

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1005039

AGENDA ITEM NO: 14

SUBJECT:

Sketch Plan

ACTION REQUESTED:

REV/CMT: (X) APPROVAL: () SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

An approved conceptual grading and drainage plan is required in order to identify infrastructure requirements along San Pedro and Glendale.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED *discussed* X; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: AUGUST 2, 2006

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
August 2, 2006
DRB Comments**

ITEM # 14

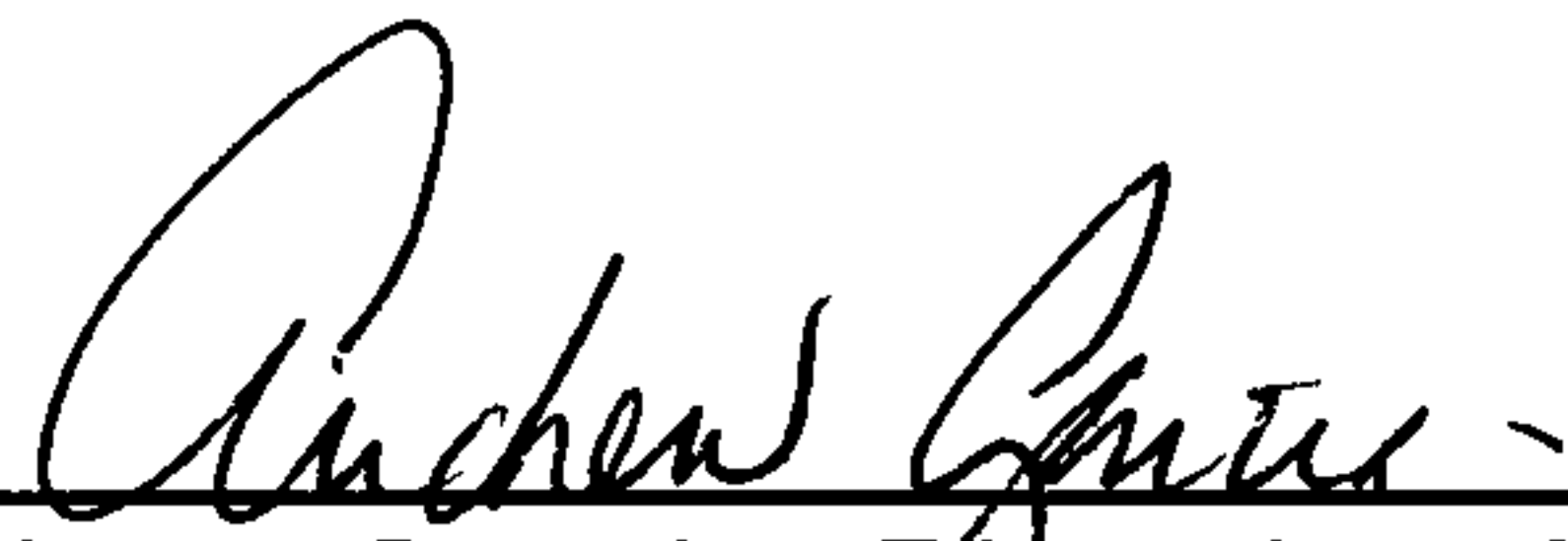
PROJECT # 1005039

APPLICATION # 06-01071

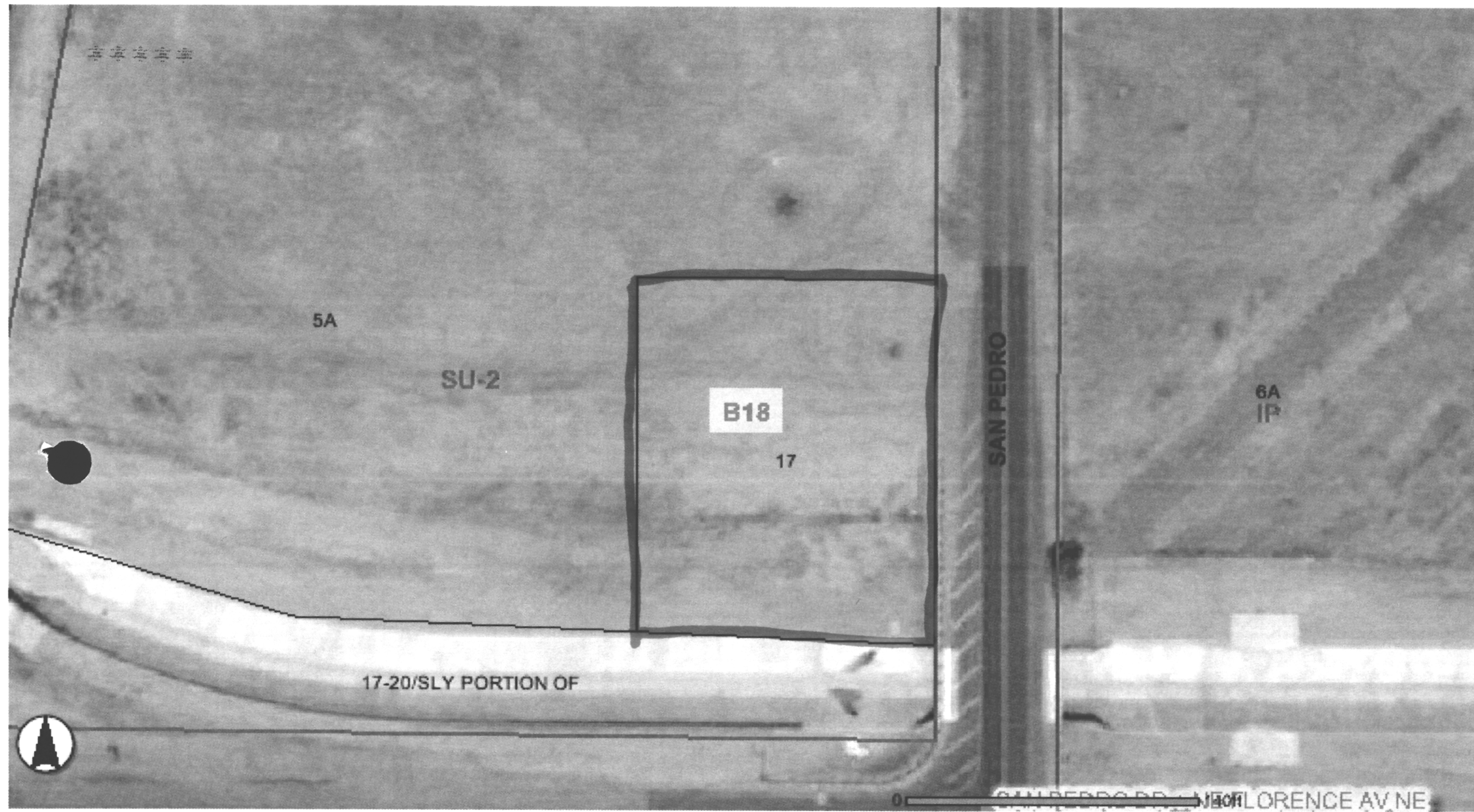
Re: Lot 17, Block 7, Tract A, N.A.A. Unit B/sketch

The property is in the North I-25 Sector Development Plan.

A Site development plan and landscaping plan are required for permissive uses.



Andrew Garcia, Planning Alternate
924-3858 Fax 924-3864 agarcia@cabq.gov



#14
#1005039
8-2-06



IMPACT FEES - Project Number; 1005039

Development Review Board 8/2/06 Agenda Item 14
Sketch Plat: Lot 17 Block 7 Tract A Unit B
North Albuquerque Acres

Construction of increased office space will require impact fees at the time a permit is issued. Per the proposed site plan and based on an increase in office area of 1,524 square feet and .21 for impervious acreage the estimated impact fees are as follows:

1. Roadway Facilities for Far NE Heights: \$3,164.00
2. Public Safety Facilities for the Eastside: \$152.00
3. Drainage Facilities for the Far NE: \$2,144.00

Impact Fees are to be paid at the time of issuance of building permits; however, the total Impact Fees may be paid at a rate of 67% if permits are obtained by December 29, 2006

JACK CLOUD
IMPACT FEE ADMINISTRATOR

PLANNING TRACKING LOG

Date	Project Name & #	Action Request	Action Taken
8/2/06	North Albany Access Unit B Proj 1005039	Sketch	Comments Given



Intera Incorporated
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: July 31, 2006

TO: Sheran Matson, Planning Department – Design Review Board

COPY: Rhonda Methvin, Environmental Health Department
Kevin Curran, Legal Department
Land Development Consultants LLC

FROM: James Joseph, INTERA Inc.

