

PROPOSED HOTEL INDIAN SCHOOL AT 12TH ST. ALBUQUERQUE, NEW MEXICO

ADMINISTRATIVE AMENDMENT SITE PLAN FOR BUILDING PERMIT

ARCHITECTS PLANNERS

STUDIO SOUTHWEST
ARCHITECTS, INC.
2101 MOUNTAIN RD NW
ALBUQUERQUE, NM 87104
505-843-9639
CONTACT: BOB HEISER

CONSENSUS PLANNING
302 8th Street NW
ALBUQUERQUE, NM 87102
505-764-9801
CONTACT: JIM STROZIER

CIVIL AND STRUCTURAL ENGINEER

MARK GOODWIN + ASSOC.
-
ALBUQUERQUE, NM 87110
505-828-2200
CONTACT: GREG KRINICK

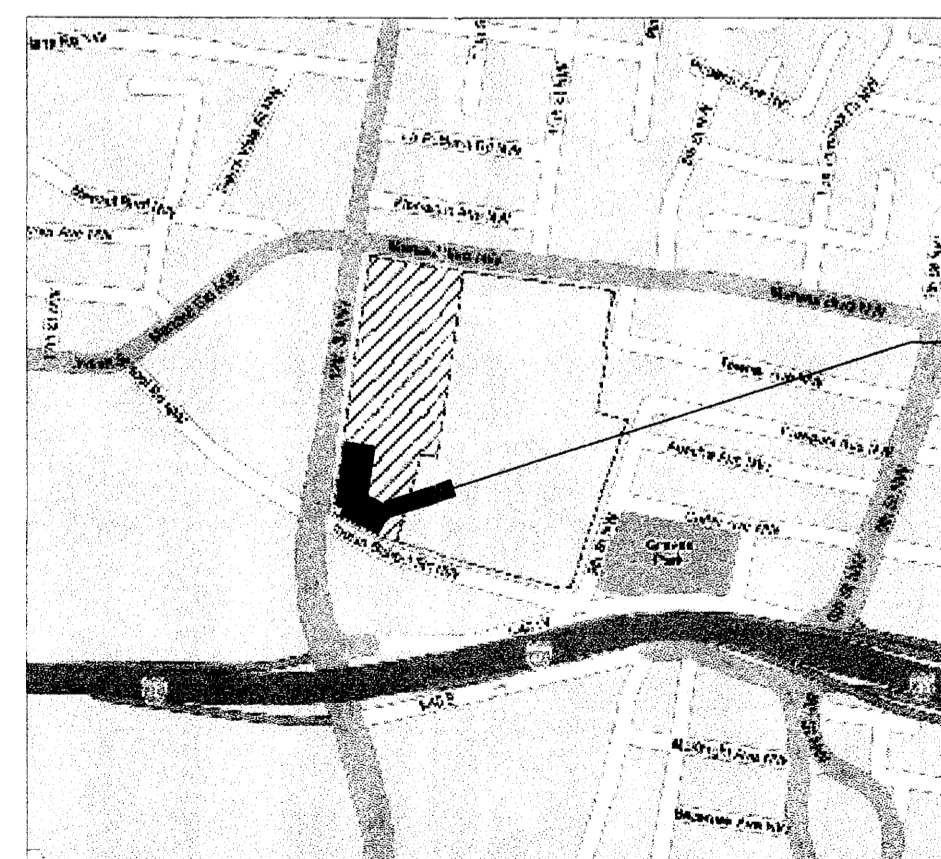
LANDSCAPE ARCHITECT

HILLTOP LANDSCAPE ARCHITECTS +
CONTRACTORS
7909 EDITH BLVD NE
ALBUQUERQUE, NM 87113
505-898-9690
CONTACT: CARRIE JOHNSON

DRAWINGS

- G-001 TITLE SHEET
- S-01 ENLARGED SITE PLAN
- S-02 OVERALL SITE PLAN
- AS401 ARCHITECTURAL SITE DETAILS
- AS501 ARCHITECTURAL SITE DETAILS
- A-14 BUILDING ELEVATIONS
- A-15 BUILDING ELEVATIONS
- C-101 CONCEPTUAL GRADING AND DRAINAGE PLAN
- C-102 CONCEPTUAL UTILITY PLAN
- L-1 LANDSCAPING PLAN

VICINITY MAP



0 4000' 8000' (NOTE: SCALE APPROXIMATE)



ZONE ATLAS MAP: H-13

1005033
HOTEL - AA#1



STUDIO SOUTHWEST ARCHITECTS, INC.
2101 Mountain Rd. NW, Albuquerque, NM 87104
505.843.9639 fax 505.843.9683
Web Site: www.studioswarch.com
E-Mail: mail@studioswarch.com

© 2006, Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of Federal and international law. The information contained on this document is the intellectual property of Studio Southwest, Inc. and all rights thereto are reserved. For exceptions, refer to the Owner-Architect Agreement.

CONSULTANTS

Architect Engineer

**ADMIN.
AMENDMENT**

PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC
MASTER PLAN

△	2/16/07	ADMIN. AMEND. REVS.

MARK	DATE	DESCRIPTION

ISSUE:	ADMINISTRATIVE AMENDMENT
PROJECT NO:	0510
CAD DWG FILE:	0510-COVER.DWG
DRAWN BY:	LJ
CHECKED BY:	MFR
DATE:	2/16/07

SHEET TITLE

TITLE SHEET

G-001

sheet of sheets

GENERAL NOTES

- A. SEE SHEET AS-401 & AS-501 FOR ARCHITECTURAL SITE DETAILS
- B. ALL PEDESTRIAN SIDEWALKS WILL BE CONCRETE- MINIMUM WIDTH = 6'-0" (SEE PLAN)
- C. ALL PEDESTRIAN CROSSWALKS WILL BE COLORED, TEXTURED AND PATTERNED CONCRETE-MINIMUM WIDTH = 6'-0" (SEE PLAN)
- D. ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE
- E. THE MAXIMUM INDIVIDUAL LETTER SIZE OF ALL BUILDING MOUNTED SIGNS SHALL BE 5'-0" HIGH. LOGO DESIGN SIGNS SHALL NOT EXCEED 5'-0" IN HEIGHT OR WIDTH.
- F. PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE OF PUBLIC PLAZA SPACES
- G. TRASH ENCLOSURE WILL BE COMPATIBLE WITH ADJACENT BUILDING.
- H. IDENTIFY ALL SMALL CAR SPACES WITH 'SMALL CAR' PAINTED ON THE PAVEMENT.



STUDIO SOUTHWEST ARCHITECTS, INC.
 2101 Mountain Rd. NW, Albuquerque, NM 87104
 505.843.9639 fax 505.843.9683
 Web Site: www.studioswarch.com
 E-Mail: mail@studioswarch.com

©2008, Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of Federal and international law. The information contained on this document is the intellectual property of Studio Southwest, Inc. and all rights thereto are Reserved. For exceptions, refer to the Owner-Architect Agreement.

CONSULTANTS

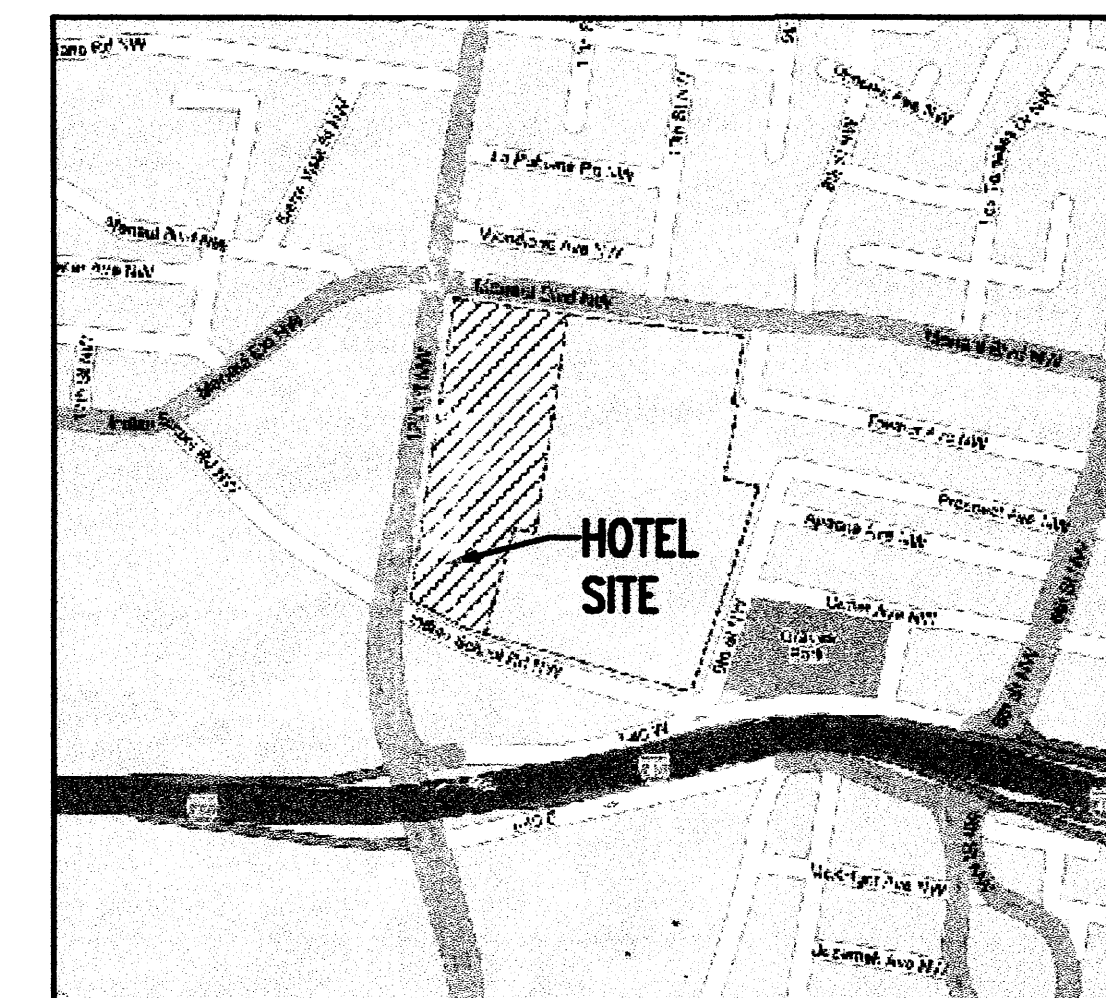
Architect Engineer

ADMIN. AMENDMENT

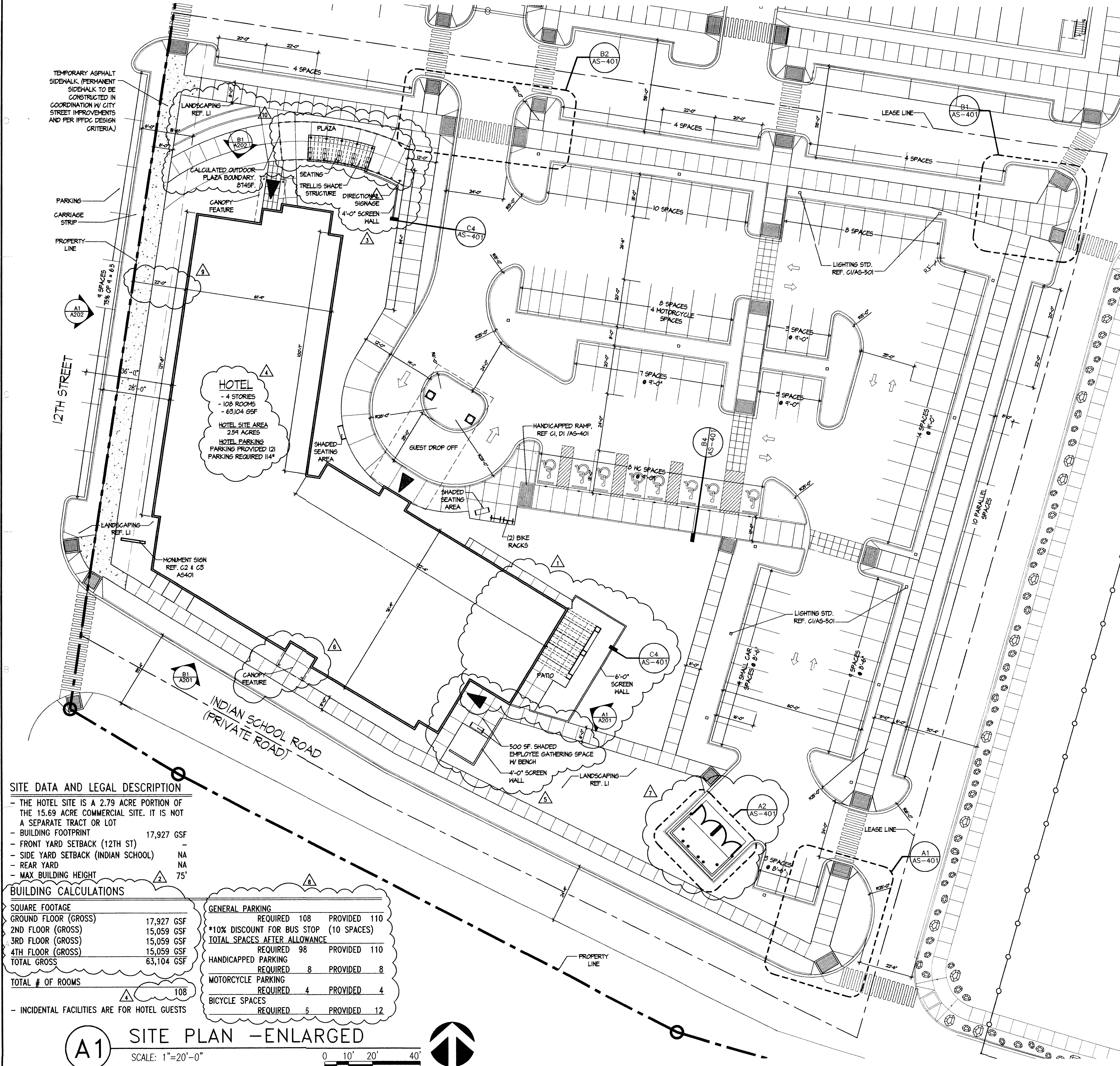
PROPOSED HOTEL

INDIAN SCHOOL BLVD
 ALBUQUERQUE, NM

IPFDC MASTER PLAN



VICINITY MAP
 0 1000' 2000'
 (NOTE: SCALE APPROXIMATE)



SITE DATA AND LEGAL DESCRIPTION

- THE HOTEL SITE IS A 2.79 ACRE PORTION OF THE 15.69 ACRE COMMERCIAL SITE. IT IS NOT A SEPARATE TRACT OR LOT
- BUILDING FOOTPRINT 17,927 GSF
- FRONT YARD SETBACK (12TH ST) -
- SIDE YARD SETBACK (INDIAN SCHOOL) NA
- REAR YARD NA
- MAX BUILDING HEIGHT 75'

BUILDING CALCULATIONS

SQUARE FOOTAGE	
GROUND FLOOR (GROSS)	17,927 GSF
2ND FLOOR (GROSS)	15,059 GSF
3RD FLOOR (GROSS)	15,059 GSF
4TH FLOOR (GROSS)	15,059 GSF
TOTAL GROSS	63,104 GSF

TOTAL # OF ROOMS 108

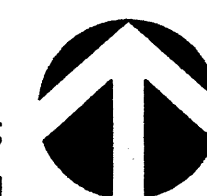
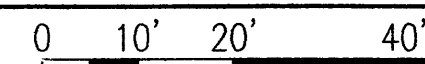
- INCIDENTAL FACILITIES ARE FOR HOTEL GUESTS

GENERAL PARKING

REQUIRED 108	PROVIDED 110
*10% DISCOUNT FOR BUS STOP (10 SPACES)	
TOTAL SPACES AFTER ALLOWANCE	100
REQUIRED 98	PROVIDED 110
HANDICAPPED PARKING	8
REQUIRED 8	PROVIDED 8
MOTORCYCLE PARKING	4
REQUIRED 4	PROVIDED 4
BICYCLE SPACES	5
REQUIRED 5	PROVIDED 12

A1 SITE PLAN - ENLARGED

SCALE: 1"=20'-0"



DBS ADMINISTRATIVE
 SITE PLAN AMENDMENT
 PROJECT NO. 1005233
 APPLICATION NO. 2008-00123
 APPROVED BY: [Signature]
 PLANNING DIRECTOR
 DATE: 02/16/07

△	2/16/07	ADMIN. AMEND. REVS.
---	---------	---------------------

MARK	DATE	DESCRIPTION
ISSUE:		ADMINISTRATIVE AMENDMENT
PROJECT NO:		0510
CAD DWG FILE:		0510_H_S-01
DRAWN BY:		CW
CHECKED BY:		BH
DATE:		2/16/07

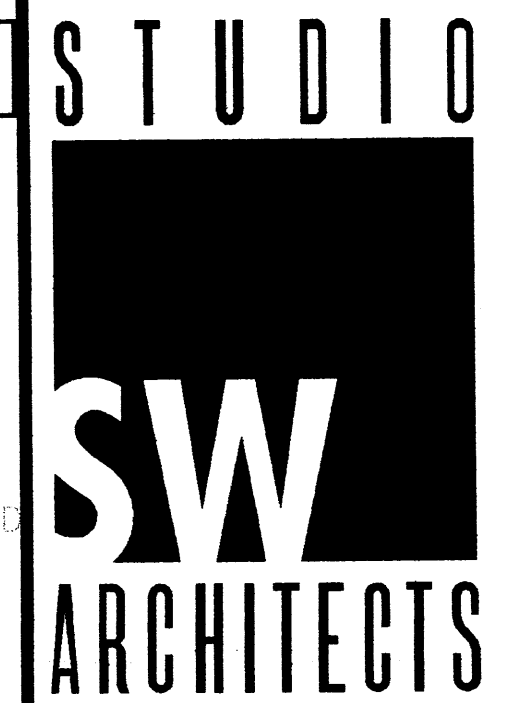
SHEET TITLE

SITE PLAN
 FOR BUILDING PERMIT

S-01
 sheet of sheets

GENERAL NOTES

- A. SEE SHEET AS-401 & AS-501 FOR ARCHITECTURAL SITE DETAILS
- B. ALL PEDESTRIAN SIDEWALKS WILL BE CONCRETE- MINIMUM WIDTH = 6'-0" (SEE PLAN)
- C. ALL PEDESTRIAN CROSSWALKS WILL BE COLORED, TEXTURED AND PATTERNED CONCRETE-MINIMUM WIDTH = 6'-0" (SEE PLAN)
- D. ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE
- E. THE MAXIMUM INDIVIDUAL LETTER SIZE OF ALL BUILDING MOUNTED SIGNS SHALL BE 5'-0" HIGH. LOGO DESIGN SIGNS SHALL NOT EXCEED 5'-0" IN HEIGHT OR WIDTH.
- F. PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE OF PUBLIC PLAZA SPACES
- G. TRASH ENCLOSURE WILL BE COMPATIBLE WITH ADJACENT BUILDING.
- H. IDENTIFY ALL SMALL CAR SPACES WITH 'SMALL CAR' PAINTED ON THE PAVEMENT.



