



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

February 27, 2013

Project# 1005033

13DRB-70448 EXT OF SIA FOR TEMP DEFR SDWK CONST

PROPERTY ONE CRES agent(s) for INDIAN PUEBLO FEDERAL DEVELOPMENT CORP. request(s) the above action(s) for all or a portion of Lot(s) 84E, **MRGCD MAP 35** zoned SU-1 FOR C-2, located on 12TH ST BETWEEN INDIAN SCHOOL ST AND MENAUL BLVD containing approximately 2.5 acre(s). (H-13)

At the February 27, 2013 Development Review Board meeting, a 2 year extension to the agreement for the deferral of sidewalks was approved. Please provide an exhibit to the Design Review Committee indicating the lot number/addresses where sidewalks are still deferred.

If you wish to appeal this decision, you must do so by March 14, 2013 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, DRB Chair

Cc: PROPERTY ONE CRES
Marilyn Maldonado
file

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
February 27, 2013
DRB Comments**

ITEM # 5

PROJECT # 1005033 APPLICATION # 13-704448

RE: Tract 84E, MRGCD Map #35

There is a monument sign placed in the location for future sidewalk which is not consistent with the approved site plan and needs to be relocated as a condition of SIA extension.

Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

April 29, 2009

Project# 1005033

09DRB-70126 MAJOR - 2YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS
(2YR SIA)

MARK GOODWIN AND ASSOCIATES PA agent(s) for INDIAN PUEBLOS FEDERAL DEVELOPMENT CORP. request(s) the referenced/ above action(s) for all or a portion of Lot(s) 84E, MRGCD Map No. 35 [INDIAN SCHOOL PROPERTIES] zoned SU-1, located on the north side of INDIAN SCHOOL RD NW between 12TH ST NW and 9TH ST NW containing approximately 2.78 acre(s). (H-13, H-14)

At the April 29, 2009 Development Review Board meeting, the 2 year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by May 14, 2009, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, AICP, DRB Chair

Cc: Mark Goodwin & Associates, PA – P.O Box 90606 – Albuquerque, NM 87199
Cc: Indian Pueblos Federal Development Corp. – 7611 Indian School Rd NE –
Albuquerque, NM 87110
Marilyn Maldonado
File



DEVELOPMENT REVIEW BOARD
Action Sheet

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 29, 2009 9:00 am

MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department

Angela Gomez, Administrative Assistant

Kristal Metro, P.E. , Transportation Development
Brad Bingham, P.E., Hydrology/ Alternate City Engineer

Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA
Christina Sandoval, Parks/Municipal Development

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1007263**
09DRB-70012 MAJOR - PRELIMINARY
PLAT APPROVAL
09DRB-70013 SIDEWALK WAIVER
09DRB-70014 MINOR - TEMP DEFR
SWDK CONST

BOHANNAN HUSTON INC agent(s) for KHANI COMPANY-NASER ALIKHANI request(s) he above action(s) for all or a portion of Tract(s) A-1, **FOUR HILLS VILLAGE- 21ST INSTALLMENT**, zoned R-1, located on HIDEWAY LN SE AND WARM SANDS DR SE AND OPEN SPACE containing approximately 7.2734 acre(s). (M-23)[*Deferred from 2/11/09, 3/4/09, 3/18/09, 4/8/09*] **DEFERRED TO 5/6/09 AT THE AGENT'S REQUEST.**

2. ~~**Project# 1005033**~~
09DRB-70126 MAJOR - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS (2YR SIA)

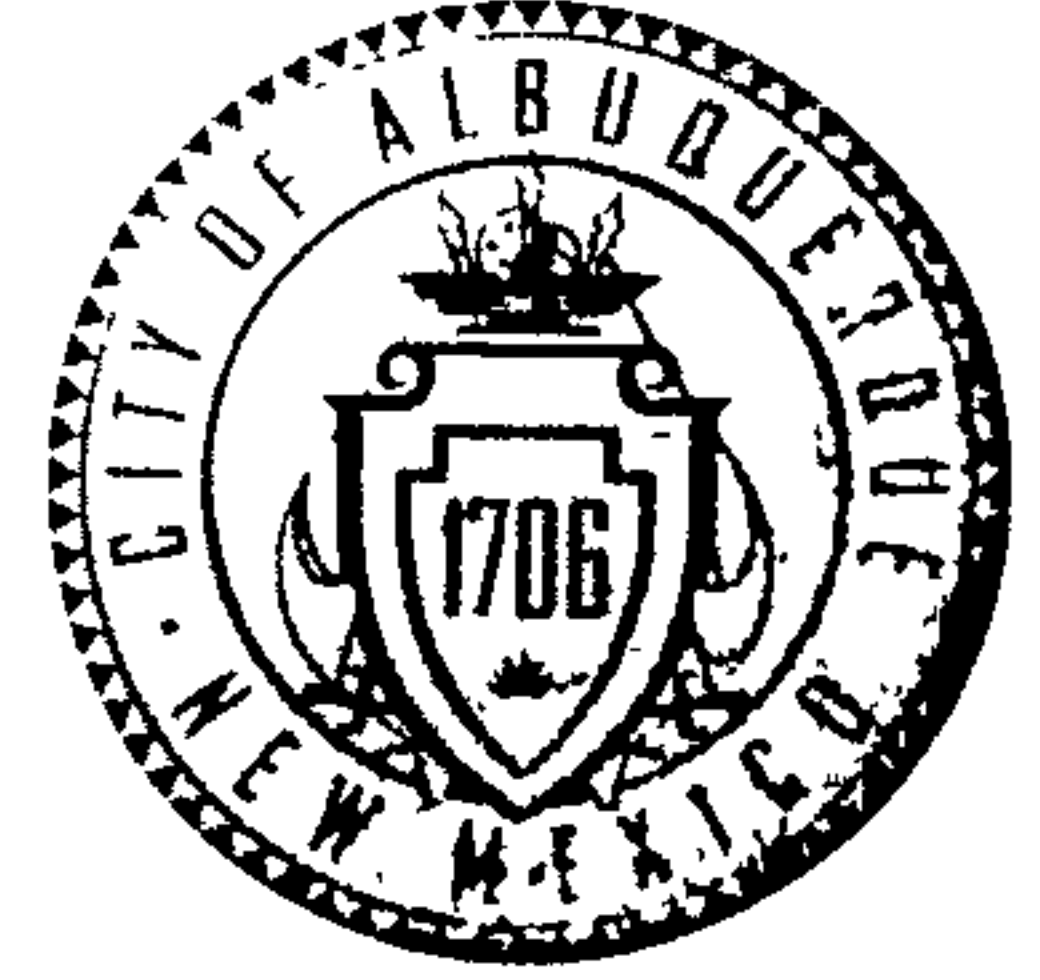
MARK GOODWIN AND ASSOCIATES PA agent(s) for INDIAN PUEBLOS FEDERAL DEVELOPMENT CORP. request(s) the referenced/ above action(s) for all or a portion of Lot(s) 84E, MRGCD Map No. 35 [**INDIAN SCHOOL PROPERTIES**] zoned SU-1, located on the north side of INDIAN SCHOOL RD NW between 12TH ST NW and 9TH ST NW containing approximately 2.78 acre(s). (H-13, H-14) **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

3. **Project# 1000570**
09DRB-70155 EPC APPROVED SDP
FOR SUBDIVISION

THE DESIGN GROUP agent(s) for SUNCAL COMPANIES NEW MEXICO DIVISION request(s) the above action(s) for all or a portion of Lot(s) C, D, E, F, G, & H, **WESTLAND NORTH BULK PLAT** zoned SU-2 FOR RLT, R-2, C-1, PRD, & OS, located on ARROYO VISTA NW & 118TH ST NW BETWEEN HIGH MESA DR NW AND 98TH ST NW containing approximately 506 acre(s). (J-7, J-8, K-7, & K-8) **DEFERRED TO 5/13/09 AT THE AGENT'S REQUEST.**

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD MEMO

DRB CASE NO/PROJECT NO: 1005033

AGENDA ITEM NO: 2

SUBJECT:

2 Yr SIA Extension

ENGINEERING COMMENTS:

No objection

PO Box 1293

RESOLUTION:

Albuquerque

APPROVED ____; DENIED ____; COMMENTS PROVIDED ____; WITHDRAWN ____
DEFERRED TO: _____

NM 87103 SIGNED: (UD) (CE) (TRANS) (PKS) (PLNG)

COMMENTS:

www.cabq.gov

SIGNED:

Curtis Cherne
City Engineer Designee
924-3695

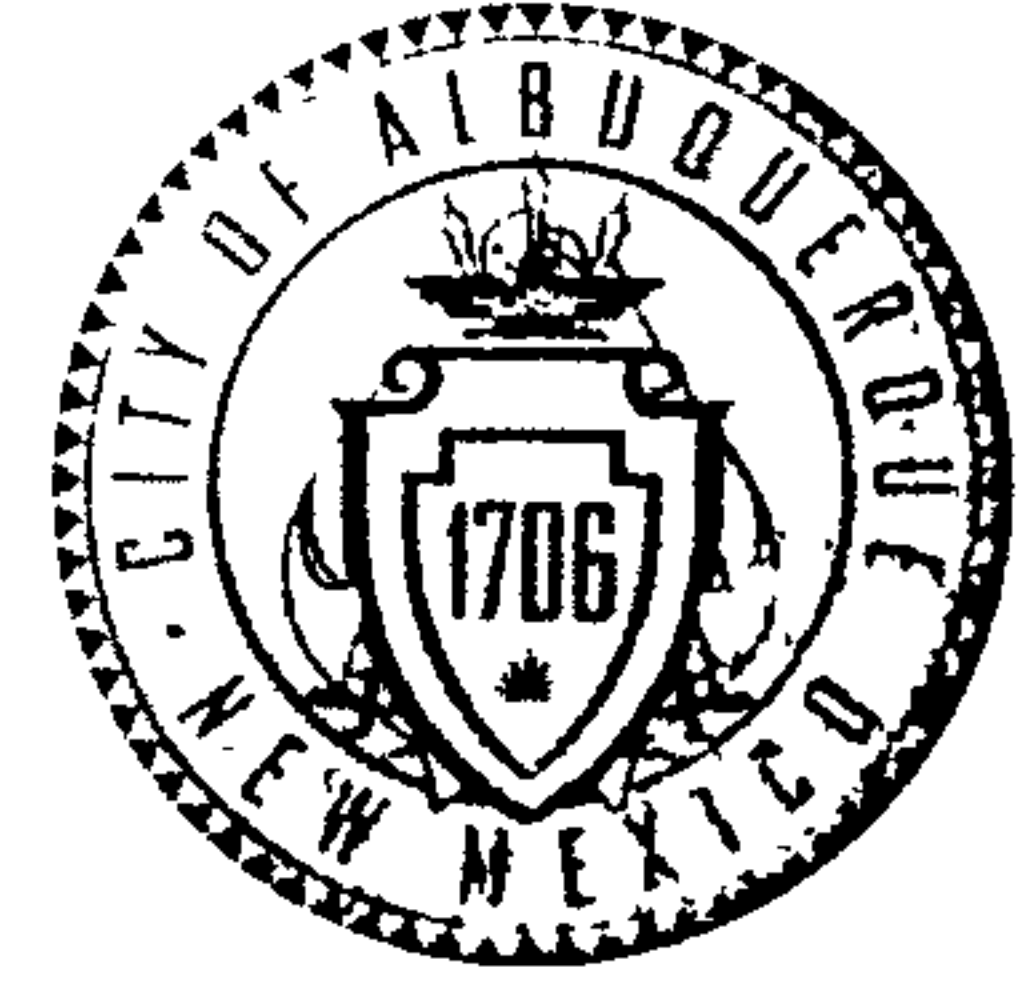
DATE: 4-29-09

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1005033 AGENDA# 2 DATE: 4/29/09

- 1. Name: _____ Address: _____ Zip: _____
- 2. Name: _____ Address: _____ Zip: _____
- 3. Name: _____ Address: _____ Zip: _____
- 4. Name: _____ Address: _____ Zip: _____
- 5. Name: _____ Address: _____ Zip: _____
- 6. Name: _____ Address: _____ Zip: _____
- 7. Name: _____ Address: _____ Zip: _____
- 8. Name: _____ Address: _____ Zip: _____
- 9. Name: _____ Address: _____ Zip: _____
- 10. Name: _____ Address: _____ Zip: _____
- 11. Name: _____ Address: _____ Zip: _____
- 12. Name: _____ Address: _____ Zip: _____
- 13. Name: _____ Address: _____ Zip: _____
- 14. Name: _____ Address: _____ Zip: _____
- 15. Name: _____ Address: _____ Zip: _____
- 16. Name: _____ Address: _____ Zip: _____
- 17. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD MEMO

DRB CASE NO/PROJECT NO: 1005033

AGENDA ITEM NO: 2

SUBJECT:

2 Yr SIA Extension

ENGINEERING COMMENTS:

No objection

PO Box 1293

RESOLUTION:

Albuquerque

APPROVED , DENIED ; COMMENTS PROVIDED ; WITHDRAWN
DEFERRED TO:

NM 87103 SIGNED: (UD) (CE) (TRANS) (PKS) (PLNG)

COMMENTS:

www.cabq.gov

SIGNED:

Curtis Cherne
City Engineer Designee
924-3695

DATE: 4-29-09



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

April 29, 2009

Project# 1005033

09DRB-70126 MAJOR - 2YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS (2YR SIA)

MARK GOODWIN AND ASSOCIATES PA agent(s) for INDIAN PUEBLOS FEDERAL DEVELOPMENT CORP. request(s) the referenced/ above action(s) for all or a portion of Lot(s) 84E, MRGCD Map No. 35 [**INDIAN SCHOOL PROPERTIES**] zoned SU-1, located on the north side of INDIAN SCHOOL RD NW between 12TH ST NW and 9TH ST NW containing approximately 2.78 acre(s). (H-13, H-14)

AMAFCA No comment.
COG No comments.
TRANSIT No comments.
ZONING ENFORCEMENT No comments.
NEIGHBORHOOD COORDINATION Letters sent to: Near North Valley NA (R)
APS No comments.
POLICE DEPARTMENT No comments.
FIRE DEPARTMENT No comments.
PNM ELECTRIC & GAS No comments.
COMCAST No comments.
QWEST No adverse comments.
ENVIRONMENTAL HEALTH No comments.
M.R.G.C.D No adverse comments.
OPEN SPACE DIVISION Open Space has no adverse comments
CITY ENGINEER The Hydrology section has no objection to the extension request.
TRANSPORTATION DEVELOPMENT No adverse comments.
PARKS AND RECREATION Defer to Transportation.

ABCWUA

No objection to Extension request.

PLANNING DEPARTMENT

Refer to comments from affected agencies and any public hearing comments regarding proposed extension.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

X2



Close Out Please

COMPLETED 02/20/07
DRB CASE ACTION LOG
REVISED 9/28/05
(SPBT)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06 DRB 01056 Project # 1005033
Project Name: Indian School Hotel
Agent: Bob Jensen Phone No.: 843-4639
Studio SW Architects

Project Number
1005033

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 9/6/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

~~TRANSPORTATION:~~ _____

- _____
- _____
- _____
- _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: - SIA
- SWMD signature - SIGNATURE RESOLUTION } NOV 4 /
- DIMENSIONING ON SITE PLAN } REVIEWED
- 3 COPIES

PARKS / CIP: _____

PLANNING (Last to sign): 15 day appeal 3 copies Atta Land Survey replating issued in Council Ordinance
3) monument sign oriented to 12th st.
4) 10 landscaping
5) Indian School Blvd - private or public security gate on SPS

Planning must record this plat. Please submit the following items:
-The original plat and a mylar copy for the County Clerk.
-Tax certificate from the County Treasurer.
-Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
-Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Handwritten mark



DRB CASE ACTION LOG

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06 DRB 01056 Project # 1005033
 Project Name: Indigo School Hotel
 Agent: Bob Jensen Phone No.: 843-9639
Studio SW Architects

Project Number 1005033

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OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

~~TRANSPORTATION:~~ _____

- _____
- _____
- _____
- _____

UTILITIES: _____

- _____
- _____
- _____

CITY ENGINEER / AMAFCA: - SIA Resolution meet
- SIDEWALK RESOLUTION } Must be
- DIMENSIONING on SITE PLAN } marked
- 3 COPIES

PARKS / CIP: _____

- _____
- _____
- _____

PLANNING (Last to sign): 15 day appeal 30 days Atta Land Survey redacting
monument sign oriented to 12th st. } issued
to landscaping } in Council
Indian Spring Road - private or public } Order
security gate on SPS

- Planning must record this plat. Please submit the following items:
- The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk) RECORDED DATE: _____
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- 3 copies of the approved site plan. Include all pages.**
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OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

September 6, 2006

2. ~~Project # 1005033~~
06DRB-01056 Major-SiteDev Plan BldPermit

STUDIO SOUTHWEST ARCHITECTS agent(s) for I. P. F. D. C. request(s) the above action(s) for A PORTION OF I. P. F. D. C. (INDIAN PUEBLOS FEDERAL DEVELOPMENT CORP.) 7 ACRE SITE, **INDIAN PUEBLO COUNCIL PROPERTY**, zoned SU-1 C-2 with restrictions, located on 12th ST NW, between INDIAN SCHOOL NW and MENAUL NW containing approximately 3 acre(s). [REF: 03EPC-01676, 03EPC-01677] [Deferred from 8/16/06 & 8/23/06] (H-13/H-14)

At the September 6, 2006, Development Review Board meeting, with the signing of the infrastructure list dated 9/6/06 the site plan for building permit was approved with final sign off delegated to City Engineer for the Subdivision Improvements Agreement (SIA), sidewalk resolution, dimensioning on the site plan (to meet with Wilfred Gallegos) and 3 copies of the site plan and Planning for 15-day appeal period, ALTA land survey replatting issue in City Council Ordinance, monument sign oriented to 12th Street, percentage landscaping, Indian School Road – private or public – security gate on site plan for subdivision.

If you wish to appeal this decision, you must do so by September 21, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

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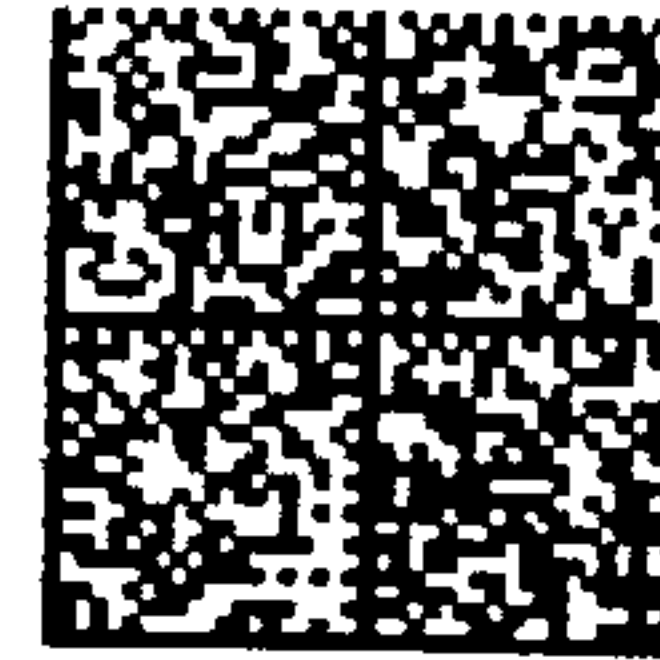
Sheran Matson, AICP, DRB Chair

Cc:I.P.F.D.C., 2412 Comanche Rd NE, 87107
Studio Southwest Architects, 2101 Mountain Rd NW, 87104
George Hutton, 1820 Indian School Rd NW, Apt. 103, 87104
Claude Morrelli, 7 Garden Park Cr NW, 87107
Bill Halton, 570 Black Bear RD NE, 87122
Marit Tully, 407 La Poblana NW, 87107
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

CITY OF ALBUQUERQUE



Planning Department



UNITED STATES POSTAGE
PITNEY BOWES
02 1M
0004219022 SEP 07 2006
MAILED FROM ZIP CODE 87102
\$ 00.39⁰

MARIT TULLY
407 LA POBLANA NW
ALBUQUERQUE NM 87107

NOT ATTEMPTED
NO POSTAGE
NECESSARY
IF MAILED
IN THE
UNITED STATES

DRB
Watson

Wm

87107+9999



P O Box 1293 Albuquerque, New Mexico 87103

NOT EMPTED
NOT KNOWN

87103/1293

|||||



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

September 6, 2006

2. Project # 1005033
06DRB-01056 Major-SiteDev Plan BldPermit

STUDIO SOUTHWEST ARCHITECTS agent(s) for I. P. F. D. C. request(s) the above action(s) for A PORTION OF I. P. F. D. C. (INDIAN PUEBLOS FEDERAL DEVELOPMENT CORP.) 7 ACRE SITE, **INDIAN PUEBLO COUNCIL PROPERTY**, zoned SU-1 C-2 with restrictions, located on 12th ST NW, between INDIAN SCHOOL NW and MENAUL NW containing approximately 3 acre(s). [REF: 03EPC-01676, 03EPC-01677] [*Deferred from 8/16/06 & 8/23/06*] (H-13/H-14)

At the September 6, 2006, Development Review Board meeting, with the signing of the infrastructure list dated 9/6/06 the site plan for building permit was approved with final sign off delegated to City Engineer for the Subdivision Improvements Agreement (SIA), sidewalk resolution, dimensioning on the site plan (to meet with Wilfred Gallegos) and 3 copies of the site plan and Planning for 15-day appeal period, ALTA land survey replatting issue in City Council Ordinance, monument sign oriented to 12th Street, percentage landscaping, Indian School Road – private or public – security gate on site plan for subdivision.

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Sheran Matson, AICP, DRB Chair

Cc:I.P.F.D.C., 2412 Comanche Rd NE, 87107
Studio Southwest Architects, 2101 Mountain Rd NW, 87104
George Hutton, 1820 Indian School Rd NW, Apt. 103, 87104
Claude Morrelli, 7 Garden Park Cr NW, 87107
Bill Halton, 570 Black Bear RD NE, 87122
Marit Tully, 407 La Poblana NW, 87107
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1005033 AGENDA#: 2 DATE: 9/6/06

2 NEIGHBOR

1. Name: George Neutron Address: 1820 Jones School Rd NW Zip: 87104
ap 103

X 2. Name: Bob Heiser Address: 2101 Mountain Rd NE Zip: 87107

X NEIGHBOR

3. Name: Claude Morelli Address: 7 Garden Park Cir NW Zip: 87107

X 4. Name: Bill Halton Address: 570 Birch Bend NE ASG Zip: 87122

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

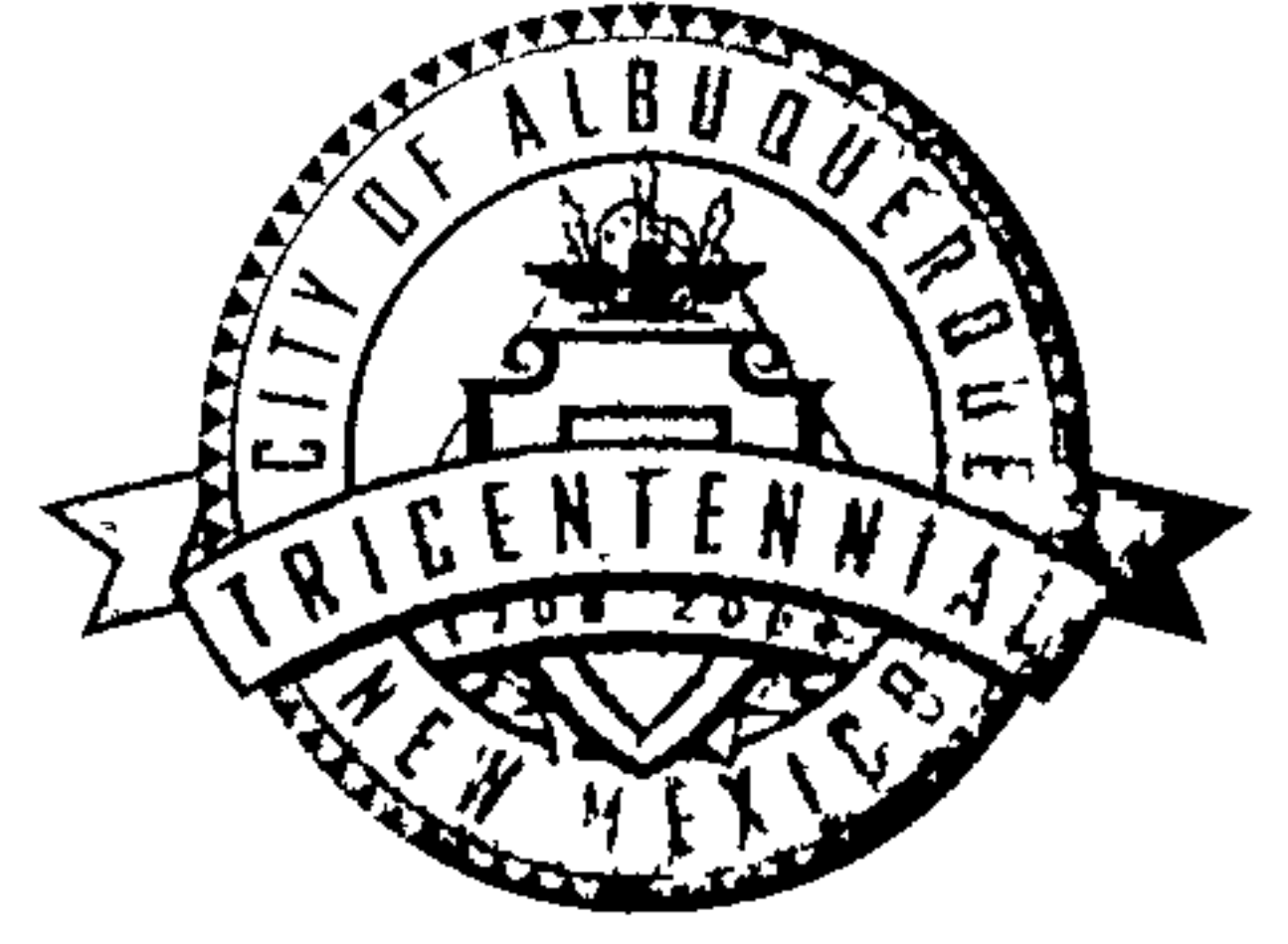
11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1005033

AGENDA ITEM NO: 2

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

Signed IL

APPROVED ; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: SEPTEMBER 6, 2006

• 9/06/06

Claude - 2 more tweaks

1. ped. access. ADA

modern sidewalk at pool
NE corner sidewalk offset

2. 12th + Menard Plan

• SW corner - black wall
bldg

3. low walls along internal streets

4. pine trees along sidewalk
NW corner

Geo. Hutton - Pres ~~NV~~^{NA}

1. ADA compliance

2. low shrub in lieu of wall
add silverberries

Bill Hutton -

1. Western side sidewalk
temp. side & F.E. perm
sidewalks

2. Document by IPFDC

2nd. Title 3. Ind. School RQ issue
Title status report - BIA

4. Security Gate

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1005033 AGENDA#: 1 DATE: 8/23/06

1. Name: MARIT Tully Address: 407 La Poblana NW Zip: 87107

2. Name: ~~Russell~~ Address: ~~9384 Valley~~ Zip: ~~87119~~

3. Name: Bob HENKIN Address: 2101 MOUNTAIN RD NW Zip: 87107

4. Name: Glenn Garcia Address: 103 Aztec N.W Zip: 87107

5. Name: Deepesh Kholwadwala Address: 8815 Desert Fox Way NE Zip: 87122

6. Name: George Hutton Address: 1820 Indian School NW #103 Zip: 87104

7. Name: Bruce Sanchez Address: 2412 Comanche NE Zip: 87107

8. Name: Bill Hutton Address: 570 Blackhawk Zip: 87122

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1005033

AGENDA ITEM NO: 1

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ⁹⁻⁶⁻⁰⁶ X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: AUGUST 23, 2006



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Building, 3rd FLOOR CONFERENCE ROOM, Planning Department

August 23, 2006

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: THE DEVELOPMENT REVIEW BOARD WILL TAKE A LUNCH BREAK . . .

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 1:37 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1005033**
06DRB-01056 Major-SiteDev Plan
BldPermit

STUDIO SOUTHWEST ARCHITECTS agent(s) for I. P. F. D. C. request(s) the above action(s) for A PORTION OF I. P. F. D. C. (INDIAN PUEBLOS FEDERAL DEVELOPMENT CORP.) 7 ACRE SITE, **INDIAN PUEBLO COUNCIL PROPERTY**, zoned SU-1 C-2 with restrictions, located on 12th ST NW, between INDIAN SCHOOL NW and MENAUL NW containing approximately 3 acre(s). [REF: 03EPC-01676, 03EPC-01677] [Deferred from 8/16/06 & 8/23/06] (H-13/H-14)
DEFERRED AT THE AGENT'S REQUEST TO 9/6/06.

2. **Project # 1002176**
06DRB-01079 Major-Preliminary Plat
Approval
06DRB-01080 Major-Vacation of
Public Easements
06DRB-01081 Minor-Temp Defer
SDWK

SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT, BILL WADE request(s) the above action(s) for all or a portion of Tract(s) A, **COVERED WAGON SUBDIVISION**, zoned SU-1 for SF residential and C1 (SC), located on FOUR HILLS RD SE near INTERSTATE 40 containing approximately 2 acre(s). [REF: 06DRB-00092] (L-23) **WITH APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/30/04 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS: IF THE FINAL PLAT IS APPROVED AFTER 10/31/06 THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS). A SUBDIVISION DESIGN VARIANCE FOR THE 46-FOOT RIGHT-OF-WAY IS REQUIRED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

3. **Project # 1005031**
06DRB-01077 Major-Vacation of
Public Easements

SURV-TEK agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS, UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned R-D, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018] [*Deferred from 8/23/06*] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 9/13/06.**

- 06DRB-01017 Major-Preliminary Plat
Approval
06DRB-01018 Minor-Temp Defer
SDWK

SURV TEK & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned R-D residential and related uses zone, developing area, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD

NW containing approximately 20 acre(s). (Listed as Project 1004644 in error) [Deferred from 8/9/06 & 8/23/06] (C-9) DEFERRED AT THE AGENT'S REQUEST TO 9/13/06.

4. **Project # 1002372**
06DRB-01084 Major-Preliminary Plat Approval
06DRB-01085 Minor-Sidewalk Waiver
06DRB-01086 Minor-Temp Defer SDWK

THOMPSON ENGINEERING agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or a portion of Tract(s) 223 & 224, AIRPORT UNIT, TOWN OF ATRISCO GRANT (to be known as **LAS PLAYAS SUBDIVISION**) zoned R-2, located on GLEN RIO RD NW, between 68TH ST NW and 72ND ST NW containing approximately 9 acre(s). [REF: 02DRB-01827] (J-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/23/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/22/06 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS: IF THE FINAL PLAT IS APPROVED AFTER 10/31/06 THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS). A NOTE ON THE PLAT STATING WHICH LOTS ARE TOWNHOMES AND WHICH ARE SINGLE FAMILY IS REQUIRED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

5. **Project # 1003613**
06DRB-00854 Major-Preliminary Plat Approval
06DRB-00855 Major-Vacation of

THOMPSON ENGINEERING CONSULTANTS INC agent(s) for WAREHOUSE MOLDING & DOOR CORP request(s) the above action(s) for all or a portion of Tract(s) 34, MRGCD Map 39, Lot(s) 11, Rancho Rico

Public Easements
06DRB-00859 Minor-SiteDev Plan
Subd/EPC
06DRB-00856 Minor-Sidewalk Waiver
06DRB-00857 Minor-Temp Defer
SDWK

and Lot(s) 1-4, Powell Gardens Addition (to be known as **SUNSET VILLA ADDITION**) zoned SU-1 for PRD, located on SUNSET GARDENS RD SW between ATRISCO RD SW and ARENAL DITCH, containing approximately 15 acres. *[Deferred from 7/12/06 & 8/9/06 & 8/23/06]* (K-12) **DEFERRED AT THE BOARD'S REQUEST TO 9/6/06.**

6. **Project # 1004985**
06DRB-00916 Major-SiteDev Plan
BldPermit

JIM MEDLEY ARCHITECT AIA agent(s) for TNJ GROUP OF COMPANIES request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 4-B, **SUNPORT PARK**, zoned IP, located on SUNPORT BLVD SE, between UNIVERSITY BLVD SE and I-25 containing approximately 5 acre(s). [REF: Project# 1001067] *[Deferred from 7/19/06 & 8/2/06]* (M-15) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CITY DRAWING NUMBERS FOR WORK WITHIN THE RIGHT-OF-WAY AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

06DRB-01067 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for TNJ GROUP OF COMPANIES request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 4-B, **SUNPORT PARK**, zoned IP, located on WOODWARD RD SE, between TRANSPORT ST SE and SUNPORT PLACE SE containing approximately 5 acre(s). [REF: 06DRB-00916] *[Deferred from 8/2/06]* (M-15) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CROSS LOT DRAINAGE EASEMENT AND PLANNING FOR 15-DAY APPEAL PERIOD AND TO RECORD THE PLAT.**

7. **Project # 1004675**
 06DRB-01026 Major-Preliminary Plat Approval
 06DRB-01027 Major-Vacation of Public Easements
 06DRB-01028 Minor-Subd Design (DPM) Variance
 06DRB-01029 Minor-Sidewalk Waiver
 06DRB-01030 Minor-Temp Defer SDWK
- MARK GOODWIN & ASSOCIATES PA agent(s) for T. S. MCNANEY request(s) the above action(s) for all or a portion of Tract(s) 1, SP KINSCHERFFLAND AND SW ¼ ON NE ¼, SEC 35, T11N, R2E (to be known as **VISTA DE LA LUZ**) zoned SU-1 PRD, located on COORS BLVD NW, between WESTERN TRAIL NW and DELLYNE AVE NW containing approximately 29 acre(s). [REF: 06DRB00836] [Deferred from 8/9/06 & 8/23/06] (F-11) **DEFERRED AT THE BOARD'S REQUEST TO 8/30/06.**
- 06DRB-01097 Minor-SiteDev Plan Subd/EPC
- CONSENSUS PLANNING agent(s) for TS MCNANEY LLC / MONTERREY LAND GROUP LLC request(s) the above action(s) for all or a portion of Tract(s) 1, KINSCHERFF, LANDS OF RAY A GRAHAM III (to be known as **VISTA DE LA LUZ**, zoned SU-1 PRD (10DU/A) located on COORS BLVD NW, between SAN ANTONIO ARROYO NW and LA LUZ DEL OESTE NW containing approximately 29 acre(s). [REF:06DRB-00836] [Catalina Lehner, EPC Case Planner] [Deferred from 8/9/06 & 8/23/06] (F-11) **DEFERRED AT THE BOARD'S REQUEST TO 8/30/06.**
8. **Project # 1004091**
 06DRB-00942 Major-Preliminary Plat approval
 06DRB-00943 Minor- Temp Deferral of Sidewalk
- RIO GRANDE ENGINEERING agent(s) for IRVING PARTNERS LLC request(s) the above action(s) for all or a portion of Unplatted Lands of Amalgamated Partners (to be known as **DESERT GARDEN ESTATES SUBDIVISION**), zoned RLT, located on IRVING BLVD NW between RAINBOW RD NW and PASEO DEL OESTE NW containing approximately 12 acre(s). [Deferred from 7/26/06 & 8/2/06 & 8/9/06 & 8/16/06 & 8/23/06] (A-9) **DEFERRED AT THE AGENT'S REQUEST TO 9/20/06.**

9. **Project # 1003272**
06DRB-01087 Major-Vacation of
Public Easements

ISAACSON & ARFMAN PA agent(s) for AMERI-CONTRACTORS request(s) the above action(s) for all or a portion of Lot(s) 2-A-1-B-2-B, **ALBUQUERQUE WEST, UNIT 2**, zoned SU-1 PDA INCLUDING C-3, located on EAGLE RANCH RD NW, between ALL SAINTS RD NW and PASEO DEL NORTE NW containing approximately 4 acre(s). [REF:06DRB-00941] (C-13) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

10. **Project # 1000572**
06DRB-01193 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Lot(s) 3, 7 & 8, LENKURT PROPERTIES (to be known as **THE PRESIDIO**) zoned SU-1 for PRD, located on CHICO RD NE, between EUBANK BLVD NE and MORRIS ST NE containing approximately 42 acre(s). [REF: 05EPC-01116] **[Catalina Lehner, EPC Case Planner] (K-21) THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

- 06DRB-01038 Major-Preliminary Plat
Approval
06DRB-01040 Minor-Sidewalk Waiver
06DRB-01041 Minor-Temp Defer
SDWK

ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Lot(s) 3, 7 & 8, LENKURT PROPERTIES (to be known as **THE PRESIDIO, UNIT 1**) zoned SU-1 PRD, located on CHICO RD NE, between EUBANK BLVD NE and MORRIS ST NE containing approximately 23 acre(s). [REF: 05EPC-01116] **[Deferred from 8/16/06] (K-21) WITH THE SIGNNG OF THE INFRASTRUCTURE LIST DATED 8/23/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/17/06 THE PRELIMINARY PLAT WAS APPROVED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE**

TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

- 11. Project # 1004644**
06DRB-01189 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of, THE TRAILS, UNIT 2, SANTA FE 3, (to be known as **THE TRAILS, UNIT 9A**) zoned R-D, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [Deferred from 8/23/06] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 9/13/06.**

- 12. Project # 1004473**
05DRB-01888 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING agent(s) for AEGIS REALTY GROUP request(s) the above action(s) for all or a portion of Tract(s) 4 & 6, **NORTH ANDALUCIA @ LA LUZ**, zoned SU-1 O-1, C-2 & PRD (20 DU/AC), located on COORS BLVD NW, between MONTANO RD NW and LEARNING RD NW containing approximately 24 acre(s). [REF: 04EPC-01845] [**Carmen Marrone, EPC Case Planner**] [*Indef deferred 12/21/05*] (E-12/F-12) **THE SITE PLAN FOR BUILDING EPRMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RADIUS, CROSS WALKS AND REPLAT FOR MOVEMENT OF "EGG-ABOUT" AND PLANNING FOR CARMEN MARRONE'S INITIALS, DETACHED OPEN SPACE APPROVAL FROM LEGAL (KEVIN CURRAN) AND 3 COPIES OF THE SITE PLAN.**

13. **Project # 1004924**
06DRB-01181 Minor-SiteDev Plan
BldPermit/EPC

JEFF MORTENSEN & ASSOCIATES, INC agent(s) for HOECH REAL ESTATE CORPORATION request(s) the above action(s) for all or a portion of Tract(s) B, **FEDERAL PLAZA**, zoned SU-1 for O-1, located on HOMESTEAD RD NE, between MONTGOMERY BLVD NE and SAN MATEO BLVD NE containing approximately 4 acre(s). [REF: 06EPC-00756, Z-88-26, Z-89-18] [Petra Morris, EPC Case Planner] (G-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RADII, EASEMENTS, PARKING OVERHANG AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

14. **Project # 1003762**
06DRB-01190 Major-Final Plat
Approval

ISAACSON & ARFMAN, P.A. agent(s) for CHELWOOD HILLS, LLC request(s) the above action(s) for all or a portion of Tract(s) B, **CHELWOOD ELEMENTARY SCHOOL**, zoned R-LT, located on EASTRIDGE DR NE, between CHELWOOD PARK BLVD NE and INDIAN SCHOOL RD NE containing approximately 4 acre(s). [REF: 04EPC-01714, 05DRB-00316, 05DRB-01822, 05DRB-01823, 05DRB-01824] (J-22) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

15. **Project # 1000922**
06DRB-01180 Major-Final Plat
Approval

WILSON & CO agent(s) for LA CUENTISTA I, LLC request(s) the above action(s) for all or a portion of Tract(s) A, **LA CUENTISTA SUBDIVISION, UNIT 1**, zoned R-1, located on KIMMICK DR NW, between URRACA ST NW and CAMINO DE PAZ NW containing approximately 47 acre(s). [REF: 05DRB-

01829, 06DRB-00555] [Deferred from 8/23/06] (C-10, C-11, D-10, D-11) **DEFERRED AT THE AGENT'S REQUEST TO 8/30/06.**

- 16. Project # 1004793**
06DRB-01195 Minor-Final Plat
Approval

MARK GOODWIN & ASSOCIATES agent(s) for TS MCNANEY AND ASSOCIATES request(s) the above action(s) for all or a portion of Lot(s) 174-P1, Tract(s) B1 & B2, MIRAVISTA SUBDIVISION (to be known as **EMBUDITO CANYON SUBDIVISION**) zoned R-T, located on the northeast corner of ELIZABETH ST SE, and SOUTHERN AVE SE, containing approximately 2 acre(s). [REF: 06DRB-00418, 06DRB-00417, 06DRB-00416] (L-21) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR WATER, SAS AND STORM DRAIN EASMENTS AT CUL-DE-SAC AND PLANNING FOR CLARIFICATION OF WALL DESIGN AND TO RECORD.**

- 17. Project # 1004233**
06DRB-01187 Minor-Final Plat
Approval

PRECISION SURVEYS INC agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for Tract(s) H, **STORMCLOUD, UNIT 2**, zoned SU-2, R-LT, located on TIERRA PINTADA ST NW, between ARROYA VISTA BLVD NW and LADERA DR NW containing approximately 52 acre(s). [REF: 06DRB00793] (H-8, H-9, J-8, J-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR 20-FOOT WIDE WATERLINE EASEMENT TO CITY OF ALBUQUERQUE AT CUL-DE-SAC OF CUMULUS PL NW AND TIERRA PINTADA ST NW, A PREVIOUS CONDITION OF FINAL PLAT 'MASTER PLAN STUDY UPDATE AND PLANNING FOR AMAFCA'S SIGNATURE AND TO RECORD.**

18. **Project # 1004456**
06DRB-01194 Minor-Final Plat
Approval

BRASHER & LORENZ agent(s) for BARON'S RUN LLC request(s) the above action(s) for all or a portion of Lot(s) 14-18, Block(s) 11, Tract(s) 1, NORTH ALBUQUERQUE ACRES (to be known as **BARON'S RUN SUBDIVISION**) zoned R-D residential and related uses zone, developing area, located on BARSTOW ST NE, between GLENDALE AVE NE and FLORENCE AVE NE containing approximately 5 acre(s). [REF: 05DRB-01817, 05DRB-01819] (B-19) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

19. **Project # 1004988**
06DRB-01175 Minor-Prelim&Final Plat
Approval

FORSTBAUER SURVEYING LLC agent(s) for EAGLE - 3-V INVESTORS request(s) the above action(s) for all or a portion of Tract(s) 2-D, **EAGLE RANCH**, zoned O-1 office and institution zone, located on EAGLE RANCH RD NW, between CONGRESS AVE NW and IRVING BLVD NW containing approximately 4 acre(s). [REF: 06DRB-00926] (C-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR NMU INC SIGNATURE AND TO RECORD THE PLAT.**

20. **Project # 1005082**
06DRB-01184 Minor-Prelim&Final Plat
Approval

WAY JOHN SURVEYING INC agent(s) for RIGHT WAY ROOFING request(s) the above action(s) for all or a portion of Tract(s) 15 & 16, 287, 288 & 282 and Lot(s) C & B, Block(s) 2, **BRIGHTWOOD ADDITION**, zoned M-2, located on 1ST ST NW, between ASPEN AVE NW and CONSTITUTION AVE NW containing approximately 1 acre(s). (J-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

21. **Project # 1001900**
06DRB-01183 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for NEW MEXICO AIDS SERVICES request(s) the above action(s) for all or a portion of Block(s) C, Tract(s) J-1-A, **INDIAN MESA**, zoned R-2, located on LAFAYETTE DR NE, between AZTEC RD NE and COMANCHE RD NE containing approximately 1 acre(s). [REF: 05DRB-01775] (G-16) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS LOT ACCESS EASEMENT, CROSS LOT DRAINAGE EASEMENT, SIDEWALK AND PLANNING TO RECORD THE PLAT.**

22. **Project # 1003469**
06DRB-01185 Minor-Prelim&Final Plat
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for ED & CHARLENE WHITEHOUSE & DAVID & DEBORAH STANG request(s) the above action(s) for all or a portion of Lot(s) 8-A-P1 AND 9-A-P1, **OAKLAND HEIGHTS SUBDIVISION**, zoned RD (3 du/a), located on OAKLAND AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). [REF: 06DRB00997] (C-20) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DRY UTILITIES SIGNATURES, TO FIX WHERE VACATION ENDS AND TO RECORD THE PLAT.**

23. **Project # 1004083**
06DRB-01147 Minor-Prelim&Final Plat
Approval

RHOMBUS PA INC agent(s) for SANCHEZ & WADE ENTERPRISES LLC request(s) the above action(s) for all or a portion of Block(s) 11, Tract(s) 19-21, **VALLEY VIEW ADDITION**, zoned C-2, located on ZUNI SE, between ADAMS SE and JEFFERSON SE containing approximately 1 acre(s).[REF: 05DRB-01849, 06DRB-00427] (K-17) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL**

SIGN OFF DELEGATED TO PLANNING FOR REAL PROPERTY SIGNATURE AND TO RECORD THE PLAT.

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

- 24. Project # 1003798**
06DRB-01126 Minor-Sketch Plat or Plan
- GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 7-12, Block(s) 27, **EMIL MANN**, zoned RT, located on DALLAS NE, between PENNSYLVANIA NE and SOUTHERN NE containing approximately 2 acre(s). *[Deferred from 8/16/06]*(L-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
- 25. Project # 1005081**
06DRB-01182 Minor-Sketch Plat or Plan
- BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) A-1 & B, **ANDALUCIA @ LA LUZ, UNIT 4**, zoned SU-1 PRD, located on COORS BLVD NW, between MONTE FRIO DR NW and SEVILLA AVE NW containing approximately 18 acre(s). (F-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
- 26. Project # 1005072**
06DRB-01169 Minor-Sketch Plat or Plan
- DEBBIE HUBERT request(s) the above action(s) for all or a portion of Lot(s) 44, **SNOW HEIGHTS**, zoned R-3 residential zone, located on NORMAN AVE NE, between ARVADA AVE NE and EUBANK BLVD NE containing approximately 1 acre(s). (H-21) **THE**

ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.

- 27. Project # 1005083**
06DRB-01186 Minor-Sketch Plat or Plan

DOUG SMITH agent(s) for PETER HADDAD request(s) the above action(s) for all or a portion of Lot(s) 11-A, Block(s) 2, **JUAN TABO ADDITION**, zoned R-3, located on INDIAN SCHOOL RD NE, between KIRBY ST NE and PAISANO ST NE containing approximately 1 acre(s). (J-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

- 28. Project # 1005078**
06DRB-01177 Minor-Sketch Plat or Plan

STEVEN BURNS agent(s) for MICHELLE TOMPSON request(s) the above action(s) for all or a portion of Lot(s) 12, Block(s) 19, **EASTERN ADDITION**, zoned SU-2 RC, located on EDITH BLVD SE, between LEWIS AVE SE and GARFIELD AVE SE containing approximately 1 acre(s). [*Deferred from 8/23/06*](L-14) **DEFERRED TO 8/30/06.**

- 29. Project # 1005073**
06DRB-01170 Minor-Sketch Plat or Plan

ARLENE & GABRIEL GONZALEZ-CAMARGO request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, Block(s) 11, **ROSEMONT PARK ADDITION**, zoned SU-2 special neighborhood zone, located on 12TH ST NW, between ROSEMONT NW and ARIAS NW containing approximately 1 acre(s). (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

30. Project # 1005080
06DRB-01179 Minor-Sketch Plat or
Plan

MARCOS MORALES request(s) the above action(s) for all or a portion of Lot(s) 132-A, **VISTA MANZANO, UNIT 2**, zoned R-LT, located on OJO FELIZ SW, between COORS SW and SAGE SW containing approximately 1 acre(s). (M-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

31. Project # 1005085
06DRB-01192 Minor-Sketch Plat or
Plan

JOHN H JACKSON JR request(s) the above action(s) for all or a portion of Lot(s) 10 & 13, Block(s) 4, **MANCHESTER PLACE ADDITION**, zoned RA-2 residential and agricultural zone, located on MANCHESTER DR NW, between CANDELARIA RD NW and HEADINGLY AVE NW containing approximately 1 acre(s). (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

32. Approval of the Development Review Board Minutes for August 16, 2006. THE DRB MINUTES FOR AUGUST 16, 2006 WERE APPROVED BY THE BOARD.

ADJOURNED: 1:37 P.M.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 16, 2006

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 10:20 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1002315**
06DRB-01053 Major-Vacation of Public Easements

BOHANNAN HUSTON INC agent(s) for SCOTT PATRICK HOMES INC request(s) the above action(s) for all or a portion of Lot(s) 20 **WILDERNESS VILLAGE @ HIGH DESERT, UNIT 3**, zoned SU-2 HD R-R, located on FOOTHILLS TRAIL NE, between WILDERNESS TRAIL NE and HIGH DESERT NE. [REF: 03DRB-01651] (F-23) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

2. **Project # 1004942**
06DRB-01055 Major-Vacation of Public Easements

LARKIN GROUP NM INC agent(s) for ROBERT HILLS request(s) the above action(s) for Parcel(s) 16 & 17, **COLES INDUSTRIAL SUBDIVISION, NO. 1**, zoned M-1, located on VASSAR DR NE, between CANDELARIA RD NE and LOS ARBOLES AVE NE containing approximately 1 acre(s). [REF:06DRB-00798] (H-16) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

06DRB-01102 Minor-Prelim&Final Plat Approval

LARKIN GROUP NM INC agent(s) for ROBERT HILLS request(s) the above action(s) for Parcel(s) 16 & 17, **COLES INDUSTRIAL SUBDIVISION, NO. 1**, zoned M-1, located on VASSAR DR NE, between CANDELARIA RD NE and LOS ARBOLES AVE NE containing approximately 1 acre(s). [REF: 06DRB-00798] (H-16) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR DEDICATION OF RIGHT-OF-WAY, CROSS-LOT ACCESS EASEMENT AND PLANNING FOR AGIS DXF FILE, 15-DAY APPEAL PERIOD AND TO RECORD THE PLAT.**

3. **Project # 1003102**
06DRB-01054 Major-Vacation of Public Easements

ISAACSON & ARFMAN agent(s) for INFILL SOLUTIONS, INC. request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER (to be known as **SOFT LOFTS**) zoned SU-1 PRD (22 DU/AC), located on JUAN TABO BLVD NE, between LAGRIMA DE ORO NE and MONTGOMERY BLVD NE containing approximately 2 acre(s). [REF: 06DRB-00832, 06DRB-00837, 06DRB-00838, 06EPC00146, 06EPC-00147, 05DRB00911] (F-21) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1000572**
06DRB-01038 Major-Preliminary Plat Approval
06DRB-01040 Minor-Sidewalk Waiver
06DRB-01041 Minor-Temp Defer SDWK
- ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Lot(s) 3, 7 & 8, LENKURT PROPERTIES (to be known as **THE PRESIDIO**) zoned SU-1 PRD, located on CHICO RD NE, between EUBANK BLVD NE and MORRIS ST NE containing approximately 23 acre(s). [REF: 05EPC-01116] *[Deferred from 8/16/06]* (K-21) **DEFERRED AT THE AGENT'S REQUEST TO 8/23/06.**
5. **Project # 1004974**
06DRB-00884 Major-SiteDev Plan Subd
06DRB-00885 Major-SiteDev Plan Bldg Permit
- STUDIO SW ARCHITECTS agent(s) for SAN PEDRO EQUITIES request(s) the above action(s) for all or a portion of Lot(s) 1, 2, 3, 30, 31 and 32, Tract(s) A, Block(s) 34, **NORTH ALBUQUERQUE ACRES**, zoned SU-2, IP, located on SAN PEDRO NE BETWEEN HOLLY NE AND CARMEL NE containing approximately 5 acres.[REF: AX-84-9,Z-84-41] *[Deferred from 7/12/06 & 8/16/06]* (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 8/30/06.**
6. **Project # 1002375**
06DRB-00902 Major-Vacation of Pub Right-of-Way
06DRB-00903 Major-Vacation of Public Easements
- JACKS HIGH COUNTRY agent(s) for BARRY & SANDY HOPKINS request(s) the above action(s) for all or a portion of Tract(s) A, B, J & K, **THE PALISADES ADDITION**, located on LOMA HERMOSA DR NW, between BLUEWATER NW and YUCCA DR NW containing approximately 1 acre(s). [REF: 02DRB-01852] *[Deferred from 7/19/06]* (J-11) **WITHDRAWN AT THE AGENT'S REQUEST.**

7. **Project # 1000560**
06DRB-01023 Major-SiteDev Plan
BldPermit
- HARTMAN & MAJEWSKI DESIGN GROUP agent(s) for NEW MEXICO CANCER CENTER request(s) the above action(s) for all or a portion of Tract(s) 1A-2-B-1, **JOURNAL CENTER**, zoned IP industrial park zone, located on HEADLINE BLVD NE, between PASEO DEL NORTE NE and LANG AVE NE containing approximately 6 acre(s). [REF: 05DRB00546, 05DRB00527] *[Deferred from 8/9/06]* (D-17) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK EASEMENTS AND PLANNING FOR 3 COPIES OF THE SITE PLAN AND THE 15-DAY APPEAL PERIOD.**
8. **Project # 1004091**
06DRB-00942 Major-Preliminary Plat approval
06DRB-00943 Minor- Temp Deferral of Sidewalk
- RIO GRANDE ENGINEERING agent(s) for IRVING PARTNERS LLC request(s) the above action(s) for all or a portion of Unplatted Lands of Amalgamated Partners (to be known as **DESERT GARDEN ESTATES SUBDIVISION**), zoned RLT, located on IRVING BLVD NW between RAINBOW RD NW and PASEO DEL OESTE NW containing approximately 12 acre(s). *[Deferred from 7/26/06 & 8/2/06 & 8/9/06 & 8/16/06]* (A-9) **DEFERRED AT THE BOARD'S REQUEST TO 8/23/06.**
9. **Project # 1005033**
06DRB-01056 Major-SiteDev Plan
BldPermit
- STUDIO SOUTHWEST ARCHITECTS agent(s) for I. P. F. D. C. request(s) the above action(s) for A PORTION OF I. P. F. D. C. (INDIAN PUEBLOS FEDERAL DEVELOPMENT CORP.) 7 ACRE SITE, **INDIAN PUEBLO COUNCIL PROPERTY**, zoned SU-1 C-2 with restrictions, located on 12th ST NW, between INDIAN SCHOOL NW and MENAUL NW containing approximately 3 acre(s). [REF: 03EPC-01676, 03EPC-01677] *[Deferred from 8/16/06]*(H-13/H-14) **DEFERRED AT AGENT'S REQUEST FOR TO 8/23/06.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

- 10. Project # 1004565**
06DRB-01058 Minor-SiteDev Plan
Subd/EPC
06DRB-01059 Minor-SiteDev Plan
BldPermit/EPC
06DRB-00908 Minor-Prelim&Final Plat
Approval
- WAYJOHN SURVEYING INC agent(s) for DOYLE & TRICARIO INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 7, 8 & 9, Block(s) 16-A, SANTILLA PLACE (to be known as **CAGUA TOWNHOMES**) zoned R-LT residential zone, located on CAGUA DR NE between COPPER AVE NE and GRAND AVE NE containing approximately 1 acre(s). **[Catalina Lehner, EPC Case Planner] [Deferred from 8/2/06 & 8/16/06] (K-18) DEFERRED AT THE AGENT'S REQUEST TO 8/30/06.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

- 11. Project # 1000788**
06DRB-01142 Minor-Prelim&Final Plat
Approval
- JACKS HIGH COUNTRY INC agent(s) for RICHARD EVANS & KELLY CONABOY request(s) the above action(s) for all or a portion of Lot(s) 24, Block(s) R, **PARADISE SKIES UNIT 9**, zoned R-1 residential zone, located on CELESTIAL AVE NW, between SKYWATCHER ST NW and MILKY WAY ST NW containing approximately 1 acre(s). **[REF: 05DRB-01491] (A-11) THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR NMU INC SIGNATURE, RETAIN PUBLIC WATERLINE EASEMENT AND TO PALNNING FOR REAL PROPERTY SIGNATURE AND TO RECORD THE PLAT.**

12. **Project # 1004880**
06DRB-01130 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS agent(s) for S & S TREZZA request(s) the above action(s) for all or a portion of Block(s) 4, Tract(s) B-1, **ROSITA ADDITION**, zoned C-2, located on COORS BLVD NW, between BICE RD NW and ILIFF RD NW containing approximately 1 acre(s). [REF: 06DRB-00643] (H-11) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR STORM DRAIN EASEMENT AND WATERLINE AND SANITARY SEWER EASEMENTS AND TO PLANNING FOR AGIS DXF FILE, REAL PROPERTY SIGNATURE AND TO RECORD THE PLAT.**

13. **Project # 1004570**
05DRB-01828 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS agent(s) for BRUCE & KATHERINE BESSER request(s) the above action(s) for all or a portion of Lot(s) 6A1 & 6A2, Block(s) 14, Tract(s) A, **UNIT B, NORTH ALBUQUERQUE ACRES**, zoned SU-2 M-1, located between WILSHIRE AVE NE and INTERSTATE 25, containing approximately 3 acre(s). *[Deferred from 12/14/05, Indef deferred 12/21/05]* (C-18) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO ADD A 15-FOOT PRIVATE WATER/SAS SERVICE LINE MEANT FOR THE BENEFIT OF LOT 6-A-2 AND TO PLANNING TO RECORD THE PLAT.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

14. **Project # 1003798**
06DRB-01126 Minor-Sketch Plat or Plan

GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 7-12, Block(s) 27, **EMIL MANN**, zoned RT, located on DALLAS NE, between PENNSYLVANIA NE and SOUTHERN NE containing approximately 2 acre(s). *[Deferred from 8/16/06]* (L-19) **DEFERRED AT THE AGENT'S REQUEST TO 8/23/06.**

15. **Project # 1005064**
06DRB-01141 Minor-Sketch Plat or Plan

STEVE RESTAINO agent(s) for TRUST OF SAMUEL THOMAS WATERS SANCHEZ request(s) the above action(s) for all or a portion of Tract(s) 38-A-2, **MAP 32 TRACT 38-A-2**, zoned R-1, located on GUADALUPE TR NW, between SANDIA NW and LOS POBLENOS RANCH NW containing approximately 1 acre(s). (F-14)
INDEFINITELY DEFERRED ON A NO SHOW.

16. Approval of the Development Review Board Minutes for August 9, 2006. **THE DRB MINUTES FOR AUGUST 9, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:20 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1005033

AGENDA ITEM NO: 9

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

8-23-06

APPROVED ___; DENIED ___; DEFERRED **X**; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: AUGUST 16, 2006

Refer to
8/23/06

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1005033 AGENDA#: 9 DATE: 8/16/06

1. Name: _____ Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____



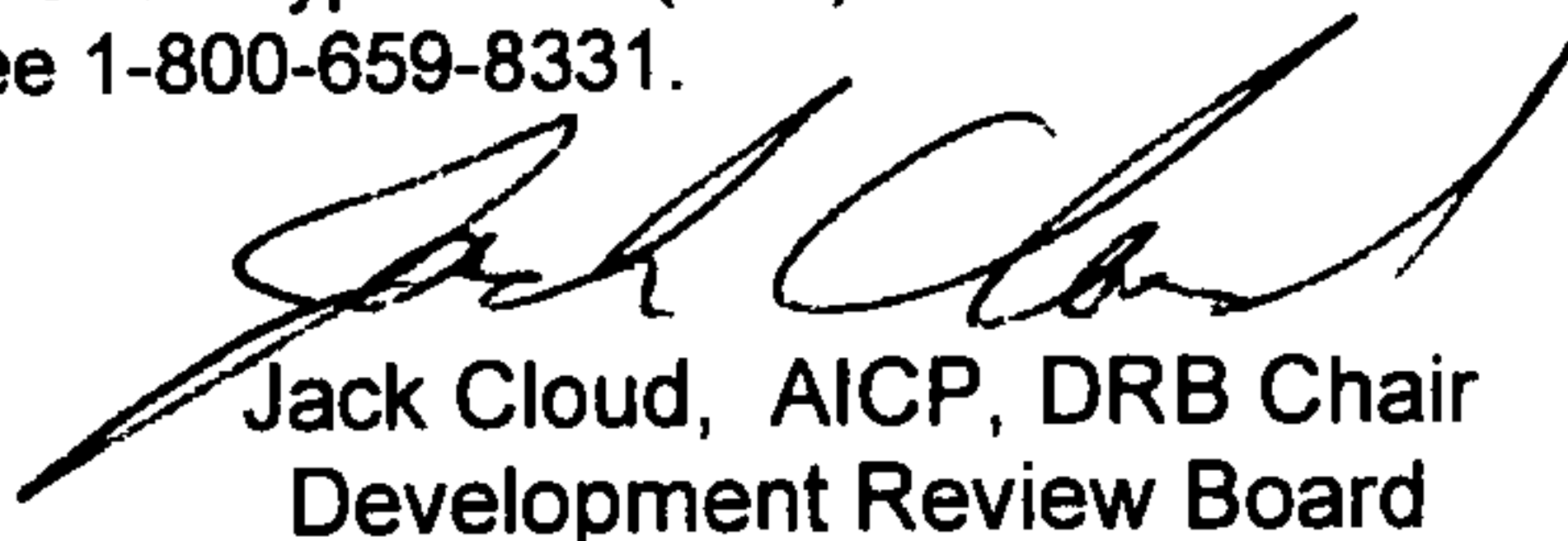
**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, April 29, 2009**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project# 1005033
09DRB-70126 MAJOR - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS (2YR SIA)

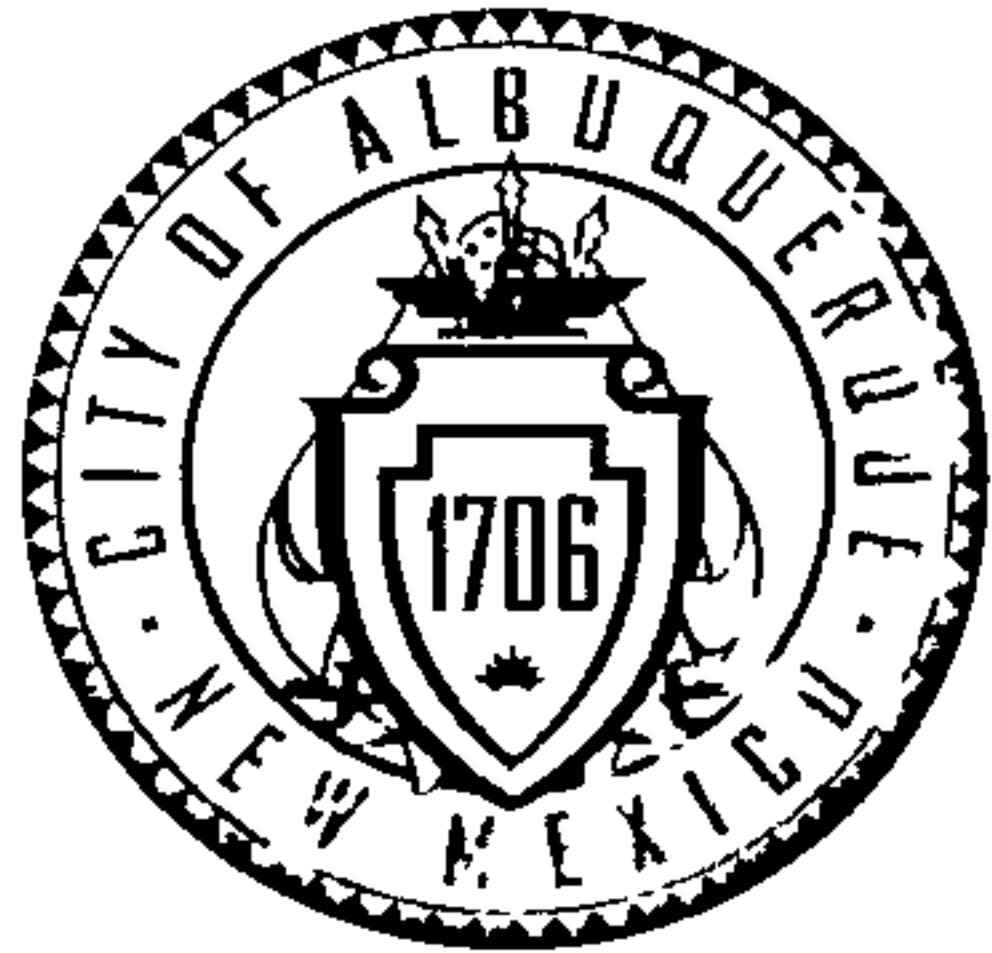
MARK GOODWIN AND ASSOCIATES PA agent(s) for INDIAN PUEBLOS FEDERAL DEVELOPMENT CORP. request(s) the referenced/ above action(s) for all or a portion of Lot(s) 84E, MRGCD Map No. 35 [**INDIAN SCHOOL PROPERTIES**] zoned SU-1, located on the north side of INDIAN SCHOOL RD NW between 12TH ST NW and 9TH ST NW containing approximately 2.78 acre(s). (H-13, H-14)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

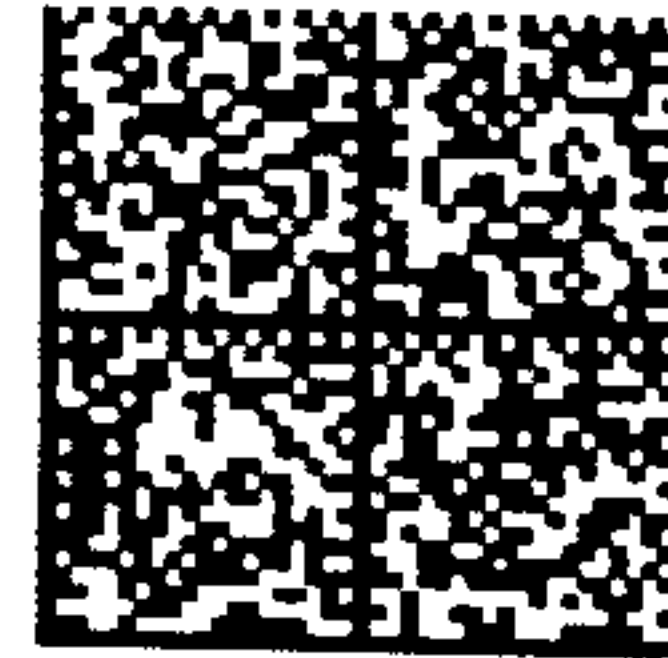

Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL SATURDAY, APRIL 13, 2009.

CITY OF ALBUQUERQUE



Planning Department



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MAILED FROM ZIP CODE 87102



VACANT

OR CURRENT RESIDENT
101405902038420505
ENCINAS DONALD & GRIEGO
WANDA
1100 WOODLAND AVE NW
ALBUQUERQUE, NM 87107

VACANT

VAC

DRB

#710791157 0002



P O Box 1293 Albuquerque New Mexico 87103



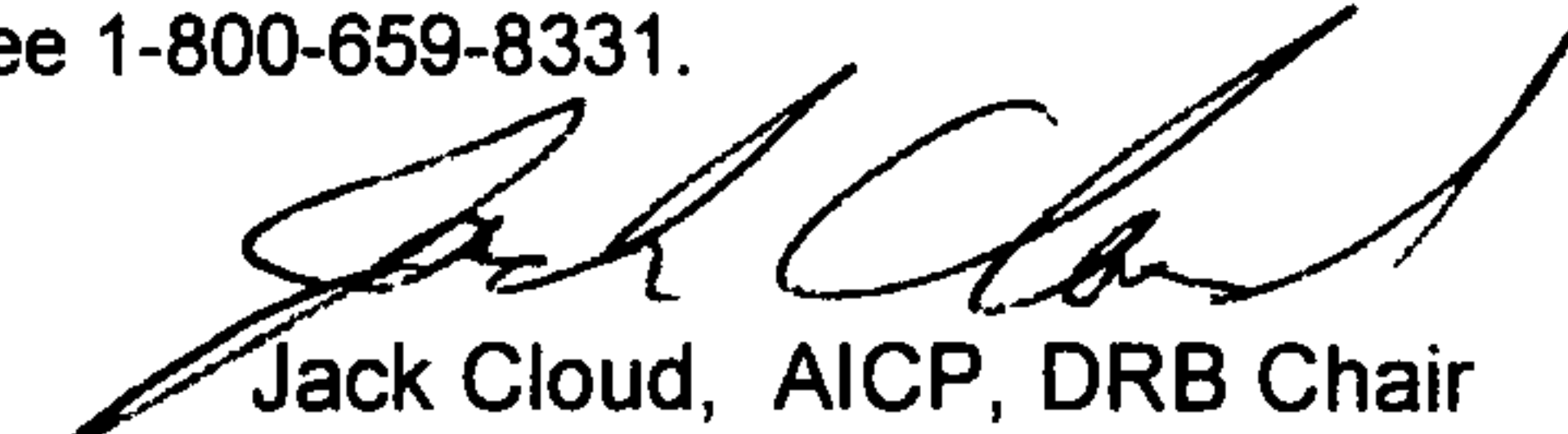
**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, April 29, 2009**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project# 1005033
09DRB-70126 MAJOR - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS (2YR SIA)

MARK GOODWIN AND ASSOCIATES PA agent(s) for INDIAN PUEBLOS FEDERAL DEVELOPMENT CORP. request(s) the referenced/ above action(s) for all or a portion of Lot(s) 84E, MRGCD Map No. 35 [INDIAN SCHOOL PROPERTIES] zoned SU-1, located on the north side of INDIAN SCHOOL RD NW between 12TH ST NW and 9TH ST NW containing approximately 2.78 acre(s). (H-13, H-14)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL SATURDAY, APRIL 13, 2009.

CITY OF ALBUQUERQUE



Planning Department

RETURN TO SENDER
NOT DELIVERABLE
AS ADDRESSED
UNABLE TO FORWARD

UNITED STATES POSTAGE
PITNEY BOWERS

\$ 00.42⁰

0004261639 APR 10 2009
MAILED FROM ZIP CODE 87102

OR CURRENT RESIDENT
101405912627132655
NARANJO MAE JUANITA & CATHY
MAE RUNKLE
830 APACHE AVE NW
ALBUQUERQUE, NM 87

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EXCEPTIONAL ADDRESS FORMAT:
MAIL PIECE TO BE DELIVERED
AS ADDRESSED UNLESS SPECIFIC
REASON FOR NON-DELIVERY EXISTS.

CARRIER: REMOVE LABEL BEFORE DELIVERY

#710221010 C013
87102@9998



DRB

P O Box 1293 Albuquerque New Mexico 87103



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 16, 2006

Project # 1005033
06DRB-01056 Major-SiteDev Plan BldPermit

STUDIO SOUTHWEST ARCHITECTS agent(s) for I. P. F. D. C. request(s) the above action(s) for A PORTION OF I. P. F. D. C. (INDIAN PUEBLOS FEDERAL DEVELOPMENT CORP.) 7 ACRE SITE, **INDIAN PUEBLO COUNCIL PROPERTY**, zoned SU-1 C-2 with restrictions, located on 12th ST NW, between INDIAN SCHOOL NW and MENAUL NW containing approximately 3 acre(s). [REF: 03EPC-01676, 03EPC-01677] (H-13/H-14) **DEFERRED AT AGENT'S REQUEST TO 8/23/06.**

AMAFCA

No adverse comments.

COG

12th Street is designated in the Long Range Bikeway system has having on-street bike lanes. Please coordinate with DMD to insure project inclusion.

Transit

Transit has an existing bus stop on the northeast corner of 12th and Indian School, adjacent to the proposed development. Transit requests that the applicant provide a shelter and associated bench and trash can for that stop. The presence of the stop will also require eliminating the first three on-street parking spaces so that the bus can stop adjacent to the curb while in the right lane of traffic. A hard pathway from the sidewalk to the curb meeting ADA standards is also required at the bus stop.

Zoning Enforcement

The proposed hotel has lots zoned R-1 on the south. Section 14-16-16-2 (C) (1) of the Zoning Code states that structures shall not exceed 26-feet in height within 85-feet of a lot zoned specifically for houses. The proposed hotel has an elevation of 49-feet shown on the south elevation. The distance from the lots that are zoned R-1 should be shown to be greater than 85-feet to allow elevations greater than 26-feet.

Neighborhood Coordination

Letter sent to Near North Valley NA (R).

APS The request to construct a four-story hotel at 12th St. NW and Menaul NW will have no adverse impacts to the APS district

Police Department No crime prevention or CPTED comments at this time.

Fire Department Exact Fire Department requirements will be figured when plans are submitted for review.

PNM Electric & Gas Approved.

Comcast No comments received.

QWEST No comments received.

Environmental Health No comments received.

M.R.G.C.D. No comments received.

Open Space Division No adverse comments.

City Engineer

If infrastructure is required, an approved SIA with financial guarantees is required for Site Plan signoff by City Engineer.

Transportation Development

A copy of the TIS and its recommendations need to be submitted. A separate meeting should be held to discuss the recommendations. The parking stalls need to be dimensioned and need to meet DPM criteria. End island radii need to meet DPM criteria. Has the plat been submitted? Why are there no van accessible stalls? What is the width of the internal streets? Where are the ADA ramps at the corner of Indian School & 12th? Stop signs need to be mounted above 7' per AASHTO. Why don't the curb sections refer to City Standards? A cross-section of 12 street is needed. This should depict the existing conditions and relate how the proposed curb line will be integrated. Where is the infrastructure list for the curb line work in 12th Street? How is the 6' clear path being maintained between the internal parking stalls?

Parks & Recreation

Is there pedestrian access proposed to the adjacent Graves Park?

Utilities Development No objection to Site Plan approval.

Planning Department

The new Sheet SP-1 should be titled "Site Plan for Building Permit". This indicates that this is the actual site plan to be approved for this project.

The Site Plan Sheet SP-1 shows Indian School Road as a private road. Why is it designated this way? The City has maintained this portion of Indian School for many years. A private road designation means, for one, that the City does not have to maintain it any longer.

Sheet SP-1 indicates the hotel site is separated by property lines from the remaining portion of the commercial property. This will require a replat of the property. Planning will take delegation of the approved site plan until the replat is approved by DRB.

What is the purpose of the "existing BIA easement" shown on Sheet SP-1?

The Landscape Plan shows 13 Ash trees proposed mainly for street trees. Because of the high water usage of Ash trees, Chinese Pistache or Japanese Pagoda or some other lower water use tree are a better choice.

The landscape calculations should include the % of landscape provided, not just the % required.

The property lines are missing from the Landscape Plan. Existing & proposed easements must be shown on sheet SP-1 & the Landscape Plan. The overall width of the elevations are not shown. Sheet L1 should be titled "Landscape Plan".

Impact Fee Administrator

Impact Fees will be required at the time a building permit is issued for the Proposed Hotel.

1. Public Safety Facilities for the Eastside will be \$455.00 per 1000sf of heated area or \$27,234.00.

Impact Fees are to be paid at the time of issuance of building permits. However, the total Impact Fees may be paid at a rate of 67% if permits are obtained by December 29, 2006.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc: I.P.F.D.C., 2412 Comanche Rd NE, 87107

Studio Southwest Architects, 2101 Mountain Rd NW, 87104



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, August 16, 2006**, beginning at **9:00 a.m.** for the purpose of considering the following:

- Project # 1002315**
06DRB-01053 Major-Vacation of Public Easements
BOHANNAN HUSTON INC agent(s) for SCOTT PATRICK HOMES INC request(s) the above action(s) for all or a portion of Lot(s) 20 **WILDERNESS VILLAGE @ HIGH DESERT, UNIT 3**, zoned SU-2 HD R-R, located on FOOTHILLS TRAIL NE, between WILDERNESS TRAIL NE and HIGH DESERT NE. [REF: 03DRB-01651] (F-23)
- Project # 1004942**
06DRB-01055 Major-Vacation of Public Easements
LARKIN GROUP NM INC agent(s) for ROBERT HILLS request(s) the above action(s) for Parcel(s) 16 & 17, **COLES INDUSTRIAL SUBDIVISION, NO. 1**, zoned M-1, located on VASSAR DR NE, between CANDELARIA RD NE and LOS ARBOLES AVE NE containing approximately 1 acre(s). [REF: 06DRB-00798] (H-16)
- Project # 1003102**
06DRB-01054 Major-Vacation of Public Easements
ISAACSON & ARFMAN agent(s) for INFILL SOLUTIONS, INC. request(s) the above action(s) for all or a portion of Lot(s) 12-A, **LANDS OF FERRARI-ESQUIBEL-PALMER** (to be known as **SOFT LOFTS**) zoned SU-1 PRD (22 DU/AC), located on JUAN TABO BLVD NE, between LAGRIMA DE ORO NE and MONTGOMERY BLVD NE containing approximately 2 acre(s). [REF: 06DRB-00832, 06DRB-00837, 06DRB-00838, 06EPC00146, 06EPC-00147, 05DRB00911] (F-21)
- Project # 1000572**
06DRB-01038 Major-Preliminary Plat Approval
06DRB-01040 Minor-Sidewalk Waiver
06DRB-01041 Minor-Temp Defer SDWK
ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Lot(s) 3, 7 & 8, **LENKURT PROPERTIES** (to be known as **THE PRESIDIO**) zoned SU-1 PRD, located on CHICO RD NE, between EUBANK BLVD NE and MORRIS ST NE containing approximately 23 acre(s). [REF: 05EPC-01116] (K-21)
- Project # 1005033**
06DRB-01056 Major-SiteDev Plan BldPermit
STUDIO SOUTHWEST ARCHITECTS agent(s) for I. P. F. D. C. request(s) the above action(s) for A PORTION OF I. P. F. D. C. (INDIAN PUEBLOS FEDERAL DEVELOPMENT CORP.) 7 ACRE SITE, **INDIAN PUEBLO COUNCIL PROPERTY**, zoned SU-1 C-2 with restrictions, located on 12th ST NW, between INDIAN SCHOOL NW and MENAUL NW containing approximately 3 acre(s). [REF: 03EPC-01676, 03EPC-01677] (H-13/H-14)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 31, 2006.

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: AUGUST 16, 2006
Zone Atlas Page: H-13-Z & H-14-Z
Notification Radius: 100 Ft.

