



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

October 12, 2011

Project# 1005051
 11DRB-70255 VACATION OF PUBLIC UTILITY EASEMENT

JEROME ECKSTEIN request(s) the referenced/ above action(s) for all or a portion of Tract(s) G-2-A-1, **SIESTA HILLS SUBDIVISION NO. 2**, zoned C-1, located on the southwest corner of GIBSON BLVD SE and DAKOTA ST SE containing approximately 1.15 acre(s). (M-18)

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All planned additions to existing educational facilities are contingent upon taxpayer approval.

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POLICE DEPARTMENT

No comments

FIRE DEPARTMENT

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PNM ELECTRIC & GAS

No comments

COMCAST

No comments

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Concerning the subject case number(s), CenturyLink has no objection to the vacation of the public utility easement as submitted, however CenturyLink will need to retain the 7' and 10' PUE' S within the south lot line for existing facilities. For specific questions regarding this request contact Rick Redman at 245-6098. Prior to any final plat approval, we will need a copy for review.

Please see map in file.

ENVIRONMENTAL HEALTH

No comments

M.R.G.C.D

No comments

OPEN SPACE DIVISION

No comments

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Hydrology has no objection.

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No objection to vacation request.

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No objection to Public Utility Easement Vacation request.

ABCWUA

No comments

PLANNING DEPARTMENT

Refer to comments from affected agencies/ Utilities plus any public hearing comments regarding proposed vacation.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

HEARINGS DATE: 10-12-11 (VPE)
(AN) 11-21-01



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 19, 2011

Project# 1005051

11DRB-70255 VACATION OF PUBLIC UTILITY EASEMENT

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At the October 19, 2011 Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file per section 14-14-7-2(A)(1) and (B)(1)(3) of the Subdivision Ordinance.

Findings

(A)(1) The easement vacation request was filed by the owner of a majority of the footage of land abutting the proposed vacation.

(B)(2) The public welfare is in no way served by retaining the easement subject to all utility companies accepting an alternative easement. City of Albuquerque does not need to utilize the easement for any purpose based on the ownership and required replat which will have to provide alternative easement to the satisfaction of franchised utilities.

(B)(3) There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right; property owners of record abutting the proposed vacation were notified by first class mail at least six days prior to the Development Review Board hearing approving the vacation and no objection regarding abridgement of a substantial property right was raised.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year

2. The required replat shall be signed by all franchised utility companies to acknowledge the vacation.

If you wish to appeal this decision, you must do so by November 3, 2011 in the manner described below.

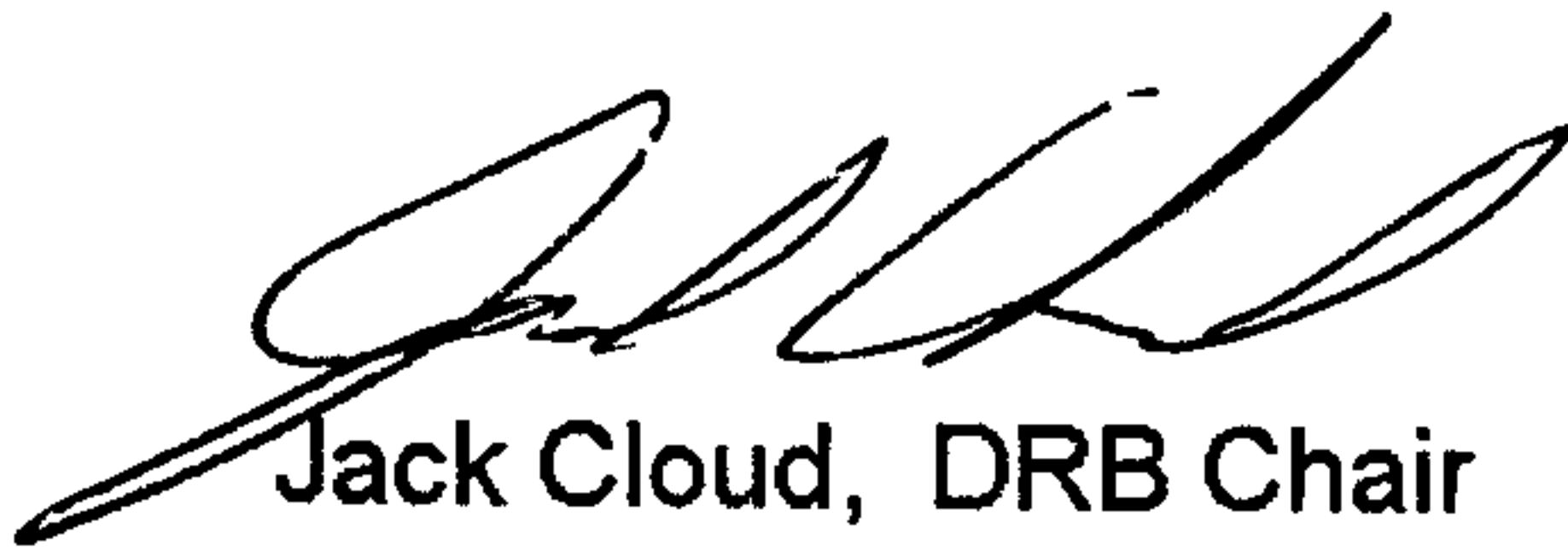
Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Jack Cloud, DRB Chair

Cc: Jerome Eckstein – 1420 Ridgecrest Pl SE – Albuquerque, NM 87108
Marilyn Maldonado
File



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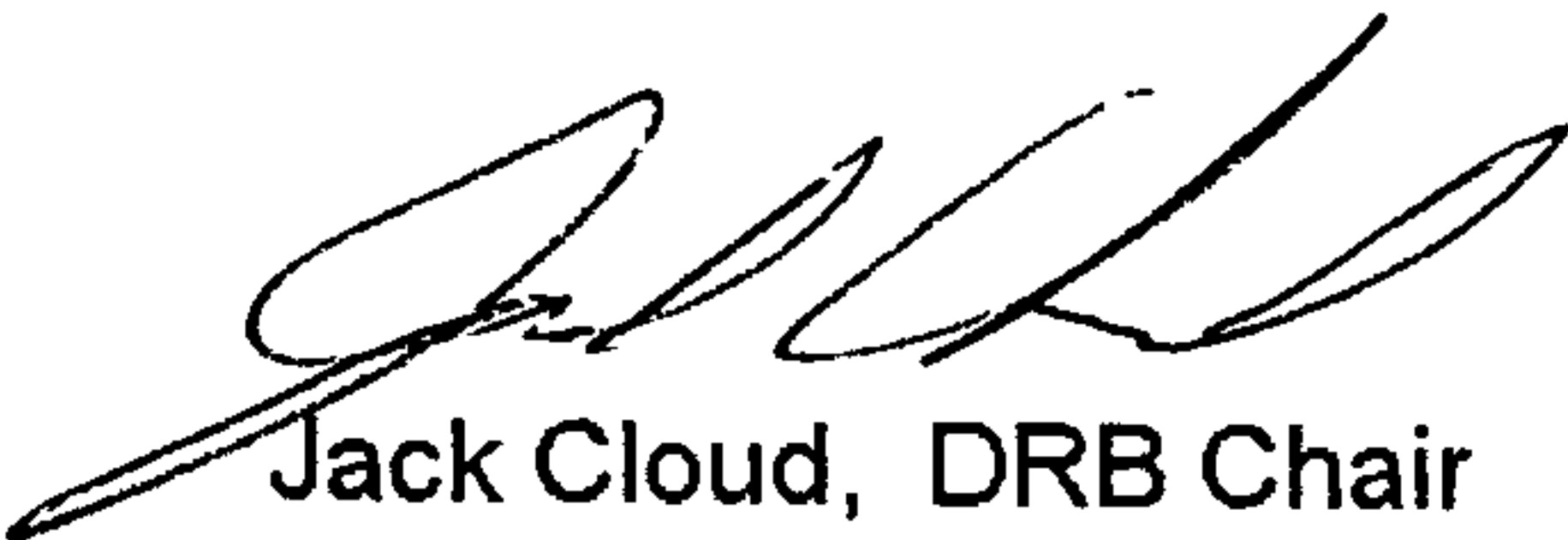
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Marilyn Maldonado
File

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST

Meeting Date: October 12, 2011

Project# 1005051

Zone Atlas Page: M-18

App# 11DRB-70255

Notification Radius: 206

Cross Reference and Location: Dakota SE Between
Louisiana SE and San Pedro SE

Applicant: Jerome Eckstein
1420 Ridgcrest Pl SE
Alb. NM 87108


Agent: SAME

Special Instructions:

Notice must be mailed from the
City's 15 day's prior to the meeting.

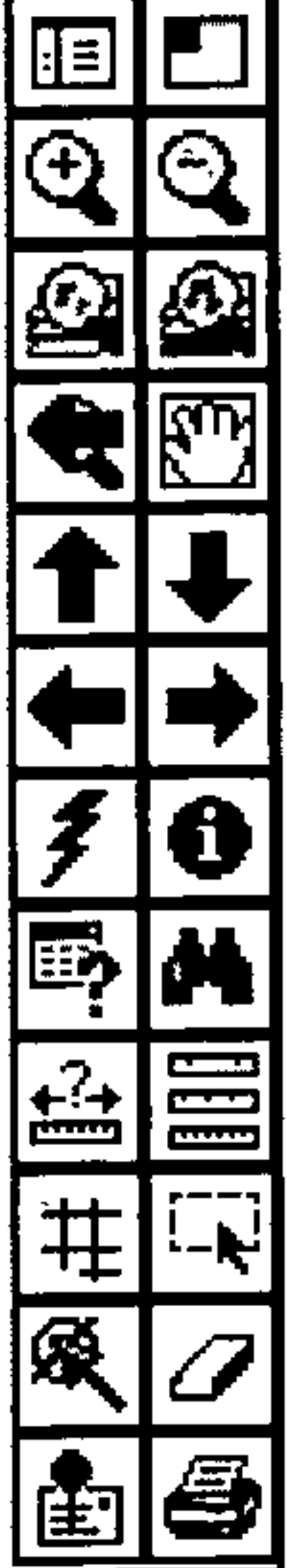
Date Mailed: 9-23-11

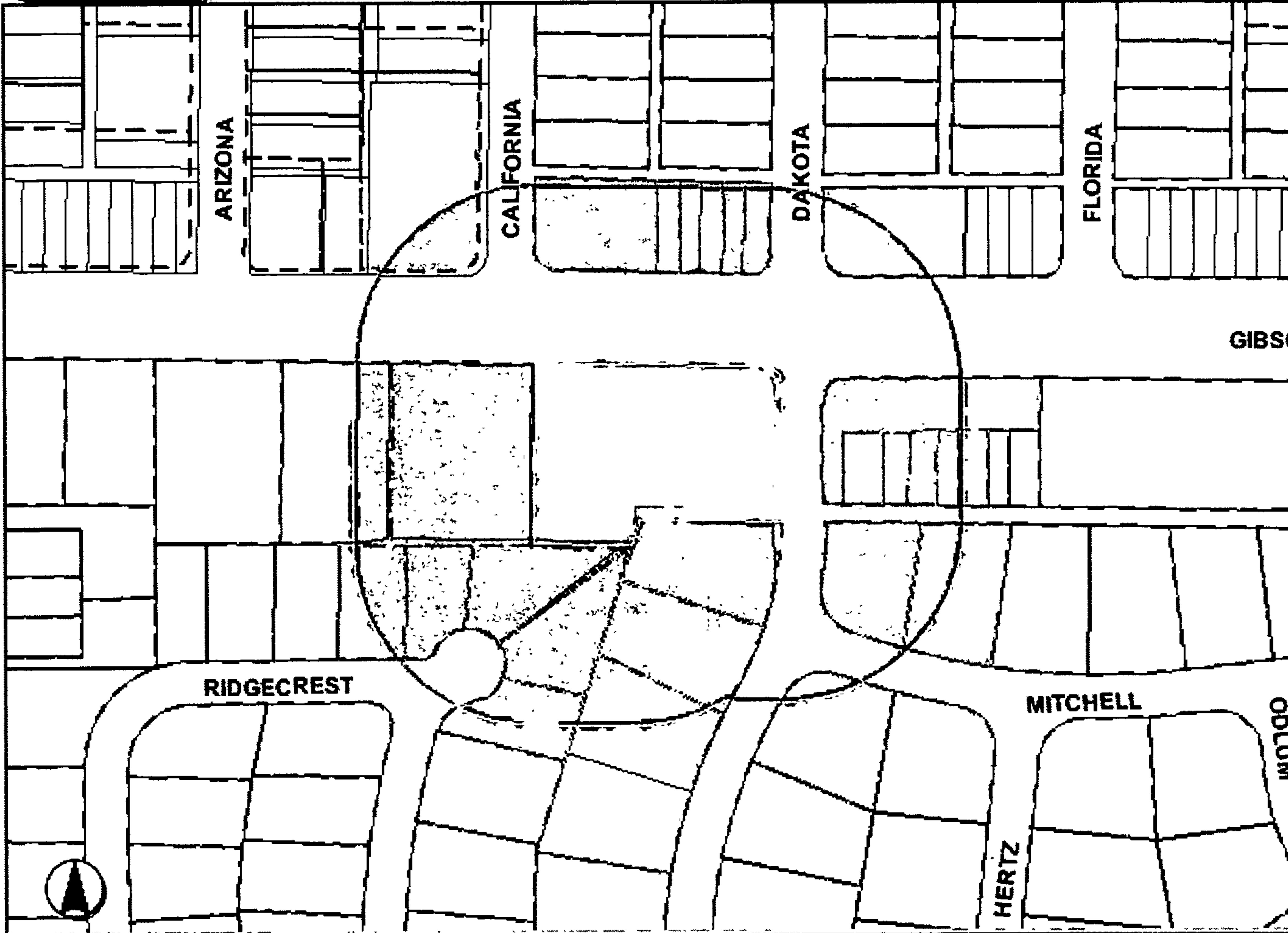
Signature: Raf



CITY OF ALBUQUERQUE
www.cabq.gov

ALBUQUERQUE GIS DATA WEBSITE







LAYERS

- STREETS
- BASEMAP
- PARCELS
- LOT NUMBERS
- METRO ADDRESS
- ZONING
- OWNERSHIP
- 2FT CONTOUR
- ADDRESS POINTS
- LANDUSE
- EASEMENTS
- INFRASTRUCTURE
- TRANSIT/SUNTRAN
- BOUNDARIES
- SITES
- ENVIRONMENT
- APS
- TRAFFIC ENG.
- AIR PHOTO
- 2010 AIR PHOTO
- 2008 AIR PHOTO
- 2006 AIR PHOTO
- 2004 AIR PHOTO
- 2002 AIR PHOTO
- 1999 AIR PHOTO

Refresh Map

Auto Refresh

Help:

-  Closed group, click to open.
-  Open group, click to close.