STUDIO SOUTHWEST ARCHITECTS, INC.
 2101 Mountain Rd. NW, Albuquerque, NM 87104
 505.843.9639 fax 505.843.9683
 Web Site: www.studioswarch.com
 E-Mail: mail@studioswarch.com

© 2006, Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of Federal and International law. The information contained on this document is the intellectual property of Studio Southwest, Inc. and all rights thereto are reserved. For exceptions, refer to the Owner-Architect Agreement.

CONSULTANTS

Architect Engineer

ADMIN. AMENDMENT

PROPOSED HOTEL

INDIAN SCHOOL BLVD
 ALBUQUERQUE, NM

IPFDC MASTER PLAN

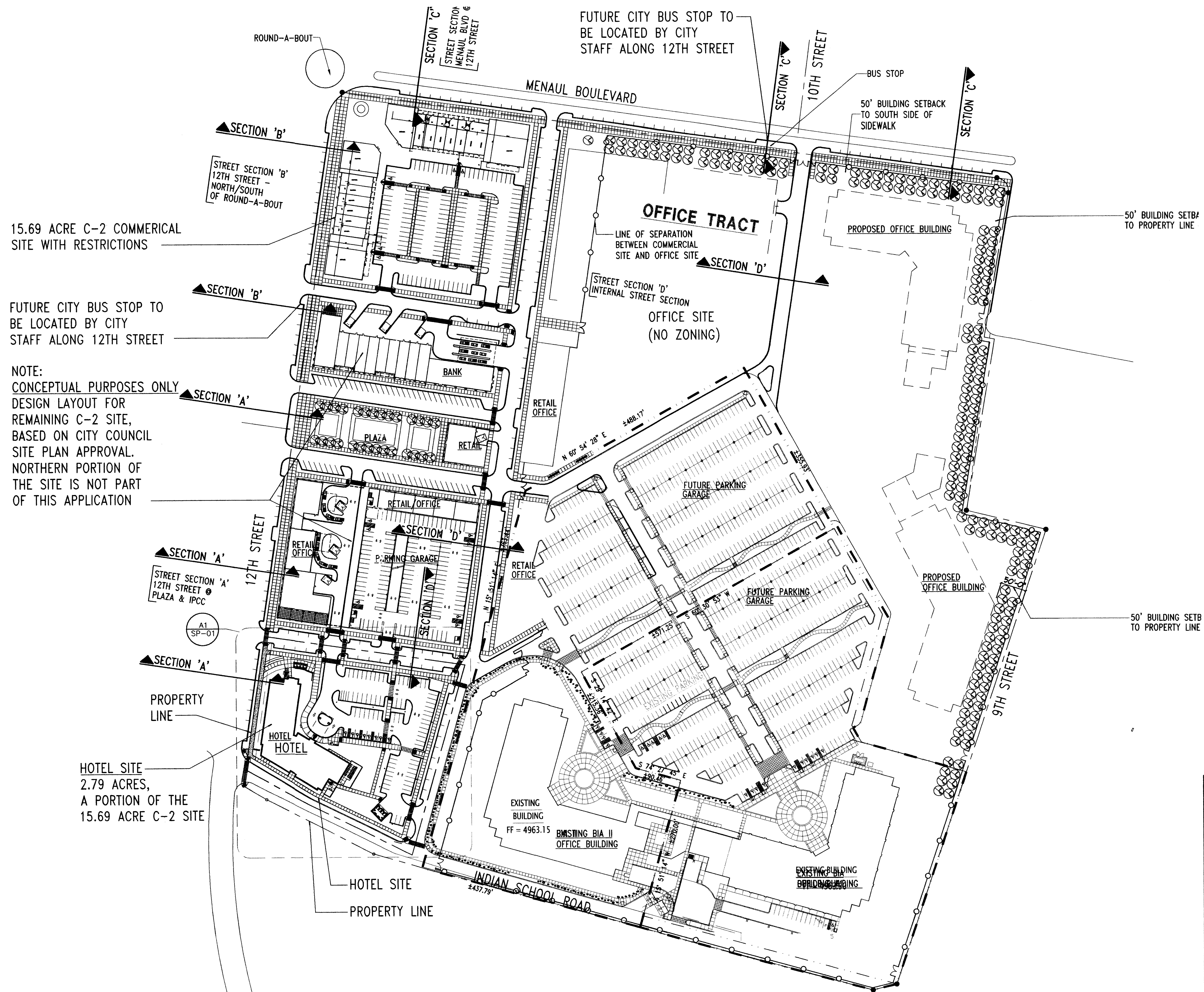
△	2-16-07	ADMIN. AMEND. REVS.
---	---------	---------------------

MARK	DATE	DESCRIPTION
ISSUE:		ADMINISTRATIVE AMENDMENT
PROJECT NO:	0510	
CAD DWG FILE:		
DRAWN BY:	CW, LJ	
CHECKED BY:	BH	
DATE:	2-16-07	

SHEET TITLE

SITE PLAN OVERALL

S-02
 sheet of sheets



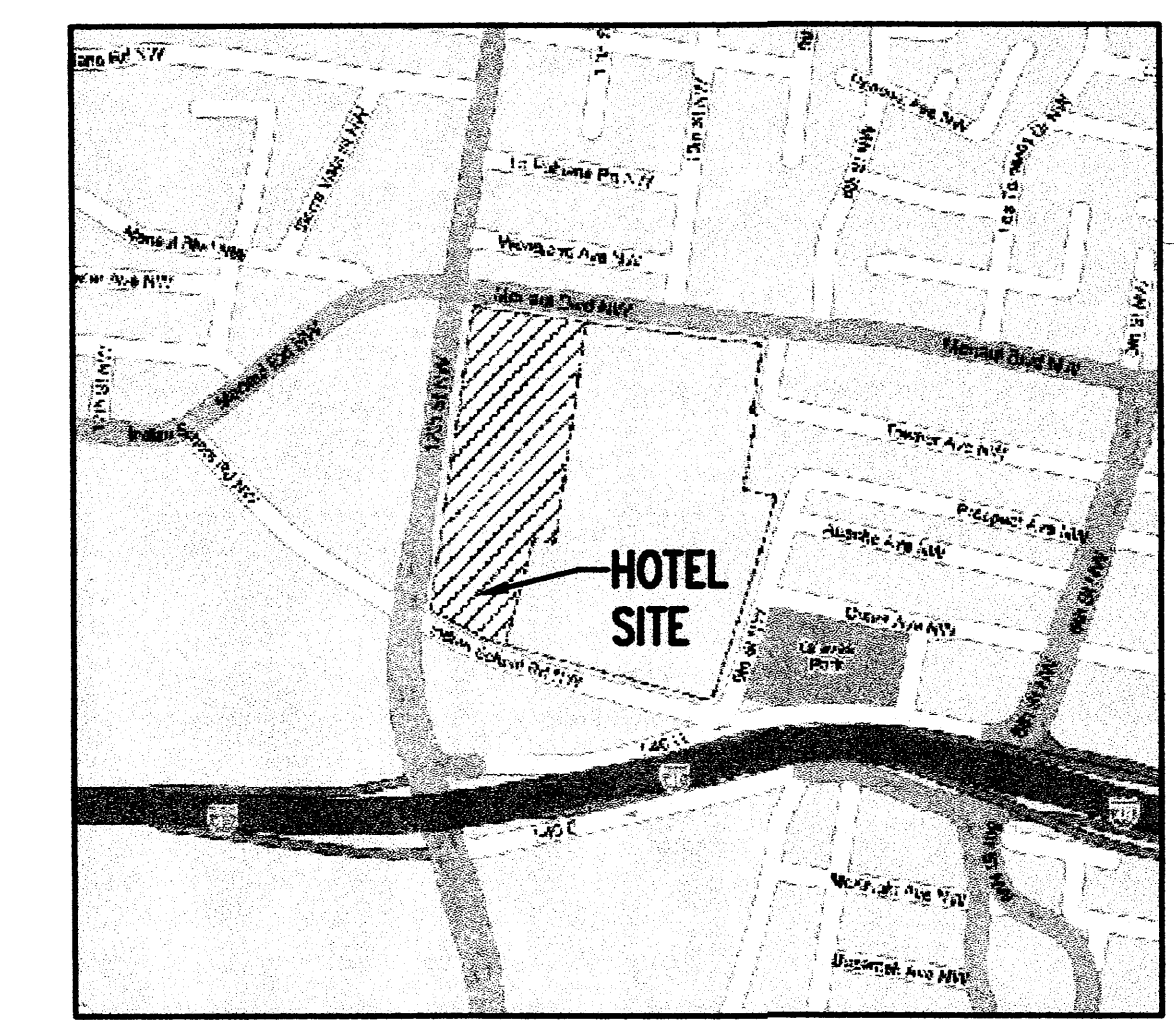
15.69 ACRE C-2 COMMERCIAL SITE WITH RESTRICTIONS

FUTURE CITY BUS STOP TO BE LOCATED BY CITY STAFF ALONG 12TH STREET

NOTE:
 CONCEPTUAL PURPOSES ONLY
 DESIGN LAYOUT FOR REMAINING C-2 SITE, BASED ON CITY COUNCIL SITE PLAN APPROVAL. NORTHERN PORTION OF THE SITE IS NOT PART OF THIS APPLICATION

HOTEL SITE
 2.79 ACRES,
 A PORTION OF THE
 15.69 ACRE C-2 SITE

A1 **SITE PLAN - OVERALL**
 SCALE: 1"=100'-0"



VICINITY MAP
 (NOTE: SCALE APPROXIMATE)

CONSULTANTS

Architect	Engineer
-----------	----------

ADMIN. AMENDMENT

PROPOSED HOTEL

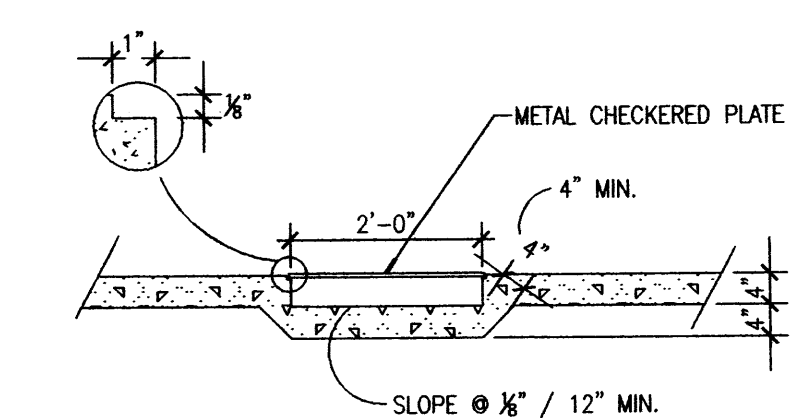
INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC
MASTER PLAN

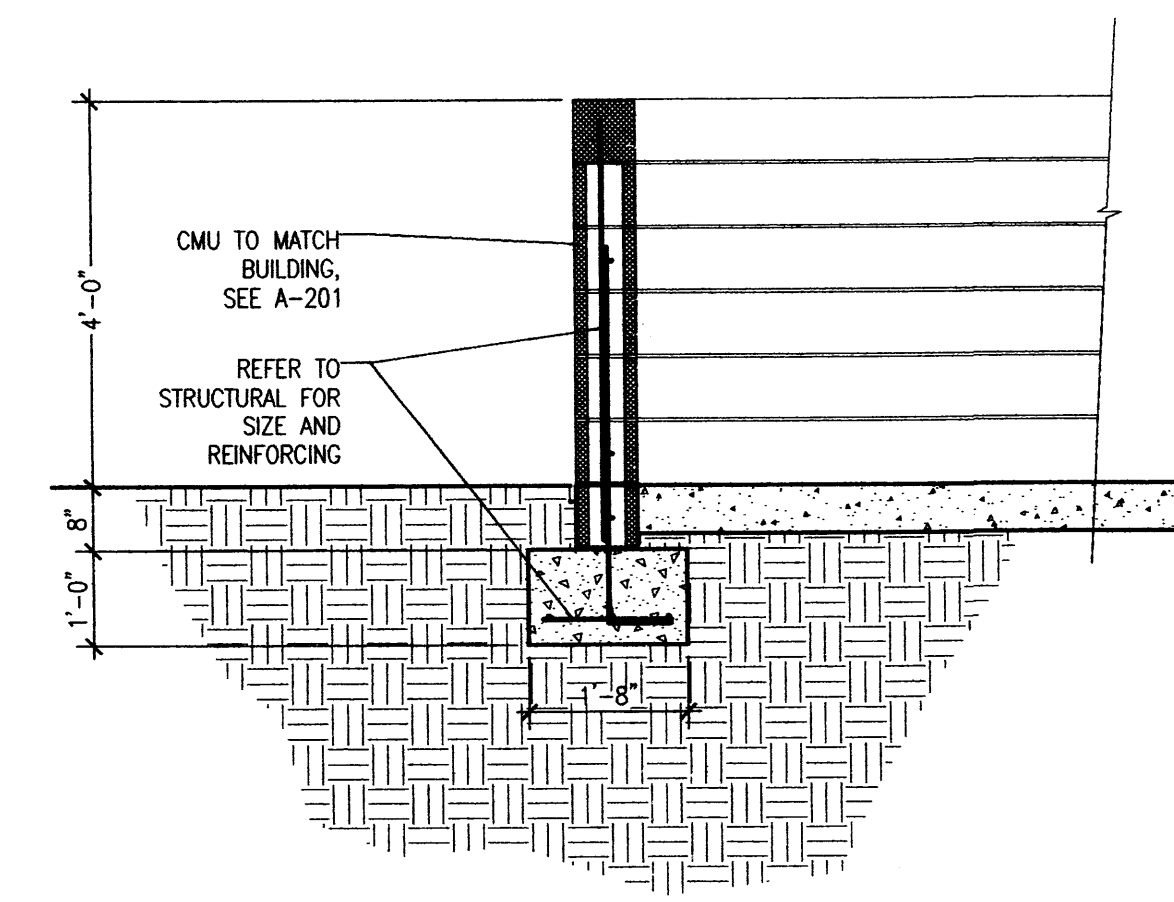
△	2/16/07	ADMIN. AMEND. REVS.
---	---------	---------------------

MARK	DATE	DESCRIPTION
ISSUE:	ADMINISTRATIVE AMENDMENT	
PROJECT NO:	0510	
CAD DWG FILE:		
DRAWN BY:		
CHECKED BY:		
DATE:	2/16/07	

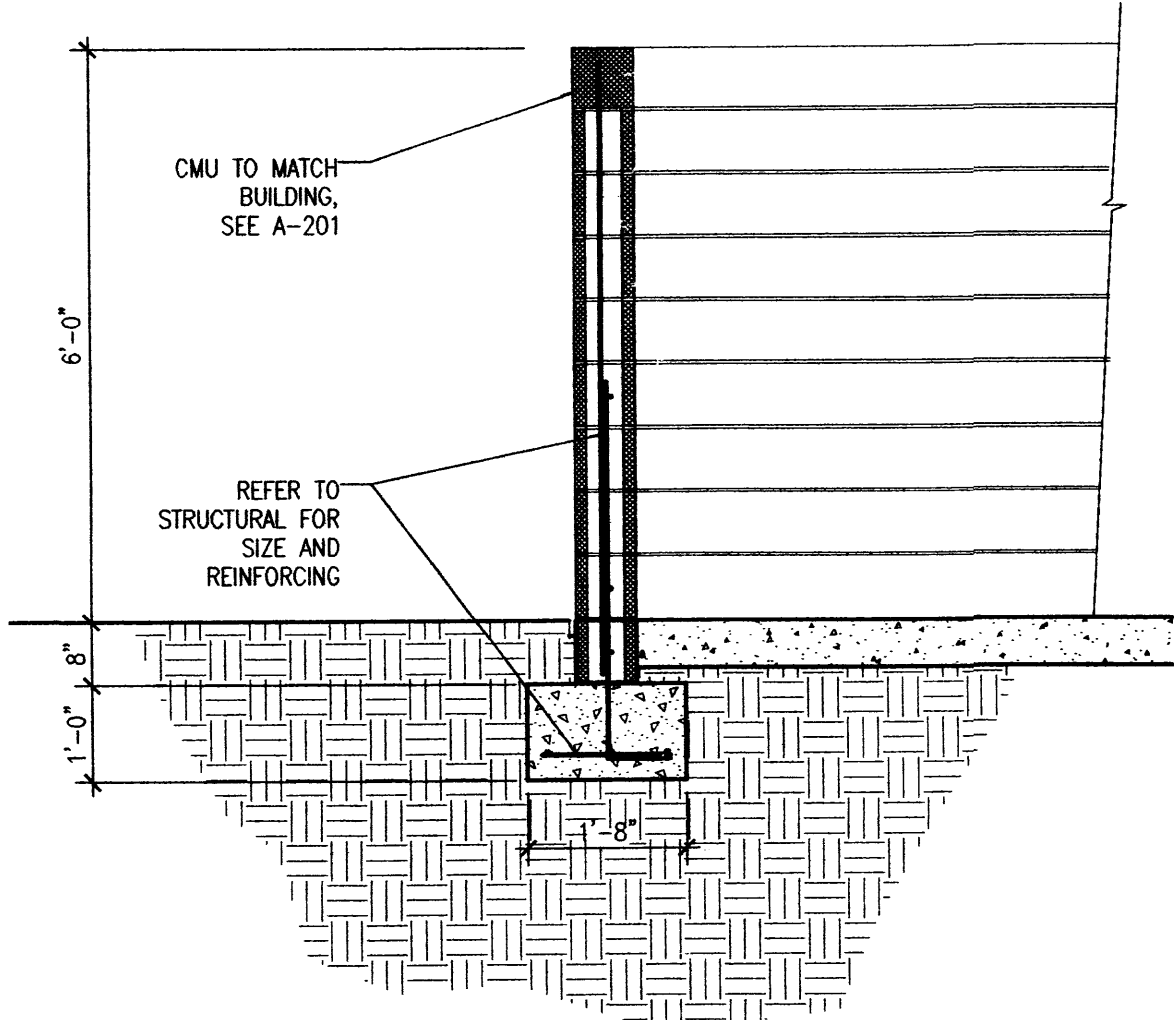
SHEET TITLE
ARCHITECTURAL SITE DETAILS



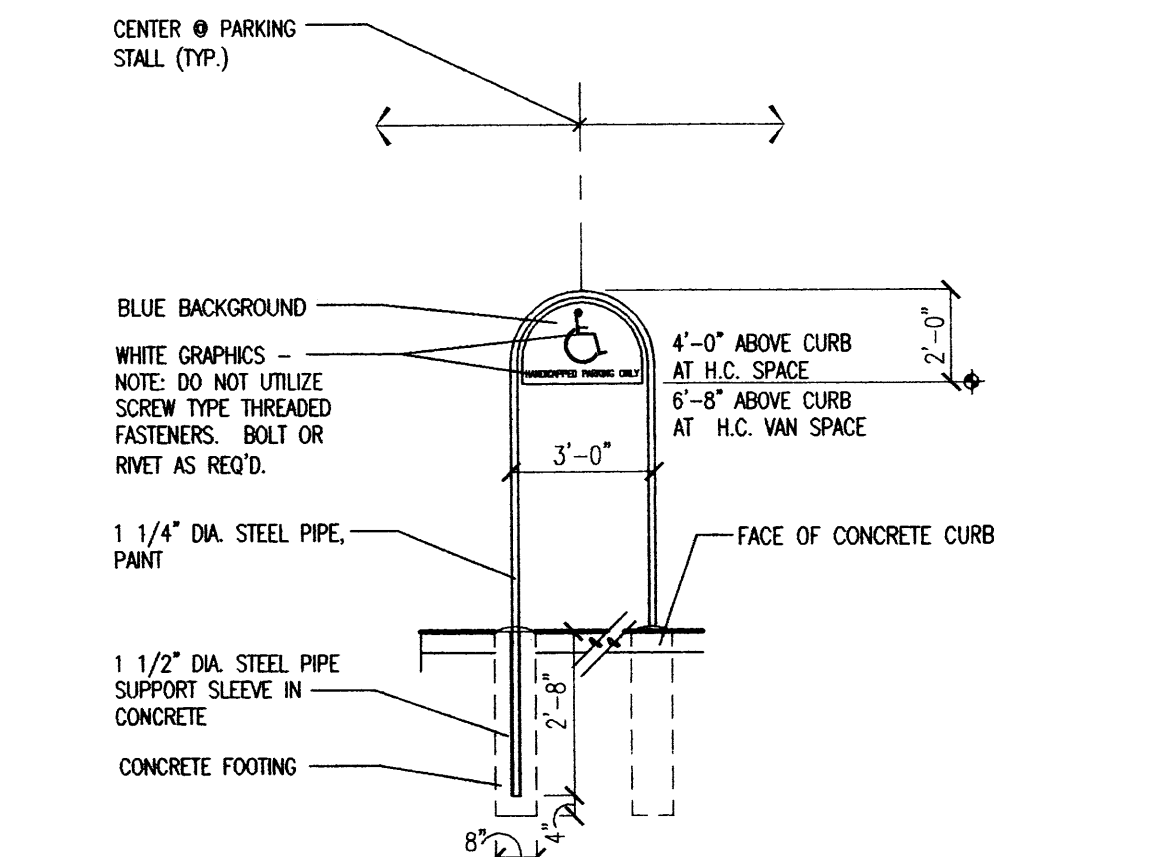
D4 SIDEWALK CULVERT DETAIL
SCALE: 1/2"=1'-0"



