

ALL AREAS NORTH AND EAST OF MAIN BUILDINGS ARE EXISTING PAVED AREA- THIS PROJECT IS FOR RE-STRIPING ONLY

**General Notes**

- 1 THE PROPOSED RENOVATIONS OF THIS SITE WILL ELIMINATE 3 EXISTING POLE LIGHTS IN THE PARKING LOT. NO NEW POLE LIGHTS ARE INCLUDED IN THIS PROJECT.
- 2 NO NEW ACCESS DRIVES WILL BE INTRODUCED TO THE SITE FROM EITHER SAN MATEO OR ACADEMY.
- 3 THIS SUBMITTAL DOES NOT SEEK ANY RE-ZONING OF THE SITE.

**Parking Requirements**

EXISTING BUILDING AREA:	131,633 SF
PROPOSED BUILDING AREA:	27,165 SF
TOTAL BLDG. AREA:	158,798 SF
SPACES REQUIRED FOR EXISTING RESTAURANTS/BARS:	
314 SEATS/4 =	79 SPACES
136 SEATS/3 =	46 SPACES
	125 SPACES
1-15,000 SF = 1/200 REQUIRED:	
15,001-60,000 SF = 1/250 REQUIRED:	75 SPACES
OVER 60,000 SF = 1/300 REQUIRED:	180 SPACES
	288 SPACES
TOTAL PARKING SPACES REQUIRED:	668 SPACES
TOTAL PARKING SPACES PROVIDED:	745 SPACES
ACCESSIBLE SPACES REQUIRED	
16 ACCESSIBLE SPACES REQUIRED	
22 ACCESSIBLE SPACES PROVIDED	
8 MOTORCYCLE SPACES PROVIDED	
BIKE SPACES REQUIRED (FOR NEW BUILDINGS)	
7 BIKE SPACES ARE REQUIRED, 14 ARE PROVIDED (2 RACKS)	

**Project Data**

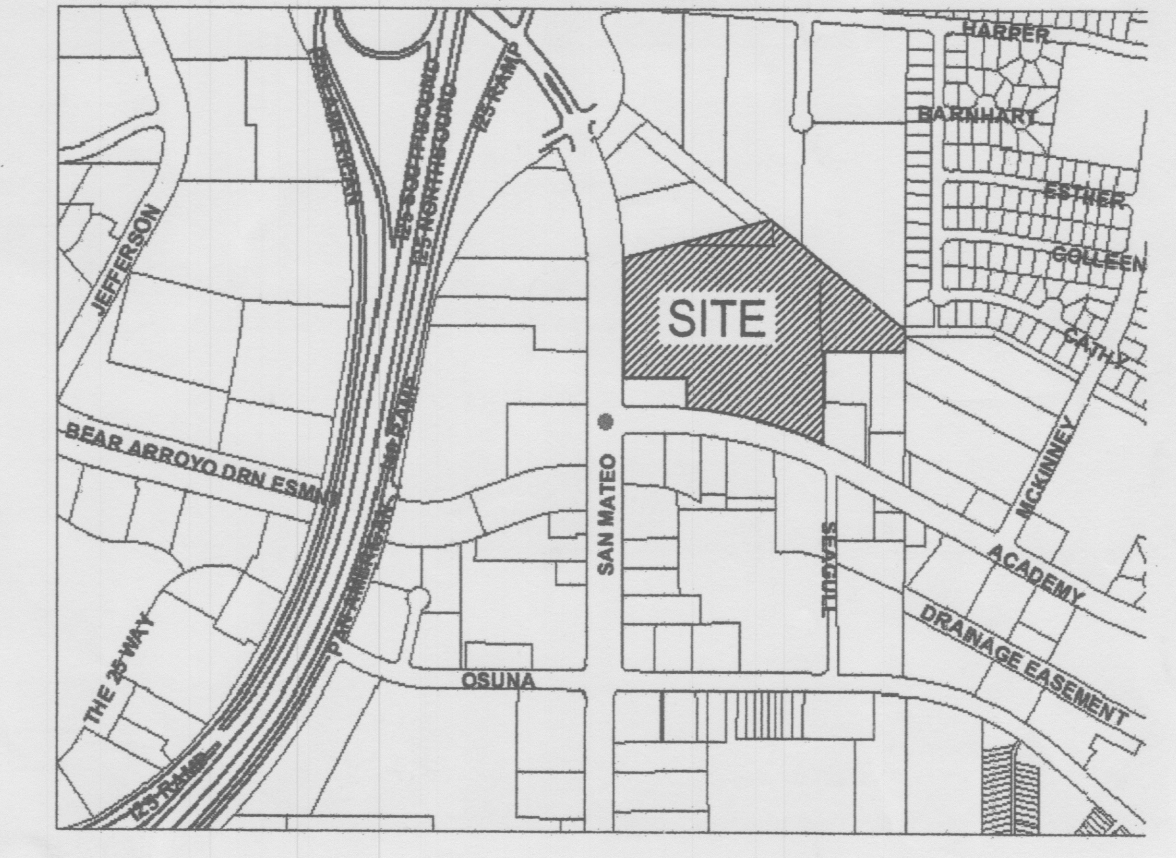
OWNER'S REPRESENTATIVE: BRENTON WATSON VINTAGE CAPITAL GROUP  
 11611 SAN VICENTE BLVD. SUITE 1000  
 LOS ANGELES, CA 90049  
 310.979.9090

ARCHITECT: BRISCOE ARCHITECTS, P.C.  
 2001 CARLISLE BLVD. NE, SUITE A  
 ALBUQUERQUE, NM 87110  
 JOHN BRISCOE AIA 505.262.0193

BUILDING ADDRESS: ACADEMY AND SAN MATEO NE  
 ALBUQUERQUE - NM

LEGAL DESCRIPTION: TRACTS M, R, S-1 AND S-2 OF THE SUMMARY PLAT OF THE FAR NORTH SHOPPING CENTER, ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE SUMMARY PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 6, 1977 IN PLAT BOOK B12, PAGE 192.

ZONE ATLAS PAGE: E-18  
 ZONING: C-2 AND C-3 / Retail Use  
 USAGE: RETAIL



**Location Map**

**Index of Drawings**

- 1 SITE PLAN FOR BUILDING PERMIT
- 2 LANDSCAPING PLAN - OVERALL SITE IMPROVEMENTS
- 3 PRELIMINARY GRADING PLAN
- 4 PRELIMINARY UTILITY PLAN
- 5 BUILDING ELEVATIONS - BUILDING 1
- 6 BUILDING ELEVATIONS - BUILDING 2

Project Number: 1005049  
 Application Number: 06-01109 **ERC**

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION DATED **October 20, 2006** AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRAC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRB Site Development Plan Signoff Approval:**

Traffic Engineering, Transportation Division	DATE
Utilities Development	DATE
Parks and Recreation Department	DATE
City Engineer	DATE
Environmental Health Department (conditional)	DATE
Solid Waste Management	DATE

REVISED OCTOBER 25, 2006  
 5 September 2006  
 REVISED MARCH 21, 2007  
 © 2006 Briscoe Architects, P.C.

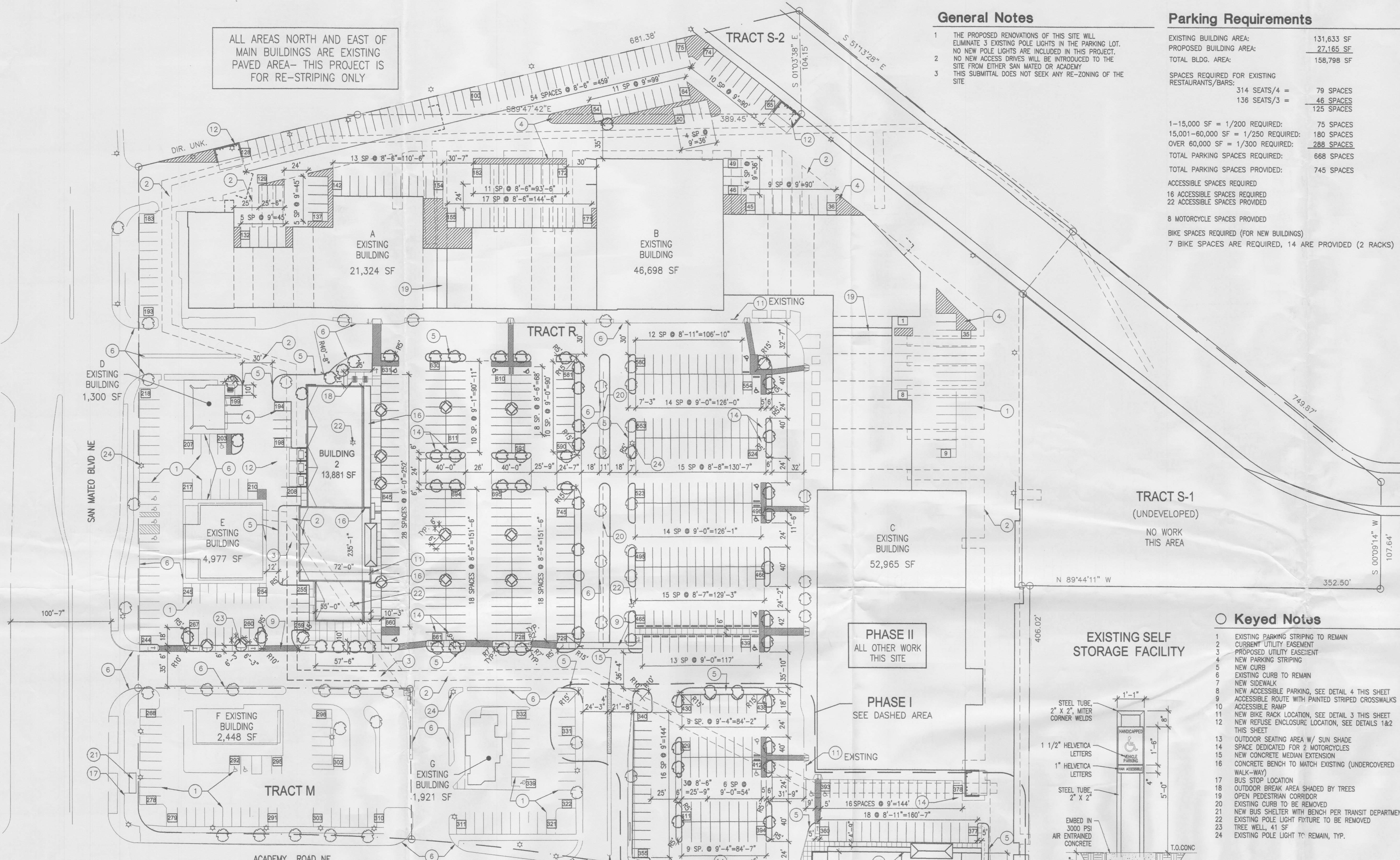
**Briscoe Architects, p.c.**  
 ARCHITECTURAL SERVICES FOR THE COMMERCIAL DEVELOPMENT COMMUNITY

