 4546.13 feet, a central angle of 03°35'15", and a chord that bears S 87°45'27" E, 284.60 feet) to the point of beginning.

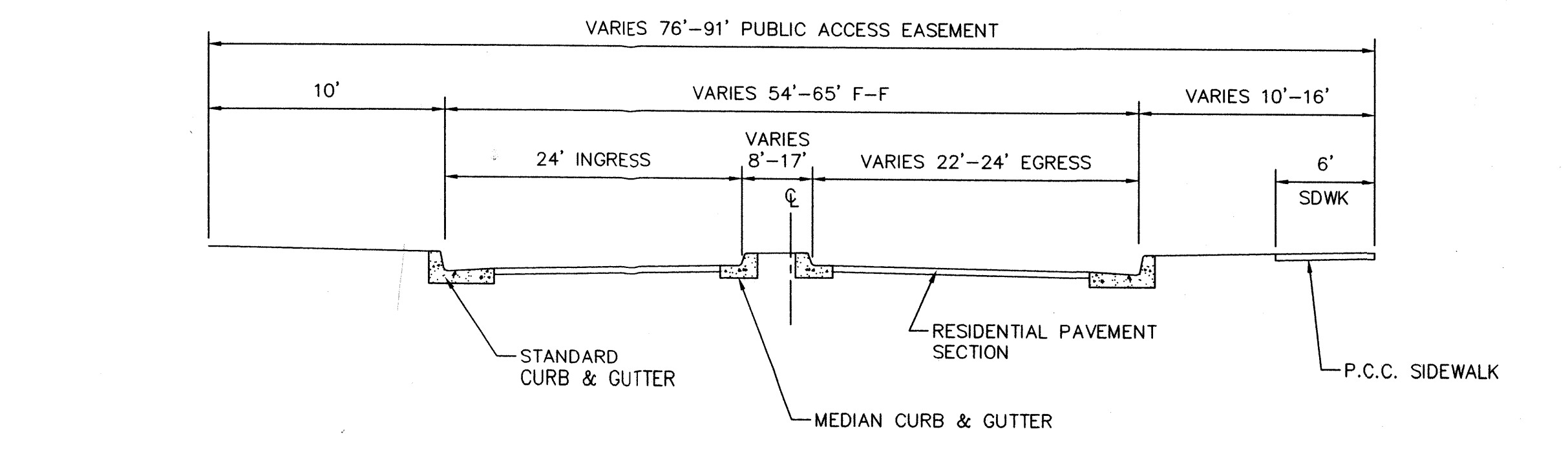
Said parcel contains 55.2416 acres, more or less



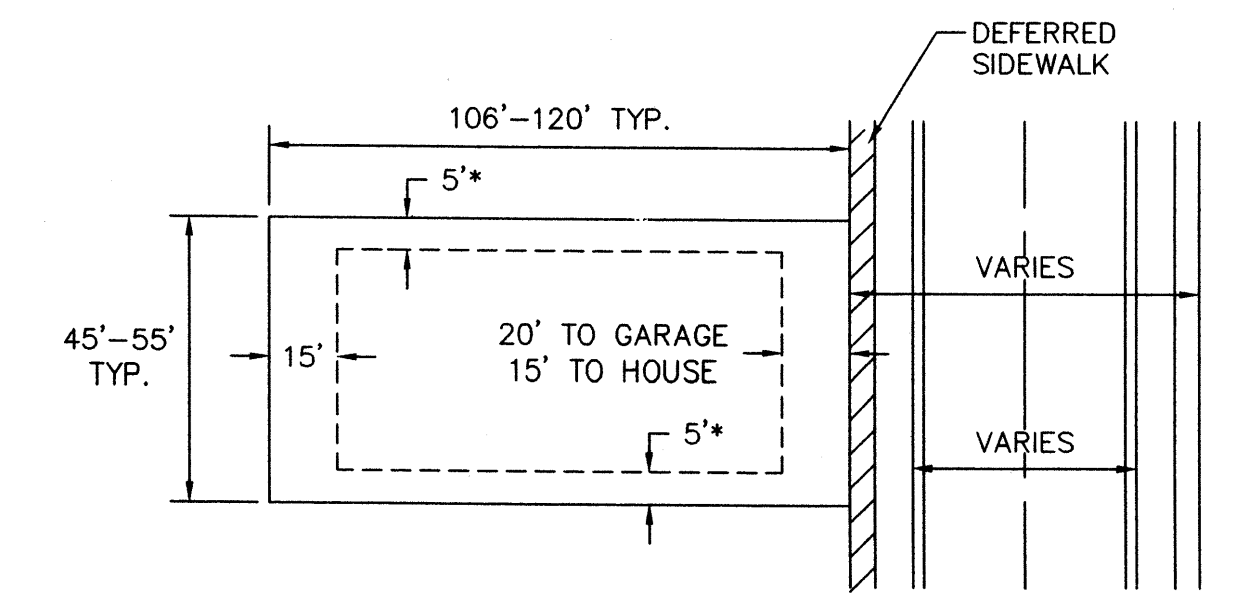
**TYPICAL RESIDENTIAL STREET SECTION**  
NTS



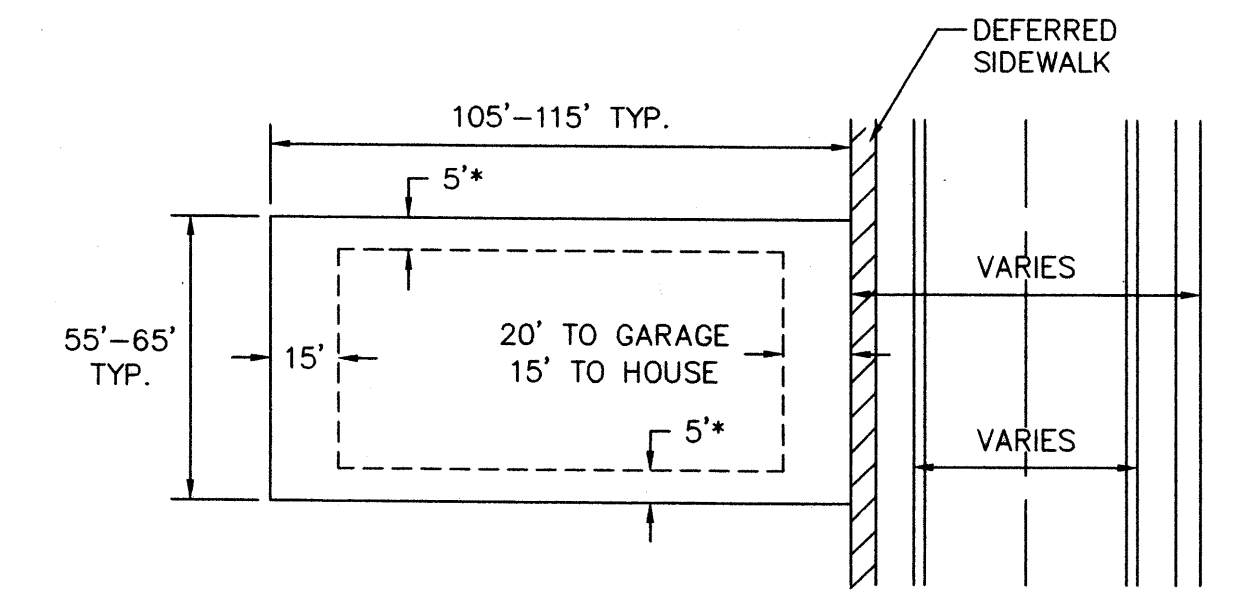
**UNIT 4 ENTRANCE STREET SECTION**  
NTS



**UNIT 5 ENTRANCE STREET SECTION**  
NTS

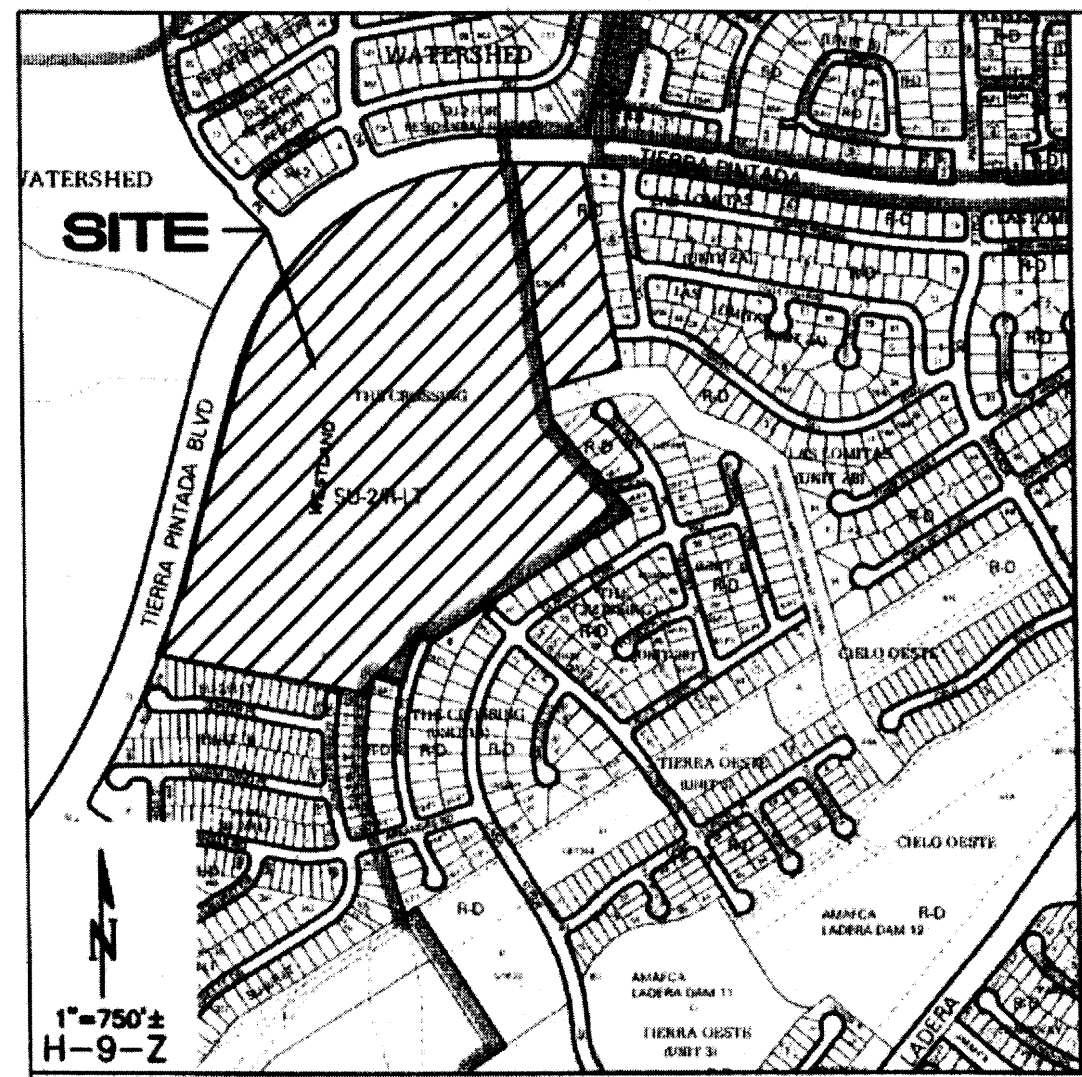


**TYPICAL UNIT 4 LOT DETAIL**  
NTS \* 10' SIDERYARD SETBACK ADJACENT TO STREET.  
MIN. LOT AREA=4770 SF



**TYPICAL UNIT 5 LOT DETAIL**  
NTS \* 10' SIDERYARD SETBACK ADJACENT TO STREET.  
MIN. LOT AREA=5775 SF





CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	305.79'	3000.00'	153.03'	305.66'	N18°05'36"E	5°50'28"
C2	1444.95'	1100.00'	847.76'	1342.96'	N52°48'00"E	7°51'32"
C3	284.65'	4548.13'	142.37'	284.60'	S87°45'27"E	3°35'15"
C4	190.45'	782.00'	95.72'	189.95'	S90°44'51"W	14°19'12"
C5	208.45'	782.00'	104.88'	207.80'	S35°45'41"W	15°40'25"
C6	197.92'	920.00'	99.14'	197.14'	S21°48'26"W	12°18'05"
C7	84.44'	1032.00'	42.24'	84.41'	S13°16'45"W	4°41'16"

**FLOOD ZONE DETERMINATION**

The subject property, as shown hereon, appears to lie within Zone "X" (areas determined to be outside the 0.2% annual chance floodplain), Zone "AO, (DEPTH 1") (Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined), and Zone "AE" (Base Flood Elevations determined) as shown on National Flood Insurance Program Flood Insurance Rate Map Number 35001C0326G, Map Revised September 26, 2008.

**EASEMENT AND TRACT NOTES**

- 10' PUE TO BE GRANTED BY FINAL PLAT, TYP.
- 20' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO ABCWUA BY FINAL PLAT.
- 25' PUBLIC DRAINAGE AND WATERLINE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE AND ABCWUA BY FINAL PLAT.
- 40' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO ABCWUA BY FINAL PLAT.
- 50' PUBLIC DRAINAGE AND WATERLINE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE AND ABCWUA BY FINAL PLAT
- 25' PUBLIC WATERLINE AND SANITARY SEWER EASEMENT TO BE GRANTED TO ABCWUA BY FINAL PLAT.
- EXISTING 50' PUBLIC WATERLINE EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. SHADED PORTION OF EASEMENT TO BE VACATED BY VACATION ACTION AND FINAL PLAT.
- EXISTING TEMPORARY DRAINAGE EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT TO BE VACATED BY VACATION ACTION AND FINAL PLAT.
- EXISTING TEMPORARY TURNAROUND EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT TO BE VACATED BY VACATION ACTION AND FINAL PLAT.
- EXISTING PUBLIC UTILITY EASEMENT FILED 12/21/06, BK. 2006C, PG. 394. TO BE VACATED BY VACATION ACTION AND FINAL PLAT.
- TRACT PR SHALL BE CONVEYED TO THE HOMEOWNERS' ASSOCIATION (ONCE ESTABLISHED) FOR PRIVATE ACCESS AND SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION; TRACT PR SHALL BE COVERED BY PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO ABCWUA. PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE AND AN ACCESS EASEMENT FOR EMERGENCY AND SERVICE VEHICLES.
- TRACTS A-K, UNIT 5 AND TRACTS R-M, UNIT 4 SHALL BE CONVEYED AS PRIVATE OPEN SPACE TO THE HOMEOWNERS' ASSOCIATION (ONCE ESTABLISHED) AS PRIVATE OPEN SPACE AND SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION.
- TRACT Q SHALL BE DEDICATED TO AMAFCA BY FINAL PLAT.
- 10' PUE TO BE GRANTED TO ABCWUA FOR PRV VAULT BY FINAL PLAT.
- 10' PUE TO BE GRANTED BY FINAL PLAT. TO CENTURYLINK.
- 15' PUE TO BE GRANTED BY FINAL PLAT. TO PNM
- 10'X5' PUE TO BE GRANTED BY FINAL PLAT TO COMCAST.
- PUBLIC PEDESTRIAN ACCESS EASEMENT TO BE GRANTED BY FINAL PLAT.
- PUBLIC DRAINAGE EASEMENT OVER TRACT K TO BE GRANTED TO COA BY FINAL PLAT. PUBLIC WATERLINE AND SANITARY SEWER LINE EASEMENT OVER TRACT K TO BE GRANTED TO ABCWUA BY FINAL PLAT. PUBLIC UTILITY EASEMENT OVER TRACT K TO BE GRANTED BY FINAL PLAT.

Albuquerque Control Survey Monument "BH-41"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83) as published  
North= 1,496,808.828 feet  
East= 1,491,701.376 feet  
Delta Alpha= -0017'09.70"  
Ground to Grid Factor= 0.999670930

LOT LINE SHALL BE ELIMINATED BY FINAL PLAT.



Albuquerque Control Survey Monument "3-H9"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83) as published  
North= 1,496,938.322 feet  
East= 1,496,470.170 feet  
Elevation= 5,209.519 (NAVD 1988)  
Delta Alpha= -0016'36.72"  
Ground to Grid Factor= 0.999678486

**STORMCLOUD SUBDIVISION UNITS 4 AND 5**  
BEING A REPLAT OF  
TRACTS B AND J THE CROSSINGS AND  
TRACT R STORMCLOUD SUBDIVISION UNIT 3

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

JANUARY 2012 AMENDED FEBRUARY, 2013

**LEGAL DESCRIPTION**

SEE SHEET 2 OF 2.

**ACS BENCHMARK**

ACS MONUMENT 4-H9  
ELEVATION: 5209.315 (NAVD 1988)

**SITE DATA**

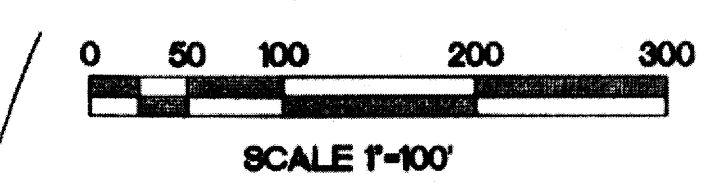
- NUMBER OF EXISTING TRACTS IS 3.
- TOTAL ACREAGE:  
EXISTING TRACT B, J, AND R = 55.2416 AC.  
NET ACREAGE:  
UNIT 4 = 31.0361 AC.  
UNIT 5 = 21.4038 AC.  
MIREHAVEN ARROYO = 2.8017
- NUMBER OF PROPOSED RESIDENTIAL LOTS:  
UNIT 4 = 154 LOTS  
UNIT 5 = 87 LOTS  
TOTAL NUMBER OF LOTS = 241 LOTS  
PROPOSED DENSITY: UNIT 4 = 4.96 DU/ACRE  
UNIT 5 = 4.06 DU/ACRE
- EXISTING ZONING: SU-2/R-LT AND R-D  
PROPOSED ZONING: SU-2/R-LT AND R-D  
PROPOSED RESIDENTIAL DEVELOPMENT: SINGLE FAMILY DETACHED RESIDENTIAL. LOT SETBACKS SHALL CONFORM TO R-LT AND R-D ZONE REGULATIONS.
- UNIT 4 STREETS WILL BE PUBLIC BY PLAT DEDICATION AND BE MAINTAINED BY THE CITY OF ALBUQUERQUE.  
UNIT 5 SHALL BE A GATED COMMUNITY AND THE STREETS WILL BE PRIVATE AND DEEDED TO AND MAINTAINED BY THE FUTURE STORM CLOUD UNIT 5 HOMEOWNERS' ASSOCIATION.
- NO LOT SHALL HAVE DIRECT ACCESS TO TERRA PINTADA NW.
- ALL STREETS HAVE RIGHT-OF-WAY EASEMENT AND PAVING WIDTHS PER DPM STANDARDS, EXCEPT WHERE DESIGN VARIANCES ARE APPROVED.
- CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH ABCWUA.
- OPEN SPACE PROVIDED FOR LOTS WITHIN THE R-D ZONING IS SATISFIED BY USABLE OPEN SPACE ON THE LOTS AND DETACHED OPEN SPACE (TRACT E PARK).