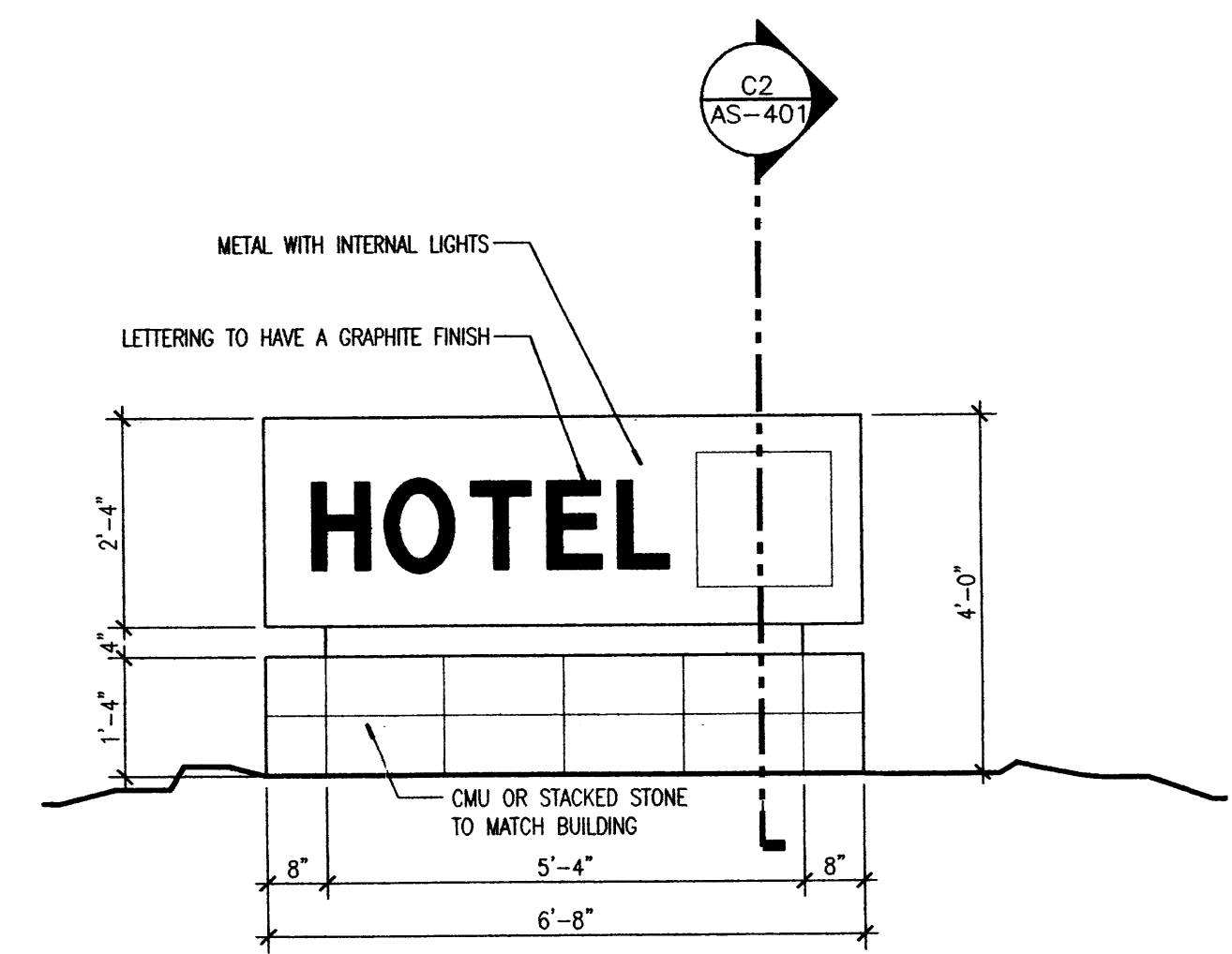
C4 4'-0" SCREEN WALL
SCALE: 1/2"=1'-0"



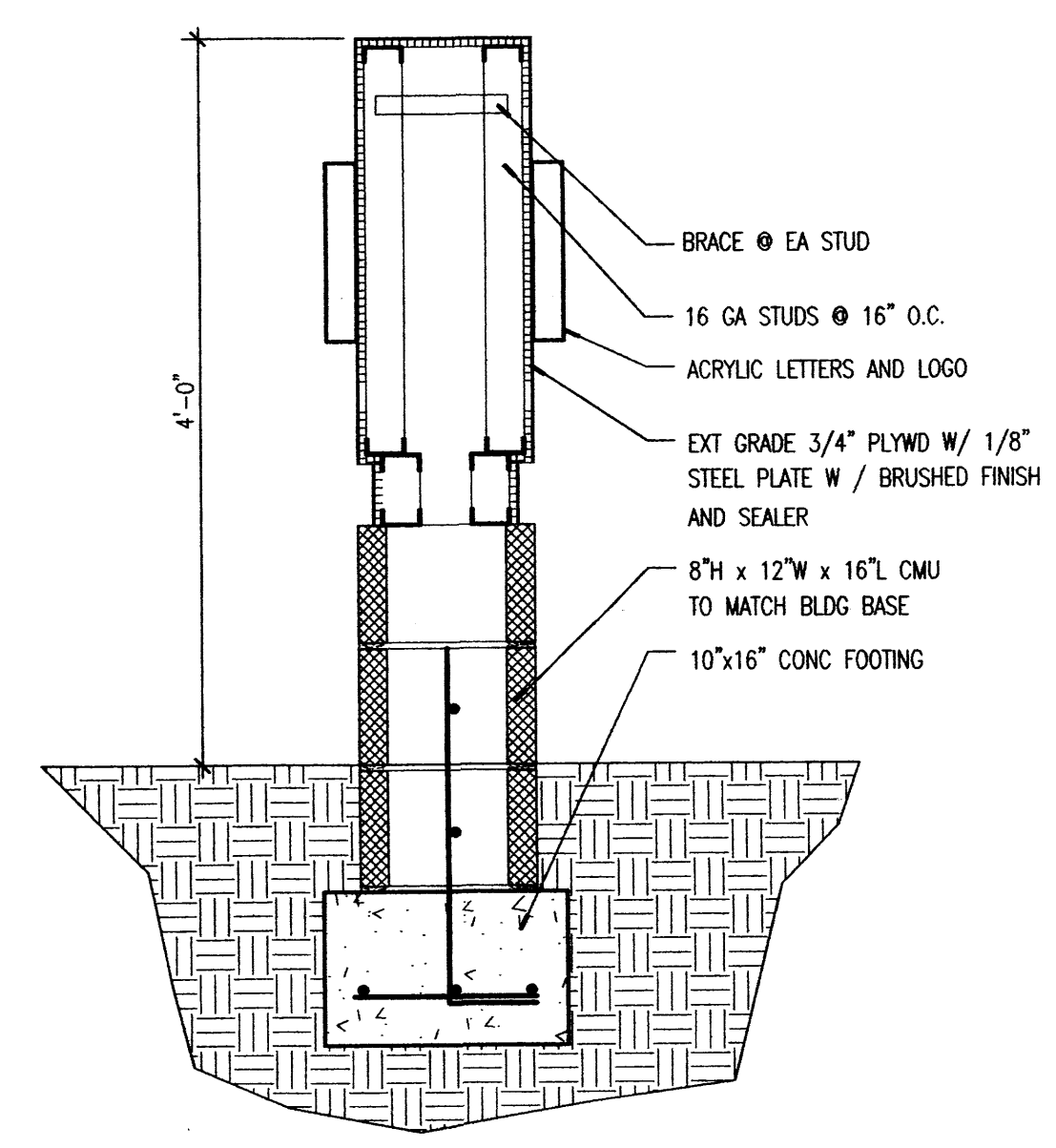
B4 6'-0" SCREEN WALL
SCALE: 1/2"=1'-0"



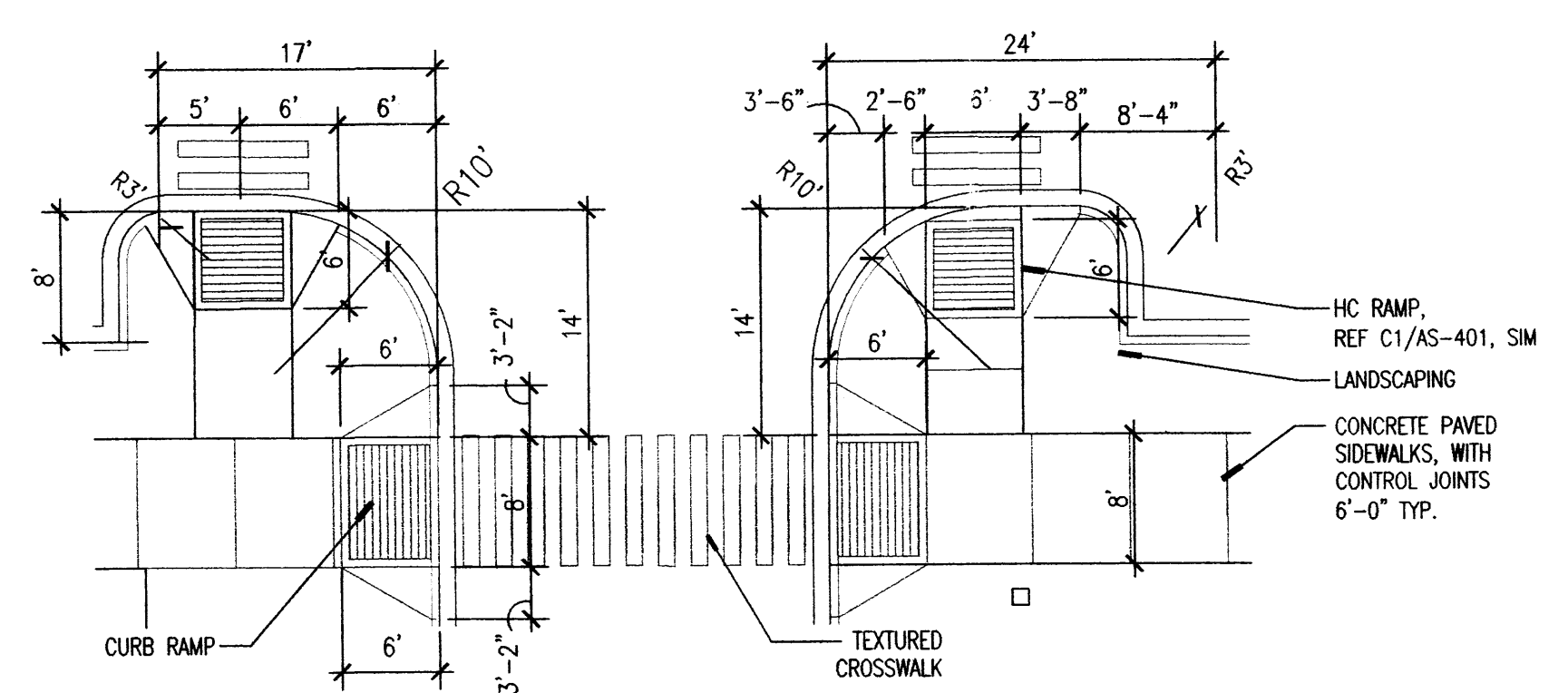
A4 ENLARGED HANDICAPPED SIGN
SCALE: 3/32"=1'-0"



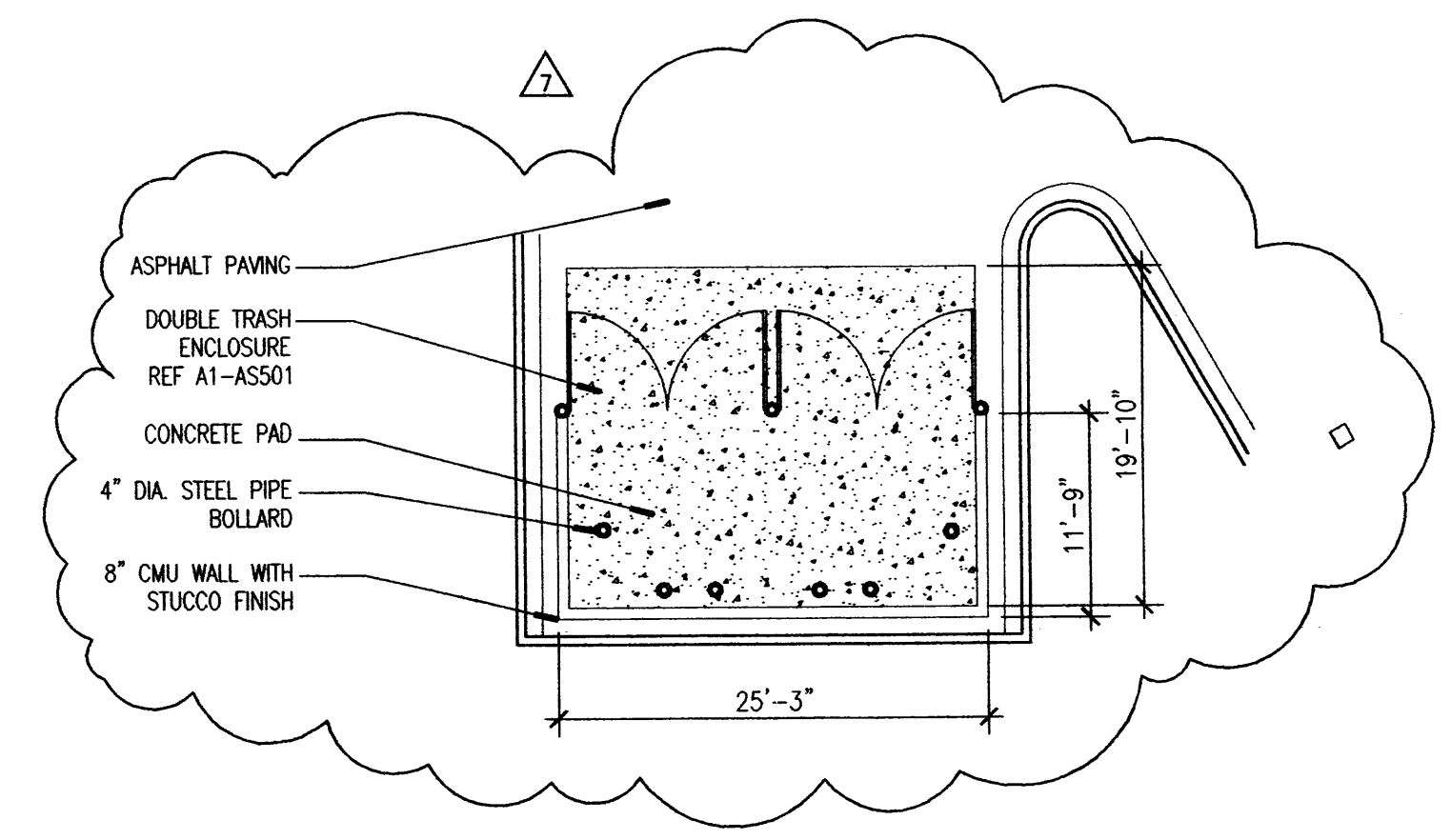
C3 MONUMENT SIGN DETAIL
SCALE: 1/2"=1'-0"



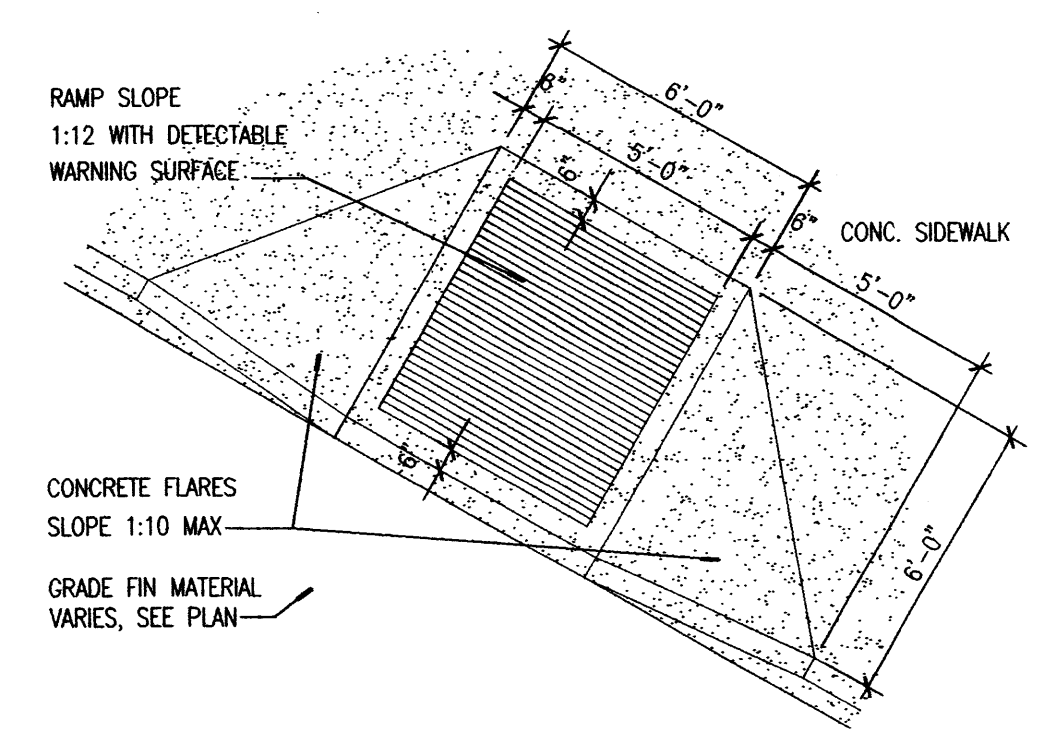
C2 MONUMENT SIGN DETAIL
SCALE: 1"=1'-0"



