

Location Map  
Zone Atlas Map No. L-10-Z

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 2.2400 ACRES±  
 ZONE ATLAS INDEX NO.: L-10-Z  
 NO. OF TRACTS CREATED: 1  
 NO. OF LOTS CREATED: 0  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: JUNE 2006

**Disclosure Statement:**

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING SOUTHERLY REMAINING PORTIONS OF TRACTS 466, 467 AND 468 INTO ONE NEW TRACT AND TO DEDICATE ADDITIONAL RIGHT OF WAY FOR SAGE ROAD, S.W. AND UNSER BOULEVARD, S.W. TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

**Notes:**

- MISC. DATA: ZONING C-1
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES--US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 27, TOWNSHIP 10 NORTH, RANGE 2 EAST, TOWN OF ATRISCO GRANT, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2006281013.
- FIELD WORK PERFORMANCE ON JUNE 22, 2006.

**Easements**

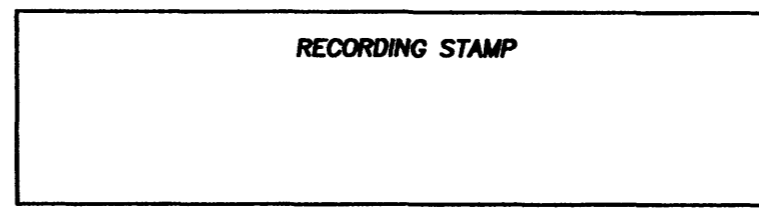
THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS (SWITCHGEARS) AS INSTALLED SHALL EXTEND TEN FEET (10') IN



Plat of  
Tract A  
**Sage Arcada**  
Bernalillo County, New Mexico  
July 2006

**City DRB Approvals**

<i>[Signature]</i> CITY SURVEYOR	7/25/06 DATE
REAL PROPERTY DIVISION	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

**CDRA Approvals SRP No.**

BERNALILLO COUNTY ENVIRONMENTAL HEALTH	DATE
BERNALILLO COUNTY FIRE MARSHALL	DATE
BERNALILLO COUNTY ZONING	DATE
BERNALILLO COUNTY PUBLIC WORKS	DATE
BERNALILLO COUNTY DEVELOPMENT REVIEW AUTHORITY, CHAIR	DATE

**Utility Company Approvals**

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST CORPORATION	DATE
COMCAST CABLE	DATE

**Legal Description**

A TRACT OF LAND COMPRISED OF THE REMAINING SOUTHERLY PORTIONS OF TRACTS 466, 467 AND 468 OF THE TRACTS ALLOTTED FROM THE TOWN OF ATRISCO GRANT, UNIT 7, LYING AND SITUATE IN PROJECTED SECTION 27, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 5, 1944, SAID PORTIONS BEING IDENTIFIED AS TRACT "FF" IN SPECIAL WARRANTY DEED (DOM ENICI TO HOFFMAN RECORDED ON MARCH 31, 1972 IN BOOK D915, PAGE 489, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE GRID COORDINATE BEARINGS (CENTRAL ZONE--NORTH AMERICAN DATUM OF 1927) AND GROUND DISTANCES (US SURVEY FOOT)AS FOLLOWS:

- BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE INTERSECTION OF THE WEST RIGHT OF WAY LINE OF UNSER BOULEVARD, S.W. AND THE NORTH RIGHT OF WAY LINE OF SAGE ROAD, S.W., FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "RADIO" BEARS S 48°56'13" E, A DISTANCE OF 137.33 FEET;
- THENCE FROM SAID BEGINNING POINT, CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, S 84°25'44" W, A DISTANCE OF 204.58 FEET TO AN ANGLE POINT;
- THENCE S 83°54'08" W, A DISTANCE OF 407.99 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT, MARKED BY A FOUND PK NAIL WITH WASHER "PS 8686";
- THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 05°57'11" W, A DISTANCE OF 197.29 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT, MARKED BY A FOUND PK NAIL WITH WASHER "PS 8686";
- THENCE S 88°58'27" E, A DISTANCE OF 616.65 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT LYING ON SAID WEST RIGHT OF WAY LINE OF UNSER BOULEVARD, S.W., MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 8686";
- THENCE CONTINUING ALONG SAID WEST RIGHT OF WAY LINE, S 06°10'48" E, A DISTANCE OF 122.70 FEET TO THE POINT OF BEGINNING, HAVING AN AREA OF 2.2400 ACRES (97,576 SQUARE FEET) MORE OR LESS, NOW COMPRISING TRACT A, SAGE ARCADE.

**Free Consent and Dedication**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

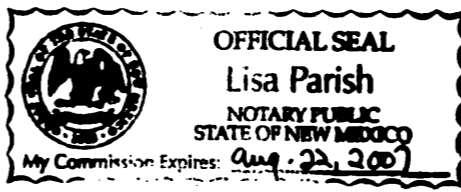
SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ADDITIONAL RIGHT OF WAY FOR UNSER BOULEVARD, S.W. AND SAGE ROAD, S.W., SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

*[Signature]*  
GREGORY SANCHEZ  
MANAGER  
SAGE RETAIL, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY  
7-25-06  
DATE

**Acknowledgment**

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) SS

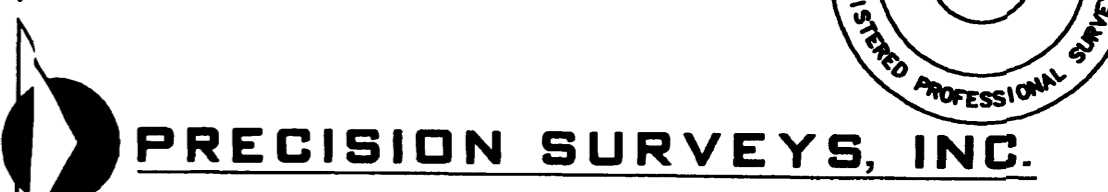
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 25<sup>th</sup> DAY OF July, 2006 BY GREGORY SANCHEZ, MANAGER, SAGE RETAIL, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY.



**Surveyor's Certificate**

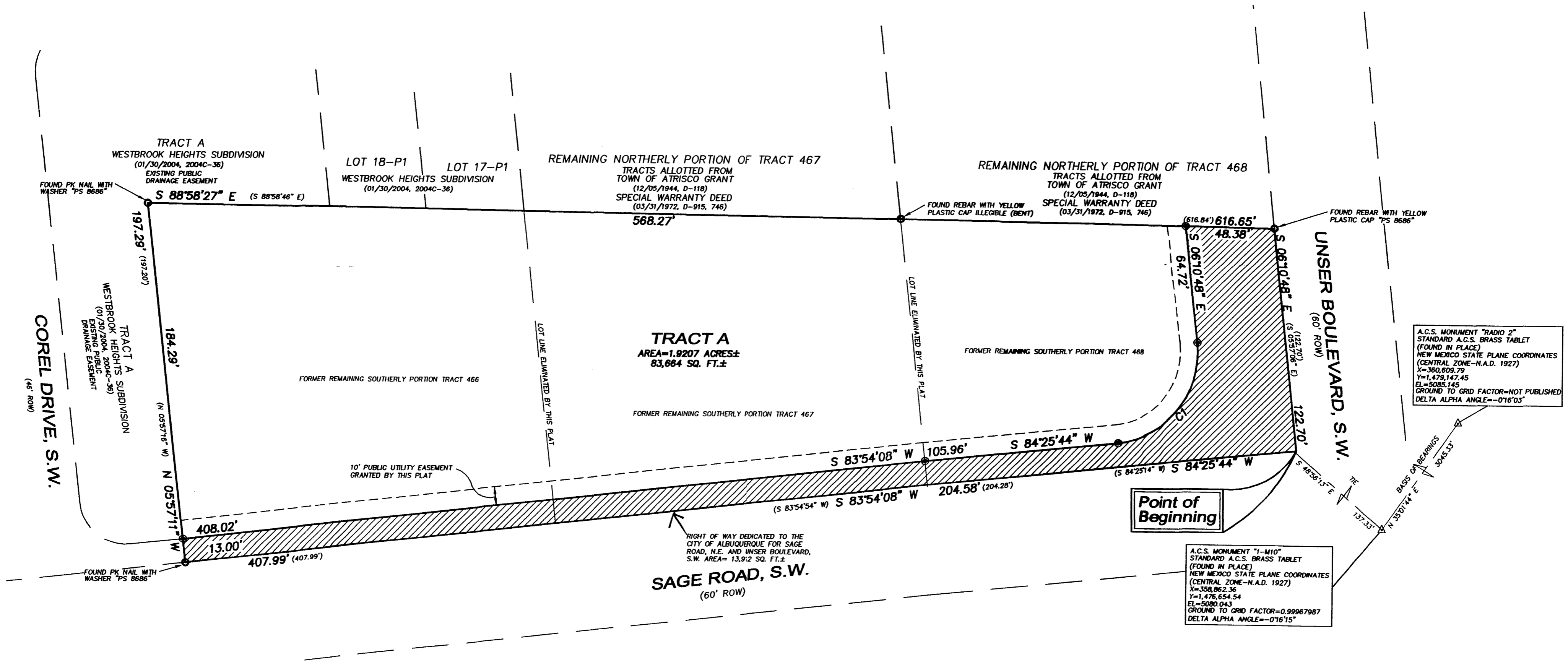
I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE BERNALILLO COUNTY AND THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*[Signature]*  
LARRY W. MEDRANO  
N.M.P.S. No. 11993  
7/24/06  
DATE



RECORDING STAMP

Plat of  
Tract A  
**Sage Arcada**  
Albuquerque, Bernalillo County, New Mexico  
June 2006

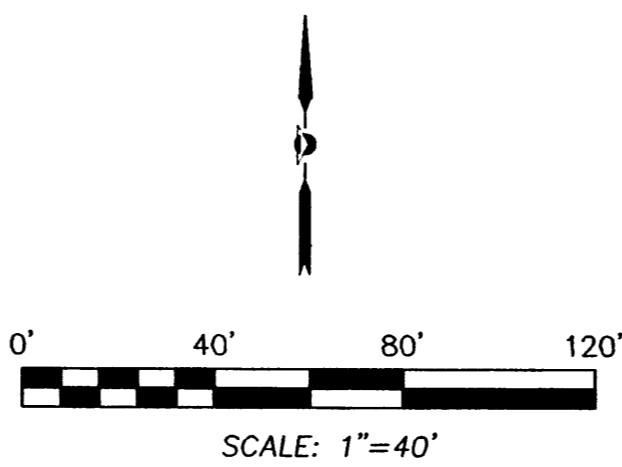


A.C.S. MONUMENT "RADIO 2"  
STANDARD A.C.S. BRASS TABLE  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1927)  
X=360,609.79  
Y=1,479,147.45  
EL.=5085.145  
GROUND TO GRID FACTOR=NOT PUBLISHED  
DELTA ALPHA ANGLE=-0°16'03"

A.C.S. MONUMENT "1-M10"  
STANDARD A.C.S. BRASS TABLE  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1927)  
X=358,062.36  
Y=1,476,654.54  
EL.=5080.043  
GROUND TO GRID FACTOR=0.99967987  
DELTA ALPHA ANGLE=-0°16'15"

