

PROPOSED HOTEL INDIAN SCHOOL AT 12TH ST. ALBUQUERQUE, NEW MEXICO

ADMINISTRATIVE AMENDMENT SITE PLAN FOR BUILDING PERMIT

ARCHITECTS PLANNERS

STUDIO SOUTHWEST
ARCHITECTS, INC.
2101 MOUNTAIN RD NW
ALBUQUERQUE, NM 87104
505-843-9639
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CIVIL AND STRUCTURAL ENGINEER

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ALBUQUERQUE, NM 87110
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CONTACT: GREG KRINICK

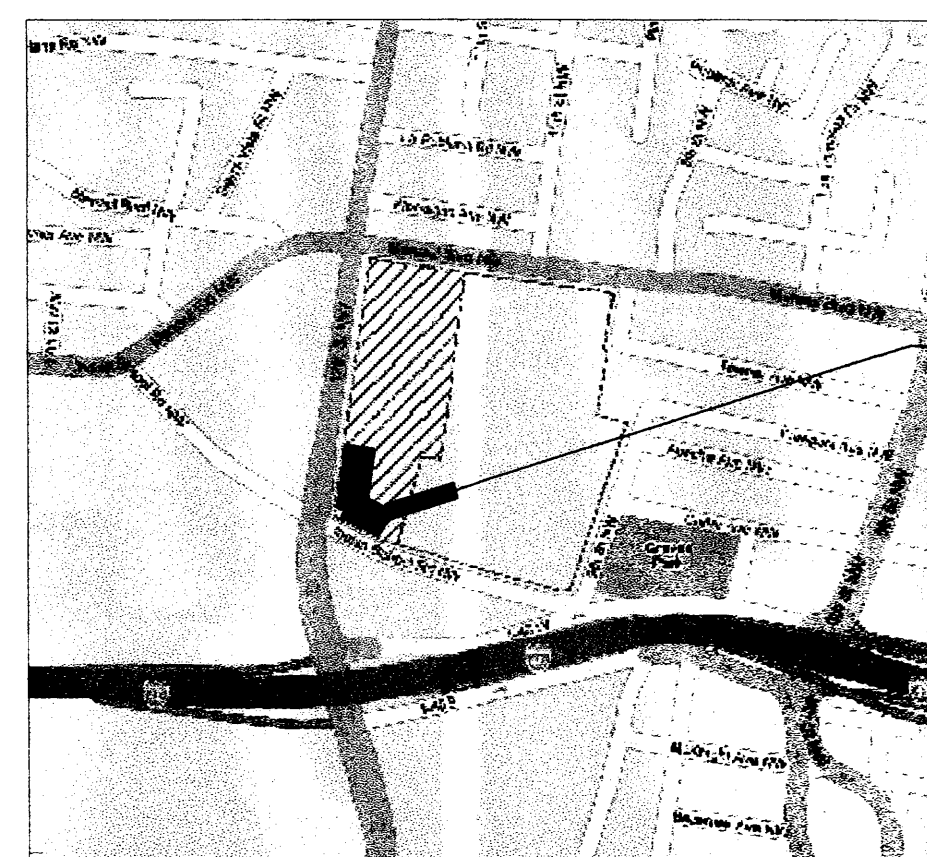
LANDSCAPE ARCHITECT

HILLTOP LANDSCAPE ARCHITECTS +
CONTRACTORS
7909 EDITH BLVD NE
ALBUQUERQUE, NM 87113
505-898-9690
CONTACT: CARRIE JOHNSON

DRAWINGS

G-001 TITLE SHEET
S-01 ENLARGED SITE PLAN
S-02 OVERALL SITE PLAN
AS401 ARCHITECTURAL SITE DETAILS
AS501 ARCHITECTURAL SITE DETAILS
A-14 BUILDING ELEVATIONS
A-15 BUILDING ELEVATIONS
C-101 CONCEPTUAL GRADING AND DRAINAGE PLAN
C-102 CONCEPTUAL UTILITY PLAN
L-1 LANDSCAPING PLAN

VICINITY MAP



0 4000' 8000' (NOTE: SCALE APPROXIMATE)



ZONE ATLAS MAP: H-13

STUDIO
SW
ARCHITECTS

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CONSULTANTS

Architect Engineer

**ADMIN.
AMENDMENT**

PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC
MASTER PLAN

△	2/16/07	ADMIN. AMEND. REVS.

MARK	DATE	DESCRIPTION
ISSUE:	ADMINISTRATIVE AMENDMENT	
PROJECT NO:	0510	
CAD DWG FILE:	0510-COVER.DWG	
DRAWN BY:	LJ	
CHECKED BY:	MFR	
DATE:	2/16/07	

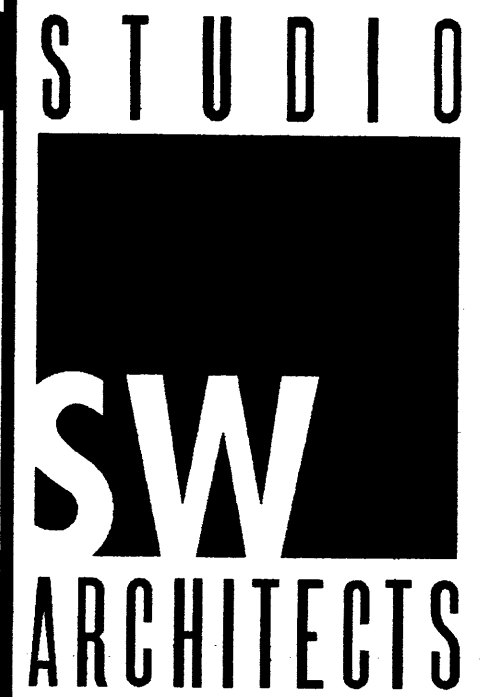
SHEET TITLE
TITLE SHEET

G-001
sheet of sheets

PROJ 1005033 (DRBA)

GENERAL NOTES

- A. SEE SHEET AS-401 & AS-501 FOR ARCHITECTURAL SITE DETAILS
- B. ALL PEDESTRIAN SIDEWALKS WILL BE CONCRETE- MINIMUM WIDTH = 6'-0" (SEE PLAN)
- C. ALL PEDESTRIAN CROSSWALKS WILL BE COLORED, TEXTURED AND PATTERNED CONCRETE-MINIMUM WIDTH = 6'-0" (SEE PLAN)
- D. ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE
- E. THE MAXIMUM INDIVIDUAL LETTER SIZE OF ALL BUILDING MOUNTED SIGNS SHALL BE 5'-0" HIGH. LOGO DESIGN SIGNS SHALL NOT EXCEED 5'-0" IN HEIGHT OR WIDTH.
- F. PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE OF PUBLIC PLAZA SPACES
- G. TRASH ENCLOSURE WILL BE COMPATIBLE WITH ADJACENT BUILDING.
- H. IDENTIFY ALL SMALL CAR SPACES WITH 'SMALL CAR' PAINTED ON THE PAVEMENT.



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Architect Engineer

ADMIN. AMENDMENT

PROPOSED HOTEL

INDIAN SCHOOL BLVD
 ALBUQUERQUE, NM

IPFDC MASTER PLAN

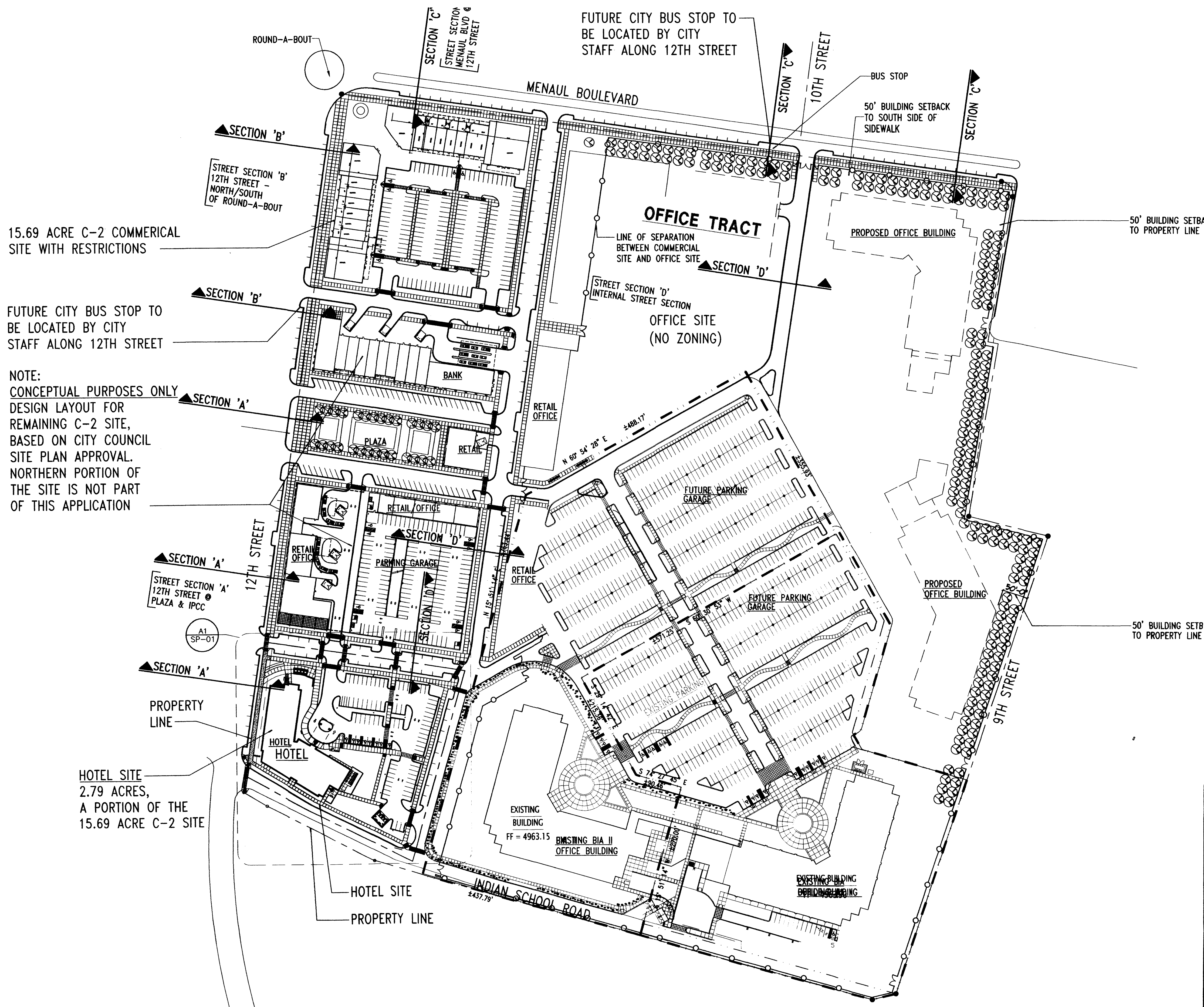
△	2-16-07	ADMIN. AMEND. REVS.
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CAD DWG FILE:		
DRAWN BY:	CW, LJ	
CHECKED BY:	BH	
DATE:	2-16-07	

SHEET TITLE

SITE PLAN
 OVERALL

S-02
 sheet of sheets



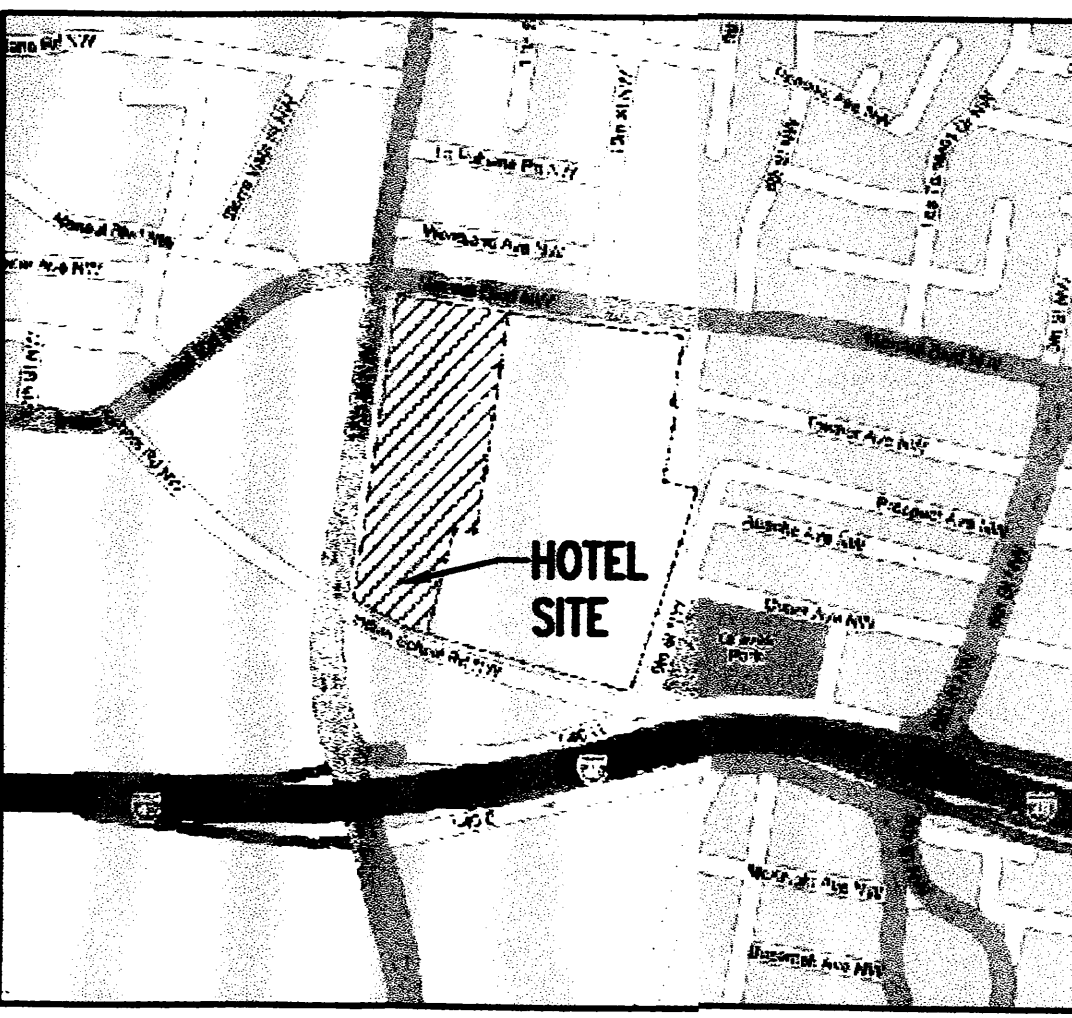
15.69 ACRE C-2 COMMERCIAL SITE WITH RESTRICTIONS

FUTURE CITY BUS STOP TO BE LOCATED BY CITY STAFF ALONG 12TH STREET

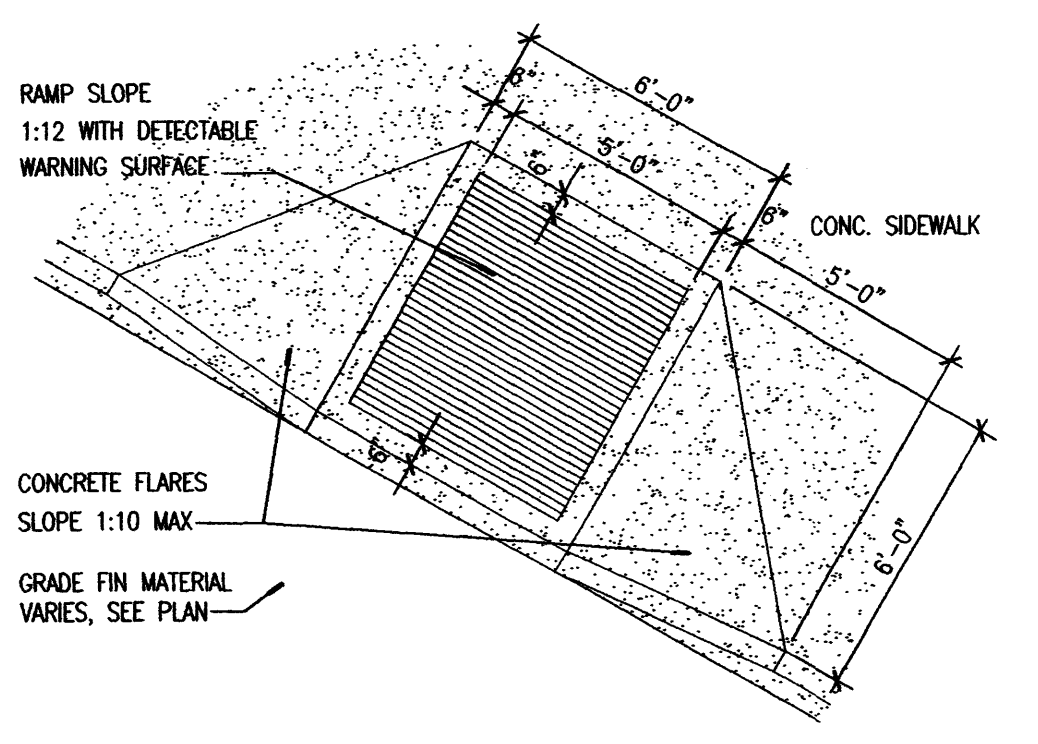
NOTE:
 CONCEPTUAL PURPOSES ONLY
 DESIGN LAYOUT FOR REMAINING C-2 SITE, BASED ON CITY COUNCIL SITE PLAN APPROVAL. NORTHERN PORTION OF THE SITE IS NOT PART OF THIS APPLICATION

HOTEL SITE
 2.79 ACRES,
 A PORTION OF THE
 15.69 ACRE C-2 SITE

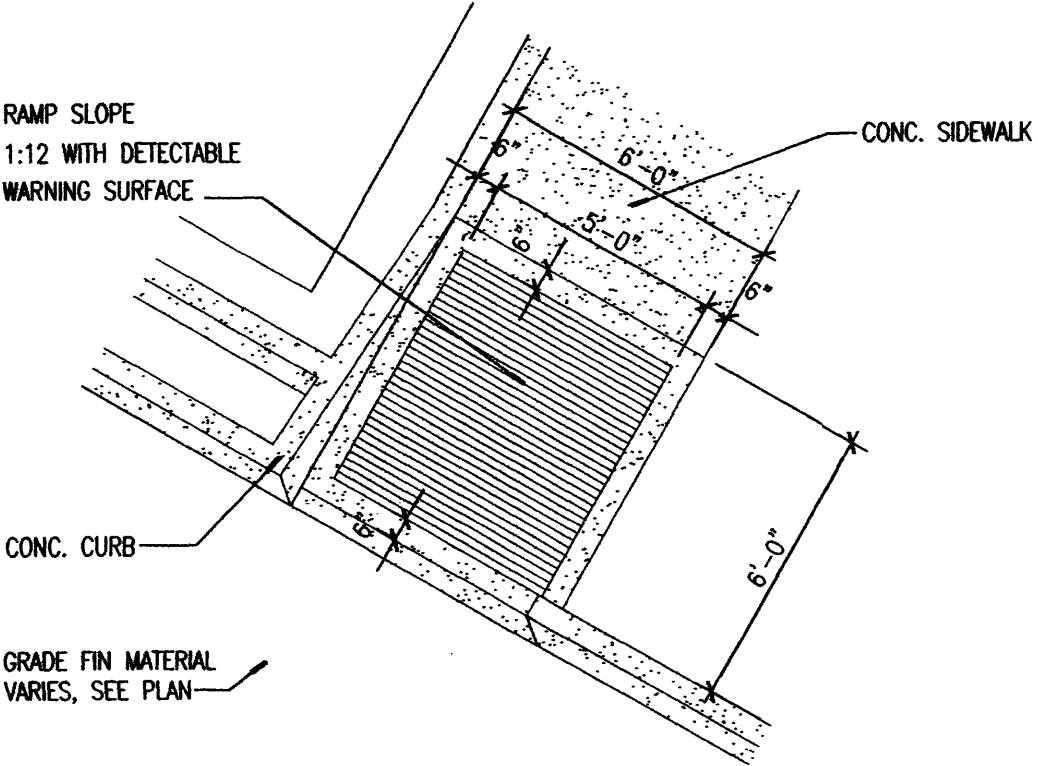
A1 SITE PLAN - OVERALL
 SCALE: 1"=100'-0"
 0 50' 100' 200'



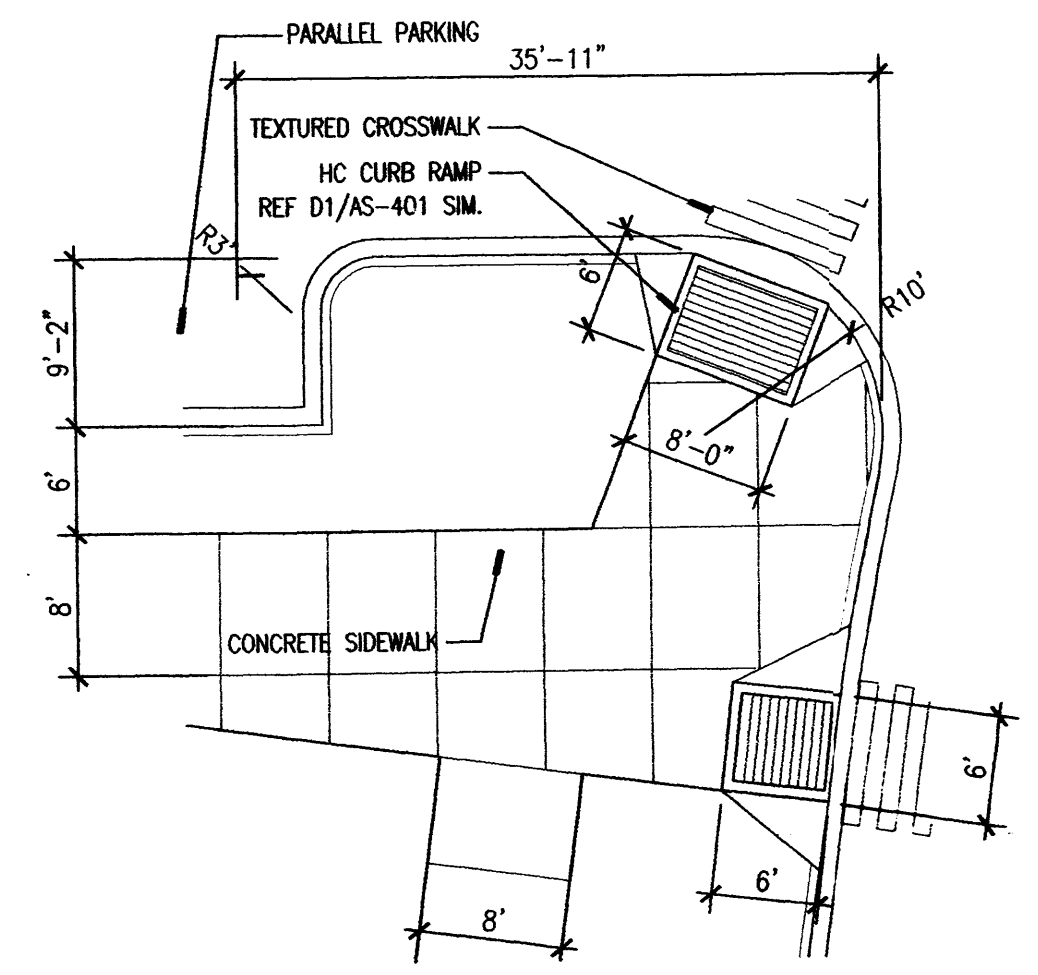
VICINITY MAP
 (NOTE: SCALE APPROXIMATE)



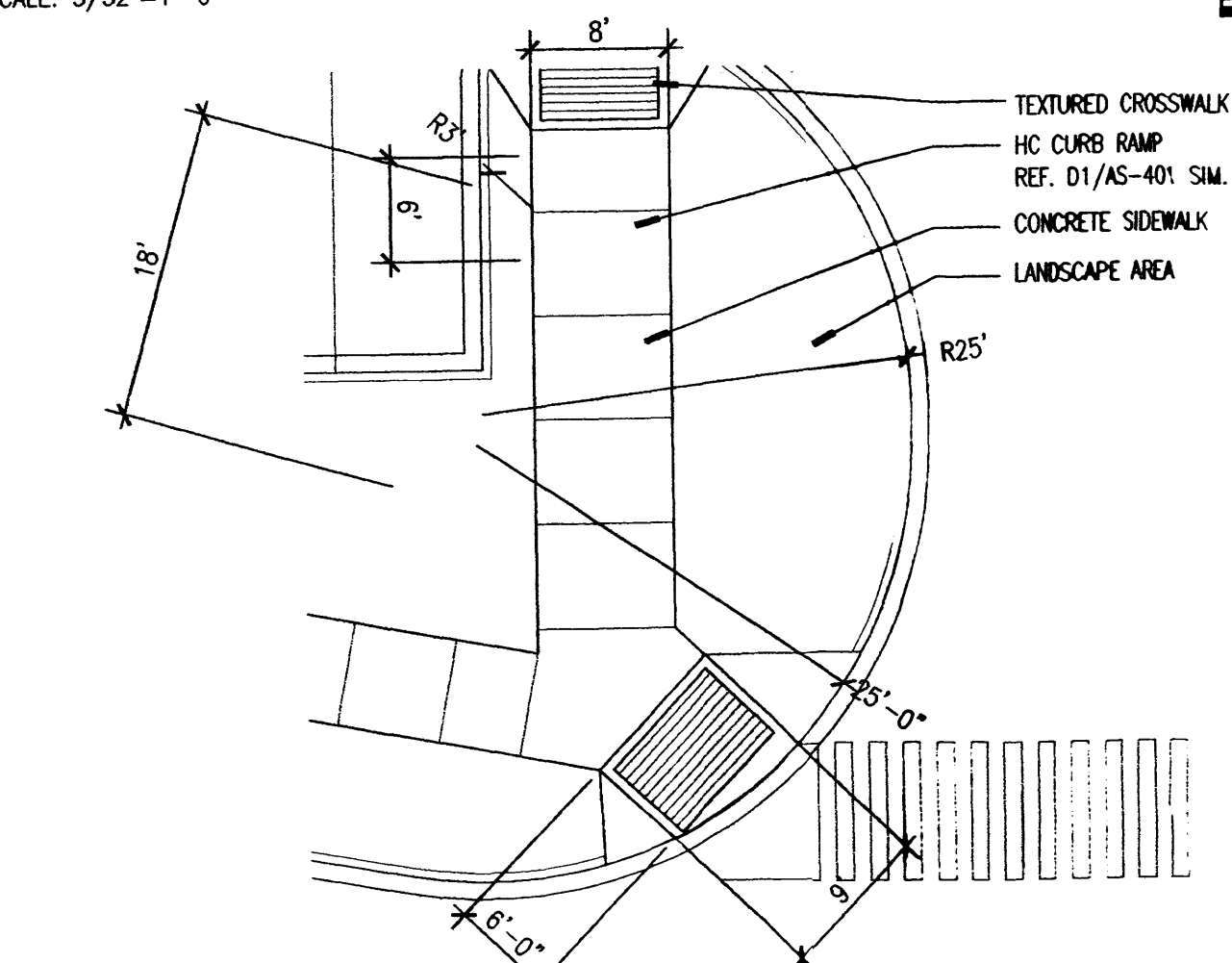
D1 HC RAMP
SCALE: 1/4"=1'-0"



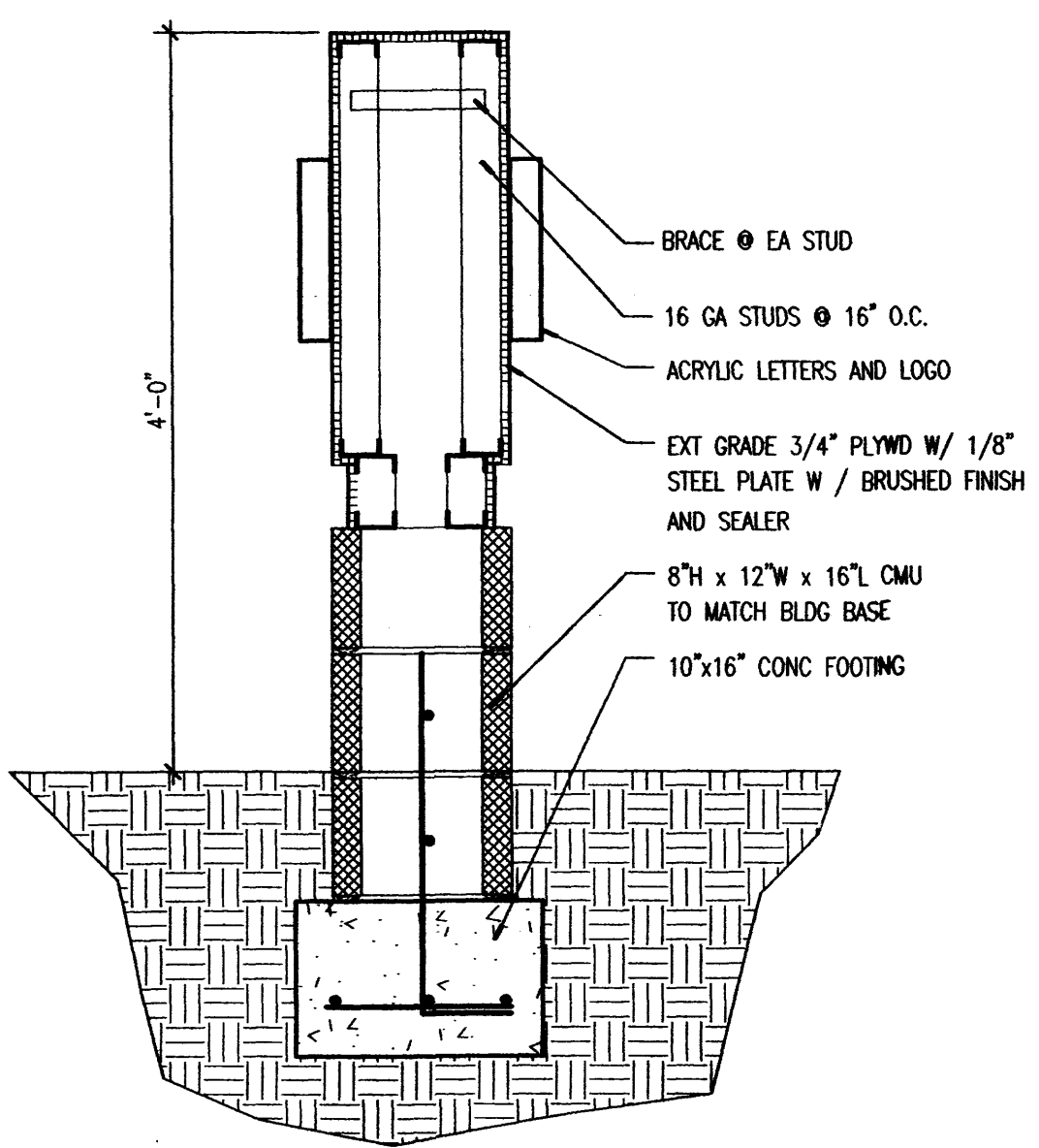
C1 HC RAMP DETAIL
SCALE: 3/32"=1'-0"



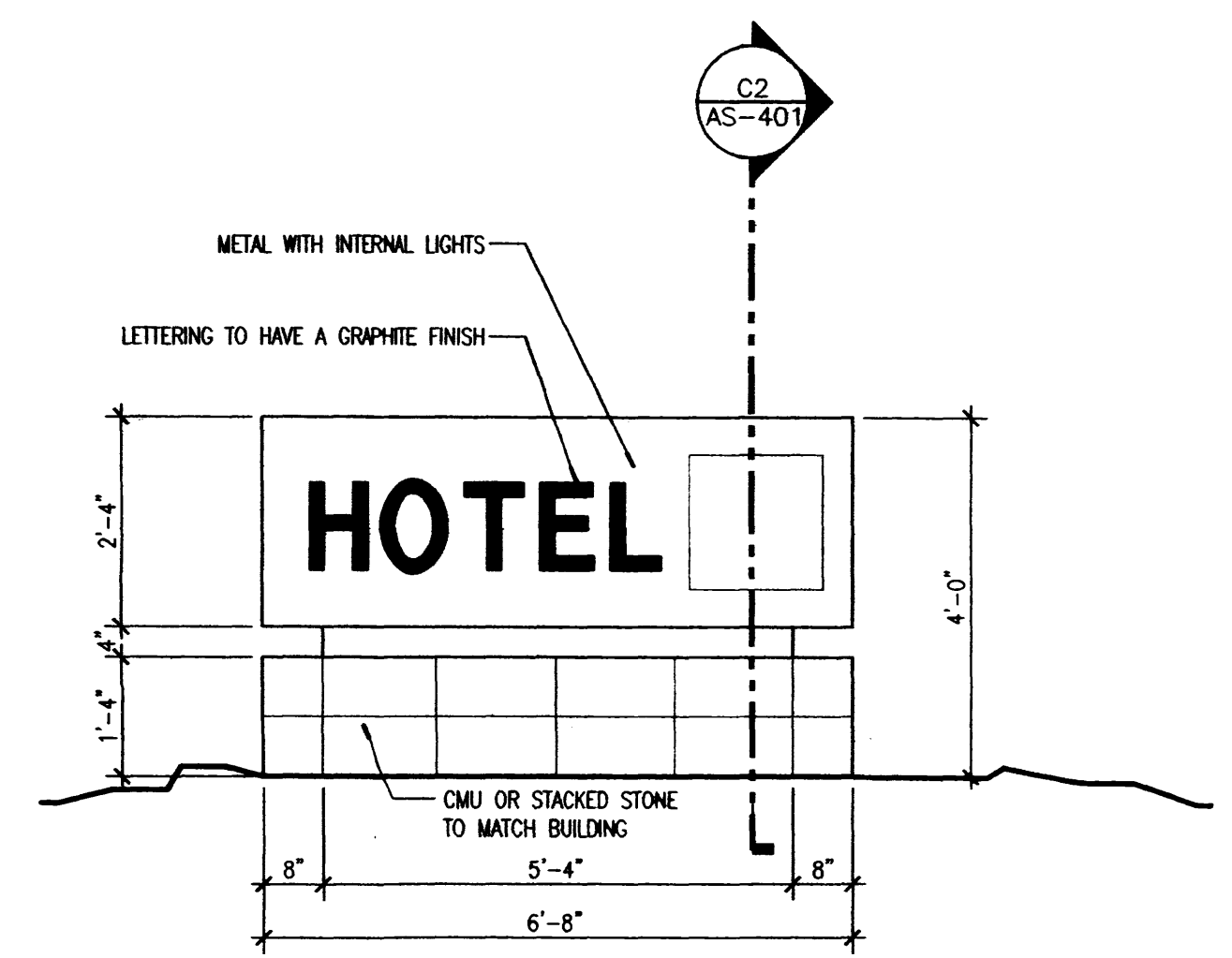
B1 ENLARGED PARTIAL SITE PLAN DETAIL
SCALE: 3/32"=1'-0"