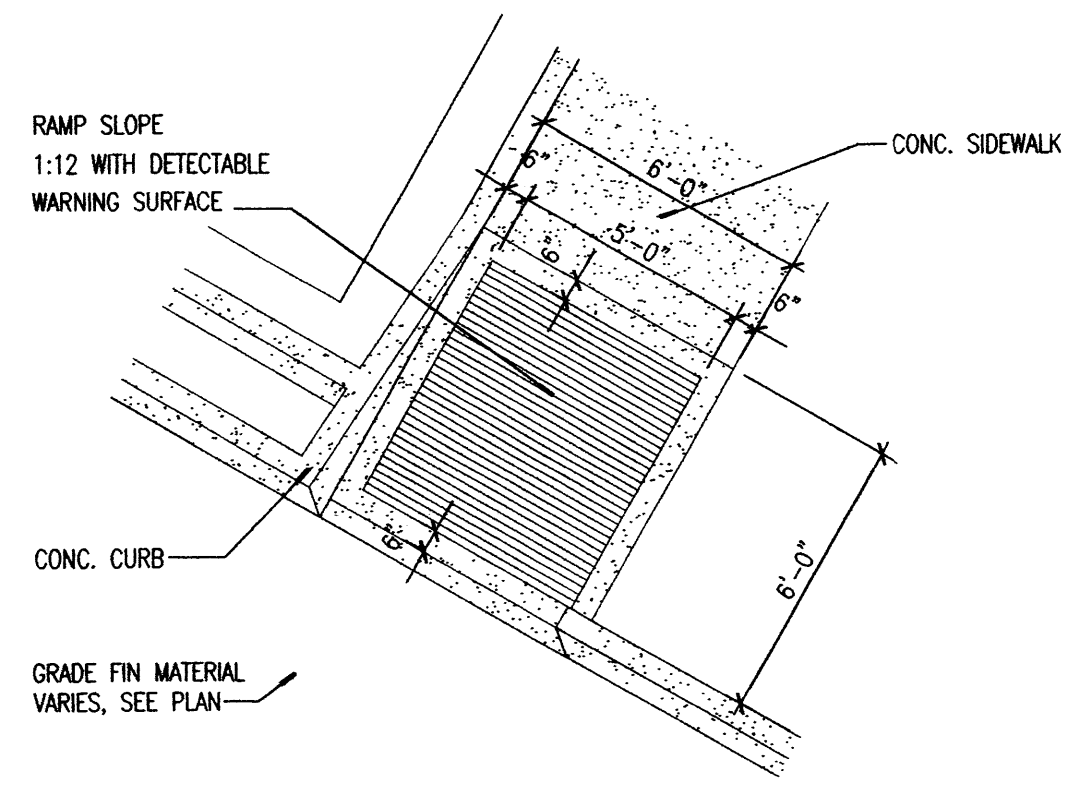
B2 ENLARGED PARTIAL SITE PLAN DETAIL
SCALE: 3/32"=1'-0"



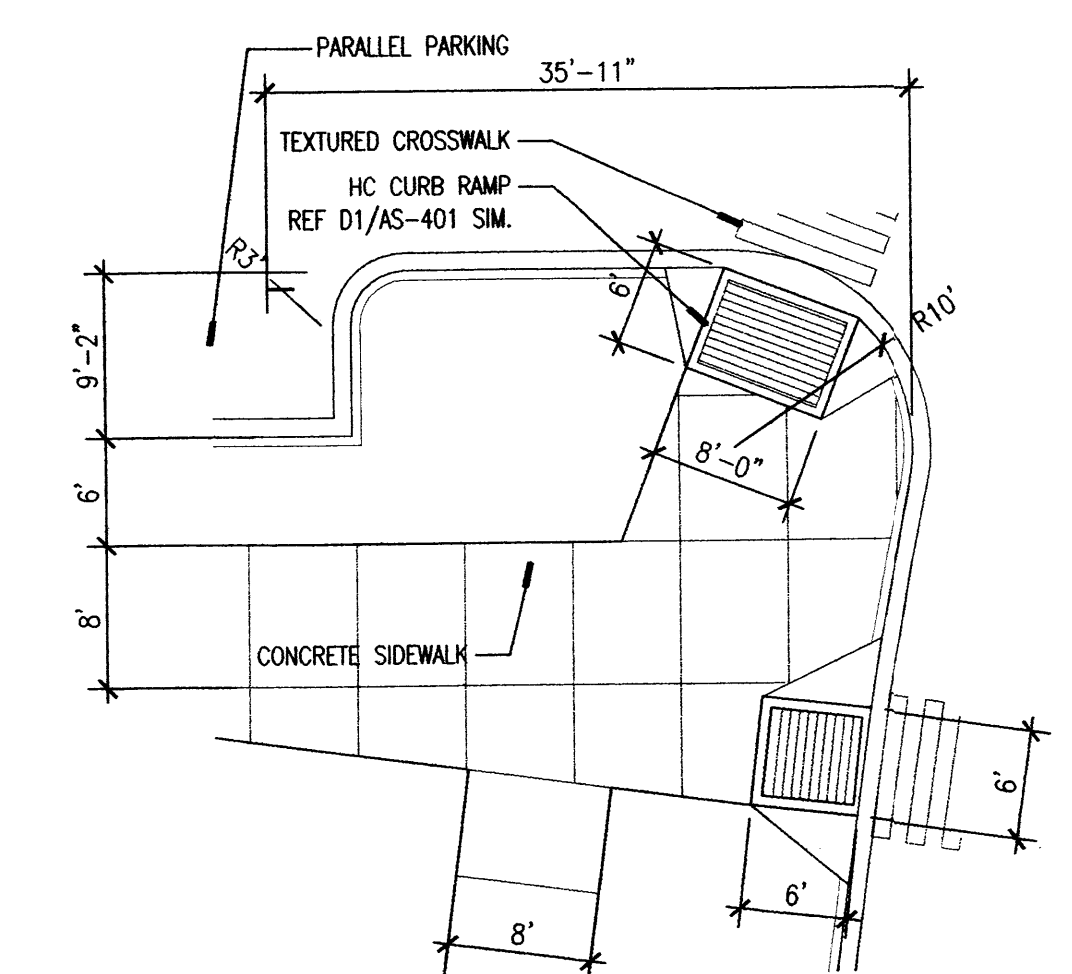
A2 ENLARGED TRASH ENCLOSURE DETAIL
SCALE: 3/32"=1'-0"



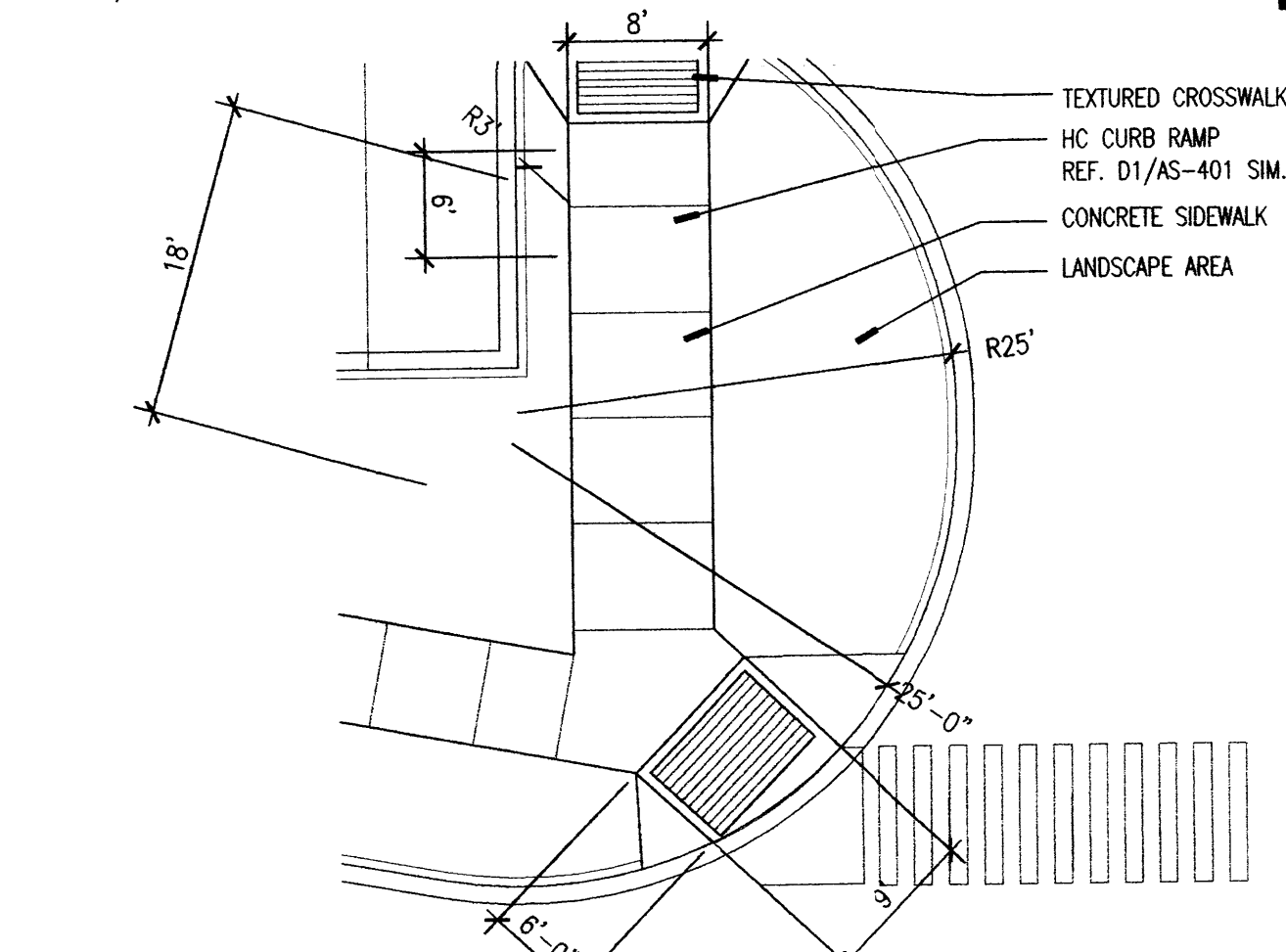
D1 HC RAMP
SCALE: 1/4"=1'-0"



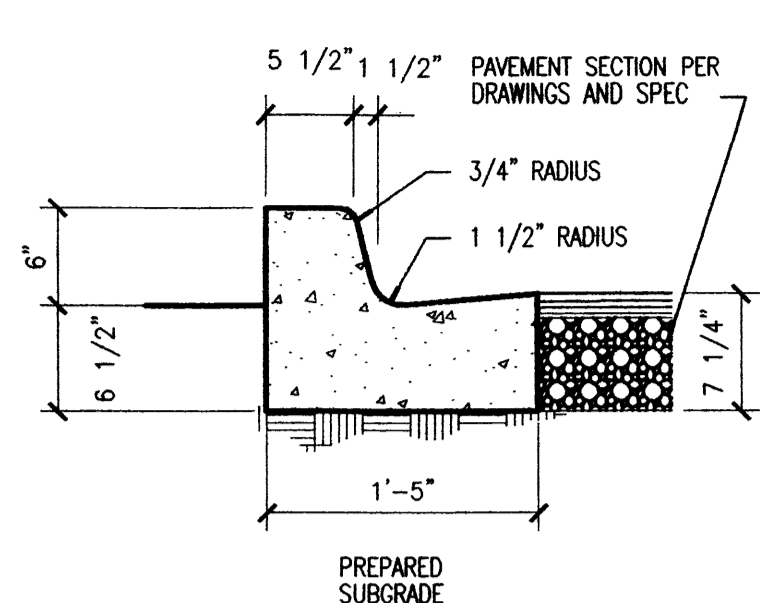
C1 HC RAMP DETAIL
SCALE: 3/32"=1'-0"



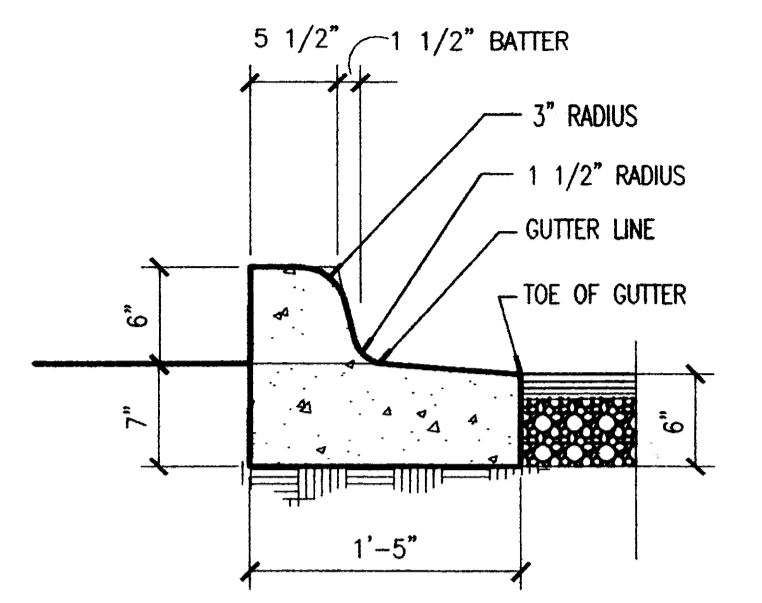
B1 ENLARGED PARTIAL SITE PLAN DETAIL
SCALE: 3/32"=1'-0"



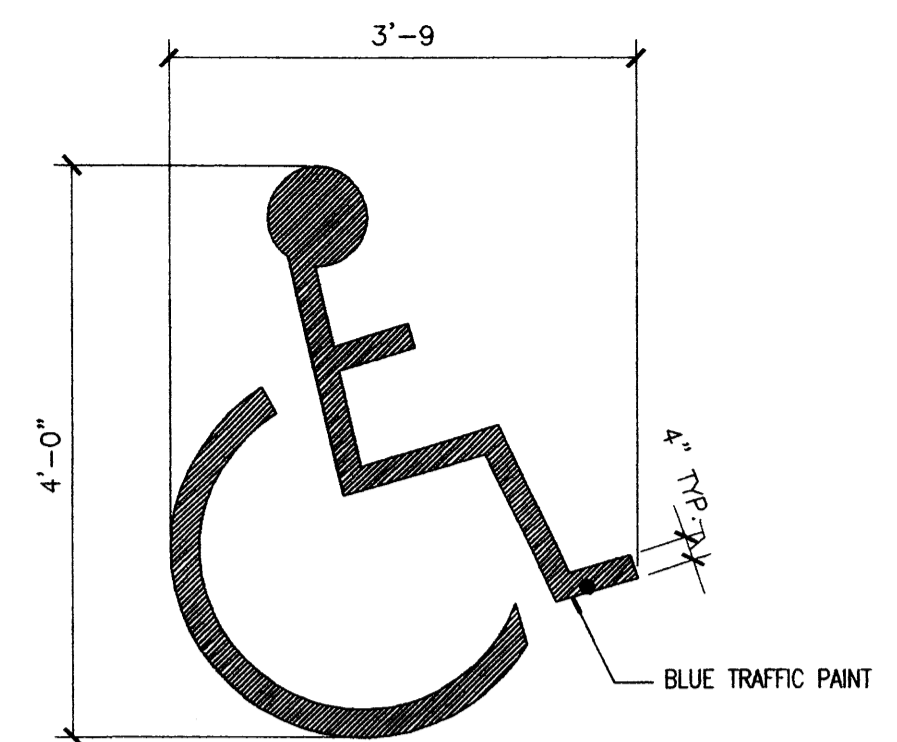
A1 ENLARGED PARTIAL SITE PLAN DETAIL
SCALE: 3/32"=1'-0"



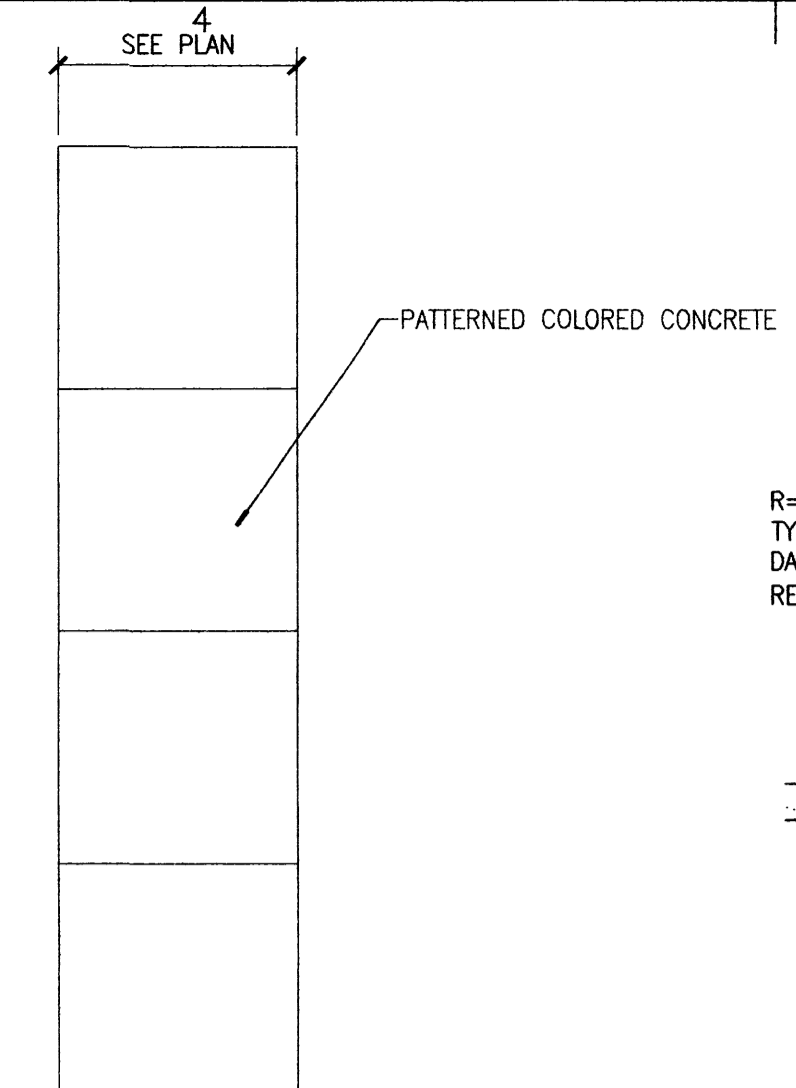
D1 6" CURB AND GUTTER
SCALE: 1"=1'-0"