**Legend**

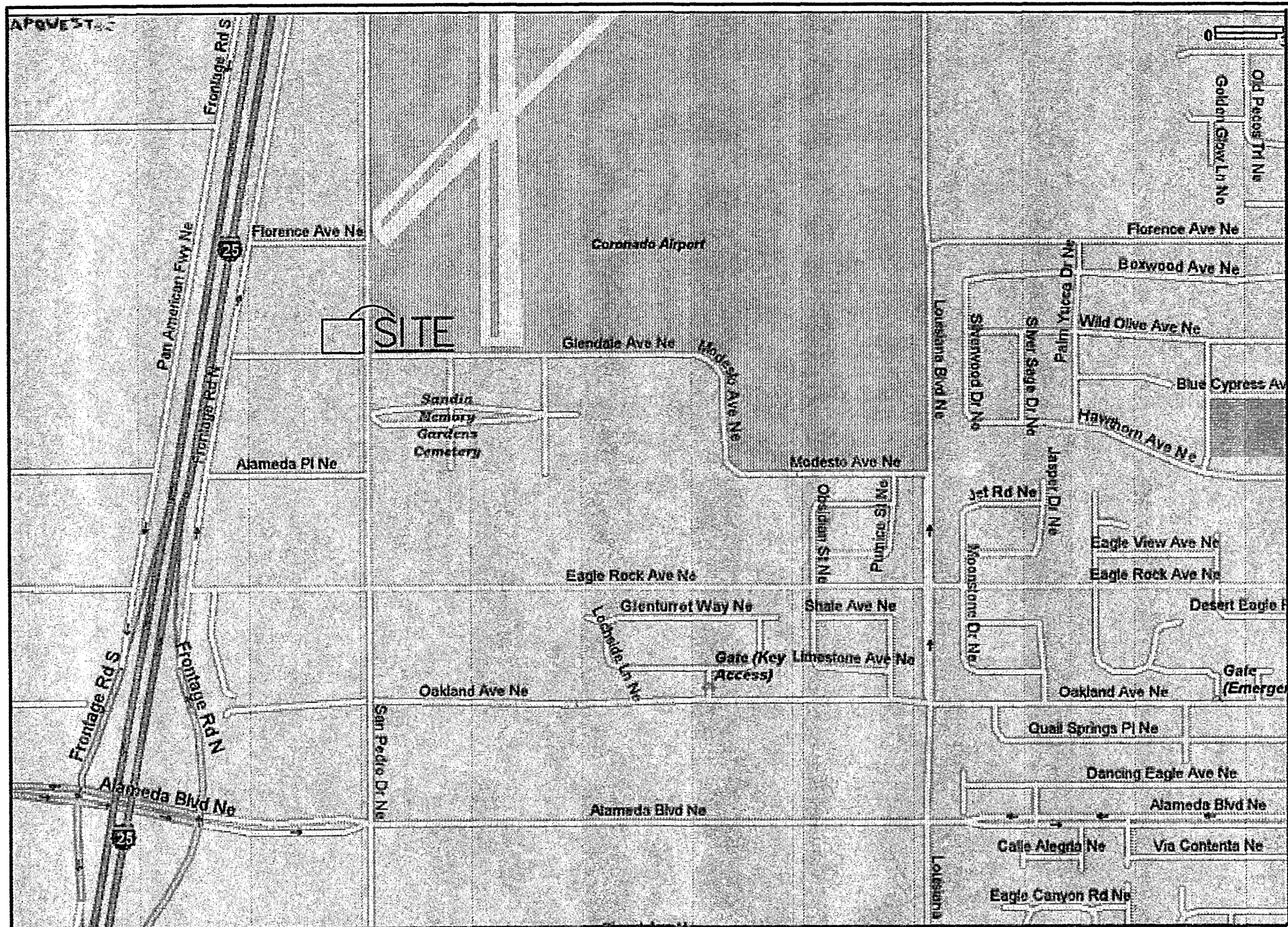
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
N 90°00'00" E	MEASURED BEARING AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
●	DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY



**PRECISION SURVEYS, INC.**  
8414-D JEFFERSON ST., N.E. PHONE 505 856 5700

065333P.dwg, 7/24/2006 4:54:13 PM





VICINITY MAP

ENGINEERING DEVELOPMENT PLAN

PREPARED FOR

KENYON PLASTERING

9601 SAN PEDRO AVE. NE  
 LOT #17, TRACT A; UNIT B, NORTH ALBUQUERQUE  
 ALBUQUERQUE, NEW MEXICO

INDEX OF SHEETS

NO. TITLE

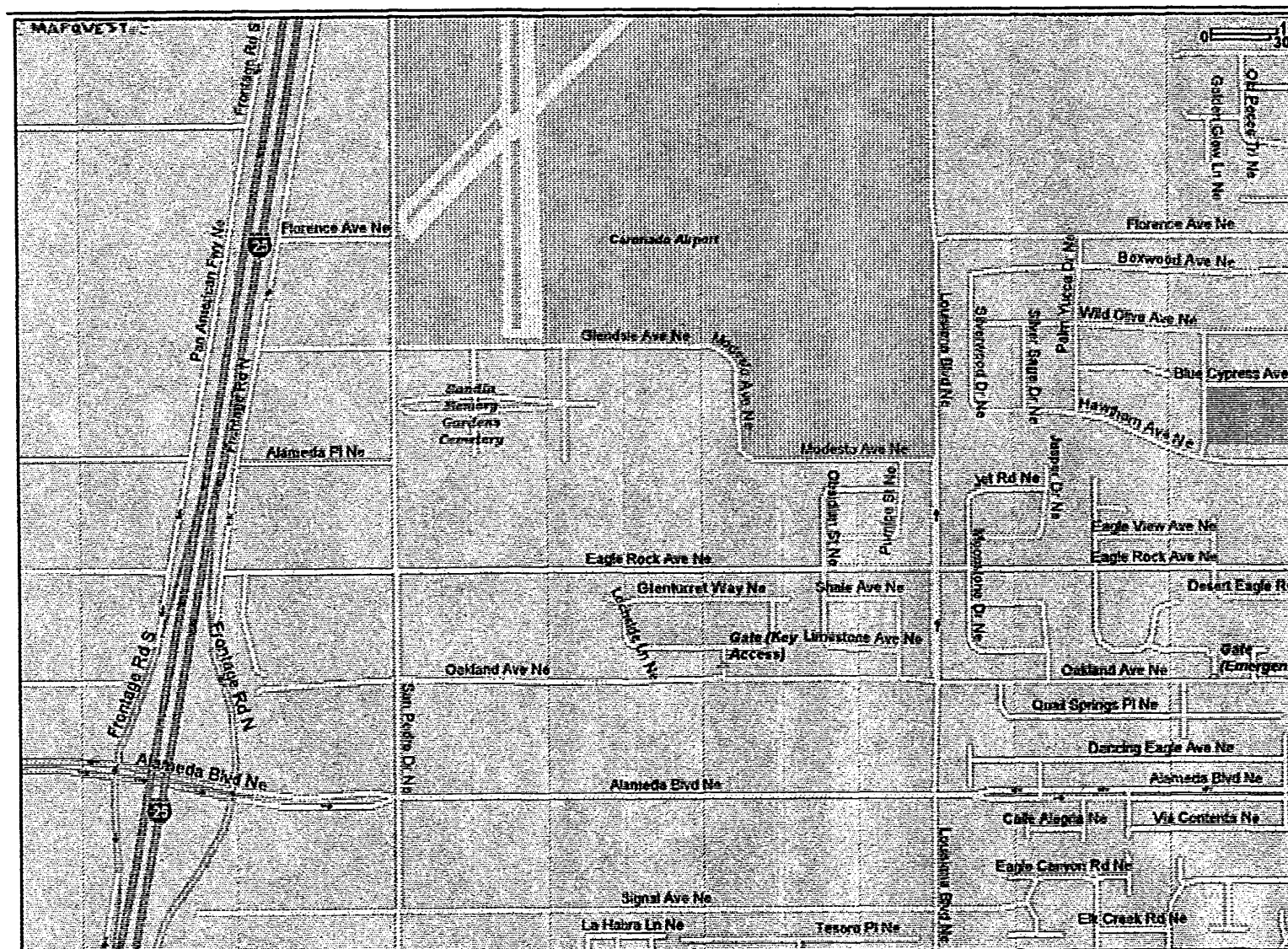
1. COVER SHEET
- 2-3. BOUNDARY SURVEY
4. EXISTING TOPOGRAPHY/ SITE CONDITIONS
5. DEVELOPMENT PLAN
6. GRADING AND DRAINAGE
7. RIGHT OF WAY IMPROVEMENTS

PREPARED FOR:

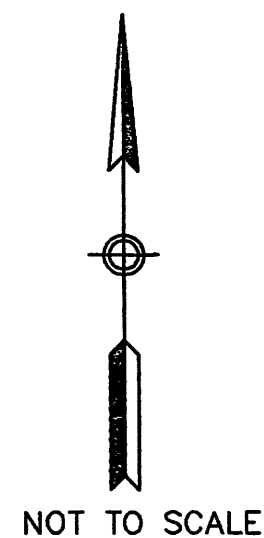
KENYON PLASTERING  
 9601 SAN PEDRO AVE. NE  
 ALBUQUERQUE, NEW MEXICO

LAND DEVELOPMENT CONSULTANTS , LLC.			
County of Santa Fe	Reviewed By	Date	PROJECT FOR: <b>KENYON PLASTERING</b> CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
			Title: SITE DEVELOPMENT PLAN
			Design: LAND DEVELOPMENT CONSULTANTS, LLC 5620 B.MODESTO AVE. NE, ALBUQUERQUE, NM 87113
			Scale: Drawn By: D.V.
MAP NO.	SHEET NO. 1 OF 9		DATE: JULY 2006





VICINITY MAP



NOT TO SCALE

LEGAL DESCRIPTION

LOT 17, BLOCK 7, NORTH ALBUQUERQUE ACRES, TRACT A-UNIT B AS THE SAME AS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 24, 1936 IN MAP BOOK 96C, PAGE 87.

FREE CONSENT

THE LOT LINE ADJUSTMENT AND RIGHT-OF-WAY DEDICATION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND/OR PROPRIETORS THEREOF. SAID OWNERS/PROPRIETORS DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN THE FEE SIMPLE TO THE LAND SUBDIVIDED.

GENERAL MANAGER BY POWER OF ATTORNEY:

WILLIE MARTINEZ

STATE OF NEW MEXICO ) SS  
COUNTY OF BERNALILLO )

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2006, BY JESUS AND CINDY FRAIRE (HUSBAND AND WIFE).

NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_

DISCLOSURE STATEMENT:

1. THE PURPOSE OF THIS PLAT IS TO DEDICATE RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE.

GENERAL NOTES:

1. PLAT OF SURVEY ENTITLED "NORTH ALBUQUERQUE ACRES, TRACT A-UNIT B" FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO MAY, SITUATED IN SAN JOSE PRECINCT, NO. 1..." FILED IN THE MEXICO IN PLAT BOOK 96C, PAGE 87.
2. WARRANTY DEED FROM PREMIER PLASTERING, INC. TO KENYON CONSTRUCTION, INC. FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO IN BOOK 9627, PAGE 6924.
3. PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO LOT 17, BLOCK 7, TRACT A-UNIT B NORTH ALBUQUERQUE ACRES, MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE, VIA A REQUEST FOR A WATER AND SANITARY SEWER AVAILABILITY STATEMENT.
4. UNLESS NOTED NO. 5 REBAR WITH YELLOW CAP STAMPED RPLS 7429 WERE SET AT ALL PROPERTY CORNERS.
5. THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
6. TOTAL AREA OF PROPERTY: 0.7252 ACRES.
7. TALOS LOG NO. 2006141744
8. BASIS OF BEARING IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
9. DISTANCES ARE GROUND BEARINGS ARE GRID.
10. BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
11. DATE FIELD WORK: MARCH 2, 2006
12. CURRENT ZONING: SU-2 IP

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- A. PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- B. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- C. QWEST COMMUNICATIONS FOR INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED GROUND PEDESTALS AND CLOSURES.
- D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE, OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC#:

PROPERTY OWNER OF RECORD:

BERNALILLO CO. TREASURES OFFICE:

PLAT OF  
LOT 17, BLOCK 7  
NORTH ALBUQUERQUE ACRES  
TRACT A - UNIT B

WITHIN SECTION 12, TOWNSHIP 11 NORTH,  
RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY,  
NEW MEXICO  
MARCH 2006

PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

WATER UTILITY DEPARTMENT DATE

PARKS AND RECREATION DEPARTMENT DATE

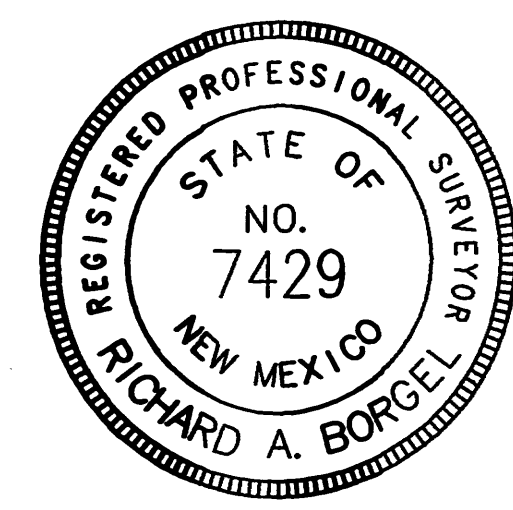
CITY ENGINEER DATE

\* ENVIROMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE

SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

\* ENVIROMENTAL HEALTH, IF NECESSARY



SURVEYORS CERTIFICATE

I, RICHARD A. BORDEL, A REGISTERED PROFESSIONAL SURVEYOR LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL FIELD SURVEY BY ME OR UNDER MY DIRECT SUPERVISION MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND THE STANDARDS FOR LAND SURVEYS OF THE NEW MEXICO BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL EXISTING IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

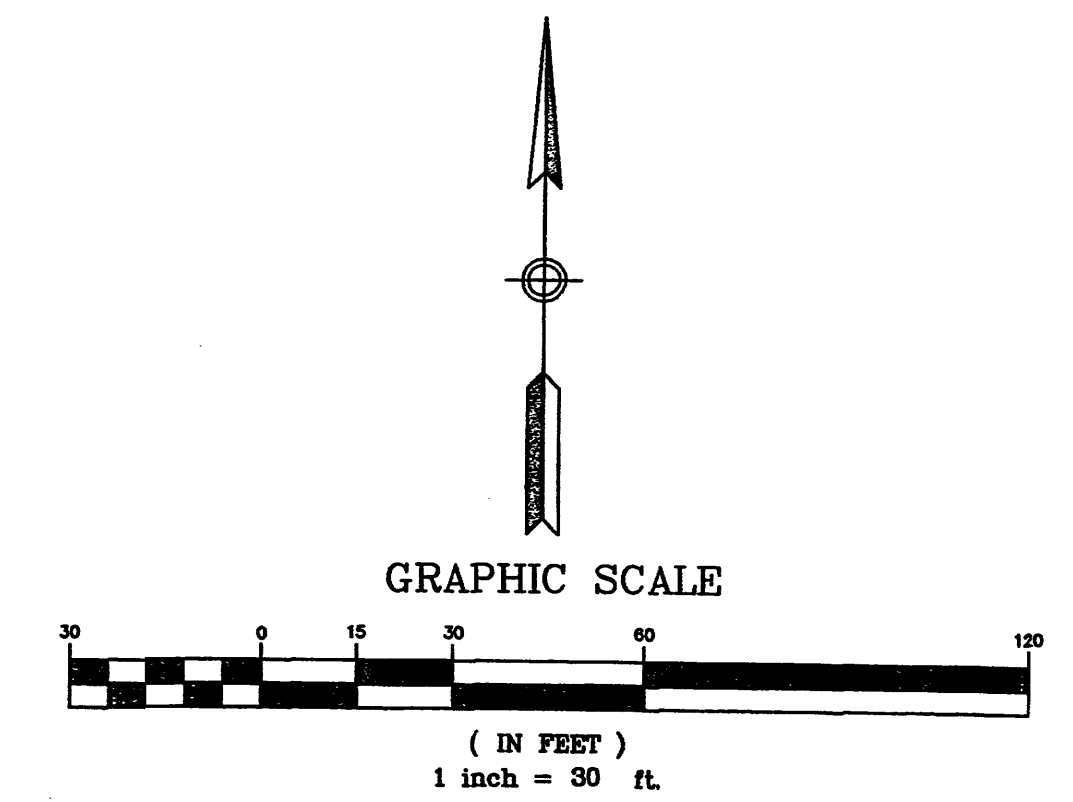
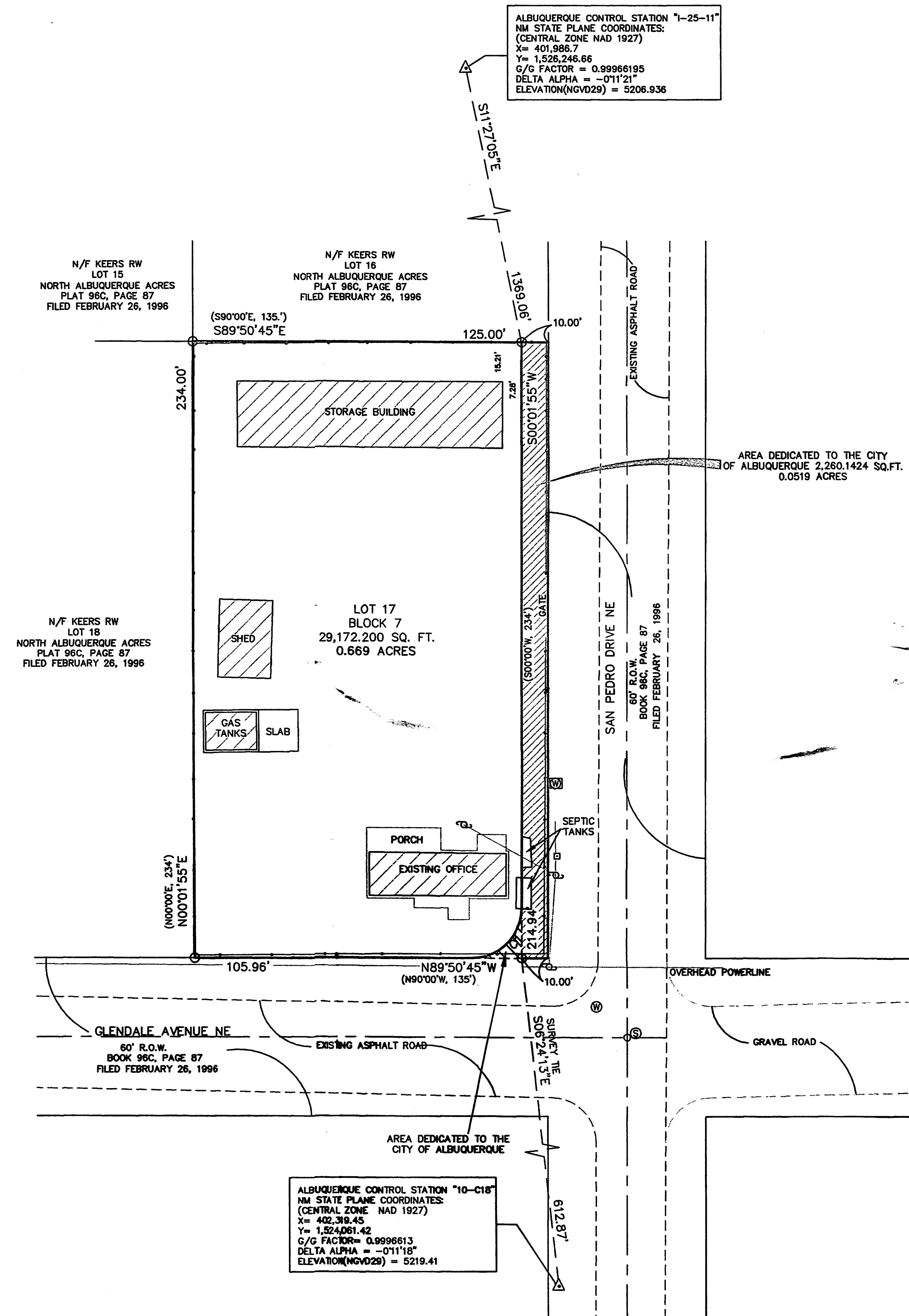
RICHARD A. BORDEL  
N.M.R.P.L.S. NO. 7429

DATE

LAND DEVELOPMENT CONSULTANTS, LLC.

City of Albuquerque	Reviewed By	Date	PROJECT FOR:
			KENYON CONSTRUCTION INC. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
			Title:
			Design: LAND DEVELOPMENT CONSULTANTS, LLC 5620 B. MODESTO AVENUE NE, ALBUQUERQUE, NM. 87113
			Scale: 1" = 20' Drawn By: D.V.
MAP NO.			Sheet No. 2 OF 9 Date: Apr. 2006

PLAT OF  
 LOT 17, BLOCK 7  
 NORTH ALBUQUERQUE ACRES  
 TRACT A - UNIT B  
 WITHIN SECTION 12, TOWNSHIP 11 NORTH,  
 RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY,  
 NEW MEXICO  
 MARCH 2006