OWNERSHIP

Rec	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY
1	101805637101140401	MC COMAS JACK ETUX ETAL	600 ALCALDE PL SW	ALBUQUEI

Pan

[SEARCH](#)

[REFRESH](#)

[HELP](#)

[MAIN PAGE](#)

[CONTACT GIS TEAM](#)

LOVELAND FARMS DRIVE-THRU
CONVENIENCE STORES INC
1009 FLORIDA ST NE
ALBUQUERQUE, NM 87110

6000 GIBSON LLC
1134 MOUNTAIN RD NW
ALBUQUERQUE, NM 87102

SMITH PETER B & EDNA M
11717 WOODMAR LN NE
ALBUQUERQUE, NM 87111

RODRIGUEZ MOISES & MARY K
1300 RIDGECREST PL SE
ALBUQUERQUE, NM 87108

MONTOYA MAX A & ROSELLA M
1301 DAKOTA ST SE
ALBUQUERQUE, NM 87106

SCHMILLE CHARMAINE B
1301 RIDGECREST LP SE
ALBUQUERQUE, NM 87108

REINHARDT THOMAS E & ESTHER P TRUSTEES
REINHARDT RVT
1302 DAKOTA ST SE
ALBUQUERQUE, NM 87108

SCHNITZLER DAVID W ETAL
1304 RIDGECREST PL SE
ALBUQUERQUE, NM 87108

ABEYTA WILLIAM
1305 RIDGECREST LP SE
ALBUQUERQUE, NM 87108

LUDI KARLA J & ARAGON MADALENE E
1309 RIDGECREST LP SE
ALBUQUERQUE, NM 87108

ECKSTEIN JEROME R
1420 RIDGECREST PL SE
ALBUQUERQUE, NM 87108

BAKER WILLIAM L & CAROLE E
18632 ROGERS RD
ATCHISON, KS 66002

KEYSER JOANNA DE
435 LAFAYETTE PL NE
ALBUQUERQUE, NM 87106

KU NANCY W & YANG DONALD W
5910 GIBSON BLVD SE
ALBUQUERQUE, NM 87108

GONG XIAO MING
5915 GIBSON BLVD SE
ALBUQUERQUE, NM 87108

MC COMAS JACK ETUX ETAL
600 ALCALDE PL SW
ALBUQUERQUE, NM 87104

CHAVEZ MICHAEL A & PREMITIVA E
601 DAKOTA ST SE
ALBUQUERQUE, NM 87108

GONG XIAO MING
6101 MITCHELL RD SE
ALBUQUERQUE, NM 87108

LACY CONRA BACKSTROM & ERNIE C
6105 MITCHELL AVE SE
ALBUQUERQUE, NM 87108

APPELZOLLER MARIA C
6112 GIBSON BLVD SE
ALBUQUERQUE, NM 87108

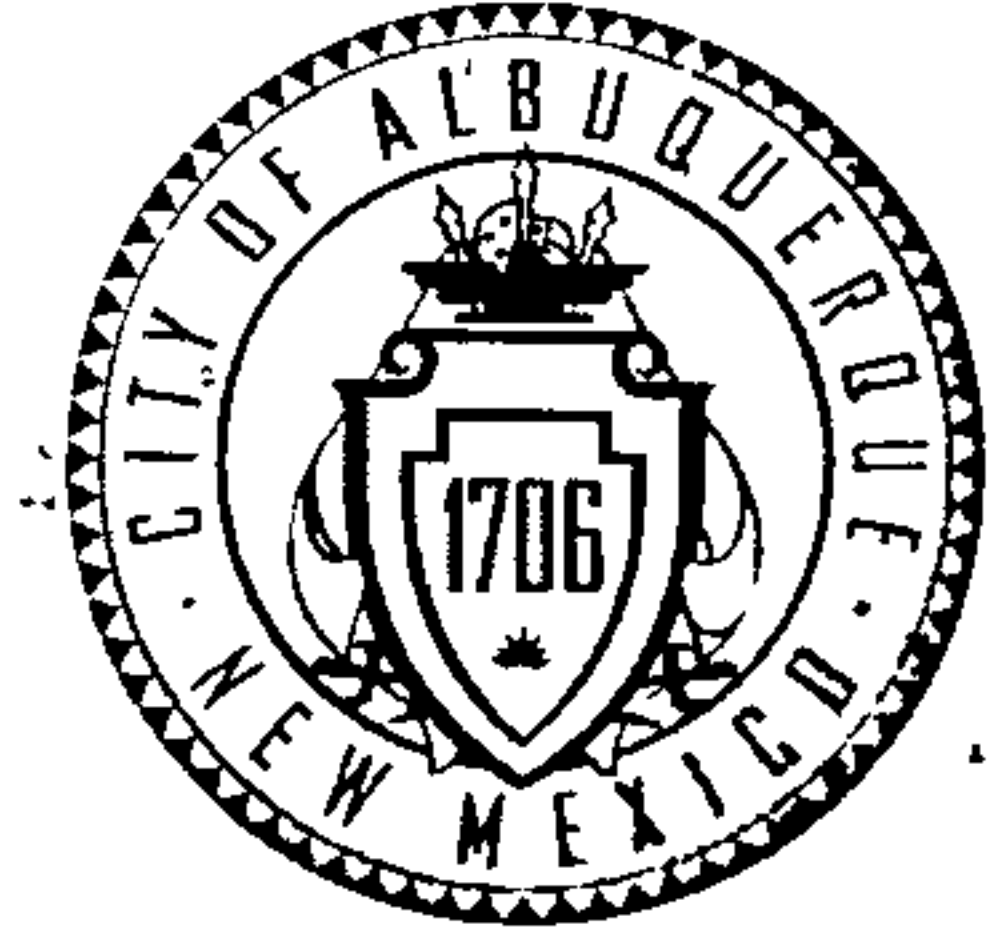
CRANSTON CYNTHIA A
6114 GIBSON BLVD SE
ALBUQUERQUE, NM 87108

PAYNE WORD H & VIVIAN F CO-TRUSTEES
PAYNE REVOC TRUST
6118 GIBSON BLVD SE
ALBUQUERQUE, NM 87108

SIESTA SQUARE HOMEOWNERS ASSOC C/O
WORD H PAYNE
6118 GIBSON BLVD SE
ALBUQUERQUE, NM 87108

CCC&S FAMILY LLC
8205 SPAIN RD NE SUITE 203
ALBUQUERQUE, NM 87109

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT

HYDROLOGY DEVELOPMENT SECTION DEVELOPMENT REVIEW BOARD MEMO

DRB PROJECT NO: 1005051

AGENDA ITEM NO: 3

SUBJECT:

ENGINEERING COMMENTS:

Vacation of Public Utility Easement

Hydrology has no objection.

RESOLUTION/COMMENTS:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3968

DATE: 10-12-11



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City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

44
44
44
44

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

09/12/2011 Issued By: E08375 122208

Category Code 910
2011 070 255

Application Number: 11DRB-70255, Vacation Of Public Easement

Address:

Location Description: DAKOTA ST BETWEEN LOUISIANA AND SAN PEDRO

Project Number: 1005051

Applicant

JEROME ECKSTEIN

1420 RIDGECREST PL SE
ALBUQUERQUE NM 87108
328-5050

Agent / Contact

JEROME ECKSTEIN

1420 RIDGECREST PL SE
ALBUQUERQUE NM 87108
328-5050

Application Fees

441018/4943000	APN Fee	\$75.00
441032/3416000	Conflict Mgmt Fee	\$20.00
441006/4958000	DRB Actions	\$45.00
TOTAL:		\$140.00

City Of Albuquerque
Treasury Division

9/12/2011 11:30AM LDC: ANNX
WS# 006 TRANS# 0022
RECEIPT# 00138779-00138779
PERMITH# 2011070255 TRSMCS
Trans Amt \$140.00
APN Fee \$75.00
Conflict Manag. Fee \$20.00
DRB Actions \$45.00
AM \$140.00
CHANGE \$0.00

Thank You



Supplemental Form (SF)

SUBDIVISION	S Z ZONING & PLANNING
<input type="checkbox"/> Major subdivision action	<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plan boundaries)
<input checked="" type="checkbox"/> Vacation	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> Variance (Non-Zoning)	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
SITE DEVELOPMENT PLAN	<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> for Subdivision	<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> for Building Permit	L A APPEAL / PROTEST of...
<input type="checkbox"/> Administrative Amendment/Approval (AA)	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Board of Appeals
<input type="checkbox"/> IP Master Development Plan	
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	
STORM DRAINAGE (Form D)	
<input type="checkbox"/> Storm Drainage Cost Allocation Plan	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): N/A PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

APPLICANT: Jerome Eckstein PHONE: 328-5050
 ADDRESS: 1420 Ridgcrest Pl SE FAX: _____
 CITY: ABQ STATE NM ZIP 87108 E-MAIL: jerome@regencyabq.com
 Proprietary interest in site: _____ List all owners: Jerome Eckstein

DESCRIPTION OF REQUEST: Relocate R.U.E. to west property line

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tr. G-2-A-1 Plat Tr G-2-A-1 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: H-2-A-1 Siesta Hills Subdivision
 Existing Zoning: G-1 Proposed zoning: SAME MRGCD Map No _____
 Zone Atlas page(s): M-18 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX,Z,V,S, etc.): N/A
1005051 ZHE 1002222 DRB

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 1.15 AC.
 LOCATION OF PROPERTY BY STREETS: On or Near: DAKOTA SE
 Between: LOUISIANA and SAN PEDRO

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Jerome Eckstein DATE 9/12/11
 (Print Name) Jerome Eckstein Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 6/2011

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>11DRB - 70255</u>	<u>VPE</u>	_____	<u>\$ 45.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>ADK</u>	_____	<u>\$ 75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 140.00</u>

Hearing date October 12, 2011

[Signature] 9-12-11
 Staff signature & Date

Project # 1005051

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** **(PUBLIC HEARING CASE)**
 - Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
 - Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- VACATION OF PUBLIC EASEMENT (DRB27)**
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
 - The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
- SIDEWALK WAIVER (DRB21)**
 - Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 - Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
 - Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)**
 - The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 - Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - Letter of authorization from the grantors and the beneficiaries (private easement only)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Jerome Eckstein
Applicant name (print)
[Signature] 9/12/11
Applicant signature / date



Form revised 4/07

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
11DRB - _____ - 70255
_____-_____-_____
_____-_____-_____