**Project# 1005033
App#06DRB-01056**

Cross Reference and Location: 12TH STREET NW BETWEEN INDIAN SCHOOL
NW (PRIVATE ST) AND MENAUL NW

Applicant: I.P.F.D.C.
Address: 2412 COMANCHE RD NE
ALBUQUERQUE, NM 87107

Agent: STUDIO SOUTHWEST ARCHITECTS
2101 MOUNTAIN RD NW
ALBUQUERQUE, NM 87104

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: JULY 28, 2006
Signature: YVONNE SAAVEDRA

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

PROJECT # 1005033
APPLICATION # _____

PAGE 1 **OF** 3

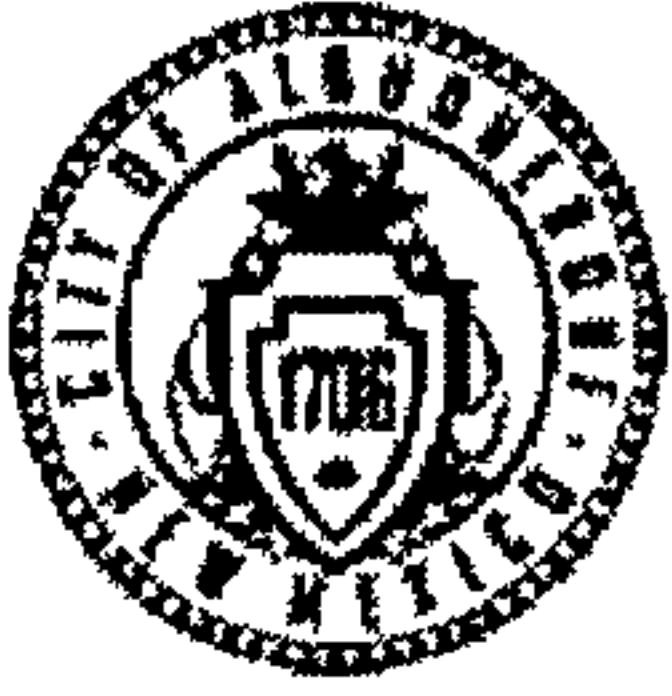
ZONE ATLAS PAGE #	ZONE ATLAS #	GRID LOCATIONS	PARCEL SEQUENCES	NAME AND ADDRESS
H-14	1014059	013-293	201-13	✓ Dup
H-13	1013059	462-317	103-05	✓ Dup ²
		435-213	405-30	✓
		490-212	406-03	✓
		499-219	01	✓
H-14	1014059	014-200	327-14	✓ Dup ²
		060-199	15	✓ Dup ²
		122-350	204-63	✓
		117-333	02	✓
		106-318	203-71	✓
		111-312	70	✓
		102-303	01	✓
		108-302	19	✓ Dup
		114-301	22	✓ Dup ²
		121-304	02	✓
		103-293	20	✓ Dup ²

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

PROJECT # 1005033
APPLICATION # _____

PAGE 2 **OF** 3

ZONE ATLAS PAGE #	ZONE ATLAS #	GRID LOCATIONS	PARCEL SEQUENCES	NAME AND ADDRESS
	1014059	110-292	203-21	✓ Dup ²
		013-293	201-13	✓ Dup ²
		127-303	203-03	✓
		123-292	202-38	✓
		122-286	01	✓
		119-272	326-56	✓
		113-261	01	✓
		122-224	324-08	COA ✓
		117-366	209-03	✓ Dup
		138-368	206-01	✓ Dup ²
		106-383	209-02	✓
		084-373	01	✓
		062-379	205-11	✓
		055-379	10	✓
		049-380	09	✓
		047-381	08	✓



<noreply@cabq.gov>

07/26/2006 12:00 PM

To

cc

bcc

Subject

1 R E C O R D S W I T H L A B E L S PAGE
1
01014059 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0101405901329320113 LEGAL: MRGC D MA P 35 TRACT 84E AND ADJ VAC PORTION OF
9TH LAND USE: PROPERTY ADDR: 00000 N/A
OWNER NAME: U S INDIAN SCHOOL
OWNER ADDR: PO BOX 1667
ALBUQUERQUE NM 87103
0101305946231710305 LEGAL: MRGC D MA P 35 TR 84D CONT 12.29 AC
LAND USE: PROPERTY ADDR: 00000 12TH
OWNER NAME: U S INDIAN SCHOOL
OWNER ADDR: PO BOX 1667
ALBUQUERQUE NM 87103
0101305943521340530 LEGAL: TR D OF ST ANTHONYS ORPHANGE CONT 13.35AC
LAND USE: PROPERTY ADDR: 00000 12TH
OWNER NAME: MOUNTAIN RUN PARTNERS LTD
OWNER ADDR: 05850 EUBANK BL NE
ALBUQUERQUE NM 87111
0101305949021240603 LEGAL: TRAC T 'E ' SAINT ANTHONY'S ORPHANAGE CONT 1.61
AC LAND USE: PROPERTY ADDR: 00000 CORONADO
OWNER NAME: SISTERS ST FRANCIS, C SPRINGS
OWNER ADDR: 07665 ASSISI HEIGHTS
COLORADO SPRING 80919
0101305949921940601 LEGAL: MAP 35 T R 246B
LAND USE: PROPERTY ADDR: 00000 INDIAN SCHOOL
OWNER NAME: ARCHDIOCESE OF SANTA FE
OWNER ADDR: 04000 ST JOSEPH PL NW
ALBUQUERQUE NM 87120
0101405901420032714 LEGAL: MAP 36 T R 78 B1 LESS POR 4.15 AC TO R W 14.94
AC LAND USE: PROPERTY ADDR: 00000 INDIAN SCHOOL
OWNER NAME: U S INDIAN SERVICE
OWNER ADDR: PO BOX 1667
ALBUQUERQUE NM 87103
0101405906019932715 LEGAL: TR 5 9 MA P 36 LESS POR TO ROW 1.39 AC 0.46 AC
LEFT LAND USE: PROPERTY ADDR: 00000 N/A
OWNER NAME: U S INDIAN SERVICE
OWNER ADDR: PO BOX 1667
ALBUQUERQUE NM 87103
0101405912235020463 LEGAL: TR A OF REPL OF LTS 4 5 & 6 (LESS MENAUL R-O-W)
FI LAND USE: PROPERTY ADDR: 00000 MENAUL
OWNER NAME: BLACKBURN M M & ELIZABETH A
OWNER ADDR: PO BOX 12
VEGUITA NM 87062

0101405911733320402 LEGAL: 001V F A RMIJO ADD LOTS 1 2 3 4 5 6 X 7
LAND USE:
PROPERTY ADDR: 00000 09TH
OWNER NAME: ZION FELLOWSHIP INCORPORATED
OWNER ADDR: 00831 TOWNER AV NW

ALBUQUERQUE NM 87103
0101405910631820371 LEGAL: WEST 50 FT OF LOTS 75 76 77 78 79 AND 80 BLOCK
1 T LAND USE:
PROPERTY ADDR: 00000 TOWNER
OWNER NAME: BACA MARGARET
OWNER ADDR: 00830 TOWNER AV NW

ALBUQUERQUE NM 87107
0101405911131220370 LEGAL: LOT A PL AT SHOWING LT "A" (COMPRISING AN ELY
PORT LAND USE:
PROPERTY ADDR: 00000 TOWNER
OWNER NAME: GUTIERREZ STEVE D & MARIA A
OWNER ADDR: 00826 TOWNER AV NW

ALBUQUERQUE NM 87102
0101405910230320301 LEGAL: A-3 REDI VISION OF LT A ROSE DALE ADD'N TOGETHER
WI LAND USE:
PROPERTY ADDR: 00000 9TH
OWNER NAME: ESPINOSA DAVID L & RUPPERT-
OWNER ADDR: 00817 TULANE DR NE

ALBUQUERQUE NM 87106
0101405910830220319 LEGAL: LOT A-4- 1 REDIVISION OF LT A-4 (NOW COMPRISING
LT LAND USE:
PROPERTY ADDR: 00000 9TH
OWNER NAME: LEGER ERNEST H & GLORIA I CO-T
OWNER ADDR: 03207 MANCHESTER CT NW

ALBUQUERQUE NM 87107
0101405911430120322 LEGAL: LOT A-4- 2 REDIVISION OF LT A-4 (NOW COMPRISING
LT LAND USE:
PROPERTY ADDR: 00000 9TH
OWNER NAME: LEGER ERNEST H & GLORIA I CO-T
OWNER ADDR: 03207 MANCHESTER CT NW

ALBUQUERQUE NM 87107
0101405912130420302 LEGAL: 035 ROSE DALE ADD
LAND USE:
PROPERTY ADDR: 00000 PROSPECT
OWNER NAME: MONTOYA RAY L & MARIE T
OWNER ADDR: 01808 GOLF COURSE RD SE

RIO RANCHO NM 87124
0101405910329320320 LEGAL: A-2 REDI VISION OF LT A ROSE DALE ADD'N TOGETHER
WI LAND USE:
PROPERTY ADDR: 00000 9TH
OWNER NAME: LEGAR ERNEST H & GLORIA I CO-T
OWNER ADDR: 03207 MANCHESTER CT NW

ALBUQUERQUE NM 87107
0101405911029220321 LEGAL: A-1 REDI VISION OF LT A ROSE DALE ADD'N TOGETHER
WI LAND USE:
PROPERTY ADDR: 00000 N/A
OWNER NAME: LEGER ERNEST H & GLORIA I CO-T
OWNER ADDR: 03207 MANCHESTER CT NW

ALBUQUERQUE NM 87107

PAGE 3

0101405901329320113 LEGAL: MRGC D MA P 35 TRACT 84E AND ADJ VAC PORTION OF
9TH LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: U S INDIAN SCHOOL
OWNER ADDR: ~~00000~~ PO Box 1667

ALBUQUERQUE NM 87103

0101405912730320303 LEGAL: 034 ROSE DALE ADD

LAND USE:

PROPERTY ADDR: 00000 PROSPECT
OWNER NAME: KATHRYN LARSON HC
OWNER ADDR: 04356 BRYAN NW

ALBUQUERQUE NM 87114

0101405912329220238 LEGAL: 0001 ROS EDALE ADD

LAND USE:

PROPERTY ADDR: 00000 9TH
OWNER NAME: TAFOYA DELLA & MONTANO FRANCES
OWNER ADDR: 02300 9TH ST NW

ALBUQUERQUE NM 87102

0101405912228620201 LEGAL: 3 LO T 48 EXCEPT EAST TRIANGULAR FRACTION & ALL

LOT LAND USE:

PROPERTY ADDR: 00000 APACHE
OWNER NAME: ARCHULETA SELINA B
OWNER ADDR: 00847 APACHE NW

ALBUQUERQUE NM 87107

0101405911927232656 LEGAL: 042 004A PACHE TRAIL ADD & L43 L44 EXC 10FT

LAND USE:

PROPERTY ADDR: 00000 9TH
OWNER NAME: CLARK DAVID & ROSE
OWNER ADDR: PO BOX 6182

ALBUQUERQUE NM 87102

0101405911326132601 LEGAL: LOTS 1 A ND 2 AND 3 AND W 107FT OF LOT 4 BLK C

LINC LAND USE:

PROPERTY ADDR: 00000 CUTLER
OWNER NAME: MONTIEL LOUIE S & DOLORES
OWNER ADDR: 02200 9TH ST NW

ALBUQUERQUE NM 87107

0101405912222432408 LEGAL: MAP 36 T RACTS 43A1 43B1 & 43C CONT 4.85 AC

LAND USE:

PROPERTY ADDR: 00000 CUTLER
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: PO BOX 1293

ALBUQUERQUE NM 87103

0101405911736620903 LEGAL: 001 003F ORAKER GARDENS

LAND USE:

PROPERTY ADDR: 00000 8TH
OWNER NAME: ABRUMS BARON & SUSAN
OWNER ADDR: 02600 8TH ST NW

ALBUQUERQUE NM 87107

0101405913836820601 LEGAL: 001 001F ORAKER GARDENS

LAND USE:

PROPERTY ADDR: 00000 8TH
OWNER NAME: ABRUMS BARON R
OWNER ADDR: 02600 8TH ST NW

ALBUQUERQUE NM 87107

PAGE 4

0101405910638320902	LEGAL: MAP 36 T R 25 A 1 B	
LAND USE:		
	PROPERTY ADDR: 00000 MENAUL	
	OWNER NAME: GALLEGOS ANNETTE TRUSTEE GALLE	
	OWNER ADDR: 02828 12TH	ST NW
ALBUQUERQUE NM	87107	
0101405908437320901	LEGAL: 110 MCDO NALD ACRES 4TH UNIT	
LAND USE:		
	PROPERTY ADDR: 00000 10TH	
	OWNER NAME: MAESTAS DEBBIE	
	OWNER ADDR: 02804 10TH	ST NW
ALBUQUERQUE NM	87107	
0101405906237920511	LEGAL: 091 MCDO NALD ACRES 4TH UNIT	
LAND USE:		
	PROPERTY ADDR: 00000 WOODLAND	
	OWNER NAME: SHELDRAKE LORI V & ROBERT A	
	OWNER ADDR: 01000 WOODLAND	AV NW
ALBUQUERQUE NM	87107	
0101405905537920510	LEGAL: 092 MCDO NALD ACRES 4TH UNIT	
LAND USE:		
	PROPERTY ADDR: 00000 WOODLAND	
	OWNER NAME: HUMBLE BRADLEY S & ANTIONETTE	
	OWNER ADDR: 01008 WOODLAND	AV NW
ALBUQUERQUE NM	87107	
0101405904938020509	LEGAL: 093 MCDO NALD ACRES 4TH UNIT	
LAND USE:		
	PROPERTY ADDR: 00000 WOODLAND	
	OWNER NAME: HERMETET MICHAEL J	
	OWNER ADDR: 01012 WOODLAND	AV NW
ALBUQUERQUE NM	87107	
0101405904738120508	LEGAL: 094 MCDO NALD ACRES 4TH UNIT	
LAND USE:		
	PROPERTY ADDR: 00000 WOODLAND	
	OWNER NAME: KIEFFER JANET S	
	OWNER ADDR: 01016 WOODLAND	AV NW
ALBUQUERQUE NM	87107	
0101405903438220507	LEGAL: 095 MCDO NALD ACRES 4TH UNIT	
LAND USE:		
	PROPERTY ADDR: 00000 WOODLAND	
	OWNER NAME: CHAVEZ JULIAN JR & CHAVEZ	
	OWNER ADDR: 03121 DON QUIXOTE	CT NW
ALBUQUERQUE NM	87107	
0101405902838320506	LEGAL: MCDO NALD ACRES 4TH UNIT LOT 96	
LAND USE:		
	PROPERTY ADDR: 00000 WOODLAND	
	OWNER NAME: ZUNIGA MICHAEL P	
	OWNER ADDR: 01030 WOODLAND	AV NW
ALBUQUERQUE NM	87107	
0101405902038420505	LEGAL: 097 MCDO NALD ACRES 4TH UNIT	
LAND USE:		
	PROPERTY ADDR: 00000 WOODLAND	
	OWNER NAME: GRIEGO CONSUELO M &	
	OWNER ADDR: 01100 WOODLAND	NW
ALBUQUERQUE NM	87107	

PAGE 5

0101405901338520504 LEGAL: 098 MCDO NALD ACRES 4TH UNIT
LAND USE: PROPERTY ADDR: 00000 WOODLAND
 OWNER NAME: PEREA ROBERT L
 OWNER ADDR: 01104 WOODLAND AV NW

ALBUQUERQUE NM 87107
0101405900738620503 LEGAL: 099 MCDO NALD ACRES 4TH UNIT
LAND USE: PROPERTY ADDR: 00000 MENAUL
 OWNER NAME: NM DIS COUNCIL ASSMLY OF GOD
 OWNER ADDR: 01119 MENAUL BL NW

ALBUQUERQUE NM 87107
0101305952038511202 LEGAL: 100 MCDO NALD ACRES #4
LAND USE: PROPERTY ADDR: 00000 MENAUL
 OWNER NAME: N M DIS COUNCIL ASSEMB OF GOD
 OWNER ADDR: 01119 MENAUL BL NW

ALBUQUERQUE NM 87107
0101305950938411201 LEGAL: LOT 101- A PLAT OF LOT 101-A MCDONALD ACRES
FOURTH LAND USE: PROPERTY ADDR: 00000 MENAUL
 OWNER NAME: ALL WASHED UP INC
 OWNER ADDR: 00407 RIO GRANDE NW

ALBUQUERQUE NM 87104
0101305950939011212 LEGAL: MCDO NALD ACRES #4 N52FT OF L101&L102
LAND USE: PROPERTY ADDR: 00000 12TH
 OWNER NAME: GALLEGOS-TIMBROOK ANNETTE
 OWNER ADDR: 03006 TRELIS DR NW

ALBUQUERQUE NM 87107
0101305948439511024 LEGAL: LOT 2 CO LEMAN ADD & E 20FT VACATED COLEMAN AVE
ADJ LAND USE: PROPERTY ADDR: 00000 12TH
 OWNER NAME: TRUJILLO LOUIS B & MARIA T
 OWNER ADDR: 01589 BRIDGE BL SW

ALBUQUERQUE NM 87105
0101305949138511022 LEGAL: TR B PLA T OF TRS A & B LAND OF HORN INVESTMENTS
BE LAND USE: PROPERTY ADDR: 00000 MENAUL
 OWNER NAME: ROBBINS RUTHIE HORN
 OWNER ADDR: 00634 GRACELAND SE

ALBUQUERQUE NM 87108
0101305947938511023 LEGAL: TR A PLA T OF TRS A & B LAND OF HORN INVESTMENTS
BE LAND USE: PROPERTY ADDR: 00000 MENAUL
 OWNER NAME: NELSON GORDAN E & CHOM T
 OWNER ADDR: 04623 GREENE NW

ALBUQUERQUE NM 87107
QUIT

101405901329320113 LEGAL: MRGCD MAP 35 TRACT 84E AND ADJ VAC PORT5ION O
PROPERTY ADDR: N/A

OWNERS NAME: US INDIAN SCHOOL
OWNERS ADDR: PO BOX 1667
 ALBUQUERQUE, NM 87103

101305946231710305 LEGAL: MRGCD MAP 38 TR 84D CONT 12.29 AC
PROPERTY ADDR: 2401 12TH NW

OWNERS NAME: US INDIAN SCHOOL
OWNERS ADDR: PO BOX 1667
 ALBUQUERQUE, NM 87103

101405901420032714 LEGAL: MAP 36 TR 78 B1 LESS POR 4.15 AC TO R 2 14.9
PROPERTY ADDR: INDIAN SCHOOL RD NW

OWNERS NAME: US INDIAN SERVICE
OWNERS ADDR: PO BOX 1667
 ALBUQUERQUE, NM 87103

101405906019932715 LEGAL: TR 59 MAP 36 LESS POR TO ROW 1.39 AC 0.46 AC
PROPERTY ADDR: N/A

OWNERS NAME: US INDIAN SERVICE
OWNERS ADDR: PO BOX 1667
 ALBUQUERQUE, NM 87103

101405912235020463 LEGAL: TR A OF REPL OF LTS 4 5 & 6 (L ESS MENAUL R-O N TO TR A CONT
44.8
PROPERTY ADDR: 808 MENAUL NW 818

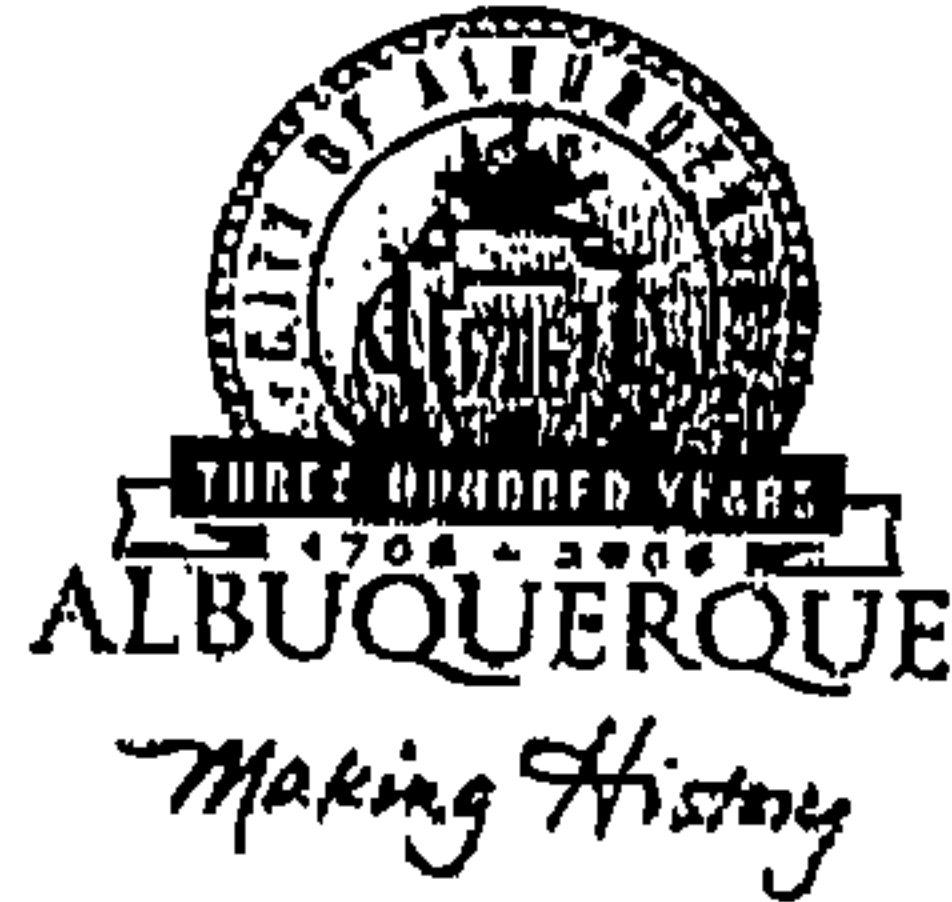
OWNERS NAME: BLACKBURN M M & ELIZABETH A
OWNERS ADDR: PO BOX 12
 VEGUITA, NM 87062

101405911927232656 LEGAL: *042 004 APACHE TRAIL ADD & L43 L44 EXC 10FT
PROPERTY ADDR: 2220 9TH ST NW

OWNERS NAME: CLARK DAVID & ROSE
OWNERS ADDR: PO BOX 6182
 ALBUQUERQUE, NM 87102

101405912222432408 LEGAL: MAP 39 TRACTS 43A1 43AB & 43C CONT 4.85 AC
PROPERTY ADDR: 820 CUTLER AVE NW

OWNERS NAME: CITY OF ALBUQUERQUE
OWNERS ADDR: PO BOX 1293
 ALBUQUERQUE, NM 87103



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

July 20, 2006

Clint Wilsey
Studio SW Architect
2101 Mountain Road NW/87104
Phone: 843-9639/Fax: 843-9683

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Clint:

Thank you for your inquiry of July 20, 2006 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **ALL INDIAN PUEBLO COUNCIL PROPERTY FORMERLY ALBUQUERQUE INDIAN SCHOOL, LOCATED ON 12TH STREET NW/MENAU BOULEVARD NW/INDIAN SCHOOL ROAD NW AND 9TH STREET NW** Zone Map: **H-13**.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

NEAR NORTH VALLEY N.A. (NNV) "R"

***George Hutton**

1820 Indian School NW #103/87104 220-9863 (h)

Kristina Anderson

1115 Mildred Ave. NW/87107 345-1963 (h) 345-3258 (w)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**

planningrnaform(10/08/05)



Indian Pueblos Federal Development Corporation
2412 Comanche Rd. NE
Albuquerque, NM 87107
Phone: (505)881-2273
Fax : (505)341-4467

July 20, 2006

Studio Southwest Architect
2101 Mountain Rd NW
Albuquerque, NM 87104

Attn: Robert Gerard Heiser AIA

Dear Bob:-

IPFDC authorizes Studio Southwest Architect to be the agent of record in the submittal of plans concerning the hotel located at the southwest corner of the IPFDC site for DRB consideration and approval.

Sincerely

A handwritten signature in black ink, appearing to read 'BS', is written over the word 'Sincerely'.

Bruce Sanchez, President

Project # 1005033

I.P.F.D.C.
2412 COMANCHE RD NE
ALBUQUERQUE, NM 87107

Project # 1005033

STUDIO SOUTHWEST ARCHITECTS
2101 MOUNTAIN RD NW
ALBUQUERQUE, NM 87104

Project # 1005033

GEORGE HUTTON
Near North Valley N.A.
1820 INDIAN SCHOOL NW
ALBUQUERQUE, NM 87104

Project # 1005033

KRISTINA ANDERSON
Near North Valley N.A.
1115 MILDRED AVE NW
ALBUQUERQUE, NM 87107

101405901329320113

U S INDIAN SCHOOL
PO BOX 1667
ALBUQUERQUE, NM 87103

101305943521340530

MOUNTAIN RUN PARTNERS LTD
5850 EUBANK BL NE
ALBUQUERQUE NM 87111

101305949021240603

SISTERS ST FRANCIS,C SPRINGS
7665 ASSISI HEIGHTS
COLORADO SPRING 80919

101305949921940601

ARCHDIOCESE OF SANTA FE
4000 ST JOSEPH PL NW
ALBUQUERQUE NM 87120

101405912235020463

BLACKBURN M M & ELIZABETH A
PO BOX 12
VEGUITA, NM 87062

101405911733320402

ZION FELLOWSHIP INCORPORATED
831 TOWNER AV NW
ALBUQUERQUE NM 87103

101405910631820371

BACA MARGARET
830 TOWNER AV NW
ALBUQUERQUE NM 87107

101405911131220370

GUTIERREZ STEVE D & MARIA A
826 TOWNER AV NW
ALBUQUERQUE NM 87102

101405910230320301

ESPINOSA DAVID L & RUPPERT-
817 TULANE DR NE
ALBUQUERQUE NM 87106

101405910830220319

LEGER ERNEST H & GLORIA I CO-
3207 MANCHESTER CT NW
ALBUQUERQUE NM 87107

101405912130420302

MONTOYA RAY L & MARIE T
1808 GOLF COURSE RD SE
RIO RANCHO NM 87124

101405912730320303

KATHRYN LARSON HC
4356 BRYAN NW
ALBUQUERQUE NM 87114

101405912329220238

TAFOYA DELLA & MONTANO FRANCE
2300 9TH ST NW
ALBUQUERQUE NM 87102

101405912228620201

ARCHULETA SELINA B
847 APACHE NW
ALBUQUERQUE NM 87107

101405911927232656

CLARK DAVID & ROSE
PO BOX 6182
ALBUQUERQUE, NM 87102

101405911326132601

MONTIEL LOUIE S & DOLORES
2200 9TH ST NW
ALBUQUERQUE NM 87107

101405911736620903

ABRUMS BARON & SUSAN
2600 8TH ST NW
ALBUQUERQUE NM 87107

101405910638320902

GALLEGOS ANNETTE TRUSTEE GALL
2828 12TH ST NW
ALBUQUERQUE NM 87107

101405908437320901

MAESTAS DEBBIE
2804 10TH ST NW
ALBUQUERQUE NM 87107

101405906237920511

SHELDRAKE LORI V & ROBERT A
1000 WOODLAND AV NW
ALBUQUERQUE NM 87107

101405905537920510

HUMBLE BRADLEY S & ANTIONETTE
1008 WOODLAND AV NW
ALBUQUERQUE NM 87107

101405904938020509

HERMETET MICHAEL J
1012 WOODLAND AV NW
ALBUQUERQUE NM 87107

101405904738120508

KIEFFER JANET S
1016 WOODLAND AV NW
ALBUQUERQUE NM 87107

101405903438220507

CHAVEZ JULIAN JR & CHAVEZ
3121 DON QUIXOTE CT NW
ALBUQUERQUE NM 87107

101405902838320506

ZUNIGA MICHAEL P
1030 WOODLAND AV NW
ALBUQUERQUE NM 87107

101405902038420505

GRIEGO CONSUELO M &
1100 WOODLAND NW
ALBUQUERQUE NM 87107

101405901338520504

PEREA ROBERT L
1104 WOODLAND AV NW
ALBUQUERQUE NM 87107

101405900738620503

NM DIS COUNCIL ASSMLY OF GOD
1119 MENAUL BL NW
ALBUQUERQUE NM 87107

101305950938411201

ALL WASHED UP INC
407 RIO GRANDE NW
ALBUQUERQUE NM 87104

101305950939011212

GALLEGOS-TIMBROOK ANNETTE
3006 TRELIS DR NW
ALBUQUERQUE NM 87107

101305948439511024

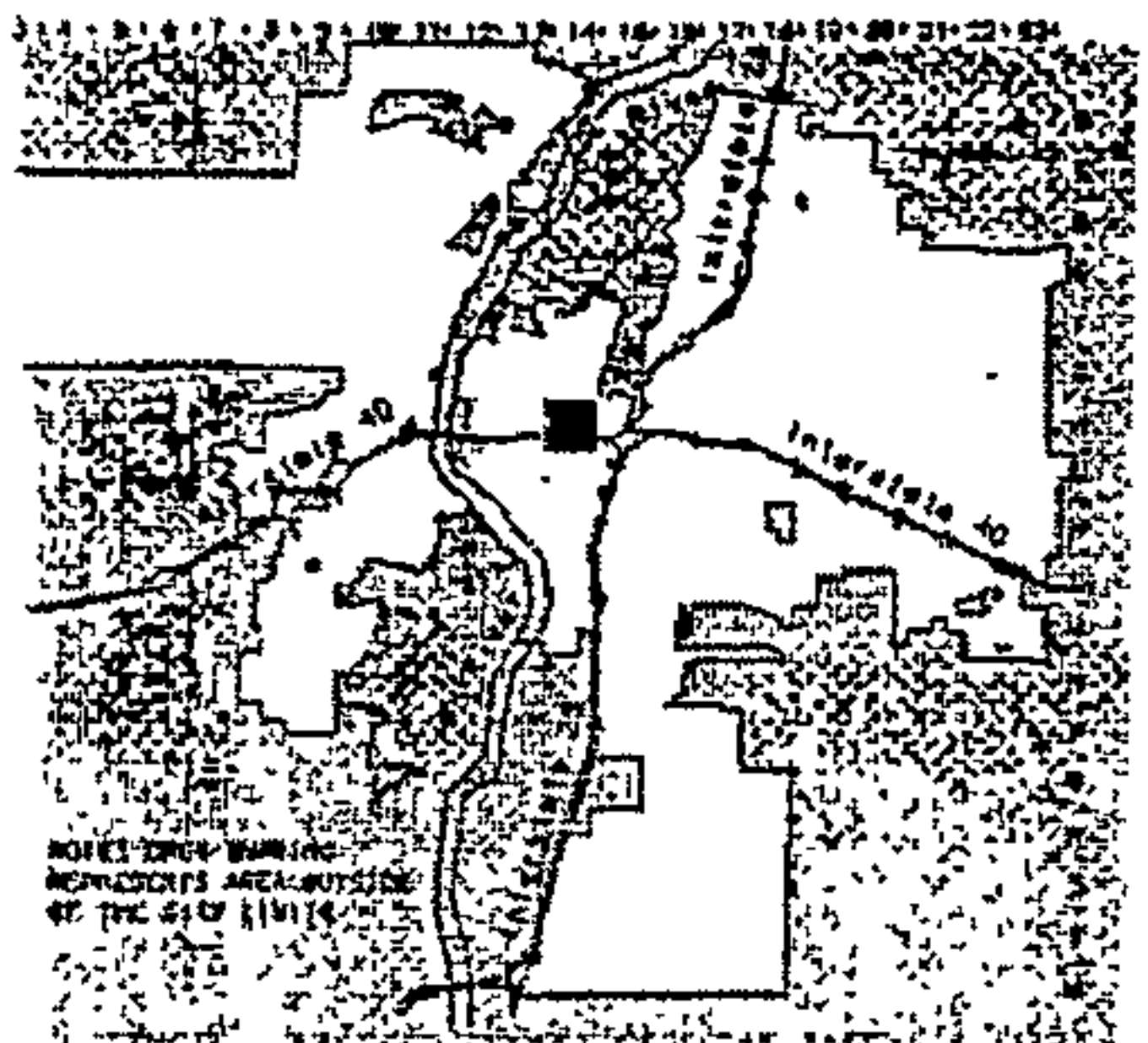
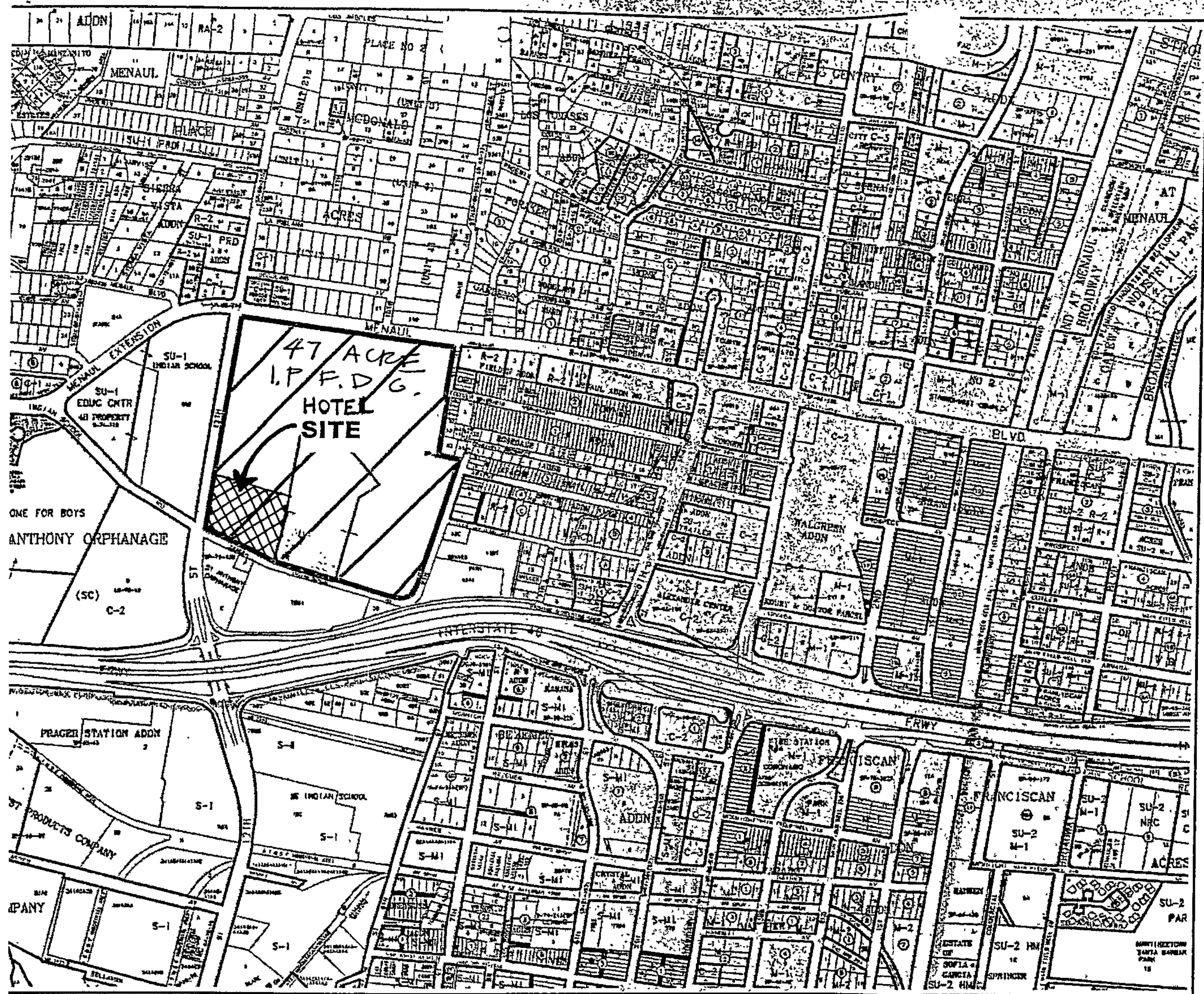
TRUJILLO LOUIS B & MARIA T
1589 BRIDGE BL SW
ALBUQUERQUE NM 87105

101305949138511022

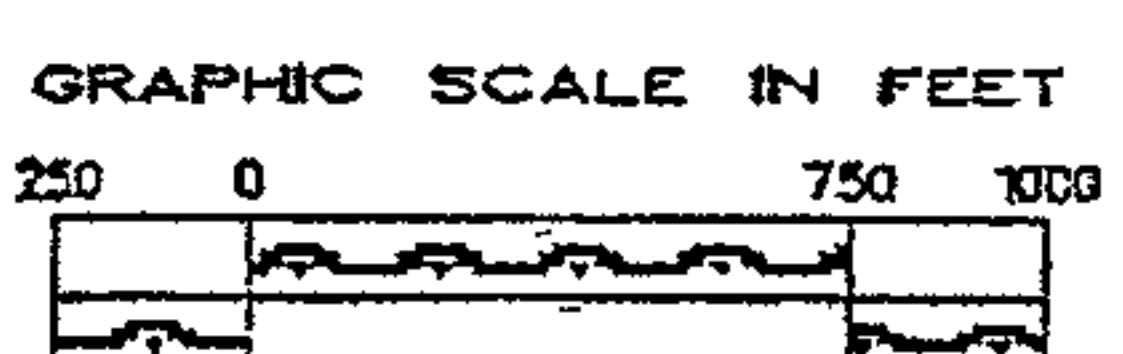
ROBBINS RUTHIE HORN
634 GRACELAND SE
ALBUQUERQUE NM 87108

101305947938511023

NELSON GORDAN E & CHOM T
4623 GREENE NW
ALBUQUERQUE NM 87107



ALBUQUERQUE
PLANNING DEPARTMENT
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Zone Atlas Page
H-13-Z

Map Amended through December 01, 2003

Zone Atlas Page
H-14-Z

Map Amended through December 01, 2003

I.P.F.D.C. SITE

7.20.2006



July 21, 2006

Sharon Madson
DRB
City of Albuquerque

Re: IPFDC Hotel – DRB Submittal

**Studio Southwest
Architects Inc.**

Dear Ms. Madson:

Studio Southwest Architects, Inc. (formerly DCSW, Inc.) is requesting the review and approval of a DRB Site Development Plan for Building Permit for a 2.79 acre portion of the 15.69 acre commercial zone of the 47 acre IPFDC site located at 12th Street NW and Menaul NW. The commercial site is zoned SU-1 C-2 with restrictions.

The proposed project is a four (4) story 114 room hotel with related facilities for hotel guests. All proposed uses are allowed by the approved zoning on the site.

The design height and location of the hotel are in accordance with the 12th and Menaul Study designed by H.O.K. a City of Albuquerque consultant, and approved by the Albuquerque City Council. In addition landscaping, lighting, signage, building materials, building massing, parking, and colors are in compliance with the requirements of the City Council approved plan. The conceptual site plans as drawn by DCSW, Inc. are included in the submittal package.

H.O.K. provided a document to City Council: **Study Recommendations, 12th Street & Menaul Study**, October 2005.

The document and accompanying site plans were approved by the City Council, Council Bill F/S 0-05-98 and 03/EPC-01676 and 03EPC-01677 were presented to the City Council as an EPC review and comment in accordance with the City of Albuquerque and IPFDC Development Agreement R-02-167.

A traffic study was completed by Terry Brown PE in June of 2004 and was incorporated into the traffic analysis and street design advocated by the City of Albuquerque traffic consultant for the 12th and Menaul Study. A copy of the traffic study is available upon request.

Thank you for your consideration on this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert Gerard Heiser". The signature is written over a horizontal line that extends across the page.

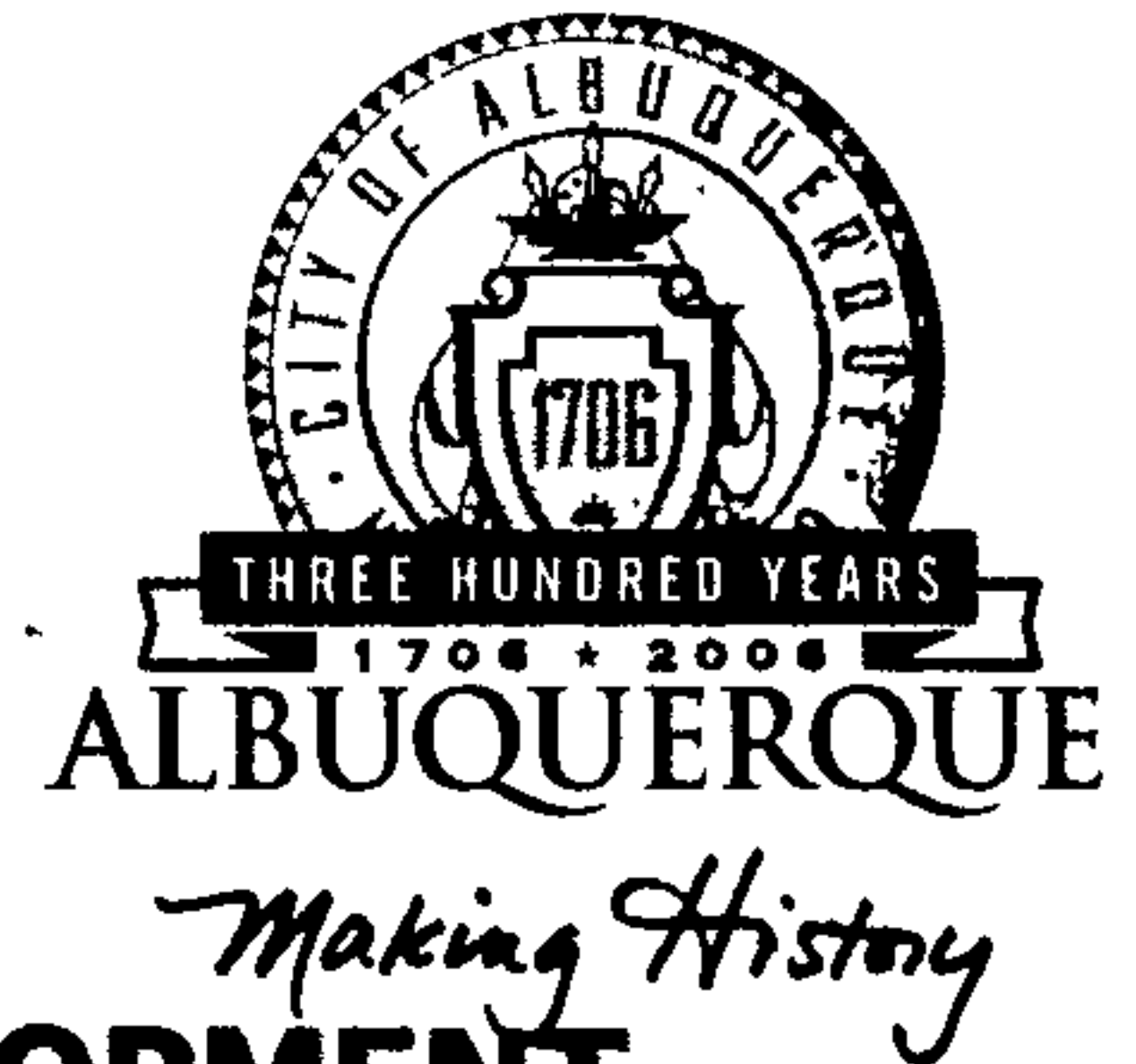
Robert Gerard Heiser, AIA
Senior Principal
Studio Southwest Architects, Inc.
(fka DCSW, Inc.)

Albuquerque
2101 Mountain Road NW
Albuquerque, NM 87104
T 505.843.9639
F 505.843.9683
mail@studioswarch.com

Santa Fe
130 Grant Avenue, Suite 102
Santa Fe, NM 87501
T 505.982.7191
F 505.992.0585
mail@studioswarch.com

www.studioswarch.com

F Y I



NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

July 27, 2006

TO: George Hutton and Kristina Anderson, Near North Valley Neigh. Assoc.

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: Requests the following for approximately three (2) acre(s) – Major Site Development Plan for Building Permit for a proposed four (4) story, one hundred fourteen (114) room hotel with related facilities for hotels guests.

Proposed by: Studio Southwest Architects at 505-843-9639

Agent for: I.P.F.D.C.

For property located: On or near 12th Street NW between Indian School Road NW and Menaul Boulevard NW.

P.O. Box 1293

The case number(s) assigned is: 06DRB- 01056, Project # 1005033.

Albuquerque

City Planning accepted application for this request on July 21, 2006.

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

New Mexico 87103

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on Wednesday, August 16, 2006 in the Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.

www.cabq.gov

You should contact Claire Senova at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call Stephani Winklepleck at 924-3902 or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**



Supplemental Form (SF)

SUBDIVISION	S	Z	ZONING & PLANNING
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input checked="" type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	V		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
SITE DEVELOPMENT PLAN	P		<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Subdivision			
<input type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment/Approval (AA)			
<input type="checkbox"/> IP Master Development Plan	D		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L	A	APPEAL / PROTEST of...
STORM DRAINAGE (Form D)			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Property One CRE PHONE: 505 897 5105
 ADDRESS: 551 Field Hawk Trl NW FAX: _____
 CITY: Albuquerque STATE NM ZIP 87114 E-MAIL: msilbert@q.com

APPLICANT: Indian Pueblos Federal Development Corp. PHONE: 7243518
 ADDRESS: 2401 12th St. NW FAX: 842-6959
 CITY: Albuquerque STATE NM ZIP 87104 E-MAIL: mikecanfield@valliant.com

Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Extension of Sidewalk deferral

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 84E Block: _____ Unit: _____
 Subdiv/Addn/TBKA: MRGCD MAP 35
 Existing Zoning: SU1 for C-2 Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): H-13-2 UPC Code: 101405901329320113

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.):
DRB 1003033/09 - 70126(SIA) 70019

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: 1 No. of proposed lots: _____ Total site area (acres): ±2.5 acres

LOCATION OF PROPERTY BY STREETS: On or Near: Twelfth Street
 Between: Indian School Street and Menaul Boulevard

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Michael Silbert DATE 2/8/13
 (Print Name) Michael Silbert Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>13DRB - 70448</u>	<u>ESIA</u>	_____	<u>\$50.00</u>
_____	<u>LMF</u>	_____	<u>\$20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>February 27, 2013</u>			Total <u>\$70.00</u>

Revised: 4/2012

[Signature]
 2-13-13
 Staff signature & Date

Project # 100 5033

1005033

1

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE (DRB04)

(PUBLIC HEARING CASE)

- ___ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
- ___ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
- ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

VACATION OF PUBLIC EASEMENT (DRB27)

VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)

- ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
- ___ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

SIDEWALK VARIANCE (DRB20)

SIDEWALK WAIVER (DRB21)

- ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the variance or waiver
- ___ List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)

- ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the variance
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)

- 7/ ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
- 7/ ___ Zone Atlas map with the entire property(ies) clearly outlined
- 7/ ___ Letter briefly describing, explaining, and justifying the deferral or extension
- 7/ ___ List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT (DRB26)

VACATION OF RECORDED PLAT (DRB29)

- ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
- ___ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
- ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Michael Silbert
Applicant name (print)

gml hio 2/8/13
Applicant signature / date



Form revised 4/07

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
13DRB- _____ - 70448

Ym 2-13-13
Planner signature / date

Project # 1005033



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

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Professional/Agent (if any) Property One CRES PHONE: 505 897 5105
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 ADDRESS: 2401 12th St. NW FAX: 842-6959
 CITY: Albuquerque STATE NM ZIP 87104 E-MAIL: mikecantrell@valliant.com
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Extension of Sidewalk deferral

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 84E Block: - Unit: -
 Subdiv/Addn/TBKA: MRGCD MAP 35
 Existing Zoning: SU1 for C-2 Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): H-13-2 UPC Code: 10140590132932013

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_V_S_, etc.)
DRB 1005033/09 - 70126(SIA) 70018

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: 1 No. of proposed lots: _____ Total site area (acres): ± 2.5 acres
 LOCATION OF PROPERTY BY STREETS: On or Near Twelfth Street
 Between: Indian School Street and Menaul Boulevard

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Michael Silbert DATE 2/8/13
 (Print Name) Michael Silbert Applicant: Agent:

FOR OFFICIAL USE ONLY

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>13DRB - 70448</u>	<u>ESIA</u>	_____	<u>\$50.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>February 27, 2013</u>			Total <u>\$70.00</u>

Revised: 4/2012

[Signature] 2-13-13
 Staff signature & Date

Project # 100 5033

1005033

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)
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 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

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 - VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
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(Not required for City owned public right-of-way.)
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 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
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 - EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
 - 7/1 Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
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- VACATION OF PRIVATE EASEMENT (DRB26)**
 - VACATION OF RECORDED PLAT (DRB29)**
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DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Michael Silbert Applicant name (print)
[Signature] Applicant signature / date
2/8/13 Applicant signature / date



Form revised 4/07

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
13DRB-70448

[Signature] 2-13-13
 Planner signature / date
 Project # 1005033

February 13, 2013

Mr. Jack Cloud, Chairman
Development Review Board
City of Albuquerque

Hand Delivered

Dear Mr. Chairman

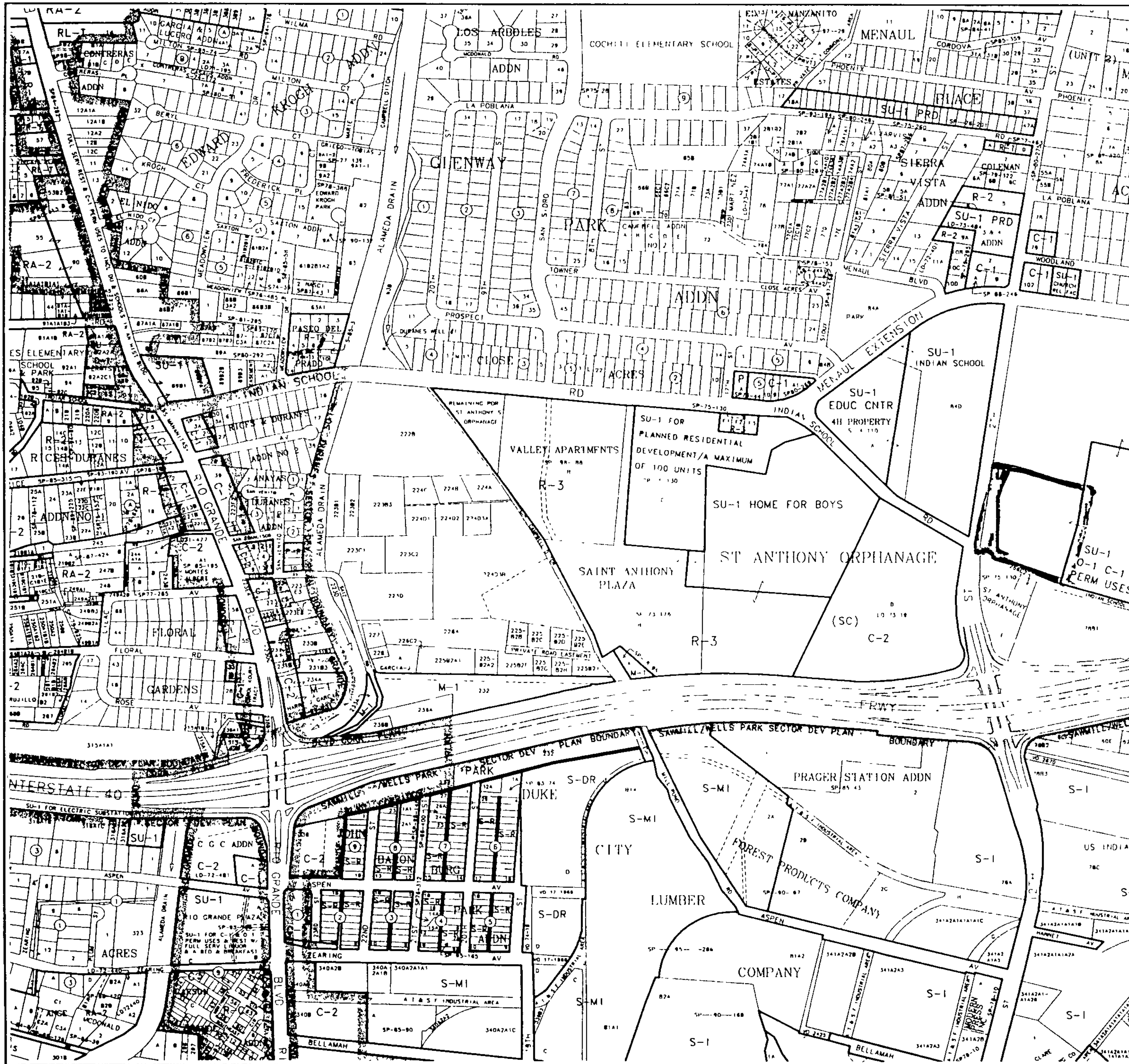
Re: Holiday Inn Express Sidewalk Deferral DRB #70048

The purpose of this letter is to explain that the sidewalk deferral requested for the above referenced project is because the City of Albuquerque is planning to construct improvements on 12th Street adjoining this property and that these improvements have not been designed yet. The owner has constructed a temporary sidewalk and once the City has completed its construction design it will coordinate the construction of a permanent sidewalk. The owner has met with City staff and continues to communicate and coordinate with the Planning Dept. and the Department of Municipal Development.

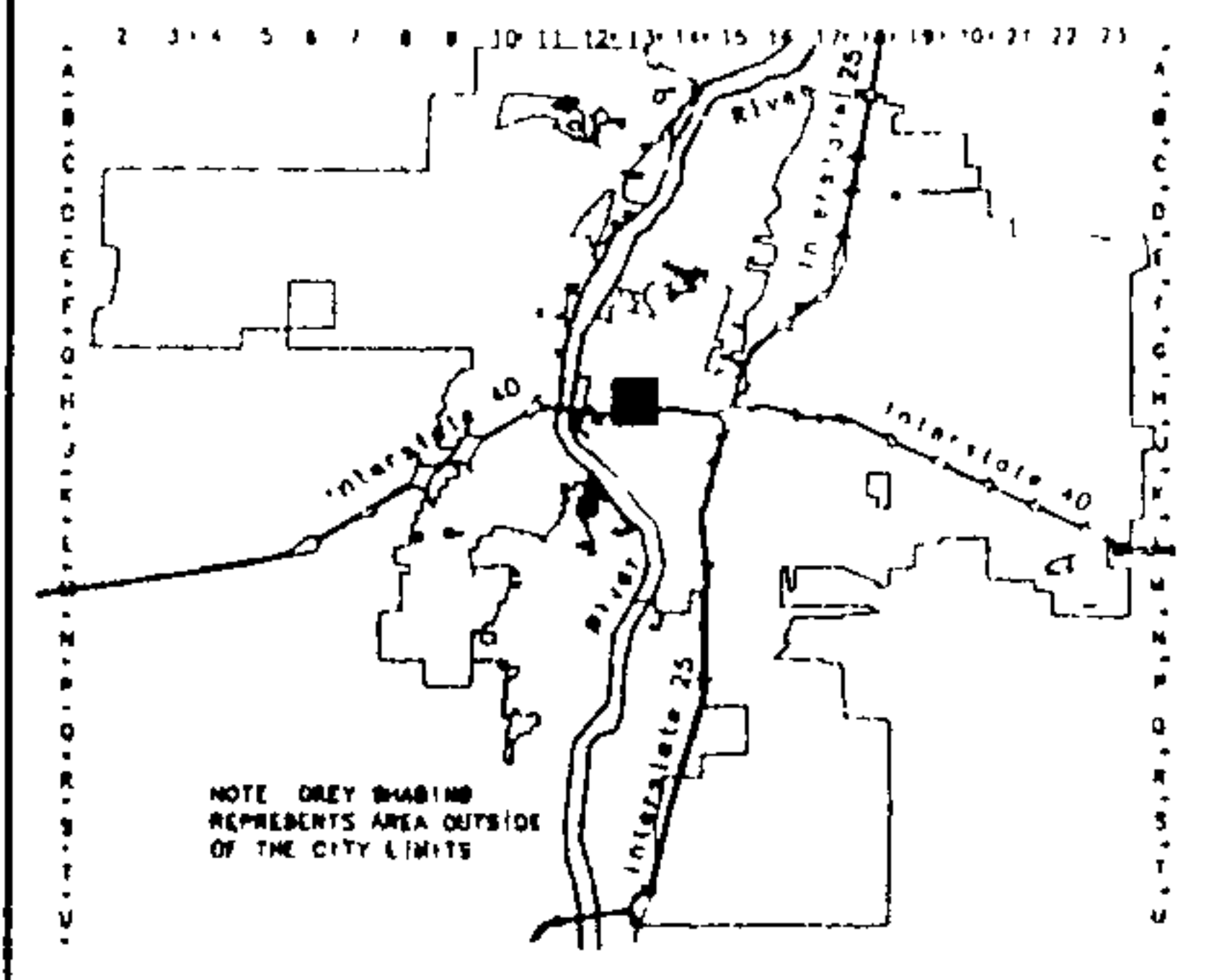
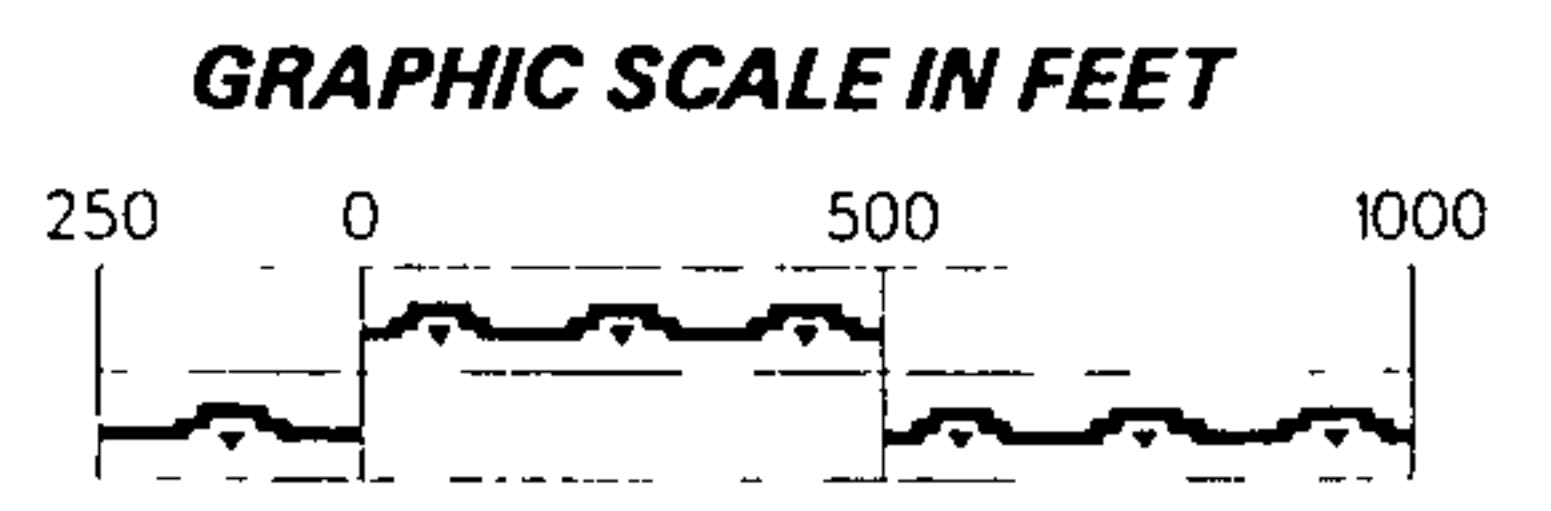
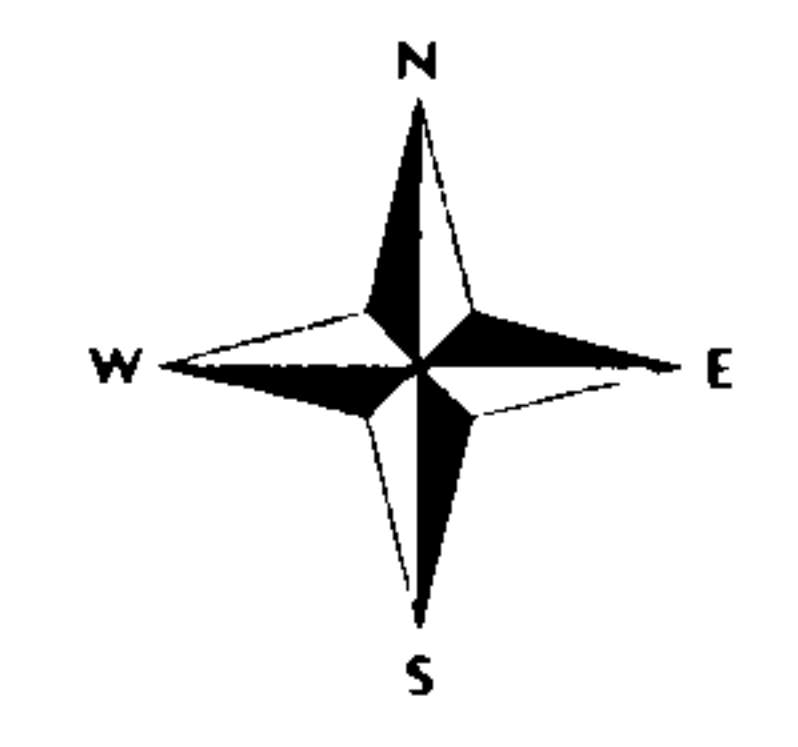
If you have any questions, or require additional information please do not hesitate to contact me.



Michael Silbert
Consultant
IPMI/IPCC

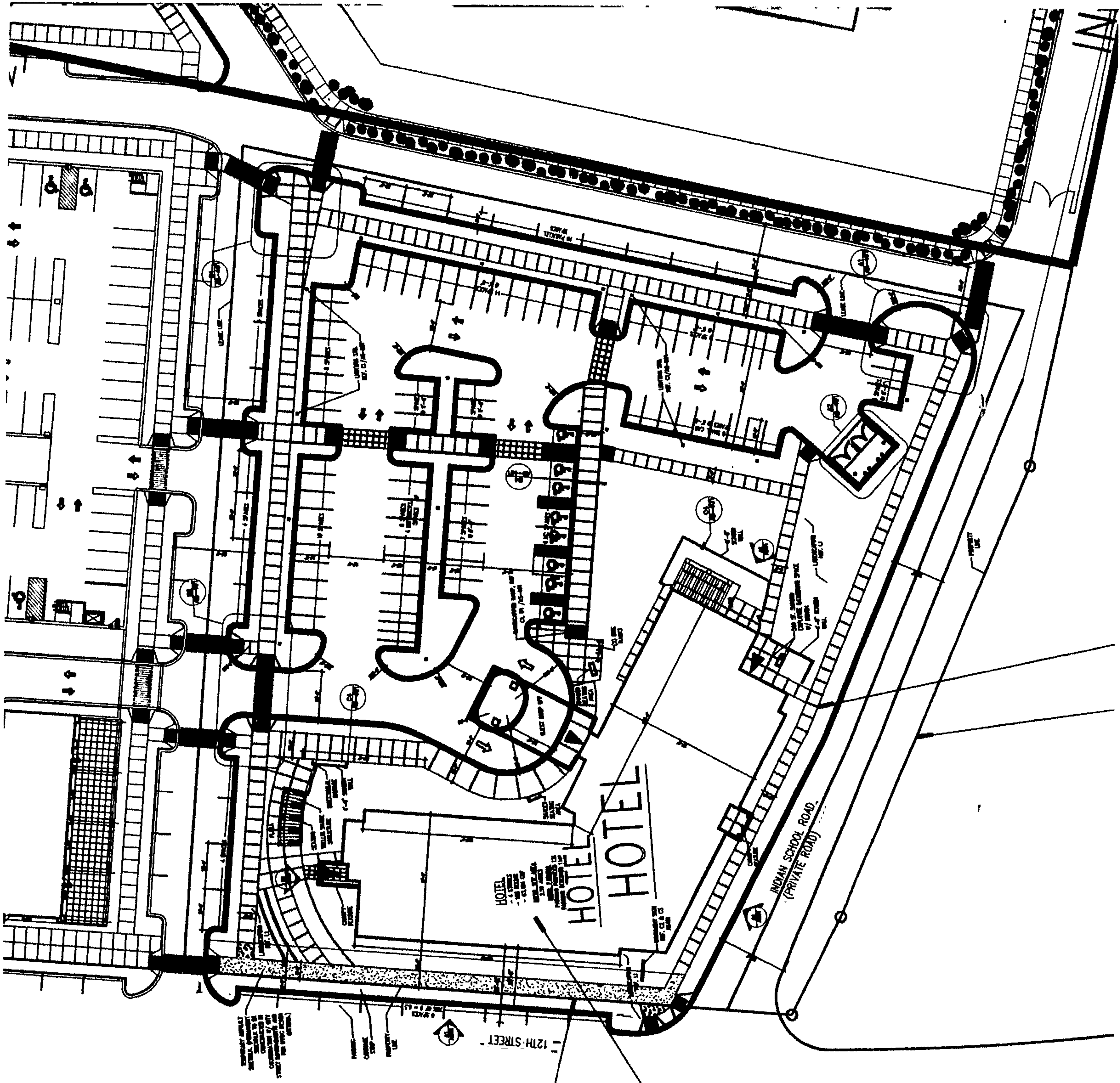


CITY OF
Albuquerque
A Geographic Information System
PLANNING DEPARTMENT
© Copyright 1999



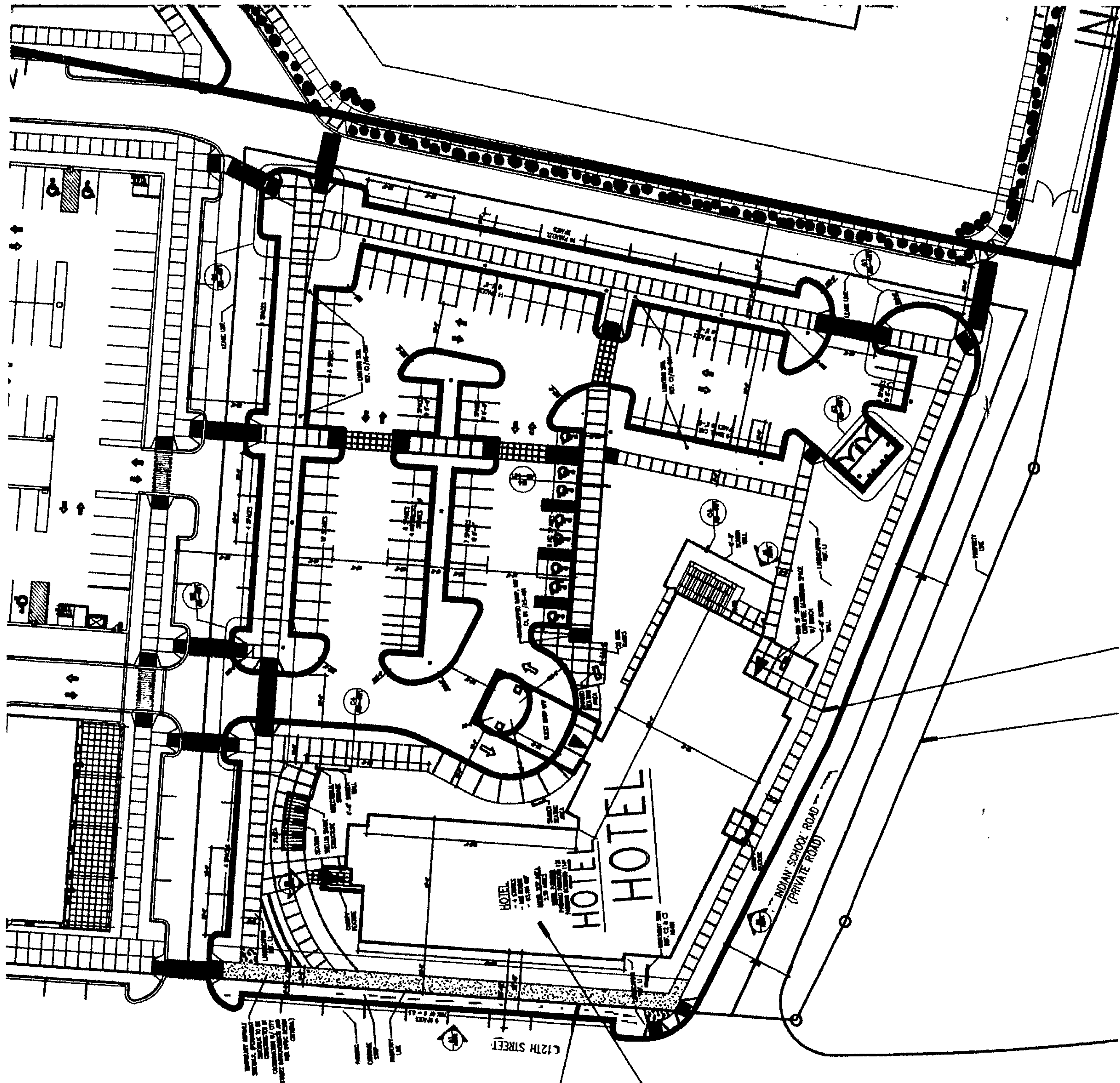
Zone Atlas Page H-13-Z

Map Amended through
April 07, 1999



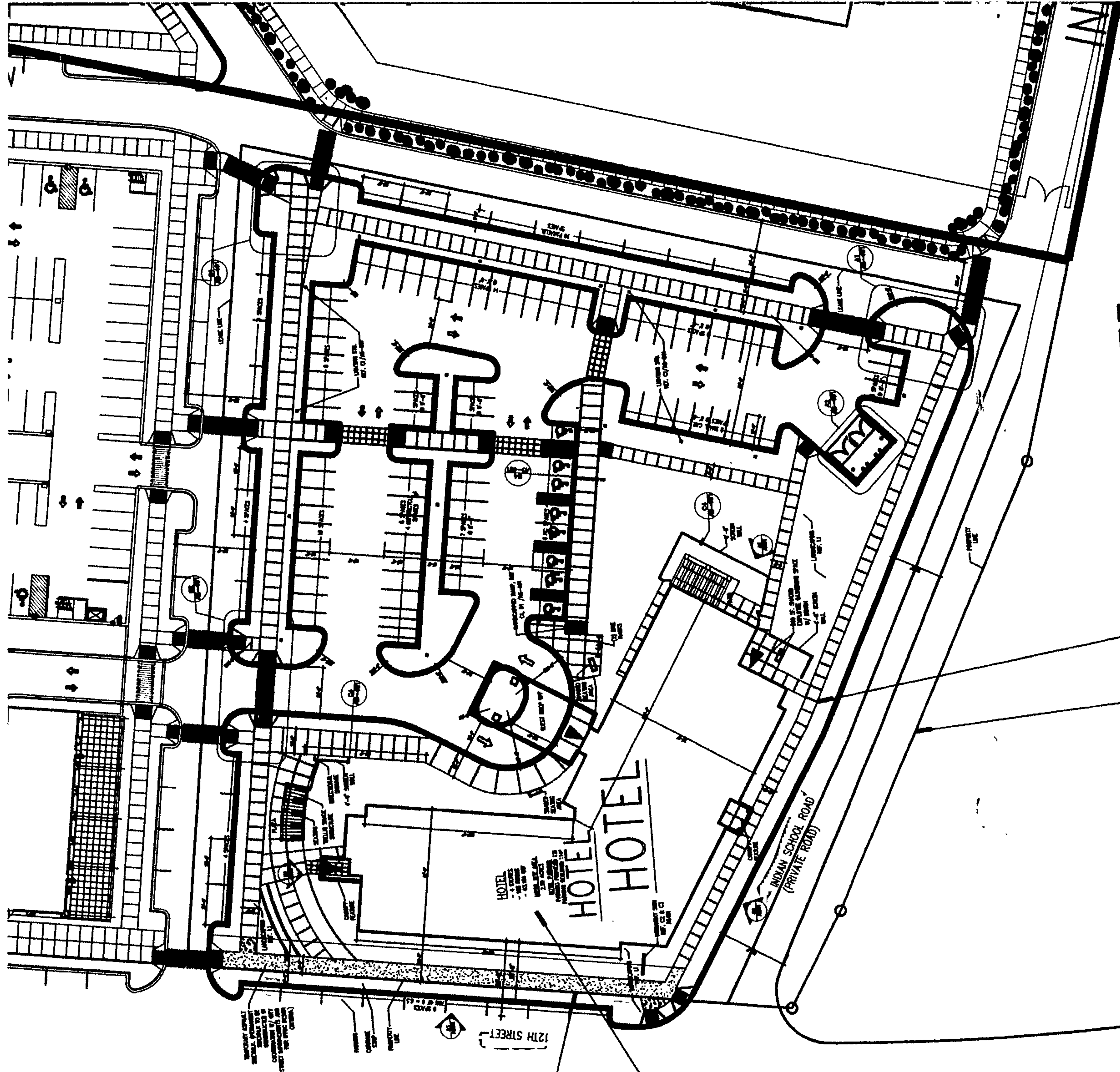
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CRE C-2 SITE



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CRE C-2 SITE

February 27, 2013

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

02/28/2011 Issued By: E08375 101584

STANDARD APPLICATION, Paper Plans Required

Permit Number: 2011 070 048 **Category Code 910**
Application Number: 11DRB-70048, Ext Of Sia For Temp Defr Sdwk Const
Address:
Location Description: 12TH ST NW BETWEEN INDIAN SCHOOL AND MENAUL
Project Number: 1005033

Applicant
 INDIAN PUEBLOS FEDERAL DEVELOPMENT CORP

Agent / Contact
 Property On Cres

2401 12 TH ST NW
 ALBUQUERQUE NM 87114
 228-0875

551 Field Hawk Trail Nw
 Albuquerque NM 87114
 897-5105

Application Fees

441018/4943000	APN Fee	
441032/3416000	Conflict Mgmt Fee	\$20.00
441008/4958000	DRB Actions	\$50.00
TOTAL:		\$70.00

City Of Albuquerque

02/28/2011 1:15PM LOC: ANMV
 007 TRANS# 0032
 RECEIPT# 00141592-00141592
 2011070048 TRSCCS
 Trans Amt \$70.00
 Conflict Manag. Fee \$20.00
 DRB Actions \$50.00
 CHANGE \$0.00

Thank You

City of Albuquerque

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

03/27/2009 Issued By: E08375



Permit Number: 2009 070 126

Category Code 910

Application Number: 09DRB-70126, Major - 2yr Subd Imp Agmt Ext (2yr Sia)

Address:

Location Description: INDIAN SCHOOL BETWEEN 12TH NW AND 9TH NW

Project Number: 1005033

Applicant

Indian Pueblos Federal Development Corp.

7611 Indian School Rd Ne
Albuquerque NM 87110
344-3111

Agent / Contact

Mark Goodwin And Associates Pa
Mark Goodwin
P.O. Box 90606
Albuquerque NM 87199

mark@goodwinengineers.com

Application Fees

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4963000	DRB Actions	\$50.00
TOTAL:		\$145.00

City of Albuquerque
Planning Dept

3/27/2009 3:34PM 1005033
 WEB 006 TRANS=0009
 RECEIPT# 0010459-00104796
 PERMIT# 2009070126 735075
 Trans Out 145.00
 APN Fee 75.00
 Conflict Mgmt. Fee 20.00
 DRB Action 50.00
 CR \$145.00
 CHANGE 10.00

Thank You

ORIGINAL

Figure 12
INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D R B) REQUIRED INFRASTRUCTURE LIST

Tract 12A and 12B
(Mesa del Sol, Innovation Park)

DRC Project No 1006000
 ① 5-20-08
 ② 05/06/09

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC ROADWAY IMPROVEMENTS									
		24' FC-EOP	PAVED ROADWAY, STRIPING, CURB AND GUTTER, STREET LIGHTS (1/2 STREET IMPROVEMENT - 390 LF APPROX , 40' F TO F AT FULL BUILD OUT)	SOLAR MESA AVE (SOUTH SIDE OF ROW)	EAST TERMINUS OF CITY PROJECT #775481	TURING DR			
		24' FC-EOP	PAVED ROADWAY, STRIPING, CURB AND GUTTER, STREET LIGHTS (APPROX 1,200 LF)	TURING DR	SOLAR MESA AVE	SAGAN AVE			
		24' FC-EOP	Paved Roadway, Striping, C&G, Street Lights	Turing Dr.	South PL of Tract 12A	Sagan Ave			
		24' FC-EOP	PAVED ROADWAY, STRIPING, CURB AND GUTTER, STREET LIGHTS (APPROX 550 LF)	SAGAN AVE	TURING DR	WESTERN BOUNDARY OF TRACT OS-2			
PUBLIC SANITARY SEWER IMPROVEMENTS									
		12" DIA	SANITARY SEWER LINE, AS REQ'D (APPROX 370LF)	SOLAR MESA AVE	EAST TERMINUS OF CITY PROJECT #775481	TURING DR			
		8" DIA	SANITARY SEWER LINE, AS REQ'D (APPROX 960LF)	TURING DR	SOLAR MESA AVE	APPROX 120 LF SOUTH OF SOUTHERN PROPERTY LINE OF PROPOSED TRACT 12A			
PUBLIC WATERLINE IMPROVEMENTS									
		12" DIA	WATERLINE W/ NEC VALVES, FH'S, MJ'S & RJ'S (APPROX 390 LF)	SOLAR MESA AVE	EAST TERMINUS OF CITY PROJECT #775481	TURING DR			
		8" DIA	WATERLINE W/ NEC VALVES FH'S, MJ'S & RJ'S, STUB OUTS TO PROEJCT HAL SITE (APPROX 1,200)	TURING DR	SOLAR MESA AVE	SAGAN AVE			
		8" DIA	WATERLINE W/ NEC VALVES FH'S, MJ'S & RJ'S, STUB OUTS TO BUILDING 2 SITE (APPROX 550LF)	SAGAN AVE	TURING DR	WESTERN BOUNDARY OF TRACT OS-2			

SIA
Sequence #

COA DRC
Project #

Size

Type of Improvement

Location

From

To

Private
Inspector

City
Inspector

City Crst
Engineer

PUBLIC/PRIVATE STORM DRAIN IMPROVEMENTS (NOT TO BE FINANCIALLY GUARANTEED)

--	--

DRAINAGE IMPROVEMENTS (RETENTION POND FOR SITE, ROAD, AND OFFSITE OUTFALL - APPROX 22 AC-FT) WITHIN TRACT OS-2 AND COVENANT (PRIVATELY OWNED AND MAINTAINED)

--	--	--

PRIVATE IMPROVEMENTS (NOT TO BE FINANCIALLY GUARANTEED)

24" STORM DRAIN AND TURBINE APPURTANCES SABAN 25% FT NORTH OF SABAN

30", 48" STORM DRAIN AND TURBINE APPURTANCES SABAN POND OS-2

NOTE: Street lights not to be financially guaranteed. To be built prior to release of financial guarantee for CPN 775477

AGENT/OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

JEFFERY L. MULBERY 1/23/2008
PREPARED BY PRINT NAME DATE

[Signature] 1/23/08
DRB CHAIR DATE

[Signature] 1/23/08
PARKS & GENERAL SERVICES DATE

BOHANNAN HUSTON INC.
FIRM

[Signature] 1/23/08
TRANSPORTATION DEVELOPMENT DATE

[Signature] 1/23/08
AMAFCA DATE

[Signature]
SIGNATURE

[Signature] 1-23-08
UTILITY DEVELOPMENT DATE

[Signature] 1/23/08
CITY ENGINEER DATE

MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION

DATE

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRB CHAIR	USER DEPARTMENT	AGENT/OWNER
<u>A</u>	05/06/09	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>
<u>A</u>	5-20-08	<i>[Signature]</i>	Center a Chair	<i>[Signature]</i>

R-15 R-16

CRICK AVE.

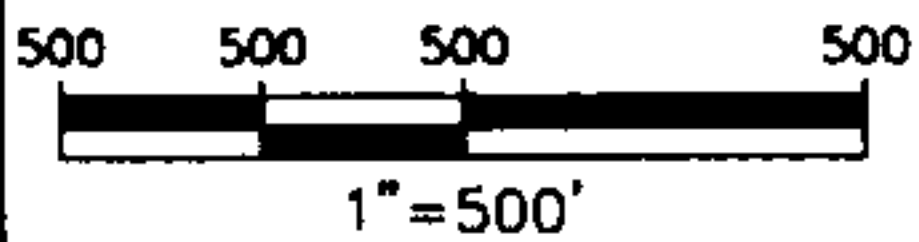
OCHOA AVE.

WATSON DR.



24' PUBLIC ROADWAY IMPROVEMENTS

SOLAR MESA AVE.



UNIVERSITY BLVD.

ADVENT SOLAR

WATER LINE

TRACT OS-2

SAS LINE

SITE (TRACT 12)

24' PUBLIC ROADWAY IMPROVEMENTS

TURING DR.

WATER LINE

SAGAN AVE.

24' PUBLIC ROADWAY IMPROVEMENTS

EASTMAN AVE.

UNIVERSITY BLVD.

TRACT 12 EXHIBIT - DRB #1006000
ZONE ATLAS MAP R-16

Bohannon ▲ **Huston** INC

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING ▲ SPATIAL DATA ▲ AD ED TECHNOLOGIES

DRAWN BY RML

DATE 01/22/08

CHECKED BY

PROJECT NO 080332

SHEET NO



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Mark Goodwin & Associates, PA PHONE: 828-2200
 ADDRESS: P.O. Box 90606 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: greg@goodwinengineers.com
 APPLICANT: Indian Pueblos Federal Development Corp. PHONE: 344-3711
 ADDRESS: 7611 Indian School Rd NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: _____
 Proprietary interest in site: owner List all owners: _____

DESCRIPTION OF REQUEST: 2 year extension of SIA (Indian School Property)

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. B4E Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Indian School Properties
 Existing Zoning: SU-1 Proposed zoning: SU-1 for C-2 MRGCD Map No _____
 Zone Atlas page(s): H-14 UPC Code: 101405901329320113

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1005033

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? no
 No. of existing lots: _____ No. of proposed lots: _____ Total area of site (acres): 2.7857
 LOCATION OF PROPERTY BY STREETS: On or Near: Indian School
 Between: 12th and _____
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 3-27-09
 (Print) Gregory J. Krenik PE Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>04DRB - 70126</u>	<u>SIA</u>	_____	<u>\$ 50.00</u>
_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
_____	<u>UMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	<u>\$ _____</u>
_____	_____	_____	<u>\$ _____</u>
Hearing date <u>April 29, 2009</u>	_____	_____	Total <u>\$ 145.00</u>

[Signature] 3-27-09 Project # 1005033
 Planner signature / date

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Gregory J. Krenik PE
 Applicant name (print)
[Signature] 3-27-09
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 09DRB - _____ - 70126
 _____ - _____ - _____
 _____ - _____ - _____

[Signature] 3-27-09
 Planner signature / date
 Project # 1005033

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.