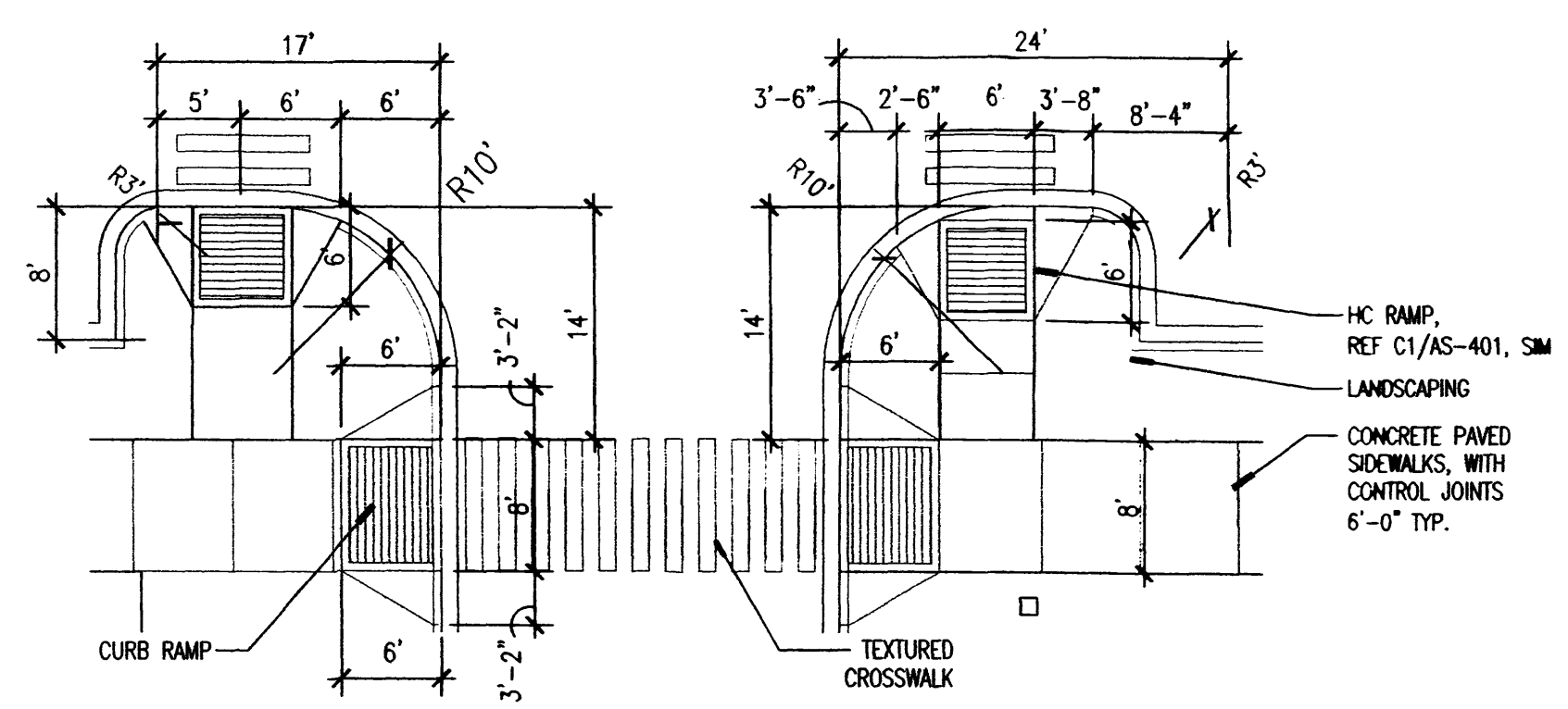
A1 ENLARGED PARTIAL SITE PLAN DETAIL
SCALE: 3/32"=1'-0"



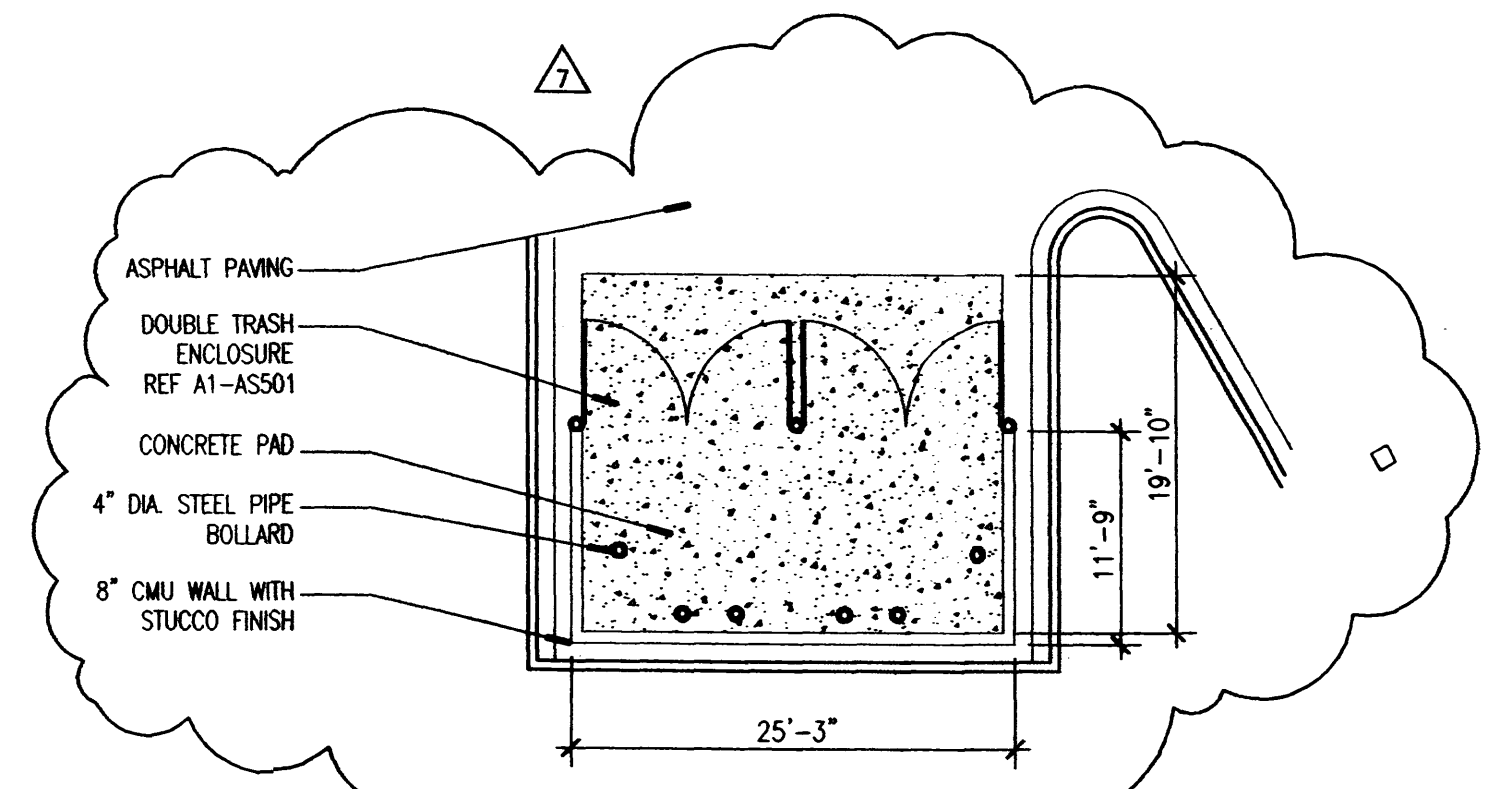
C2 MONUMENT SIGN DETAIL
SCALE: 1"=1'-0"



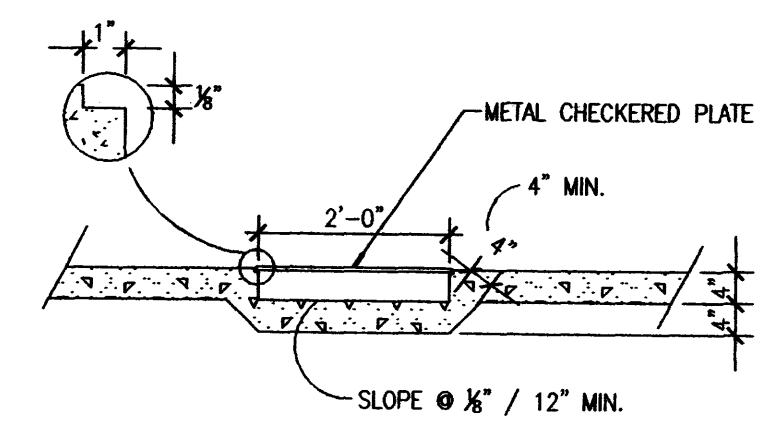
C3 MONUMENT SIGN DETAIL
SCALE: 1/2"=1'-0"



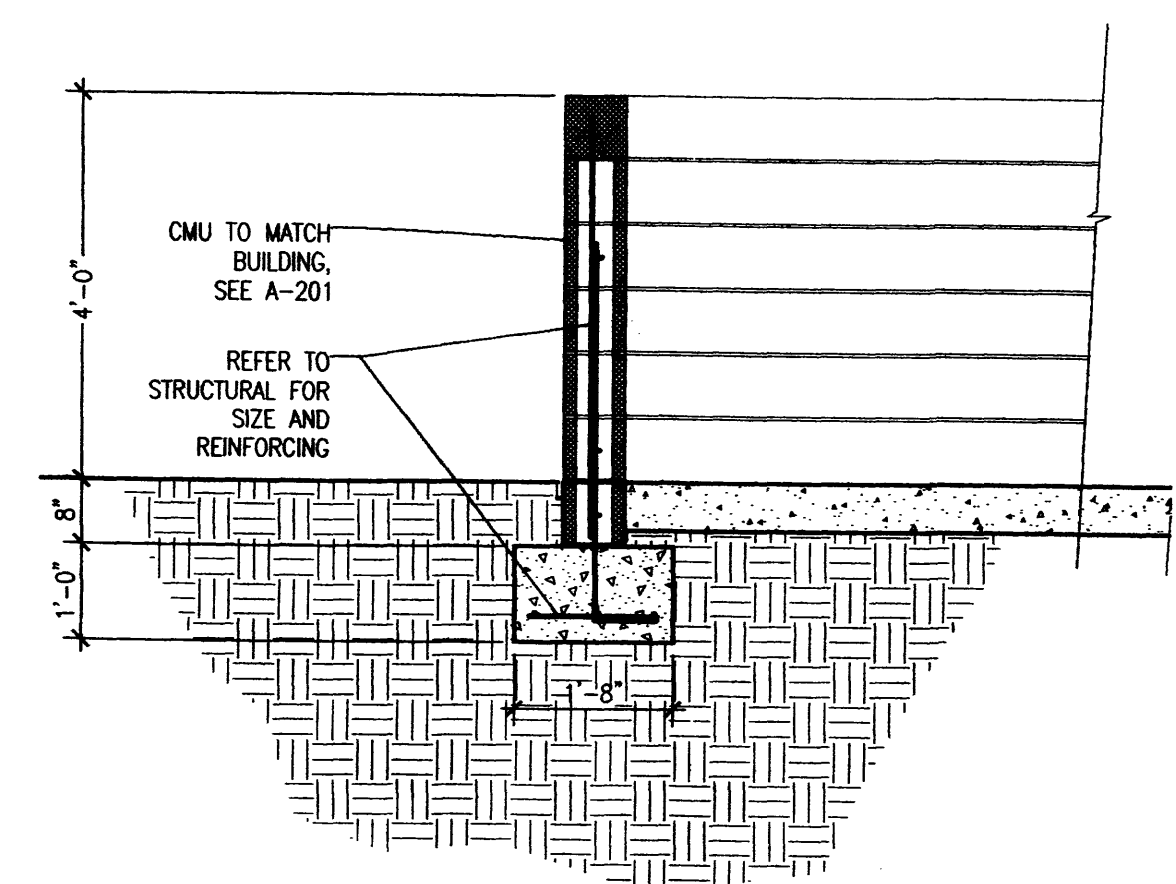
B2 ENLARGED PARTIAL SITE PLAN DETAIL
SCALE: 3/32"=1'-0"



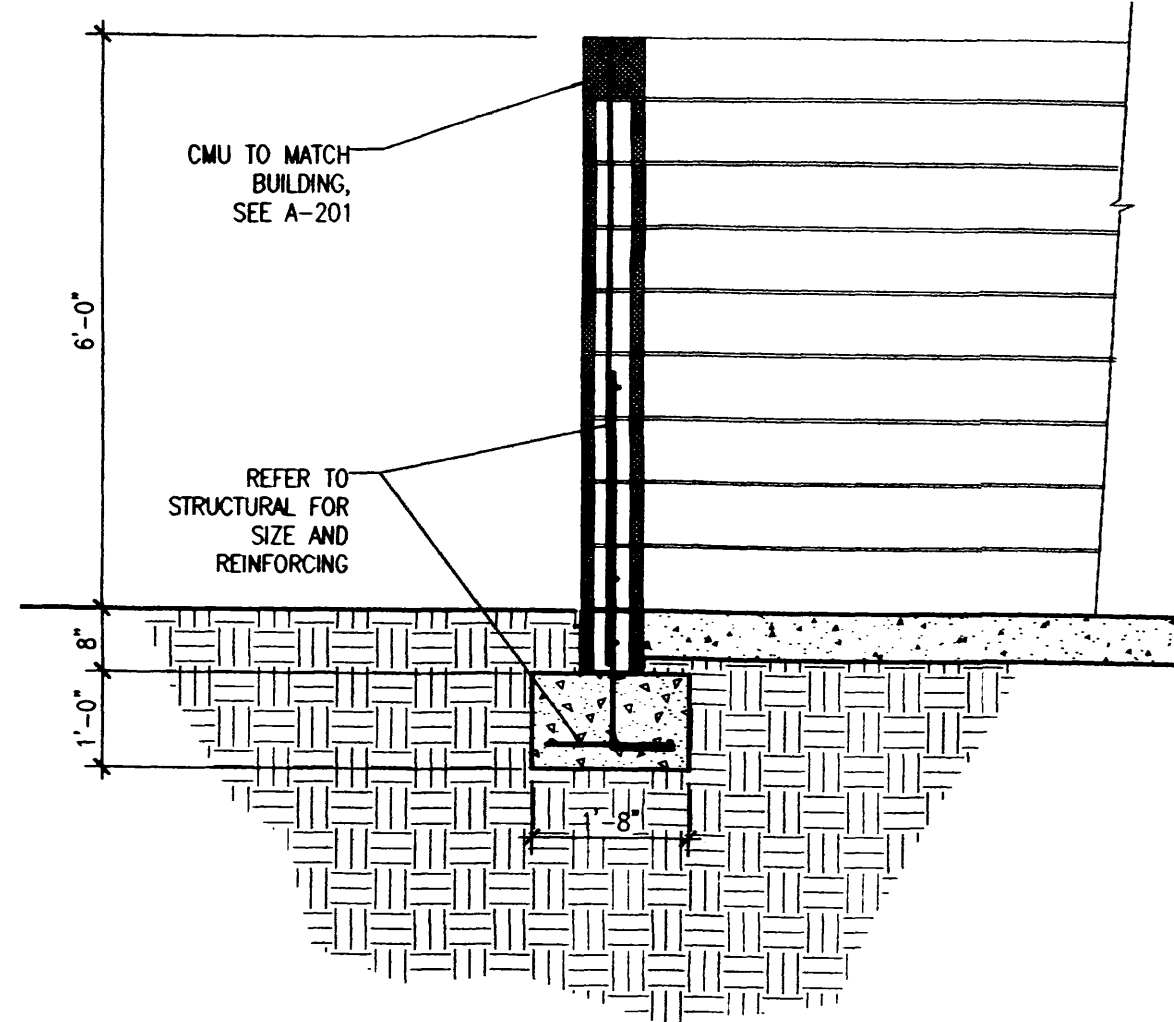
A2 ENLARGED TRASH ENCLOSURE DETAIL
SCALE: 3/32"=1'-0"



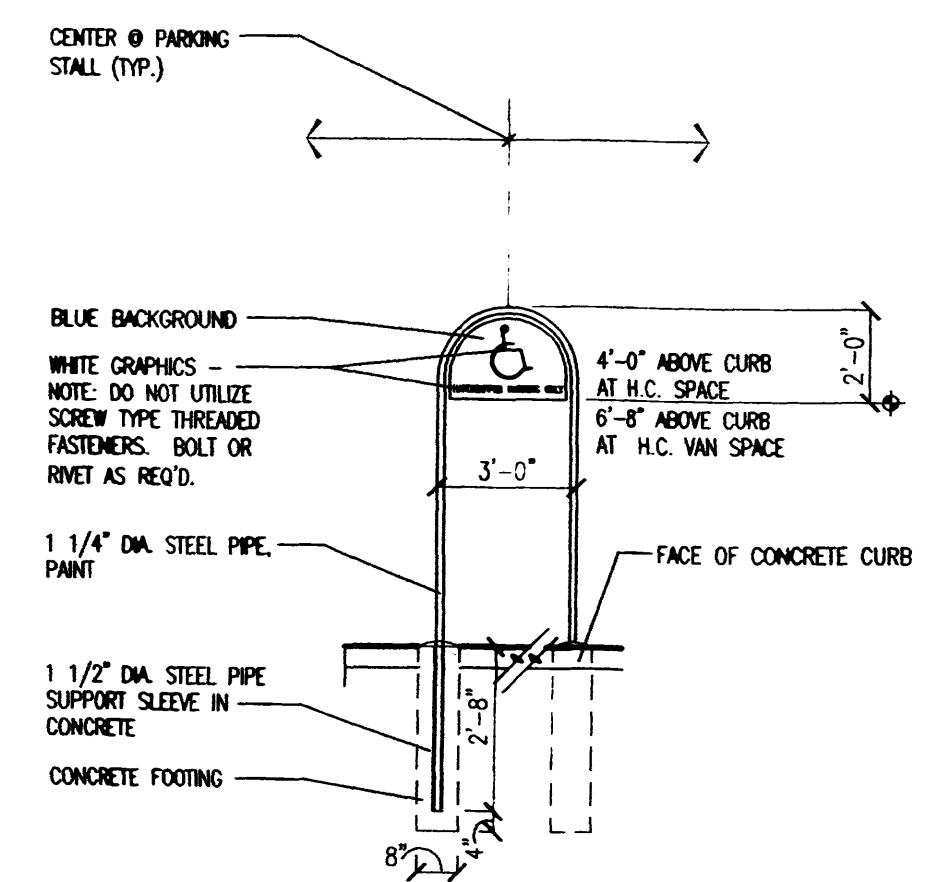
D4 SIDEWALK CULVERT DETAIL
SCALE: 1/2"=1'-0"



C4 4'-0" SCREEN WALL
SCALE: 1/2"=1'-0"



B4 6'-0" SCREEN WALL
SCALE: 1/2"=1'-0"



A4 ENLARGED HANDICAPPED SIGN
SCALE: 3/32"=1'-0"

ADMIN. AMENDMENT

PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

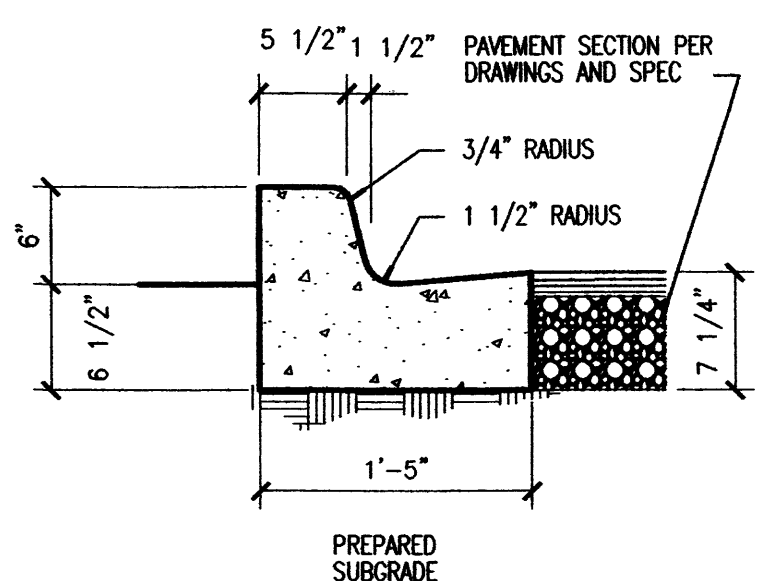
IPFDC
MASTER PLAN

MARK	DATE	DESCRIPTION
△	2/16/07	ADMIN. AMEND. REVS.

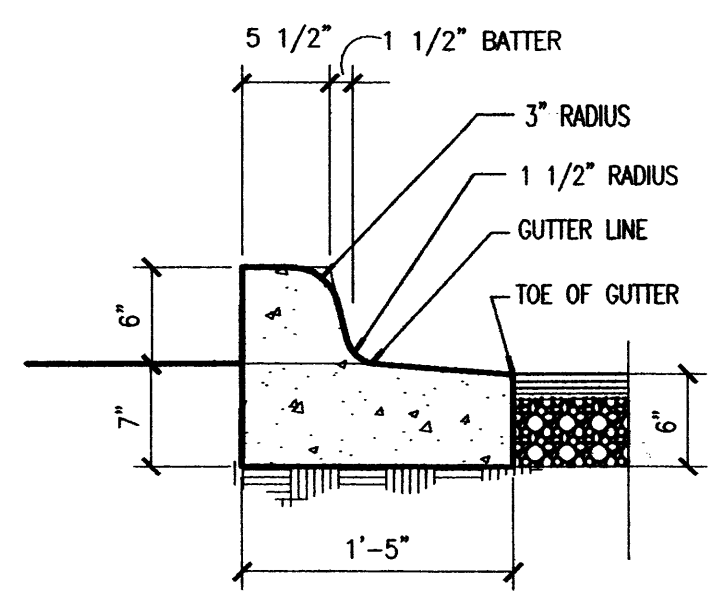
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CAD DWG NO:	
DRAWN BY:	
CHECKED BY:	
DATE:	2/16/07

SHEET TITLE

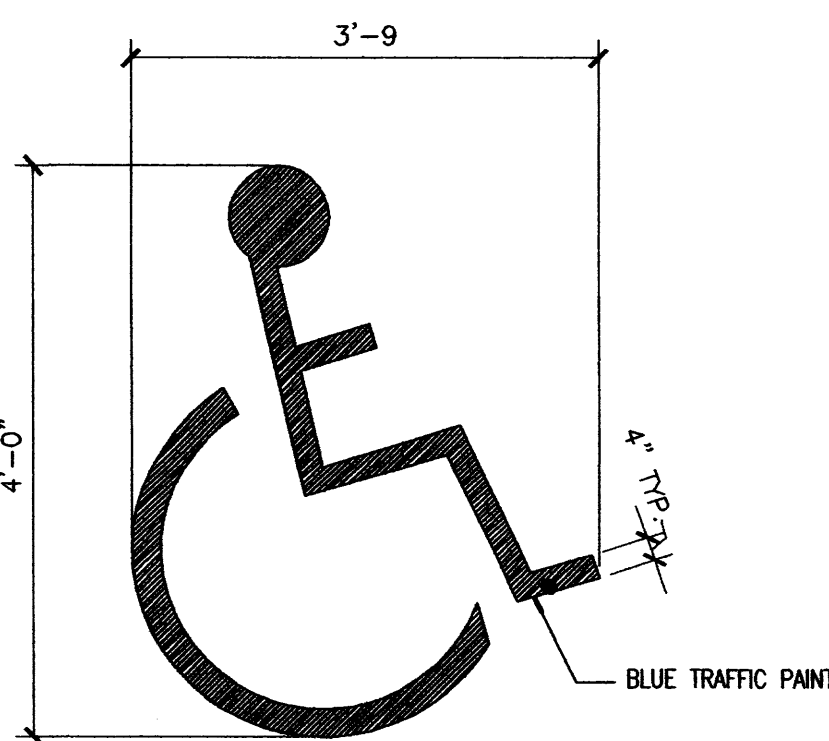
ARCHITECTURAL SITE DETAILS



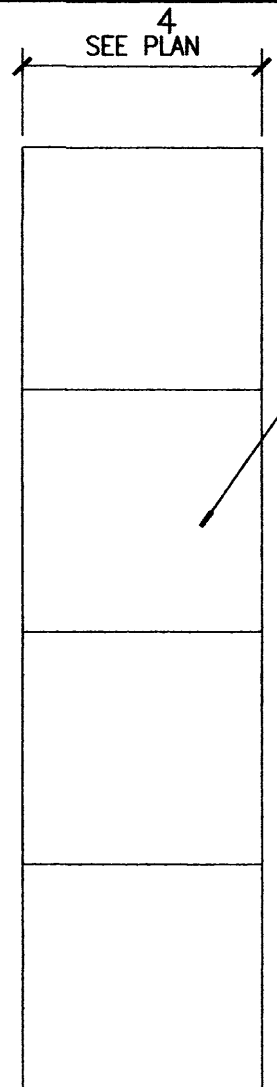
D1 6" CURB AND GUTTER
SCALE: 1"=1'-0"



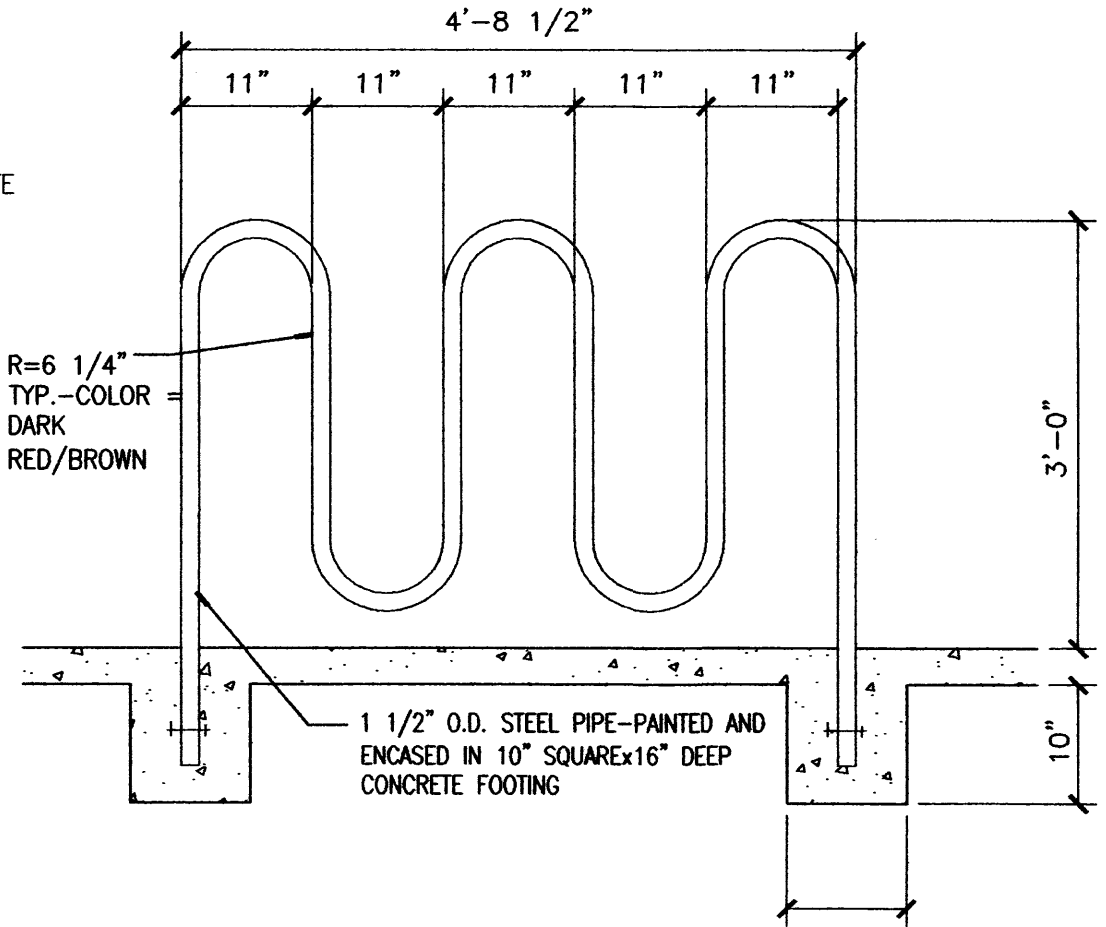
D2 DEPRESSED CURB AND GUTTER
SCALE: 1"=1'-0"



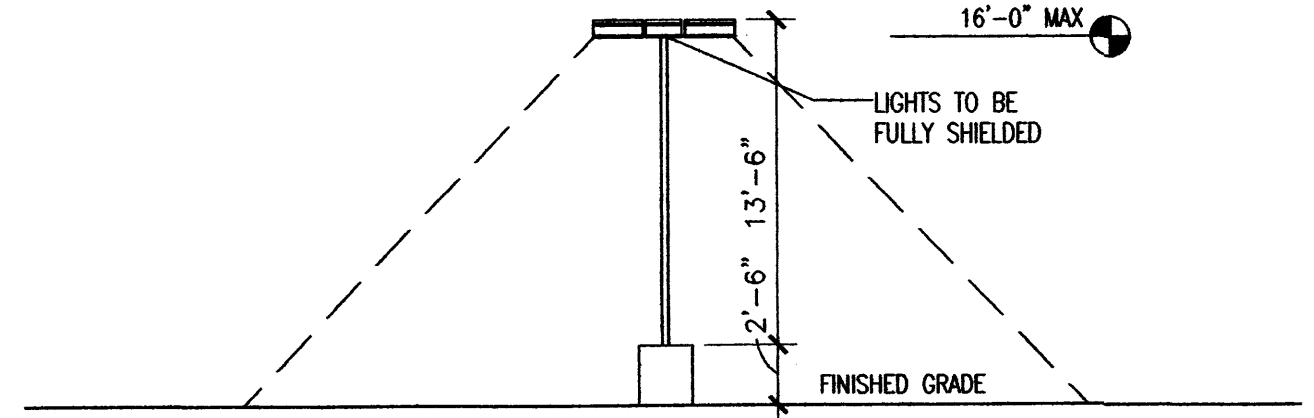
D3 H.C. PAVEMENT SIGN
SCALE: 3/4"=1'-0"



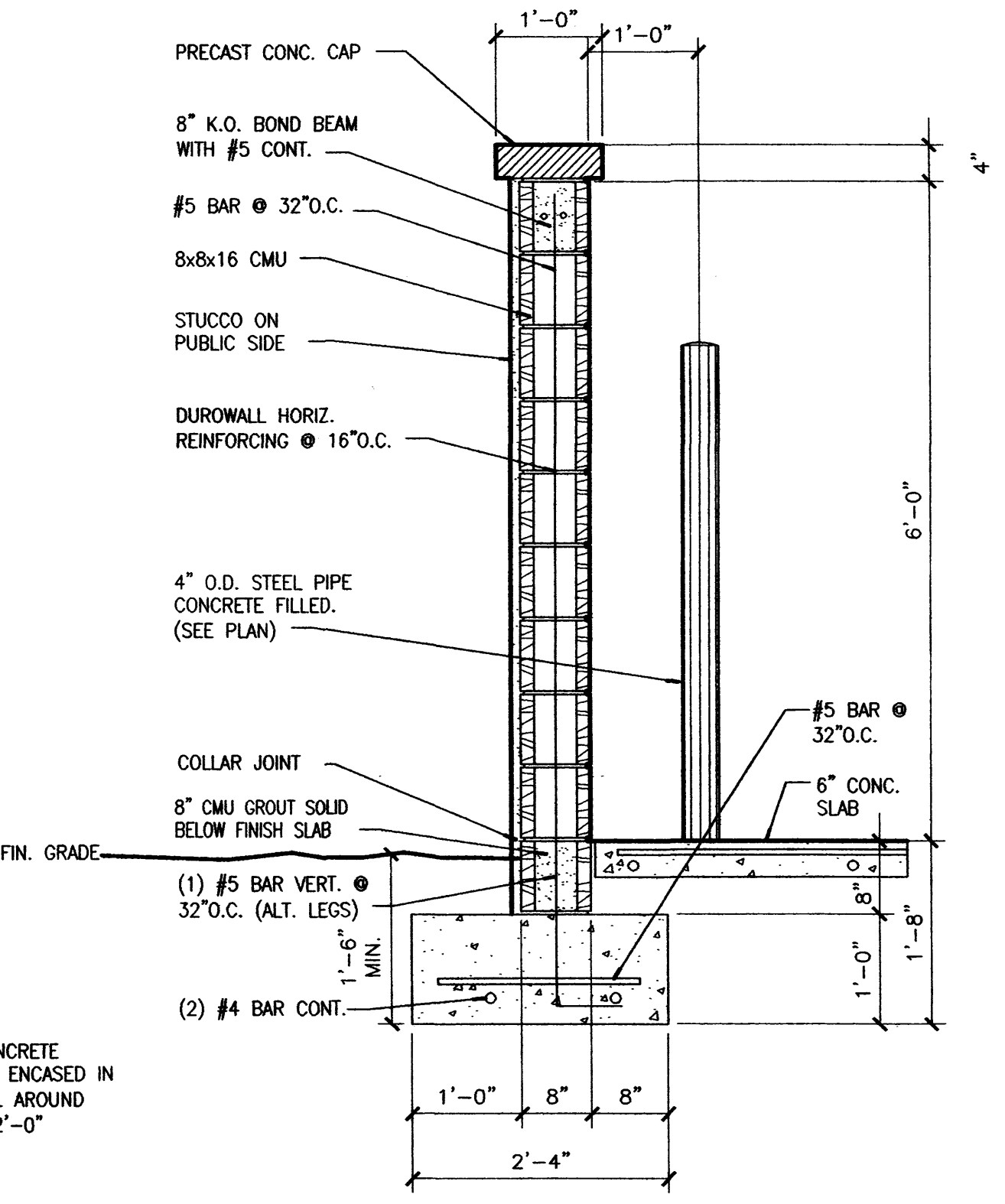
D4 H.C. PARKING STRIPING
SCALE: 1/4"=1'-0"