2001 CARLISLE BLVD. NE, SUITE A  
 ALBUQUERQUE, NM 87104-4943  
 V: 505.262.0193 F: 505.881.9114 E: briscoe@msn.com

**Far North Shopping Center**  
 Academy and San Mateo  
 Albuquerque, NM

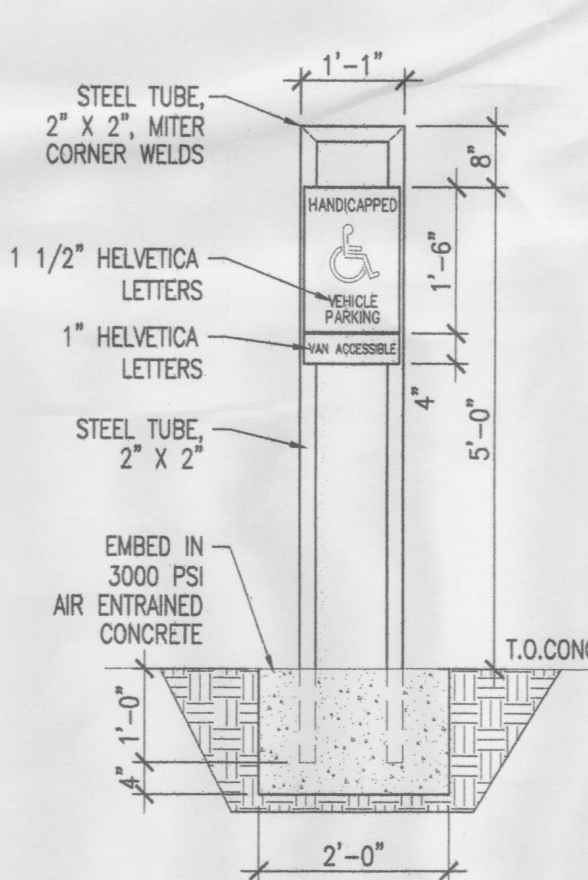
PRELIMINARY SITE PLAN FOR DRB REVIEW ONLY

SHEET NO. **1**

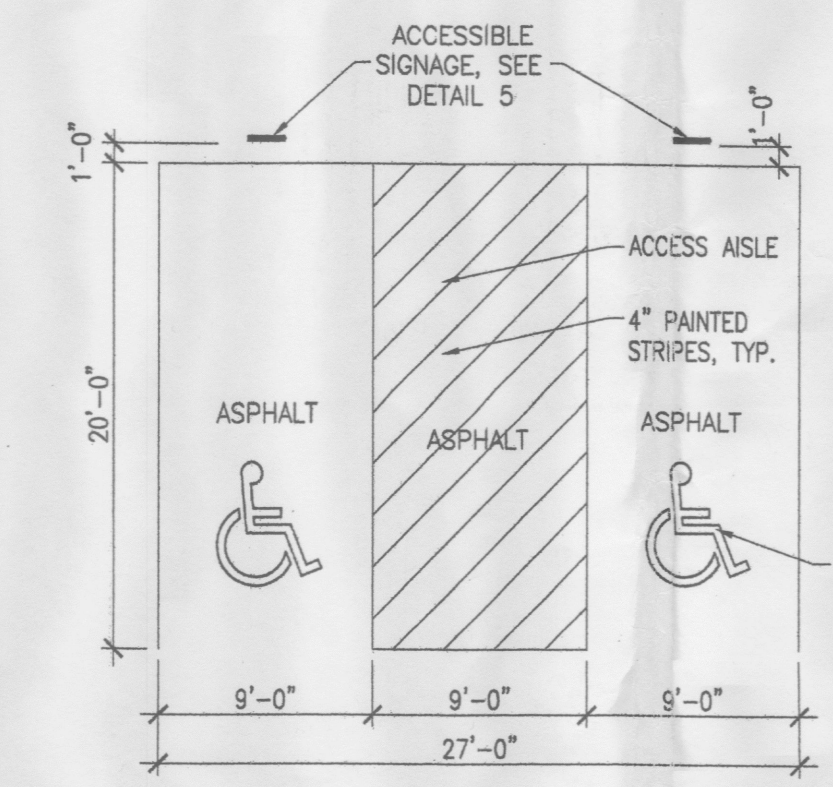


**Keyed Notes**

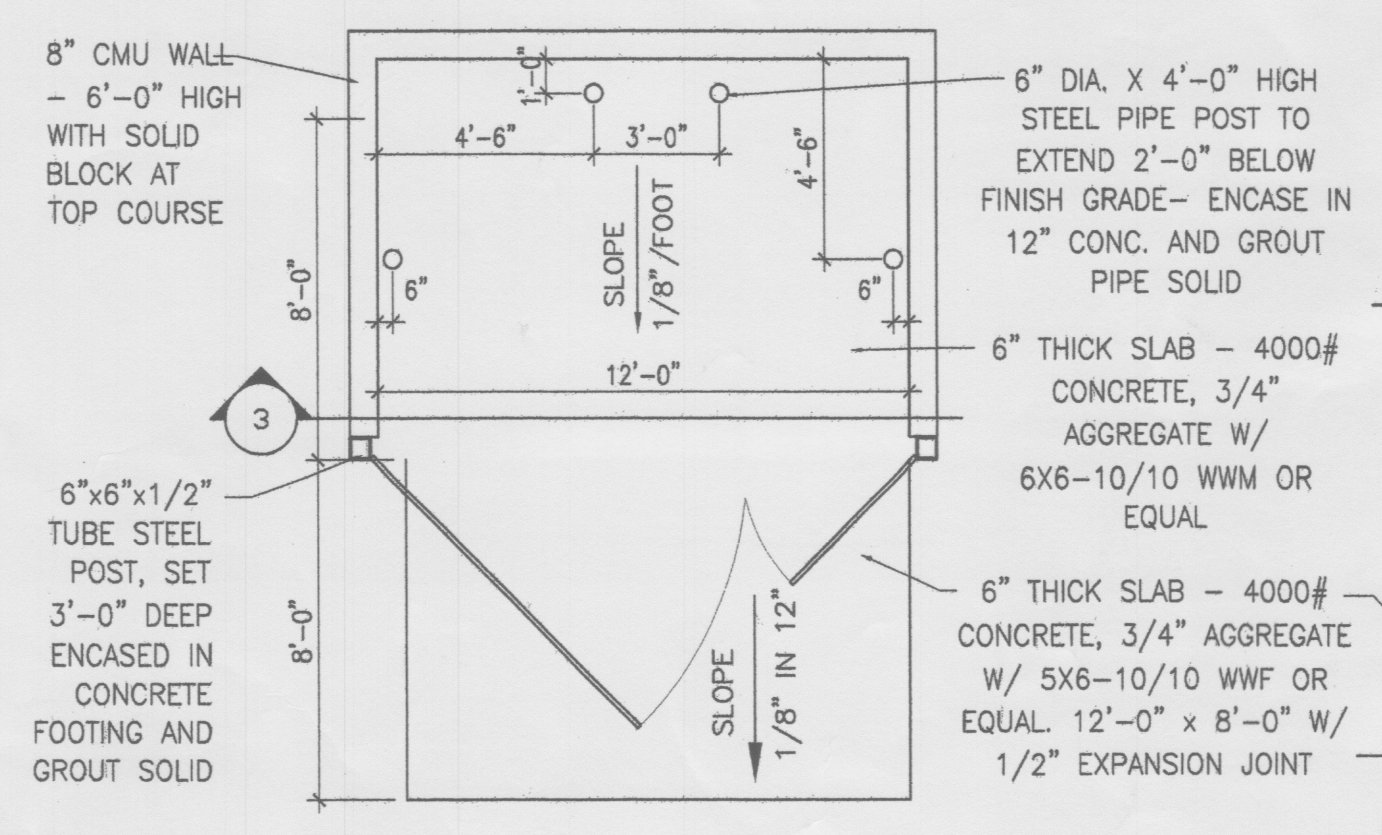
- 1 EXISTING PARKING STRIPING TO REMAIN
- 2 CURRENT UTILITY EASEMENT
- 3 PROPOSED UTILITY EASEMENT
- 4 NEW PARKING STRIPING
- 5 NEW CURB
- 6 EXISTING CURB TO REMAIN
- 7 NEW SIDEWALK
- 8 NEW ACCESSIBLE PARKING, SEE DETAIL 4 THIS SHEET
- 9 ACCESSIBLE ROUTE WITH PAINTED STRIPED CROSSWALKS
- 10 ACCESSIBLE RAMP
- 11 NEW BIKE RACK LOCATION, SEE DETAIL 3 THIS SHEET
- 12 NEW REFUSE ENCLOSURE LOCATION, SEE DETAILS 1&2 THIS SHEET
- 13 OUTDOOR SEATING AREA W/ SUN SHADE
- 14 SPACE DEDICATED FOR 2 MOTORCYCLES
- 15 NEW CONCRETE MEDIAN EXTENSION
- 16 CONCRETE BENCH TO MATCH EXISTING (UNDERCOVERED WALK-WAY)
- 17 BUS STOP LOCATION
- 18 OUTDOOR BREAK AREA SHADED BY TREES
- 19 OPEN PEDESTRIAN CORRIDOR
- 20 EXISTING CURB TO BE REMOVED
- 21 NEW BUS SHELTER WITH BENCH PER TRANSIT DEPARTMENT
- 22 EXISTING POLE LIGHT FIXTURE TO BE REMOVED
- 23 TREE WELL 41 SF
- 24 EXISTING POLE LIGHT TO REMAIN, TYP.