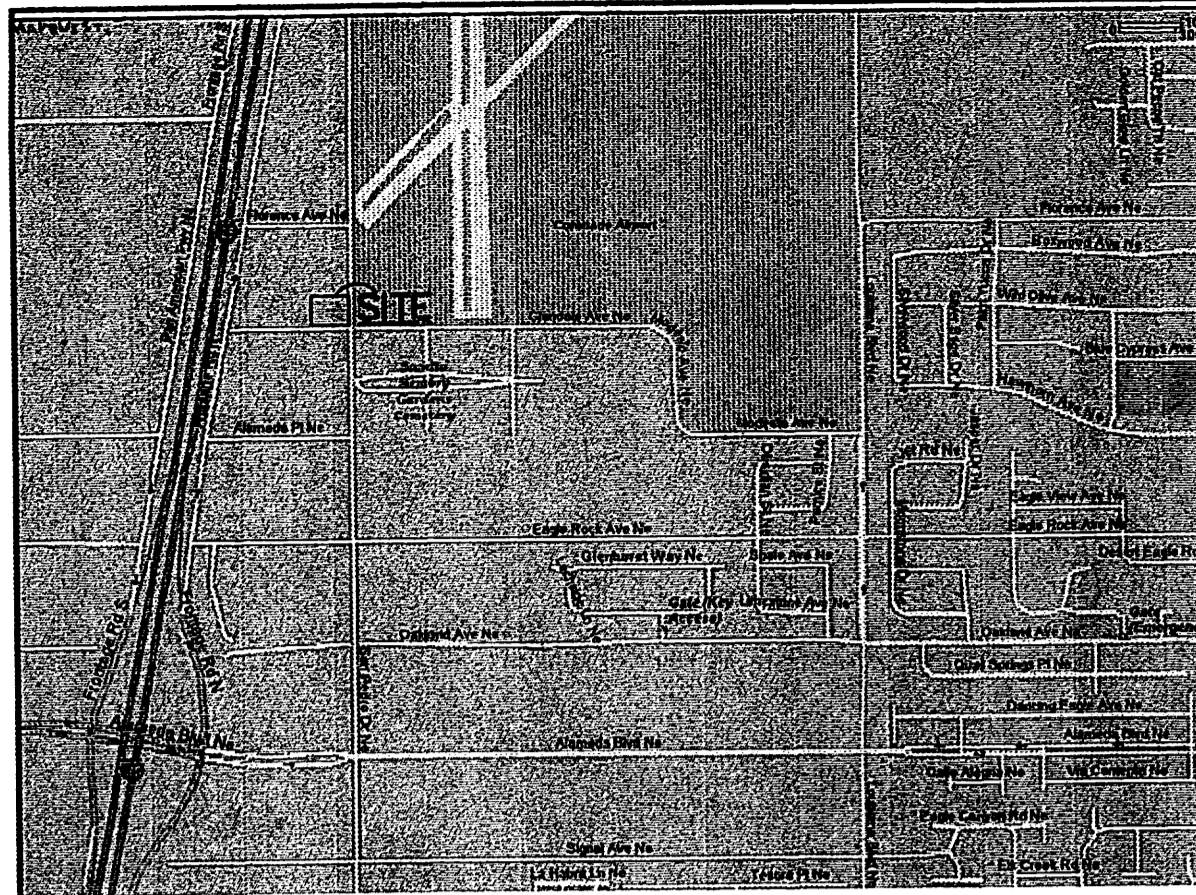


- LEGEND**
- DESIGNATES 5/8" REBAR WITH YELLOW CAP MARKED RPLS 7429 SET THIS SURVEY
  - DESIGNATES 1/2" REBAR YELLOW CAP MARKED 7429 UNLESS OTHERWISE SHOWN
  - △ DESIGNATES ALBUQUERQUE CONTROL STATION MONUMENT
  - ⊙ DESIGNATES SANITARY SEWER MANHOLE
  - ⊕ DESIGNATES ELECTRIC METER
  - ⊗ DESIGNATES GAS METER
  - ⊞ DESIGNATES TELEPHONE PEDESTAL
  - ⊚ DESIGNATES WATER METER
  - ⊛ DESIGNATES POWER/UTILITY POLE

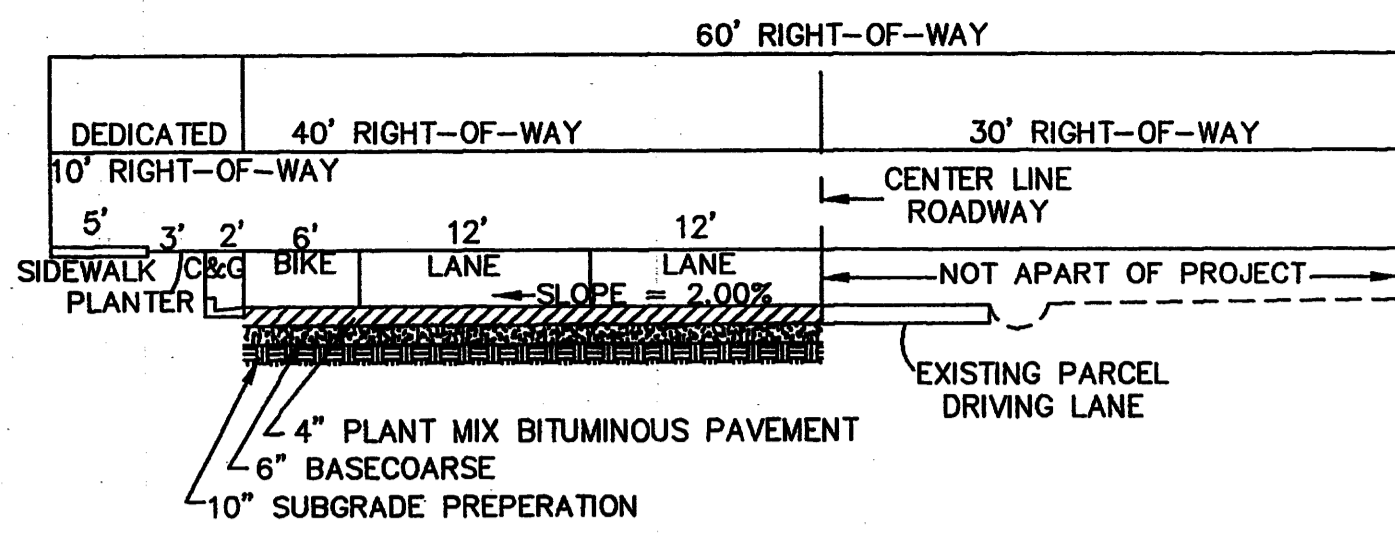
**LAND DEVELOPMENT CONSULTANTS, LLC.**

City of Albuquerque	Reviewed By	Date	PROJECT FOR:
			KENYON CONSTRUCTION INC. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
			Title: BOUNDARY SURVEY
			Design: LAND DEVELOPMENT CONSULTANTS, LLC 5620 B. MODESTO AVENUE NE, ALBUQUERQUE, NM. 87113
			Scale: 1" = 20'
			Drawn By: D.V.
MAP NO.			Sheet No. 3 OF 9
			Date: Apr. 2006

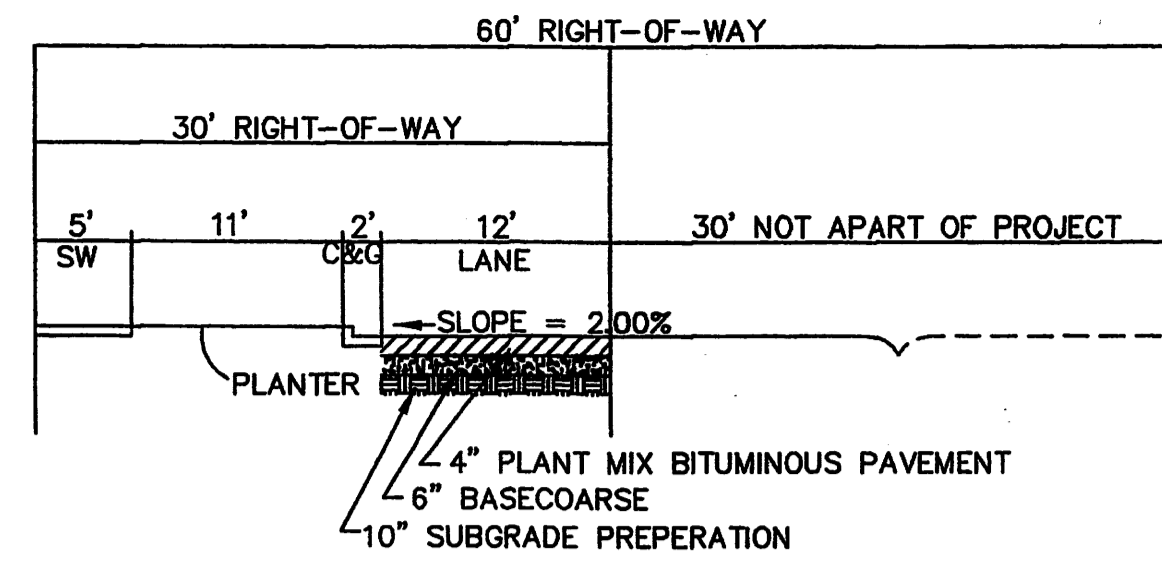




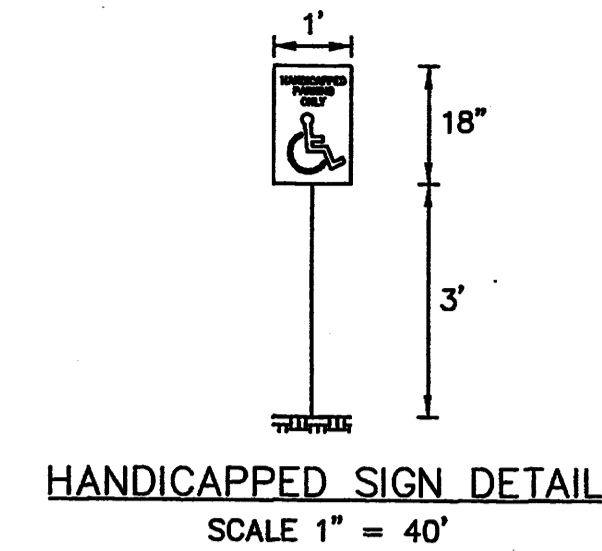
VICINITY MAP



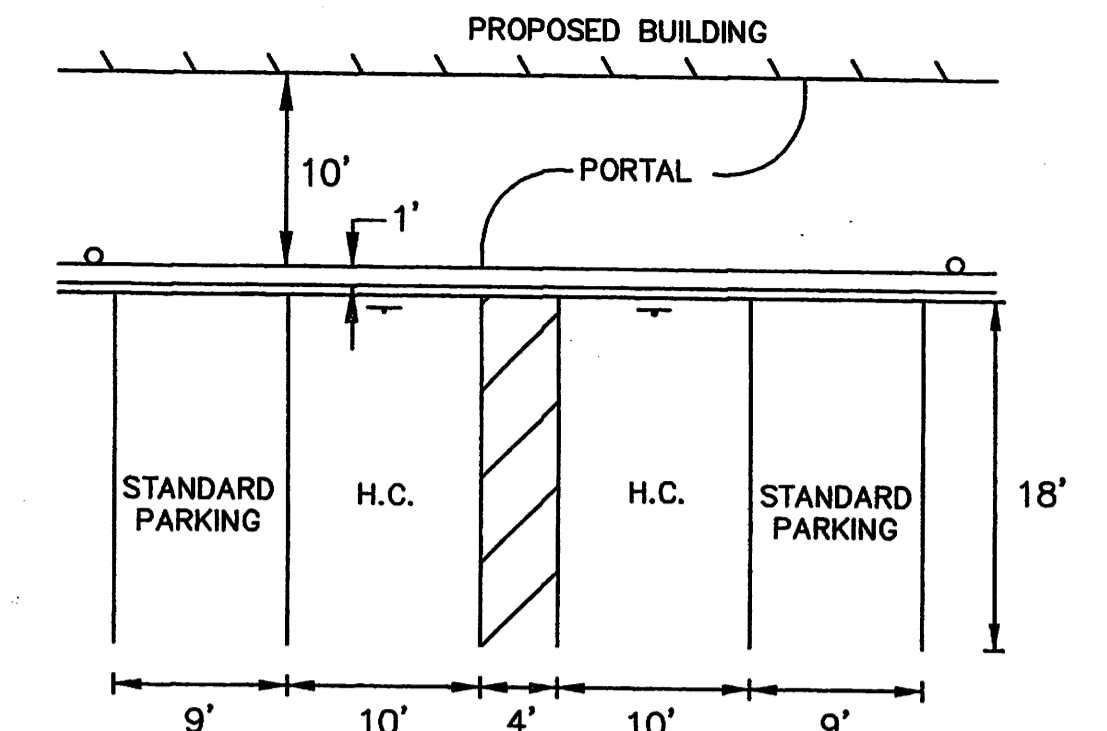
TYPICAL ROADWAY SECTION  
SUB COLLECTOR ROAD WITH A MODIFIED RIGHT-OF-WAY  
SAN PEDRO DRIVE NE  
SCALE 1" = 10'