4. TIME

Signs must be posted from April 14, 2009 To April 29, 2009

5. REMOVAL

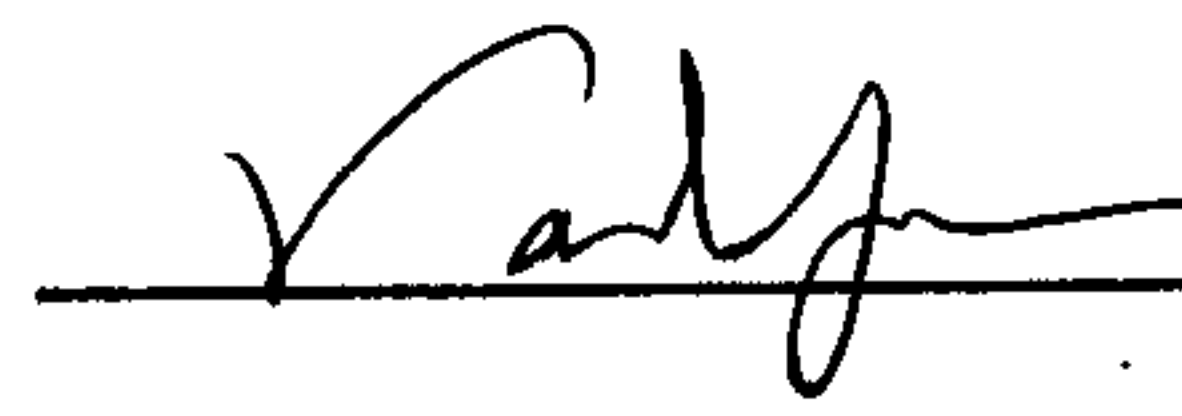
- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

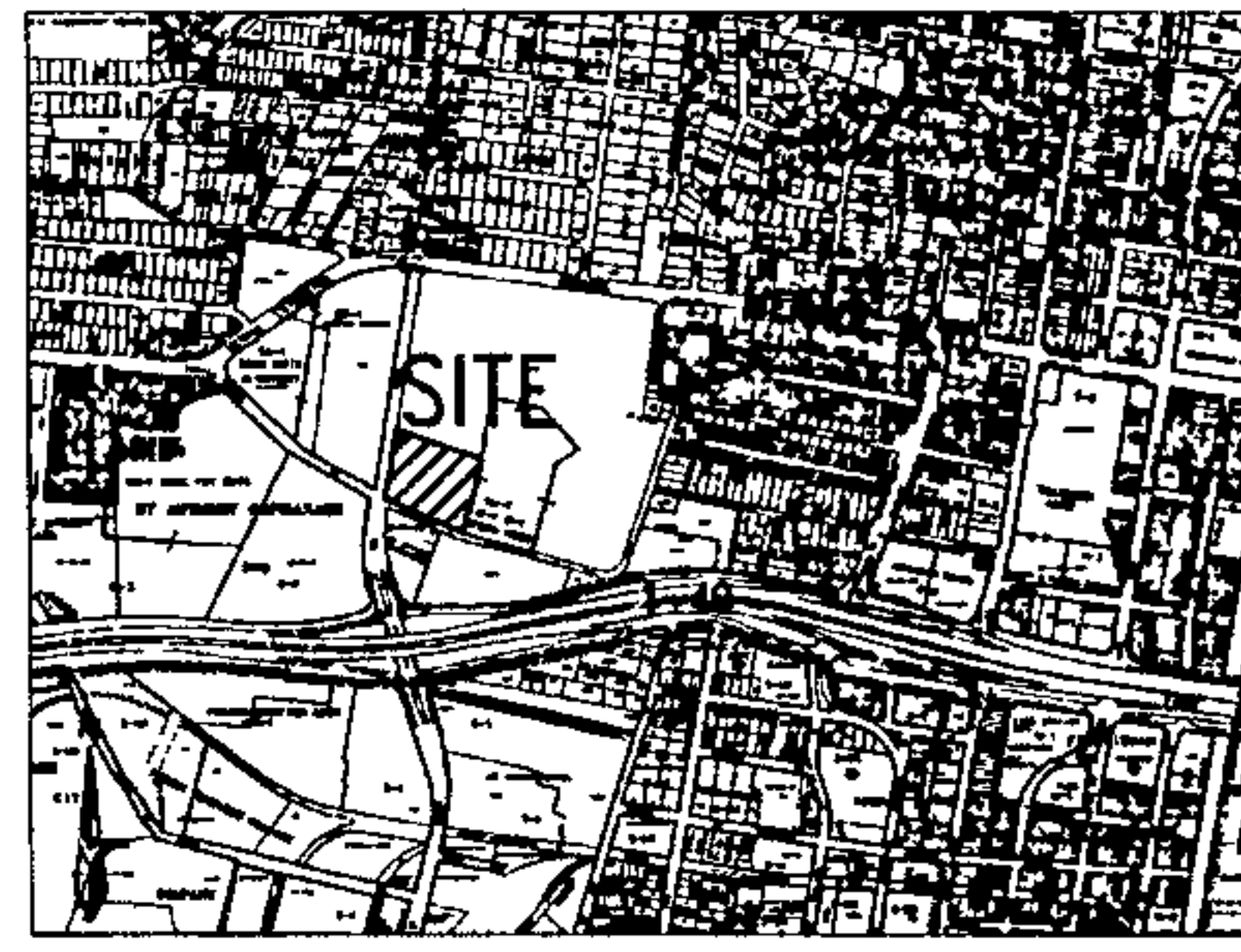
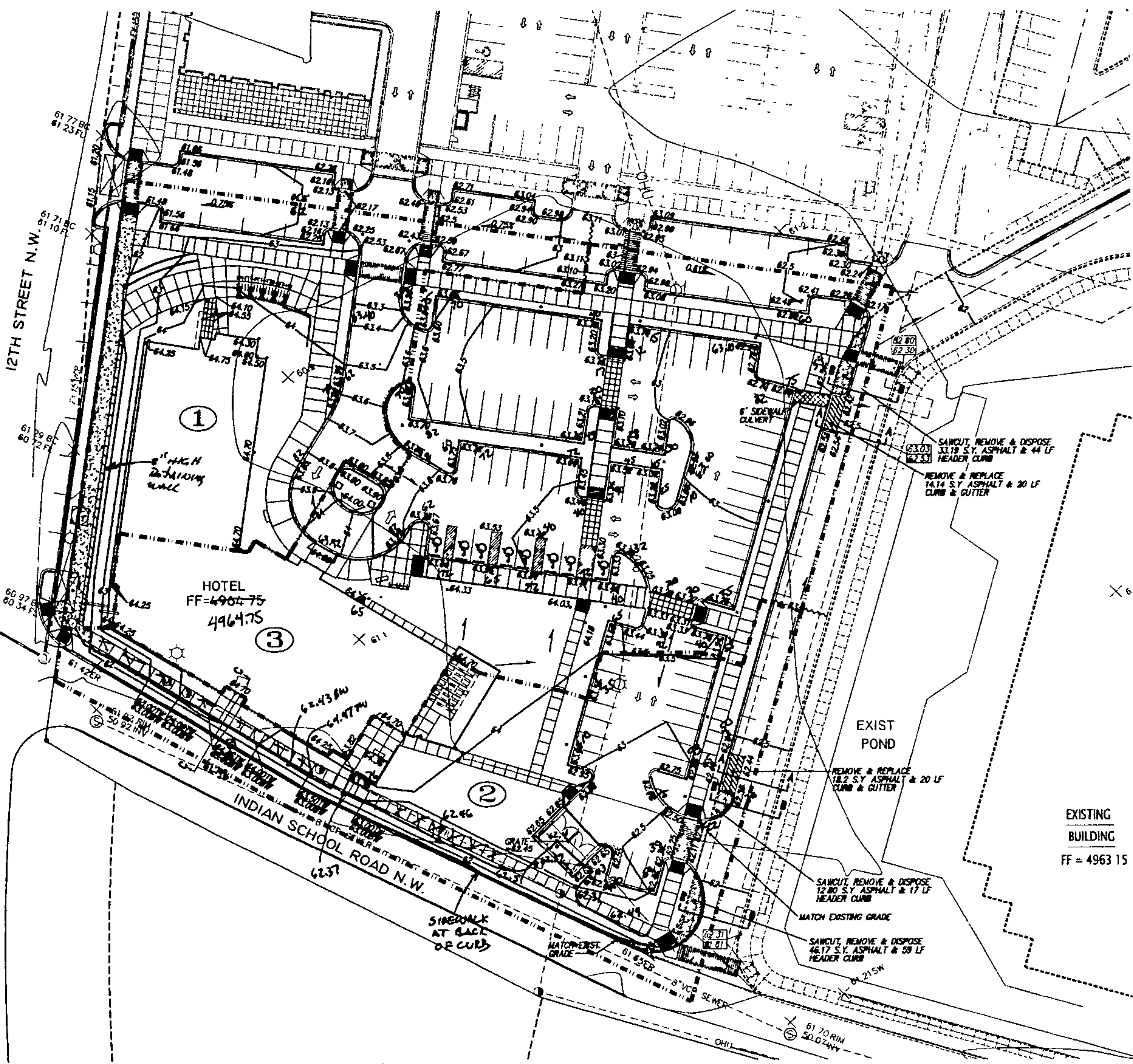

(Applicant or Agent)

3-27-09
(Date)

I issued 1 signs for this application, 3-27-09
(Date)

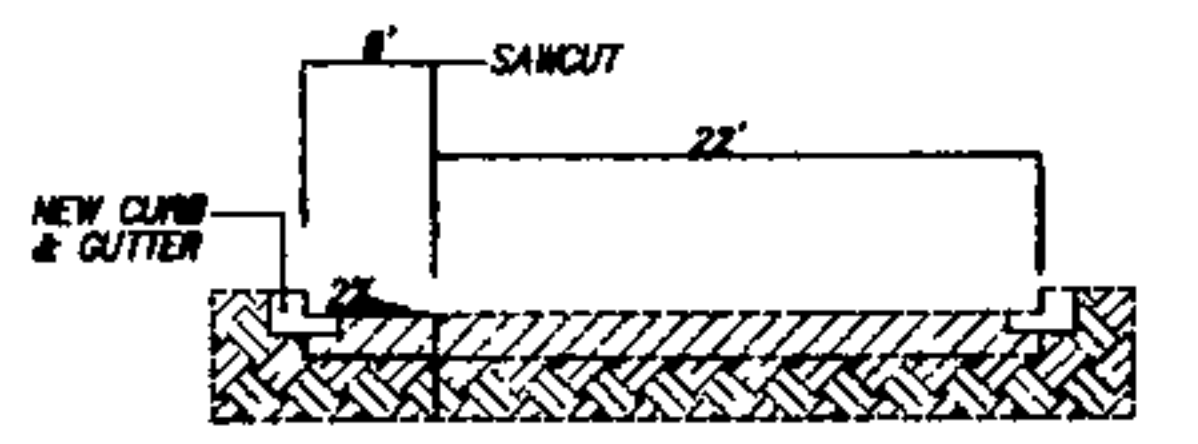

(Staff Member)

DRB PROJECT NUMBER: 1005033

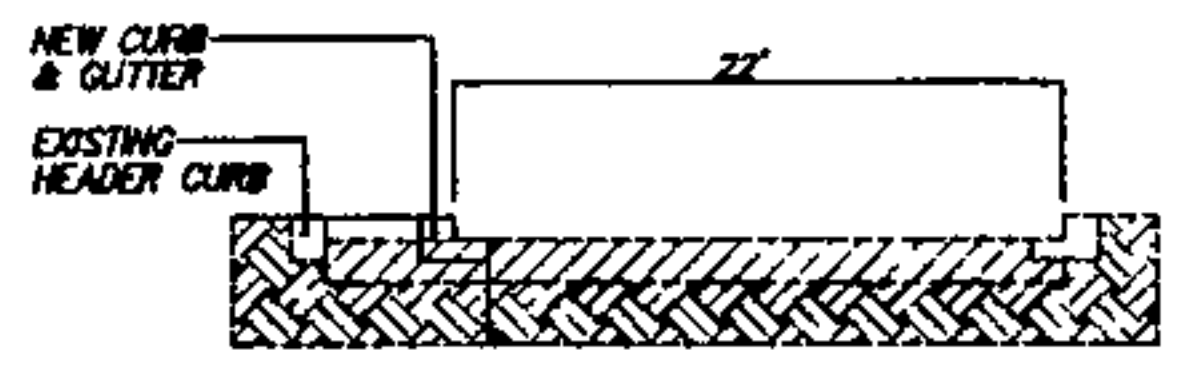


ZONE MAP: H-14

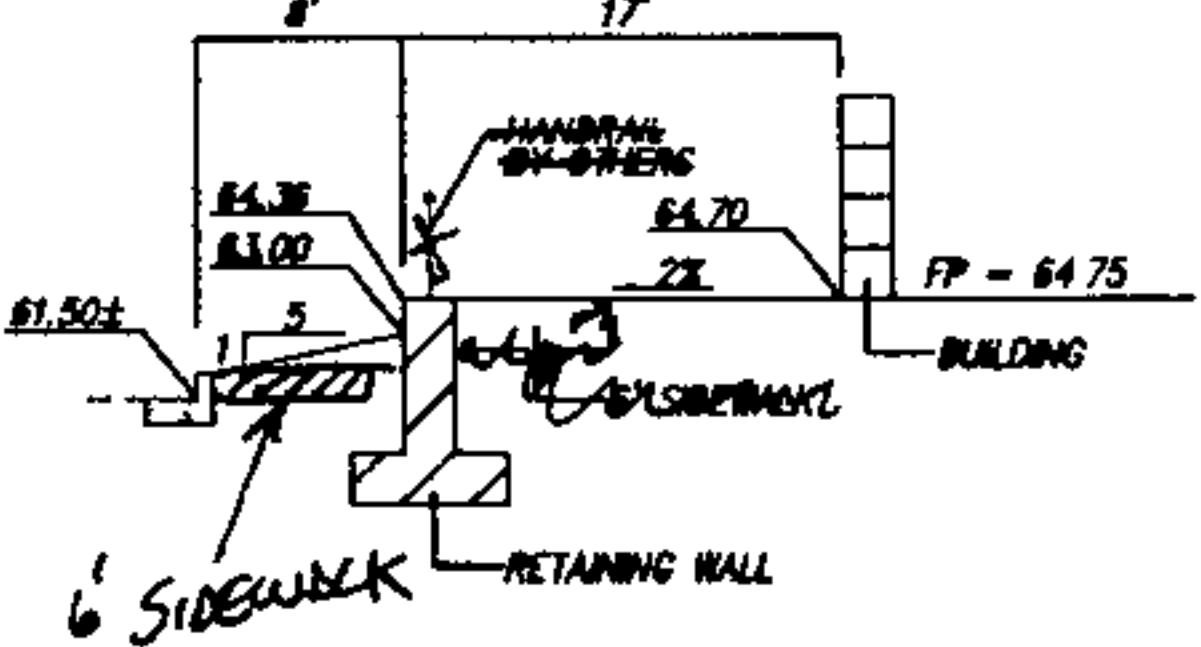
- LEGEND**
- EXISTING SPOT ELEVATION
 - EXISTING SIDEWALK ELEVATION
 - EXISTING CURB ELEVATION
 - EXISTING PAVEMENT ELEVATION
 - EXISTING RIM & INV ELEVATION
 - ⊠ EXISTING TRAFFIC SIGNAL BOX
 - EXISTING TRAFFIC SIGNAL
 - EXISTING LIGHT POLE
 - EXISTING POWER POLE
 - EXISTING OVERHEAD UTILITY LINE
 - EXISTING GAS LINE
 - EXISTING SEWER LINE
 - EXISTING WATER LINE
 - EXISTING ANCHOR
 - EXISTING SEWER MANHOLE
 - EXISTING STORM MH
 - EXISTING STORM DRAIN
 - EXISTING SIDEWALK
 - EXISTING WATER VALVE
 - EXISTING METER RISER
 - EXISTING BILLBOARD
 - EXISTING FINE HYDRANT
 - EXISTING DROP INLET
 - EXISTING FENCE
 - EXISTING PROPERTY LINE
 - EXISTING CONTOURS
 - EXISTING LOT LINES
 - EXISTING CURB & GUTTER
 - NEW STANDARD CURB & GUTTER
 - NEW BUILDING
 - NEW EXTRUDED CONCRETE CURB
 - NEW PARKING STRIPES
 - NEW CONTOURS
 - NEW RETAINING WALL
 - NEW WATER BLOCK
 - NEW FENCE
 - NEW DRAINAGE BASH BOUNDARY
 - NEW SPOT ELEVATION
 - NEW FLOW ARROW
 - ① NEW DRAINAGE BASH ID



SAWCUT REMOVE & REPLACE
DETAIL A-A



SAWCUT REMOVE & DISPOSE
DETAIL B-B



DETAIL C-C
SCALE: 1"=10'

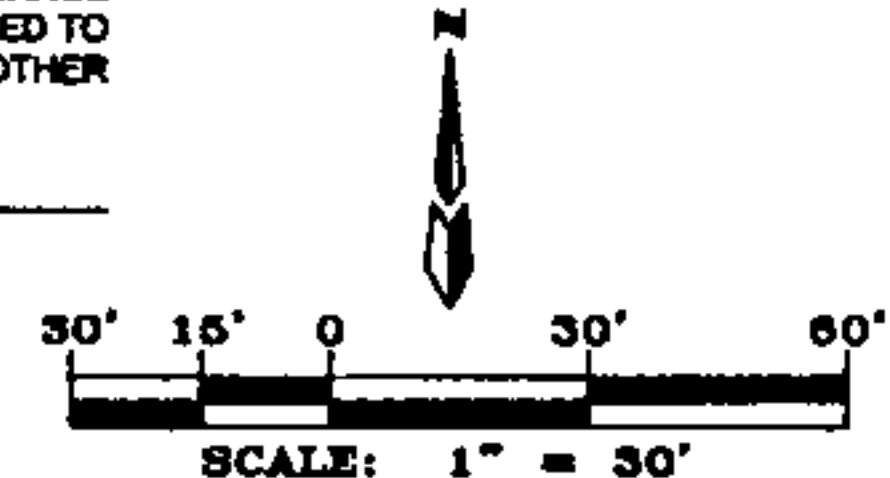
EXISTING
BUILDING
FF = 4963 15

DRAINAGE CERTIFICATION

I, GREGORY J. KRENK, NMPE 11828, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/27/2008. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY DAVID VOGL, NMPS 8811, OF THE FIRM S&S SURVEY 1. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/23/2009, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION APPROVAL.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF THE ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

GREGORY J. KRENK, NMPE 11828
DATE 1-23-09



STUDIO
SW ARCHITECTS

STUDIO SOUTHWEST ARCHITECTS, INC
2101 Mountain Rd NW, Albuquerque, NM 87104
505 843 9638 fax 505 843.9683
Web Site: www.studio-swarch.com
E-Mail: mail@studio-swarch.com

CONSULTANTS

dmg MARK GOODWIN & ASSOCIATES, P.A.
P.O. BOX 8088
ALBUQUERQUE, NEW MEXICO 87198
(805)828-2200, FAX (808)797-8838

Architect _____ Engineer _____



PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

**IPFDC
MASTER PLAN**

MARK	DATE	DESCRIPTION
△	8/11/06	COMMENT REVISIONS
△	11/13/06	REVISIONS

MARK	DATE	DESCRIPTION
		ISSUE DRB SET
		PROJECT NO 0510
		CAD DWG FILE
		DRAWN BY
		CHECKED BY
		DATE 7/21/06

SHEET TITLE **AS-BUILT**
GRADING & DRAINAGE PLAN



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

~ 2008 ACEC/NM Award Winner for Engineering Excellence, Small Firm ~

March 27, 2009

Mr. Jack Cloud
DRB Chair
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: Indian School Hotel - 1005033

Dear Mr. Cloud:

On behalf of our client, Indian Pueblos Federal Development Corp., and the requirements of the DPM we are submitting the following DRB application. We are requesting a 2-year extension of the Subdivision Improvements Agreement. The improvements have not been installed pending the City's street improvements.

Please contact our office if you have any questions or comments.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

Gregory J. Krenik, PE
Senior Engineer

GJK/sr

Attachments

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: 9/01/2006
 Date Site Plan Approved: 9/6/06
 Date Preliminary Plat Approved: _____
 Date Preliminary Plat Expires: _____
 DRB Project No: 1005033
 DRB Application No: 06DRB-01056

INFRASTRUCTURE LIST

(Rev. 9-05)

EXHIBIT "A"

Original

TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

IPFDC Hotel

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot 84E, Indian School Properties

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
			Water						
		8"	Waterline	New 30' WL + GAS Easo	East 20' WL Easo	New 20' WL Easo	/	/	/
		8"	Waterline	New 20' WL Easo	New 20' WL + GAS E	12th Street	/	/	/
			Sanitary Sewer						
		8"	GAS	New 10' GAS Easement	Indian School Rd	New 30' WL + GAS E	/	/	/
		8"	GAS	New 30' WL + GAS Easo	New 10' GAS Easo	New 20' WL Easo	/	/	/
		16' WIDE	SIDEWALK	12 th STREET	INDIAN SCHOOL ROAD	~230' NORTH	/	/	/
			WITH ADA RAMP PER SIDE PLAN				/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

F:\1-Projects\2006\A06049 - Indian School Hotel\Infrastructure List (9-05)

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 Water Infrastructure to include valves, fittings, and firehydrants
- 2 SAS Infrastructure to include manholes and service connections
- 3 _____
- 4 _____
- 5 _____
- 6 _____
- 7 _____
- 8 _____

AGENT / OWNER

Gregory J. Krenik
NAME (print)

Mark Goodwin & Associates, PA
FIRM

[Signature]
SIGNATURE - date

[Signature] 9.6.06 Heiser A.1.7

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 9/6/06
DRB CHAIR - date

[Signature] 9-6-06
PARKS & GENERAL RECREATION - date

[Signature] 9-6-06
TRANSPORTATION DEVELOPMENT - date

[Signature] 9-6-06
UTILITY DEVELOPMENT - date

[Signature] 9-6-06
CITY ENGINEER - date

N/A
AMAFCA - date

_____- date

_____- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

March 27, 2009

Susan Rasinski
Mark Goodwin and Associates, PA
P.O. Box 90606/87199
Phone: 828-2200/Fax: 797-9539
E-mail: susan@goodwinengineers.com

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Susan:

Thank you for your inquiry of March 27, 2009 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) - LOT 84E, INDIAN SCHOOL PROPERTIES, LOCATED ON INDIAN SCHOOL ROAD NW, BETWEEN 12th STREET NW AND MENAUL BOULEVARD NW** zone map **H-14**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

NEAR NORTH VALLEY N.A. (NNV) "R"

Richard Sandoval

3405 Northfield Ct. NW/87107 345-4371 (h)

Marie NaVeaux

1028 McMullin NW/87107 345-2073 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

planningrnaform(11/23/07)



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

~ 2008 ACEC/NM Award Winner for Engineering Excellence, Small Firm ~

March 27, 2009

Mr. Richard Sandoval
Near North Valley Neighborhood Association
3405 Northfield Court NW
Albuquerque, NM 87107

Ms. Marie NaVeaux
Near North Valley Neighborhood Association
1028 McMullin NW
Albuquerque, NM 87107

Re: Indian School Hotel

Dear Mr. Sandoval and Ms. NaVeaux:

Enclosed please find a copy of the DRB Application requesting a 2 year extension of the SIA for the referenced project. The anticipated date to be heard is April 22, 2009. Please contact Greg Krenik of our office if you have any questions or concerns.

Sincerely,

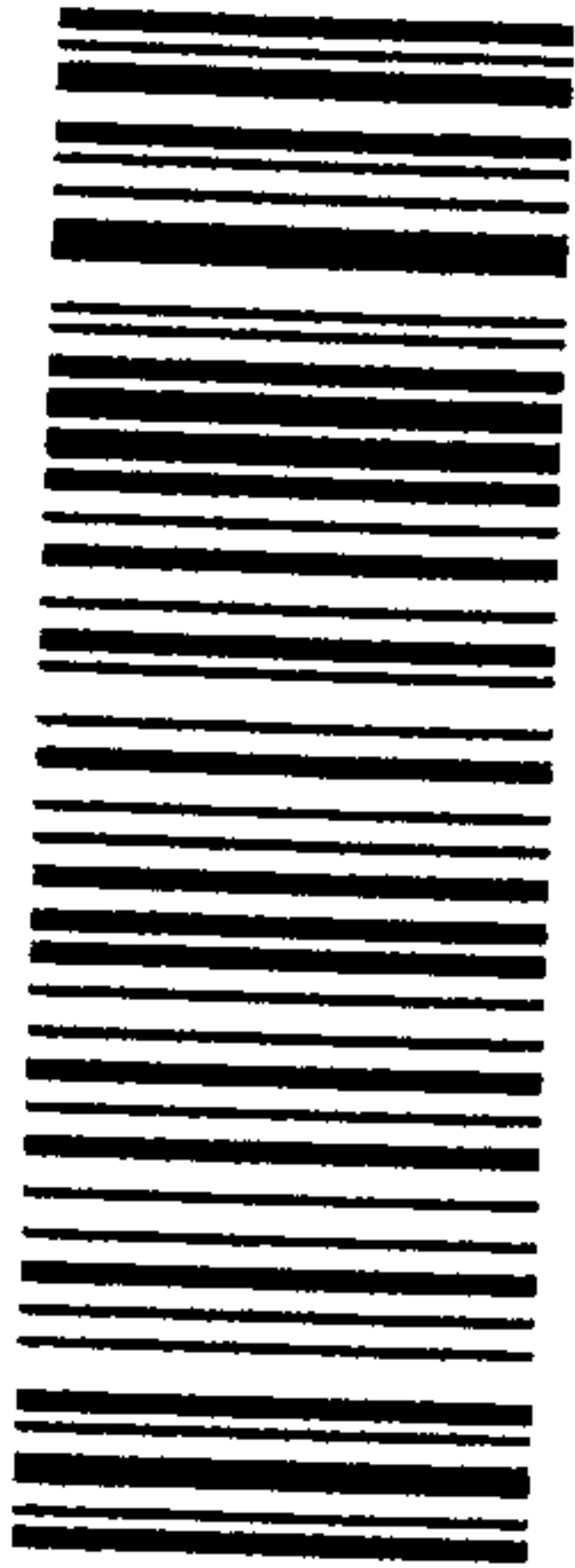
MARK GOODWIN & ASSOCIATES, PA

Susan Rasinski
Office Manager

/sr

Enclosure

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS, FOLD AT DOTTED LINE
CERTIFIED MAIL™



7006 0810 0004 6708 5376
 7006 0810 0004 6708 5376

U.S. Postal Service™ *Medical School*
CERTIFIED MAIL™ RECEIPT *Ex 112*
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$

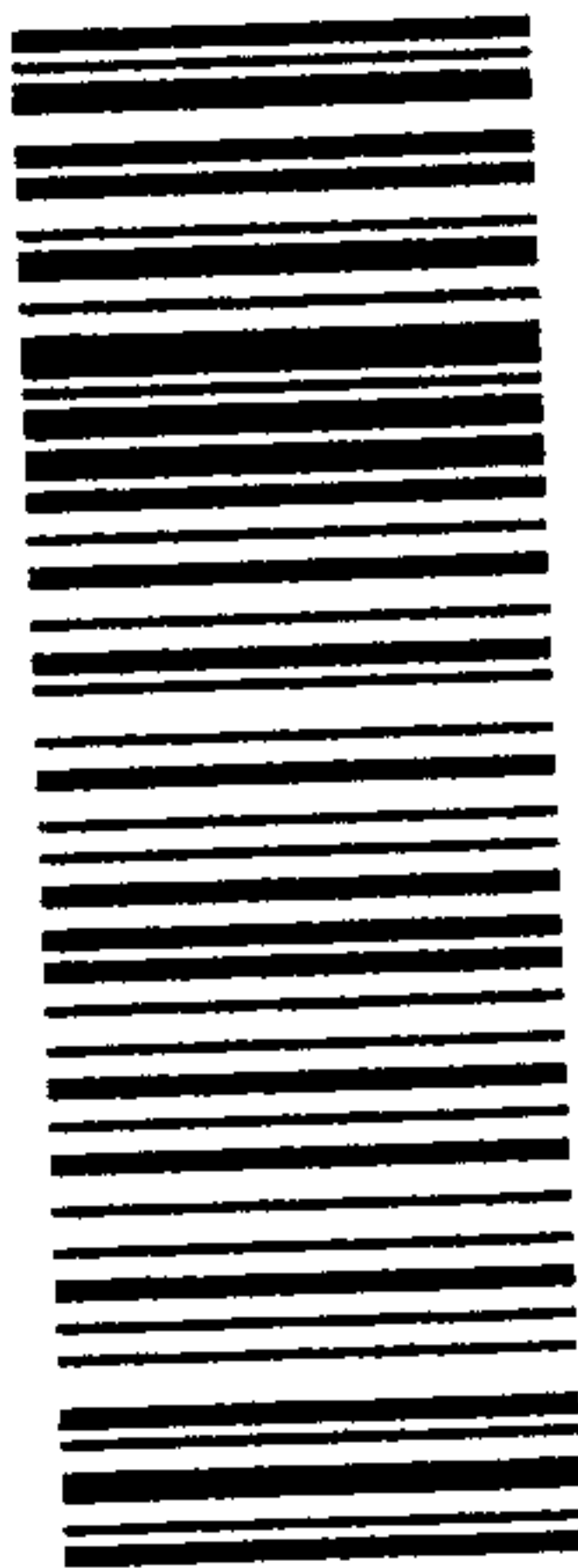
Postmark
Here

Sent To: *R. Sandovar - Near N. Valley NH*
 Street, Apt. No., or PO Box No. *3405 Northfield Ct NW*
 City, State, ZIP+4 *Albany NM 87107*

PS Form 3800, June 2002

See Reverse for Instructions

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS, FOLD AT DOTTED LINE
CERTIFIED MAIL™



7006 0810 0004 6708 5383
 7006 0810 0004 6708 5383

U.S. Postal Service™ *Medical School*
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Postage	\$
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$

Postmark
Here

Sent To: *M. Naveave - Near N. Valley*
 Street, Apt. No., or PO Box No. *1028 McMullen NW*
 City, State, ZIP+4 *Albany NM 87107*

PS Form 3800, June 2002

See Reverse for Instructions

AA 02B

*ready to close out
approved*

APPLICATION NO. 07AA - 00123	PROJECT NO. 1005033
PROJECT NAME IPFDC HOTEL	
EPC APPLICATION NO.	
APPLICANT / AGENT CLINTON WILSEY	PHONE NO.
ZONE ATLAS PAGE	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), (AA)	
ONE STOP COMMENT FORM LOG	

HYDROLOGY DEV (505) 924-3986		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>B2B</i>	DATE <i>2/5/07</i>	DATE
COMMENTS:		

UTILITY DEV (505) 924-3989		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

TRANSPORTATION DEV (505) 924-3990		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>NG</i>	DATE <i>2-5-07</i>	DATE
COMMENTS:		

PARKS AND REC (505) 768-5328		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

PLANNING (505) 924-8858		
PLANS DISAPPROVED <i>Sam</i>	DATE <i>2/06/07</i>	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		
<i>Notes needed on plan w/ explanations.</i>		
<i>Balconies remain for aesthetics only?</i>		
<i>Sam 2/20/07</i>		<i>Called Dept on 2/06/07</i>

Revised 3/3/04

(Return form with plat / site plan)



Studio Southwest Architects Inc.

January 31, 2007

Richard Dineen
Planning Director
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

DRB Case 06DRB-01056
Project Number 1005033

02/06/07 - spoke w/Clu - about keeping balconies as part of facade for appearance only. To negate the liability issue, no sliding doors that open - (2) Δ w/ keyed note & explanations needed on site plan by clouded areas.

Re: Administrative Amendment for a 108 Room, 4 Story Hotel Located on the I.P.F.D.C. Site at 12th Street NW and Indian School NW.

Dear Richard:

Studio Southwest Architects, Inc., agent for the I.P.F.D.C. is requesting an Administrative Amendment for a hotel and related facilities located at the northeast corner of 12th Street NW and Menaul NW.

This site is governed by the City Council approved **12th Street and Menaul Boulevard Study** and all proposed modifications comply with the study and all applicable City plans and ordinances.

We have met on several occasions with the Near North Valley Neighborhood Association representatives and have attached a letter of general support from their president, George Hutton.

I have spoken with Sharan Matson, DRB Chair, and she has indicated that an Administrative Amendment could be reviewed concurrently with the DRB required S.I.A. submitted for the site on 1-26-2007 by Mark Goodwin's office. At the completion of the S.I.A., all DRB sign offs will be completed.

The following changes to the DRB approved plan are requested by the I.P.F.D.C. and operator of the hotel.

Site Plan Changes

- The outdoor pool and patio were moved indoors. An outdoor patio adjacent to the new indoor pool will be added with a 6' high solid wall and gate.
- The building footprint of the ground floor increased to 17,927 GSF vs. 16,274 GSF (a 10% increase) and the total building increase of 63,104 GSF vs. 59,855 GSF (a 5.4% increase).

(Note that the addition of the indoor pool accounts for the majority of the increase.

Albuquerque
2101 Mountain Road NW
Albuquerque, NM 87104
T 505.843.9639
F 505.843.9683
mail@studioswarch.com

Santa Fe
130 Grant Avenue, Suite 102
Santa Fe, NM 87501
T 505.982.7191
F 505.992.0585
mail@studioswarch.com

www.studioswarch.com

- The building GSF is over 60,000 GSF and thus requires, per the zoning code, a new public plaza. The plaza is located on the north side of the building at 12th Street and meets the requirements for a plaza per the zoning code.
- The room count is reduced from 114 to 108 rooms.
- The employee gathering space will be relocated from the south side of the building to the southeast. The 500 sf shaded employee patio space is maintained.
- There is a new access door from the hotel lobby to Indian School NE with a entry canopy. A sidewalk connects it to the sidewalk along Indian School.
- There is a double dumpster as required by Michael Holton, Solid Waste Management Department per DRB.
- Parking spaces have been reduced from 115 spaces to 110 spaces. 108 spaces are required.
- The building orientation and set back from 12th Street is 22'-0". This allows the 15'-6" sidewalk, as required by the 12th and Menaul Study and a 6'-6" landscape strip at the west of the building.
- The outdoor plaza to meet the public space requirements of a building over 60,000 GSF has been designed per the City requirements. The plaza exceeds the 400 sf/30,000 sf requirement. Ten shaded seats are provided. 874 sf of plaza is provided and 305 sf of shading is provided (305 sf = ± 35% of the plaza area).
- Site circulation for pedestrians and vehicles remain the same. No new curb cuts or relocation of curb cuts are proposed.
- The landscaping plan indicates the reconfiguration of the site with the revised footprint, and sidewalks have been maintained however they have shifted a few feet in to align with the revised building footprint. The proposed landscaping meets all the requirements of the design regulations and City ordinances and has met with the approval of the neighborhood association. One large shade tree was deleted at the north side of the hotel and replaced by the plaza and shade structure.
- The proposed DRB landscaping pattern to the south of the original outdoor pool was extended to the north.
- The civil/drainage and grading plans have been revised to match the new site plan.

Building Elevations

In general, the building elevations, color palette, massing, canopy details, finishes meet the design requirements per the 12th Street and Menaul Study and remain the same as the DRB approved elevations.

Per the owner/operators direction, the proposed individual room balconies have been removed. Balconies are not required by the guidelines or City requirements for a hotel.

The top of the main entry tower increased from 49'-0" AFF to 57'-4" AFF. The height is permissible per the 12th Street and Menaul Study which allows a height of a hotel up to 84' on the site.

Please call me or Bob Heiser if you have any questions on this matter.

Thank you for your consideration on this matter.

Sincerely,

Clint Wilsey
Project Manager
Studio Southwest Architects, Inc.

Robert Gerard Heiser, AIA
Senior Principal
Studio Southwest Architects, Inc.



NNVNA
PO Box 6953
ALBUQUERQUE, NM
87197

GEORGE HUTTON,
PRESIDENT, 220-
9863

MAIL@NNVNA.ORG
WWW.NNVNA.ORG

NEAR NORTH VALLEY NEIGHBORHOOD ASSOCIATION

**VOLUNTEERS WORKING INCLUSIVELY TO PROTECT,
PRESERVE, AND ENHANCE THE COMMUNITY**

January 12, 2007

Mr. Robert Heiser, AIA
Studio Southwest Architects
2101 Mountain Rd NW
Albuquerque, New Mexico 87104

Sent via e-mail

Re: Changes to IPFDC Site Development Plan for Hotel

Dear Bob:

We want to thank you, Clint, Glen and Deepesh for meeting with Claude, Marit and myself on Tuesday morning to review IPFDC's proposed changes to the Site Development Plan for the Holiday Inn Express. We understand that IPFDC will be seeking an administrative amendment to obtain City approval of the changes.

On Tuesday evening, the Near North Valley's Board of Directors discussed this project. The Board reached the conclusion that, in general, the proposed changes either improve upon the previous plan or are relatively innocuous. That said, the Board remains very concerned that the west face of the building does not meet the requirements of the 12th and Menaul Plan. This concern is the same concern we expressed during the DRB hearings. The basic problem is that the building lacks pedestrian-oriented elements that are intended to "activate" the 12th Street edge. These elements include ground-floor entrances, restaurants, retail uses, etc. We are disappointed in the precedent that the design of the west face of the hotel may have for future buildings along 12th Street.

Our specific observations are as follows:

- Moving the swimming pool to the interior of the building will make it much more usable and easier to maintain.
- The addition of the small plaza on the northwest corner of the site will make that area more active and appealing.

- The addition to the south side of the building of a glazed double door with windows on each side and a hard canopy overhead will activate that side of the building to some extent. It also will make it much easier for guests to get out to the street to shop and walk. It would be better, of course, for the south door to be open to general use during the daytime hours, and not restricted.
- We would hope that the utility doors on the south side of the building are not just the flat metal doors that attract graffiti and spoil the appearance of so many buildings in Albuquerque. Even faux stiles and rails would be better than nothing. Finally, as was noted during the meeting, a landing and walkway need to be added in front of these doors.
- The street-facing balconies should not be removed. During prior discussions and hearings, we were assured that the balconies would be included as a way of activating 12th Street. This is especially important since there are no doors or retail uses along the street.
- The proposed changes to the footprint, number of rooms, total parking spaces, location of the employee smoking area and location of the exercise room, appear to be minor changes.

In summary, we support most of the proposed changes to the Site Development Plan for the hotel with the exception of the proposal to remove the balconies. Furthermore, we want to reiterate our concern that the west face of the building does not comply with the 12th and Menaul Plan.

Again, thank you for reviewing with us the proposed changes for the hotel. We would appreciate your copying us on any letters and materials that you provide to the Planning Department as you pursue the site development plan amendment.

Cordially,

/s/

George Hutton
President

Copy: Councilor Debbie O'Malley
Richard Dineen, Planning Director
Lou Colombo, Deputy Director, City Council Services



Studio Southwest
Architects Inc.

FEB. 15 , 2007

Richard Dineen
Planning Director
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

DRB Case 06DRB-01056
Project Number 1005033

Re: Administrative Amendment for a 108 Room, 4 Story Hotel Located on the I.P.F.D.C. Site at 12th Street NW and Indian School NW.

Dear Richard:

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We have met on several occasions with the Near North Valley Neighborhood Association representatives and have attached a letter of general support from their president, George Hutton.

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-  The building GSF is over 60,000 GSF and thus requires, per the zoning code, a new public plaza. The plaza is located on the north side of the building at 12th Street and meets the requirements for a plaza per the zoning code.
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△¹² The top of the main entry tower increased from 49'-0" AFF to 57'-4" AFF. The height is permissible per the 12th Street and Menaul Study which allows a height of a hotel up to 84' on the site.

Please call me or Bob Heiser if you have any questions on this matter.

Thank you for your consideration on this matter.

Sincerely,

Clint Wilsey
Project Manager
Studio Southwest Architects, Inc.

Robert Gerard Heiser, AIA
Senior Principal
Studio Southwest Architects, Inc.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION		Supplemental form		ZONING & PLANNING	
<input type="checkbox"/>	Major Subdivision action	S	Z	<input type="checkbox"/>	Annexation
<input type="checkbox"/>	Minor Subdivision action			<input type="checkbox"/>	County Submittal
<input type="checkbox"/>	Vacation	V		<input type="checkbox"/>	EPC Submittal
<input type="checkbox"/>	Variance (Non-Zoning)			<input type="checkbox"/>	Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN		P		<input type="checkbox"/>	Sector Plan (Phase I, II, III)
<input type="checkbox"/>	for Subdivision Purposes			<input type="checkbox"/>	Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/>	for Building Permit ^{ADMIN.} (AMENDMENT)			<input type="checkbox"/>	Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/>	IP Master Development Plan			<input type="checkbox"/>	Street Name Change (Local & Collector)
<input type="checkbox"/>	Cert. of Appropriateness (LUCC)	L	A	APPEAL / PROTEST of...	
STORM DRAINAGE		D		Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	
<input type="checkbox"/>	Storm Drainage Cost Allocation Plan				

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: IPFDC PHONE: 505) 881 2273
 ADDRESS: 2412 CONMANCHE RD. NE FAX: 505) 341-4467
 CITY: ALBU STATE NM ZIP 87107 E-MAIL: BSANCHEZ@PSTECHNOLOGIES.COM
 Proprietary interest in site: OWNER / FID. TRUST List all owners: THE 19 PUEBLOS - IPFDC
 AGENT (if any): STUDIO SWI ARCHITECTS PHONE: 505) 843-9639
 ADDRESS: 2101 MOUNTAIN RD. NW FAX: 505) 843-9683
 CITY: ALBU STATE NM ZIP 87104 E-MAIL: C.WILSON@STUDIOSWICH.COM

DESCRIPTION OF REQUEST: REQUEST FOR ADMIN. AMENDMENT FOR BUILDING PERMIT FOR 108 ROOM HOTEL, 4-STORY, ON A 2.79 ACRE PORTION OF THE IPFDC SITE

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. ALL INDIAN PUEBLO COUNCIL PROPERTY Block: PROJECTED SECTIONS Unit: T-10N1R3E
 Subdiv. / Addn. N/A THE SITE IS A PORTION OF THE IPFDC ^{7:8} 47 ACRE SITE ^{45:1}
 Current Zoning: SU-1 C-2 w/ RESTRICTIONS Proposed zoning: NA ^{4:5} 89 ACRE COMMERCIAL PORTION ²
 Zone Atlas page(s): H13 H14 No. of existing lots: 2* No. of proposed lots: 2*
 Total area of site (acres): 2.79 of 15.69 Density if applicable: dwellings per gross acre: NA dwellings per net acre: NA
 Within city limits? Yes. No, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. N/A MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: 12TH STREET NW
 Between: INDIAN SCHOOL NW (PRIVATE ST) and MANUAL NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

CITY-COUNCIL BILL F/S 0-05-98 EPC/01676 03RPC/01677

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: N/A

SIGNATURE [Signature] DATE _____
 (Print) CLAYTON J. WILSON _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>07AA-00123</u>	<u>AA</u>	<u>P(4)</u>	<u>\$ 45.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>N/A</u>			Total <u>\$ 45.00</u>

Sandy Handley 02/02/07
 Planner signature / date

Project # 1005033

FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IN THE DOWNTOWN SU-3 ZONE**
 - Copy of the pre-application meeting findings (A pre-application meeting is required for Downtown 2010 projects)
 - Site plan and related drawings (folded to fit into an 8.5" x 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Notifying letter and certified mail receipts to owners of adjacent properties if required by pre-application meeting
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Solid Waste Management Department signature on Site Plan if relevant
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Copy of the Lucc approval if the site is in an historic overlay zone
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION**
- AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**
- CONCEALED OR SITE DEVELOPMENT PLAN CONTROLLED WIRELESS TELECOM FACILITY**

NOTE: The requirements specified below apply to the previous 3 plan types, unless otherwise noted.

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) 5 copies
- Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) 1 copy
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of EPC or DRB Notice of Decision (not required for WTF)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area

- Notifying letter & certified mail receipts addressed to owners of adjacent properties
- Office of Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

NOTE: Only for wireless telecommunications facilities that are concealed and/or subject to site development plan review, the following materials are required for application submittal in addition to all those listed above:

- Co-location evidence as described in *Zoning Code* §14-16-3-17(A)(5)
- Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- Distance to nearest existing free standing tower, and its owner's name, if the proposed facility is also a tower
- Registered Engineer's stamp on the Site Development Plans
- Office of Community & Neighborhood Coordination inquiry response as above based on ¼ mile radius

PLEASE NOTE; If you are applying for approval of a telecom site to be located on City of Albuquerque property, there are several additional requirements. Contact Debbie Stover at 924-3940 for details.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

ROBERT GERARD HEISER A.I.A.
Applicant name (print)

[Signature]
Applicant signature / date

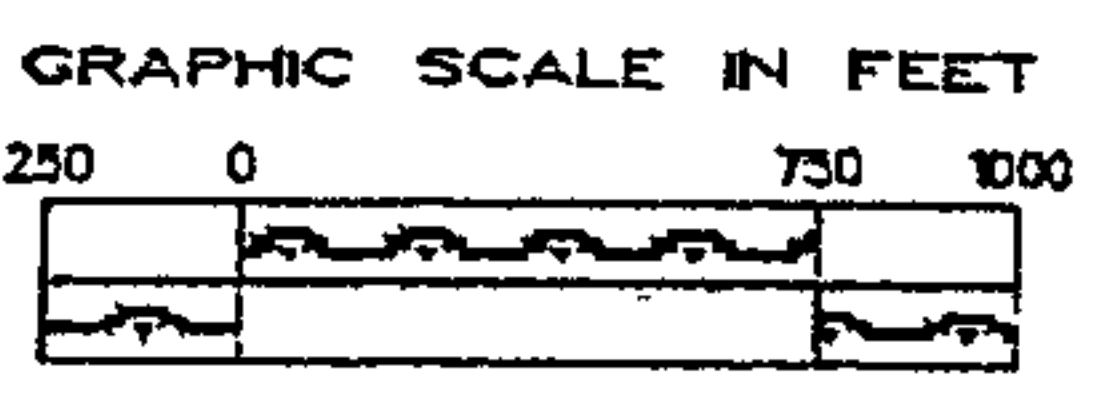
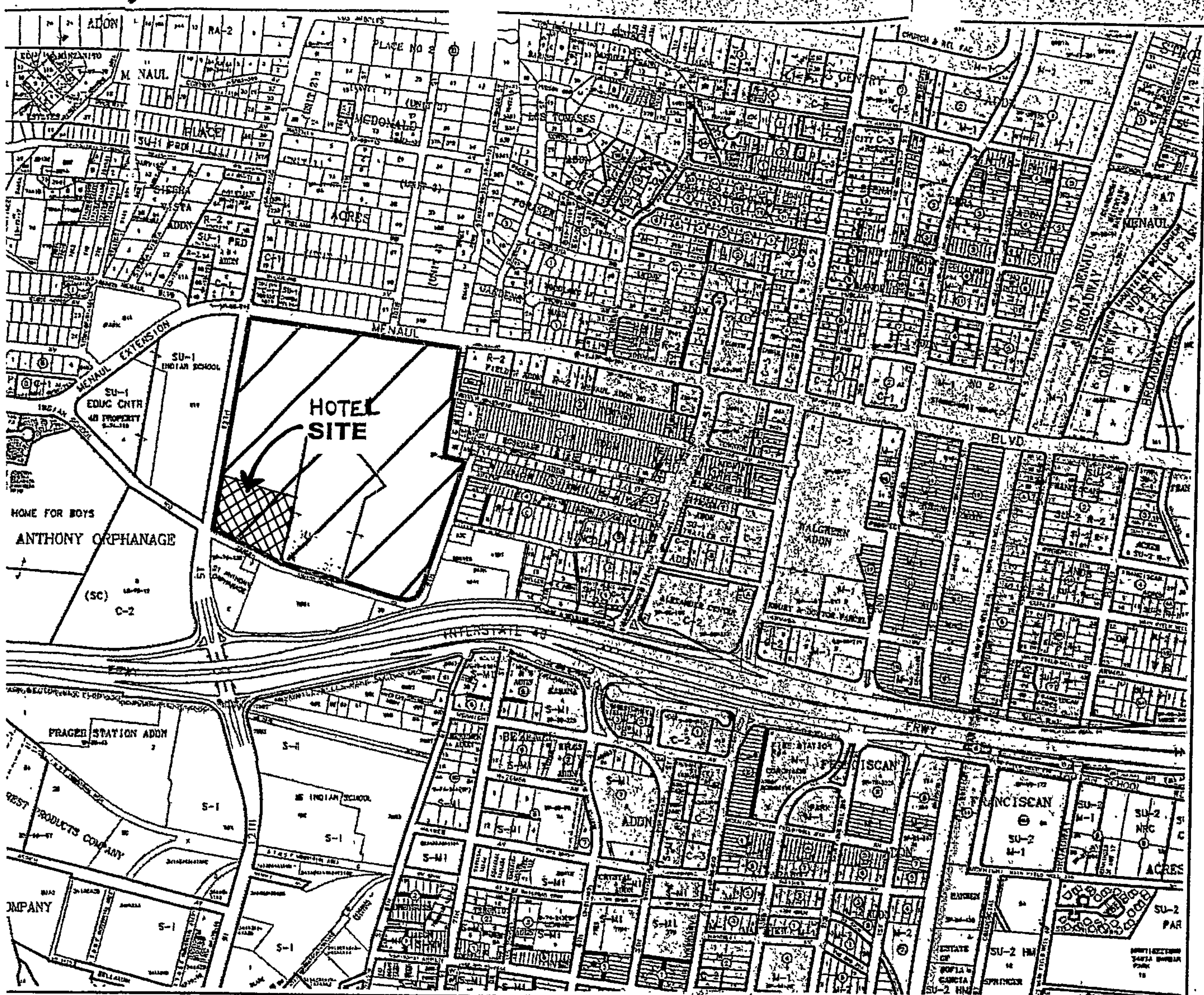


Form revised June 04, October 2004

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

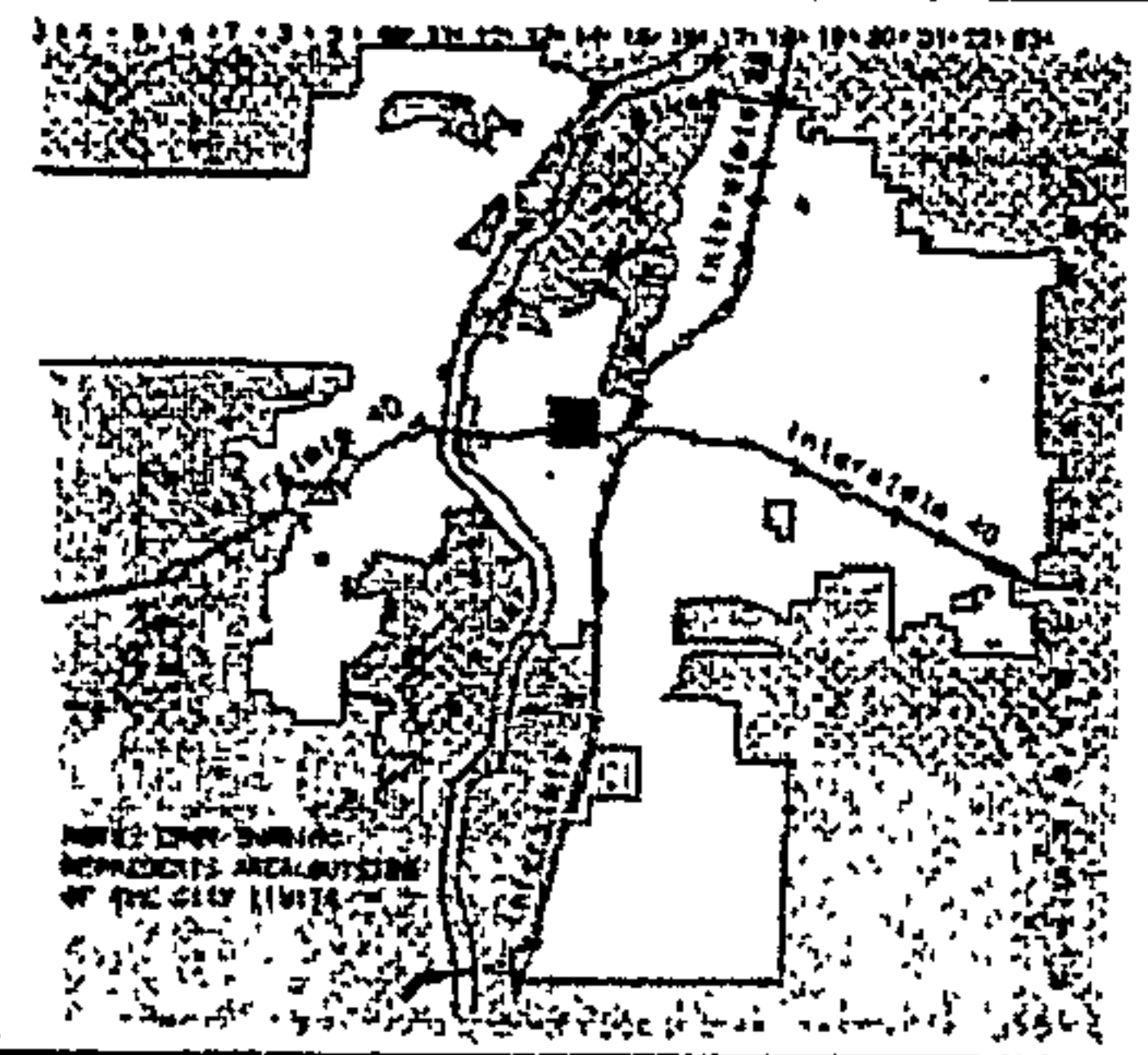
Application case numbers
07AA - 00123

[Signature] 02/02/07
Planner signature / date
Project # 1005033

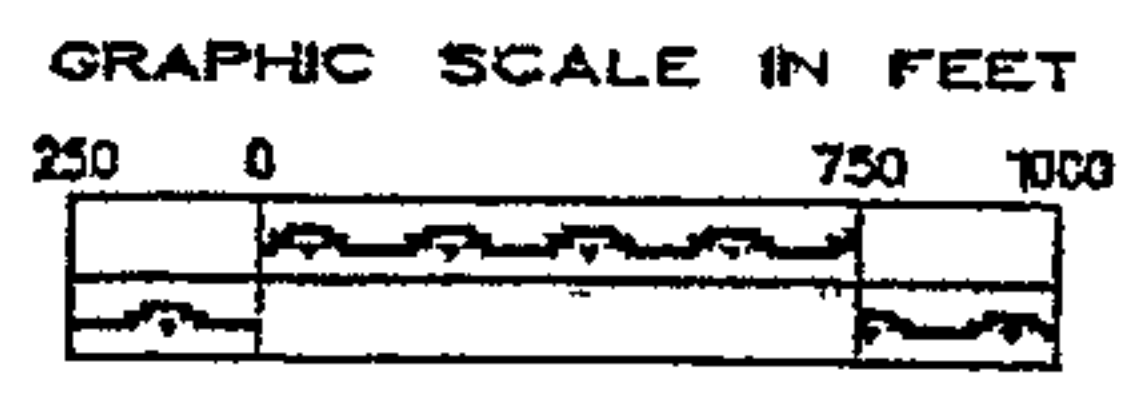


Zone Atlas Page
H-13-Z

Map Amended through December 01, 2003



Antonio G. Landa Sr.
PLANNING DEPARTMENT
 © Copyright 2003



Zone Atlas Page
H-14-Z

Map Amended through December 01, 2003

100.00 FM
000.00 MV

112 FEET N.W.

FELDEN ADD.
FD. 3/28/25
VOL. C, FOL. 91

1/2 E. NW

EDDALE ADD.
3/26/46
C, FOL. 56

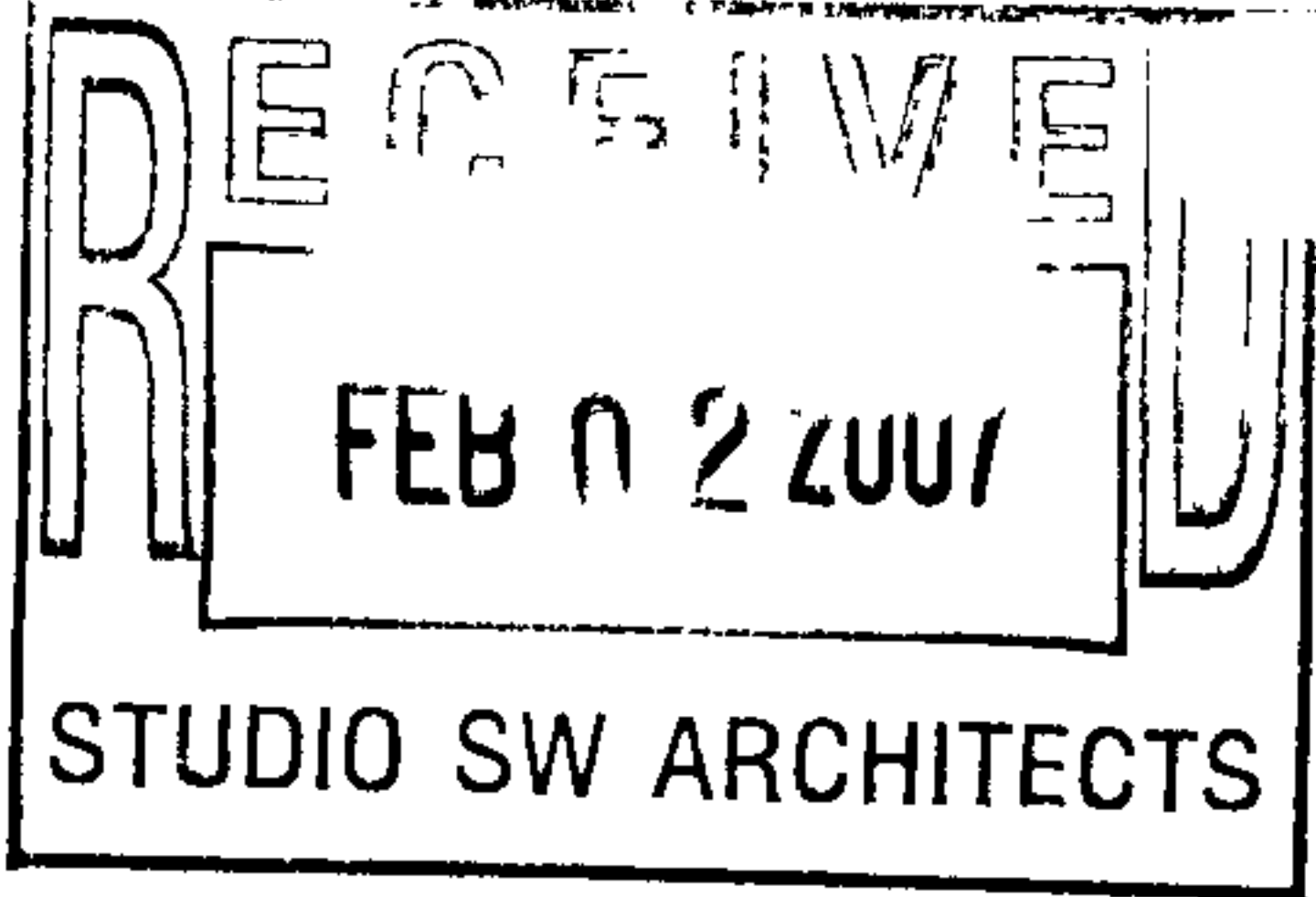
PROSPECT AVE. NW

APACHE TRAIL ADD.
FD. 4/16/23
VOL. B2 FOL. 48

LEGAL DESCRIPTION

A tract of land situated within the east half (E1/2), Section 7 and the west half (W1/2), Section 8, T10N, R3E, New Mexico Principal Meridian, Bernalillo County, State of New Mexico, being more particularly described by metes and bounds as follows:

Beginning at the southwest corner of said Tract herein described being a point of intersection with the easterly right-of-way of 12th street and the southerly line of the original 1905 INDIAN SCHOOL Property, also being the same line as the northerly boundary of the St. ANTHONY'S ORPHANAGE, as surveyed by A.B. Woodard Jr. PE & LS No. 1159, July 1950, being a brass cap marked "Tr. AIS, cor.1, KEENE 8489", whence the New Mexico State Highway Triangulation Station Brass cap marked "I-40-5", having established coordinates of Y=1,494,103.76 and X= 378,204.72, New Mexico central zone, bears S. 13° 49' 03" E., 867.35 feet; whence a City of Albuquerque Bench Mark "ACS BM 11-H13", bears N. 26° 47' 47" W., 126.26 feet; whence a New Mexico State Highway, brass cap No. 112 bears S. 65° 23' 18" E., 304.71 feet; Thence from the above said point of beginning, N. 08° 27' 39" E., along the easterly right-of-way of 12th street, a distance of 1362.44 feet to the intersection of the southerly right-of-way of Menaul Boulevard NW, being a brass cap marked "Tr. AIS cor. 2, KEENE 8489"; Thence along the southerly right-of-way of Menaul Boulevard NW, S. 82°16' 24" E., 1087.28 feet to a brass cap, marked "PT 150+46.90 Menaul right-of-way, Tr. AIS cor. 3 KEENE 8489"; Thence along said right-of-way curve and curving to the left, an arc distance of 201.66 feet, having a radius of 5769.52 feet and a CB=S. 83° 16' 28" E., and a CD= 201.65 feet to a brass cap marked "PRC 148+45.31 Menaul right-of-way, Tr. cor. 4 KEENE 8489", being on a reverse curve; Thence along a curve and curving to the right, having a radius of 25.00 feet, an arc distance of 40.88 feet and a CB= S. 36° 57' 07" E., a CD= 36.47 feet to a brass cap marked "PT 9th St. Tr. AIS Cor. 5, KEENE 8489", being on the westerly right-of-way of 9th Street; Thence along said Towner Avenue, being a brass cap marked "9th. St. and Towner Ave. right-of-way, Tr. AIS cor. 6, KEENE 8489"; Thence S. 78° 58' 05" E., a distance of 20.38 feet to a found rebar/ cap 6446, being tag w/ washer marked " Tr. AIS cor. 7, KEENE 8489"; Thence leaving said right-of-way, S. 9° 43' 13" W, 337.76 feet to a found rebar / al. cap 4078 (defaced), tag w/ washer marked " Tr. AIS cor. 8, KEENE 8489"; Thence S. 76° 13' 08" E, 159.27 feet to a found rebar, tag w/ washer marked "Tr. AIS cor. 9, KEENE 8489", being on the westerly right-of-way 9th Street; Thence S.18° 28' 10" W., 933.24 feet to the intersection of Interstate 40 frontage road "C-D road B", right-of-way curve, being a rebar/ cap marked " I-40 right-of-way, AIS cor. 10, KEENE 8489"; Thence along the right-of-way frontage road curve to the right, having a radius 1960.86 feet, an arc distance of 47.61 feet and a CB= S. 76° 00' 32" W., a CD= 47.61 feet to a point on the frontage curve, being a brass cap marked " I-40 right-of-way, Tr. AIS cor. 11, KEENE 8489"; Thence leaving said I-40 right-of-way, N. 75° 05' 11" W., along the southerly boundary of Tr. AIS, a distance of 259.76 feet to an angle point, being a brass cap marked " Tr. AIS cor. 12, KEENE 8489"; Thence N. 74° 34' 01" W., 634.69 feet to an angle point, being a brass cap marked "Tr. AIS cor. 13, KEENE 8489"; Thence N. 73° 55' 34" W., 115.80 feet to a found (bent) pipe, tag w/ washer marked " Tr. AIS cor. 14, KEENE 8489"; Thence N. 62° 46' 54" W., 234.51 feet to a found pipe, tag w/ washer marked " Tr. AIS cor. 15, KEENE 8489"; Thence N. 59° 01' 54" W., 52.70 feet to the point and place of beginning. Said Tract containing an area of 47.3648 acres, more or less.



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: February 1, 07

TO CONTACT NAME: Clint Wilsey
 COMPANY/AGENCY: DCSW Architects
 ADDRESS/ZIP: 2101 Mountain Rd NW 87102
 PHONE/FAX #: 843-9639 (Fax: 843-9683)

Thank you for your inquiry of 2-1-07 (date) requesting the names of Recognized

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at IPDC Hotel 12th & Menaul

(SEE Attached)
zone map page(s) A-14

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

Near North Valley N.A.

Neighborhood Association

Contacts: George Hutton
1820 Indian School NW
#103/87104 - 220-9863(h)
Kristina Anderson
115 Mildred Ave. NW/87107
345-1963 (h) - 345-3258 (w)

Neighborhood Association

Contacts:

See reverse side for additional Neighborhood Association Information: YES { } NO {X}

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL. RETURN RECEIPT REQUESTED. BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Stephan Dewberry
 OFFICE OF NEIGHBORHOOD COORDINATION

.....
 : Attention: Both contacts per
 : neighborhood association
 : need to be notified.
 :

NOTICE TO APPLICANTS

Suggested Information for Neighborhood Notification Letters. Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, LUCC, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

We recommend that the Notification Letter include the following information:

- > The street address of the subject property.
- > The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
- > A physical description of the location, referenced to streets and existing land uses.
- > A complete description of the actions requested of the EPC:
- > If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
- > If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
- > If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
- > The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination (ONC)

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant and "Attachment A" (if there are associations). A copy must be submitted with application packet -OR-
- [] The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- [] Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

(Below this line for ONC use only)

Date of Inquiry: 2-1-07 Time Entered: 4:42 PM ONC Rep. Initials: [Signature]



DATE: 2/15/07

TO: SANDY HANDLEY

COMPANY: CITY OF ALBU.

FROM: CLINT WILSON

PROJECT: #1005033
ADMIN. AMENDMENT.

DOCUMENT: NEIGHBORHOOD NOTIFICATION LETTER

FAX NO: 505 924-3864 PAGES FOLLOWING TRANSMITTAL: 2

Urgent For Review Please Comment Acknowledge Receipt Please Reply

Remarks: FOR ADMIN. AMENDMENT SUBMITTAL FROM LAST FRIDAY.

cc: _____

Albuquerque
2101 Mountain Road NW
Albuquerque, NM 87102
Ph: 505.843.9639
Fax: 505.843.9683

Santa Fe
130 Grant Ave, Ste. 102
Santa Fe, NM 87501
Ph: 505.982.7191
Fax: 505.992.0385

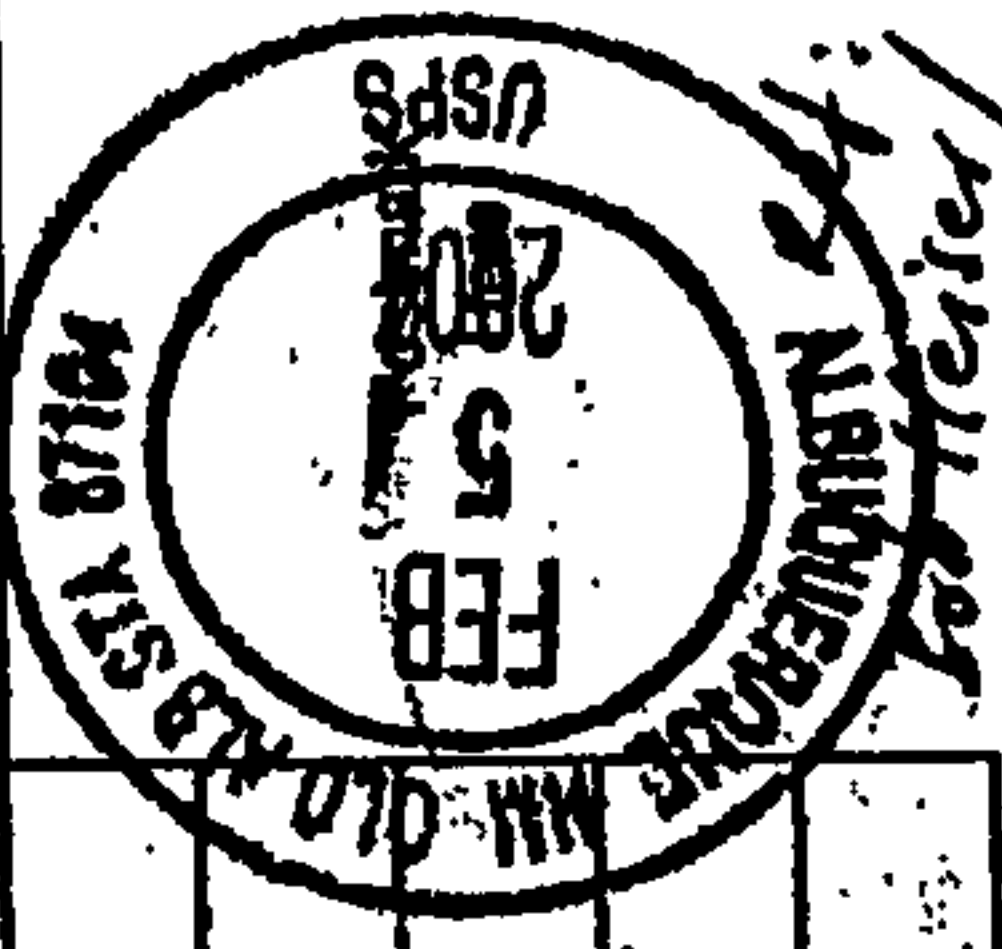
Website:
www.studioswarch.com
Email
mail@studioswarch.com

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

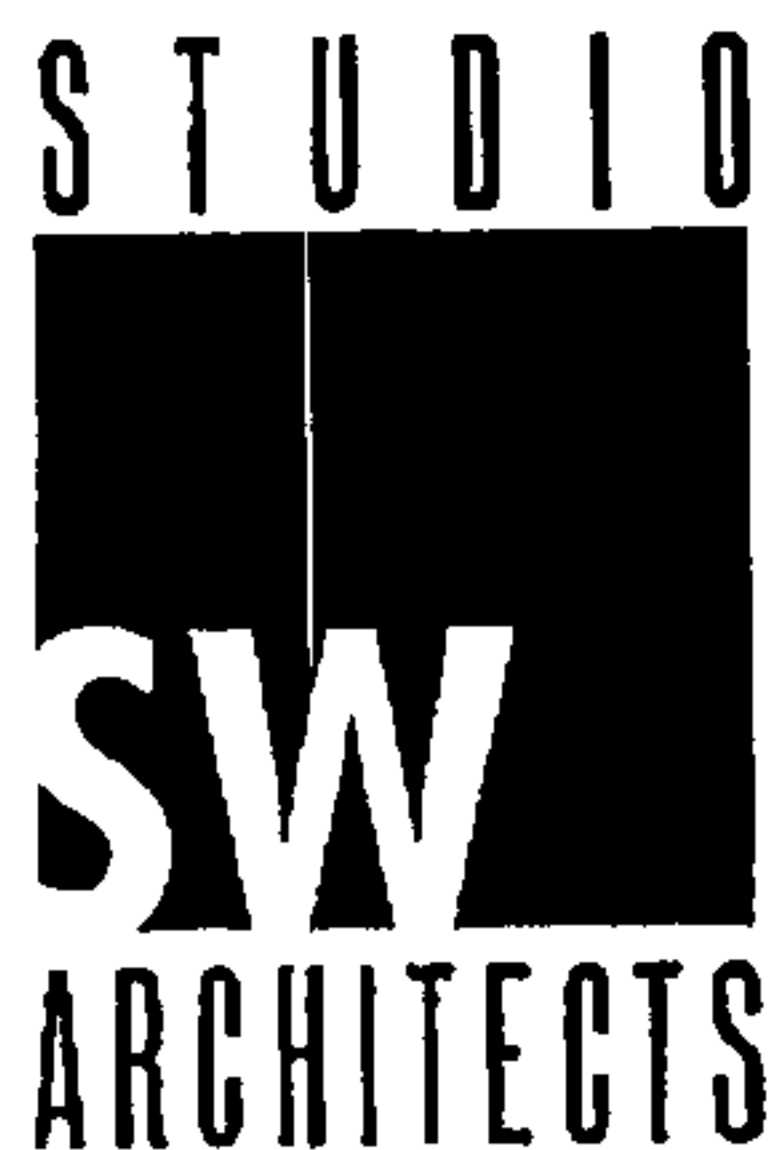
Postage	\$ 0.39
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.64



Sent To *Krishna Anderson/Neighborhood Assoc.*
 Street, Apt. No. *Near North Valley*
 or PO Box No. *1115 Mildred Avenue NW*
 City, State, ZIP+4 *Albuquerque, NM 87107*

PS Form 3800, June 2002 See Reverse for Instructions

2006 0100 0002 2000 9956 1920



February 4, 2007

**Studio Southwest
Architects Inc.**

Kristina Anderson
Near North Valley Neighborhood Association
1115 Mildred Avenue NW
Albuquerque, NM 87107

Dear Ms. Anderson:

Neighborhood Notification—Administrative Amendment for Building Permit

Studio Southwest Architects, authorized agent for the IPFDC, is requesting an approval for administrative amendment for a 2.79 acre site for a 108(-room hotel located at the northeast corner of Indian School Road and 12th Street NW. Please feel free to contact us with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert Gerard Heiser". The signature is written over a vertical line that extends downwards from the word "Sincerely,".

Robert Gerard Heiser, AIA
Senior Principal

Albuquerque
2101 Mountain Road NW
Albuquerque, NM 87104
T 505.843.9639
F 505.843.9683
mail@studioswarch.com

Santa Fe
130 Grant Avenue, Suite 102
Santa Fe, NM 87501
T 505.982.7191
F 505.992.0585
mail@studioswarch.com

www.studioswarch.com

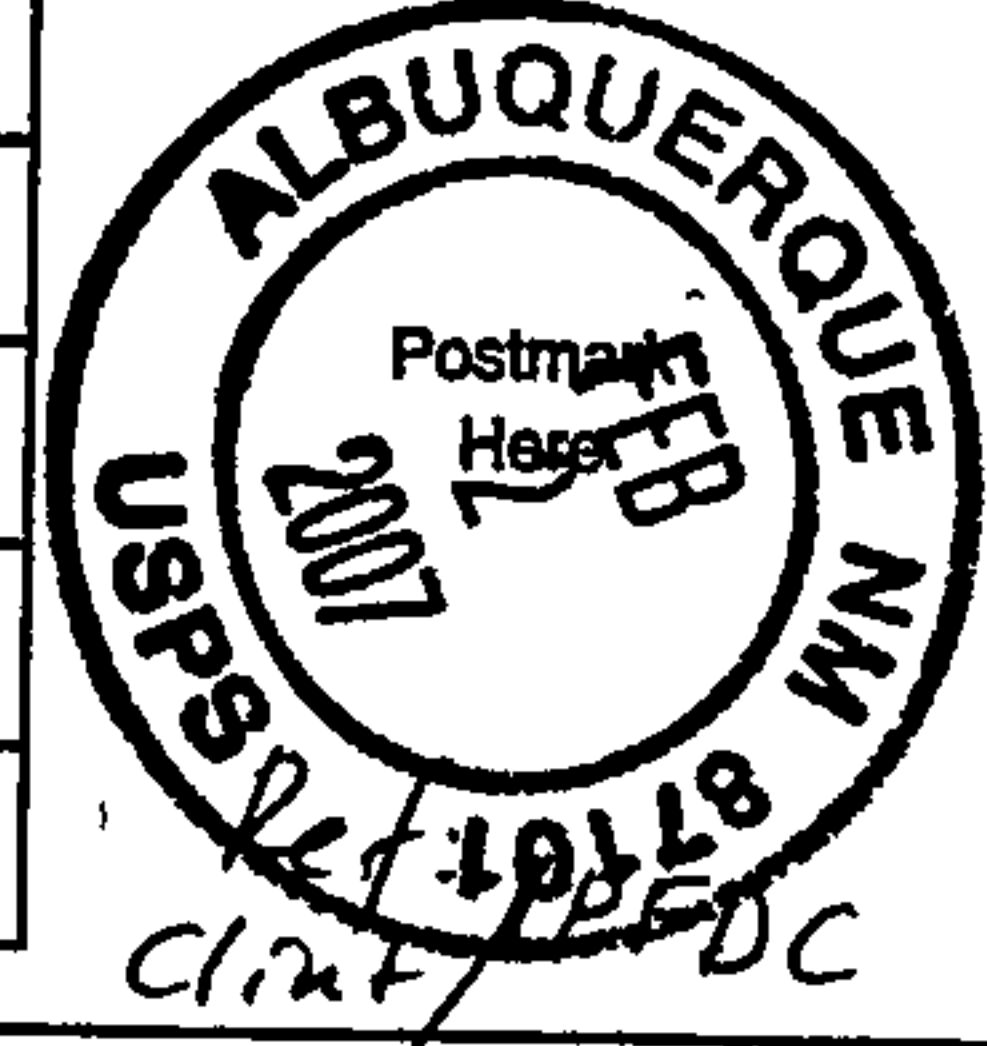
7006 0100 0002 9956 1963

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com®

OFFICIAL USE

Postage	\$ 0.39
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.64



Sent To
G. Hutton / Near North Valley N-hood Association
 Street, Apt. No.;
 or PO Box No. *1820 Indian School NW #105*
 City, State, ZIP+4
Albuquerque, NM 87104

PS Form 3800, June 2002

See Reverse for Instructions



February 1, 2007

**Studio Southwest
Architects Inc.**

George Hutton
Near North Valley Neighborhood Association
1820 Indian School NW #103
Albuquerque, NM 87104

Dear Mr. Hutton:

Neighborhood Notification—Administrative Amendment for Building Permit

Studio Southwest Architects, authorized agent for the IPFDC, is requesting an approval for administrative amendment for a 2.79 acre site for a 108(-room hotel located at the northeast corner of Indian School Road and 12th Street NW. Please feel free to contact us with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert Gerard Heiser". The signature is written over a horizontal line that extends to the left and right. A vertical line descends from the center of the signature, crossing the horizontal line.

Robert Gerard Heiser, AIA
Senior Principal

Albuquerque
2101 Mountain Road NW
Albuquerque, NM 87104
T 505.843.9639
F 505.843.9683
mail@studioswarch.com

Santa Fe
130 Grant Avenue, Suite 102
Santa Fe, NM 87501
T 505.982.7191
F 505.992.0585
mail@studioswarch.com

www.studioswarch.com



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

September 6, 2006

2. **Project # 1005033**
06DRB-01056 Major-SiteDev Plan BldPermit

STUDIO SOUTHWEST ARCHITECTS agent(s) for I. P. F. D. C. request(s) the above action(s) for A PORTION OF I. P. F. D. C. (INDIAN PUEBLOS FEDERAL DEVELOPMENT CORP.) 7 ACRE SITE, **INDIAN PUEBLO COUNCIL PROPERTY**, zoned SU-1 C-2 with restrictions, located on 12th ST NW, between INDIAN SCHOOL NW and MENAUL NW containing approximately 3 acre(s). [REF: 03EPC-01676, 03EPC-01677] [*Deferred from 8/16/06 & 8/23/06*] (H-13/H-14)

At the September 6, 2006, Development Review Board meeting, with the signing of the infrastructure list dated 9/6/06 the site plan for building permit was approved with final sign off delegated to City Engineer for the Subdivision Improvements Agreement (SIA), sidewalk resolution, dimensioning on the site plan (to meet with Wilfred Gallegos) and 3 copies of the site plan and Planning for 15-day appeal period, ALTA land survey replatting issue in City Council Ordinance, monument sign oriented to 12th Street, percentage landscaping, Indian School Road – private or public – security gate on site plan for subdivision.

If you wish to appeal this decision, you must do so by September 21, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Sheran Matson, AICP, DRB Chair

Cc:I.P.F.D.C., 2412 Comanche Rd NE, 87107
Studio Southwest Architects, 2101 Mountain Rd NW, 87104
George Hutton, 1820 Indian School Rd NW, Apt. 103, 87104
Claude Morrelli, 7 Garden Park Cr NW, 87107
Bill Halton, 570 Black Bear RD NE, 87122
Marit Tully, 407 La Poblana NW, 87107
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

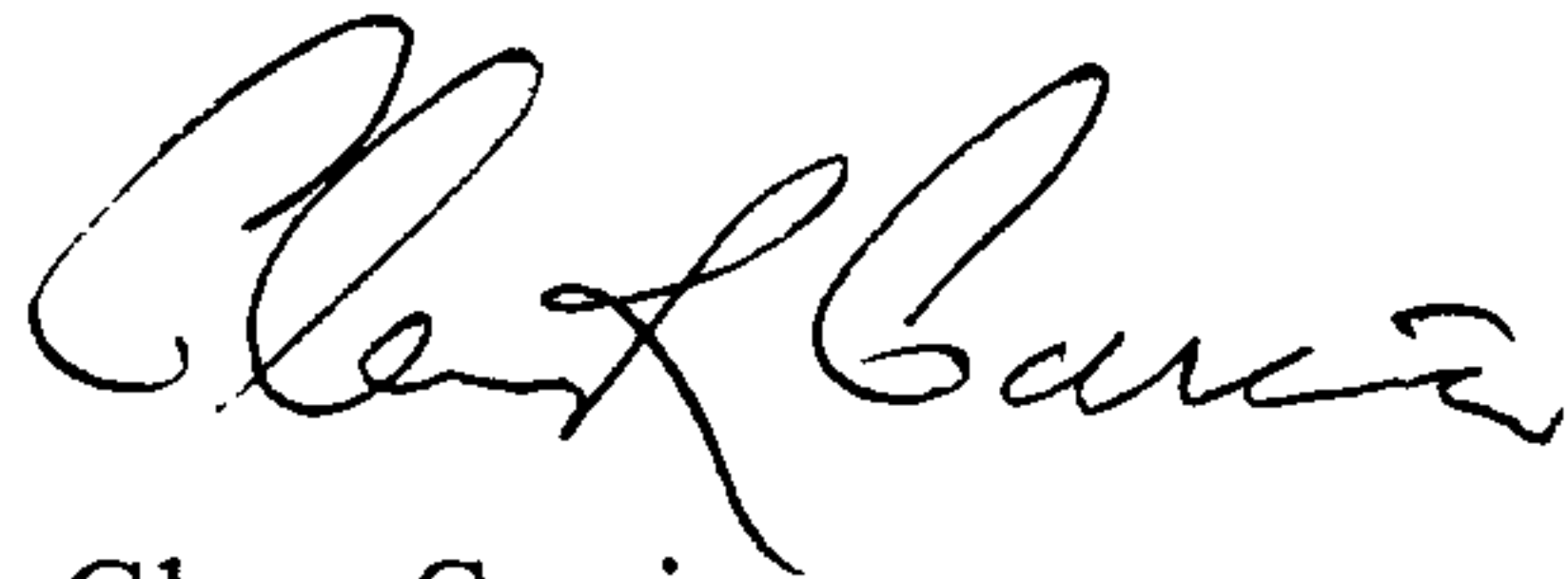
November 28, 2006

**Re: DRB Project Number 1005033
IFPDC Hotel, 12th & Menaul**

To Whom It May Concern:

I the owner's representative, Glenn R. Garcia, authorize Studio Southwest Architects, Inc. to act as submitting agent for the administrative amendment for the above referenced project.

Sincerely,

A handwritten signature in cursive script, appearing to read "Glenn Garcia".

Glenn Garcia
Owner's Representative
IPFDC

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME IPFDC
AGENT STUDIO SW ARCHITECTS
ADDRESS 2101 MOUNTAIN RD NW
PROJECT & APP # 1005033/07AA 00123
PROJECT NAME HOTEL

\$ _____ 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ 45.00 441006/4971000 EPC/~~AA~~LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 45.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

STUDIO SW ARCHITECTS
2101 MOUNTAIN ROAD NW
ALBUQUERQUE, NM 87104
PHONE (505) 843-9639
FAX (505) 843-9683

WELLS FARGO BANK
OPERATING ACCOUNT
TWO SIGNATURES REQUIRED
FOR AMOUNTS OVER \$100.00
95-219/1070

043579
CHECK NO.

Exactly Forty-five and no/100 Dollars

DATE 2/2/2007 AMOUNT \$45.00

PAY City of Albuquerque
TO THE ORDER OF PO Box 1313
Albuquerque, NM 87103

AUTHORIZED SIGNATURE

043579 1070021921025701414
CHANGE \$45.00
Thank You \$0.00
Thank You

Kevin Curran

#-13474

• Resolution
to be recorded
~~before~~ Plot

BILL HALTOM, Esq.
570 Black Bear Rd NE
Albuquerque, NM 87122
bhaltom@comcast.net
(505) 856-6891
(505) 235-5043

November 29, 2006

Mr. Kevin Curran, Esq.
Legal Department
City of Albuquerque
600 Second St. NW
Albuquerque, NM 87102

Re: AIS Governing Board Resolution No. 2006-11

Dear Mr. Curran:

Enclosed is a copy of the AIS Governing Board Resolution No. 2006-11, Authorizing Public Access to Sidewalks Adjacent to City Streets. This is the action requested by the City Development Review Board as part of the IPFDC Hotel Site Development Plan.

I understand that this is the last action required for plan approval. Please advise if any other actions are required.

Sincerely,

Bill Haltom

cc: ✓ Mr. Robert Heiser
Mr. Deepesh Kholwadwala
Mr. Glenn Garcia

**RESOLUTION OF THE
GOVERNING BOARD OF THE
ALBUQUERQUE INDIAN SCHOOL PROPERTY**

Re: Authorizing Public Access to Sidewalks Adjacent to City Streets

RESOLUTION NO: 2006-11

At a duly called meeting of the Governing Board of the Albuquerque Indian School Property ("Governing Board"), held on the 27 day of 2006-11, 2006, the following resolution was adopted.

WHEREAS, the Indian Pueblos Federal Development Corporation ("IPFDC") is a corporation chartered by the United States under Section 17 of the Indian Reorganization Act, where the charter can be revoked only by an act of the United States Congress ("Charter"); and

WHEREAS, IPFDC is wholly owned by the 19 Pueblos of NM ("Pueblos") each of which is a member ("Member") of IPFDC; and

WHEREAS, pursuant to Article III of the Charter, IPFDC is duly authorized to act as the agent for the Pueblos in matters dealing with IPFDC ("Agent"); and

WHEREAS, the 19 Pueblos have the inherent governmental and police power to govern and regulate activities on the AIS Property; and

WHEREAS, the 19 Pueblos are the beneficial title owner of a tract of land formerly known and commonly referred to as the Albuquerque Indian School (the "AIS Property"), legal title to which is held by the United States of America, In Trust, for the Pueblos of NM; and

WHEREAS, the Pueblos have granted IPFDC a Perpetual Ground Lease for the AIS Property, which has been approved by the Secretary of the Interior of the United States of America ("Secretary"); and

WHEREAS, on December 9, 2002, IPFDC entered into a Development Agreement with the City of Albuquerque ("City") concerning the Commercial Tract of land on the Westside of the AIS Property; and

WHEREAS, the City Development Review Board has requested authorization for public access to sidewalks on the AIS Property that are adjacent to City streets; and

WHEREAS, on October 10, 2002, the 19 Pueblos, as Members of IPFDC, appointed the Executive Committee of IPFDC to act as the Governing Board which shall be vested with authority and jurisdiction for taking all governmental actions necessary regarding the AIS Property; and

WHEREAS, the Governing Board has considered a request by the Development Review Board of the City to authorize public access to sidewalks on the AIS Property that are adjacent to City streets.

