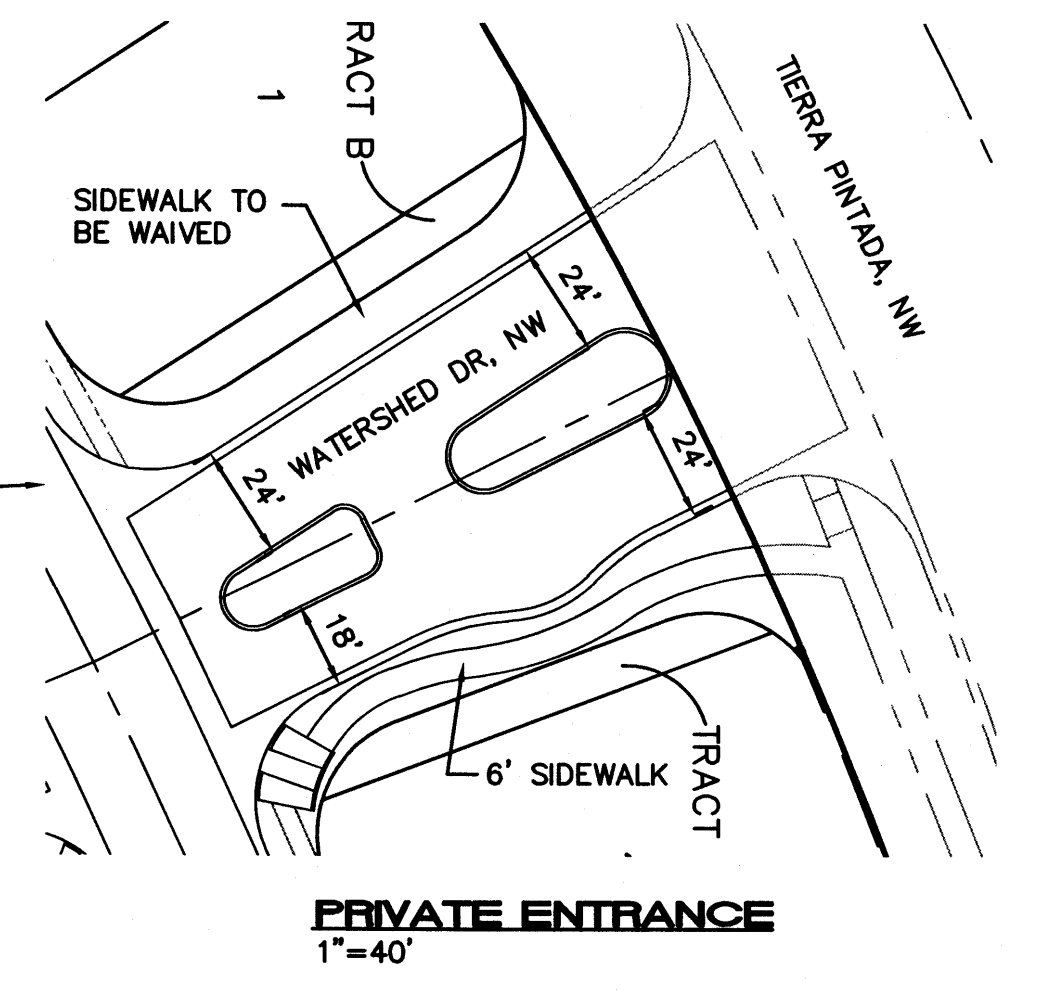


NOTES:
 SUBDIVISION NAME: STORM CLOUD SUBDIVISION, UNITS 4 & 5
 ZONING: R-D AND R-LT.
 UNIT 4: 143 LOTS
 UNIT 5: 93 LOTS
 UNIT 5 SHALL BE A PRIVATE, GATED COMMUNITY WITH PRIVATE STREETS.
 UNIT 4 SHALL HAVE PUBLIC STREETS.



LEGEND
 - - - - - EXISTING CONTOUR
 ——— EXISTING RETAINING WALL

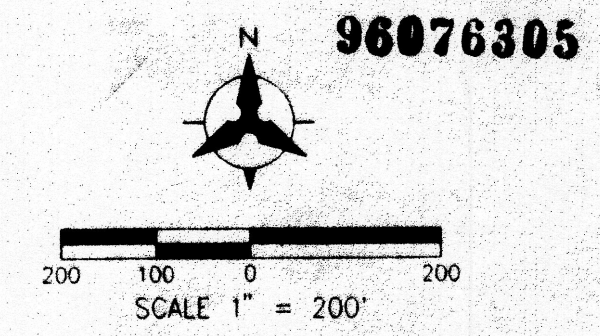
ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.isaacson.com
 1822 C-701-SKETCH PLAT.dwg Jun 09,2011

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**STORMCLOUD SUBDIVISION
 UNITS 4 AND 5
 WALH, LLC.
 SKETCH PLAT**

Date:	7/13/11	No. Revisions:	0	Date:		Job No.:	1821 & 1822
Drawn By:	jts					PAGE	
Chk By:	gnw					SH 1 OF 1	

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	MONUMENT TIE LINE
	NEW EASEMENT LINE
	EXISTING EASEMENT LINE
	ANNEXATION BOUNDARY LINE
	CENTERLINE MONUMENT TO BE INSTALLED
	FOUND 5/8" REBAR
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
	SET 5/8" CAPPED REBAR STAMPED "WEAVER LS 6544"
	FOUND 5/8" REBAR WITH CAP AS NOTED
	FOUND PK NAIL IN TOP OF CONCRETE WALL
	EXISTING TEMPORARY DRAINAGE EASEMENT FILED 3/23/93, DOC. NO. 093-028757, BK 93-7, PGS. 2236-2243



96076305
 PLAT OF
 THE CROSSING
 ALBUQUERQUE, NEW MEXICO
 APRIL, 1996

930 A 920
 302

0.73383 Acres, Additional Street Right-of-Way Dedicated to The City of Albuquerque with the filing of this plat

UNPLATTED LANDS

TRACT B
 50.00000 ACRES

LOTS 2 THRU 9, BLOCK 8
 PLAT FOR LAS LOMITAS
 UNIT IIA AND UNIT IIB
 Filed May 6, 1993
 (93C-128)

LAS LOMITAS UNIT IIB
 Filed Dec 21, 1994
 (94C-425)

PLAT FOR LAS LOMITAS
 UNIT IIB
 Filed May 5, 1994
 (94C-147)

DETAIL "A"
 SCALE 1" = 100'

CORRECTED PLAT FOR
 LAS LOMITAS
 UNIT I AND UNIT II
 Filed January 20, 1993
 (93C-20)

PLAT FOR LAS LOMITAS
 UNIT IIB
 Filed May 5, 1994
 (94C-147)

UNIT 2
 13.75100 ACRES
 (SEE NOTE 2 BELOW)

UNIT 1
 15.74217 ACRES
 (SEE NOTE 2 BELOW)

TRACT E
 13.10055 ACRES

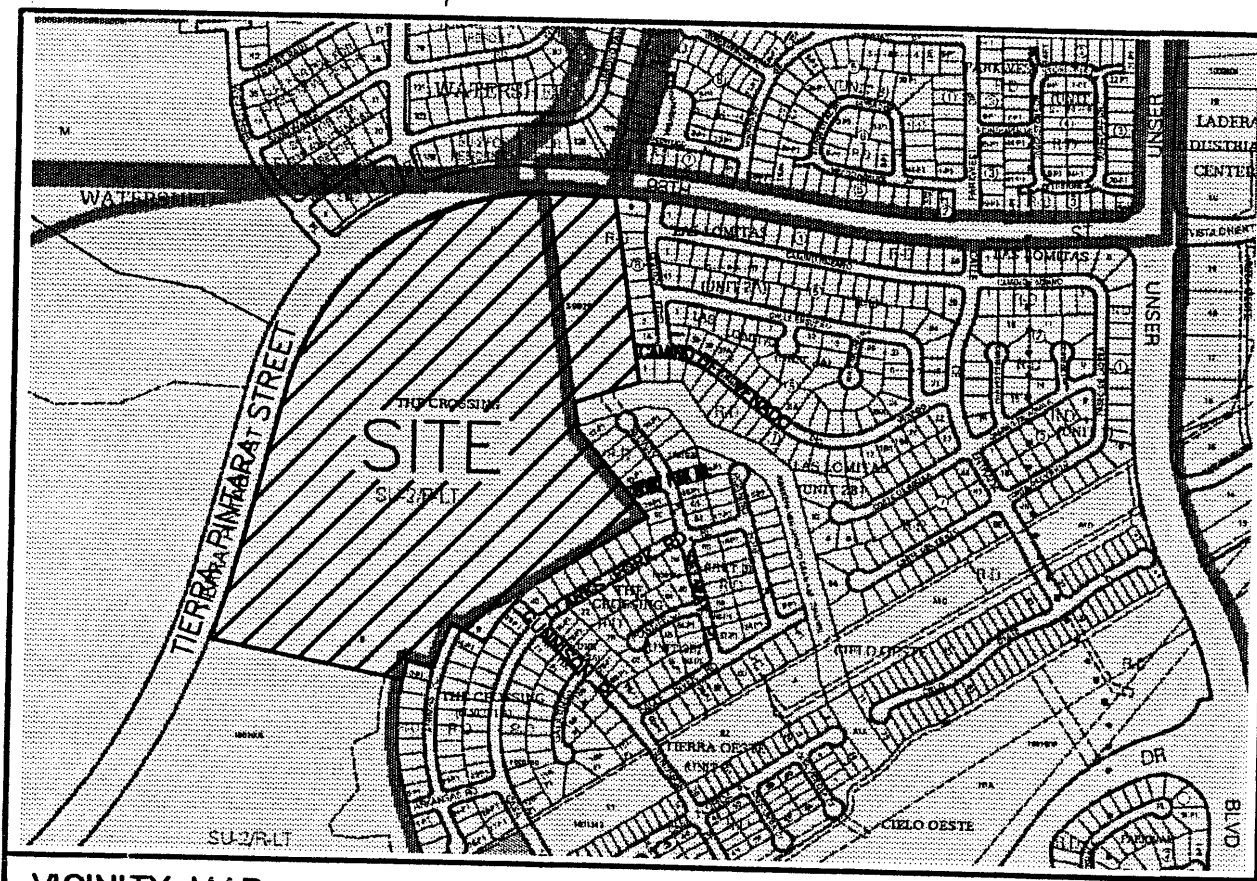
TRACT A
 35.29014 ACRES
 (SEE NOTE 6 ON SHEET 1)

TRACT H
 29.49706 ACRES
 (SEE NOTE 6 ON SHEET 1)

NOTES

- WEST BOUNDARY OF "TEMPORARY DRAINAGE EASEMENT GRANTED TO AMAFCA" BETWEEN POINTS (1) & (2) CORRESPONDS TO THE "MAXIMUM LATERAL EROSION LIMIT" (PRUDENT LINE) ESTABLISHED BY THE LAS LOMITAS UNIT IIB MIREHAVEN ARROYO SCOURWALL ANALYSIS & DESIGN, PREPARED BY AVID ENGINEERING, OCT. 1994
- A TEMPORARY BLANKET PUBLIC WATER LINE EASEMENT IS GRANTED TO THE CITY OF ALBUQUERQUE WITHIN "UNIT 1" AND "UNIT 2" WITH THE FILING OF THIS BULK LAND PLAT; SAID EASEMENT SHALL BE FURTHER DEFINED AND CONTAINED WITHIN FUTURE DEDICATED PUBLIC RIGHTS-OF-WAY AND/OR PERMANENT PUBLIC WATER LINE EASEMENT(S) UPON THE RECORDING OF THE FINAL SUBDIVISION PLATS FOR UNITS 1 AND 2 RESPECTIVELY, AT WHICH TIME THE TEMPORARY BLANKET EASEMENT SHALL AUTOMATICALLY TERMINATE AS TO EACH RESPECTIVE UNIT

BOHANNAN-HUSTON INC.
 ENGINEERS • PLANNERS • PHOTOGRAMMETRISTS • SURVEYORS • LANDSCAPE ARCHITECTS
 ALBUQUERQUE LAS CRUCES SANTA FE



VICINITY MAP: H-9-Z

CURVE	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD	CHORD DIRECTION
C1	1444.55	1100.00	75°14'32"	847.76	1342.96	S52°48'00"W
C2	284.88	4546.13	3°35'25"	142.49	284.83	N87°45'22"W
C3	303.01	3000.00	5°50'40"	153.14	305.88	N18°06'04"E
C4	84.07	1032.00	4°40'03"	42.06	84.05	S13°04'03"W
C5	197.52	920.00	12°18'04"	99.14	197.14	S21°46'25"W
C6	393.90	762.00	29°59'38"	204.13	394.36	S42°55'17"W

ACS MONUMENT "BH-41"
 NM STATE PLANE COORDINATES
 CENTRAL ZONE
 X = 351,455.56
 Y = 1,496,546.13 - NAD 1927
 EL. = 5398.63 - NGVD 1929
 G-G = 0.99966704
 DELTA ALPHA = -0°17'08"

PRELIMINARY PLAT

STORMCLOUD SUBDIVISION UNIT 4 AND 5 (REPLAT OF TRACTS B AND J THE CROSSINGS AND TRACT R STORMCLOUD SUBDIVISION UNIT 3)

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

AUGUST, 2006

1005029
PRELIMINARY PLAT
 APPROVED BY DRC
 ON 10/11/06

LEGAL DESCRIPTION:
 A REPLAT OF TRACTS B AND J THE CROSSINGS
 FILED: JULY 09, 1996 (BK. 96C-PG. 302) AND
 TRACT R STORMCLOUD SUBDIVISION UNIT 3.
 RECORDING INFORMATION PENDING

NOTES:
 1. EXISTING ZONING FOR: SU-2/R-LT AND R-D
 PROPOSED ZONING: SU-2/R-LT AND R-D
 PROPOSED RESIDENTIAL DEVELOPMENT:
 SINGLE FAMILY DETACHED RESIDENTIAL

2. TOTAL ACREAGE:
 EXISTING TRACT B, J AND R = 55.2430 ACRES

NET ACREAGE:
 UNIT 4 = 31.0533 ACRES
 UNIT 5 = 21.3990 ACRES
 MIREHAVEN ARROYO = 2.7907 ACRES
 TOTAL NET ACREAGE 55.2430 ACRES

NUMBER OF LOTS:
 UNIT 4 = 131 LOTS
 UNIT 5 = 93 LOTS
 TOTAL NUMBER OF LOTS = 224 LOTS
 PROPOSED DENSITY: 4.05 DU/ACRE

3. MINIMUM DETACHED LOT DIMENSIONS 45'X110'
 MINIMUM DETACHED LOT AREA = 4950 SQ. FT.

4. ALL STREET UTILITIES AND DRAINAGE IMPROVEMENTS
 ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE
 TO THE CITY OF ALBUQUERQUE.

5. TRACTS A THRU F OF UNITS 4 AND 5 ARE TO BE DEDICATED TO
 AND MAINTAINED BY THE STORMCLOUD HOME OWNERS ASSOCIATION
 BY SEPARATE DEED SOLELY AS PRIVATE OPEN SPACE.