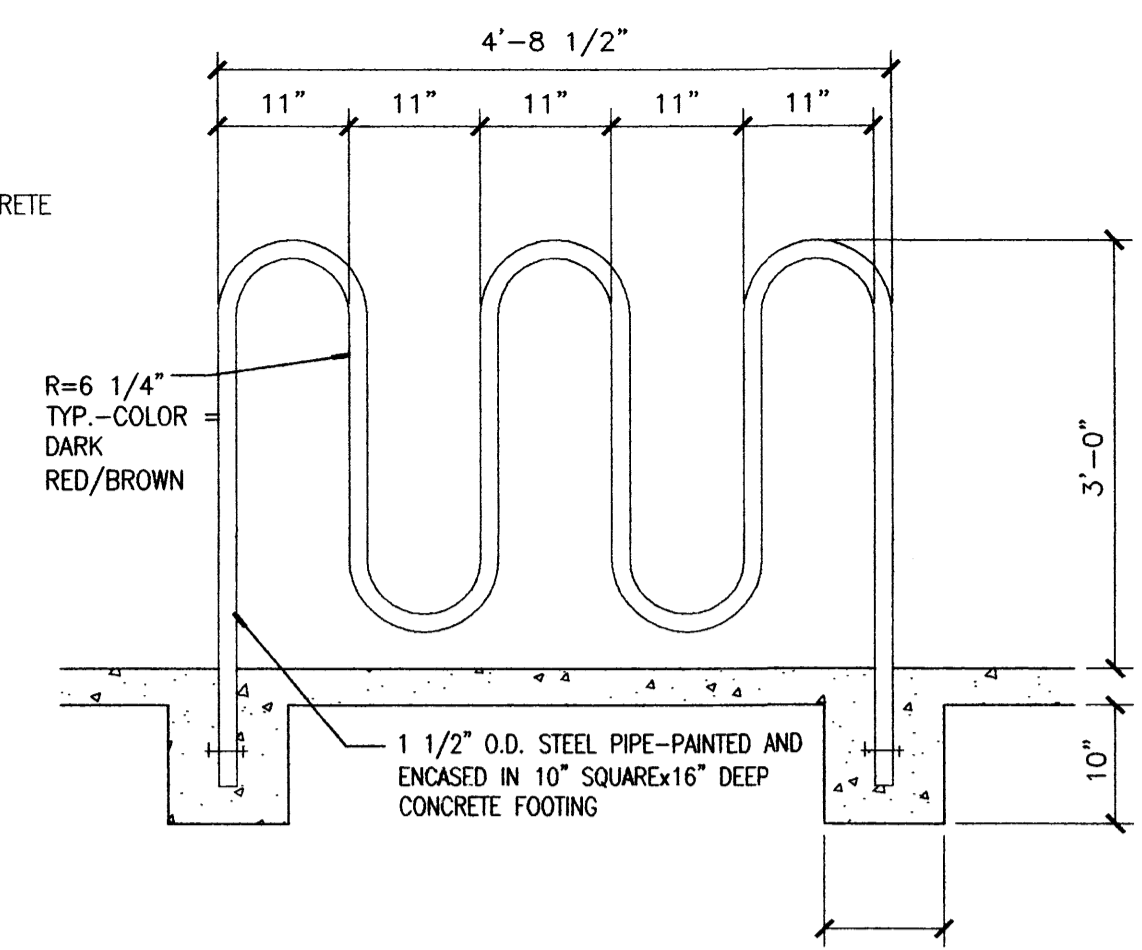
D2 DEPRESSED CURB AND GUTTER
SCALE: 1"=1'-0"



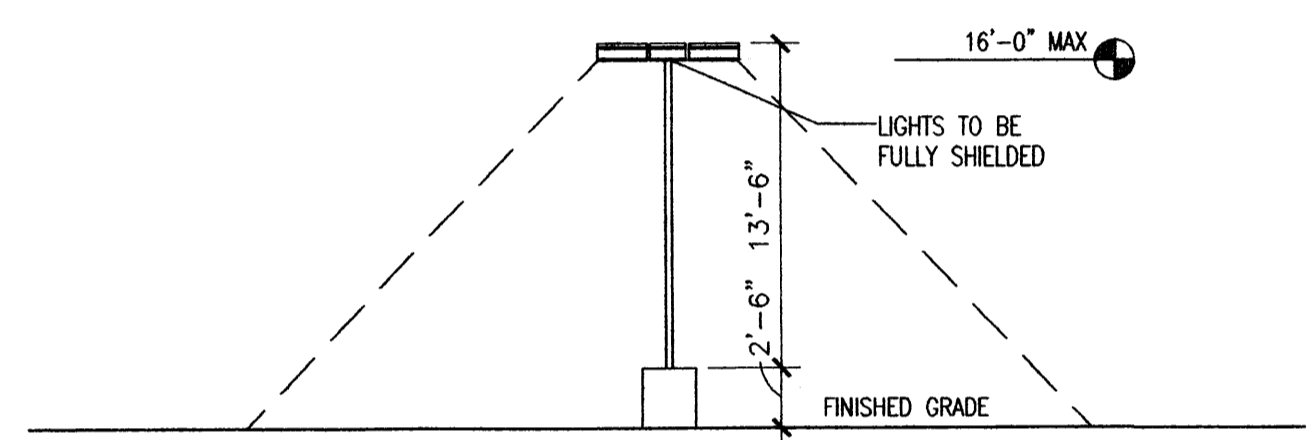
D3 H.C. PAVEMENT SIGN
SCALE: 3/4"=1'-0"



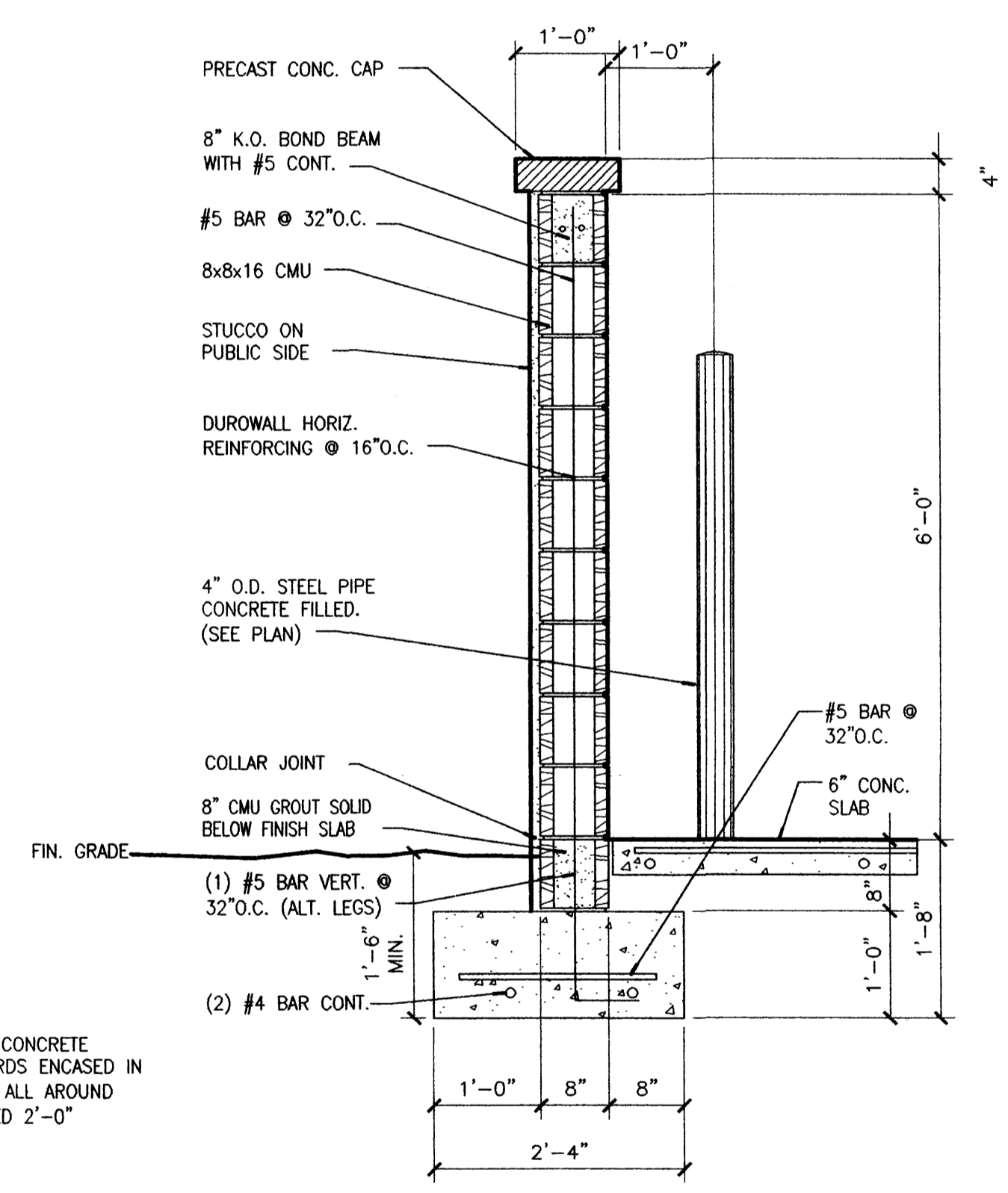
D4 H.C. PARKING STRIPING
SCALE: 1/4"=1'-0"



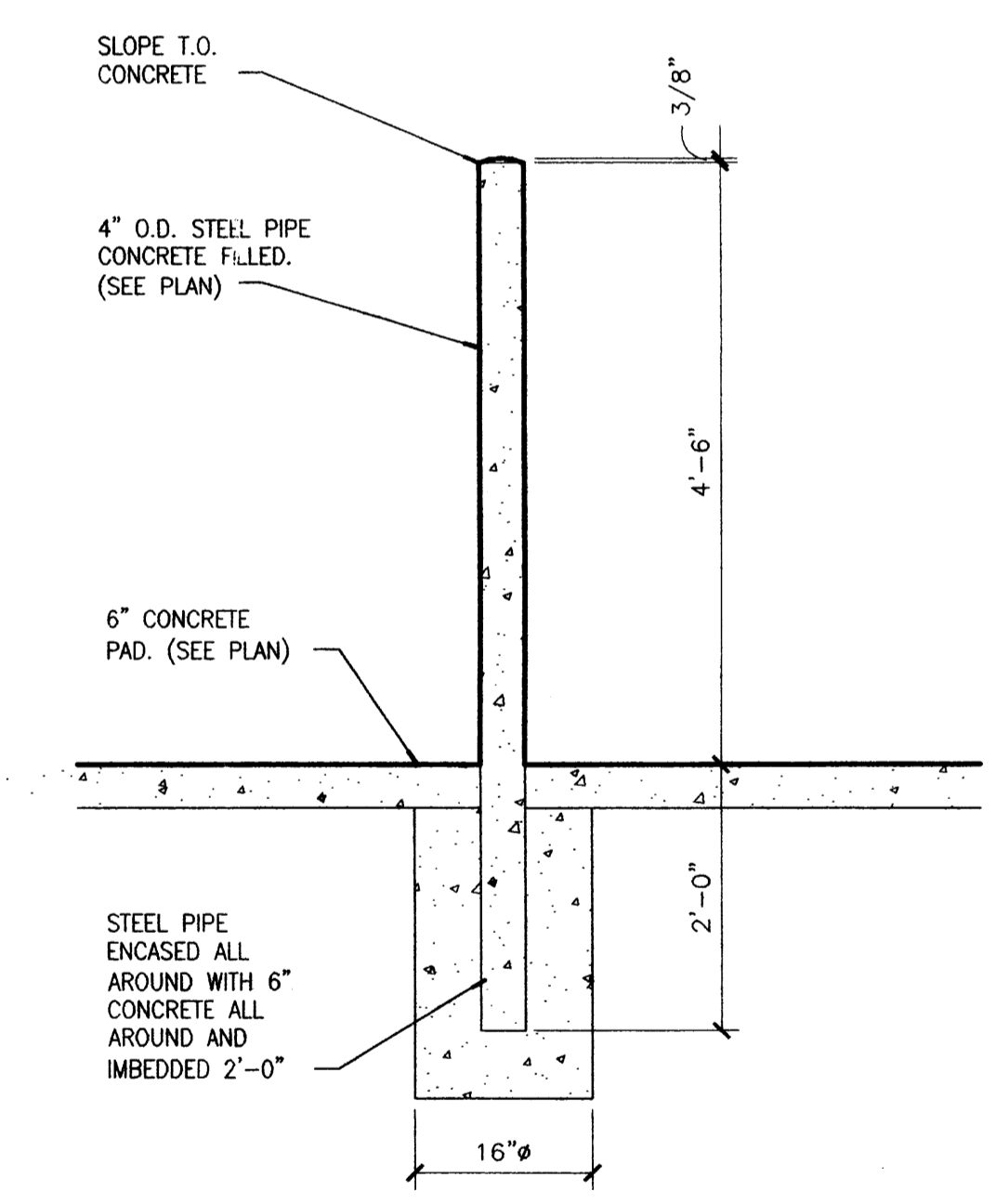
D5 BIKE RACK
SCALE: 3/4"=1'-0"



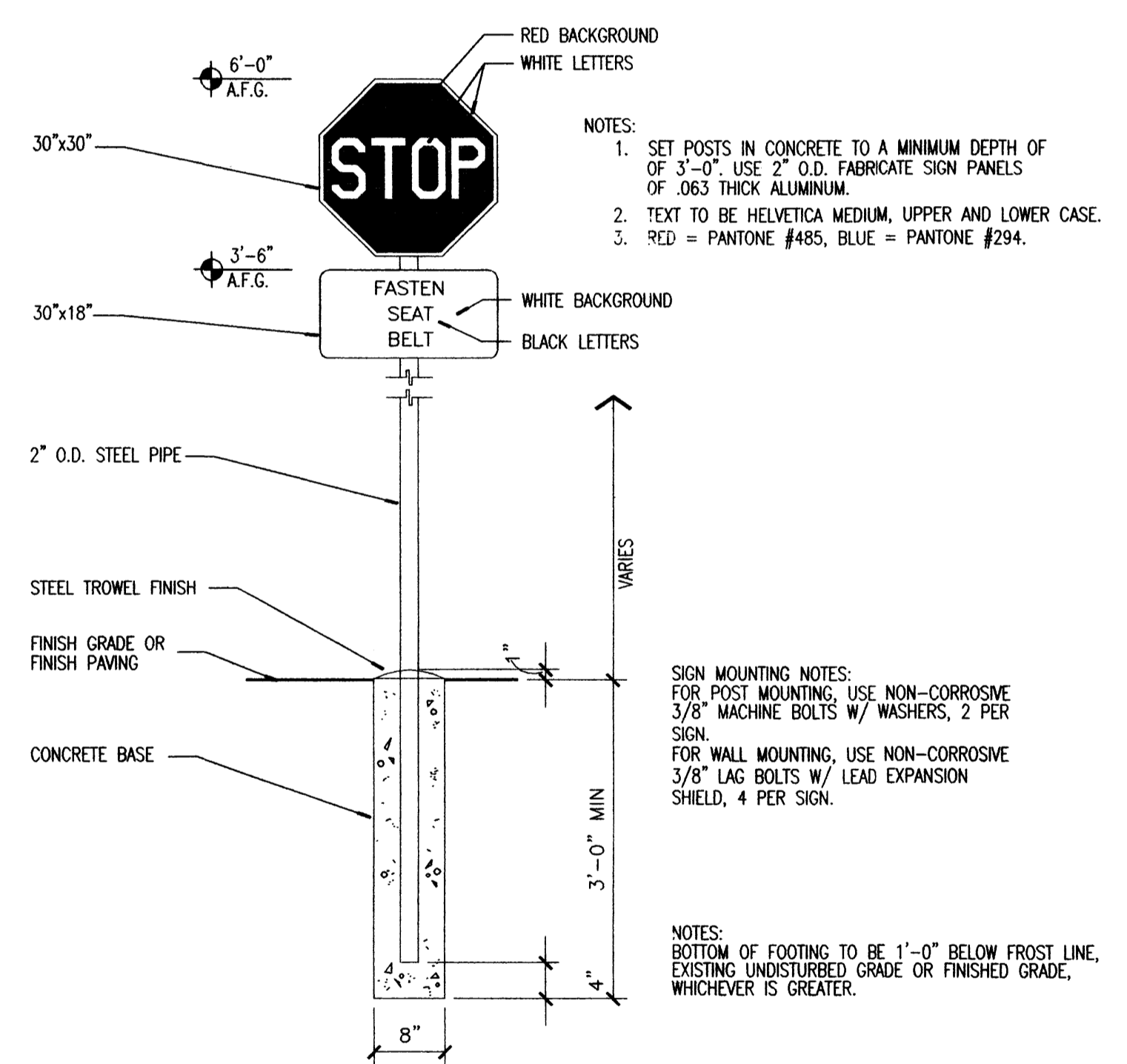
C1 SITE LIGHTING DETAIL
SCALE: 1/8"=1'-0"



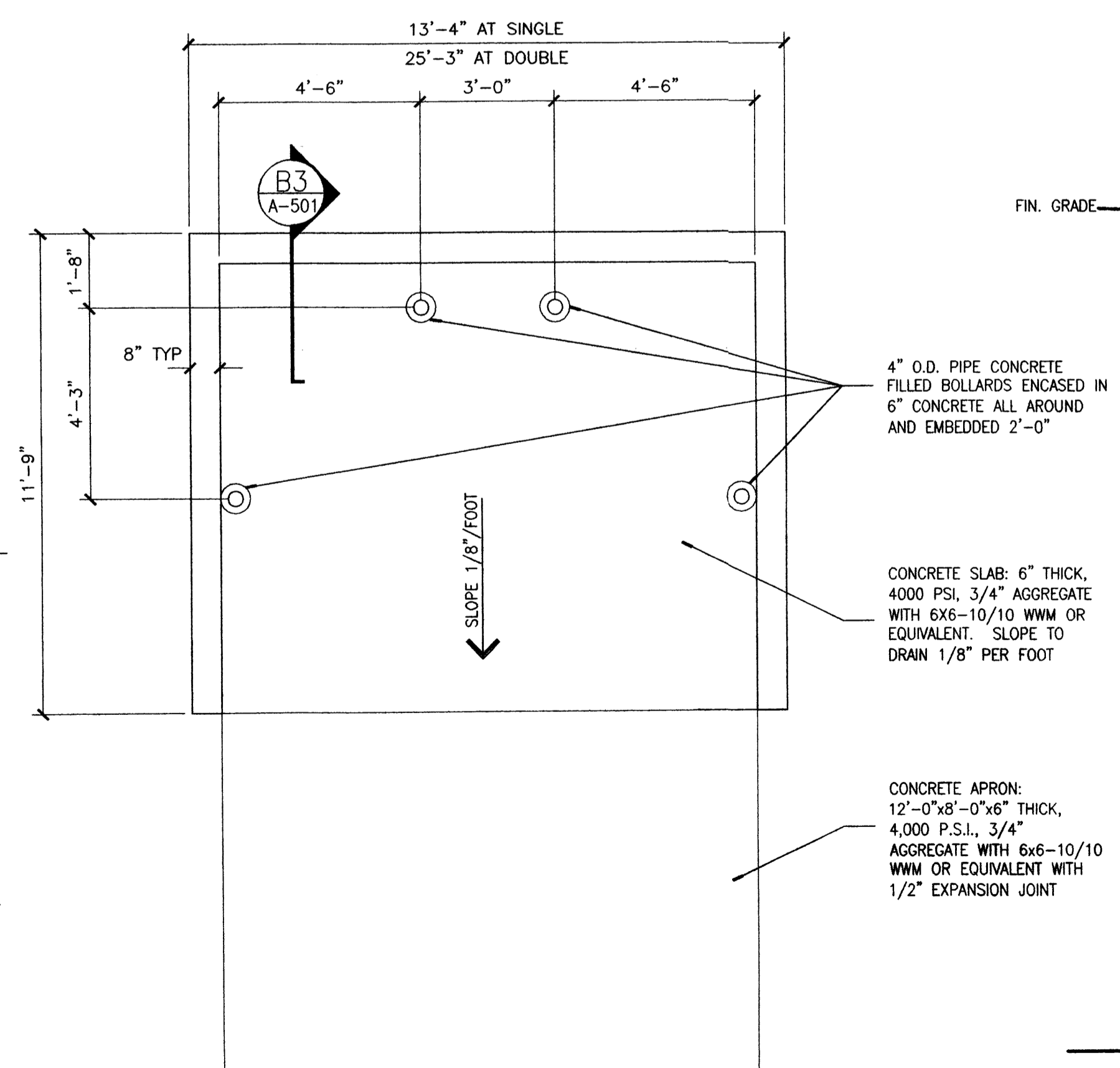
B3 TRASH ENCLOSURE DETAILS
SCALE: 3/4"=1'-0"