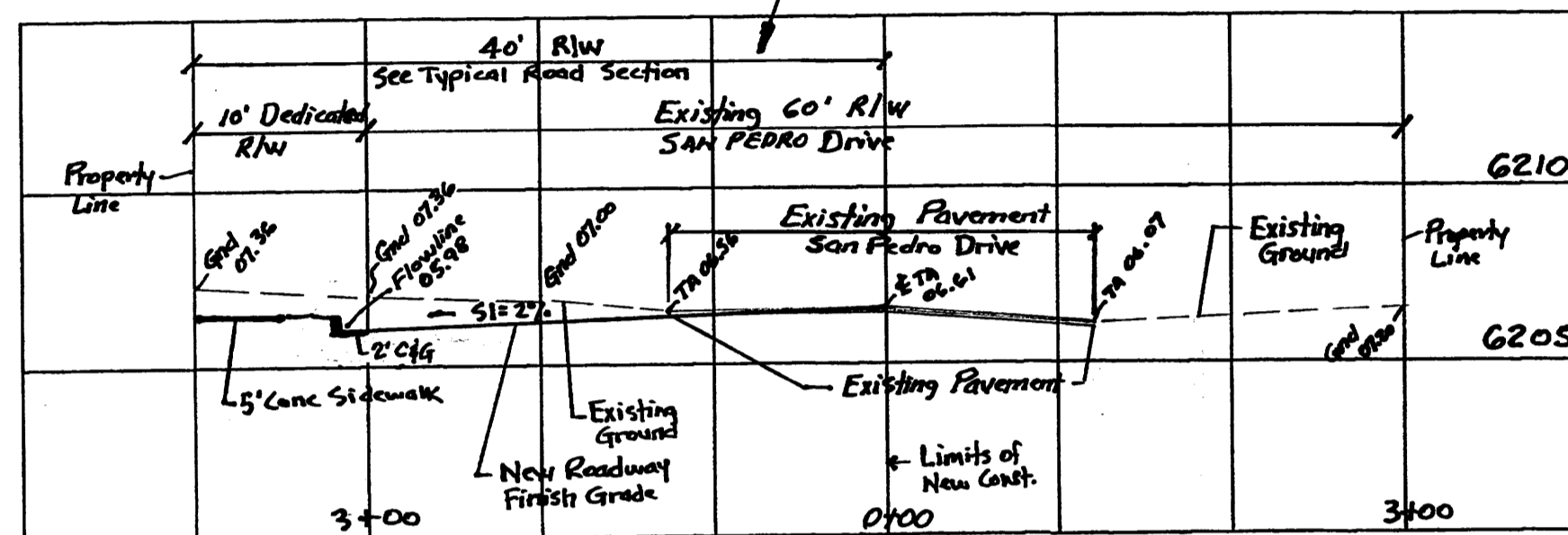
TYPICAL ROADWAY SECTION  
ARTERIAL STREET  
GLENDALE AVENUE NE  
SCALE 1" = 10'



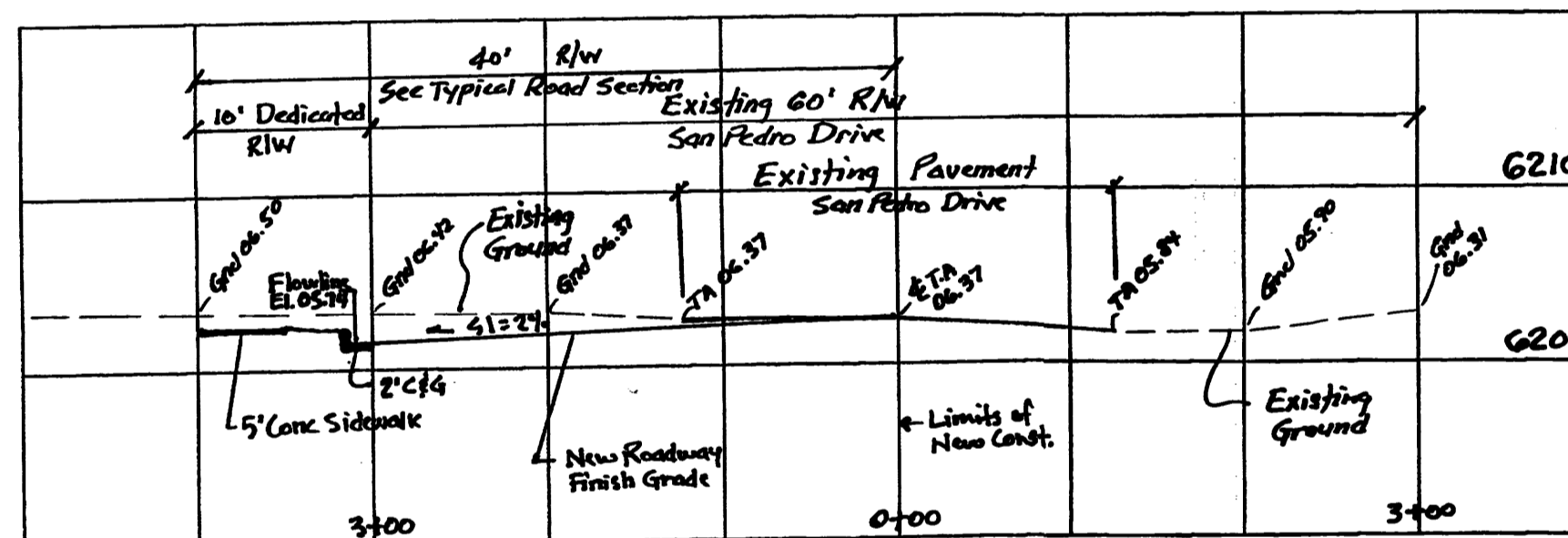
HANDICAPPED SIGN DETAIL  
SCALE 1" = 40'



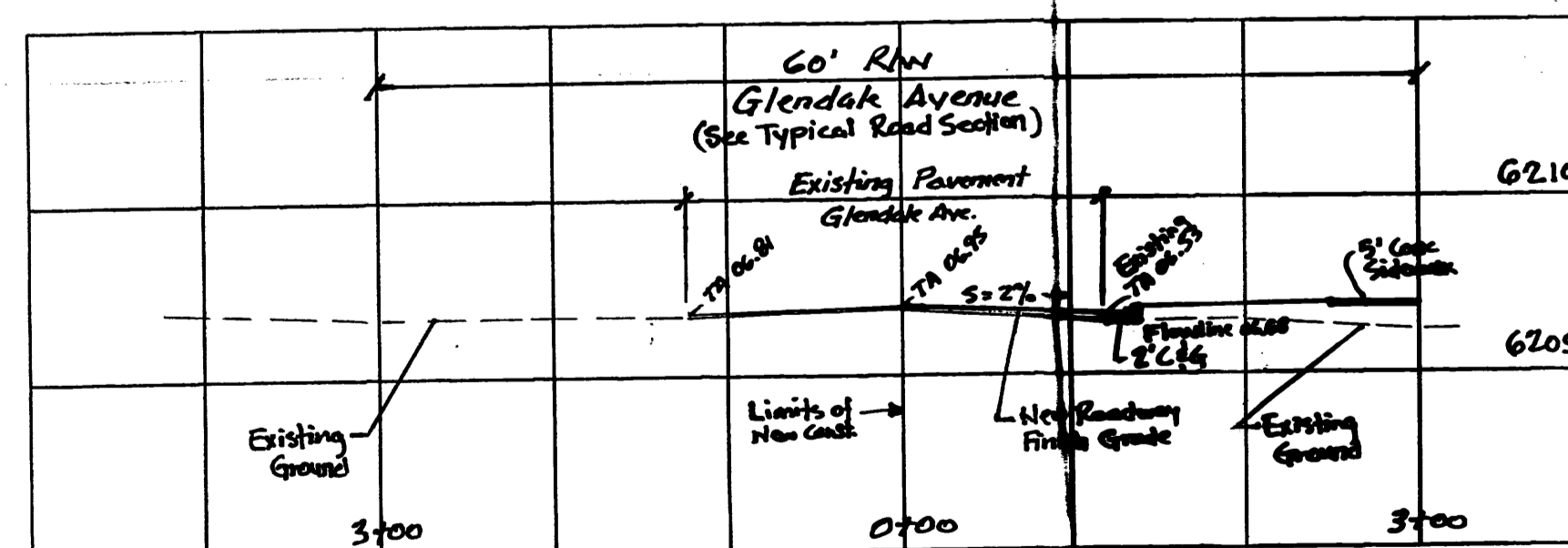
STANDARD PARKING DETAIL  
SCALE 1" = 10'



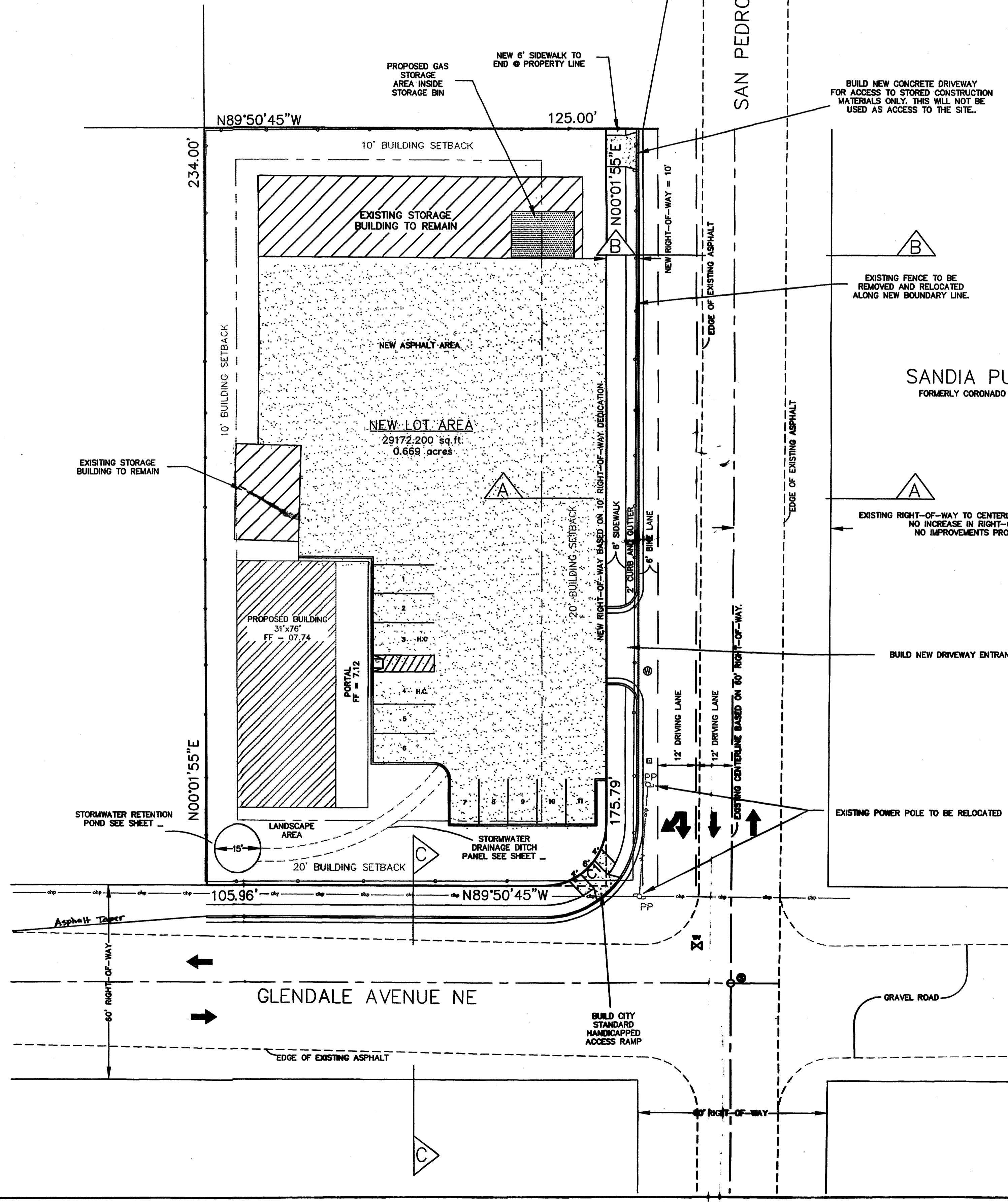
SECTION A-A  
STA 1+50  
SAN PEDRO DRIVE NE  
SCALE 1" = 5' VERT.  
1" = 10' HORIZ.