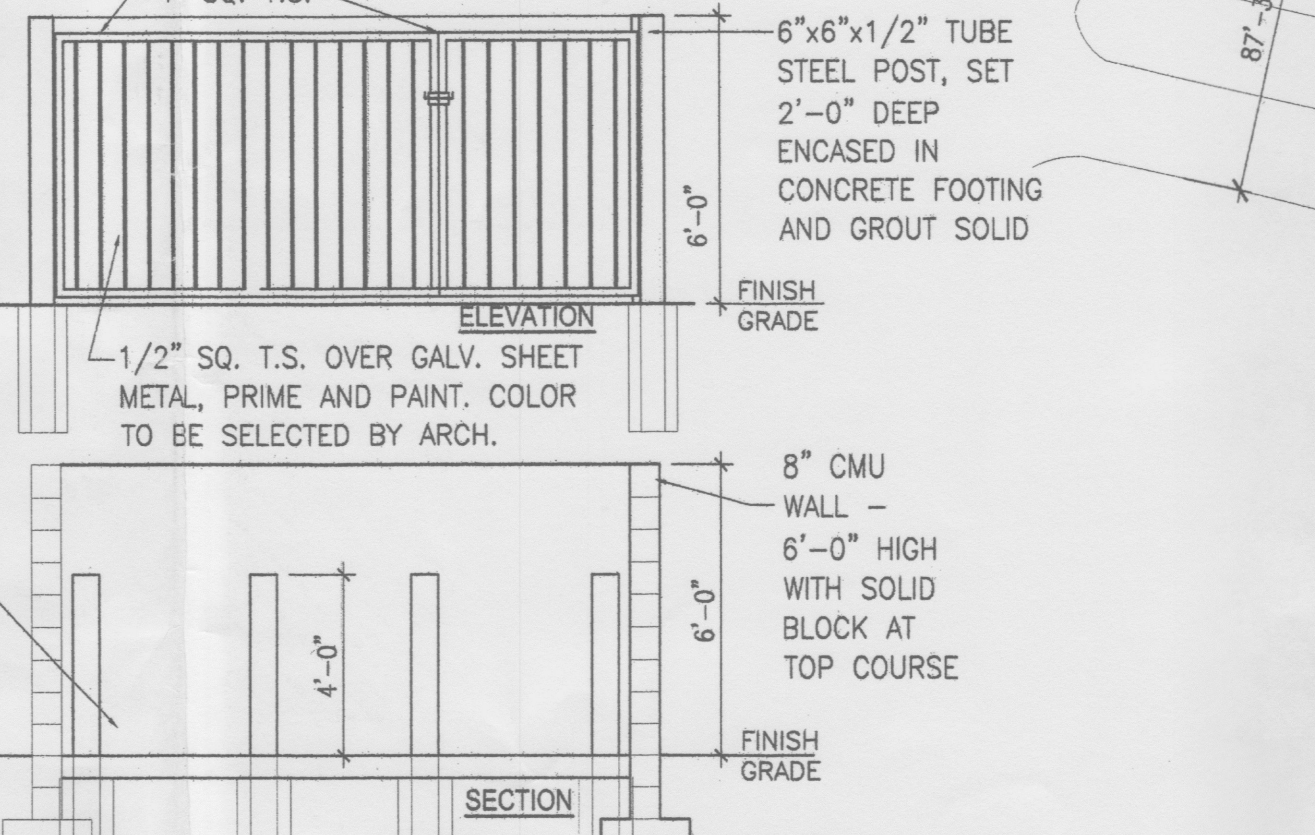
**5 Accessible Signage**  
 1/2"=1'-0"



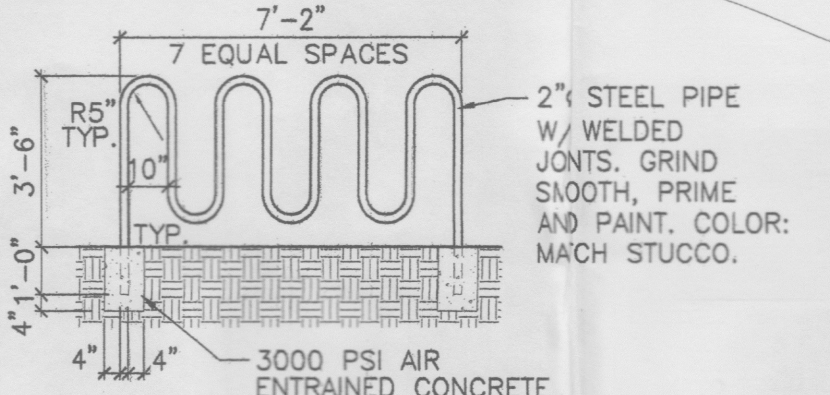
**4 Accessible Parking Plan**  
 1/8"=1'-0"



**1 Single Refuse Container Enclosure Plan**  
 1/4"=1'-0"

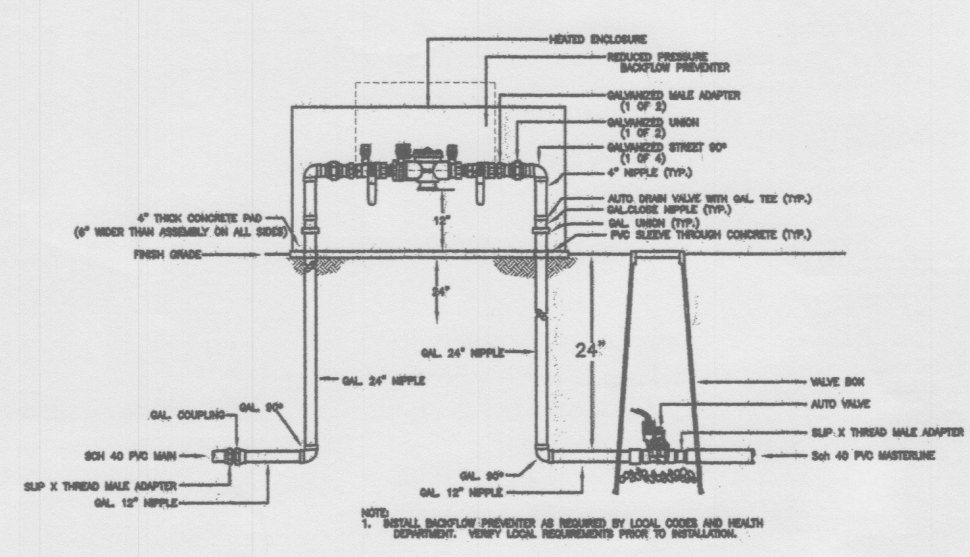


**2 Single Refuse Container Enclosure**  
 1/4"=1'-0"



**3 Bicycle Rack Typical of 2**  
 1/4"=1'-0"





Mastervalue w/RPBA

**SITE DATA**

GROSS LOT AREA	670,320 SF
LESS BUILDING(S)	155,714 SF
NET LOT AREA	514,606 SF
REQUIRED LANDSCAPE	
15% OF NET LOT AREA	77,191 SF
PROPOSED LANDSCAPE	51,536 SF
WALKWAYS	32,134 SF
<b>TOTAL</b>	<b>83,670 SF</b>
PERCENT OF NET LOT AREA	16.3 %

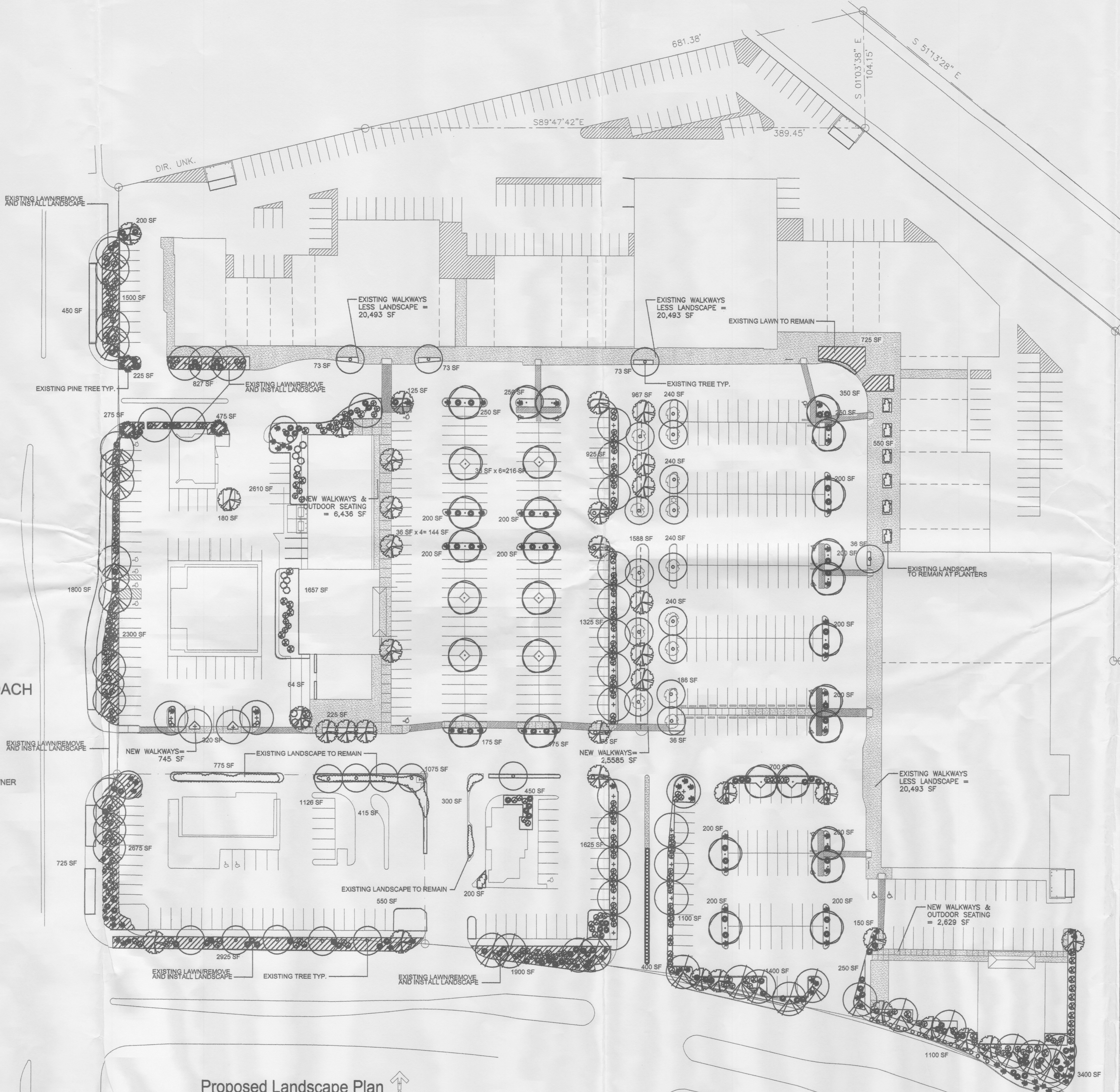
REQUIRED STREET TREES	
PROVIDED AT 30' O.C. SPACING ALONG STREET	51
REQUIRED PARKING LOT TREES	
PROVIDED AT 1 PER 10 SPACES (729 SPACES/10)	75
<b>TOTAL TREES REQUIRED</b>	<b>126</b>
<b>TOTAL TREES PROVIDED</b>	<b>135</b>