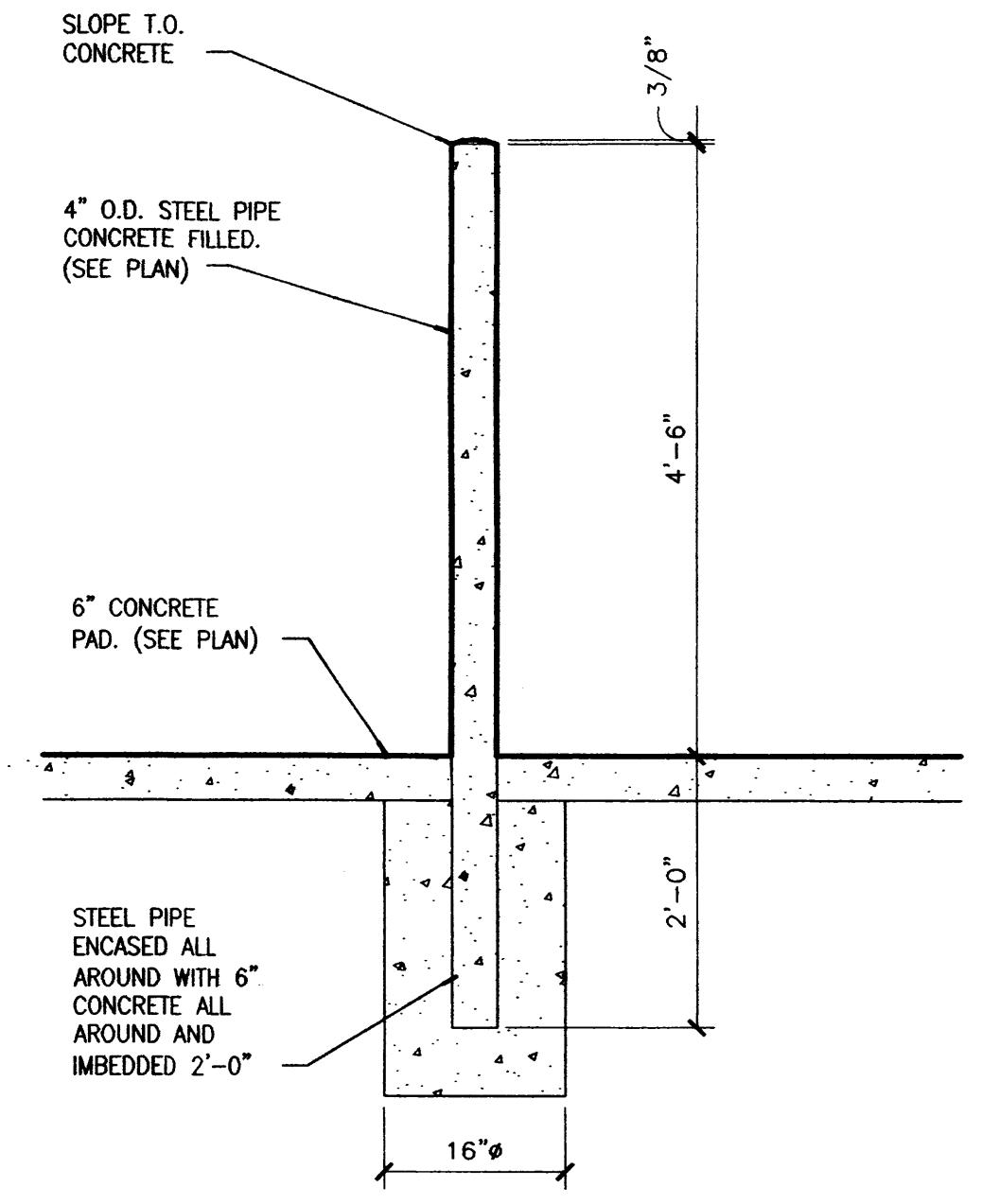
D5 BIKE RACK
SCALE: 3/4"=1'-0"



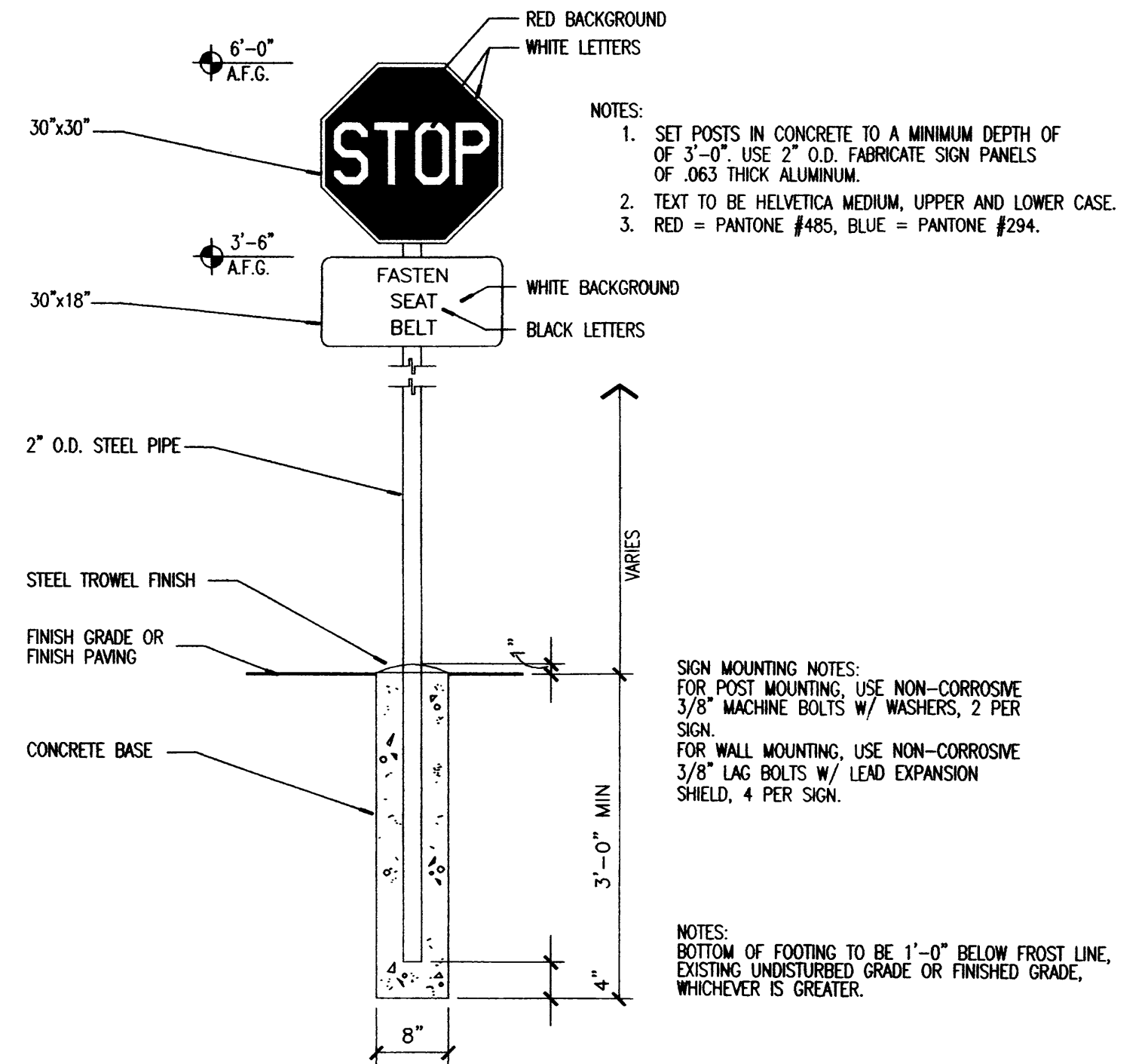
C1 SITE LIGHTING DETAIL
SCALE: 1/8"=1'-0"



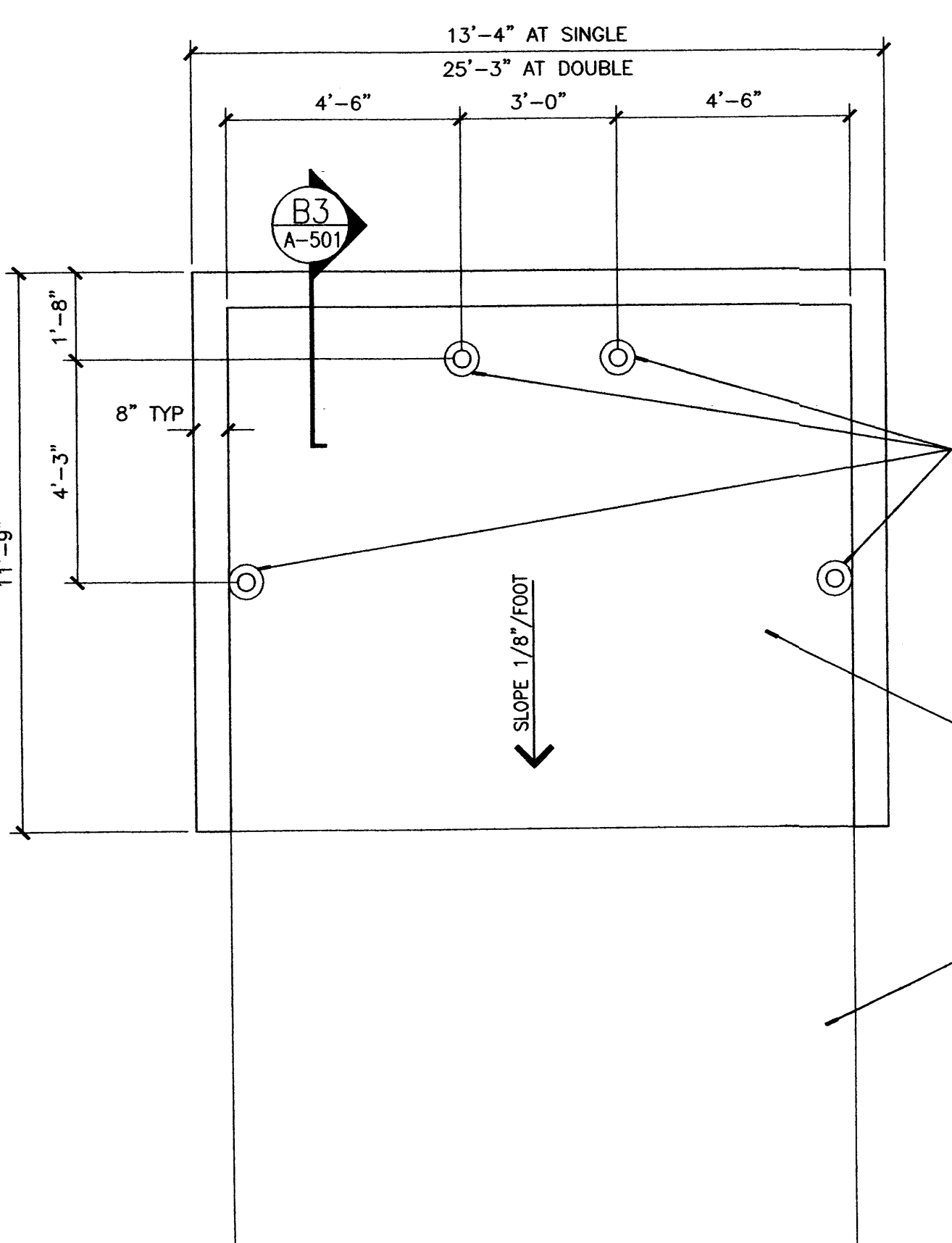
B3 TRASH ENCLOSURE DETAILS
SCALE: 3/4"=1'-0"



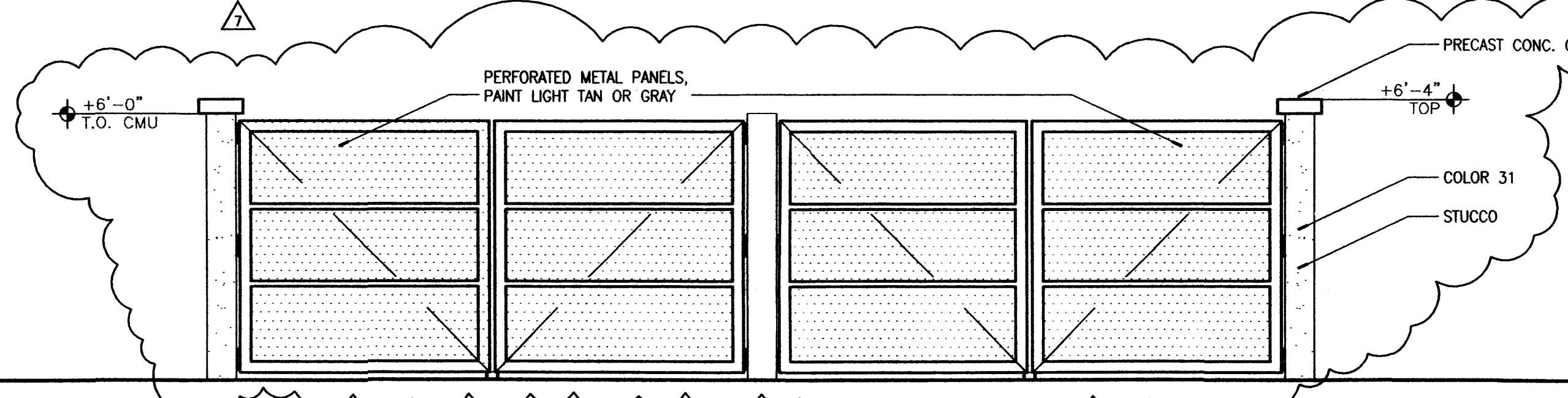
B4 TYP. BOLLARD DETAIL
SCALE: 3/4"=1'-0"



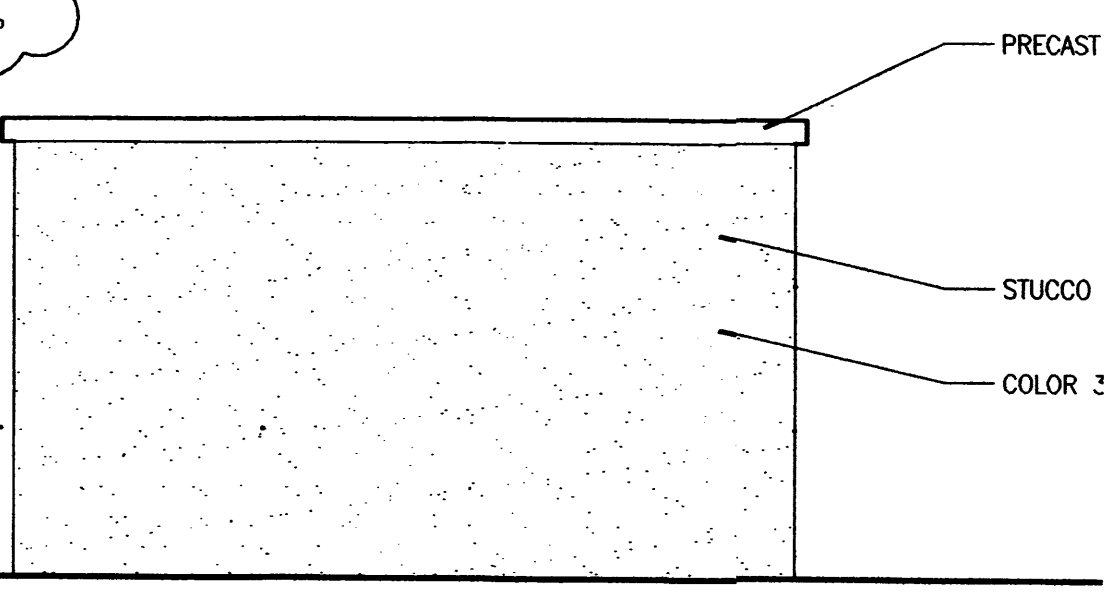
B5 STOP SIGN
SCALE: 3/4"=1'-0"



A1 TRASH ENCLOSURE PLAN
SCALE: 3/8"=1'-0"



A3 TRASH ENCLOSURE FRONT ELEVATION
SCALE: 3/8"=1'-0"



A5 TRASH ENCLOSURE SIDE ELEVATION
SCALE: 3/8"=1'-0"

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Architect Engineer

ADMIN. AMENDMENT

PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC
MASTER PLAN

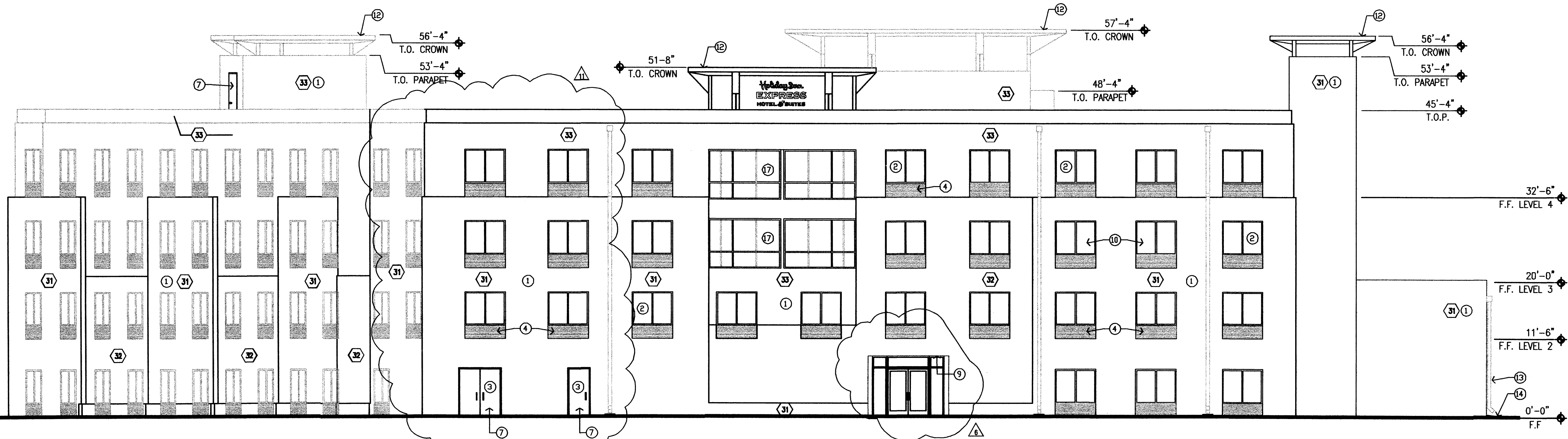
△	2/16/07	ADMIN. AMEND. REVS.

MARK	DATE	DESCRIPTION

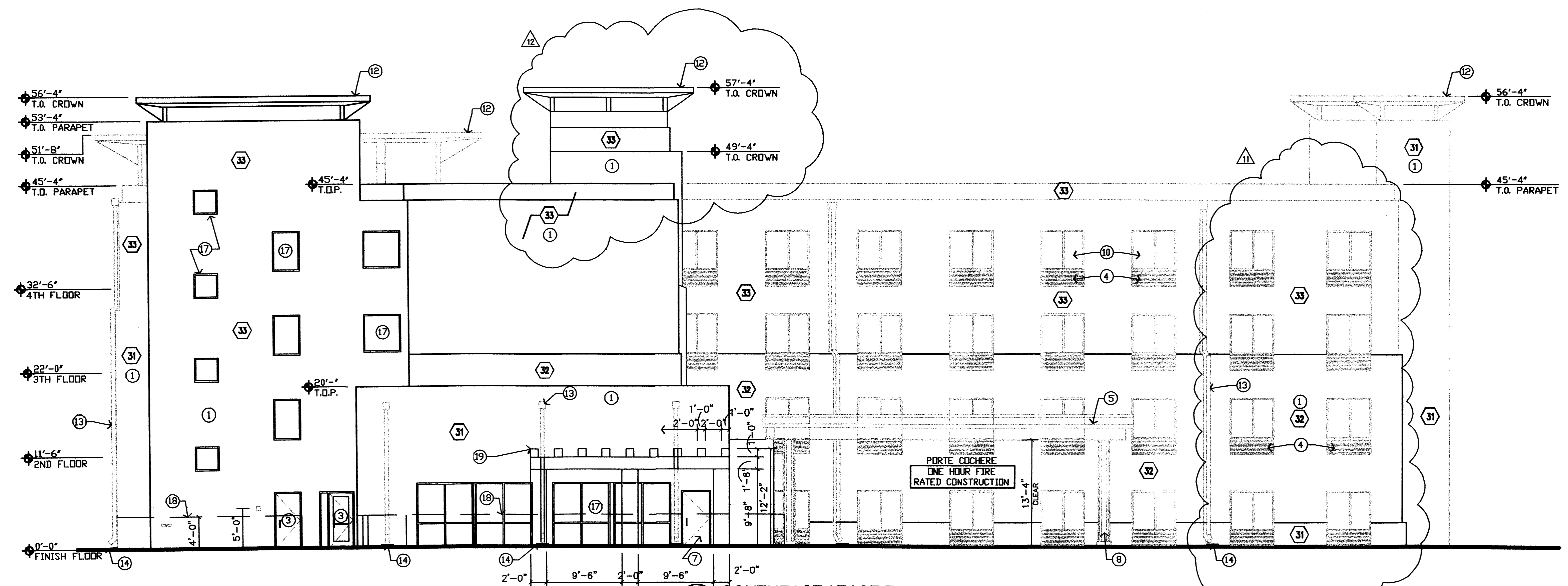
SHEET TITLE

ARCHITECTURAL SITE DETAILS

AS501
sheet of sheets



1
A-14
SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



2
A-14
SOUTHEAST / EAST ELEVATION
SCALE: 1/8" = 1'-0"

KEYED NOTES

1. EXTERIOR INSULATION & FINISH SYSTEM (EIFS), REFER TO COLOR SCHEDULE.
2. SEE WINDOW SCHEDULE.
3. SEE DOOR SCHEDULE.
4. PRE-FINISHED METAL LOUVERS TO MATCH
5. 1 1/2" CONTROL JOINTS - TYPICAL.
6. STRIP NEON LIGHT CONTINUOUS. COLOR TO BE SELECTED BY OWNER.
7. PAINT DOOR & FRAME TO MATCH STUCCO COLOR.
8. CONCRETE COLUMN, FINISH SMOOTH.
9. SOFFIT, SEE REFLECTED CEILING PLAN.
10. DOUBLE GLAZING, SUDER.
11. FLASHING/ COUNTER FLASHING, PAINT TO MATCH STUCCO.
12. BRIGHT SILVER METAL CLADDING OVER WOOD CONSTRUCTION.
13. 10"x10"x10" METAL LEADER BOX AND DOWN SPOUT W/ THREE WALL BRACKETS MIN., PAINT TO MATCH STUCCO COLOR.
14. CONCRETE SPLASH BLOCK.
15. KNOX BOX, MOUNT 5'-0" A.F.F.
16. FIRE DEPARTMENT STANDPIPE CONNECTION, MOUNT 3'-0" A.F.F.
17. STORE FRONT, SEE WINDOW SCHEDULE.
18. 4'-0" HIGH, 8" CMU WALL, MATCH STUCCO COLOR. (SHOWN DASHED FOR CLARITY)
19. TRELIS CONSTRUCTION AND COLOR, BY OWNER.

COLOR LEGEND

- 31 COLOR 31 - TERRA COTTA
- 32 COLOR 32 - BEIGE
- 33 COLOR 33 - LIGHT BEIGE

KEYED NOTES

1. EXTERIOR INSULATION AND FINISH SYSTEM (EIFS).
2. PREFINISHED ALUMINUM WINDOWS.
3. CONCRETE COLUMNS.
4. PREFINISHED METAL LOUVERS-COLOR TO MATCH FRAMES.

GENERAL NOTES

- A. WINDOW FRAMES, STOREFRONT TO MATCH C1-CHINE WHITE #310.
- B. CHANGE IN COLOR OCCURS AT INSIDE CORNER OF CONTROL JOINT.
- C. ALL CONTROL JOINTS ARE 2" WIDEX 3/4" DEEP.
- D. ALL EIFS IS 2" THICK UNLESS NOTED OTHERWISE.
- E. ALL EIFS COLORS ARE REFERENCED FROM "DRYVIT" STANDARD COLORS.
- F. ALL EXTERIOR FLUSH DOORS, DOOR FRAMES AND LOUVERS NOT CALLED OUT OTHERWISE TO MATCH C2.

ELEVATIONS

NORTH SCALE: 1/8" = 1'-0"

Afra Construction & Design LLC
2501 Yale Blvd SE Suite 102
Albuquerque, NM 87106
Tel: (505) 315-1482
Fax: (505) 243-1561

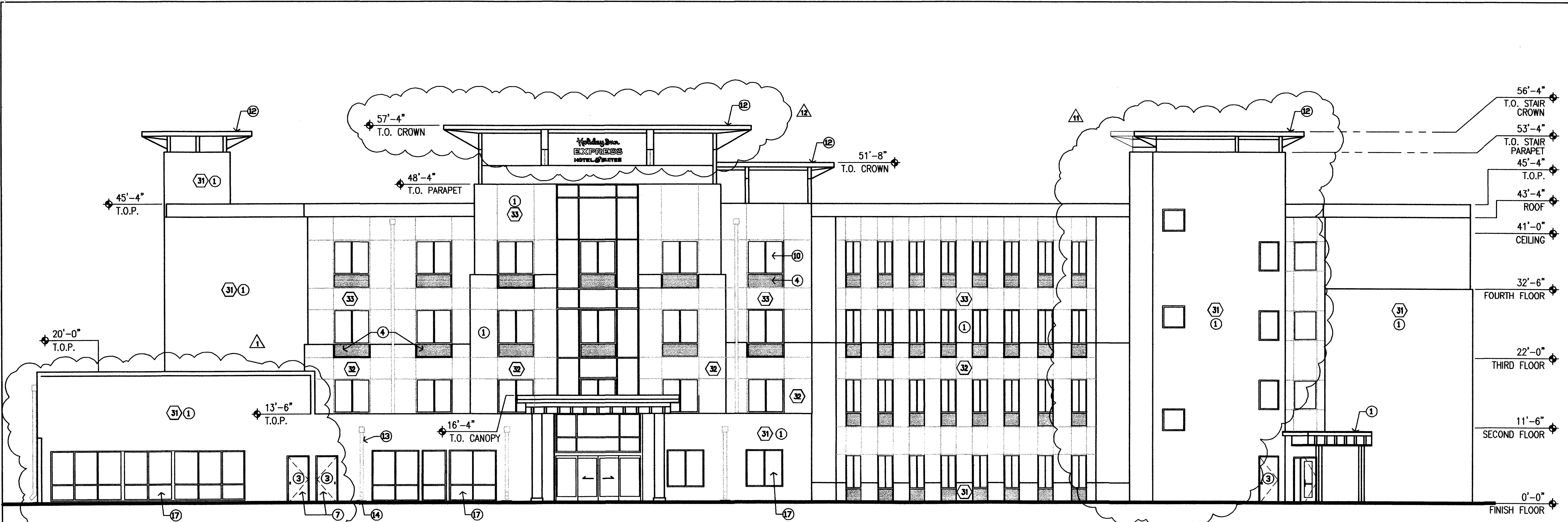


INDIAN SCHOOL RD. & 12TH STREET
ALBUQUERQUE, NM 87104

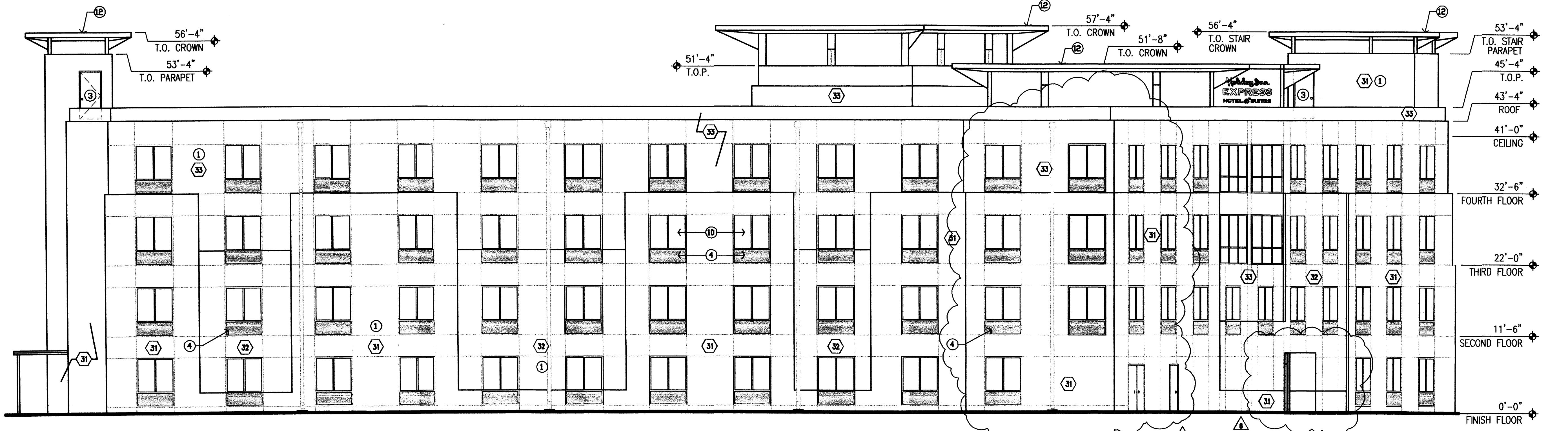
1	2/16/07	ADMIN. AMEND. REVS.	
2			
3			
4			
REV	DATE	DESCRIPTION	APVD

A-14

1.31.07



3 EAST / SOUTHEAST ELEVATION - FRONT ENTRY
 A-15 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
 A-15 SCALE: 1/8" = 1'-0"

- KEYED NOTES
1. EXTERIOR INSULATION & FINISH SYSTEM (EFS), REFER TO COLOR SCHEDULE.
 2. SEE WINDOW SCHEDULE.
 3. SEE DOOR SCHEDULE.
 4. PRE-FINISHED METAL LOUVERS TO MATCH
 5. 1 1/2" CONTROL JOINTS - TYPICAL
 6. STRIP NEON LIGHT CONTINUOUS. COLOR TO BE SELECTED BY OWNER.
 7. PAINT DOOR & FRAME TO MATCH STUCCO COLOR.
 8. CONCRETE COLUMN, FINISH SMOOTH.
 9. SOFFIT, SEE REFLECTED CEILING PLAN.
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 16. FIRE DEPARTMENT STANDPIPE CONNECTION, MOUNT 3'-0" A.F.F.
 17. STORE FRONT, SEE WINDOW SCHEDULE.