[Signature] 9-12-11
Planner signature / date
Project # 1005051

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

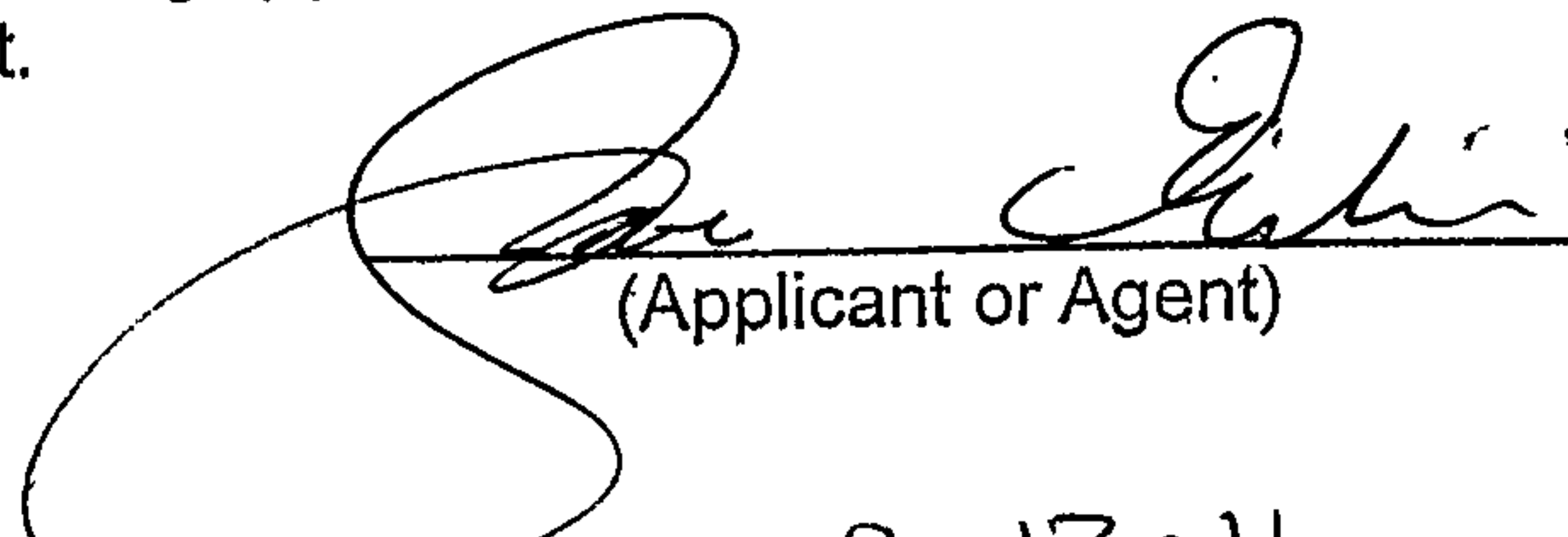
4. TIME

Signs must be posted from September 27, 2011 To October 12, 2011

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



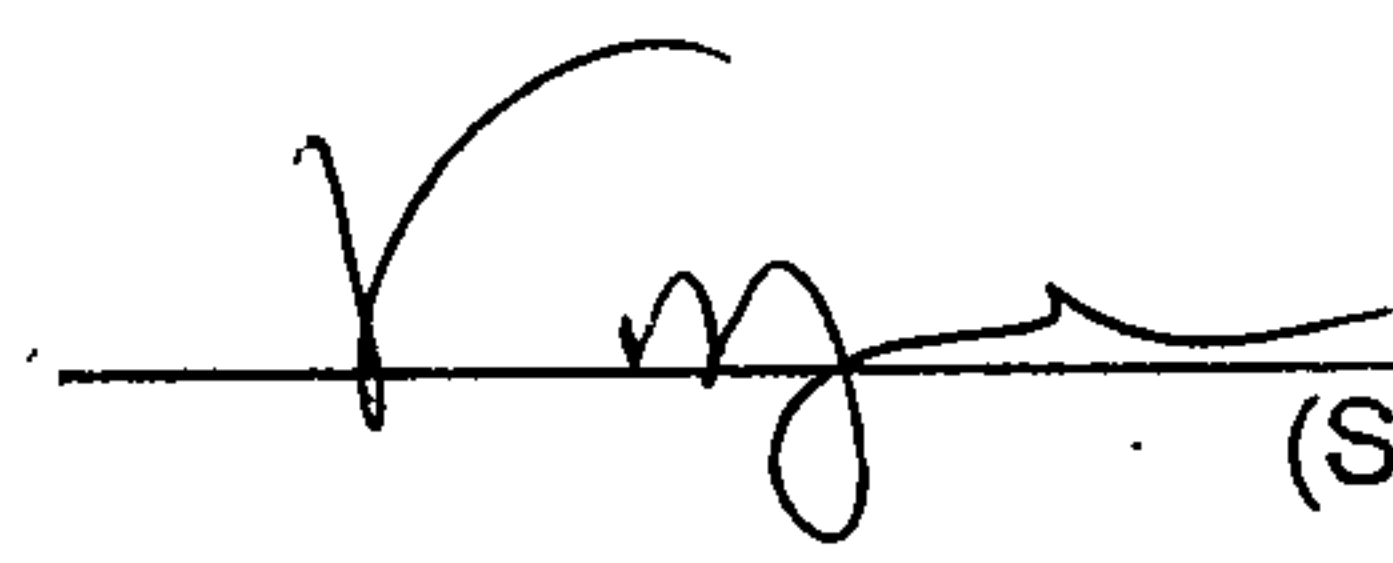
(Applicant or Agent)

9/12/11

(Date)

I issued 1 signs for this application, 9-12-11

(Date)



(Staff Member)

DRB PROJECT NUMBER: 1005051

September 9, 2011

Jerome Eckstein

1420 Ridgecrest Pl. SE

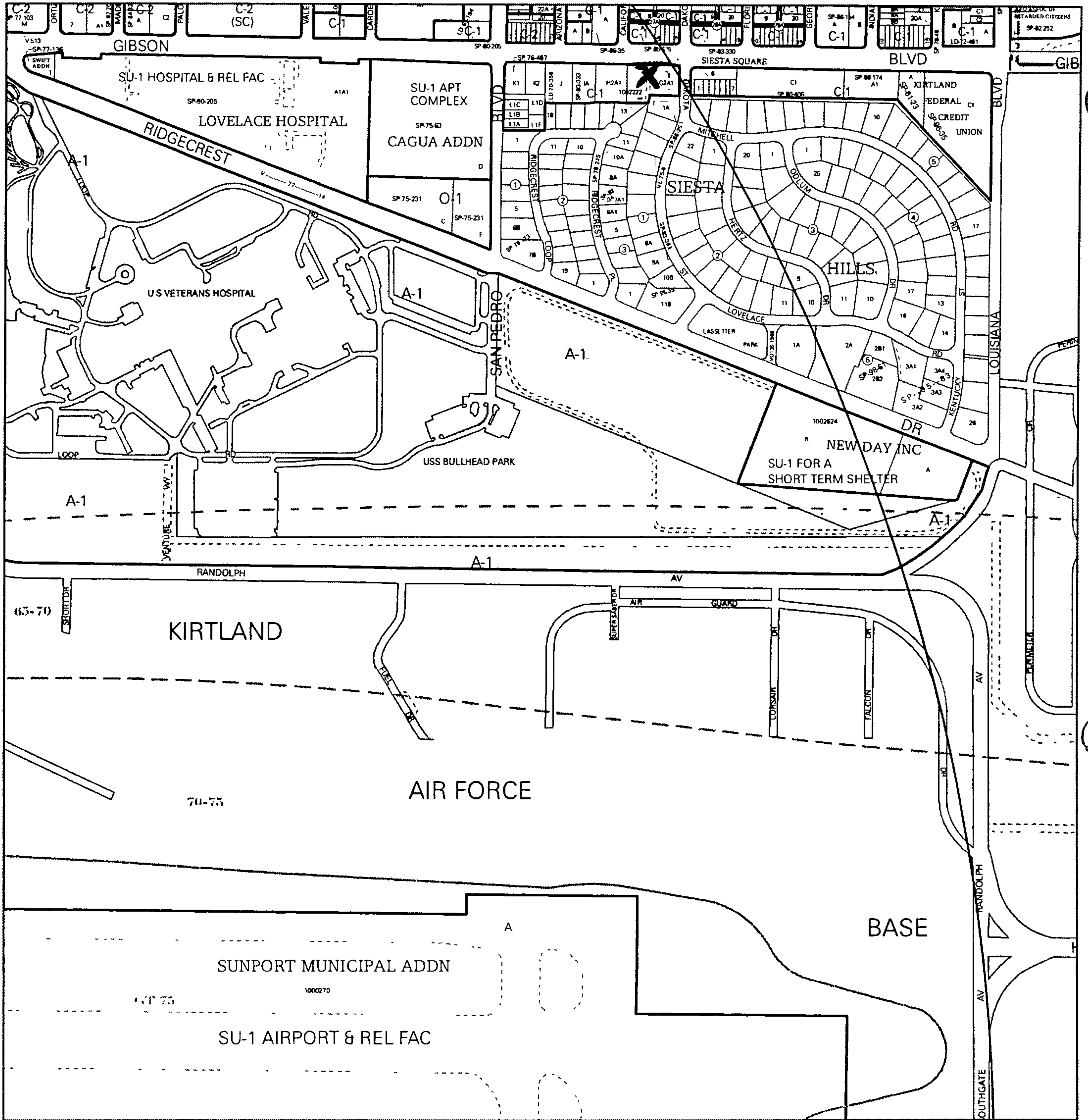
Albuquerque, NM 87108

I am the property owner of the site located at 6000 Gibson Blvd. S.E. (legal Description Track g-2-A-1 Plat of Tracks G-2-A-1 & H-2-A-1). This site is located between Louisiana and San Pedro next to the Family Dollar store. I am writing you today to inform you of a request I am making with the City of Albuquerque to relocate a Public Utility Easement that is located on my property. Currently the easement is located approximately in the middle of my property and I will be relocating the easement to the westerly property line to accommodate the site plan for new construction.

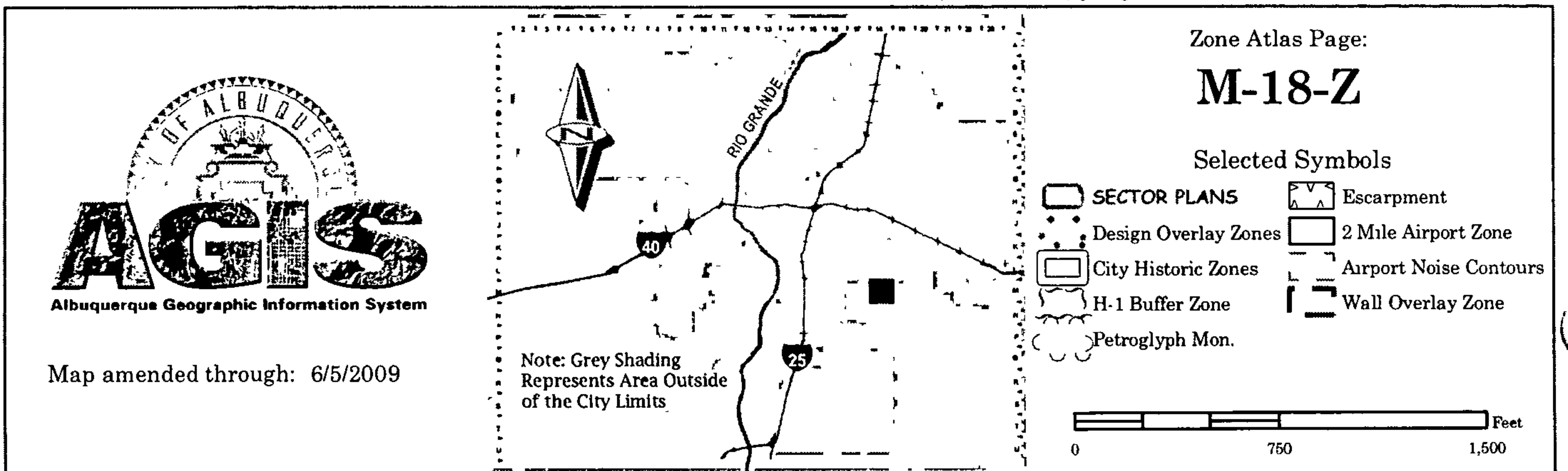
Should you have any questions please do not hesitate to call me at 328-5050.

Respectfully,

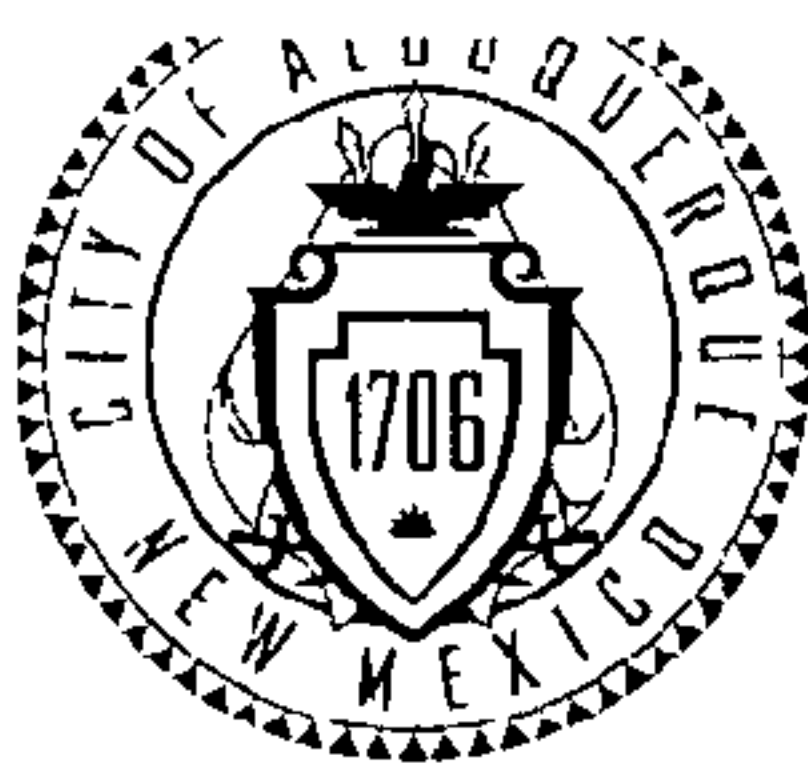

Jerome Eckstein



For more current information and more details visit: <http://www.cabq.gov/gis>



TR 6-2-A-1 PCAT OF
TRACKS 6-2-A-1 & H-2-A-1
Siesta Hills Subdivision 2
CONT 1.1155 AC.