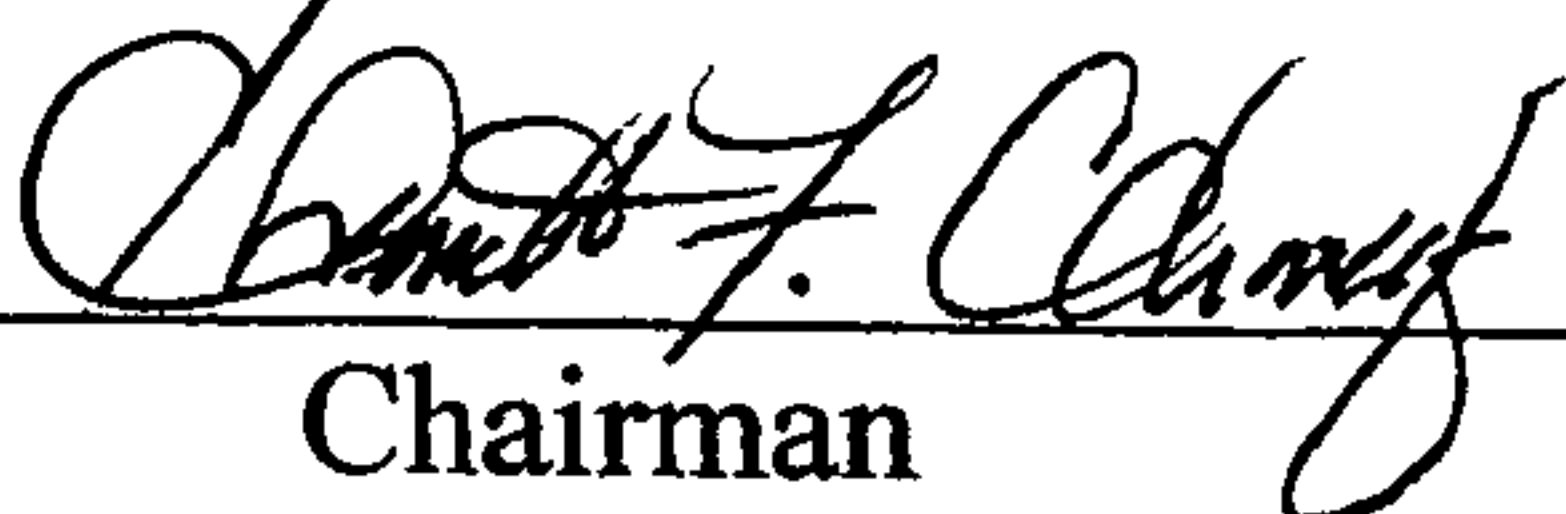
NOW, THEREFORE, BE IT RESOLVED that the Governing Board hereby authorizes public access to and use of sidewalks on the AIS Property that are adjacent to City streets subject to issuance of temporary orders or limited access or closure during emergencies, special events, police/emergency response/fire and similar situations.

BE IT FURTHER RESOLVED that the Governing Board, based on a good faith effort, will provide reasonable notice to the Office of the Mayor and Police Chief of the City of Governing Board actions restricting access with details of the action being taken.

BE IT FURTHER RESOLVED that the Governing Board requests that the City, based on a good faith effort, provide reasonable notice of any requests for closure or special use of public streets adjacent to the AIS Property.

CERTIFICATION

The forgoing resolution was enacted on the 27 day of NOV, 2006. by a vote of 4 for, 0 opposed, and 0 abstaining, at a duly called meeting at which a quorum of the Governing Board was present.


Chairman

ATTEST:


Secretary

10/04

1005033
PUT IN FILE

No. of Lots:
Nearest Major Streets

FIGURE 12

**SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)**

Indian School Hotel

CPN 718683

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 5th day of January, 2007, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Indian Pueblos Federal Development Corporation (IPFDC) ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] federally chartered corporation whose address is 2412 Comanche NE, Albuquerque, NM 87107 whose telephone number is 761-5800, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] Lot 84E, Indian School Properties, recorded on June 9, 2000 in the records of the Bernalillo County Clerk at Book 2000S, pages 79 through -- (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] United States of America Trust for the 19 Tribes of New Mexico leased to IPFDC ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as INDIAN SCHOOL HOTEL describing Subdivider's Property, which is subject to a Development Agreement between the City and IPFDC, dated August 15, 2005, and approved by the City Council as F/S 0-05-98.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 31st of December 2007 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 718683.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless



Maggie Toulouse Bern. Co. AGRE R 19.00

2007019155
6602192
Page: 1 of 6
02/05/2007 02:47P
Bk-A131 Pg-9123

07/02

ORIGINAL

INFRASTRUCTURE LIST

(Rev 9-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

IPFDC Hotel

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot 84E, Indian School Properties

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
			Water						
		8"	Waterline	New 30' WL + SAS Ease	Exist 20' WL Ease	New 20' WL Ease	/	/	/
		8"	Waterline	New 20' WL Ease	New 30' WL + SAS E	12th Street	/	/	/
			Sanitary Sewer						
		8"	SAS	New 10' SAS Easement	Indian School Rd	New 30' WL + SAS E	/	/	/
		8"	SAS	New 30' WL + SAS Ease	New 10' SAS Ease	New 20' WL Ease	/	/	/
		16' wide	SIDEWALK WITH ADA RAMP PER SITE PLAN	12 th STREET	INDIAN SCHOOL RD	N 230' NORTH	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

F:\1-Projects\2006\A06049 - Indian School Hotel\Infrastructure List (9-05)

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 Water Infrastructure to include valves, fittings, and firehydrants
- 2 SAS Infrastructure to include manholes and service connections
- 3
- 4
- 5
- 6
- 7
- 8

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS	
---------------	---	--

Gregory J. Krenik
NAME (print)

Mark Goodwin & Associates, PA
FIRM

[Signature]
SIGNATURE - date

[Signature] 9.6.06
Robert Grant Heiser A.I.G.

[Signature] 9/6/06
DRB CHAIR - date

[Signature] 9-6-06
TRANSPORTATION DEVELOPMENT - date

[Signature] 9-6-06
UTILITY DEVELOPMENT - date

[Signature] 9-6-06
CITY ENGINEER - date

[Signature] 9-6-06
PARKS & GENERAL RECREATION - date

N/A
AMAFCA - date

_____- date

_____- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: I.P.F.D.C. PHONE: 505.881.2273
 ADDRESS: 2412 COMANCHE RD NE FAX: 505.341.4467
 CITY: ALBU. STATE NM ZIP 87107 E-MAIL: bsanchez@ratechnologies.com
 Proprietary interest in site: OWNER/FED. TRUST. List all owners: THE 19 PUEBLOS - I.P.F.D.C.
 AGENT (if any): STUDIO SOUTHWEST ARCHITECTS PHONE: 505.843.9639
 ADDRESS: 2101 MOUNTAIN ROAD NW FAX: 505.843.9683
 CITY: ALBU. STATE NM ZIP 87104 E-MAIL: rheiser@studioswarch.com

DESCRIPTION OF REQUEST: REQUEST FOR DRB APPROVAL FOR A BUILDING PERMIT FOR A 14 ROOM HOTEL, 4 STORY, ON A 2.79 ACRE PORTION OF THE IPFDC AT ACR SITE

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. ALL INDIAN PUEBLO COUNCIL PROPERTY PROJECTED SECTIONS 7 & 8
 Subdiv. / Addn. NA Block: Block Unit: T-10 NR3 E
 Current Zoning: SU-1 C-2 WITH RESTRICTIONS Proposed zoning: NA AND 15.69 ACRE COMMERCIAL PORTION
 Zone Atlas page(s): H-13 H-14 No. of existing lots: 2* No. of proposed lots: 2*
 Total area of site (acres): 2.79 of 15.69 Density if applicable: dwellings per gross acre: NA dwellings per net acre: NA
 Within city limits? Yes. No, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. NA MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: 12TH STREET NW
 Between: INDIAN SCHOOL NW (Private St) and MENAVIL NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

City COUNCIL BILL F/S 0-05-98 DEPL/01676 03 EPG/01677

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: NA

SIGNATURE: _____ DATE: _____
 (Print) ROBERT GERARD HEISER, A.I.A. Applicant Agent
STUDIO SOUTHWEST ARCHITECTS

FOR OFFICIAL USE ONLY

Form revised 4/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06 DRB-01056</u>	<u>SBP</u>	<u>P(2)</u>	<u>\$ 385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CME</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>08/16/06</u>				Total <u>\$ 480.00</u>

Sandy Handley 07/21/06 Project # 1005033

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION

Maximum Size: 24" x 36"

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision Checklist
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Maximum Size: 24" x 36"

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24** copies for DRB public hearings
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

Maximum Size: 24" x 36"

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Maximum Size: 24" x 36"

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
- DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24** copies for DRB public hearings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Robert Gerard Heiser A.I.A.
Applicant name (print)

[Signature]
Applicant signature / date



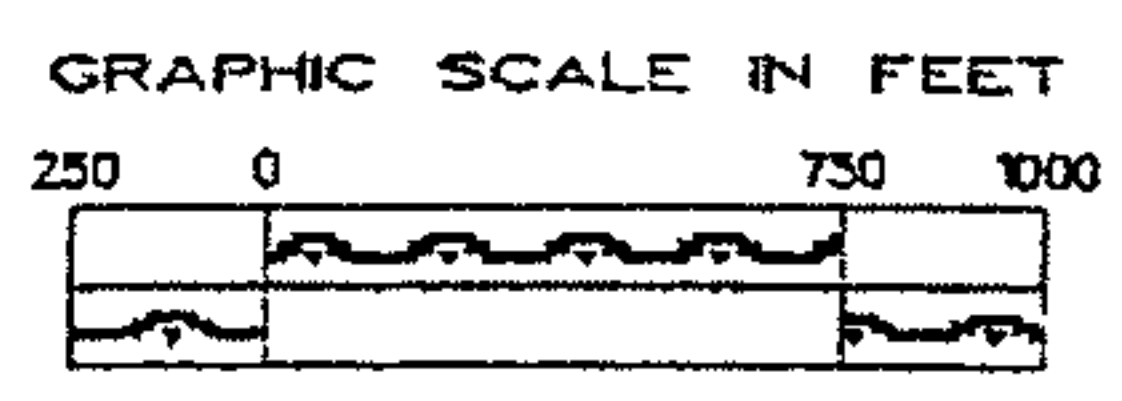
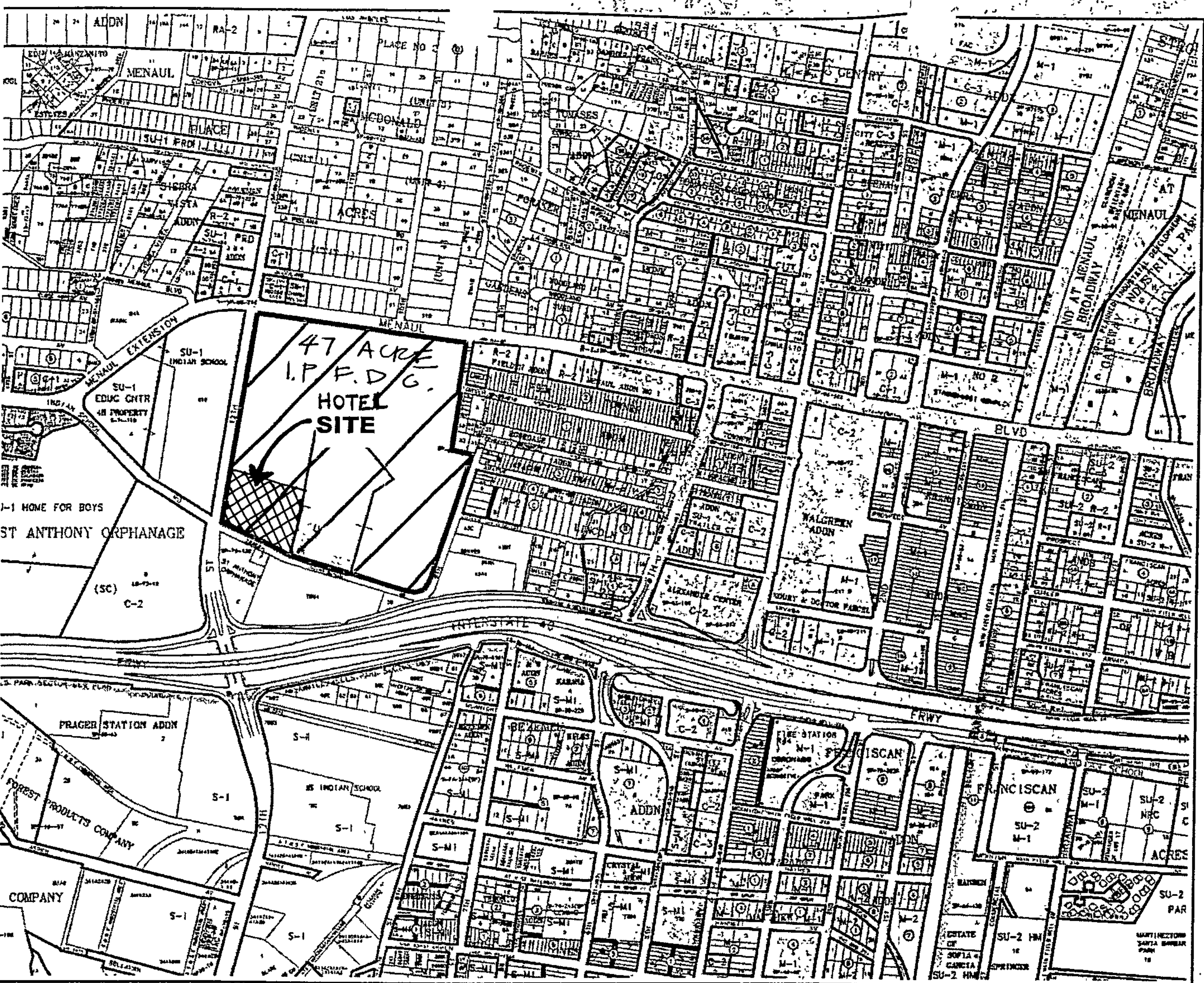
Form revised APRIL 2006

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

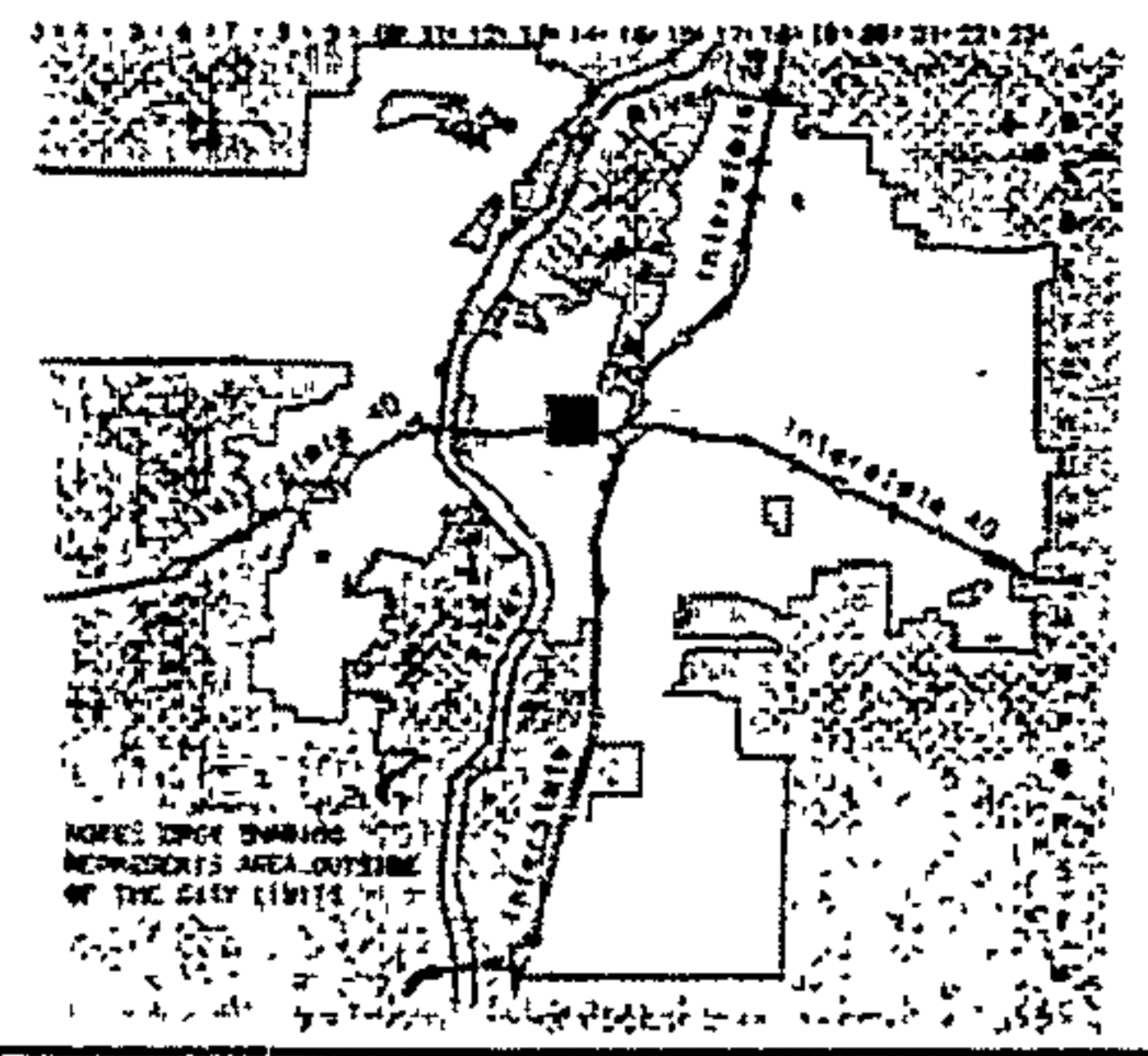
Application case numbers	
<u>06DRB</u>	<u>-01056</u>
_____	_____
_____	_____

Sandy Handley 07/21/06
Planner signature / date

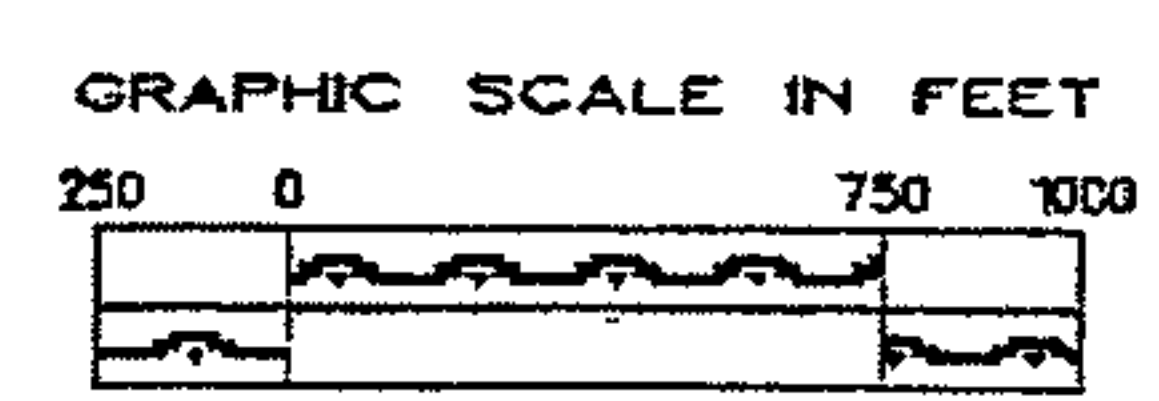
Project # 1005033



Zone Atlas Page
H-13-Z
 Map Amended through December 01, 2003



Albuquerque Planning Department
 Copyright 2003



Zone Atlas Page
H-14-Z
 Map Amended through December 01, 2003

I.P.F.D.C. SITE

7.20.2006



July 21, 2006

Sharon Madson
DRB
City of Albuquerque

Re: IPFDC Hotel – DRB Submittal

**Studio Southwest
Architects Inc.**

Dear Ms. Madson:

Studio Southwest Architects, Inc. (formerly DCSW, Inc.) is requesting the review and approval of a DRB Site Development Plan for Building Permit for a 2.79 acre portion of the 15.69 acre commercial zone of the 47 acre IPFDC site located at 12th Street NW and Menaul NW. The commercial site is zoned SU-1 C-2 with restrictions.

The proposed project is a four (4) story 114 room hotel with related facilities for hotel guests. All proposed uses are allowed by the approved zoning on the site.

The design height and location of the hotel are in accordance with the **12th and Menaul Study** designed by H.O.K. a City of Albuquerque consultant, and approved by the Albuquerque City Council. In addition landscaping, lighting, signage, building materials, building massing, parking, and colors are in compliance with the requirements of the City Council approved plan. The conceptual site plans as drawn by DCSW, Inc. are included in the submittal package.

H.O.K. provided a document to City Council: **Study Recommendations, 12th Street & Menaul Study**, October 2005.

The document and accompanying site plans were approved by the City Council, Council Bill F/S 0-05-98 and 03/EPC-01676 and 03EPC-01677 were presented to the City Council as an EPC review and comment in accordance with the City of Albuquerque and IPFDC Development Agreement R-02-167.

A traffic study was completed by Terry Brown PE in June of 2004 and was incorporated into the traffic analysis and street design advocated by the City of Albuquerque traffic consultant for the 12th and Menaul Study. A copy of the traffic study is available upon request.

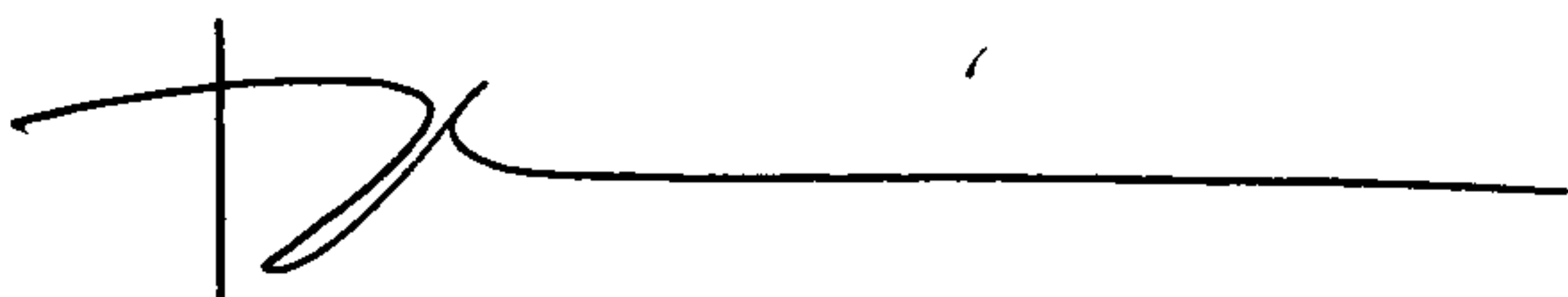
Thank you for your consideration on this matter.

Sincerely,

Albuquerque
2101 Mountain Road NW
Albuquerque, NM 87104
T 505.843.9639
F 505.843.9683
mail@studioswarch.com

Santa Fe
130 Grant Avenue, Suite 102
Santa Fe, NM 87501
T 505.982.7191
F 505.992.0585
mail@studioswarch.com

www.studioswarch.com



Robert Gerard Heiser, AIA
Senior Principal
Studio Southwest Architects, Inc.
(fka DCSW, Inc.)



DATE: 8-7-06

TO: CLAIRE SENOVA

COMPANY: CITY OF ALB. PLANNING

FROM: CLINT WILSEY

PROJECT: IPDC HOTEL

DOCUMENT: REQUEST FOR PERFECTION

FAX NO: 924-3864

PAGES FOLLOWING TRANSMITTAL: 1

Urgent
 For Review
 Please Comment
 Acknowledge Receipt
 Please Reply

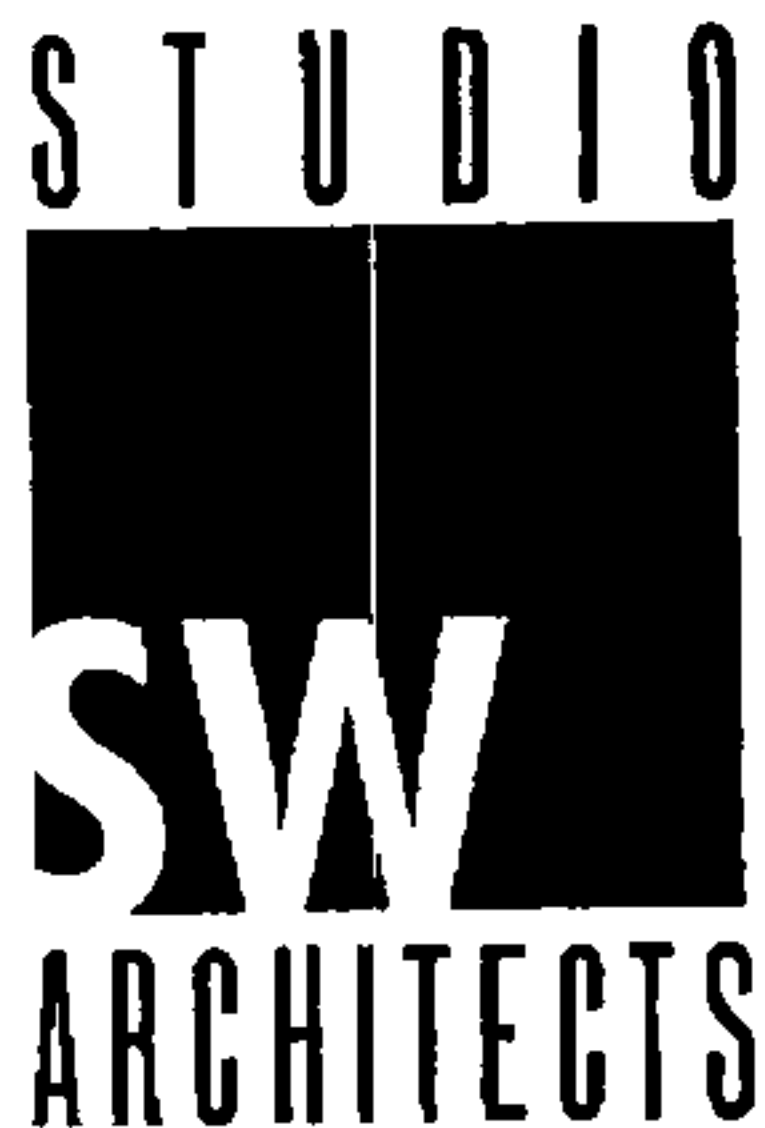
Remarks: _____

cc: _____

Albuquerque
 2101 Mountain Road NW
 Albuquerque, NM 87102
 Ph: 505.843.9639
 Fax: 505.843.9683

Santa Fe
 130 Grant Ave, Ste. 102
 Santa Fe, NM 87501
 Ph: 505.982.7191
 Fax: 505.992.0585

Website:
www.studioswarch.com
Email
mail@studioswarch.com



Studio Southwest
Architects Inc.

August 7, 2006

Claire Senova
City of Albuquerque Planning Department
600 2nd St. NW
Albuquerque, NM 87103

RE: DRB File # 1005033 / 06 DRB-01056

Dear Ms. Senova:

We respectfully request that our DRB hearing date be deferred to August 23, 2006, due to delinquent posting of the DRB Notification Sign on the site.

Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Clint Wilsey", written over a horizontal line.

Clint Wilsey

Albuquerque
2101 Mountain Road NW
Albuquerque, NM 87104
T 505.843.9639
F 505.843.9683
mail@studioswarch.com

Santa Fe
130 Grant Avenue, Suite 102
Santa Fe, NM 87501
T 505.982.7191
F 505.992.0585
mail@studioswarch.com

www.studioswarch.com

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME L.P.F.D.C.

AGENT STUDIO SOUTHWEST ARCHITECTS

ADDRESS _____

PROJECT & APP # 1005033/06DRB-01056

PROJECT NAME INDIAN PUEBLO COUNCIL PROPERTY

\$ _____ 441032/3424000 Conflict Management Fee ②

\$ 110.00 441006/4983000 DRB Actions DEFERRAL

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study

\$ 110.00 TOTAL AMOUNT DUE

*****NOTE:** If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

ROBERT G. HEISER 934 AVENIDA DEL SOL NE ALBUQUERQUE, NM 87110		95-145/1070 001477609	2355
PAY TO THE ORDER OF <u>City of Albuquerque DRB</u>		DATE <u>9-5-2006</u>	\$ <u>110.00</u>
<u>one hundred ten</u>		DOLLARS Security Features Details on Back.	
FIRST STATE BANK www.fsbnm.com		***DUPLICATE*** City Of Albuquerque Treasury Division	
MEMO <u>DRB/06DRB-01056</u> <u>DEFERRAL FEE</u>		9/5/2006 4:26PM NP	LOC: ANNX
@1070014521 2355 001477609		RECEIPT# 00067874 WS# 007 TRANS# 0067	Account 441006 Fund 0110
Activity 4983000		TRSVRS	

Counter

Trans Amt \$110.00
 J24 Misc \$110.00
 CK \$110.00
 CHANGE \$0.00

Thank You

SITE DEVELOPMENT PLAN FOR BUILDING PERM CHECKLIST

Revised: 4/18/2006



This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 7.20.2006
Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20' ✓
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' ✓ [Other scales as approved by staff]
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify) ?
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERM CHECKLIST

Revised: 4/18/2006

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 14 provided: 94
Handicapped spaces required: 4 provided: 4

- B. Bicycle parking & facilities

- 1. Bicycle racks, spaces required: 4 spaces (1 rack) provided: 1 rack

ABX table used.
* 1 space per rental unit
114 REQ'D.
* # 114 then HC = 98

- 2. Other bicycle facilities, if applicable

- C. Vehicular Circulation (Refer to Chapter 23 of DPM)

- 1. Ingress and egress locations, including width and curve radii dimensions
- 2. Drive aisle locations, including width and curve radii dimensions
- 3. End aisle locations, including width and curve radii dimensions
- 4. Location & orientation of refuse enclosure, with dimensions
- 5. Curb cut locations and dimensions

- D. Pedestrian Circulation

- 1. Location and dimensions of all sidewalks and pedestrian paths
- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed

- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERM CHECKLIST

Revised: 4/18/2006

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities?

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 11/16?
- 1. Scale must be same as scale on sheet #1 - Site plan
 - 2. Bar Scale
 - 3. North Arrow
 - 4. Property Lines
 - 5. Existing and proposed easements
 - 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
 - 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed. N/A
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
 - 8. Describe irrigation system
 - 9. Planting Beds, indicating square footage of each bed
 - 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
 - 11. Responsibility for Maintenance (statement)
 - 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
 - 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
 - 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERM CHECKLIST

Revised: 4/18/2006

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale ?
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

8-8-06

8-23-06

eg

Signs must be posted from AUGUST 1, 2006 To AUGUST 16, 2006

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.




(Applicant or Agent)

7-20-2006
(Date)

I issued 3 signs for this application,

07/21/06
(Date)



(Staff Member)

DRB PROJECT NUMBER: 1005033

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: IPFDC DATE OF REQUEST: 7/20/06 ZONE ATLAS PAGE(S): H-13/H-14
 CURRENT: SU-1 FIVE LEGAL DESCRIPTION: ALL INDIAN COUNCIL PROPERTY
 ZONING CZ PROJECTED SECTIONS 7 & 8 T10N
 LOT OR TRACT # _____ BLOCK # R3-E
 PARCEL SIZE (AC/SQ. FT.) 47 ACRES SUBDIVISION NAME _____

REQUESTED CITY ACTION(S):

ANNEXATION [] SECTOR PLAN [] SITE DEVELOPMENT PLAN:
 COMP. PLAN [] ZONE CHANGE [] A) SUBDIVISION [] BUILDING PERMIT []
 AMENDMENT [] CONDITIONAL USE [] B) BUILD'G PURPOSES [] ACCESS PERMIT []
 C) AMENDMENT [] OTHER []

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
 NEW CONSTRUCTION []
 EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION: 1

OF UNITS: _____
 BUILDING SIZE: 59,000 (sq. ft.) (hotel)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE _____ DATE 7-20-2006
 (TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
 2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [] BORDERLINE []

THRESHOLDS MET? YES [] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
 Notes: IPFDC DEV. TIS (6-10-04). SEE ALSO COUNCIL DOCUMENTS (I.E. 12TH & MENAUL STUDY, VARIOUS COUNCIL BILLS, ORDINANCES, ETC.).
 If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

Tony J. J. _____ 7-20-06
 TRAFFIC ENGINEER DATE

DEVELOPMENT AGREEMENT

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO [] - SEE CITY COUNCIL - STUDY RECOMMENDATIONS 12TH & MENAUL STREET DESIGN

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

A. A. A. _____ 7-20-2006
 APPLICANT STUDIO SOUTHWEST ARCHITECTS DATE

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 6/10/04 _____ 7-20-06
 -FINALIZED 1/1/ _____ TRAFFIC ENGINEER DATE



Indian Pueblos Federal Development Corporation
2412 Comanche Rd. NE
Albuquerque, NM 87107
Phone: (505)881-2273
Fax : (505)341-4467

July 20, 2006

Studio Southwest Architect
2101 Mountain Rd NW
Albuquerque, NM 87104

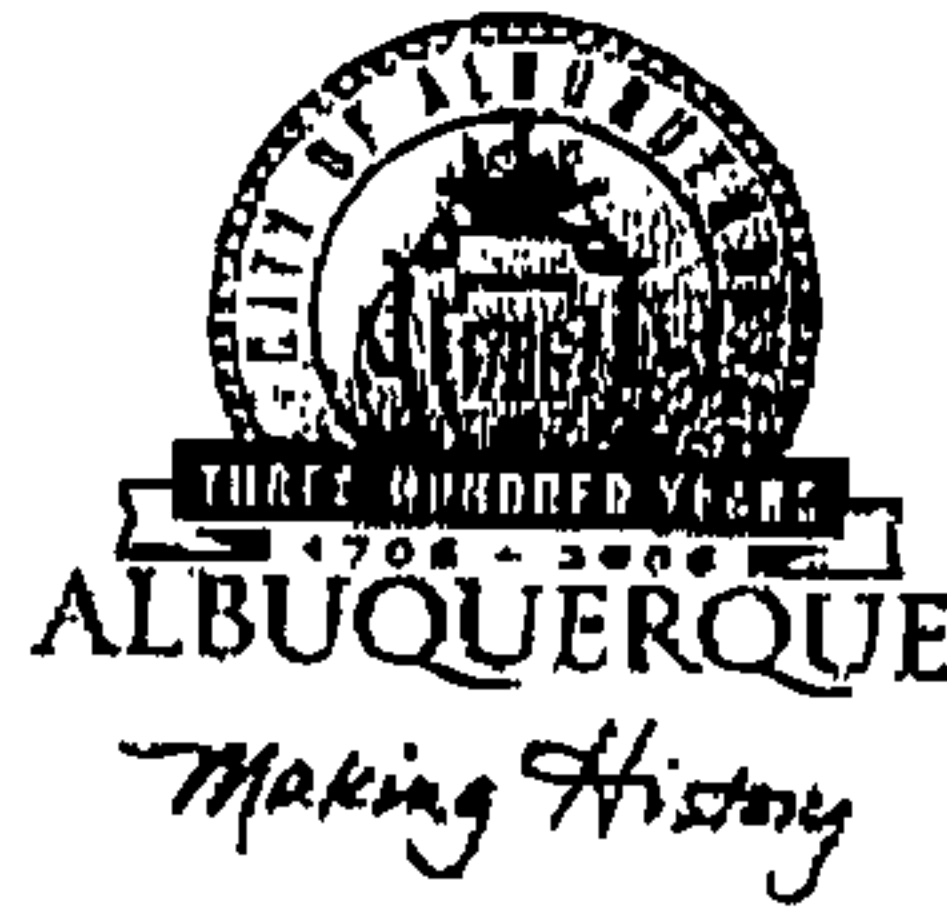
Attn: Robert Gerard Heiser AIA

Dear Bob:

IPFDC authorizes Studio Southwest Architect to be the agent of record in the submittal of plans concerning the hotel located at the southwest corner of the IPFDC site for DRB consideration and approval.

Sincerely

Bruce Sanchez, President



City of Albuquerque
 P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

July 20, 2006

Clint Wilsey
 Studio SW Architect
 2101 Mountain Road NW/87104
 Phone: 843-9639/Fax: 843-9683

Dear Clint:

Thank you for your inquiry of July 20, 2006 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **ALL INDIAN PUEBLO COUNCIL PROPERTY FORMERLY ALBUQUERQUE INDIAN SCHOOL, LOCATED ON 12TH STREET NW/MENAU BOULEVARD NW/INDIAN SCHOOL ROAD NW AND 9TH STREET NW** Zone Map: **H-13.**

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

- NEAR NORTH VALLEY N.A. (NNV) "R"**
- *George Hutton**
 1820 Indian School NW #103/87104 220-9863 (h)
- Kristina Anderson
 1115 Mildred Ave. NW/87107 345-1963 (h) 345-3258 (w)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck
 Neighborhood Program Coordinator
 OFFICE OF NEIGHBORHOOD COORDINATION
 Planning Department

**LETTERS MUST BE SENT TO BOTH
 CONTACTS OF EACH
 NEIGHBORHOOD ASSOCIATION.**

planningrnaform(10/08/05)



**Studio Southwest
Architects Inc.**

July 21, 2006

Sharon Madson
DRB
City of Albuquerque

Re: IPFDC Hotel – DRB Submittal

Dear Ms. Madson:

Approval authority to the DRB is included in the Study Recommendations 12th & Menaul Study/City of Albuquerque as City Council Bill F/S 0-05-98.

Sincerely,

A handwritten signature in black ink. It starts with a vertical line on the left, then a horizontal line crossing it, followed by a loop and a long horizontal stroke extending to the right.

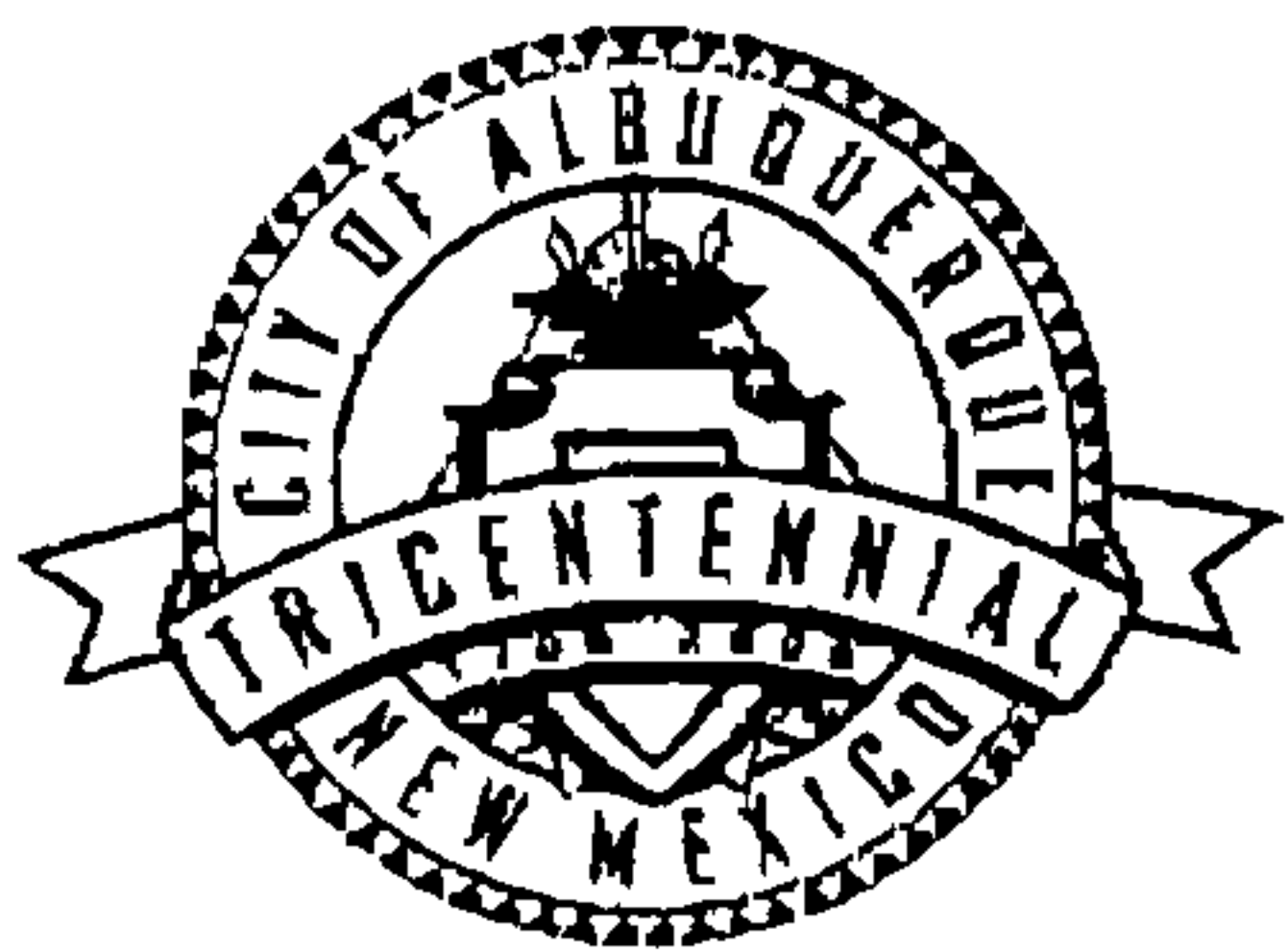
Robert Gerard Heiser, AIA
Senior Principal
Studio Southwest Architects, Inc.
(fka DCSW, Inc.)

Albuquerque
2101 Mountain Road NW
Albuquerque, NM 87104
T 505.843.9639
F 505.843.9683
mail@studioswarch.com

Santa Fe
130 Grant Avenue, Suite 102
Santa Fe, NM 87501
T 505.982.7191
F 505.992.0585
mail@studioswarch.com

www.studioswarch.com

P:\0331 IPFDC\060721 Madson - DRB Additional letter IPFDC Hotel.doc



DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second St. NW, Fax - (505) 924-3913 - will need the following information **BEFORE** neighborhood association information will be released to the applicant/developer on any project being presented to the Planning Department. If you have any questions, please feel free to contact our office at (505) 924-3914. Your request is for the following:

Cell Tower and Type: Free-Standing Tower [] -OR- Concealed Tower []; Private Development []; City Project []; -OR- Other []

CONTACT NAME: CLINT WILSEY
COMPANY NAME: STUDIO SW ARCH
ADDRESS/ZIP: 2101 MOUNTAIN RD. NW
PHONE: (505) 843-9639 FAX: (505) 843-9683

NEIGHBORHOOD ASSOCIATION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS:

ALL INDIAN PUEBLO COUNCIL PERPETUAL FOREMAN ALBUQUERQUE INDIAN SCHOOL
LEGAL DESCRIPTION PROJECTED SECTIONS 7 & 8, T.10N, R.3E N.M.P.M.
LOCATED ON 12TH STREET | MENAMI BLVD. | INDIAN SCHOOL | 9TH STREET
STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN _____ AND _____
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (2).
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)
(Zone Map **MUST** be provided with request)



July 20, 2006

**Studio Southwest
Architects Inc.**

Kristina Anderson
Near North Valley Neighborhood Association
1115 Mildred Avenue NW
Albuquerque, NM 87107

Dear Ms. Anderson:

**Neighborhood Notification – DRB Site Development Plan for Building
Permit**

Studio Southwest Architects, authorized agent for the IPFDC, is requesting an approval for a 2.79 acre site for a 114-room hotel located at the northeast corner of Indian School Road and 12th Street NW. Please feel free to contact us with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert Gerard Heiser". The signature is written over a vertical line that extends downwards from the signature area.

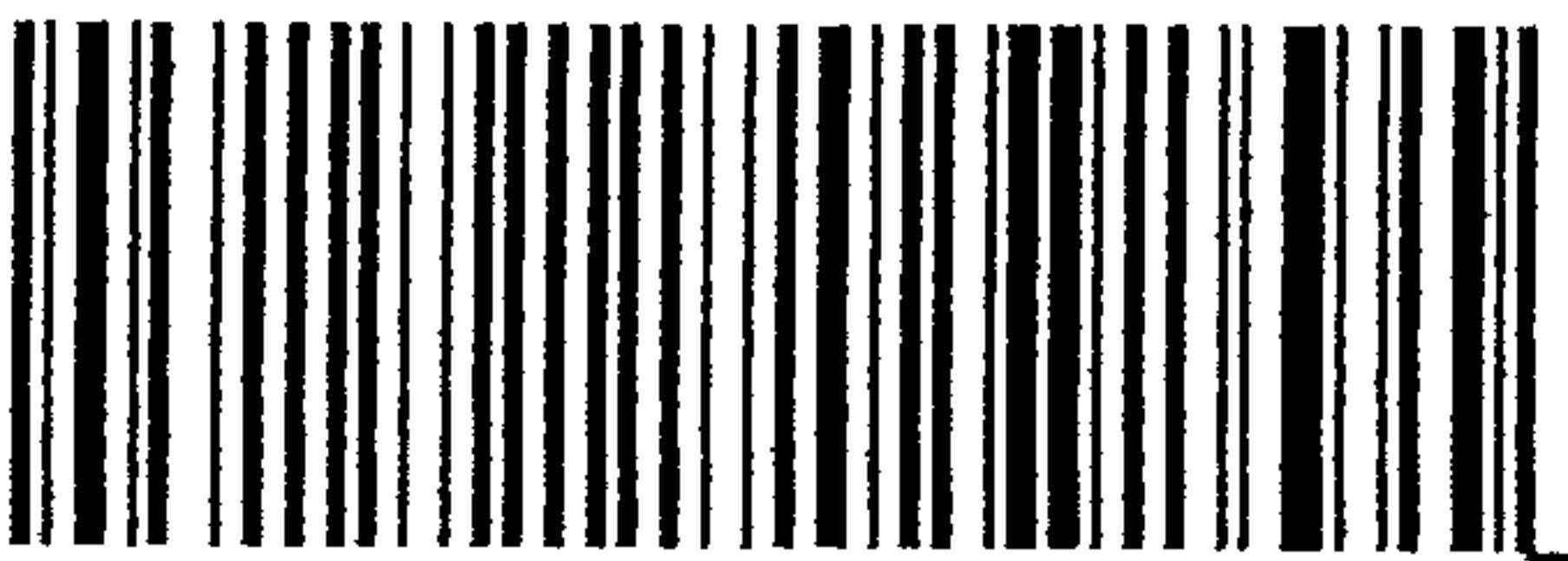
Robert Gerard Heiser, AIA
Senior Principal

Albuquerque
2101 Mountain Road NW
Albuquerque, NM 87104
T 505.843.9639
F 505.843.9683
mail@studioswarch.com

Santa Fe
130 Grant Avenue, Suite 102
Santa Fe, NM 87501
T 505.982.7191
F 505.992.0585
mail@studioswarch.com

★ ★ ★ UNITED STATES POSTAGE
 150 PB8678592
 2573 \$ 04.88⁰ JUL 21 06
 1787 ALBUQUERQUE NM 87102

CERTIFIED MAIL



7002 1000 0005 2650 2440
 7002 1000 0005 2650 2440

Inc.
 NM 87104

Anderson
 n Valley
 orhood Association
 red Avenue NW
 ue, NM 87107

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage	\$1.63
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.88

Postmark
 Here

Sent To: *Wishna Anderson, Near North Valley Neigh. Assn.*
 Street, Apt. No.: *11151 Fred Avenue NW*
 or PO Box No. *Albuquerque NM 87107*
 City, State, ZIP+4



July 20, 2006

**Studio Southwest
Architects Inc.**

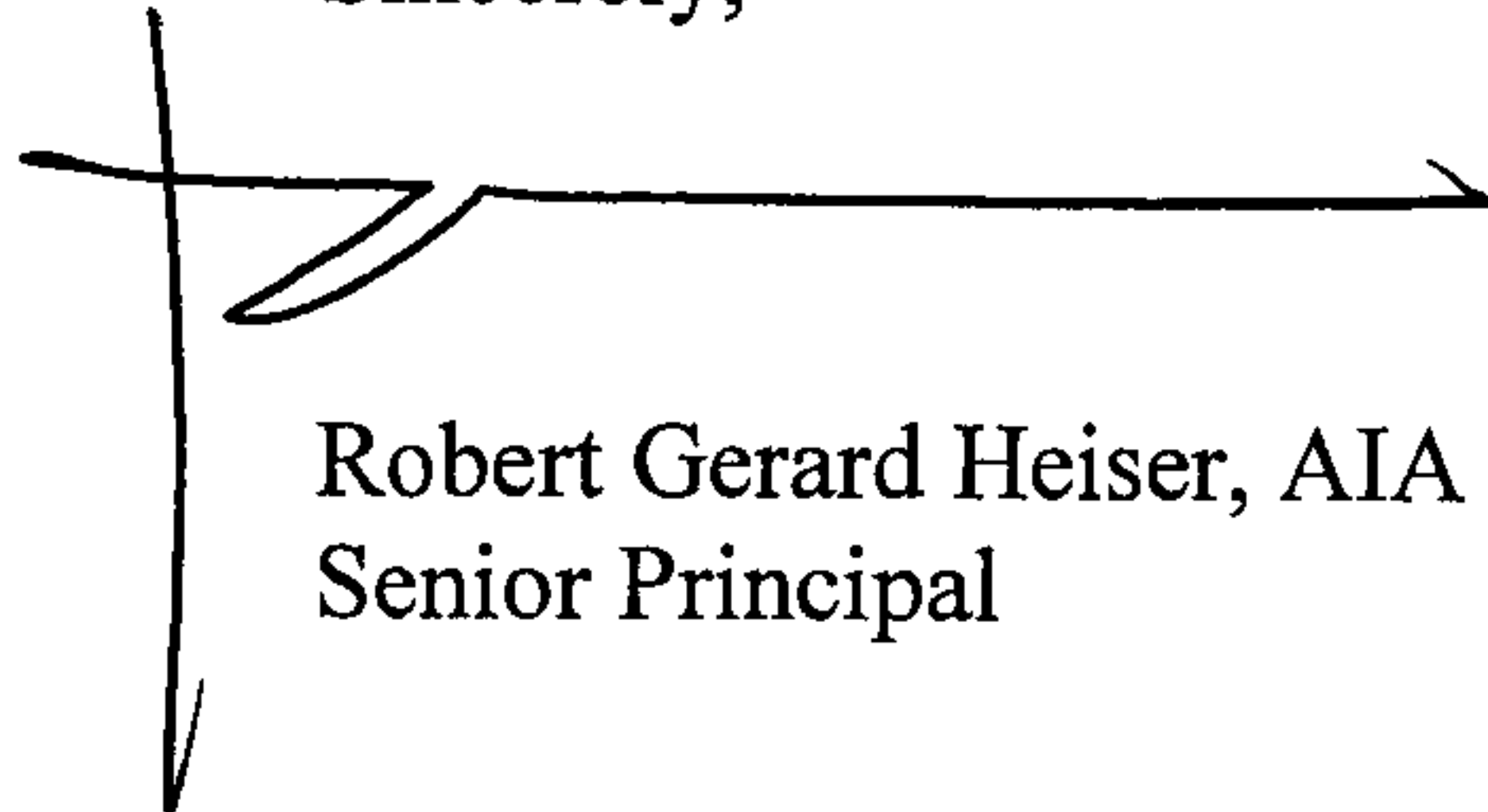
George Hutton
Near North Valley Neighborhood Association
1820 Indian School NW #103
Albuquerque, NM 87104

Dear Mr. Hutton:

**Neighborhood Notification—DRB Site Development Plan for Building
Permit**

Studio Southwest Architects, authorized agent for the IPFDC, is requesting an approval for a 2.79 acre site for a 114-room hotel located at the northeast corner of Indian School Road and 12th Street NW. Please feel free to contact us with any questions or concerns.

Sincerely,

A handwritten signature in black ink, consisting of a vertical line on the left, a horizontal line extending to the right, and a small loop at the end of the horizontal line. The signature is positioned above the typed name.

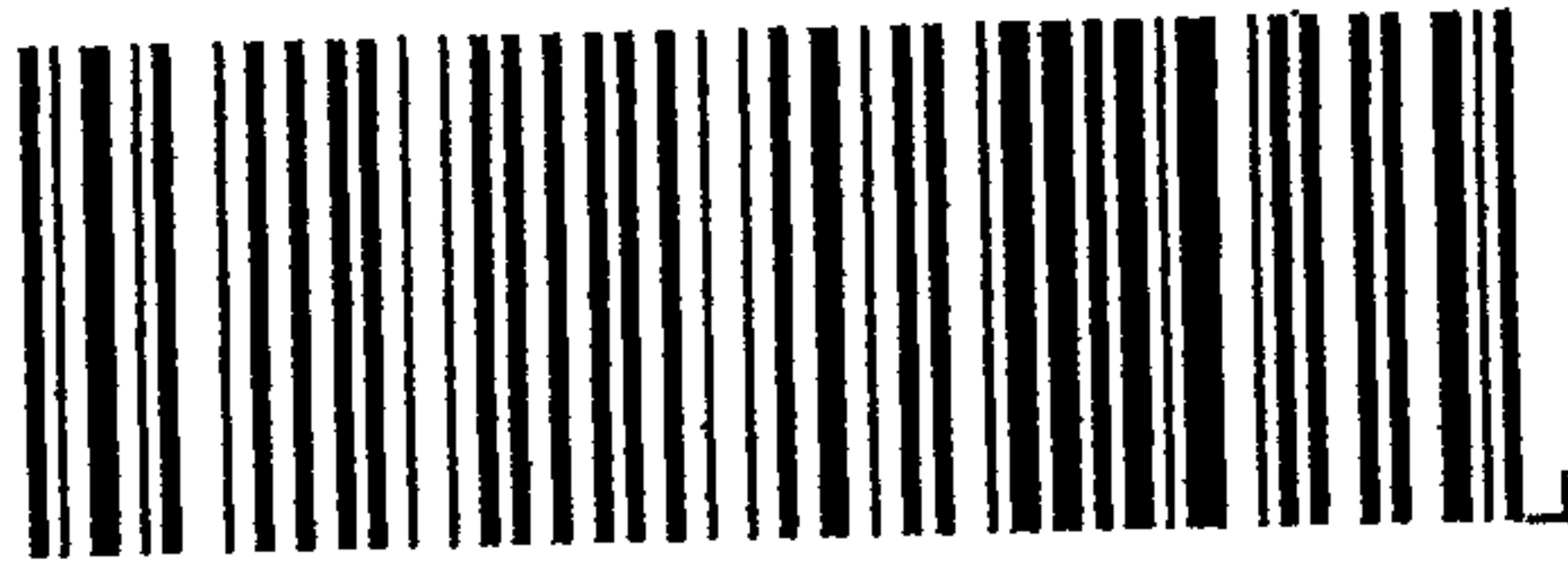
Robert Gerard Heiser, AIA
Senior Principal

Albuquerque
2101 Mountain Road NW
Albuquerque, NM 87104
T 505.843.9639
F 505.843.9683
mail@studioswarch.com

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Santa Fe, NM 87501
T 505.982.7191
F 505.992.0585
mail@studioswarch.com

www.studioswarch.com

★ ★ ★
 128
 2533 \$ 04.88⁰ JUL 21 06
 1788 ALBUQUERQUE NM 87102



7002 1000 0005 2650 2396
 7002 1000 0005 2650 2396

U.S. Postal Service
CERTIFIED MAIL RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage	\$.63
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.88

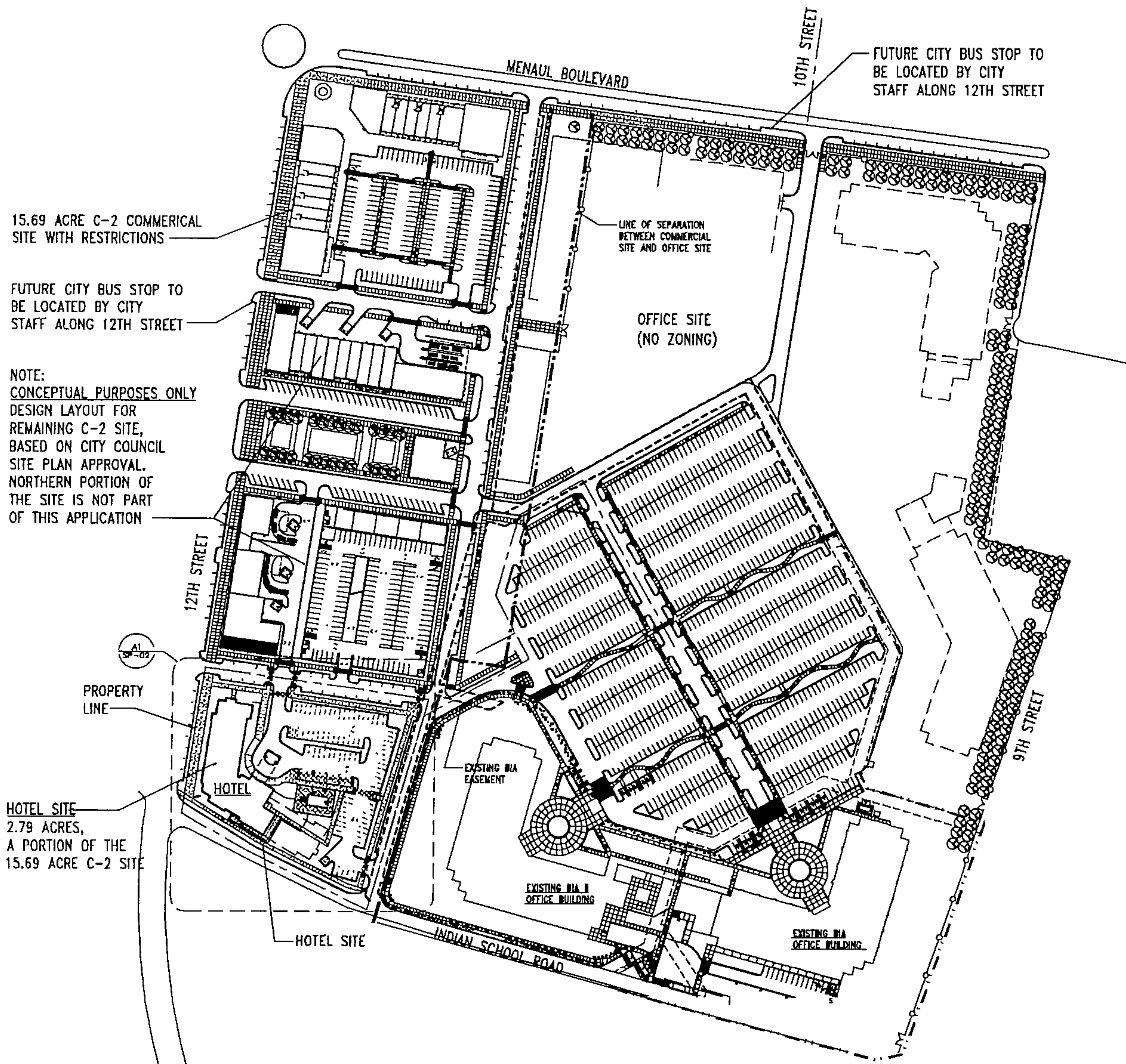
Postmark
Here

west Architects Inc.
 ad NW • Albuquerque, NM 87104

George Hutton
 Near North Valley
 Neighborhood Association
 1820 Indian School NW #103
 Albuquerque, NM 87104

Sent To: George Hutton - Near N. Valley Neigh. Assn.
 Street, Apt. No.:
 or PO Box No: 1820 Indian School NW #103
 City, State, ZIP+4: Alb erque NM 87104

PS Form 3800, April 2002. See Reverse for Instructions



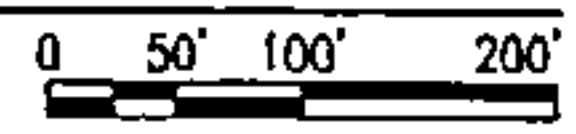
15.69 ACRE C-2 COMMERCIAL SITE WITH RESTRICTIONS

FUTURE CITY BUS STOP TO BE LOCATED BY CITY STAFF ALONG 12TH STREET

NOTE:
CONCEPTUAL PURPOSES ONLY
DESIGN LAYOUT FOR REMAINING C-2 SITE, BASED ON CITY COUNCIL SITE PLAN APPROVAL. NORTHERN PORTION OF THE SITE IS NOT PART OF THIS APPLICATION

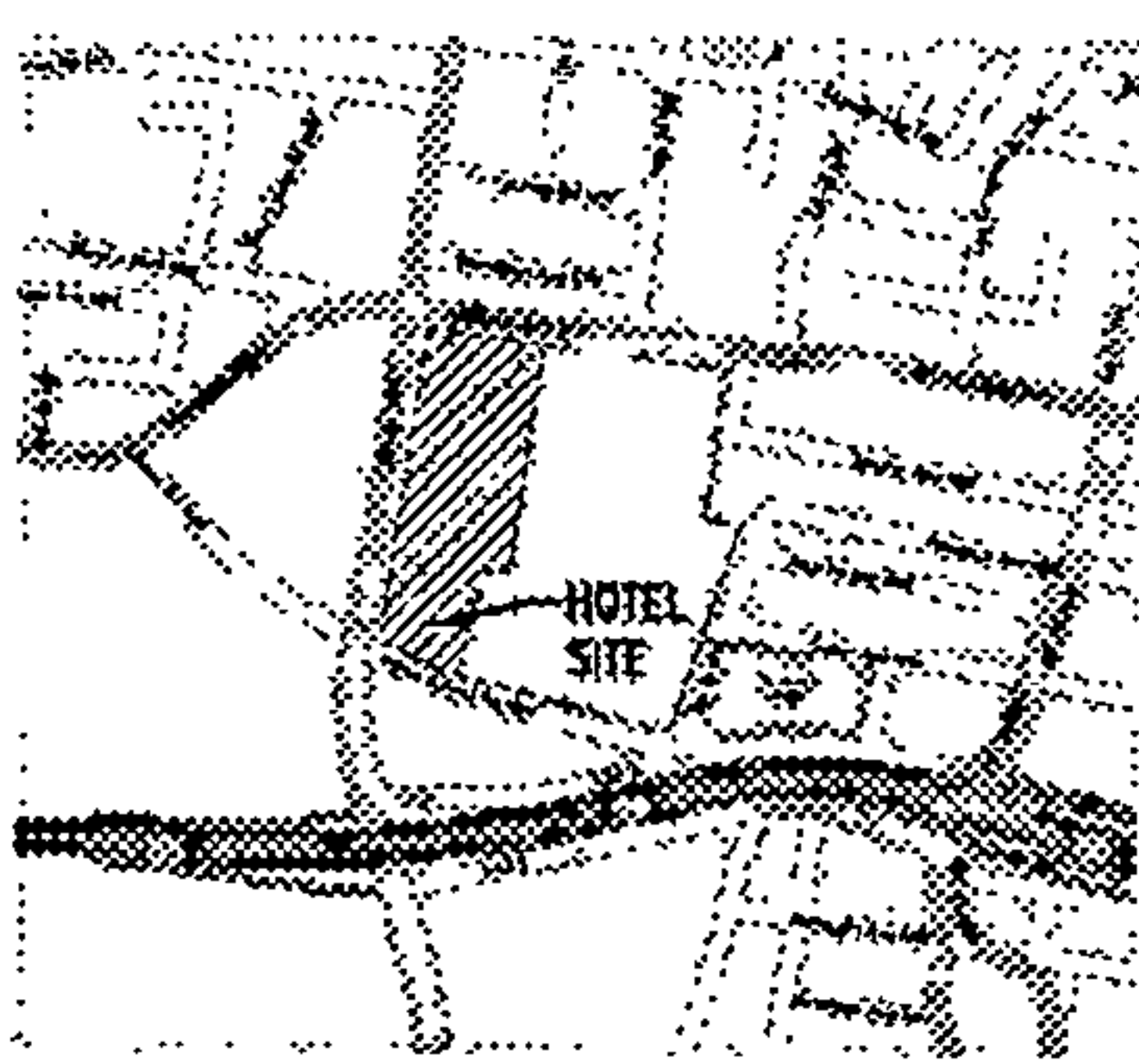
HOTEL SITE
2.79 ACRES, A PORTION OF THE 15.69 ACRE C-2 SITE

A1 SITE PLAN - OVERALL
SCALE: 1"=100'-0"



GENERAL NOTES

- A. SEE SHEET AS-401 & AS-501 FOR ARCHITECTURAL SITE DETAILS
- B. ALL PEDESTRIAN SIDEWALKS WILL BE CONCRETE- MINIMUM WIDTH = 6'-0" (SEE PLAN)
- C. ALL PEDESTRIAN CROSSWALKS WILL BE COLORED, TEXTURED AND PATTERNED CONCRETE-MINIMUM WIDTH = 6'-0" (SEE PLAN)
- D. ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE
- E. THE MAXIMUM INDIVIDUAL LETTER SIZE OF ALL BUILDING MOUNTED SIGNS SHALL BE 5'-0" HIGH. LOGO DESIGN SIGNS SHALL NOT EXCEED 5'-0" IN HEIGHT OR WIDTH.
- F. PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE OF PUBLIC PLAZA SPACES
- G. TRASH ENCLOSURE WILL BE COMPATIBLE WITH ADJACENT BUILDING
- H. IDENTIFY ALL SMALL CAR SPACES WITH "SMALL CAR" PAINTED ON THE PAVEMENT.



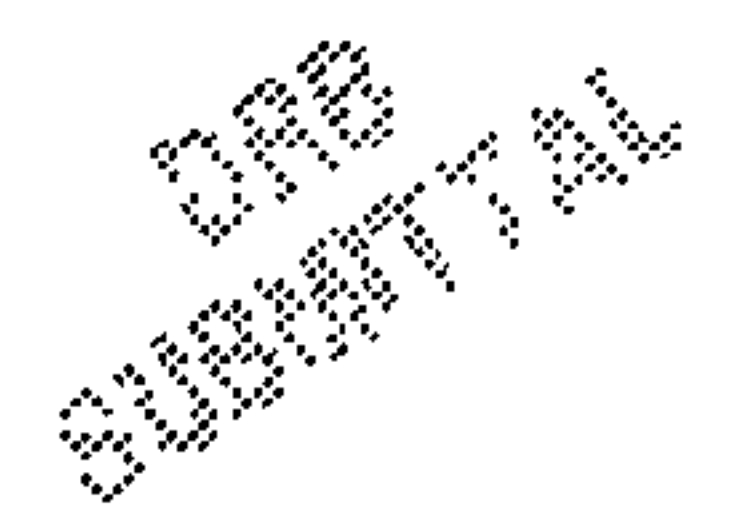
VICINITY MAP
(NOTE: SCALE APPROXIMATE)



STUDIO SOUTHWEST ARCHITECTS, INC.
2101 Mountain Rd NW, Albuquerque, NM 87104
505 843 9639 fax: 505 843 9683
Web Site: www.studioswarch.com
E-Mail: mail@studioswarch.com

CONSULTANTS

Architect Engineer



PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC
MASTER PLAN

PROJECT NUMBER: _____
Application Number: _____

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated _____ and the Findings and Conclusions in the Official Initial Decision as satisfied.

Is an Infrastructure Let required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

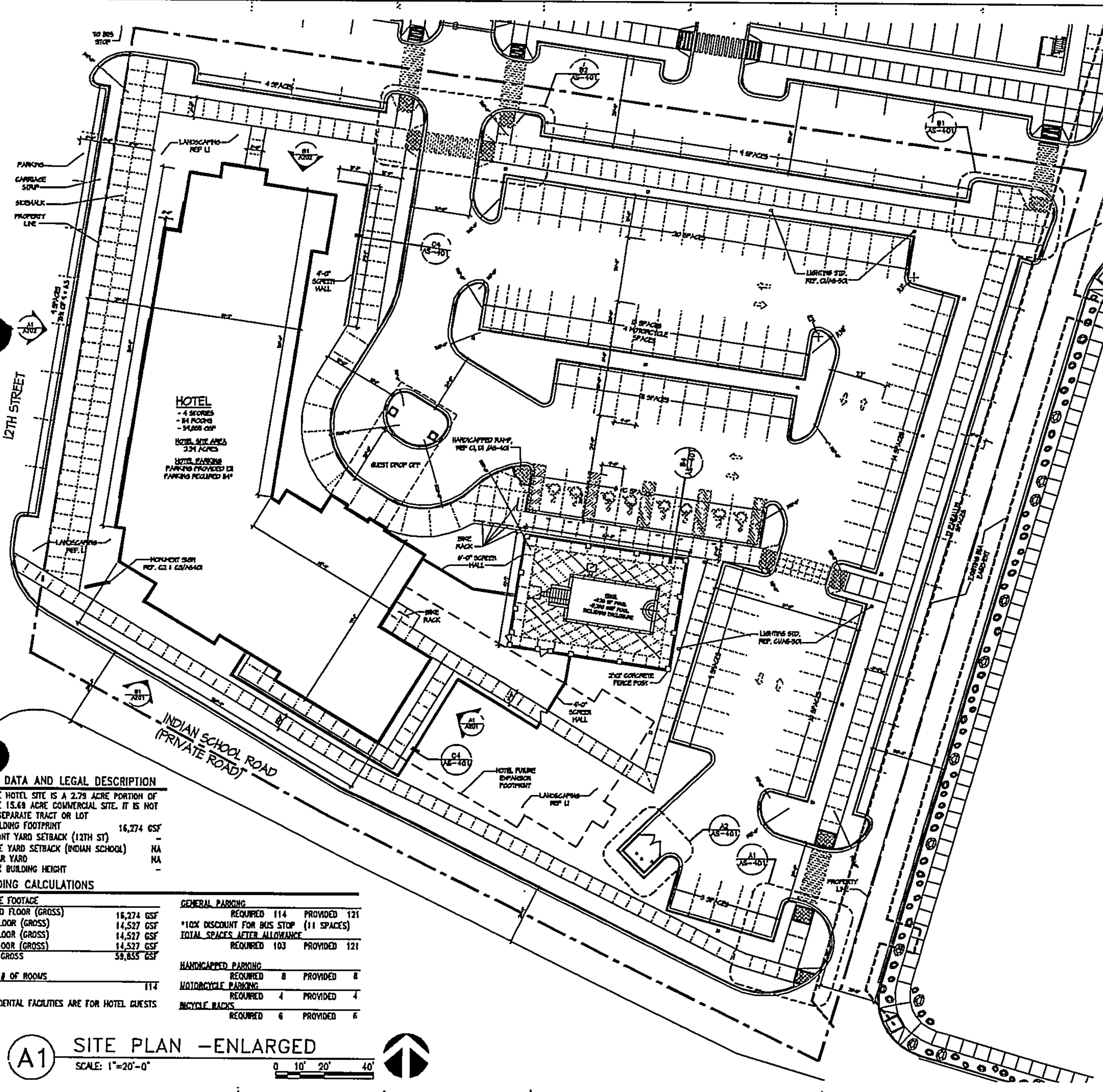
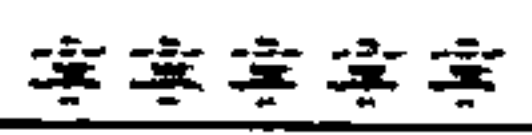
Traffic Engineering/Transportation Division	Date
Utilities Department	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environment of Health Department (conditional)	Date
Soil/Waste Management	Date
DRB Chairperson, Planning Department	Date

MARK	DATE	DESCRIPTION
ISSUE:		DRB SET
PROJECT NO:		0510
CAD DWG FILE:		
DRAWN BY:		CW, LJ
CHECKED BY:		BH
DATE:		7/21/06

SHEET TITLE

SITE PLAN
OVERALL

SP-01
sheet of sheets



GENERAL NOTES

- A. SEE SHEET AS-401 & AS-501 FOR ARCHITECTURAL SITE DETAILS
- B. ALL PEDESTRIAN SIDEWALKS WILL BE CONCRETE- MINIMUM WIDTH = 6'-0" (SEE PLAN)
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- G. TRASH ENCLOSURE WILL BE COMPATIBLE WITH ADJACENT BUILDING.
- H. IDENTIFY ALL SMALL CAR SPACES WITH "SMALL CAR" PAINTED ON THE PAVEMENT.

STUDIO
SW
ARCHITECTS

STUDIO SOUTHWEST ARCHITECTS, INC.
2101 Mountain Rd. NW, Albuquerque, NM 87104
505.843.9839 fax 505.843.9883
Web Site: www.studioswarch.com
E-Mail: mail@studioswarch.com

CONSULTANTS

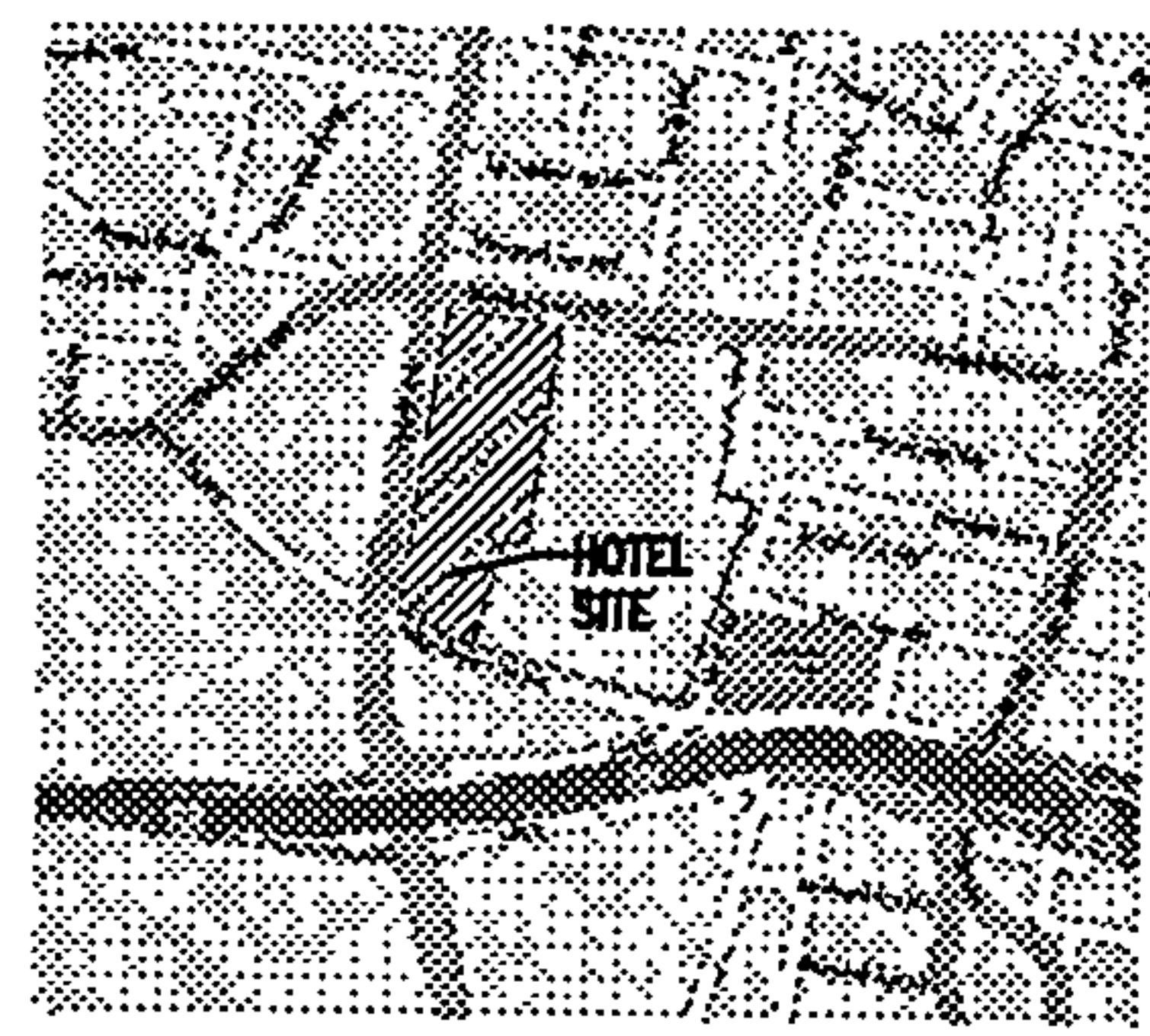
Architect Engineer

DRB
SUBMITTAL

PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC
MASTER PLAN



VICINITY MAP
(NOTE: SCALE APPROXIMATE)

SITE DATA AND LEGAL DESCRIPTION

- THE HOTEL SITE IS A 2.79 ACRE PORTION OF THE 13.69 ACRE COMMERCIAL SITE. IT IS NOT A SEPARATE TRACT OR LOT
- BUILDING FOOTPRINT 16,274 GSF
- FRONT YARD SETBACK (12TH ST)
- SIDE YARD SETBACK (INDIAN SCHOOL) NA
- REAR YARD NA
- MAX BUILDING HEIGHT

BUILDING CALCULATIONS

SQUARE FOOTAGE		GENERAL PARKING	
GROUND FLOOR (GROSS)	16,274 GSF	REQUIRED 114	PROVIDED 121
2ND FLOOR (GROSS)	14,527 GSF	*10% DISCOUNT FOR BUS STOP (11 SPACES)	
3RD FLOOR (GROSS)	14,527 GSF	TOTAL SPACES AFTER ALLOWANCE	
4TH FLOOR (GROSS)	14,527 GSF	REQUIRED 103	PROVIDED 121
TOTAL GROSS	59,855 GSF		
TOTAL # OF ROOMS 114		HANDICAPPED PARKING	
- INCIDENTAL FACILITIES ARE FOR HOTEL GUESTS		REQUIRED 8	PROVIDED 8
		REQUIRED 4	PROVIDED 4
		REQUIRED 6	PROVIDED 6

A1 SITE PLAN - ENLARGED
SCALE: 1"=20'-0"



PROJECT NUMBER: _____
Application Number: _____

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated _____ and the Findings and Conclusions of the Official Initial Decision are satisfied.

Is an Infrastructure Lot required? () Yes () No. If yes, then a set of approved OHC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Department	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

MARK	DATE	DESCRIPTION
ISSUE:		DRB SET
PROJECT NO:		0510
CAD DWG FILE:		0510_H_SP-01_DRB
DRAWN BY:		LJ, CW
CHECKED BY:		BH
DATE:		7/21/06

SHEET TITLE

SITE PLAN
ENLARGED

SP-02
sheet of sheets

Delaware too close
to the 12th St &
Indian School Inter-
-section - which
is too close to
Camp to I to

Signal
?

MATERIAL & COLOR LEGEND

MATERIAL	COLOR	KEYNOTE
GLASS	CLEAR	1
STONEMENT	LIGHT GREY ALUMINUM	2
STONEMENT DOORS	LIGHT GREY ALUMINUM	3
METAL ROOFING	LIGHT GREY	4
METAL WALLING	LIGHT GREY POLYURETHANE PAINT	5
COLUMNS	PAINT ALUMINUM OR CONCRETE	6
SPACE CHAIRS	LIGHT GREY POLYURETHANE PAINT	7
METAL ROOFS	PAINT/SHOWN	8
		9
		10
		11
		12
		13
		14
		15
		16
		17
		18
		19
		20
		21
		22
		23
		24

SHEET KEYNOTES

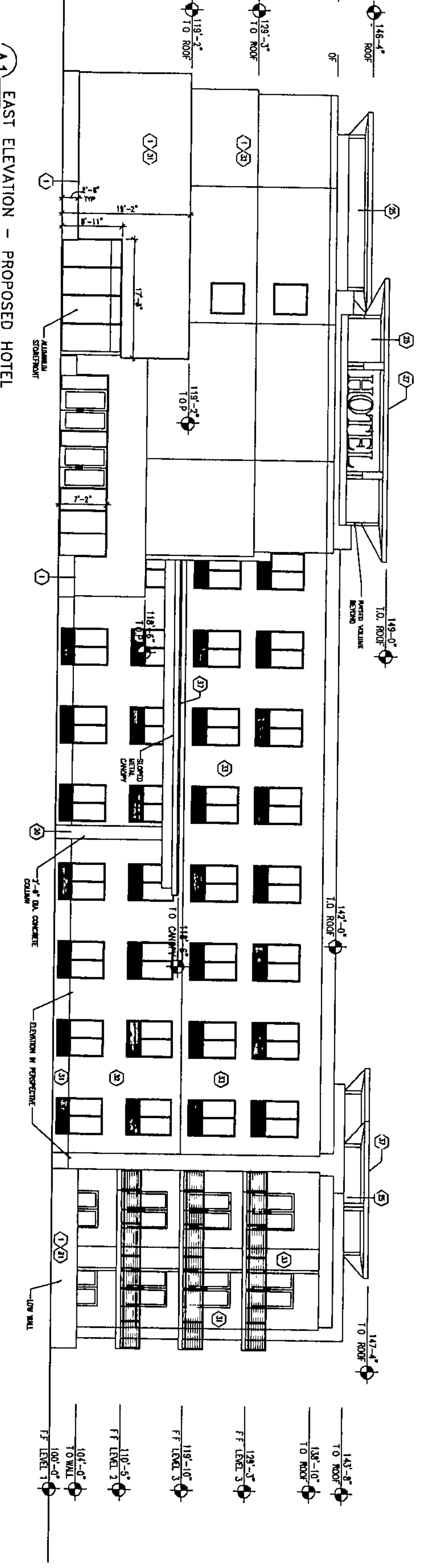
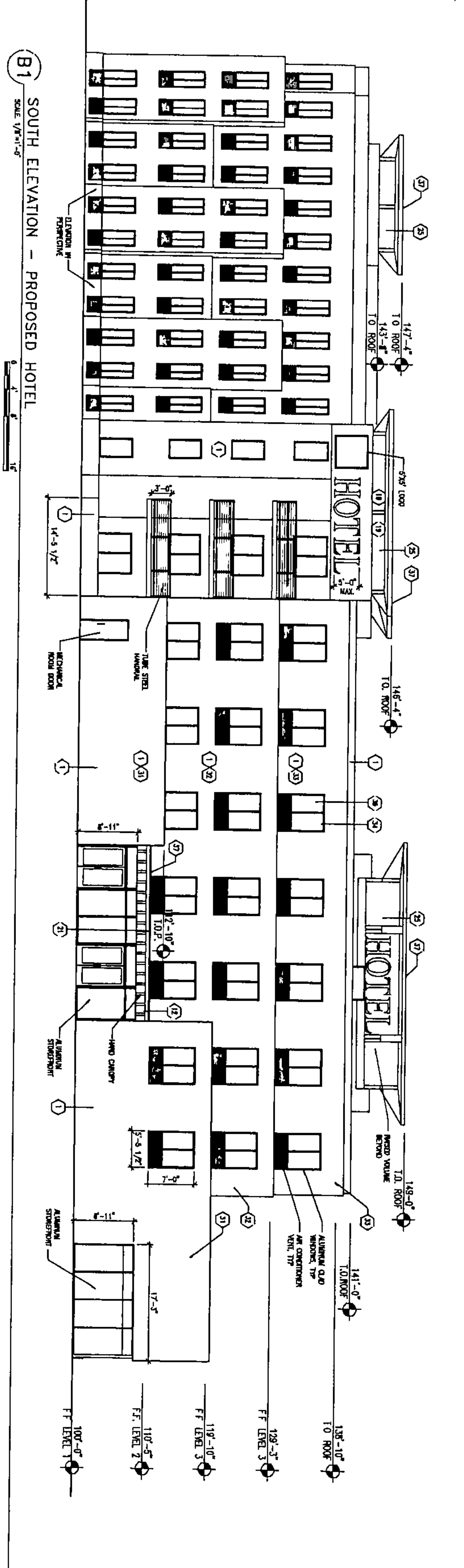
- STUBS ON 5" CONCRETE SCHEDULE ON 8" METAL DECK @ 18" O.C. WITH FOL. EXPOSED 1/2" INSULATION.
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- PRECAST CONCRETE CAP
- VERTICAL CAP
- NOT USED
- CHIMNEY WITH METAL ROOF PANELS, TYP
- PAINTED STEEL TUBE
- CONCRETE MASONRY UNITS
- STONE ON MASONRY SETTING BED ON 1/2" MASONRY APPLIED DIRECTLY TO CONCRETE MASONRY UNITS
- SHIELDED LIGHT FIXTURE
- TANKER/PAINT PANEL SYSTEM
- PRECAST CONCRETE COLUMN
- SUPPLEMENTARY SHAKE STRUCTURE - PAINTED STEEL
- NOT USED
- NOT USED
- CORNER METAL ROOF
- PAINTED INSULATED GLASS PANELS
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- STIPPLED COLOR 1
- STIPPLED COLOR 2
- STIPPLED COLOR 3
- CLEAR ANODIZED ALUMINUM FINISH
- BLU-GREY CORNICE PLATED INSULATED GLASS
- COLOR CHANGE - BUILDING OFFSET WALL 8"
- CLEAR ANODIZED METAL FINISH

GENERAL NOTES

- REFER TO GENERAL METAL SIGN CONTROL FOR SIGNAGE SIZES AND SPACING.
- THE MINIMUM APPROXIMATE LETTER SIZE OF ALL BUILDING MOUNTED SIGNS SHALL BE 2'-0" FROM EXPOSED METAL UNITS, TUBES, SWIRLS AND COLUMNS.
- PAINT ALL EXPOSED METAL UNITS, TUBES, SWIRLS AND COLUMNS.
- PAINT METALS AND COLORS WILL BE LOW REFLECTING AND WILL ADHERE TO PAINT OF COLOR.