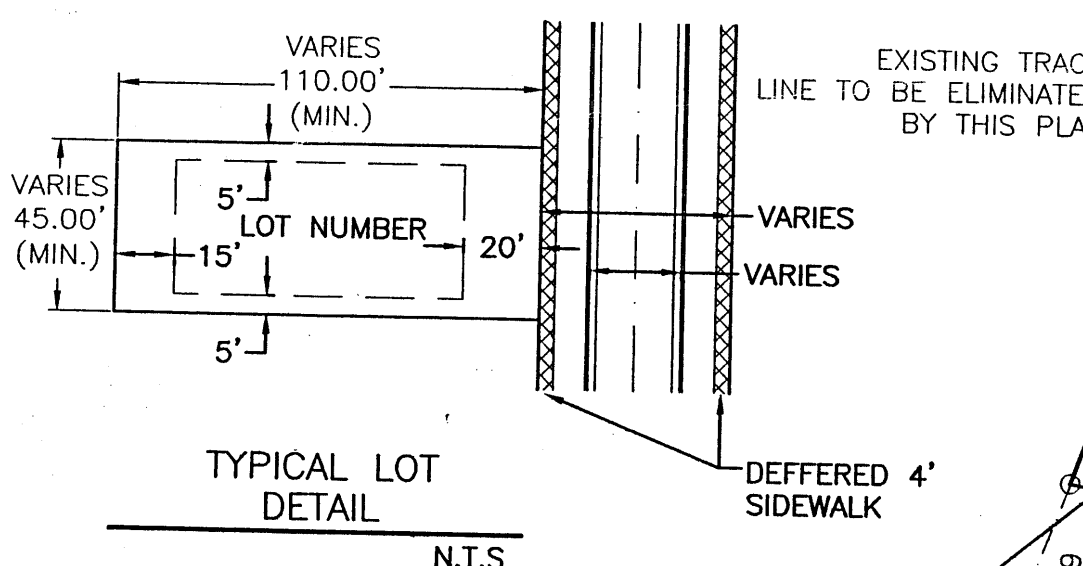
7. LOT SETBACKS SHALL CONFORM TO R-LT AND R-D ZONE REGULATIONS

8. ALL LOTS ARE P-1 DESIGNATION

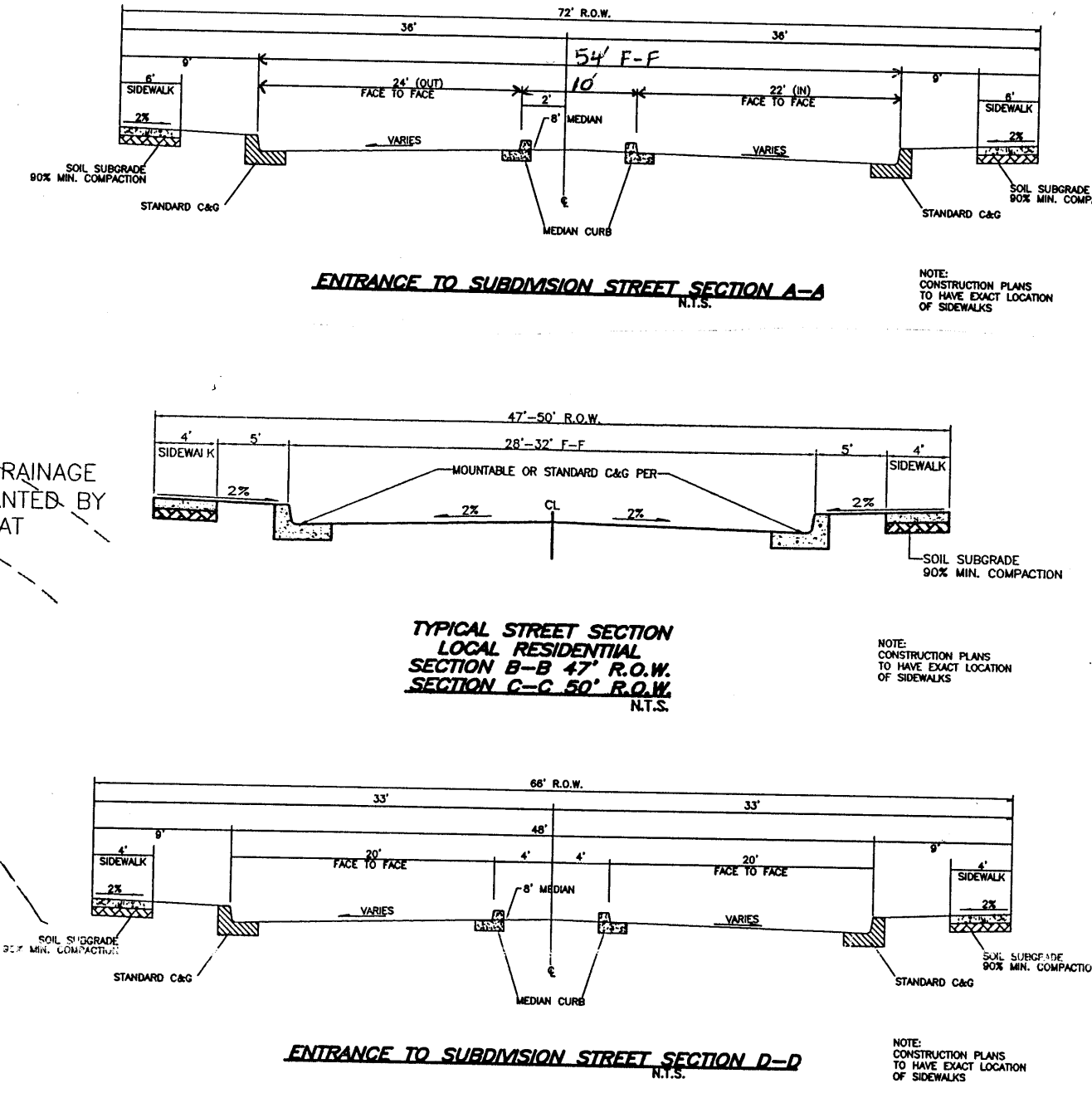
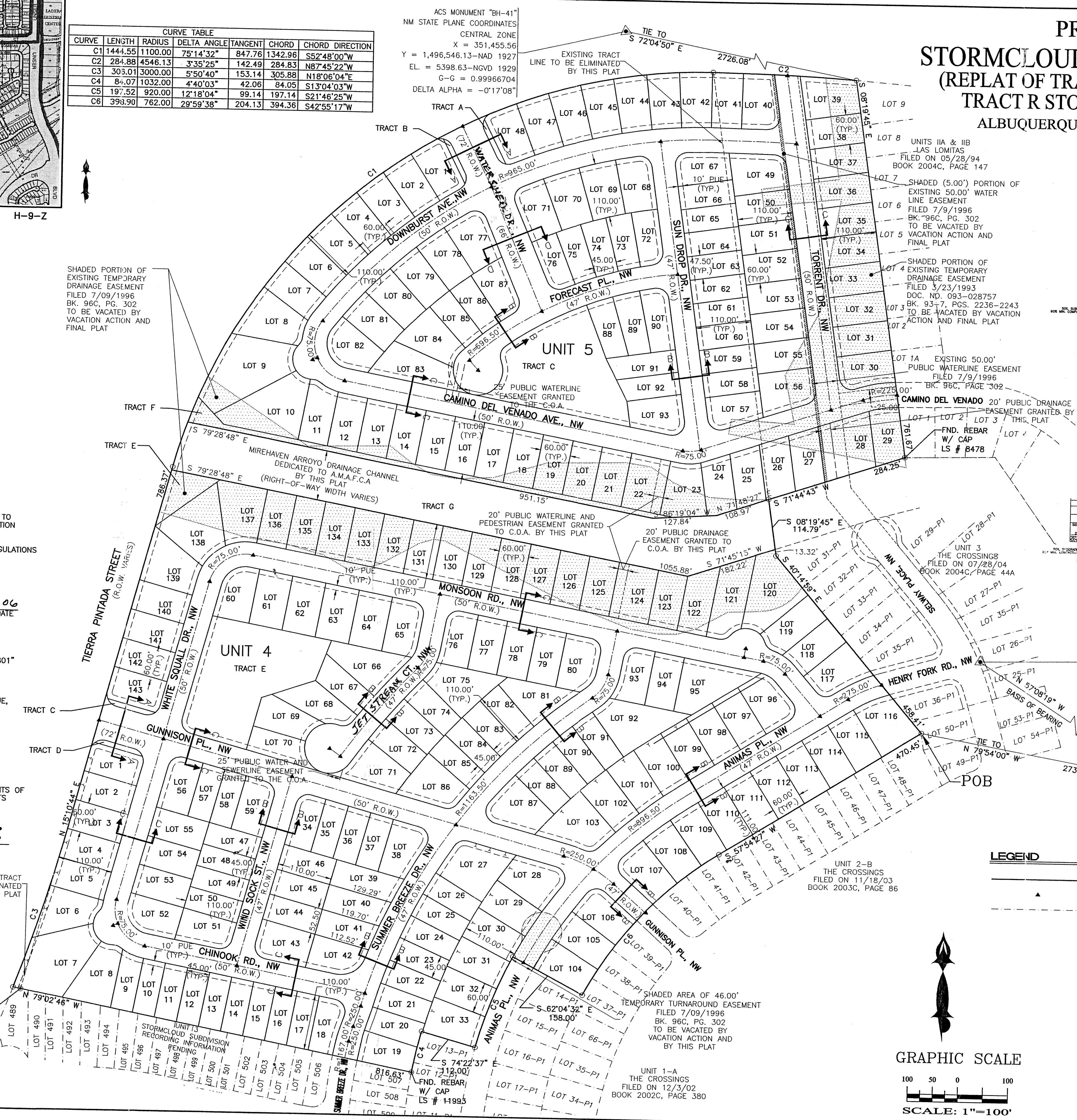
OWNER
Fred Ambrogi VP 8-25-06
 FRED AMBROGI, VICE PRESIDENT, DEVELOPMENT DIVISION
 WESTLAND DEVELOPMENT COMPANY INC. DATE

SURVEY NOTES:
 1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN
 THUS (o) SHALL BE MARKED BY A #5 REBAR STAMPED "LS 9801"
 2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED
 AT DESIGNATED CENTERLINE P.C.'S, P.T.'S ANGLE POINTS AND
 STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED
 BY A FOUR (4) ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE,
 CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 9801"
 3. THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO
 STATE PLANE COORDINATE SYSTEM AS SHOWN.
 4. BASIS OF BEARING IS THE BEARING BETWEEN ALBUQUERQUE
 CONTROL STATIONS "3-H10 AND BH-41".
 5. DISTANCES SHALL BE GROUND DISTANCES.
 6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF
 TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS
 TO ALLOW THE USE OF CENTERLINE MONUMENTATION

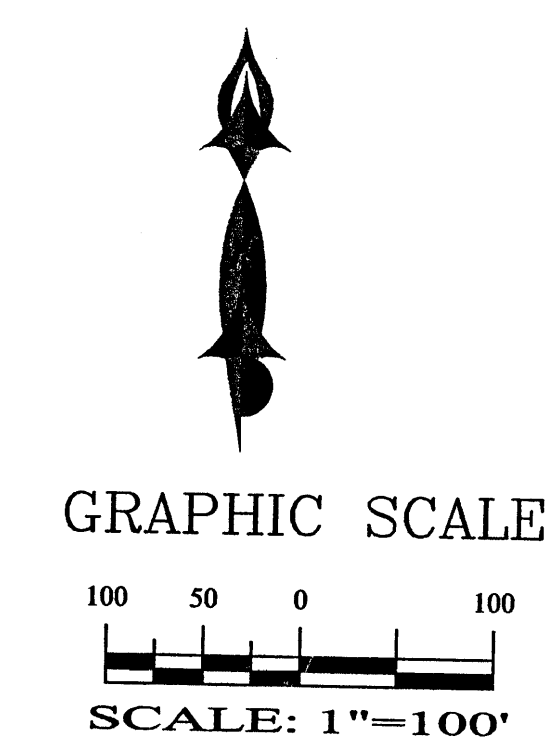
APPROVED: *M.B. Hunt* 8/25/06
 CITY SURVEYOR DATE



SHADED PORTION OF
 EXISTING TEMPORARY
 DRAINAGE EASEMENT
 FILED 7/09/1996
 BK. 96C, PG. 302
 TO BE VACATED BY
 VACATION ACTION AND
 FINAL PLAT



LEGEND
 ——— BOUNDARY LINE
 ▲ CENTERLINE MONUMENTATION
 - - - ADJOINING PROPERTY



**ADVANCED
 ENGINEERING
 and CONSULTING, LLC**

4416 ANAHEIM AVE., NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)899-5570

PRELIMINARY PLAT

STORMCLOUD SUBDIVISION UNIT 4 AND 5 (REPLAT OF TRACTS B AND J THE CROSSINGS AND TRACT R STORMCLOUD SUBDIVISION UNIT 3)

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

AUGUST, 2006

CURVE	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD	CHORD DIRECTION
C1	1444.55	1100.00	75°14'32"	847.76	1342.96	S52°48'00"W
C2	284.88	4546.13	3°35'25"	142.49	284.83	N87°45'22"W
C3	306.01	3000.00	5°50'40"	153.14	305.88	N18°06'04"E
C4	84.07	1032.00	4°40'03"	42.06	84.05	S13°04'03"W
C5	197.52	920.00	12°18'04"	99.14	197.14	S21°46'25"W
C6	398.90	762.00	29°59'38"	204.13	394.36	S42°55'17"W

FLOOD PLAIN:
This site lies within Zone "X" (areas determined to be outside the 0.2% annual chance floodplain, Zone "A0, (DEPTH 1)") (Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined), and Zone "AE" (Base Flood Elevations determined) as shown on National Flood Insurance Program Flood Insurance Rate Map Number 35001C0326G, Map Revised September 26, 2008.



VICINITY MAP: H-9-Z

LEGAL DESCRIPTION:
A REPLAT OF TRACTS B AND J THE CROSSINGS
FILED: JULY 09, 1996 (BK. 96C-PG. 302) AND
TRACT R STORMCLOUD SUBDIVISION UNIT 3,
RECORDING INFORMATION PENDING

NOTES:
1. EXISTING ZONING FOR: SU-2/R-LT AND R-D
PROPOSED ZONING: SU-2/R-LT AND R-D
PROPOSED RESIDENTIAL DEVELOPMENT:
SINGLE FAMILY DETACHED RESIDENTIAL

2. TOTAL ACREAGE:
EXISTING TRACT B, J AND R = 55.2430 ACRES

NET ACREAGE:
UNIT 4 = 31.0533 ACRES
UNIT 5 = 21.3990 ACRES
MIREHAVEN ARROYO = 2.7907 ACRES
TOTAL NET ACREAGE 55.2430 ACRES

NUMBER OF LOTS:
UNIT 4 = 143 LOTS
UNIT 5 = 93 LOTS
TOTAL NUMBER OF LOTS = 236 LOTS
PROPOSED DENSITY: 4.05 DU/ACRE

3. MINIMUM DETACHED LOT DIMENSIONS 45'X110'
MINIMUM DETACHED LOT AREA = 4950 SQ. FT.

4. ALL STREET UTILITIES AND DRAINAGE IMPROVEMENTS
ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE
TO THE CITY OF ALBUQUERQUE.

5. TRACTS A THRU F OF UNITS 4 AND 5 ARE TO BE DEDICATED TO
AND MAINTAINED BY THE STORMCLOUD HOME OWNERS ASSOCIATION
BY SEPARATE DEED SOLELY AS PRIVATE OPEN SPACE.