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

September 9, 2011

Jerome Eckstein
1420 Ridgecrest Pl. SE/87108
Phone: 505-328-5050/Fax: 505-832-1113

Dear Jerome:

Thank you for your inquiry of September 9, 2011 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) TRACT G-2-A-1, PLAT OF TRACTS G-2-A-1 AND H-2-A-1, SIESTA HILLS SUBDIVISION, LOCATED AT DAKOTA STREET SE AND GIBSON BOULEVARD SE BETWEEN SAN PEDRO BOULEVARD SE AND LOUISIANA BOULEVARD SE** Zone Map: **M-18**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

SIESTA HILLS N.A. "R"

***W. L. Cole**, 1307 Odium SE/87108 870-8723 (h) ✓
Francie Straw, 6311 Lovelace Rd. SE/87108 256-9536 (h) ✓

ELDER HOMESTEAD N.A. "R"

***Marian Jordan**, 816 Arizona SE/87108 268-5190 (h) ✓

* denotes president of association

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck

Neighborhood Liaison

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

planningrnaform(05/22/08)

September 9, 2011

Jerome Eckstein

1420 Ridgecrest Pl. SE

Albuquerque, NM 87108

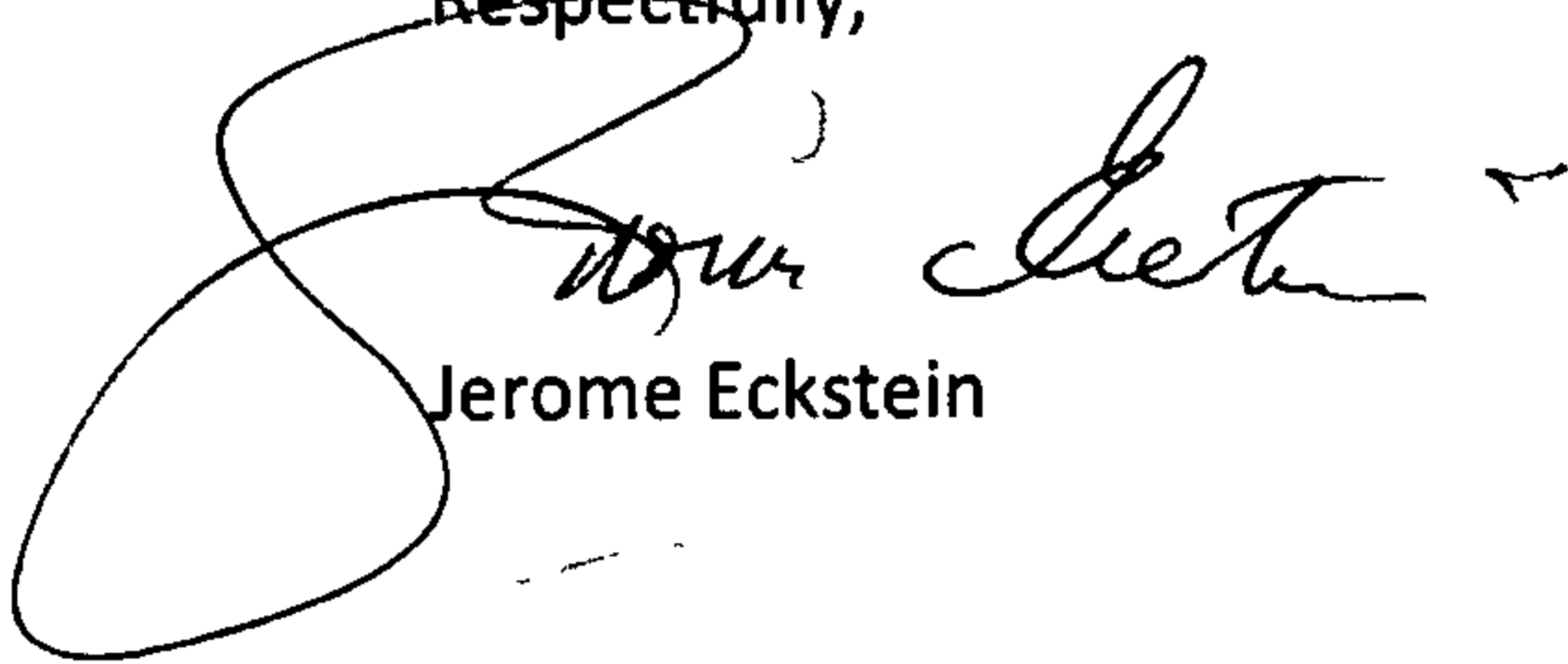
Siesta Hills Neighborhood Association

Ms. Francie Straw,

I am the property owner of the site located at 6000 Gibson Blvd. S.E. (legal Description Track g-2-A-1 Plat of Tracks G-2-A-1 & H-2-A-1). This site is located between Louisiana and San Pedro next to the Family Dollar store. I am writing you today to inform you of a request I am making with the City of Albuquerque to relocate a Public Utility Easement that is located on my property. Currently the easement is located approximately in the middle of my property and I will be relocating the easement to the westerly property line to accommodate the site plan for new construction.

Should you have any questions please do not hesitate to call me at 328-5050.

Respectfully,

A handwritten signature in black ink, appearing to read "Jerome Eckstein", written over a large, loopy scribble.

Jerome Eckstein

September 9, 2011

Jerome Eckstein

1420 Ridgecrest Pl. SE

Albuquerque, NM 87108

Siesta Hills Neighborhood Association

Mr. W. L. Cole,

I am the property owner of the site located at 6000 Gibson Blvd. S.E. (legal Description Track g-2-A-1 Plat of Tracks G-2-A-1 & H-2-A-1). This site is located between Louisiana and San Pedro next to the Family Dollar store. I am writing you today to inform you of a request I am making with the City of Albuquerque to relocate a Public Utility Easement that is located on my property. Currently the easement is located approximately in the middle of my property and I will be relocating the easement to the westerly property line to accommodate the site plan for new construction.

Should you have any questions please do not hesitate to call me at 328-5050.

Respectfully,



Jerome Eckstein

September 9, 2011

Jerome Eckstein

1420 Ridgecrest Pl. SE

Albuquerque, NM 87108

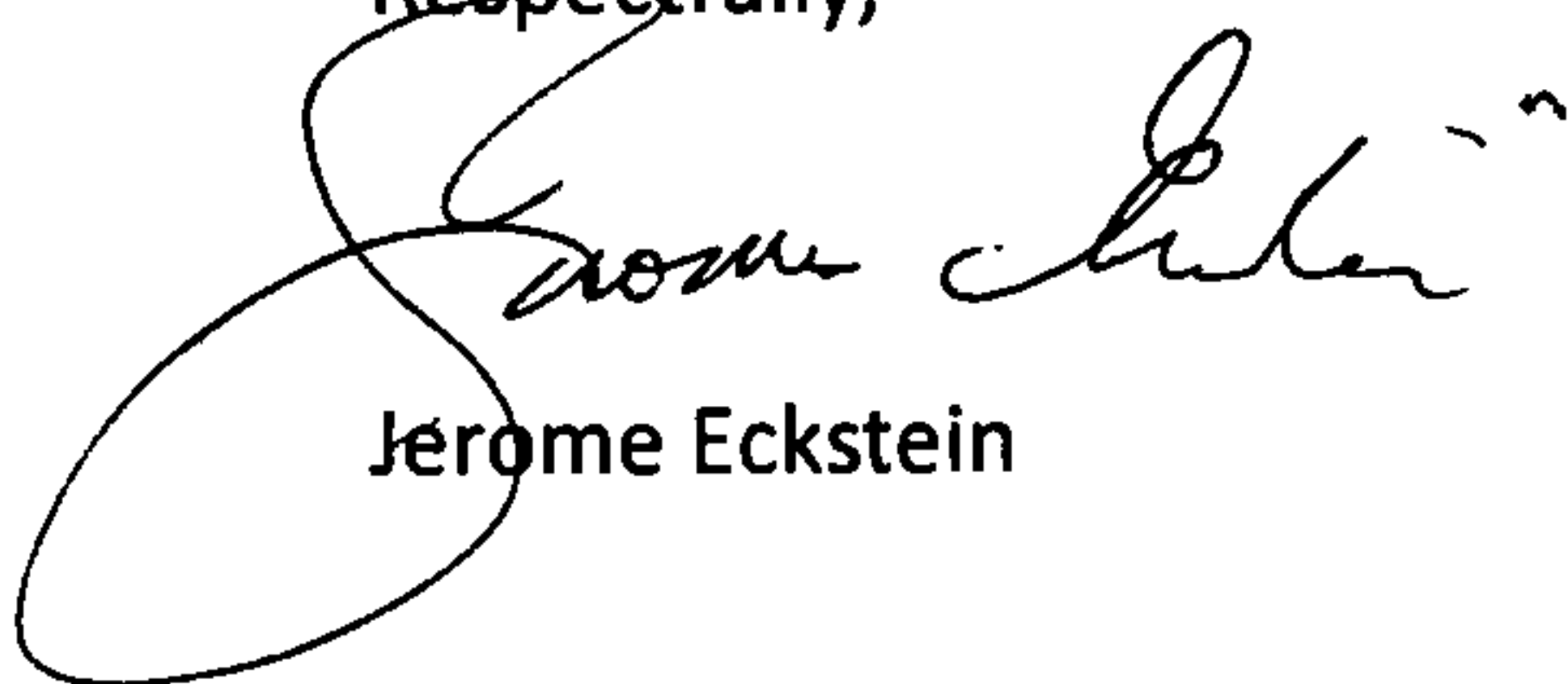
Elder Homestead Neighborhood Association

Marian Jordan,

I am the property owner of the site located at 6000 Gibson Blvd. S.E. (legal Description Track g-2-A-1 Plat of Tracks G-2-A-1 & H-2-A-1). This site is located between Louisiana and San Pedro next to the Family Dollar store. I am writing you today to inform you of a request I am making with the City of Albuquerque to relocate a Public Utility Easement that is located on my property. Currently the easement is located approximately in the middle of my property and I will be relocating the easement to the westerly property line to accommodate the site plan for new construction.

Should you have any questions please do not hesitate to call me at 328-5050.

Respectfully,

A handwritten signature in black ink, appearing to read "Jerome Eckstein", is written over the typed name. The signature is fluid and cursive, with a large loop at the beginning.

Jerome Eckstein

7010 2780 0003 2261 0030

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.44	0101
Certified Fee	\$2.85	03
Return Receipt Fee (Endorsement Required)	\$2.30	Postmark Here
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.59	09/09/2011

Sent To: **MANIAD JORDAN**
 Street, Apt. No., or PO Box No.: **816 ARIZONA SE**
 City, State, ZIP+4: **Albuq New Mex. 87108**

PS Form 3800, August 2006 See Reverse for Instructions

QUEER

7010 2780 0003 2261 0047

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.44	0101
Certified Fee	\$2.85	03
Return Receipt Fee (Endorsement Required)	\$2.30	Postmark Here
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.59	09/09/2011

Sent To: **FRANCIS STRAW**
 Street, Apt. No., or PO Box No.: **6311 LOVEACE RD SE**
 City, State, ZIP+4: **Albuq. N.M. 87108**

PS Form 3800, August 2006 See Reverse for Instructions

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

7010 2780 0003 2261 0023

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.44	0101
Certified Fee	\$2.85	03
Return Receipt Fee (Endorsement Required)	\$2.30	Postmark Here
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.59	09/09/2011

Sent To: **W-L COLE**
 Street, Apt. No., or PO Box No.: **1307 ODENUM SE**
 City, State, ZIP+4: **Albuq. N.M. 87108**

PS Form 3800, August 2006 See Reverse for Instructions

Project # 1005051

PLAT OF

TRACTS G-2-A-1 AND H-2-A-1
WITHIN
SIESTA HILLS SUBDIVISION No. 2

SECTION 36, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

PROJECT No. 1002222 APPLICATION No. 02DRB-01419

APPROVALS:	DATE
BRADY K. BARKER ENGINEER, TRANSPORTATION GROUP	10/9/02
CHRISTOPHER SANDERSON PARKS AND RECREATION DEPARTMENT	9/25/02
DEAN D. WANTS PNM ELECTRIC SERVICES	9-25-02
DAVID R. MULLER WEST TELECOMMUNICATIONS	9-23-02
DEAN D. WANTS PNM GAS SERVICES	9-25-02
RITA EICH COMPUTER	9-24-02
[Signature] CITY SURVEYOR, ENGINEERING DIVISION	9-16-02
[Signature] UTILITIES DEVELOPMENT	9-25-02
[Signature] A.M.A.P.C.A.	10-08-02
[Signature] ENGINEER, TRAFFIC DEPT.	10-08-02
WA [Signature] PROPERTY MANAGEMENT	10-08-02

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14, ARTICLE 14, REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

