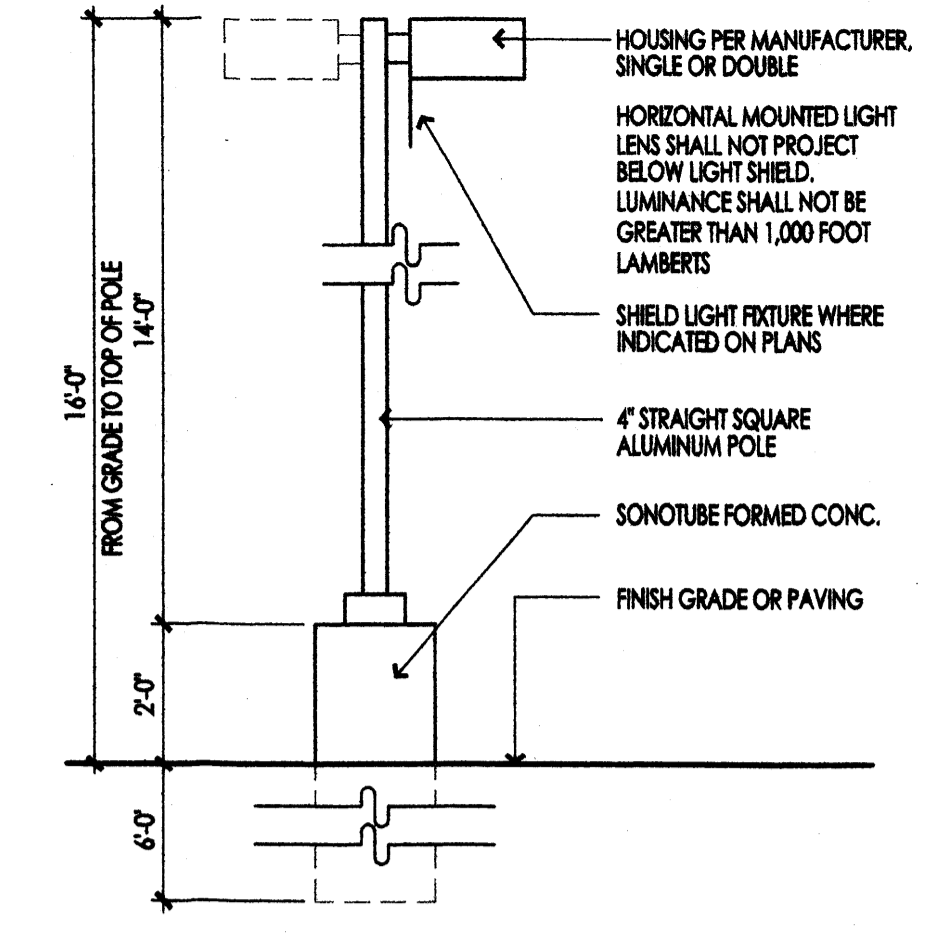
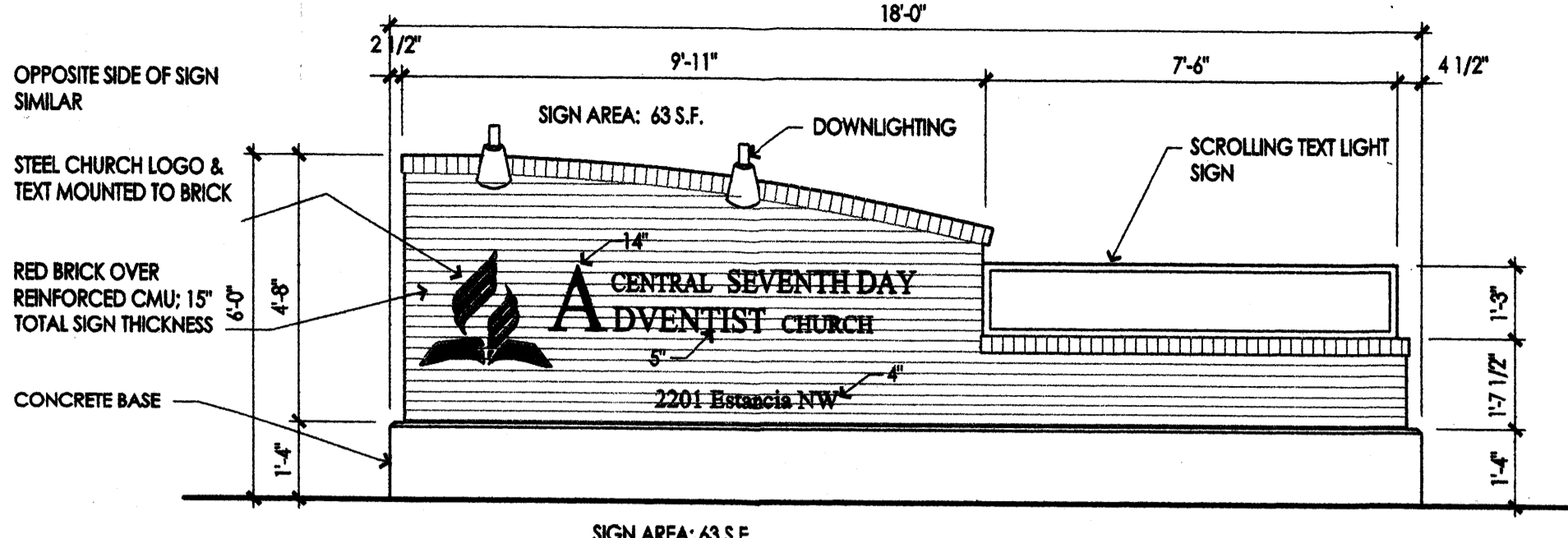