COLOR LEGEND

- ① COLOR 31 - TERRA COTTA
- ② COLOR 32 - BEIGE
- ③ COLOR 33 - LIGHT BEIGE

ELEVATIONS

NORTH SCALE: 1/8" = 1'-0"

Afra Construction & Design LLC
 2501 Yale Blvd SE Suite 102
 Albuquerque, NM 87106
 Tel: (505) 315-1482
 Fax: (505) 245-1561

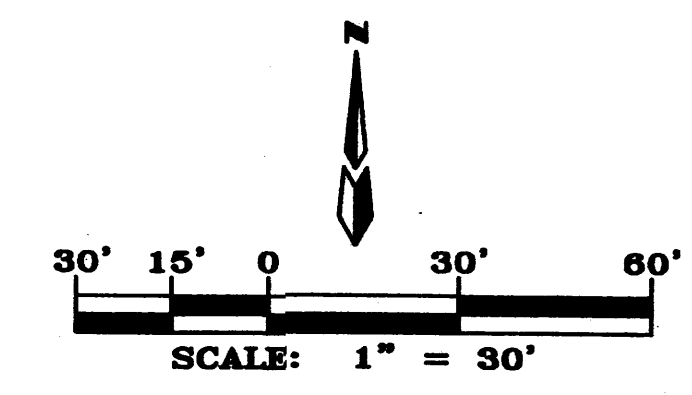
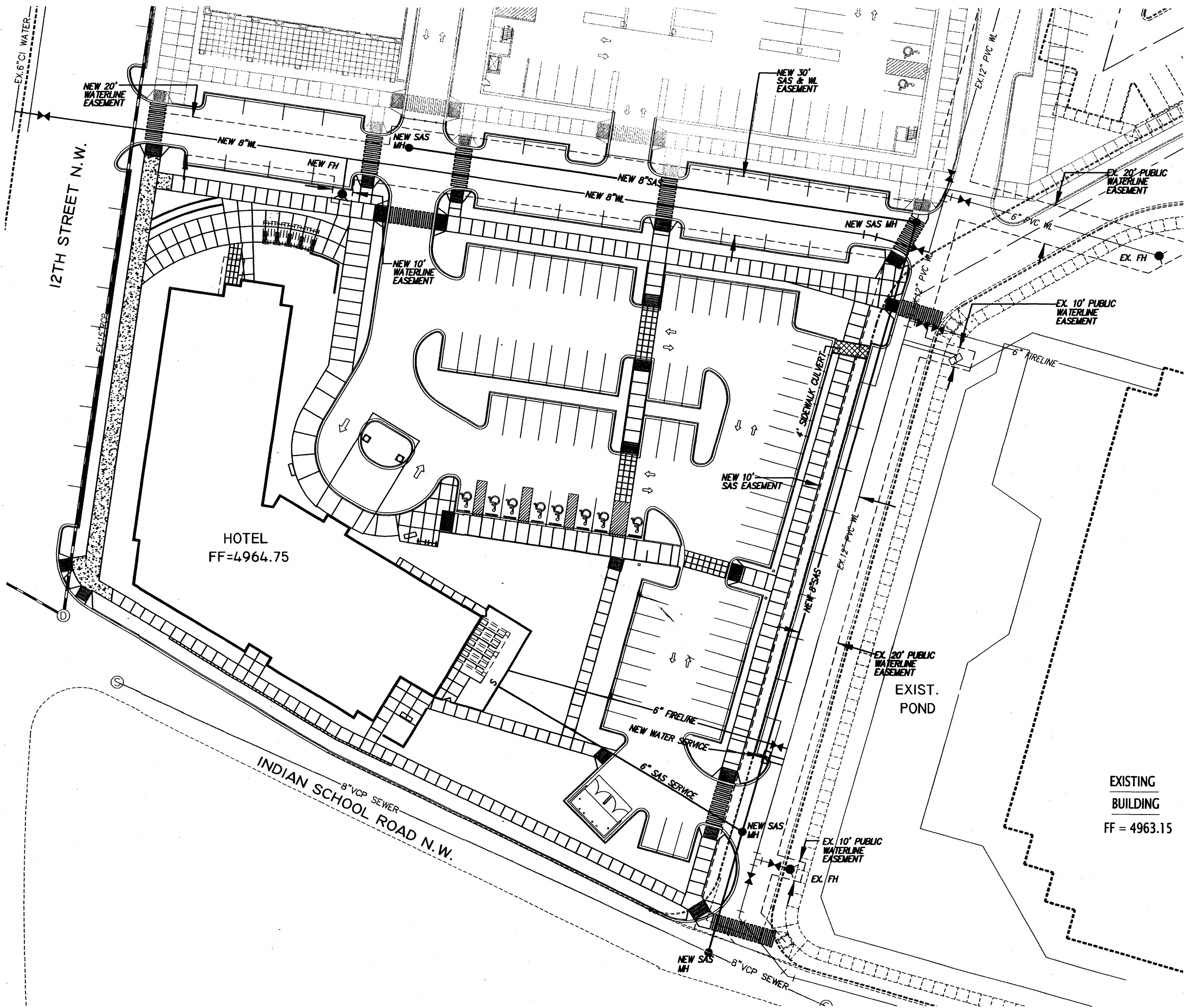


REV	DATE	DESCRIPTION	APVD
1	2/16/07	ADMIN. AMEND. REVS.	
2			
3			
4			

A-15
 1.31.07

LEGEND

- X 09.0 EXISTING SPOT ELEVATION
- X 00.00 SW EXISTING SIDEWALK ELEVATION
- X 00.00 FC EXISTING CURB ELEVATION
- X 00.00 PL EXISTING PAVEMENT ELEVATION
- X 00.00 EX EXISTING FINISH ELEVATION
- X 00.00 RM EXISTING RIM & INV ELEVATION
- ⊠ EXISTING TRAFFIC SIGNAL BOX
- ⊙ EXISTING TRAFFIC SIGNAL
- ⊙ EXISTING LIGHT POLE
- ⊙ EXISTING POWER POLE
- OH- EXISTING OVERHEAD UTILITY LINE
- GAS- EXISTING GAS LINE
- SEWER- EXISTING SEWER LINE
- WATER- EXISTING WATER LINE
- ⊕ EXISTING ANCHOR
- ⊙ EXISTING SEWER MANHOLE
- ⊙ EXISTING STORM MH
- ⊙ EXISTING STORM MH
- ⊙ EXISTING SIDEWALK
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING METER RISER
- ⊙ EXISTING BILLBOARD
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING DROP INLET
- X- EXISTING FENCE
- EXISTING PROPERTY LINE
- EXISTING CONTOURS
- EXISTING LOT LINES
- EXISTING CURB & GUTTER
- NEW STANDARD CURB & GUTTER
- NEW BUILDING
- NEW EXTRUDED CONCRETE CURB
- NEW PARKING STRIPES
- NEW RETAINING WALL
- FF = 4964 NEW FINISH FLOOR
- 12"SAS- NEW SAS LINE
- 18"W- NEW WATERLINE



A06J085\A6049\INDIAN SCHOOL HOTEL\DWG\ARCHITECT\NEW FOLDER\A6049-MULTI-CONCEPTUAL\12-27-06\ACH

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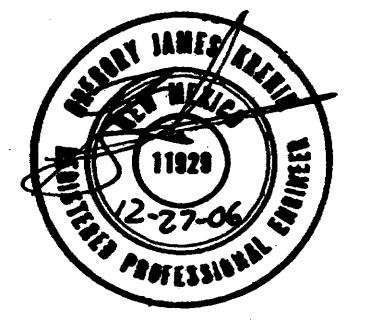
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Architect Engineer



PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

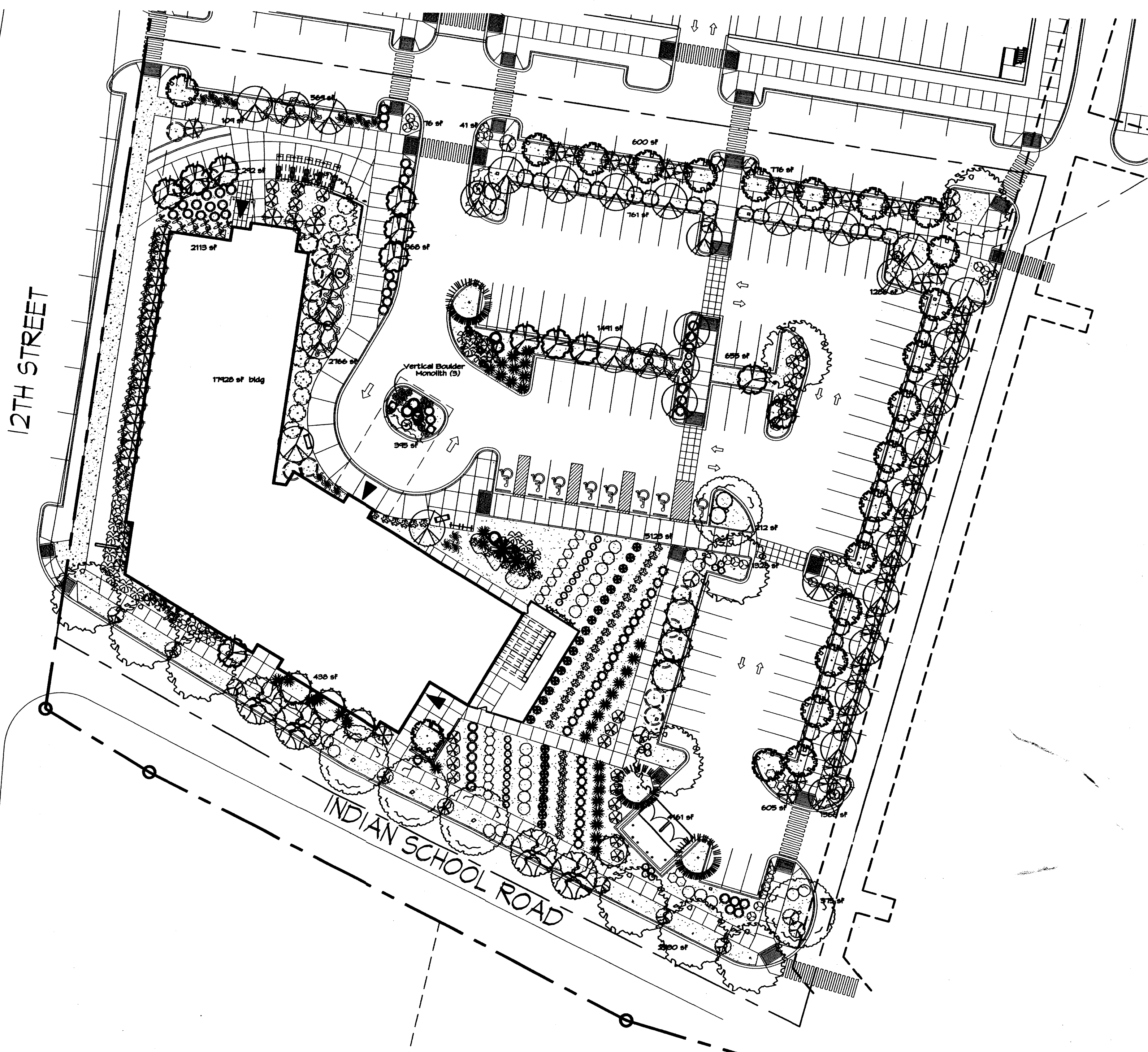
**IPFDC
MASTER PLAN**

▲	8/11/06	COMMENT REVISIONS
▲	11/13/06	REVISIONS

MARK	DATE	DESCRIPTION
ISSUE:		DRB SET
PROJECT NO:		0510
CAD DWG FILE:		
DRAWN BY:		
CHECKED BY:		
DATE:		7/21/06

SHEET TITLE
**CONCEPTUAL
UTILITY
PLAN**

P:\A06J085\A6049\INDIAN SCHOOL HOTEL\DWG\ARCHITECT\NEW FOLDER\A6049-MULTI-CONCEPTUAL\12-27-06\ACH
 CHRIS



PLANT LEGEND

- CHINESE PISTACHE (M) 11
Pistachia chinensis
2' Cal.
- PURPLE ROBE LOCUST (M) 5
Robinia pseudoacacia
2' Cal.
- CHITALPA (M) 4
Chilopsis X Cataipa
2' Cal.
- DESERT WILLOW (L) 7
Chilopsis linearis
15 Cal.
- OCOTILLO (L) 9
Fouquieria splendens
- MUGO PINE (M) 6
Pinus mugo
5 Gal. 45f
- SILVERBERRY (M) 55
Elaeagnus pungens
5 Gal. 100sf
- PARNEY COTONEASTER (M) 13
Cotoneaster lacteus
5 Gal. 144sf
- BUTTERFLY BUSH (M) 14
Buddleia davidii
5 Gal. 100sf
- RED TIP PHOTINIA (M+) 35
Photinia fraseri
5 Gal. 64sf
- RED YUCCA (L) 37
Hesperaloe parviflora
5 Gal. 45f
- MAIDENGRASS (M) 16
Miscanthus sinensis
5 Gal. 16sf
- REGAL MIST (M) 28
Muhlenbergia capillaris
5 Gal. 45f
- INDIAN HAWTHORN (M) 28
Raphiolepis indica
5 Gal. 36sf
- GREYLEAF COTONEASTER (M) 12
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 3 plants
- TRUMPET VINE (M) 3
Campsis radicans
1 Gal. 300sf
- COMMERCIAL GRADE STEEL EDGING
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- AUSTRIAN PINE (M) 3
Pinus nigra
6'-8'
- FLOWERING PEAR (M+) 35
Pyrus calleryana
2' Cal.
- CRABAPPLE (H) 22
Malus cultivars
1 1/2' Cal. B&B
- PURPLE-LEAF PLUM (M) 12
Prunus spp.
1 1/2' Cal.
- PALM YUCCA (L) 2
- APACHE PLUME (L) 27
Fallugia paradoxa
5 Gal. 25sf
- LANAS/ SCOTCH BROOM (M) 28
Cytisus scoparius/ Genista hispanica
5 Gal. 16sf
- ARP ROSEMARY (M) 44
Rosmarinus officinalis
5 Gal. 25sf
- AUTUMN SAGE (M) 23
Salvia greggii
1 Gal. 45f
- LAVENDER (M) 34
Cotoneaster angustifolia
1 Gal. 45f
- HONEYSUCKLE (M) 18
Lonicera japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- WILDFLOWER 39
1 Gal. 45f
- THREADGRASS (M) 46
Stipa tenuissima
1 Gal. 45f
- SHADE LOVING PERENNIALS 13
1 Gal. 45f
- CREeping ROSEMARY (L) 12
Rosmarinus officinalis 'Prostrata'
1 Gal. 36sf
Symbol indicates 3 plants
- AGAVE (L) 13
Agave spp.
16 sf
- FRICKLY PEAR (L) 51
Opuntia macrocentra
9 sf
- VERTICAL BOULDER MONOLITH 3
- OVERSIZED GRAVEL & BOULDERS

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	121208	square feet
TOTAL BUILDINGS AREA	17928	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	103280	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	15492	square feet
TOTAL BED PROVIDED	28733	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	21550	square feet
TOTAL GROUND COVER PROVIDED	21606 (75.2%)	square feet
TOTAL LANDSCAPE PROVIDED	28733	square feet

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubblers systems to be tied to 1/2" poly pipe with flush caps at each end.

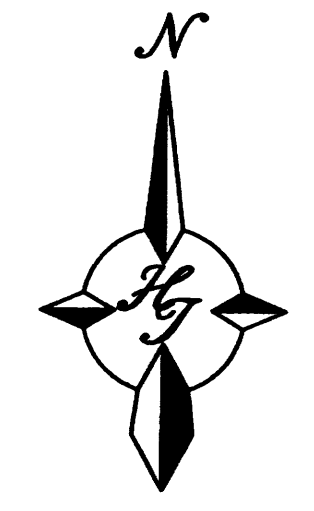
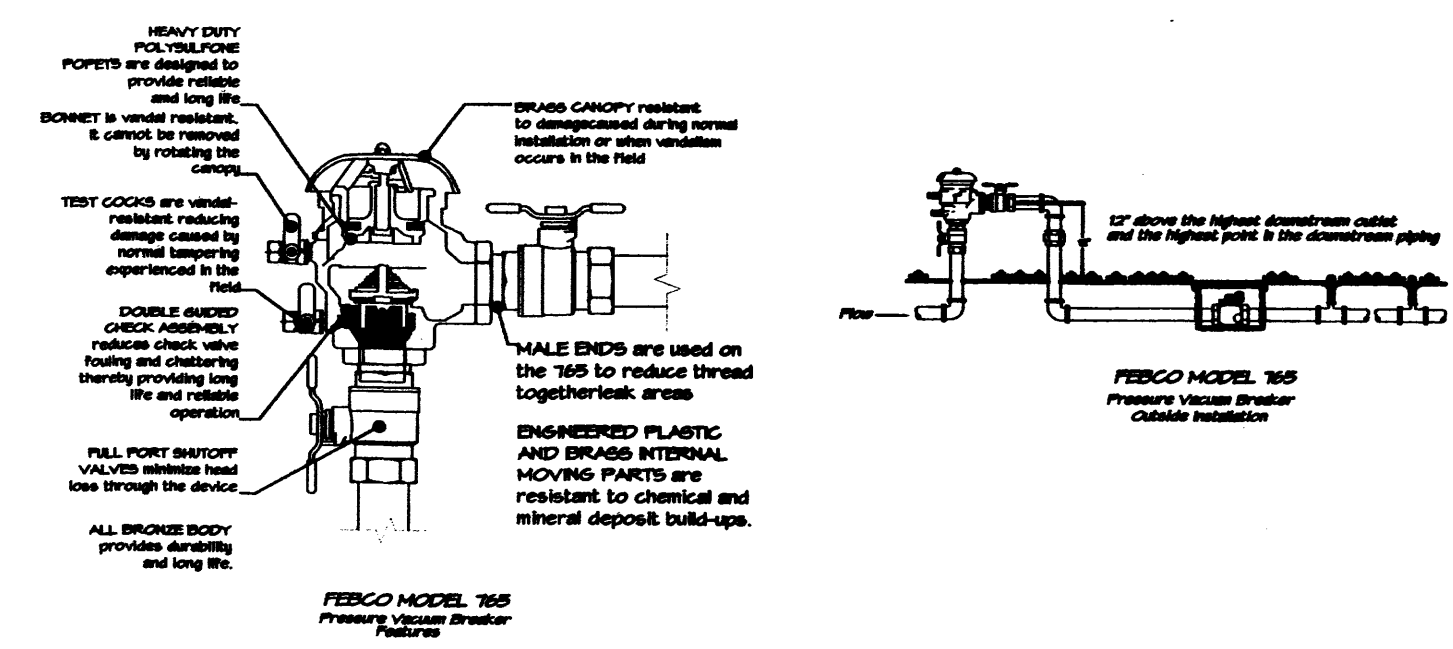
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

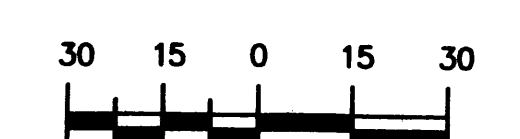
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

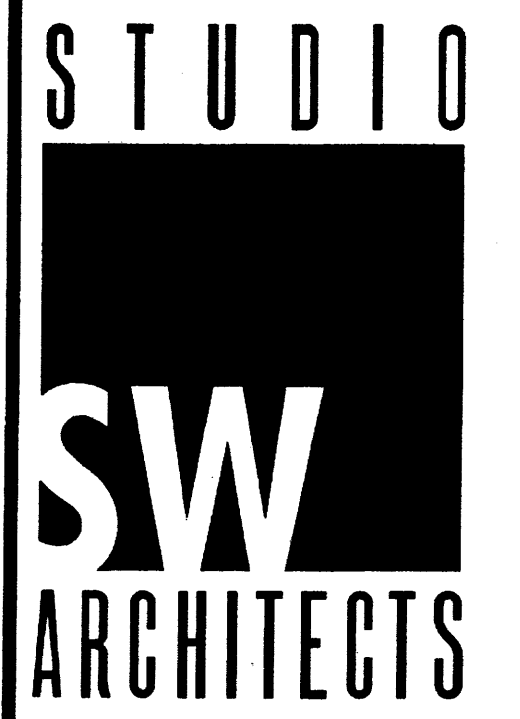
Water and Power source shall be the responsibility of the Developer/Builder.



GRAPHIC SCALE



LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be retransmitted or copied unless applicable fees have been paid or job order placed.



STUDIO SOUTHWEST ARCHITECTS, INC.
2101 Mountain Rd. NW, Albuquerque, NM 87104
505.843.9639 fax 505.843.9683
Web Site: www.studioswarch.com
E-Mail: mail@studioswarch.com

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CONSULTANTS

Architect	Engineer
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ADMIN. AMENDMENT

PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC LANDSCAPE PLAN

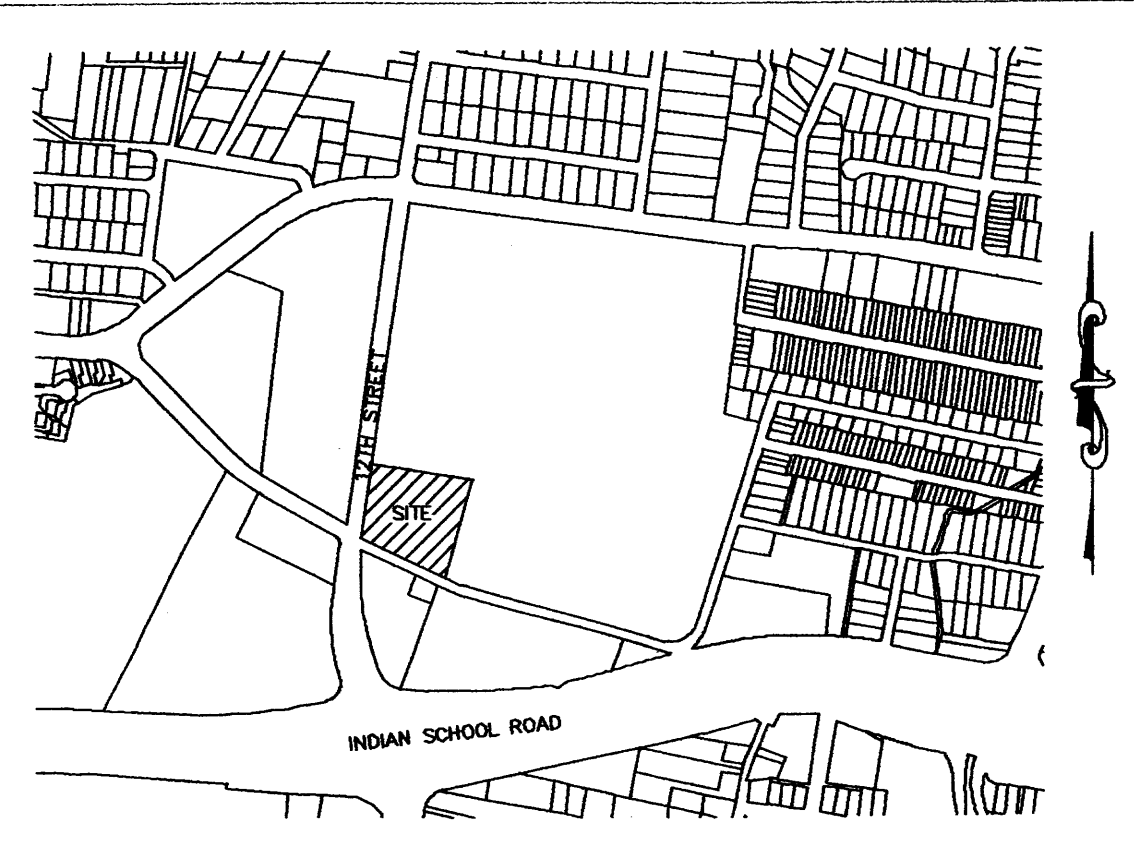
rev 6	11/30/06	revised site plan
rev 5	11/20/06	revised site plan
rev 4	9/18/06	site plan & comments
rev 3	8/31/06	site plan & comments
rev 2	8/11/06	revised per comments
rev 1	7/19/06	site plan revision

MARK	DATE	DESCRIPTION
ISSUE:		DRB SET
PROJECT NO:		0510
CAD DWG FILE:		
DRAWN BY:		odf
CHECKED BY:		cj
DATE:		6/26/05

SHEET TITLE

L1 L1

sheet of sheets



LOCATION MAP H-13-Z

DESCRIPTION

A tract of land being within the ALL INDIAN PUEBLO COUNCIL PROPERTY, (FORMERLY ALBUQUERQUE INDIAN SCHOOL) as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 9, 2000 in Book 2000S, Page 79 and being more particularly described as follows:
 BEGINNING at the southwest corner of the herein described tract, from whence the New Mexico State Highway Transportation Department Brass Cap "1-40-15" bears S 13°49'03" E, 867.35 feet;
 THENCE N 08°28'33" E, 293.34 feet to the northwest corner;
 THENCE S 81°37'49" E, 400.19 feet to the northeast corner;
 THENCE S 27°00'42" W, 7.87 feet to a point;
 THENCE S 15°51'35" W, 395.56 feet to the southeast corner;
 THENCE N 73°55'34" W, 76.76 feet to a point;
 THENCE N 62°46'54" W, 234.51 feet to a point;
 THENCE N 59°01'54" W, 52.70 feet to the point of beginning and containing (133,202sf) 3.0579 acres more or less.

"ALTA/ACSM LAND TITLE SURVEY FOR"
 ALL INDIAN PUEBLO COUNCIL PROPERTY
 (FORMERLY ALBUQUERQUE INDIAN SCHOOL)
 PORTION OF TRACT 84E
 WITHIN SECTIONS 7 AND 8
 TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2006

LEGEND

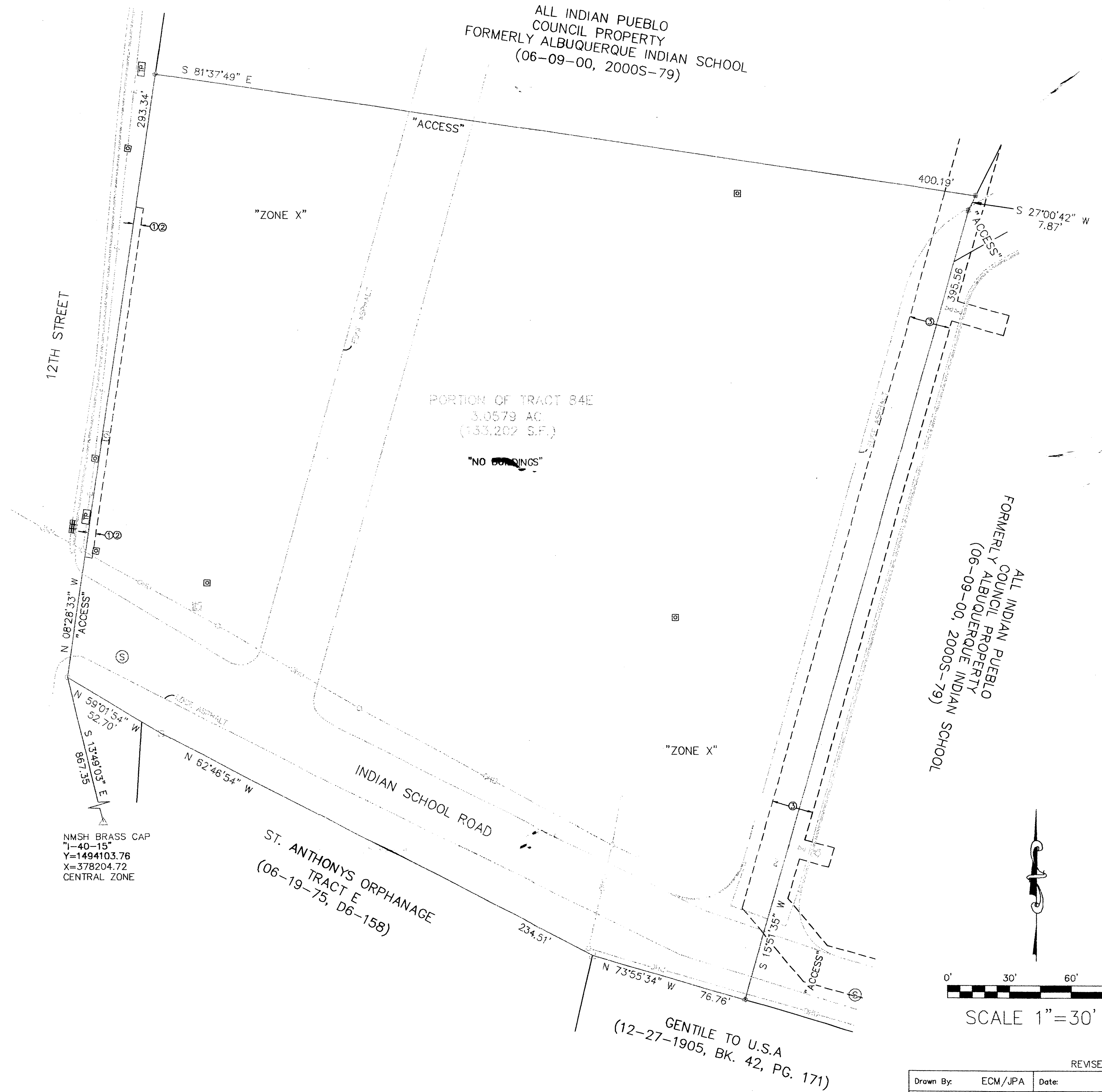
- CONCRETE CURB/GUTTER
- WATER VALVE
- WATER METER
- ELECTRIC SERVICE/PEDESTAL
- OVERHEAD ELECTRIC
- OVERHEAD UTILITIES
- POWER POLE
- LIGHT POLE
- GUY WIRE
- DROP INLET
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- TRAFFIC SIGNAL PULLBOX
- TRAFFIC SIGNAL

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)
- FOUND 1-1/4" PIPE (TYP.)
- FOUND ALUM CAP COR.1, KEENE 8489

EASEMENTS

- EXISTING WATER, DRAINAGE AND SANITARY SEWER EASEMENTS (5-25-04, A78-1033)
- EXISTING WATER, DRAINAGE AND SANITARY SEWER EASEMENTS (5-25-04, A78-1035)
- EXISTING PUBLIC WATERLINE, SANITARY SEWER AND DRAINAGE EASEMENT (07-01-05, A99-5028)



NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and Distances are field and record.
- Basis of boundary are the following plats and documents of record entitled:
 ALL INDIAN PUEBLO COUNCIL PROPERTY (FORMERLY ALBUQUERQUE INDIAN SCHOOL) (06-09-00, 2000S-79) records of Bernalillo County, New Mexico.
- Date of Survey: July, 2006.
- Title Report: First American Title Insurance Company File No.852536-AL01, LMO (Effective Date: June 23, 2006.)
- Address of Property: None provided.
- City of Albuquerque, New Mexico Zone: SU-1, O-1 AND C-1
- Flood Zone Designation: Areas of 500-year flood; areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood as shown on Panel 331 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 20, 1996.

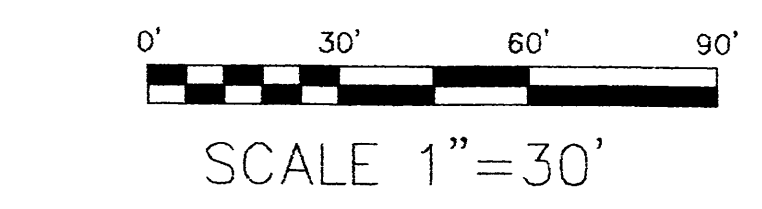
CLIENT: IPFDC 3, LLC, a New Mexico Limited Liability Company

TITLE CO.: First American Title Insurance Company

CERTIFICATION FOR SURVEY

I hereby certify to Compass Bank its successors and assigns, IPFDC 3, LLC and First American Title Insurance Company that the survey prepared by me entitled Timothy Aldrich was actually made upon the ground and that it and the information, courses and distances shown thereon are correct; that all utility services required for the operations of the premises either enter the premises through adjoining public streets, or the survey shows the point of entry and location of any utilities which pass through or are located on adjoining private land; that the survey shows the location and direction of all storm drainage systems for the collection and disposal of all roof and surface drainage; that any discharge into streams, rivers or other conveyance system is shown on the survey; and that the parcels described hereon do not lie within flood hazard areas in accordance with the document entitled "Department of Housing and Urban Development Federal Insurance Administration-Special Flood Hazard Area Maps". This survey is made in accordance with the "Minimum Standard Detail Requirements for Land Title Surveys" jointly established and adopted by ALTA and ACSM in 2005 for Class A Urban Survey and includes Items 1-4, 6-11 and 14-16 of Table A thereof.

Timothy Aldrich, NMPLS NO. 7719 Date

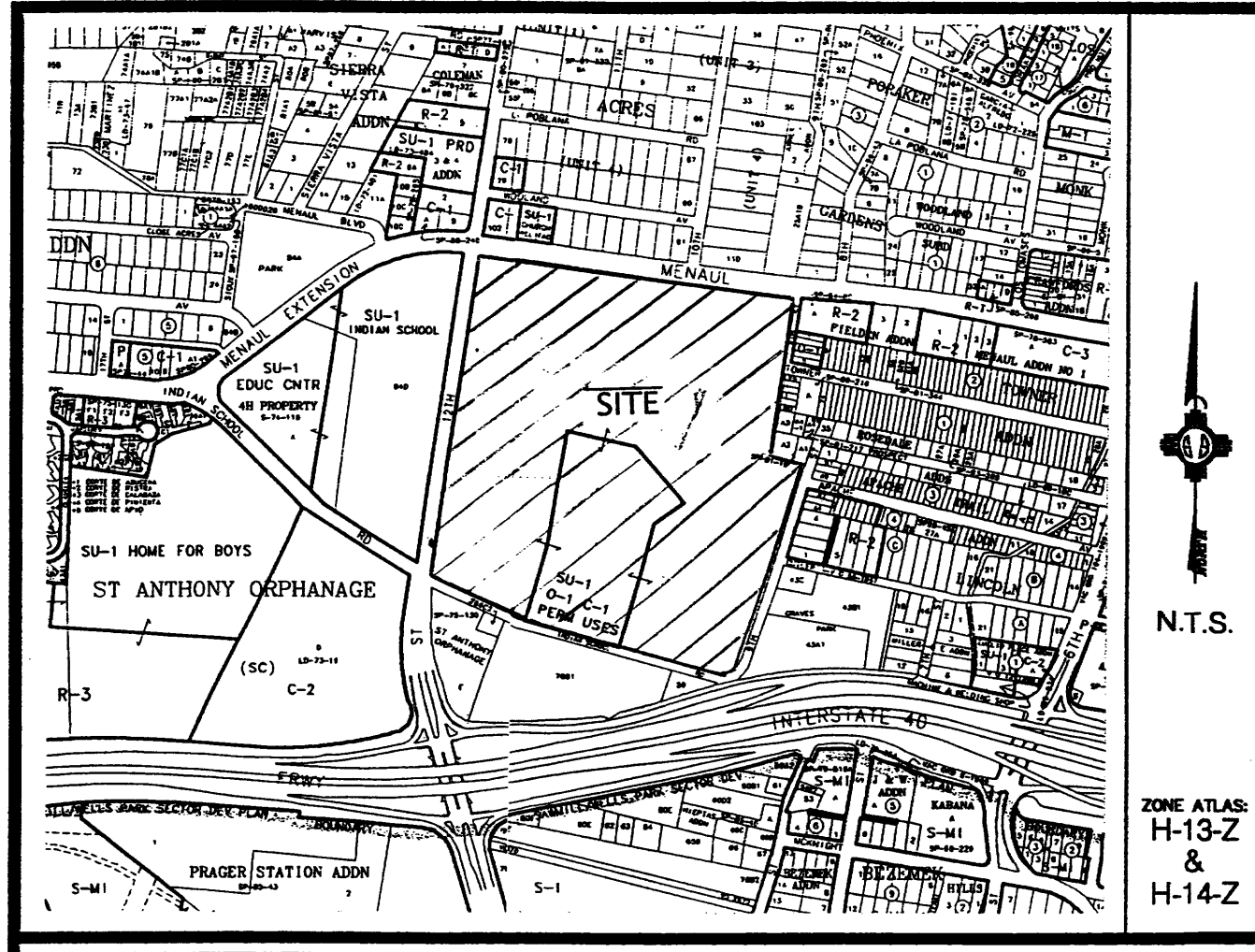


Drawn By:	ECM/JPA	Date:	08-02-06
Checked By:	TA	Drawing Name:	03006ALT.DWG
Job No.:	03-006	Sheet:	1 of 1

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

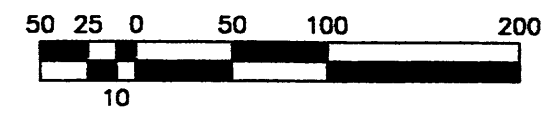
TOPOGRAPHIC & A.L.T.A./A.C.S.M. LAND TITLE SURVEY

ALL INDIAN PUEBLO COUNCIL PROPERTY
 FORMERLY ALBUQUERQUE INDIAN SCHOOL
 PROJECTED SECTIONS 7 & 8, T. 10 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2001



Vicinity Map

1" = 100'
 PROJECT NO. 0106RS31
 DRAWN BY: RS
 ZONE ATLAS: H-13-Z & H-14-Z
 DEPONTE.GRS



SCALE: 1" = 100'