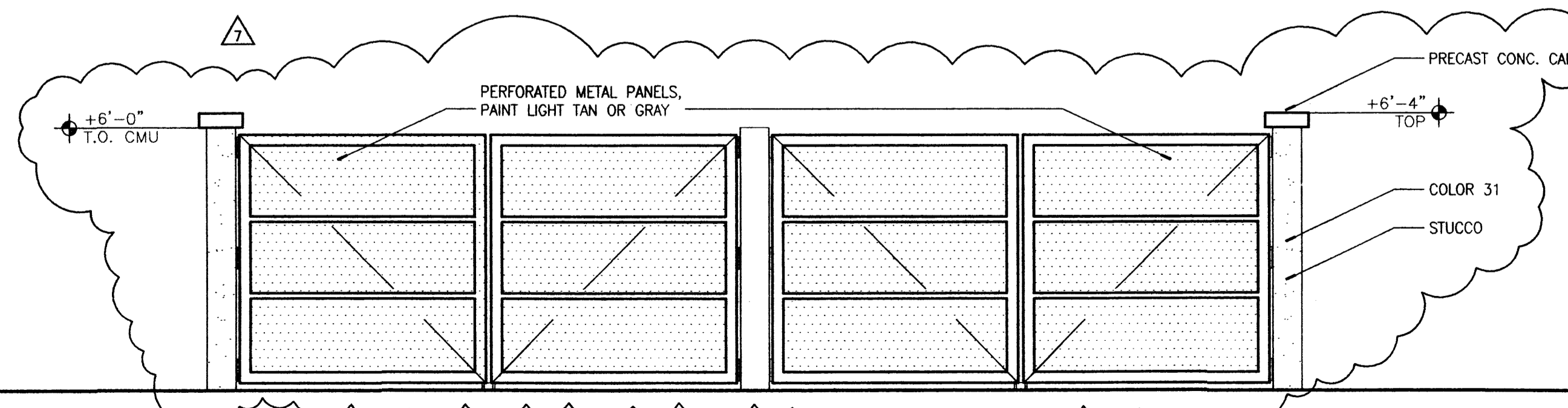
B4 TYP. BOLLARD DETAIL
SCALE: 3/4"=1'-0"



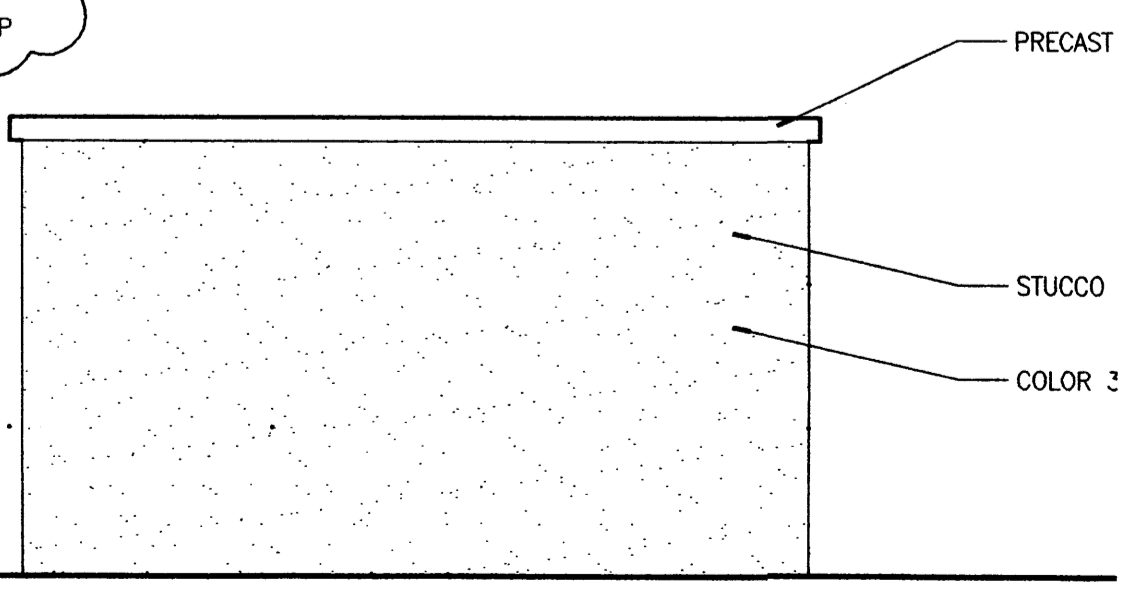
B5 STOP SIGN
SCALE: 3/4"=1'-0"



A1 TRASH ENCLOSURE PLAN
SCALE: 3/8"=1'-0"



A3 TRASH ENCLOSURE FRONT ELEVATION
SCALE: 3/8"=1'-0"



A5 TRASH ENCLOSURE SIDE ELEVATION
SCALE: 3/8"=1'-0"

STUDIO SW ARCHITECTS

STUDIO SOUTHWEST ARCHITECTS, INC.
2101 Mountain Rd. NW, Albuquerque, NM 87104
505.843.9639 fax 505.843.9683
Web Site: www.studioswarch.com
E-Mail: mail@studioswarch.com

© 2006, Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of Federal and international law. The information contained on this document is the intellectual property of Studio Southwest, Inc. and all rights thereto are Reserved. For exceptions, refer to the Owner-Architect Agreement.

CONSULTANTS

Architect Engineer

ADMIN. AMENDMENT

PROPOSED HOTEL

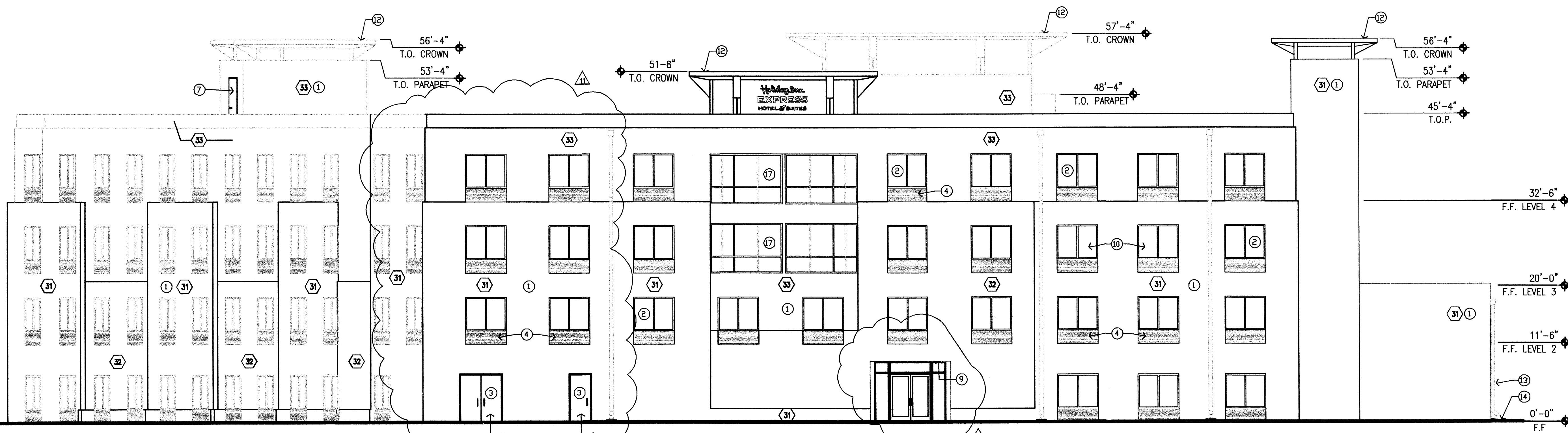
INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC
MASTER PLAN

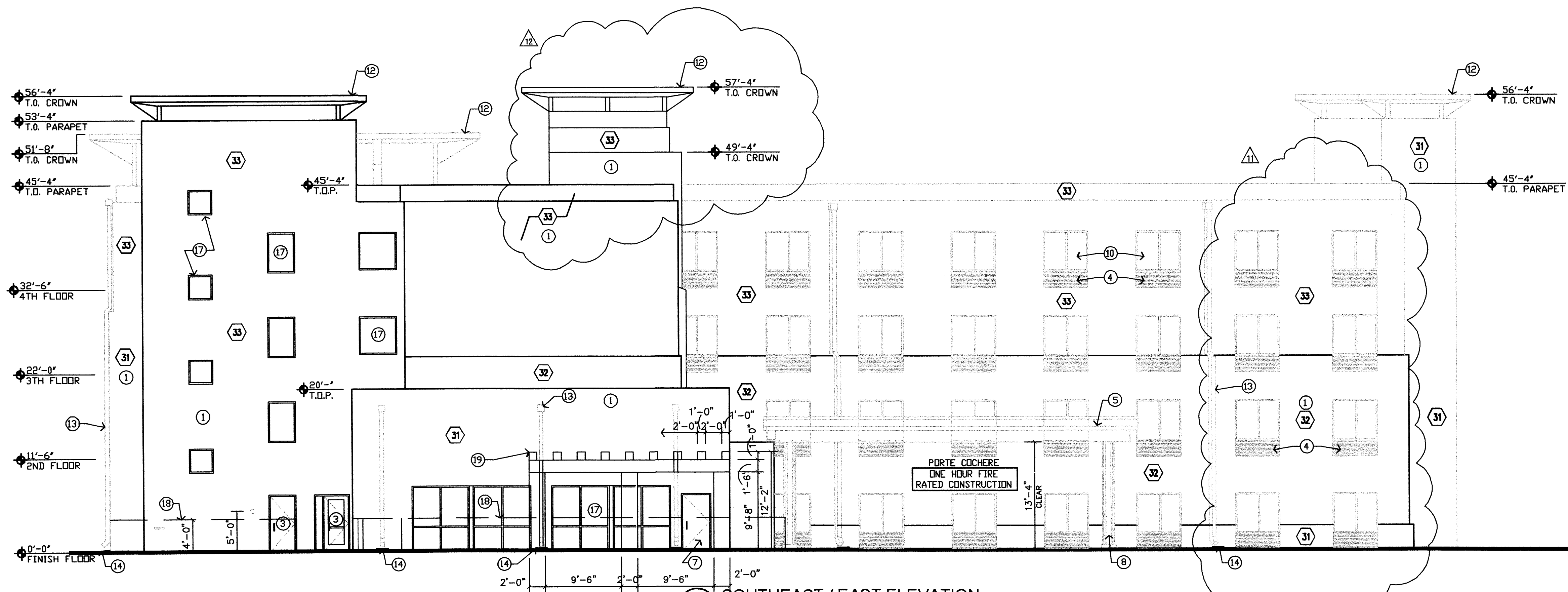
MARK	DATE	DESCRIPTION
△	2/16/07	ADMIN. AMEND. REVS.

SHEET TITLE

ARCHITECTURAL SITE DETAILS



1 **SOUTHWEST ELEVATION**
SCALE: 1/8" = 1'-0"



2 **SOUTHEAST / EAST ELEVATION**
SCALE: 1/8" = 1'-0"

KEYED NOTES

1. EXTERIOR INSULATION & FINISH SYSTEM (EIFS), REFER TO COLOR SCHEDULE.
2. SEE WINDOW SCHEDULE.
3. SEE DOOR SCHEDULE.
4. PRE-FINISHED METAL LOUVERS TO MATCH
5. 1 1/2" CONTROL JOINTS - TYPICAL.
6. STRIP NEON LIGHT CONTINUOUS. COLOR TO BE SELECTED BY OWNER.
7. PAINT DOOR & FRAME TO MATCH STUCCO COLOR.
8. CONCRETE COLUMN, FINISH SMOOTH.
9. SOFFIT, SEE REFLECTED CEILING PLAN.
10. DOUBLE GLAZING, SLIDER.
11. FLASHING/ COUNTER FLASHING, PAINT TO MATCH STUCCO.
12. BRIGHT SILVER METAL CLADDING OVER WOOD CONSTRUCTION.
13. 10"x10"x10" METAL LEADER BOX AND DOWN SPOUT W/ THREE WALL BRACKETS MIN., PAINT TO MATCH STUCCO COLOR.
14. CONCRETE SPLASH BLOCK.
15. KNOX BOX, MOUNT 5'-0" A.F.F.
16. FIRE DEPARTMENT STANDPIPE CONNECTION, MOUNT 3'-0" A.F.F.
17. STORE FRONT, SEE WINDOW SCHEDULE.
18. 4'-0" HIGH, 8" CMU WALL, MATCH STUCCO COLOR. (SHOWN DASHED FOR CLARITY)
19. TRELIS CONSTRUCTION AND COLOR, BY OWNER.

COLOR LEGEND

- 31 COLOR 31 - TERRA COTTA
- 32 COLOR 32 - BEIGE
- 33 COLOR 33 - LIGHT BEIGE

KEYED NOTES

1. EXTERIOR INSULATION AND FINISH SYSTEM (EIFS).
2. PREFINISHED ALUMINUM WINDOWS.
3. CONCRETE COLUMNS.
4. PREFINISHED METAL LOUVERS-COLOR TO MATCH FRAMES.

GENERAL NOTES

- A. WINDOW FRAMES, STOREFRONT TO MATCH C1-CHINE WHITE #310.
- B. CHANGE IN COLOR OCCURS AT INSIDE CORNER OF CONTROL JOINT.
- C. ALL CONTROL JOINTS ARE 2" WDEX 3/4" DEEP.
- D. ALL EIFS IS 2" THICK UNLESS NOTED OTHERWISE.
- E. ALL EIFS COLORS ARE REFERENCED FROM "DRYVIT" STANDARD COLORS.
- F. ALL EXTERIOR FLUSH DOORS, DOOR FRAMES AND LOUVERS NOT CALLED OUT OTHERWISE TO MATCH C2.

ELEVATIONS

NORTH SCALE: 1/8" = 1'-0"

Afra Construction & Design LLC
2501 Yale Blvd SE Suite 102
Albuquerque, NM 87106
Tel: (505) 915-1482
Fax: (505) 743-1561



INDIAN SCHOOL RD. & 12TH STREET
ALBUQUERQUE, NM 87104

1	2/16/07	ADMIN. AMEND. REVS.	
2			
3			
4			
REV	DATE	DESCRIPTION	APVD

A-14

1.31.07

REV	DATE	DESCRIPTION	APVD
1	2/16/07	ADMIN. AMEND. REVS.	
2			
3			
4			

Atra Construction & Design LLC
 2501 Yale Blvd SE Suite 102
 Albuquerque, NM 87106
 Tel: (505) 915-1482
 Fax: (505) 243-1561

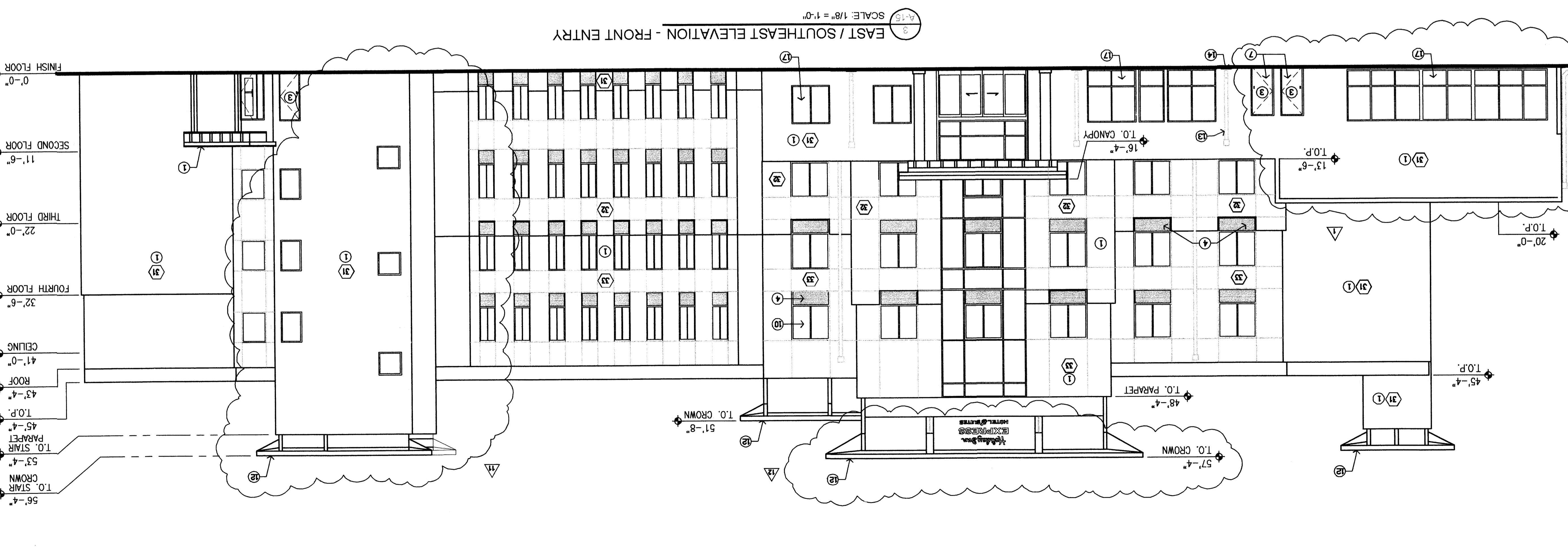
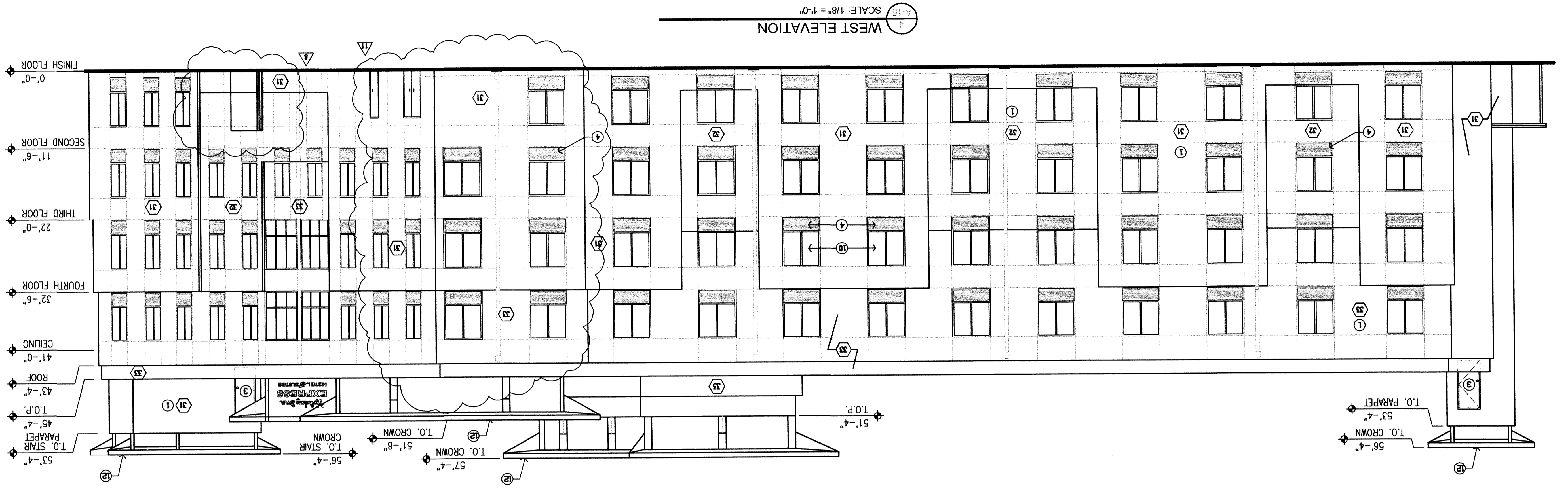
Hotway Express
 INDIAN SCHOOL RD. & 12TH STREET
 ALBUQUERQUE, NM 87104