**NOTES**

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THIS CAP WILL BE MARKED BY A NO. 5 IRON REBAR WITH PLASTIC CAP STAMPED "PLS #9750".
- ALL STREET CENTERLINE POINTS SHOWN THIS Δ WILL BE SET USING THE STANDARD 4" ALUMINUM MONUMENT STAMPED "CENTERLINE MONUMENT-DO NOT DISTURB, PS #9750".
- BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NMSP GRID BEARINGS.
- DISTANCES WILL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED  
[Signature]  
CITY SURVEYOR  
DATE 1-24-12

OWNER  
WESTERN ALBUQUERQUE LAND HOLDINGS, LLC  
[Signature]  
BY: MARK WUEST, VICE PRESIDENT  
BARCLAYS CAPITAL REAL ESTATE, INC.  
AS SERVICING MEMBER  
DATE 1/17/2012



**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.isaacson.com  
1822 C-701-PRELIM PLAT.dwg Jan 11, 2012

ACAD FILES\BOC-8991\822.dwg\1822 C-701-PRELIM PLAT.dwg, 1/11/2012 11:42:58 AM, thcr



**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Atrisco Grant in Projected Sections 9 and 16, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising Tracts B and J, The Crossing, as the same is shown and designated on the plat entitled "PLAT OF THE CROSSING, ALBUQUERQUE, NEW MEXICO, APRIL, 1996", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 8, 1996 in Volume 96C, Folio 302, and Tract R, Stormcloud Subdivision Unit 3, as the same is shown and designated on the plat entitled "PLAT OF STORMCLOUD SUBDIVISION UNIT 3, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AUGUST, 2006", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 21, 2006, in Plat Book 2006C, Page 394, more particularly described by survey performed by Russ P. Rugg, New Mexico Professional Surveyor Number 9750, using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows:

BEGINNING at the northeasterly corner of the parcel herein described, said point also being the northeasterly corner of said Tract J, The Crossing, and also being a point on the southerly right of way line of Tierra Pintada Boulevard N.W., and also being the northwesterly corner of Lot 9, Block 8, Los Lomitas Unit 2A, as the same is shown and designated on the plat thereof, filed May 8, 1993, in Volume 93C, Folio 128, whence Albuquerque Control Survey Monument "3-H9" bears N 61°45'45" E, 2,470.03 feet distant; Thence, along the westerly boundaries of said Block 8, Los Lomitas, Unit 2A; Lot 1A, Block 8, Los Lomitas, Unit 2A, as the same is shown and designated on the plat thereof, filed December 21, 1994, in Volume 94C, Folio 425; Camino Del Venada N.W.; and Lot 1, Block 7, Los Lomitas Unit 2B, as the same is shown and designated on the plat thereof, filed May 5, 2004, in Plat Book 2004C, Page 147,

S 08°19'34" E, 761.08 feet to corner, said point also being the southwest corner of said Lot 1, Block 7, Los Lomitas, Unit 2B, and also being the southeasterly corner of said Tract J, The Crossing, and also being an angle point on the northerly boundary of Mirehaven Arroyo Drainage Channel, The Crossing, Unit 3, as the same is shown on the plat thereof, filed July 26, 2004, in Plat Book 2004C, Page 216; Thence, along the northerly, then westerly boundaries of said Mirehaven Arroyo; Lots 31 P-1 thru 36 P-1; Henry Fork Road N.W. of said plat filed in Plat Book 2004C, Page 216; and lot 50, The Crossing, Unit 2-B, as the same is shown and designated on the plat thereof, filed November 18, 2003, in Plat Book 2003C, Page 347, the following three courses:

S 71°44'43" W, 284.16 feet to a corner, said corner also being the southwest corner of said Tract J, The Crossing, and also being a point on the easterly boundary of said Tract B, The Crossing; Thence,

S 08°19'45" E, 114.79 feet to a corner; Thence,

S 40°14'59" E, 458.54 feet to the eastern-most corner of the parcel herein described, said point also being the eastern-most corner of said Tract B, The Crossing, and also being a corner on the westerly boundary of said Lot 50, The Crossing, Unit 2-B; Thence, along the northwesterly boundaries of Lots 40 thru 48 and 50, of said plat filed in Plat Book 2003C, Page 347; Gunnison Place N.W.; and Lots 37-P1 thru 39-P1, The Crossing, Unit 1-A, as the same is shown and designated on the plat thereof, filed December 3, 2002, in Plat Book 2002C, Page 380, the following 3 courses,

S 57°54'27" W, 470.16 feet to a point of curvature; Thence,

Southwesterly, 190.45 feet on the arc of a curve to the left (said curve having a radius of 762.00 feet, a central angle of 14°19'12", and a chord that bears S 50°44'51" W, 189.95 feet) to an angle point; Thence,

Southwesterly, 208.45 feet on the arc of a curve to the left (said curve having a radius of 762.00 feet, a central angle of 15°40'25", and a chord that bears S 35°45'41" W, 207.80 feet) to a corner, said corner also being the eastern-most corner on Lot 14-P1, The Crossing, Unit 1-A, of said plat filed in Plat Book 2002C, Page 380; Thence, along the northeasterly boundaries of said Lot 14-P1 and Animas Place N.W.,

N 62°04'32" W, 158.00 feet to a corner, said corner also being the northern-most corner of the northeasterly terminus of said Animas Place N.W.; Thence, along the northwesterly right of way line of said Animas Place N.W.,

Southwesterly, 197.52 feet on the arc of a curve to the left (said curve having a radius of 920.00 feet, a central angle of 12°18'05", and a chord that bears S 21°46'26" W, 197.14 feet) to a corner, said corner also being the northeasterly corner of Lot 13-P1, The Crossing, Unit 1-A, of said plat filed in Plat Book 2002C, Page 380; Thence, along the northerly, then westerly boundaries of said Lot 13-P1, the following two courses:

N 74°22'37" W, 112.00 feet to a corner; Thence,

Southerly, 84.44 feet on the arc of a curve to the left (said curve having a radius of 1032.00 feet, a central angle of 04°41'16", and a chord that bears S 13°16'45" W, 84.41 feet) to the southern-most corner of the parcel herein described, said point also being the southern-most corner of said Tract B, The Crossing, and also being the northeasterly corner of Lot 507, Stormcloud Subdivision, Unit 3, as the same is shown and designated on the plat thereof, filed December 31, 2006, in Plat Book 2006C, Page 394; Thence, along the northerly boundaries of said lot 507, Summer Breeze Drive N.W., and Lots 489 thru 505, Stormcloud Subdivision, Unit 3, of said plat filed in Plat Book 2006C, Page 394,

N 79°03'05" W, 816.22 feet to the southwest corner of the parcel herein described, said point also being the southwest corner of said Tract R, Stormcloud Subdivision, Unit 3, and also being the northwesterly corner of said Lot 489, Stormcloud Subdivision, Unit 3, and also being a point on the easterly right of way line of said Tierra Pintada Boulevard N.W., whence Albuquerque Control Survey Monument "BH-41" bears N 19°15'12" W, 2,848.64 feet distant; Thence, along the easterly, then southeasterly, then southerly right of way line of said Tierra Pintada Boulevard N.W. the following four courses:

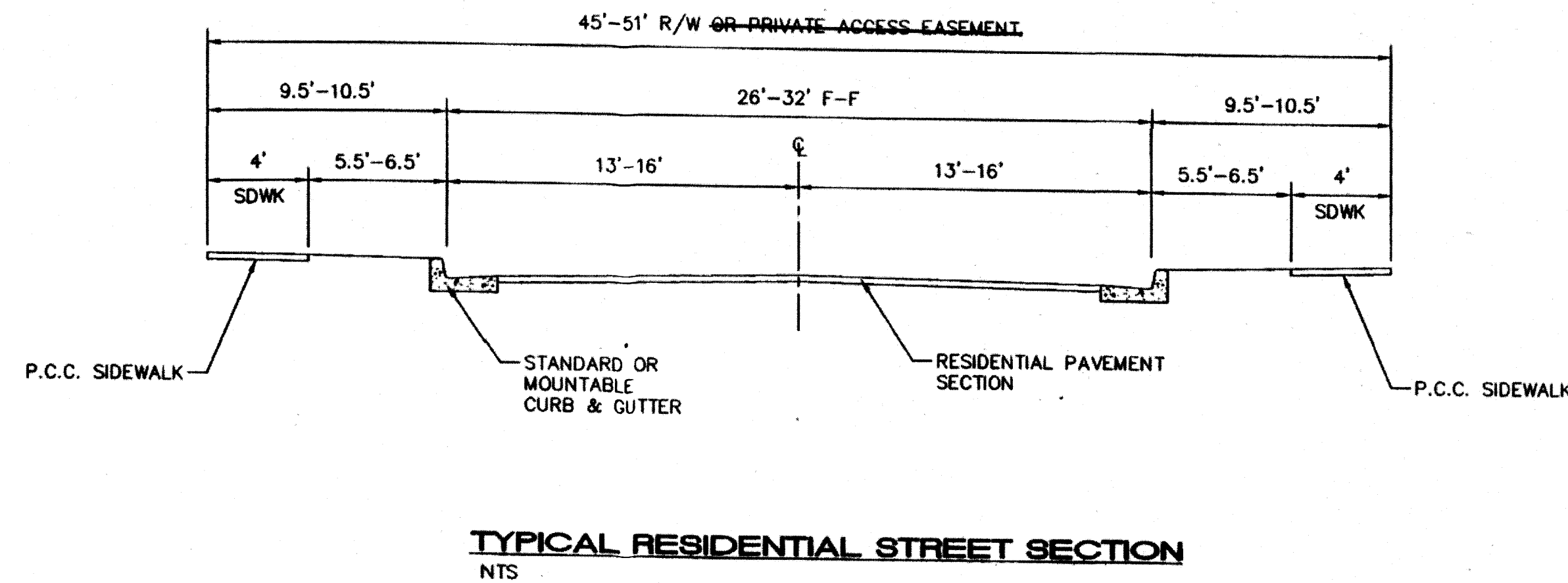
Northerly, 305.79 feet on the arc of a curve to the left (said curve having a radius of 3000.00 feet, a central angle of 05°50'25", and a chord that bears N 18°05'56" E, 305.66 feet) to a point of tangency; Thence,

N 15°10'44" E, 786.36 feet to a point of curvature; Thence,

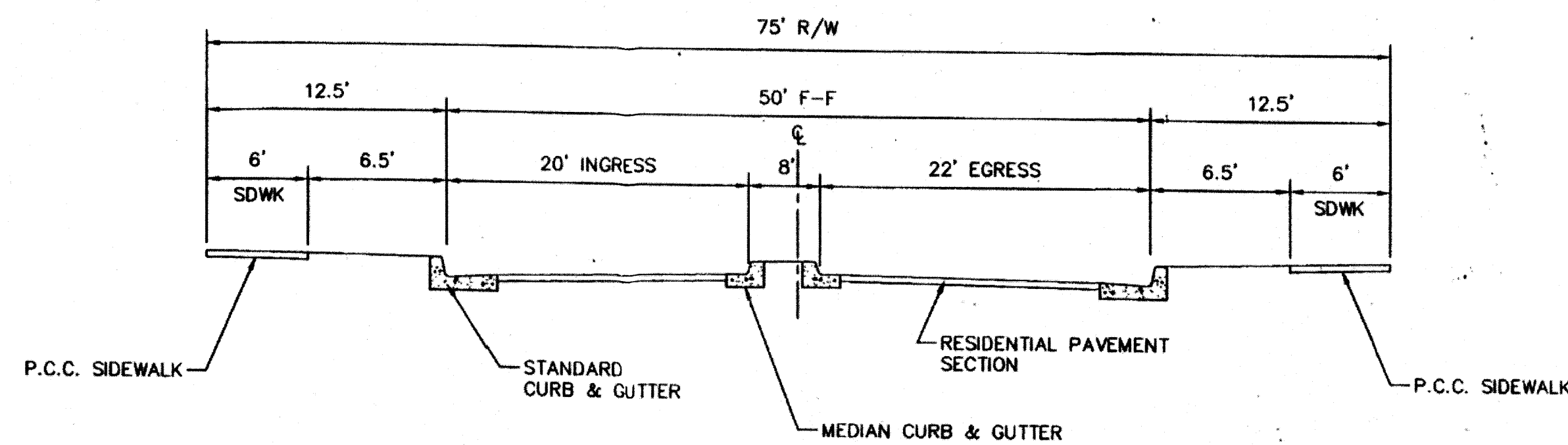
Northeasterly, 1444.55 feet on the arc of a curve to the right (said curve having a radius of 1100.00 feet, a central angle of 75°14'32", and a chord that bears N 52°48'00" E, 1342.96 feet to a point of compound curvature, said point also being the northeasterly corner of said Tract B, The Crossing, and also being the northwesterly corner of said Tract J, The Crossing; Thence,

Easterly, 284.65 feet on the arc of a curve to the right (said curve having a radius of 4546.13 feet, a central angle of 03°35'15", and a chord that bears S 87°45'27" E, 284.60 feet) to the point of beginning.

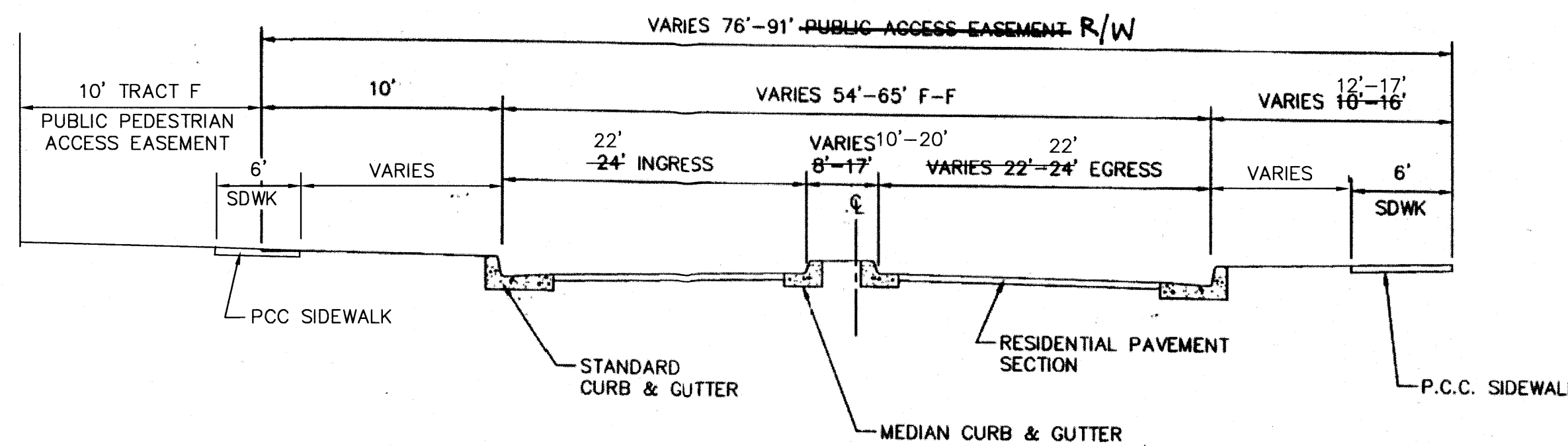
Said parcel contains 55.2416 acres, more or less



**TYPICAL RESIDENTIAL STREET SECTION**  
NTS



**UNIT 4 ENTRANCE STREET SECTION**  
NTS



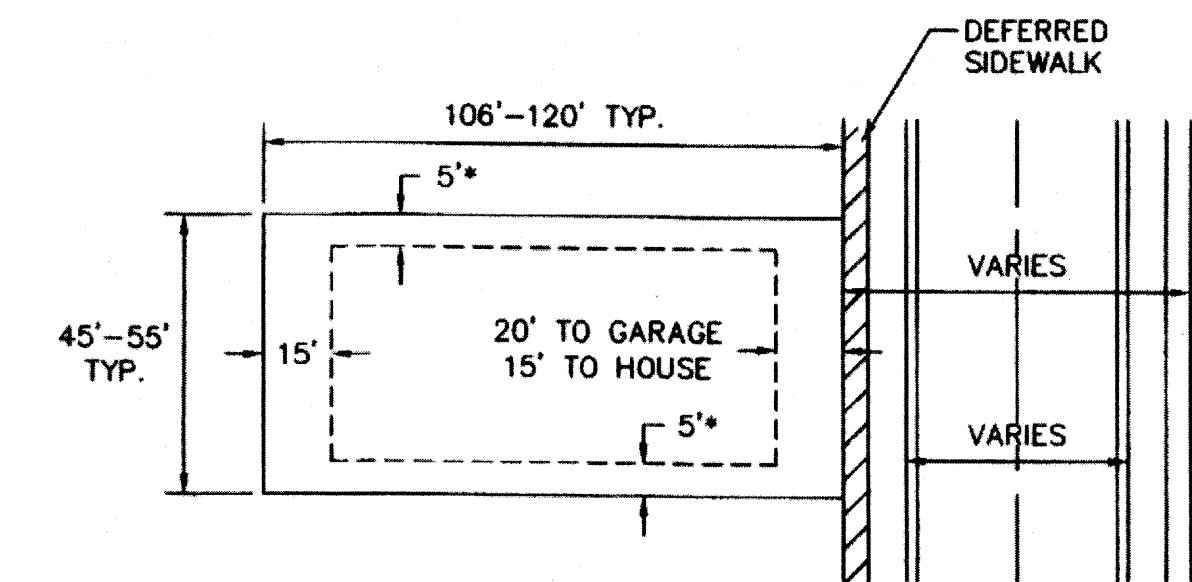
**UNIT 5 ENTRANCE STREET SECTION**  
NTS

**PRELIMINARY PLAT FOR**  
**STORMCLOUD SUBDIVISION UNITS 4 AND 5**  
BEING A REPLAT OF  
TRACTS B AND J THE CROSSINGS AND  
TRACT R STORMCLOUD SUBDIVISION UNIT 3  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

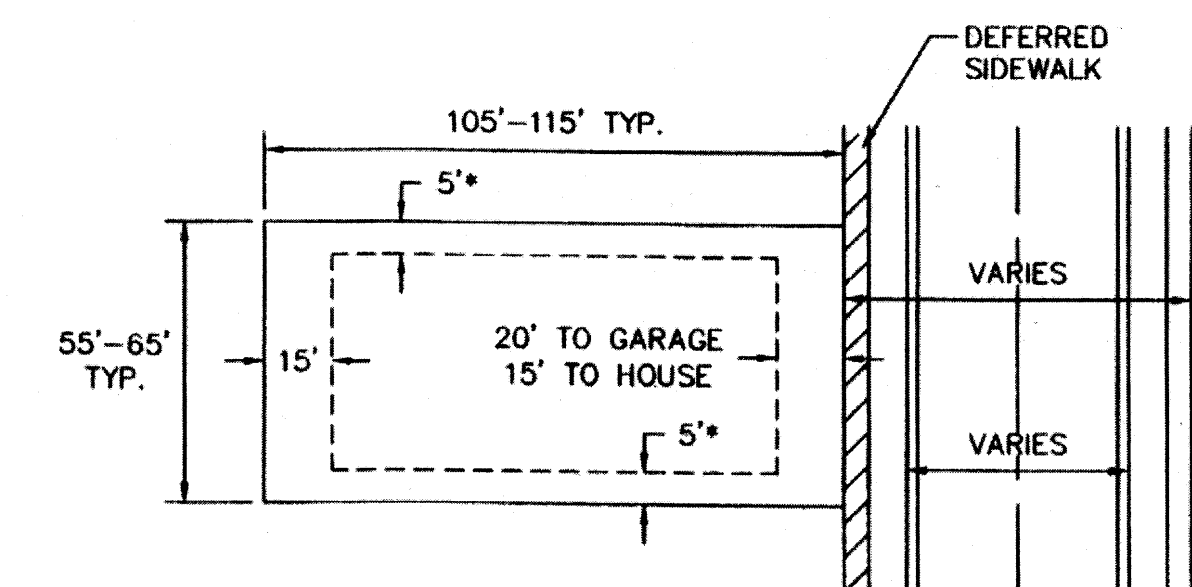
JANUARY 2012

AMENDED  
FEBRUARY 2013

AMENDED MARCH 2013

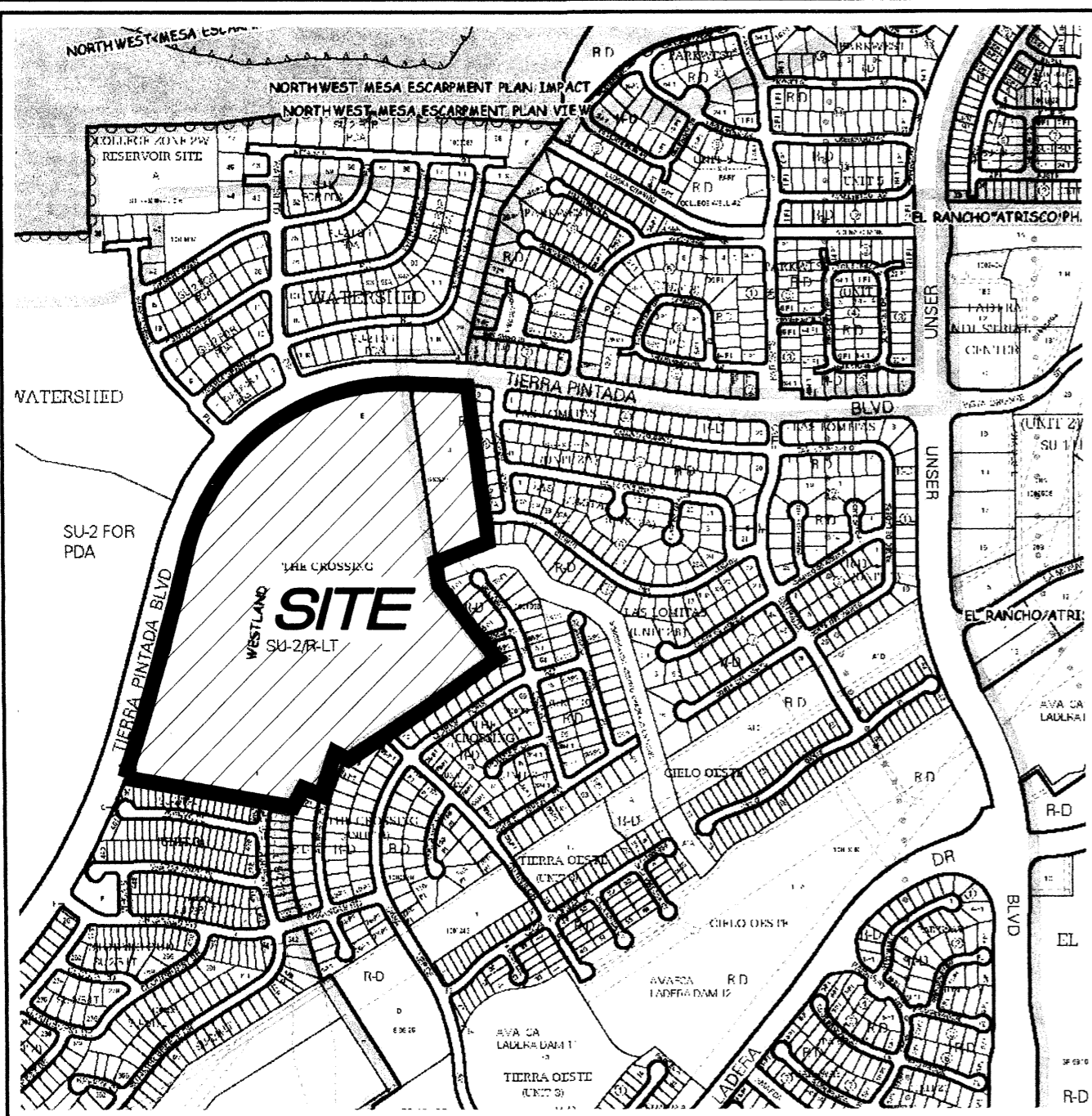


**TYPICAL UNIT 4 LOT DETAIL**  
NTS  
\* 10' SIDEYARD SETBACK  
ADJACENT TO STREET.  
MIN. LOT AREA=4770 SF



**TYPICAL UNIT 5 LOT DETAIL**  
NTS  
\* 10' SIDEYARD SETBACK  
ADJACENT TO STREET.  
MIN. LOT AREA=5775 SF





VICINITY MAP  
ZONE ATLAS PAGE H-9-Z  
Not To Scale

**GENERAL NOTES**

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus  $\blacktriangle$ . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do Not Disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- City of Albuquerque Zone Atlas Page H-9-Z.
- No lot shall have direct access to Tierra Pintada Blvd. N.W.
- Total remaining open space requirement is met via the provision of detached open space per the provisions of Section 14-16-3-8(A)(3).