SUBJECT: Project #1005039, North Albuquerque Acres, Unit B, Lot 17, Block 7, Tract A,
located on San Pedro Dr. NE between Florence Ave. NE and Glendale Ave. NE.
(06DRB-01071 Minor-Sketch Plat or Plan)

There is the potential for the above-named project to be impacted by the presence of landfill gas generated by a former City owned/operated landfill (Coronado Landfill). It is acknowledged that this agenda item is for a Minor-Sketch Plat or Plan; however, if development/redevelopment does occur, the developer of this site is required to follow the most current version of the “City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones”. A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Ernest Baca / Kenyon Plastering PHONE: (505) 797-7670
 ADDRESS: 9601 San Pedro Dr. NE FAX: (505) 797-7671
 CITY: Albuquerque STATE: NM ZIP: 87113 E-MAIL: _____
 Proprietary interest in site: 9601 San Pedro Dr NE List all owners: _____
 AGENT (if any): Land Development Consultants, LLC PHONE: (505) 858-2441
 ADDRESS: 5620 B Modesto Ave NE FAX: (505) 858-2445
 CITY: Albuquerque STATE: NM ZIP: 87113 E-MAIL: ldc-llc@msn.com

DESCRIPTION OF REQUEST: Site development plan for building permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 17 Block: 7 Unit: _____
 Subdiv. / Addn. North Albuquerque Acres, Tract A, Unit B
 Current Zoning: SU-2 IP Proposed zoning: SU-2 IP
 Zone Atlas page(s): B-18 No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): 0.7252 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? YLS
 UPC No. 101806525506930404 MRGCD Map No. N/A
 LOCATION OF PROPERTY BY STREETS: On or Near: San Pedro Dr. NE
 Between: Florence Ave NE and Glendale Ave NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ? . Date of review: _____
 SIGNATURE BK DATE 7/25/06
 (Print) Bernadette Martinez Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DEB - 01071</u>	<u>SK</u>	<u>5(3)</u>	<u>\$ 0.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 0.00</u>

Hearing date 08/02/06
Sandy Handley 07/25/06 Project # 1005039

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Bernadette Martinez
Applicant name (print)
[Signature]
Applicant signature / date
7/25/06