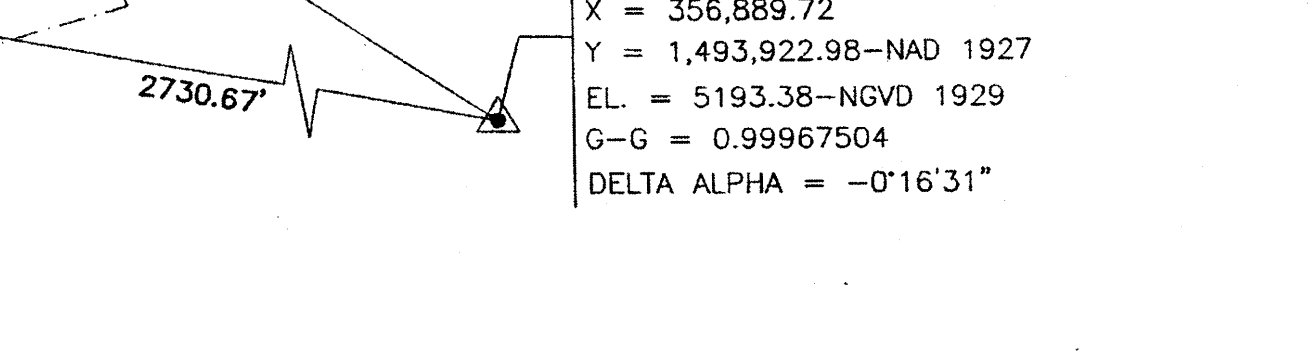
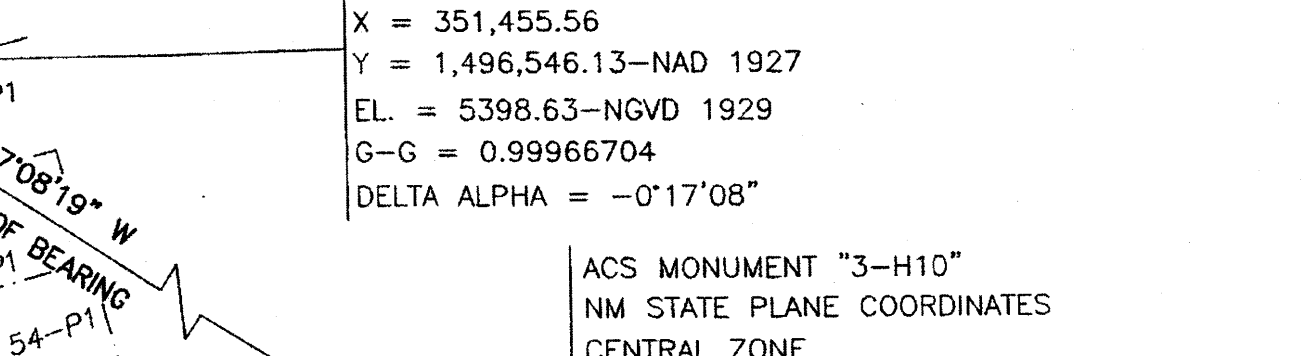
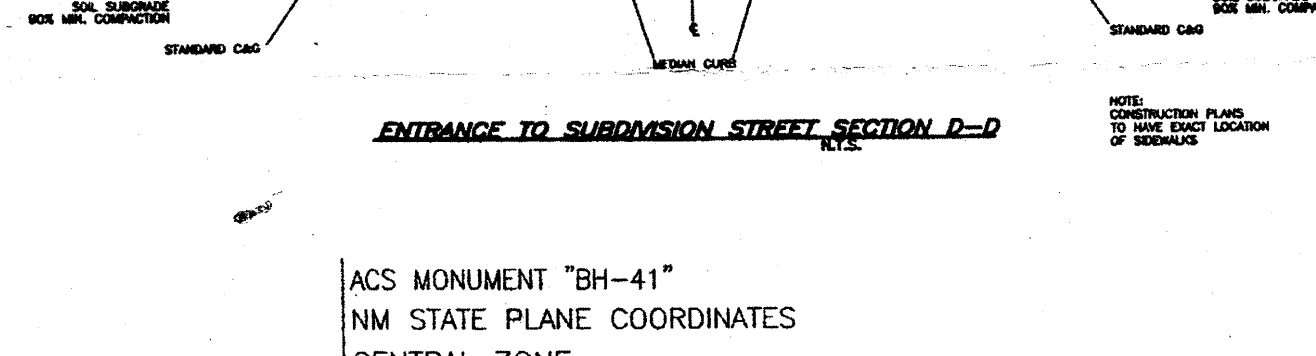
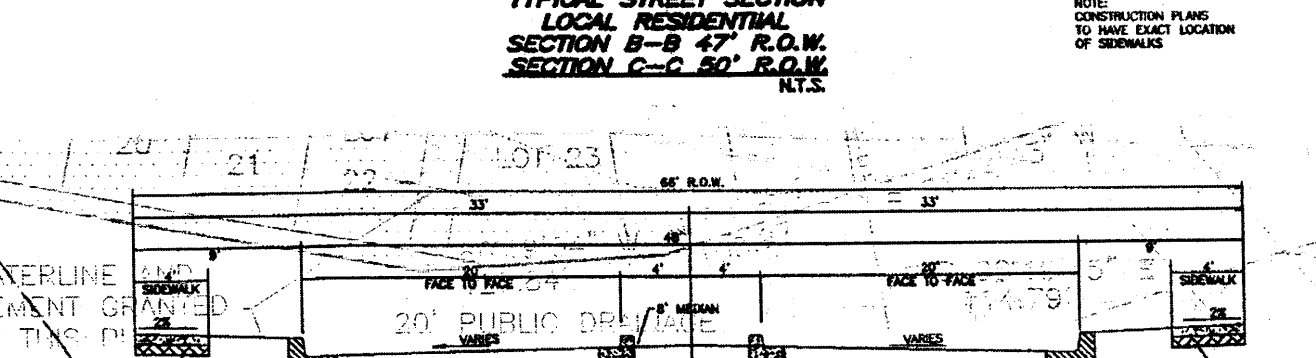
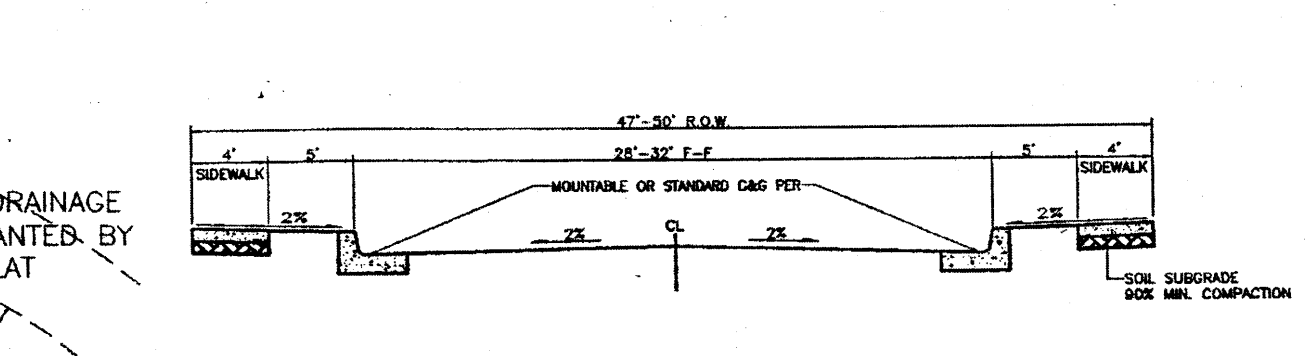
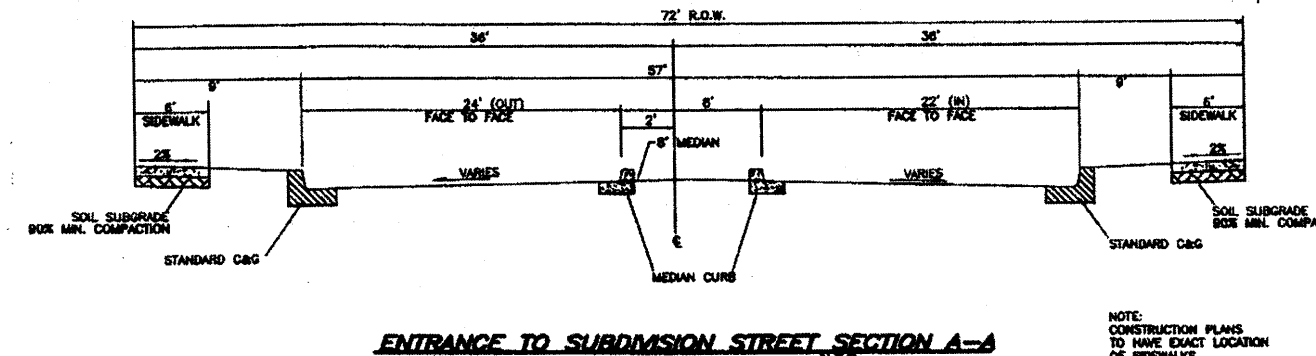
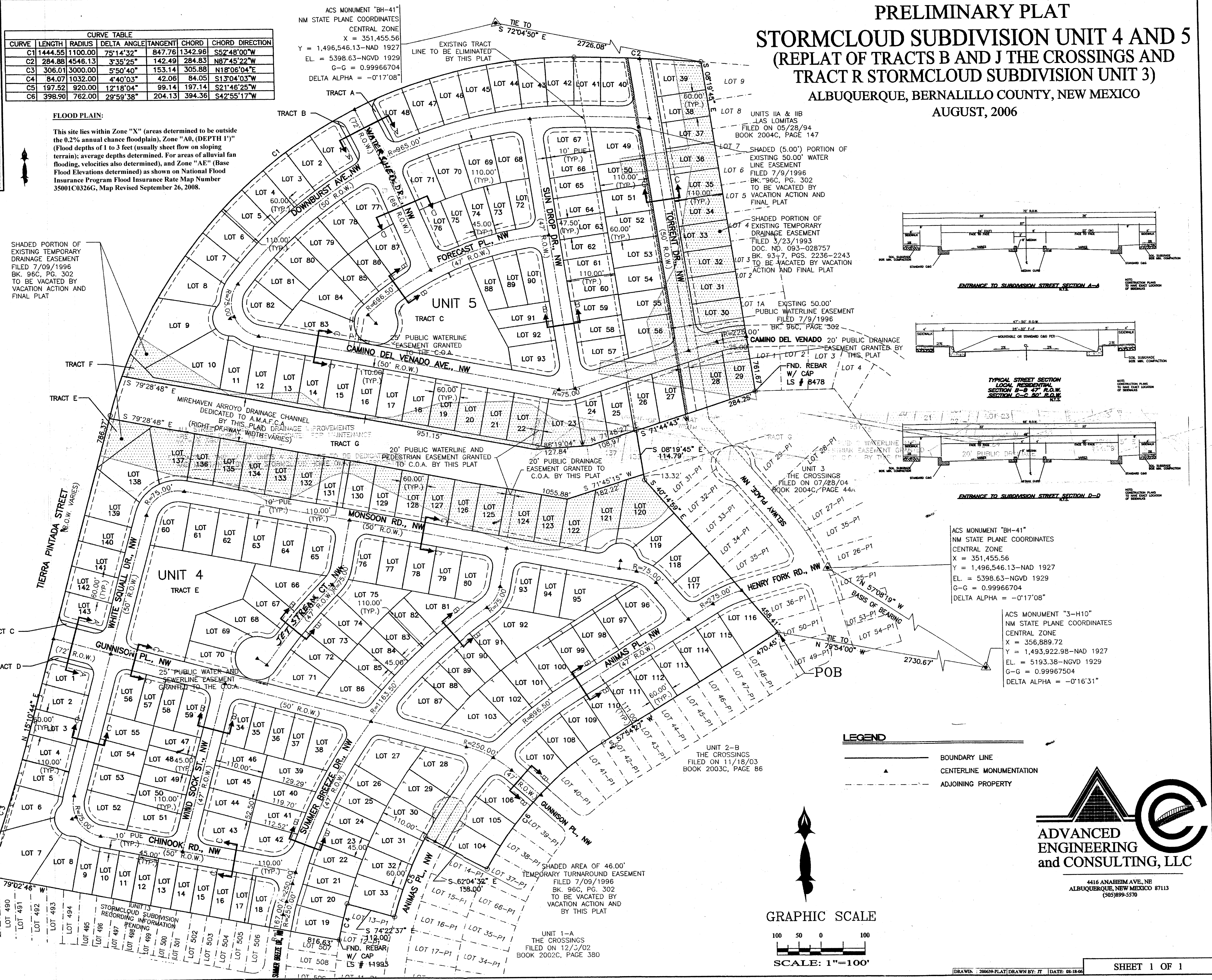
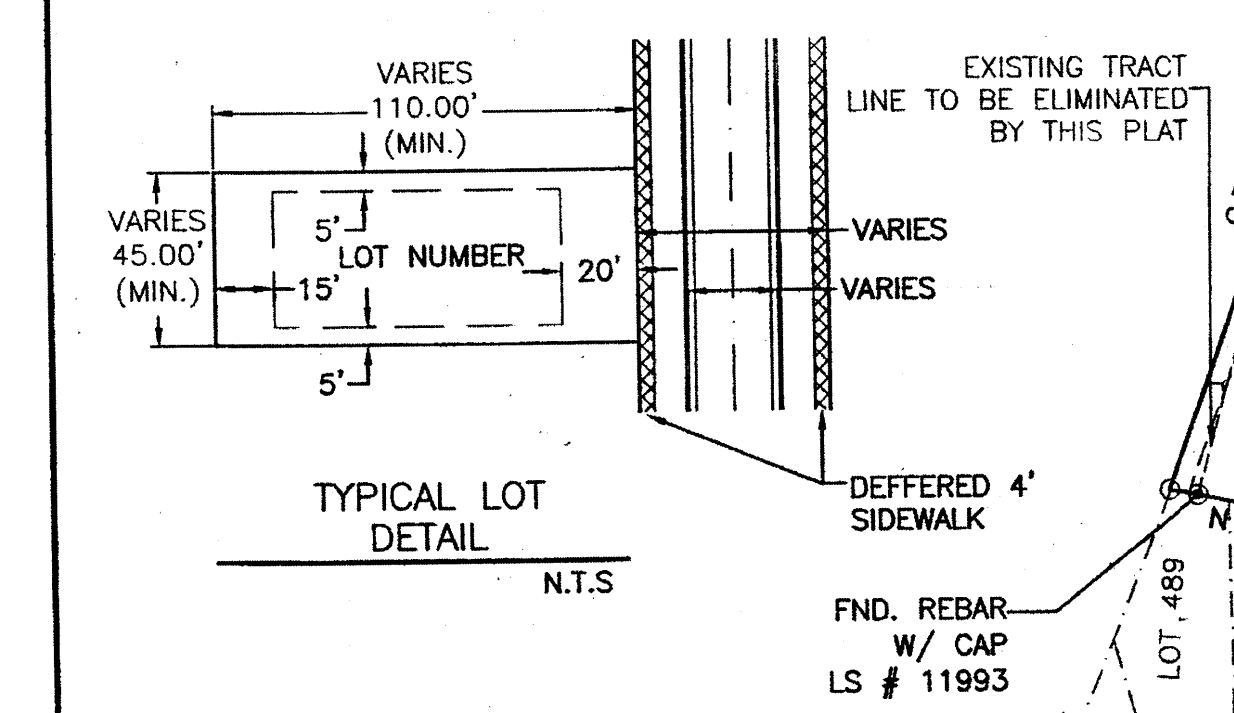
7. LOT SETBACKS SHALL CONFORM TO R-LT AND R-D ZONE REGULATIONS

8. ALL LOTS ARE P-1 DESIGNATION

OWNER:
Fred Ambrogi VP 8-25-06
FRED AMBROGI, VICE PRESIDENT, DEVELOPMENT DIVISION DATE
WESTLAND DEVELOPMENT COMPANY INC.