**SUBDIVISION DATA**

- Total number of existing Tracts: 3
- Total number of lots created: 87
- Total number of Tracts created: 12
- Public Street right of way dedicated by this plat: 5.2922 Ac.
- Gross Subdivision acreage: 55.2416 Ac.
- Total miles of new right of way: 0.85 mi.

**SHEET INDEX**

Sheet 1 of 9	Approvals, General Notes, Purpose of plat
Sheet 2 of 9	Legal Description, Free Consent & Dedication
Sheet 3 of 9	Overall Existing Plat, Tracts and Vacated Easements and overall proposed platting exhibit
Sheets 4-8	New Subdivision Lots, Tracts, right of ways and easements
Sheet 9 of 9	Curve and Line Tables, Easement Details

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Bernalillo County Treasurer \_\_\_\_\_ Date \_\_\_\_\_

**PUBLIC UTILITY EASEMENTS**

- PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:
- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
  - New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
  - Qwest Corporation d/b/a Century Link QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
  - Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**

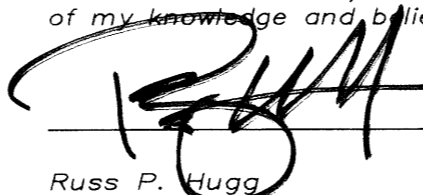
In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation d/b/a Century Link (QC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**PURPOSE OF PLAT**

- The purpose of this plat is to:
- Create 87 New Lots and 12 Tracts as shown hereon.
  - Dedicate the Public Street right of way as shown hereon.
  - Show the Easements Vacated by 12DRB-70043.
  - Grant the New Easements as shown hereon.
  - Create Tract "O" for dedication to A.M.A.F.C.A. Conveyance to occur by separate deed.

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

  
Russ P. Hugg  
NMPS No. 9750  
March 4, 2013



PLAT OF  
**STORMCLOUD SUBDIVISION**  
**UNIT 5**

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)

SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT  
IN

PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2013

PROJECT NUMBER: 1005029

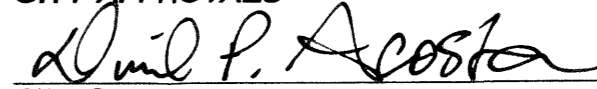
Application Number: \_\_\_\_\_

**PLAT APPROVAL**

**UTILITY APPROVALS:**

Public Service Company of New Mexico	_____	Date
New Mexico Gas Company	_____	Date
Qwest Corporation d/b/a CenturyLink QC.	_____	Date
Comcast	_____	Date

**CITY APPROVALS:**

	3-19-13	
City Surveyor	_____	Date
Department of Municipal Development	_____	Date
Real Property Division	_____	Date
Environmental Health Department	_____	Date
Traffic Engineering, Transportation Division	_____	Date
ABCWUA	_____	Date
Parks and Recreation Department	_____	Date
AMAFCA	_____	Date
City Engineer	_____	Date
DRB Chairperson, Planning Department	_____	Date



**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Atrisco Grant in Projected Sections 9 and 16, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising Tracts B and J, The Crossing, as the same is shown and designated on the plat entitled "PLAT OF THE CROSSING, ALBUQUERQUE, NEW MEXICO, APRIL, 1996", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 8, 1996 in Volume 96C, Folio 302, and Tract R, Stormcloud Subdivision Unit 3, as the same is shown and designated on the plat entitled "PLAT OF STORMCLOUD SUBDIVISION UNIT 3, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AUGUST, 2006", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 21, 2006, in Plat Book 2006C, Page 394, more particularly described by survey performed by Russ P. Rugg, New Mexico Professional Surveyor Number 9750, using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows:

BEGINNING at the northeasterly corner of the parcel herein described, said point also being the northeasterly corner of said Tract J, The Crossing, and also being a point on the southerly right of way line of Tierra Pintada Boulevard N.W., and also being the northwesterly corner of Lot 9, Block 8, Las Lomitas Unit 2A, as the same is shown and designated on the plat thereof, filed December 21, 1994, in Volume 94C, Folio 425; Camino Del Venada N.W.; and Lot 1, Block 7, Las Lomitas Unit 2B, as the same is shown and designated on the plat thereof, filed May 5, 2004, in Plat Book 2004C, Page 147,

S 08°19'34" E, 761.08 feet to corner, said point also being the southwesterly corner of said Lot 1, Block 7, Las Lomitas, Unit 2B, and also being the southeasterly corner of said Tract J, The Crossing, and also being an angle point on the northerly boundary of Mirehaven Arroyo Drainage Channel, The Crossing, Unit 3, as the same is shown on the plat thereof, filed July 26, 2004, in Plat Book 2004C, Page 216; Thence, along the northerly, then westerly boundaries of said Mirehaven Arroyo; Lots 31 P-1 thru 36 P-1; Henry Fork Road N.W. of said plat filed in Plat Book 2004C, Page 216; and lot 50, The Crossing, Unit 2-B, as the same is shown and designated on the plat thereof, filed November 18, 2003, in Plat Book 2003C, Page 347, the following three courses:

S 71°44'43" W, 284.16 feet to a corner, said corner also being the southwesterly corner of said Tract J, The Crossing, and also being a point on the easterly boundary of said Tract B, The Crossing; Thence,

S 08°19'45" E, 114.79 feet to a corner; Thence,

S 40°14'59" E, 458.54 feet to the eastern-most corner of the parcel herein described, said point also being the eastern-most corner of said Tract B, The Crossing, and also being a corner on the westerly boundary of said Lot 50, The Crossing, Unit 2-B; Thence, along the northwesterly boundaries of Lots 40 thru 48 and 50, of said plat filed in Plat Book 2003C, Page 347; Gunnison Place N.W.; and Lots 37-P1 thru 39-P1, The Crossing, Unit 1-A, as the same is shown and designated on the plat thereof, filed December 3, 2002, in Plat Book 2002C, Page 380, the following 3 courses,

S 57°54'27" W, 470.16 feet to a point of curvature; Thence,

Southwesterly, 190.45 feet on the arc of a curve to the left (said curve having a radius of 762.00 feet, a central angle of 14°19'12", and a chord that bears S 50°44'51" W, 189.95 feet) to an angle point; Thence,

Southwesterly, 208.45 feet on the arc of a curve to the left (said curve having a radius of 762.00 feet, a central angle of 15°40'25", and a chord that bears S 35°45'41" W, 207.80 feet) to a corner, said corner also being the eastern-most corner on Lot 14-P1, The Crossing, Unit 1-A, of said plat filed in Plat Book 2002C, Page 380; Thence, along the northeasterly boundaries of said Lot 14-P1 and Animas Place N.W.,

N 62°04'32" W, 158.00 feet to a corner, said corner also being the northern-most corner of the northeasterly terminus of said Animas Place N.W.; Thence, along the northwesterly right of way line of said Animas Place N.W.,

Southwesterly, 197.52 feet on the arc of a curve to the left (said curve having a radius of 920.00 feet, a central angle of 12°18'05", and a chord that bears S 21°46'26" W, 197.14 feet) to a corner, said corner also being the northeasterly corner of Lot 13-P1, The Crossing, Unit 1-A, of said plat filed in Plat Book 2002C, Page 380; Thence, along the northerly, then westerly boundaries of said Lot 13-P1, the following two courses:

N 74°22'37" W, 112.00 feet to a corner; Thence,

Southerly, 84.44 feet on the arc of a curve to the left (said curve having a radius of 1032.00 feet, a central angle of 04°41'16", and a chord that bears S 13°16'45" W, 84.41 feet) to the southern-most corner of the parcel herein described, said point also being the southern-most corner of said Tract B, The Crossing, and also being the northeasterly corner of Lot 507, Stormcloud Subdivision, Unit 3, as the same is shown and designated on the plat thereof, filed December 31, 2006, in Plat Book 2006C, Page 394; Thence, along the northerly boundaries of said lot 507, Summer Breeze Drive N.W., and Lots 489 thru 505, Stormcloud Subdivision, Unit 3, of said plat filed in Plat Book 2006C, Page 394,

**LEGAL DESCRIPTION, continued**

N 79°03'05" W, 816.22 feet to the southwesterly corner of the parcel herein described, said point also being the southwesterly corner of said Tract R, Stormcloud Subdivision, Unit 3, and also being the northwesterly corner of said Lot 489, Stormcloud Subdivision, Unit 3, and also being a point on the easterly right of way line of said Tierra Pintada Boulevard N.W., whence Albuquerque Control Survey Monument "BH-41" bears N 19°15'12" W, 2,848.64 feet distant; Thence, along the easterly, then southeasterly, then southerly right of way line of said Tierra Pintada Boulevard N.W. the following four courses:

Northerly, 305.79 feet on the arc of a curve to the left (said curve having a radius of 3000.00 feet, a central angle of 05°50'25", and a chord that bears N 18°05'56" E, 305.66 feet) to a point of tangency; Thence,

N 15°10'44" E, 786.36 feet to a point of curvature; Thence,

Northeasterly, 1444.55 feet on the arc of a curve to the right (said curve having a radius of 1100.00 feet, a central angle of 75°14'32", and a chord that bears N 52°48'00" E, 1342.96 feet to a point of compound curvature, said point also being the northeasterly corner of said Tract B, The Crossing, and also being the northwesterly corner of said Tract J, The Crossing; Thence,

Easterly, 284.65 feet on the arc of a curve to the right (said curve having a radius of 4546.13 feet, a central angle of 03°35'15", and a chord that bears S 87°45'27" E, 284.60 feet) to the point of beginning.

Said parcel contains 55.2416 acres, more or less

**FREE CONSENT AND DEDICATION**

SURVEYED AND REPLATTED and now comprising "PLAT OF STORMCLOUD SUBDIVISION UNIT 5 (BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3) SITUATE WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO"; with the free consent of and in accordance with the wished and desires of the undersigned owner(s) and proprietor(s). Said owner(s) and proprietor(s) do hereby dedicate the public street right-of-way as shown hereon to the City of Albuquerque in fee simple with special warranty covenants. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided, subject to matters of record. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate Tract O, a drainage channel right-of-way shown hereon to Albuquerque Metropolitan Arroyo Flood Control Authority, in fee simple. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act; provided, however, that nothing in this plat shall be construed or shall operate to convey any part of those certain items of personal property known as "PID Eligible Infrastructure Improvements," as such term is defined in that certain Infrastructure Development and Acquisition Agreement by and among the CITY OF ALBUQUERQUE, NEW MEXICO, a charter municipality, THE LOWER PETROGLYPHS PUBLIC IMPROVEMENT DISTRICT, a political subdivision of the State of New Mexico, and WESTERN ALBUQUERQUE LAND HOLDINGS LLC, a Delaware limited liability company, and, to the extent applicable, any other parties to the Infrastructure Development and Acquisition Agreement, to be recorded in the office of the County Clerk of Bernalillo County, New Mexico, which PID Eligible Infrastructure Improvements shall be conveyed by bill of sale or other appropriate instrument apart from this plat.

**OWNER(S)**

Western Albuquerque Land Holdings, LLC ("WALH")  
A Delaware Limited Liability Company

By: Barclays Capital Real Estate, Inc., its Servicing Member

*[Signature]*  
Mark Wuest, Vice President Barclays Capital Real Estate, Inc.

**ACKNOWLEDGMENT**

STATE OF New York  
COUNTY OF New York SS

This instrument was acknowledged before me this 13 day of

March, 2013, by Mark Wuest, Vice President of Barclays Capital Real Estate, Inc., a Delaware Corporation and Servicing Member of Western Albuquerque Land Holdings, LLC, a Delaware Limited Liability Company

*[Signature]* My commission expires October 23, 2016  
Notary Public

MICHAEL W. McLEAN  
Notary Public, State of New York  
No. 01MC6270564  
Qualified in New York County  
Commission Expires: October 22, 2016

**PLAT OF  
STORMCLOUD SUBDIVISION  
UNIT 5**

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)

**SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT  
IN  
PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2013**

**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS  
ON THE INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

**FLOOD ZONE DETERMINATION**

The subject property, as shown hereon, appears to lie within Zone "X" (areas determined to be outside the 0.2% annual chance floodplain), Zone "AO, (DEPTH 1)" (Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined), and Zone "AE" (Base Flood Elevations determined) as shown on National Flood Insurance Program Flood Insurance Rate Map Number 35001C0326H, Map Revised August 16, 2012.

**A.M.A.F.C.A. NOTES**

FINAL CONFIRMATION AND RELEASE OF A.M.A.F.C.A.'S TEMPORARY DRAINAGE EASEMENT (INTERIM FLOOD PLAIN DRAINAGE EASEMENT) WILL BE COMPLETED UPON ISSUANCE OF A LETTER OF MAP REVISION (LOMR) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND UPON ISSUANCE OF QUITCLAIM DEED(S) FROM A.M.A.F.C.A.

A PORTION OF THIS SUBDIVISION IS LOCATED WITHIN A 100-YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM "FLOOD INSURANCE RATE MAP". A LETTER OF MAP REVISION (LOMR) WILL BE REQUESTED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) TO REMOVE THE EXISTING FLOOD PLAIN. UNTIL THE LOMR IS ISSUED BY FEMA, PROPERTY OWNERS MAY BE REQUIRED TO PURCHASE FLOOD INSURANCE.

**APS AGREEMENT**

The Property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools recorded in the office of the County Clerk of Bernalillo County, New Mexico on

March 12, 2013 as Doc.# 2013027823



**SURV TEK, INC.**

Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366  
Fax: 505-897-3377







PLAT OF  
**STORMCLOUD SUBDIVISION**  
**UNIT 5**

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)

SITUATE WITHIN  
**THE TOWN OF ATRISCO GRANT**  
 IN

**PROJECTED SECTION 9**  
**TOWNSHIP 10 NORTH, RANGE 2 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
 MARCH, 2013

SEE SHEET 8

**SIDEWALK CULVERT MAINTENANCE NOTE**

SIDEWALK CULVERTS INSTALLED ADJACENT TO TRACT E SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION ONCE ESTABLISHED.

**TRACT DESIGNATIONS**

TRACTS A THROUGH K SHALL BE CONVEYED TO THE HOMEOWNERS' ASSOCIATION ONCE ESTABLISHED. THESE TRACTS SHALL BE MAINTAINED BY SAID ASSOCIATION. USES FOR TRACTS ARE LISTED BELOW.

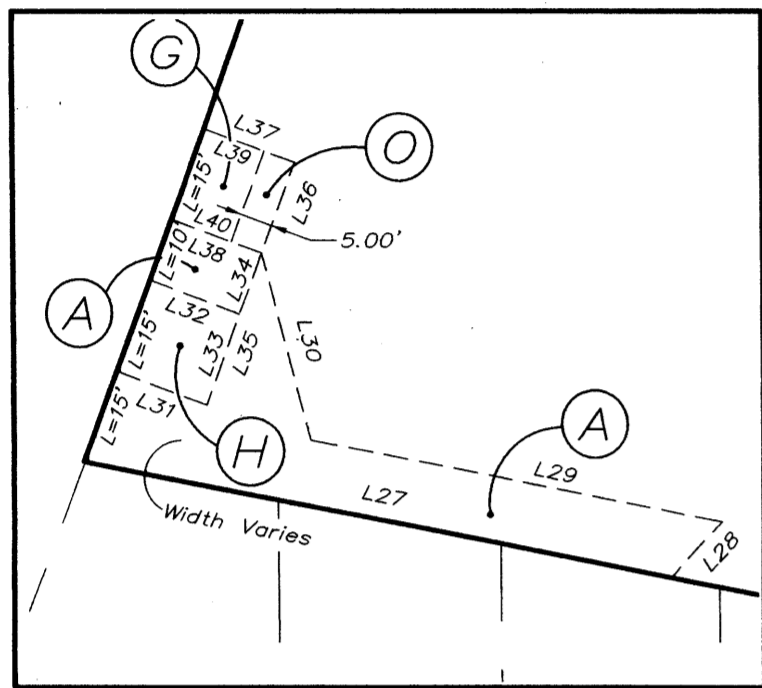
**TRACT USE**

- A LANDSCAPING
- B LANDSCAPING
- C MAINTENANCE ACCESS ROAD FOR COA, ABCWUA AND AMAFCA/WATERLINE AND STORM DRAIN EASEMENT
- D WATERLINE EASEMENT/AMAFCA MAINTENANCE ACCESS EASEMENT
- E PRIVATE PARK
- F LANDSCAPING/PUBLIC PEDESTRIAN ACCESS EASEMENT
- G WATERLINE EASEMENT FOR A.B.C.W.U.A. VAULT
- H WATERLINE EASEMENT FOR A.B.C.W.U.A. WATERLINE AND VAULT
- J PNM, COMCAST AND CENTURYLINK SURFACE EQUIPMENT/PUE.
- K LANDSCAPING/WATERLINE AND SANITARY SEWER LINE EASEMENT/DRAINAGE EASEMENT AND PUBLIC UTILITY EASEMENT
- N TO BE RETAINED BY OWNER FOR FUTURE DEVELOPMENT
- O TO BE DEDICATED TO A.M.A.F.C.A. FOR DRAINAGE CHANNEL.