COLOR LEGEND

	COLOR 31 - TENMA COTTON
	COLOR 32 - BEIGE
	COLOR 33 - LIGHT BEIGE



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 E-Mail: mail@studioarch.com

CONSULTANTS

Architect: _____
 Engineer: _____

DRB SUBMITTAL

PROPOSED HOTEL

INDIAN SCHOOL BLVD
 ALBUQUERQUE, NM

IPFDC
 MASTER PLAN

MARK	DATE	DESCRIPTION
ISSUE		DRB SET
PROJECT NO.		0510
CAD DWG FILE		DCSW
DRAWN BY		LB
CHECKED BY		RB
DATE:		7/21/06

SHEET TITLE
 EXTERIOR ELEVATIONS
 PROPOSED HOTEL

MATERIAL & COLOR LEGEND SHEET KEYNOTES GENERAL NOTES

MATERIAL	COLOR	KEYNOTE	DESCRIPTION
GLASS	CLEAR	1	STUCCO ON 5/8" DENSGLASS SHEATHING ON 1" METAL STUDS @ 16" O.C. WITH FOIL BACKED R-13 INSULATION.
STONEFRONT	LIGHT CREAM ALUMINUM	2	NOT USED
STONEFRONT DOORS	LIGHT CREAM ALUMINUM	3	NOT USED
METAL ROOFING	LIGHT GREY	4	NOT USED
METAL RAILING	LIGHT GREY POLYURETHANE PAINT	5	NOT USED
COLUMNS	RUST ALUMINUM OR CONCRETE	6	NOT USED
SHADE CANOPIES	LIGHT GREY POLYURETHANE PAINT	7	NOT USED
BICYCLE RACKS	RUST/BROWN	8	NOT USED
		9	NOT USED
		10	NOT USED
		11	PRECAST CONCRETE CAP
		12	METAL CAP
		13	NOT USED
		14	CANOPY WITH METAL ROOF PANELS, TYP
		15	PAINTED STEEL TUBE
		16	CONCRETE MASONRY UNITS
		17	STONE ON MORTAR SETTING BED ON 1/2" MORTAR APPLIED DIRECTLY TO CONCRETE MASONRY UNITS
		18	SHIELDED LIGHT FIXTURE
		19	TRANSLUCENT PANEL SYSTEM
		20	PRECAST CONCRETE COLUMN
		21	SUSPENDED SHADE STRUCTURE - PAINTED STEEL
		22	NOT USED
		23	NOT USED
		24	CURVED METAL ROOF
		25	FROSTED INSULATED GLASS PANELS
		26	NOT USED
		27	NOT USED
		28	NOT USED
		29	NOT USED
		30	NOT USED
		31	STUCCO COLOR 1 TERRA COTTA
		32	STUCCO COLOR 2 BEIGE
		33	STUCCO COLOR 3 LIGHT BEIGE
		34	CLEAR ANODIZED WINDOW FRAME
		35	BLUE-GREEN DOUBLE GLAZED INSULATED GLASS
		36	COLOR CHANGE - BUILDING OFFSET MIN. 1"
		37	CLEAR ANODIZED METAL FINISH

- GENERAL NOTES
- A. REFER TO GENERAL METAL SIGN CRITERIA FOR SIGNAGE SIZES AND STANDARDS.
 - B. THE MAXIMUM INDIVIDUAL LETTER SIZE OF ALL BUILDING MOUNTED SIGNS SHALL BE 2'-0" HIGH. LOGO SIGNS SHALL NOT EXCEED 2'-8" IN HEIGHT OR WIDTH.
 - C. PAINT ALL EXPOSED METAL LINTELS, TUBES, SHAPES AND COLUMNS.
 - D. FACADE MATERIALS AND COLORS WILL BE LOW REFLECTING AND WILL ADHERE TO PALETTE OF COLORS.

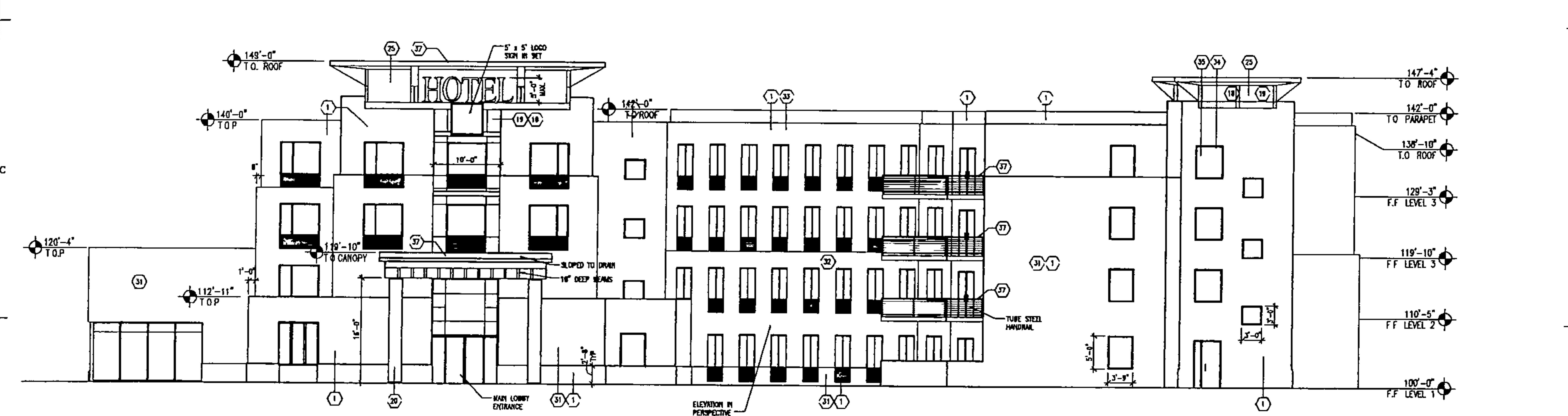
COLOR LEGEND

	COLOR 31 - TERRA COTTA
	COLOR 32 - BEIGE
	COLOR 33 - LIGHT BEIGE

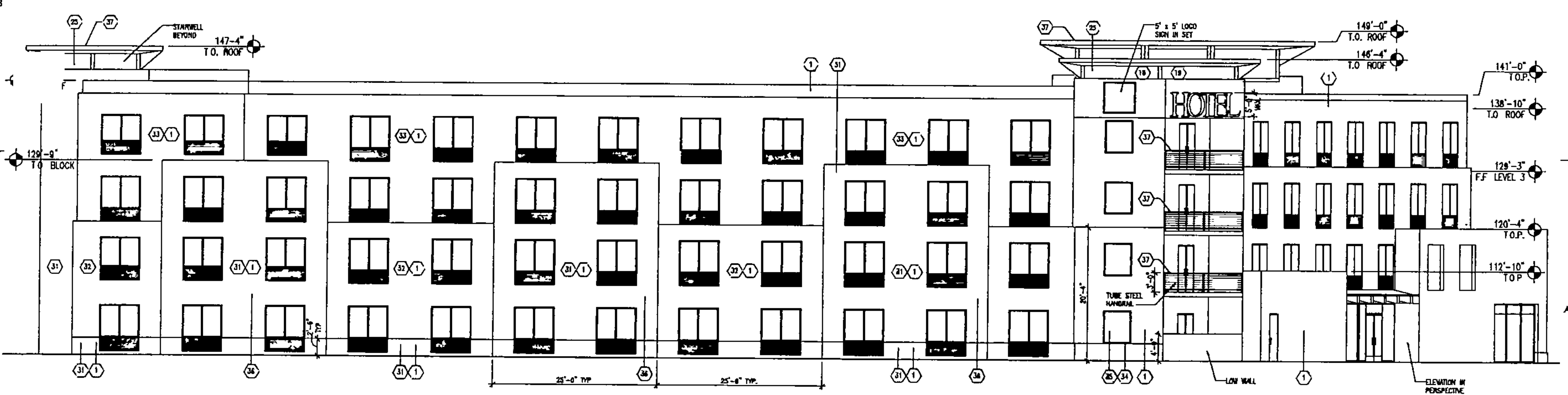
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B1 NORTH - EAST ELEVATION - PROPOSED HOTEL
SCALE: 1/8"=1'-0"



A1 WEST ELEVATION - PROPOSED HOTEL
SCALE: 1/8"=1'-0"

CONSULTANTS

Architect Engineer

DRB
SUBMITTAL

PROPOSED HOTEL
INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

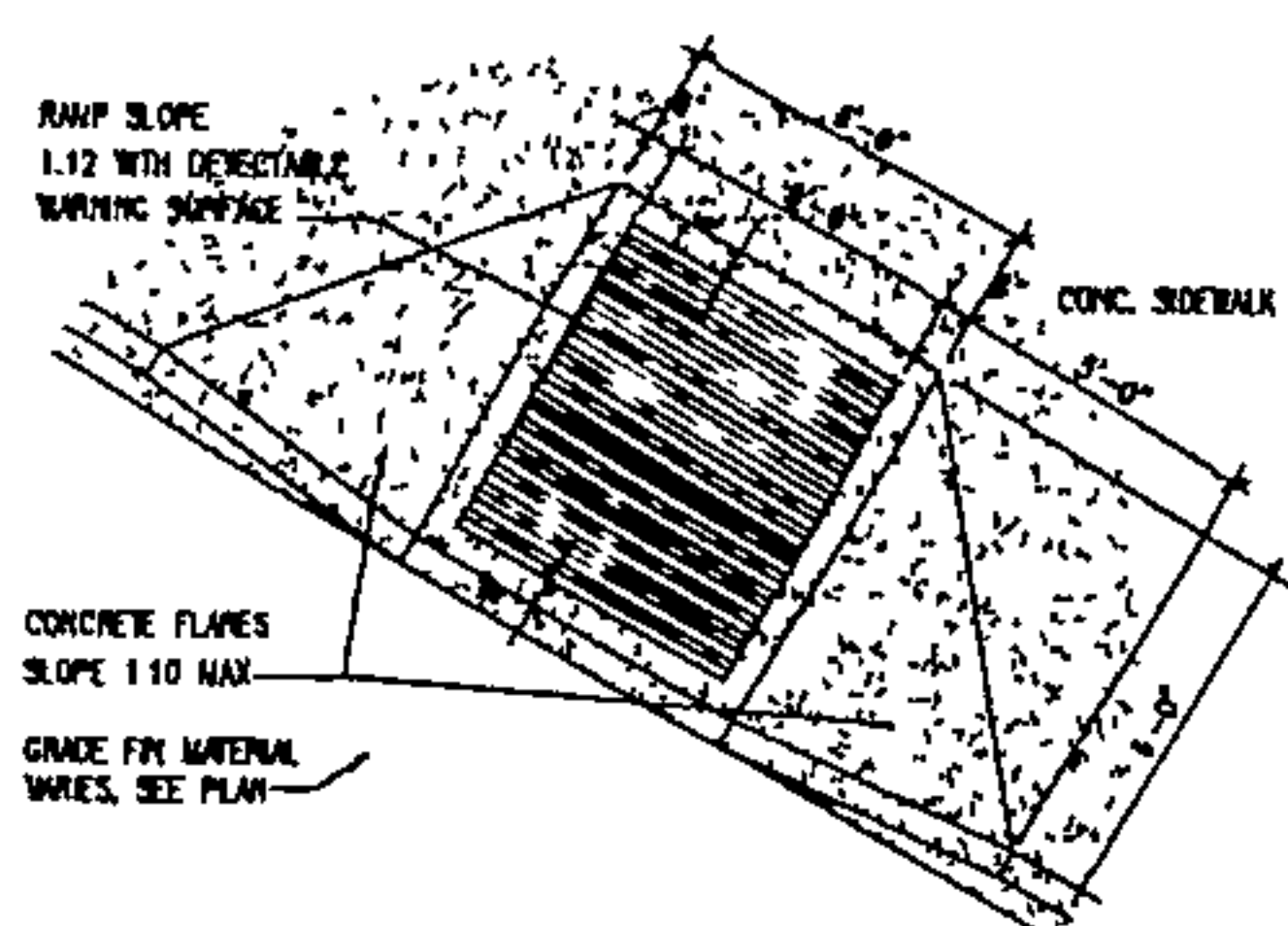
IPFDC
MASTER PLAN

MARK	DATE	DESCRIPTION

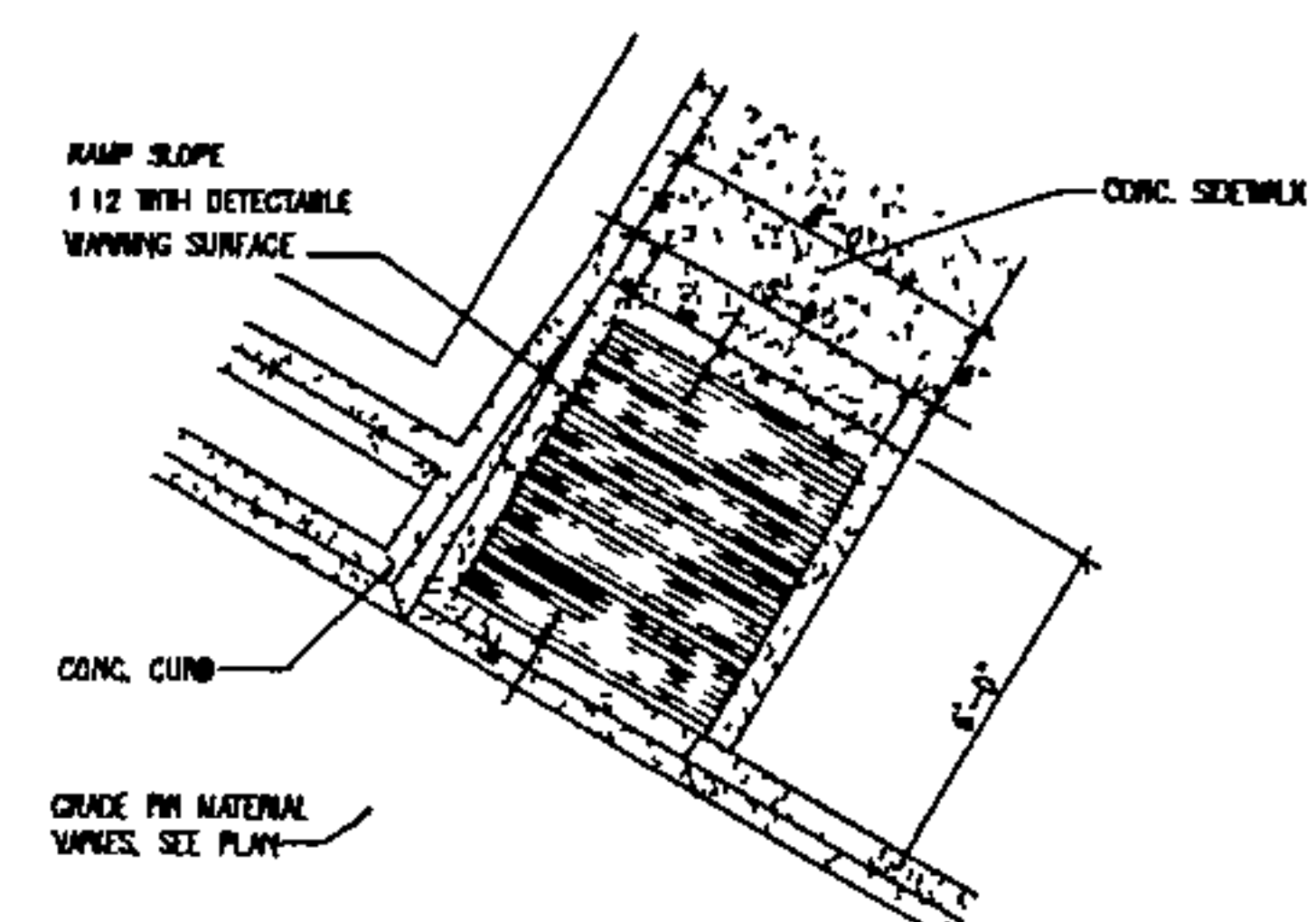
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PROJECT NO:	0510
CAD DWG FILE:	DCSW
DRAWN BY:	LJ
CHECKED BY:	RB
DATE:	7/21/06

SHEET TITLE

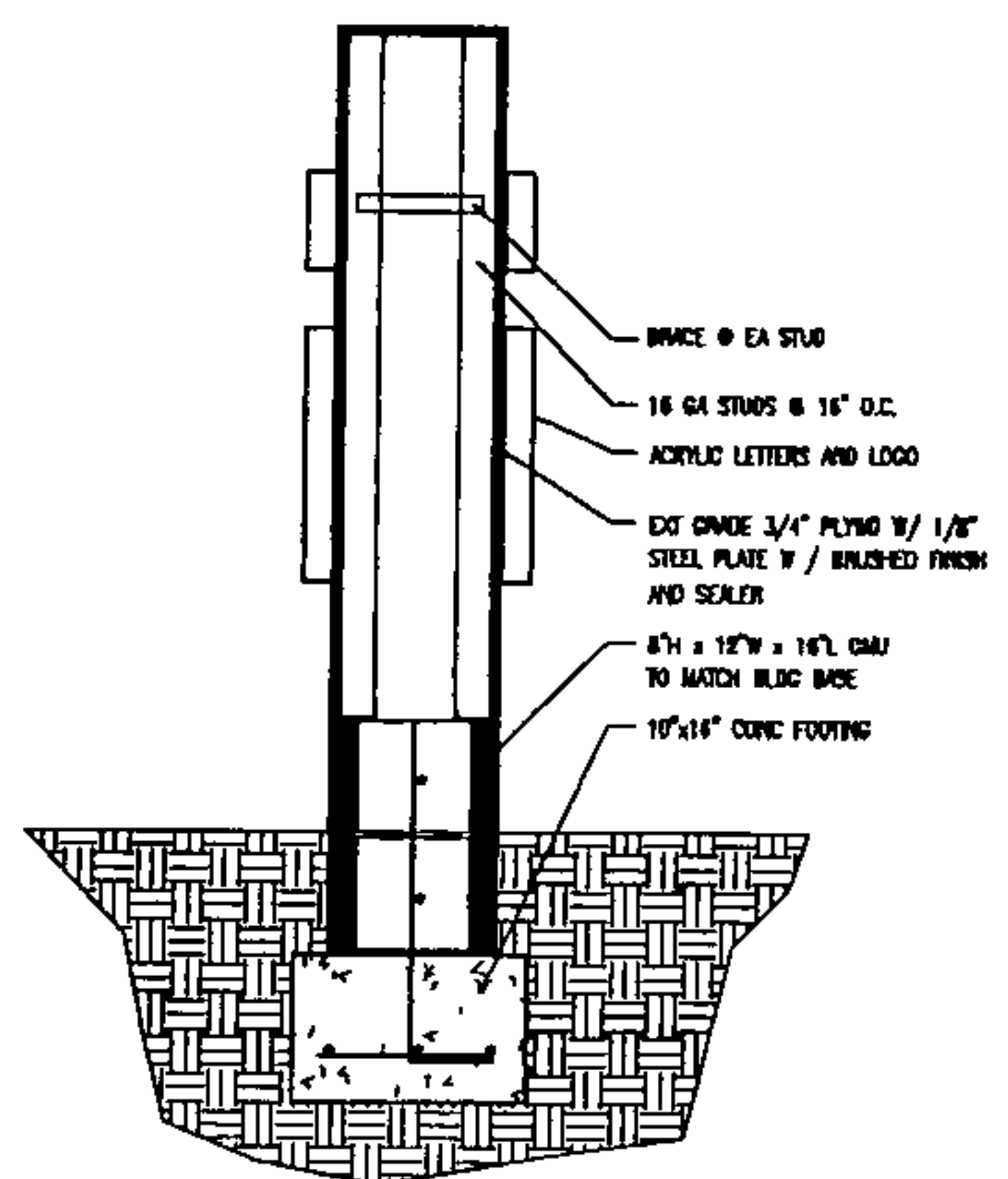
EXTERIOR
ELEVATIONS
PROPOSED HOTEL



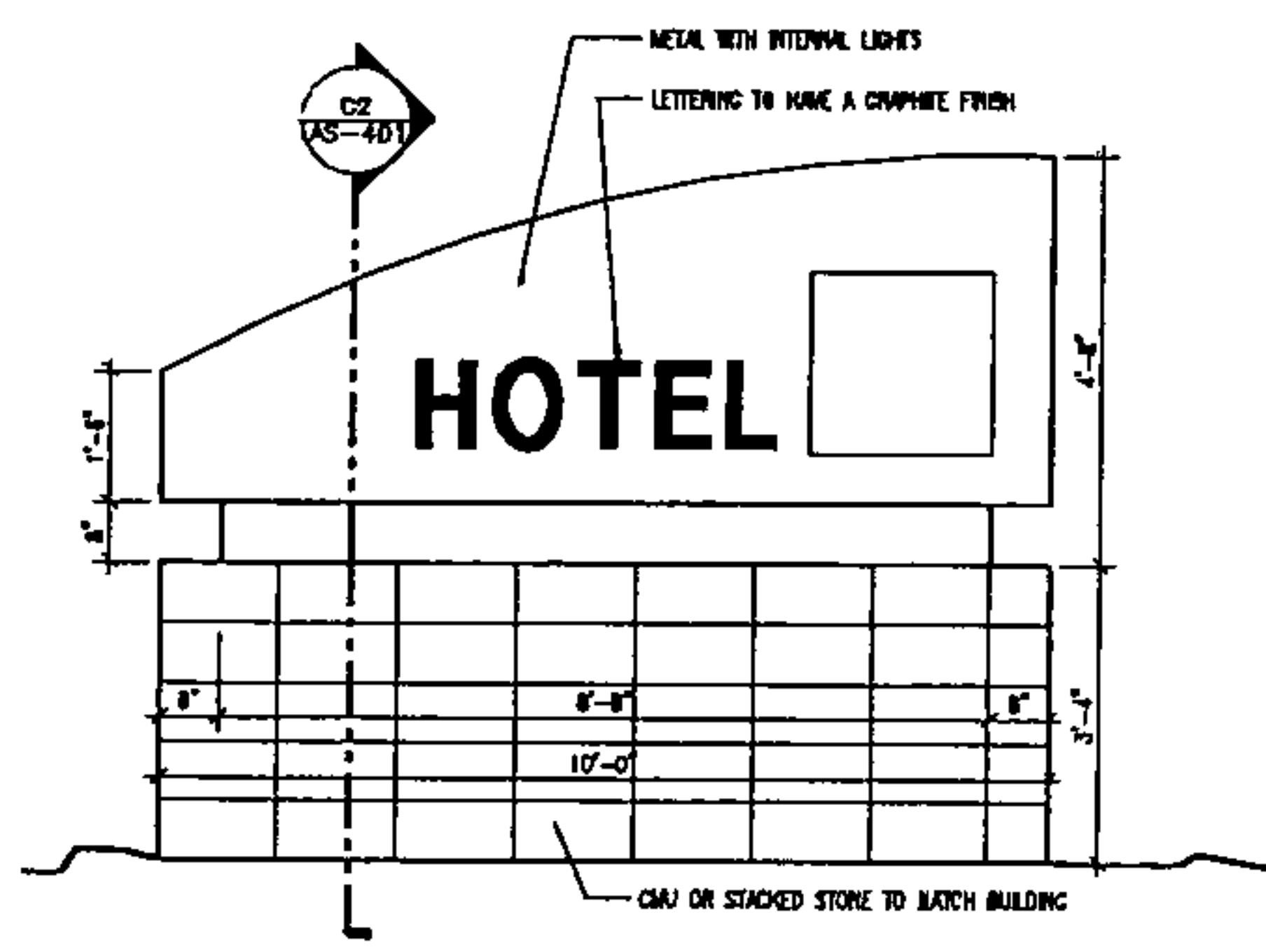
D1 HC RAMP
SCALE: 1/4"=1'-0"



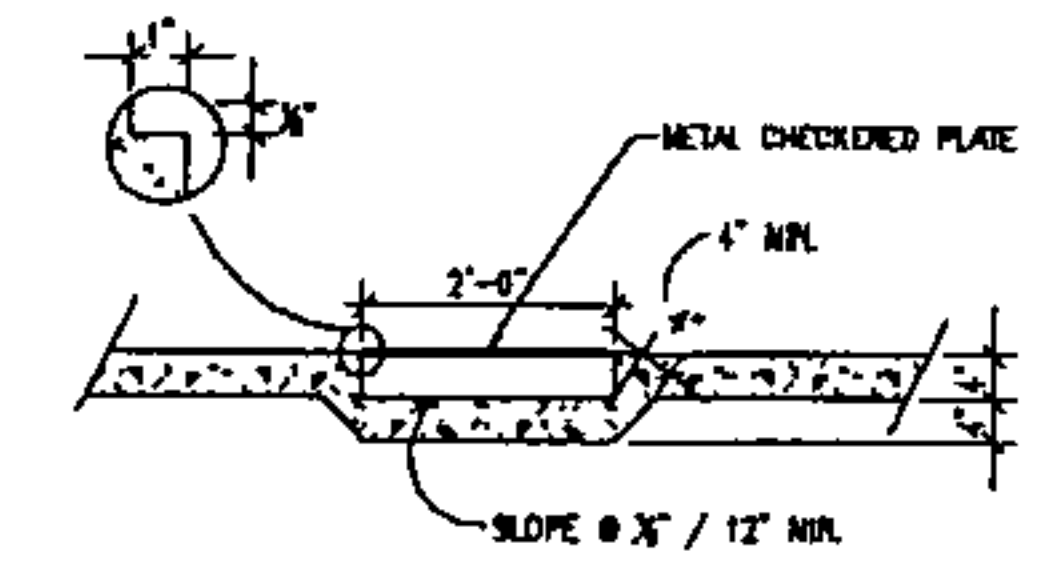
C1 HC RAMP DETAIL
SCALE: 3/32"=1'-0"



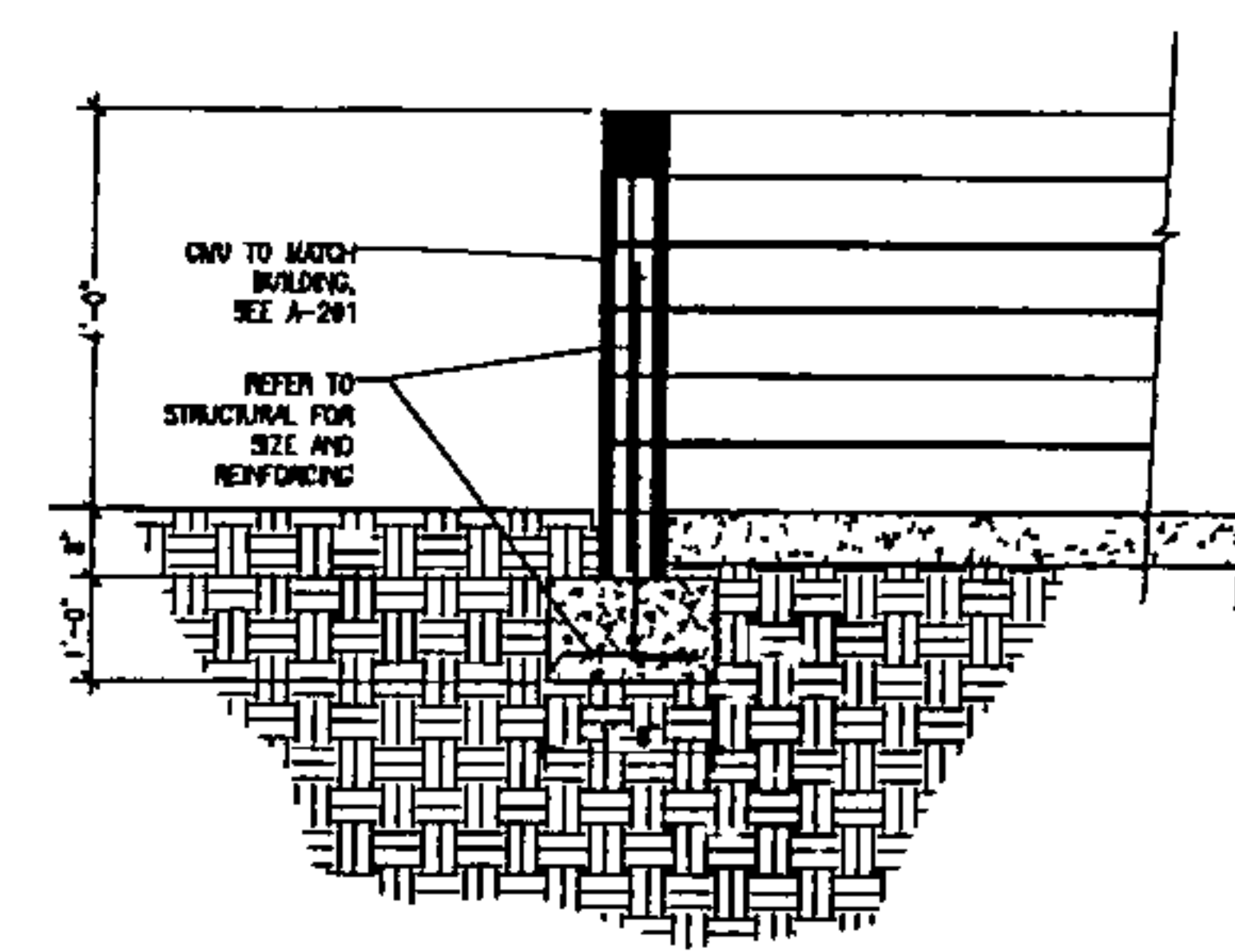
C2 MONUMENT SIGN DETAIL
SCALE: 1/4"=1'-0"



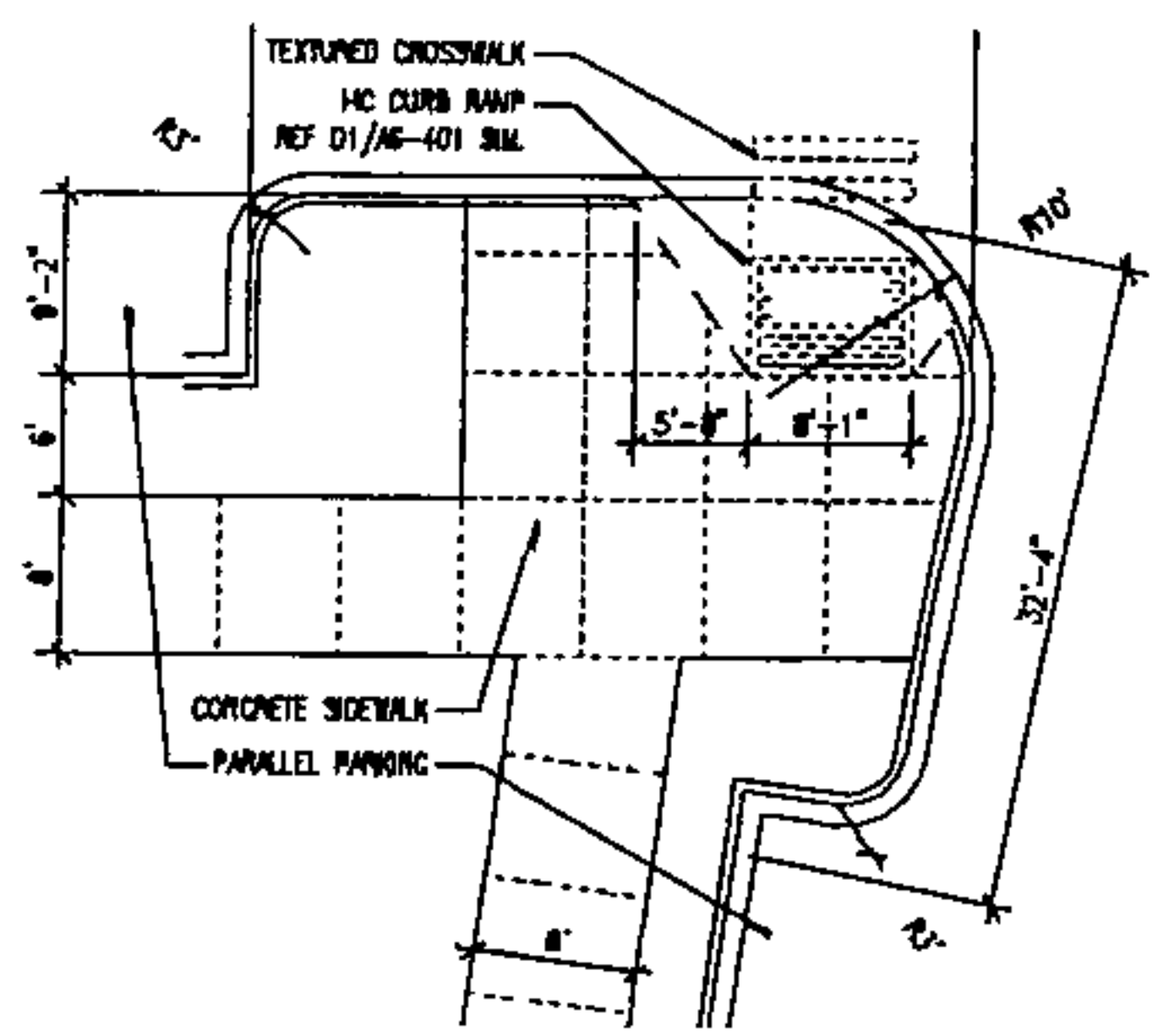
C3 MONUMENT SIGN DETAIL
SCALE: 1/2"=1'-0"



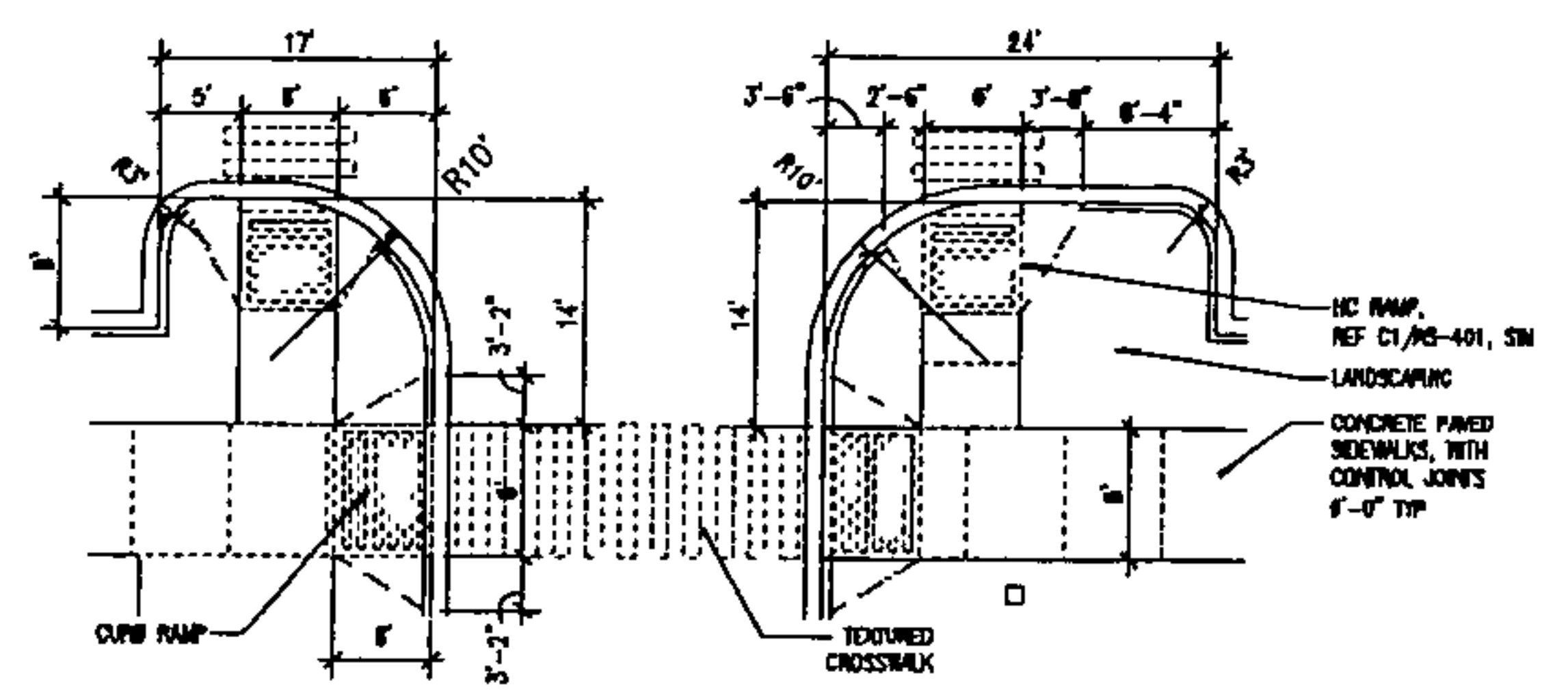
D4 SIDEWALK CULVERT DETAIL
SCALE: 1/2"=1'-0"



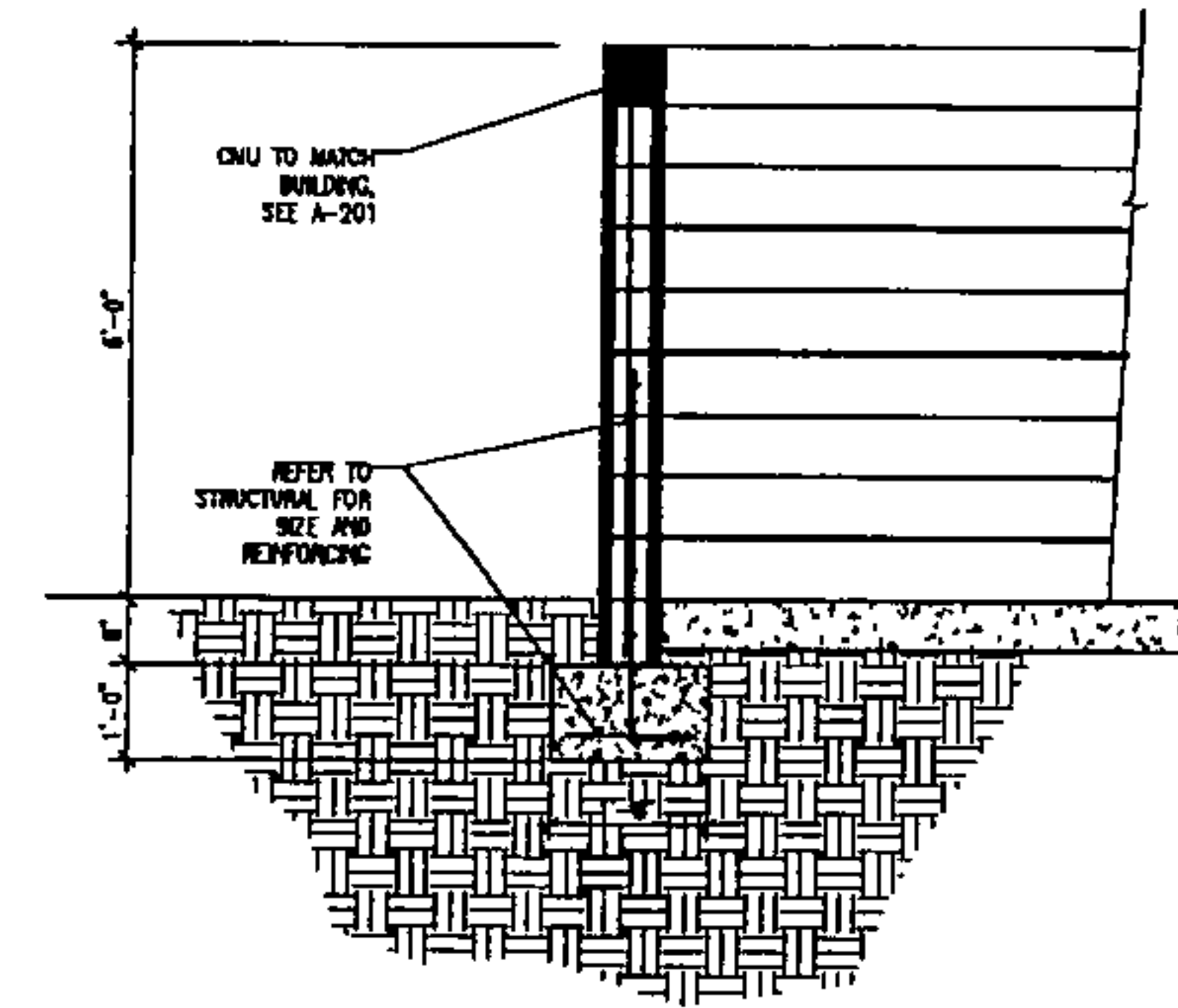
C4 4'-0" SCREEN WALL
SCALE: 1/2"=1'-0"



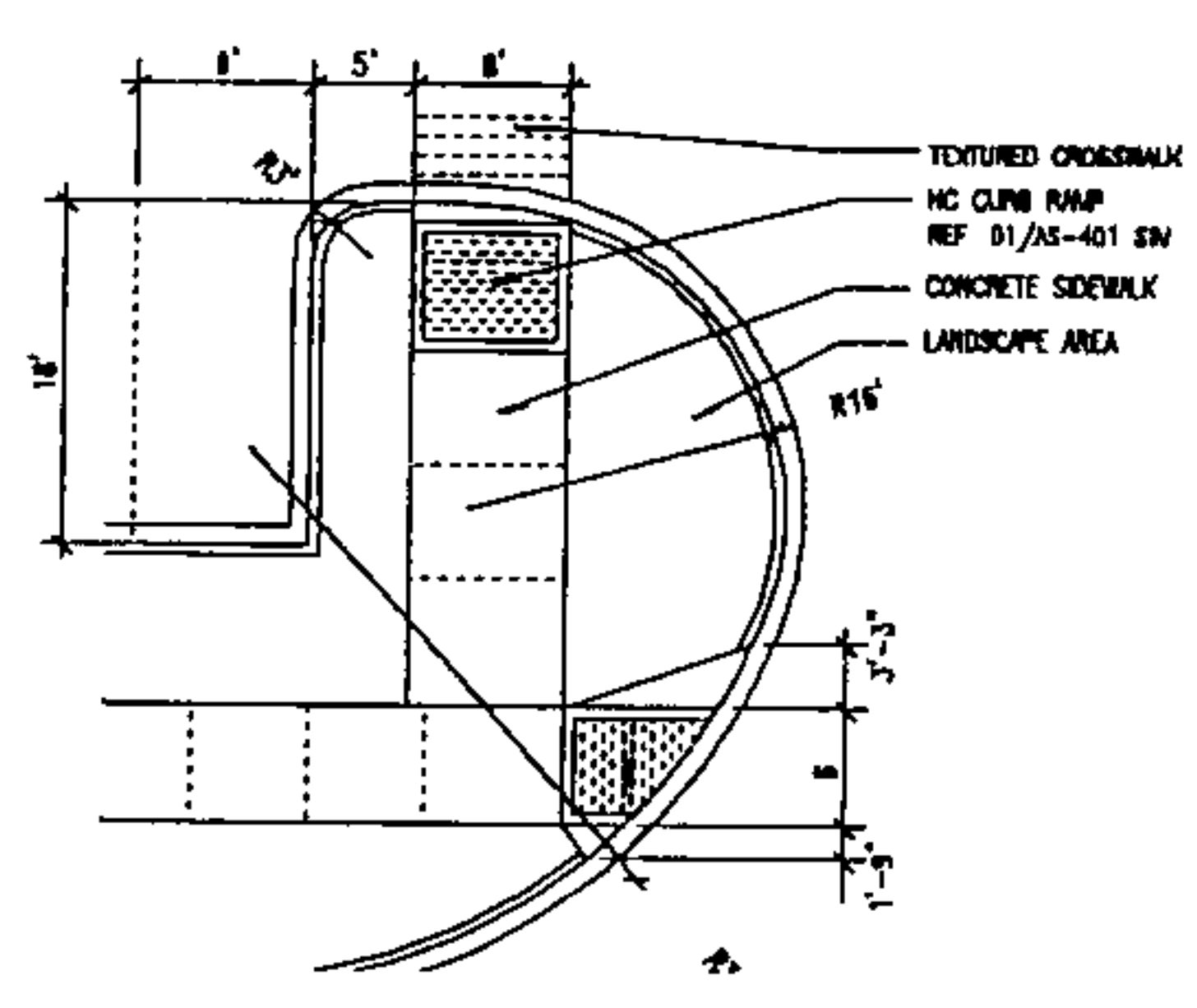
B1 ENLARGED PARTIAL SITE PLAN DETAIL
SCALE: 3/32"=1'-0"



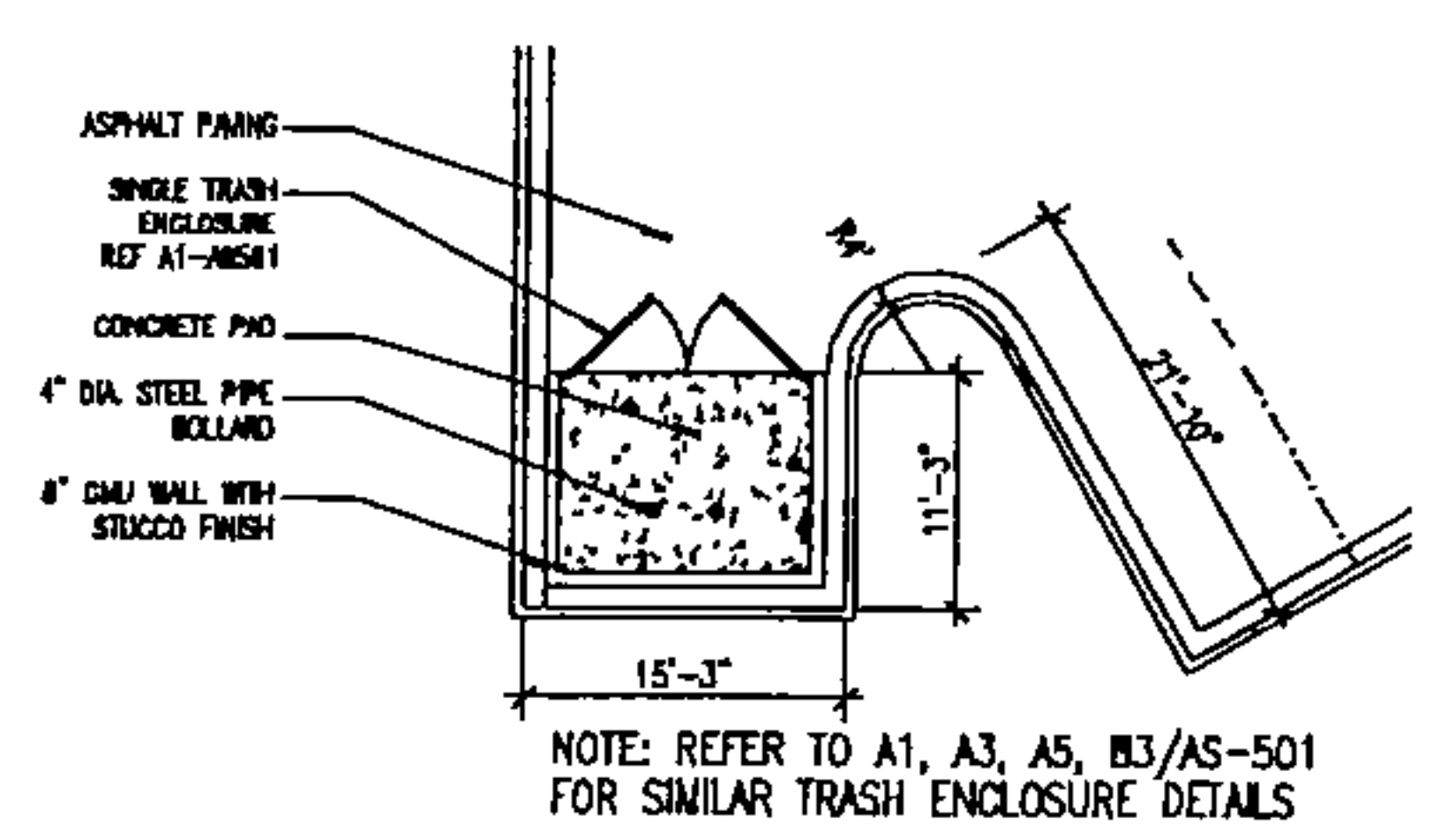
B2 ENLARGED PARTIAL SITE PLAN DETAIL
SCALE: 3/32"=1'-0"



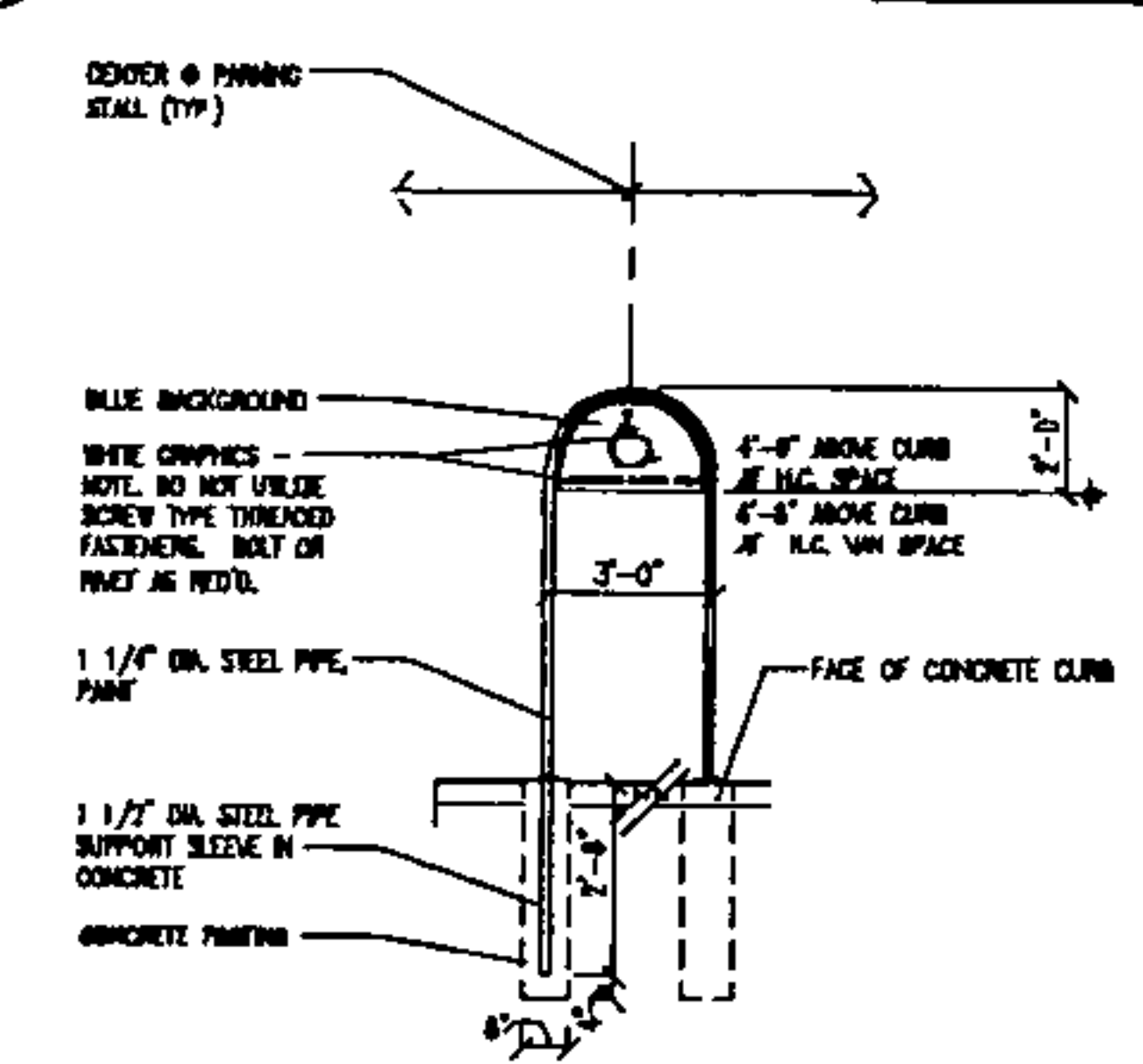
B4 6'-0" SCREEN WALL
SCALE: 1/2"=1'-0"



A1 ENLARGED PARTIAL SITE PLAN DETAIL
SCALE: 3/32"=1'-0"



A2 ENLARGED TRASH ENCLOSURE DETAIL
SCALE: 3/32"=1'-0"



A4 ENLARGED HANDICAPPED SIGN
SCALE: 3/32"=1'-0"

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Architect Engineer

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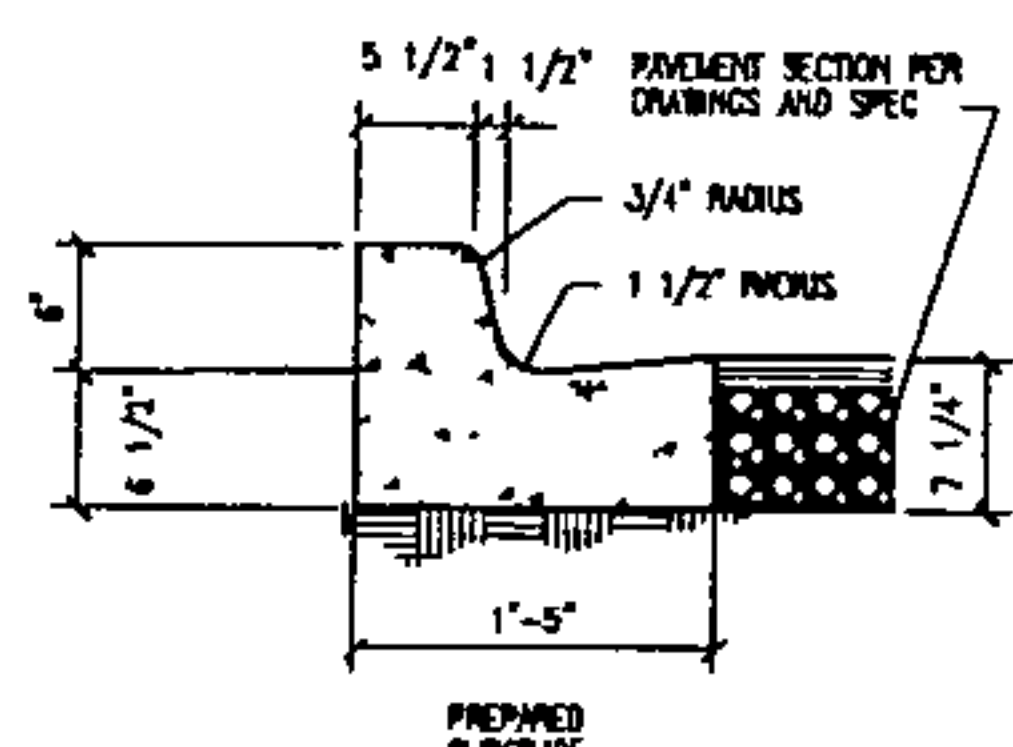
INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC
MASTER PLAN

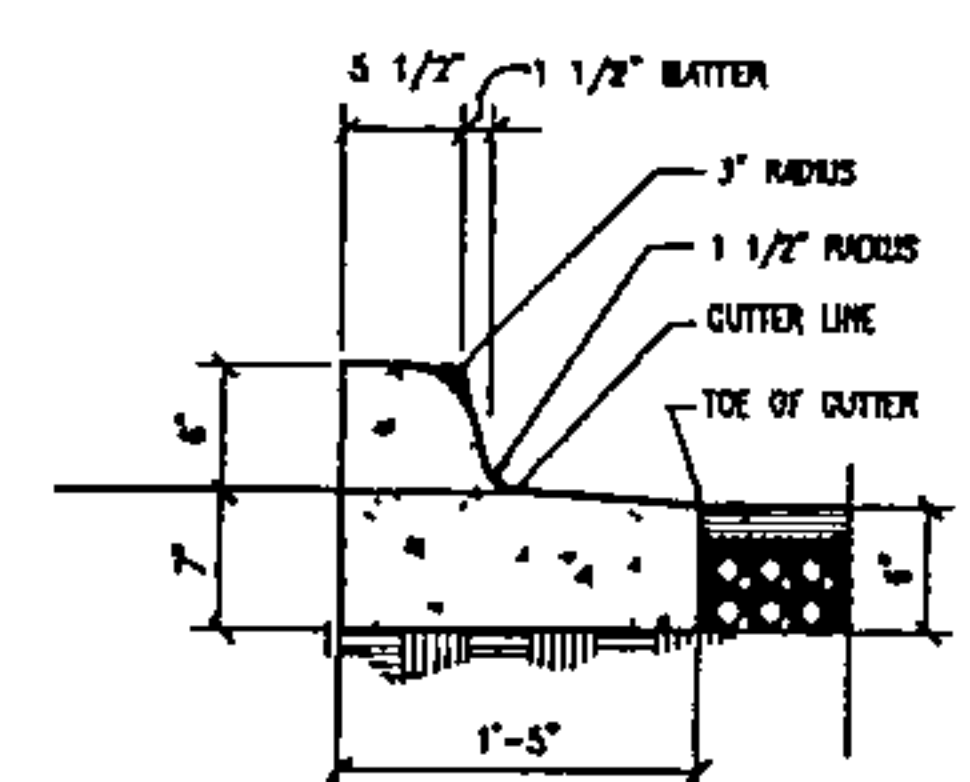
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PROJECT NO		0510
CAD DWG FILE		0108AS-4D1.dwg
DRAWN BY		LJ
CHECKED BY:		RB
DATE:		7/21/06

SHEET TITLE
ARCHITECTURAL
SITE DETAILS

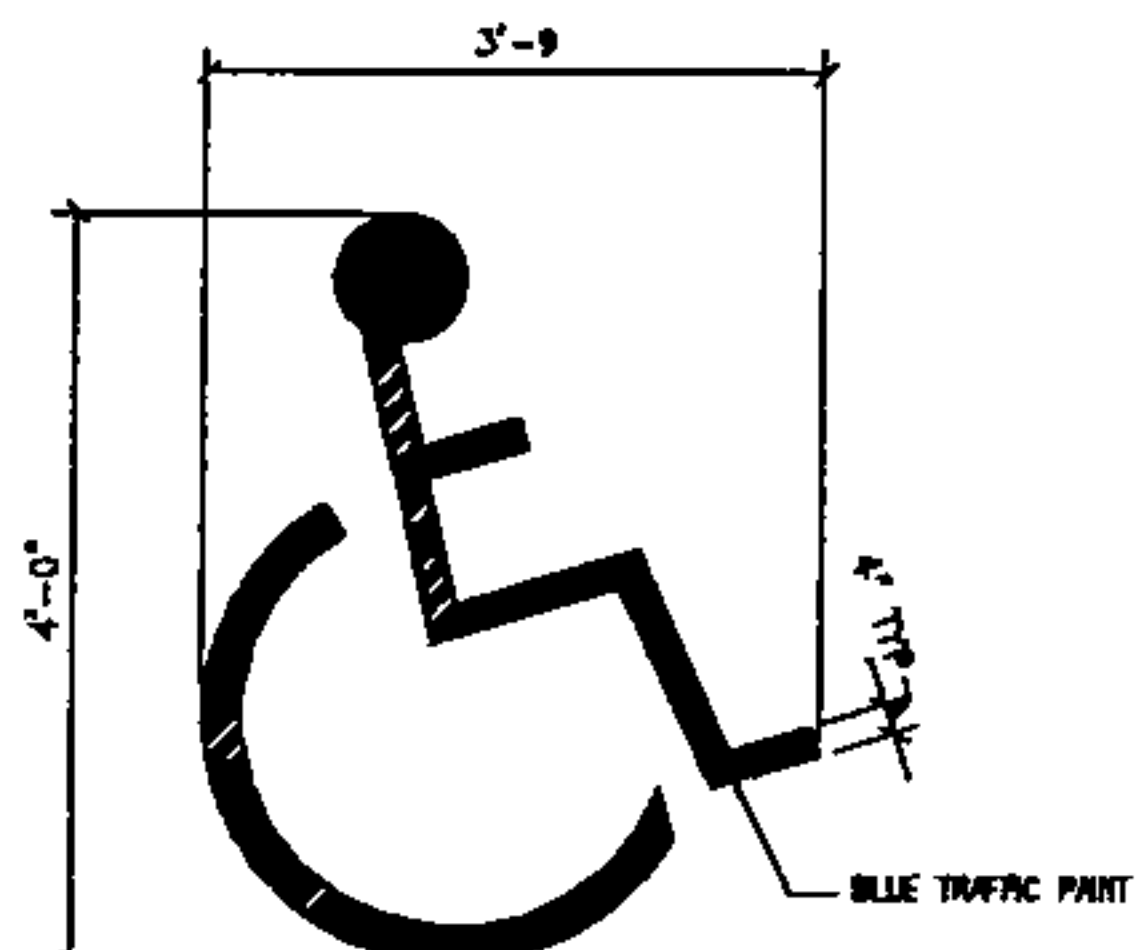
AS401
sheet of sheets



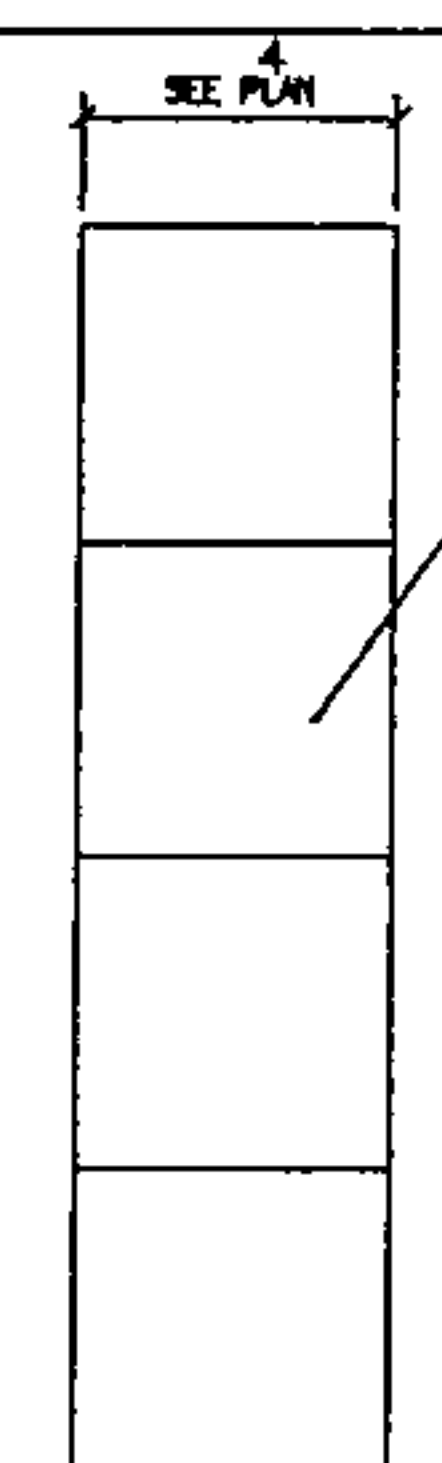
D1 6" CURB AND GUTTER
SCALE: 1/4"=1'-0"



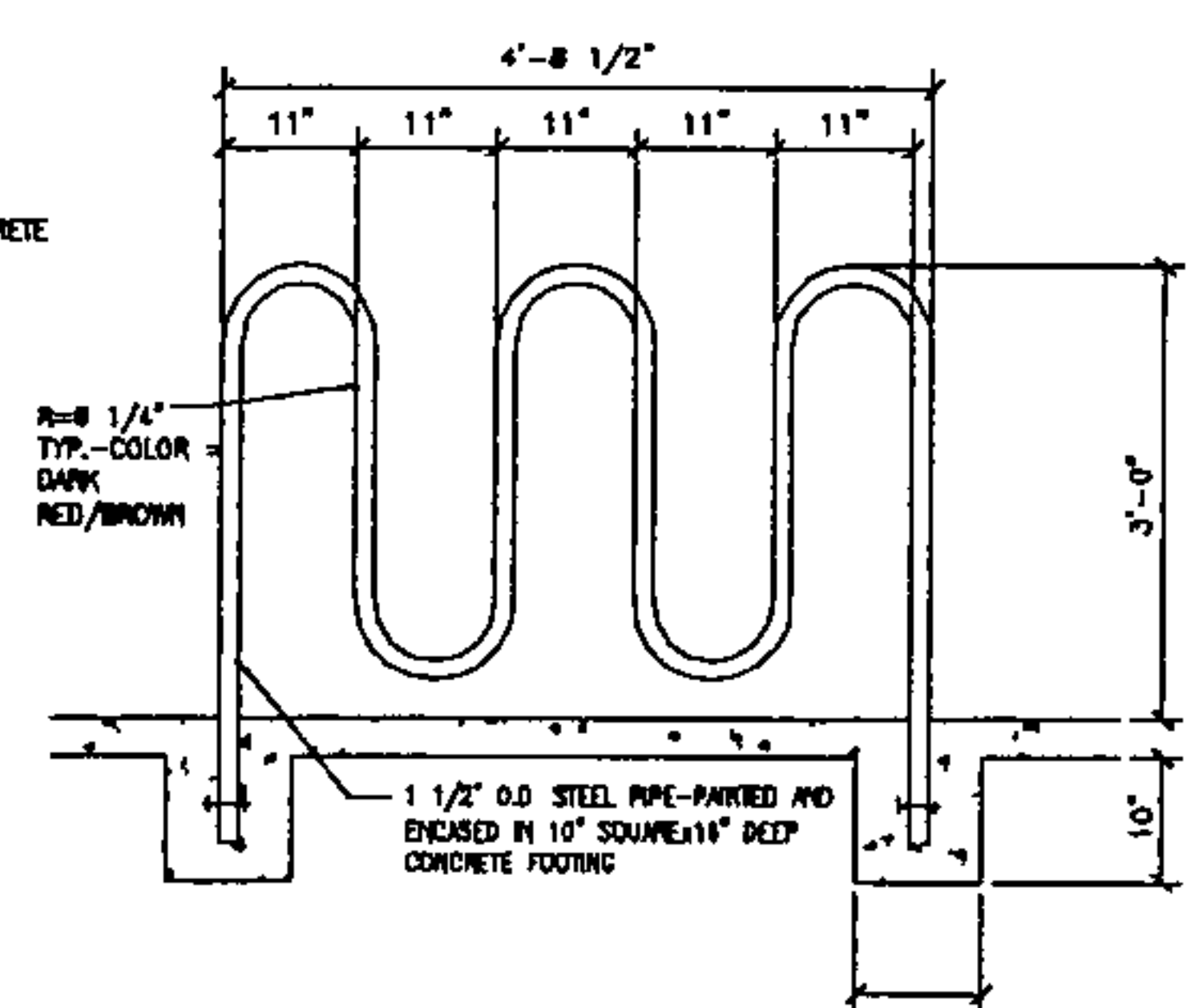
D2 DEPRESSED CURB AND GUTTER
SCALE: 1/4"=1'-0"



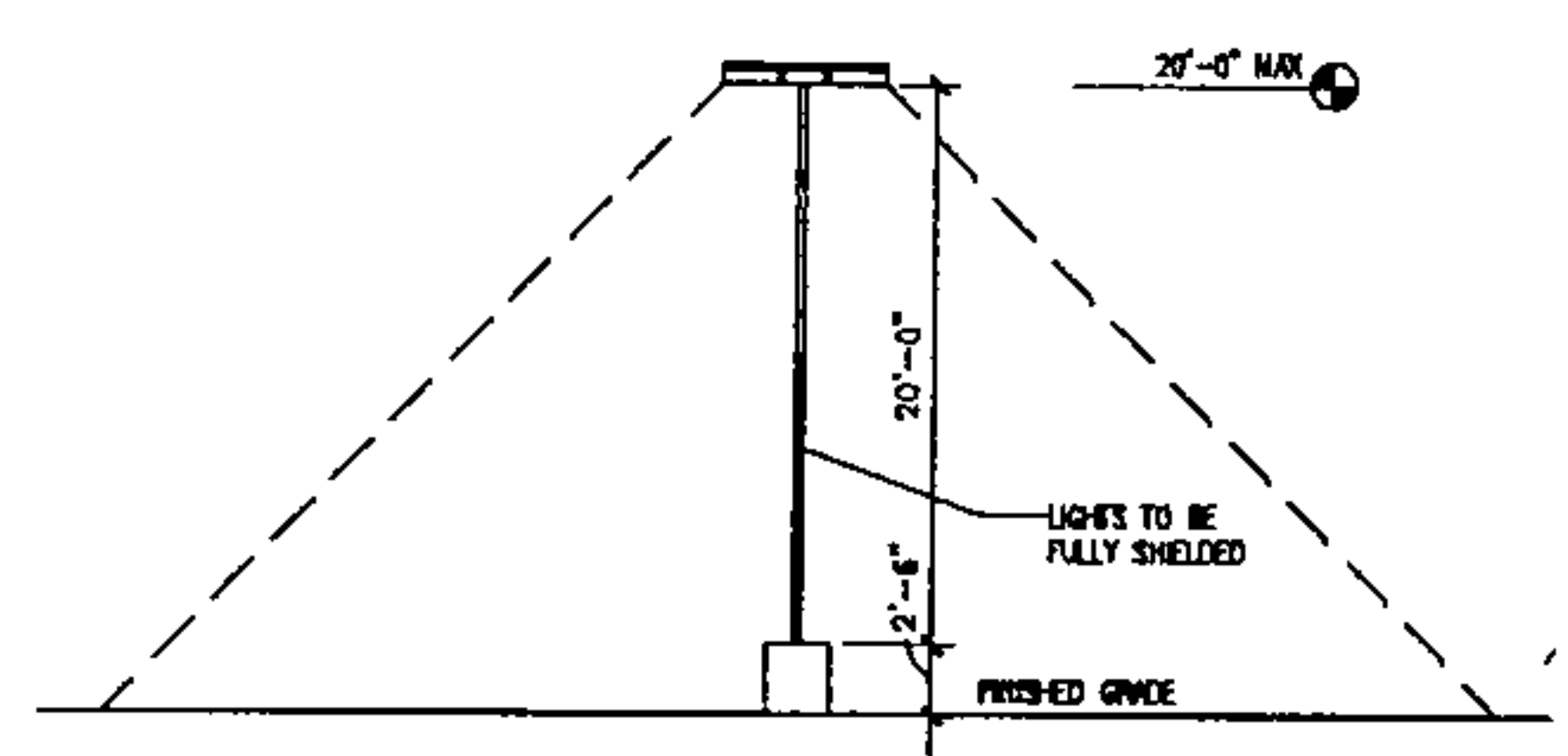
D3 H.C. PAVEMENT SIGN
SCALE: 3/4"=1'-0"



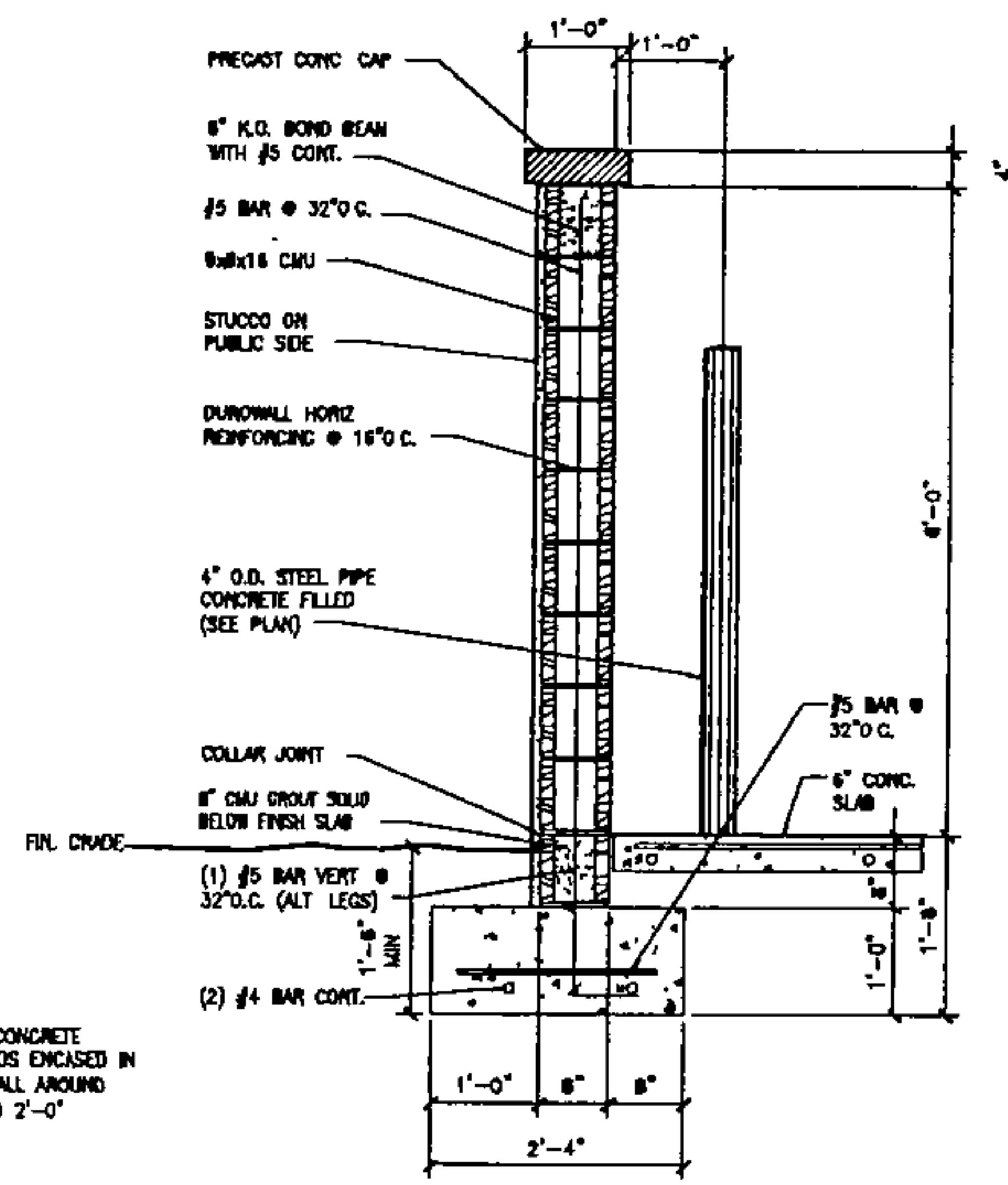
D4 H.C. PARKING STRIPING
SCALE: 1/4"=1'-0"



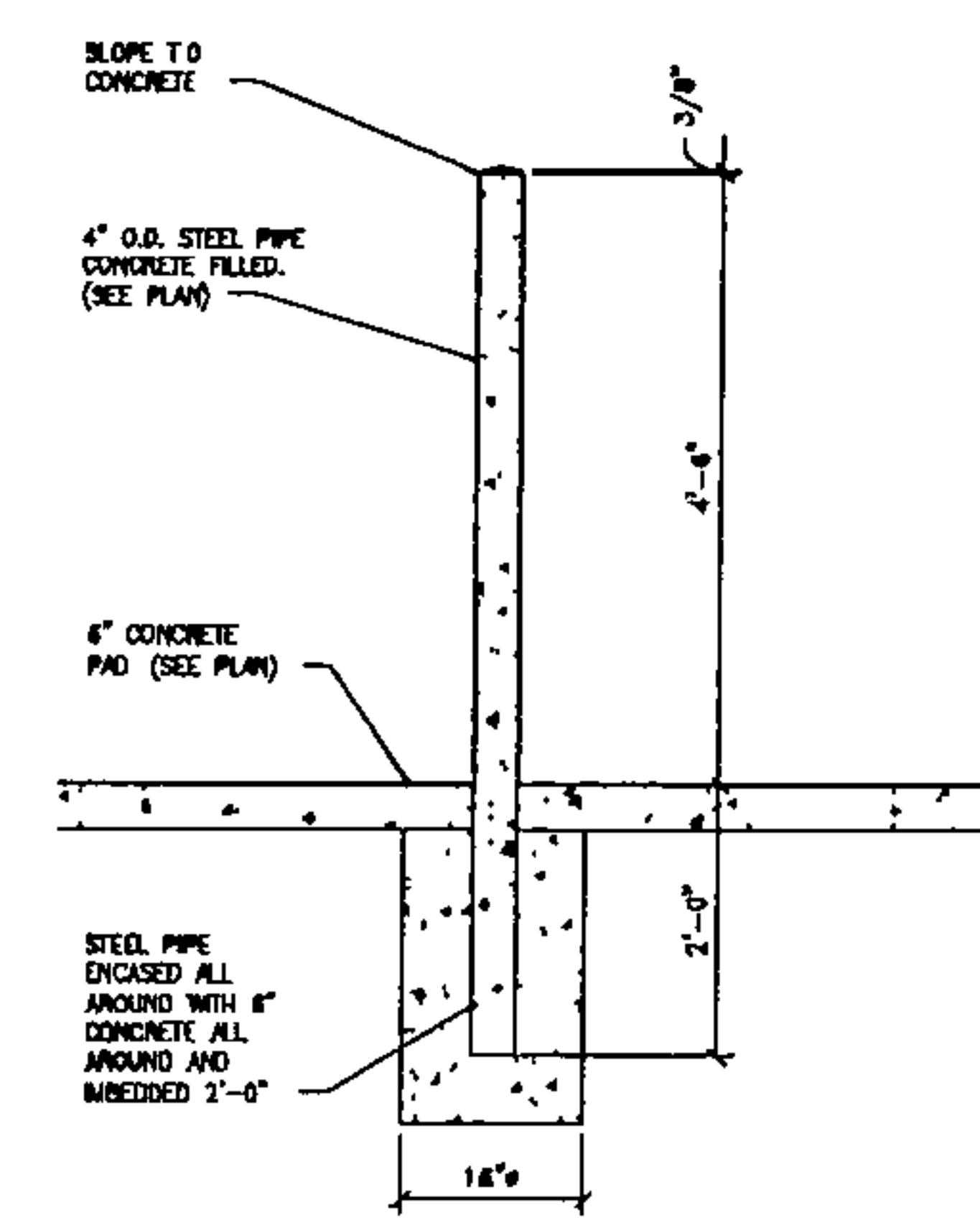
D5 BIKE RACK
SCALE: 3/4"=1'-0"