- SURVEY NOTES:**
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN
THUS (o) SHALL BE MARKED BY A #5 REBAR STAMPED "LS 9801"
 - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED
AT DESIGNATED CENTERLINE PC'S, PT'S ANGLE POINTS AND
STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED
BY A FOUR (4) ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE,
CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 9801"
 - THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO
STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - BASIS OF BEARING IS THE BEARING BETWEEN ALBUQUERQUE
CONTROL STATIONS "3-110 AND BH-41".
 - DISTANCES SHALL BE GROUND DISTANCES.
 - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF
TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS
TO ALLOW THE USE OF CENTERLINE MONUMENTATION

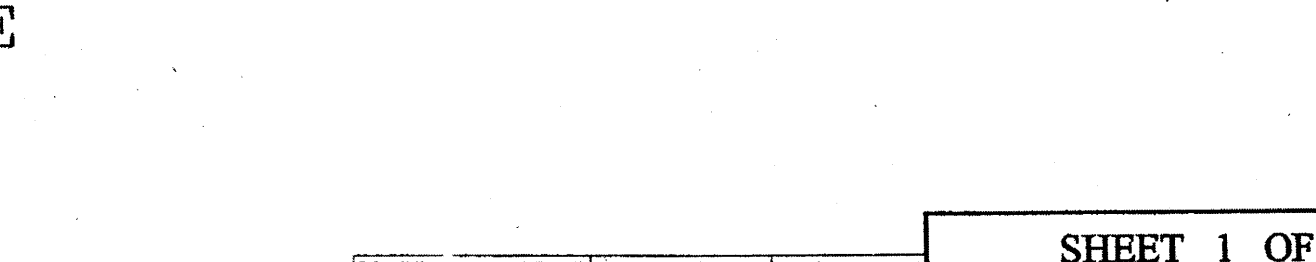
APPROVED:
[Signature] 8/25/06
CITY SURVEYOR DATE



LEGEND
— BOUNDARY LINE
▲ CENTERLINE MONUMENTATION
--- ADJOINING PROPERTY

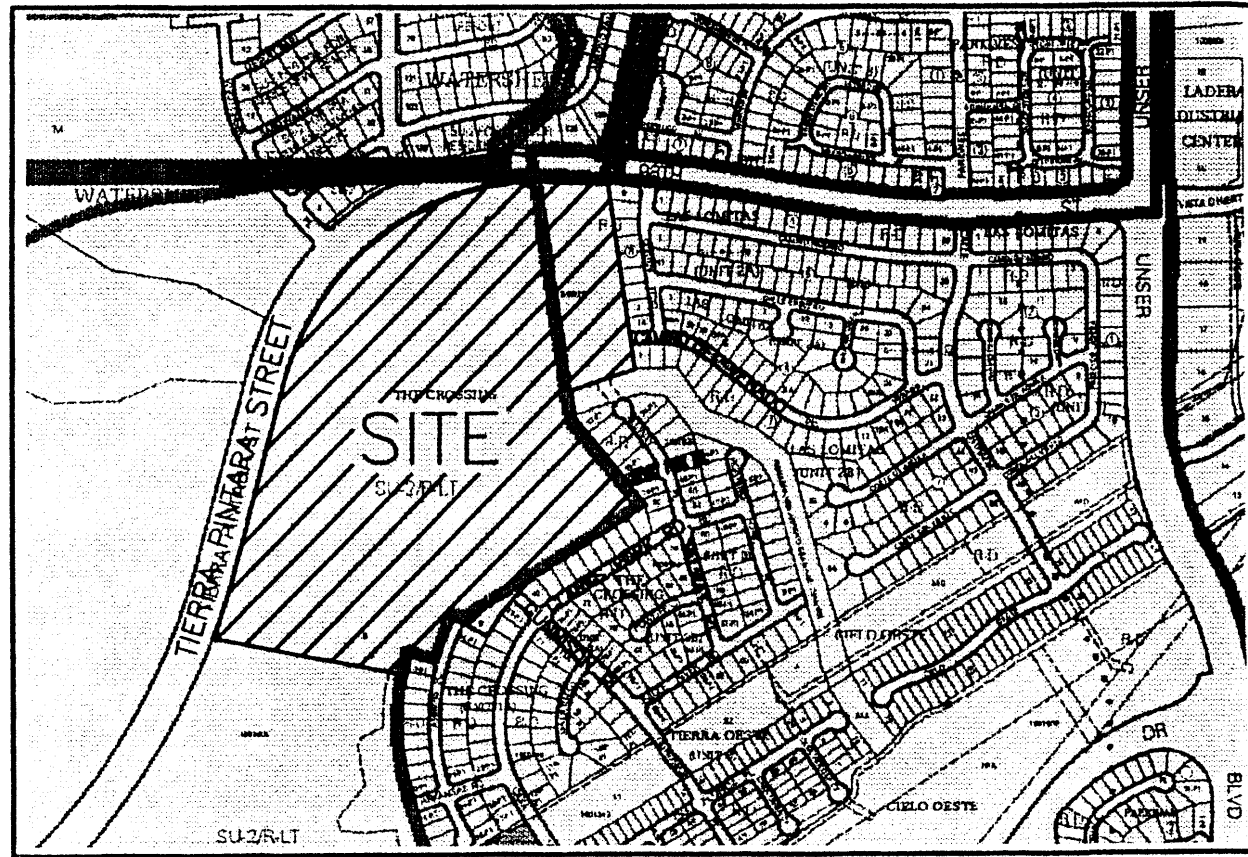
**ADVANCED
ENGINEERING
and CONSULTING, LLC**

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5970



PRELIMINARY PLAT STORMCLOUD SUBDIVISION UNIT 4 AND 5 (REPLAT OF TRACTS B AND J THE CROSSINGS AND TRACT R STORMCLOUD SUBDIVISION UNIT 3) ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

AUGUST, 2006



VICINITY MAP: H-9-Z

CURVE	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD	CHORD DIRECTION
C1	1444.55	1100.00	75°14'32"	847.76	1342.96	S52°48'00"W
C2	284.88	4546.13	3°35'25"	142.49	284.83	N87°45'22"W
C3	306.01	3000.00	5°50'40"	153.14	305.88	N18°06'04"E
C4	84.07	1032.00	4°40'03"	42.06	84.05	S13°04'03"W
C5	197.52	920.00	12°18'04"	99.14	197.14	S21°46'25"W
C6	398.90	762.00	29°59'38"	204.13	394.36	S42°55'17"W

ACS MONUMENT "BH-41"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 351,455.56
Y = 1,496,546.13-NAD 1927
EL. = 5398.63-NGVD 1929
G-G = 0.99966704
DELTA ALPHA = -0°17'08"

LEGAL DESCRIPTION:
A REPLAT OF TRACTS B AND J THE CROSSINGS
FILED: JULY 09, 1996 (BK. 96C-PG. 302) AND
TRACT R STORMCLOUD SUBDIVISION UNIT 3,
RECORDING INFORMATION PENDING

NOTES:
1. EXISTING ZONING FOR: SU-2/R-LT AND R-D
PROPOSED ZONING: SU-2/R-LT AND R-D
PROPOSED RESIDENTIAL DEVELOPMENT:
SINGLE FAMILY DETACHED RESIDENTIAL

2. TOTAL ACREAGE:
EXISTING TRACT B, J AND R = 55.2430 ACRES

NET ACREAGE:
UNIT 4 = 31.0533 ACRES
UNIT 5 = 21.3990 ACRES
MIREHAVEN ARROYO = 2.7907 ACRES
TOTAL NET ACREAGE 55.2430 ACRES

NUMBER OF LOTS:
UNIT 4 = 131 LOTS
UNIT 5 = 93 LOTS
TOTAL NUMBER OF LOTS = 224 LOTS
PROPOSED DENSITY: 4.05 DU/ACRE

3. MINIMUM DETACHED LOT DIMENSIONS 45'X110'
MINIMUM DETACHED LOT AREA = 4950 SQ. FT.

4. ALL STREET UTILITIES AND DRAINAGE IMPROVEMENTS
ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE
TO THE CITY OF ALBUQUERQUE.

5. TRACTS A THRU F OF UNITS 4 AND 5 ARE TO BE DEDICATED TO
AND MAINTAINED BY THE STORMCLOUD HOME OWNERS ASSOCIATION
BY SEPARATE DEED SOLELY AS PRIVATE OPEN SPACE.

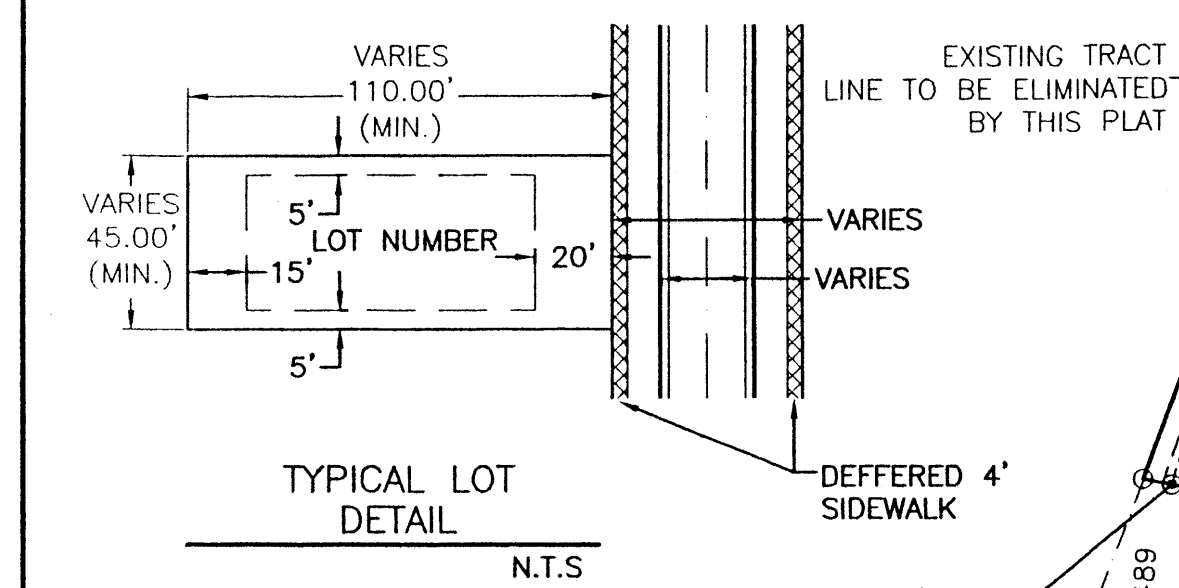
7. LOT SETBACKS SHALL CONFORM TO R-LT AND R-D ZONE REGULATIONS

8. ALL LOTS ARE P-1 DESIGNATION

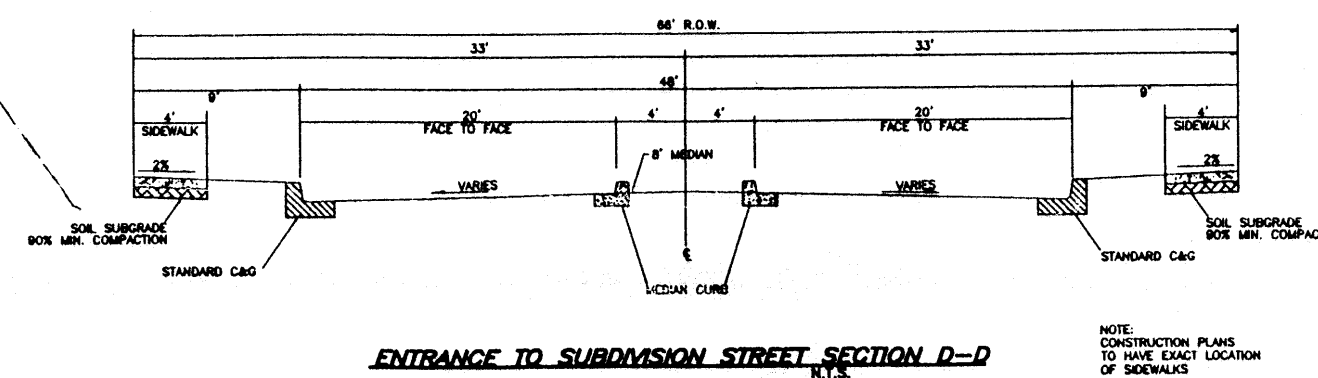
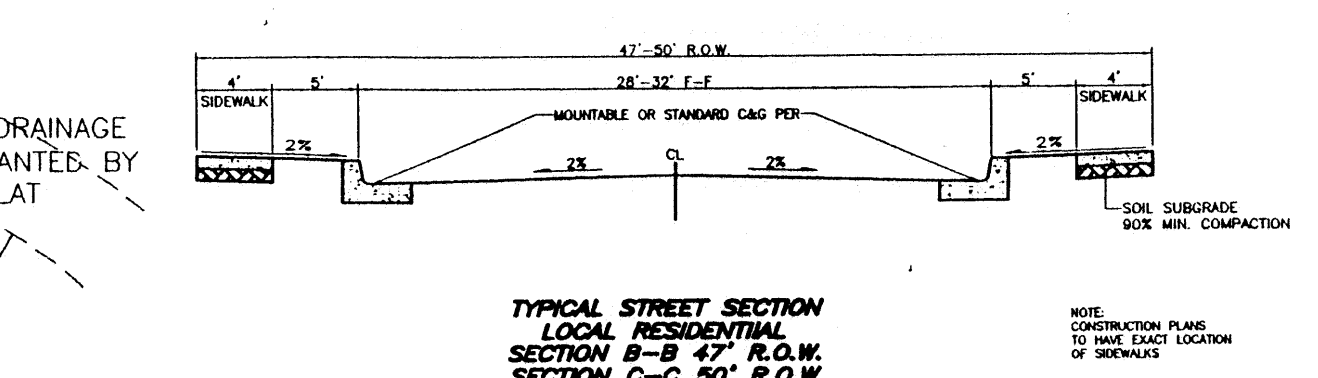
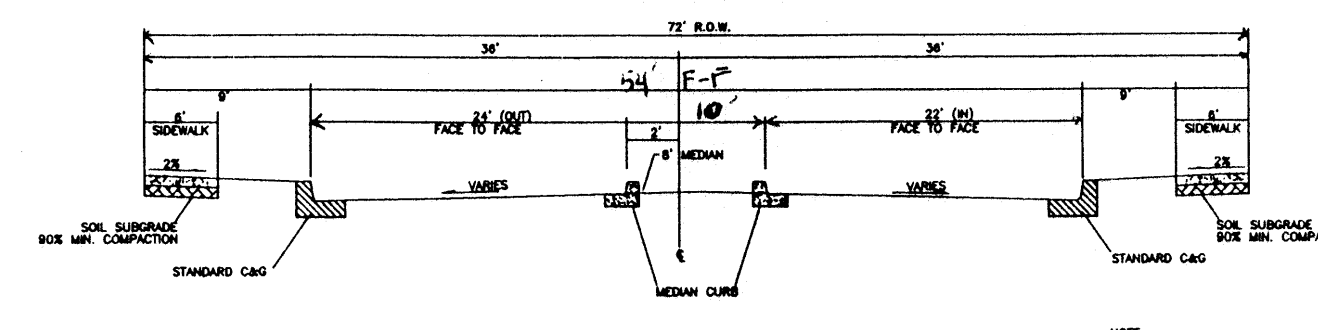
OWNER
Fred Ambrogio, VP 8-25-06
FRED AMBROGIO, VICE PRESIDENT, DEVELOPMENT DIVISION DATE
WESTLAND DEVELOPMENT COMPANY INC.