**NEW EASEMENTS**

- (A) 10' Public Utility Easement granted by this plat.
- (B) 10' Public Pedestrian Easement
- (C) Public Waterline Easement granted to A.B.C.W.U.A. by this plat.  
Public Storm Drain Easement granted to the City of Albuquerque by this plat.  
Maintenance Access Easement granted to A.M.A.F.C.A. by this plat.
- (D) Public Waterline and Sanitary Sewer Easement granted to A.B.C.W.U.A. by this plat.
- (E) Public Waterline Easement granted to A.B.C.W.U.A. by this plat. (over all Tract G)
- (F) Public Waterline Easement granted to A.B.C.W.U.A. by this plat. (over all Tract H)
- (G) Public Utility Easement granted to CenturyLink by this plat.
- (H) Public Utility Easement granted to PNM by this plat.
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- (O) Public Utility Easement granted to Comcast by this plat.
- (P) Public Waterline and sanitary Sewer line easement granted to ABCWUA, Public drainage easement granted to the City of Albuquerque and Public Utility Easement granted this plat. (Over all of Tract K)

**TRACT N**  
 31.0361 Ac.

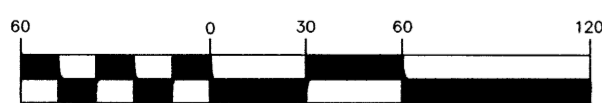


DETAIL 'D' 1" = 30'

LINE	LENGTH	BEARING
L27	94.70	S79°03'05"E
L28	11.78	N42°53'27"E
L29	66.58	N79°03'05"W
L30	29.85	N14°27'21"W
L31	15.06	S69°36'20"E
L32	15.01	S69°36'20"E
L33	15.00	N20°23'40"E
L34	10.00	N20°23'40"E
L35	25.00	N20°23'40"E
L36	15.00	N20°23'40"E
L37	15.09	N69°36'20"W
L38	15.02	S69°36'20"E
L39	10.09	S69°36'20"E
L40	10.02	S69°36'20"E

Albuquerque Control Survey Monument "BH-41"  
 New Mexico State Plane Coordinates  
 (Central Zone - NAD 83) as published  
 North= 1,496,608.828 feet  
 East= 1,491,701.376 feet  
 Delta Alpha= -001°09.70"  
 Ground to Grid Factor= 0.999670930

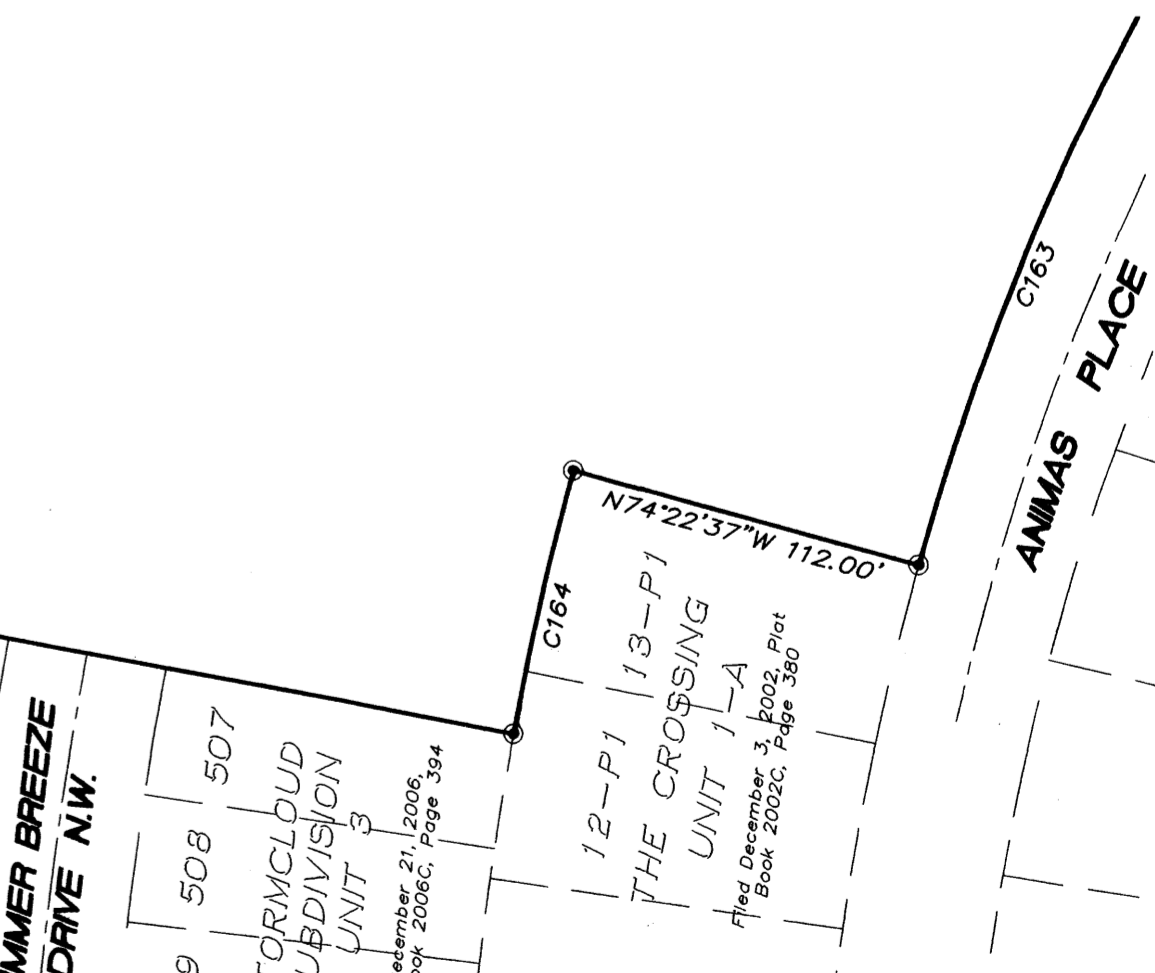
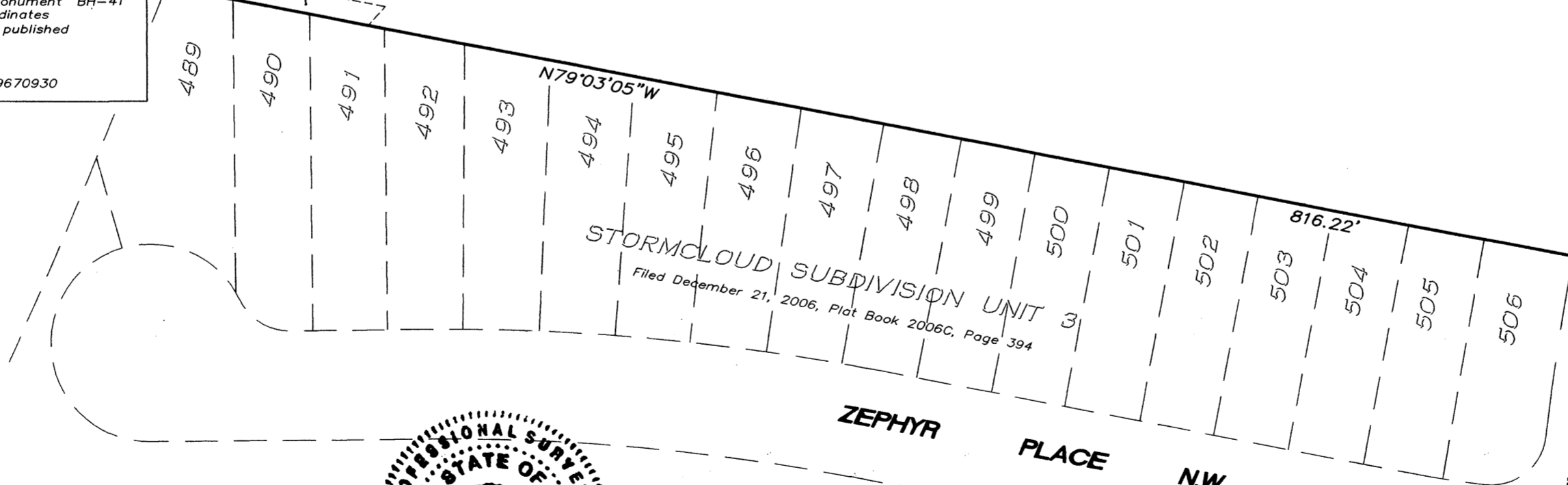
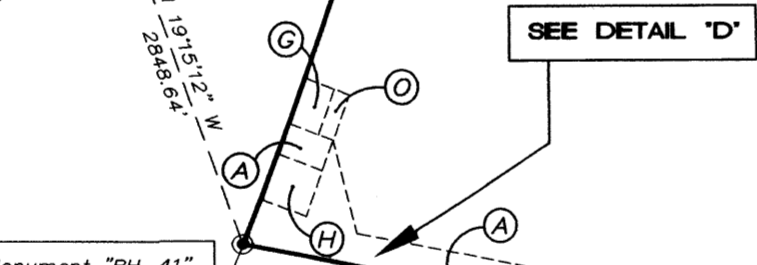
GRAPHIC SCALE



( IN FEET )  
 1 inch = 60 ft.



**TIERRA PINTADA BOULEVARD N.W.**  
 152' R/W  
 Dedicated Public Street Right of Way  
 Plat B, filed December 31, 2006, in  
 Plat Book 2006C, Page 316.



SHEET 4 OF 9

**SURV TEK, INC.**

Consulting Surveyors  
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3366 Fax: 505-897-3377

SEE SHEET 5



**SIDEWALK CULVERT MAINTENANCE NOTE**

SIDEWALK CULVERTS INSTALLED ADJACENT TO TRACT E SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION ONCE ESTABLISHED.

**TRACT DESIGNATIONS**

TRACTS A THROUGH K SHALL BE CONVEYED TO THE HOMEOWNERS' ASSOCIATION ONCE ESTABLISHED. THESE TRACTS SHALL BE MAINTAINED BY SAID ASSOCIATION. USES FOR TRACTS ARE LISTED BELOW.

**TRACT USE**

- A LANDSCAPING
- B LANDSCAPING
- C MAINTENANCE ACCESS ROAD FOR COA, ABCWUA AND AMAFCA/WATERLINE AND STORM DRAIN EASEMENT
- D WATERLINE EASEMENT/AMAFCA MAINTENANCE ACCESS EASEMENT
- E PRIVATE PARK
- F LANDSCAPING/PUBLIC PEDESTRIAN ACCESS EASEMENT
- G WATERLINE EASEMENT FOR A.B.C.W.U.A. VAULT
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- J PNM, COMCAST AND CENTURYLINK SURFACE EQUIPMENT/PUE.
- K LANDSCAPING/WATERLINE AND SANITARY SEWER LINE EASEMENT/DRAINAGE EASEMENT AND PUBLIC UTILITY EASEMENT
- N TO BE RETAINED BY OWNER FOR FUTURE DEVELOPMENT
- O TO BE DEDICATED TO A.M.A.F.C.A. FOR DRAINAGE CHANNEL.

**NEW EASEMENTS**

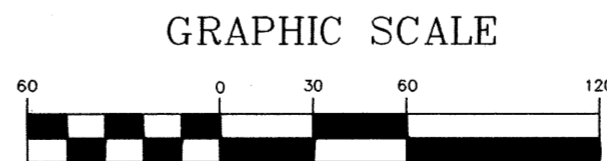
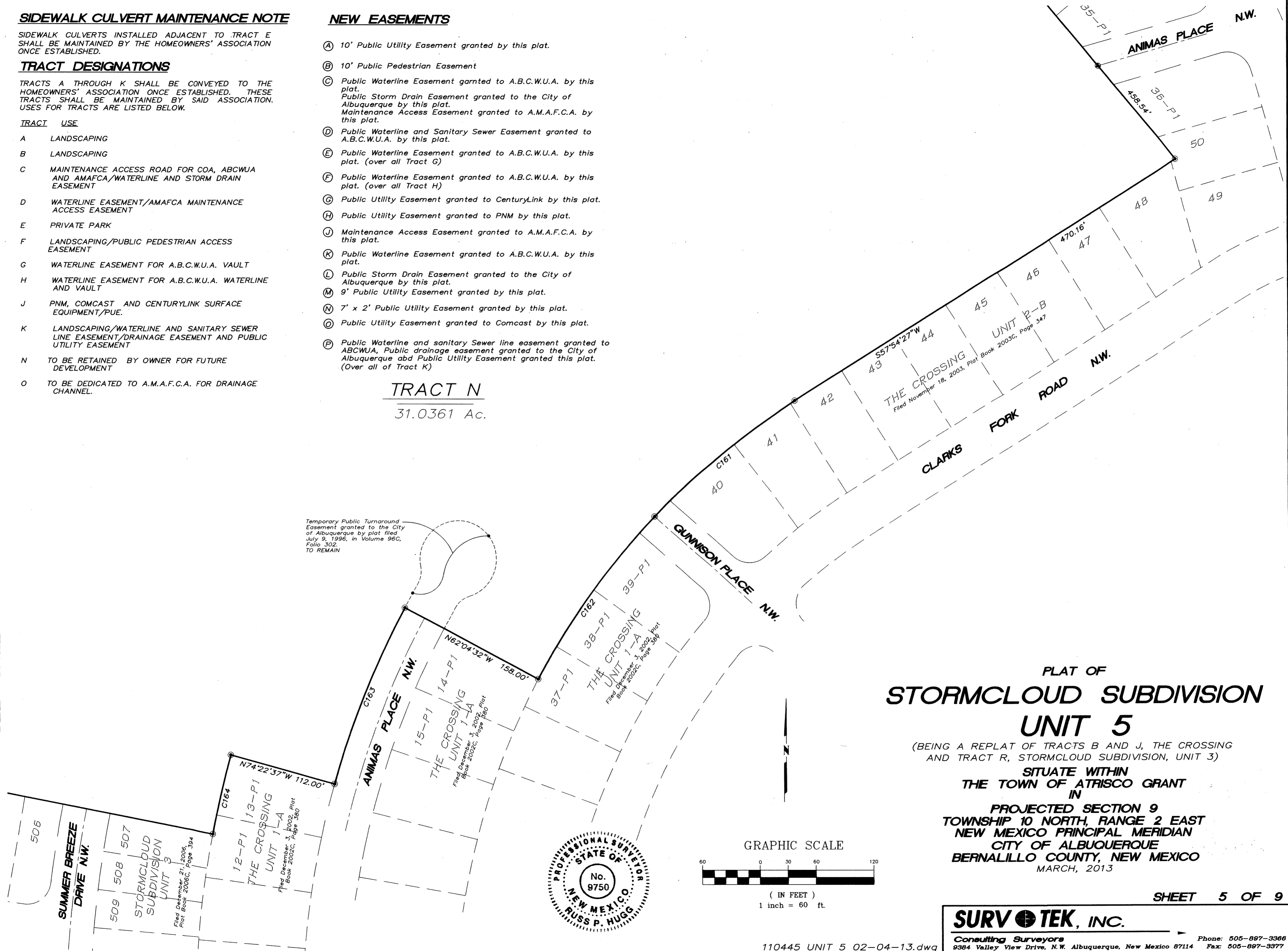
- (A) 10' Public Utility Easement granted by this plat.
- (B) 10' Public Pedestrian Easement
- (C) Public Waterline Easement granted to A.B.C.W.U.A. by this plat.  
Public Storm Drain Easement granted to the City of Albuquerque by this plat.  
Maintenance Access Easement granted to A.M.A.F.C.A. by this plat.
- (D) Public Waterline and Sanitary Sewer Easement granted to A.B.C.W.U.A. by this plat.
- (E) Public Waterline Easement granted to A.B.C.W.U.A. by this plat. (over all Tract G)
- (F) Public Waterline Easement granted to A.B.C.W.U.A. by this plat. (over all Tract H)
- (G) Public Utility Easement granted to CenturyLink by this plat.
- (H) Public Utility Easement granted to PNM by this plat.
- (J) Maintenance Access Easement granted to A.M.A.F.C.A. by this plat.
- (K) Public Waterline Easement granted to A.B.C.W.U.A. by this plat.
- (L) Public Storm Drain Easement granted to the City of Albuquerque by this plat.
- (M) 9' Public Utility Easement granted by this plat.
- (N) 7' x 2' Public Utility Easement granted by this plat.
- (O) Public Utility Easement granted to Comcast by this plat.
- (P) Public Waterline and sanitary Sewer line easement granted to ABCWUA, Public drainage easement granted to the City of Albuquerque and Public Utility Easement granted this plat. (Over all of Tract K)

**TRACT N**

31.0361 Ac.

Temporary Public Turnaround Easement granted to the City of Albuquerque by plat filed July 9, 1996, in Volume 96C, Folio 302, TO REMAIN

SEE SHEET 4



PLAT OF  
**STORMCLOUD SUBDIVISION**  
**UNIT 5**

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)

SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT  
IN

PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2013

SHEET 5 OF 9

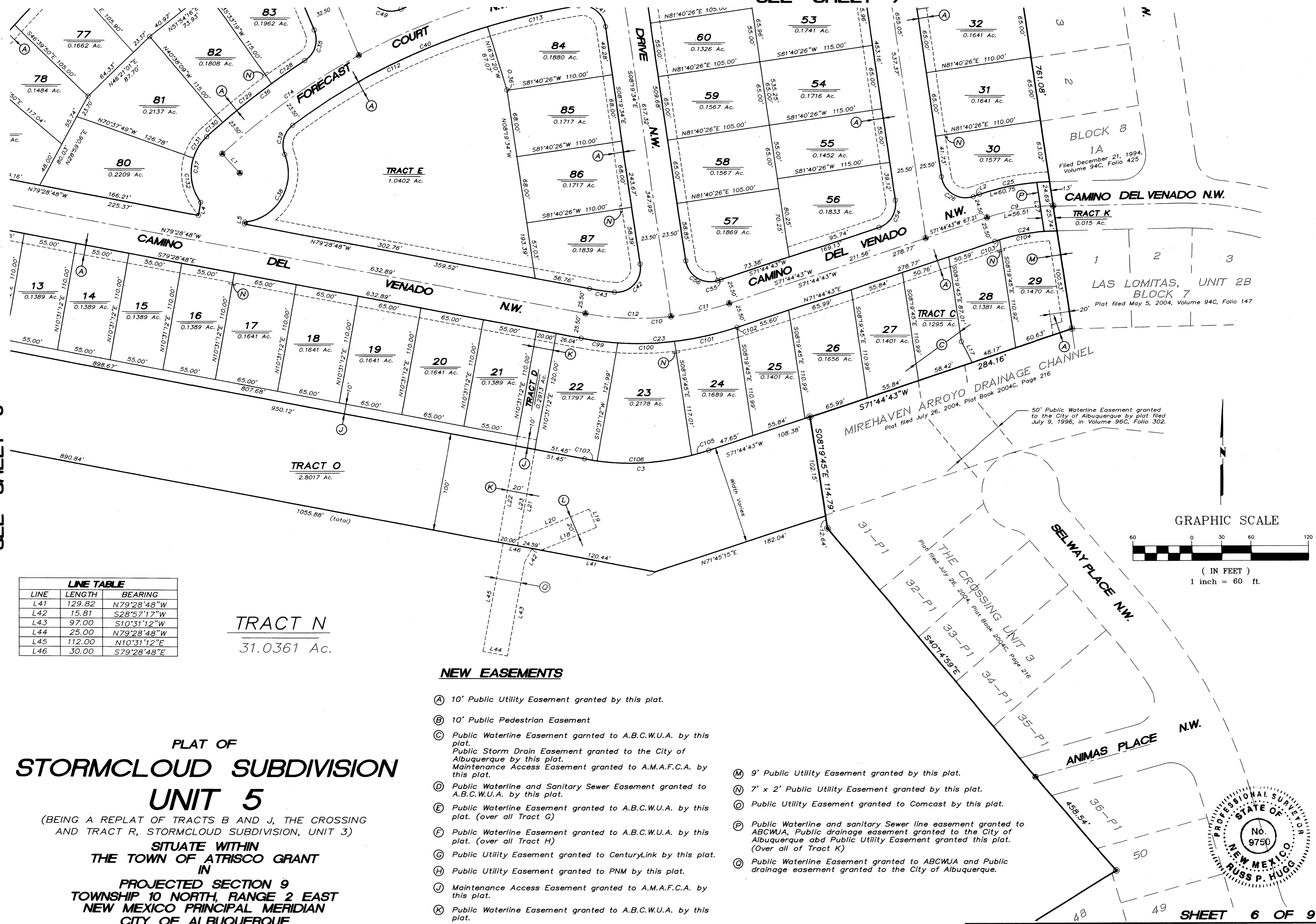
**SURV TEK, INC.**

Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377



SEE SHEET 8

SEE SHEET 7



LINE	LENGTH	BEARING
L41	129.82	N79°28'48"W
L42	15.81	S28°57'17"W
L43	97.00	S10°31'12"W
L44	25.00	N79°28'48"W
L45	112.00	N10°31'12"E
L46	30.00	S79°28'48"E

**TRACT N**  
31.0361 Ac.

**NEW EASEMENTS**

- (A) 10' Public Utility Easement granted by this plat.
- (B) 10' Public Pedestrian Easement
- (C) Public Waterline Easement granted to A.B.C.W.U.A. by this plat.  
Public Storm Drain Easement granted to the City of Albuquerque by this plat.  
Maintenance Access Easement granted to A.M.A.F.C.A. by this plat.
- (D) Public Waterline and Sanitary Sewer Easement granted to A.B.C.W.U.A. by this plat.
- (E) Public Waterline Easement granted to A.B.C.W.U.A. by this plat. (over all Tract G)
- (F) Public Waterline Easement granted to A.B.C.W.U.A. by this plat. (over all Tract H)
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- (H) Public Utility Easement granted to PNM by this plat.
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- (N) 7' x 2' Public Utility Easement granted by this plat.
- (O) Public Utility Easement granted to Comcast by this plat.
- (P) Public Waterline and sanitary Sewer line easement granted to ABCWUA, Public drainage easement granted to the City of Albuquerque and Public Utility Easement granted to this plat. (Over all of Tract K)
- (Q) Public Waterline Easement granted to ABCWUA and Public drainage easement granted to the City of Albuquerque.

**PLAT OF  
STORMCLOUD SUBDIVISION  
UNIT 5**

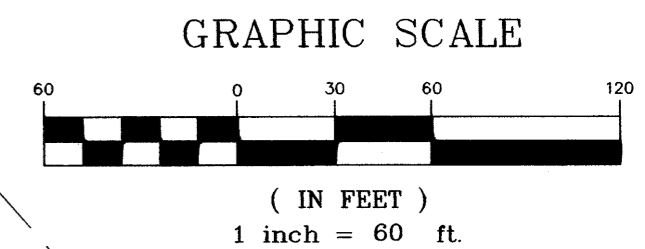
(BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)

**SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT  
IN**

**PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2013**

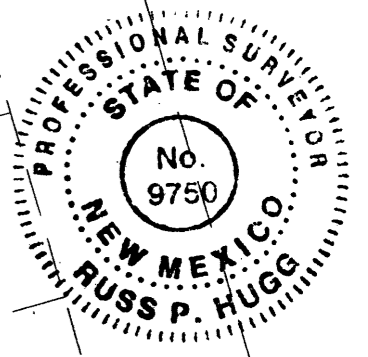
SEE SHEET 5

110445 UNIT 5 02-04-13.dwg



SHEET 6 OF 9

**SURV TEK, INC.**  
Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377





# PLAT OF STORMCLOUD SUBDIVISION UNIT 5

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)

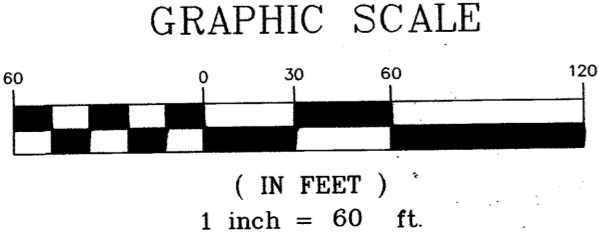
SITUATE WITHIN  
THE TOWN OF ATRISCO GRANT  
IN  
PROJECTED SECTION 9  
TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2013

## TIERRA PINTADA BOULEVARD N.W.

Variable Width R/W  
Dedicated Public Street Right of Way  
by plat filed December 27, 2000, in  
Plat Book 2000C, Page 316.