**PLANTING RESTRICTIONS APPROACH**

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS  
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

**NOTE**

- MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER
- PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER (WILKINS MODEL 975) PER CITY OF ALBUQUERQUE
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
- THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH
- IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
- LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC
- APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
- TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS



Proposed Landscape Plan  
 18 April 2006  
 1:50  
 0' 30' 75'

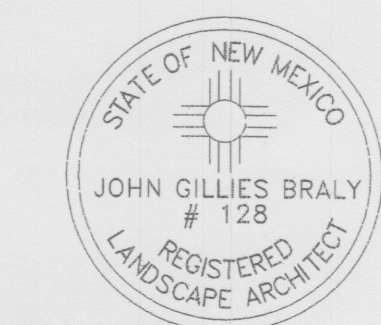
**PLANT LEGEND**

Qty.	Symbol	Scientific Name Common Name	Size	Water Use
<b>Trees</b>				
30	(Symbol)	Koeleruteria Golden Rain Tree	2" B&B	Medium
38	(Symbol)	Pistacia Chinese Pistache	2" B&B	Medium+
31	(Symbol)	Quercus buckleyi Texas Red Oak	2" B&B	Medium +
36	(Symbol)	Gleditsia triacanthos Honeylocust	2" B&B	Medium
<b>Shrubs/Groundcovers</b>				
15	(Symbol)	Buddleia davidii Butterfly Bush	5-Gal	Medium
119	(Symbol)	Photinia	5-Gal	Low +
79	(Symbol)	Lavandula angustifolia English Lavender	1-Gal	Low
113	(Symbol)	Potentilla fruticosa Shrubby Cinquefoil	5-Gal	Medium+
110	(Symbol)	Prunus besseyi Western Sand Cherry	5-Gal	Medium
83	(Symbol)	Rhaphiolepis indica India Hawthorn	5-Gal	Medium
98	(Symbol)	Rosmarinus officinalis pro. Creeping Rosemary	5-Gal	Low +
<b>Ornamental Grasses</b>				
47	(Symbol)	Miscanthus sinensis 'Gracillimus' Maiden Grass	5-Gal	Medium

**Growing Better Up Heads**

LANDSCAPE CONTRACTORS  
 www.headsuplandscapes.com

P.O. BOX 10597  
 Albuquerque, NM 87184  
 505.898.9615  
 505.898.2105 (fax)  
 design@hulc.com



REVISED OCTOBER 25, 2006  
 5 SEPTEMBER 2006  
 REVISED MARCH 21, 2007  
 © 2006 Briscoe Architects, P.C.

**Briscoe Architects, p.c.**

ARCHITECTURAL SERVICES FOR THE COMMERCIAL DEVELOPMENT COMMUNITY

2001 CARLISLE BLVD. NE, SUITE A  
 ALBUQUERQUE, NM 87110-4843  
 V: 505.262.0193 F: 505.881.9114 E: briscoe@msn.com

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

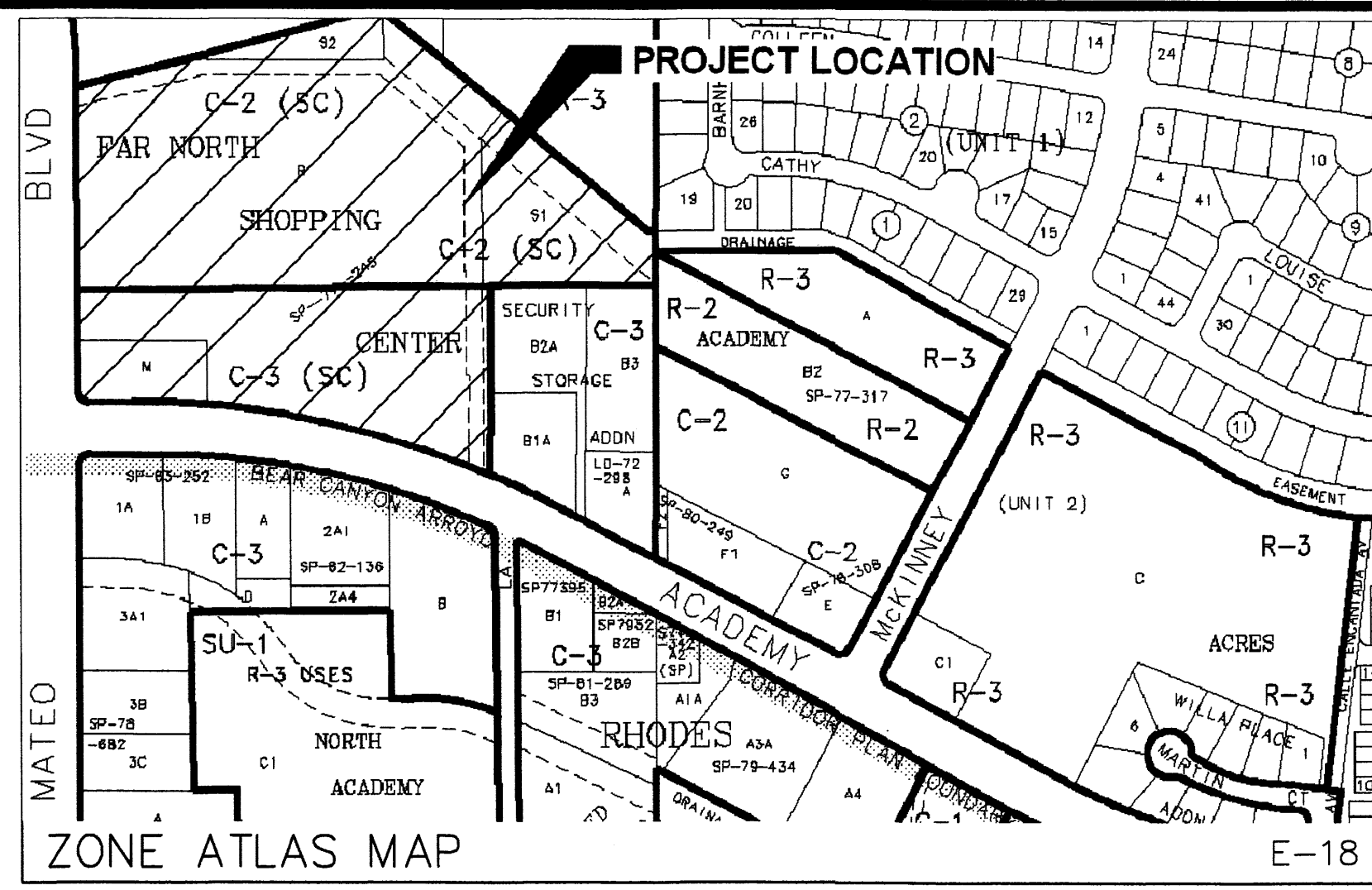
Far North Shopping Center

Academy and San Mateo  
 Albuquerque, NM

SHEET NO.

2





**DRAINAGE NARRATIVE**

**DRAINAGE NARRATIVE**

THIS CONCEPTUAL GRADING AND DRAINAGE PLAN DOCUMENTS THE PROPOSED CHANGES TO THE EXISTING SITE FOR THE FAR NORTH SHOPPING CENTER. WITH THIS PROJECT, TWO NEW BUILDINGS ARE PROPOSED. THE FIRST APPROXIMATELY 16,000 SQUARE FEET TOWARD THE WEST END OF THE SITE, AND THE SECOND APPROXIMATELY 10,000 SQUARE FEET TOWARD THE SOUTHEAST END OF THE SITE.

THE APPROVED GRADING AND DRAINAGE PLAN FOR THE FAR NORTH SHOPPING CENTER ALLOWS FREE DISCHARGE OF THE DEVELOPED FLOWS INTO A STORM DRAIN INLET THAT IS ADJACENT TO AN EXISTING CHANNEL TO THE NORTH OF THE SITE. THE EXISTING SITE CURRENTLY DRAINS AS PER THE PLAN. WITH THE DESIGN AND CONSTRUCTION OF THE TWO BUILDINGS, THE HISTORIC AND APPROVED DRAINAGE PATTERN WILL BE MAINTAINED. THERE IS NO NET INCREASE IN RUNOFF DUE TO THE FACT THAT THE AREA TO BE OCCUPIED BY THE BUILDINGS IS AN EXISTING PAVED PARKING LOT.

**ENGINEERS STATEMENT**

I, the Engineer of record, certify that I have personally visited the site and the existing grades and contours depicted on this plan match what presently exists at the present location

MARTIN J. GARCIA, NMPE #11767

**BENCHMARK**

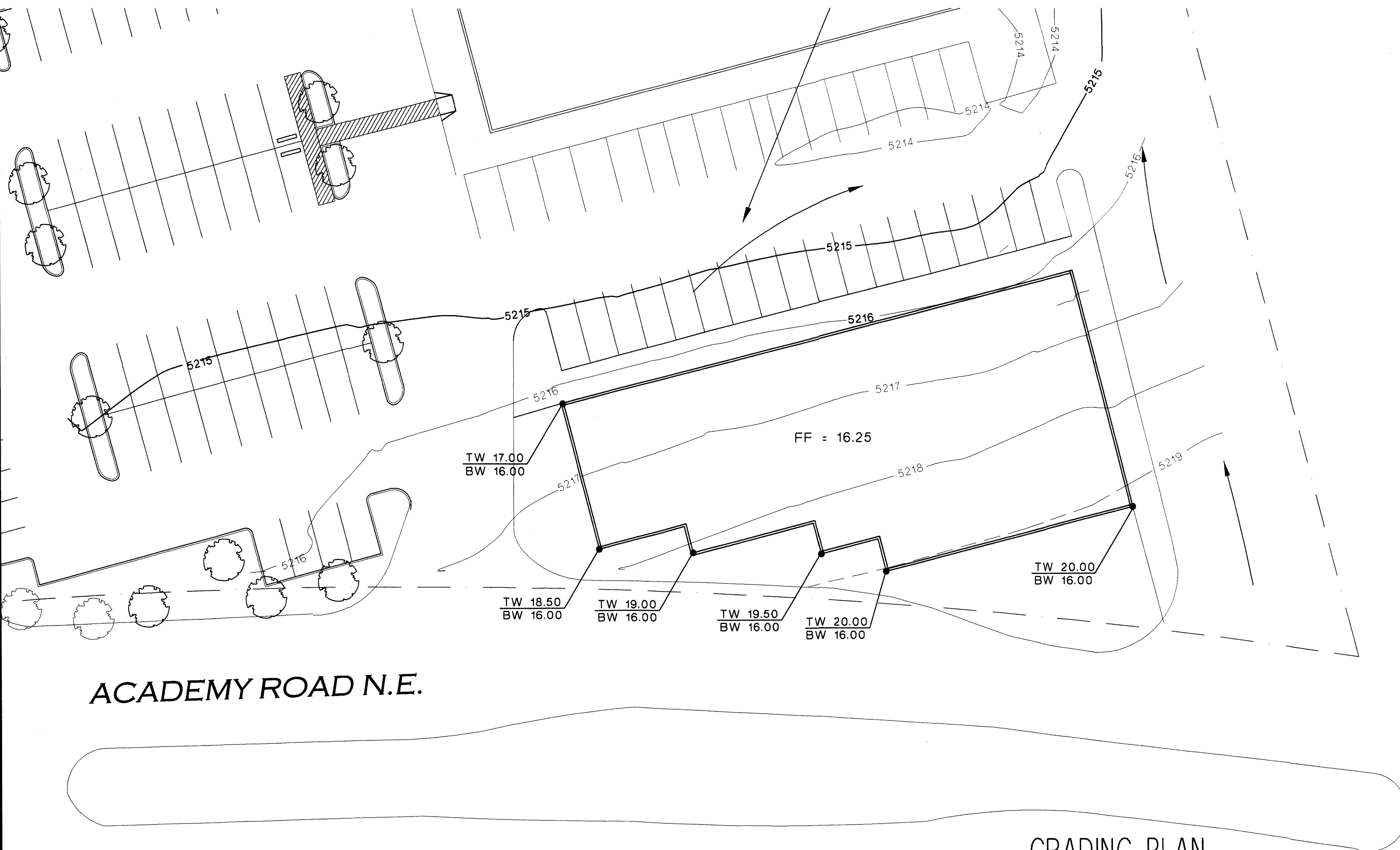
ACS BRASS TABLET "1-E18A"  
 X = 400558.60  
 Y = 1509126.55  
 EL = 5222.411  
 (NGVD 1929)