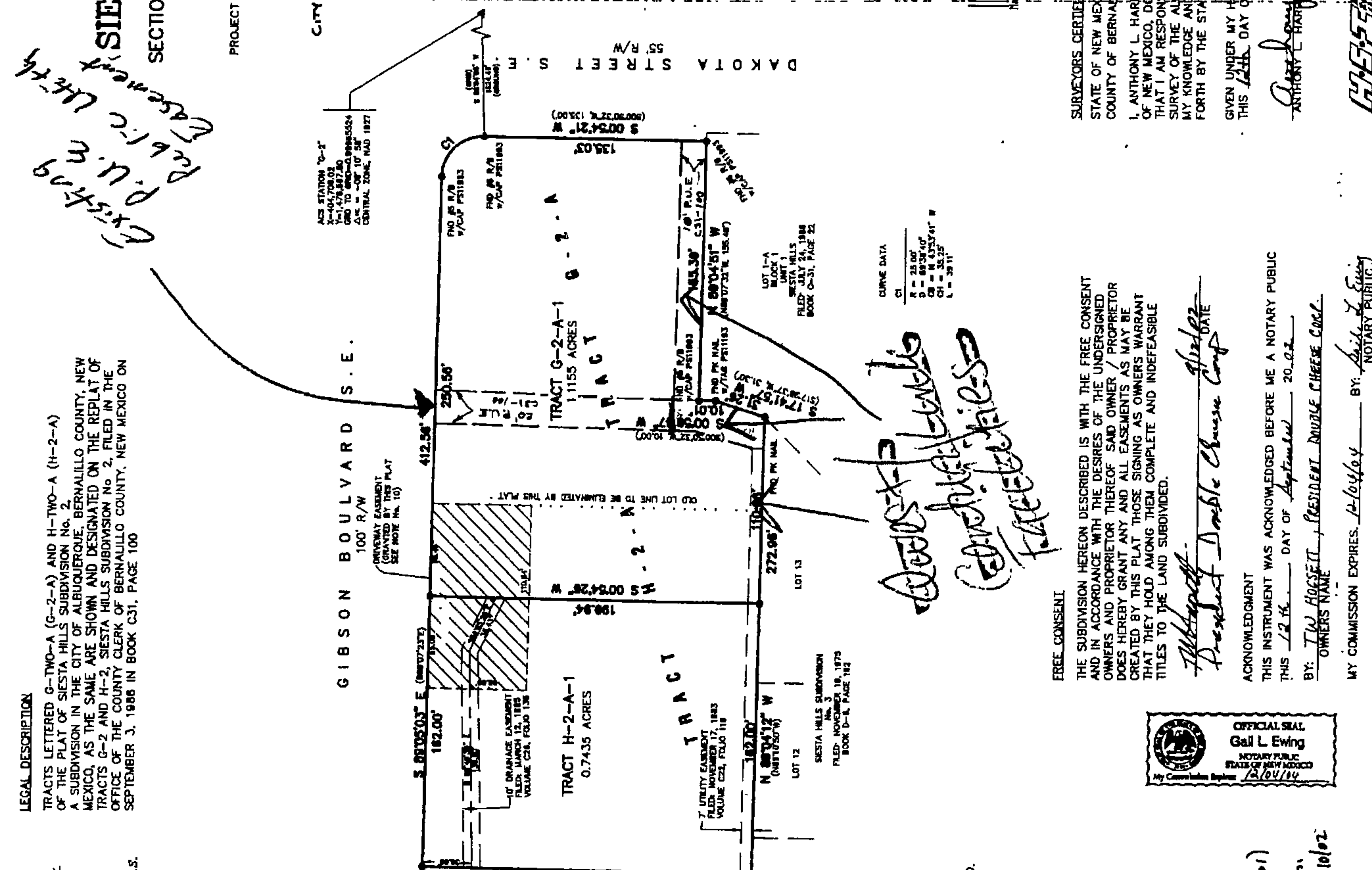
CITY PLANNER
ALBUQUERQUE PLANNING DIVISION
10/9/02



SURVEYORS CERTIFICATE:
STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)
I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
THIS 12th DAY OF September, 2002.

ANTHONY L. HARRIS, P.S. 11143
[Signature]
[Seal: ANTHONY L. HARRIS, REGISTERED PROFESSIONAL SURVEYOR, STATE OF NEW MEXICO, #11143]



FREE CONSENT:
THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNING OWNERS AND PROPRIETOR THEREOF SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLES TO THE LAND SUBDIVIDED.

[Signature]
President Double Cheese Corp
DATE

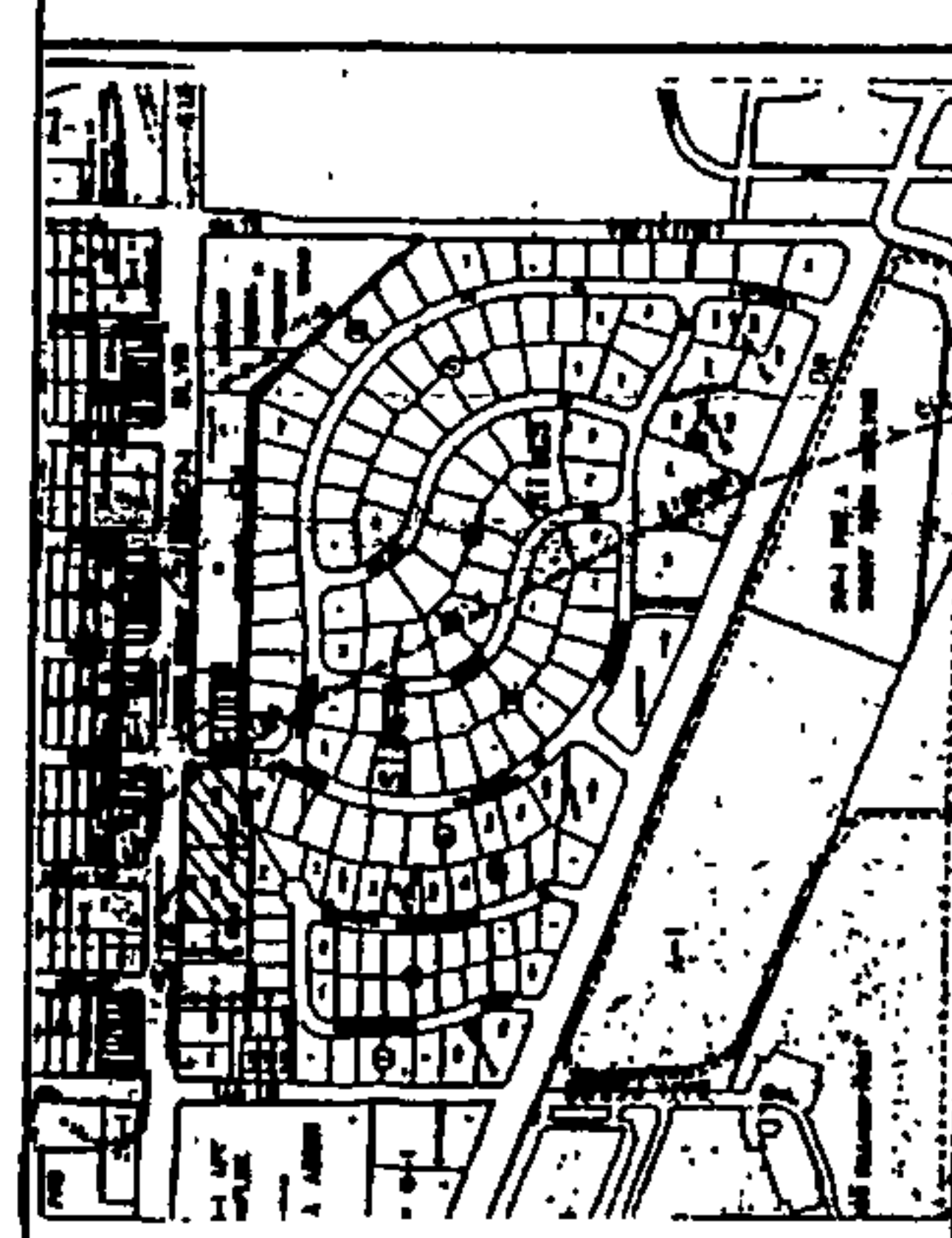
ACKNOWLEDGMENT
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC
THIS 12th DAY OF September, 2002.

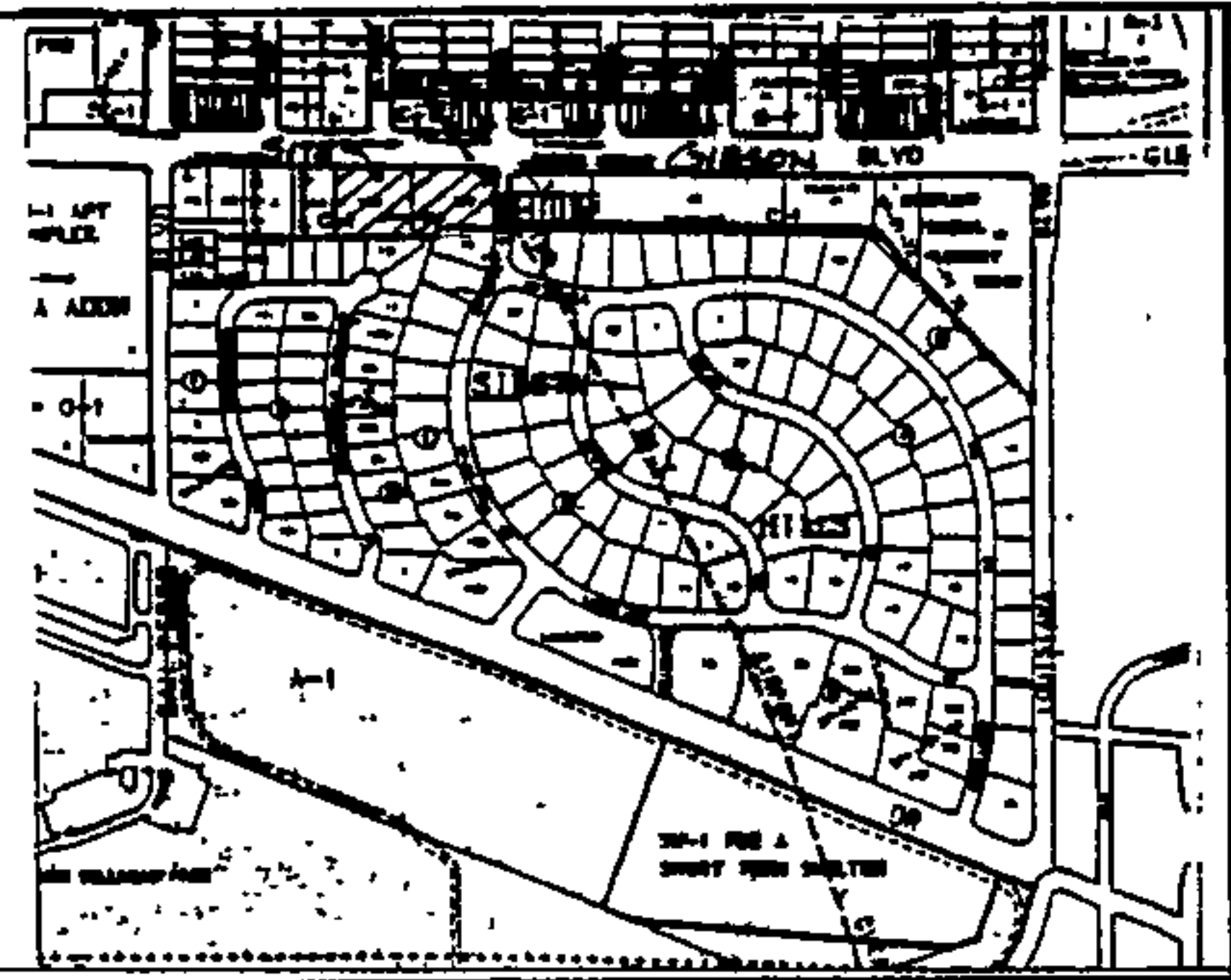
BY: [Signature]
OWNERS NAME: JIM HOSSEIT, PRESIDENT DOUBLE CHEESE CORP.
MY COMMISSION EXPIRES: 12/04/04 BY: [Signature]
NOTARY PUBLIC



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON (2001)
UPON 1-018-DSE-335514-10/1018-055-348514-1015-1
PROPERTY OWNER OF RECORD: Double Cheese Corporation
BERNALILLO CO TREASURER'S OFFICE: [Signature] 10/10/02

- DISCLOSURE STATEMENT:**
THE PURPOSE OF THIS PLAT IS TO RELOCATE THE PROPERTY LINE BETWEEN TRACTS H-2-A AND G-2-A AND GRANT ANY EASEMENTS AS SHOWN.
- GENERAL NOTES:**
- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11403 WERE SET AT ALL PROPERTY CORNERS.
 - THIS PLAT SHOWS ALL EASEMENTS OF RECORD
 - TOTAL AREA OF PROPERTY: 1.8591 ACRES.
 - TALOS LOG NO. 2002135812
 - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
 - DISTANCES ARE GROUND, BEARINGS ARE GRID.
 - BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE RECORD.
 - DATE OF FIELD WORK: JULY, 2002
 - CURRENT ZONING: G-1
 - THE DRIVEWAY EASEMENT SHOWN HEREON IS FOR THE BENEFIT OF TRACTS G-2-A AND H-2-A. THE MAINTENANCE OF SAID EASEMENT IS LIMITED TO THE AREA WITHIN EACH TRACT