Additional Street Right-Of-Way  
Dedicated to the City of  
Albuquerque by plat filed July 9,  
1996, in Volume 96C, Folio 302.

Albuquerque Control Survey Monument "3-H9"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83) as published  
North= 1,496,938.322 feet  
East= 1,496,470.170 feet  
Elevation= 5,209.519 (NAVD 1988)  
Delta Alpha= -00'16"36.72"  
Ground to Grid Factor= 0.999678486



SEE SHEET 8

SEE SHEET 6

SHEET 7 of 9

**SURV TEK, INC.**  
Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366  
Fax: 505-897-3377

110445 UNIT 5 02-04-13.DWG



# PLAT OF STORMCLOUD SUBDIVISION UNIT 5

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)

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MARCH, 2013

### SIDEWALK CULVERT MAINTENANCE NOTE

SIDEWALK CULVERTS INSTALLED ADJACENT TO TRACT E SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION ONCE ESTABLISHED.

### TRACT DESIGNATIONS

TRACTS A THROUGH K SHALL BE CONVEYED TO THE HOMEOWNERS' ASSOCIATION ONCE ESTABLISHED. THESE TRACTS SHALL BE MAINTAINED BY SAID ASSOCIATION. USES FOR TRACTS ARE LISTED BELOW.

- | TRACT | USE  |
|-------|--|
| A     | LANDSCAPING  |
| B     | LANDSCAPING  |
| C     | MAINTENANCE ACCESS ROAD FOR COA, ABCWUA AND AMAFCA/WATERLINE AND STORM DRAIN EASEMENT                |
| D     | WATERLINE EASEMENT/AMAFCA MAINTENANCE ACCESS EASEMENT  |
| E     | PRIVATE PARK   |
| F     | LANDSCAPING/PUBLIC PEDESTRIAN ACCESS EASEMENT  |
| G     | WATERLINE EASEMENT FOR A.B.C.W.U.A. VAULT  |
| H     | WATERLINE EASEMENT FOR A.B.C.W.U.A. WATERLINE AND VAULT  |
| J     | PNM, COMCAST AND CENTURYLINK SURFACE EQUIPMENT/PUE.  |
| K     | LANDSCAPING/WATERLINE AND SANITARY SEWER LINE EASEMENT/DRAINAGE EASEMENT AND PUBLIC UTILITY EASEMENT |
| N     | TO BE RETAINED BY OWNER FOR FUTURE DEVELOPMENT   |
| O     | TO BE DEDICATED TO A.M.A.F.C.A. FOR DRAINAGE CHANNEL.  |

Dedicated Public Street Right of Way by Plat filed December 27, 2000, in Plat Book #0000, Page 316.

TERRA PINTADA BOULEVARD N.W.

TIERRA PINTADA BOULEVARD N.W.

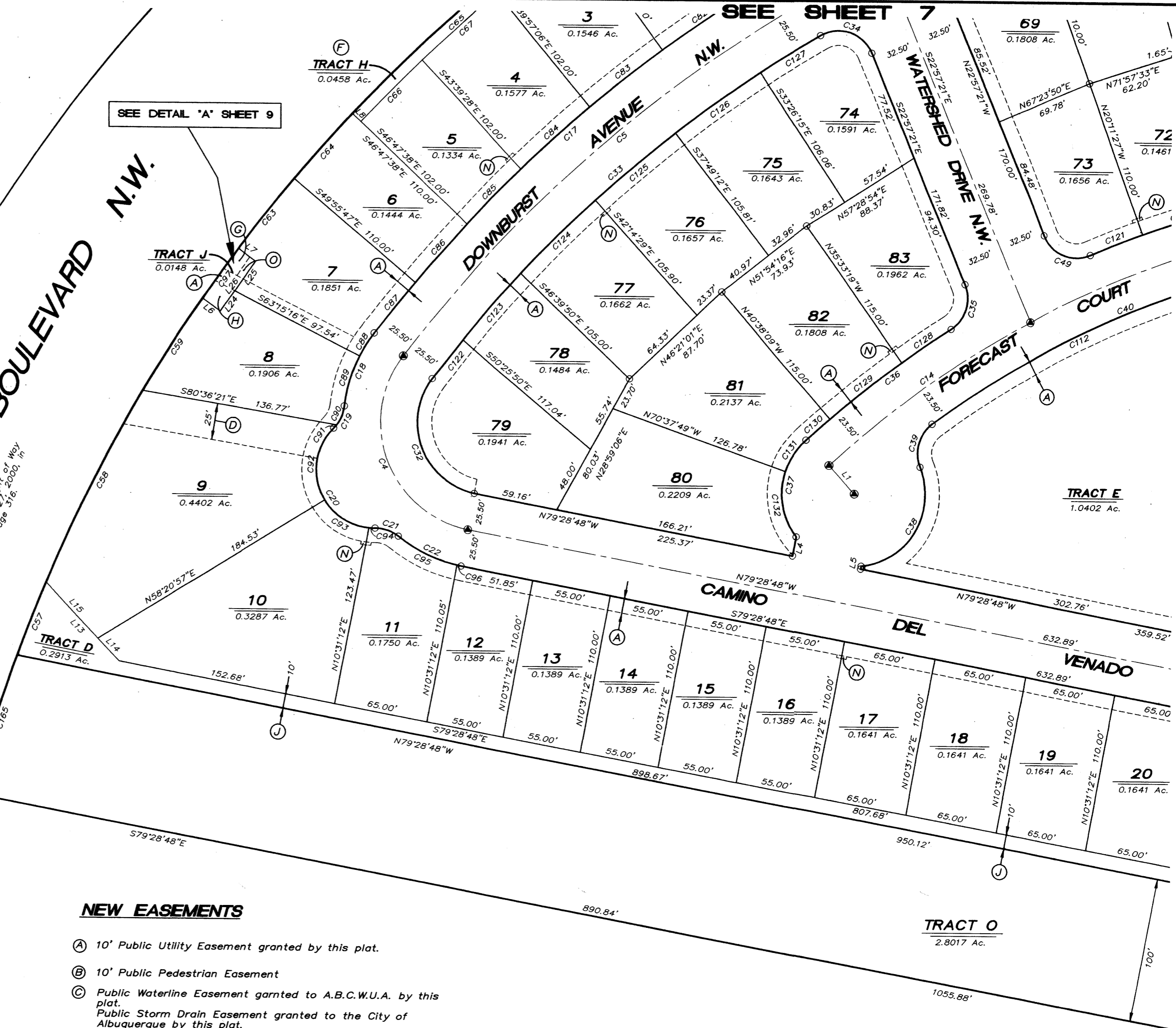
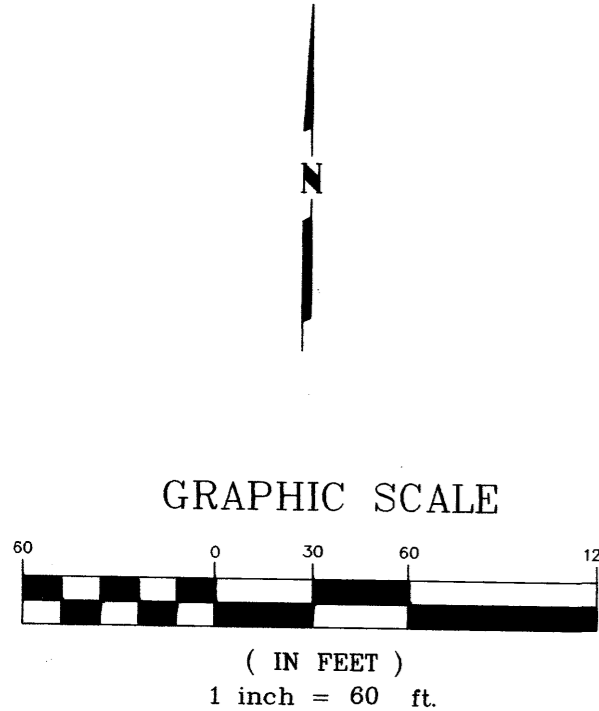
786.36'  
779.58'

SEE DETAIL 'A' SHEET 9

SEE SHEET 7

SEE SHEET 7

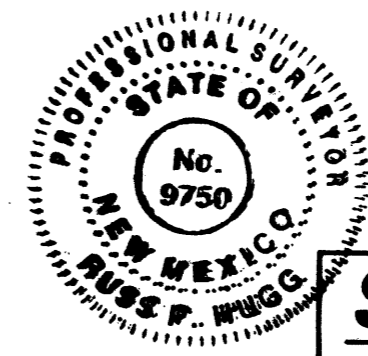
SEE SHEET 6



### NEW EASEMENTS

- (A) 10' Public Utility Easement granted by this plat.
- (B) 10' Public Pedestrian Easement
- (C) Public Waterline Easement granted to A.B.C.W.U.A. by this plat.  
Public Storm Drain Easement granted to the City of Albuquerque by this plat.  
Maintenance Access Easement granted to A.M.A.F.C.A. by this plat.
- (D) Public Waterline and Sanitary Sewer Easement granted to A.B.C.W.U.A. by this plat.
- (E) Public Waterline Easement granted to A.B.C.W.U.A. by this plat. (over all Tract G)
- (F) Public Waterline Easement granted to A.B.C.W.U.A. by this plat. (over all Tract H)
- (G) Public Utility Easement granted to CenturyLink by this plat.
- (H) Public Utility Easement granted to PNM by this plat.
- (J) Maintenance Access Easement granted to A.M.A.F.C.A. by this plat.
- (K) Public Waterline Easement granted to A.B.C.W.U.A. by this plat.
- (L) Public Storm Drain Easement granted to the City of Albuquerque by this plat.
- (M) 9' Public Utility Easement granted by this plat.
- (N) 7' x 2' Public Utility Easement granted by this plat.
- (O) Public Utility Easement granted to Comcast by this plat.
- (P) Public Waterline and sanitary Sewer line easement granted to ABCWUA. Public drainage easement granted to the City of Albuquerque and Public Utility Easement granted this plat. (Over all of Tract K)

TRACT N  
31.0361 Ac.



**SURV TEK, INC.**  
Consulting Surveyors

SEE SHEET 4

110445 UNIT 5 02-04-13.dwg

9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366 Fax: 505-897-3377

SHEET 8 OF 9



**PLAT OF  
STORMCLOUD SUBDIVISION  
UNIT 5**

(BEING A REPLAT OF TRACTS B AND J, THE CROSSING  
AND TRACT R, STORMCLOUD SUBDIVISION, UNIT 3)

**SITUATE WITHIN  
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MARCH, 2013**

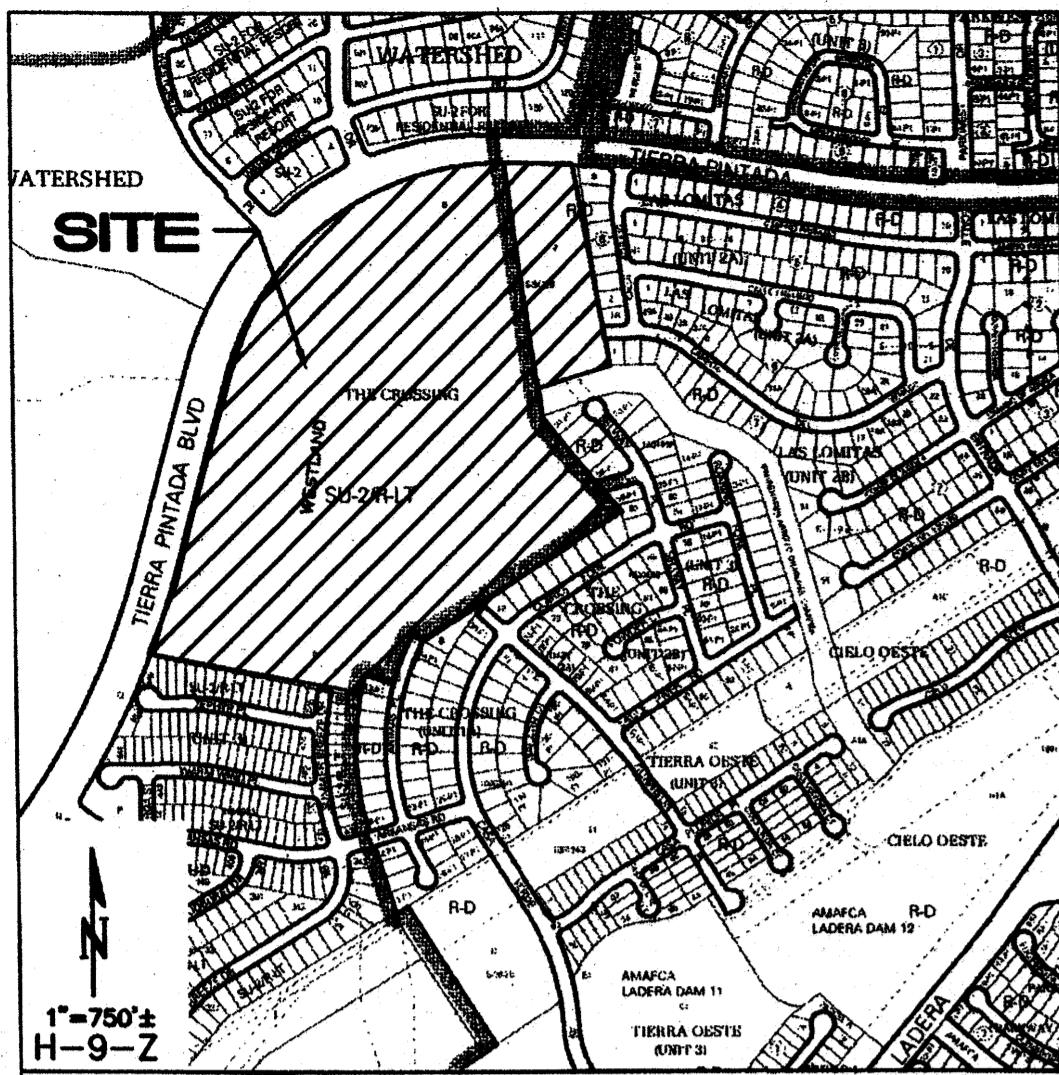
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CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	1444.55'	1100.00'	847.76'	1342.96'	N52°48'00"E	75°14'32"
C2	284.65'	4546.13'	142.37'	284.60'	S87°45'27"E	3°35'15"
C3	130.57'	260.00'	66.70'	129.21'	S86°07'57"W	28°46'29"
C4	153.08'	75.00'	122.26'	127.86'	S21°00'24"E	116°56'49"
C5	435.57'	964.50'	221.56'	431.88'	S50°24'15"W	25°52'29"
C6	351.17'	964.50'	177.55'	349.23'	S73°46'20"W	20°51'39"
C7	104.68'	964.50'	52.39'	104.63'	S87°18'43"W	6°13'06"
C8	167.39'	4099.50'	83.71'	167.38'	N88°24'33"W	2°20'22"
C9	69.58'	230.00'	35.06'	69.31'	S80°24'41"W	17°19'56"
C10	150.66'	300.00'	76.96'	149.09'	N86°07'57"E	28°46'29"
C11	60.87'	300.00'	30.54'	60.77'	N77°33'29"E	11°37'33"
C12	89.79'	300.00'	45.23'	89.46'	S88°03'16"E	17°08'56"
C13	282.53'	695.50'	143.24'	280.60'	S73°32'38"W	23°16'31"
C14	173.36'	695.50'	87.13'	172.91'	S54°45'56"W	14°16'54"
C15	38.22'	25.00'	23.97'	34.61'	N76°36'12"W	87°36'03"
C16	40.38'	25.00'	26.13'	36.13'	N13°28'03"E	92°32'28"
C17	384.82'	990.00'	194.87'	382.40'	S48°36'09"E	22°16'17"
C18	55.16'	100.50'	28.30'	54.47'	S21°44'32"W	31°26'56"
C19	17.27'	25.00'	9.00'	16.93'	N25°48'39"E	39°35'09"
C20	95.46'	40.00'	100.85'	74.36'	S22°45'43"E	136°43'53"
C21	17.27'	25.00'	9.00'	16.93'	N71°20'04"W	39°35'09"
C22	49.01'	100.50'	25.00'	48.52'	S65°30'39"E	27°08'19"
C23	163.47'	325.50'	83.50'	161.76'	N86°07'57"E	28°46'29"
C24	53.09'	204.50'	—	51.95'	S79°02'34"W	14°35'42"
C25	73.81'	254.50'	37.16'	73.55'	S80°36'12"W	16°36'58"
C26	43.60'	25.00'	29.76'	38.28'	S58°17'26"E	99°55'43"
C27	43.74'	25.00'	29.92'	38.37'	N41°47'39"E	100°14'27"
C28	107.53'	4125.00'	53.77'	107.53'	N88°49'56"W	1°29'37"
C29	405.57'	990.00'	205.67'	402.74'	S78°41'06"W	23°28'19"
C30	40.50'	25.00'	26.26'	36.22'	S66°38'21"E	92°49'25"
C31	38.11'	25.00'	23.86'	34.52'	S23°26'23"W	87°20'03"
C32	101.03'	49.50'	80.69'	84.39'	S21°00'24"E	116°56'49"
C33	361.32'	939.00'	182.92'	359.09'	S48°29'25"W	22°02'49"
C34	42.56'	25.00'	28.52'	37.60'	N71°43'16"W	97°31'50"
C35	35.23'	25.00'	21.25'	32.38'	N17°24'42"E	80°44'06"
C36	127.43'	719.00'	63.88'	127.26'	S52°42'07"W	10°09'17"
C37	73.53'	50.00'	45.23'	67.08'	S05°29'39"W	84°15'40"
C38	92.92'	50.00'	66.93'	80.11'	N31°01'11"E	106°28'47"
C39	33.20'	25.00'	19.56'	30.81'	S15°49'33"W	76°05'32"
C40	319.90'	672.00'	163.04'	316.89'	S67°30'35"W	27°16'31"
C41	39.50'	25.00'	25.23'	35.52'	N53°35'12"W	90°31'36"
C42	45.07'	25.00'	31.60'	39.21'	N43°19'21"E	103°17'49"
C43	26.58'	274.50'	13.30'	26.57'	S82°15'17"E	5°32'56"
C44	39.14'	25.00'	24.87'	35.26'	S21°53'39"W	89°42'00"
C45	238.57'	939.00'	119.93'	237.93'	S74°01'22"W	14°33'25"
C46	39.43'	25.00'	25.16'	35.47'	N53°30'45"W	90°22'22"
C47	39.07'	25.00'	24.80'	35.21'	N36°26'42"E	89°32'32"
C48	182.46'	719.00'	91.72'	181.97'	S73°56'45"W	14°32'25"
C49	39.43'	25.00'	25.16'	35.47'	S68°08'24"E	90°22'06"
C50	41.76'	25.00'	27.63'	37.07'	S39°31'57"W	95°43'03"
C51	49.65'	939.00'	24.83'	49.65'	S88°54'22"W	3°01'47"
C52	124.57'	4074.00'	62.29'	124.56'	N88°42'11"W	1°45'07"
C53	34.69'	25.00'	20.79'	31.97'	N48°04'36"W	79°30'03"
C54	34.94'	25.00'	21.00'	32.16'	N31°42'35"E	80°04'17"
C55	3.80'	274.50'	1.90'	3.80'	N72°08'30"E	0°47'33"
C56	43.26'	25.00'	29.34'	38.06'	S57°53'39"E	99°08'10"
C57	54.48'	1100.00'	27.24'	54.47'	S21°29'36"W	2°50'15"
C58	148.75'	1100.00'	74.49'	148.64'	S26°47'10"W	7°44'53"
C59	75.95'	1100.00'	37.99'	75.93'	S32°38'17"W	3°57'21"
deleted						
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deleted						
C63	62.23'	1100.00'	31.12'	62.22'	S38°26'58"W	3°14'29"
C64	60.21'	1100.00'	30.11'	60.20'	S41°38'17"W	3°08'10"
C65	178.74'	1092.00'	89.57'	178.54'	S47°53'43"W	9°22'41"
C66	59.77'	1092.00'	29.89'	59.76'	S44°46'27"W	3°08'10"
C67	70.64'	1092.00'	35.33'	70.63'	S48°11'43"W	3°42'23"
C68	48.33'	1092.00'	24.17'	48.33'	S51°18'59"W	2°32'09"
C69	40.00'	1086.00'	20.00'	40.00'	S53°38'17"W	2°06'37"
C70	22.21'	1086.00'	11.11'	22.21'	S53°10'08"W	1°10'19"
C71	17.79'	1086.00'	8.89'	17.79'	S54°13'26"W	0°56'18"
C72	29.85'	1100.00'	14.92'	29.84'	S55°26'49"W	1°33'16"
C73	38.00'	1095.00'	19.00'	38.00'	S57°13'06"W	1°59'18"
C74	23.64'	1095.00'	11.82'	23.64'	S56°50'34"W	1°14'13"
C75	14.36'	1095.00'	7.18'	14.36'	S57°50'13"W	0°45'05"
C76	26.56'	1100.00'	13.28'	26.56'	S58°54'16"W	1°23'01"
C77	15.04'	25.00'	7.76'	14.81'	S76°49'54"W	34°28'15"
C78	23.18'	25.00'	12.50'	22.36'	N59°22'05"W	53°07'48"
C79	23.18'	25.00'	12.50'	22.36'	N06°14'16"W	53°07'48"
C80	17.20'	25.00'	8.95'	16.86'	N40°01'58"E	39°24'39"
C81	39.34'	990.00'	19.67'	39.34'	S58°35'59"W	2°16'37"
C82	64.04'	990.00'	32.03'	64.03'	S55°36'29"W	3°42'23"
C83	64.04'	990.00'	32.03'	64.03'	S51°54'06"W	3°42'23"
C84	64.04'	990.00'	32.03'	64.03'	S48°11'43"W	3°42'23"
C85	54.19'	990.00'	27.10'	54.18'	S44°46'27"W	3°08'10"
C86	54.19'	990.00'	27.10'	54.18'	S41°38'17"W	3°08'10"
C87	44.98'	990.00'	22.49'	44.98'	S38°46'07"W	2°36'12"
C88	18.81'	100.50'	9.43'	18.78'	S32°06'20"W	10°43'21"
C89	36.36'	100.50'	18.38'	36.16'	S16°22'52"W	20°43'36"
C90	14.25'	25.00'	7.33'	14.06'	N22°20'57"E	32°39'45"
C91	3.02'	25.00'	1.51'	3.02'	N42°08'32"E	6°55'24"
C92	53.93'	40.00'	31.96'	49.94'	S06°58'35"W	77°15'17"
C93	37.17'	40.00'	20.05'	35.85'	S58°16'24"E	53°14'41"
C94	4.35'	40.00'	2.18'	4.35'	S88°00'42"E	6°13'55"
C95	45.86'	100.50'	23.34'	45.46'	S64°36'49"E	26°08'38"
C96	3.15'	100.50'	1.57'	3.15'	S78°34'58"E	1°47'41"
C97	42.48'	1100.00'	21.24'	42.48'	S35°43'21"W	2°12'45"
C98	220.08'	1100.00'	110.41'	219.72'	S48°56'16"W	11°27'49"
C99	39.05'	325.50'	19.55'	39.03'	S82°55'02"E	6°52'26"
C100	58.90'	325.50'	29.53'	58.82'	N88°27'42"E	10°22'06"