**LEGAL DESCRIPTION**

Far North Shopping Center, Albuquerque, Bernalillo County, New Mexico as the same as is shown and designated on the Plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico

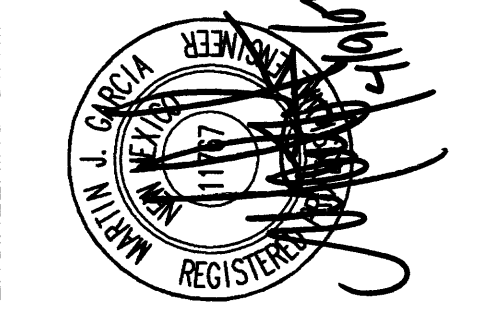
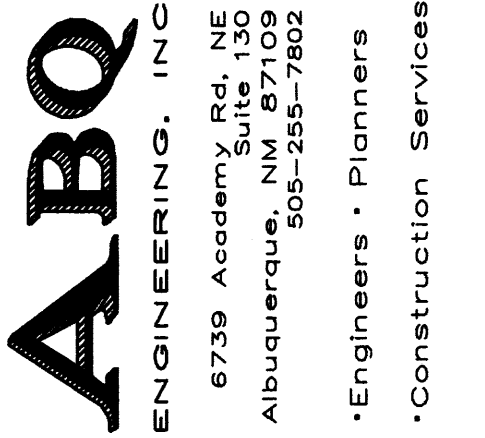
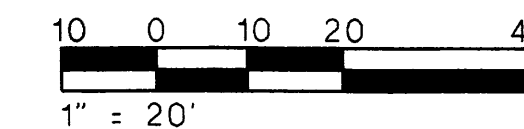
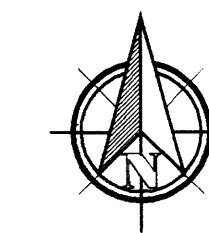
**UPC NUMBER**

1018-062-055-145-303-01



**GRADING PLAN**

SCALE: 1" = 20'



DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ENGINEER/ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.

FAR NORTH SHOPPING CENTER  
 SAN MATEO N.E.  
 ALBUQUERQUE, NEW MEXICO

REV. NO.	REV. DATE	DESCRIPTION

PROJECT NUMBER:	26160	DATE:	APRIL 9, 2007
DESIGNED BY:	M. GARCIA		
DRAWN BY:	F. PHILLIPS		
CHECKED BY:	M. GARCIA		
CAD FILE NAME:	160GRADNOTES.DWG		

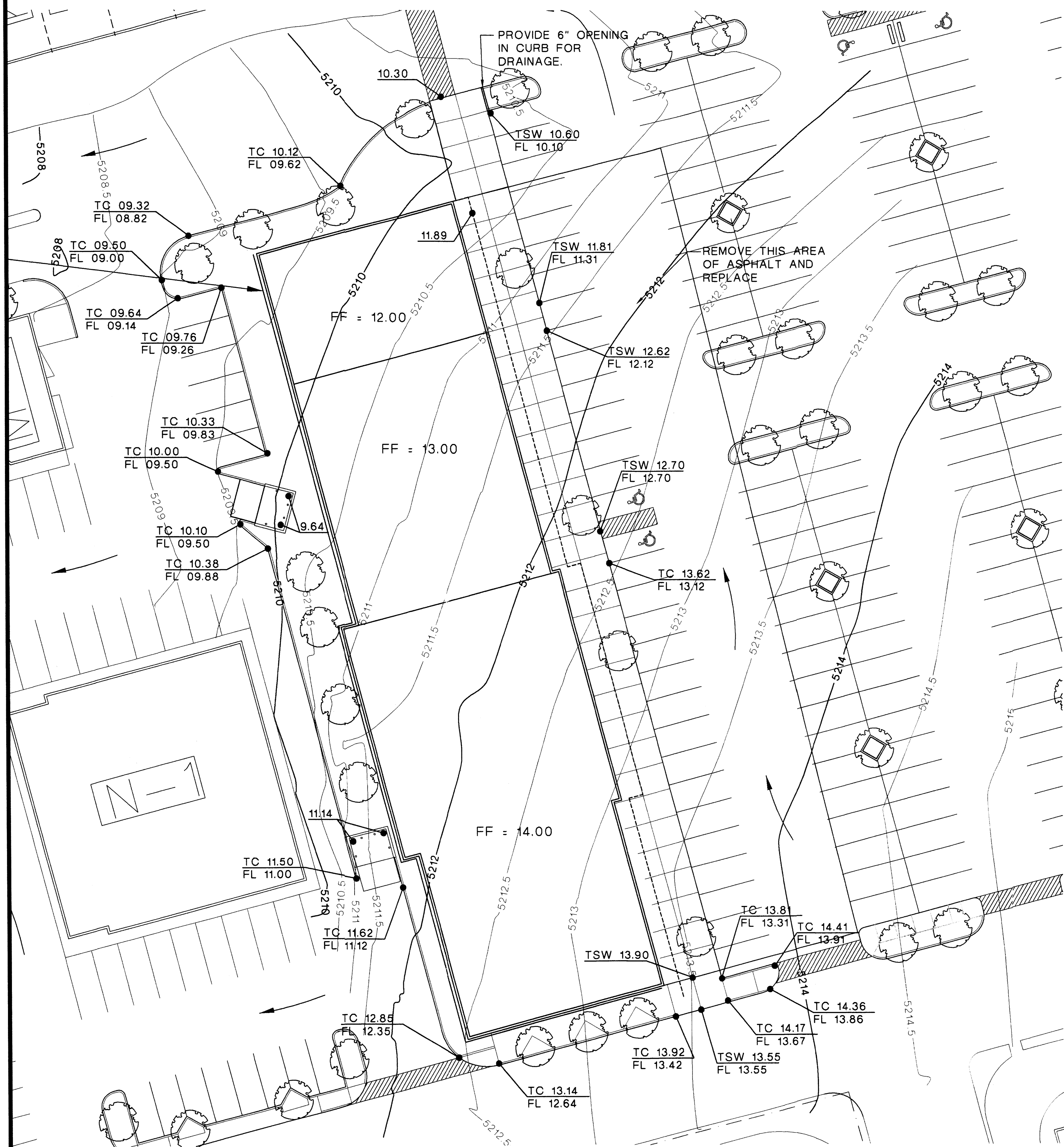
SHEET TITLE  
**GRADING AND DRAINAGE PLAN**

1 of 2

**C-103**

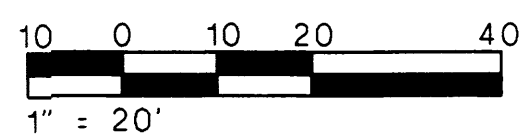
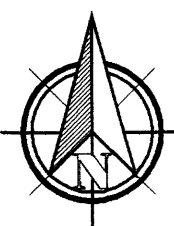
SHEET of





GRADING PLAN

SCALE: 1" = 20'



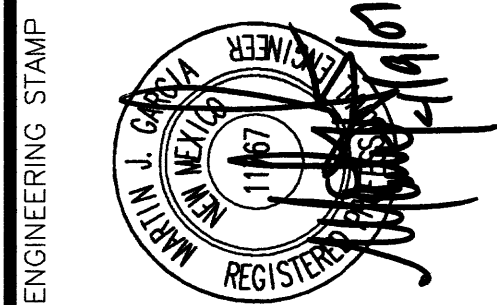
ENGINEERS STATEMENT

I, the Engineer of record, certify that I have personally visited the site and the existing grades and contours depicted on this plan match what presently exists at the present location

MARTIN J. GARCIA, NMPE #11767

BENCHMARK

ACS BRASS TABLET "1-E18A"  
 X = 400558.60  
 Y = 1509126.55  
 EL = 5222.411  
 (NGVD 1929)



DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ENGINEER/ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION

FAR NORTH SHOPPING CENTER  
 SAN MATEO N.E.  
 ALBUQUERQUE, NEW MEXICO

REV NO	REV DATE	DESCRIPTION

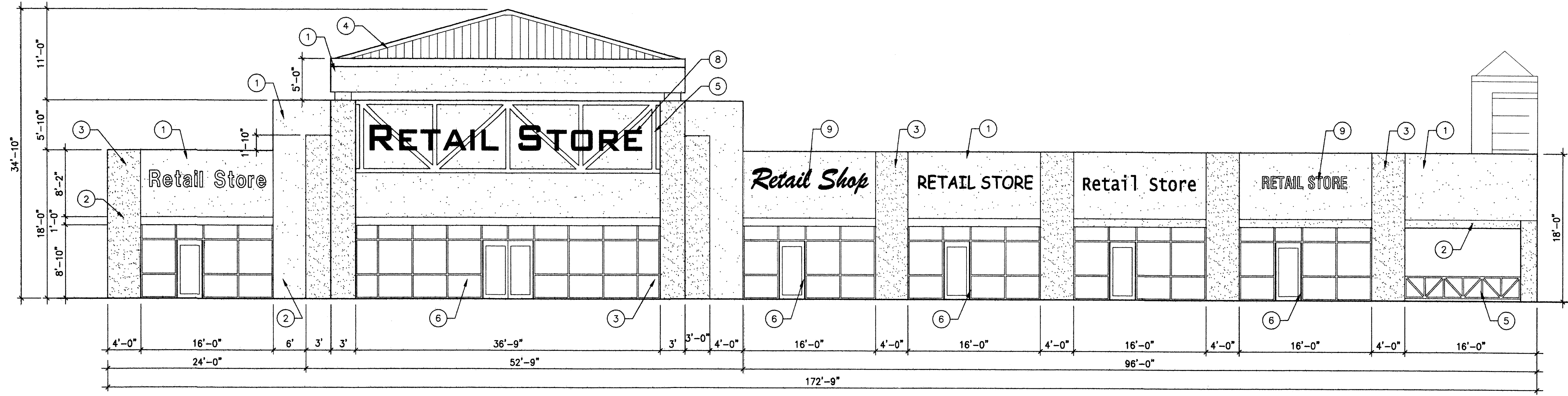
PROJECT NUMBER:	26160	DATE:	APRIL 9, 2007
DESIGNED BY:	M GARCIA		
DRAWN BY:	F PHILLIPS		
CHECKED BY:	M GARCIA		
CAD FILE NAME:	160GRADNOTES.DWG		

GRADING AND DRAINAGE PLAN

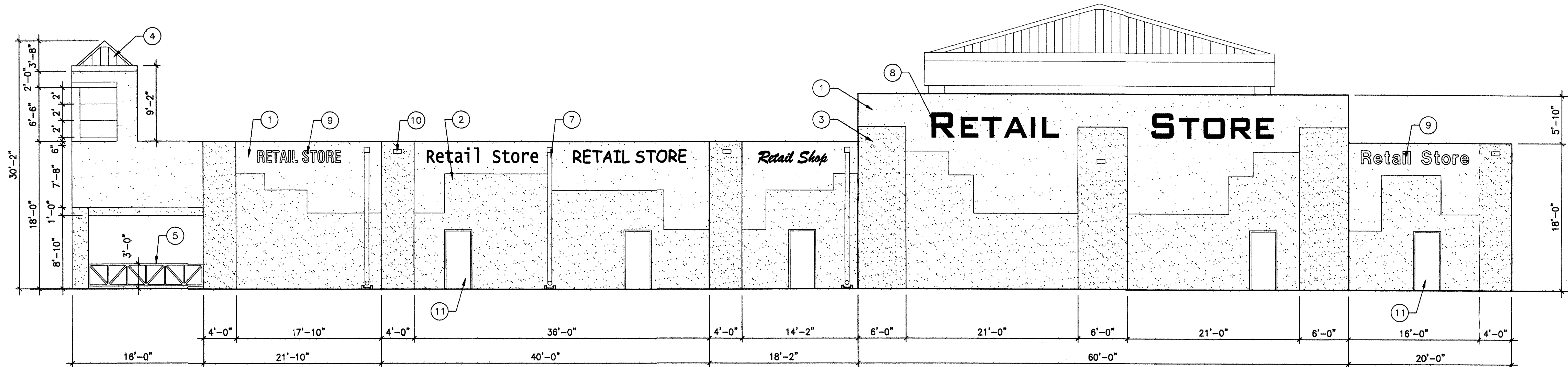
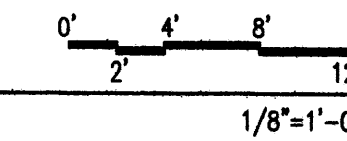
2 of 2

C-104

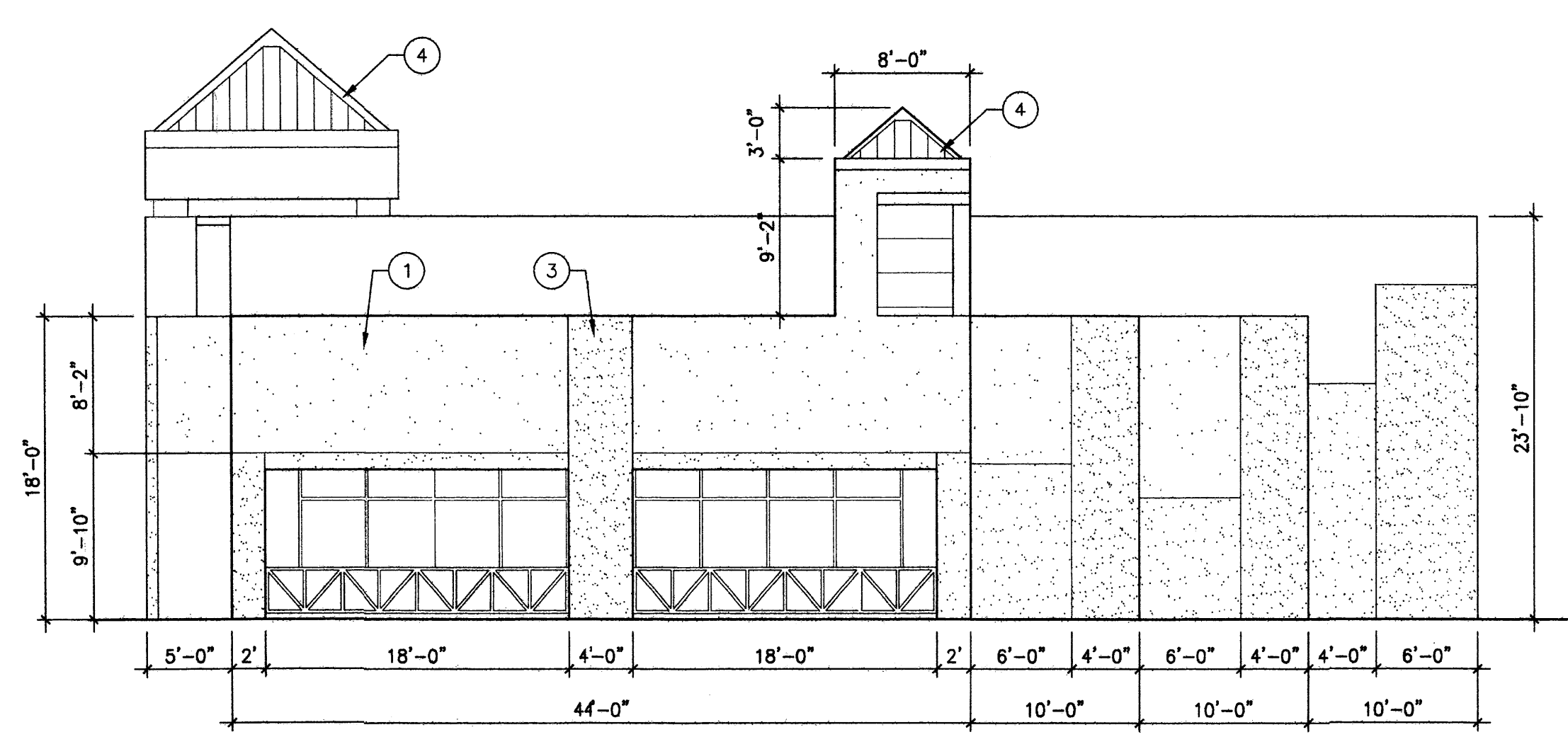
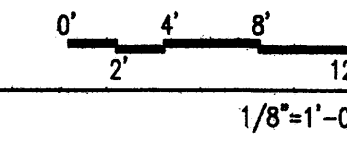




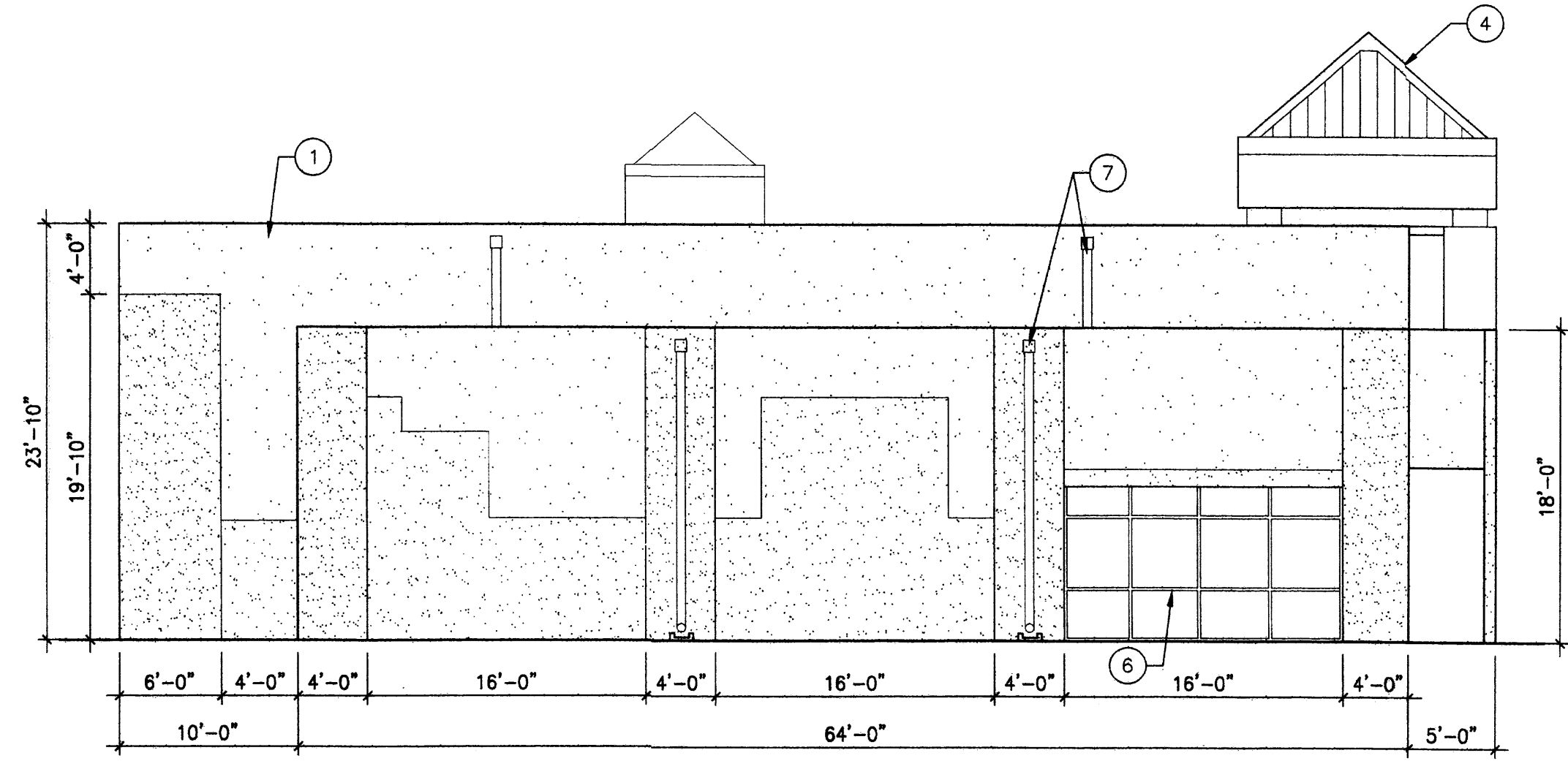
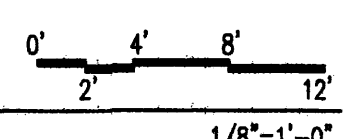
4 North Elevation - Building 1