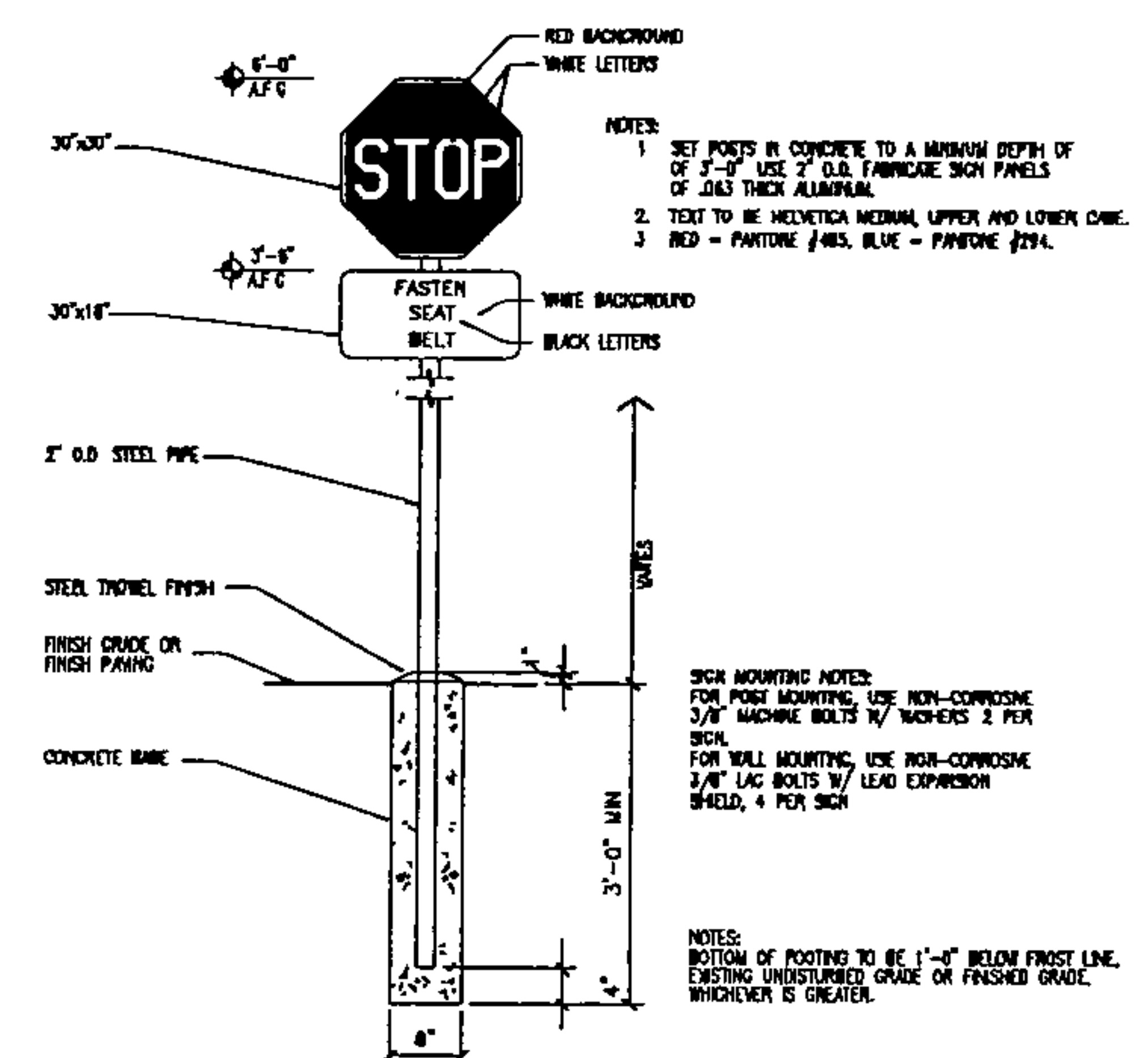
C1 SITE LIGHTING DETAIL
SCALE: 1/8"=1'-0"



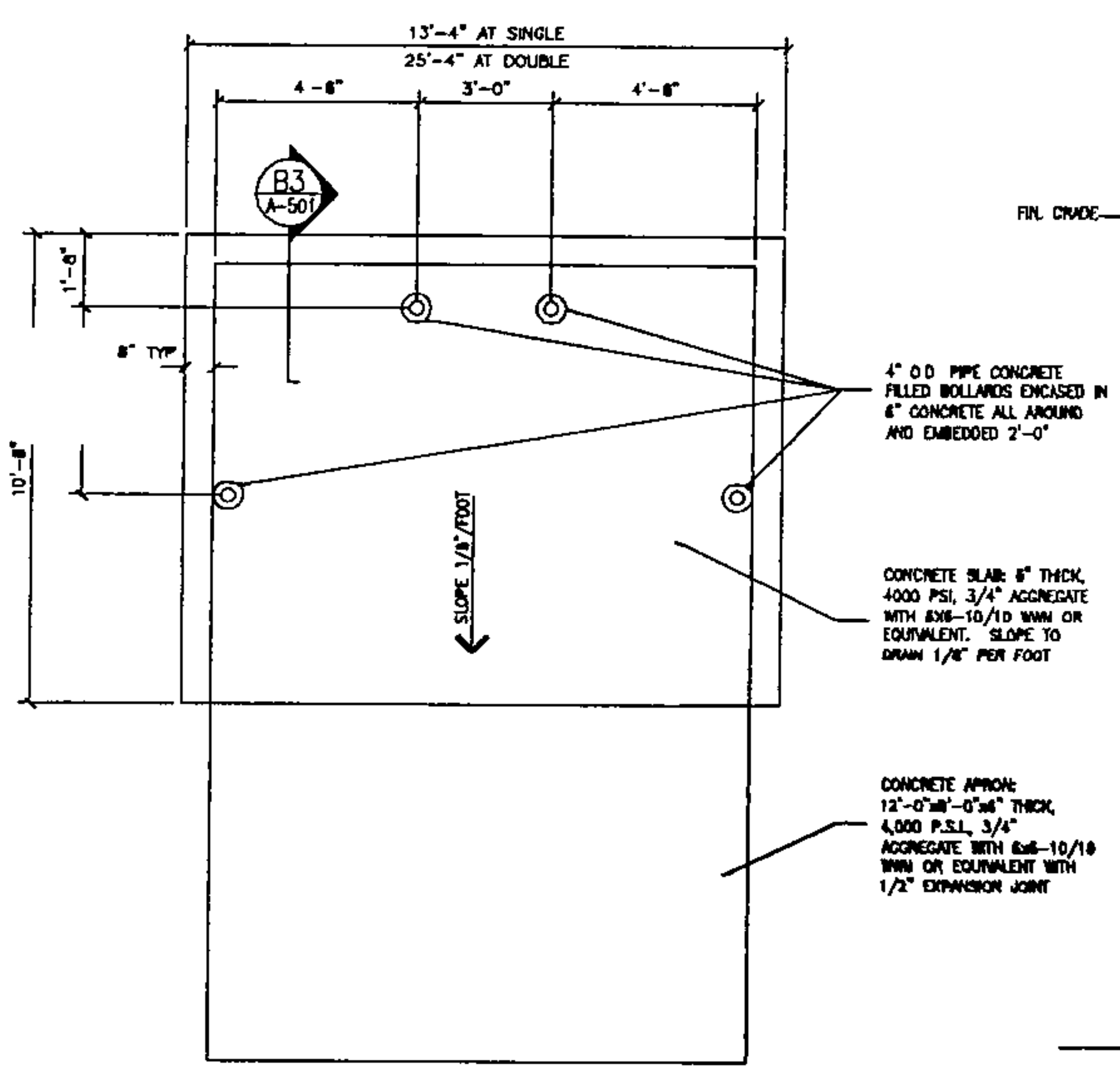
B3 TRASH ENCLOSURE DETAILS
SCALE: 3/4"=1'-0"



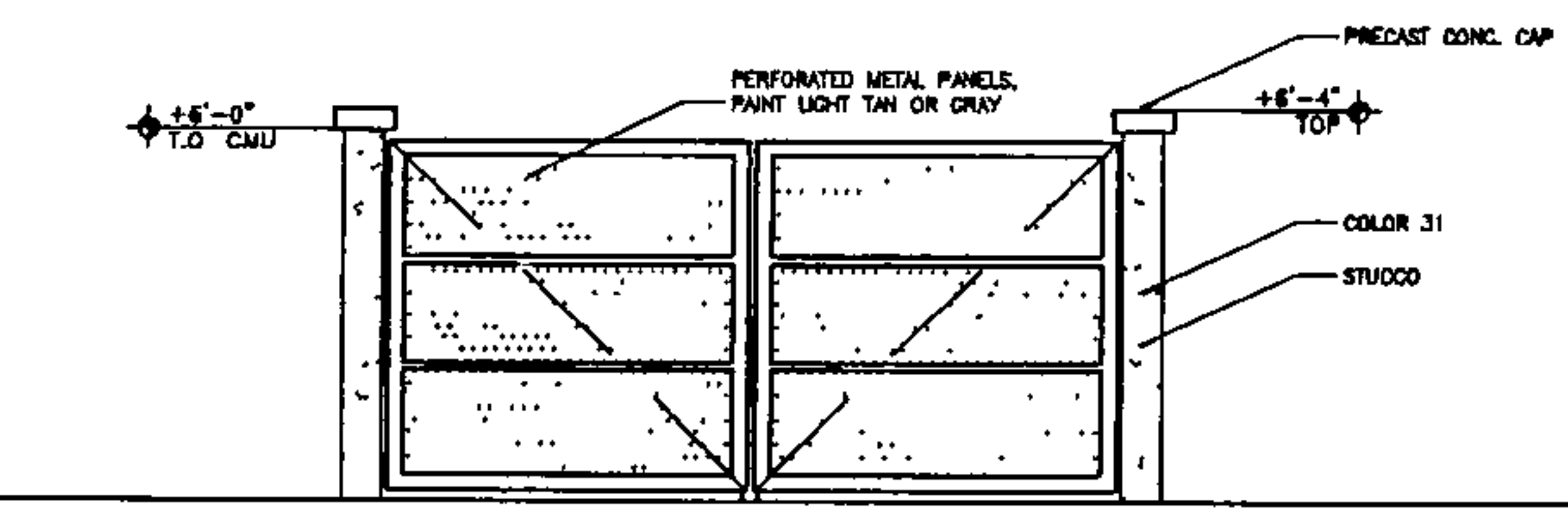
B4 TYP. BOLLARD DETAIL
SCALE: 3/4"=1'-0"



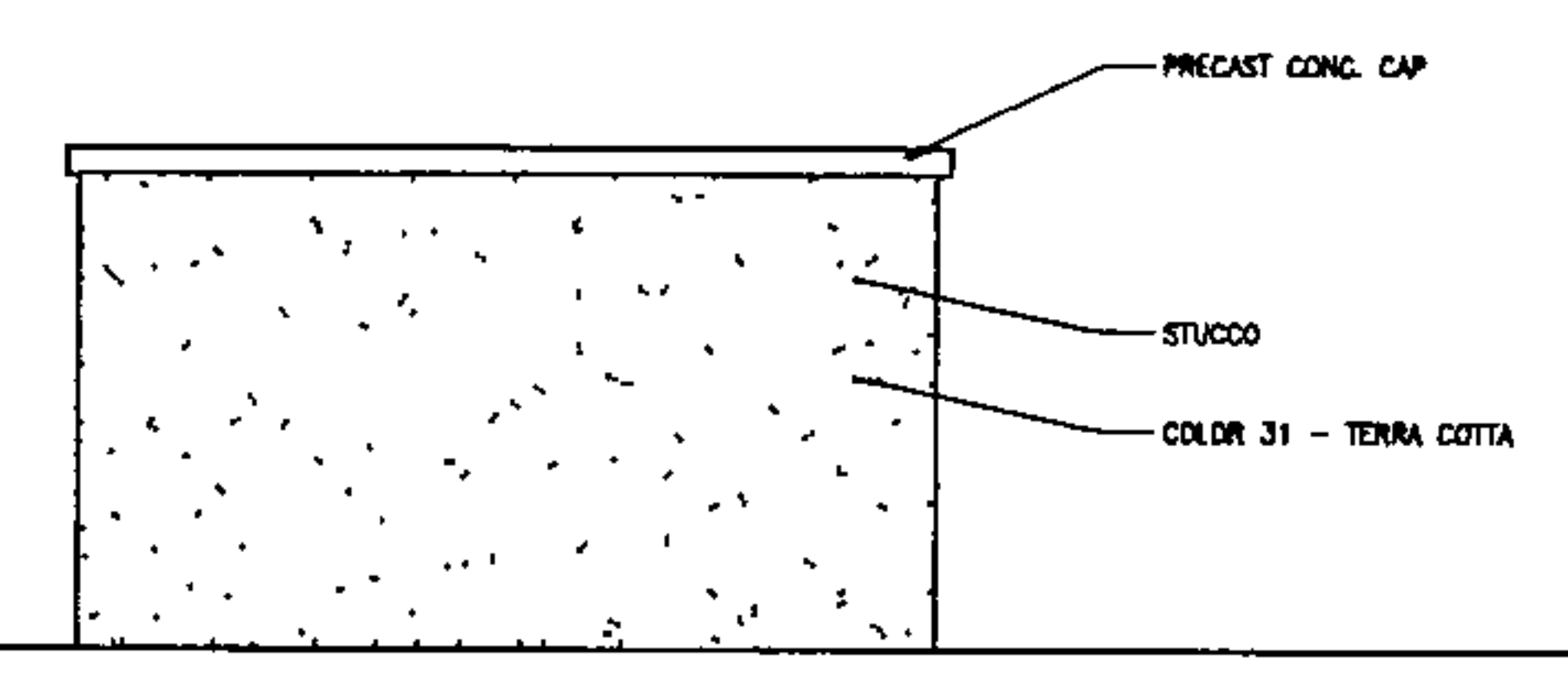
B5 STOP SIGN
SCALE: 3/4"=1'-0"



A1 TRASH ENCLOSURE PLAN
SCALE: 3/8"=1'-0"



A3 TRASH ENCLOSURE FRONT ELEVATION
SCALE: 3/8"=1'-0"



A5 TRASH ENCLOSURE SIDE ELEVATION
SCALE: 3/8"=1'-0"



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CONSULTANTS

Architect Engineer

DRB SUBMITTAL

PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC
MASTER PLAN

MARK	DATE	DESCRIPTION
ISSUE		DRB SET
PROJECT NO		0510
CAD DWG FILE		0108AS501.dwg
DRAWN BY		LJ
CHECKED BY		RB
DATE:		7/21/06

SHEET TITLE
ARCHITECTURAL SITE DETAILS

sheet **AS501** of . sheets

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Architect Engineer



PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC
MASTER PLAN

MARK	DATE	DESCRIPTION
ISSUE		DRB SET
PROJECT NO		0510
CAD DWG FILE:		
DRAWN BY:		
CHECKED BY:		
DATE:	7/21/06	

SHEET TITLE
CONCEPTUAL
GRADING & DRAINAGE
PLAN

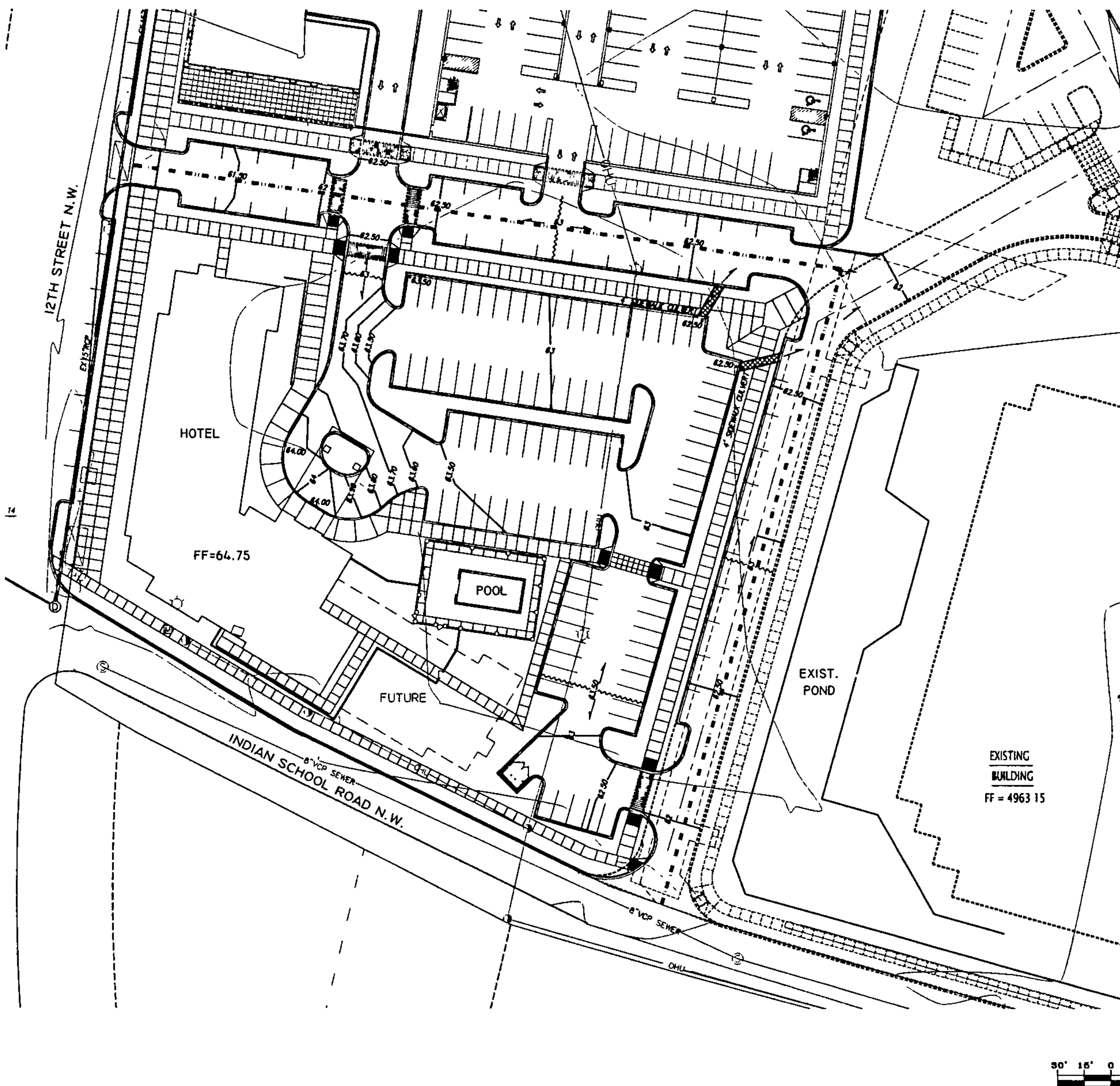
sheet C101 of . sheets

LEGEND

- EXISTING SPOT ELEVATION
- EXISTING SIDEWALK ELEVATION
- EXISTING CURB ELEVATION
- EXISTING PAVEMENT ELEVATION
- EXISTING RM & INV ELEVATION
- EXISTING TRAFFIC SIGNAL BOX
- EXISTING TRAFFIC SIGNAL
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING OVERHEAD UTILITY LIN
- EXISTING GAS LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING ANCHOR
- EXISTING SEWER MANHOLE
- EXISTING STORM MH
- EXISTING STORM MH
- EXISTING SIDEWALK
- EXISTING WATER VALVE
- EXISTING METER RISER
- EXISTING BILLBOARD
- EXISTING FIRE HYDRANT
- EXISTING DROP INLET
- EXISTING FENCE
- EXISTING PROPERTY LINE
- EXISTING CONTOURS
- EXISTING LOT LINES
- EXISTING CURB & GUTTER
- NEW STANDARD CURB & GUTTE
- NEW BUILDING
- NEW EXTRUDED CONCRETE CURB
- NEW PARKING STRIPES
- NEW CONTOURS
- NEW RETAINING WALL
- NEW BASIN BOUNDARY
- NEW WATER BLOCK
- EXISTING SPOT ELEVATION
- NEW FLOW ARROW

DRAINAGE CALCULATIONS

- THE SITE IS THE THIRD DEVELOPMENT OF THE BIA PROPERTY. THE SITE CONSISTS OF 1.0753 AC. AT THE NW CORNER OF 12TH STREET NW & INDIAN SCHOOL ROAD N.W. OF WHICH 0.4813 AC. (15.72%) ARE LANDSCAPING. THIS INCLUDES THE FUTURE HOTEL EXPANSION.
- TWO SMALL AREAS WILL BE ALLOWED DIRECT DISCHARGE 1) THE WEST HALF OF THE DRIVE ISLE ALONG THE NORTH SIDE OF THE SITE & 2) THE SOUTH HALF OF THE EXISTING DRIVE ALONG THE EAST SIDE OF THE SITE. THIS AREA ALSO INCLUDES THE VERY SE CORNER OF THE SITE.
- THE HOTEL ROOF WILL DRAIN TO THE FRONT PARKING LOT. THIS FLOW WILL EXIT THIS SITE BY SIDEWALK CULVERTS AND SURFACE FLOW ACROSS THE EXISTING PARKING LOT TO THE EXISTING INLETS WHICH DRAIN TO THE LIFT STATION.



ZONE MAP: R-14



\\061005\ARB498\INDIAN SCHOOL HOTEL\DWG\ARCHITECT\NEW FOLDER\ARB49-640-39\07-19-06\ACH

CONSULTANTS

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Architect Engineer



PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

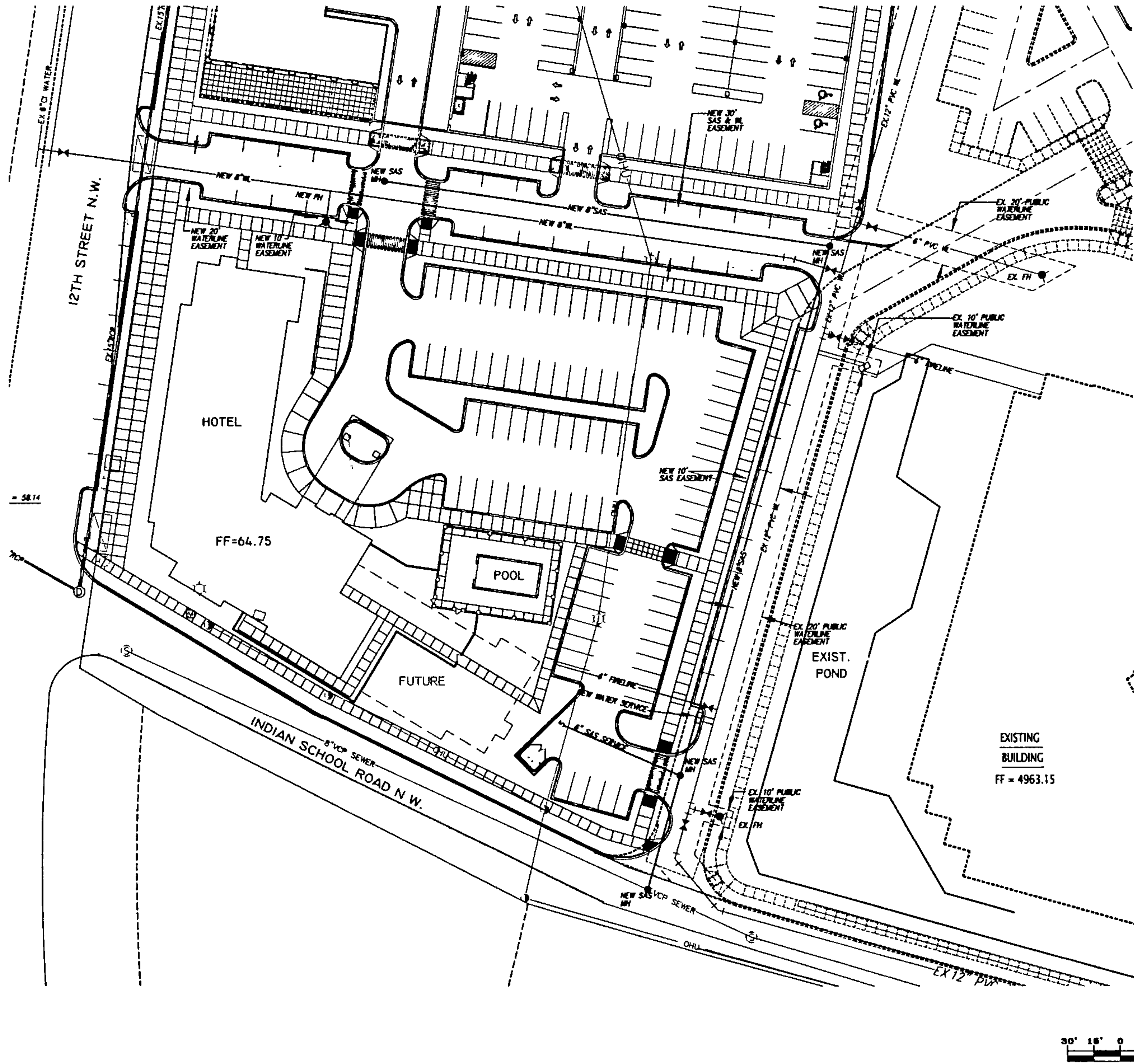
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MASTER PLAN

MARK	DATE	DESCRIPTION
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PROJECT NO		0510
CAD DWG FILE		
DRAWN BY		
CHECKED BY:		
DATE		7/21/06

SHEET TITLE
CONCEPTUAL
UTILITY
PLAN

sheet C102 of . sheets

- LEGEND**
- EXISTING SPOT ELEVATION
 - EXISTING SIDEWALK ELEVATION
 - EXISTING CURB ELEVATION
 - EXISTING PAVEMENT ELEVATION
 - EXISTING RM & INV ELEVATION
 - EXISTING TRAFFIC SIGNAL BOX
 - EXISTING TRAFFIC SIGNAL
 - EXISTING LIGHT POLE
 - EXISTING POWER POLE
 - EXISTING OVERHEAD UTILITY LINE
 - EXISTING GAS LINE
 - EXISTING SEWER LINE
 - EXISTING WATER LINE
 - EXISTING ANCHOR
 - EXISTING SEWER MANHOLE
 - EXISTING STORM MH
 - EXISTING STORM MH
 - EXISTING SIDEWALK
 - EXISTING WATER VALVE
 - EXISTING METER RISER
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 - EXISTING DROP INLET
 - EXISTING FENCE
 - EXISTING PROPERTY LINE
 - EXISTING CONTOURS
 - EXISTING LOT LINES
 - EXISTING CURB & GUTTER
 - NEW STANDARD CURB & GUTTER
 - NEW BUILDING
 - NEW EXTRUDED CONCRETE CURB
 - NEW PARKING STRIPES
 - NEW RETAINING WALL
 - FF = 4964 NEW FINISH FLOOR
 - 12"SAS NEW SAS LINE
 - 12"WL NEW WATERLINE



AKL2005\A0449000\INDIAN SCHOOL HOTEL\DWG\ARCHITECT\NEW FOLDER\A0449-001-CONCEPTUAL\07-21-06\A04

\$0.00
\$480.00

Thank You

CHANGE
- CR

\$75.00

ONE STOP SHOP

CITY OF ALBUQUERQUE PLANNING DEPARTMENT

TRSVRS

Development & Building Services

Fund 0110

Account 441018

TRANSH # 0039

RECEIPT# 00064000 WSH # 006

LOC: ANNX

11:56AM

PAID RECEIPT

APPLICANT NAME

IPFDC

AGENT

STUDIO SOUTHWEST ARCHITECTS

ADDRESS

2101 MOUNTAIN RD NW

PROJECT & APP #

1005033/06 DRB 01056

PROJECT NAME

IPFDC HOTEL

\$ 20.00 441032/3424000 Conflict Management Fee

\$ 385.00 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 75.00 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 480.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

7/21/2006
RECEIPT# 00063998 WSH # 006
Account 441018
Activity 4971000
Trans Amt
J24 Misc

Thank You

95-145/1070
001477609

2341

DATE 7.20.2006

ROBERT G. HEISER
934 AVENIDA DEL SOL NE
ALBUQUERQUE, NM 87110

CITY OF ALBUQUERQUE
TREASURY DIVISION

PAID TO THE ORDER OF CITY OF ALBUQUERQUE DRB

\$ 480.00
FOUR HUNDRED and EIGHTY
DOLLARS

7/21/2006 11:56AM
RECEIPT# 00063998 WSH # 006
Account 441032 Fund 0110
Activity 3424000
Trans Amt
J24 Misc

LOC: ANNX
TRANSH 0039
TRSVRS

MEMO IPFDC HOTEL-DRB

1:10700 14521: 2341 001477609

Thank You

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 0636
CONNECTION TEL 9p8439683
SUBADDRESS
CONNECTION ID c. DCSW Archit
ST. TIME 08/04 13:02
USAGE T 00'49
PGS. 2
RESULT OK



DEVELOPMENT REVIEW BOARD FAX FORM

TO: Clint Wilse

FAX NUMBER: 843-9683 # PAGES 2

SENT BY: Sheran Matson, DRB Chair DATE: _____

PHONE NUMBER: 924-3880 FAX # 924-3864

PROJECT NO: 1005033 APPLICATION NO: _____

Water

My general comments only.
More to come.

GENERAL COMMENTS

1. The new Sheet SP-1 should be titled "Site Plan for Building Permit". This indicates that this is the actual site plan to be approved for this project.
2. The Site Plan Sheet SP-1 shows Indian School Road as a private road. Why is it designated this way? The City has maintained this portion of Indian School for many years. A private road designation means, for one, that the City does not have to maintain it any longer.
3. Sheet SP-1 indicates the hotel site is separated by property lines from the remaining portion of the commercial property. This will require a replat of the property. Planning will take delegation of the approved site plan until the replat is approved by DRB.
4. What is the purpose of the "existing BIA easement" shown on Sheet SP-1?
5. The Landscape Plan shows 13 Ash trees proposed mainly for street trees. Because of the high water usage of Ash trees, Chinese Pistache or Japanese Pagoda or some other lower water use tree are a better choice.
6. The landscape calculations should include the % of landscape provided, not just the % required.
7. The property lines are missing from the Landscape Plan.
8. Existing & proposed easements must be shown on sheet SP-1 & the Landscape Plan.
9. The overall width of the elevations are not shown.
10. Sheet L1 should be titled "Landscape Plan".

*The overall
Site Plan
does not show
this*

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 31, 2006.



DATE: 8.16.2006
 TO: SHERAN MATSEN
~~SHANON MATSEN~~ COMPANY: DRB/AUBO
 FROM: Bob Heiser PROJECT: PFDC HOTEL
(005033)

DOCUMENT: RESPONSE LETTER

FAX NO: 924.3864 PAGES FOLLOWING TRANSMITTAL: 6

Urgent For Review Please Comment Acknowledge Receipt Please Reply

Remarks: SHANON - I UNDERSTAND THAT THERE MAY BE MORE ISSUES TO ADDRESS AND THAT WE MAY GET THEM TODAY AND RESUBMIT ON MONDAY MORNING - PLEASE LET ME KNOW IF THERE IS A PROBLEM - BOB HEISER

Albuquerque
 2101 Mountain Road NW
 Albuquerque, NM 87102
 Ph: 505.843.9639
 Fax: 505.843.9683

Santa Fe
 130 Grant Ave, Ste. 102
 Santa Fe, NM 87501
 Ph: 505.982.7191
 Fax: 505.992.0585

Website:
www.studioswarch.com
 Email
mail@studioswarch.com



Studio Southwest
Architects Inc.

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD AUGUST 16, 2006
SHARON MADSON DRB/CITY OF ALBUQUERQUE

PROJECT # 1005033
06DRB-01056 Major-SiteDev Plan BldPermit

The following is a response addressing issues relating to agency concerns to the IPFDC hotel site application.

AMAFCA

COG

12th Street is designated in the long Range Bikeway system as having on-street bike lanes. Please coordinate with DMD to insure project inclusion.

The City of Albuquerque, in the Development Agreement with the IPFDC, will build the street improvements. The 12th Street improvements were designed by H O K, a City of Albuquerque consultant and approved by the City Council in 2005. The planning document that establishes street improvement criteria is 12th Street and Menaul: Study Recommendations, October 2005. The 12th Street design is illustrated on pages 45-47 of the study and pages 13-15 of the Design Standards.

Transit

Transit has an existing bus stop on the northeast corner of 12th and Indian School adjacent to the proposed development. Transit requests that the applicant provide a shelter and associated bench and trash can for that stop. The presence of the stop will also require eliminating the first three on-street parking spaces so that the bus can stop adjacent to the curb while in the right lane of traffic. A hard pathway from the sidewalk to the curb, meeting ADA standards, is also required at the bus stop.

Albuquerque
2101 Mountain Road NW
Albuquerque, NM 87104
T 505.843.9639
F 505.843.9683
mail@studioswarch.com

The design and construction of 12th Street, north of Indian School Road, will be a City of Albuquerque project. According to the Development Assessment, the City of Albuquerque consultant should provide all the requested details and coordinate with the City departments.

Santa Fe
130 Grant Avenue, Suite 102
Santa Fe, NM 87501
T 505.982.7191
F 505.992.0585
mail@studioswarch.com

Zoning Enforcement

The proposed hotel has lots zoned R-1 on the south, Section 14-16-16-2 (C) (1) of the Zoning Code states that structures shall not exceed 26 feet in height within 85 feet of a lot zoned specifically for houses. The proposed hotel has an elevation of 49 feet shown on the south elevation. The distance from the lots that are zoned R-1 should be shown to be greater than 85 feet to allow elevations greater than 26 feet.

The 12th and Menaul Study Recommendation establishes the allowable height for the IPFDC site in the SP-02 IPFDC Master Plan. The entire hotel site is located in a height zone that allows up to 84 feet at any location.

Neighborhood Coordination

Letter sent to Near North Valley NA (R).

Studio Southwest has met with the Neighborhood representatives as recent as 8.7.2006 on this application and has had additional phone discussions with the neighborhood representatives.

APS

The request to construct a four-story hotel at 12th Street NW and Menaul NW will have no adverse impacts to the APS district.

Understood.

Police Department

No crime prevention or CPTED comments at this time.

Understood.

Fire Department

Exact Fire Department requirements will be figured when plans are submitted for review.

Concur.

PNM Electric and Gas

Approved.

Understood.

Comcast

No comments received.

Qwest

No comments received.

Environmental Health

No comments received.

M R G C D

No comments received.

Open Space Division

No adverse comments.

City Engineer

If infrastructure is required, an approved SLA with financial guarantees is required for Site Plan signoff by City Engineer.

The IPFDC and the City of Albuquerque entered into a Development Agreement dated 5.28.2003. Infrastructure to the site is covered under the terms of that agreement.

Transportation Development

A copy of the TIS and its recommendations need to be submitted. A separate meeting should be held to discuss the recommendations. The parking stalls need to be dimensioned and need to meet DPM criteria. End island radii need to meet DPM criteria. Has the plat been submitted? Why are there no van accessible stalls? What is the width of the internal streets? Where are the ADA ramps at the corner of Indian School and 12th? Stop signs need to be mounted above 7' per AASHTO. Why don't the curb sections refer to City Standards? A cross-section of 12th Street is needed. This should depict the existing conditions and relate how the proposed curb line will be integrated. Where is the infrastructure list for the curb line work in 12th Street? How is the 6' clear path maintained between the internal parking stalls?

- **The City has a copy of the TIS. We offered to submit an additional copy of the TIS and were told not to submit it. We will attach a copy of the TIS.**
- **The City Traffic Consultant (HOK) reviewed the TIS with the IPFDC Traffic Consultant and HOK designed the preliminary street sections and access points. The City will contract with a consultant to design**

all of the street improvements along the perimeter of the IPFDC site according to the Development Agreement and the 12th and Menaul Study.

- **All parking stall, curb design and end isle radii shall comply to DPM criteria.**
- **Van-accessible stalls shall be provided according to City requirements.**
- **Stop signs shall be mounted per AASHTO standards above 7'-0".**
- **The width of the internal streets is depicted on page 19 of the Design Standards of the 12th and Menaul Study. The 8'-0" wide parking space along the east side of the internal street, adjacent to the east side of the hotel site, has been eliminated to meet setback requirements of the BIA Office Complex.**

Parks & Recreation

Is there pedestrian access proposed to the adjacent Graves Park?

There are access gates to Graves Park as indicated on SP-01 in the 12th and Menaul Study. The gates are security gates and are controlled by the Federal Security Agents on the site.

Utilities Development

No objection to Site Plan approval.

Understood.

Planning Department

The New Sheet SP-1 should be titled "Site Plan for Building Permit." This indicates that this is the actual site plan to be approved for this project.

Concur.

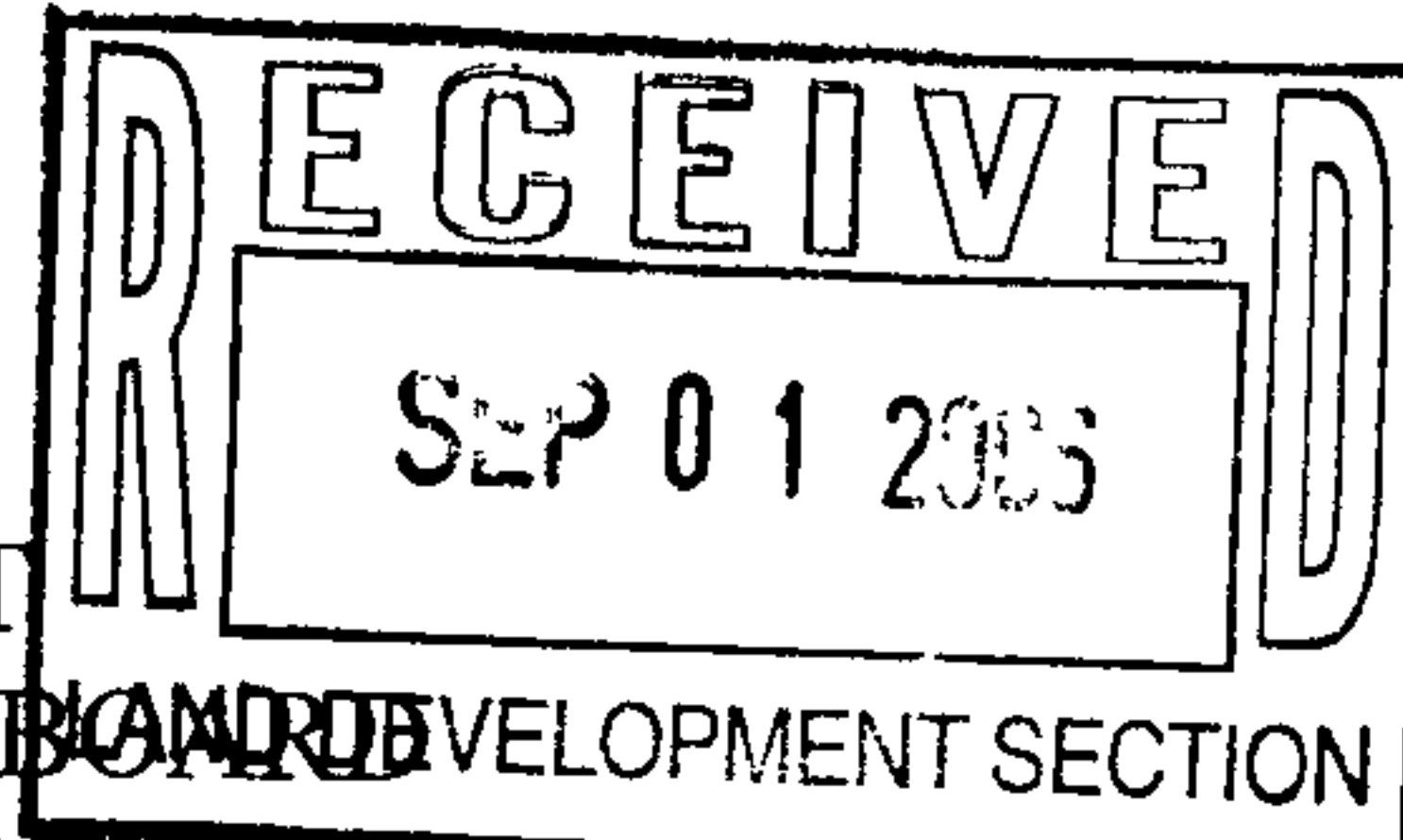
The Site Plan SP-1 shows Indian School Road as a private road. Why is it designated this way? The City has maintained this portion of Indian School Road for many years. A private designation means, for one, that the City does not have to maintain it any longer.



Studio Southwest
Architects Inc.

AUGUST 29, 2006

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD DEVELOPMENT SECTION
SHERAN MATSON / ANDREW GARCIA - DRB/CITY OF ALBUQUERQUE



PROJECT # 1005033
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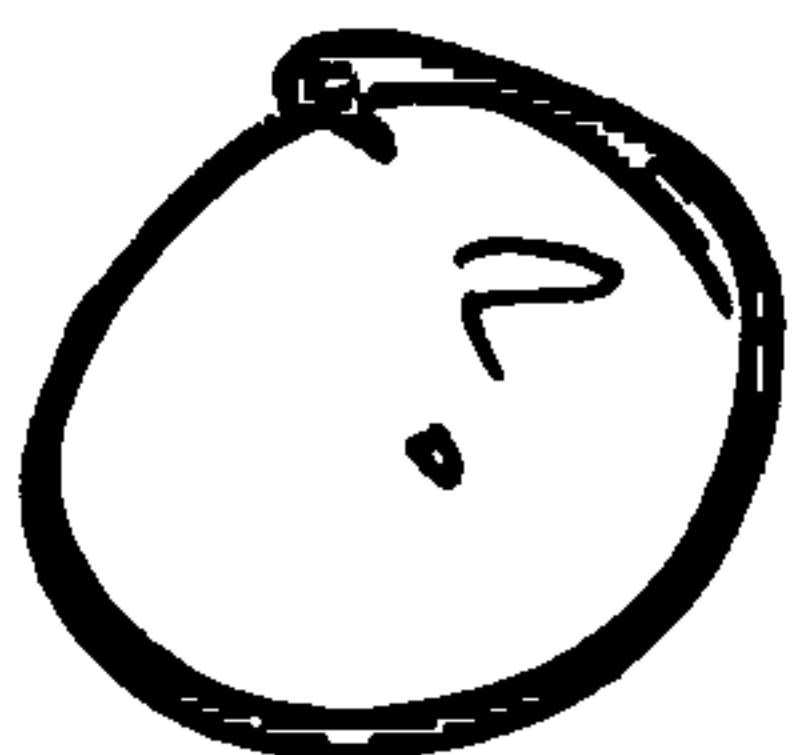
W.S.

Indian School Road is a private road east of 12th Street. The City no longer maintains this portion of Indian School Road and it is entirely within the IPFDC site. Please consult with the City Legal Department as to the status of this portion of Indian School Road.

✓ *Sheet SP-1 indicates the hotel site is separated by property lines from the remaining portion of the commercial property. This will require a re-plat of the property. Planning will take delegation of the approved site plan until the re-plat is approved by DRB.*

The drawing convention showing a line around the hotel site does not indicate a property line. There will be no internal property lines within the IPFDC site. The line indicates the boundary to the portion of the site for the hotel. No internal lots will be created.

What is the purpose of the "existing BIA easement" shown on Sheet SP-1?



The BIA easement

- ✓ *The Landscape Plan shows thirteen Ash trees proposed mainly for street trees. Because of the high water usage of Ash trees, Chinese Pistache or Japanese Pagoda or some other lower water use tree are a better choice.*

Concur. Lower water use trees will be substituted for the Ash trees.

The landscape calculations should include the percent of landscaping provided, not just the required percentage.



Concur. A revised landscape plan dated 8.11.2006 with the required calculations will be submitted.



The property lines are missing from the Landscape Plan. Existing and proposed easements must be shown on sheet SP-1 and the Landscape Plan. The overall width of the elevations are not shown. Sheet L1 should be titled "Landscape Plan."

Concur.

- ✓ • **The only property liens relevant to the landscape site plan are indicated on 12th Street and along the south side of Indian School Road. Indian School Road is a private road east of 12th Street.**
- ✓ • **The overall width of the elevations are indicated on Sheets A-201 and A-202; revised 8.11.2006.**
- ✓ • **Sheet L-1 is titled "Landscape Plan" on the 8.11.2006 revision sheet.**

SITE PLAN FOR SUBDIVISION COMMENTS

1. *Section 7F of O-05-98 states:*

"The DRB is responsible for ensuring that all City Council Conditions have been satisfied and that other applicable City requirements have been met. Unauthorized changes to the Site Development Plan...including before or after DRB final sign-off, may result in forfeiture of approvals."

Understood.

2. *Council Bill O-05-98 Exhibit A shows the Council approved Site Plan for Subdivision referred to as a the IPFDC Master Plan. When this plan was approved by Council, it contained two sheets, SP-01 & SP-02. SP-02 was the Building Height & Setback Plan. The second sheet, SP-02 was not included in the DRB submittal as part of SPS. Some of the required elements of a SPS are contained on SP-02.*

Concur. Sheet SP-02 will be resubmitted.

- ✓ 3. *There are several other differences between the approved SPS contained in O-05-98 and the SPS submitted to DRB:*
- ✓ a. *The references to Street Sections are missing on the DRB submittal. These are important particularly for the frontage of the hotel lot.*
 - ✓ b. *The proposed uses such as "retail/office" are missing on the DRB submittal.*
 - ✓ c. *The portion of the retail/office use directly north of the hotel site shown as a parking lot on the DRB SPS is shown as a parking garage on the Council approved SPS.*
 - ✓ d. *There are two other parking lots to the east of this lot on the DRB submittal which were shown as parking lots with the notation "future parking garages" on the Council approved SPS.*
 - ✓ e. *The security fence on the Council approved SPS is located somewhere in Indian School Road with a security gate closing off access. The DRB submittal does not show the fence or the gate.*
 - ✓ f. *There are 2 notations about the 50 foot building setback on the Council approved plan. These notations are missing from the DRB submittal.*

Concur. The discrepancies listed above between the approved SPS and the DRB submittal will all be coordinated and referenced.

- ✓ 4. *O-05-98, Section 13 provides a process for amending the Council approved Site Plan for Subdivision. Minor changes are delegated to the Planning Director & DRB after the Planning Director makes a determination that proposed changes are, in fact, amendments, this process should be followed after the Council approved SPS is approved by DRB.*

At your request, the Planning Director will consult the requirements listed in Section 14-16-2-22 (A)(6) of the Zone Code in making his determination on whether the proposed changes are minor or non-minor. If you choose to re-submit the Council approved SPS, this step is not necessary.

Understood

PLATTING ACTION COMMENTS

- ✓ 1. *Section 7(G)(4) of O-05-98 requires a concurrent platting action with the site plan approvals. After the first public hearing on the site, other DRB members, DRB will determine whether to defer the site plan approvals until the platting action is heard at DRB or whether the DRB Chair can take delegation of the site plans until the plat is approved at DRB.*

✓ **It has been clarified that no additional platting action is required.**

HOK/HPE DESIGN STANDARD COMMENTS

Without the Street Sections on the SPBP, it's not possible to determine whether the site plan addresses the design standards of the HOK/HPE Plan.

talk to [handwritten scribble]

Concur. The Street Section references are added to the SP-01 & SP-02 of DRB submittal and the Council approved SPS will be included for further reference.

IPFDC DESIGN STANDARDS & GUIDELINES

(Section 14-16-3-18 of the Zone Code applies here as well. Many of the IPFDC Standards mirror the Zone Code in subject & content)

✓ 1. Page 1. *While the SPBP does show some pedestrian connections from the parking area to the hotel and from the future development to the north to the hotel property, and additional pathway should also connect the two parking areas to the north of the hotel. This connection could terminate at the sidewalk on the north side of the pool, for example.*

Concur An additional pathway has been added between the parking area to the north and the hotel parking lot, and connects at the sidewalk on the north side of the pool.

✓ 2. Page 3. *Outdoor activity or seating areas require at least 25% shaded areas from summer sunlight. While swimming pools themselves are a sun activity, an adjacent shaded area should be provide also.*

Concur A partially shading trellis structure has been added to the pool area.

✓ 3. Page 8. *A statement should appear on the SPBP that roof mounted mechanical equipment will be screened from public right of way by parapet walls of structural features. Or, if wall mounted, screened by dense evergreen foliage, etc.*

Concur. A general note has been added to sheets A-201 & A-202 that states, "All roof mounted and wall mounted mechanical units shall be concealed by a screen wall equal to or greater than the height of the equipment."

✓ 4. Page 9. *Facades greater than 100 feet in length should have outdoor seating adjacent to at least one façade.. 1 seat (24"l X 15" h) per 25 linear feet of façade. A 25% shade requirement applies here also if the seating is on the west or north sides of the building.*

Concur. Two shaded outdoor seats have been added along the west side of the hotel.

5. Page 9. Building articulation/design requirements. Plan to meet with the DRB Chair to explain how these standards are met. The building elevations in the SPBP do not clearly spell out some of these details. Please call to set up a meeting.

Concur. We have met with DRB Chairperson Andrew Garcia and demonstrated that the hotel has met the "Building articulation/design requirements."

Maybe
cuppage
glass, alu
seating area

6. Page 11. Under "Provisions for Employees", An outdoor gathering space for employees (separate from the shaded area near the pool previously mentioned) a minimum of 300 square feet with seating and shade covering at least 25% of the area should be added to the SPBP.

Concur. An outdoor gathering space for employees with seating and shade has been added to the site on the southwest side of the building.

7. Page 14. A 3 foot screen wall is needed along Indian School to shield the parking from the public street. The wall design will need DRB Chair approval per Section 14-16-3-19 of the Zone Code.

Concur. It has been clarified that Indian School is a private road does not need to meet Zoning Code standards for public street screening.

low wall
pedestrian
ADA
Safety

8. Page 14. The monument sign shown in the SPBP exceeds the IPFDC standards as well as the Zone Code. The sign height includes the foundation. In addition, the monument sign is supposed to set at the main entrance to the hotel site. The main entry appears to be at the north end of the site.

Concur. The monument sign height will be reduced to meet IPFDC and Zone Code standards. The main entry point remains to the south as proposed.

of orientation
signs

9. Page 15. The façade mounted signs are allowed on three sides of the building only.

perpendicular to 12th St. for the record

Concur. It has been clarified that façade mounted sign exist only on 3 sides of the building.

The SPBP complies with Section 14-16-3-19, Landscaping Regulations Applicable to Apartment & Nonresidential Development.

ADA questions
6" curb

CITY OF ALBUQUERQUE

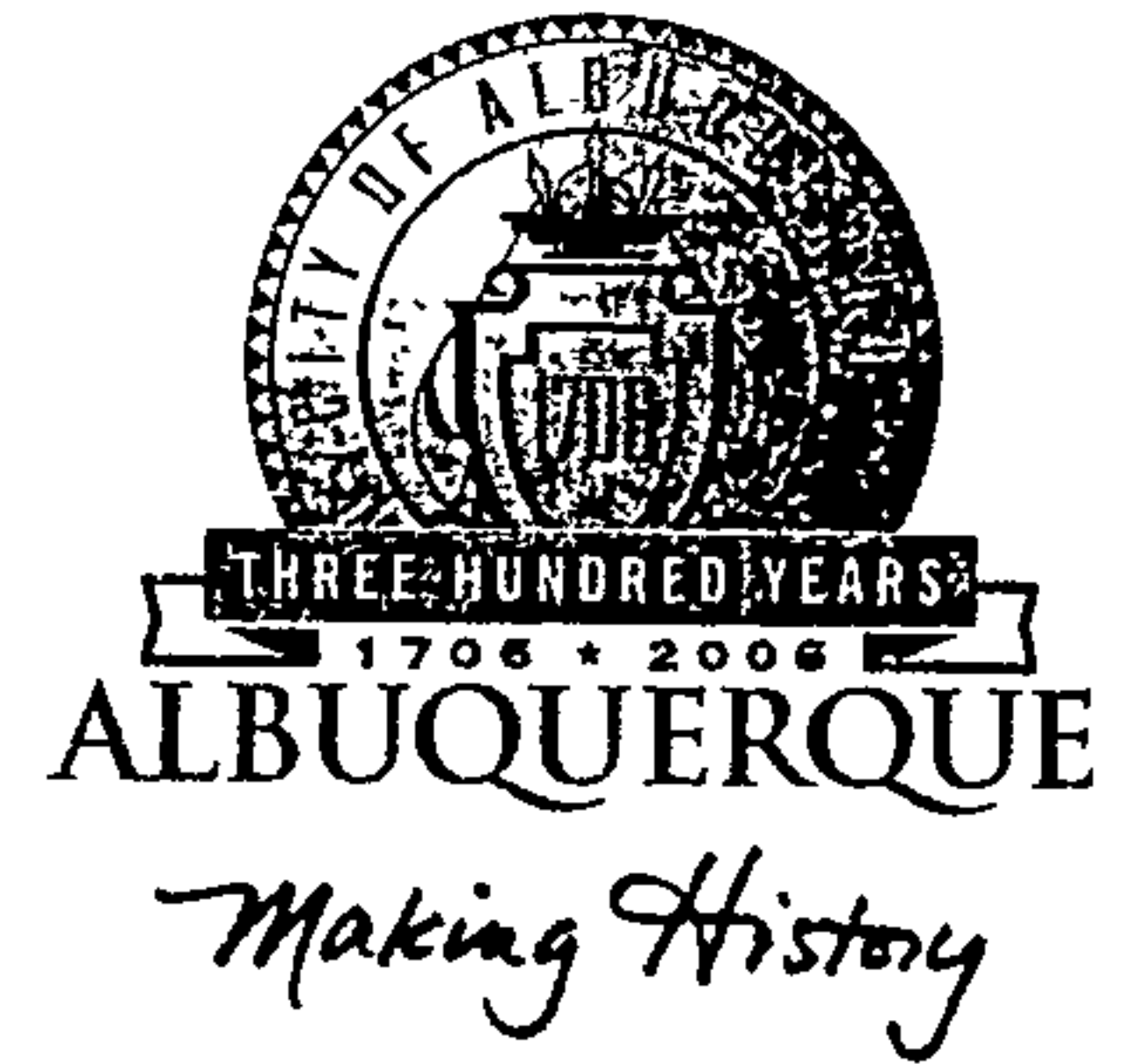
Planning Department

Richard Dineen, Director

Development Review Division

600 2nd Street NW – 3rd Floor

Albuquerque, NM 87102



October 10, 2005

IPDFC
405 Dr. Martin Luther King Jr. Drive
Albuquerque, NM 87102

CERTIFICATE OF ZONING

Zone Map Amendment	Date Of Final Action: August 30, 2005
File: 03EPC-01676, 01677	Project # 1000649
LEGAL DESCRIPTION: for a 15.69-acre portion of Tract A (a 47-acre tract), Indian School Site, located on Indian School Road NW between Menaul and 12 th Street NW	

P.O. Box 1293

On August 15, 2005, by a vote of 6 for and 0 against, the City Council voted that Ordinance #F/S O-05-98 be adopted.

Albuquerque

It is therefore ordered that the zone map adopted by Section 14-16-1-1 et seq. ROA 1994 is hereby amended, establishing the


New Mexico 87103

From: R-1
To : SU-1 for C-2

www.cabq.gov

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the zoning is secured. Approval of a zone map amendment does not constitute approval of plans for a building permit. Site and building plans need to be reviewed, approved and signed-off by the Environmental Planning Commission, the Development Review Board, the Design Review Committee and/or the Building and Safety Division, as applicable and as required by the site's zoning, before a building permit will be issued.

Sincerely,


For Richard Dineen
Planning Director

cc: DCSW Inc., 320 Central Ave SW, Albuquerque, NM 87102
Ingrid Biel, Near North Valley, 1012 Major NW, Albuquerque, NM 87107

Albuquerque - Making History 1706-2006

[+Bracketed/Underscored Material+] - New
[-Bracketed/Strikethrough Material-] - Deletion

1 (C) Lacking these elements of the plan, it is unclear that one can
2 determine whether the proposed development meets the goals and policies of
3 the City / County Comprehensive Plan, the North Valley Area Plan, and the
4 Planned Growth Strategy.

5 (D) Similar concerns were raised by the North Valley Coalition; namely,
6 that residents of adjoining neighborhoods were unable to determine whether
7 the area would develop as “a genuine “Activity Center” – a pleasant and
8 inviting place that draws people to park and walk and sit”.

9 (E) It is possible that the original design for the 12th and Menaul
10 intersection in the Corporation’s Traffic Impact Study (TIS) was based
11 inadvertently on estimated traffic utilization from the 4th and Menaul
12 intersection and resulted in a larger intersection than necessary.

13 (F) In order to address the lack of detail within the Corporation’s site
14 development plan for subdivision as reviewed by the Environmental Planning
15 Commission and transmitted to the Council and in order to address concerns
16 about the TIS, the City commissioned the Hellmuth, Obata + Kassabaum, Inc –
17 the HOK Planning Group and Hall Planning & Engineering, Inc. (HPE) to
18 conduct a land use and transportation planning study.

19 (G) The planning effort consisted of stakeholder “Listening Sessions”, a
20 design workshop focused on the site plan, and a transportation planning
21 workshop in which alternative street and intersection designs were evaluated.
22 There were more than 200 people attending these sessions and about 500
23 person contacts.

24 (H) The draft plan resulting from these activities was placed on the City
25 Council website and comments and suggestions were solicited and obtained.

26 (I) The HOK / HPE plan was reviewed by officials of the Corporation and
27 their planning firm and agreement in almost all details of the plan was
28 secured. These plan elements are incorporated into the site development plan
29 and related materials attached to this legislation. The HOK / HPE plan is
30 incorporated as part of Exhibit B of this legislation and is herein referred to as
31 the “HOK / HPE plan”.

32 Section 2. ZONE MAP AMENDED. The establishment of SU-1/C-2 zoning
33 as specified herein for the Commercial Tract, with associated site

[+Bracketed/Underscored Material+] - New
[-Bracketed/Strikethrough Material-] - Deletion

1 development plan, design standards including street and streetscape design,
2 and specification of permissive and conditional uses , is appropriate because
3 it is complementary to surrounding zoning and densities and will provide
4 stability to the area. The owners of the area hereby presented a properly
5 signed application to amend the zoning for the following territory, 15.69 acres,
6 more or less, located on Indian School Road NW between Menaul and 12th
7 Street; and more particularly described as follows:

8 A. A 15.69 acre portion of Tract A, Indian School Site, as
9 illustrated by the accompanying Site Development Plan (Exhibit A), called the
10 "Commercial Tract".

11 Section 3. Therefore, the zone map adopted by Section 14-16-1-1 et. seq.
12 R.O.A. 1994 is hereby amended, establishing SU-1/C-2 zoning as specified
13 herein for the area specified in Section 2 above. This approval extends to and
14 includes the Site Development Plan contained in Exhibit A, the Design
15 Standards and supplemental Design Standards included in Exhibit B that are
16 consistent with the Site Development Plan in Exhibit A, and the specification
17 of Permissive and Conditional Uses allowed or excluded contained in Exhibit
18 C.

19 Section 4. FINDINGS AND CONDITIONS ACCEPTED. The Council has
20 reviewed carefully the findings and conditions recommended by the
21 Environmental Planning Commission on 16 September 2004 and adopts the
22 following amended zone map amendment, findings and conditions:

23 A. This is a request for a zone map amendment from R-1 to SU-1 for C-2
24 for a 15.69-acre portion of a 47-acre tract of land located on 12th Street and
25 Menaul Boulevard NW.

26 B. This request for zone map amendment complies with the Land Use
27 Policies and Goals of the *Comprehensive Plan* with regard to the Central
28 Urban Area, specifically Policies B.5.d., B.5.e., B.5.i., B.5.j., B.5.k., and B.5.l.,
29 because: a zone change to SU-1 for C-2 as specified herein from R-1 respects
30 neighborhood values and other resources due to the fact that some existing
31 adjacent uses are nonresidential (B.5.d.); this request facilitates development
32 on vacant land adjacent to existing infrastructure facilities which does not
33 interfere with the integrity of existing neighborhoods (B.5.e.); the subject site

[+Bracketed/Underscored Material+] - New
[-Bracketed/Strikethrough Material-] - Deletion

1 is within the vicinity of area residences to provide employment and service
2 uses and is buffered at the edges adjoining existing residences through height
3 standards and landscaping that mitigates adverse effects of noise, lighting,
4 and pollution (B.5.i.); the subject site's size, location, Site Development Plan,
5 and street / streetscape design lend themselves to being both a neighborhood
6 oriented site also accessed by pedestrians and bicyclists as well as an
7 accessory site to the larger shopping center to the west across 12th Street
8 (B.5.j.); the subject site's location and design can be such that livability and
9 safety of surrounding neighborhoods can be ensured (B.5.k.); and, the
10 requested zone change will not discourage innovation in design and quality of
11 the new development on the subject site (B.5.l.).

12 C. This request for zone map amendment complies with the policies
13 and goals of the *Comprehensive Plan* that are specific to Activity Centers,
14 Community Identity and Urban Design, and Economic Development,
15 specifically Policies B.7.j., C.9.d., and D.6.g., because: the subject site is
16 located near existing infrastructure facilities to promote ongoing
17 public/private cooperation to develop this Activity Center (B.7.j.); the Site
18 Development Plan is designed to encourage pedestrian walking trips,
19 linkages, and to reflect architectural traditions/styles of the surrounding
20 community (C.9.d.); and, a zone change from residential to commercial zoning
21 facilitates the creation and concentration of employment opportunities within
22 this Activity Center (D.6.g.).

23 D. This request for zone map amendment complies with the policies
24 and goals of the North Valley Area Plan, a Rank 2 document, specifically
25 Zoning and Land Use Policies Goal 3 and 3.c. and Community Design Policies
26 Goal 9, because the designation of the former Albuquerque Indian School
27 property as a Community Activity Center, whose purpose is to serve as the
28 focus of the community sub-area with regard to employment and
29 entertainment and wherein should be concentrated nonresidential land uses,
30 and because of the nonresidential uses that have been approved and exist to
31 the west and south of the subject property, mitigate the intent of these policies
32 which call for limiting new commercial development to existing commercially
33 zoned sites.

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1 E. This request complies with the requirements of Resolution 270-1980
2 by citing “Changed Community Conditions” as a justification as to why this
3 request for zone map amendment is appropriate, because the old
4 Albuquerque Indian School property has been designated a Community
5 Activity Center, whose purpose is to serve as the focus of the community
6 sub-area with regard to employment and entertainment and wherein should
7 be concentrated nonresidential land uses, and because of the nonresidential
8 uses that have been approved and exist to the west and south of the subject
9 site (R-270-1980, Section 1.D.).

10 Section 5. SITE DEVELOPMENT PLAN. The establishment of SU-1/C-2
11 zoning as specified herein for the Commercial Tract is accompanied by a Site
12 Development Plan, Design Standards and supplemental Design Standards,
13 and the specification of Permissive and Conditional Uses as consistent with
14 the Zoning Code and the Development Agreement. This Site Development
15 Plan is appropriate because it specifies a regulatory framework for future
16 development that will complement surrounding zoning and densities and will
17 provide stability to the area. The owners of the area hereby presented a
18 properly signed application for a Site Development Plan for the following
19 territory, 15.69 acres, more or less, located on Indian School Road NW
20 between Menaul and 12th Street; and more particularly described as follows:

21 A. A 15.69 acre portion of Tract A, Indian School Site, called the
22 Commercial Tract, as illustrated by the accompanying Site Development Plan
23 contained in Exhibit A, the Design Standards and supplemental Design
24 Standards included in Exhibit B that are consistent with the Site Development
25 Plan in Exhibit A, and the specification of Permissive and Conditional Uses
26 allowed or excluded contained in Exhibit C.

27 Section 6. Therefore, the Site Development Plan, Design Standards,
28 supplemental Design Standards, and specification of Permissive and
29 Conditional Uses are hereby approved for the area specified in Section 5
30 above.

31 Section 7. FINDINGS AND CONDITIONS ACCEPTED. The Council shall
32 adopt the following site development plan for subdivision findings and has
33 carefully reviewed and amended the findings and conditions recommended by

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1 the Environmental Planning Commission on 16 September 2004, and adopts
2 the following Site Development Plan, findings, and conditions:

3 A. This is a request for a Site Development Plan, Design Standards and
4 supplemental Design Standards, and specification of Permissive and
5 Conditional Uses for a 15.69-acre portion of a 47-acre tract of land located on
6 12th Street and Menaul Boulevard NW.

7 B. The request meets the requirements for a Site Development Plan,
8 including the proposed use, pedestrian and vehicular ingress and egress,
9 internal circulation requirements and maximum building height, minimum
10 building setback, and maximum total dwelling units and/or nonresidential
11 uses' maximum floor area ratio. (§14-16-1-5 DEFINITIONS)

12 C. This request for site development plan for subdivision complies with
13 the Land Use Policies and Goals of the *Comprehensive Plan* with regard to the
14 Central Urban Area, specifically Policies B.5.e., B.5.i., B.5.j. and B.5.k.,
15 because: this request facilitates development on vacant land adjacent to
16 existing infrastructure facilities which does not interfere with the integrity of
17 existing neighborhoods (B.5.e.); the subject site is within the vicinity of area
18 residences to provide employment and service uses and is buffered at the
19 edges adjoining existing residences through height standards and
20 landscaping that mitigates adverse effects of noise, lighting, and pollution
21 (B.5.i.); the subject site's size, location, Site Development Plan, and street /
22 streetscape design lend themselves to being both a neighborhood oriented
23 site also accessed by pedestrians and bicyclists as well as an accessory site
24 to the larger shopping center to the west across 12th Street (B.5.j.); and, the
25 subject site's location and design can be such that livability and safety of
26 surrounding neighborhoods can be ensured (B.5.k).

27 D. This request for site development plan for subdivision complies with
28 the policies and goals of the *Comprehensive Plan* that are specific to Activity
29 Centers, Community Identity and Urban Design, and Economic Development,
30 specifically Policies B.7.j., and C.9.d., because: the subject site is located near
31 existing infrastructure facilities to promote ongoing public/private cooperation
32 to develop this Activity Center (B.7.j.); and, the Site Development Plan is

1 designed to encourage pedestrian walking trips, linkages, and to reflect
2 architectural traditions/styles of the surrounding community (C.9.d).

3 E. This request for Site Development Plan, Design Standards and
4 supplemental Design Standards, and specification of Permissive and
5 Conditional Uses complies with the policies and goals of the North Valley Area
6 Plan, a Rank 2 document, specifically Zoning and Land Use Policies Goal 3
7 and 3.c. and Community Design Policies Goal 9, because the designation of
8 the former Albuquerque Indian School property as a Community Activity
9 Center, whose purpose is to serve as the focus of the community sub-area
10 with regard to employment and entertainment and wherein should be
11 concentrated nonresidential land uses, and because of the nonresidential
12 uses that have been approved in the immediate vicinity of the subject
13 property, mitigate the intent of these policies which call for limiting new
14 commercial development to existing commercially zoned sites.

15 F. The City Council delegates final sign-off authority of this Site
16 Development Plan and associated documents to the Development Review
17 Board (DRB). The DRB is responsible for ensuring that all City Council
18 Conditions have been satisfied and that other applicable City requirements
19 have been met. Unauthorized changes to this Site Development Plan, Design
20 Standards and supplemental Design Standards, and specification of
21 Permissive and Conditional Uses including before or after DRB final sign-off,
22 may result in forfeiture of approvals.

23 G. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL
24 DEVELOPMENT, PUBLIC WORKS and NMDOT:

25 1. All the requirements of actions taken previous to this
26 request by the City Council, EPC, and the DRB must be completed and/or
27 provided for.

28 2. The access points, as shown on the Site Development Plan,
29 shall coincide with the recommendations of the HOK / HPE plan.

30 3. Access coordination with NMDOT is required.

31 4. A concurrent platting action is required at DRB.

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1 **5. Construction of the bicycle lanes along Menaul Boulevard**
2 **adjacent to the subject property as designated on Long Range Bikeways**
3 **System is required.**

4 **6. In the event that development on this parcel following funds**
5 **being made available through the City’s Capital Improvement Program to**
6 **implement the street and streetscape design recommendations within the**
7 **HOK / HPE plan with regard to 12th Street, Menaul, Menaul Extension, and**
8 **Indian School west of 12th Street, the following requirements are established:**

9 **A. The developer is responsible for permanent**
10 **improvements to the transportation facilities only on the proposed Site**
11 **Development Plan and subsequent site plans for building permit. Those**
12 **improvements will include bus stops, on-site paving, curb and gutter, and**
13 **ADA accessible ramps that have not already been provided for. All public**
14 **infrastructure constructed shall be to City Standards not inconsistent with the**
15 **standards of the HOK / HPE plan. Those Standards will follow the**
16 **recommended practices of the AASHTO Guide for the Planning, Design, and**
17 **Operation of Pedestrian Facilities. Chapter 3.**

18 **B. The developer is responsible for Implementation of the**
19 **recommended improvements in the HOK / HPE plan to mitigate impacts of the**
20 **proposed development (i.e. all on-site street improvements recommended in**
21 **the HOK / HPE plan that are on the proposed Site Development Plan including**
22 **proposed roadway improvements and deceleration lanes, etc., and**
23 **improvements on 12th Street and Menaul that are on the site such as bus**
24 **stops are the responsibility of Corporation. The Corporation is not**
25 **responsible for off site traffic signals, median improvements, or other traffic**
26 **devices on City streets or other off-site improvements, which shall be the**
27 **responsibility of the City.**

28 **H. The site development plans for building permit shall be reviewed and**
29 **approved by the DRB. Without limiting current notice requirements, the DRB**
30 **shall provide notification to the public of these hearings including by letter to**
31 **surrounding neighborhood associations.**

32 **I. Rights of way shall be as provided in the Right-of-Way Agreement**
33 **executed on October 9, 2003 by the City and the Corporation and as provided**

1 for in the Grant of Easement for Roadways approved by the Bureau of Indian
2 Affairs on February 5, 2004.

3 Section 8. The City Council hereby adopts the HOK / HPE plan
4 recommendations, design standards, streetscape design standards as
5 specified in Exhibit B for application in the Commercial Tract. The HOK / HPE
6 plan design standards are to be integrated into the Supplemental Design
7 Standards and IPFDC Design Standards (also included in Exhibit B) in the
8 manner specified in those documents.

9 Section 9. NEIGHBORHOOD TRAFFIC CALMING – 10TH AND MENAUL.
10 The City shall implement the traffic calming measures on Menaul and 10th
11 Street proposed in the HOK / HPE plan that protect the neighborhood to the
12 north from the disruptive effects of cut-through traffic. These include: median
13 design on Menaul that allows a left turn from west-bound Menaul into the site
14 but prevents vehicles exiting north-bound from the site to cross Menaul into
15 the neighborhood, and bulb-outs at the intersection of 10th Street and Menaul
16 which act to slow traffic. The City shall monitor cut through traffic into this
17 neighborhood from the 10th Street and Menaul intersection and implement
18 other traffic mitigation measures at the intersection and elsewhere in the
19 neighborhood in cooperation with the neighborhood should cut-through traffic
20 continue to be a serious concern after the improvements described above
21 have been implemented.

22 Section 10. FUNDING FOR STREET AND STREETSCAPE IMPROVEMENTS.
23 Consistent with Policy B.7.j of the City / County Comprehensive Plan that calls
24 for the City to structure capital expenditures in support of multi-use Activity
25 Centers such as the former Albuquerque Indian School development, the City
26 shall prioritize its Capital Improvement Program to design and build the street
27 and streetscape improvements in the public right-of-way called for in the HOK
28 / HPE plan. The City shall seek other sources of funding to support this effort
29 including the State of New Mexico and the Federal government. This project
30 shall be included in the City of Albuquerque legislative program to seek State
31 of New Mexico funding and in the City's legislative priorities to obtain Federal
32 funding. The City shall also make it a priority to add this project to the
33 MRCOG MTP and TIP programs. In addition, the City will make it a priority to

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1 work with the Corporation to effectuate the connection between the I-40
2 access road and Indian School Road, as indicated in the HOK / HPE plan.

3 **Section 11. HOTEL / RETAIL LAND USE ON SITE DEVELOPMENT PLAN.**

4 The Corporation as applicant proposes the "Hotel/Retail" use, shown in the
5 southwest corner of the Site Development Plan (at the northeast corner of the
6 Indian School Road and 12th Street intersection), as the most desirable
7 development in that location. The Corporation has expressed the desire to
8 convert this use to a service station if the hotel / retail use is not feasible. In
9 that event, the City Council shall consider this change as an amendment to the
10 Site Development Plan contained in Exhibit A.

11 **Section 12. ADDITIONAL ACCESS POINTS, SITE ENTRANCES AND CURB**
12 **CUTS.** The access points, street entrances and curb cuts onto 12th Street and
13 Menaul as expressed on the Site Development Plan are important elements of
14 the plan. The determination to approve any non-minor redesign of the internal
15 street system and any additional curb cuts that may be proposed by the
16 Corporation is not delegated by the City Council and shall be reviewed by the
17 City Council as an amendment to the Site Development Plan contained in
18 Exhibit A.

19 **Section 13. AMENDMENTS TO THE SITE DEVELOPMENT PLAN TO COME**
20 **BEFORE CITY COUNCIL.** Non-minor changes to the Site Development Plan
21 shall be heard by the City Council for approval. "Non-minor changes" is
22 defined by Section 14-16-2-22 ROA 1994. The Planning Director shall review
23 the proposed change and provide an interpretation of the suggested change
24 to the DRB, which shall make the determination as to the extensiveness of the
25 proposed change. The Planning Director and DRB shall follow the public
26 notice requirements of the Section 14-16-2-22 ROA 1994 and as specified
27 within this legislation. Notwithstanding other changes that would be
28 presented to Council for consideration, the following requested changes must
29 be presented to the City Council for review and determination:

- 30 A. Uses.
- 31 B. Landscaped Buffer (Grove/Bosque).
- 32 C. Plaza.
- 33 D. Design Standards including Streetscapes.

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1 **Section 14. TRANSIT SYSTEM IMPROVEMENTS.** Transit system route
2 system changes of the type contained in the HOK / HPE plan are endorsed by
3 the City and the Transit Department is directed to begin the process of
4 implementing these changes.

5 **Section 15. PARKING REQUIREMENTS FOR COMMERCIAL TRACT.** A 25%
6 mixed-use district reduction in required parking will be taken for all properties
7 within the Commercial Tract. On-street parking spaces abutting the
8 Commercial Tract shall be used in calculating parking requirements.

9 **Section 16. IMPLEMENTATION OF LANDSCAPING REQUIREMENTS.** The
10 Corporation shall carry out the landscaping requirements associated with the
11 construction of buildings on the Office Tract. The Planning Department shall
12 review the status of complying with the landscaping requirements of City
13 Ordinance and the Development Agreements related to existing buildings on
14 the Office Tract and take steps to insure compliance.

15 **Section 17.** Section 10, Paragraph A of the Development Agreement is
16 hereby stricken in its entirety and the following is substituted in lieu thereof:

17 **"A. OFFICE TRACT.** The parties stipulate and agree that
18 part of the Property will be used for construction of an office complex
19 to be leased and occupied by Federal Agencies, Native American
20 related tenants, and the Corporation. ("Office Tract"). The Office Tract
21 is an 18.1 acre section in the southeast corner of the Property, which
22 by agreement of the parties is hereby increased by 13.59 acres to
23 31.69 acres for the purpose of constructing federal office buildings.
24 The Corporation represents that federal building codes and
25 developmental processes are at least as strict as or stricter than local
26 government counter parts. City developmental process will not apply
27 to the Office Tract. Specifically, the Zoning Planning and Building
28 Ordinances, [citation], the Uniform Building Code 1997, NM Building
29 Code 1999, Uniform Plumbing Code-IAPMO 1997, Uniform Mechanical
30 Code-IAPMO 1997, Uniform Administrative Code 1999, and Nation [sic]
31 Electrical Code 1999 will not apply to the Office Tract unless any of the
32 laws or codes mentioned in this sentence are part of federal
33 development rules in which case they will apply to the Office Tract.

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1 With the exception of the laws and codes mentioned in the preceding
2 sentence, the Albuquerque City Ordinances in Paragraph 5 above will
3 apply as Pueblo AIS Ordinances to the Office Tract. The Mitigation
4 Measures listed in Paragraph 8 above apply to the Office Tract. The
5 schematic, which contains the Site Development Plan for the Office
6 Tract is attached hereto as Exhibit A.”

7 Section 18. SEVERABILITY CLAUSE. If any section, paragraph, sentence,
8 clause, word or phrase of this ordinance is for any reason held to be invalid or
9 unenforceable by any court of competent jurisdiction, such decision shall not
10 affect the validity of the remaining provisions of this ordinance. The Council
11 hereby declares that it would have passed this ordinance and each section,
12 paragraph, sentence, clause, word or phrase thereof irrespective of any
13 provisions being declared unconstitutional or otherwise invalid.

14 Section 19. EFFECTIVE DATE AND PUBLICATION. This ordinance shall
15 take effect five days after publication by title and general.


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1 PASSED AND ADOPTED THIS 15th DAY OF August, 2005
2 BY A VOTE OF: 6 FOR 0 AGAINST.

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Excused: Cadigan, Mayer, Winter



Brad Winter, President
City Council

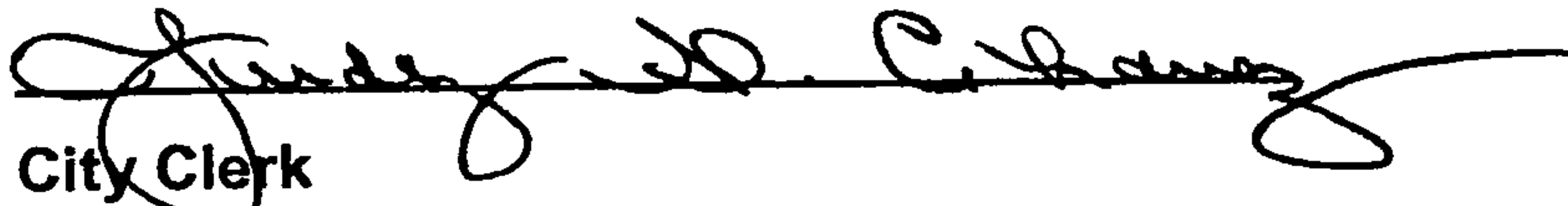
APPROVED THIS 26 DAY OF August, 2005

Bill No. F/S O-05-98



Martin J. Chavez, Mayor
City of Albuquerque

ATTEST:



City Clerk

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Exhibit B

Former Albuquerque Indian School Design Standards Supplemental

12th Street, Menaul within Commercial Tract, All Frontages Surrounding Plaza (including the west side of the internal north-south running street.

- **Applicable Standards.** Both the HOK / HPE plan standards and the IPFDC standards apply within this area. When the HOK / HPE standards address an issue that is not covered by the IPFDC standards or when both sets of standards apply to the same matter, the HOK / HPE plan standards regarding Streetscapes, Building Frontages, Street Network and Intersection Improvements, Parking, Bus Routes, and Bike Routes are the applicable design standards and take precedence over others.
- **Openings and Glazing.** The ground floor frontage shall be designed with 40% to 70% of the building frontage glazed, which can include windows and doors. The glazing shall be completely transparent. Openings shall be 30' or less on center.
- **Portals, Awning, Shade Trees.** The entire ground floor frontage shall include either portals, awnings, or shade trees (within the Café Space).
- **Service Areas.** All service areas shall be located behind these frontages.
- **Retail Use on Plaza.** The service area for this structure should be especially well screened with compatible architecturally designed materials. The façade on the west side of this structure, when it does not face the service, area shall comply with the Openings, Glazing, Portals, Awnings, Shade Trees standards above.
- **First Floor Clear Heights.** It is recommended that the ground stories in this area have clear heights of 15' to 25' from the floor.

Central Plaza

- The Plaza shall be shade covered in summer by awnings, canopies, or trees within 5 years of the development of the Plaza.

Gateway Entrance to Drive-Throughs South of Central Plaza

- These shall be architecturally compatible with adjacent buildings entrance ways spanning above the entrance and exit on the north and south sides of the street / drive-way access to and from the drive through in the block south of the Plaza. These architectural features shall continue the wall line across the entrance / exit. The height of these entrance ways shall be at an height allowed by City, utility, and other relevant regulations.

Commercial Tract as a Whole

- **Applicable Standards.** Both the HOK / HPE plan standards and the IPFDC standards apply within this area. When the HOK / HPE standards address an issue that is not covered by the IPFDC standards or when both sets of standards apply to the same matter, the HOK / HPE plan standards regarding

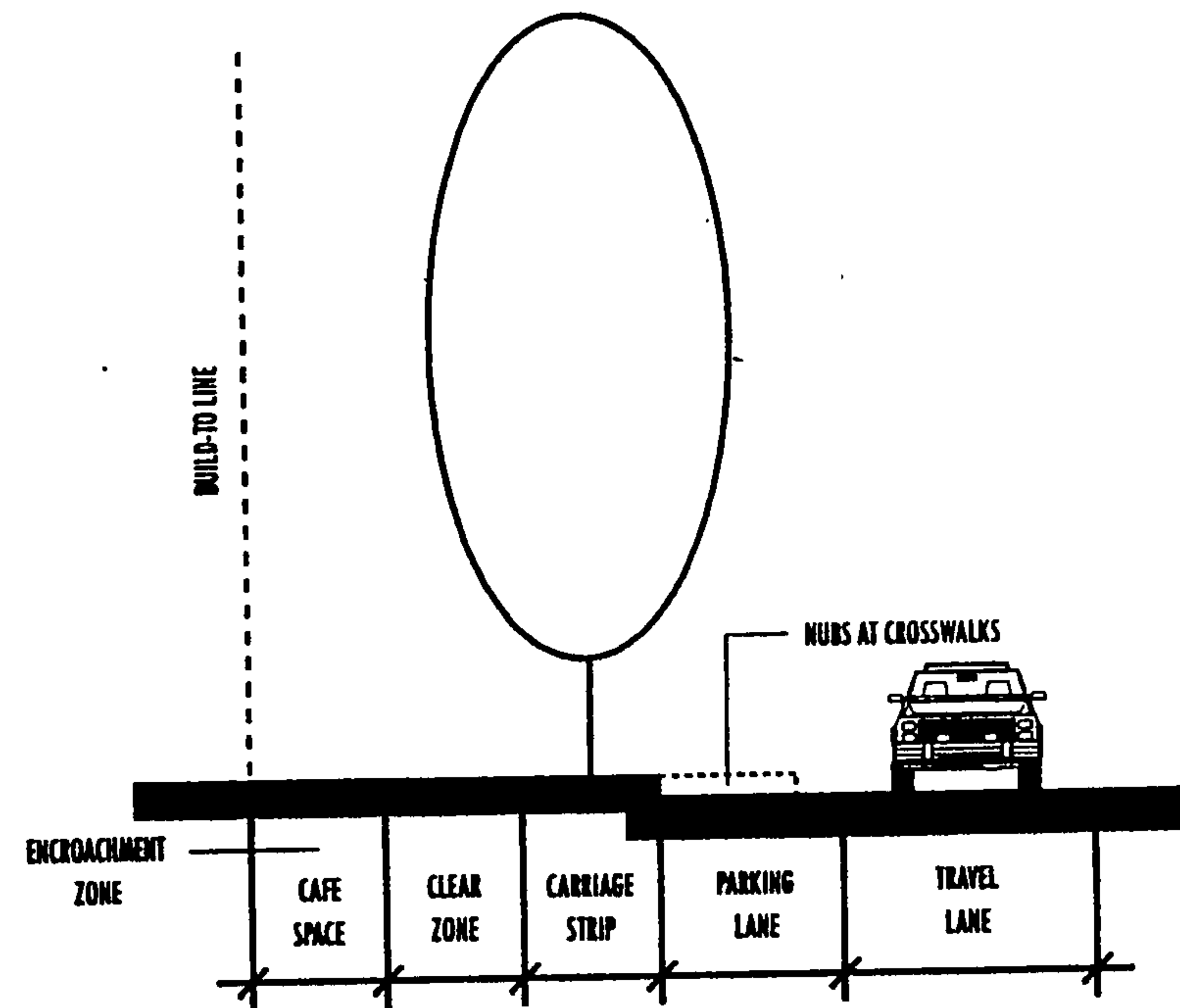
Streetscapes

The study offers recommendations for the widths and general configuration of streetscapes. The plan identifies four types of sidewalks based on optimum total width, and provides typical dimensions for carriage strip zones, clear walk zones, encroachment zones, and café spaces. The definitions and dimensions for each are based on several factors including anticipated levels of activity, existing and planned land uses, right-of-way constraints, and position within the larger network of streets and public spaces. A description of the purpose and design treatment of each of the streetscape areas follows.