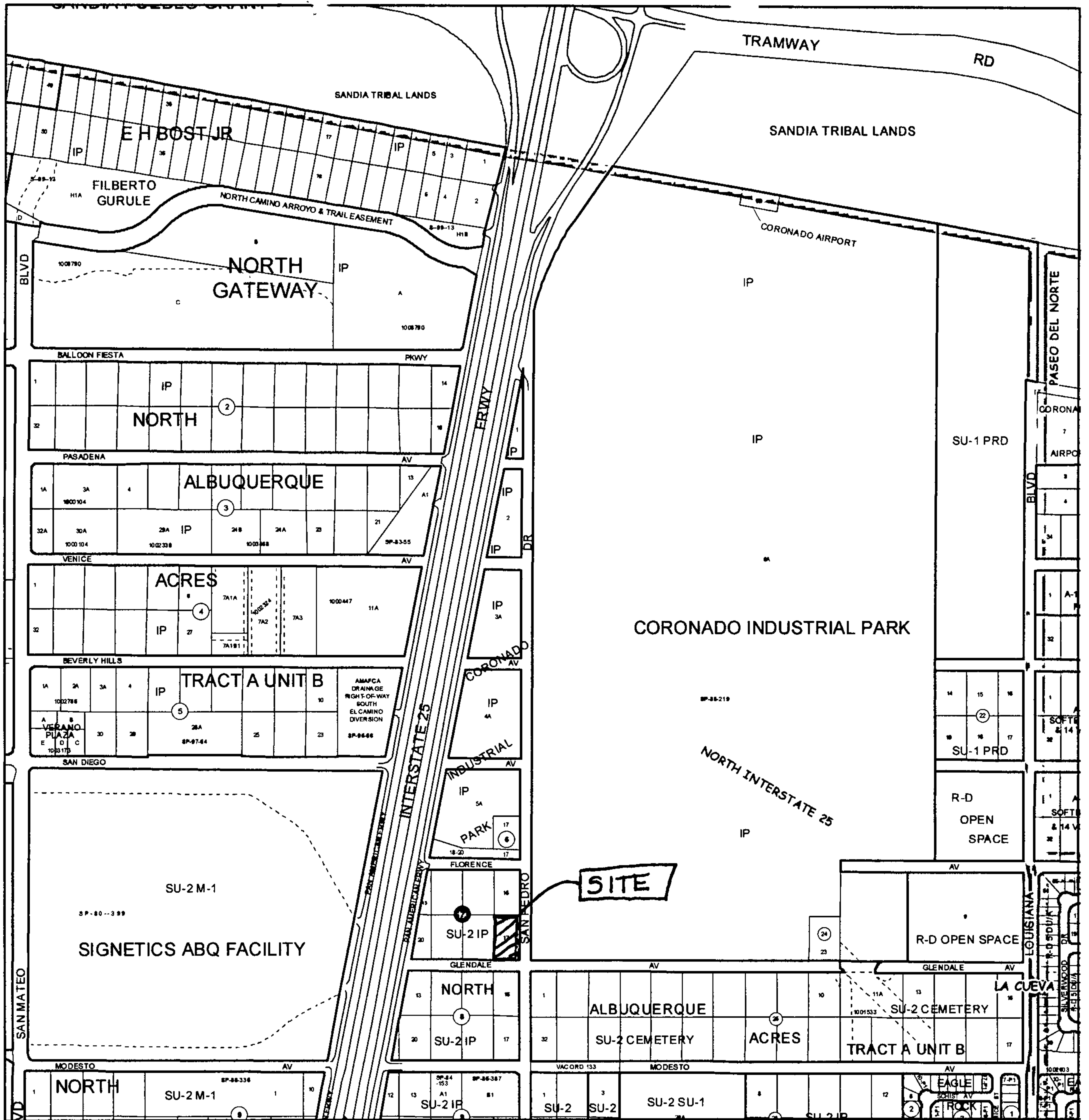


Form revised 8/04, 1/05 & 10/05

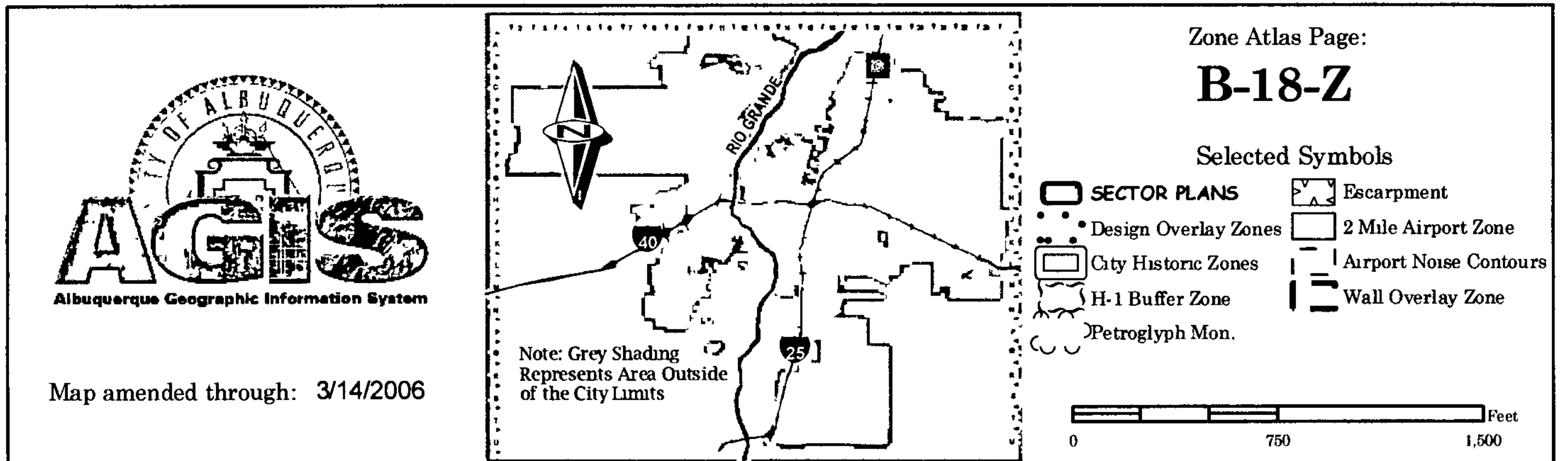
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
06DRB - 01071
- -
- -