SPOT ELEVATION LEGEND

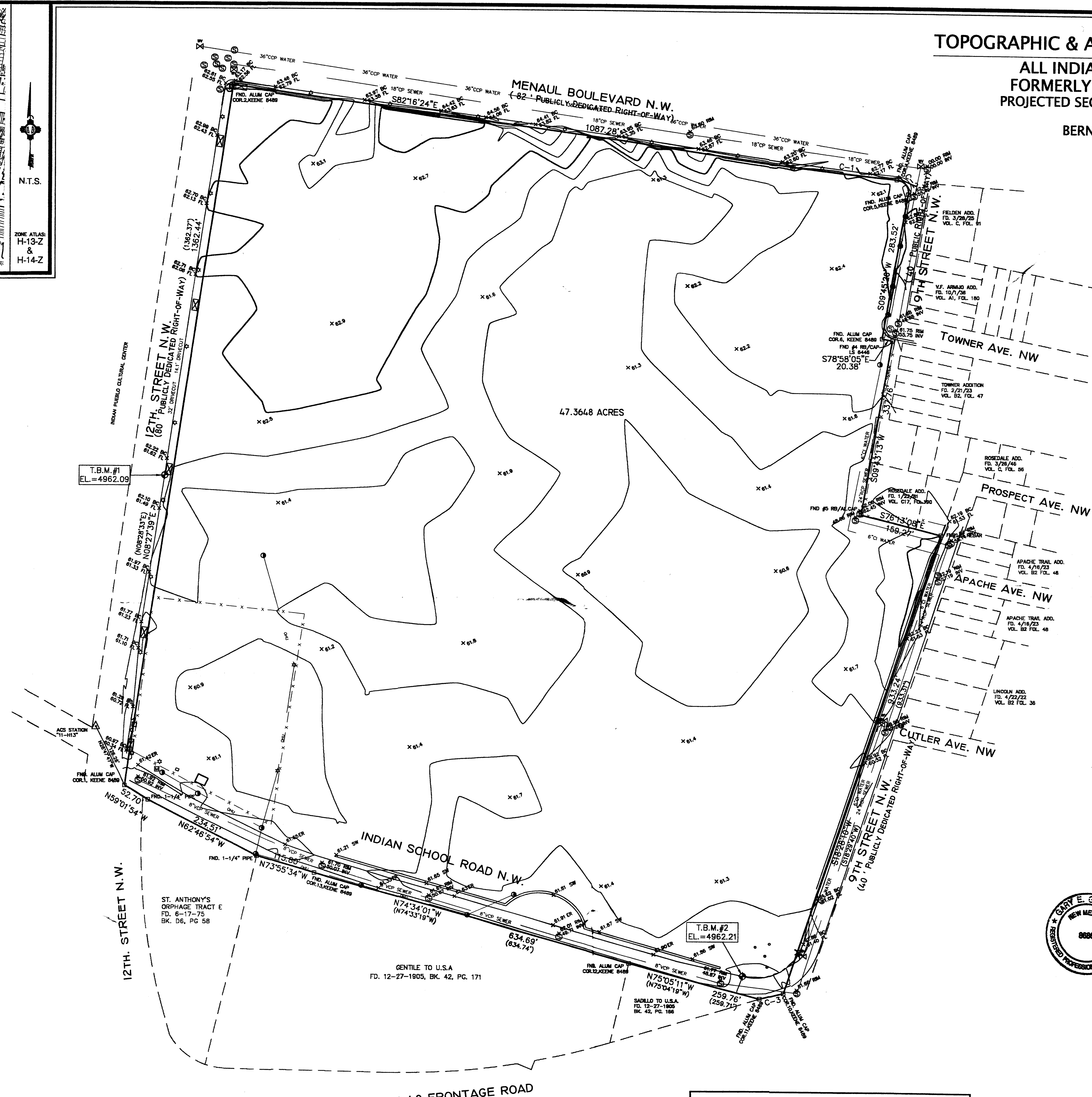
- x 60.0 = ELEVATION AT GROUND
- x 60.0 SW = ELEVATION AT TOP OF SIDEWALK
- x 60.0 BC = ELEVATION AT BACK OF CURB AND FLOWLINE
- x 60.0 BR = ELEVATION AT EDGE OF ROAD
- x 60.0 RM = ELEVATION AT RIM OF MANHOLE AND INVERT

SYMBOLS LEGEND

- ☒ = TRAFFIC SIGNAL BOX
- = TRAFFIC SIGNAL
- ✱ = LIGHT POLE
- = POWER POLE
- O-U- = OVERHEAD UTILITY LINE
- G-S- = UNDERGROUND GAS LINE
- S-E-W-E-R- = UNDERGROUND SEWER LINE
- W-A-T-E-R- = UNDERGROUND WATER LINE
- - - = ANCHOR
- ⊙ = SEWER MANHOLE
- ⊕ = DRAINAGE MANHOLE
- ⊗ = WATER VALVE
- ⊞ = METER RISER
- ⊞ = BILLBOARD
- ⊞ = FIRE HYDRANT
- ⊞ = DROP INLET
- X- = FENCE

MONUMENT LEGEND

- △ - FOUND CONTROL STATION AS NOTED
- ⊕ - TEMPORARY BENCH MARK
- - FOUND MONUMENT AS NOTED
- - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "GRITSKO LS8686" UNLESS OTHERWISE NOTED



LEGAL DESCRIPTION

A tract of land situated within the east half (E1/2), Section 7 and the west half (W1/2), Section 8, T10N, R3E, New Mexico Principal Meridian, Bernalillo County, State of New Mexico, being more particularly described by metes and bounds as follows:
 Beginning at the southwest corner of said Tract herein described being a point of intersection with the easterly right-of-way of 12th street and the southerly line of the original 1905 INDIAN SCHOOL Property, also being the same line as the northerly boundary of the ST. ANTHONY'S ORPHANAGE, as surveyed by A. B. Woodard Jr., P.E. & L.S. No. 1158, July 1950, being a brass
 Triangulation Station Brass cap marked "Tr. AIS, cor. 1, KEENE 8489", whence the New Mexico State Highway right-of-way of Menaul Boulevard NW, being a brass cap marked "Tr. AIS cor. 2, KEENE 8489", Thence along the southerly right-of-way of Menaul right-of-way, Tr. AIS cor. 3, KEENE 8489, Thence along said right-of-way curve and curving to the left, an arc distance of 201.66 feet, having a radius of 5769.52 feet and a CB=S. 83° 16' 28" E., and a CD= 201.65 feet to a brass cap marked "PRC 148+45.31 Menaul right-of-way, Tr. cor. 4 KEENE 8489", being on a reverse curve; Thence along a curve and curving to the right, having a radius of 25.00 feet, an arc distance of 40.88 feet and a CB= S. 36° 57' 07" E., a CD= 36.47 feet to a brass cap marked "PT 9th St. Tr. AIS Cor. 5, KEENE 8489", being on the westerly right-of-way of 9th Street; Thence along said right-of-way S. 9° 45' 26" W., 283.52 feet to the intersection of the southerly right-of-way of Towner Avenue, being a brass cap marked "9th. St. and Towner Ave. right-of-way, Tr. AIS cor. 6, KEENE 8489"; Thence S. 78° 58' 05" E., a distance of 20.38 feet to a found rebar/cap 6446, being tag w/washer marked "Tr. AIS cor. 7, KEENE 8489"; Thence leaving said right-of-way, S. 9° 43' 13" W., 337.76 feet to a found rebar / al. cap 4078 (defaced), tag w/washer marked "Tr. AIS cor. 8, KEENE 8489"; Thence S. 76° 13' 08" E., 150.27 feet to a found rebar, tag w/washer marked "Tr. AIS cor. 9, KEENE 8489", being on the westerly right-of-way 9th Street; Thence S. 18° 28' 10" W., 933.24 feet to the intersection of Interstate 40 frontage road "C-D road B", right-of-way curve, being a rebar/cap marked "I-40 right-of-way, AIS cor. 10, KEENE 8489"; Thence along the right-of-way frontage road curve to the right, having a radius 1960.86 feet, an arc distance of 47.61 feet and a CB= S. 76° 00' 32" W., a CD= 47.61 feet to a point on the frontage curve, being a brass cap marked "I-40 right-of-way, Tr. AIS cor. 11, KEENE 8489"; Thence leaving said I-40 right-of-way, N. 75° 05' 11" W., along the southerly boundary of Tr. AIS, a distance of 259.76 feet to an angle point, being a brass cap marked "Tr. AIS cor. 12, KEENE 8489"; Thence N. 74° 34' 01" W., 634.69 feet to an angle point, being a brass cap marked "Tr. AIS cor. 13, KEENE 8489"; Thence N. 73° 55' 34" W., 115.80 feet to a found (bent) pipe, tag w/washer marked "Tr. AIS cor. 14, KEENE 8489"; Thence N. 62° 46' 54" W., 234.51 feet to a found pipe, tag w/washer marked "Tr. AIS cor. 15, KEENE 8489"; Thence N. 59° 01' 54" W., 52.70 feet to the point and place of beginning. Said Tract containing an area of 47.3648 acres, more or less.

NOTES:

1. Bearings are based upon survey of All Indian Pueblo Council Property, filed June 9, 2000, Bk. 20005, Pg. 79.
2. Bearings and distances in parentheses () per said survey referenced in note 1, where measured data differs from record data.
3. Property lies within Flood Zone X, designating areas of 500-year flood; areas of 100-year flood with average depths of less than 1 foot; or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood, according to the Flood Insurance Rate Map of Bernalillo County and Incorporated Areas, Panel No. 35001C03331 and 03332 D, effective date September 20, 1996.
4. Documents used:
 - a. Said survey of All Indian Pueblo Council Property, filed June 9, 2000.
 - b. NM State Highway R.O.W. Map No. I-040-3(27) 155, sheets 14, & 15.

SURVEYORS CERTIFICATE

I, Gary E. Gritsko, licensed under the laws of the State of New Mexico, do hereby certify to, ALL INDIAN PUEBLO COUNCIL, and DEPONTE INVESTMENTS, INC. as provided in the Title Binder No. (NONE PROVIDED). This is to certify that this map or plat and the survey on which it is based were made (i) in accordance with Minimum Standards for Surveying in New Mexico and in accordance with the "Minimum Standard Detail Requirements for ALTA / ACSM Land Surveys", jointly established and adopted by ALTA and ACSM in 1999, and includes items 1, 2, 3, 4, 5, 7(a), 8, 10, and 11(b) of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS, and ACSM and in effect in the date of this certification, undersigned further certifies that the Positional Uncertainties resulting from the survey measurements made by the survey do not exceed the allowable Positional Tolerance.

Gary E. Gritsko Aug 22, 2001
 Gary E. Gritsko N.M.P.S. # 8686 Date

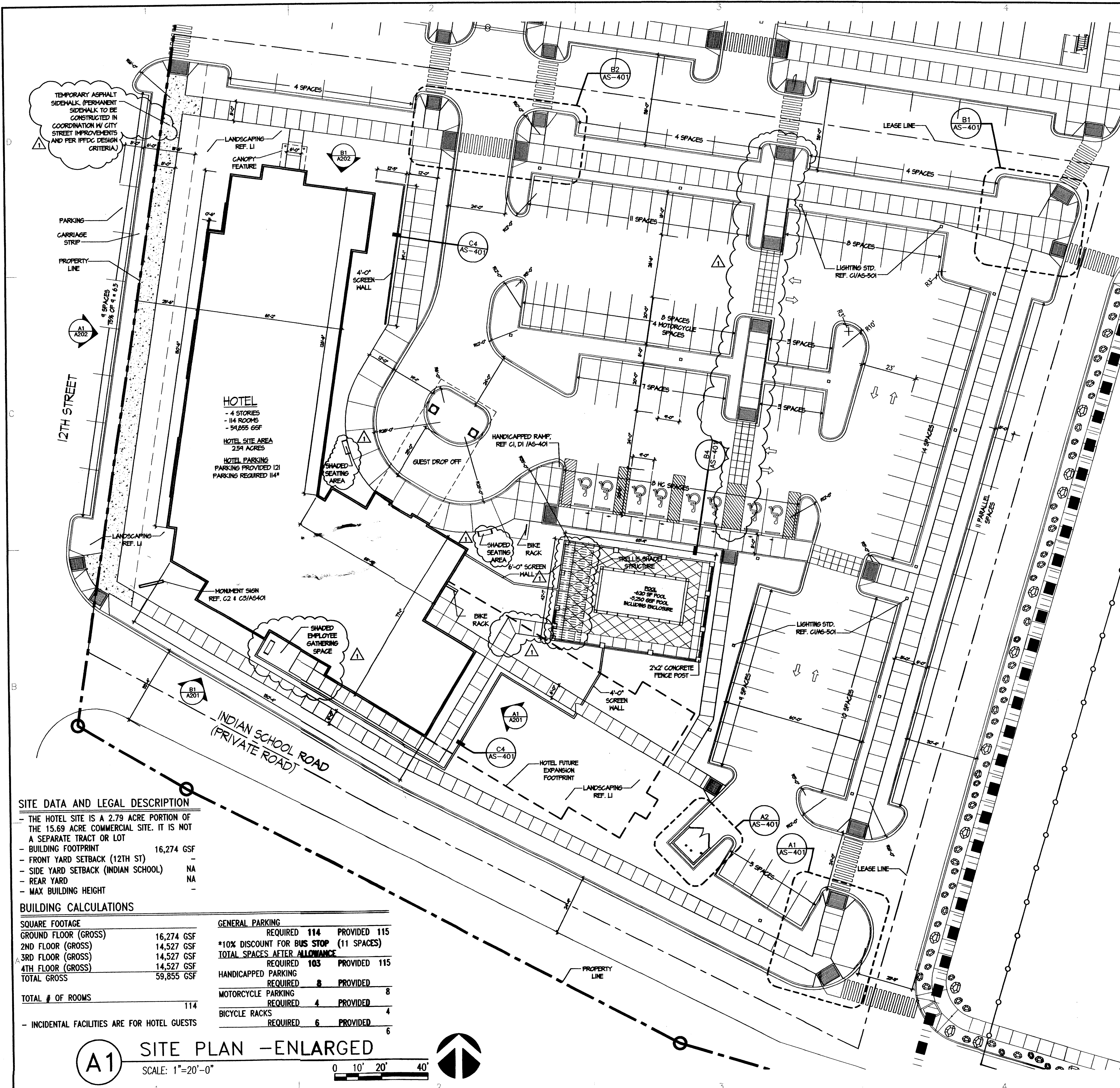


CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING
C-1	201.66	5769.52	2°00'10"	201.65 S83°16'28"E
	(201.59)	(5769.52)	(02°00'07")	(201.58) (S83°11'43"E)
C-2	40.88	25.00	93°41'07"	36.47 S36°57'07"E
	(41.00)	(25.00)	(93°57'54")	(36.55) (S37°13'10"E)
C-3	47.61	1960.86	1°23'29"	47.61 S76°00'32"W
	(47.68)	(1960.86)	(01°23'36")	(47.68) (S76°08'24"W)

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 11-H13, THE PUBLISHED ELEVATION OF WHICH IS 4961.64', AND IS LOCATED IN THE NORTH-WEST QUADRANT OF THE INTERSECTION OF INDIAN SCHOOL ROAD AND 17TH. STREET N.W.

UTILITY INFORMATION SHOWN HEREON PER FIELD INSPECTION AND CITY OF ALBUQUERQUE UTILITY RECORDS. ACTUAL LOCATION SHOULD BE FURTHER VERIFIED BEFORE BEGINNING CONSTRUCTION AND ANY DISCREPANCIES REPORTED TO THE SURVEYOR.

SURVEYS SOUTHWEST, LTD.
 333 LOMAS BLVD., N.E. ALBUQUERQUE, NEW MEXICO 87102
 PHONE: (505) 998-0303 FAX: (505) 998-0306
T10N R3E SEC. 7 & 8



SITE DATA AND LEGAL DESCRIPTION

- THE HOTEL SITE IS A 2.79 ACRE PORTION OF THE 15.69 ACRE COMMERCIAL SITE. IT IS NOT A SEPARATE TRACT OR LOT
- BUILDING FOOTPRINT 16,274 GSF
- FRONT YARD SETBACK (12TH ST) -
- SIDE YARD SETBACK (INDIAN SCHOOL) NA
- REAR YARD -
- MAX BUILDING HEIGHT -

BUILDING CALCULATIONS

SQUARE FOOTAGE	
GROUND FLOOR (GROSS)	16,274 GSF
2ND FLOOR (GROSS)	14,527 GSF
3RD FLOOR (GROSS)	14,527 GSF
4TH FLOOR (GROSS)	14,527 GSF
TOTAL GROSS	59,855 GSF

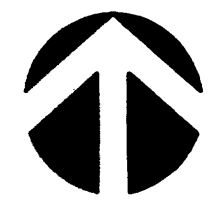
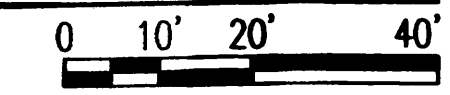
GENERAL PARKING	REQUIRED 114	PROVIDED 115
*10% DISCOUNT FOR BUS STOP (11 SPACES)		
TOTAL SPACES AFTER ALLOWANCE	REQUIRED 103	PROVIDED 115
HANDICAPPED PARKING	REQUIRED 8	PROVIDED 8
MOTORCYCLE PARKING	REQUIRED 4	PROVIDED 4
BICYCLE RACKS	REQUIRED 6	PROVIDED 6

TOTAL # OF ROOMS 114
 - INCIDENTAL FACILITIES ARE FOR HOTEL GUESTS

A1

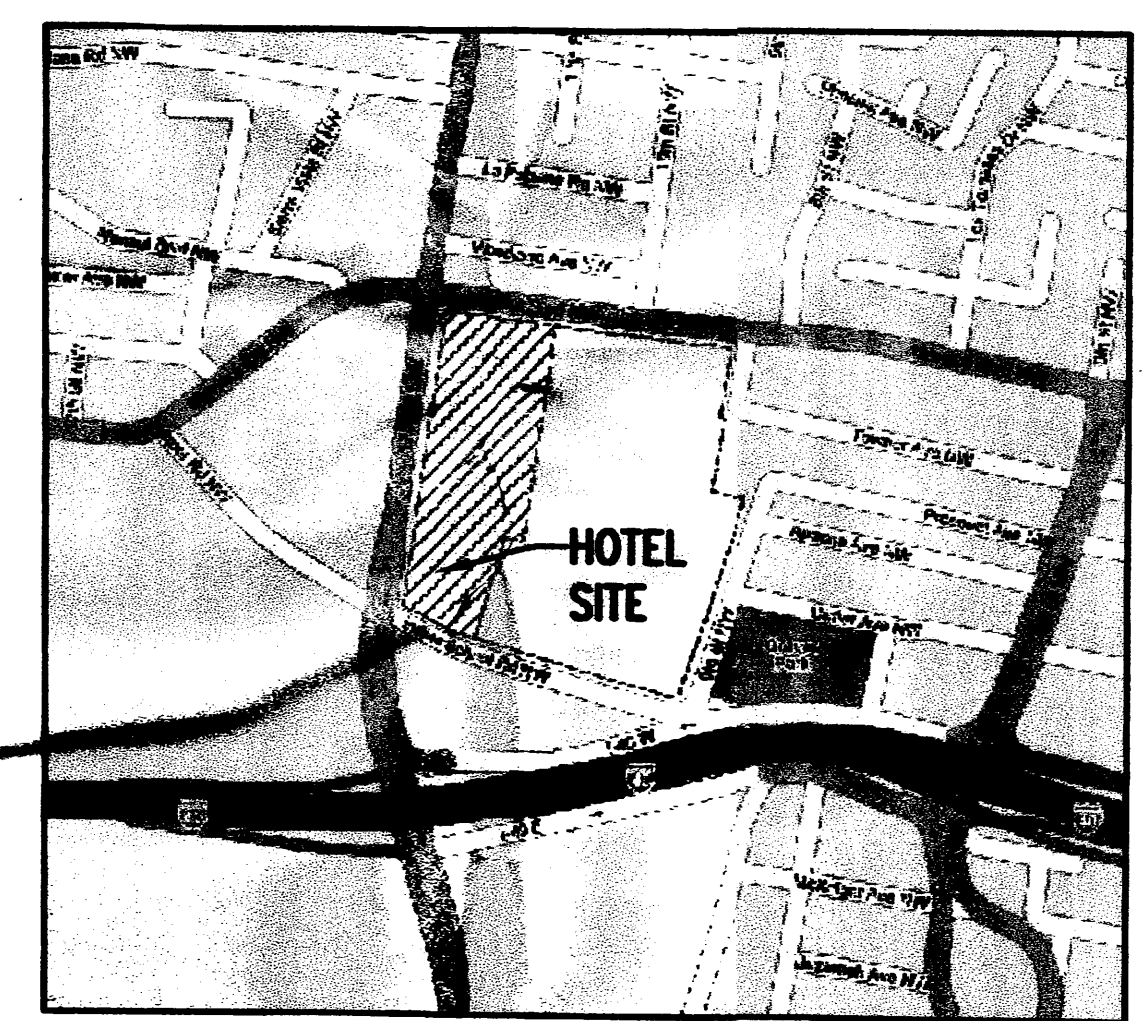
SITE PLAN - ENLARGED

SCALE: 1"=20'-0"



GENERAL NOTES

- SEE SHEET AS-401 & AS-501 FOR ARCHITECTURAL SITE DETAILS
- ALL PEDESTRIAN SIDEWALKS WILL BE CONCRETE- MINIMUM WIDTH = 6'-0" (SEE PLAN)
- ALL PEDESTRIAN CROSSWALKS WILL BE COLORED, TEXTURED AND PATTERNED CONCRETE-MINIMUM WIDTH = 6'-0" (SEE PLAN)
- ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE
- THE MAXIMUM INDIVIDUAL LETTER SIZE OF ALL BUILDING MOUNTED SIGNS SHALL BE 5'-0" HIGH. LOGO DESIGN SIGNS SHALL NOT EXCEED 5'-0" IN HEIGHT OR WIDTH.
- PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE OF PUBLIC PLAZA SPACES
- TRASH ENCLOSURE WILL BE COMPATIBLE WITH ADJACENT BUILDING.
- IDENTIFY ALL SMALL CAR SPACES WITH 'SMALL CAR' PAINTED ON THE PAVEMENT.



VICINITY MAP
 (NOTE: SCALE APPROXIMATE)

PROJECT NUMBER: _____
 Application Number: _____

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary



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CONSULTANTS

Architect	Engineer
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DRB SUBMITTAL

PROPOSED HOTEL

INDIAN SCHOOL BLVD
 ALBUQUERQUE, NM

IPFDC MASTER PLAN

MARK	DATE	DESCRIPTION
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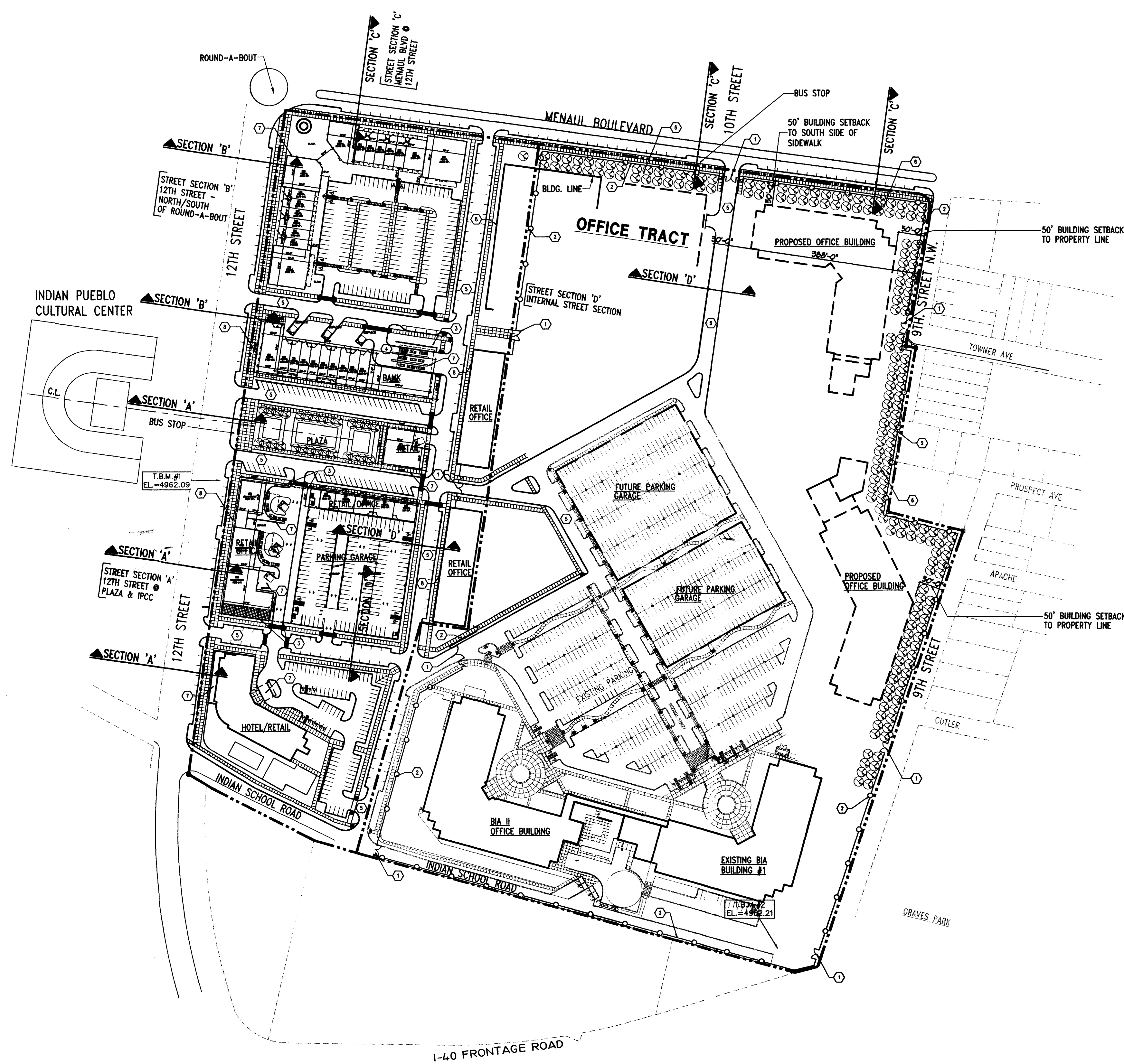
8/11/06	COMMENT REVISIONS
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SHEET TITLE

SITE PLAN FOR BUILDING PERMIT

S-01

sheet of sheets



○ SHEET KEYNOTES

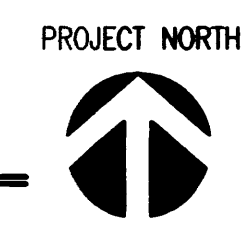
1. IPFDC SECURITY GATE
2. SECURITY PERIMETER FENCE
3. SCREEN WALL
4. DRIVE THRU
5. INTERNAL STREET
6. LANDSCAPE BUFFER - ORCHARD LIKE
7. PORTAL
8. PORTAL - OPTION

COMMERCIAL TRACT
15.69 ACRES

OFFICE TRACT
31.69 ACRES

TOTAL AREA
47.38 ACRES

A1 IPFDC MASTER PLAN
SCALE: NOT TO SCALE



CONSULTANTS

Architect Engineer

IPFDC MASTER PLAN

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		
PROJECT NO:		
CAD DWG FILE:		
DRAWN BY: CW		
CHECKED BY: BH		
DATE: 8-11-05		

SHEET TITLE
SITE PLAN

CONSULTANTS

Architect Engineer

**DRB
SUBMITTAL**

PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC
MASTER PLAN

8/11/06 COMMENT REVISIONS

MARK	DATE	DESCRIPTION

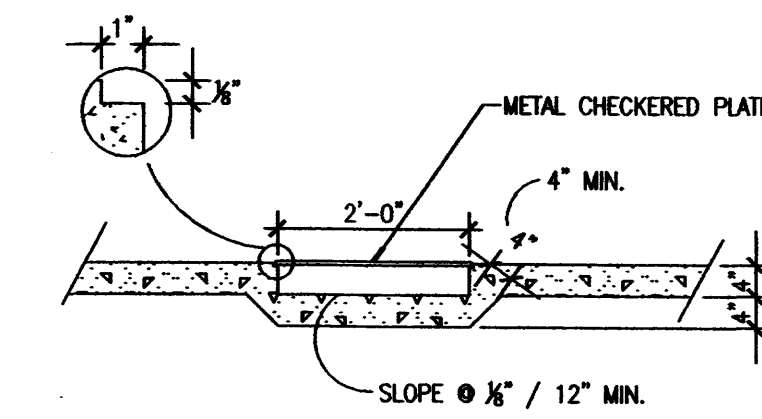
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PROJECT NO: 0510
CAD DWG FILE: 0108AS-401.dwg
DRAWN BY: LJ
CHECKED BY: RB
DATE: 7/21/06

SHEET TITLE

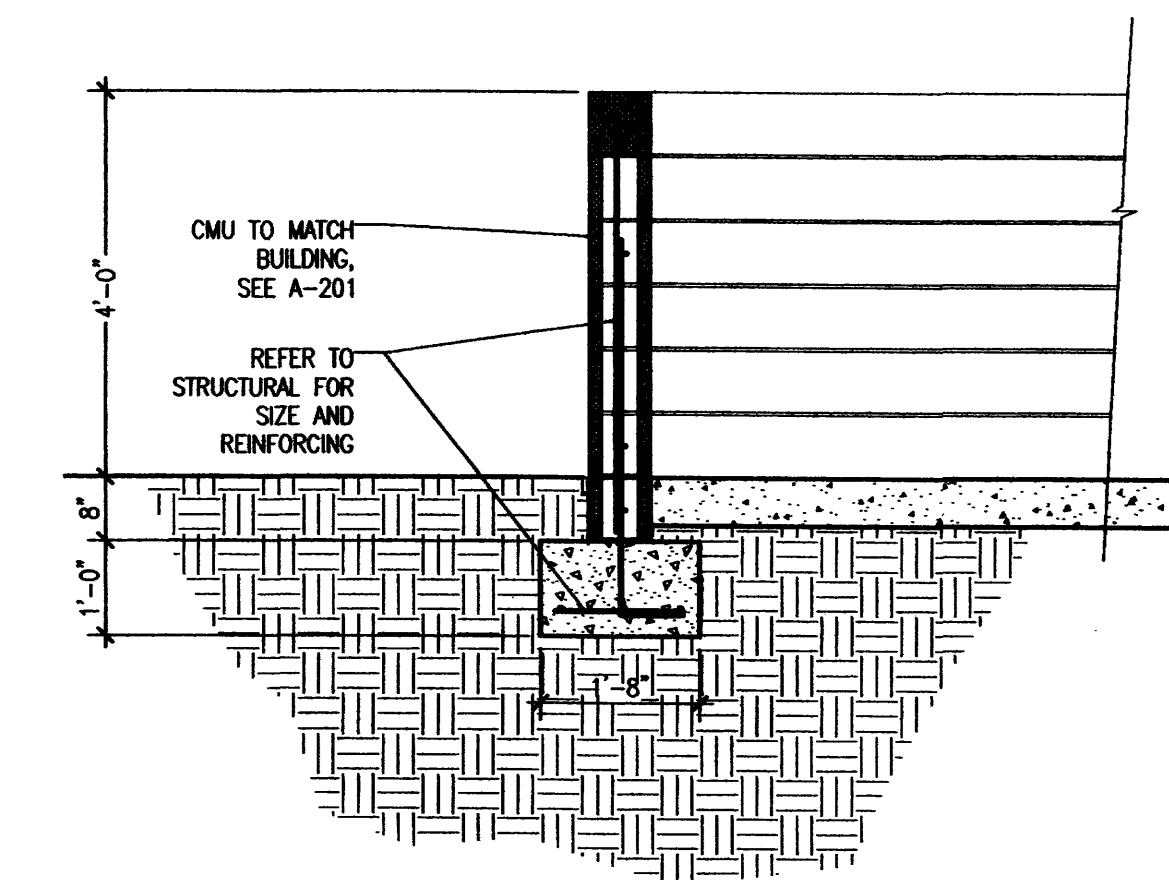
ARCHITECTURAL
SITE DETAILS

AS401

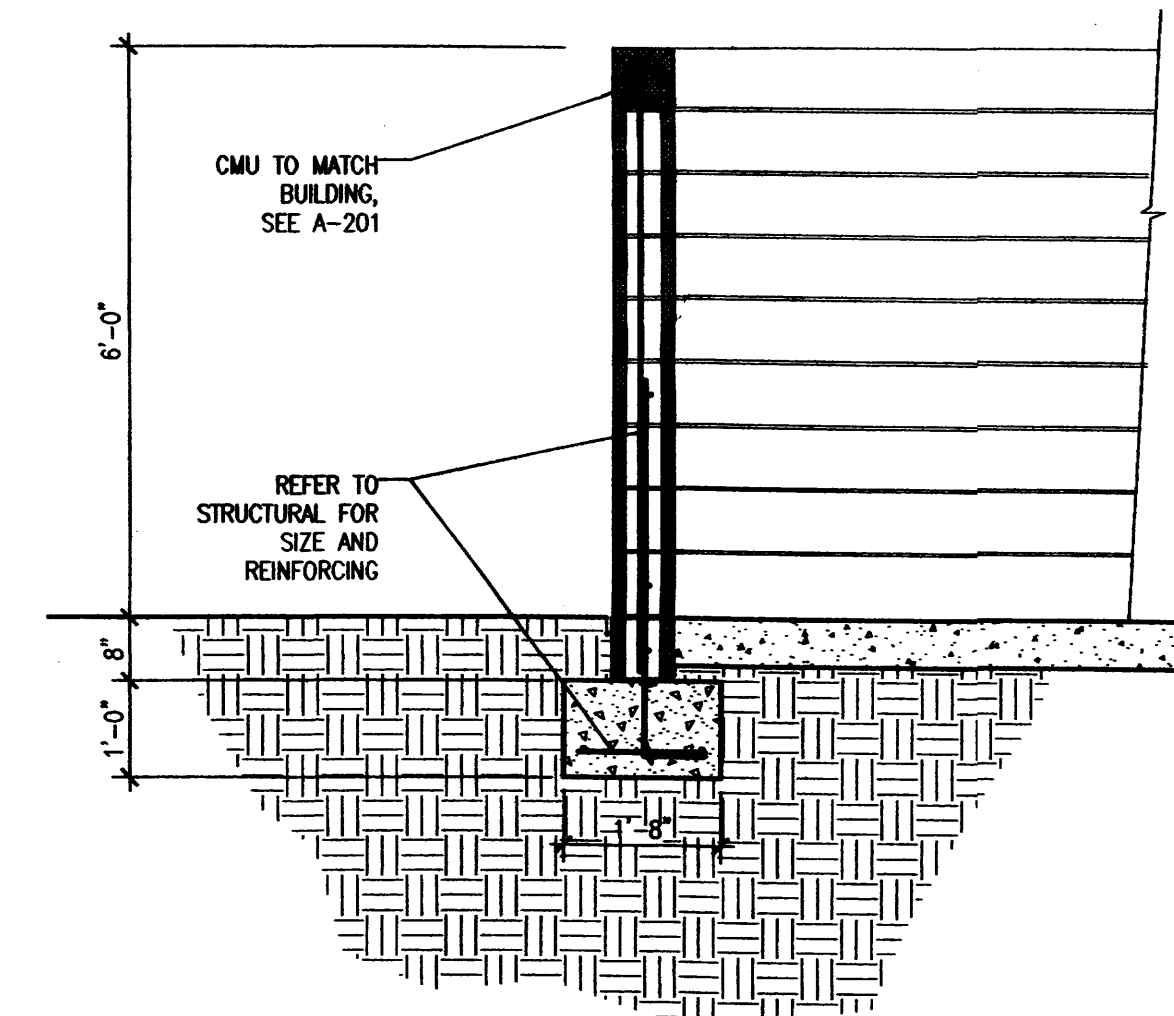
sheet of sheets



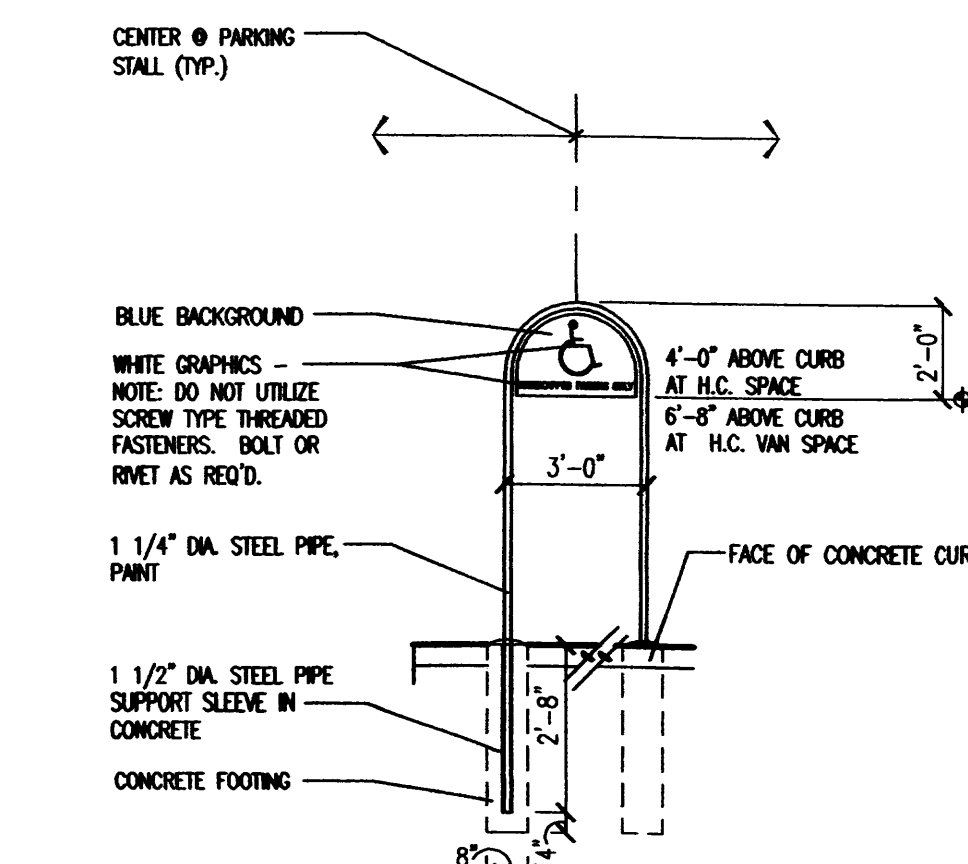
D4 SIDEWALK CULVERT DETAIL
SCALE: 1/2"=1'-0"