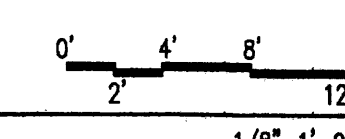
3 South Elevation - Building 1



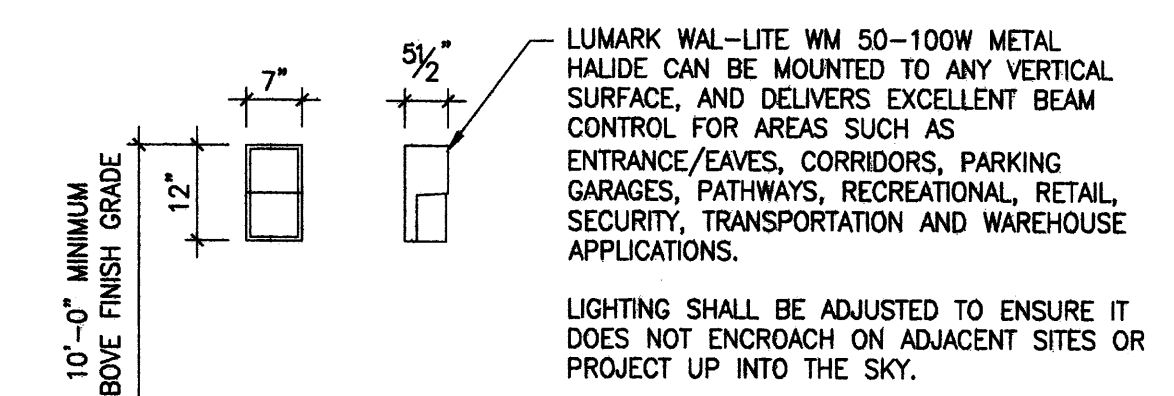
2 West Elevation - Building 1



1 East Elevation - Building 1



- Keyed Notes**
- P1 1 THREE COAT STUCCO SYSTEM TYPICAL, COLOR #1 TO MATCH EXISTING LIGHT TAN COLOR
  - P2 2 THREE COAT STUCCO SYSTEM TYPICAL, COLOR #2 TO MATCH EXISTING MEDIUM RED COLOR
  - P3 3 THREE COAT STUCCO SYSTEM TYPICAL, COLOR #3 TO MATCH EXISTING DEEP PURPLE COLOR
  - 4 METAL ROOF TO MATCH EXISTING, LIGHT BLUE/GRAY COLOR
  - 5 PAINTED TUBE STEEL COLOR TO MATCH EXISTING LIGHT BLUE/GRAY
  - 6 ALUMINUM STOREFRONT SYSTEM WITH CLEAR ANNOZIDIZED FINISH
  - 7 METAL COLLECTOR HEAD AND DOWNSPOUT PAINTED MEDIUM RED. PROVIDE SPLASH BLOCK BELOW EACH DOWNSPOUT WHERE DRAINAGE OCCURS AT LANDSCAPED AREA
  - 8 MAXIMUM HEIGHT OF WALL MOUNTED SIGNAGE/LETTERS TO BE 3'-0" WITH A MAXIMUM SIGN AREA OF APPROXIMATELY 60 SF. LETTERS TO BE INTERNALLY OR EXTERNALLY ILLUMINATED AS PER CITY ZONING CODE REQUIREMENTS
  - 9 MAXIMUM HEIGHT OF WALL MOUNTED SIGNAGE/LETTERS TO BE 1'-6" WITH A MAXIMUM SIGN AREA OF APPROXIMATELY 60 SF. LETTERS TO BE INTERNALLY OR EXTERNALLY ILLUMINATED AS PER CITY ZONING CODE REQUIREMENTS
  - 10 BUILDING MOUNTED SITE LIGHTING, SCREENED TO PREVENT LIGHT ENCROACHMENT OFF SITE, SEE DETAIL THIS SHEET
  - 11 INSULATED METAL DOOR AND FRAME PAINTED MEDIUM RED TO MATCH EXISTING



5 Building Mounted Lighting

REVISED OCTOBER 25, 2006  
 5 SEPTEMBER 2006  
 REVISED MARCH 21, 2007  
 © 2006, Briscoe Architects, P.C.

**Briscoe Architects, p.c.**  
 ARCHITECTURAL SERVICES FOR THE COMMERCIAL DEVELOPMENT COMMUNITY

2001 CARLISLE BLVD. NE, SUITE A  
 ALBUQUERQUE, NM 87110-4843  
 V: 505.282.0193 F: 505.881.9114 E: briscoe@man.com

**Far North Shopping Center**  
 Academy and San Mateo  
 Albuquerque, NM

PRELIMINARY FOR DRB REVIEW ONLY

SHEET NO. **5**

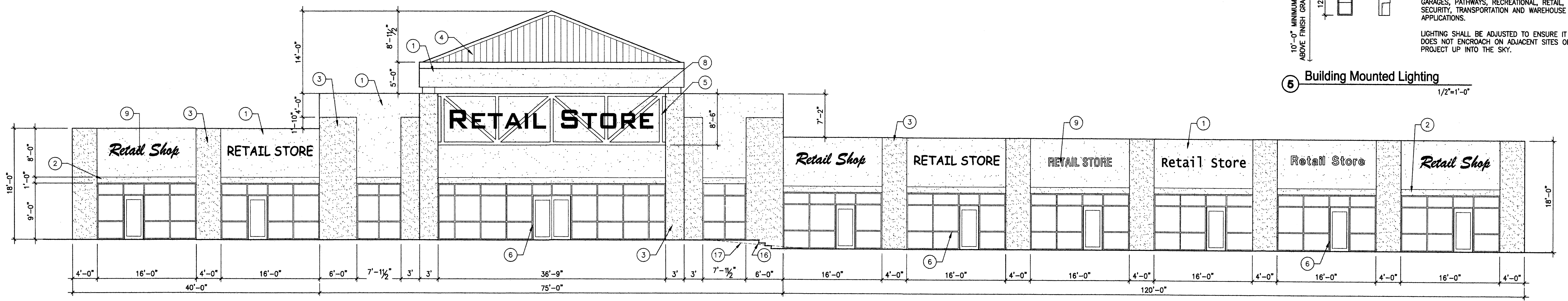


10'-0" MINIMUM ABOVE FINISH GRADE

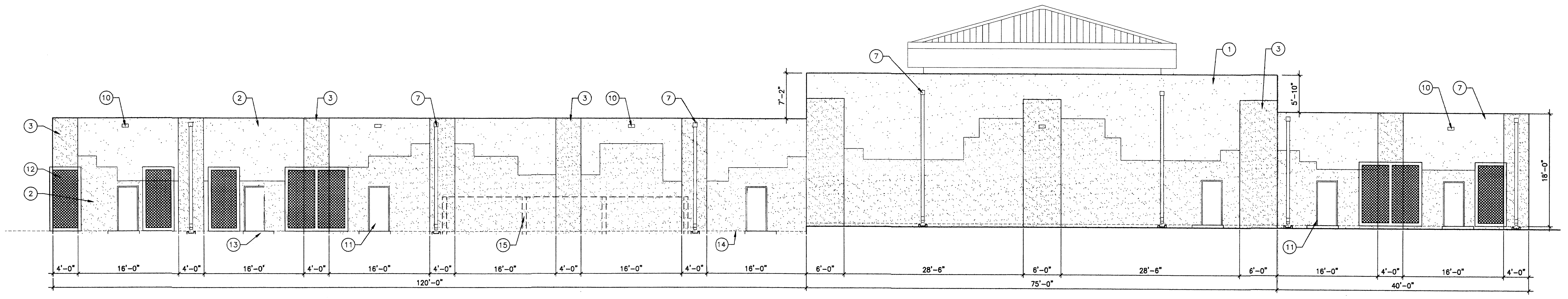
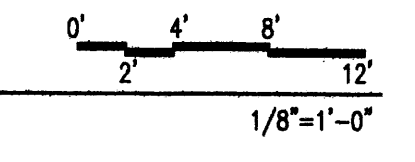
LUMARK WALL-LITE WM 50-100W METAL HALIDE CAN BE MOUNTED TO ANY VERTICAL SURFACE, AND DELIVERS EXCELLENT BEAM CONTROL FOR AREAS SUCH AS ENTRANCE/EAVES, CORRIDORS, PARKING GARAGES, PATHWAYS, RECREATIONAL, RETAIL, SECURITY, TRANSPORTATION AND WAREHOUSE APPLICATIONS.

LIGHTING SHALL BE ADJUSTED TO ENSURE IT DOES NOT ENCRoACH ON ADJACENT SITES OR PROJECT UP INTO THE SKY.