Sandy Handley 07/25/06
Planner signature / date
Project # 100539



For more current information and more details visit: <http://www.cabq.gov/gis>



LAND DEVELOPMENT CONSULTANTS, LLC

5620-B Modesto Ave NE, Albuquerque, New Mexico 87113

Phone: (505) 858-2441 • Fax: (505) 858-2445 • E-Mail: ldc_llc@msn.com
Professional Land Surveying and Landuse Planning Consultants

April 26, 2006

Ms. Sheran Matson, AICP
Chair, Development Review Board
Planning/Development Services Division
600 2nd Street NW
Albuquerque, NM 87102

**RE: 9601 SAN PEDRO DRIVE NE, LOT "17," BLOCK "7" OF "NORTH
ALBUQUERQUE ACRES, TRACT A, UNIT B" ZONE ATLAS B-18**

Dear Ms. Matson,

On behalf of our clients, Kenyon Plastering, we are submitting an application for Site Development Plan for Building Permit. Our client is requesting a demolition permit to tear down their existing office building and is applying for a Building Permit for a modular office building, site paving, fencing and off site roadway for the placement improvements.

If you have any questions or need additional information, please do not hesitate to contact me at 858-2441.

Sincerely,


Bernadette Martinez
Public Liaison

LAND DEVELOPMENT CONSULTANTS, LLC

5620-B Modesto Ave NE, Albuquerque, New Mexico 87113

Phone: (505) 858-2441 • Fax: (505) 858-2445 • E-Mail: ldc_llc@msn.com
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April 26, 2006

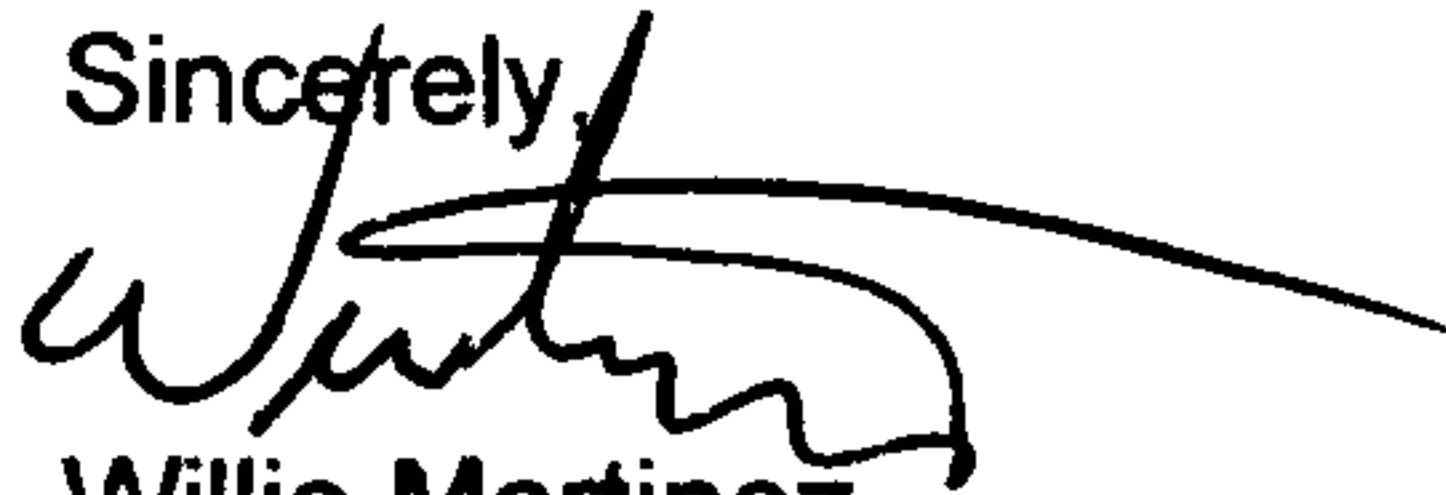
Ms. Sheran Matson, AICP
Chair, Development Review Board
Planning/Development Services Division
600 2nd Street NW
Albuquerque, NM 87102

**RE: 9601 SAN PEDRO DRIVE NE, LOT "17," BLOCK "7" OF "NORTH
ALBUQUERQUE ACRES, TRACT A, UNIT B" ZONE ATLAS B-18**

Dear Ms. Matson,

I, Willie Martinez, General Manager of Kenyon Plastering, give Land Development Consultants, LLC permission to act as my agent in the DRB process for the above referenced address. They will be submitting an application for a Site Development Plan for a Building Permit. Please feel free to call me if any additional information is required.

Sincerely,



Willie Martinez
General Manager