VICINITY MAP No. M-18



LEGAL DESCRIPTION

TRACTS LETTERED G-TWO-A (G-2-A) AND H-TWO-A (H-2-A) OF THE PLAT OF SIESTA HILLS SUBDIVISION No. 2, A SUBDIVISION IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE REPLAT OF TRACTS G-2 AND H-2, SIESTA HILLS SUBDIVISION No. 2, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 3, 1986 IN BOOK C31, PAGE 100

Existing P.U.E Public Utility Easement

PLAT OF
TRACTS G-2-A-1 AND H-2-A-1
SIESTA HILLS SUBDIVISION No. 2
WITHIN
SECTION 36, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

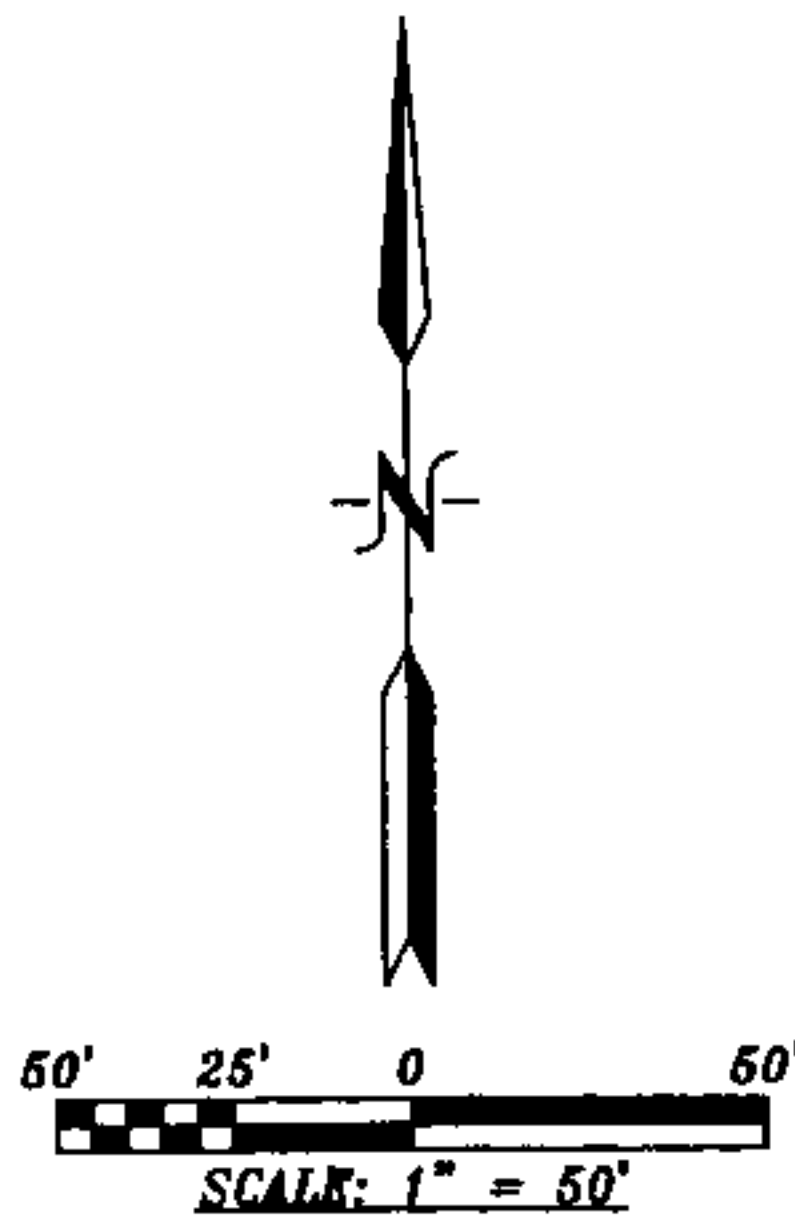
PROJECT No 1002232 APPLICATION No 02DRB-01419
AUGUST, 2002

APPROVALS:

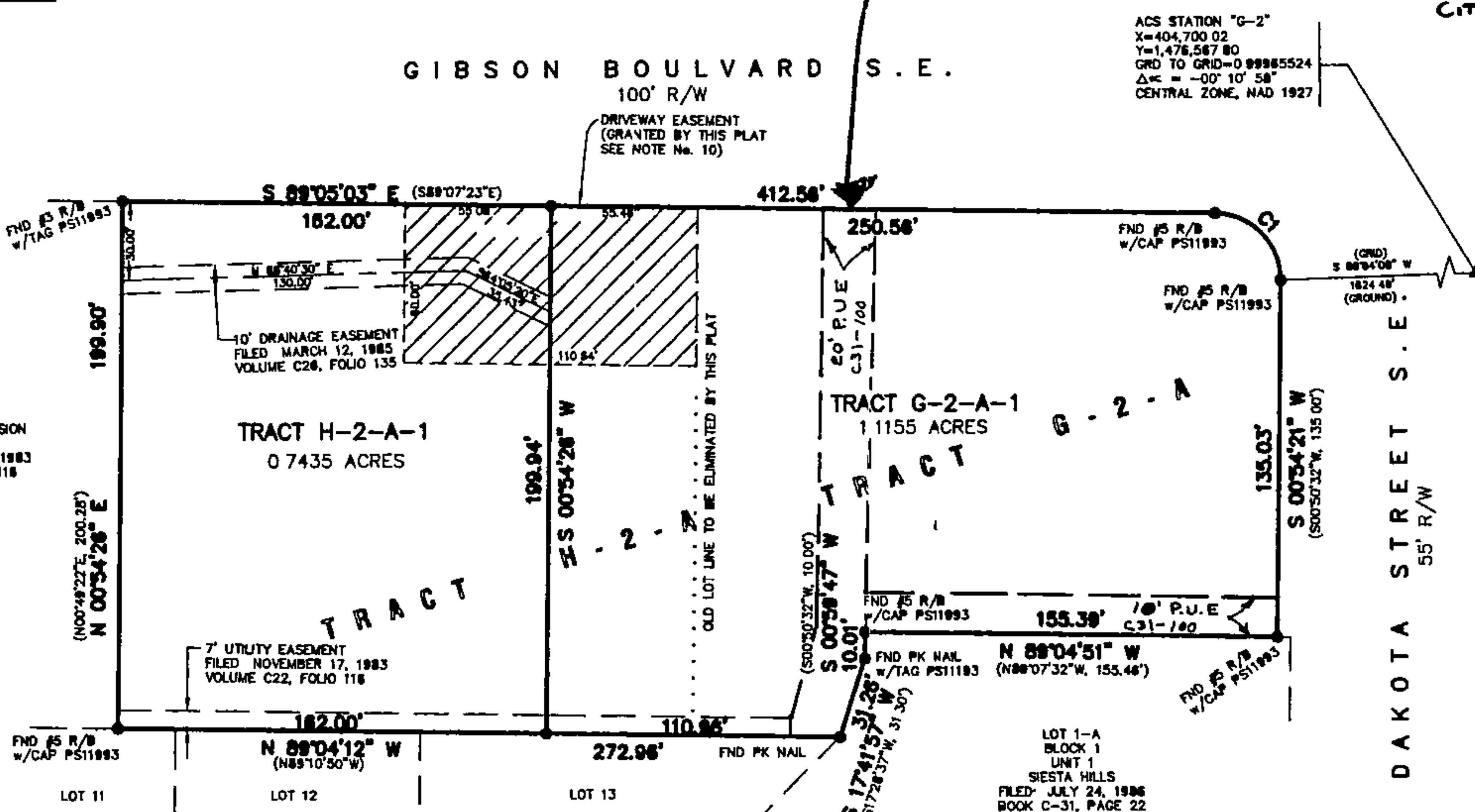
City	<i>Brady A. Buhar</i>	10/9/02
	ENGINEER, TRANSPORTATION GROUP	DATE
	<i>Christina Sandoval</i>	9/25/02
	PARKS AND RECREATION DEPARTMENT	DATE
	<i>Leandro M. Marks</i>	9-25-02
	PNM ELECTRIC SERVICES	DATE
	<i>Daniel R. Muller</i>	9-23-02
	WEST TELECOMMUNICATIONS	DATE
	<i>Leandro M. Marks</i>	9-25-02
	PNM GAS SERVICES	DATE
	<i>Rita Euchs</i>	9-24-02
	COMCAST	DATE
	<i>John J. Stutz</i>	9-16-02
	CITY SURVEYOR, ENGINEERING DIVISION	DATE
	<i>Roy A. Green</i>	9-25-02
	UTILITIES DEVELOPMENT	DATE
	<i>Robert D. Danks</i>	10-08-02
	A.M.A.F.C.A.	DATE
	<i>Michael Danks</i>	10-08-02
	ENGINEER, TRAFFIC	DATE
	<i>NA</i>	
	PROPERTY MANAGEMENT	DATE

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14, REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994

Janet S. 10/9/02
CITY PLANNER
ALBUQUERQUE PLANNING DIVISION



TRACT I-A
SIESTA HILLS SUBDIVISION
No. 3
FILED: NOVEMBER 17, 1983
BOOK C-22, PAGE 118



DISCLOSURE STATEMENT.

THE PURPOSE OF THIS PLAT IS TO RELOCATE THE PROPERTY LINE BETWEEN TRACTS H-2-A AND G-2-A AND GRANT ANY EASEMENTS AS SHOWN

GENERAL NOTES.

- UNLESS NOTED, No 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD
- TOTAL AREA OF PROPERTY: 1.8591 ACRES.
- TALOS LOG NO. 2002135812
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927
- DISTANCES ARE GROUND, BEARINGS ARE GRID
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD
- DATE OF FIELD WORK JULY, 2002
- CURRENT ZONING C-1
- THE DRIVEWAY EASEMENT SHOWN HEREON IS FOR THE BENEFIT OF TRACTS G-2-A AND H-2-A THE MAINTENANCE OF SAID EASEMENT IS LIMITED TO THE AREA WITHIN EACH TRACT

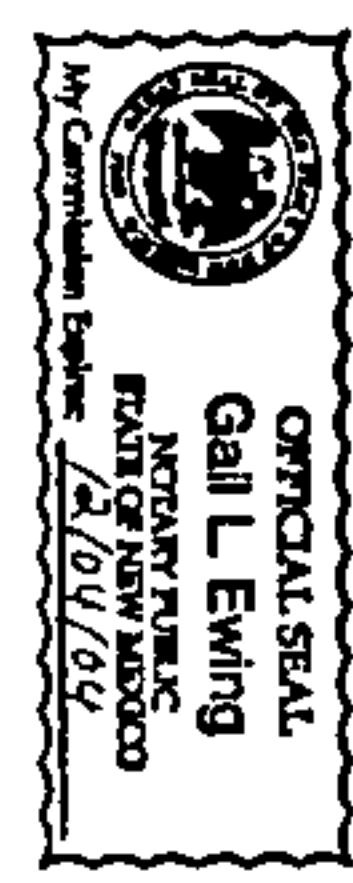
FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLES TO THE LAND SUBDIVIDED

T.W. Hocsett 9/12/02
President Double Cheese Corp DATE

ACKNOWLEDGMENT

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 12th DAY OF September, 2002
BY: T.W. HOCSETT, PRESIDENT DOUBLE CHEESE CORP
OWNERS NAME
MY COMMISSION EXPIRES 12/04/04 BY: Gail L. Ewing
NOTARY PUBLIC



SURVEYORS CERTIFICATE.