- SURVEY NOTES:**
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN
THUS (•) SHALL BE MARKED BY A #5 REBAR STAMPED "LS 9801"
 - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED
AT DESIGNATED CENTERLINE PC'S, PT'S ANGLE POINTS AND
STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED
BY A FOUR (4) ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE,
CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 9801"
 - THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO
STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - BASIS OF BEARING IS THE BEARING BETWEEN ALBUQUERQUE
CONTROL STATIONS "3-H10 AND BH-41".
 - DISTANCES SHALL BE GROUND DISTANCES.
 - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF
TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO
ALLOW THE USE OF CENTERLINE MONUMENTATION

APPROVED: *[Signature]* 8/25/06
CITY SURVEYOR DATE



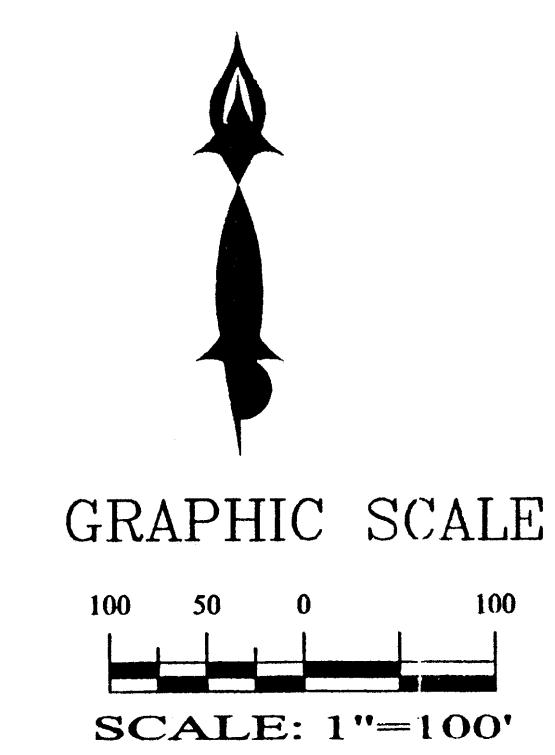
SHADED PORTION OF
EXISTING TEMPORARY
DRAINAGE EASEMENT
FILED 7/09/1996
BK. 96C, PG. 302
TO BE VACATED BY
VACATION ACTION AND
FINAL PLAT



ACS MONUMENT "BH-41"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 351,455.56
Y = 1,496,546.13-NAD 1927
EL. = 5398.63-NGVD 1929
G-G = 0.99966704
DELTA ALPHA = -0°17'08"

ACS MONUMENT "3-H10"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 356,889.72
Y = 1,493,922.98-NAD 1927
EL. = 5193.38-NGVD 1929
G-G = 0.99967504
DELTA ALPHA = -0°16'31"

LEGEND
— BOUNDARY LINE
▲ CENTERLINE MONUMENTATION
--- ADJOINING PROPERTY



ADVANCED
ENGINEERING
and CONSULTING, LLC
4416 ANAHEIM AVE. NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

PRELIMINARY PLAT

STORMCLOUD SUBDIVISION UNIT 4 AND 5 (REPLAT OF TRACTS B AND J THE CROSSINGS AND TRACT R STORMCLOUD SUBDIVISION UNIT 3)

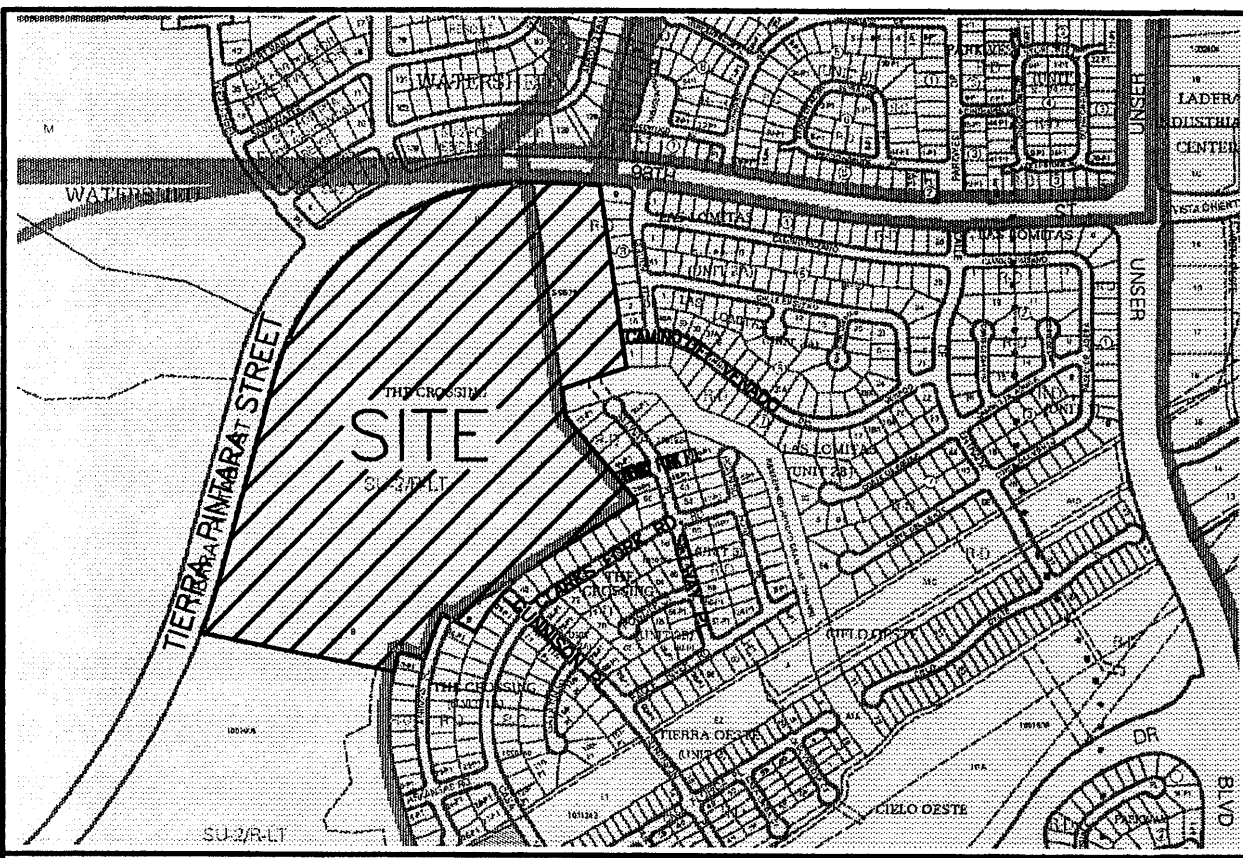
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

AUGUST, 2006

PRELIMINARY PLAT
APPROVED BY DRB
ON 10/11/06

CURVE	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD	CHORD DIRECTION
C1	1444.55	1100.00	75°14'32"	847.76	1342.96	S52°48'00"W
C2	284.88	4546.13	3°35'25"	142.49	284.83	N87°45'22"W
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X = 351,455.56
Y = 1,496,546.13-NAD 1927
EL. = 5398.63-NGVD 1929
G-G = 0.99966704
DELTA ALPHA = -0°17'08"



VICINITY MAP: H-9-Z

LEGAL DESCRIPTION:
A REPLAT OF TRACTS B AND J THE CROSSINGS
FILED: JULY 09, 1996 (BK. 96C-PG. 302) AND
TRACT R STORMCLOUD SUBDIVISION UNIT 3,
RECORDING INFORMATION PENDING

NOTES:
1. EXISTING ZONING FOR: SU-2/R-LT AND R-D
PROPOSED ZONING: SU-2/R-LT AND R-D
PROPOSED RESIDENTIAL DEVELOPMENT:
SINGLE FAMILY DETACHED RESIDENTIAL

2. TOTAL ACREAGE:
EXISTING TRACT B, J AND R = 55.2430 ACRES

NET ACREAGE:
UNIT 4 = 31.0533 ACRES
UNIT 5 = 21.3990 ACRES
MIREHAVAN ARROYO = 2.7907 ACRES
TOTAL NET ACREAGE 55.2430 ACRES

NUMBER OF LOTS:
UNIT 4 = 131 LOTS
UNIT 5 = 93 LOTS
TOTAL NUMBER OF LOTS = 224 LOTS
PROPOSED DENSITY: 4.05 DU/ACRE

3. MINIMUM DETACHED LOT DIMENSIONS 45'X110'
MINIMUM DETACHED LOT AREA = 4950 SQ. FT.

4. ALL STREET UTILITIES AND DRAINAGE IMPROVEMENTS
ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE
TO THE CITY OF ALBUQUERQUE.

5. TRACTS A THRU F OF UNITS 4 AND 5 ARE TO BE DEDICATED TO
AND MAINTAINED BY THE STORMCLOUD HOME OWNERS ASSOCIATION
BY SEPARATE DEED SOLELY AS PRIVATE OPEN SPACE.

7. LOT SETBACKS SHALL CONFORM TO R-LT AND R-D ZONE REGULATIONS

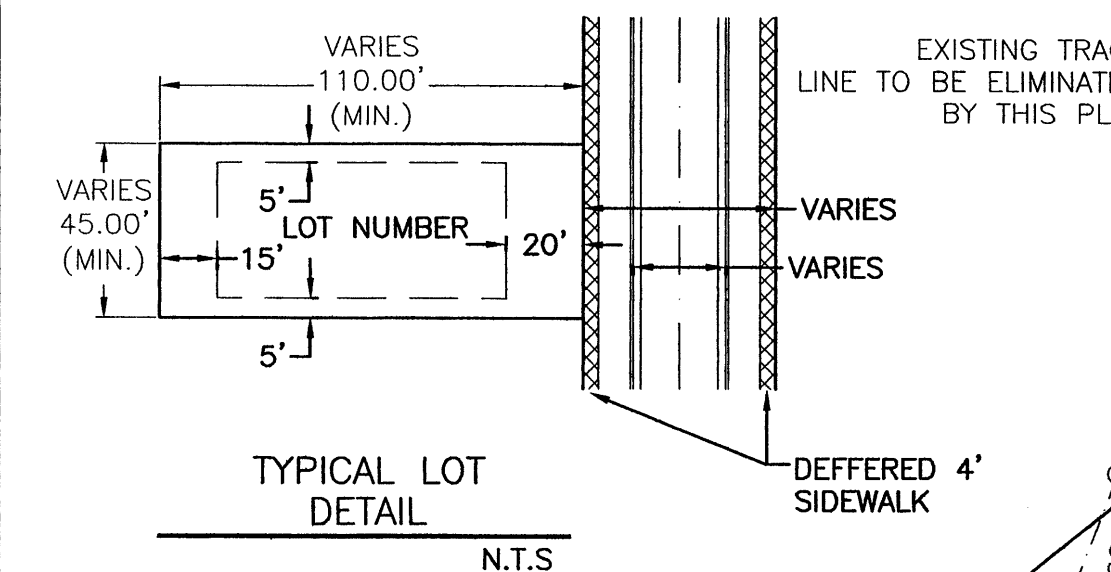
8. ALL LOTS ARE P-1 DESIGNATION

OWNER
Fred Ambrogi VP 8-25-06
FRED AMBROGI, VICE PRESIDENT, DEVELOPMENT DIVISION DATE
WESTLAND DEVELOPMENT COMPANY, INC.

SURVEY NOTES:
1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN
THUS (o) SHALL BE MARKED BY A #5 REBAR STAMPED "LS 9801"
2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED
AT DESIGNATED CENTERLINE PC'S, PT'S ANGLE POINTS AND
STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED
BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE,
CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 9801"
3. THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO
STATE PLANE COORDINATE SYSTEM AS SHOWN.
4. BASIS OF BEARING IS THE BEARING BETWEEN ALBUQUERQUE
CONTROL STATIONS "3-H10 AND BH-41".
5. DISTANCES SHALL BE GROUND DISTANCES.
6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF
TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS
TO ALLOW THE USE OF CENTERLINE MONUMENTATION

APPROVED: *[Signature]* 8/25/06
CITY SURVEYOR DATE

DEFERRED 4' SIDEWALK
FND. REBAR W/ CAP LS # 11993



SHADED PORTION OF
EXISTING TEMPORARY
DRAINAGE EASEMENT
FILED 7/09/1996
BK. 96C, PG. 302
TO BE VACATED BY
VACATION ACTION AND
FINAL PLAT

SHADED PORTION OF
EXISTING TEMPORARY
DRAINAGE EASEMENT
FILED 3/23/1993
DOC. NO. 093-028757
BK. 93-7, PGS. 2236-2243
TO BE VACATED BY VACATION
ACTION AND FINAL PLAT

EXISTING 50.00'
PUBLIC WATERLINE EASEMENT
FILED 7/9/1996
BK. 96C, PAGE 392

20' PUBLIC DRAINAGE
EASEMENT GRANTED BY
THIS PLAT

FND. REBAR
W/ CAP
LS # 847B

20' PUBLIC WATERLINE AND
PEDESTRIAN EASEMENT GRANTED
TO C.O.A. BY THIS PLAT

20' PUBLIC DRAINAGE
EASEMENT GRANTED TO
C.O.A. BY THIS PLAT

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20' PUBLIC WATERLINE AND
PEDESTRIAN EASEMENT GRANTED
TO C.O.A. BY THIS PLAT