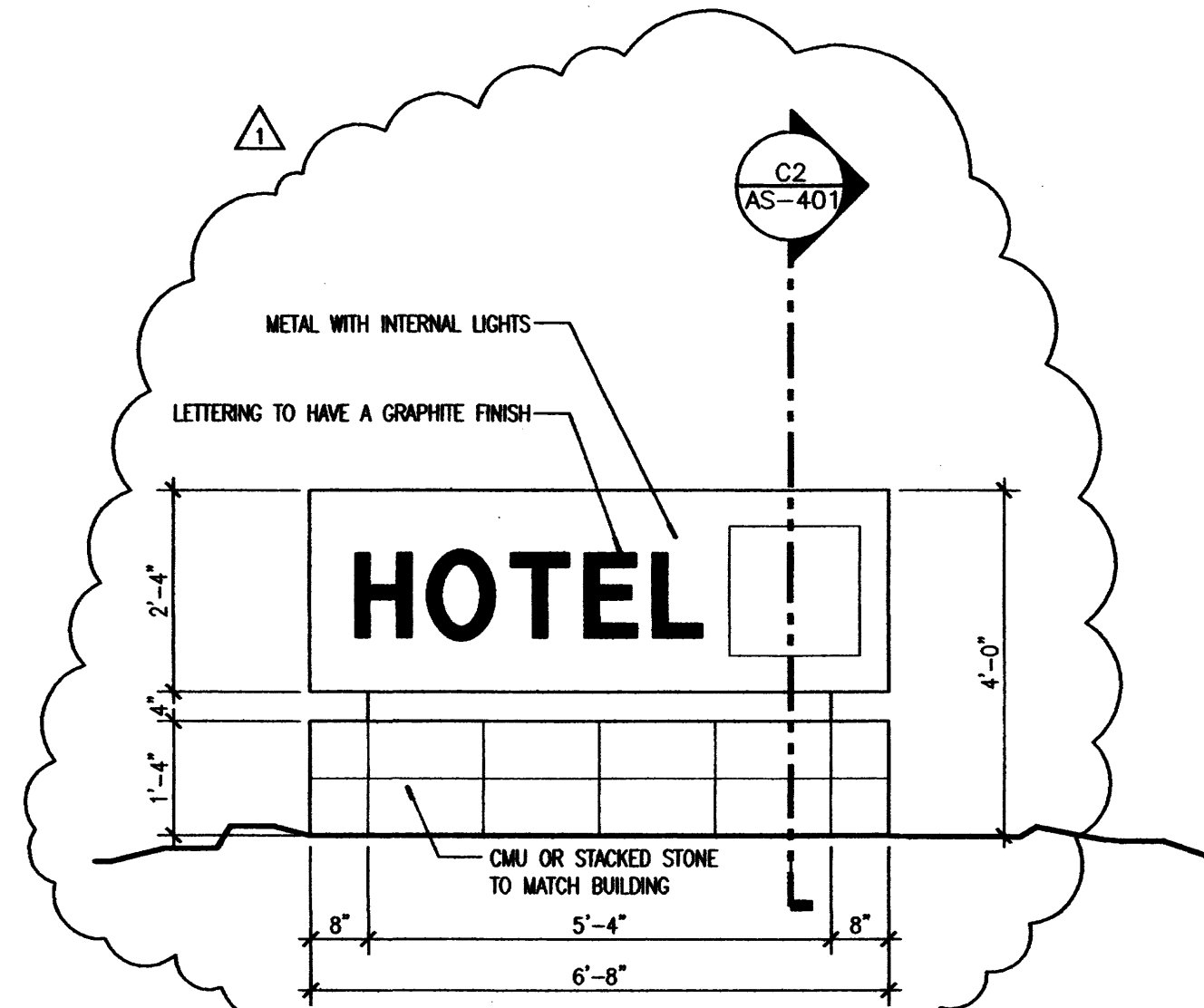
C4 4'-0" SCREEN WALL
SCALE: 1/2"=1'-0"



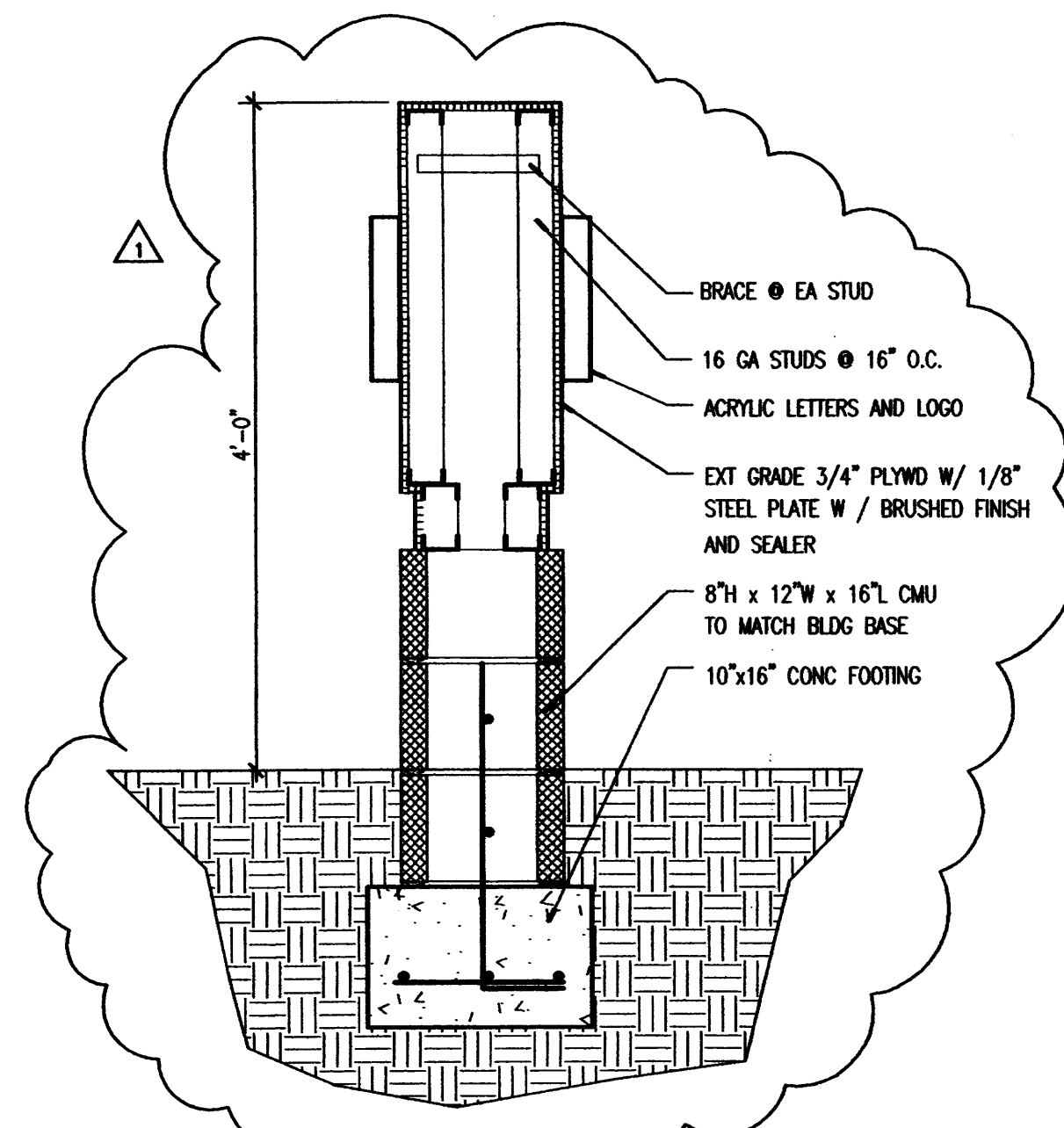
B4 6'-0" SCREEN WALL
SCALE: 1/2"=1'-0"



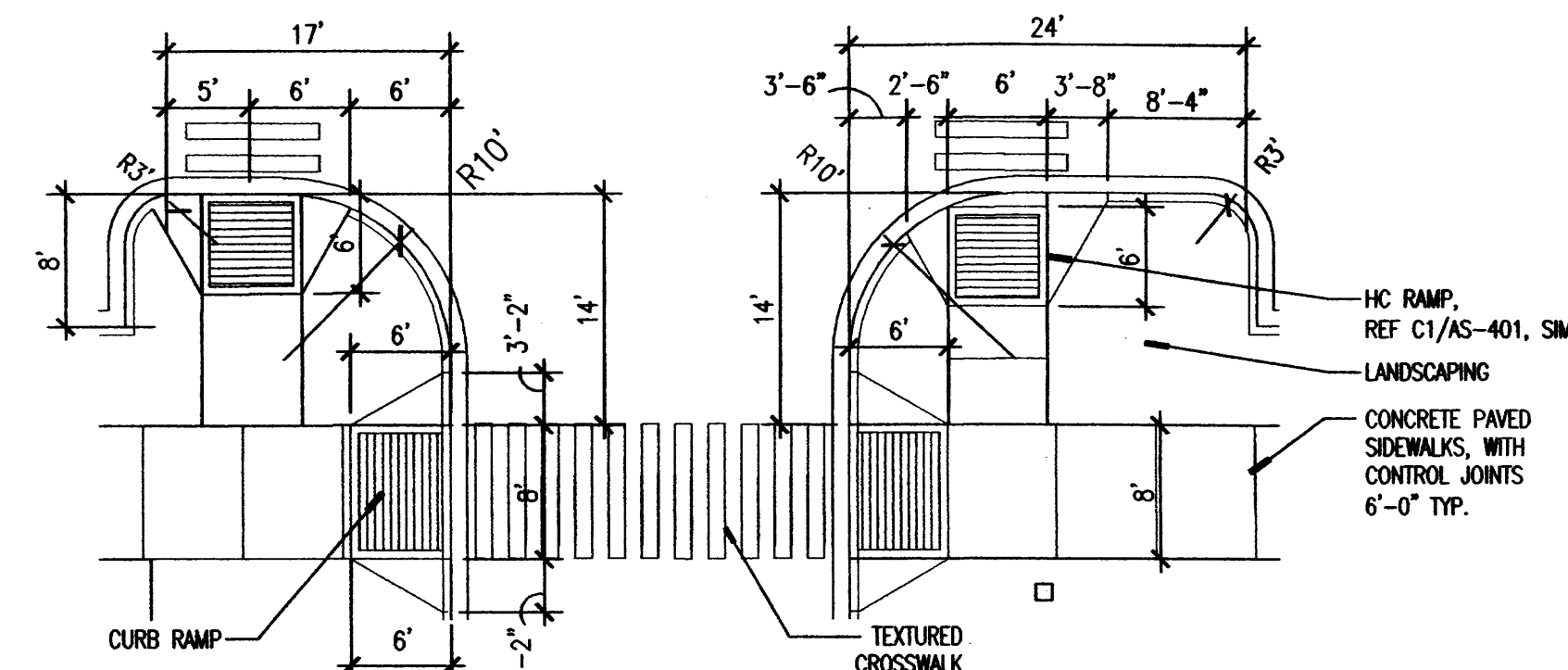
A4 ENLARGED HANDICAPPED SIGN
SCALE: 3/32"=1'-0"



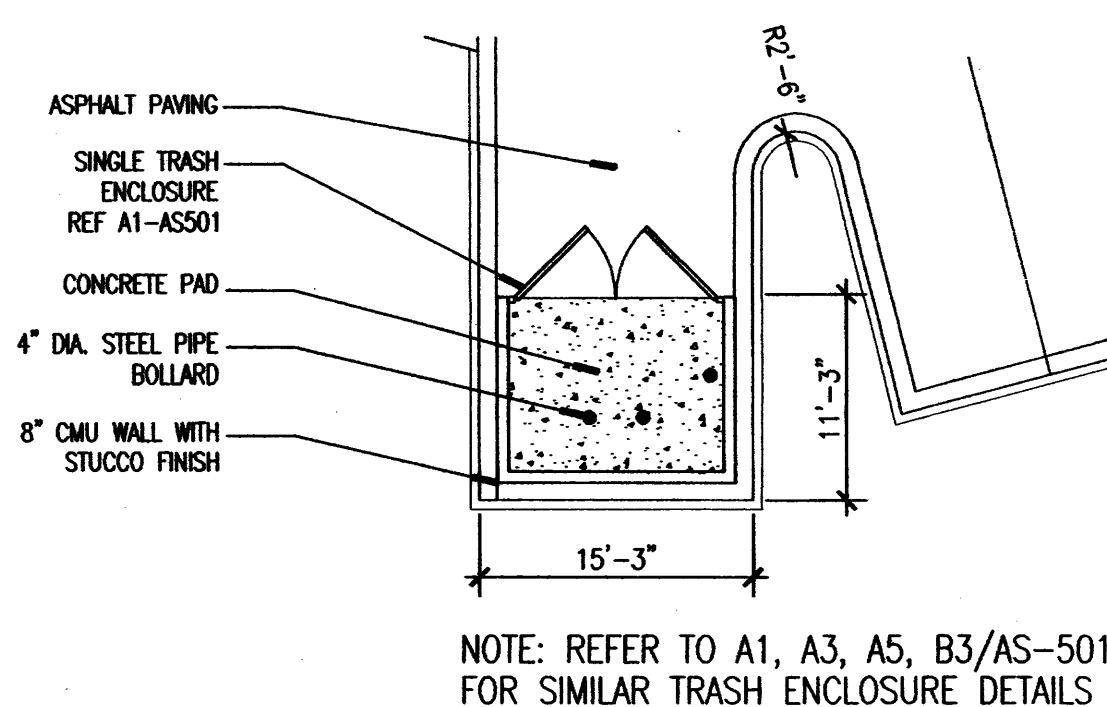
C3 MONUMENT SIGN DETAIL
SCALE: 1/2"=1'-0"



C2 MONUMENT SIGN DETAIL
SCALE: 1"=1'-0"

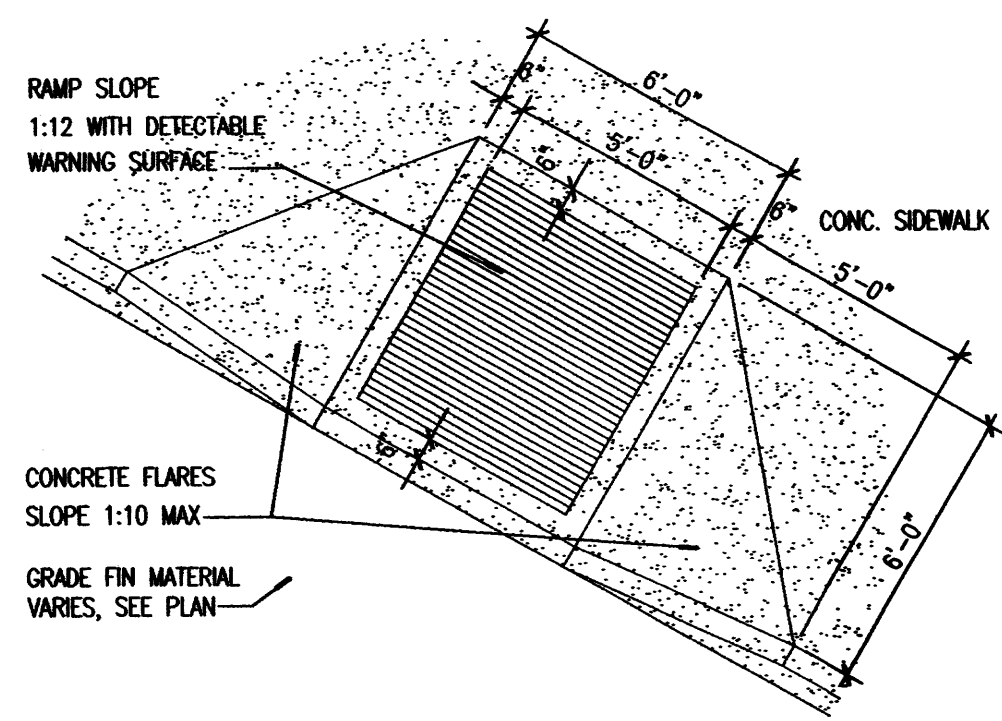


B2 ENLARGED PARTIAL SITE PLAN DETAIL
SCALE: 3/32"=1'-0"

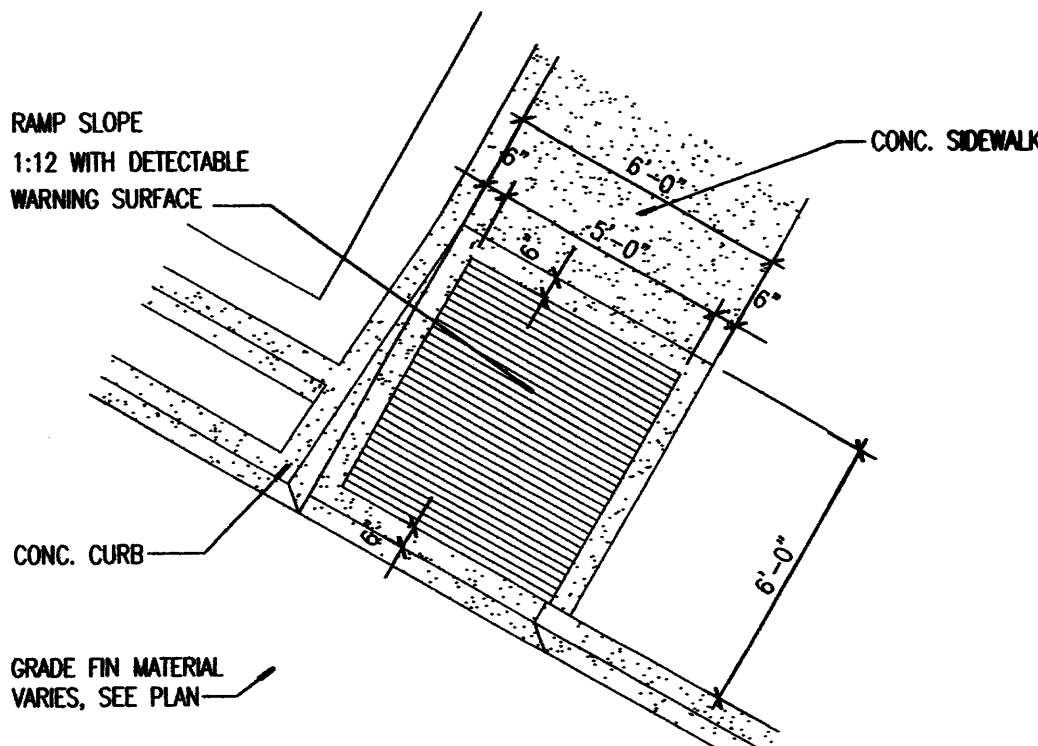


A2 ENLARGED TRASH ENCLOSURE DETAIL
SCALE: 3/32"=1'-0"

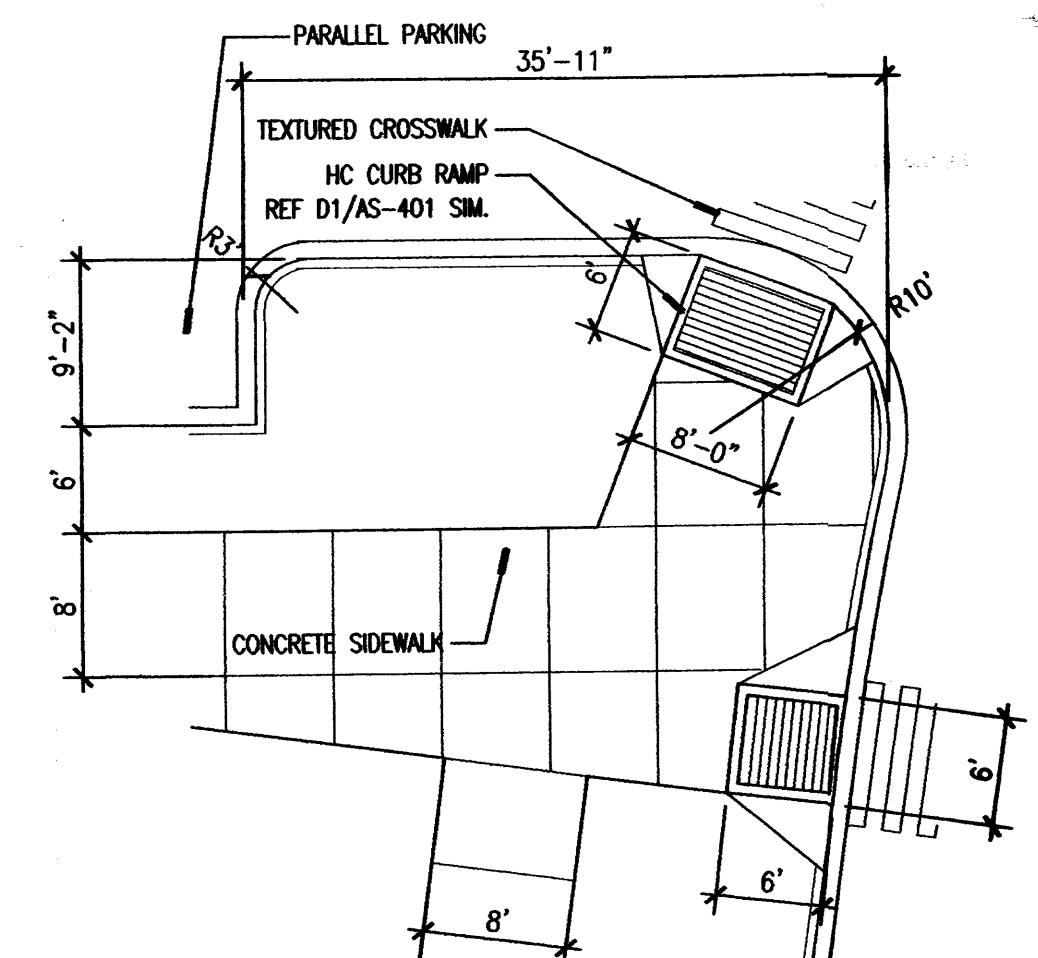
NOTE: REFER TO A1, A3, A5, B3/AS-501 FOR SIMILAR TRASH ENCLOSURE DETAILS



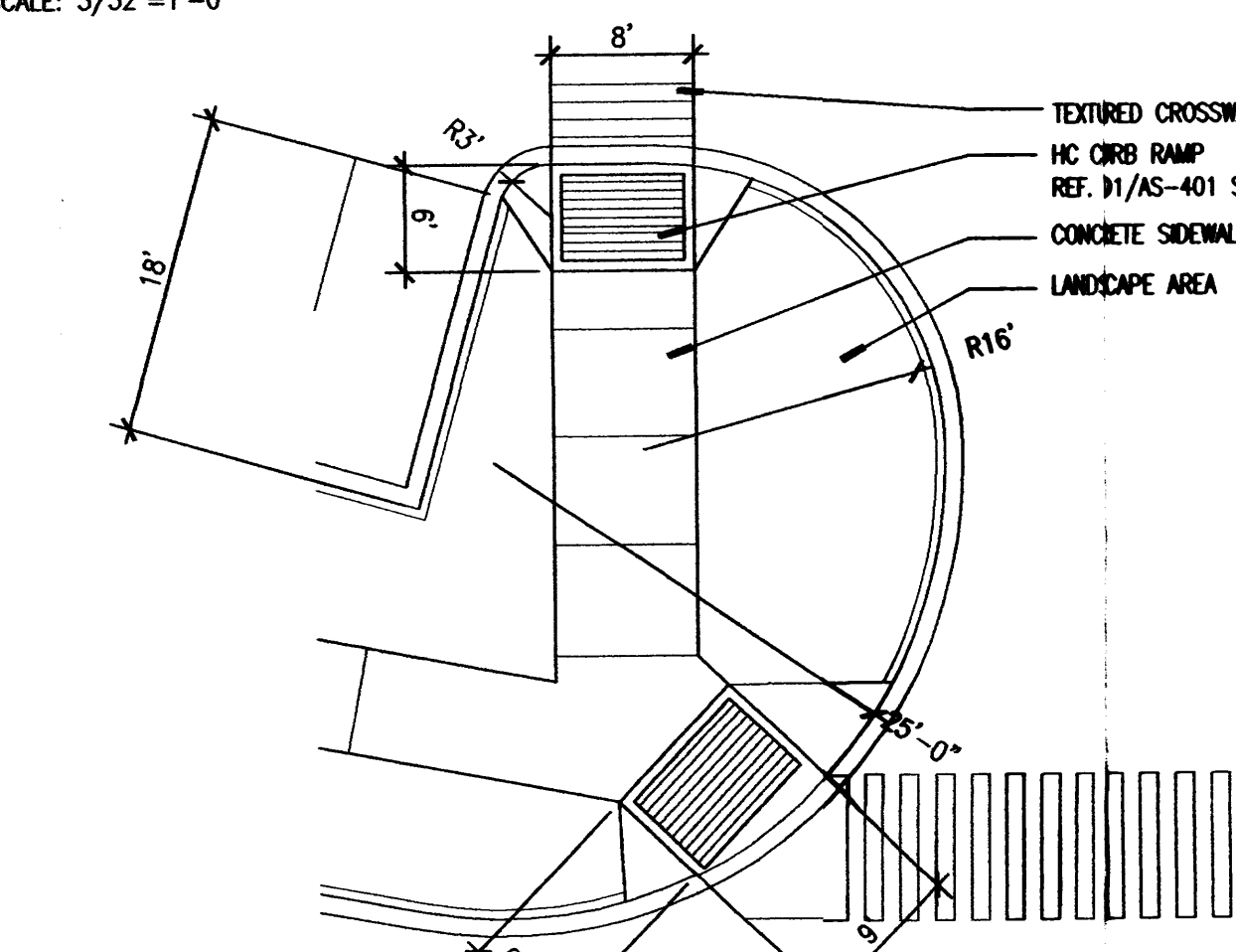
D1 HC RAMP
SCALE: 1/4"=1'-0"



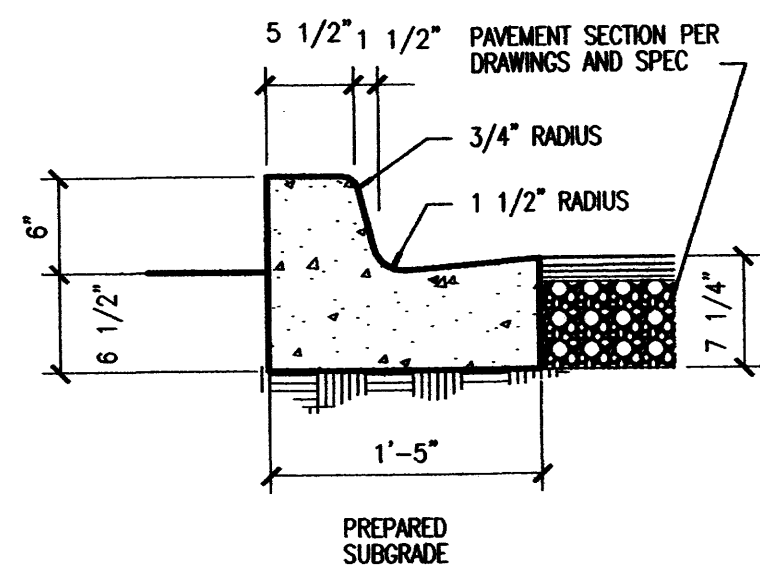
C1 HC RAMP DETAIL
SCALE: 3/32"=1'-0"



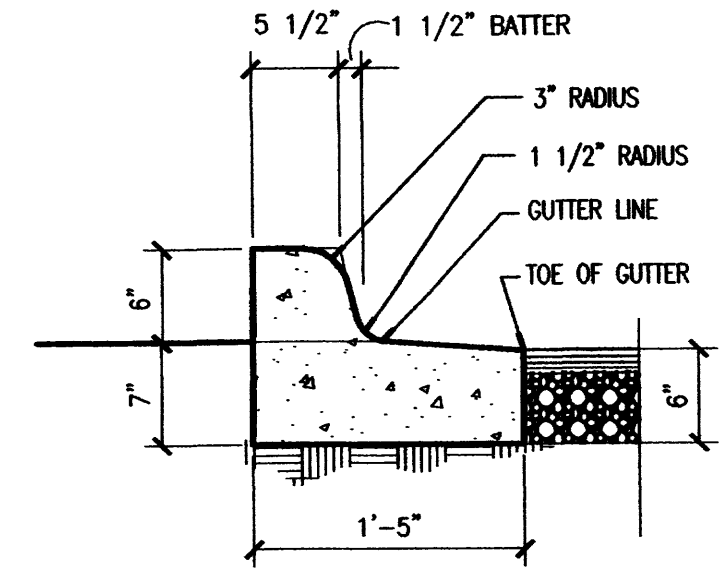
B1 ENLARGED PARTIAL SITE PLAN DETAIL
SCALE: 3/32"=1'-0"



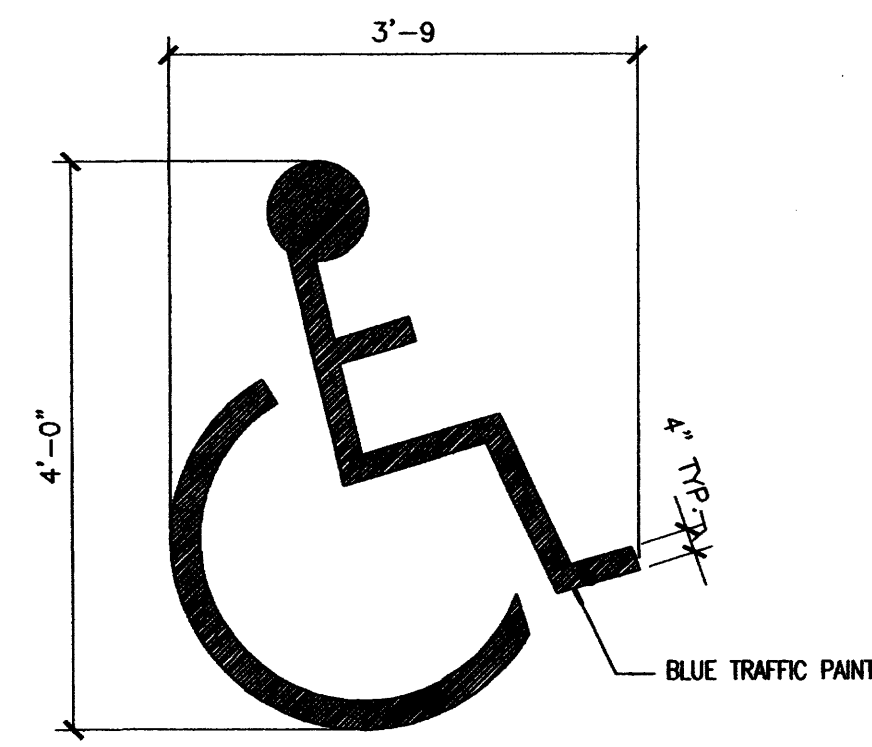
A1 ENLARGED PARTIAL SITE PLAN DETAIL
SCALE: 3/32"=1'-0"