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C101	65.28'	325.50'	32.75'	65.17'	N77°31'56"E	11°29'27"
C102	0.24'	325.50'	0.12'	0.24'	N71°45'58"E	0°02'30"
C103	5.24'	204.50'	2.62'	5.24'	S72°28'44"W	1°28'02"
C104	59.94'	204.50'	30.18'	59.72'	S81°36'32"W	16°47'34"
C105	18.24'	260.00'	9.12'	18.23'	N73°45'17"E	4°01'07"
C106	98.78'	260.00'	49.99'	98.19'	N86°38'54"E	21°46'08"
C107	13.55'	260.00'	6.78'	13.55'	S80°58'25"W	2°59'13"
C108	102.14'	4541.13'	51.07'	102.13'	N86°35'40"W	1°17'19"
C109	49.65'	939.00'	24.83'	49.65'	S88°54'22"W	3°01'47"
C110	28.60'	4074.00'	14.30'	28.60'	N89°22'40"W	0°24'08"
C111	95.96'	4074.00'	47.98'	95.96'	N88°30'07"W	1°20'59"
C112	224.80'	672.00'	113.46'	223.75'	S63°27'20"W	19°10'01"
C113	95.10'	672.00'	47.63'	95.02'	S77°05'35"W	8°06'30"
C114	50.23'	939.00'	25.12'	50.22'	S68°16'36"W	3°03'54"
C115	72.33'	939.00'	36.19'	72.32'	S72°00'58"W	4°24'49"
C116	72.33'	939.00'	36.19'	72.32'	S76°25'47"W	4°24'49"
C117	43.67'	939.00'	21.84'	43.67'	S79°58'08"W	2°39'53"
C118	35.26'	719.00'	17.63'	35.25'	S79°48'40"W	2°48'35"
C119	53.93'	719.00'	26.98'	53.92'	S76°15'27"W	4°17'51"
C120	53.96'	719.00'	26.99'	53.94'	S71°57'33"W	4°17'59"
C121	39.32'	719.00'	19.67'	39.32'	S68°14'33"W	3°08'00"
C122	34.46'	939.00'	17.23'	34.46'	S38°12'35"W	2°06'09"
C123	61.73'	939.00'	30.88'	61.72'	S41°27'10"W	3°46'00"
C124	72.48'	939.00'	36.26'	72.46'	S45°32'51"W	4°25'21"
C125	72.46'	939.00'	36.25'	72.44'	S49°58'10"W	4°25'17"
C126	71.82'	939.00'	35.93'	71.81'	S54°22'17"W	4°22'57"
C127	48.36'	939.00'	24.19'	48.36'	S58°02'17"W	2°57'04"
C128	41.85'	719.00'	20.93'	41.84'	S56°06'43"W	3°20'04"
C129	63.76'	719.00'	31.90'	63.73'	S51°54'16"W	5°04'50"
C130	21.83'	719.00'	10.92'	21.83'	S48°29'40"W	1°44'22"
C131	25.95'	50.00'	13.28'	25.66'	S32°45'15"W	29°44'28"
C132	47.58'	50.00'	25.76'	45.80'	S09°22'35"E	54°31'12"
C133	54.85'	4125.00'	27.43'	54.85'	N88°27'59"W	0°45'43"
C134	52.68'	4125.00'	26.34'	52.68'	N89°12'47"W	0°43'54"
C135	2.10'	990.00'	1.05'	2.10'	N89°38'23"W	0°07'17"
C136	54.19'	990.00'	27.10'	54.18'	S88°43'54"W	3°08'10"
C137	64.04'	990.00'	32.03'	64.03'	S85°18'37"W	3°42'23"
C138	64.04'	990.00'	32.03'	64.03'	S81°36'15"W	3°42'23"
C139	64.04'	990.00'	32.03'	64.03'	S77°53'52"W	3°42'23"
C140	54.19'	990.00'	27.10'	54.18'	S74°28'36"W	3°08'10"
C141	54.19'	990.00'	27.10'	54.18'	S71°20'26"W	3°08'10"
C142	48.79'	990.00'	24.40'	48.78'	S68°21'39"W	2°49'25"
C143	51.18'	1100.00'	25.60'	51.18'	S68°26'23"W	2°39'57"
C144	60.21'	1100.00'				





CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	305.79'	3000.00'	153.03'	305.66'	N18°05'56"E	5°50'25"
C2	1444.55'	1100.00'	847.78'	1342.96'	N52°48'00"E	75°14'32"
C3	284.65'	454.13'	142.37'	284.60'	S87°45'27"E	3°35'15"
C4	190.45'	762.00'	95.72'	189.95'	S50°44'51"W	14°19'12"
C5	208.45'	762.00'	104.88'	207.80'	S35°45'41"W	15°40'25"
C6	197.52'	920.00'	99.14'	197.14'	S21°46'26"W	12°18'05"
C7	84.44'	1032.00'	42.24'	84.41'	S13°16'45"W	4°41'16"

**FLOOD ZONE DETERMINATION**

The subject property, as shown hereon, appears to lie within Zone "X" (areas determined to be outside the 0.2% annual chance floodplain), Zone "A0, (DEPTH 1)" (Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined), and Zone "AE" (Base Flood Elevations determined) as shown on National Flood Insurance Program Flood Insurance Rate Map Number 35001C0326G, Map Revised September 26, 2008.

**EASEMENT AND TRACT NOTES**

- A. 10' PUE TO BE GRANTED BY FINAL PLAT, TYP.
- B. 20' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO ABCWUA BY FINAL PLAT.
- C. 25' PUBLIC DRAINAGE AND WATERLINE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE AND ABCWUA BY FINAL PLAT.
- D. 40' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO ABCWUA BY FINAL PLAT.
- E. 50' PUBLIC DRAINAGE AND WATERLINE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE AND ABCWUA BY FINAL PLAT.
- F. 25' PUBLIC WATERLINE AND SANITARY SEWER EASEMENT TO BE GRANTED TO ABCWUA BY FINAL PLAT.
- G. EXISTING 50' PUBLIC WATERLINE EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. SHADED PORTION OF EASEMENT TO BE VACATED BY VACATION ACTION AND FINAL PLAT.
- H. EXISTING TEMPORARY DRAINAGE EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT TO BE VACATED BY VACATION ACTION AND FINAL PLAT.
- I. EXISTING TEMPORARY TURNAROUND EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. EASEMENT TO BE VACATED BY VACATION ACTION AND FINAL PLAT.
- J. EXISTING PUBLIC UTILITY EASEMENT FILED 12/21/06, BK. 2006C, PG. 394. TO BE VACATED BY VACATION ACTION AND FINAL PLAT.
- K. TRACT PR SHALL BE CONVEYED TO THE HOMEOWNERS' ASSOCIATION (ONCE ESTABLISHED) FOR PRIVATE ACCESS AND SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION; TRACT PR SHALL BE COVERED BY A PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO ABCWUA; A PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE; AND AN ACCESS EASEMENT FOR EMERGENCY AND SERVICE VEHICLES.
- L. TRACTS A-K, UNIT 5 AND TRACTS G-M, UNIT 4 SHALL BE CONVEYED AS PRIVATE OPEN SPACE TO THE HOMEOWNERS' ASSOCIATION (ONCE ESTABLISHED) AS PRIVATE OPEN SPACE AND SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION.
- M. TRACT D SHALL BE DEDICATED TO AMAFCA BY FINAL PLAT.
- N. 10' EASEMENT TO BE GRANTED TO ABCWUA FOR PRV VAULT BY FINAL PLAT.
- O. 10' PUE TO BE GRANTED BY FINAL PLAT. TO CENTURYLINK.
- P. 15' PUE TO BE GRANTED BY FINAL PLAT. TO PNM.

Albuquerque Control Survey Monument "3-H9"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83) as published  
North = 1,496,938.322 feet  
East = 1,496,470.170 feet  
Elevation = 5,209.519 (NAVD 1988)  
Delta Alpha = -00°16'36.72"  
Ground to Grid Factor = 0.999678486

**PRELIMINARY PLAT FOR**  
**STORMCLOUD SUBDIVISION UNITS 4 AND 5**  
BEING A REPLAT OF  
TRACTS B AND J THE CROSSINGS AND  
TRACT R STORMCLOUD SUBDIVISION UNIT 3  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JANUARY 2012 AMENDED FEBRUARY, 2013

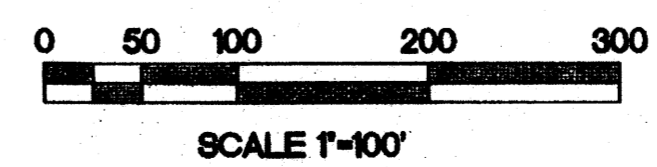
**LEGAL DESCRIPTION**  
SEE SHEET 2 OF 2.

**ACS BENCHMARK**  
ACS MONUMENT 4-H9  
ELEVATION: 5209.315 (NAVD 1988)

- SITE DATA**
- NUMBER OF EXISTING TRACTS IS 3.
  - TOTAL ACREAGE:  
EXISTING TRACT B, J, AND R = 55.2416 AC.  
NET ACREAGE:  
UNIT 4 = 31.0361 AC.  
UNIT 5 = 21.4038 AC.  
MIREHAVEN ARROYO = 2.8017
  - NUMBER OF PROPOSED RESIDENTIAL LOTS:  
UNIT 4 = 154 LOTS  
UNIT 5 = 87 LOTS  
TOTAL NUMBER OF LOTS = 241 LOTS  
PROPOSED DENSITY: UNIT 4 = 4.96 DU/ACRE  
UNIT 5 = 4.06 DU/ACRE
  - EXISTING ZONING: SU-2/R-LT AND R-D  
PROPOSED ZONING: SU-2/R-LT AND R-D  
PROPOSED RESIDENTIAL DEVELOPMENT: SINGLE FAMILY DETACHED RESIDENTIAL. LOT SETBACKS SHALL CONFORM TO R-LT AND R-D ZONE REGULATIONS.
  - UNIT 4 STREETS WILL BE PUBLIC BY PLAT DEDICATION AND BE MAINTAINED BY THE CITY OF ALBUQUERQUE.  
UNIT 5 SHALL BE A GATED COMMUNITY AND THE STREETS WILL BE PRIVATE AND DEEDED TO AND MAINTAINED BY THE FUTURE STORMCLOUD UNIT 5 HOMEOWNERS' ASSOCIATION.
  - NO LOT SHALL HAVE DIRECT ACCESS TO TIERRA PINTADA NW.
  - ALL STREETS HAVE RIGHT-OF-WAY/EASEMENT AND PAVING WIDTHS PER DPM STANDARDS, EXCEPT WHERE DESIGN VARIANCES ARE APPROVED.
  - CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH ABCWUA.
  - OPEN SPACE PROVIDED FOR LOTS WITHIN THE R-D ZONING IS SATISFIED BY USABLE OPEN SPACE ON THE LOTS AND DETACHED OPEN SPACE (TRACT E PARK).

- NOTES**
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS \* WILL BE MARKED BY A NO. 5 IRON REBAR WITH PLASTIC CAP STAMPED "PLS #9750".
  - ALL STREET CENTERLINE POINTS SHOWN THUS Δ WILL BE SET USING THE STANDARD 4" ALUMINUM MONUMENT STAMPED "CENTERLINE MONUMENT-DO NOT DISTURB, PS #9750".
  - BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
  - BASIS OF BEARINGS WILL BE NMSP GRID BEARINGS.
  - DISTANCES WILL BE GROUND DISTANCES.
  - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE. POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

Albuquerque Control Survey Monument "BH-41"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83) as published  
North = 1,496,608.828 feet  
East = 1,491,701.376 feet  
Delta Alpha = -00°17'09.70"  
Ground to Grid Factor = 0.999670930



- LEGEND**
- SET 5/8" REBAR WITH CAP "HUGG L.S. 9750" (TYP.)
  - PROPERTY LINE
  - - - ADJOINING PROPERTY LINE
  - Δ CENTERLINE MONUMENT

**APPROVED**  
*[Signature]* 1-24-12  
CITY SURVEYOR DATE

**OWNER**  
WESTERN ALBUQUERQUE LAND HOLDINGS, LLC  
*[Signature]* 1/17/2012  
DATE  
BY: MARK WUEST, VICE PRESIDENT  
BARCLAYS CAPITAL REAL ESTATE, INC.  
AS SERVICING MEMBER

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.isaacson.com  
1822 C-701-PRELIM PLAT.dwg Jan 11, 2012

AVCAD FILES\500-18991-022(dwg)\022 C-701-PRELIM PLAT.dwg, 1/11/2012 11:42:56 AM, btor



**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Atrisco Grant in Projected Sections 9 and 16, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising Tracts B and J, The Crossing, as the same is shown and designated on the plat entitled "PLAT OF THE CROSSING, ALBUQUERQUE, NEW MEXICO, APRIL, 1996", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 8, 1996 in Volume 96C, Folio 302, and Tract R, Stormcloud Subdivision Unit 3, as the same is shown and designated on the plat entitled "PLAT OF STORMCLOUD SUBDIVISION UNIT 3, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AUGUST, 2006", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 21, 2006, in Plat Book 2006C, Page 394, more particularly described by survey performed by Russ P. Rugg, New Mexico Professional Surveyor Number 9750, using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows:

BEGINNING at the northeasterly corner of the parcel herein described, said point also being the northeasterly corner of said Tract J, The Crossing, and also being a point on the southerly right of way line of Tierra Pintada Boulevard N.W., and also being the northwesterly corner of Lot 9, Block 8, Las Lomas Unit 2A, as the same is shown and designated on the plat thereof, filed May 8, 1993, in Volume 93C, Folio 128, whence Albuquerque Control Survey Monument "3-H9" bears N 61°45'45" E, 2,470.03 feet distant; Thence, along the westerly boundaries of said Block 8, Las Lomas, Unit 2A; Lot 1A, Block 8, Las Lomas, Unit 2A, as the same is shown and designated on the plat thereof, filed December 21, 1994, in Volume 94C, Folio 425; Camino Del Venada N.W.; and Lot 1, Block 7, Las Lomas Unit 2B, as the same is shown and designated on the plat thereof, filed May 5, 2004, in Plat Book 2004C, Page 147,

S 08°19'34" E, 761.08 feet to corner, said point also being the southwesterly corner of said Lot 1, Block 7, Las Lomas, Unit 2B, and also being the southeasterly corner of said Tract J, The Crossing, and also being an angle point on the northerly boundary of Mirehaven Arroyo Drainage Channel, The Crossing, Unit 3, as the same is shown on the plat thereof, filed July 26, 2004, in Plat Book 2004C, Page 216; Thence, along the northerly, then westerly boundaries of said Mirehaven Arroyo; Lots 31 P-1 thru 36 P-1; Henry Fork Road N.W. of said plat filed in Plat Book 2004C, Page 216; and lot 50, The Crossing, Unit 2-B, as the same is shown and designated on the plat thereof, filed November 18, 2003, in Plat Book 2003C, Page 347, the following three courses:

S 71°44'43" W, 284.16 feet to a corner, said corner also being the southwesterly corner of said Tract J, The Crossing, and also being a point on the easterly boundary of said Tract B, The Crossing; Thence,

S 08°19'45" E, 114.79 feet to a corner; Thence,

S 40°14'59" E, 458.54 feet to the eastern-most corner of the parcel herein described, said point also being the eastern-most corner of said Tract B, The Crossing, and also being a corner on the westerly boundary of said Lot 50, The Crossing, Unit 2-B; Thence, along the northwesterly boundaries of Lots 40 thru 48 and 50, of said plat filed in Plat Book 2003C, Page 347; Gunnison Place N.W.; and Lots 37-P1 thru 39-P1, The Crossing, Unit 1-A, as the same is shown and designated on the plat thereof, filed December 3, 2002, in Plat Book 2002C, Page 380, the following 3 courses,

S 57°54'27" W, 470.16 feet to a point of curvature; Thence,

Southwesterly, 190.45 feet on the arc of a curve to the left (said curve having a radius of 762.00 feet, a central angle of 14°19'12", and a chord that bears S 50°44'51" W, 189.95 feet) to an angle point; Thence,

Southwesterly, 208.45 feet on the arc of a curve to the left (said curve having a radius of 762.00 feet, a central angle of 15°40'25", and a chord that bears S 35°45'41" W, 207.80 feet) to a corner, said corner also being the eastern-most corner on Lot 14-P1, The Crossing, Unit 1-A, of said plat filed in Plat Book 2002C, Page 380; Thence, along the northeasterly boundaries of said Lot 14-P1 and Animas Place N.W.,

N 62°04'32" W, 158.00 feet to a corner, said corner also being the northern-most corner of the northeasterly terminus of said Animas Place N.W.; Thence, along the northwesterly right of way line of said Animas Place N.W.,

Southwesterly, 197.52 feet on the arc of a curve to the left (said curve having a radius of 920.00 feet, a central angle of 12°18'05", and a chord that bears S 21°46'26" W, 197.14 feet) to a corner, said corner also being the northeasterly corner of Lot 13-P1, The Crossing, Unit 1-A, of said plat filed in Plat Book 2002C, Page 380; Thence, along the northerly, then westerly boundaries of said Lot 13-P1, the following two courses:

N 74°22'37" W, 112.00 feet to a corner; Thence,

Southerly, 84.44 feet on the arc of a curve to the left (said curve having a radius of 1032.00 feet, a central angle of 04°41'16", and a chord that bears S 13°16'45" W, 84.41 feet) to the southern-most corner of the parcel herein described, said point also being the southern-most corner of said Tract B, The Crossing, and also being the northeasterly corner of Lot 507, Stormcloud Subdivision, Unit 3, as the same is shown and designated on the plat thereof, filed December 31, 2006, in Plat Book 2006C, Page 394; Thence, along the northerly boundaries of said lot 507, Summer Breeze Drive N.W., and Lots 489 thru 505, Stormcloud Subdivision, Unit 3, of said plat filed in Plat Book 2006C, Page 394,

N 79°03'05" W, 816.22 feet to the southwesterly corner of the parcel herein described, said point also being the southwesterly corner of said Tract R, Stormcloud Subdivision, Unit 3, and also being the northwesterly corner of said Lot 489, Stormcloud Subdivision, Unit 3, and also being a point on the easterly right of way line of said Tierra Pintada Boulevard N.W., whence Albuquerque Control Survey Monument "BH-41" bears N 19°15'12" W, 2,848.64 feet distant; Thence, along the easterly, then southeasterly, then southerly right of way line of said Tierra Pintada Boulevard N.W. the following four courses:

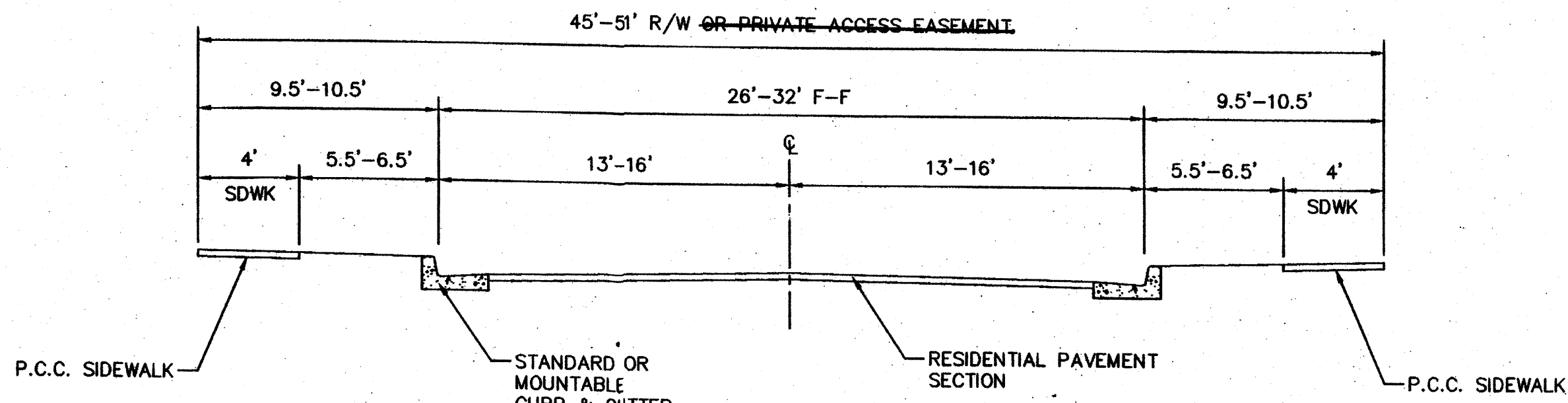
Northerly, 305.79 feet on the arc of a curve to the left (said curve having a radius of 3000.00 feet, a central angle of 05°50'25", and a chord that bears N 18°05'56" E, 305.66 feet) to a point of tangency; Thence,

N 15°10'44" E, 786.36 feet to a point of curvature; Thence,

Northeasterly, 1444.55 feet on the arc of a curve to the right (said curve having a radius of 1100.00 feet, a central angle of 75°14'32", and a chord that bears N 52°48'00" E, 1342.96 feet to a point of compound curvature, said point also being the northeasterly corner of said Tract B, The Crossing, and also being the northwesterly corner of said Tract J, The Crossing; Thence,

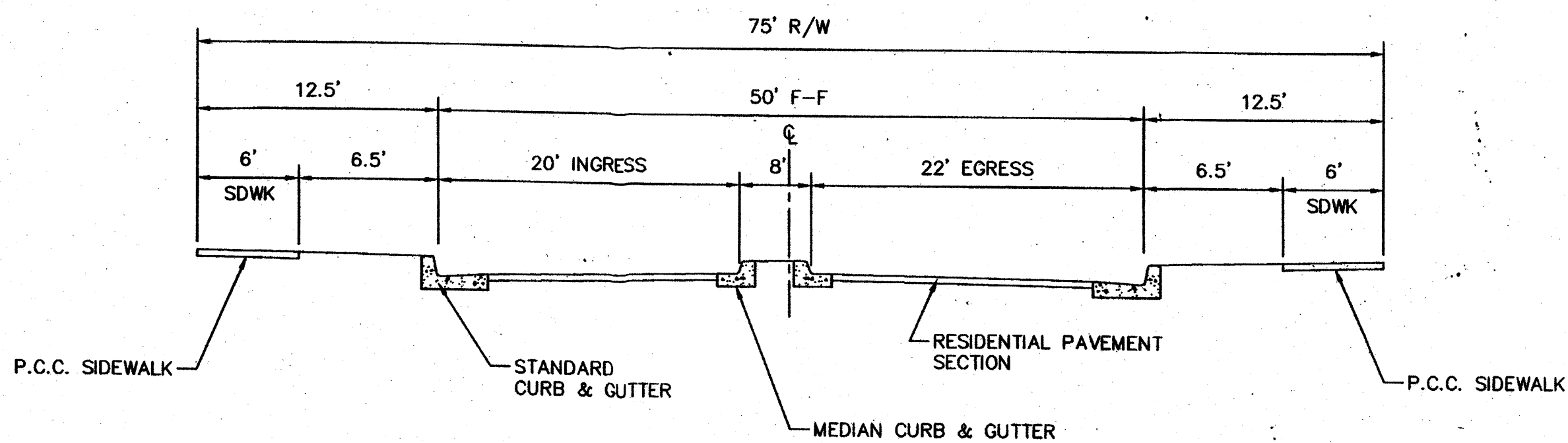
Easterly, 284.65 feet on the arc of a curve to the right (said curve having a radius of 4546.13 feet, a central angle of 03°35'15", and a chord that bears S 87°45'27" E, 284.60 feet) to the point of beginning.

Said parcel contains 55.2416 acres, more or less



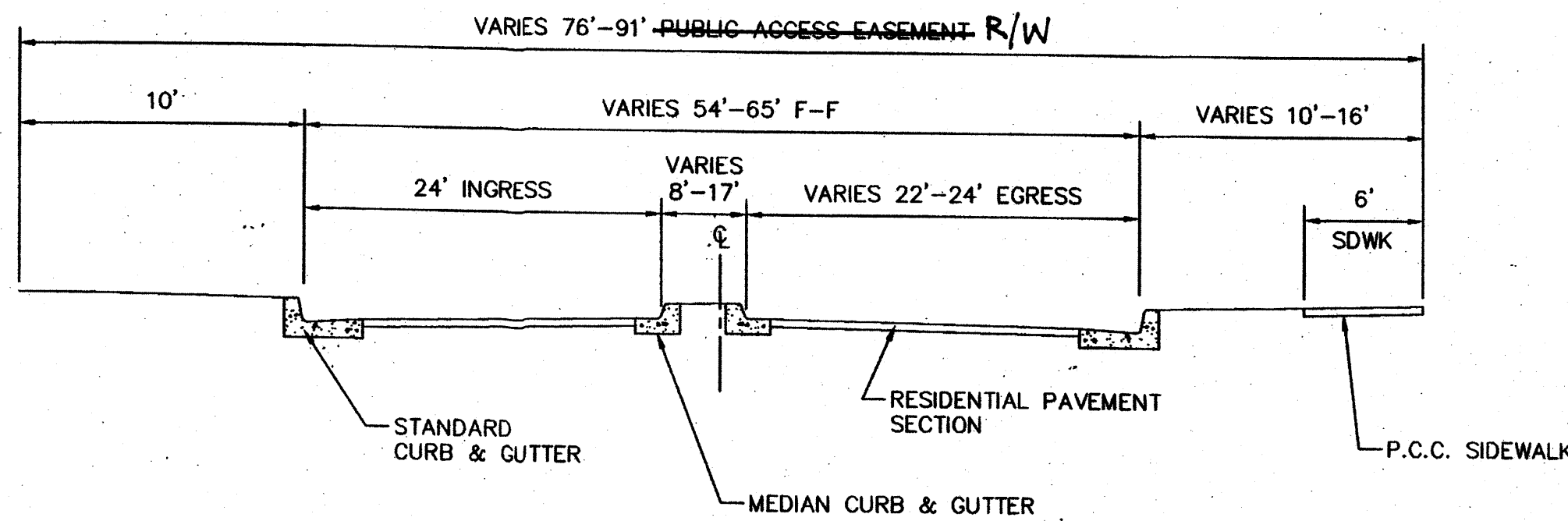
**TYPICAL RESIDENTIAL STREET SECTION**

NTS



**UNIT 4 ENTRANCE STREET SECTION**

NTS

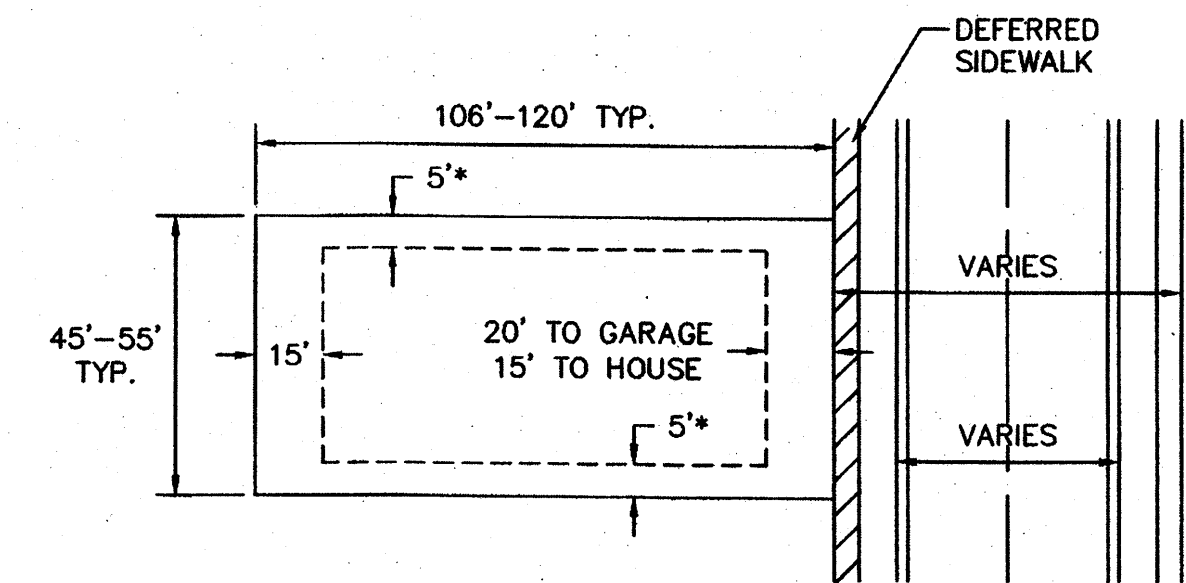


**UNIT 5 ENTRANCE STREET SECTION**

NTS

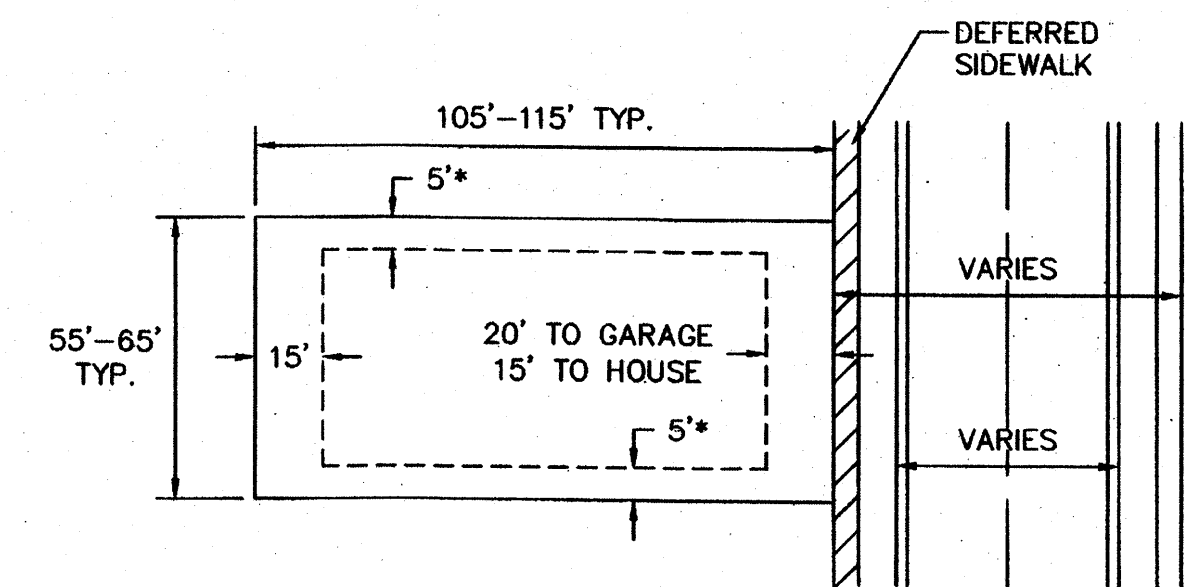
**PRELIMINARY PLAT FOR**  
**STORMCLOUD SUBDIVISION UNITS 4 AND 5**  
 BEING A REPLAT OF  
 TRACTS B AND J THE CROSSINGS AND  
 TRACT R STORMCLOUD SUBDIVISION UNIT 3  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

JANUARY 2012  
 AMENDED FEBRUARY 2013



**TYPICAL UNIT 4 LOT DETAIL**

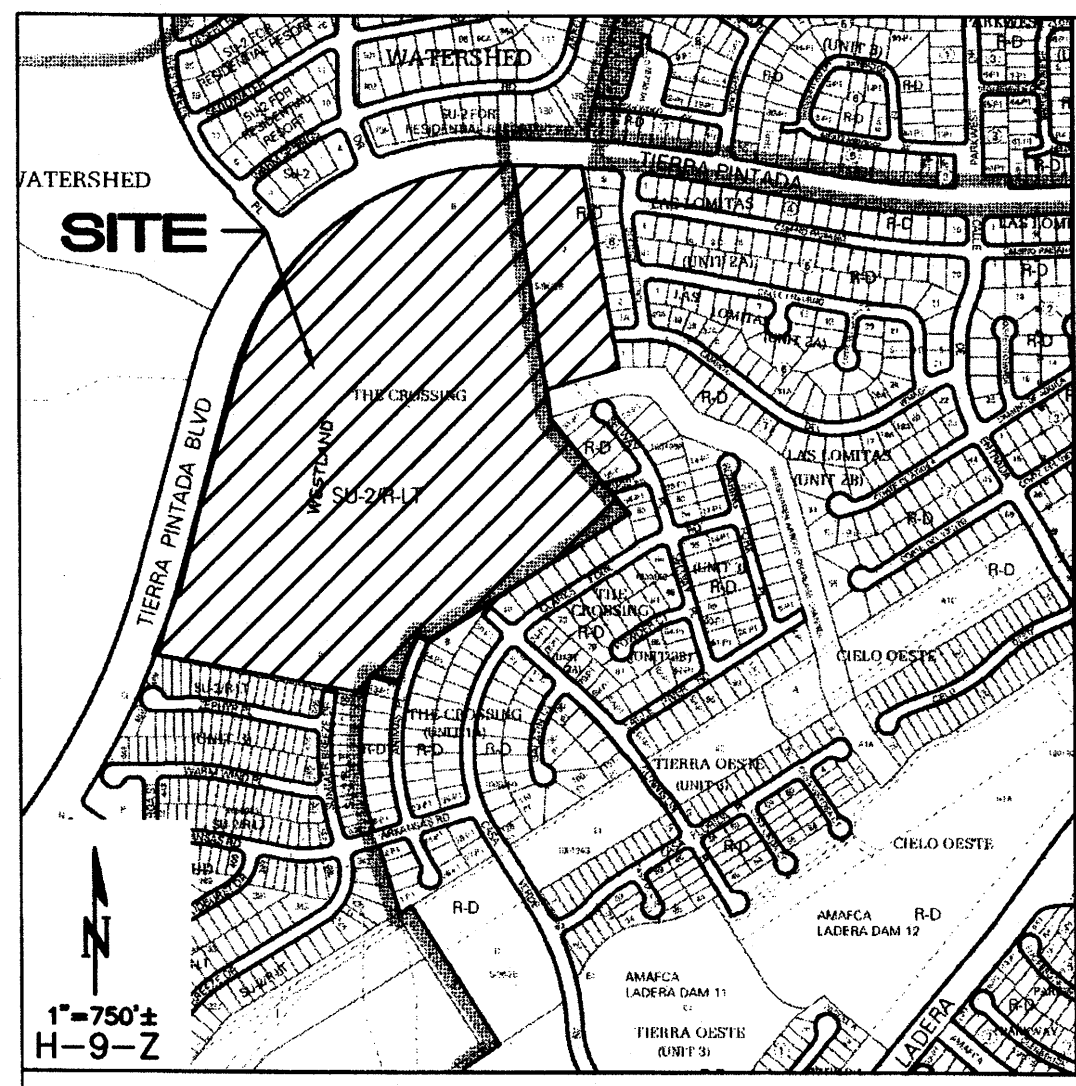
NTS  
 \* 10' SIDEYARD SETBACK ADJACENT TO STREET.  
 MIN. LOT AREA=4770 SF



**TYPICAL UNIT 5 LOT DETAIL**

NTS  
 \* 10' SIDEYARD SETBACK ADJACENT TO STREET.  
 MIN. LOT AREA=5775 SF





CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	305.79'	3000.00'	153.03'	305.66'	N18°05'56"E	5°50'25"
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**FLOOD ZONE DETERMINATION**

The subject property, as shown hereon, appears to lie within Zone "X" (areas determined to be outside the 0.2% annual chance floodplain), Zone "AO, (DEPTH 1)" (Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined), and Zone "AE" (Base Flood Elevations determined) as shown on National Flood Insurance Program Flood Insurance Rate Map Number 35001C03266, Map Revised September 26, 2008.

**EASEMENT AND TRACT NOTES**

- A. 10' PUE TO BE GRANTED BY FINAL PLAT, TYP.
- B. 20' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO ABCWUA BY FINAL PLAT.
- C. 25' PUBLIC DRAINAGE AND WATERLINE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE AND ABCWUA BY FINAL PLAT.
- D. 40' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO ABCWUA BY FINAL PLAT.
- E. 50' PUBLIC DRAINAGE AND WATERLINE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE AND ABCWUA BY FINAL PLAT.
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- G. EXISTING 50' PUBLIC WATERLINE EASEMENT FILED 7/9/1996 BK. 96C, PG. 302. SHADED PORTION OF EASEMENT TO BE VACATED BY VACATION ACTION AND FINAL PLAT.
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- L. TRACTS A-F, UNIT 5 AND TRACTS H-M, UNIT 4 SHALL BE CONVEYED AS PRIVATE OPEN SPACE TO THE HOMEOWNERS' ASSOCIATION (ONCE ESTABLISHED) AS PRIVATE OPEN SPACE AND SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION.
- M. TRACT G SHALL BE DEDICATED TO AMAFCA BY FINAL PLAT.
- N. 10'x30' EASEMENT TO BE GRANTED TO ABCWUA FOR PRV VAULT BY FINAL PLAT.
- O. 10'x20' PUE TO BE GRANTED BY FINAL PLAT.
- P. 20'x20' PUE TO BE GRANTED BY FINAL PLAT.

Albuquerque Control Survey Monument "BH-41"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83) as published  
North= 1,496,608.828 feet  
East= 1,491,701.376 feet  
Delta Alpha= -00°17'09.70"  
Ground to Grid Factor= 0.999670930

LOT LINE SHALL BE ELIMINATED BY FINAL PLAT.

Albuquerque Control Survey Monument "3-H9"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83) as published  
North= 1,496,938.322 feet  
East= 1,496,470.170 feet  
Elevation= 5,209.519 (NAVD 1988)  
Delta Alpha= -00°16'36.72"  
Ground to Grid Factor= 0.999678486



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TRACTS B AND J THE CROSSINGS AND  
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CITY OF ALBUQUERQUE  
BERNALLILLO COUNTY, NEW MEXICO  
JANUARY 2012

**LEGAL DESCRIPTION**  
SEE SHEET 2 OF 2.

**ACS BENCHMARK**  
ACS MONUMENT 4-H9  
ELEVATION: 5209.315 (NAVD 1988)

- SITE DATA**
- NUMBER OF EXISTING TRACTS IS 3.
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EXISTING TRACT B, J, AND R = 55.2416 AC.  
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UNIT 4 = 31.0361 AC.  
UNIT 5 = 21.4038 AC.  
MIRREHAVEN ARROYO = 2.8017
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UNIT 4 = 154 LOTS  
UNIT 5 = 87 LOTS  
TOTAL NUMBER OF LOTS = 241 LOTS  
PROPOSED DENSITY: UNIT 4 = 4.96 DU/ACRE  
UNIT 5 = 4.06 DU/ACRE
  - EXISTING ZONING: SU-2/R-LT AND R-D  
PROPOSED ZONING: SU-2/R-LT AND R-D  
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RESIDENTIAL LOT SETBACKS SHALL CONFORM TO R-LT AND R-D  
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  - NO LOT SHALL HAVE DIRECT ACCESS TO TIERRA PINTADA NW.
  - ALL STREETS HAVE RIGHT-OF-WAY/EASEMENT AND PAVING WIDTHS PER DPM STANDARDS, EXCEPT WHERE DESIGN VARIANCES ARE APPROVED.
  - CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH ABCWUA.
  - OPEN SPACE PROVIDED FOR LOTS WITHIN THE R-D ZONING IS SATISFIED BY USABLE OPEN SPACE ON THE LOTS AND DETACHED OPEN SPACE (TRACT E PARK).