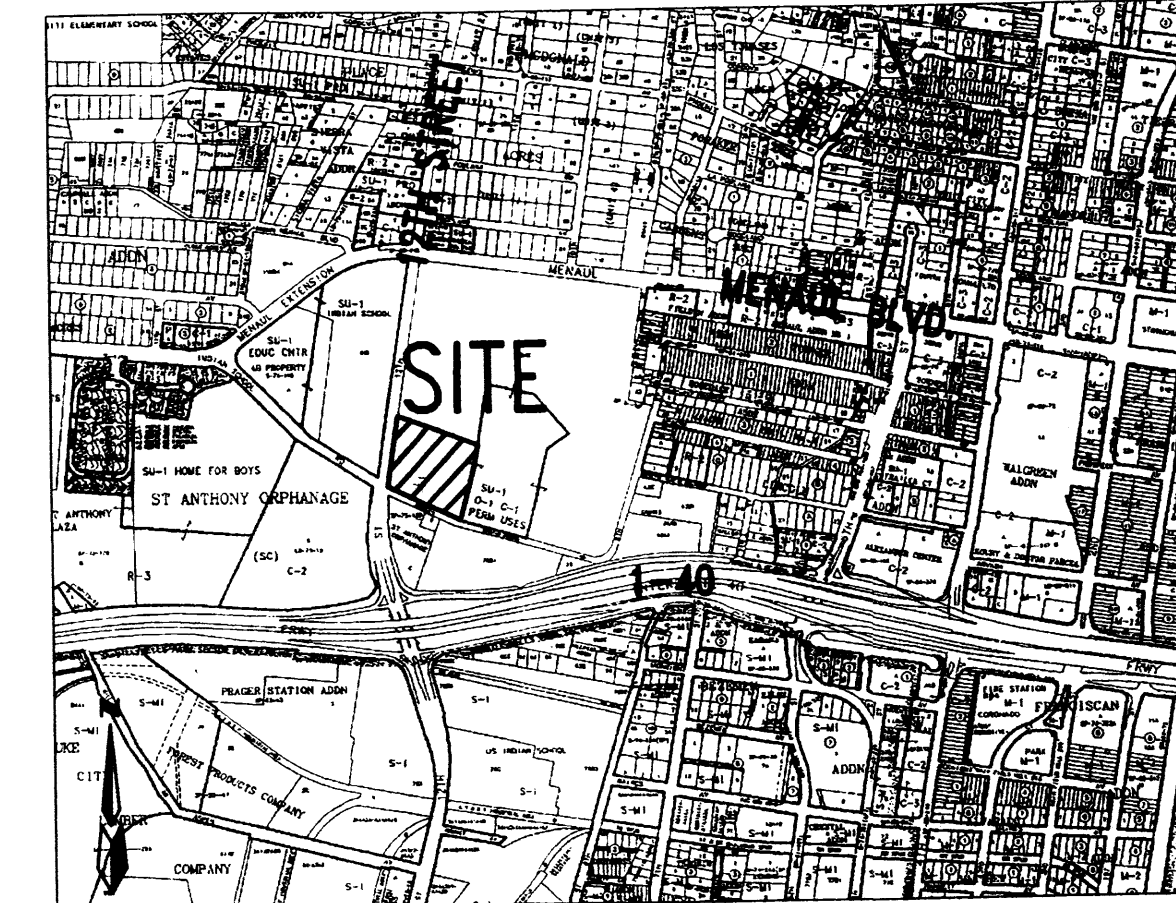
NORTH
 SCALE: 1/8" = 1'-0"

COLOR LEGEND

31	COLOR 31 - TERRA COTTA
32	COLOR 32 - BEIGE
33	COLOR 33 - LIGHT BEIGE

- KEYED NOTES**
- EXTERIOR INSULATION & FINISH SYSTEM (EIFS), REFER TO COLOR SCHEDULE.
 - SEE WINDOW SCHEDULE.
 - SEE DOOR SCHEDULE.
 - PRE-FINISHED METAL LOUVERS TO MATCH.
 - 1 1/2" CONTROL JOINTS - TYPICAL.
 - STRIP NEON LIGHT CONTINUOUS, COLOR TO BE SELECTED BY OWNER.
 - PAINT DOOR & FRAME TO MATCH STUCCO COLOR.
 - CONCRETE COLUMN, FINISH SMOOTH.
 - SOFFIT, SEE REFLECTED CEILING PLAN.
 - DOUBLE GLAZING, SLIDER.
 - FLASHING/COUNTER FLASHING, PAINT TO MATCH STUCCO.
 - BRIGHT SILVER METAL GLAZING OVER WOOD CONSTRUCTION.
 - 10"x10" METAL LEADER BOX AND DOWN SPOUT W/ THREE WALL BRACKETS MIN., PAINT TO MATCH STUCCO COLOR.
 - CONCRETE SPLASH BLOCK.
 - KNOX BOX, MOUNT 5'-0" A.F.F.
 - FIRE DEPARTMENT STANDPIPE CONNECTION, MOUNT 3'-0" A.F.F.
 - STORE FRONT, SEE WINDOW SCHEDULE.





ZONE MAP: H-14

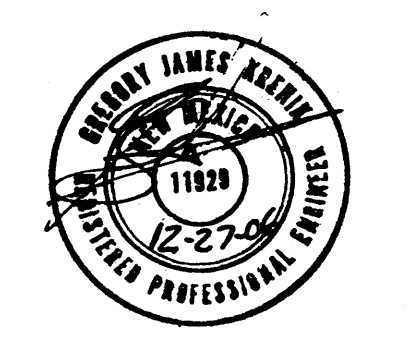
STUDIO
SW
ARCHITECTS

STUDIO SOUTHWEST ARCHITECTS, INC.
2101 Mountain Rd. NW, Albuquerque, NM 87104
505.843.9639 fax 505.843.9683
Web Site: www.studioswarch.com
E-Mail: mail@studioswarch.com

© 2006, Studio Southwest Architects, Inc.
Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of Federal and international law. The information contained on this document is the intellectual property of Studio Southwest, Inc. and all rights thereto are Reserved. For exceptions, refer to the Owner-Architect Agreement.

CONSULTANTS
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90806
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Architect Engineer



PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC
MASTER PLAN

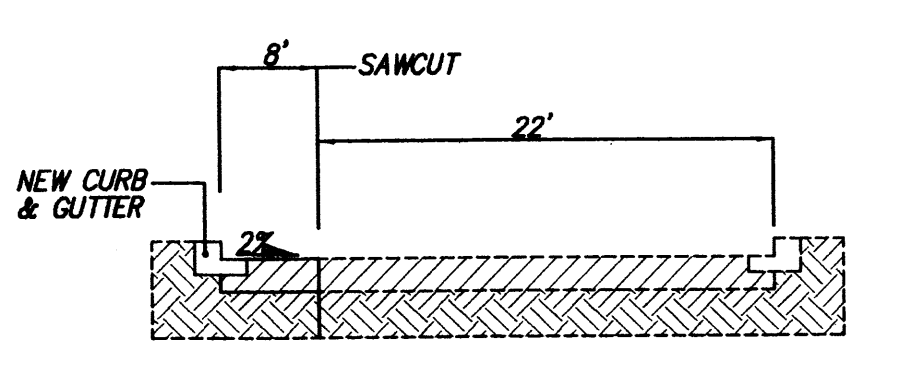
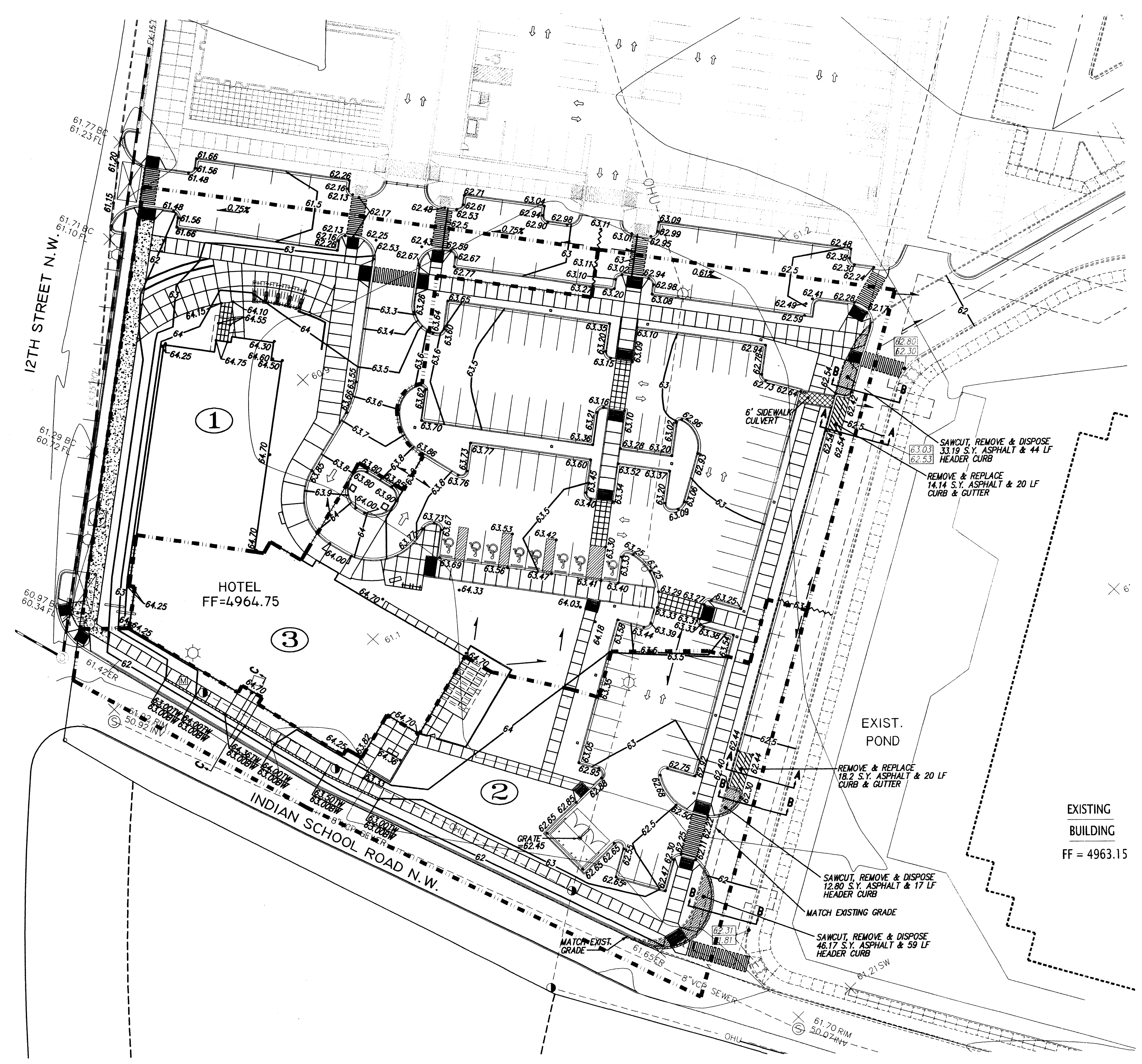
▲	8/11/06	COMMENT REVISIONS
▲	11/13/06	REVISIONS

MAR<	DATE	DESCRIPTION
ISSUE:		DRB SET
PROJECT NO:		0510
CAD DWG FILE:		
DRAWN BY:		
CHECKED BY:		
DATE:		7/21/06

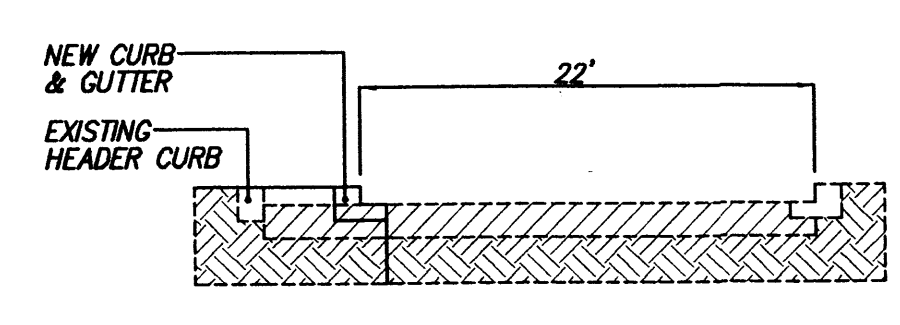
SHEET TITLE
GRADING & DRAINAGE
PLAN

sheet C101 of . sheets

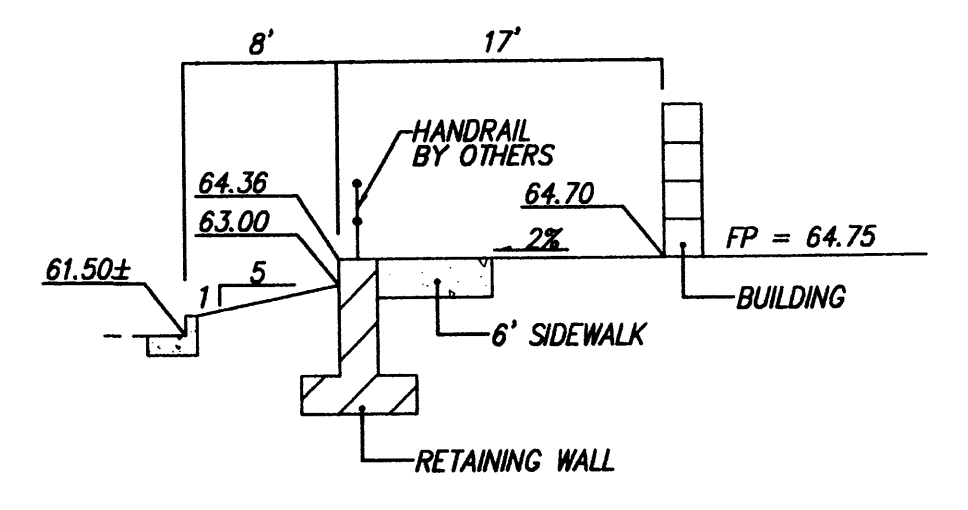
- LEGEND**
- × 00.00 EXISTING SPOT ELEVATION
 - + 00.00 SW EXISTING SIDEWALK ELEVATION
 - + 00.00 BC EXISTING CURB ELEVATION
 - + 00.00 BC EXISTING PAVEMENT ELEVATION
 - + 00.00 BK EXISTING RIM & INV ELEVATION
 - ⊗ EXISTING TRAFFIC SIGNAL BOX
 - ⊙ EXISTING TRAFFIC SIGNAL
 - ⊙ EXISTING LIGHT POLE
 - ⊙ EXISTING POWER POLE
 - OHU- EXISTING OVERHEAD UTILITY LINE
 - GAS- EXISTING GAS LINE
 - SEWER- EXISTING SEWER LINE
 - WATER- EXISTING WATER LINE
 - EXISTING ANCHOR
 - ⊙ EXISTING SEWER MANHOLE
 - ⊙ EXISTING STORM MH
 - EX 18" RCP EXISTING STORM DRAIN
 - EXISTING SIDEWALK
 - EXISTING WATER VALVE
 - EXISTING METER RISER
 - EXISTING BILLBOARD
 - EXISTING FIRE HYDRANT
 - EXISTING DROP INLET
 - - - EXISTING FENCE
 - - - EXISTING PROPERTY LINE
 - - - EXISTING CONTOURS
 - - - EXISTING LOT LINES
 - - - EXISTING CURB & GUTTER
 - NEW STANDARD CURB & GUTTER
 - NEW BUILDING
 - NEW EXTRUDED CONCRETE CURB
 - NEW PARKING STRIPES
 - 63 NEW CONTOURS
 - NEW RETAINING WALL
 - NEW WATER BLOCK
 - NEW FENCE
 - - - NEW DRAINAGE BASIN BOUNDARY
 - * 62.60 NEW SPOT ELEVATION
 - NEW FLOW ARROW
 - ① NEW DRAINAGE BASIN ID