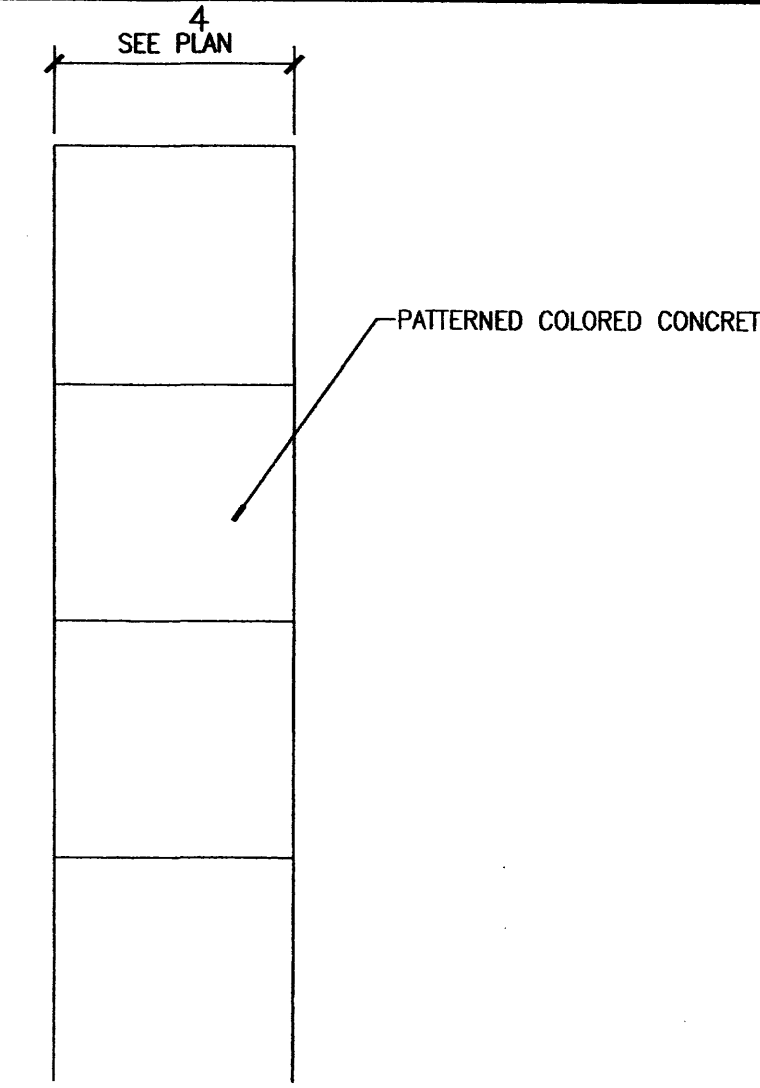
D1 6" CURB AND GUTTER
SCALE: 1/4"=1'-0"



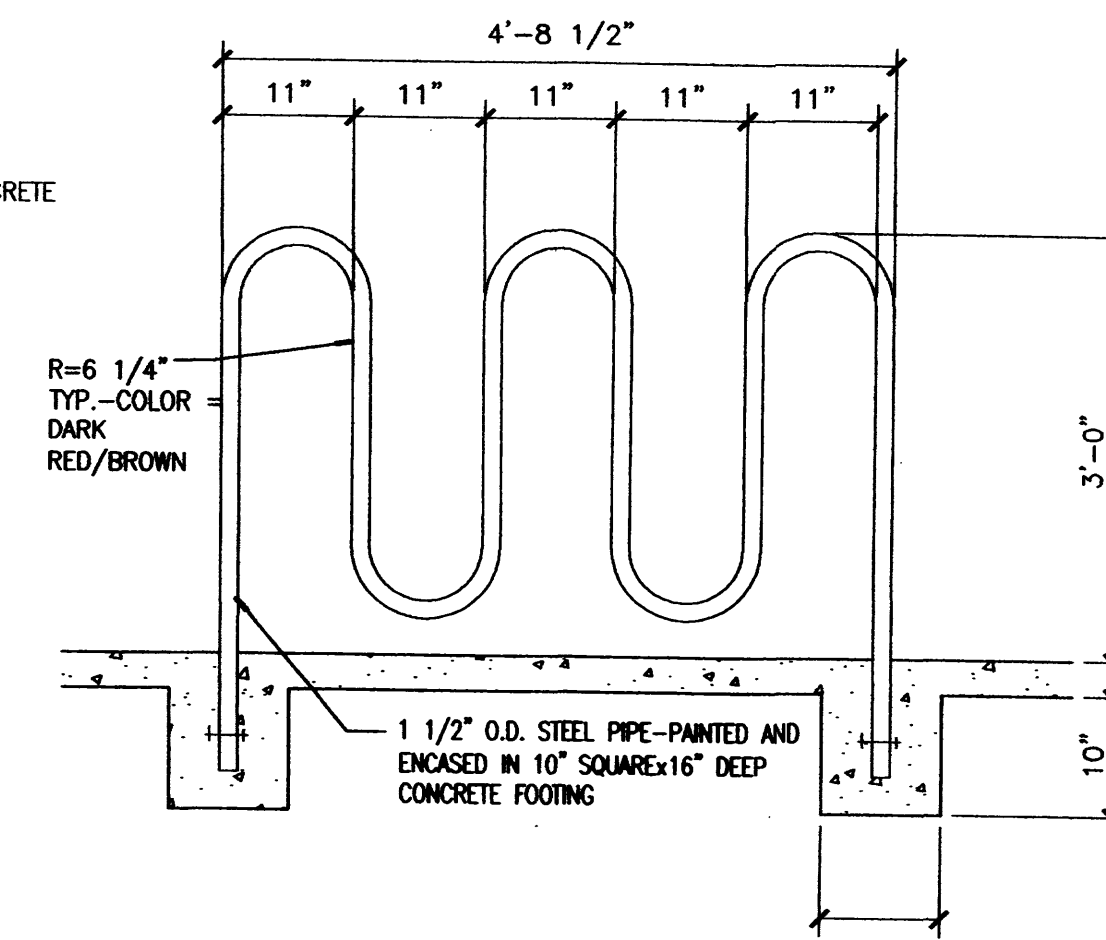
D2 DEPRESSED CURB AND GUTTER
SCALE: 1/4"=1'-0"



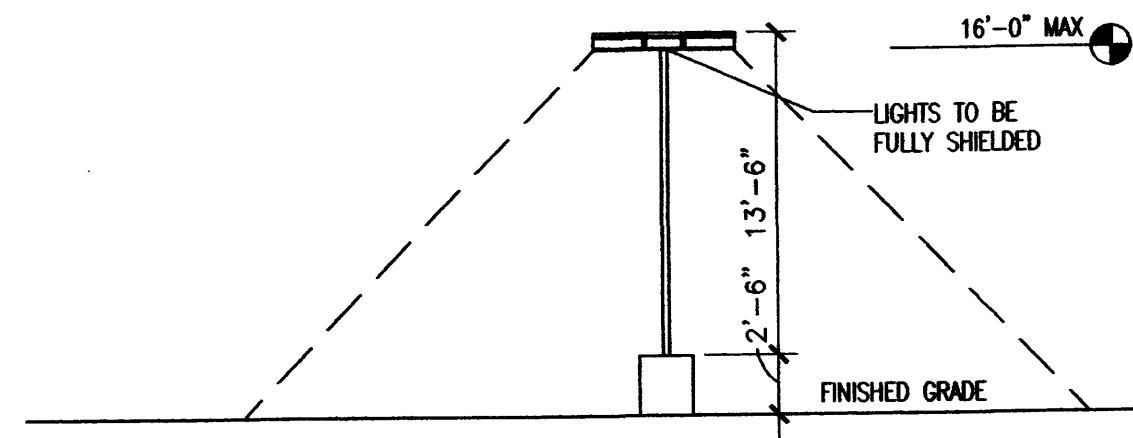
D3 H.C. PAVEMENT SIGN
SCALE: 3/4"=1'-0"



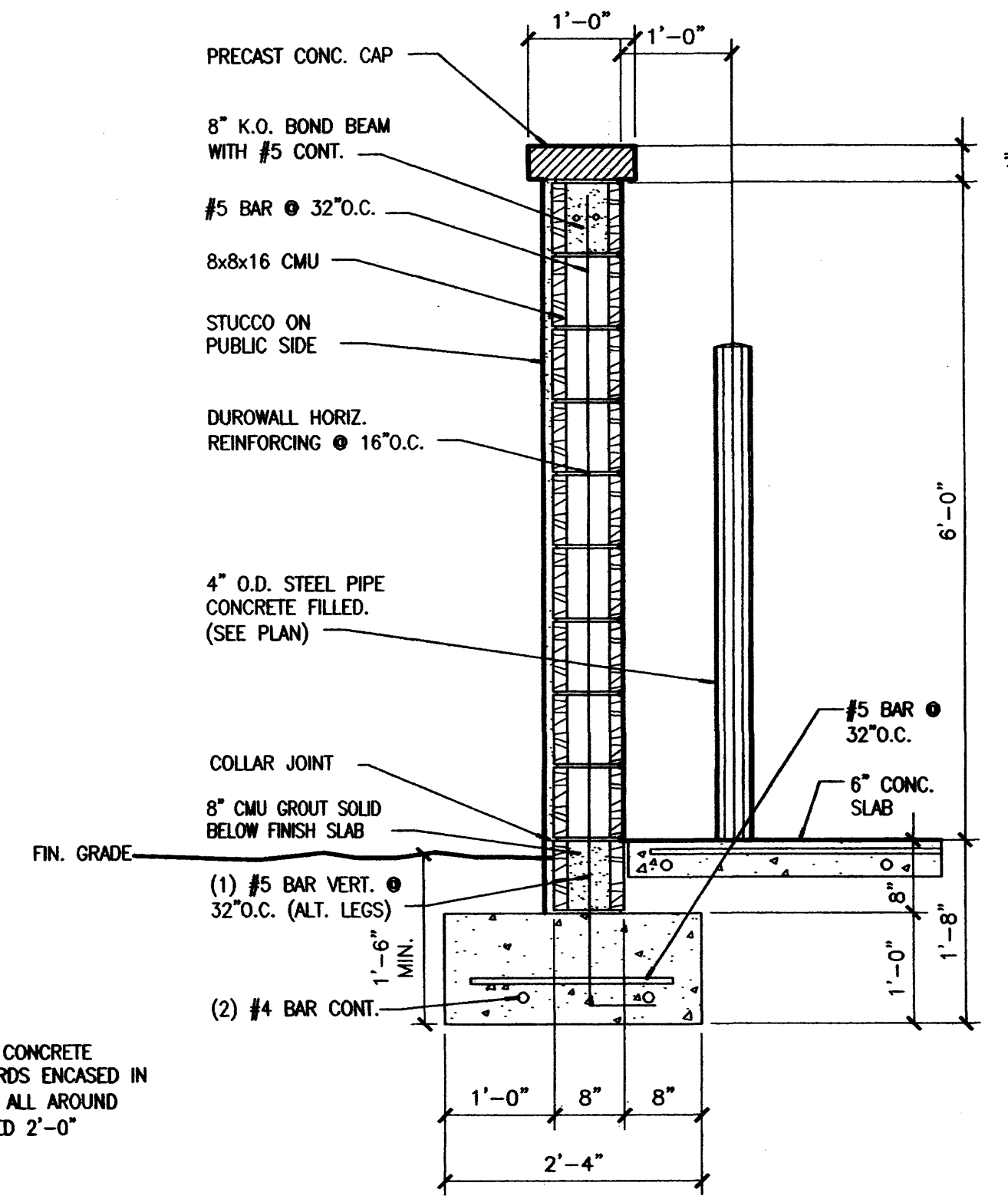
D4 H.C. PARKING STRIPING
SCALE: 1/4"=1'-0"



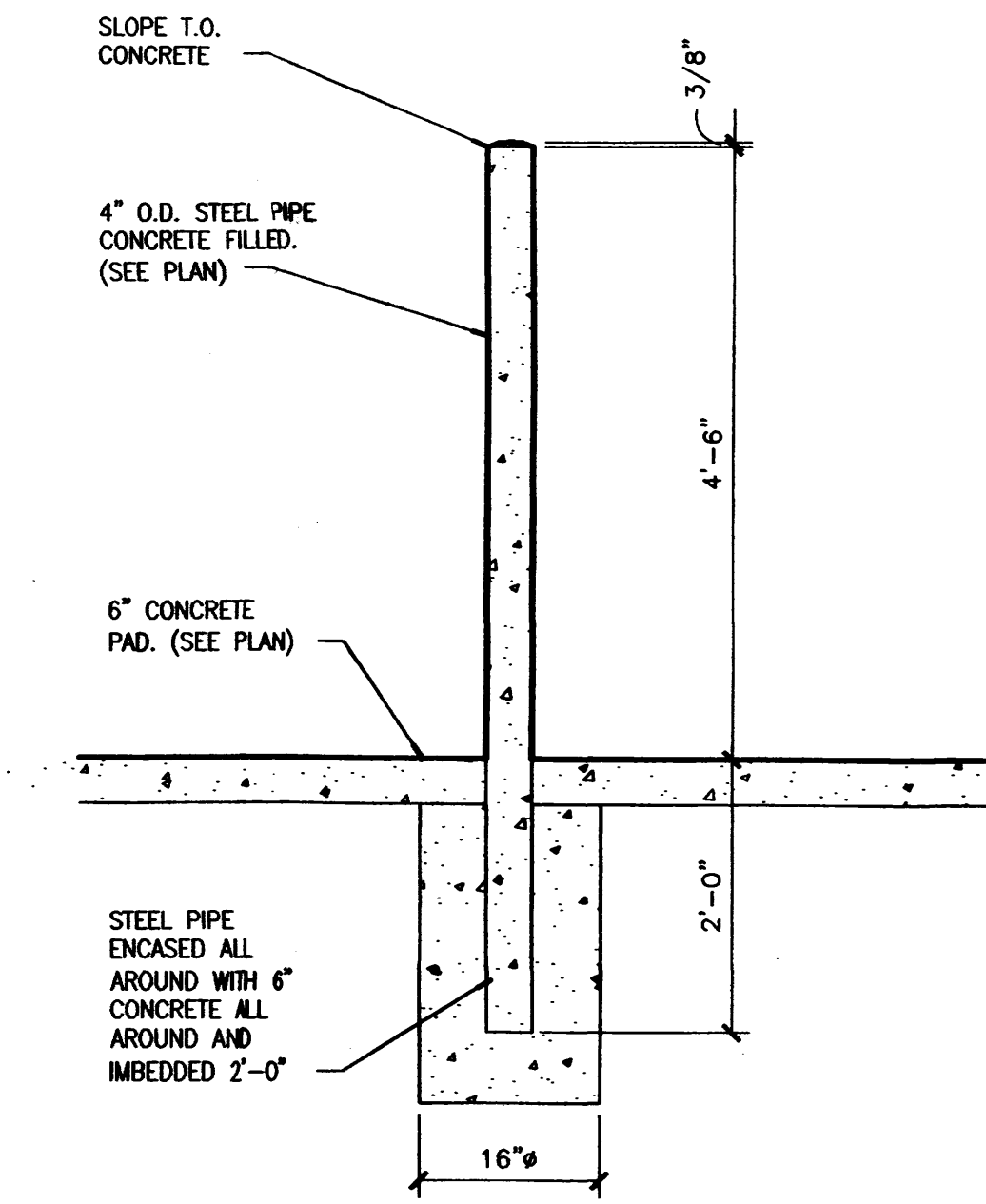
D5 BIKE RACK
SCALE: 3/4"=1'-0"



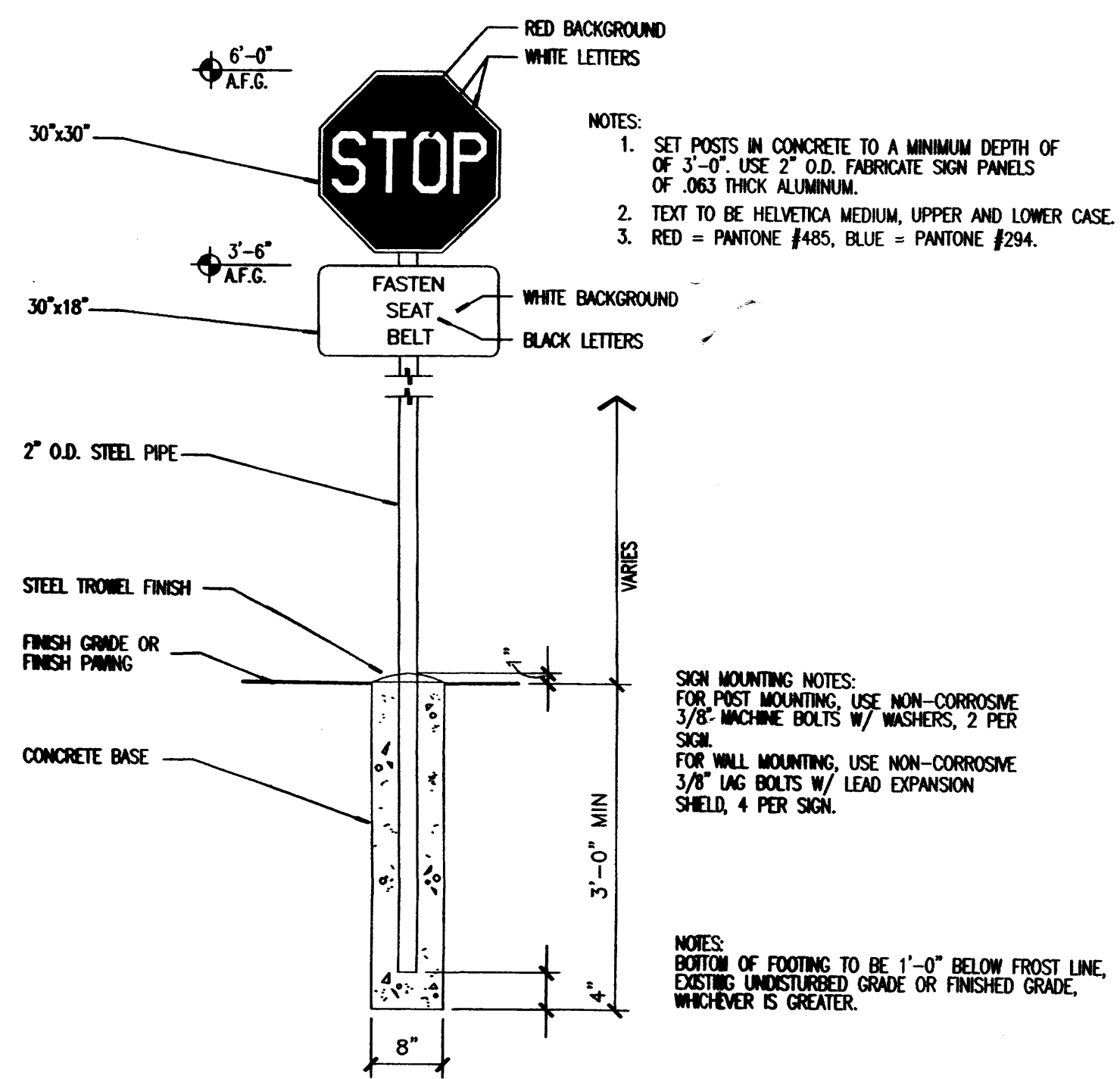
C1 SITE LIGHTING DETAIL
SCALE: 1/8"=1'-0"



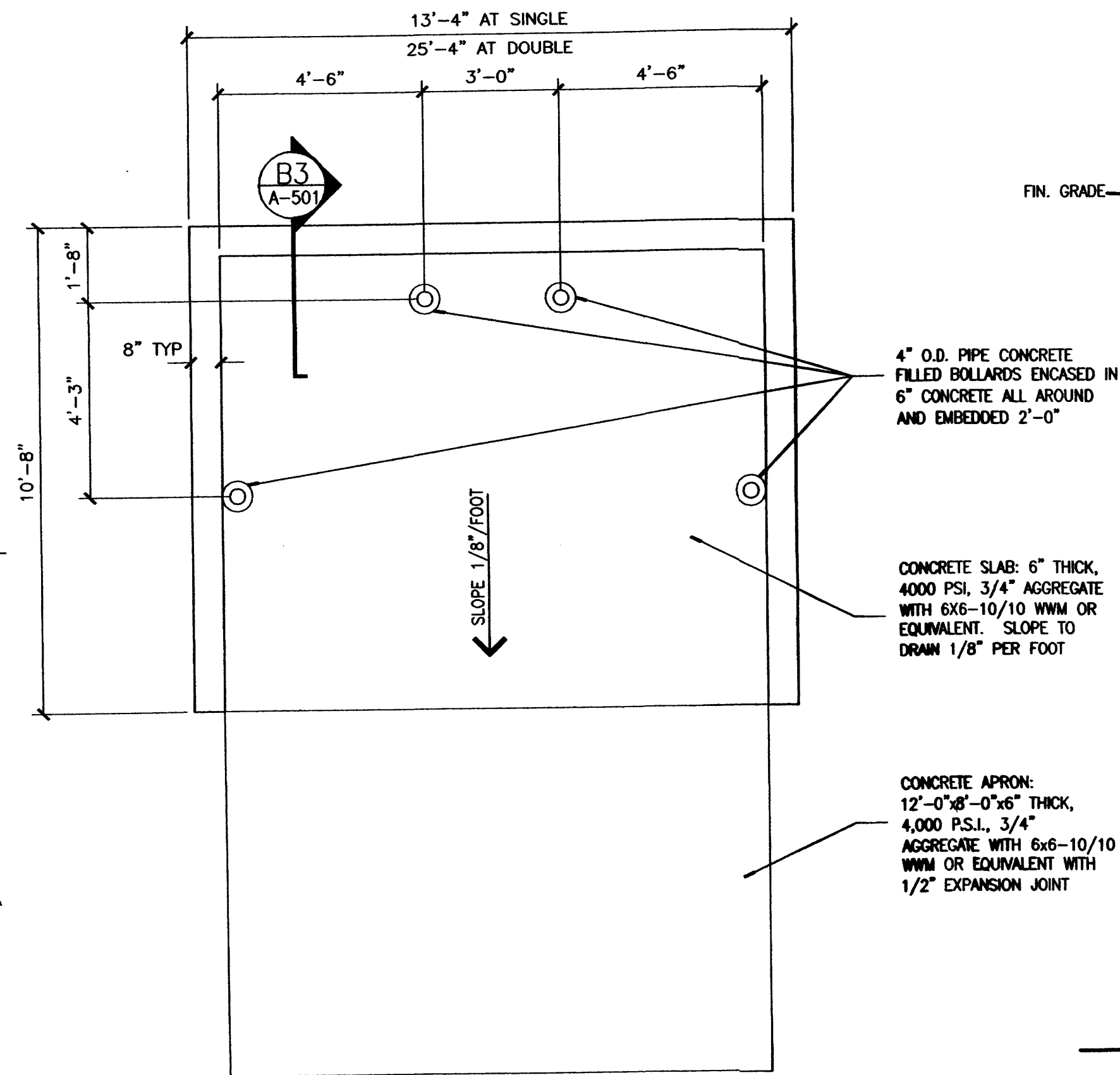
B3 TRASH ENCLOSURE DETAILS
SCALE: 3/4"=1'-0"



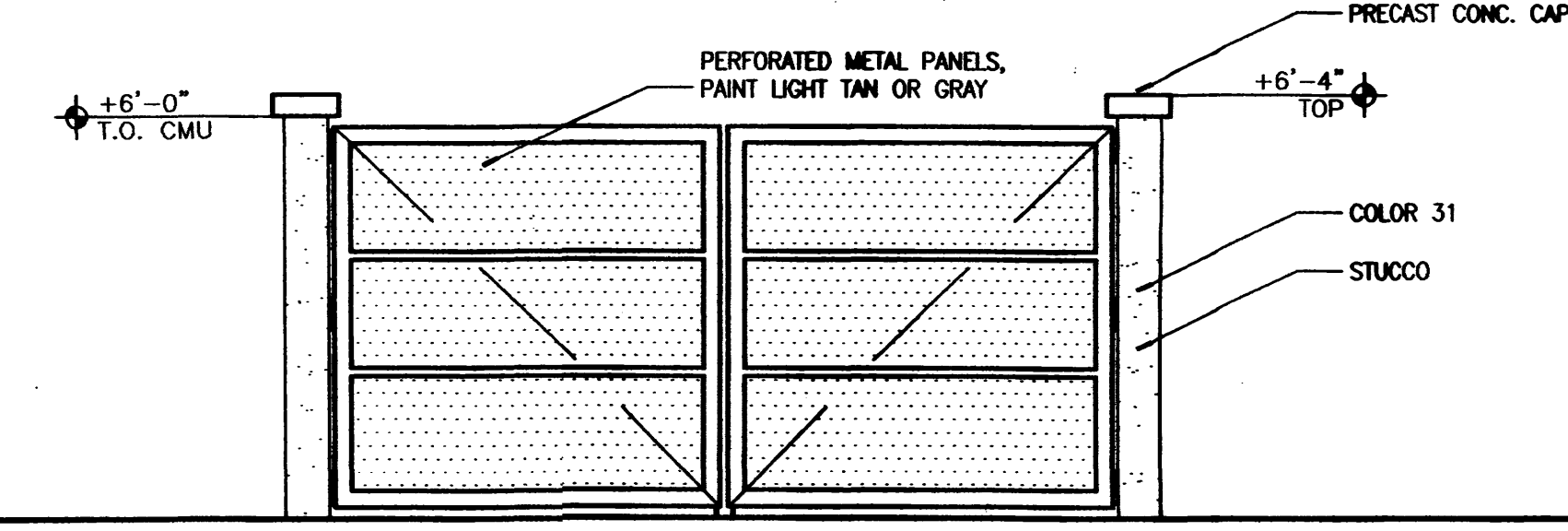
B4 TYP. BOLLARD DETAIL
SCALE: 3/4"=1'-0"



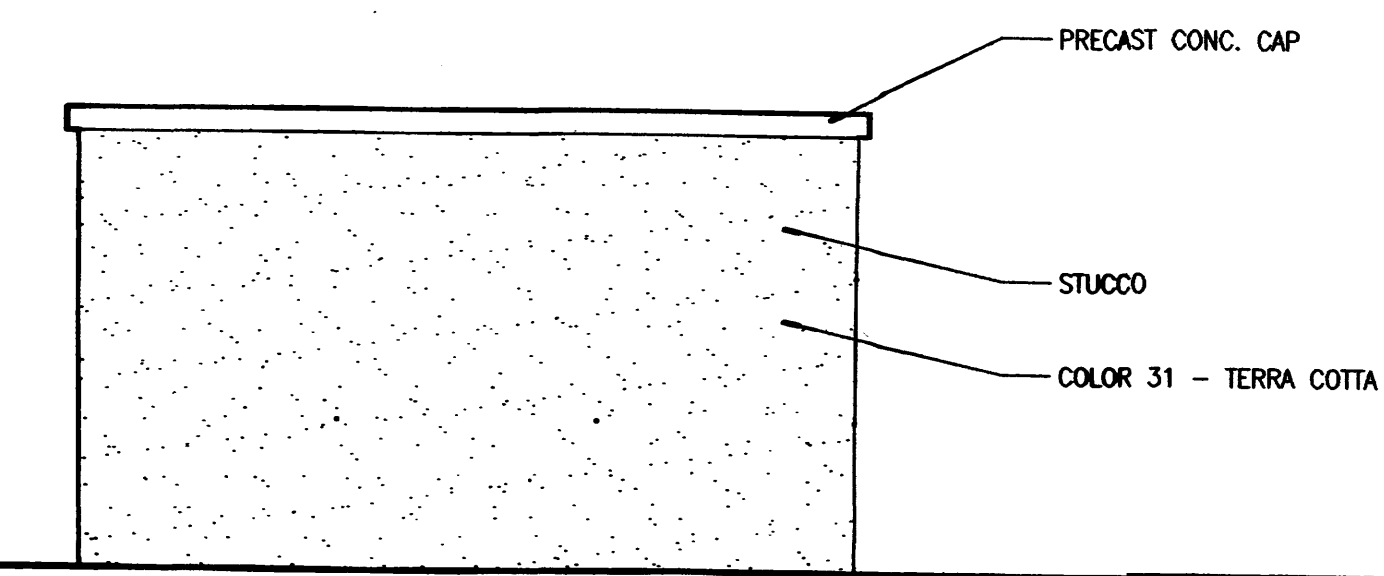
B5 STOP SIGN
SCALE: 3/4"=1'-0"



A1 TRASH ENCLOSURE PLAN
SCALE: 3/8"=1'-0"



A3 TRASH ENCLOSURE FRONT ELEVATION
SCALE: 3/8"=1'-0"



A5 TRASH ENCLOSURE SIDE ELEVATION
SCALE: 3/8"=1'-0"

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CONSULTANTS
Architect Engineer

DRB SUBMITTAL

PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC
MASTER PLAN

MARK	DATE	DESCRIPTION
△	8/11/06	COMMENT REVISIONS

MARK	DATE	DESCRIPTION

SHEET TITLE
ARCHITECTURAL SITE DETAILS

sheet **AS501** of sheets

MATERIAL & COLOR LEGEND

◻ SHEET KEYNOTES

MATERIAL	COLOR
GLASS	CLEAR
STOREFRONT	LIGHT CREAM ALUMINUM
STOREFRONT DOORS	LIGHT CREAM ALUMINUM
METAL ROOFING	LIGHT GREY
METAL RAILING	LIGHT GREY POLYURETHANE PAINT
COLUMNS	RUST ALUMINUM OR CONCRETE
SHADE CANOPIES	LIGHT GREY POLYURETHANE PAINT
BICYCLE RACKS	RUST/BROWN

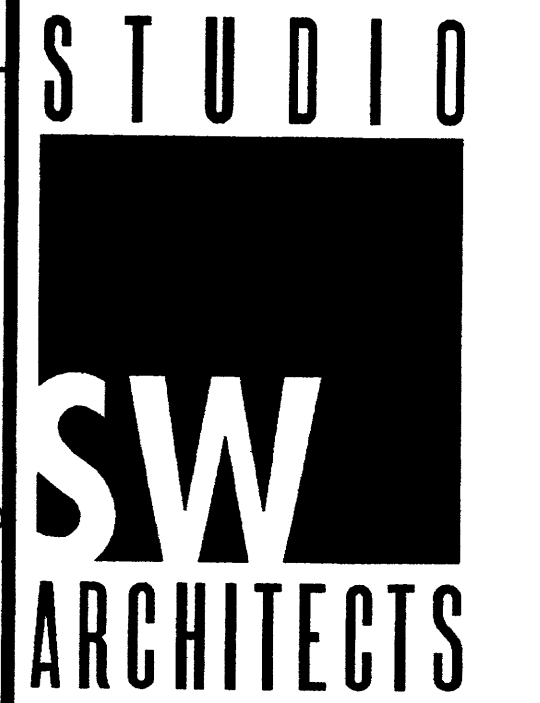
◻ SHEET KEYNOTES

- STUCCO ON 5/8" DENSGLASS SHEATHING ON 6" METAL STUDS @ 16" O.C. WITH FOIL BACKED R-19 INSULATION.
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- NOT USED

- NOT USED
- NOT USED
- PRECAST CONCRETE CAP
- METAL CAP
- NOT USED
- CANOPY WITH METAL ROOF PANELS, TYP.
- PAINTED STEEL TUBE
- CONCRETE MASONRY UNITS
- STONE ON MORTAR SETTING BED ON 1/2" MORTAR APPLIED DIRECTLY TO CONCRETE MASONRY UNITS
- SHIELDED LIGHT FIXTURE
- TRANSLUCENT PANEL SYSTEM
- PRECAST CONCRETE COLUMN
- SUSPENDED SHADE STRUCTURE - PAINTED STEEL
- NOT USED
- NOT USED
- CURVED METAL ROOF
- FROSTED INSULATED GLASS PANELS
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- STUCCO COLOR 1 TERRA COTIA
- STUCCO COLOR 2 BEIGE
- STUCCO COLOR 3 LIGHT BEIGE

GENERAL NOTES

- REFER TO GENERAL RETAIL SIGN CRITERIA FOR SIGNAGE SIZES AND STANDARDS.
- THE MAXIMUM INDIVIDUAL LETTER SIZE OF ALL BUILDING MOUNTED SIGNS SHALL BE 2'-0" HIGH. LOGO SIGNS SHALL NOT EXCEED 2'-0" IN HEIGHT OR WIDTH.
- PAINT ALL EXPOSED METAL LINTELS, TUBES, SHAPES AND COLUMNS
- FAÇADE MATERIALS AND COLORS WILL BE LOW REFLECTING AND WILL ADHERE TO PALLET OF COLORS
- ALL ROOF MOUNTED AND SURFACE MOUNTED MECHANICAL UNITS SHALL BE CONCEALED BY A SCREENWALL EQUAL TO OR GREATER THAN THE HEIGHT OF THE EQUIPMENT.