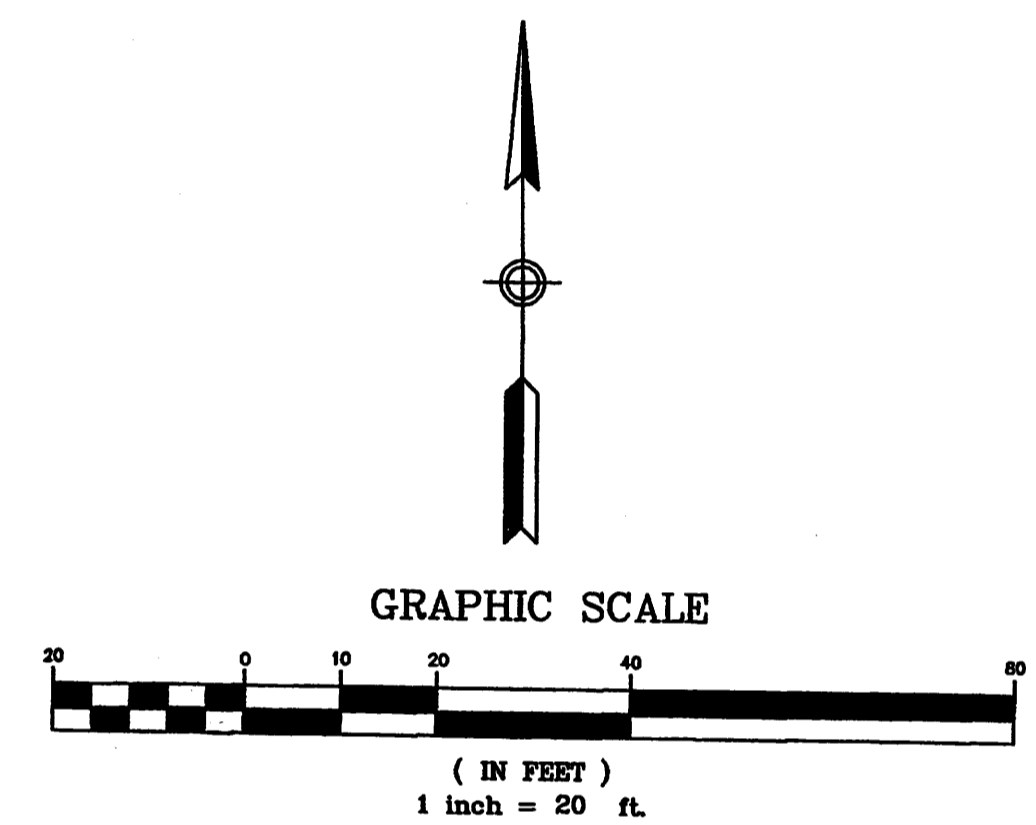
SECTION B-B  
STA 2+25  
SAN PEDRO DRIVE NE  
SCALE 1" = 5' VERT.  
1" = 10' HORIZ.



SECTION C-C  
STA 1+50  
GLENDALE AVENUE NE  
SCALE 1" = 5' VERT.  
1" = 10' HORIZ.



SANDIA PUEBLO  
FORMERLY CORONADO AIRPORT



LOT 17, BLOCK 7, NORTH ALBUQUERQUE ACRES. TOTAL LOT AREA 0.6715 ACRES OR 29,250.0664 SQUARE FEET.

**BUILDING SETBACKS**  
FRONT (15') FIFTEEN FOOT  
REAR (10') TEN FOOT  
SIDE (10') TEN FOOT  
PER NORTH ALBUQUERQUE CORRIDOR PLAN FOR SU-2 ZONING.

CURVE		CURVE TABLE			
CL	LENGTH	RADIUS	BEARING	CHORD	DELTA
C1	29.89	19.00	S45°05'35"W	26.90	90°07'20"

- DENOTES PROPOSED ASPHALT AREA
- DENOTES PROPOSED CONCRETE AREA
- DENOTES PROPOSED BUILDING
- DENOTES EXISTING BUILDING TO REMAIN

LAND DEVELOPMENT CONSULTANTS, LLC.			
City of Albuquerque	Reviewed By	Date	PROJECT FOR: KENYON CONSTRUCTION INC. CITY OF ALBUQUERQUE, BERNALLILLO COUNTY, NEW MEXICO
			Title: SITE PLAN
			Design: LAND DEVELOPMENT CONSULTANTS, LLC 5620 B. MODESTO AVENUE NE, ALBUQUERQUE, NM, 87113
			Scale: 1" = 20'
			Drawn By: D.V.
MAP NO.	Sheet No.	Date: Apr. 2006	



PLANT LIST

Broadleaf Deciduous

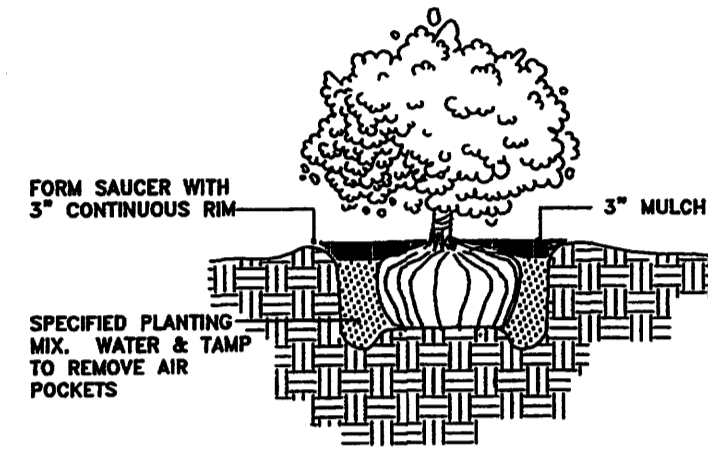
Quantity	Symbol	Scientific Name	Common Name	Code Name	Planting Size
7		<i>Fraxinus pennsylvanica</i> 'Patmore'	Patmore Ash	FraxPat	2"-Cal

Conifer Evergreen

Quantity	Symbol	Scientific Name	Common Name	Code Name	Planting Size
19		<i>Juniperus sabina</i> 'Scandia'	Scandia Juniper	JunScan	5-Gal
8		<i>Juniperus scopulorum</i>	Rocky Mountain juniper	Jusc	6'-8'

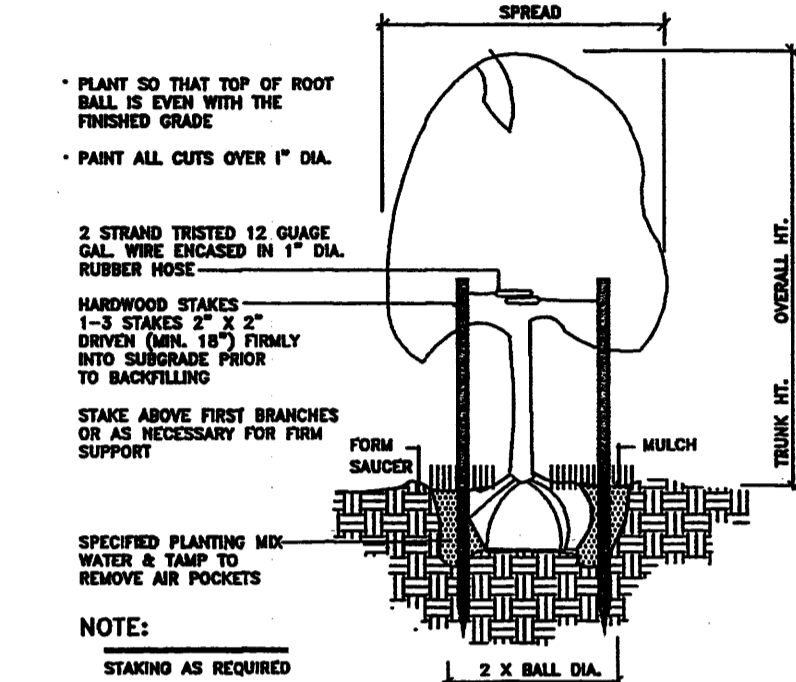
Shrub

Quantity	Symbol	Scientific Name	Common Name	Code Name	Planting Size
11		<i>Buddleja davidii</i> 'Pink Delight'	Pink Butterfly Bush	BudPiink	5-Gal
21		<i>Perovskia atriplicifolia</i>	Russian Sage	PerRus	5-Gal
13		<i>Potentilla fruticosa</i> 'McKay's White'	McKay's White Potentilla	PotWhit	5-Gal