Carriage Strip. The carriage strip exists as the space adjacent to the vehicular travel lanes within which is placed a variety of elements and amenities. Trees are the primary element of the carriage strip zone and can be located in tree pits, grates, planters, or planting strips depending on the level of activity of the streetscape and associated street. A 6' wide carriage strip is typical; however, in constrained conditions, tree grates are used to gain additional circulation space. Planting strips as narrow as 4' may be used along residential frontages. Light fixtures, street signage, trash receptacles, benches, bicycle parking loops, and directional and interpretive signage are the primary elements that

typically exist in the carriage strip. Rhythm and placement of these components aid in maintaining a pedestrian scale, provide information for pedestrians, and create a comfortable and safe environment.

TYPICAL STREETSCAPE ELEMENTS



Clear Zone. Next to the carriage strip zone is an area known as the pedestrian clear zone. This is defined as an unobstructed area serving as circulation space for pedestrians. The study recommends a minimum 6' wide clear zone allowing for the free flow of people along sidewalks.

Encroachment Zone. Shopfronts, blade signs, outdoor displays, awnings/canopies and café space are components of the streetscape that can extend beyond the build-to line. These

elements help define the character of an area, offer shelter from sun and rain, and provide visual interest to both pedestrians and motorists.

Café Space. Café spaces provide places for both active and passive social interaction and they add visual appeal, variety and interest to the streets. The study recommends the provision for sufficient sidewalk space to accommodate cafés generally along the frontages facing 12th Street and around the central plaza. Movable public seating and newsstand and retail kiosks could be placed in these spaces to encourage more daytime use independent of an adjacent restaurant and frame the street wall better.

STREETSCAPE IMAGES



Sidewalk cafe, street trees, and furnishings are placed outside the pedestrian clear zone.

Wayfinding & Interpretive Signs

Wayfinding and interpretive signs provide information on local attractions, identify historic and cultural sites of interest, and display maps for navigating the area to both visitors and residents of the area. In addition, the signs provide a way to establish a unique identity from other areas of the city.

Building Frontages

As the placement and design treatment of building frontages strongly influences the amount and quality of pedestrian activity, the study recommends general design treatments for 4 types of frontages. Each type is described below.

Plaza & 12th Street Shops Frontage. For streets and block fronts where commercial uses and pedestrian activity are most desired—along 12th Street and around the plaza—the study recommends that sidewalks be lined with shops, restaurants, and galleries and buildings be designed with the following:

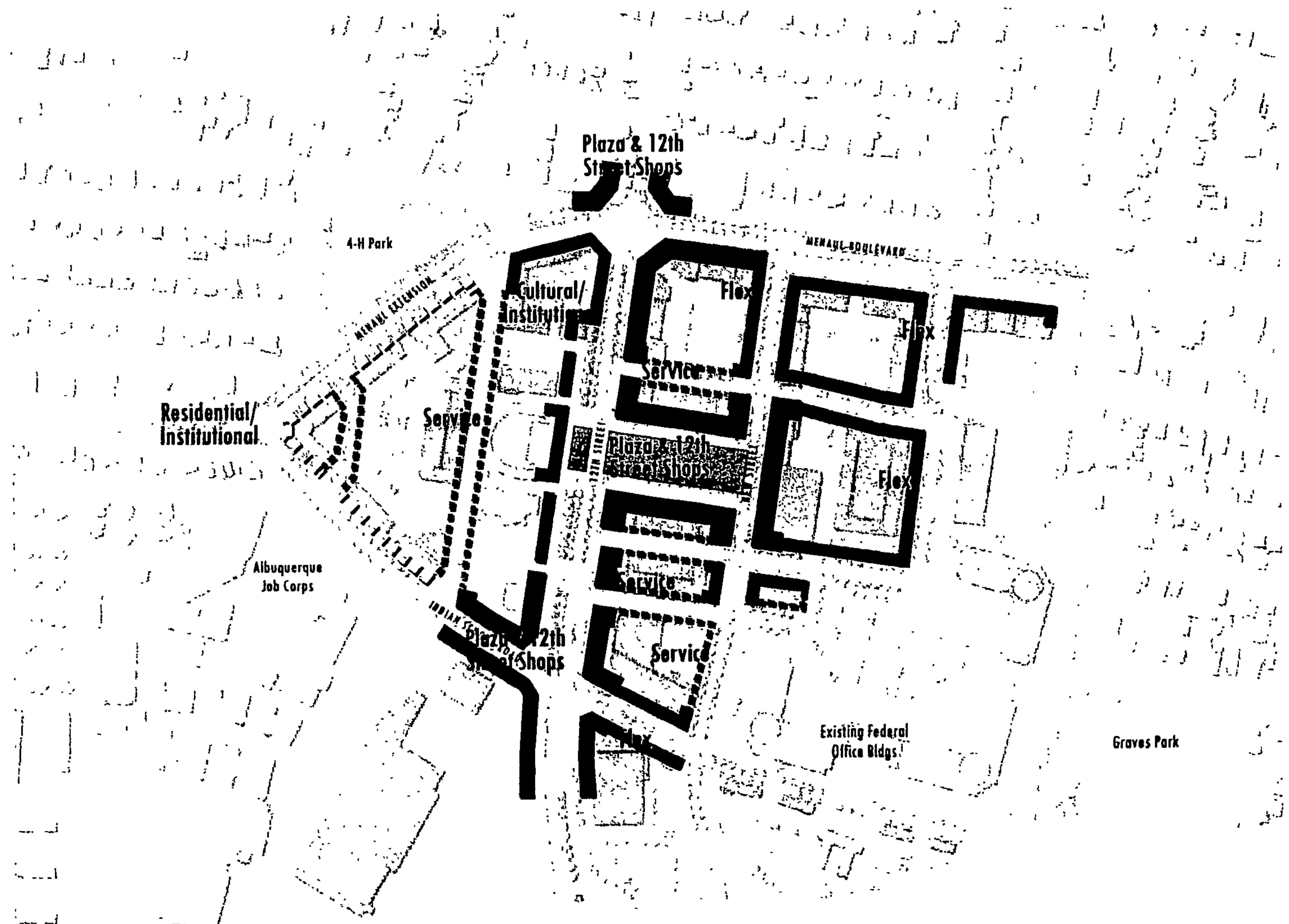
- multiple sidewalk entries matching sidewalk grade;
- generously-scaled display and transom windows;
- pedestrian-scaled signs and banners; and
- awnings or canopies for sun shading.

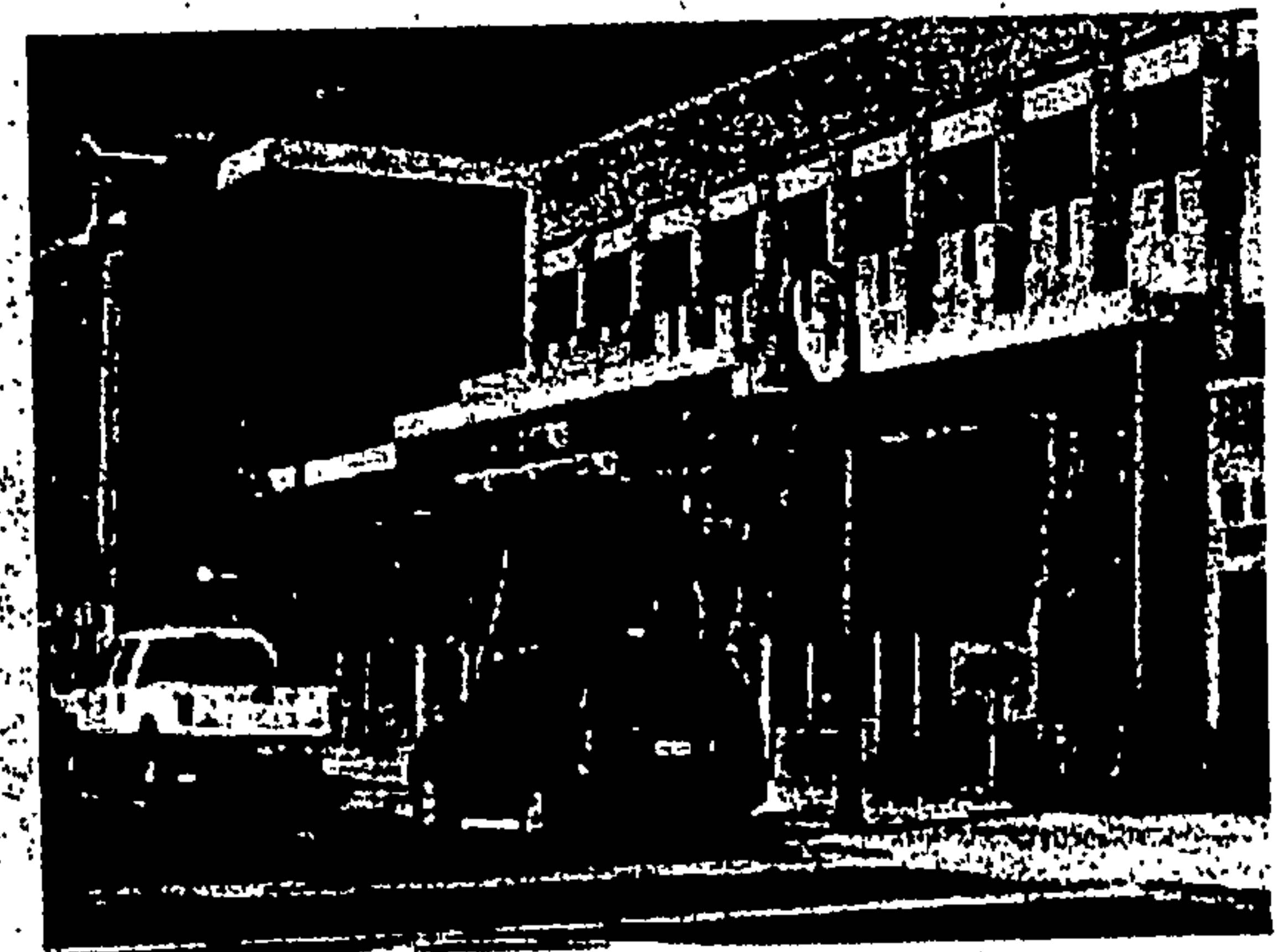
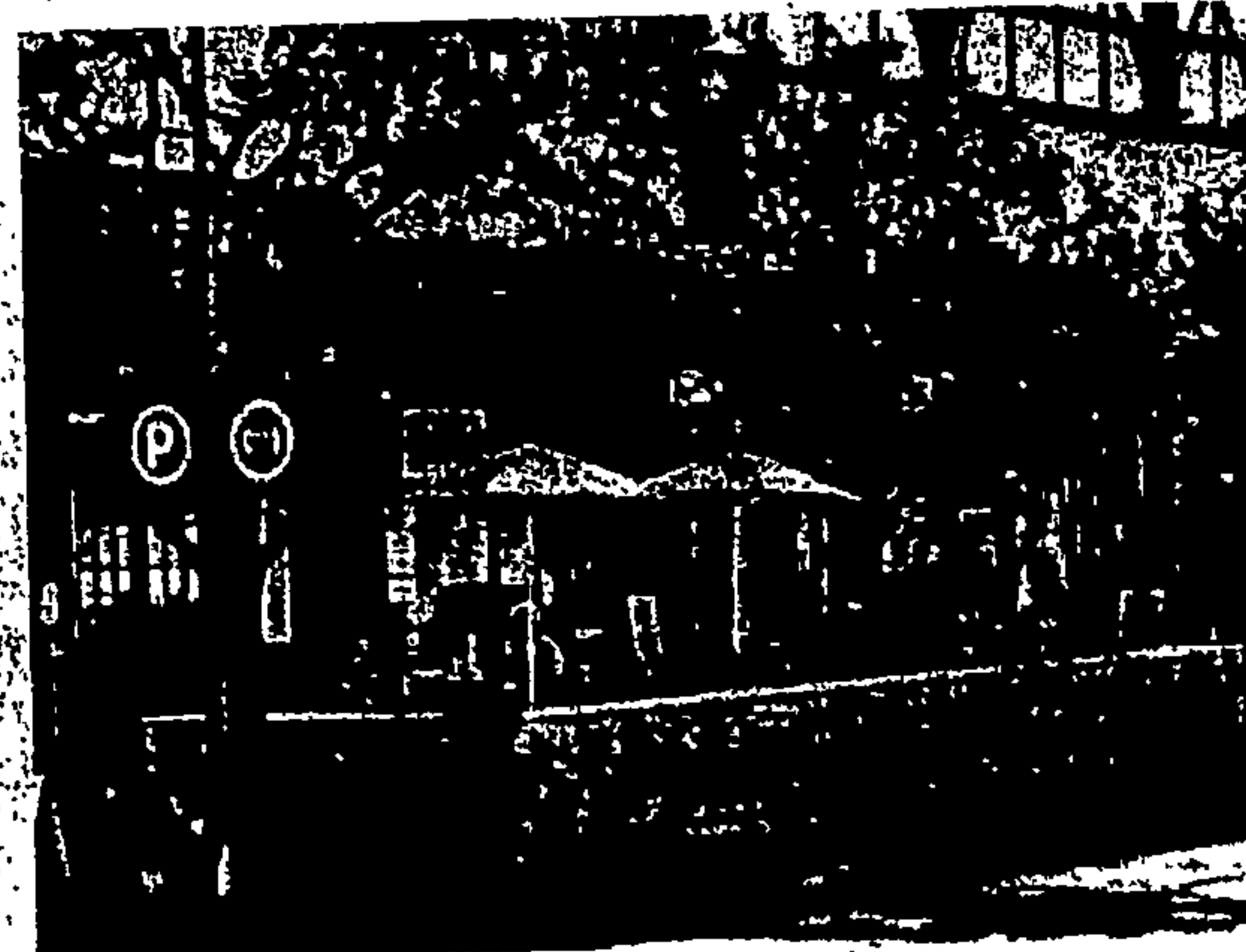
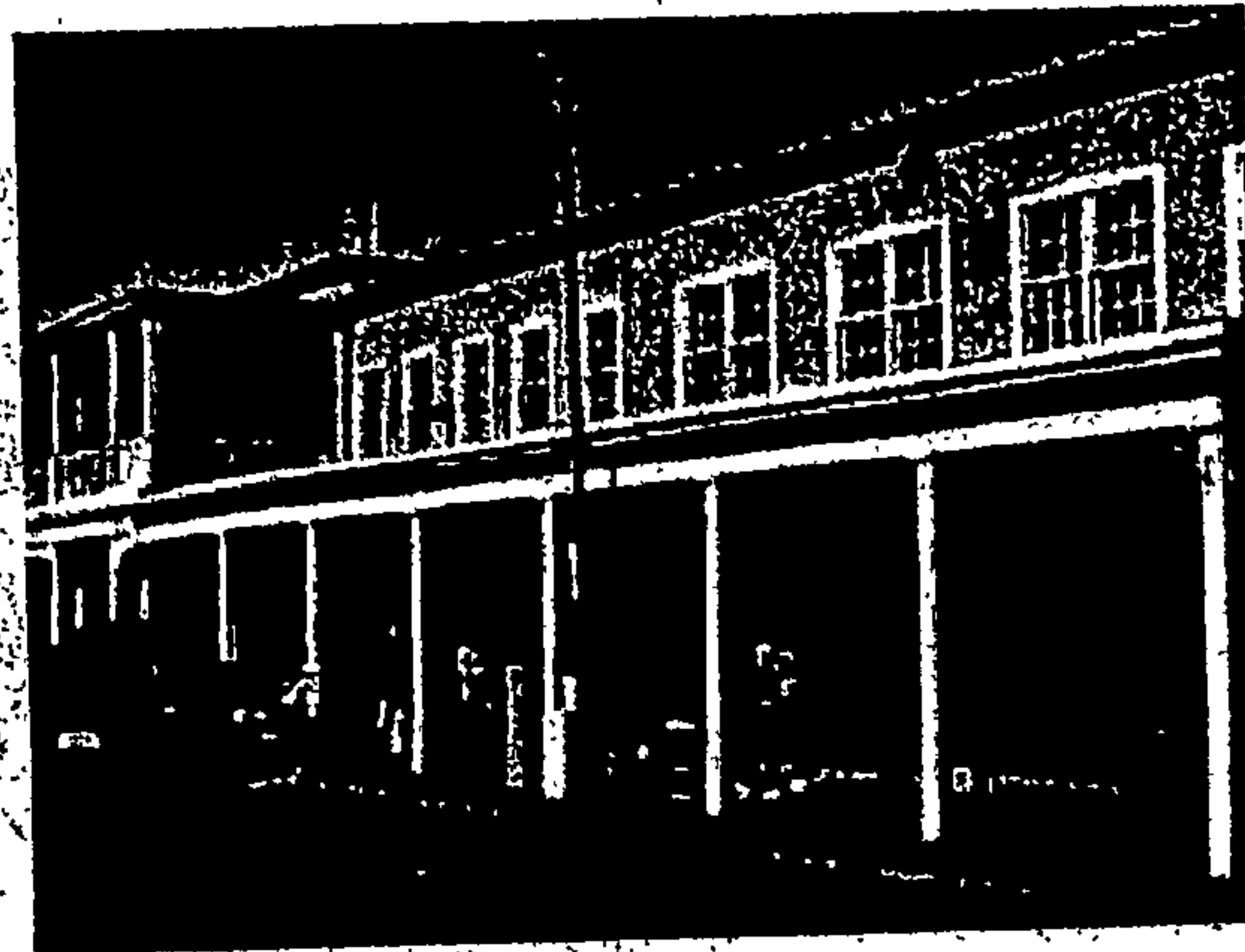
For these frontages, blank walls (ground floor wall surfaces without fenestration) and curb-cuts to access parking, service, and loading areas are prohibited.

Cultural Center Frontage. For streets and block fronts where cultural uses and pedestrian activity are desired—along the frontage of the Indian Pueblo Cultural Center—the study recommends that sidewalks be lined with buildings and landscaping, public entries to cultural facilities, and points of access to mid-block parking facilities.

Flex Frontage. For streets and blocks where a mix of uses and a moderate amount of pedestrian activity are desired, the study recommends frontages with lower levels of ground floor transparency, fewer building entries per block face, and limited access to service and loading areas. Parking frontage is only allowed on Flex frontages internal to the IPFDC site. For these locations where surface parking fronts a street, low screen walls and landscaping should be installed. Blank walls (ground floor wall surfaces without fenestration or entries) and curb-cuts to access parking, service, and loading areas are discouraged.

BUILDING FRONTAGES





These photos show a variety of storefront designs all of which share important characteristics—high levels of transparency at the ground level; multiple entries opening directly onto adjacent sidewalks; lively streetscape environments; and canopies, and arcades, or awnings for sun shading.

Residential Frontage. For street and block frontages along Indian School Road and Menaul Extension identified as appropriate for residential uses and a moderate amount of pedestrian activity, the study recommends that ground floor elevations be 18-24" above sidewalk grade and that individual units open directly onto adjacent rights-of-way. The recommendation for higher ground floor levels is intended to maintain street definition while providing for both privacy through vertical separation (residential windows above eye-level) and the informal surveillance of public space by residents. As

with the commercial frontages, blank walls (ground floor wall surfaces without fenestration) and curb-cuts to access parking, service, and loading areas are prohibited.

Service Frontage. For streets and block frontages where service and "back-of-house" uses are anticipated and a low amount of pedestrian activity is desired, the study identifies this fourth type of frontage where garage entries, access to drive-up windows (if allowed), parking frontage, and service and loading access are permitted.



Recent residential projects in Albuquerque and across the country illustrate how housing in urban contexts can support the creation of safe, pleasant street environments.

Street Network & Intersection Improvements

The proposed street network is a grid of thoroughfares providing multiple entries and exits to new development on the Indian School site thereby relieving pressure on key intersections at 12th Street and Menaul Blvd and 12th Street and Indian School Road.

Menaul Blvd east of the roundabout at 12th Street is designed with a 7' parking lane on the south side, a 5' bike lane, 1 10' travel lane, a planted median, a 10' travel lane, and a 5' bike lane on the north side. Parking on the north side is not recommended to allow space for a sidewalk and planting area along the ditch. Access to the Indian School site is provided at three points along the Menaul Blvd frontage spaced approximately 500' apart. Moving east along Menaul Blvd from 12th Street, the first access point is designed as a fully-functional intersection (all turning movements allowed), the second is designed as a right-in/right/out intersection, and the third at 10th Street is designed to allow left turns from Menaul Blvd westbound but not northbound through, northbound left, southbound through, or southbound left turning movements. These movements are limited to reduce neighborhood cut-through traffic north of Menaul Blvd.

Menaul Extension west of the roundabout at 12th Street is with a 7' parking lane on the south side, a 5' bike lane, 1 10' travel lane, a planted median, a 10' travel lane, a 5' bike lane, and a 7' parking lane on the northside. Access to the Indian Pueblo Cultural Center site is provided at two points.

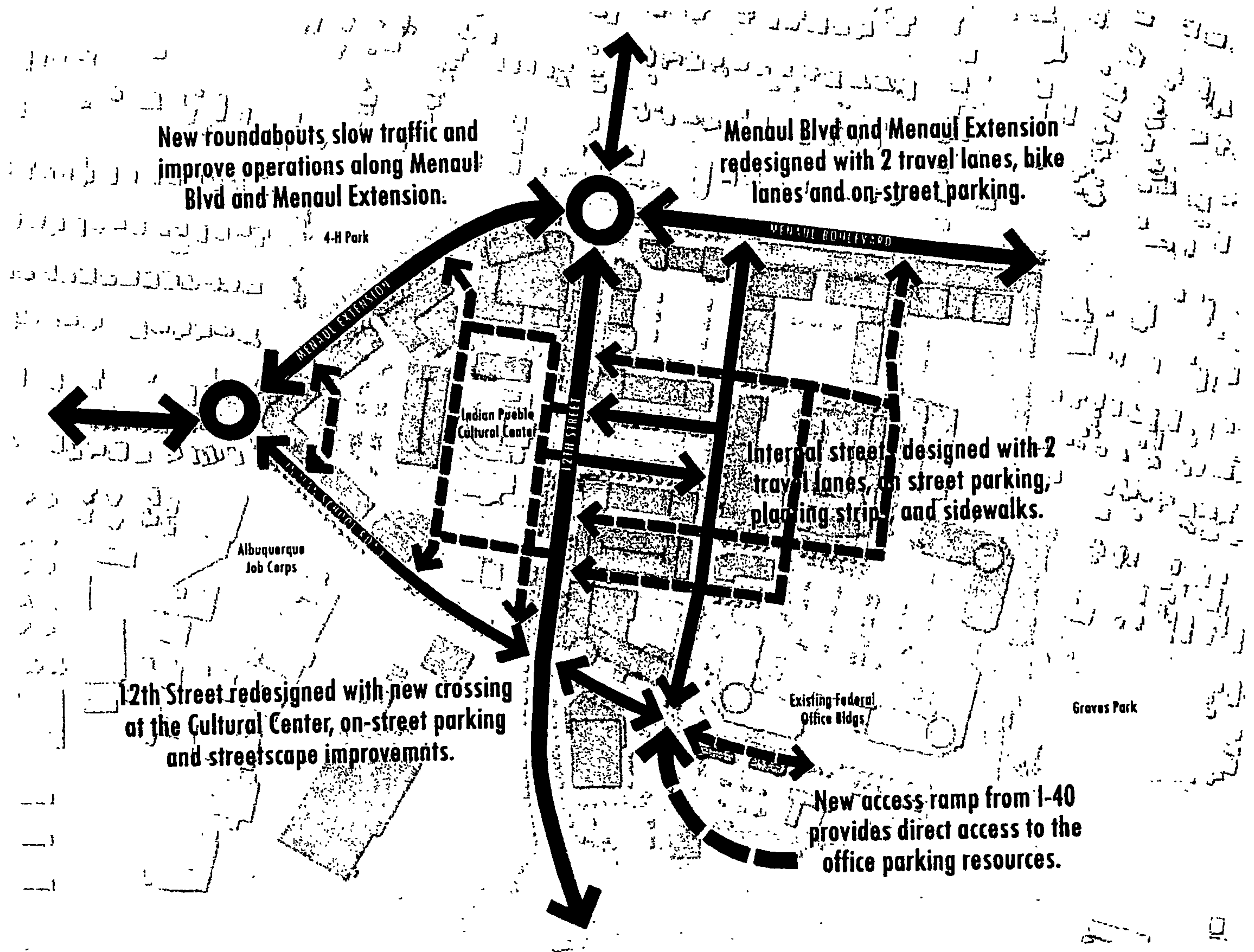
12th Street immediately south of the new roundabout at Menaul Blvd is designed with 2 southbound lanes, a landscape median, and 1 northbound lane. Further south, an additional northbound lane is added to ensure adequate access to the Indian School site and the Indian Pueblo Cultural Center. A new signalized intersection is planned at the plaza.

Indian School Road west of 12th Street remain essentially as currently designed but with improve sidewalks and streetscapes.

Design speed for all of these streets is 30 mph, which is consistent with the roadway geometry required for safe operation of autos, bikes, and commercial vehicles in mixed traffic.

Interior to the site, the study recommends the creation of a grid of streets with those running north-south having 10' travel lanes in each direction and those running east-west streets having 9' travel lanes in each direction. Parking lanes of 7' in width are recommended on each side of these internal streets. The one-way streets surrounding the plaza are designed with 10' travel lanes and angled parking on the storefront sides of the street. Design speed for the interior streets is 20 mph. Curve radii and other street geometry should be consistent with this design speed. The narrower streets interior to the site will still provide for safe commercial vehicle operation due to the lower traffic speeds and volumes on these streets.

STREET NETWORK



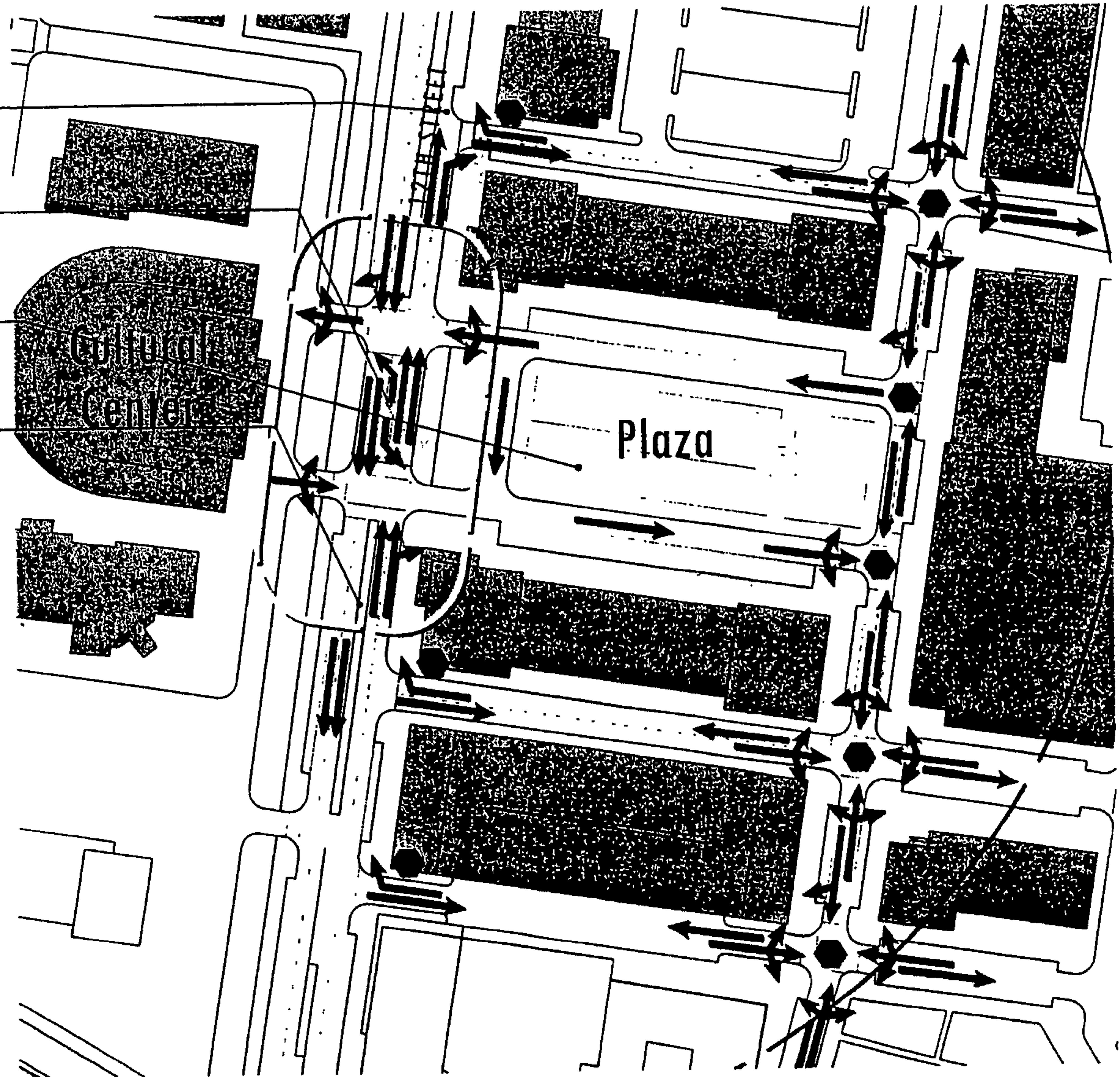
12th STREET & PLAZA SIGNALIZED INTERSECTION

Northbound 12th Street narrows from 2 lanes to 1 lane beyond the service drive north of the plaza

The intersection of the plaza streets with 12th Street operate as a single, signalized intersection.

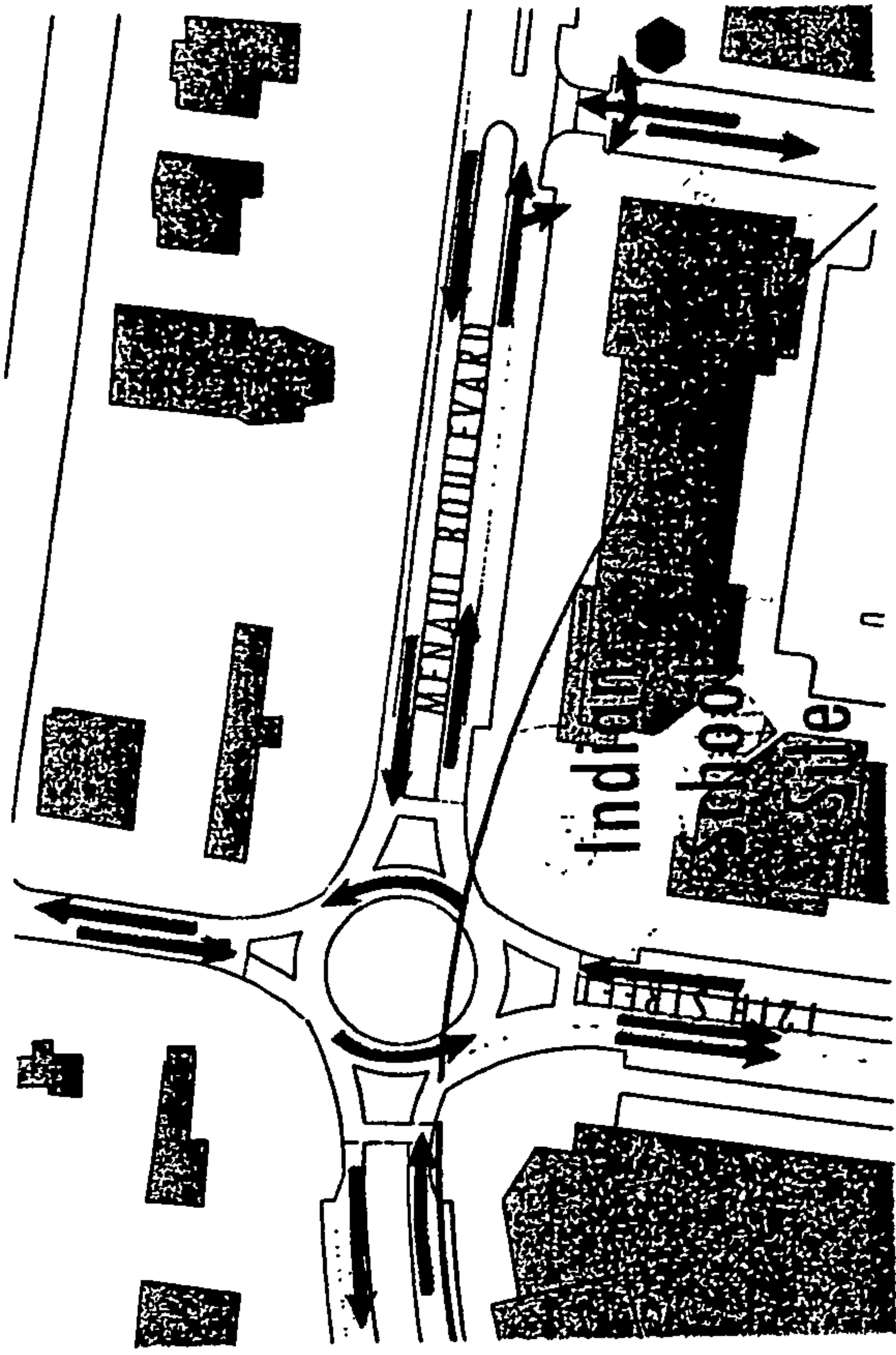
One way circulation and high-turnover angled parking is designed to support shops and restaurants.

12th Street from the service drive north of the plaza to Indian School Drive has 2 northbound and 2 southbound lanes, a center median and turn lanes, and on-street parking.



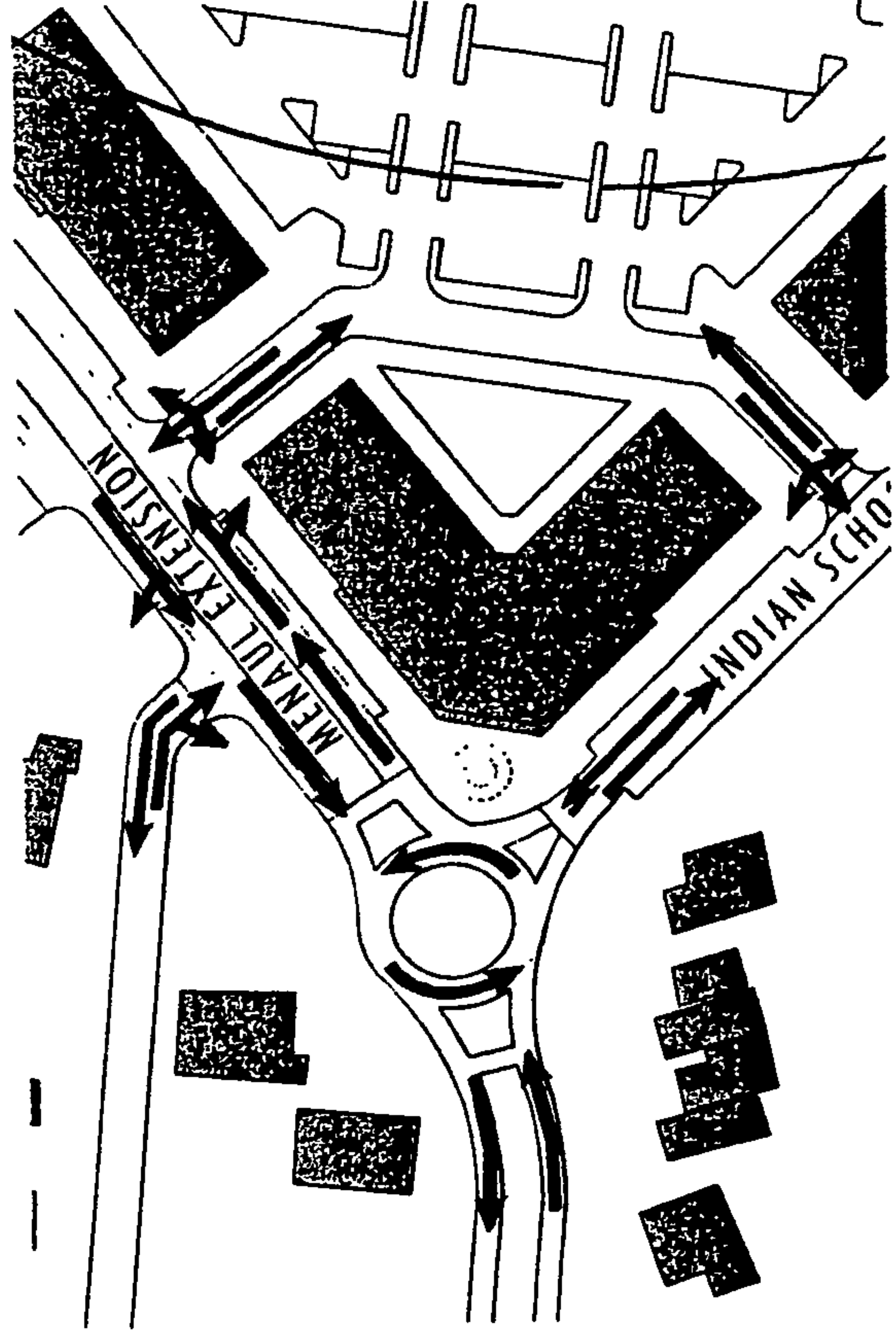
ROUNDABOUT @ MENAUL BOULEVARD & 12th STREET

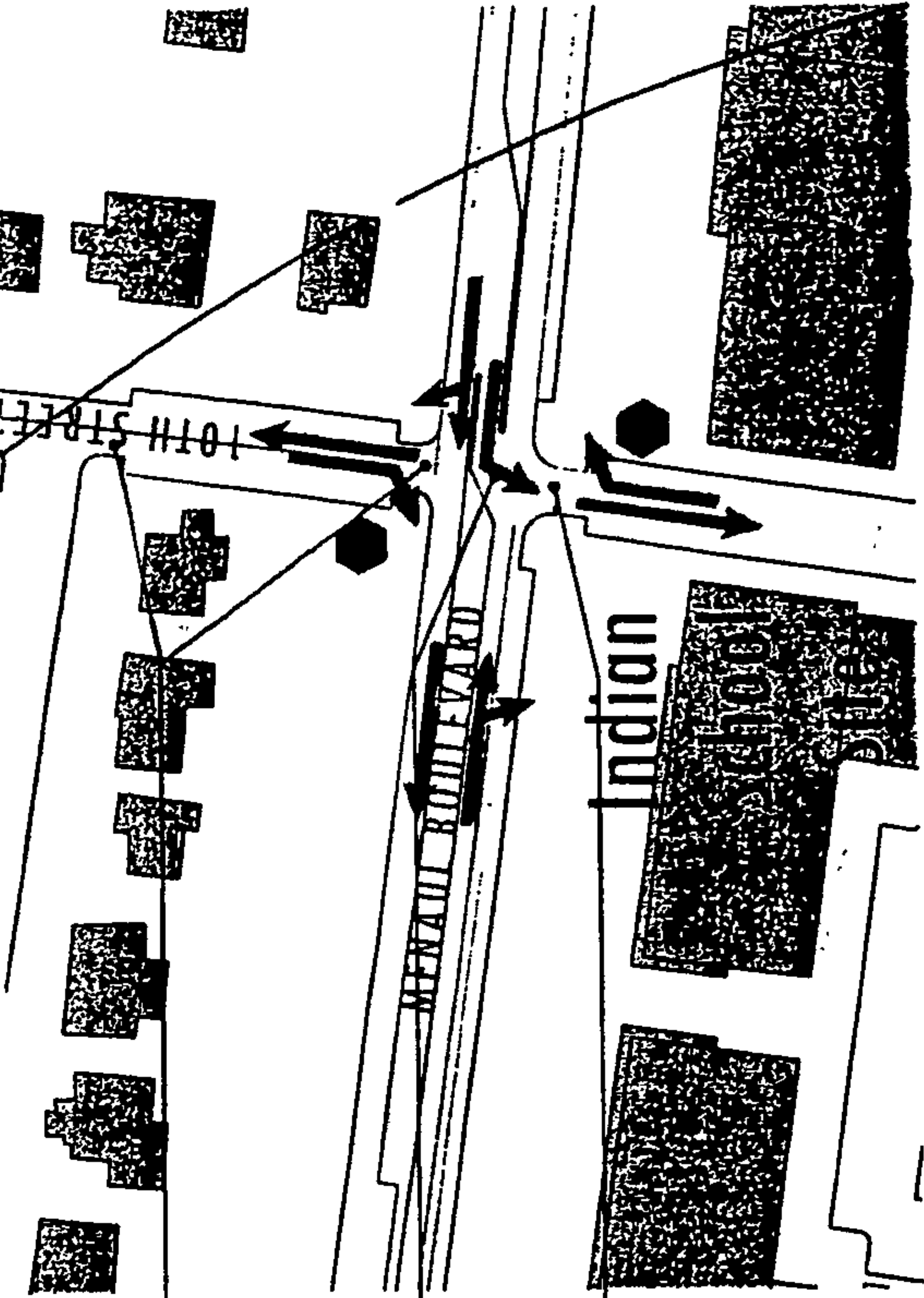
To improve traffic flow and safety, slow travel speeds, and ease pedestrian crossings, a roundabout is recommended at Menaul Blvd and 12th Street



ROUNDABOUT @ MENAUL EXTENSION & INDIAN SCHOOL ROAD

To slow travel speeds and ease pedestrian crossings, a roundabout is recommended at Menaul Extension & Indian School Road





SITE ACCESS AT MENAUL BOULEVARD & 10th STREET

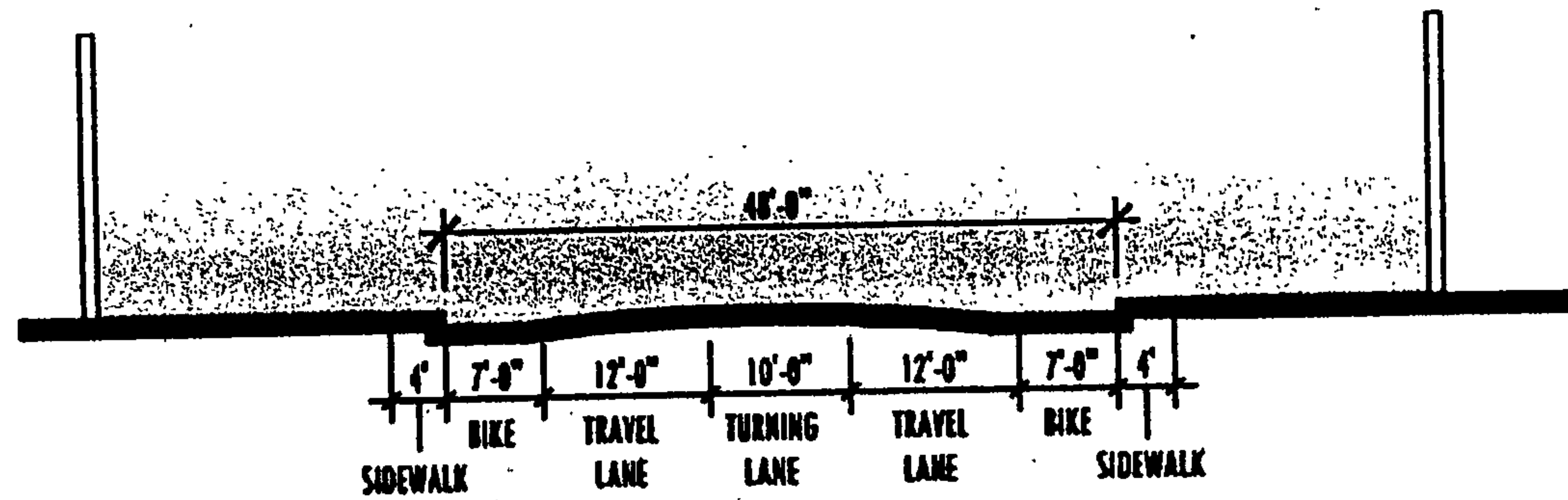
To minimize cut-through traffic entering the neighborhood on 10th Street, the plan recommends allowing only right-in, right-out movement and addition of "nubs" at intersections.

Left turns from Menaul Blvd to the Indian School site are permitted by way of a channelized turn lane.

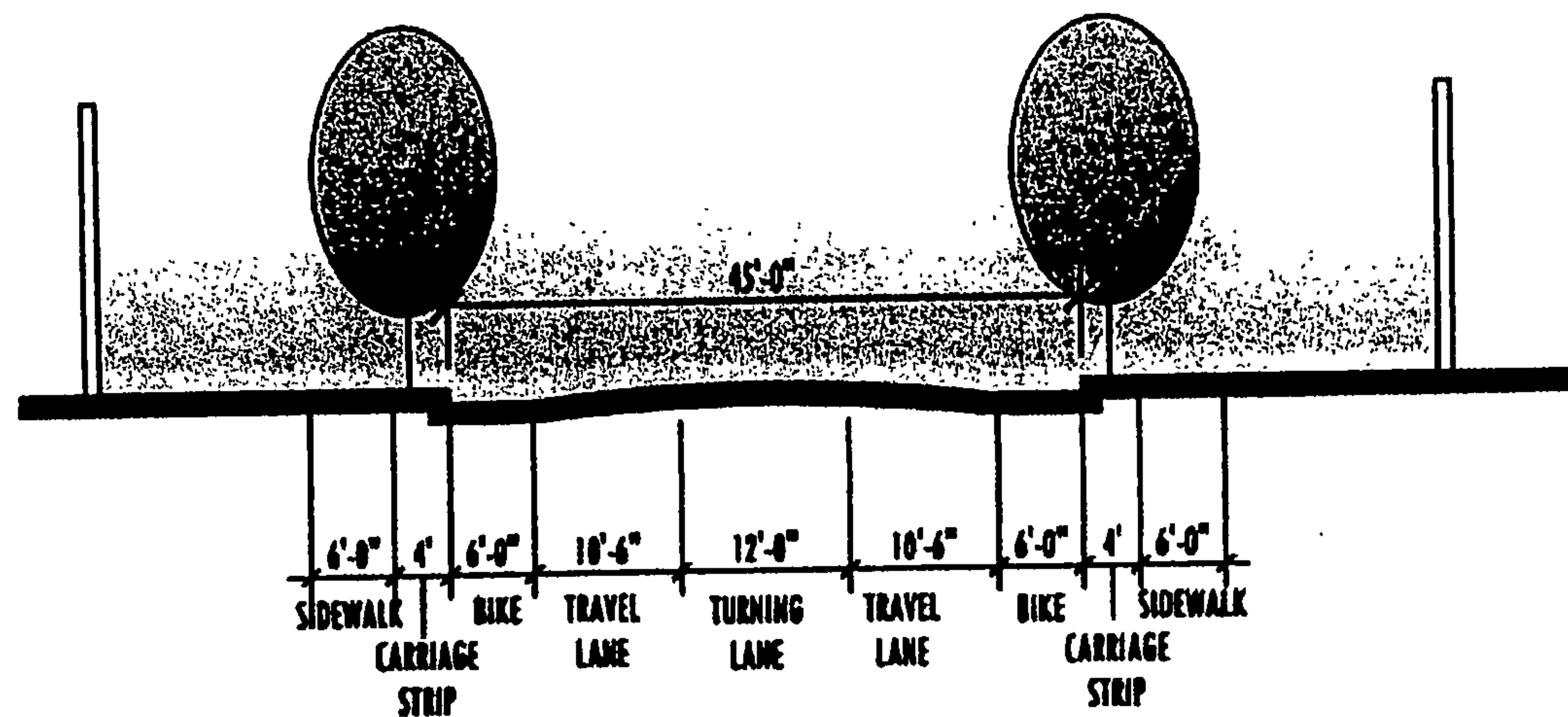
Median blocks traffic from entering 10th Street from the Indian School site.

STREET SECTION | 12TH STREET NORTH OF MENAUL BLVD

Existing

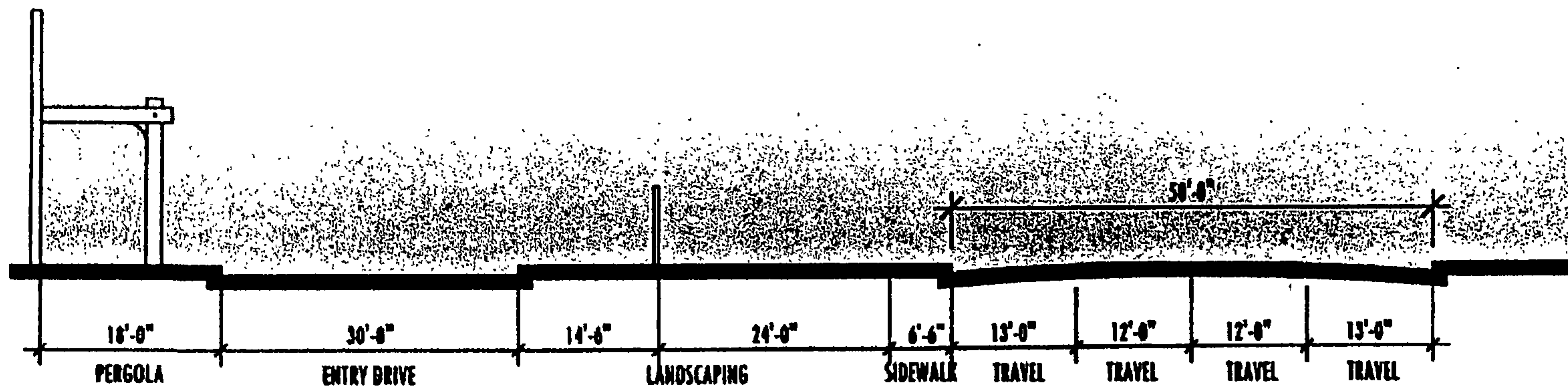


Proposed

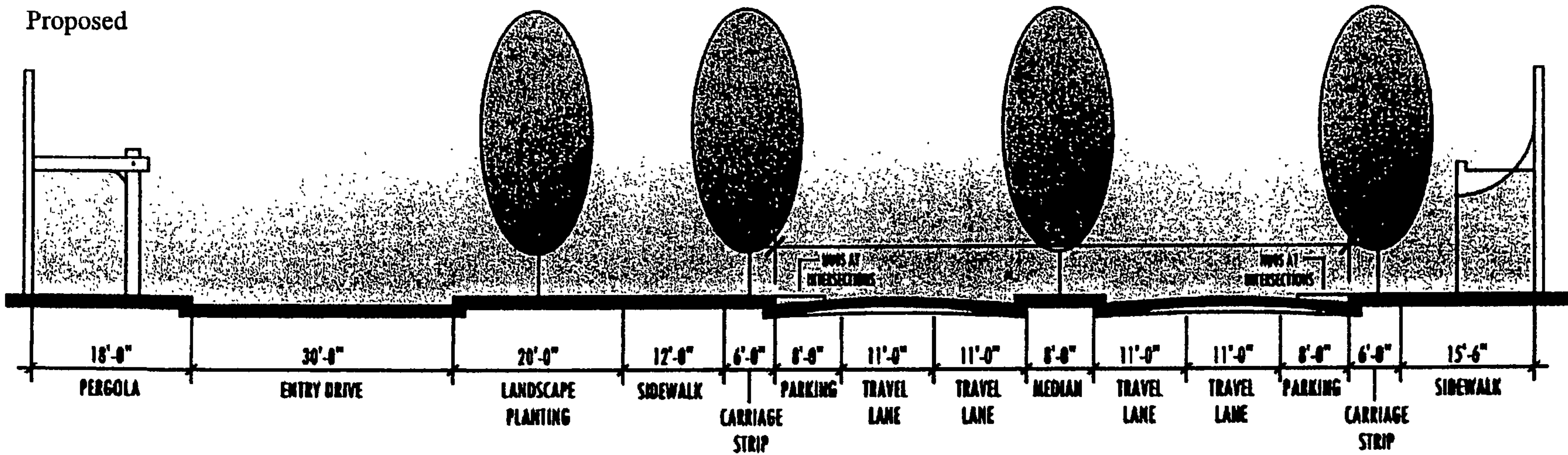


STREET SECTION | 12TH STREET AT PLAZA & INDIAN PUEBLO CULTURAL CENTER

Existing

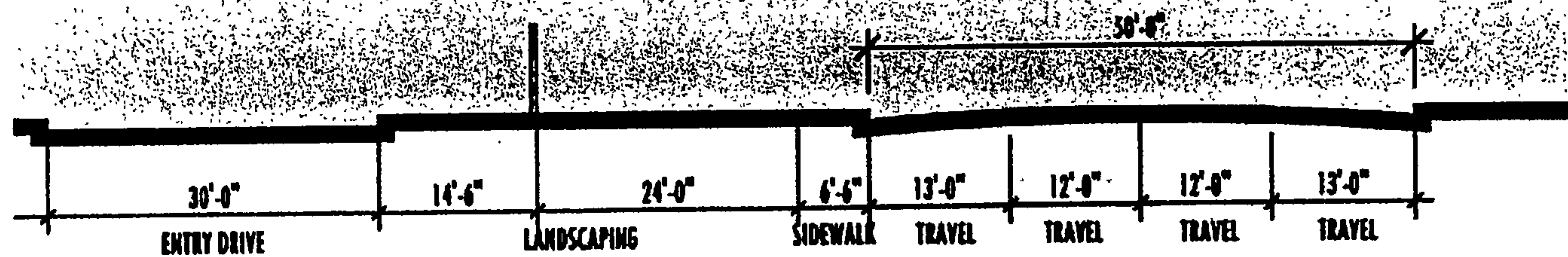


Proposed

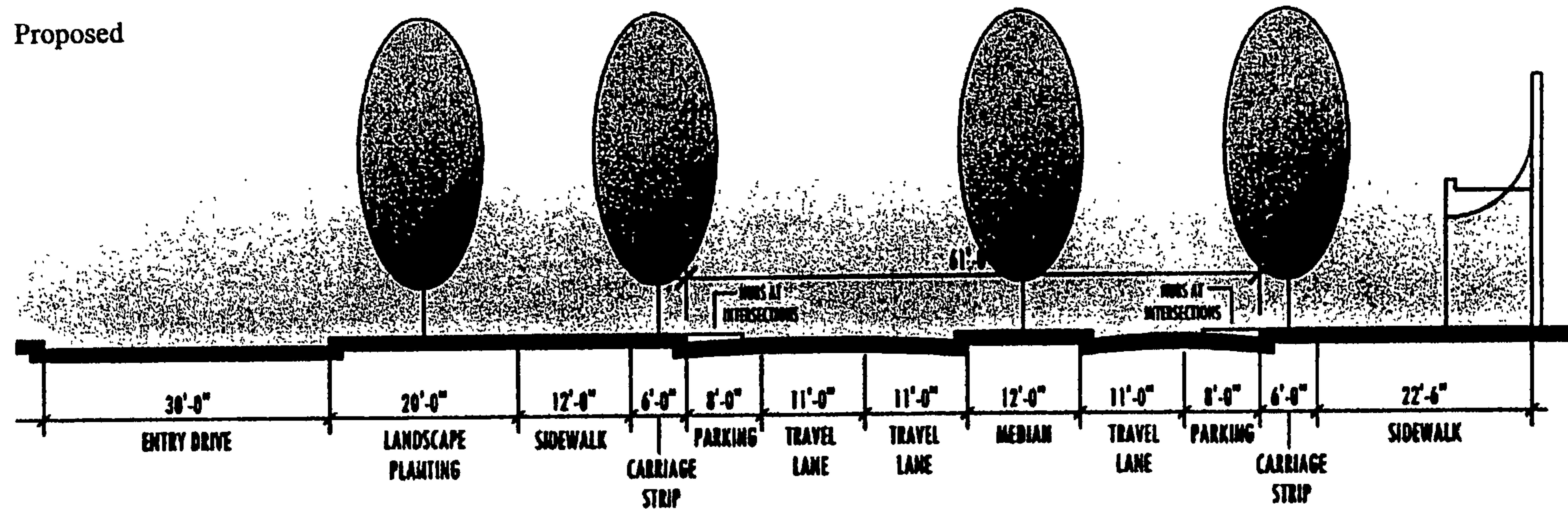


STREET SECTION | 12TH STREET NORTH SOUTH OF ROUNDABOUT

Existing

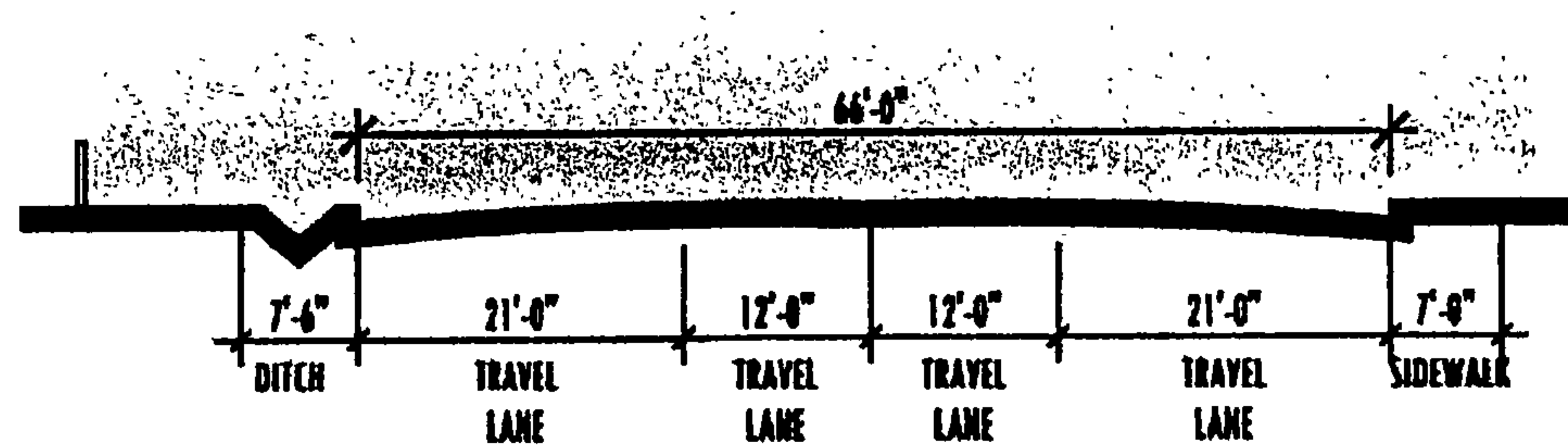


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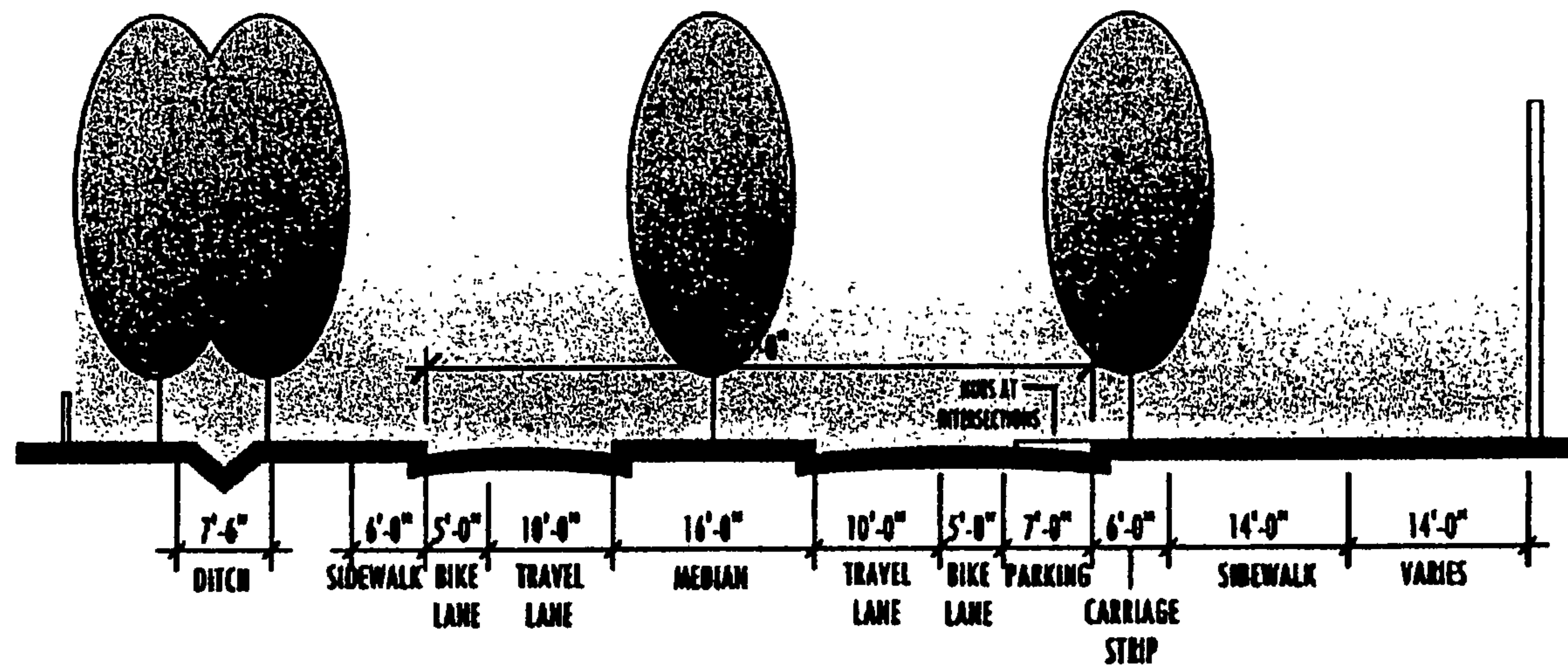


STREET SECTION | MENAUL LOULEVARD AT 10TH STREET

Existing

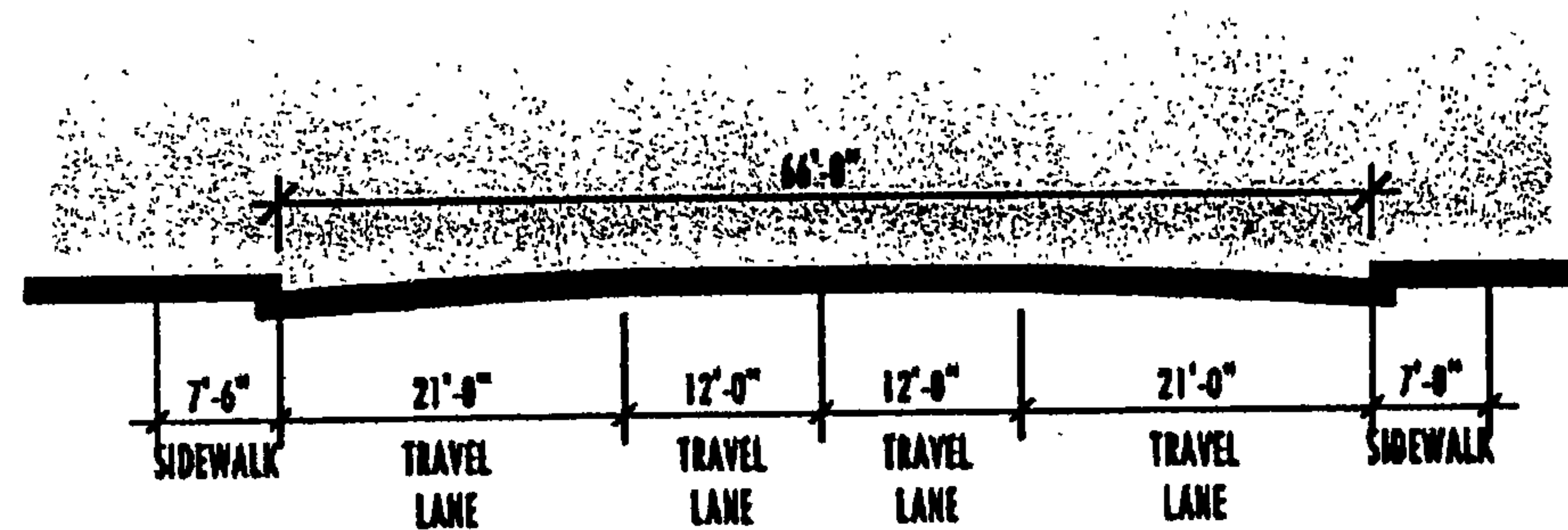


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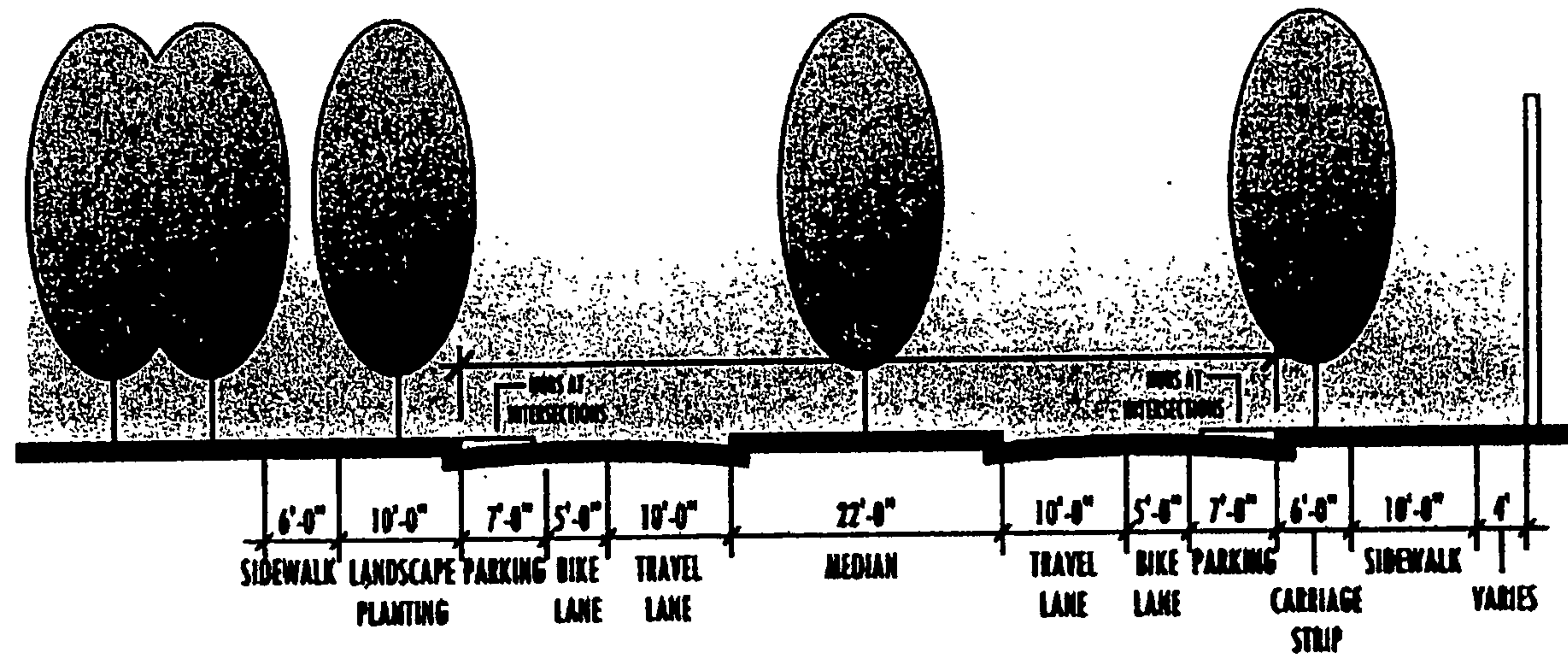


STREET SECTION | MENAUL EXTENSION WEST OF 12TH STREET

Existing

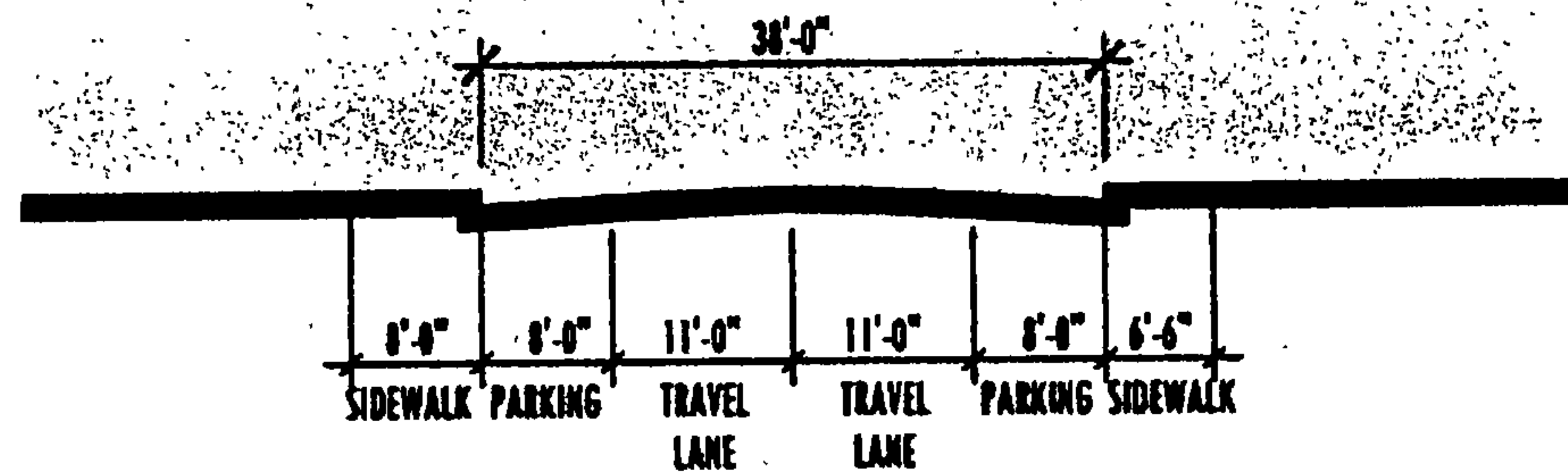


Proposed

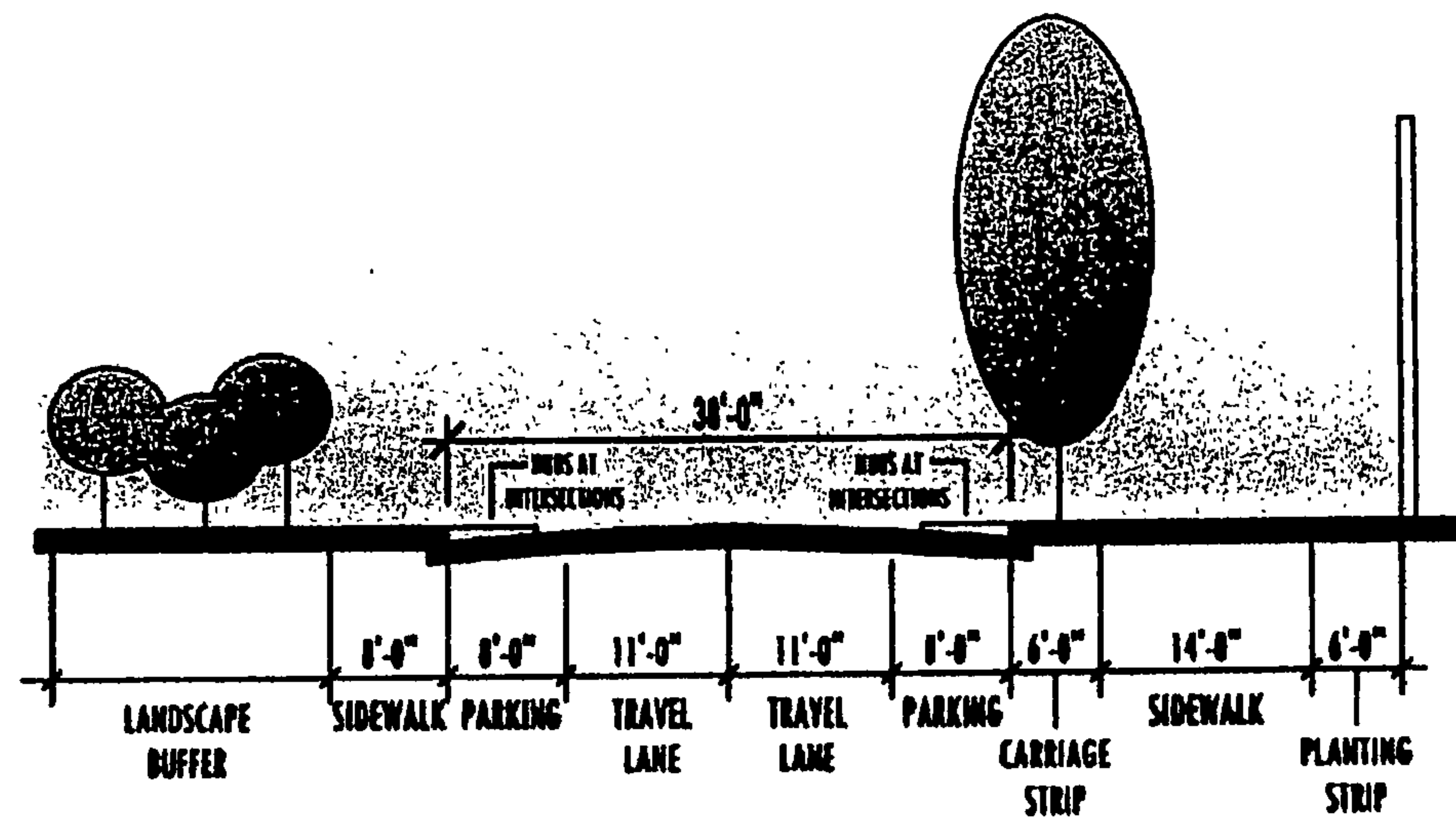


STREET SECTION | INDIAN SCHOOL ROAD BETWEEN 12th STREET & MENAUL EXTENSION

Existing

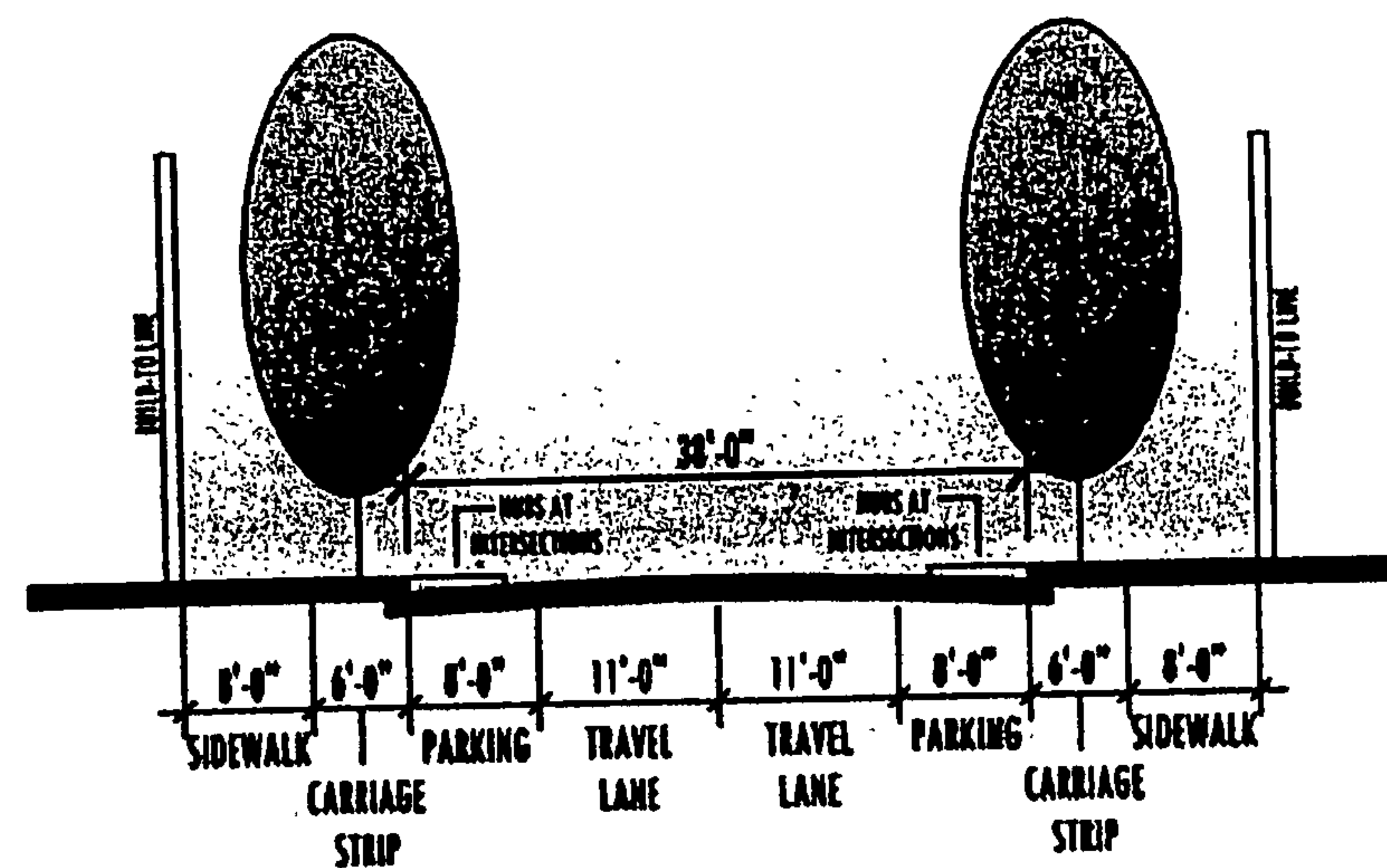


Proposed



STREET SECTION | TYPICAL INTERNAL STREET

Proposed



Parking

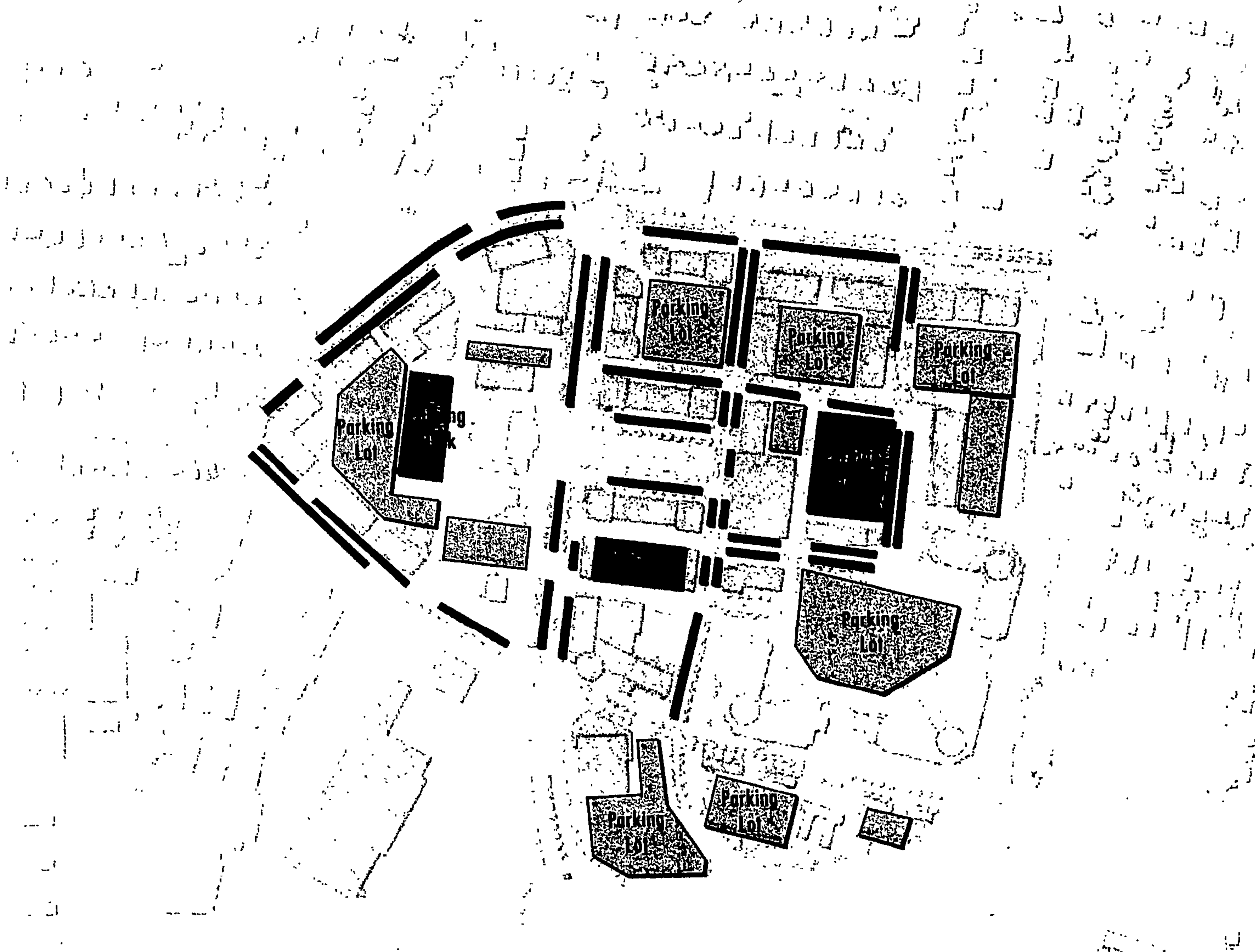
The illustrative plan indicates preferred locations for on-street parking, surface parking lots, and parking decks. As shown, on-street parallel parking is located as follows:

- on both sides of 12th Street from Indian School Road to Menaul Blvd except the segment at the plaza;
- on both sides of Indian School Road between Menaul Extension and 12th Street;
- on both sides of Menaul Extension between 12th Street and Indian School Road;
- on the south side of Menaul Blvd east of 12th Street; and
- on at least one side of most of the new streets on the Indian School site.

To provide high-turnover spaces for patrons of shops and restaurants fronting the plaza, the study recommends angle parking be provided on one side of the streets surrounding the plaza. As plans for the street network are further developed, all effort should be made to provide on-street, parallel parking along public streets and new internal streets other than those intended to serve as service drives and alleys.

The illustrative plan also shows surface parking lots and parking decks in mid-block locations to minimize their visual impact on existing public streets and avoid breaks in priority building frontages. These recommendations for the location of lots and decks are offered as general guidance—further evaluation of demand, phasing, and security requirements are required to determine optimum locations and sizes of facilities.