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CONSULTANTS

Architect Engineer

**DRB
SUBMITTAL**

PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC
MASTER PLAN

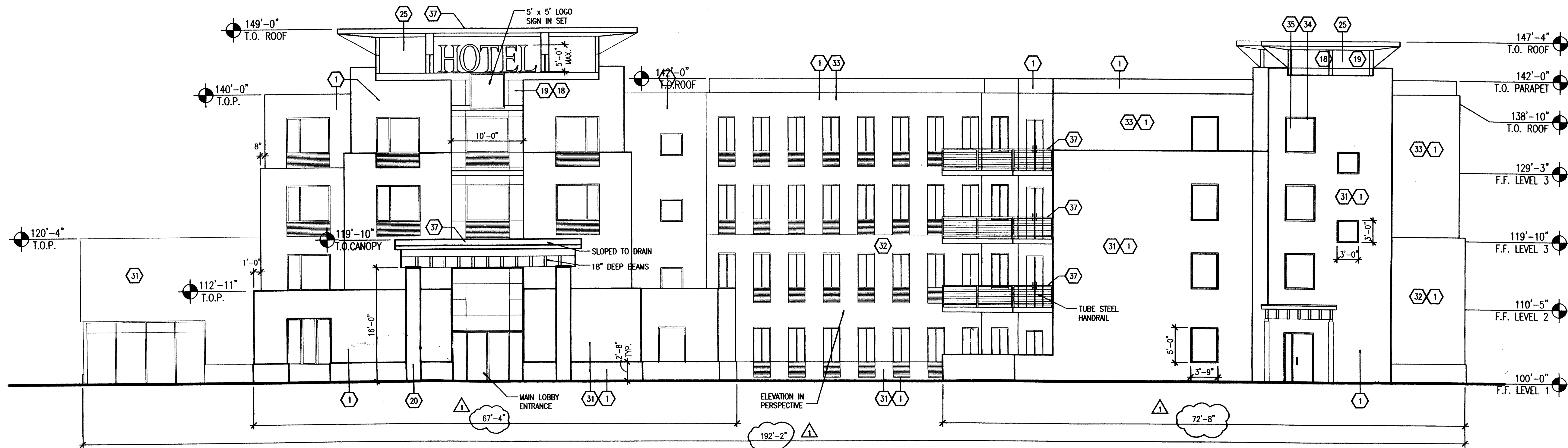
MARK	DATE	DESCRIPTION
▲	8/11/06	COMMENT REVISIONS

MARK	DATE	DESCRIPTION
ISSUE:		DRB SET
PROJECT NO:		0510
CAD DWG FILE:		DCSW
DRAWN BY:		LJ
CHECKED BY:		RB
DATE:		7/21/06

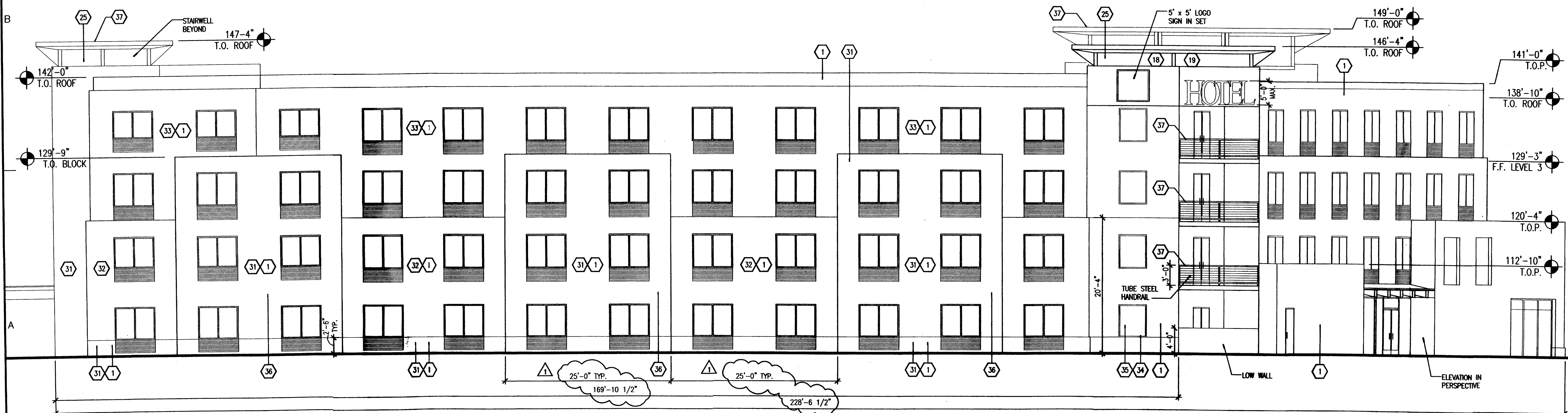
SHEET TITLE
EXTERIOR
ELEVATIONS
PROPOSED HOTEL

A-202

sheet of sheets



B1 NORTH -EAST ELEVATION - PROPOSED HOTEL
SCALE: 1/8"=1'-0"



A1 WEST ELEVATION - PROPOSED HOTEL
SCALE: 1/8"=1'-0"

LEGEND

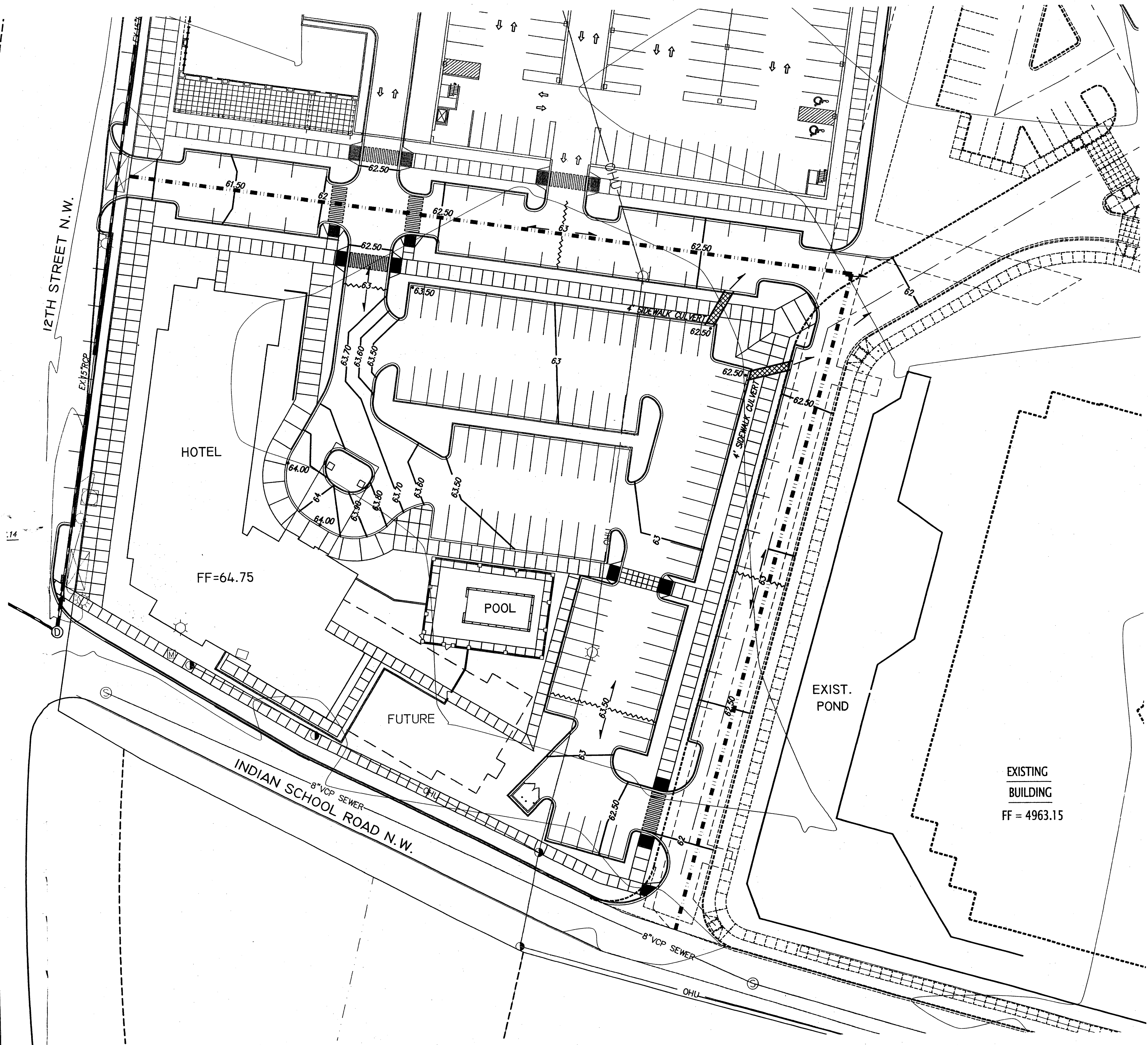
- X 00.0 EXISTING SPOT ELEVATION
- X 00.00 SW EXISTING SIDEWALK ELEVATION
- X 00.00 BC EXISTING CURB ELEVATION
- X 00.00 FL EXISTING PAVEMENT ELEVATION
- X 00.00 INV EXISTING RIM & INV ELEVATION
- ⊠ EXISTING TRAFFIC SIGNAL BOX
- ⊙ EXISTING TRAFFIC SIGNAL
- ⊙ EXISTING LIGHT POLE
- ⊙ EXISTING POWER POLE
- OHU— EXISTING OVERHEAD UTILITY LIN
- GAS— EXISTING GAS LINE
- SEWER— EXISTING SEWER LINE
- WATER— EXISTING WATER LINE
- >— EXISTING ANCHOR
- ⊙ EXISTING SEWER MANHOLE
- ⊙ EXISTING STORM MH
- ⊙ EXISTING STORM MH
- EXISTING SIDEWALK
- EXISTING WATER VALVE
- EXISTING METER RISER
- EXISTING BILLBOARD
- EXISTING FIRE HYDRANT
- EXISTING DROP INLET
- EXISTING FENCE
- EXISTING PROPERTY LINE
- EXISTING CONTOURS
- EXISTING LOT LINES
- EXISTING CURB & GUTTER
- NEW STANDARD CURB & GUTTE
- NEW BUILDING
- NEW EXTRUDED CONCRETE CURL
- NEW PARKING STRIPES
- 63— NEW CONTOURS
- NEW RETAINING WALL
- NEW BASIN BOUNDARY
- NEW WATER BLOCK
- *62.60 NEW SPOT ELEVATION
- NEW FLOW ARROW

DRAINAGE CALCULATIONS

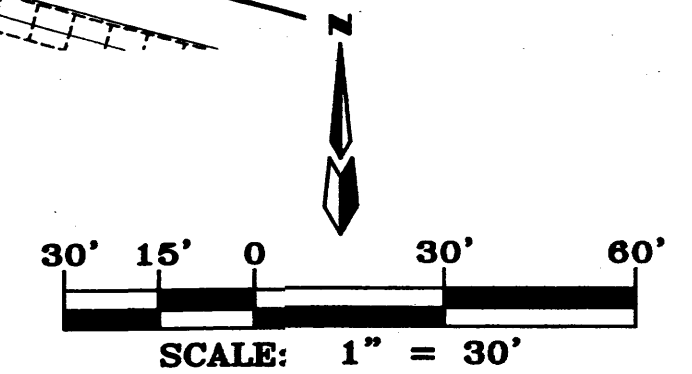
- THE SITE IS THE THIRD DEVELOPMENT OF THE BIA PROPERTY. THE SITE CONSISTS OF 3.0752 AC. AT THE NW CORNER OF 12TH STREET NW & INDIAN SCHOOL ROAD N.W. OF WHICH 0.4835 AC. (15.72%) ARE LANDSCAPING. THIS INCLUDES THE FUTURE HOTEL EXPANSION.
- TWO SMALL AREAS WILL BE ALLOWED DIRECT DISCHARGE
1) THE WEST HALF OF THE DRIVE ISLE ALONG THE NORTH SIDE OF THE SITE & 2) THE SOUTH HALF OF THE EXISTING DRIVE ALONG THE EAST SIDE OF THE SITE. THIS AREA ALSO INCLUDES THE VERY SE CORNER OF THE SITE.
- THE HOTEL ROOF WILL DRAIN TO THE FRONT PARKING LOT. THIS FLOW WILL EXIT THIS SITE BY SIDEWALK CULVERTS AND SURFACE FLOW ACROSS THE EXISTING PARKING LOT TO THE EXISTING INLETS WHICH DRAIN TO THE LIFT STATION.



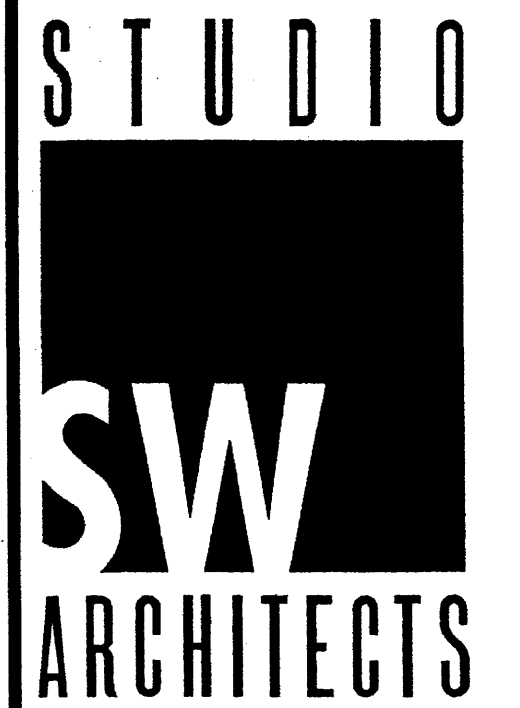
ZONE MAP: H-14



EXISTING BUILDING
FF = 4963.15



A06J085\A6049INDIAN SCHOOL HOTEL\DWG\ARCHITECT\NEW FOLDER\A6049-G&D-30\07-19-06\ACH



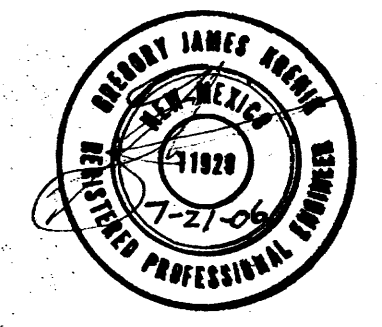
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Architect Engineer



PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

**IPFDC
MASTER PLAN**

MARK	DATE	DESCRIPTION
ISSUE:		DRB SET
PROJECT NO:		0510
CAD DWG FILE:		
DRAWN BY:		
CHECKED BY:		
DATE:	7/21/06	

SHEET TITLE
**CONCEPTUAL
GRADING & DRAINAGE
PLAN**

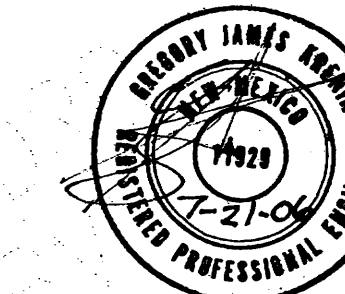
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CONSULTANTS

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(505)828-2200, FAX (505)797-9539

Architect

Engineer



PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

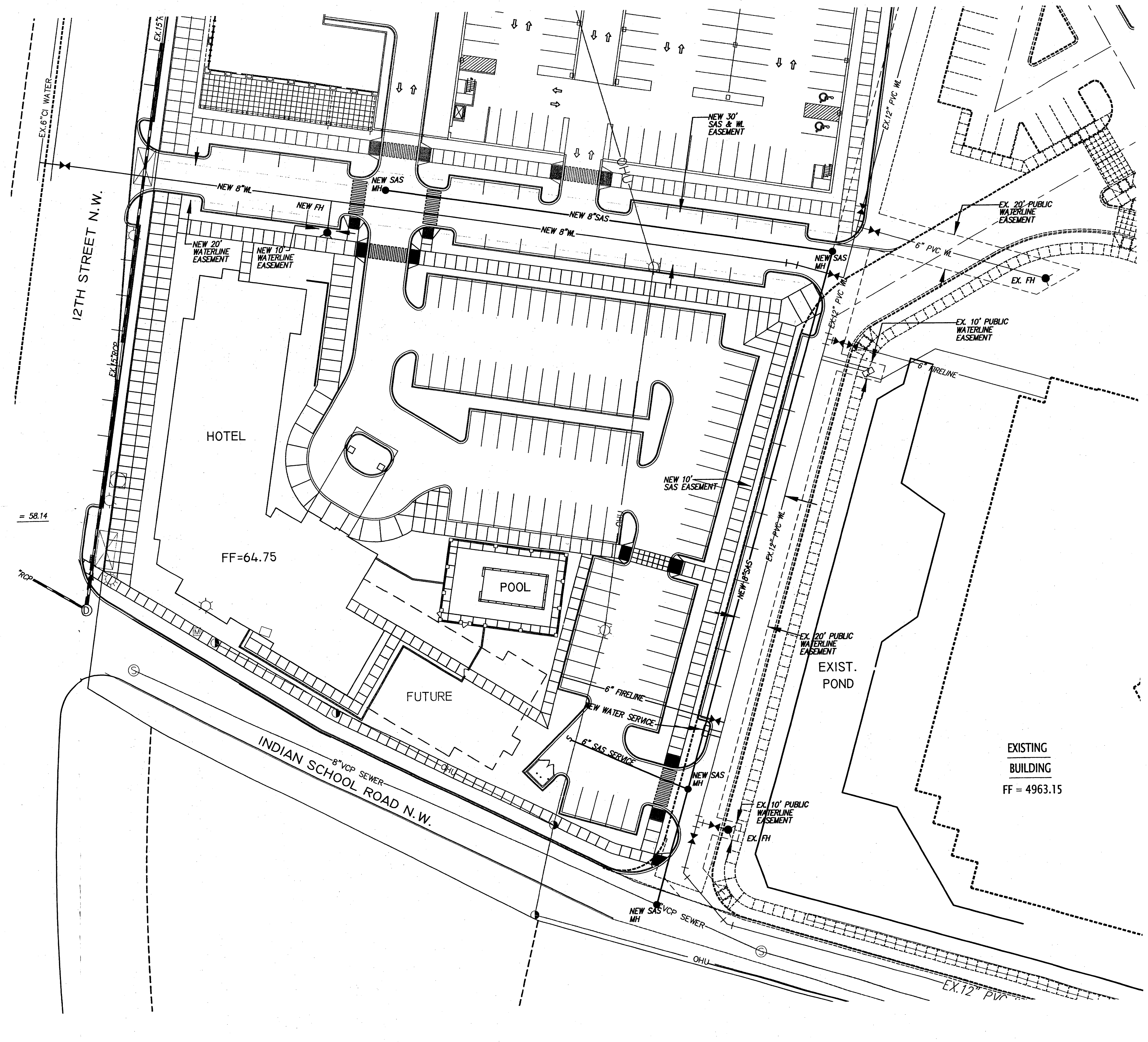
IPFDC
MASTER PLAN

MARK	DATE	DESCRIPTION
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PROJECT NO:		0510
CAD DWG FILE:		
DRAWN BY:		
CHECKED BY:		
DATE:		7/21/06

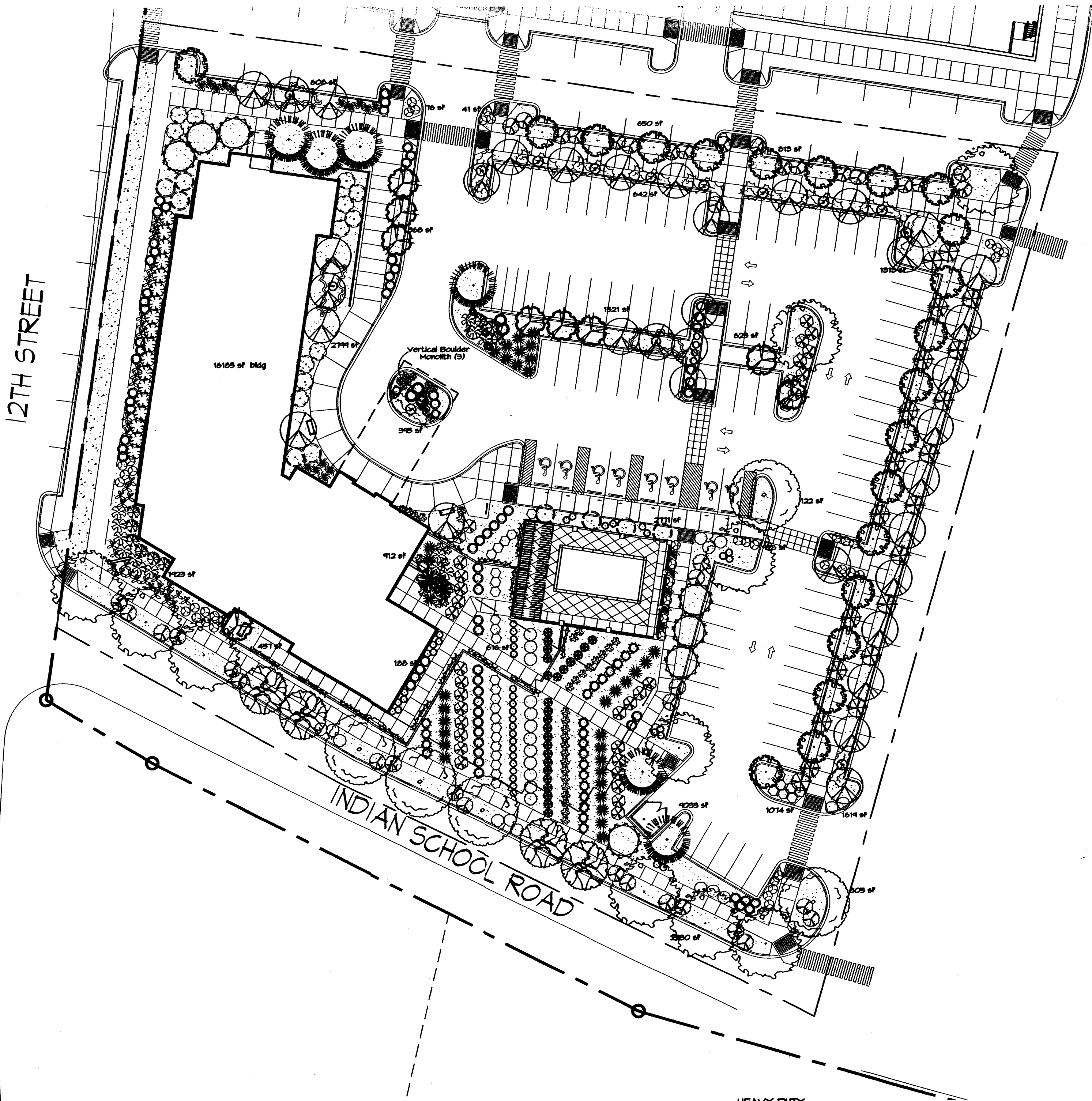
SHEET TITLE

CONCEPTUAL
UTILITY
PLAN

- LEGEND**
- EX. 0.0 EXISTING SPOT ELEVATION
 - EX. 0.0 SW EXISTING SIDEWALK ELEVATION
 - EX. 0.0 BC EXISTING CURB ELEVATION
 - EX. 0.0 PL EXISTING PAVEMENT ELEVATION
 - EX. 0.0 EX EXISTING RIM & INV ELEVATION
 - EX. 0.0 SW EXISTING OVERHEAD UTILITY LINE
 - EX. 0.0 EX EXISTING GAS LINE
 - EX. 0.0 EX EXISTING SEWER LINE
 - EX. 0.0 EX EXISTING WATER LINE
 - EX. 0.0 EX EXISTING ANCHOR
 - EX. 0.0 EX EXISTING SEWER MANHOLE
 - EX. 0.0 EX EXISTING STORM MH
 - EX. 0.0 EX EXISTING SIDEWALK
 - EX. 0.0 EX EXISTING WATER VALVE
 - EX. 0.0 EX EXISTING METER RISER
 - EX. 0.0 EX EXISTING BILLBOARD
 - EX. 0.0 EX EXISTING FIRE HYDRANT
 - EX. 0.0 EX EXISTING DROP INLET
 - EX. 0.0 EX EXISTING FENCE
 - EX. 0.0 EX EXISTING PROPERTY LINE
 - EX. 0.0 EX EXISTING CONTOURS
 - EX. 0.0 EX EXISTING LOT LINES
 - EX. 0.0 EX EXISTING CURB & GUTTER
 - EX. 0.0 EX NEW STANDARD CURB & GUTTER
 - EX. 0.0 EX NEW BUILDING
 - EX. 0.0 EX NEW EXTRUDED CONCRETE CURB
 - EX. 0.0 EX NEW PARKING STRIPES
 - EX. 0.0 EX NEW RETAINING WALL
 - EX. 0.0 EX NEW FINISH FLOOR
 - EX. 0.0 EX NEW SAS LINE
 - EX. 0.0 EX NEW WATERLINE



I:\AC\06\05\A6049 ind\... Hotel Hotel.dwg, Architect\New Folder\A6049-MULTI-CONCEPTUAL.dwg, 7/21/2006 10:19:10 AM, Units, PAPER_0603.bct



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

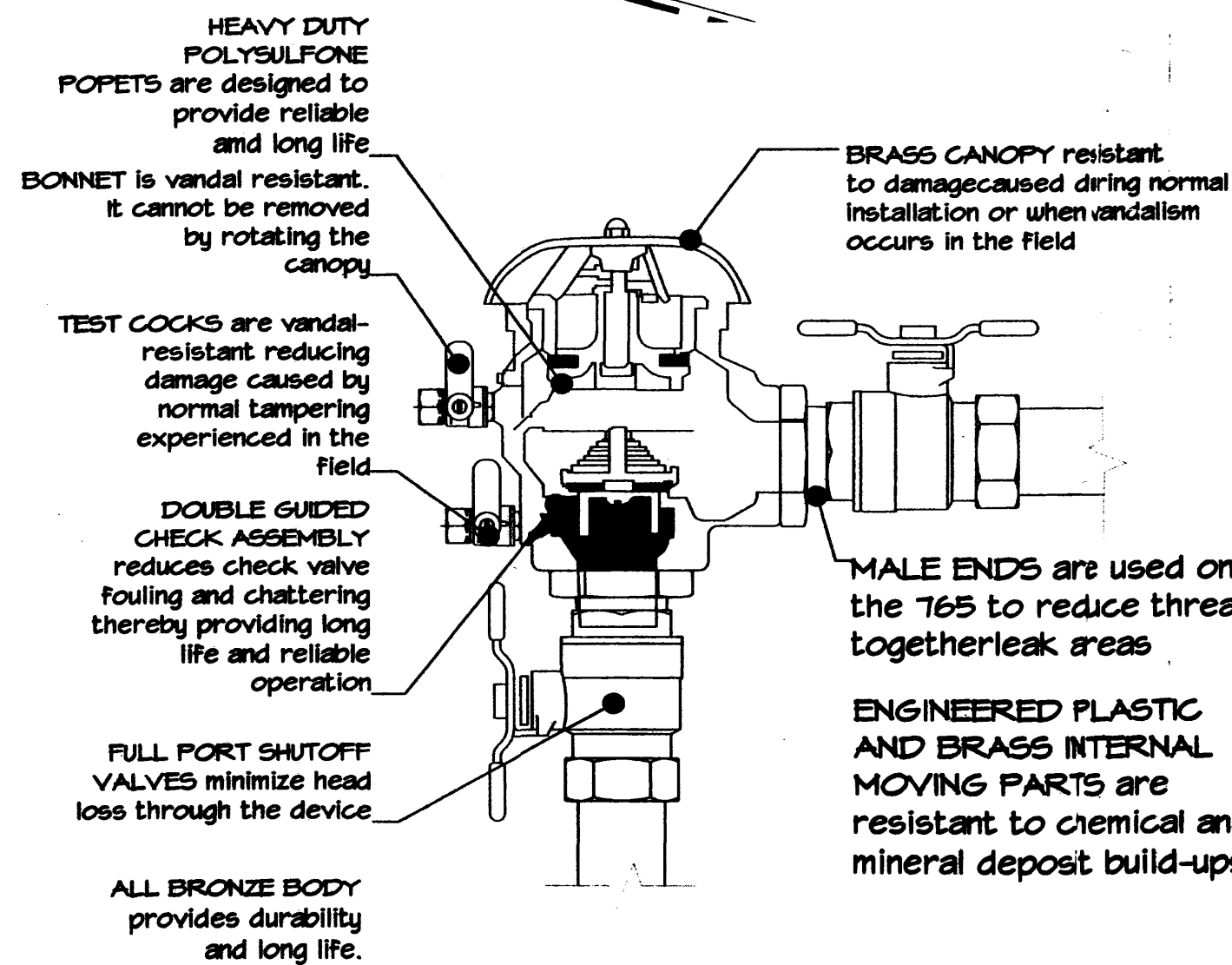
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



FEBCO MODEL 765 Pressure Vacuum Breaker Features

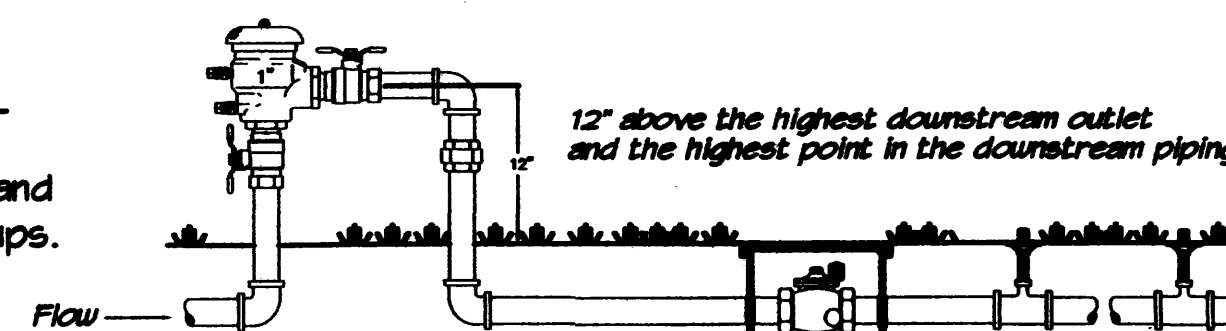
PLANT LEGEND

- CHINESE PISTACHE (M) 10
Pistachia chinensis
2" Cal.
- PURPLE ROBE LOCUST (M) 5
Robinia pseudoacacia
2" Cal.
- CHITALPA (M) 4
Chilopsis X Catalpa
2" Cal.
- DESERT WILLOW (L) 7
Chilopsis linearis
15 Gal.
- OCOTILLO (L) 9
Fouquieria splendens
- MUGO PINE (M) 6
Pinus mugo
5 Gal. 4sf
- SILVERBERRY (M) 21
Elaeagnus pungens
5 Gal. 100sf
- BIRD OF PARADISE (L) 12
Caesalpinia gilliesii
5 Gal. 100sf
- BUTTERFLY BUSH (M) 9
Buddleia davidii
5 Gal. 100sf
- RED YUCCA (L) 34
Hesperaloe parviflora
5 Gal. 4sf
- MAIDENGRASS (M) 20
Miscanthus sinensis
5 Gal. 16sf
- REGAL MIST (M) 25
Muhlenbergia capillaris
5 Gal. 4sf
- INDIAN HAWTHORN (M) 34
Raphiolepis indica
5 Gal. 36sf
- CHAMISA (L) 18
Chrysothamnus nauseosus
1 Gal. 25sf
- GREYLEAF COTONEASTER (M) 9
Cotoneaster buxifolius
5 Gal. 21sf
Symbol indicates 3 plants
- TRUMPET VINE (M) 13
Campsis radicans
1 Gal. 400sf
- COMMERCIAL GRADE STEEL EDGING
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- AUSTRIAN PINE (M) 6
Pinus nigra
6'-8"
- FLOWERING PEAR (M+) 35
Pyrus calleryana
2" Cal.
- CRABAPPLE (H) 21
Malus cultivars
1 1/2" Cal. B4B
- PURPLE-LEAF PLUM (M) 9
Prunus spp.
1 1/2" Cal.
- PALM YUCCA (L) 2
- APACHE PLUME (L) 26
Fallugia paradoxa
5 Gal.
- LANAS/ SCOTCH BROOM (M) 22
Cytisus scoparius/ cernitella nigricans
5 Gal. 16sf
- ARP ROSEMARY (M) 71
Rosmarinus officinalis
5 Gal. 25sf
- POTENTILLA (M) 20
Potentilla fruticosa
1 Gal. 4sf
- AUTUMN SAGE (M) 30
Salvia greggii
1 Gal. 4sf
- LAVENDER (M) 50
Lavandula angustifolia
1 Gal. 4sf
- HONEYSUCKLE (M) 41
Lonicera japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- WILDFLOWER 45
1 Gal. 4sf
- THREADGRASS (M) 37
Stipa tenuisima
1 Gal. 4sf
- SHADE LOVING PERENNIALS 13
1 Gal. 4sf
- CREeping ROSEMARY (L) 33
Rosmarinus officinalis 'Prostrata'
1 Gal. 36sf
Symbol indicates 3 plants
- AGAVE (L) 13
Agave spp.
16 sf
- FRICKLY PEAR (L) 30
Opuntia macrocentra
9 sf
- VERTICAL BOULDER MONOLITH 3
- OVERSIZED GRAVEL & 8 BOULDERS

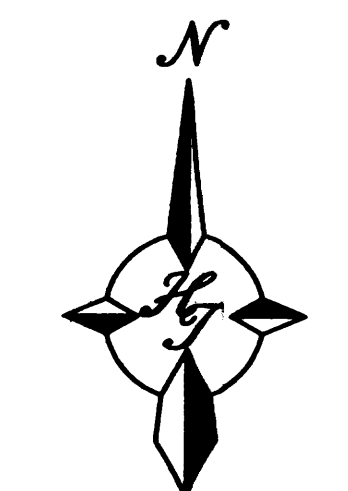
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	121208	square feet
TOTAL BUILDINGS AREA	16185	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	103649	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	15555	square feet
TOTAL BED PROVIDED	32327	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	24245	square feet
TOTAL GROUND COVER PROVIDED	24347 (75.5%)	square feet
TOTAL LANDSCAPE PROVIDED	32327	square feet

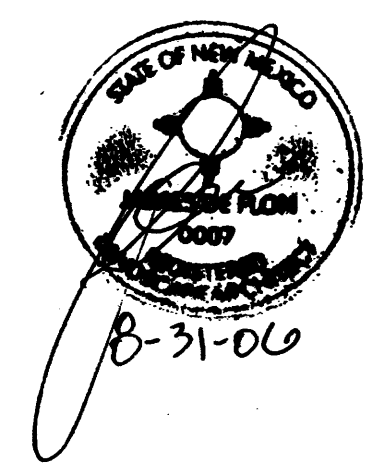
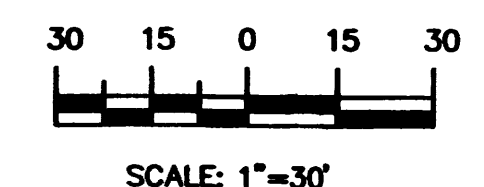
NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



FEBCO MODEL 765 Pressure Vacuum Breaker Outside Installation



GRAPHIC SCALE



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SW
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CONSULTANTS

Architect Engineer

DRB SUBMITTAL

PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC LANDSCAPE PLAN

rev 3	8/31/06	site plan & comments
rev 2	8/11/06	revised per comments
rev 1	7/19/06	site plan revision

MARK	DATE	DESCRIPTION
ISSUE:	DRB SET	
PROJECT NO:	0510	
CAD DWG FILE:		
DRAWN BY:	oof	
CHECKED BY:	cj	
DATE:	6/26/05	

SHEET TITLE

L1 L1
sheet of sheets