SHRUB PLANTING

SCALE: NOT TO SCALE



TREE PLANTING - VERTICAL STAKES

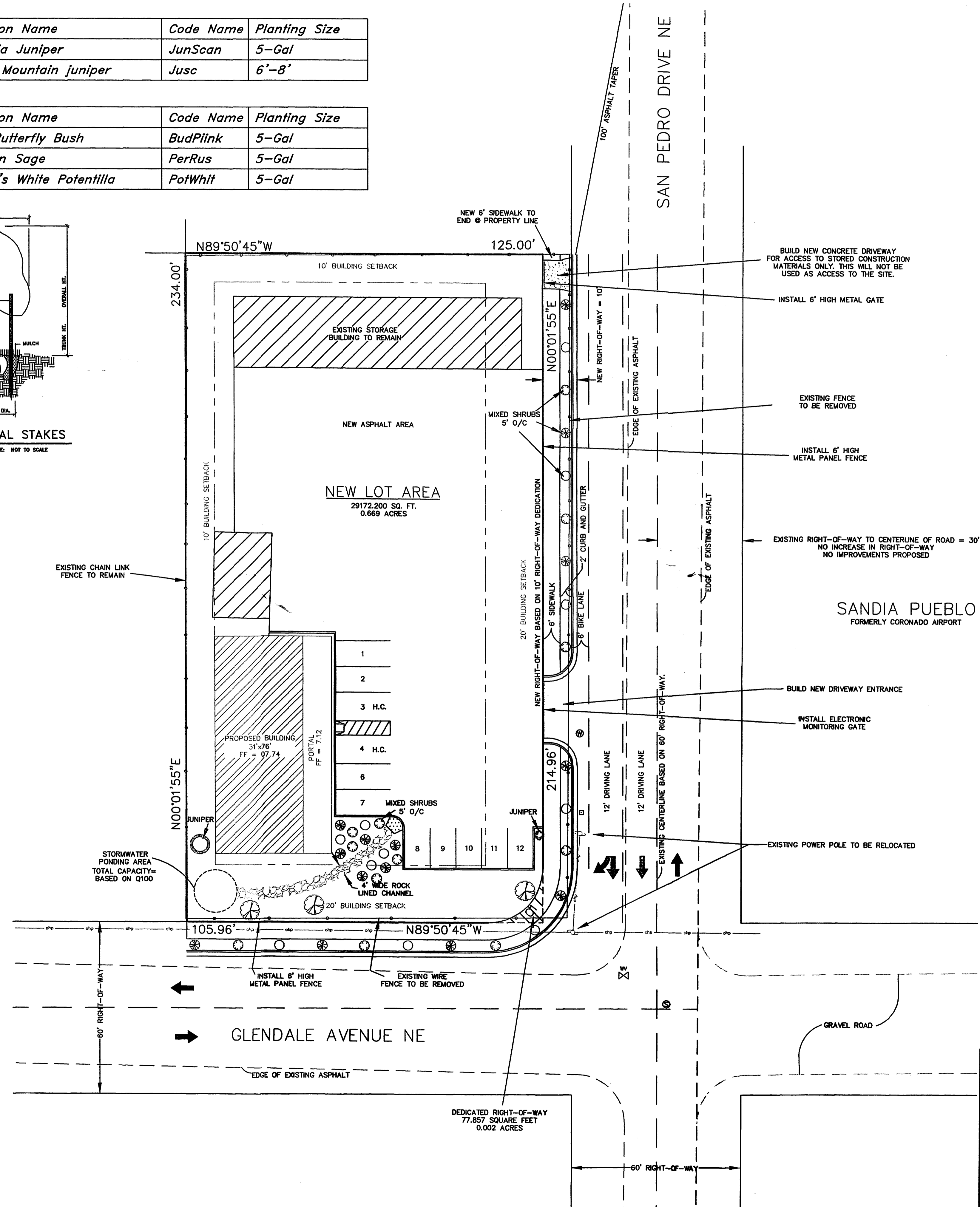
SCALE: NOT TO SCALE

PLANTING SPECIFICATIONS

- All plant material and plant substitutions are subject to approval by Owner and Landscape Architect. Location and orientation of all trees and shrubs shall be approved by Owner or Landscape Architect prior to installation or excavation of planting pits.
- All plant material shall conform to sizes given on the Plant List and shall meet with approval of Landscape Architect or shall be nursery grown in accordance with the 'American Standard for Nursery Stock', latest edition. All planting shall be in accordance with standard American Nurserymen procedures and specifications.
- Contractor shall verify the correct location of all underground utilities in the field prior to installation of a plant material or irrigation system.
- Backfill Mix for shrubs and trees shall consist by volume of: 1 part Back-to-Earth soil amendment (or equal) to 2 parts native soil. Native soil is to be cleared of all stones larger than 1 inch, debris, or other deleterious material. Planters II and Yum Yum Mix to be added per manufacturers recommendation. Add hydrated Broadleaf P-4 Water Storing Granules to soil mix in amount recommended by manufacturer. Mulch area as specified.
- Soil Preparation for Perennial Beds shall consist of placing 4 inches of Back-to-Earth soil amendment (or equal) on top of the plant bed and tilling (double digging) in to a depth of 12 inches. Add Planters II, Yum Yum Mix, and P4 Granules as specified above. Mulch as specified.
- Fertilizer shall be Gro-Power 7 gram tablets. Allow for 6 tablets per five gallon plant, 18 tablets per tree of 2 inch caliper or less, and 24 tablets per tree of 2-1/2" caliper or larger.
- Contractor shall guarantee Plant Material for a period of one year from date of completion of installation.

IRRIGATION SYSTEM NOTE

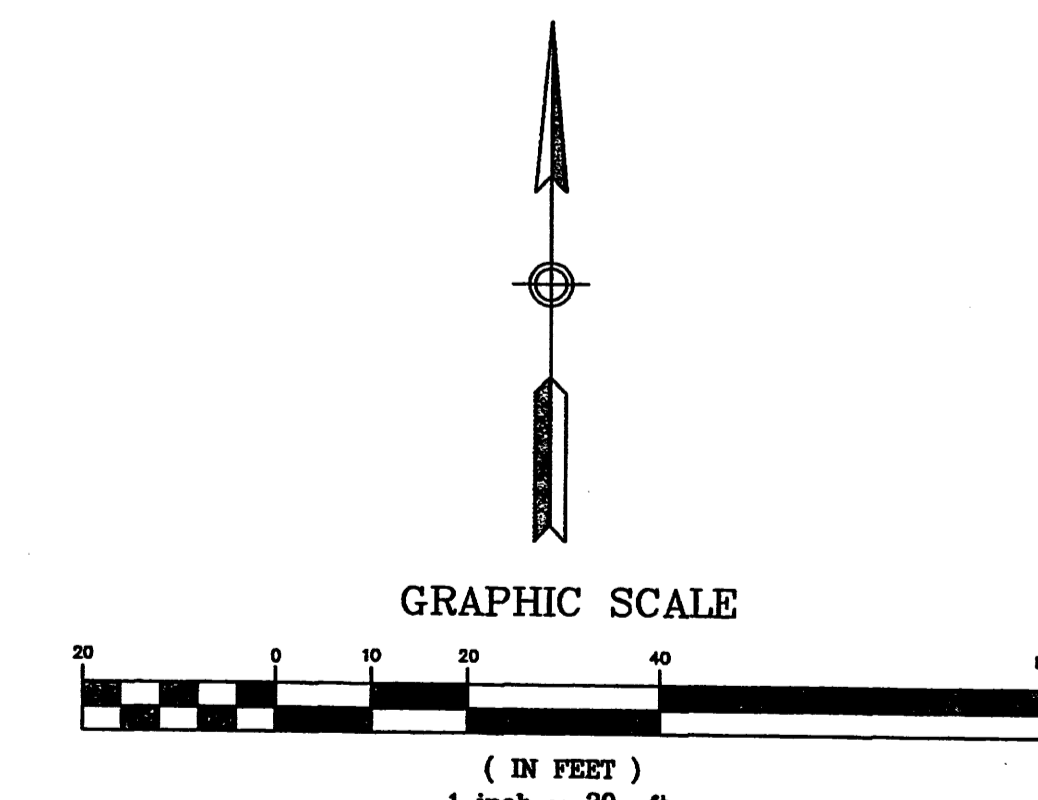
- Contractor shall install an irrigation system for all new plantings. Contractor shall submit a shop drawing of proposed system for review by landscape architect.
- Irrigation Plan shall incorporate all of the Santa Fe County Irrigation System Standards and shall comply with Uniform Building Code as regards backflow prevention and system installation.
- Controller/s shall be automatic, digital, and multi-programmable.
- Irrigation system shall be zoned based of plants having similar water use.



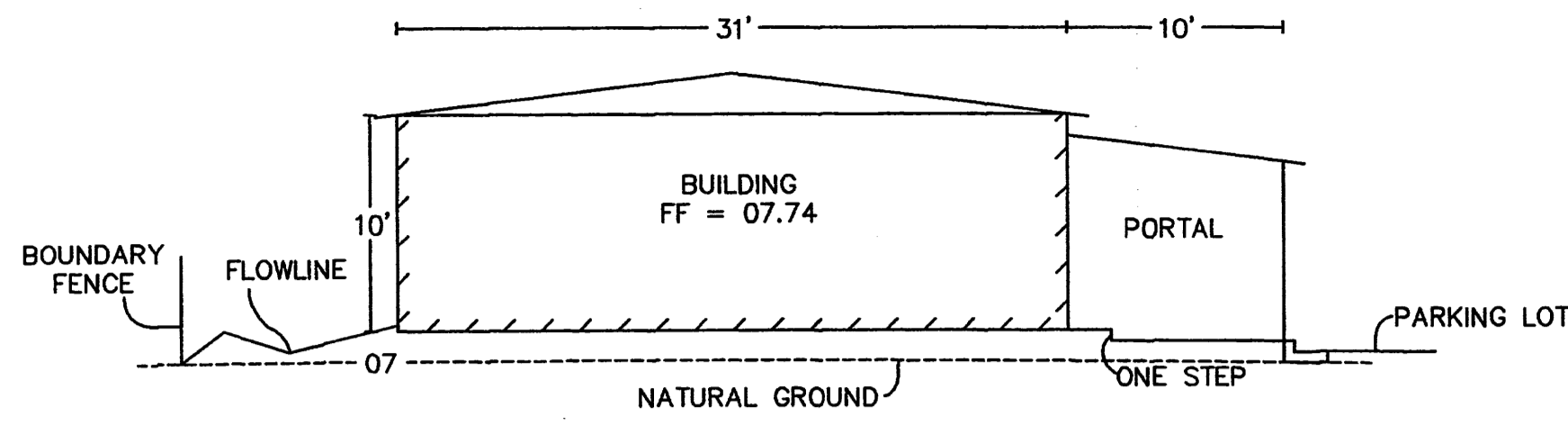
LEGEND

- DENOTES PROPOSED ASPHALT AREA
- DENOTES PROPOSED CONCRETE AREA
- DENOTES PROPOSED BUILDING
- DENOTES EXISTING BUILDING TO REMAIN

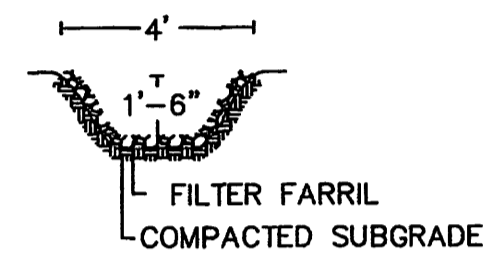
CURVE TABLE				
CURVE LENGTH	RADIUS	BEARING	CHORD	DELTA
CI	29.89	18.00	S45°07'28"W	28.90
				R09°20'



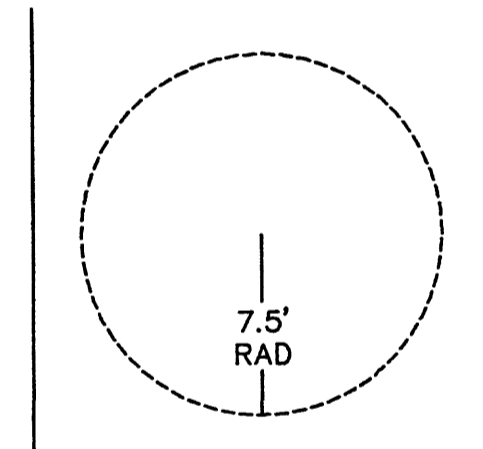
LAND DEVELOPMENT CONSULTANTS, LLC.				
City of Albuquerque	Reviewed By	Date	PROJECT FOR: KENYON CONSTRUCTION INC. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO	
			Title: SITE PLAN	
			Design: LAND DEVELOPMENT CONSULTANTS, LLC. 5620 B. MODESTO AVENUE NE, ALBUQUERQUE, NM. 87113	
			Scale: 1" = 20'	Drawn By: D.V.
MAP NO.	Sheet No.		Date: Apr. 2006	