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)
I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO

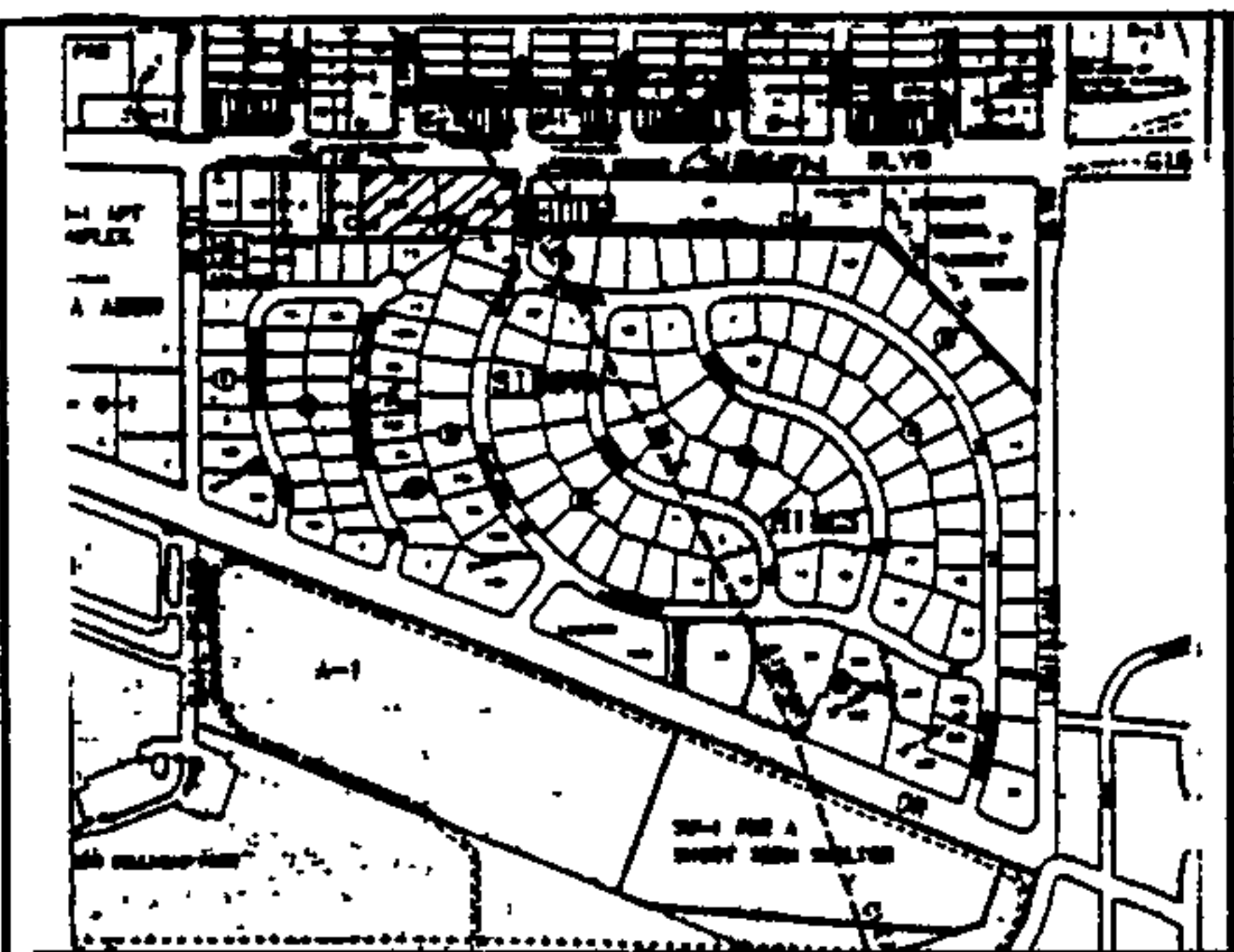
GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 12th DAY OF September, 2002

Anthony L. Harris
ANTHONY L. HARRIS, P.S. # 11463



HARRIS SURVEYING, INC. PHONE: (505) 883-8866
8415-D MONROE STREET N.E. FAX: (505) 883-8845
ALBUQUERQUE, NEW MEXICO 87110

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON (2001)
UPC# 1-018-055-325514-10120/1018-055-348514-10154
PROPERTY OWNER OF RECORD: Double Cheese Corporation
BERNALILLO CO TREASURER'S OFFICE William Kavanaugh 10/10/02



VICINITY MAP No. M-18

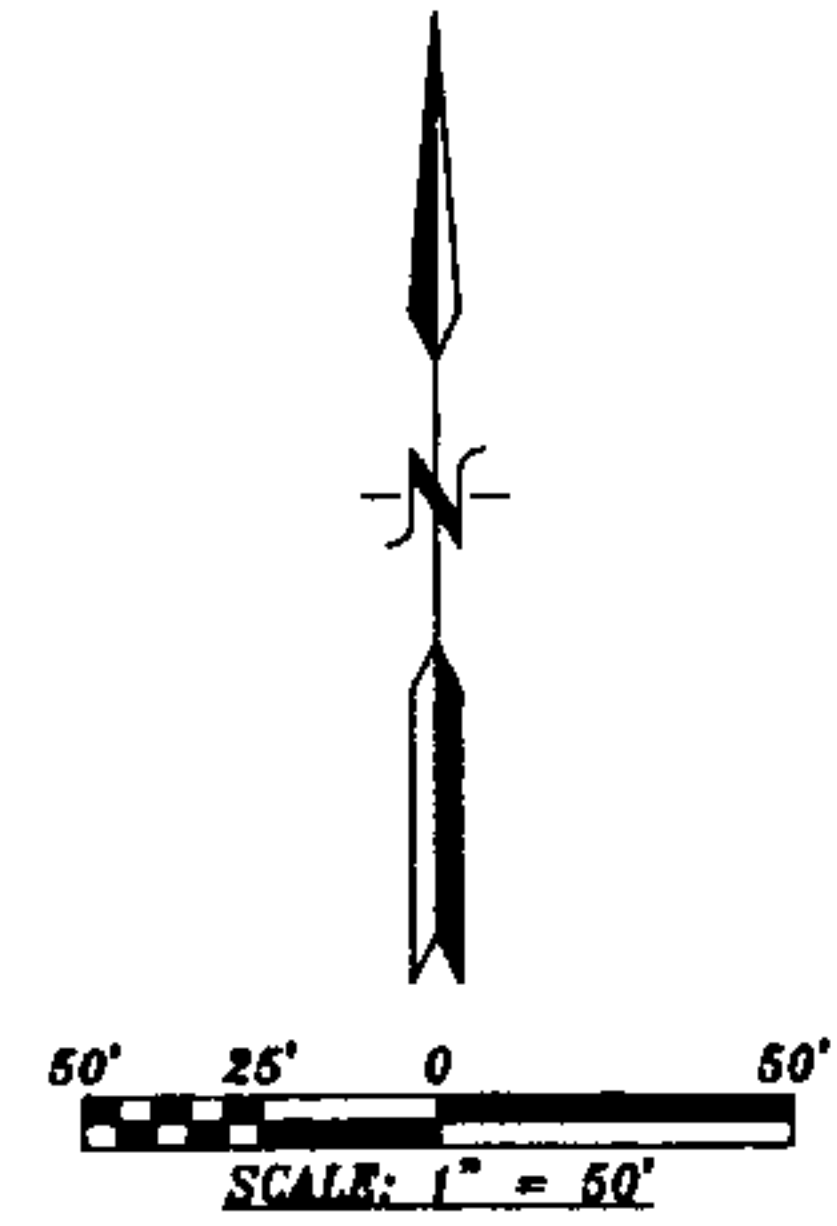
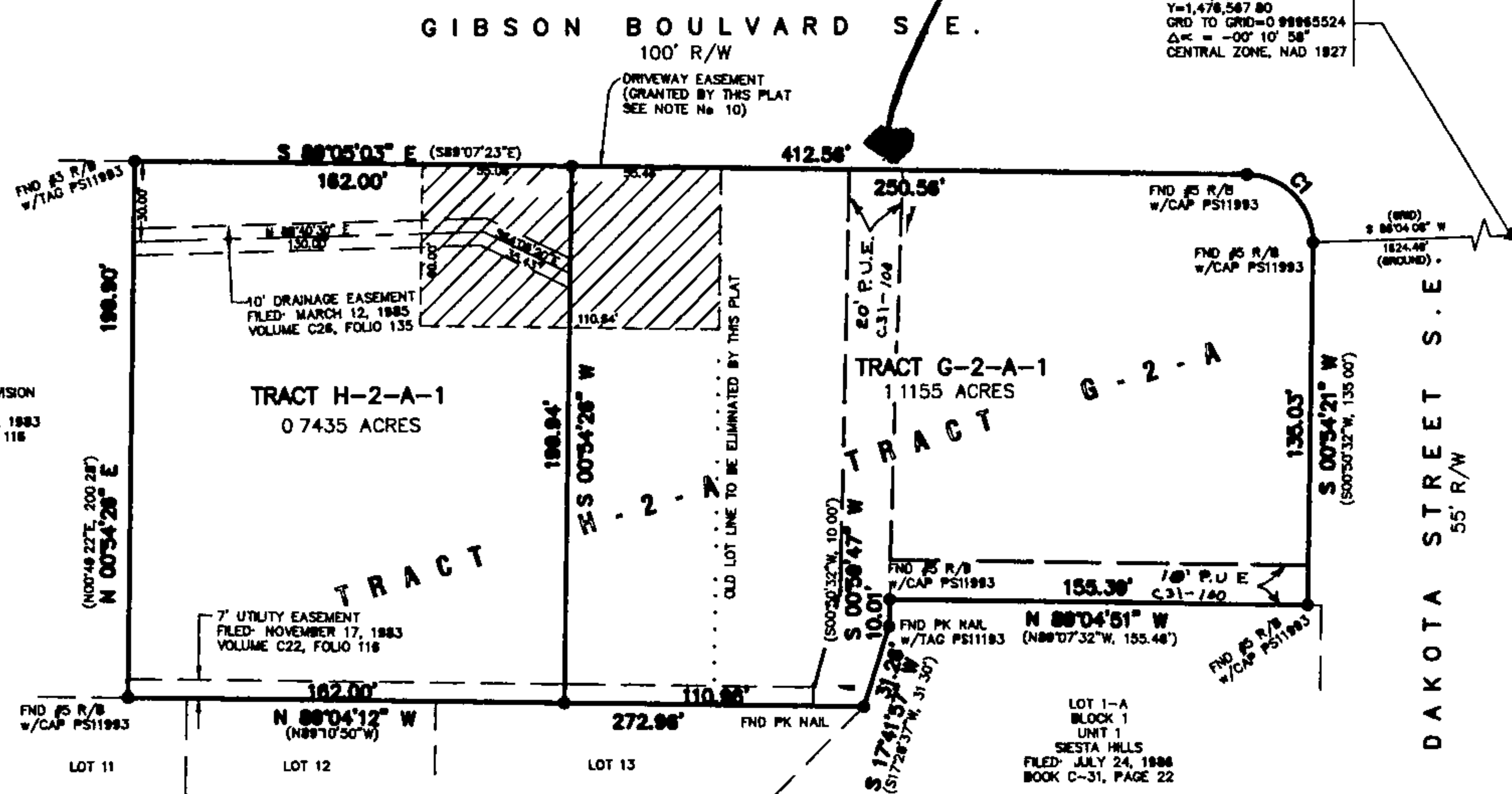
LEGAL DESCRIPTION
 TRACTS LETTERED G-TWO-A (G-2-A) AND H-TWO-A (H-2-A) OF THE PLAT OF SIESTA HILLS SUBDIVISION No. 2, A SUBDIVISION IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE REPLAT OF TRACTS G-2 AND H-2, SIESTA HILLS SUBDIVISION No. 2, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 3, 1986 IN BOOK C31, PAGE 100.

PLAT OF
TRACTS G-2-A-1 AND H-2-A-1
SIESTA HILLS SUBDIVISION No. 2
 WITHIN
 SECTION 36, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

PROJECT No. 1002222 APPLICATION No. 02DRB-01419
 AUGUST, 2002

APPROVALS:

City Engineer, TRANSPORTATION GROUP	<u>Bradley B. Byham</u>	10/9/02
PARKS AND RECREATION DEPARTMENT	<u>Christina Sandoval</u>	9/25/02
PNM ELECTRIC SERVICES	<u>Leon D. Marks</u>	9-23-02
WEST TELECOMMUNICATIONS	<u>Dave R. Muller</u>	9-23-02
PNM GAS SERVICES	<u>Leon D. Marks</u>	9-23-02
COMCAST	<u>Rita Euchs</u>	9-24-02
CITY SURVEYOR, ENGINEERING DIVISION	<u>John B. Stutz</u>	9-16-02
UTILITIES DEVELOPMENT	<u>Bradley B. Byham</u>	9-25-02
A.M.A.F.C.A.	<u>Michael D. Davis</u>	10-08-02
ENGINEER, TRANSPORTATION	<u>Michael D. Davis</u>	10-08-02
PROPERTY MANAGEMENT	<u>NA (S)</u>	



DISCLOSURE STATEMENT.
 THE PURPOSE OF THIS PLAT IS TO RELOCATE THE PROPERTY LINE BETWEEN TRACTS H-2-A AND G-2-A AND GRANT ANY EASEMENTS AS SHOWN

- GENERAL NOTES.**
- UNLESS NOTED, No 4 REBAR WITH CAP STAMPED P S #11463 WERE SET AT ALL PROPERTY CORNERS.
 - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
 - TOTAL AREA OF PROPERTY: 1.8591 ACRES
 - TALOS LOG NO. 2002135612
 - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927
 - DISTANCES ARE GROUND, BEARINGS ARE GRID.
 - BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD
 - DATE OF FIELD WORK JULY, 2002
 - CURRENT ZONING: C-1
 - THE DRIVEWAY EASEMENT SHOWN HEREON IS FOR THE BENEFIT OF TRACTS G-2-A AND H-2-A THE MAINTENANCE OF SAID EASEMENT IS LIMITED TO THE AREA WITHIN EACH TRACT

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14, REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994

Janet S 10/9/02
 CITY PLANNER
 ALBUQUERQUE PLANNING DIVISION



FREE CONSENT
 THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLES TO THE LAND SUBDIVIDED

TW Hogsett 9/24/02
 President Double Cheese Corp

ACKNOWLEDGMENT
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 12th DAY OF September, 2002
 BY: TW HOGSETT, PRESIDENT DOUBLE CHEESE CORP
 OWNERS NAME
 MY COMMISSION EXPIRES: 12/04/04 BY Sally L. Ewing
 NOTARY PUBLIC