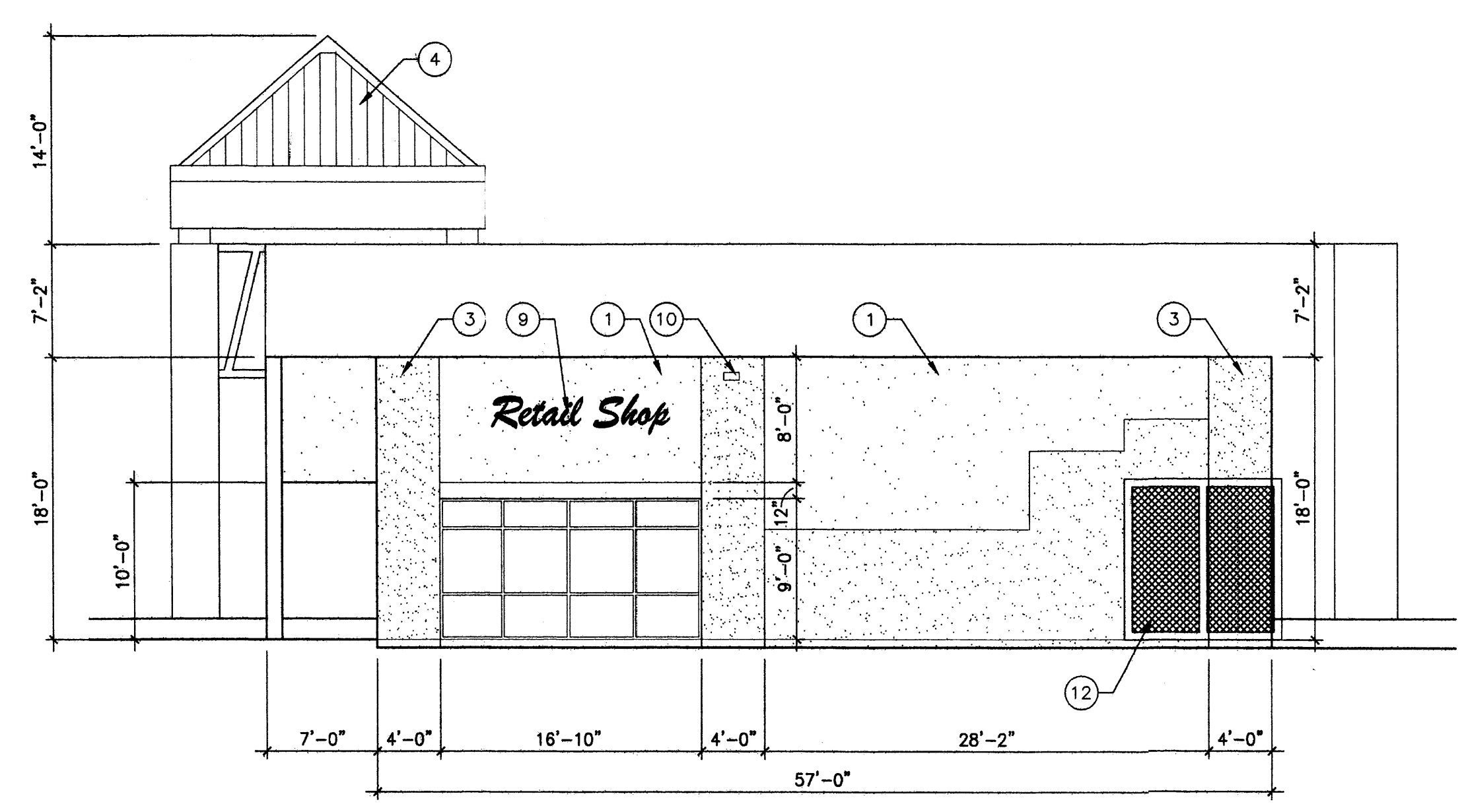
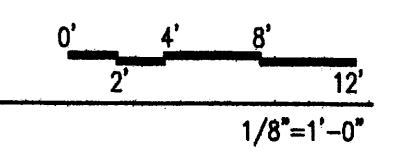
5 Building Mounted Lighting  
1/2"=1'-0"



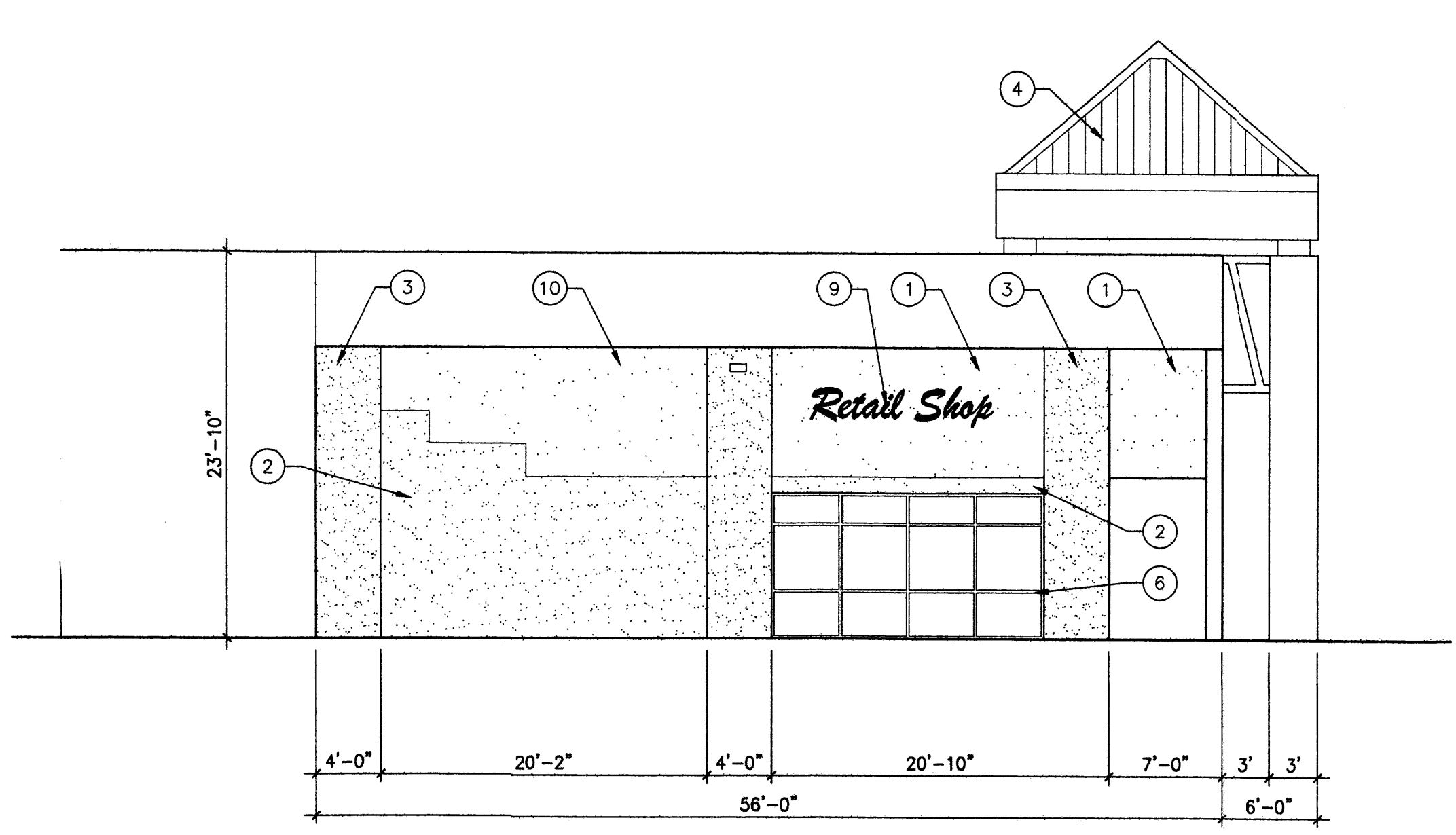
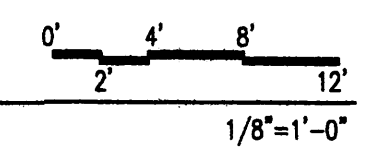
4 East Elevation - Building 2  
1/8"=1'-0"



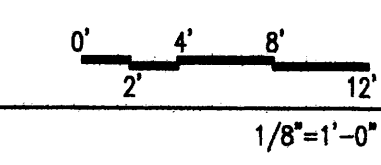
3 West Elevation - Building 2  
1/8"=1'-0"



2 North Elevation - Building 2  
1/8"=1'-0"



1 South Elevation - Building 2  
1/8"=1'-0"



- Keyed Notes**
- (P1) 1 THREE COAT STUCCO SYSTEM TYPICAL, COLOR #1 TO MATCH EXISTING LIGHT TAN COLOR
  - (P2) 2 THREE COAT STUCCO SYSTEM TYPICAL, COLOR #2 TO MATCH EXISTING MEDIUM RED COLOR
  - (P3) 3 THREE COAT STUCCO SYSTEM TYPICAL, COLOR #3 TO MATCH EXISTING DEEP PURPLE COLOR
  - 4 METAL ROOF TO MATCH EXISTING, LIGHT BLUE/GRAY COLOR
  - 5 PAINTED TUBE STEEL, COLOR TO MATCH EXISTING LIGHT BLUE/GRAY
  - 6 ALUMINUM STOREFRONT SYSTEM WITH CLEAR ANNOZIDIZED FINISH
  - 7 METAL COLLECTOR HEAD AND DOWNSPOUT PAINTED MEDIUM RED. PROVIDE SPLASH BLOCK BELOW EACH DOWNSPOUT WHERE DRAINAGE OCCURS AT LANDSCAPED AREA
  - 8 MAXIMUM HEIGHT OF WALL MOUNTED SIGNAGE/LETTERS TO BE 3'-0" WITH A MAXIMUM SIGN AREA OF APPROXIMATELY 60 SF. LETTERS TO BE INTERNALLY OR EXTERNALLY ILLUMINATED AS PER CITY ZONING CODE REQUIREMENTS
  - 9 MAXIMUM HEIGHT OF WALL MOUNTED SIGNAGE/LETTERS TO BE 1'-6" WITH A MAXIMUM SIGN AREA OF APPROXIMATELY 60 SF. LETTERS TO BE INTERNALLY OR EXTERNALLY ILLUMINATED AS PER CITY ZONING CODE REQUIREMENTS
  - 10 BUILDING MOUNTED SITE LIGHTING, SCREENED TO PREVENT LIGHT ENCRoACHMENT OFF SITE
  - 11 INSULATED METAL DOOR AND FRAME
  - 12 METAL TRELLIS, 5'X10'
  - 13 CONCRETE PAD, SEE SITEPLAN
  - 14 LINE OF FINISH FLOOR BEYOND
  - 15 OUTLINE OF TRASH ENCLOSURE, SEE SITE PLAN
  - 16 CONCRETE STEPS, SEE SITE PLAN
  - 17 CONCRETE RAMP BEYOND, SEE SITE PLAN

27 FEBRUARY 2007  
REVISED MARCH 21, 2007  
© 2006, Briscoe Architects, P.C.

**Briscoe Architects, p.c.**  
ARCHITECTURAL SERVICES FOR THE COMMERCIAL DEVELOPMENT COMMUNITY

2001 CARLISLE BLVD. NE, SUITE A  
ALBUQUERQUE, NM 87110-4943  
V: 505.282.0193 F: 505.881.9114 E: briscoe@msn.com

**Far North Shopping Center**  
Academy and San Mateo  
Albuquerque, NM 87109

PRELIMINARY FOR DRB REVIEW ONLY

SHEET NO. **6**