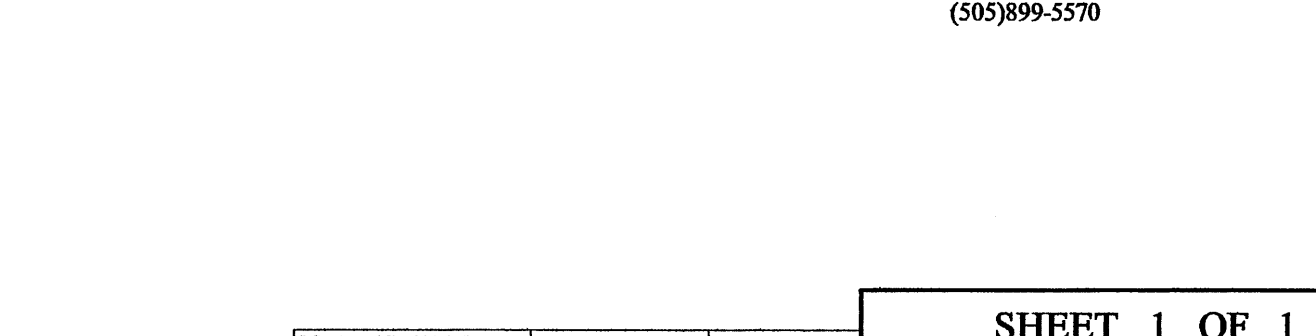
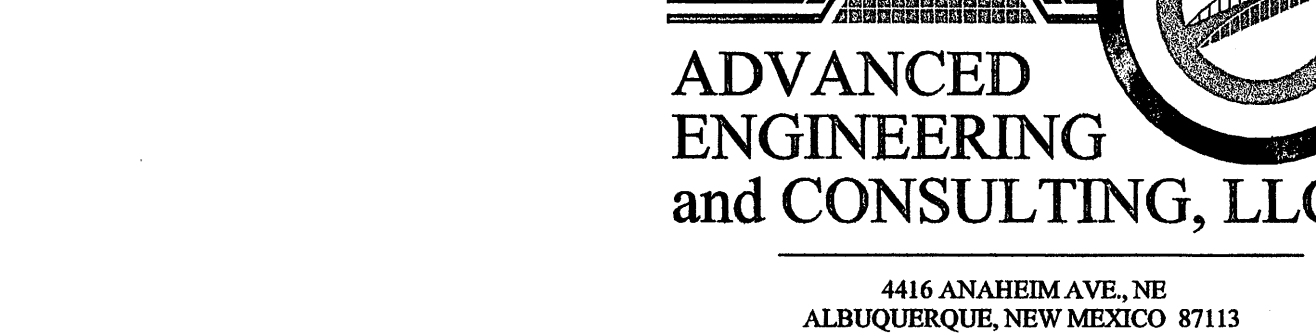
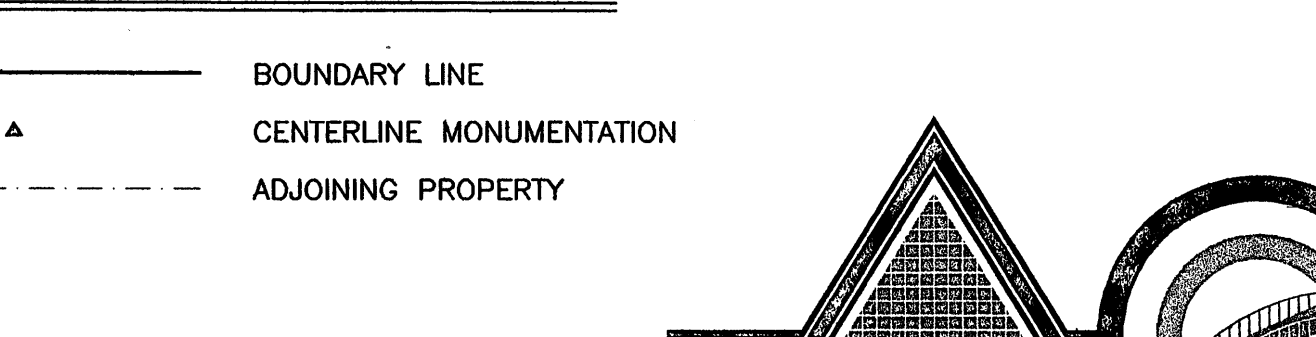
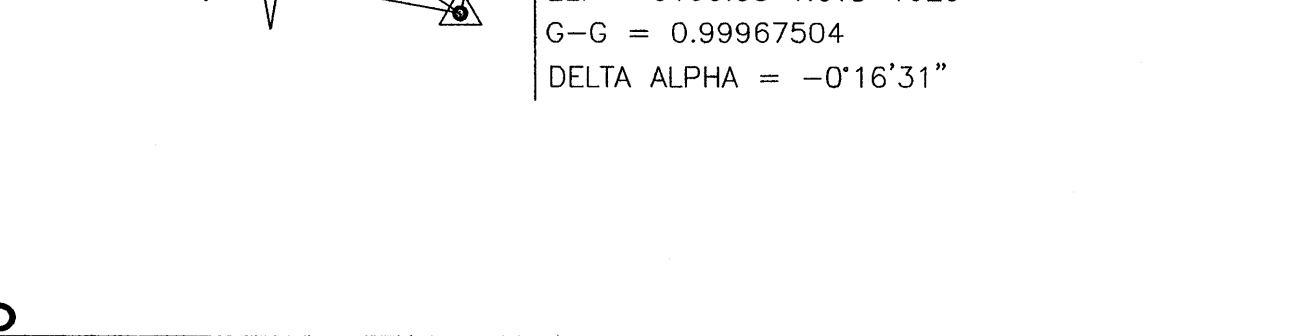
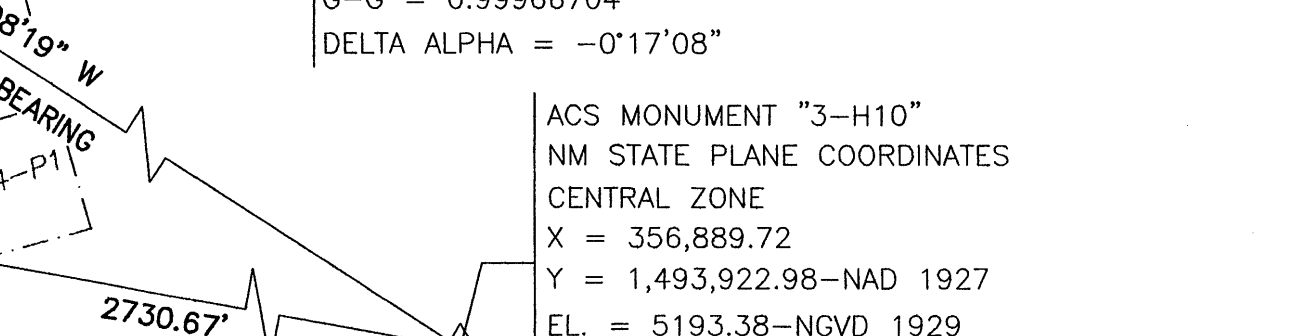
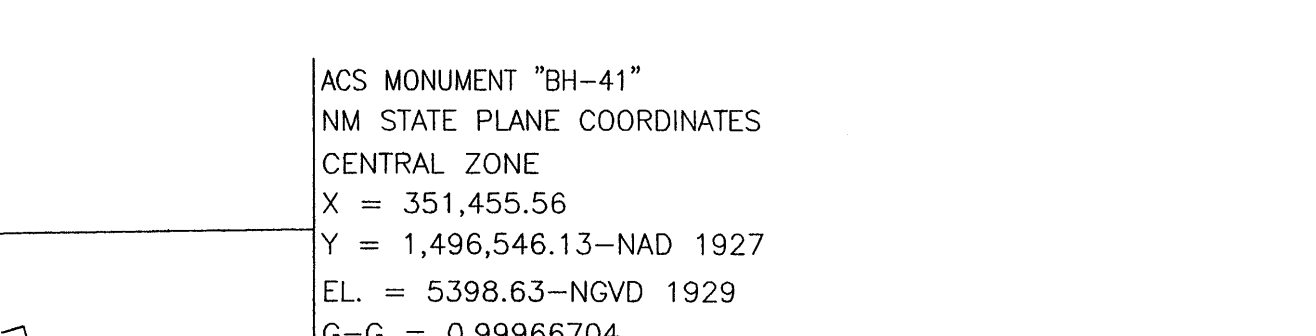
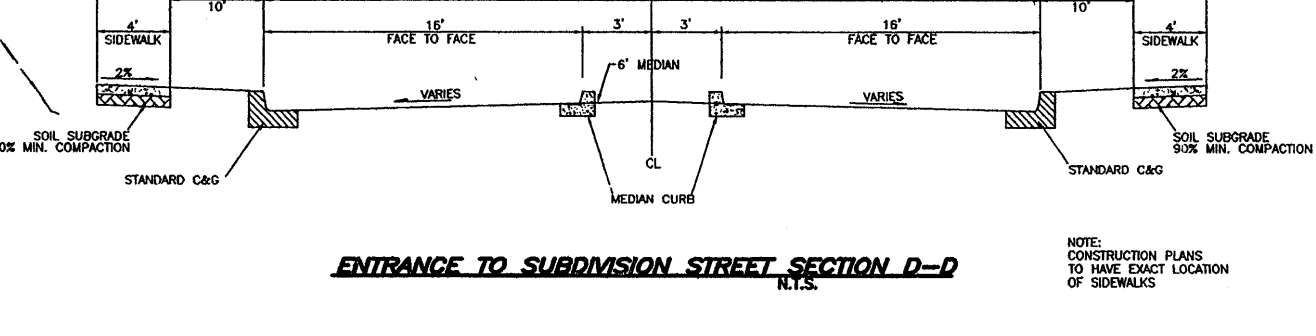
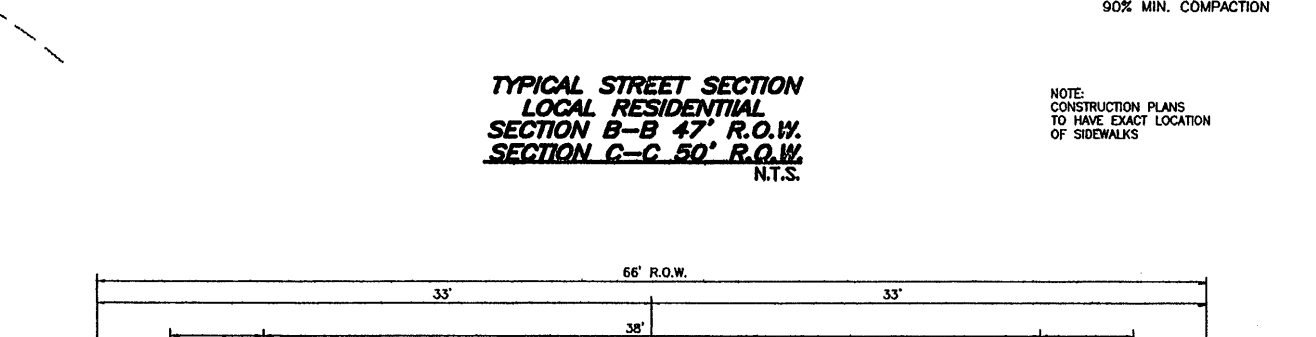
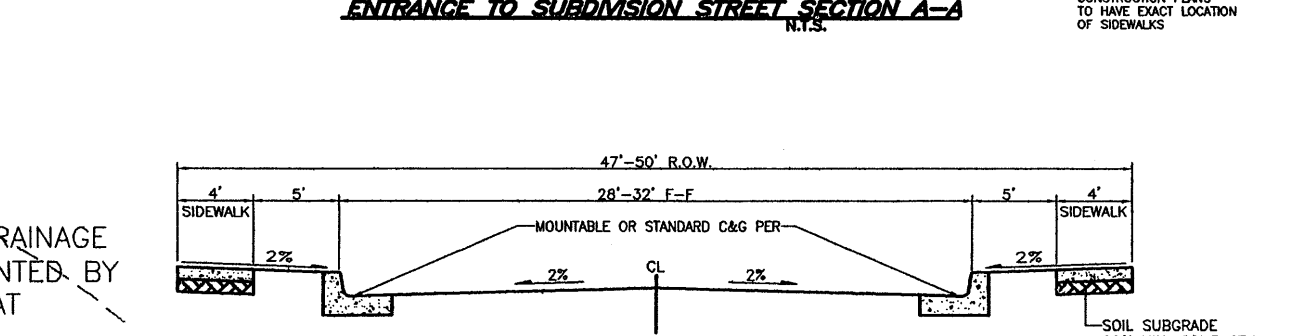
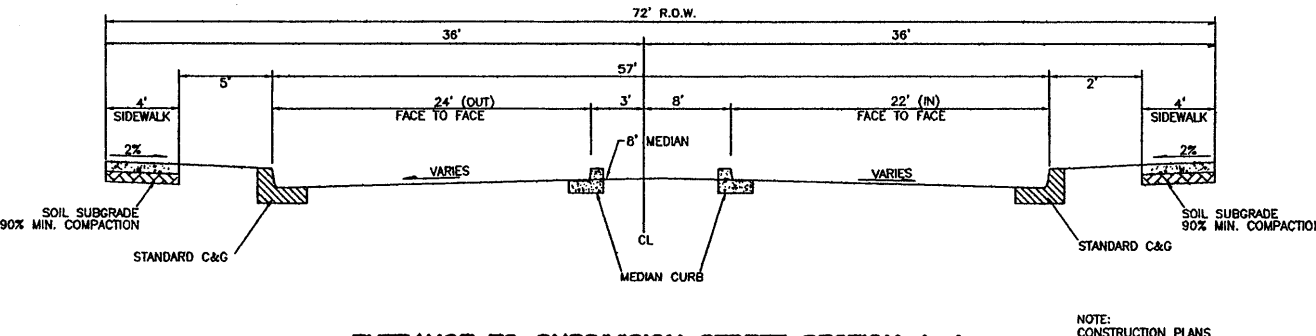
20' PUBLIC WATERLINE AND
PEDESTRIAN EASEMENT GRANTED
TO C.O.A. BY THIS PLAT

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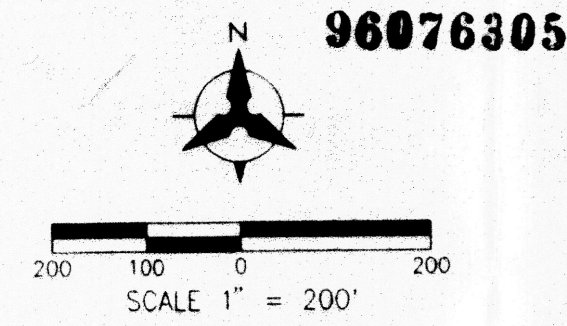
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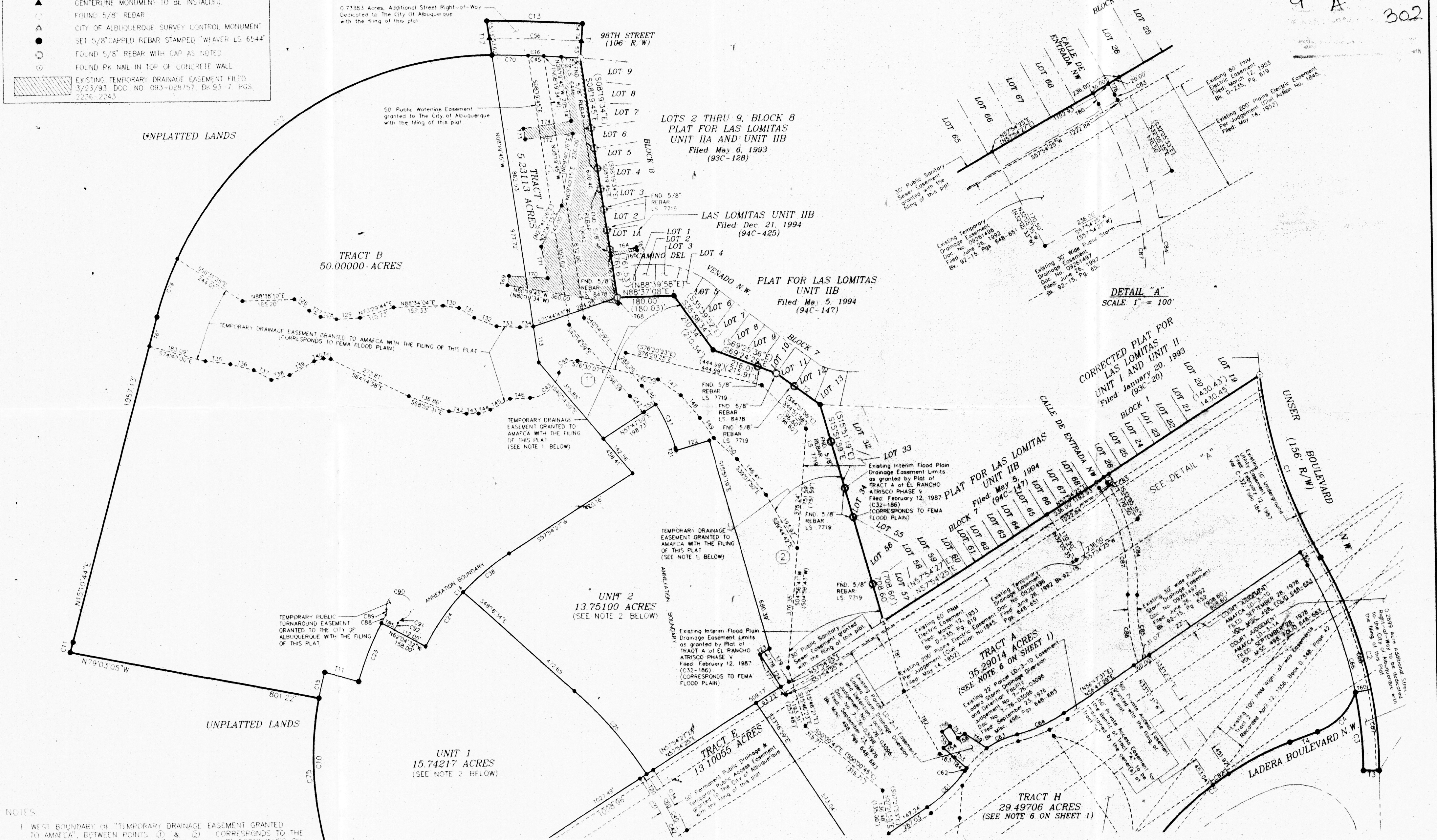


LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	MONUMENT DE LINE
	NEW EASEMENT LINE
	EXISTING EASEMENT LINE
	ANNEXATION BOUNDARY LINE
	CENTERLINE MONUMENT TO BE INSTALLED
	FOUND 5/8" REBAR
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
	SET 5/8" CAPPED REBAR STAMPED "WEAVER LS 6544"
	FOUND 5/8" REBAR WITH CAP AS NOTED
	FOUND PK. NAIL IN TOP OF CONCRETE WALL
	EXISTING TEMPORARY DRAINAGE EASEMENT FILED 3/23/93, DOC. NO. 093-028757, BK 93-7, PGS. 2236-2243



96076305
**PLAT OF
 THE CROSSING**
 ALBUQUERQUE, NEW MEXICO
 APRIL, 1996

930 A
 930
 302



DETAIL "A"
 SCALE 1" = 100'

NOTES:

1. WEST BOUNDARY OF TEMPORARY DRAINAGE EASEMENT GRANTED TO AMAFCA, BETWEEN POINTS (1) & (2) CORRESPONDS TO THE "MAXIMUM LATERAL EROSION LIMIT (PRUDENT LINE)" ESTABLISHED BY THE LAS LOMITAS UNIT IIB MIREHAVEN ARROYO SCOURWALL ANALYSIS & DESIGN, PREPARED BY AVID ENGINEERING, OCT. 1994.

2. A TEMPORARY BLANKET PUBLIC WATER LINE EASEMENT IS GRANTED TO THE CITY OF ALBUQUERQUE WITHIN "UNIT 1" AND "UNIT 2" WITH THE FILING OF THIS BULK LAND PLAT, SAID EASEMENT SHALL BE FURTHER DEFINED AND CONTAINED WITHIN FUTURE DEDICATED PUBLIC RIGHTS-OF-WAY AND/OR PERMANENT PUBLIC WATER LINE EASEMENT(S) UPON THE RECORDING OF THE FINAL SUBDIVISION PLATS FOR UNITS 1 AND 2, RESPECTIVELY, AT WHICH TIME THE TEMPORARY BLANKET EASEMENT SHALL AUTOMATICALLY TERMINATE AS TO EACH RESPECTIVE UNIT.

BOHANNAN-HUSTON INC.
 ENGINEERS • PLANNERS • PHOTOGRAMMETRISTS • SURVEYORS • LANDSCAPE ARCHITECTS
 ALBUQUERQUE LAS CRUCES SANTA FE

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	33.59	1608.00	1°11'49"	16.80	33.59	N15°46'38"E
C2	1444.55	1100.00	75°14'32"	847.76	1342.96	S52°48'00"W
C3	284.88	4546.13	3°35'25"	142.49	284.83	N87°45'22"W
C4	190.45	762.00	14°19'11"	95.72	189.95	S50°45'30"W
C5	208.45	762.00	15°40'25"	104.88	207.80	S35°45'41"W
C6	197.52	920.00	12°18'04"	99.14	197.14	S21°46'25"W
C7	84.19	1032.00	4°40'27"	42.12	84.17	S13°17'33"W

LOT CALCULATIONS:
 60' X 110' LOTS=147 LOTS
 45' X 110' LOTS= 84 LOTS
 TOTAL=231 LOTS



UNIT IIB
 LAS LOMITAS
 FILED ON 05/28/94
 BOOK 2004C, PAGE 147

UNIT 3
 THE CROSSINGS
 FILED ON 07/28/04
 BOOK 2004C, PAGE 44A

UNIT 2-B
 THE CROSSINGS
 FILED ON 11/18/03
 BOOK 2003C, PAGE 86

UNIT 1-A
 THE CROSSINGS
 FILED ON 12/3/02
 BOOK 2002C, PAGE 380

**ADVANCED
 ENGINEERING
 and CONSULTING, LLC**

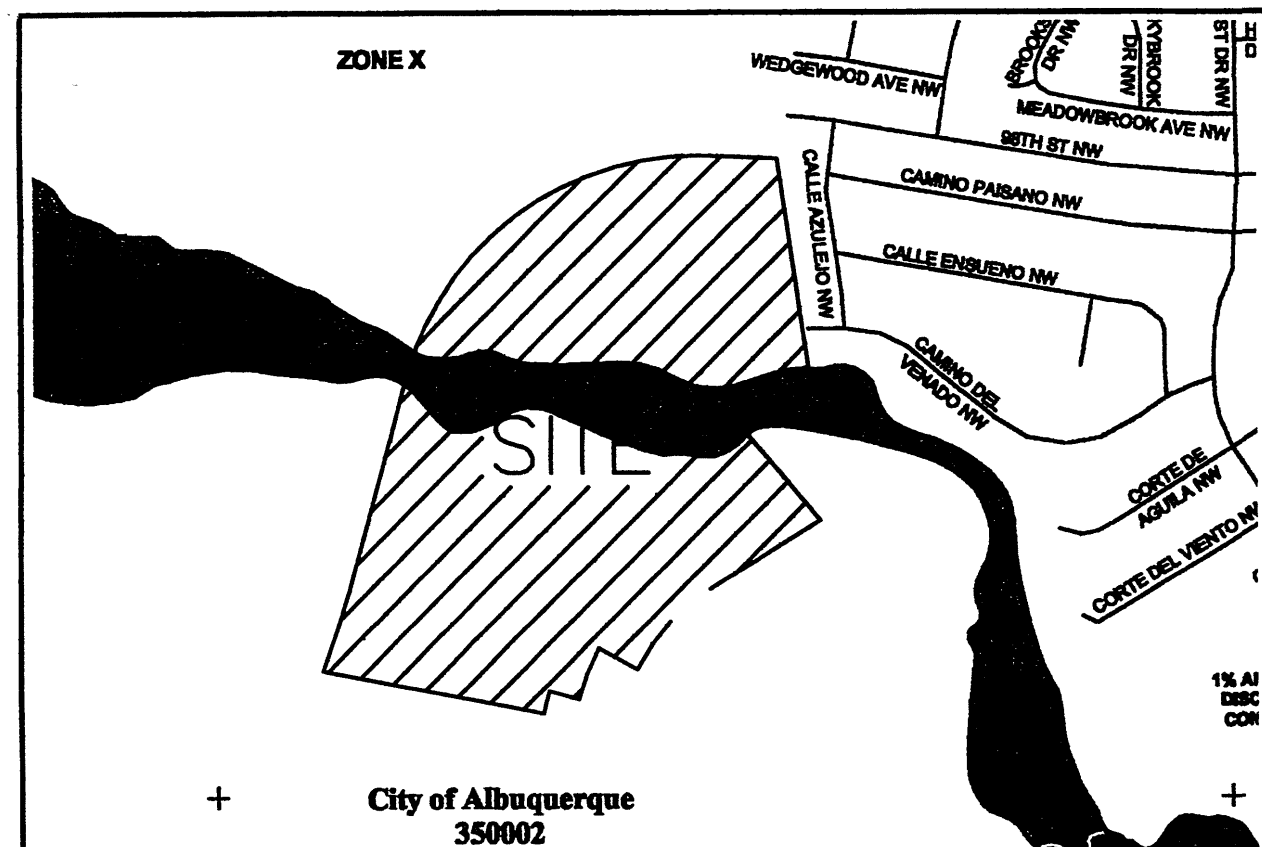
4416 ANAHEIM AVE. NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)899-5570

GRAPHIC SCALE

SCALE: 1"=100'

STORM CLOUD SUBDIVISION PHASE II SKETCH PLAT			
DRAWING: 200639-BASE.DWG	DRAWN BY: JT	DATE: 6-20-06	SHEET # 1 OF 1

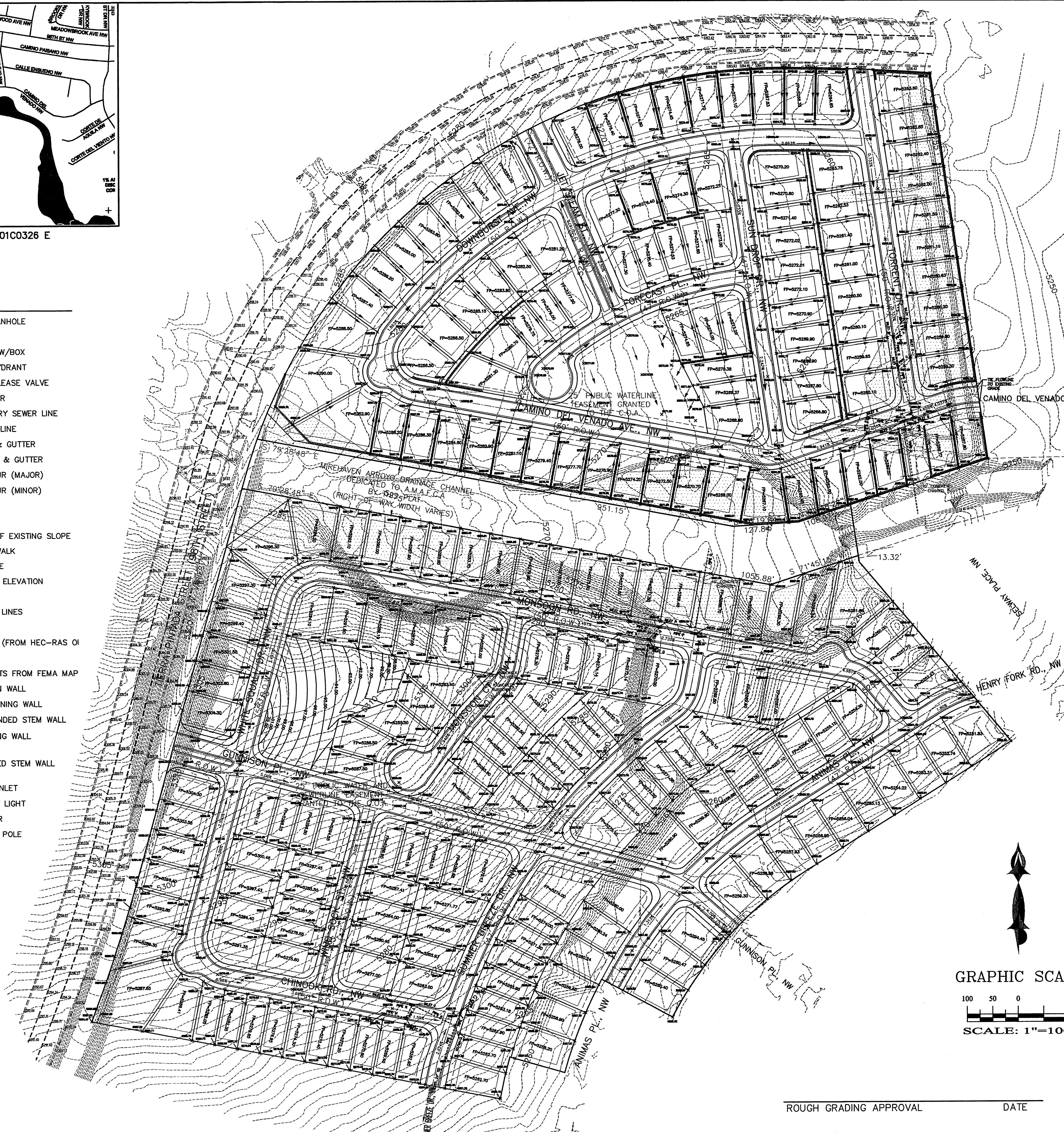
LAST REVISION: 06-20-06



FIRM MAP: 35001C0326 E

LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EX. 8" SAS
- EX. 16" WL
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- 5100- EXISTING CONTOUR (MAJOR)
- 5102- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE
- 100-YEAR WSEL (FROM HEC-RAS) OR EXISTING FENCE
- FLOODPLAIN LIMITS FROM FEMA MAP
- EXISTING GARDEN WALL
- PROPOSED RETAINING WALL
- PROPOSED EXTENDED STEM WALL
- TOP OF RETAINING WALL
- TOP OF FOOTING
- TOP OF EXTENDED STEM WALL
- TOP OF FOOTING
- EXISTING DROP INLET
- EXISTING STREET LIGHT
- EXISTING ANCHOR
- EXISTING POWER POLE



VICINITY MAP: H-9-Z

LEGAL DESCRIPTION:
 A REPLAT OF TRACTS B AND J THE CROSSINGS
 FILED: JULY 09, 1996 (BK. 96C-PG. 302) AND
 TRACT R STORMCLOUD SUBDIVISION UNIT 3.
 RECORDING INFORMATION PENDING.
 CONTAINING 55.2430 ACRES MORE OR LESS.