SURVEYORS CERTIFICATE.
 STATE OF NEW MEXICO) S.S
 COUNTY OF BERNALILLO)
 I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO

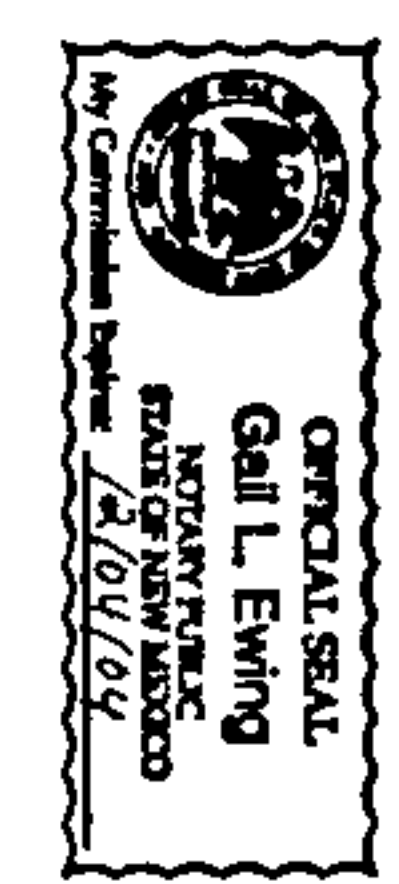
GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 12th DAY OF September, 2002

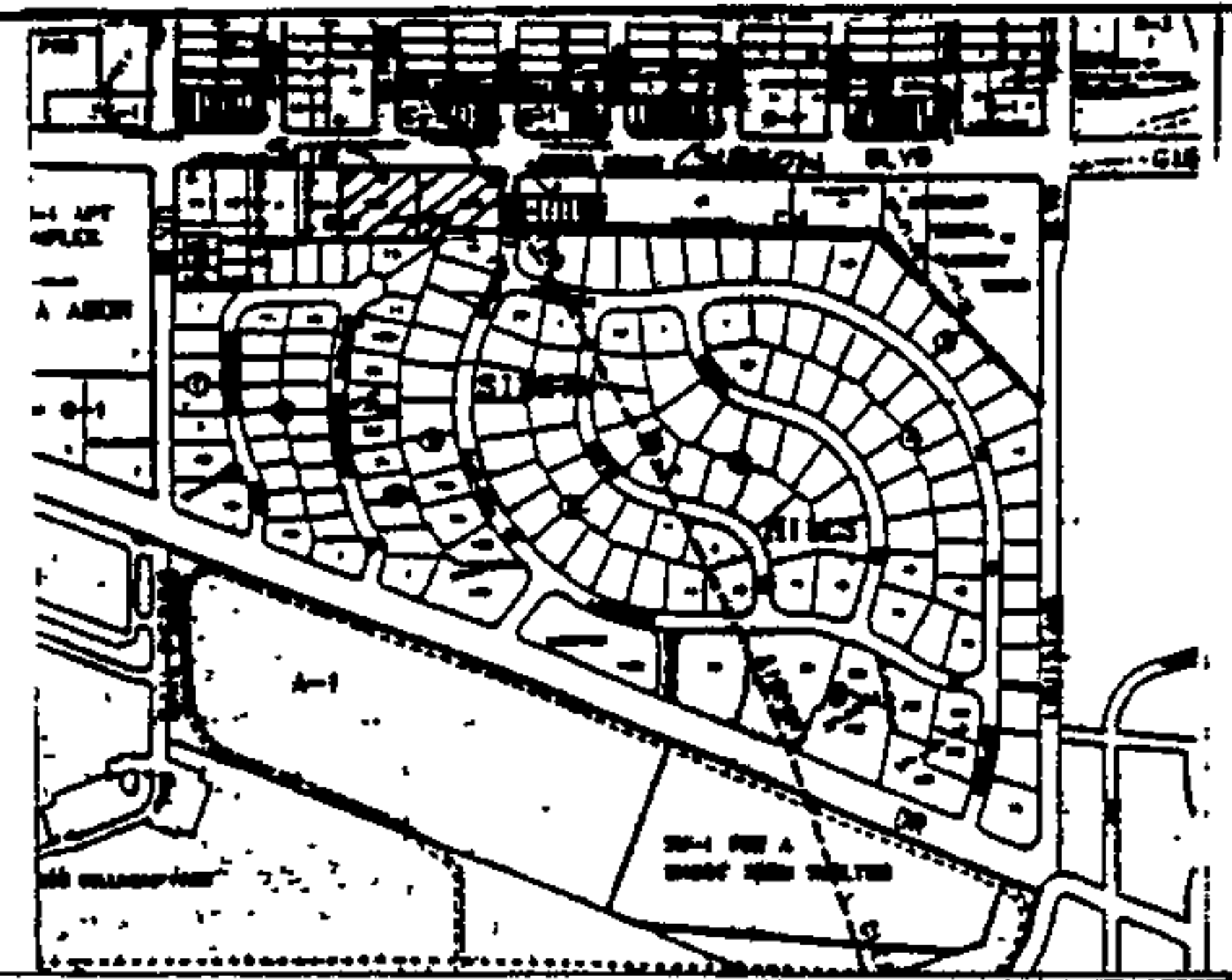
Anthony L. Harris
 ANTHONY L. HARRIS, P.S. #11463



W&E HARRIS SURVEYING, INC.
 1815 L. HUNTER STREET, N.E.
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE: (505) 882-8866
 FAX: (505) 882-8846

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON (2001)
 UPC# 1-018-055-325514-10120/1018-055-348514-10154
 PROPERTY OWNER OF RECORD Double Cheese Cooperation
 BERNALILLO CO. TREASURER'S OFFICE Walter Kammann 10/10/02





VICINITY MAP No. M-18

LEGAL DESCRIPTION

TRACTS LETTERED G-TWO-A (G-2-A) AND H-TWO-A (H-2-A) OF THE PLAT OF SIESTA HILLS SUBDIVISION No. 2, A SUBDIVISION IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE REPLAT OF TRACTS G-2 AND H-2, SIESTA HILLS SUBDIVISION No. 2, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 3, 1986 IN BOOK C31, PAGE 100.



PLAT OF
TRACTS G-2-A-1 AND H-2-A-1
SIESTA HILLS SUBDIVISION No. 2

WITHIN
SECTION 36, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2002

PROJECT No. 1002222 APPLICATION No. 02DRS-01419

APPROVALS:

CITY ENGINEER, TRANSPORTATION GROUP	<u>Brady A. Byham</u>	10/9/02
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PNM ELECTRIC SERVICES	<u>Leon D. Marks</u>	9-25-02
WEST TELECOMMUNICATIONS	<u>Daniel R. Muller</u>	9-23-02
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UTILITIES DEVELOPMENT	<u>Brady A. Byham</u>	9-25-02
A.M.A.F.C.A.	<u>Michael Dault</u>	10-08-02
ENGINEER, TRANSPORTATION	<u>Michael Dault</u>	10-08-02
PROPERTY MANAGEMENT	<u>NA (S)</u>	

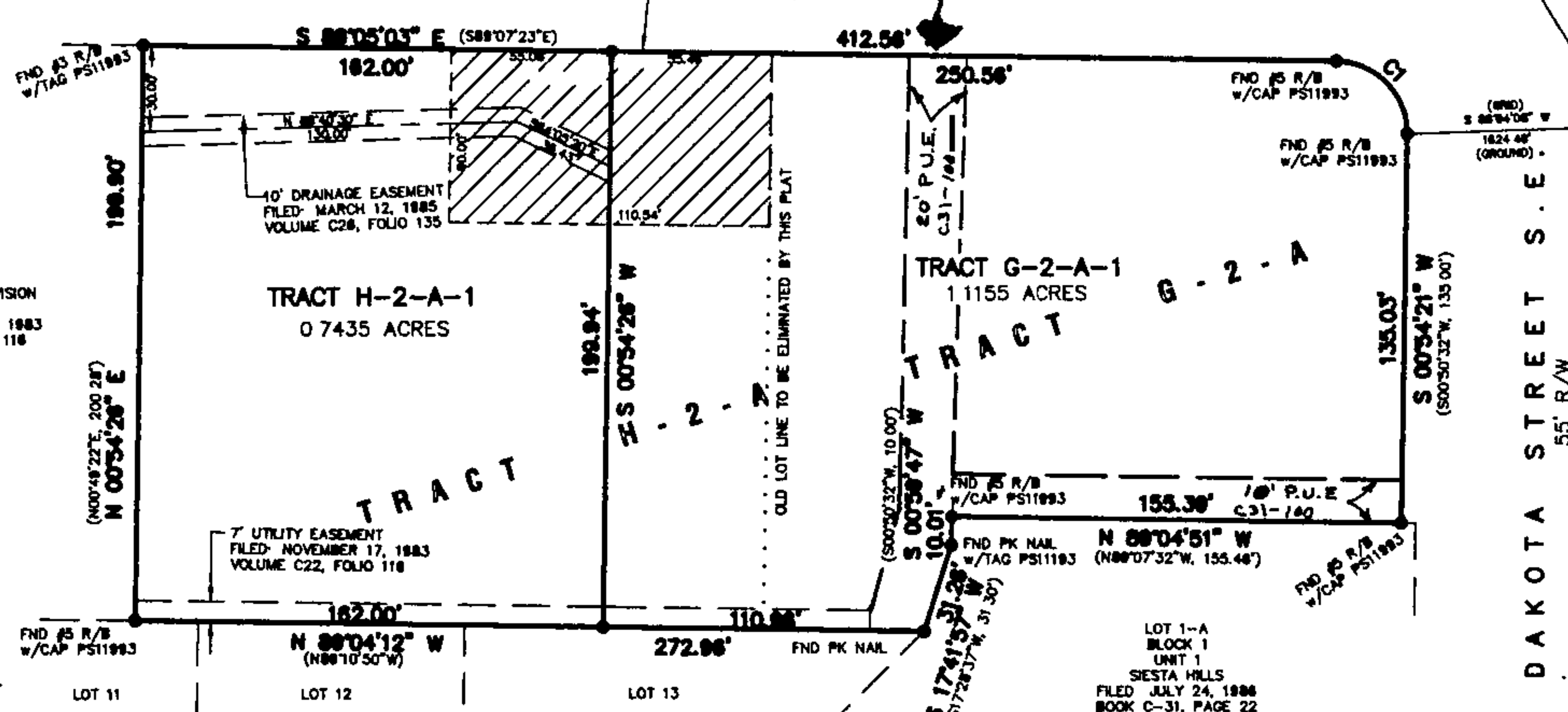
*Exist. 19
P.U.E.
Public Utility
Easement*

ACS STATION "G-2"
X=404,700.02
Y=1,476,567.80
GRD TO GRD=0.88955524
ΔC = -00° 10' 58"
CENTRAL ZONE, NAD 1927

GIBSON BOULEVARD S.E.

100' R/W

DRIVEWAY EASEMENT
(GRANTED BY THIS PLAT
SEE NOTE No. 10)



DISCLOSURE STATEMENT.

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GENERAL NOTES:

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- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
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- TALOS LOG NO. 2002135812
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- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD
- DATE OF FIELD WORK: JULY, 2002
- CURRENT ZONING C-1
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Michael Dault 9/25/02
President Double Cheese Corp DATE

ACKNOWLEDGMENT

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BY TW HOGSETT, PRESIDENT DOUBLE CHEESE CORP
OWNERS NAME

MY COMMISSION EXPIRES. 12/04/04 BY: Sarah L. Ewing
NOTARY PUBLIC

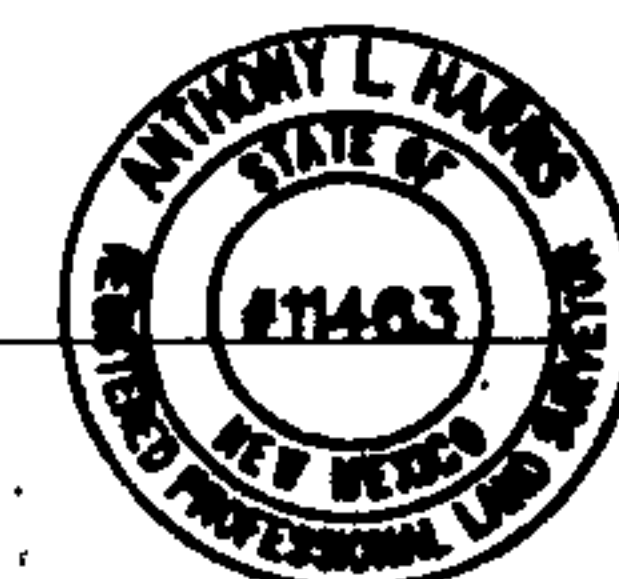
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ANTHONY L. HARRIS, P.S. #11463



W&E HARRIS SURVEYING, INC. PHONE (505) 885-8086
1000 1/2 AVENUE SYSTEMS BLDG. A.L.E. FAX: (505) 885-8846
ALBUQUERQUE, NEW MEXICO 87110

02-1570.DWG(AUG-02)

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UPC# 1-018-055-325514-10120/1018-055-348514-10154
PROPERTY OWNER OF RECORD: Double Cheese Cooperation
BERNALILLO CO TREASURER'S OFFICE William Kavanaugh 10/10/02