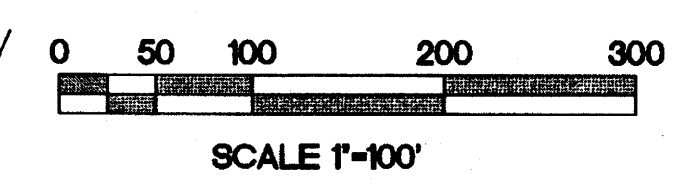
- NOTES**
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ● WILL BE MARKED BY A NO. 5 IRON REBAR WITH PLASTIC CAP STAMPED "PLS #9750".
  - ALL STREET CENTERLINE POINTS SHOWN THUS ▲ WILL BE SET USING THE STANDARD 4" ALUMINUM MONUMENT STAMPED "CENTERLINE MONUMENT-DO NOT DISTURB, PS #9750".
  - BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
  - BASIS OF BEARINGS WILL BE NAD 83 GRID BEARINGS.
  - DISTANCES WILL BE GROUND DISTANCES.
  - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

**APPROVED**

*[Signature]* 1-24-12  
CITY SURVEYOR DATE

**OWNER**  
WESTERN ALBUQUERQUE LAND HOLDINGS, LLC  
*[Signature]* 1/17/2012  
BY: MARK WEST, VICE PRESIDENT DATE  
BARCLAYS CAPITAL REAL ESTATE, INC.  
AS SERVICING MEMBER

- LEGEND**
- SET 5/8" REBAR WITH CAP "HUGG L.S. 9750" (TYP.)
  - PROPERTY LINE
  - - - ADJOINING PROPERTY LINE
  - ▲ CENTERLINE MONUMENT



**SHEET 1 OF 2**

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iaacil.com  
1822 C-701-PRELIM PLAT.dwg Jan 11, 2012

ACAD FILE(S) \000-1899\1822\dwg\1822 C-701-PRELIM PLAT.dwg, 1/11/2012 11:42:55 AM, .ipb7



**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Atrisco Grant in Projected Sections 9 and 16, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising Tracts B and J, The Crossing, as the same is shown and designated on the plat entitled "PLAT OF THE CROSSING, ALBUQUERQUE, NEW MEXICO, APRIL, 1996", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 8, 1996 in Volume 96C, Folio 302, and Tract R, Stormcloud Subdivision Unit 3, as the same is shown and designated on the plat entitled "PLAT OF STORMCLOUD SUBDIVISION UNIT 3, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AUGUST, 2006", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 21, 2006, in Plat Book 2006C, Page 394, more particularly described by survey performed by Russ P. Rugg, New Mexico Professional Surveyor Number 9750, using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows:

BEGINNING at the northeasterly corner of the parcel herein described, said point also being the northeasterly corner of said Tract J, The Crossing, and also being a point on the southerly right of way line of Tierra Pintada Boulevard N.W., and also being the northwesterly corner of Lot 9, Block 8, Las Lomas Unit 2A, as the same is shown and designated on the plat thereof, filed May 8, 1993, in Volume 93C, Folio 128, whence Albuquerque Control Survey Monument "3-H9" bears N 61°45'45" E, 2,470.03 feet distant; Thence, along the westerly boundaries of said Block 8, Las Lomas, Unit 2A; Lot 1A, Block 8, Las Lomas, Unit 2A, as the same is shown and designated on the plat thereof, filed December 21, 1994, in Volume 94C, Folio 425; Camino Del Venada N.W.; and Lot 1, Block 7, Las Lomas Unit 2B, as the same is shown and designated on the plat thereof, filed May 5, 2004, in Plat Book 2004C, Page 147,

S 08°19'34" E, 761.08 feet to a corner, said point also being the southwesterly corner of said Lot 1, Block 7, Las Lomas, Unit 2B, and also being the southeasterly corner of said Tract J, The Crossing, and also being an angle point on the northerly boundary of Mirehaven Arroyo Drainage Channel, The Crossing, Unit 3, as the same is shown on the plat thereof, filed July 26, 2004, in Plat Book 2004C, Page 216; Thence, along the northerly, then westerly boundaries of said Mirehaven Arroyo; Lots 31 P-1 thru 36 P-1; Henry Fork Road N.W. of said plat filed in Plat Book 2004C, Page 216; and lot 50, The Crossing, Unit 2-B, as the same is shown and designated on the plat thereof, filed November 18, 2003, in Plat Book 2003C, Page 347, the following three courses:

S 71°44'43" W, 284.16 feet to a corner, said corner also being the southwesterly corner of said Tract J, The Crossing, and also being a point on the easterly boundary of said Tract B, The Crossing; Thence,

S 08°19'45" E, 114.79 feet to a corner; Thence,

S 40°14'59" E, 458.54 feet to the eastern-most corner of the parcel herein described, said point also being the eastern-most corner of said Tract B, The Crossing, and also being a corner on the westerly boundary of said Lot 50, The Crossing, Unit 2-B; Thence, along the northwesterly boundaries of Lots 40 thru 48 and 50, of said plat filed in Plat Book 2003C, Page 347; Gunnison Place N.W.; and Lots 37-P1 thru 39-P1, The Crossing, Unit 1-A, as the same is shown and designated on the plat thereof, filed December 3, 2002, in Plat Book 2002C, Page 380, the following 3 courses,

S 57°54'27" W, 470.16 feet to a point of curvature; Thence,

Southwesterly, 190.45 feet on the arc of a curve to the left (said curve having a radius of 762.00 feet, a central angle of 14°19'12", and a chord that bears S 50°44'51" W, 189.95 feet) to an angle point; Thence,

Southwesterly, 208.45 feet on the arc of a curve to the left (said curve having a radius of 762.00 feet, a central angle of 15°40'25", and a chord that bears S 35°45'41" W, 207.80 feet) to a corner, said corner also being the eastern-most corner on Lot 14-P1, The Crossing, Unit 1-A, of said plat filed in Plat Book 2002C, Page 380; Thence, along the northeasterly boundaries of said Lot 14-P1 and Animas Place N.W.,

N 62°04'32" W, 158.00 feet to a corner, said corner also being the northern-most corner of the northeasterly terminus of said Animas Place N.W.; Thence, along the northwesterly right of way line of said Animas Place N.W.,

Southwesterly, 197.52 feet on the arc of a curve to the left (said curve having a radius of 920.00 feet, a central angle of 12°18'05", and a chord that bears S 21°46'26" W, 197.14 feet) to a corner, said corner also being the northeasterly corner of Lot 13-P1, The Crossing, Unit 1-A, of said plat filed in Plat Book 2002C, Page 380; Thence, along the northerly, then westerly boundaries of said Lot 13-P1, the following two courses:

N 74°22'37" W, 112.00 feet to a corner; Thence,

Southerly, 84.44 feet on the arc of a curve to the left (said curve having a radius of 1032.00 feet, a central angle of 04°41'16", and a chord that bears S 13°16'45" W, 84.41 feet) to the southern-most corner of the parcel herein described, said point also being the southern-most corner of said Tract B, The Crossing, and also being the northeasterly corner of Lot 507, Stormcloud Subdivision, Unit 3, as the same is shown and designated on the plat thereof, filed December 31, 2006, in Plat Book 2006C, Page 394; Thence, along the northerly boundaries of said lot 507, Summer Breeze Drive N.W., and Lots 489 thru 505, Stormcloud Subdivision, Unit 3, of said plat filed in Plat Book 2006C, Page 394,

N 79°03'05" W, 816.22 feet to the southwesterly corner of the parcel herein described, said point also being the southwesterly corner of said Tract R, Stormcloud Subdivision, Unit 3, and also being the northwesterly corner of said Lot 489, Stormcloud Subdivision, Unit 3, and also being a point on the easterly right of way line of said Tierra Pintada Boulevard N.W., whence Albuquerque Control Survey Monument "BH-41" bears N 19°15'12" W, 2,848.64 feet distant; Thence, along the easterly, then southeasterly, then southerly right of way line of said Tierra Pintada Boulevard N.W. the following four courses:

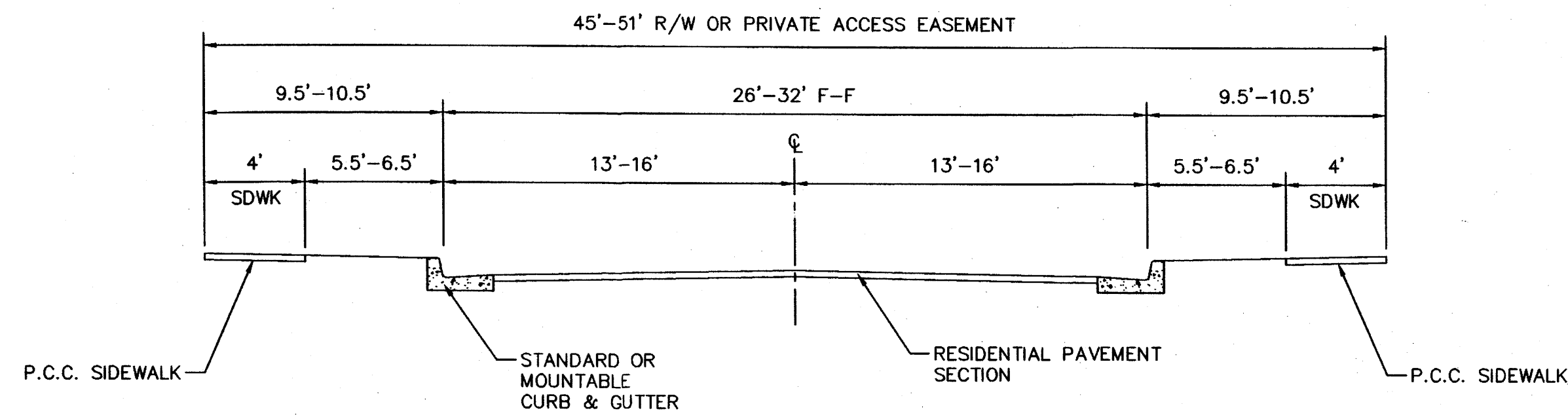
Northerly, 305.79 feet on the arc of a curve to the left (said curve having a radius of 3000.00 feet, a central angle of 05°50'25", and a chord that bears N 18°05'56" E, 305.66 feet) to a point of tangency; Thence,

N 15°10'44" E, 786.36 feet to a point of curvature; Thence,

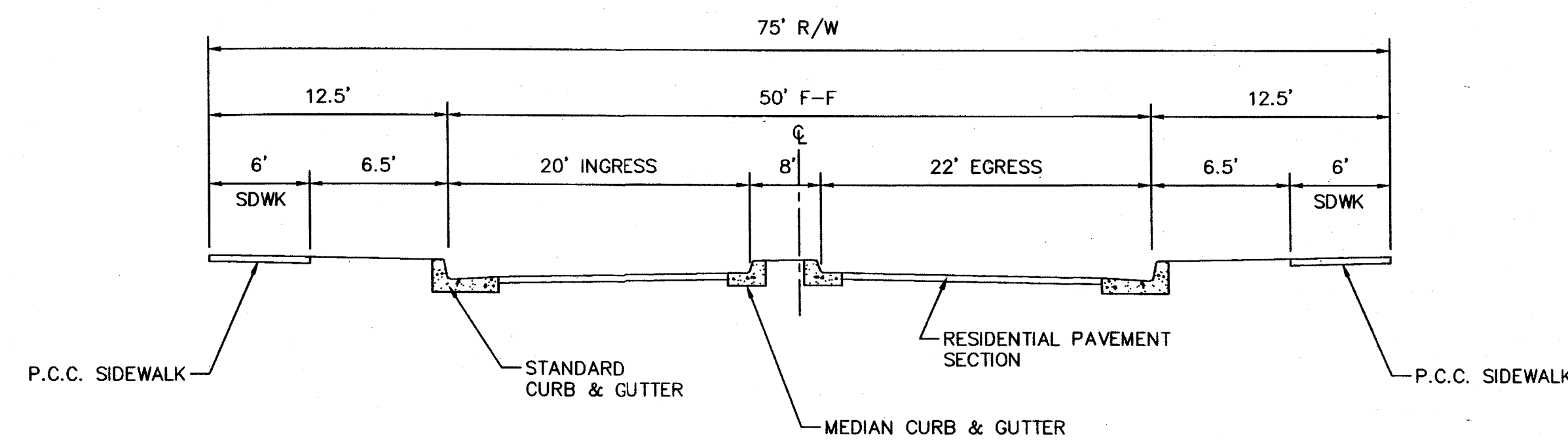
Northeasterly, 1444.55 feet on the arc of a curve to the right (said curve having a radius of 1100.00 feet, a central angle of 75°14'32", and a chord that bears N 52°48'00" E, 1342.96 feet) to a point of compound curvature, said point also being the northeasterly corner of said Tract B, The Crossing, and also being the northwesterly corner of said Tract J, The Crossing; Thence,

Easterly, 284.65 feet on the arc of a curve to the right (said curve having a radius of 4546.13 feet, a central angle of 03°35'15", and a chord that bears S 87°45'27" E, 284.60 feet) to the point of beginning.

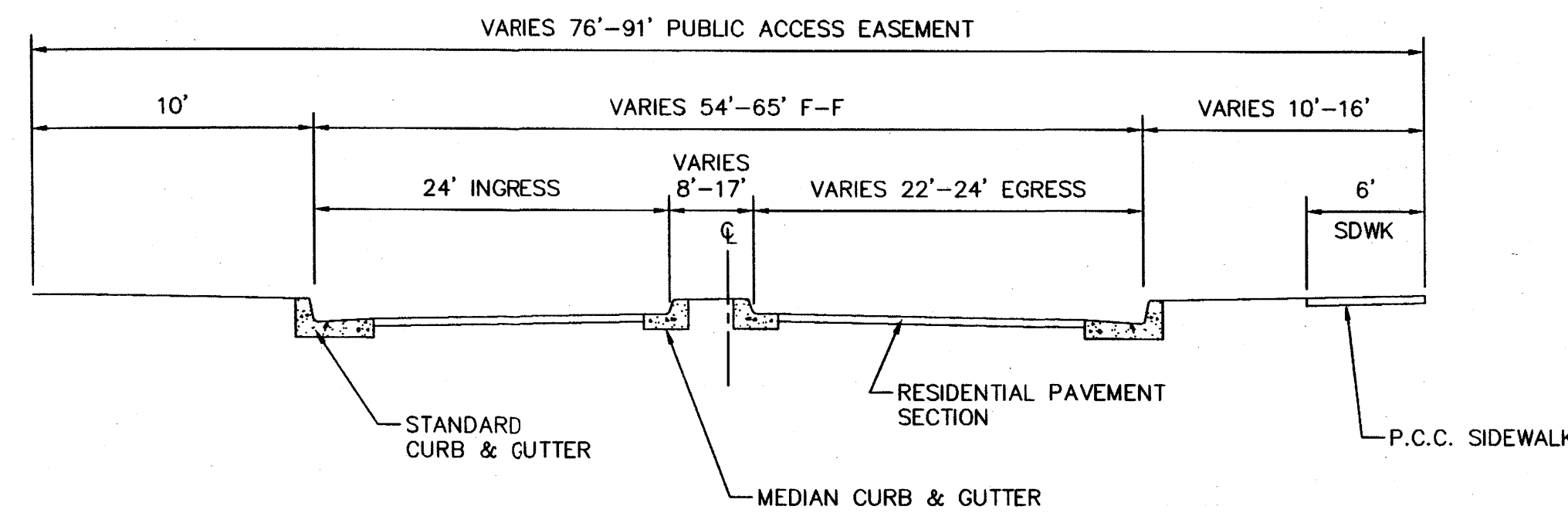
Said parcel contains 55.2416 acres, more or less



**TYPICAL RESIDENTIAL STREET SECTION**  
NTS

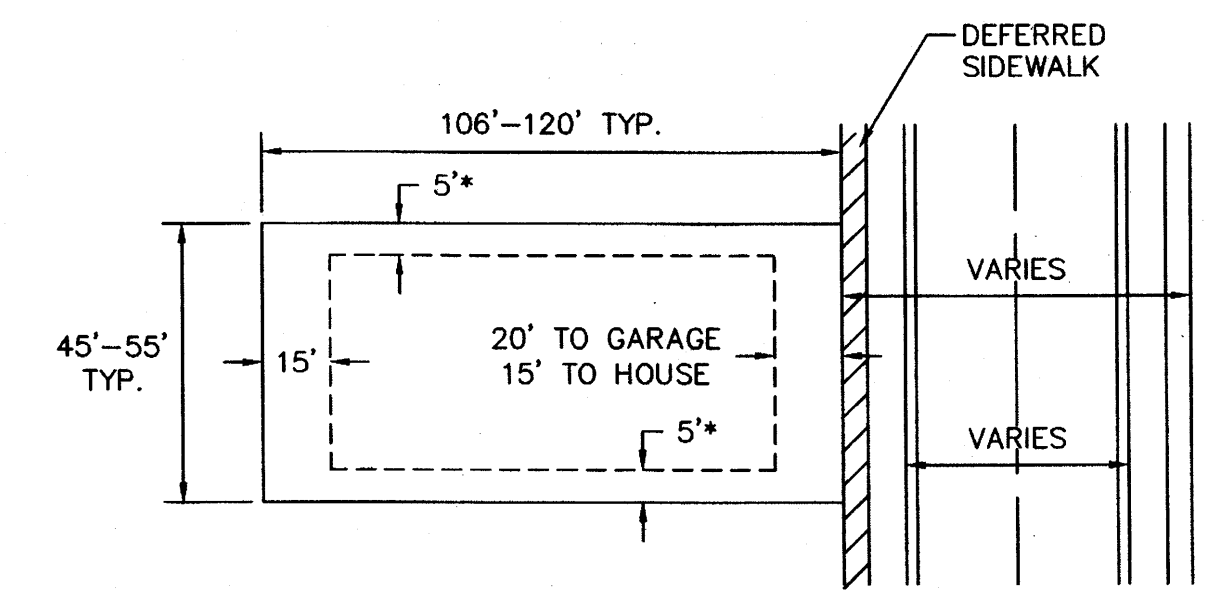


**UNIT 4 ENTRANCE STREET SECTION**  
NTS

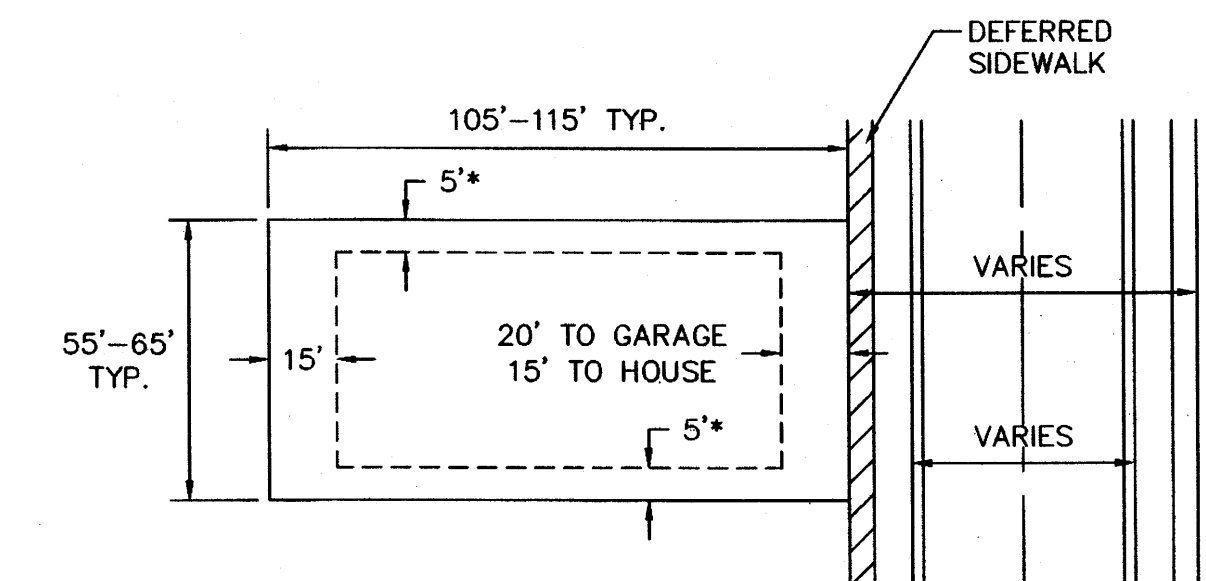


**UNIT 5 ENTRANCE STREET SECTION**  
NTS

PRELIMINARY  
PLAT FOR  
**STORMCLOUD SUBDIVISION UNITS 4 AND 5**  
BEING A REPLAT OF  
TRACTS B AND J THE CROSSINGS AND  
TRACT R STORMCLOUD SUBDIVISION UNIT 3  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JANUARY 2012



**TYPICAL UNIT 4 LOT DETAIL**  
NTS  
\* 10' SIDEYARD SETBACK  
ADJACENT TO STREET.  
MIN. LOT AREA=4770 SF



**TYPICAL UNIT 5 LOT DETAIL**  
NTS  
\* 10' SIDEYARD SETBACK  
ADJACENT TO STREET.  
MIN. LOT AREA=5775 SF