ZONED: SU2/R-LT AND R-D

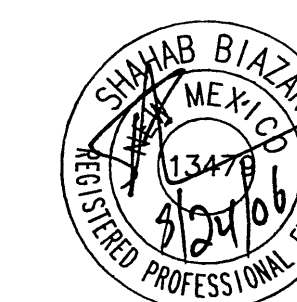
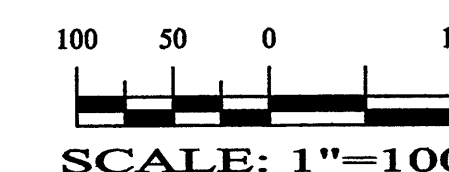
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

PIPE	SIZE (IN)	FLOW (CFS)
A	18"	7.00
B	18"	14.00
C	18"	5.45
D	24"	24.90
E	18"	6.60
F	18"	13.20
G	24"	24.98
H	30"	38.10
I	24"	26.98
J	24"	10.18
K	24"	16.70
L	18"	8.35
M	18"	5.35
N	18"	5.35
O	30"	40.88
P	24"	26.40
Q	18"	5.70
R	24"	15.00
S	18"	7.50

INLET	TYPE	FLOW (CFS)
A	SGL-A	7.00
B	SGL-A	7.00
C	SGL-C	5.45
D	SGL-C	5.45
E	SGL-A	6.60
F	SGL-A	6.60
G	SGL-A	24.98
H	DBL-A	67.00
I	DBL-A	10.18
J	SGL-A	3.00
K	SGL-A	3.00
L	SGL-C	5.35
M	SGL-C	5.35
N	DBL-A	14.48
O	SGL-A	5.70
P	SGL-A	5.70
Q	SGL-C	7.50
R	SGL-C	7.50

GRAPHIC SCALE



SHAHAB BIAZAR
 P.E. #13479

4416 ANAHEIM AVE. NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)899-5570

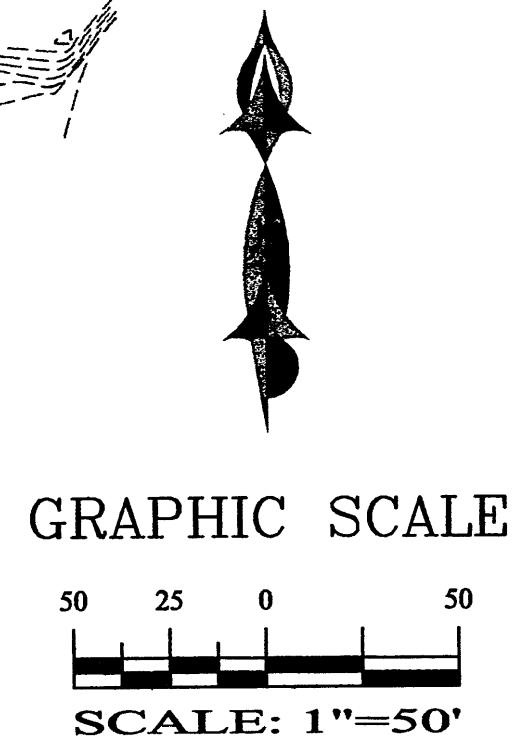
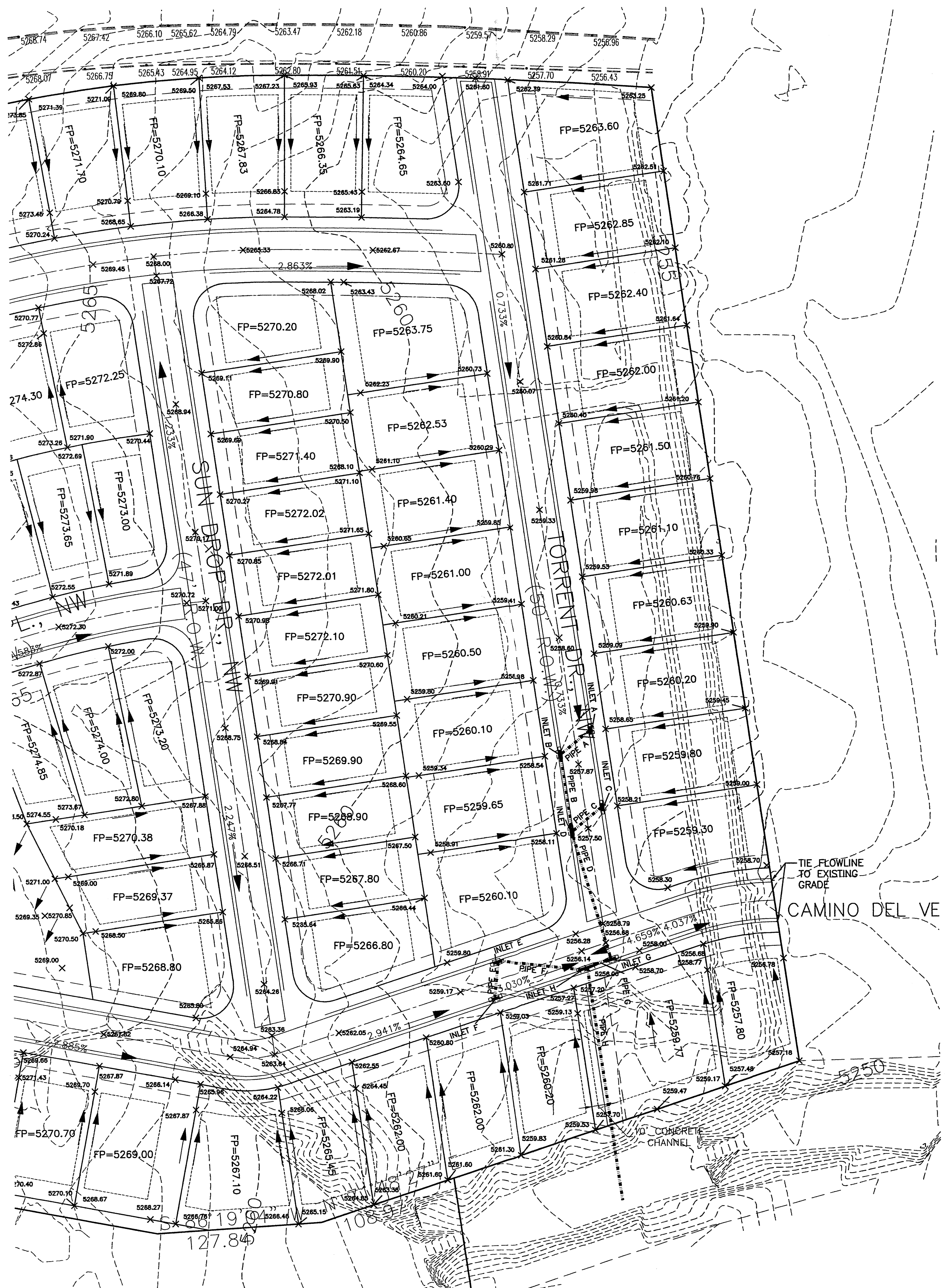
**STORMCLOUD SUBDIVISION UNITS 4 & 5
 GRADING AND DRAINAGE PLAN**

DRAWING: 200639-GD.DWG	DRAWN BY: SBB	DATE: 08-16-2006	SHEET # 3 OF 4
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ROUGH GRADING APPROVAL

DATE

LAST REVISION: 08-24-2006

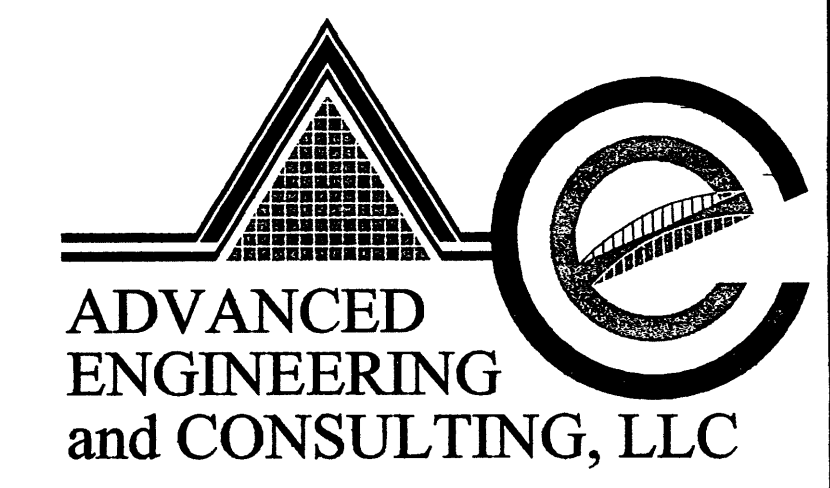
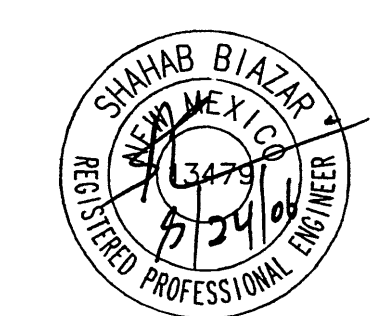
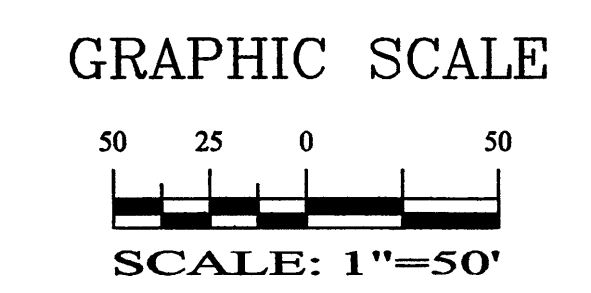
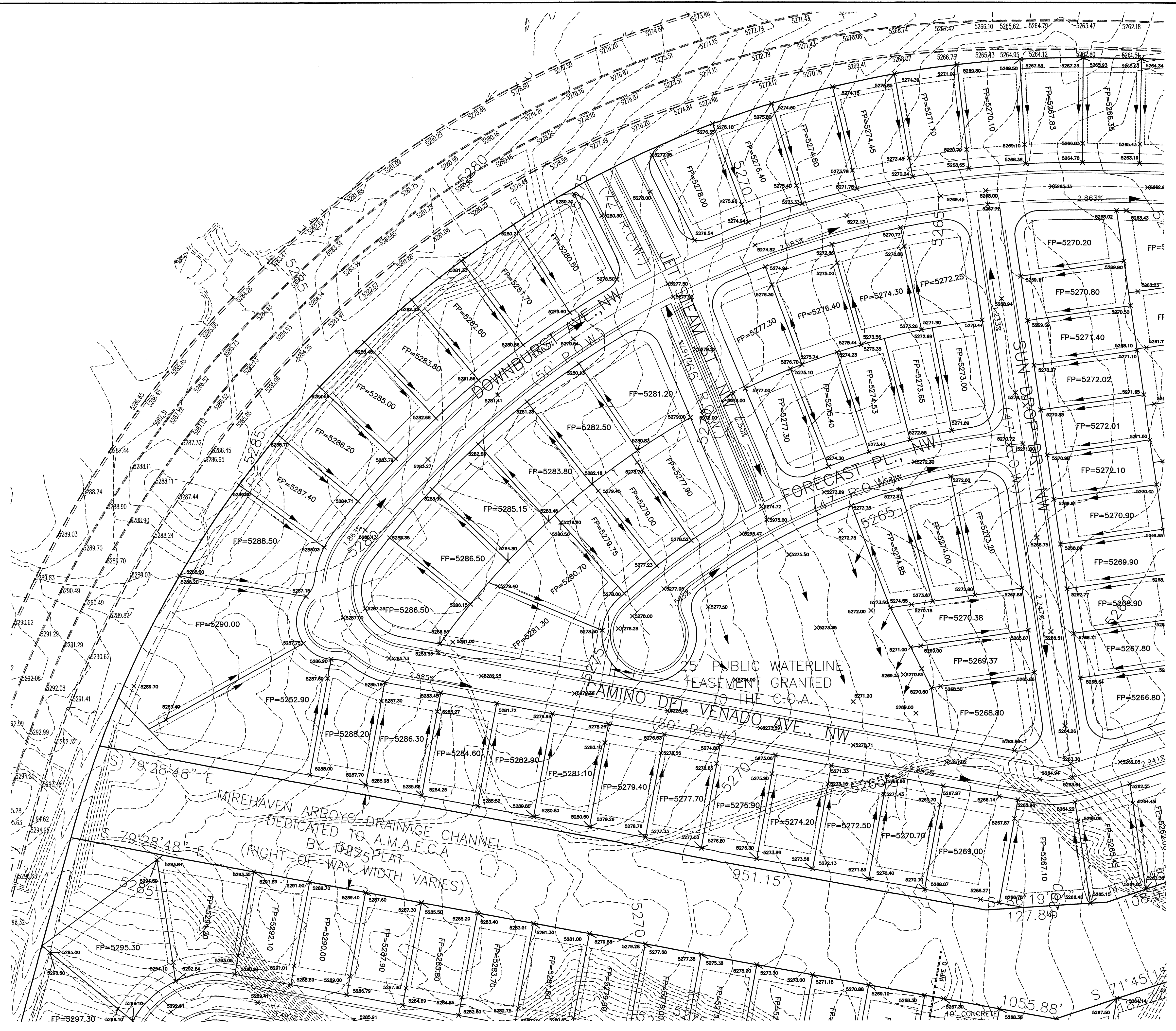


SHAHAB BIAZAR
REGISTERED PROFESSIONAL ENGINEER

**ADVANCED
ENGINEERING
and CONSULTING, LLC**

416 ANAHEIM AVE., NE ALBUQUERQUE, NEW MEXICO 87113 (505)899-5570			
STORMCLOUD SUBDIVISION UNITS 4 & 5 GRADING AND DRAINAGE PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
200639-GD.DWG	SBB	08-16-2006	3-A

LAST REVISION: 08-24-2006



SHAHAB BIAZAR
P.E. #13479

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ALBUQUERQUE, NEW MEXICO 87113

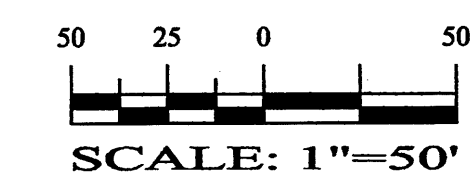
**STORMCLOUD SUBDIVISION UNITS 4 & 5
GRADING AND DRAINAGE PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
200639-GD.DWG	SBB	08-16-2006	3-B

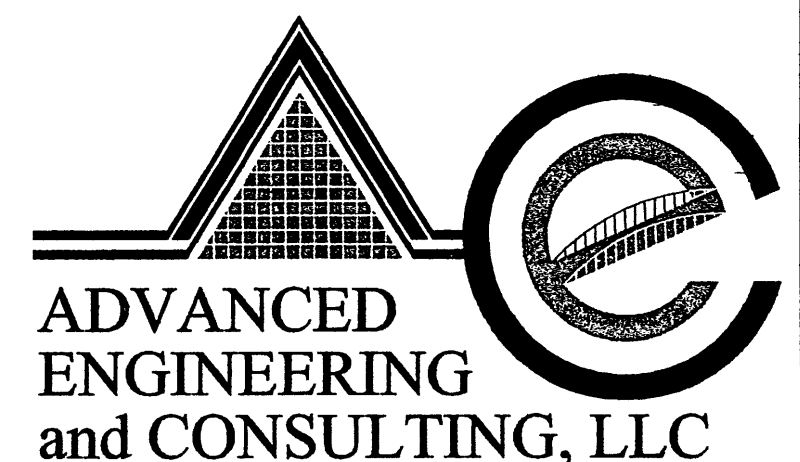
LAST REVISION: 08-24-2006



GRAPHIC SCALE



SCALE: 1"=50'



SHAHAB BIAZAR
P.E. #13479

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

**STORMCLOUD SUBDIVISION UNITS 4 & 5
GRADING AND DRAINAGE PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
200639-GD.DWG	SBB	08-16-2006	3-D

LAST REVISION: 08-24-2006