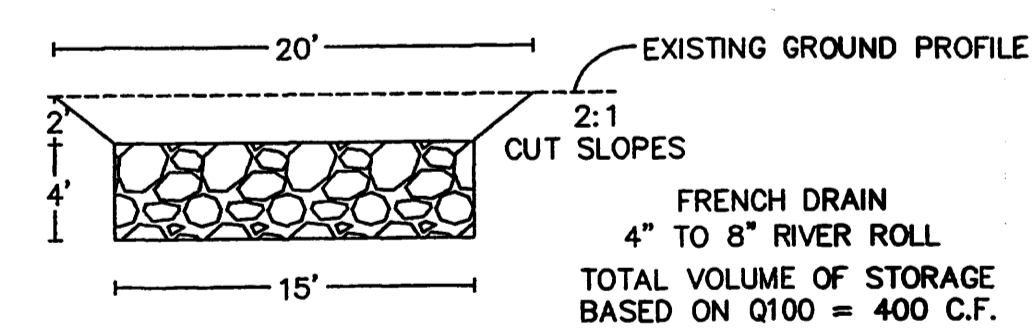
OFFICE FINISH CROSS SECTION  
SCALE 1"=8'



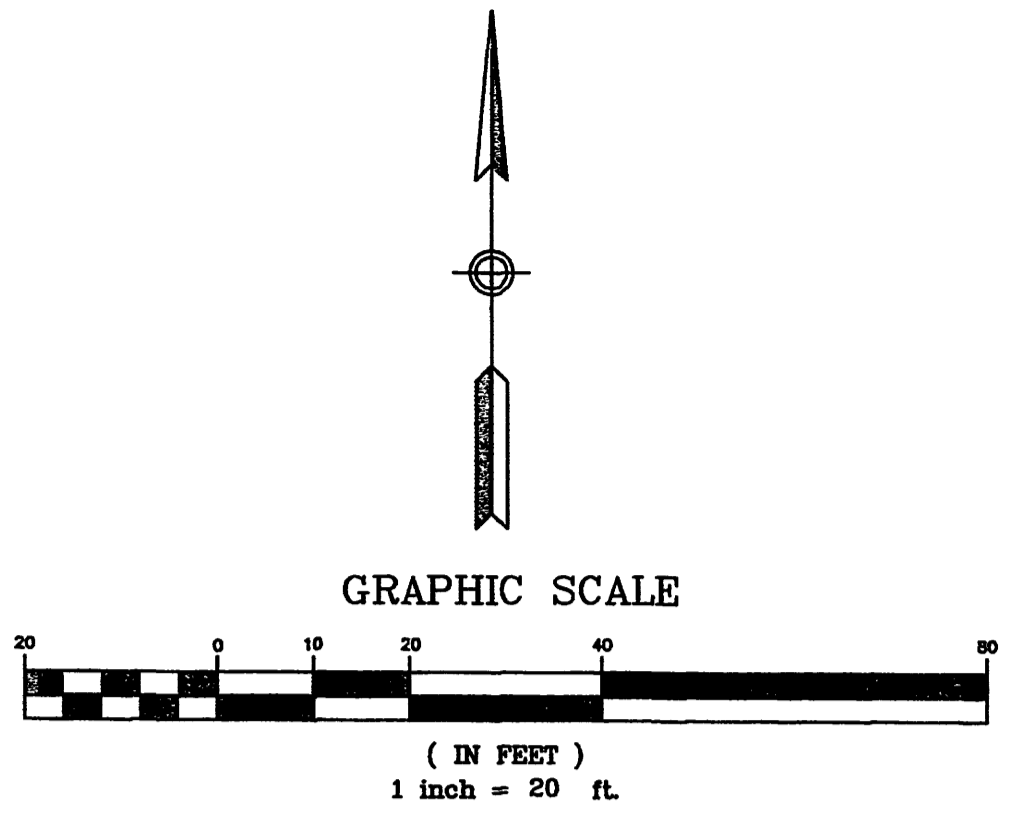
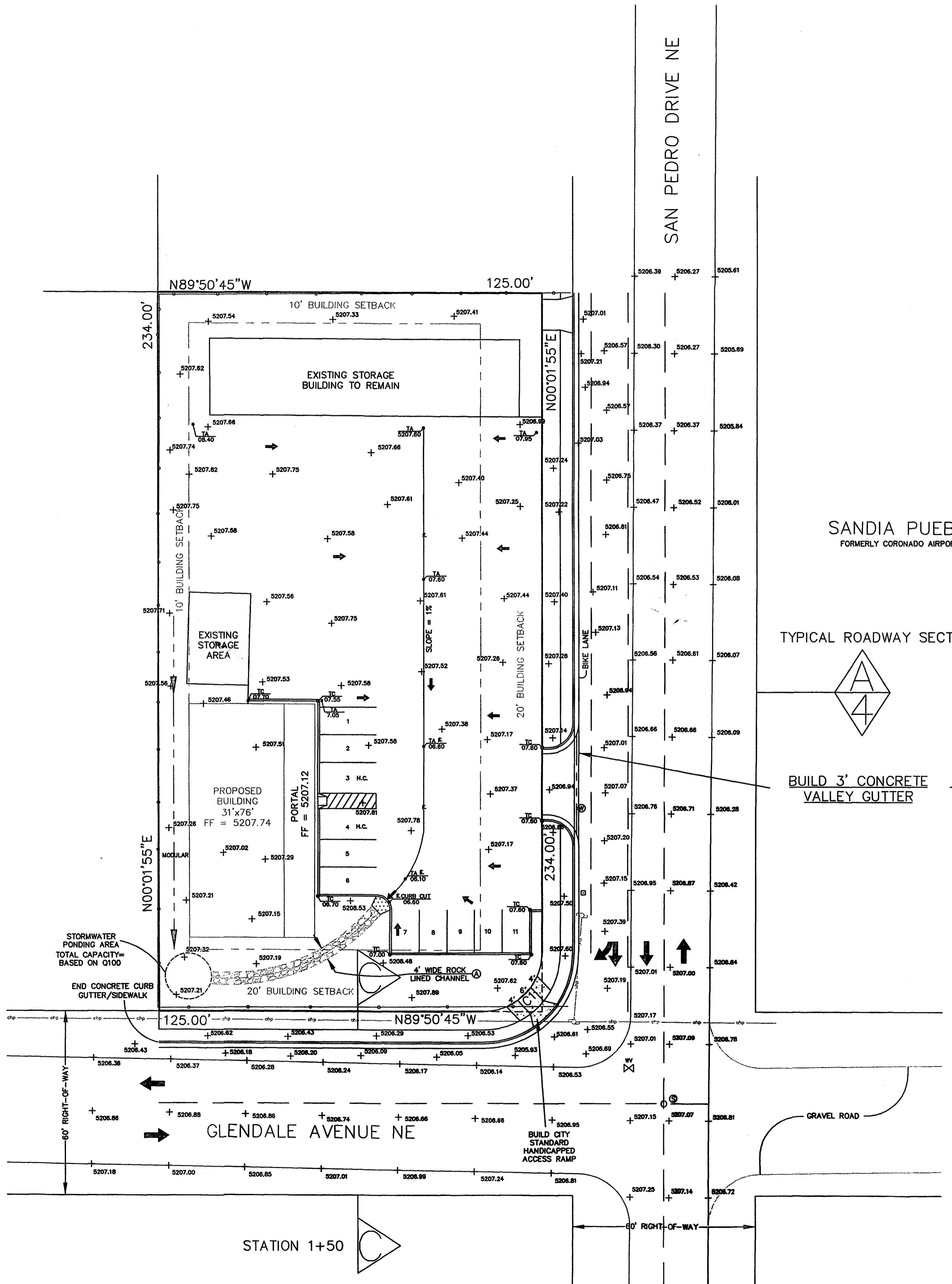
DRAINAGE CHANNEL AREA  
SCALE 1"=4'



SITE BLOW UP  
PONDING AREA  
SCALE 1"=8'



CROSS SECTION PONDING AREA  
SCALE 1"=8'

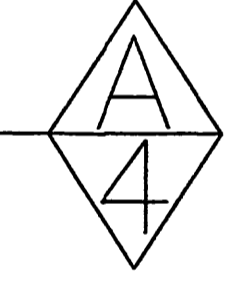


- LEGEND**
- + 5207.58 DESIGNATES EXISTING GROUND ELEVATIONS
  - 5207.58 DESIGNATES TOP OF CURB ELEVATIONS
  - 5207.58 DESIGNATES TOP OF ASPHALT FINISH GRADE ELEVATIONS
  - 5207.58 DESIGNATES FLOW LINE TOP ASPHALT ELEVATIONS

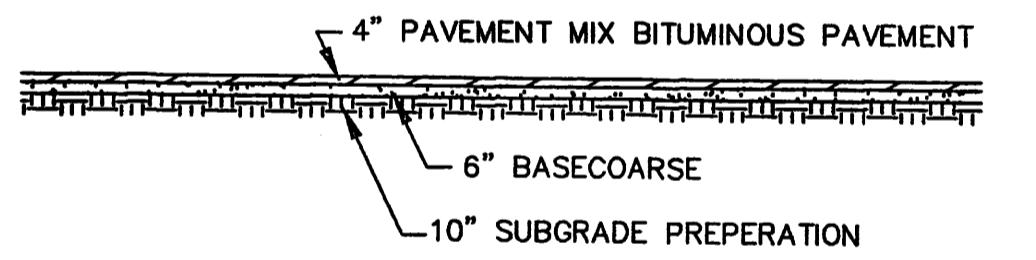
CURVE TABLE					
CURVE	LENGTH	RADIUS	BEARING	CHORD	DELTA
C1	29.89	19.00	S45°05'35"W	26.90	90°07'20"

SANDIA PUEBLO  
FORMERLY CORONADO AIRPORT

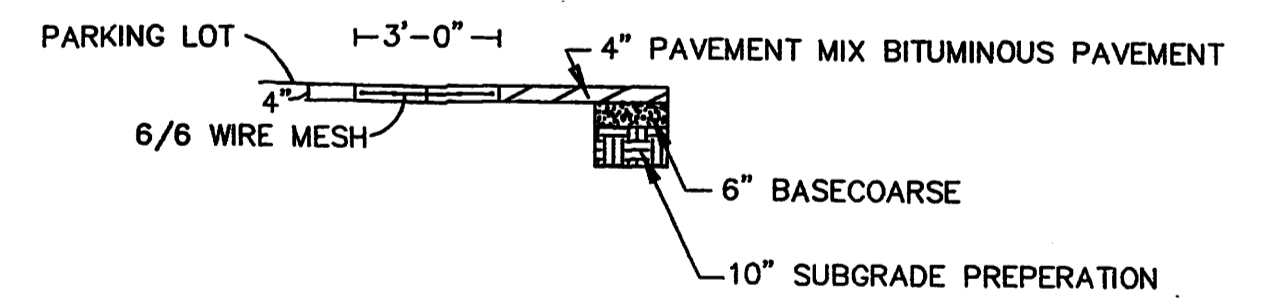
TYPICAL ROADWAY SECTION



BUILD 3' CONCRETE  
VALLEY GUTTER



TYPICAL ASPHALT PARKING LOT  
SCALE 1"=8'



VALLEY GUTTER  
SCALE 1"=4'

LAND DEVELOPMENT CONSULTANTS, LLC.			
City of Albuquerque	Reviewed By	Date	PROJECT FOR:
			KENYON CONSTRUCTION INC. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
			Title: EXISTING TOPOGRAPHY AND NEW SITE LAYOUT
			Design: LAND DEVELOPMENT CONSULTANTS, LLC 5620 B. MODESTO AVENUE NE, ALBUQUERQUE, NM. 87113
			Scale: 1" = 20'
			Drawn By: D.V.
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