PARKING

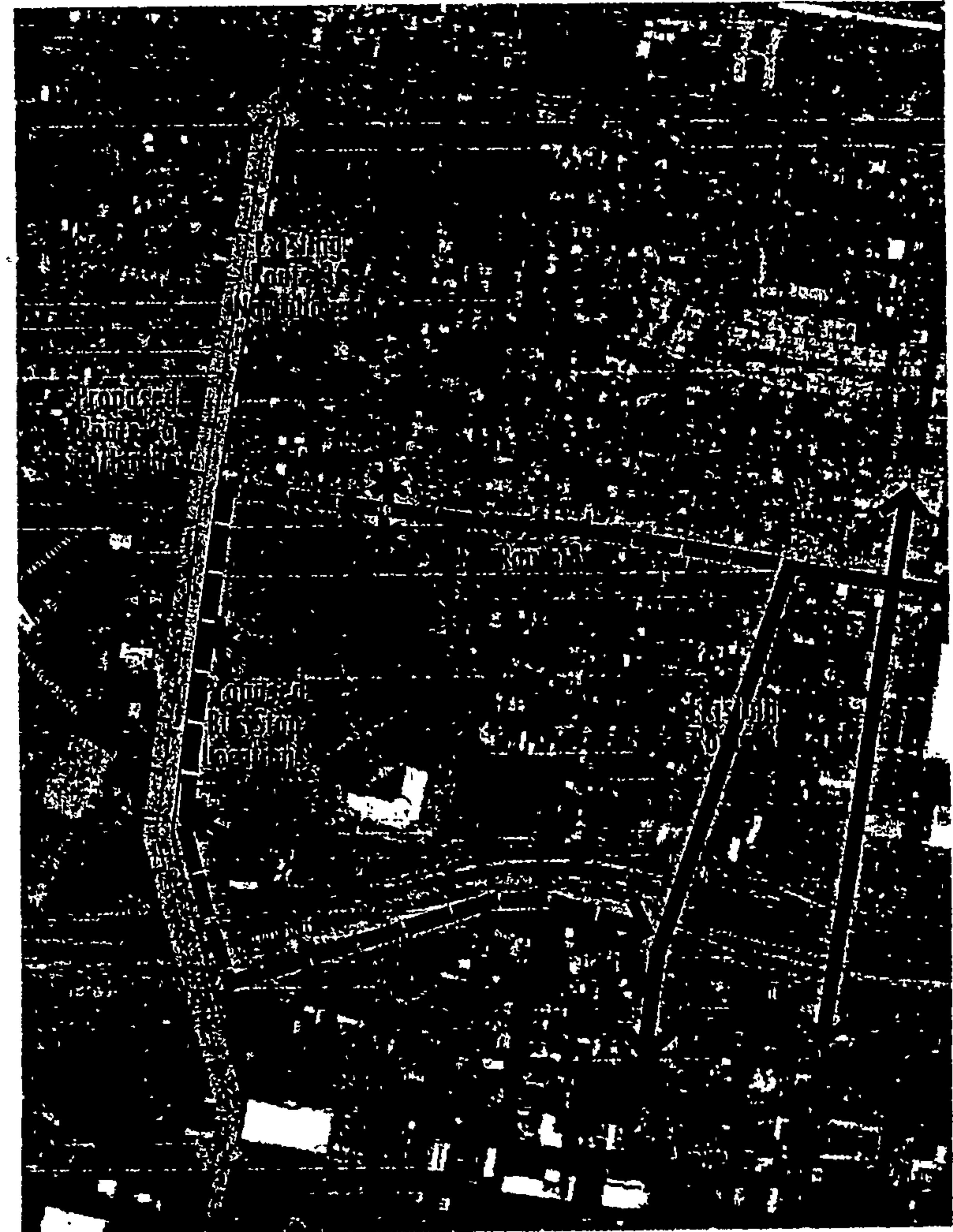


Bus Routes

As the illustration to the right shows, Route 36 runs in north only along 12th Street with 60 minute headways. This minimal level of transit service could be improved to better support the IPFDC project. At a minimum, service should be provided along both sides of 12th Street by running a route south as well as north. Route 8, for example, could be extended along Menaul Blvd to turn south on 12th Street instead of 6th Street to provide south-bound transit service.

In addition, bus stop facilities should include shade and shelter, a bench or leaning rail, and of course good sidewalk connections. Bus stops should be located on the far side of the traffic signals to avoid conflicts with right-turn lanes.

EXISTING & PROPOSED
BUS ROUTES



Bike Routes

An arterial bike lane system exists along 12th Street north of Menaul Blvd and 5' bike lanes are recommended for Menaul Blvd, Menaul Extension, and 12th Street south of Indian School Road. Due to right-of-way constraints on 12th Street from Menaul Blvd to Indian School Road and Indian School Road from Menaul Extension and 12th Street, the study recommends the designation of bicycle routes and the installation of share-the-road signs but not the development of exclusive bike lanes. Interior to the site, design speeds are 20-25 mph and bike lanes will not be necessary.

Bicycle parking should be provided at intervals of no less than every ½ block. A simple inverted “U” rack will be sufficient to provide for bicycle parking needs, although more elaborate and artistic bike parking facilities are available and encouraged. The city of Tucson, Arizona, for instance, has bike parking racks in its university area that have been fabricated from old bicycle frames and parts and serve as public art as well as bike parking facilities. Bike parking racks that reflect the character of the area in this way contribute to civic spirit as well as efficient transportation.

**EXISTING & PROPOSED
BIKE ROUTES**

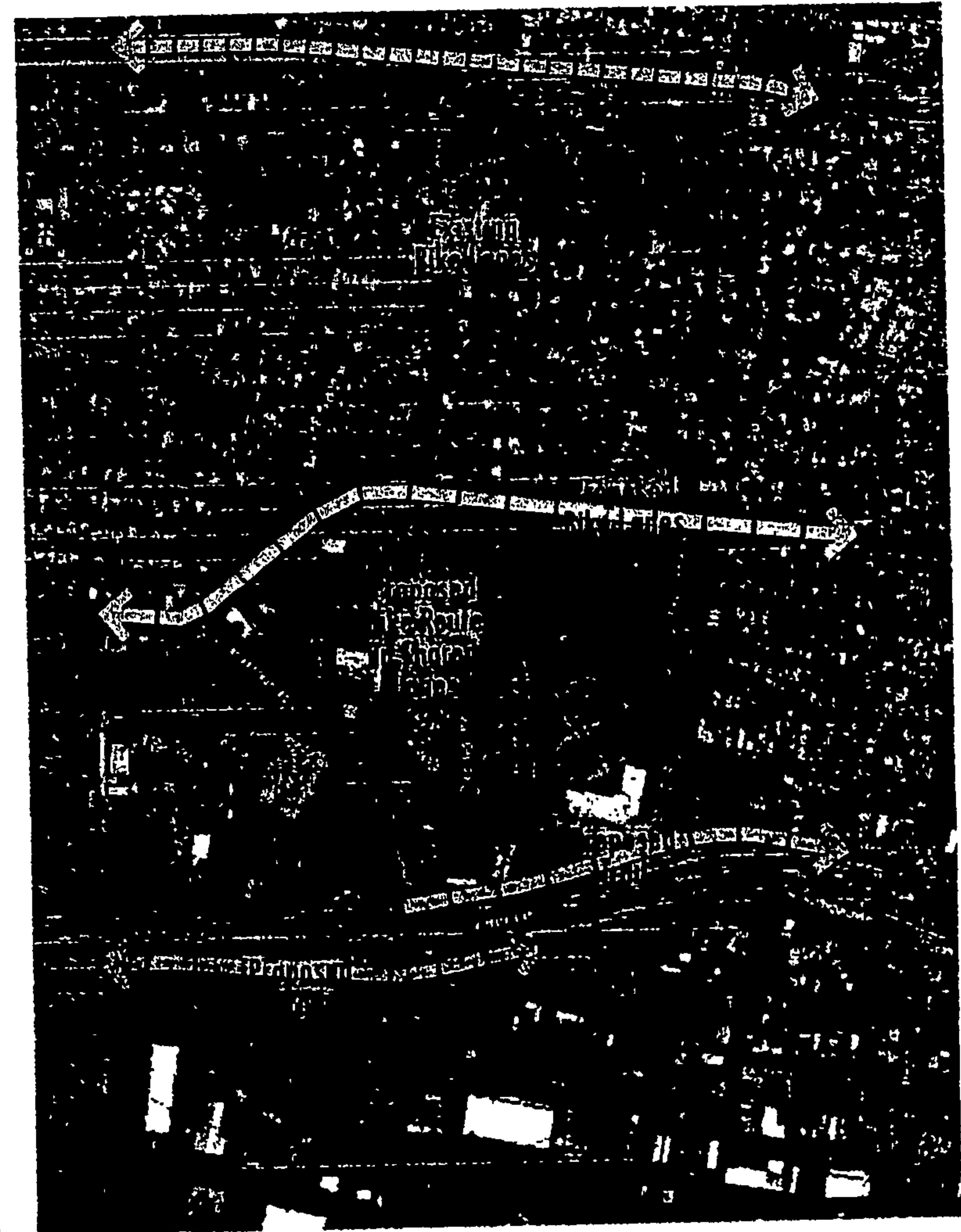


Exhibit B

IPFDC – Design Standards and Guidelines

Note:

Commercial Tract as a Whole

- **Applicable Standards.** Both the HOK / HPE plan standards and the IPFDC standards apply within this area. When the HOK / HPE standards address an issue that is not covered by the IPFDC standards or when both sets of standards apply to the same matter, the HOK / HPE plan standards regarding Streetscapes, Building Frontages, Street Network and Intersection Improvements, Parking, Bus Routes, and Bike Routes are the applicable design standards and take precedence over others.

Office Tract

- **Applicable Standards.** The IPFDC Standards apply to the Office Tract.

PARKING

The intent of the standards for the development of parking areas is to: mitigate heat/glare through the provision of landscaping; minimize the visual impact of parking areas; and provide accessible, safe circulation within and adjacent to the parking areas.

*Large parking areas shall be broken into smaller parking areas with landscaped medians a minimum of 12 feet wide and logical pedestrian ways.

*ADA-compliant parking shall be located adjacent to main building entries.

*Clear pedestrian connections shall be provided through parking areas at a minimum width of 6 feet and shall be clearly demarcated with slightly raised and/or textured paving where they cross vehicular entrances and drive aisles. Shade trees shall be provided along pedestrian walks at approximately 25 feet on center.

*Sidewalks and/or pedestrian path that are perpendicular and at the front of parking spaces shall be protected from overlapping cars by permanently anchored tire stops, bollards, or raising the walkway to provide for a 6-foot wide clear pedestrian area.

*Landscaped islands shall be distributed throughout parking areas. Parking areas shall include at least one tree for every six parking spaces, and the

maximum distance from any parking space to a tree shall be 50 feet. Trees located within 8 feet of the perimeter of the parking area may be counted toward this requirement, but may not be used to fulfill street tree requirements. A minimum of 75 percent of parking lot trees shall be large canopied deciduous trees to provide shade during the summer months and reduce shading during the winter months.

***Parking Area Setbacks:**

To allow for an appropriately sized landscape buffer adjacent to roadways, parking areas shall be setback as follows:

- 10 feet from the right-of-way line of roadways
- 10 feet from the right-of-way line of other adjacent properties

***Drive-thru facilities shall be designed so that they do not interfere with main pedestrianways or create conflicts between pedestrians and vehicles.**

***No refuse collections areas shall be allowed between any street and building front. All refuse containers shall be screened within a minimum of a 6 foot tall enclosure that is large enough to contain all refuse generated between collections. The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.**

***Parking areas shall be screened from adjacent streets and properties by providing a landscape strip between parking lots and public rights-of-way. The landscape strip shall be a minimum of 10 feet in width and shall be designed with a combination of plant materials, walls or fences, and/or earthen berming. Such screening shall have a minimum height of 3 feet.**

***Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or plant materials when viewed from the public right-of-way. Screening materials shall not limit access for maintenance purposes by utility companies.**

BICYCLE FACILITIES

***Bicycle parking for employees and others shall be provided to promote alternative vehicle use. One bicycle rack space per 20 parking spaces is required, and shall be conveniently located near building entrances, but not within pedestrian pathways or landscape areas.**

***Bicycle facilities shall comply with the governing city ordinance.**

SITE PLANNING EXEPTIONS

Where a vestibule or other projecting entryway is provided, the depth of the vestibule or entryway may be included in the sidewalk calculation, provided 6 feet of sidewalk is located in front of the vestibule or projecting entryway in order to allow pedestrian connectivity along the entire length of the façade.

SITE PLANNING

The intent of the following guidelines is to create pedestrian-friendly environments for employees and visitors. A goal is to enhance the opportunities for social interaction and the exchange of ideas.

*As individual parcels are created, cross access easements shall be provided between adjoining parcels.

*The following design standards are applicable to office/institutional and commercial retail/services uses:

***Sidewalks**

a) Sidewalks, a minimum of 10 feet in width, shall be provided along the entire length of major façades containing primary entrances. The width of the sidewalk shall be increased as follows:

*Ten feet in width for buildings up to 30,000 square feet.

*For buildings greater than 30,000 square feet, the width of the sidewalk shall increase at the rate of one foot in width per 10,000 square feet of building size to a maximum required width of 15 feet.

b) The width of the required sidewalk may vary along the entire length of the façade provided the average required width is maintained and provided the width of the sidewalk along the façade does not fall below 10 feet.

c) A six foot wide clear path shall be maintained along the sidewalk at all times. Site amenities, cars, landscaping and other uses of the sidewalk may not encroach upon the six-foot clear width.

d) The building's overall footprint will be considered the area for calculation of sidewalk width. A collection of smaller buildings linked by common walls will be considered as one building.

e) Amenities, landscaping, vending and customer pick-up may be incorporated into the width of the sidewalk as long as they do not encroach upon the clear width as stated above.

f) Patios, plazas, courtyards, and other outdoor activity or seating areas shall be shaded (25 percent minimum, 50 percent maximum) from summer sunlight by

*** ,TX REPORT ***

TRANSMISSION OK

TX/RX NO 0714
CONNECTION TEL 98439683
SUBADDRESS
CONNECTION ID c. DCSW Archit
ST. TIME 08/21 10:35
USAGE T 02'13
PGS. 5
RESULT OK

City of Albuquerque
Planning Department
505-924-3900 (main number)
505-924-3864 (fax number - 2nd Level)
505-924-3440 (fax number - 4th Floor)
Development and Building Services (One Stop Shop)
600 2nd Street NW
Albuquerque, NM 87102

**City of Albuquerque
Planning Dept.
Dev. & Bldg. Svcs.**

Fax

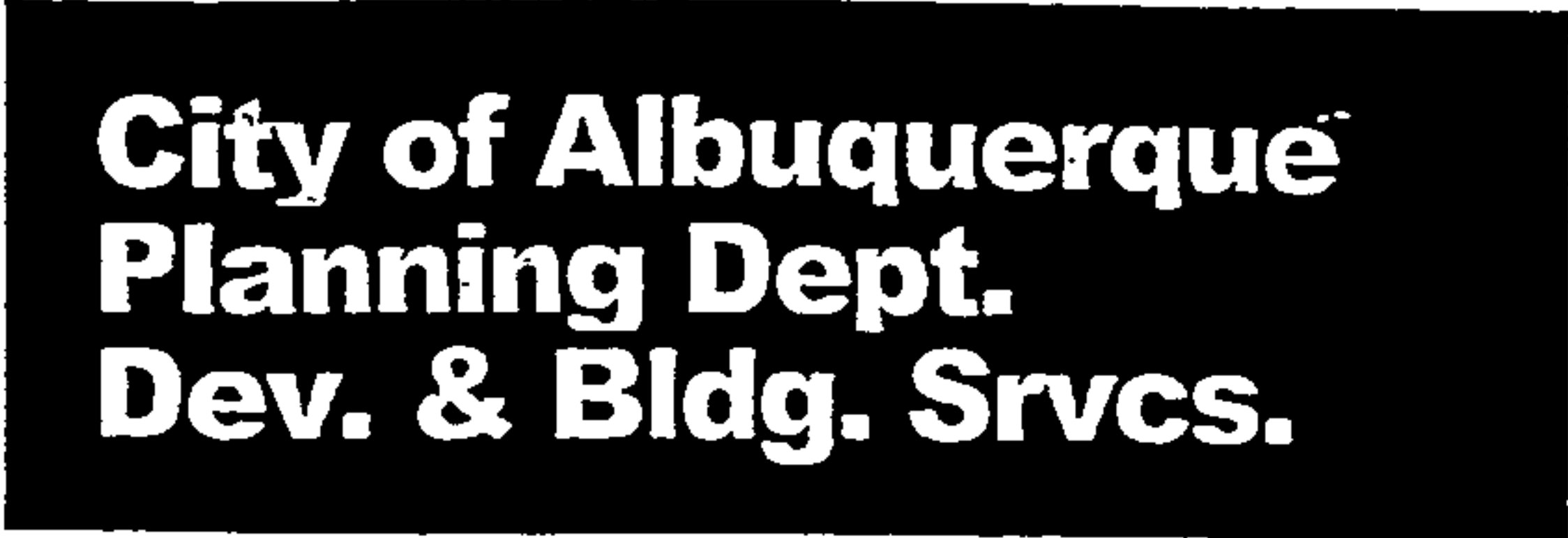
To: Clint Wilse From: Andrew Garcia. 924-3858
Fax: 843-9683 Pages Sent: (including this page) 5
Phone: 843-9639 Date: 8-21-06
Time: 10:40

Urgent For Review Please Comment Please Reply Please Recycle

Comments:

Clint, if you have any questions please call

City of Albuquerque
Planning Department
505-924-3900 (main number)
505-924-3864 (fax number - 2nd Level)
505-924-3440 (fax number - 4th Floor)
Development and Building Services (One Stop Shop)
600 2nd Street NW
Albuquerque, NM 87102



Fax

To: Clint Wilse From: Andrew Garcia 924-3858
Fax: 843-9683 Pages Sent: (including this page) 5
Phone: 843-9639 Date: 8-21-04
Time: 10:40

Urgent For Review Please Comment Please Reply Please Recycle

Comments:
Clint, if you have any questions please call

*Antennas may not exceed the height of the parapet or mechanical enclosure of a structure adjacent to, or on which, they are located.

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Bill No. F/S O-05-98 – Exhibit C

1. **C-2 Permissive Uses:**

a. All are allowed, except the following:

- Ambulance service
- Arena, indoor
- Automobile body shop/repair
- Automobile sales
- Billiard or pool hall
- Car wash
- Circus, outdoor
- Coin and gun shop
- Disco, no liquor
- Drive-in restaurant (a Sonic-type restaurant, i.e., with carhop service to parked vehicles)
- Garage for automotive repair
- Group training home
- Firework sales
- Pawn Shop
- Rifle, pistol range, indoor
- Service station
- Taxidermy shop
- Trailer rental (for use elsewhere)
- Trailer sales, mobile home & RV

b. The following are allowed but with the following clarifications:

- Automobile rental (incidental to a motel or hotel)
- Bank/ATM (maximum of three (3) drive-up service lanes provided the drive up lanes do not intersect with or front on the plaza)

- Bar (incidental to a motel or hotel)
- Drive-through restaurant (a McDonalds-type restaurant, i.e., with a drive-through service window, provided the restaurant is located as indicated on the approved Site Development Plan, the restaurant has only one drive-up service lane, and the drive-through lane does not intersect with or front on the plaza.)
- Games, electronic or video (incidental to a hotel or motel)
- Nightclub (incidental to a motel or hotel)
- Package Liquor Sales (incidental to grocery store, not incidental to convenience store or service station, and provided that, with the exception of mini-bar sales within motel or hotel rooms, sales shall not include: broken packages; distilled spirits in any package that contains less than 750 milliliters; beer in any single container less than 42 ounces; and, fortified wines with a volume of alcohol of more than 13.5 percent)
- Restaurant (beer & wine or full service)
- Any single tenant retail space (maximum 65,000 square feet)
- No more than three (3) businesses total (either restaurants or banks) with drive-through service

2. **C-2 Conditional Uses:**

- a. All are excluded, except the following:
 - Outdoor sales of retail goods
 - Printing, publishing, lithography
 - Retail Store, business or shop in which products may be manufactured, compounded, processed, assembled, or treated as an accessory use.
- b. The following are allowed but with the following clarifications:
 - Blood bank (incidental to a hospital or clinic)
 - Blood plasma center (incidental to a hospital or clinic)
 - Church (Native American related religious and festival uses)

- Dwelling unit (house, townhouses or apartments, residential mixed use)
- Jewelry Manufacturing (Individual Native American uses)
- Swimming pool, outdoor (incidental to a motel or hotel)

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Studio Southwest
Architects Inc.

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD AUGUST 16, 2006
SHARON MADSON DRB/CITY OF ALBUQUERQUE

PROJECT # 1005033
06DRB-01056 Major-SiteDev Plan BldPermit

The following is a response addressing issues relating to agency concerns to the IPFDC hotel site application.

AMAFCA

COG

12th Street is designated in the long Range Bikeway system as having on-street bike lanes. Please coordinate with DMD to insure project inclusion.

The City of Albuquerque, in the Development Agreement with the IPFDC, will build the street improvements. The 12th Street improvements were designed by H O K, a City of Albuquerque consultant and approved by the City Council in 2005. The planning document that establishes street improvement criteria is 12th Street and Menaul: Study Recommendations, October 2005. The 12th Street design is illustrated on pages 45-47 of the study and pages 13-15 of the Design Standards.

Transit

Transit has an existing bus stop on the northeast corner of 12th and Indian School adjacent to the proposed development. Transit requests that the applicant provide a shelter and associated bench and trash can for that stop. The presence of the stop will also require eliminating the first three on-street parking spaces so that the bus can stop adjacent to the curb while in the right lane of traffic. A hard pathway from the sidewalk to the curb, meeting ADA standards, is also required at the bus stop.

The design and construction of 12th Street, north of Indian School Road, will be a City of Albuquerque project. According to the Development Assessment, the City of Albuquerque consultant should provide all the requested details and coordinate with the City departments.

Albuquerque
2101 Mountain Road NW
Albuquerque, NM 87104
T 505.843.9639
F 505.843.9683
mail@studioswarch.com

Santa Fe
130 Grant Avenue, Suite 102
Santa Fe, NM 87501
T 505.982.7191
F 505.992.0585
mail@studioswarch.com

Zoning Enforcement

The proposed hotel has lots zoned R-1 on the south, Section 14-16-16-2 (C) (1) of the Zoning Code states that structures shall not exceed 26 feet in height within 85 feet of a lot zoned specifically for houses. The proposed hotel has an elevation of 49 feet shown on the south elevation. The distance from the lots that are zoned R-1 should be shown to be greater than 85 feet to allow elevations greater than 26 feet.

The 12th and Menaul Study Recommendation establishes the allowable height for the IPFDC site in the SP-02 IPFDC Master Plan. The entire hotel site is located in a height zone that allows up to 84 feet at any location.

Neighborhood Coordination

Letter sent to Near North Valley NA (R).

Studio Southwest has met with the Neighborhood representatives as recent as 8.7.2006 on this application and has had additional phone discussions with the neighborhood representatives.

APS

The request to construct a four-story hotel at 12th Street NW and Menaul NW will have no adverse impacts to the APS district.

Understood.

Police Department

No crime prevention or CPTED comments at this time.

Understood.

Fire Department

Exact Fire Department requirements will be figured when plans are submitted for review.

Concur.

PNM Electric and Gas

Approved.

Understood.

Comcast

No comments received.

Qwest

No comments received.

Environmental Health

No comments received.

M R G C D

No comments received.

Open Space Division

No adverse comments.

City Engineer

If infrastructure is required, an approved SIA with financial guarantees is required for Site Plan signoff by City Engineer.

The IPFDC and the City of Albuquerque entered into a Development Agreement dated 5.28.2003. Infrastructure to the site is covered under the terms of that agreement.

Transportation Development

A copy of the TIS and its recommendations need to be submitted. A separate meeting should be held to discuss the recommendations. The parking stalls need to be dimensioned and need to meet DPM criteria. End island radii need to meet DPM criteria. Has the plat been submitted? Why are there no van accessible stalls? What is the width of the internal streets? Where are the ADA ramps at the corner of Indian School and 12th? Stop signs need to be mounted above 7' per AASHTO. Why don't the curb sections refer to City Standards? A cross-section of 12th Street is needed. This should depict the existing conditions and relate how the proposed curb line will be integrated. Where is the infrastructure list for the curb line work in 12th Street? How is the 6' clear path maintained between the internal parking stalls?

- **The City has a copy of the TIS. We offered to submit an additional copy of the TIS and were told not to submit it. We will attach a copy of the TIS.**
- **The City Traffic Consultant (HOK) reviewed the TIS with the IPFDC Traffic Consultant and HOK designed the preliminary street sections and access points. The City will contract with a consultant to design**

all of the street improvements along the perimeter of the IPFDC site according to the Development Agreement and the 12th and Menaul Study.

- **All parking stall, curb design and end isle radii shall comply to DPM criteria.**
- **Van-accessible stalls shall be provided according to City requirements.**
- **Stop signs shall be mounted per AASHTO standards above 7'-0".**
- **The width of the internal streets is depicted on page 19 of the Design Standards of the 12th and Menaul Study. The 8'-0" wide parking space along the east side of the internal street, adjacent to the east side of the hotel site, has been eliminated to meet setback requirements of the BIA Office Complex.**

Parks & Recreation

Is there pedestrian access proposed to the adjacent Graves Park?

There are access gates to Graves Park as indicated on SP-01 in the 12th and Menaul Study. The gates are security gates and are controlled by the Federal Security Agents on the site.

Utilities Development

No objection to Site Plan approval.

Understood.

Planning Department

The New Sheet SP-1 should be titled "Site Plan for Building Permit." This indicates that this is the actual site plan to be approved for this project.

Concur.

The Site Plan SP-1 shows Indian School Road as a private road. Why is it designated this way? The City has maintained this portion of Indian School Road for many years. A private designation means, for one, that the City does not have to maintain it any longer.

Indian School Road is a private road east of 12th Street. The City no longer maintains this portion of Indian School Road and it is entirely within the IPFDC site. Please consult with the City Legal Department as to the status of this portion of Indian School Road.

Sheet SP-1 indicates the hotel site is separated by property lines from the remaining portion of the commercial property. This will require a re-plat of the property. Planning will take delegation of the approved site plan until the re-plat is approved by DRB.

The drawing convention showing a line around the hotel site does not indicate a property line. There will be no internal property lines within the IPFDC site. The line indicates the boundary to the portion of the site for the hotel. No internal lots will be created.

What is the purpose of the "existing BIA easement" shown on Sheet SP-1?

The BIA easement line indicated is not relevant to this application. It will be removed from the sheet. The line represents an old construction access and is not an easement.

The Landscape Plan shows thirteen Ash trees proposed mainly for street trees. Because of the high water usage of Ash trees, Chinese Pistache or Japanese Pagoda or some other lower water use tree are a better choice.

Concur. Lower water use trees will be substituted for the Ash trees.

The landscape calculations should include the percent of landscaping provided, not just the required percentage.

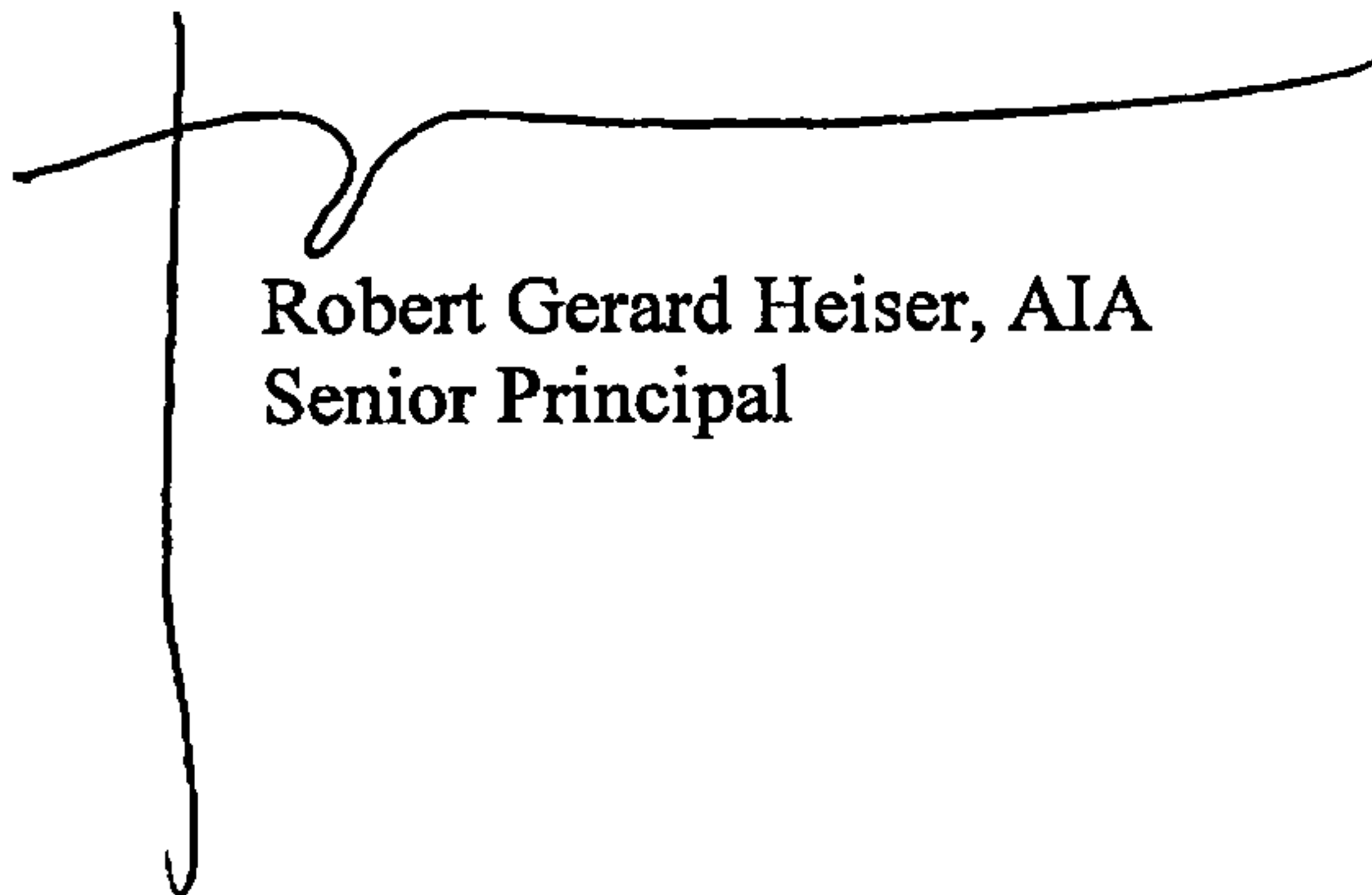
Concur. A revised landscape plan dated 8.11.2006 with the required calculations will be submitted.

The property lines are missing from the Landscape Plan. Existing and proposed easements must be shown on sheet SP-1 and the Landscape Plan. The overall width of the elevations are not shown. Sheet L1 should be titled "Landscape Plan."

Concur.

- **The only property lines relevant to the landscape site plan are indicated on 12th Street and along the south side of Indian School Road. Indian School Road is a private road east of 12th Street.**
- **The overall width of the elevations are indicated on Sheets A-201 and A-202; revised 8.11.2006.**
- **Sheet L-1 is titled "Landscape Plan" on the 8.11.2006 revision sheet.**

Sincerely,

A handwritten signature in black ink, appearing to read 'Robert Gerard Heiser', is written over a large, stylized vertical and horizontal line that forms a partial frame around the signature.

Robert Gerard Heiser, AIA
Senior Principal

Indian School Road is a private road east of 12th Street. The City no longer maintains this portion of Indian School Road and it is entirely within the IPFDC site. Please consult with the City Legal Department as to the status of this portion of Indian School Road.

Sheet SP-1 indicates the hotel site is separated by property lines from the remaining portion of the commercial property. This will require a re-plat of the property. Planning will take delegation of the approved site plan until the re-plat is approved by DRB.

The drawing convention showing a line around the hotel site does not indicate a property line. There will be no internal property lines within the IPFDC site. The line indicates the boundary to the portion of the site for the hotel. No internal lots will be created.

What is the purpose of the "existing BIA easement" shown on Sheet SP-1?

The BIA easement line indicated is not relevant to this application. It will be removed from the sheet. The line represents an old construction access and is not an easement.

The Landscape Plan shows thirteen Ash trees proposed mainly for street trees. Because of the high water usage of Ash trees, Chinese Pistache or Japanese Pagoda or some other lower water use tree are a better choice.

Concur. Lower water use trees will be substituted for the Ash trees.

The landscape calculations should include the percent of landscaping provided, not just the required percentage.

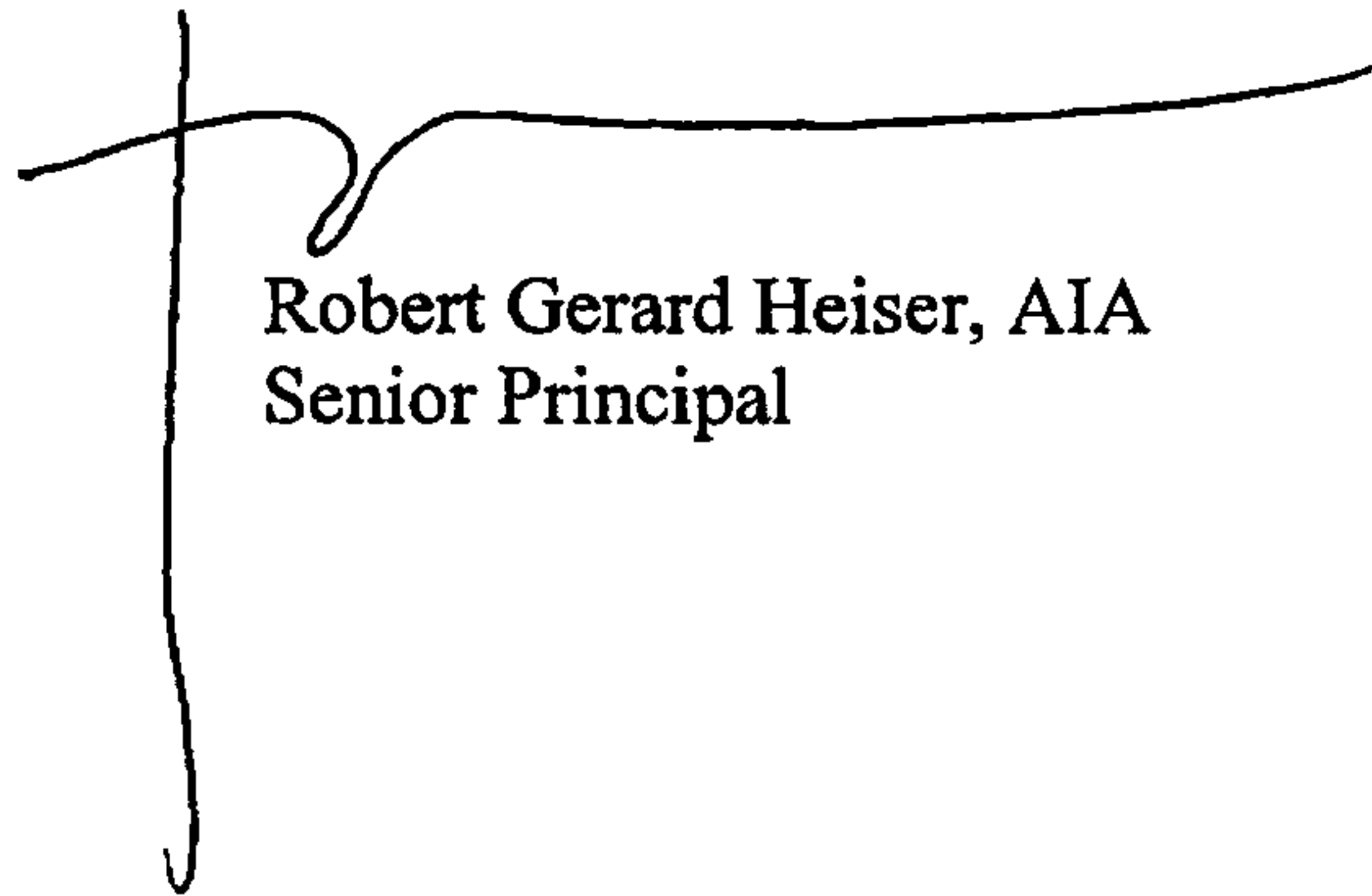
Concur. A revised landscape plan dated 8.11.2006 with the required calculations will be submitted.

The property lines are missing from the Landscape Plan. Existing and proposed easements must be shown on sheet SP-1 and the Landscape Plan. The overall width of the elevations are not shown. Sheet L1 should be titled "Landscape Plan."

Concur.

- **The only property lines relevant to the landscape site plan are indicated on 12th Street and along the south side of Indian School Road. Indian School Road is a private road east of 12th Street.**
- **The overall width of the elevations are indicated on Sheets A-201 and A-202; revised 8.11.2006.**
- **Sheet L-1 is titled "Landscape Plan" on the 8.11.2006 revision sheet.**

Sincerely,



Robert Gerard Heiser, AIA
Senior Principal

tree canopies and/or shade structure that is architecturally integrated with the building.

g) Pedestrian connections (minimum 6-foot clear path) shall be provided from each building to the internal circulation system and to adjacent roadways. Shade trees shall be provided along the pedestrian connection at an interval of 25 feet in planters that have a minimum interior dimension of 5' x 5'.

h) Pedestrian links between parking areas and buildings shall be clearly visible and highlighted with an alternative textured paving material and signage.

i) Pedestrian pathways, at a minimum, shall be 10 feet wide where there is overlapping parking on two sides; 8 feet wide where there is parking on one side; and 6 feet wide where there is no adjacent parking.

j) All pedestrian pathways (sidewalks and trails) shall be designed to be accessible to the handicapped (see Americans with Disabilities Act criteria for barrier free design).

k) A difference in paving material, color, or pattern shall be provided at entry drive crosswalks to bring attention visually and tactilely for safe pedestrian crossing.

l) Paving of primary pedestrian connections and primary outdoor activity areas shall use patterned, stained or integrally colored concrete, and/or concrete inlaid with tile, concrete pavers, brick pavers and/or stone pavers.

SITE LANDSCAPE

*Landscape plans must comply with the City's Water Conservation Ordinance and Pollen Ordinance.

*A minimum of 15 percent of the site area (minus building square footage) shall be devoted to landscape materials. Organic landscape material shall provide coverage per City ordinances at a minimum.

*A mixture of drought tolerant species and lawn areas shall be used at landscaped areas and in conformance with the City's Water Conservation Ordinance. Live plant materials shall, at a minimum, comply with city ordinances.

*Gravel, mulch, cobble, bark, and similar materials are acceptable as a top dressing for landscape areas; however, they are not to be considered a focal landscape element.

*A minimum 15-foot wide landscape buffer shall be provided along property lines, which abut any residential zones. Within the required setbacks, trees shall be

planted at a minimum spacing of 25 feet. Selected trees shall be capable of reaching a minimum height of 25 feet at maturity. Seventy-five percent of the trees shall be coniferous (evergreen). Note: the requirement regarding coniferous trees only applies to the landscape buffer on the east side of the property roughly between Towner Ave. and just south of Prospect Ave where the property line adjoins a residential parcel.

*Minimum plant materials sizes at the time of installation shall be as follows:

- Canopy trees—2" caliper B&B
- Evergreen trees—8 foot minimum height
- Accent trees—1 1/2" caliper B&B
- Shrubs and groundcovers—1 gallon minimum
- Low water use turf shall be provided at a maximum of 40 percent of the landscape area. High water use turf, if used, shall be limited to no greater than 20 percent of the landscape area.

*Landscape materials shall be used as a transition between land uses, with specific attention given to the transition between commercial or office and residential uses. A minimum 15 foot landscaped buffer is required between commercial or office and residential uses. This buffer is to be accommodated on the commercial or office site.

*Street trees (located within the public right-of-way or within 20 feet from the back of curb) shall be installed at a frequency of 30 feet per linear foot of street frontage (including driveway locations). They can either be randomly or evenly spaced; however, there shall be no more than a 50 foot gap between groupings.

*High water use turf grass areas shall not comprise greater than 20 percent of the landscape area. Turf grass shall not be planted on slopes greater than 4:1 to prevent water waste.

*Landscape areas shall be a minimum of 36 square feet and a minimum interior width of 5'-0" or 6'-0" x 6'-0" outside curb dimension.

SUGGESTED PLANT PALETTE

The suggested plant materials for this project were selected based on qualities such as cold hardiness fast growth rate, minimal maintenance requirements, water conservation, and aesthetic appeal.

*Street Trees

- Fraxinus spp. Ash varieties
- Fleditsia spp. Honeylocust varieties
- Pinus nigra Austrian Pine
- Pistachia chinensis Chinese Pistache

Platanus wrightii Arizona Sycamore (not in Commercial Tract)
Prunus spp. Flowering Plum varieties
Robinia x ambigua Purple Robe Locust
Flowering crab apple,
Bradford pear

***General Use Plant Materials**

Trees

Chilopsis linearis Desert Willow
Chitalpa tashkentensis Chitalpa
Cupressocyparis leylandii Leyland Cypress
Forestiera neomexicana New Mexico Olive
Frasinus spp Ash varieties
Gleditsia spp. Honey Locust varieties
Koelreuteria p[aniculata Goldenrain Tree
Pinus edulis Pinon Pine
Pinus Nighra Austrian Pine

PEDESTRIAN FEATURES

Major facades shall incorporate at least two of the following features along no less than 50% of the length of the façade. Such features shall be distributed along the length of the façade in order to avoid creating a blank façade greater than 30 feet in length. Major facades containing service areas will not be required to provide pedestrian features in front of the service area.

- a) Display windows, provided the sill height does not exceed 42 inches above the finished floor and the overall glass height is a minimum of 48 inches. Where windows are provided, they shall not be mirrored or opaque along the ground floor.

Doors/Entrances

- b) Portals, arcades, canopies, trellises, awnings associated with windows (windows do not have to comply with dimensions specified in (a) above), or other three dimensional elements that provide shade and/or weather protection.
- c) Raised planter a minimum of 12 inches and a maximum of 28 inches in height, located adjacent to the façade, with living, vegetative materials such as ornamental grasses, vines, spreading shrubs, flowers, or trees over at least 75% of the planter. Coverage shall be calculated from the mature spread of the plants.

- d) A minimum 15-foot wide landscaped area planted adjacent to the façade. One (1) shade tree for every 50 linear feet of façade shall be provided in the landscaped area. Shrubs and/or groundcover shall cover at least 75% of the landscaped area measured from the mature spread of the plants.
- e) Shade trees, provided at one tree for every 25 linear feet of the entire façade which may evenly spaced or clustered along the façade. Trees shall be placed within defined planting areas that have a minimum interior dimension of 36 square feet and a minimum width of four feet. Provision of trees will not fulfill off-street parking or street tree requirements.
- f) Any other treatment that meets the intent of this section and that meets the approval of the Planning Director or his designee.

PUBLIC SPACE

Applicable to buildings 60,000 square feet or greater. A collection of smaller buildings linked by common walls shall be considered one building.

One public space area, a minimum of 400 square feet, shall be provided for every 30,000 square feet of building space. The public area shall be privately owned and maintained and should typically contain seating and shade. Public space areas are prioritized so that (a) below is required of the first 30,000 square feet. In addition to (a), public space areas may contain one or a combination of the following features:

- a) outdoor plaza, patio or courtyard with seating and shade covering a minimum of 35% of the area
- b) pocket park with seating and shade covering a minimum of 24% of the area
- c) sculpture or other artwork
- d) fountain or some other water feature
- e) playground or other recreational amenity
- f) any other amenity that meets the intent of this section and that meets the approval of the Planning Director or his designee
- g) patios, plazas, courtyards and other outdoor activity or seating areas shall be shaded (25 percent minimum, 50 percent maximum) from summer sunlight by tree canopies and/or shade structure that is architecturally integrated with the building

- h) asphaltic paving shall only be used in parking/service areas, drives and bicycle trails. The design of all trails shall comply with the AASHTO 1999 Guide for the Development of Bicycle Facilities, and shall be coordinated with the City's designated Trails Planner.
- i) Stabilized crusher fine surfaces may be considered for secondary pedestrian pathways or plazas.

SCREENING

Roof-mounted mechanical equipment shall be screened from the public right-of-way by parapet walls or structural features. The minimum height of the parapet walls or structural features shall be as follows:

- a) All roof top appurtenances shall be below the top of the parapet, or architecturally screened with a visually solid surround that is compatible with the predominant building materials and color. Roof penetrations that are not architecturally screened with a visually solid surround shall be painted to match roof color or general building color. All ground-mounted equipment and roof-mounted equipment shall be architecturally screened and enclosed, with the top of the equipment below the top of the screen. This includes, but is not limited to: water meters, gas meters, electric meters, exposed conduit, cabling and wiring.
- b) Wall-mounted mechanical and electrical equipment on major facades is discouraged. If used, it shall be screened by dense evergreen foliage or by other acceptable screening devices. Wall-mounted mechanical equipment on non-major facades shall be painted to match the color of the subject building or screened by other acceptable screening devices.
- c) Ground-mounted mechanical and electrical equipment, excluding transformers, adjacent to a major façade shall be screened through the use of walls, earth berms, dense evergreen foliage or other acceptable screening devices.
- d) Loading areas shall be screened with solid walls which are a minimum of six feet in height when measured from the finished grade exterior to the loading area. The distance of the screening wall from the loading area shall not exceed 100 feet.
- e) Loading dock areas shall be screened and partially enclosed through the use of side walls and landscaping. Screen walls shall be a minimum of six feet in height.

MAJOR FAÇADES GREATER THAN 100 FEET IN LENGTH

In addition to the requirements set forth in the Sections (a-g) above, buildings containing major facades greater than 100 feet in length shall incorporate outdoor seating adjacent to at least one of the facades, a minimum of one seat per 25 linear feet of building façade. Each seat shall be a minimum of 24 inches in length and 15 inches in height. Benches, raised planters, ledges or similar seating features may be counted as seating space. If the outdoor seating is located on the south or west side of the building, at least 25% of the seating area shall be shaded.

FOLLOWING DESIGN STANDARDS ARE APPLICABLE TO ALL NON-RESIDENTIAL USES

Building Entrances

- a) Primary entrances along major facades shall be clearly defined with façade variations, porticos, roof variations, recesses or projections, or other integral building forms.
- b) The major public entry to each building should face the internal common drive or public street that is established by the business address. Provisions for a second "front door" should be provided to access the commons area.
- c) The entry façade of all buildings shall have architecturally integrated awnings, canopies, or portals that provide shade and shelter to pedestrians, and a sense of arrival. Alternatively, shade trees may be provided at intervals of 25 feet in planters with a minimum interior dimension of 5' x 5'. Special consideration shall be given to roof structures, including materials
- d) Entries shall be clearly defined and connect to pedestrian linkages.
- e) Entryways shall be distinguished by lighting in order to enhance the perception of surface variety.
- f) Plan Arrangement Opportunities [Applies to Office Tract Only]: Open courtyard designs shall be employed in order to form transitions between parking areas and building facades. Building access and entries must be easily accessible from the surrounding buildings and should be visible from the street through open passages (such as garden courts).

Building Articulation/Design

Major facades greater than 100 feet in length shall break up building mass by including at least two of the following architectural features in a through g:

- a) wall plan projections or recesses of at least 2 feet in depth, occurring at least every 100 feet and extending at least 25% of the length of the façade
- b) a vertical change in color, texture or material occurring every 50 linear feet and extending at least 20% of the area of the façade
- c) an offset, reveal, pilaster or projecting element, no less than two feet in width and projecting from the façade at least six inches and repeating at minimum intervals of 30 feet
- d) three dimensional cornice or base treatments
- e) art such as murals or sculptures to be coordinated through the City's Arts Program
- f) a change visible roof plane or parapet height for every 100 feet in length; however, each distinct roof plane does not have to equal 100 feet in length
- g) Any other treatment that meets the intent of this section and that meets the approval of the Planning Director or his designee.
- h) Edge treatments shall "step down" to relate to the scale of pedestrians: reduce the scale of the building edge by stepping down to the street.
- i) Buildings shall employ variety in structural forms to create visual character and interest. Avoid long, unarticulated facades. Facades should have varied front setbacks with fenestration, material change, canopies, piers, and other architectural elements to create offsets on facades.
- j) Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways, and soffits shall be carefully dimensioned and detailed to provide a human scale and visual interest.
- k) ATMs shall be architecturally integrated with building design.
- l) Drive-through facilities shall be shaded with architecturally integrated canopies.
- m) No generic franchise building elevations or canopies are permitted.
- n) Building design and construction shall be used to create a structure that is attractive on all sides, rather than placing all emphasis on the front elevation of the structure. Finished building materials shall be applied to all exterior sides of buildings and structures.

- o) Loading dock areas shall be partially enclosed through the use of side screen walls and landscaping.**
- p) Any accessory buildings and enclosures, whether attached or detached from the main building, shall, be of similar compatible design and materials.**
- q) Pre-engineered metal buildings with masonry or equivalent skin applied to facades are allowed, provided they are architecturally compatible.**

PROVISIONS FOR EMPLOYEES

Buildings requiring six (6) or more water closets, based on Table A-29_A, Appendix Chapter 29 of the Uniform Building Code (attached as Appendix K of the Zoning Code), shall provide outdoor gather space for employees. Such space shall be a minimum of 300 square feet with seating and shade covering a minimum of 25% of the area.

EXCEPTION: The provision for employees will not be required if an outdoor plaza, patio, courtyard or pocket park are provided as part of the development plan in accordance with the Pedestrian Features section above.

ACCESSORY BUILDINGS

Any accessory building and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.

DRIVE-UP SERVICE WINDOWS

a) Drive-up service windows shall be oriented away from pedestrian areas, residentially-zoned areas and public streets where possible. In cases where drive-up service windows face these areas, screening shall be provided. Screening may be in the form of walls, earth berms, or evergreen landscaping or a combination there of and shall be a minimum of three feet in height. Where walls are provided, a minimum 3-foot wide planting strip with live vegetation shall also be provided on the pedestrian or residential or public street side.

b) Drive-through facilities shall be shaded with architecturally integrated canopies.

GAS FUELING CANOPEES

Gas fueling canopies and canopy fascia shall be similar in color and texture to the major building on site. All under-canopy lighting shall be recessed so that no

light lens projects below the canopy ceiling. The canopy façade shall not be internally illuminated.

WALLS AND FENCES

Walls and fences abutting a public right-of-way and exceeding 50 feet in length shall contain variations in surface and pattern to create visual interest. This may be accomplished by providing openings or variations in the heights, alignment, setback or building material every 30 feet or by providing shrubs or vines over at least 1/3 the length of the wall or fence. Razor, concertina wire, barbed wire, chainlink, and plastic vinyl fencing are prohibited.

MATERIALS AND COLORS

a) Buildings shall convey solidity and durability and employ high quality materials. Materials and colors shall pay homage to the vernacular architecture of the area. Acceptable materials include: stucco, concrete, (sand blasted or finished surface), stone, split faced block, burnished block, integral colored CMU, glass curtain wall, glass block, brick, exterior ceramic tile, architectural metal panel and EIFS. Architects shall use those materials traditionally used in the Albuquerque or New Mexico area.

b) Acceptable colors include those taken from the native New Mexican landscape palette, such as: Sand, Beige, Tan Terracotta, and Sage Green. All colors shall be approved by the IPFDC or its designee.

c) Prohibited building materials include the following:

- * Plastic or vinyl building panels, awnings, or canopies and fences concertina
- * Exposed, untreated precision block or wood, chain-link, or barbed wire fences
- * Highly reflective surfaces
- * Exposed, untreated precision block walls
- * Attached mansard roofs on small portions of the roofline

d) Accent colors and materials can bring out detailing to better articulate or give scale to a building. There include the colors of glazed tile, wood trim, tile roofing, paint, metal and accent details. Accent colors at stairs, balconies, and perimeter walls are to be compatible with streetscape and perimeter walls.

*Sustainability: green architectural design is encouraged. The use of sustainable design principles, environmentally responsible building concepts, and earth friendly products shall be encouraged.

SERVICE/LOADING AREAS

It is assumed that most, if not all buildings will have a service and/or a loading area. All service functions should be screened from views on all sides. This

includes but is not limited to; exterior refuse facilities, mechanical equipment, storage yards, and loading docks. Screens shall be visually solid and be compatible with the overall buildings design, color, and primary materials. Gates shall be opaque; chain link gates are not permitted.

CONTEXT

New buildings shall be designed to harmonize with adjacent buildings in the development.

ARCHITECTURE

In general, all buildings shall comply with the current City of Albuquerque Zoning Code.

LIGHTING

A consistent theme for the lighting fixtures within the streetscape and common areas will contribute significantly to the overall aesthetic character. Safety and security should be the primary design consideration, as well as the daytime appearance of the light fixtures.

*Lighting shall be fully shielded horizontal lamps so that no fugitive light may escape beyond the property line and no light source shall be visible from the site perimeter.

*Height standards for light fixtures are as follows:

° Parking area light fixtures shall not exceed 20 feet

° Lighting fixtures for walkways and entry plazas shall not exceed 16 feet.

*Controlled, directional lighting should be used to highlight public spaces and walkways. The use of walkways level lighting, such as wall pocket lights or bollard lights, is encouraged to accent pedestrian areas.

*Fixture style and design shall be compatible and consistent with the lighting design of other projects within the development and be on automatic timing devices.

*The pattern of light pooling from each fixture shall avoid glare or reflection on adjacent properties, buildings, or roadways.

*Exterior fixtures shall relate stylistically to the architecture of the adjacent buildings.

*Uplighting fixtures to highlight trees, walls and architectural features shall be limited to 100 maximum wattage per fixture, and shall be designed to comply with the New Mexico Night Sky Protection Act.

*Searchlights, spotlights, and floodlights are prohibited.

SCREENING / BUFFERING

*Mechanical equipment and refuse enclosures, whether on roof areas or at street level, shall be fully screened from pedestrians or street level motorists. Screening shall be compatible with materials and design of the building.

*Loading area shall be screened – from public view by walls, trellises, or landscaping. Passenger loading areas do not require screening.

*The use of chain link, razor or barbed wire, wood fencing or plastic vinyl fencing is not permitted.

*Refuse enclosures shall be adjacent to the building and screened with walls of the same or architecturally compatible material as the building itself.

*Walls or landscaped berms 2-1/2 to 3 feet in height shall be provided to screen parking areas adjacent to public streets. Walls, if used, shall be designed to integrate with building materials and colors. [Only walls can be employed in the Commercial Tract]

SIGNAGE

The following signage criteria create a sense of arrival to the development and establish a quality visual impact.

*The Developer shall provide entry monument signs for the project to create a sense of arrival and to contribute to the unique identity of the project.

*Individual sites are allowed one Monument-style sign per street frontage. The sign shall not exceed 50 square feet in area, or 4 feet in height, and shall be architecturally integrated with the building color and materials. In addition, materials similar to those used at the primary project entries shall be used, although individual expression is allowed. [Monumental signs only can be located within the Carriage Strip in the Commercial Tract and must be set perpendicular to the street.]

*Directional signs may be provided, at the discretion of the Developer, to direct visitors to particular businesses. Directional signs shall not exceed 10 square feet in area, or 4 feet in height.

*All signage at the project entries shall be coordinated in order to have the same appearance (height, size, color, material, text height, and style, etc.)

*Building mounted signs shall consist of individual channelized or non-flashing neon letters. With the exception of logo images, no illuminated plastic panel signs are allowed.

*Building mounted signs shall not exceed an area of 6 percent of the façade to which it is attached. Maximum letter size shall not exceed 5 feet in height, and maximum logo size shall not exceed 5' x 5' for major buildings and 2 feet in height and maximum logo size of 2' x 2' for other buildings.

*Signs, which are directly spotlighted, may be provided there is no glare on the street or upon adjacent property or that the light does not distract motorists and comply with the New Mexico Night Sky Protection Act.

*Signs should identify only the name and business of the occupant or of those offering the premises or sale or lease.

*Prohibited signs include the following: those consisting of banners, pennants, ribbons, streamers, strings of light bulbs and spinners (except during holiday season or special thematic event); brashly colored signs with moving or flashing lights; signs which are animated in any manner; portable signs; off-premise signs referring to a business of merchant not doing business on the premise where the sign is displayed.

*Façade mounted signs are limited to three sides of a building and not face adjacent residential zoning.

WIRELESS TELECOMMUNICATIONS FACILITIES

Wireless telecommunications facilities are allowed within the site; however, the visual impact of these facilities should be minimized by architecturally integrating them with proposed buildings, structures, and landscaping. The following standards are consistent with the City Zoning Code. Where conflicts exist between these Design Standards and the Zoning Code, the more restrictive shall apply.

*The maximum height for a co-located facility is 75 feet.

*Antenna, if used, shall be integrated into the building architecture.

*No freestanding, non-architecturally integrated cell towers, antenna, or roof mounted wireless telecommunications facilities shall be permitted.



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, August 16, 2006**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1002315
06DRB-01053 Major-Vacation of Public Easements

BOHANNAN HUSTON INC agent(s) for SCOTT PATRICK HOMES INC request(s) the above action(s) for all or a portion of Lot(s) 20 **WILDERNESS VILLAGE @ HIGH DESERT, UNIT 3**, zoned SU-2 HD R-R, located on FOOTHILLS TRAIL NE, between WILDERNESS TRAIL NE and HIGH DESERT NE. [REF: 03DRB-01651] (F-23)
No objection to the vacation request. Applicant has one year to file plat.

Project # 1004942
06DRB-01055 Major-Vacation of Public Easements

LARKIN GROUP NM INC agent(s) for ROBERT HILLS request(s) the above action(s) for Parcel(s) 16 & 17, **COLES INDUSTRIAL SUBDIVISION, NO. 1**, zoned M-1, located on VASSAR DR NE, between CANDELARIA RD NE and LOS ARBOLES AVE NE containing approximately 1 acre(s). [REF: 06DRB-00798] (H-16)
No objection to the vacation request. Applicant has one year to file plat

Project # 1003102
06DRB-01054 Major-Vacation of Public Easements

ISAACSON & ARFMAN agent(s) for INFILL SOLUTIONS, INC. request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER (to be known as **SOFT LOFTS**) zoned SU-1 PRD (22 DU/AC), located on JUAN TABO BLVD NE, between LAGRIMA DE ORO NE and MONTGOMERY BLVD NE containing approximately 2 acre(s). [REF: 06DRB-00832, 06DRB-00837, 06DRB-00838, 06EPC00146, 06EPC-00147, 05DRB00911] (F-21)
No objection to the vacation request. Applicant has one year to file plat.

Project # 1000572
06DRB-01038 Major-Preliminary Plat Approval
06DRB-01040 Minor-Sidewalk Waiver
06DRB-01041 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Lot(s) 3, 7 & 8, LENKURT PROPERTIES (to be known as **THE PRESIDIO**) zoned SU-1 PRD, located on CHICO RD NE, between EUBANK BLVD NE and MORRIS ST NE containing approximately 23 acre(s). [REF: 05EPC-01116] (K-21)
The preliminary plat is lacking the purpose of plat language.
It is unclear what the tracts are for, please identify.
The minimum lot sizes are missing from the preliminary plat submittal.

➔ **Project # 1005033**
06DRB-01056 Major-SiteDev Plan BldPermit

STUDIO SOUTHWEST ARCHITECTS agent(s) for I. P. F. D. C. request(s) the above action(s) for A PORTION OF I. P. F. D. C. (INDIAN PUEBLOS FEDERAL DEVELOPMENT CORP.) 7 ACRE SITE, **INDIAN PUEBLO COUNCIL PROPERTY**, zoned SU-1 C-2 with restrictions, located on 12th ST NW, between INDIAN SCHOOL NW and MENAUL NW containing approximately 3 acre(s). [REF: 03EPC-01676, 03EPC-01677] (H-13/H-14)

GENERAL COMMENTS

1. The new Sheet SP-1 should be titled "Site Plan for Building Permit". This indicates that this is the actual site plan to be approved for this project.

2. The Site Plan Sheet SP-1 shows Indian School Road as a private road. Why is it designated this way? The City has maintained this portion of Indian School for many years. A private road designation means, for one, that the City does not have to maintain it any longer.

3. Sheet SP-1 indicates the hotel site is separated by property lines from the remaining portion of the commercial property. This will require a replat of the property.

The Overall Site Plan does not indicate a separate lot. Which is correct? Both site plan sheets should be corrected to indicate what the intent is.

4. What is the purpose of the "existing BIA easement" shown on Sheet SP-1?

5. The Landscape Plan shows 13 Ash trees proposed mainly for street trees. Because of the high water usage of Ash trees, Chinese Pistache or Japanese Pagoda or some other lower water use tree are a better choice.

6. The landscape calculations should include the % of landscape provided, not just the % required.

7. The property lines are missing from the Landscape Plan.

8. Existing & proposed easements must be shown on Sheet SP-1 & the Landscape Plan.

9. The overall width of the elevations are not shown.

10. Sheet L1 should be titled "Landscape Plan".

SITE PLAN FOR SUBDIVISION COMMENTS

1. Section 7F of O-05-98 states:

"The DRB is responsible for ensuring that all City Council Conditions have been satisfied and that other applicable City requirements have been met. Unauthorized changes to this Site Development Plan.....including before or after DRB final sign-off, may result in forfeiture of approvals."

2. Council Bill O-05-98 Exhibit A shows the Council approved Site Plan for Subdivision referred to as the IPFDC Master Plan. When this plan was approved by Council, it contained two sheets, SP-01 & SP-02. SP-02 was the Building Height & Setback Plan. The second sheet, SP-02, was not included in the DRB summittal as part of the SPS. Some of the required elements of a SPS are contained on SP-02.

includes

3. There are several other differences between the approved SPS contained in O-05-98 and the SPS submitted to DRB:

- The references to Street Sections are missing on the DRB submittal. These are important particularly for the

including

included
noted further
SPD/
Office tract
on M.P.

- frontage of the hotel lot.
- The proposed uses such as "retail/office" are missing on the DRB submittal.
- The portion of the retail/office use directly north of the hotel site shown as a parking lot on the DRB SPS is shown as a parking garage on the Council approved SPS.
- There are two other parking lots to the east of this lot on the DRB submittal which were shown as parking lots with the notation "future parking garages" on the Council approved SPS.
- The security fence on the Council approved SPS is located somewhere in Indian School Road with a security gate closing off access. The DRB submittal does not show the fence or the gate.
- There are 2 notations about the 50 foot building setback on the Council approved plan. These notations are missing from the DRB submittal.

4. O-05-98, Section 13 provides a process for amending the Council approved Site Plan for Subdivision. Minor changes are delegated to the Planning Director & DRB after the Planning Director makes a determination that proposed changes are, in fact, minor. If any of the omissions stated above are intended as amendments, this process should be followed after the Council approved SPS is approved by DRB.

At your request, the Planning Director will consult the requirements listed in Section 14-16-2-22(A)(6) of the Zone Code in making his determination on whether the proposed changes are minor or non-minor. If you choose to re-submit the Council approved SPS, this step is not necessary.

PLATTING ACTION COMMENTS

or 1. Section 7(G)(4) of O-05-98 requires a concurrent platting action with the site plan approvals. After the first public hearing on this site, other DRB members, DRB will determine whether to defer the site plan approvals until the platting action is heard at DRB or whether the DRB Chair can take delegation of the site plans until the plat is approved at DRB.

not replatting
↓

O-05-98 requires a concurrent platting action as a condition of approval of the SPS. The Subdivision Ordinance also requires a replat of property Zoned SU-1 to occur with the site plan action.

HOK/HPE DESIGN STANDARDS COMMENTS

Without the Street Sections on the SPBP, it's not possible to determine whether the site plan addresses the design standards of the HOK/HPE Plan.

IPFDC DESIGN STANDARDS & GUIDELINES

(Section 14-16-3-18 of the Zone Code applies here as well. Many of the IPFDC Standards mirror the Zone Code in subject & content.)

included on plan

1. Page 1. While the SPBP does show some pedestrian connections from the parking area to the hotel and from the future development to the north to the hotel property, an additional pathway should also connect the two parking areas to the north of the hotel to the hotel. This connection could terminate at the

sidewalk on the north side of the pool, for example.

Talks along west side of pool
with note

2. Page 3. Outdoor activity or seating areas require at least 25% shaded areas from summer sunlight. While swimming pools themselves are a sun activity, an adjacent shaded area should be provided also.

3. Page 8. A statement should appear on the SPBP that roof-mounted mechanical equipment will be screened from public right of way by parapet walls of structural features. Or, if wall mounted, screened by dense evergreen foliage, etc.

✓ 4. Page 9. Facades greater than 100 feet in length should have outdoor seating adjacent to at least one façade... 1 seat (24" l x 15" h) per 25 linear feet of façade. A 25 % shade requirement applies here also if the seating is on the west or north sides of the building.

) 5. Page 9. Building articulation/design requirements. Plan to meet with the DRB Chair to explain how these standards are met. The building elevations in the SPBP do not clearly spell out some of these details. Please call to set up a meeting.

or 6. Page 11. Under "Provisions for Employees", An outdoor gathering space for employees (separate from the shaded area near the pool previously mentioned) a minimum of 300 square feet with seating and shade covering at least 25% of the area should be added to the SPBP.

not public street

7. Page 14. A 3 foot screen wall is needed along Indian School to shield the parking from the public street. The wall design will need DRB Chair approval per Section 14-16-3-19 of the Zone Code.

with reduce

8. Page 14. The monument sign shown in the SPBP exceeds the IPFDC standards as well as the Zone Code. The sign height includes the foundation. In addition, the monument sign is supposed to set at the main entrance to the hotel site. The main entry appears to be at the north end of the site.

No signage on north side facade.

9. Page 15. The façade mounted signs are allowed on three sides of the building only.

The SPBP complies with Section 14-16-3-19, Landscaping Regulations Applicable to Apartment & Nonresidential Development.

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946 TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331

Sheran Matson, AICP, DRB Chair
Development Review Board

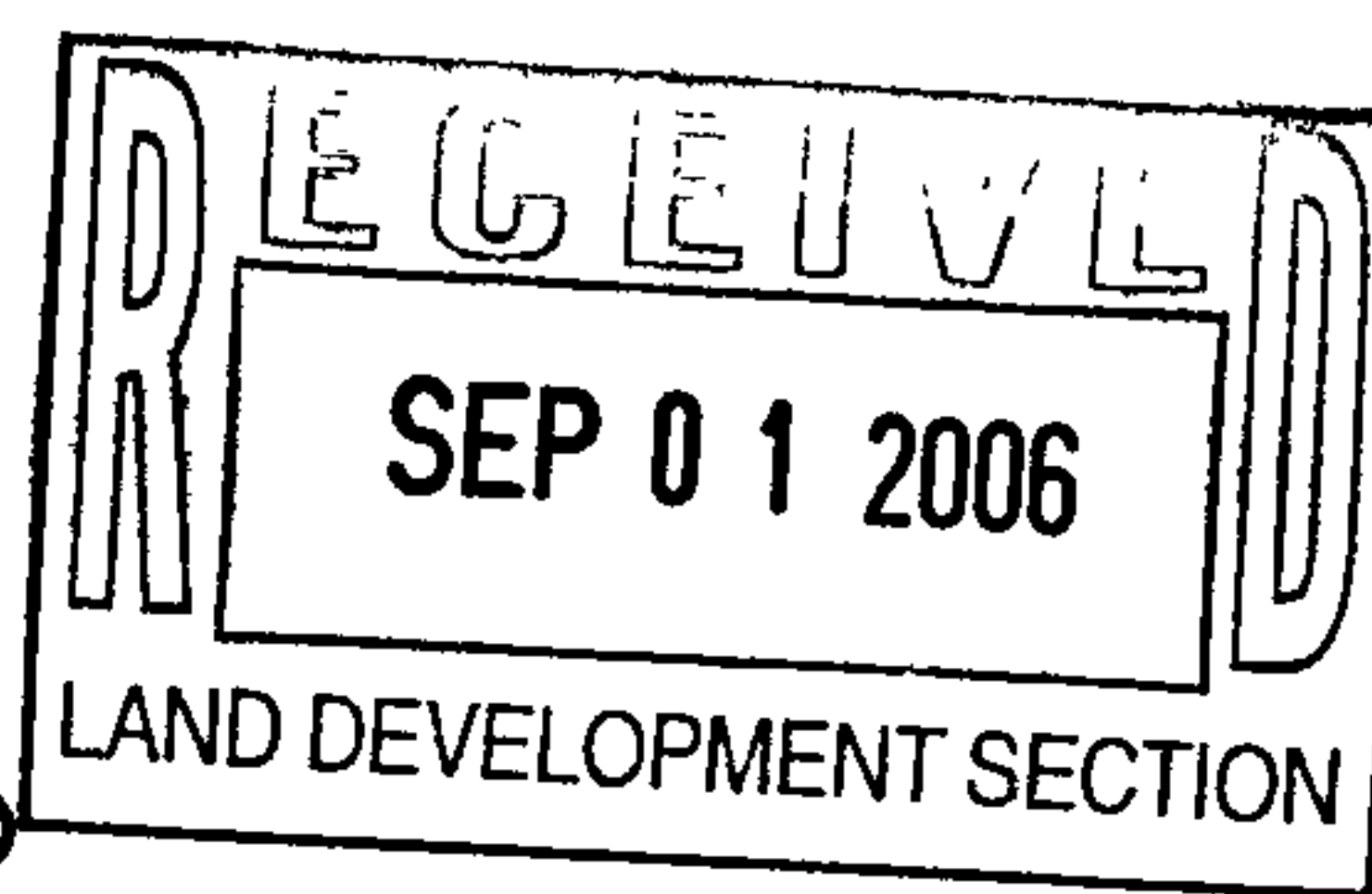
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Studio Southwest
Architects Inc.

AUGUST 29, 2006

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD



SHERAN MATSON / ANDREW GARCIA - DRB/CITY OF ALBUQUERQUE

PROJECT # 1005033

06DRB-01056 Major-SiteDev Plan BldPermit

The following is a response addressing issues relating to agency concerns to the IPFDC hotel site application.

AMAFCA

COG

12th Street is designated in the long Range Bikeway system as having on-street bike lanes. Please coordinate with DMD to insure project inclusion.

The City of Albuquerque, in the Development Agreement with the IPFDC, will build the street improvements. The 12th Street improvements were designed by H O K, a City of Albuquerque consultant and approved by the City Council in 2005. The planning document that establishes street improvement criteria is 12th Street and Menaul: Study Recommendations, October 2005. The 12th Street design is illustrated on pages 45-47 of the study and pages 13015 of the Design Standards.

Transit

Transit has an existing bus stop on the northeast corner of 12th and Indian School adjacent to the proposed development. Transit requests that the applicant provide a shelter and associated bench and trash can for that stop. The presence of the stop will also require eliminating the first three on-street parking spaces so that the bus can stop adjacent to the curb while in the right lane of traffic. A hard pathway from the sidewalk to the curb, meeting ADA standards, is also required at the bus stop.

The design and construction of 12th Street, north of Indian School Road, will be a City of Albuquerque project. According to the Development Assessment, the City of Albuquerque consultant should provide all the requested details and coordinate with the City departments.

Albuquerque
2101 Mountain Road NW
Albuquerque, NM 87104
T 505.843.9639
F 505.843.9683
mail@studioswarch.com

Santa Fe
130 Grant Avenue, Suite 102
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T 505.982.7191
F 505.992.0585
mail@studioswarch.com

Zoning Enforcement

The proposed hotel has lots zoned R-1 on the south, Section 14-16-16-2 (C) (1) of the Zoning Code states that structures shall not exceed 26 feet in height within 85 feet of a lot zoned specifically for houses. The proposed hotel has an elevation of 49 feet shown on the south elevation. The distance from the lots that are zoned R-1 should be shown to be greater than 85 feet to allow elevations greater than 26 feet.

The 12th and Menaul Study Recommendation establishes the allowable height for the IPFDC site in the SP-02 IPFDC Master Plan. The entire hotel site is located in a height zone that allows up to 84 feet at any location.

Neighborhood Coordination *Letter sent to Near North Valley NA (R).*

Studio Southwest has met with the Neighborhood representatives as recent as 8.7.2006 on this application.

APS

The request to construct a four-story hotel at 12th Street NW and Menaul NW will have no adverse impacts to the APS district.

Understood.

Police Department *No crime prevention or CPTED comments at this time.*

Understood.

Fire Department

Exact Fire Department requirements will be figured when plans are submitted for review.

Concur.

PNM Electric and Gas *Approved.*

Understood.

Comcast *No comments received.*

Qwest *No comments received.*

Environmental Health *No comments received.*

M R G C D *No comments received.*

Open Space Division *No adverse comments.*

City Engineer

If infrastructure is required, an approved SLA with financial guarantees is required for Site Plan signoff by City Engineer.

The IPFDC and the City of Albuquerque entered into a Development Agreement dated 5.28.2003. Infrastructure to the site is covered under the terms of that agreement.

Transportation Development

A copy of the TIS and its recommendations need to be submitted. A separate meeting should be held to discuss the recommendations. The parking stalls need to be dimensioned and need to meet DPM criteria. End island radii need to meet DPM criteria. Has the plat been submitted? Why are there no van accessible stalls? What is the width of the internal streets? Where are the ADA ramps at the corner of Indian School and 12th? Stop signs need to be mounted above 7' per AASHTO. Why don't the curb sections refer to City Standards? A cross-section of 12th Street is needed. This should depict the existing conditions and relate how the proposed curb line will be integrated. Where is the infrastructure list for the curb line work in 12th Street? How is the 6' clear path maintained between the internal parking stalls?

- **The City has a copy of the TIS. We offered to submit an additional copy of the TIS and were told not to submit it.**
- **The City Traffic Consultant (HOK) reviewed the TIS with the IPFDC Traffic Consultant and HOK designed the preliminary street sections and access points. The City will contract with a consultant to design all of the street improvements along the perimeter of the IPFDC site according to the Development Agreement.**
- **All parking stall, curb design and end isle radii shall comply to DPM criteria.**
- **Van-accessible stalls shall be provided according to City requirements.**
- **Stop signs shall be mounted per AASHTO standards above 7'-0".**
- **The width of the internal streets is depicted on page 19 of the Design Standards of the 12th and Menaul Study. The 8'-0" wide parking space along the east side of the internal street, adjacent to the east side of the hotel site, has been eliminated to meet setback requirements of the BIA Office Complex.**

Parks & Recreation
Graves Park?

Is there pedestrian access proposed to the adjacent

There are access gates to Graves Park as indicated on SP-01 in the 12th and Menaul Study. The gates are security gates and are controlled by the Federal Security Agents on the site.

Utilities Development

No objection to Site Plan approval.

Understood

Planning Department

The New Sheet SP-1 should be titled "Site Plan for Building Permit." This indicates that this is the actual site plan to be approved for this project.

Concur.

The Site Plan SP-1 shows Indian School Road as a private road. Why is it designated this way? The City has maintained this portion of Indian School Road for many years. A private designation means, for one, that the City does not have to maintain it any longer.

Indian School Road is a private road east of 12th Street. The City no longer maintains this portion of Indian School Road and it is entirely within the IPFDC site. Please consult with the City Legal Department as to the status of this portion of Indian School Road.

Sheet SP-1 indicates the hotel site is separated by property lines from the remaining portion of the commercial property. This will require a re-plat of the property. Planning will take delegation of the approved site plan until the re-plat is approved by DRB.

The drawing convention showing a line around the hotel site does not indicate a property line. There will be no internal property lines within the IPFDC site. The line indicates the boundary to the portion of the site for the hotel. No internal lots will be created.

What is the purpose of the "existing BIA easement" shown on Sheet SP-1?

? **The BIA easement**

The Landscape Plan shows thirteen Ash trees proposed mainly for street trees. Because of the high water usage of Ash trees, Chinese Pistache or Japanese Pagoda or some other lower water use tree are a better choice.

Concur. Lower water use trees will be substituted for the Ash trees.

The landscape calculations should include the percent of landscaping provided, not just the required percentage. -

Concur. A revised landscape plan dated 8.11.2006 with the required calculations will be submitted.

The property lines are missing from the Landscape Plan. Existing and proposed easements must be shown on sheet SP-1 and the Landscape Plan. The overall width of the elevations are not shown. Sheet L1 should be titled "Landscape Plan."

Concur.

- **The only property liens relevant to the landscape site plan are indicated on 12th Street and along the south side of Indian School Road. Indian School Road is a private road east of 12th Street.**
- **The overall width of the elevations are indicated on Sheets A-201 and A-202; revised 8.11.2006.**
- **Sheet L-1 is titled "Landscape Plan" on the 8.11.2006 revision sheet.**

SITE PLAN FOR SUBDIVISION COMMENTS

1. *Section 7F of O-05-98 states:*

"The DRB is responsible for ensuring that all City Council Conditions have been satisfied and that other applicable City requirements have been met. Unauthorized changes to the Site Development Plan...including before or after DRB final sign-off, may result in forfeiture of approvals."

Understood.

2. *Council Bill O-05-98 Exhibit A shows the Council approved Site Plan for Subdivision referred to as a the IPFDC Master Plan. When this plan was approved by Council, it contained two sheets, SP-01 & SP-02. SP-02 was the Building Height & Setback Plan. The second sheet, SP-02 was not included in the DRB submittal as part of SPS. Some of the required elements of a SPS are contained on SP-02.*

Concur. Sheet SP-02 will be resubmitted.

3. *There are several other differences between the approved SPS contained in O-05-98 and the SPS submitted to DRB:*

- a. The references to Street Sections are missing on the DRB submittal. These are important particularly for the frontage of the hotel lot.*
- b. The proposed uses such as "retail/office" are missing on the DRB submittal.*
- c. The portion of the retail/office use directly north of the hotel site shown as a parking lot on the DRB SPS is shown as a parking garage on the Council approved SPS.*
- d. There are two other parking lots to the east of this lot on the DRB submittal which were shown as parking lots with the notation "future parking garages" on the Council approved SPS.*
- e. The security fence on the Council approved SPS is located somewhere in Indian School Road with a security gate closing off access. The DRB submittal does not show the fence or the gate.*
- f. There are 2 notations about the 50 foot building setback on the Council approved plan. These notations are missing from the DRB submittal.*

Concur. The discrepancies listed above between the approved SPS and the DRB submittal will all be coordinated and referenced.

4. *O-05-98, Section 13 provides a process for amending the Council approved Site Plan for Subdivision. Minor changes are delegated to the Planning Director & DRB after the Planning Director makes a determination that proposed changes are, in fact, amendments, this process should be followed after the Council approved SPS is approved by DRB.*

At your request, the Planning Director will consult the requirements listed in Section 14-16-2-22 (A)(6) of the Zone Code in making his determination on whether the proposed changes are minor or non-minor. If you choose to re-submit the Council approved SPS, this step is not necessary.

Understood

PLATTING ACTION COMMENTS

1. *Section 7(G)(4) of O-05-98 requires a concurrent platting action with the site plan approvals. After the first public hearing on the site, other DRB members, DRB will determine whether to defer the site plan approvals until the platting action is heard at DRB or whether the DRB Chair can take delegation of the site plans until the plat is approved at DRB.*

It has been clarified that no additional platting action is required.

HOK/HPE DESIGN STANDARD COMMENTS

Without the Street Sections on the SPBP, it's not possible to determine whether the site plan addresses the design standards of the HOK/HPE Plan.

will be
Concur. The Street Section references are added to the SP-01 & SP-02 of DRB submittal and the Council approved SPS will be included for further reference.

IPFDC DESIGN STANDARDS & GUIDELINES

(Section 14-16-3-18 of the Zone Code applies here as well. Many of the IPFDC Standards mirror the Zone Code in subject & content)

1. Page 1. While the SPBP does show some pedestrian connections from the parking area to the hotel and from the future development to the north to the hotel property, and additional pathway should also connect the two parking areas to the north of the hotel. This connection could terminate at the sidewalk on the north side of the pool, for example.

Concur An additional pathway has been added between the parking area to the north and the hotel parking lot, and connects at the sidewalk on the north side of the pool.

2. Page 3. Outdoor activity or seating areas require at least 25% shaded areas from summer sunlight. While swimming pools themselves are a sun activity, an adjacent shaded area should be provide also.

Concur A partially shading trellis structure has been added to the pool area.

3. Page 8. A statement should appear on the SPBP that roof mounted mechanical equipment will be screened from public right of way by parapet walls of structural features. Or, if wall mounted, screened by dense evergreen foliage, etc.

Concur. A general note has been added to sheets A-201 & A-202 that states, "All roof mounted and wall mounted mechanical units shall be concealed by a screen wall equal to or greater than the height of the equipment."

4. Page 9. Facades greater than 100 feet in length should have outdoor seating adjacent to at least one façade. 1 seat (24"l X 15" h) per 25 linear feet of façade. A 25% shade requirement applies here also if the seating is on the west or north sides of the building.

Concur. Two shaded outdoor seats have been added along the west side of the hotel.

5. Page 9. *Building articulation/design requirements. Plan to meet with the DRB Chair to explain how these standards are met. The building elevations in the SPBP do not clearly spell out some of these details. Please call to set up a meeting.*

Concur. We have met with DRB Chairperson Andrew Garcia and demonstrated that the hotel has met the “Building articulation/design requirements.”

6. Page 11. *Under “Provisions for Employees”, An outdoor gathering space for employees (separate from the shaded area near the pool previously mentioned) a minimum of 300 square feet with seating and shade covering at least 25% of the area should be added to the SPBP.*

Concur. An outdoor gathering space for employees with seating and shade has been added to the site on the southwest side of the building.

7. Page 14. *A 3 foot screen wall is needed along Indian School to shield the parking from the public street. The wall design will need DRB Chair approval per Section 14-16-3-19 of the Zone Code.*

Concur. It has been clarified that Indian School is a private road does not need to meet Zoning Code standards for public street screening.

8. Page 14. *The monument sign shown in the SPBP exceeds the IPFDC standards as well as the Zone Code. The sign height includes the foundation. In addition, the monument sign is supposed to set at the main entrance to the hotel site. The main entry appears to be at the north end of the site.*

Concur. The monument sign height will be reduced to meet IPFDC and Zone Code standards. The main entry point remains to the south as proposed.

9. Page 15. *The façade mounted signs are allowed on three sides of the building only.*

Concur. It has been clarified that façade mounted sign exist only on 3 sides of the building.

The SPBP complies with Section 14-16-3-19, Landscaping Regulations Applicable to Apartment & Nonresidential Development.