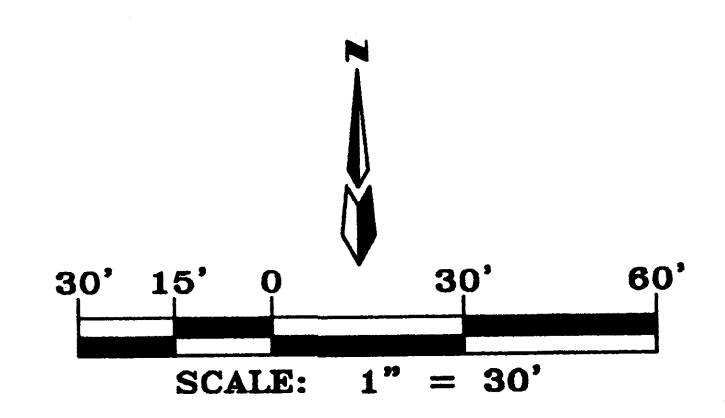
SAWCUT REMOVE & REPLACE
DETAIL A-A
NTS



SAWCUT REMOVE & DISPOSE
DETAIL B-B
NTS



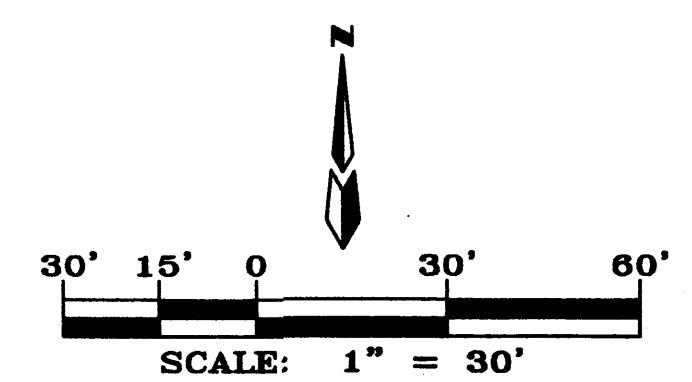
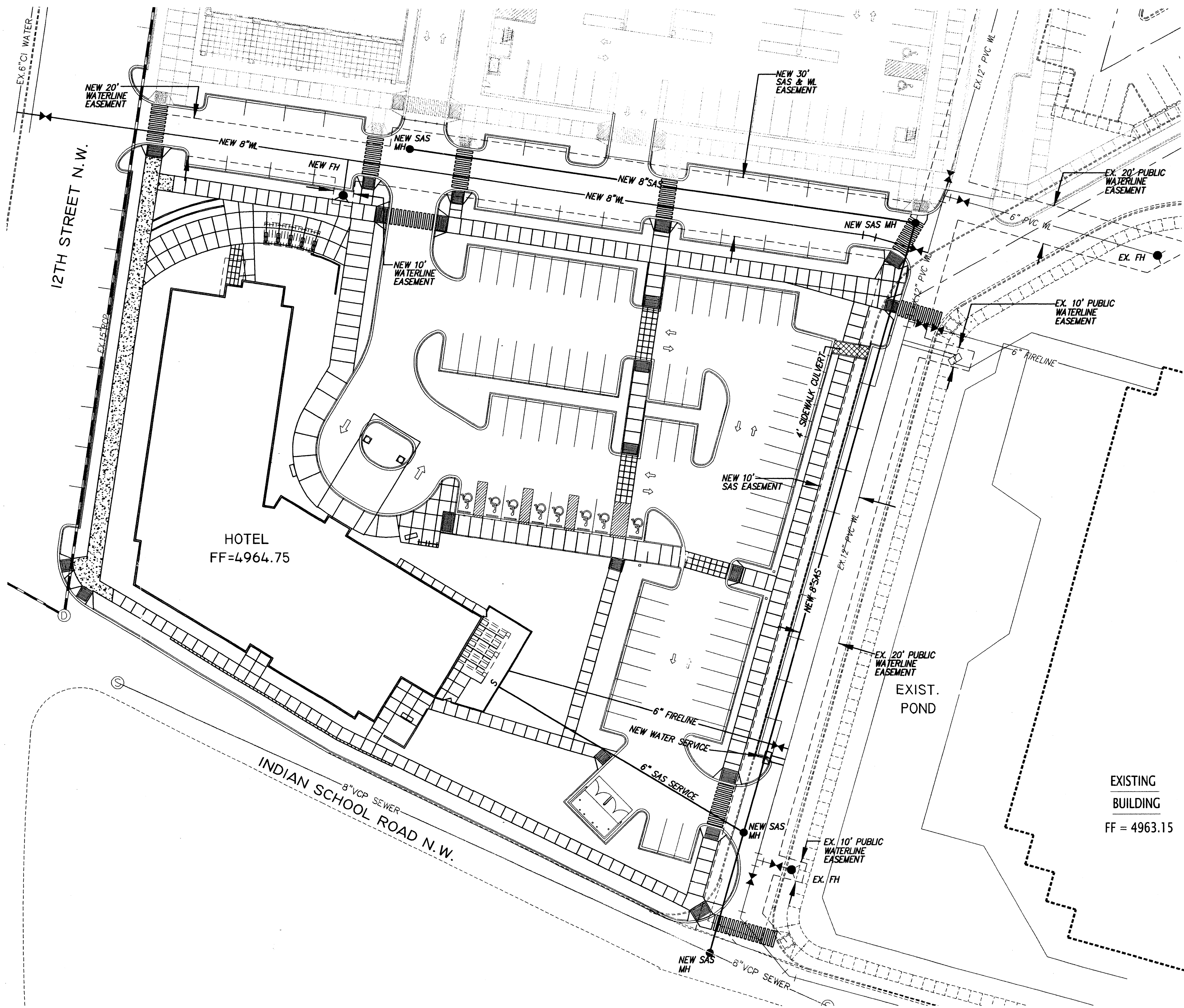
DETAIL C-C
SCALE: 1"=10'



A06:JOBS\A6049\INDIAN SCHOOL HOTEL\DWG\GRADE & DRAIN\A6049-G&D-30\12-27-06\ACH

LEGEND

- x 00.0 EXISTING SPOT ELEVATION
- 00.00 SW EXISTING SIDEWALK ELEVATION
- 00.00 FC EXISTING CURB ELEVATION
- 00.00 PK EXISTING PAVEMENT ELEVATION
- 00.00 RM EXISTING RIM & INV ELEVATION
- ⊠ EXISTING TRAFFIC SIGNAL BOX
- EXISTING TRAFFIC SIGNAL
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- OHU- EXISTING OVERHEAD UTILITY LINE
- GAS- EXISTING GAS LINE
- SEWER- EXISTING SEWER LINE
- WATER- EXISTING WATER LINE
- ⊙ EXISTING ANCHOR
- ⊙ EXISTING SEWER MANHOLE
- ⊙ EXISTING STORM MH
- ⊙ EXISTING STORM MH
- ⊙ EXISTING SIDEWALK
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING METER RISER
- ⊙ EXISTING BILLBOARD
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING DROP INLET
- ⊙ EXISTING FENCE
- EXISTING PROPERTY LINE
- EXISTING CONTOURS
- EXISTING LOT LINES
- EXISTING CURB & GUTTER
- NEW STANDARD CURB & GUTTER
- NEW BUILDING
- NEW EXTRUDED CONCRETE CURB
- NEW PARKING STRIPES
- NEW RETAINING WALL
- FF = 4964 NEW FINISH FLOOR
- 12"SAS- NEW SAS LINE
- 18"W- NEW WATERLINE



STUDIO
SW
ARCHITECTS

STUDIO SOUTHWEST ARCHITECTS, INC.
2101 Mountain Rd. NW, Albuquerque, NM 87104
505.843.9639 fax 505.843.9683
Web Site: www.studioswarch.com
E-Mail: mail@studioswarch.com

© 2006, Studio Southwest Architects, Inc.
Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of Federal and international law. The information contained on this document is the intellectual property of Studio Southwest, Inc. and all rights thereto are Reserved. For exceptions, refer to the Owner-Architect Agreement.

CONSULTANTS
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

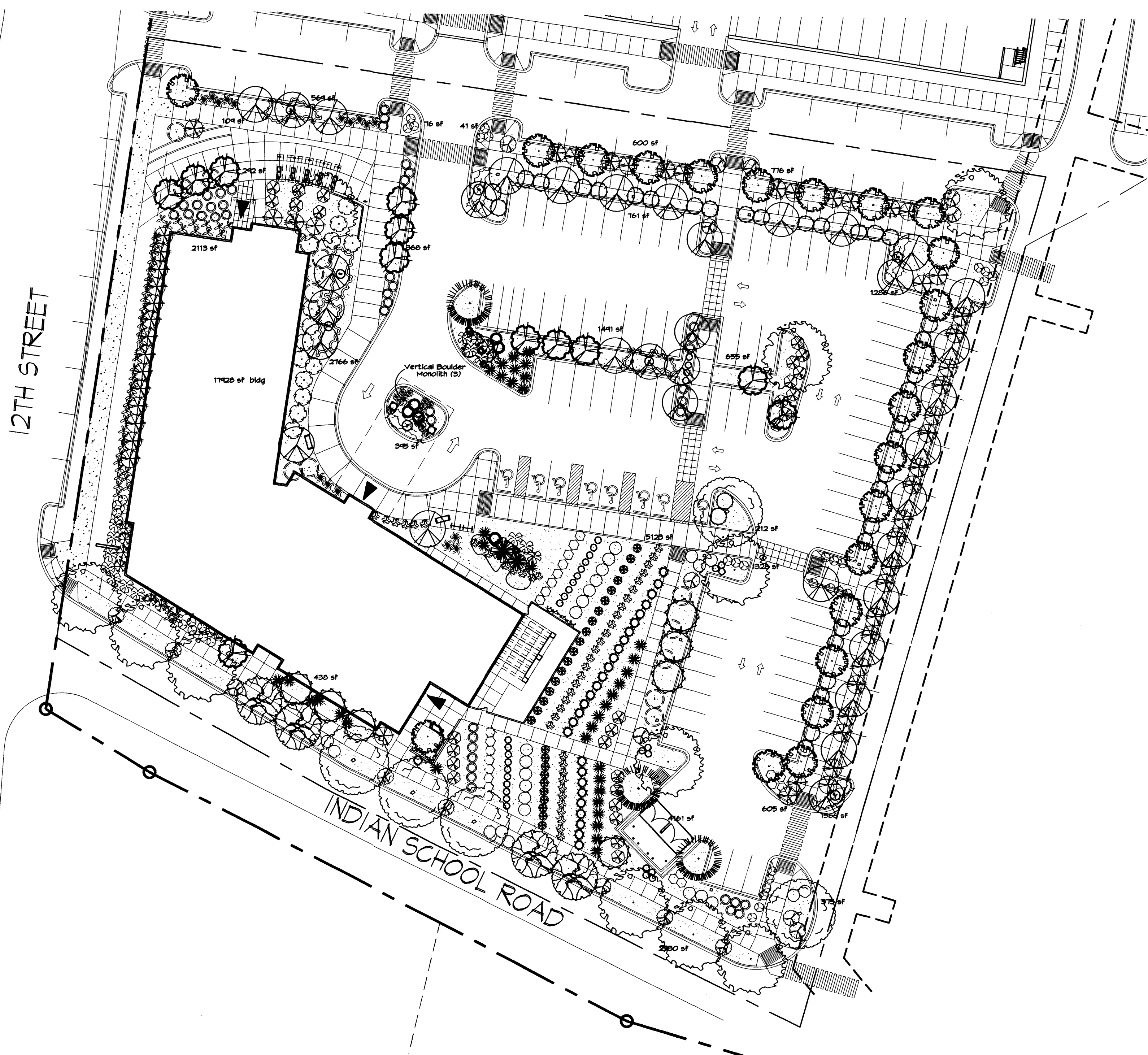
Architect Engineer

PROPOSED HOTEL
INDIAN SCHOOL BLVD
ALBUQUERQUE, NM
IPFDC
MASTER PLAN

△	8/11/06	COMMENT REVISIONS
△	11/13/06	REVISIONS
MARK	DATE	DESCRIPTION
ISSUE:	DRB SET	
PROJECT NO:	0510	
CAD DWG FILE:		
DRAWN BY:		
CHECKED BY:		
DATE:	7/21/06	

SHEET TITLE
CONCEPTUAL
UTILITY
PLAN
sheet C102 of . sheets

12TH STREET



INDIAN SCHOOL ROAD

PLANT LEGEND

- CHINESE PISTACHE (M) 11
Fistachia chinensis
2" Cal.
- PURPLE ROBE LOCUST (M) 5
Robinia pseudoacacia
2" Cal.
- CHITALPA (M) 4
Chilopsis X Catalpa
2" Cal.
- DESERT WILLOW (L) 7
Chilopsis linearis
15 Gal.
- OCOTILLO (L) 9
Fouquieria splendens
- MUGO PINE (M) 6
Pinus mugo
5 Gal. 45f
- SILVERBERRY (M) 55
Elaeagnus pungens
5 Gal. 100sf
- PARNEY COTONEASTER (M) 13
Cotoneaster lacteus
5 Gal. 144sf
- BUTTERFLY BUSH (M) 14
Buddleia davidii
5 Gal. 100sf
- RED TIP PHOTINIA (M+) 35
Photinia fraseri
5 Gal. 64sf
- RED YUCCA (L) 37
Hesperaloe parviflora
5 Gal. 45f
- MAIDENGRASS (M) 16
Miscanthus sinensis
5 Gal. 16sf
- REGAL MIST (M) 28
Muhlenbergia capillaris
5 Gal. 45f
- INDIAN HAWTHORN (M) 28
Raphiolepis indica
5 Gal. 36sf
- GREYLEAF COTONEASTER (M) 12
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 3 plants
- TRUMPET VINE (M) 3
Campsis radicans
1 Gal. 300sf
- COMMERCIAL GRADE STEEL EDGING
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- AUSTRIAN PINE (M) 3
Pinus nigra
6"-8"
- FLOWERING PEAR (M+) 35
Pyrus calleryana
2" Cal.
- CRABAPPLE (H) 22
Malus cultivars
1 1/2" Cal. B4B
- PURPLE-LEAF PLUM (M) 12
Prunus spp.
1 1/2" Cal.
- PALM YUCCA (L) 2
- APACHE PLUME (L) 27
Fallugia paradoxa
5 Gal. 25sf
- LANAS/ SCOTCH BROOM (M) 28
Cytisus scoparius/ Genista hispanica
5 Gal. 16sf
- ARP ROSEMARY (M) 44
Rosmarinus officinalis
5 Gal. 25sf
- AUTUMN SAGE (M) 23
Salvia greggii
1 Gal. 45f
- LAVENDER (M) 34
Lavandula angustifolia
1 Gal. 45f
- HONEYSUCKLE (M) 18
Lonicera japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- WILDFLOWER 39
1 Gal. 45f
- THREADGRASS (M) 46
Stipa tenuissima
1 Gal. 45f
- SHADE LOVING PERENNIALS 13
1 Gal. 45f
- CREEPING ROSEMARY (L) 12
Rosmarinus officinalis 'Prostrata'
1 Gal. 36sf
Symbol indicates 3 plants
- AGAVE (L) 13
Agave spp.
16 sf
- FRICKLY PEAR (L) 51
Opuntia macrocentra
9 sf
- VERTICAL BOULDER MONOLITH 3
- OVERSIZED GRAVEL 4 & BOULDERS

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	121208	square feet
TOTAL BUILDINGS AREA	17928	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	103280	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	15492	square feet
TOTAL BED PROVIDED	28733	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	21550	square feet
TOTAL GROUNDCOVER PROVIDED	21606 (75.2%)	square feet
TOTAL LANDSCAPE PROVIDED	28733	square feet

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

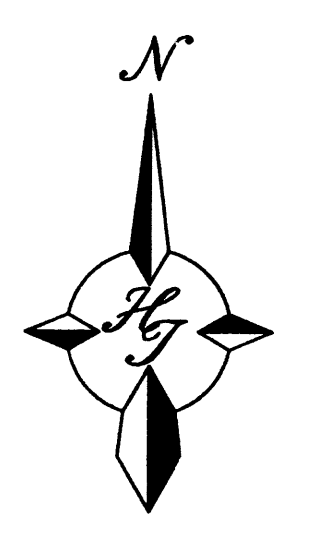
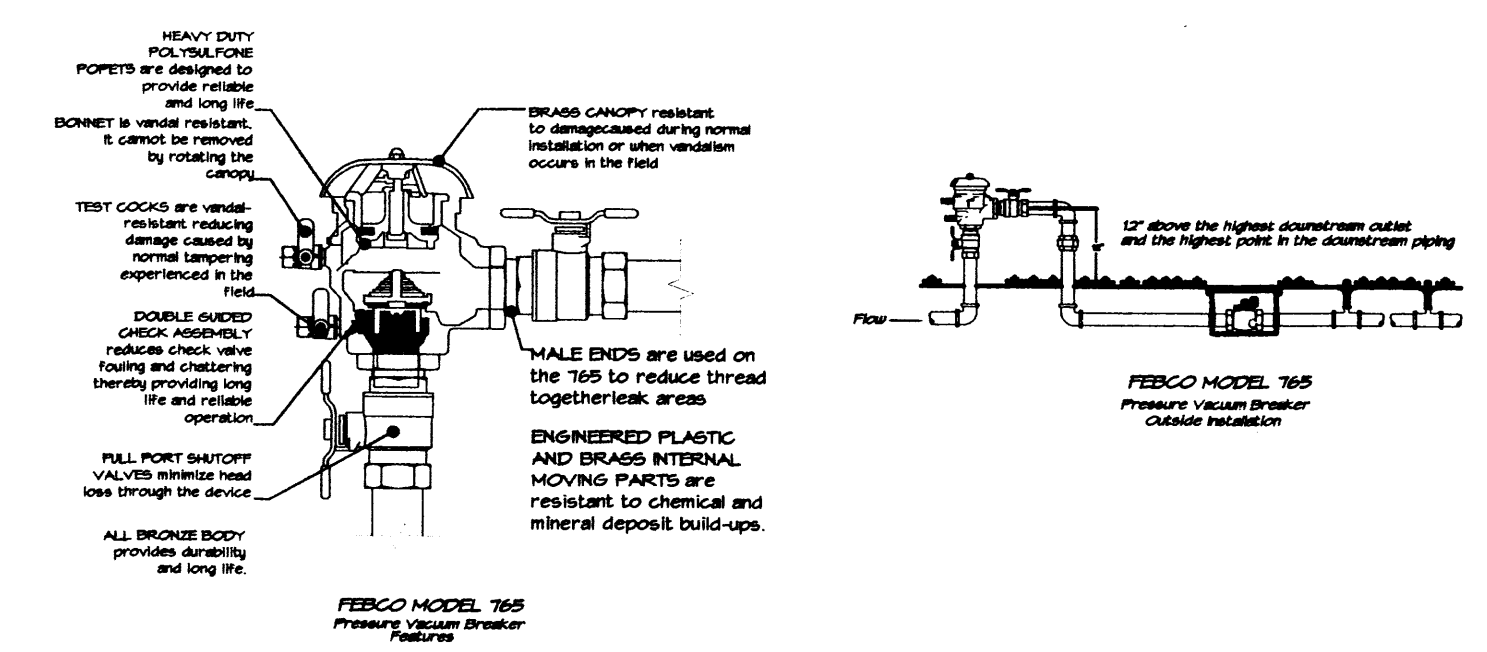
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



GRAPHIC SCALE

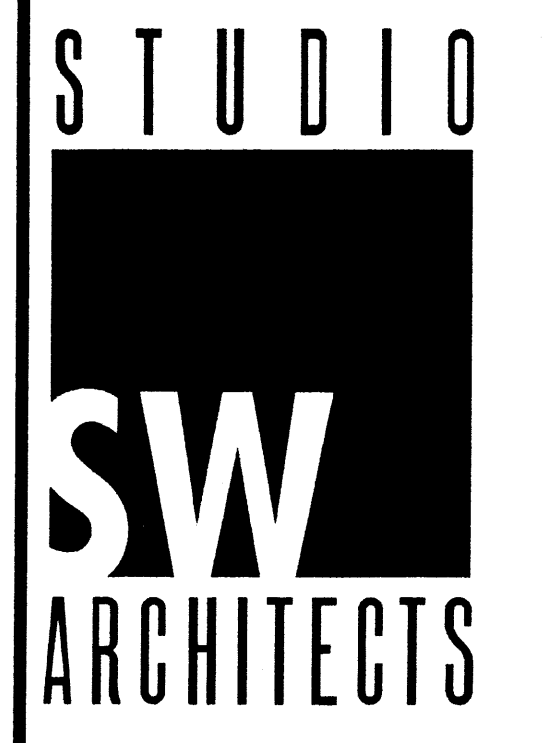


SCALE: 1"=30'



LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright law. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.



STUDIO SOUTHWEST ARCHITECTS, INC.
2101 Mountain Rd. NW, Albuquerque, NM 87104
505.843.9639 fax 505.843.9683
Web Site: www.studioswarch.com
E-Mail: mail@studioswarch.com

© 2006, Studio Southwest Architects, Inc.
Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of Federal and international law. The information contained on this document is the intellectual property of Studio Southwest, Inc. and all rights thereto are reserved. For exceptions, refer to the Owner-Architect Agreement.

CONSULTANTS

Architect: _____ Engineer: _____

ADMIN. AMENDMENT

PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC
LANDSCAPE PLAN

REV	DATE	DESCRIPTION
rev 6	11/30/06	revised site plan
rev 5	11/20/06	revised site plan
rev 4	9/18/06	site plan & comments
rev 3	8/31/06	site plan & comments
rev 2	8/11/06	revised per comments
rev 1	7/19/06	site plan revision

ISSUE:	DRB SET
PROJECT NO:	0510
CAD DWG FILE:	
DRAWN BY:	odf
CHECKED BY:	cj
DATE:	6/26/05

SHEET TITLE

L1 L1

sheet of sheets