A1 ELEVATION DETAIL
3/8" = 1'-0"



A2 PARKING LIGHT
3/8" = 1'-0"



A3 SIGN
3/8" = 1'-0"

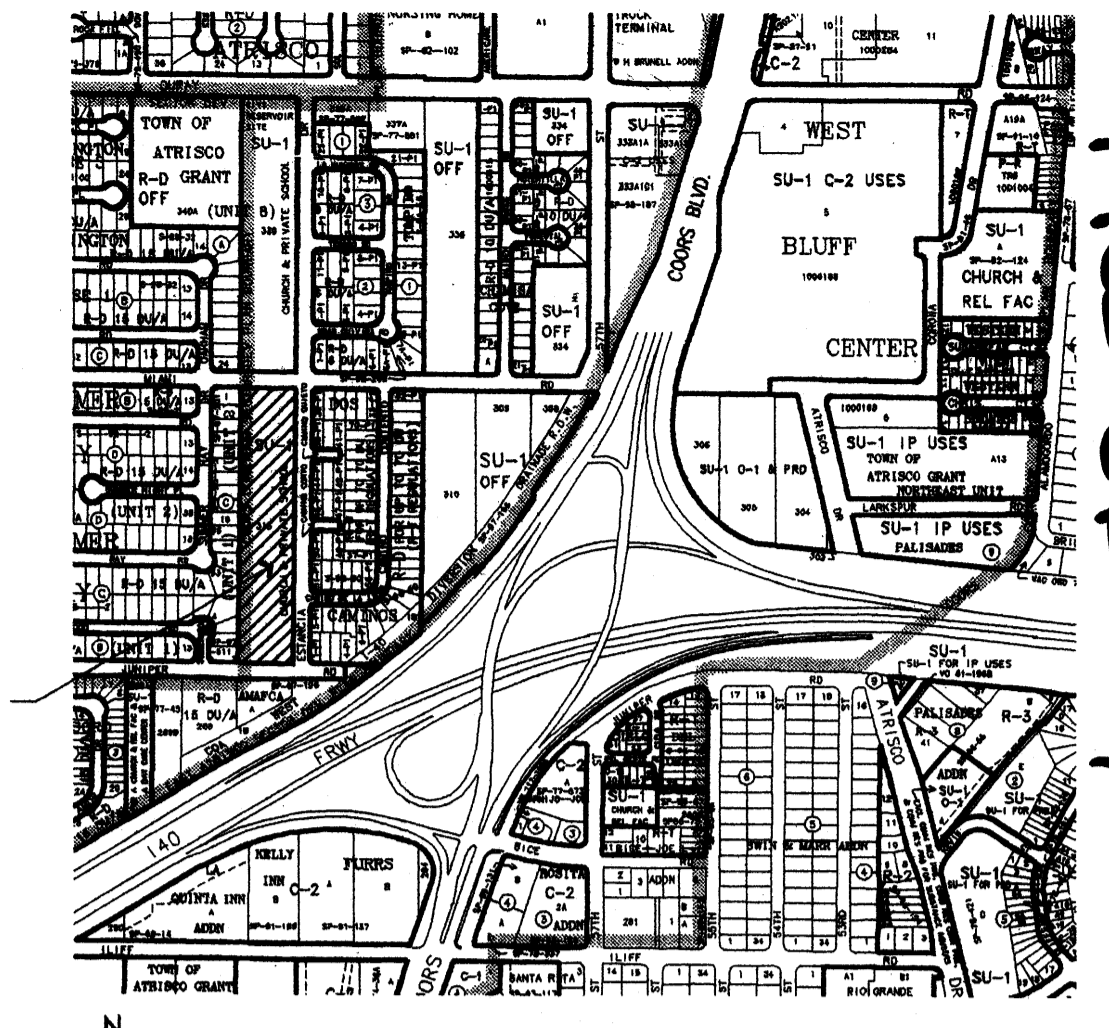
PROJECT NUMBER: 1005126
Application Number: 07DRB-00065

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated NOVEMBER 17, 2006 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? Yes No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division	2-21-07 Date
<i>[Signature]</i> Water Utility Department	11-14-07 Date
<i>[Signature]</i> Parks and Recreation Department	2/21/07 Date
<i>[Signature]</i> City Engineer	5-07-08 Date
<i>[Signature]</i> Environmental Health Department (conditional)	 Date
<i>[Signature]</i> Solid Waste Management	1/16/07 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	2/21/07 Date



VICINITY MAP
Zone Map H-11

PROJECT DATA

ADDRESS:
2201 ESTANCIA RD. NW, ALBUQUERQUE, NM 87120

OFF-STREET PARKING (PER 14-16-3-1(A)(3) OF ZONING CODE):
ONE SPACE FOR EACH FOUR SEATS IN MAIN ROOM (SANCTUARY). EACH 30 INCHES OF PEW SPACE IS CONSIDERED ONE SEAT (5,711 PEWS / 30" = 191 SEATS)

AREAS:
TRACT AREA: 217,770 S.F. (5.0 ACRES)
EXISTING BUILDING AREA: 15,170 S.F.
NEW BUILDING AREA: 13,044 S.F.
TOTAL BLDG. AREA (EXISTING + NEW): 28,214 S.F.
F.A.R.: 0.13
EXISTING ASPHALT PARKING TO REMAIN: 39,285 SF
NEW ASPHALT PARKING: 20,430 SF
EXISTING CONCRETE WALKS TO REMAIN: 2,713 SF
NEW CONCRETE WALKS: 5,487 SF

191 SEATS / 4 = 48 CAR SPACES REQ'D
142 CAR PARKING PROVIDED: 148 SPACES (INCL. 10 HC SPACES)

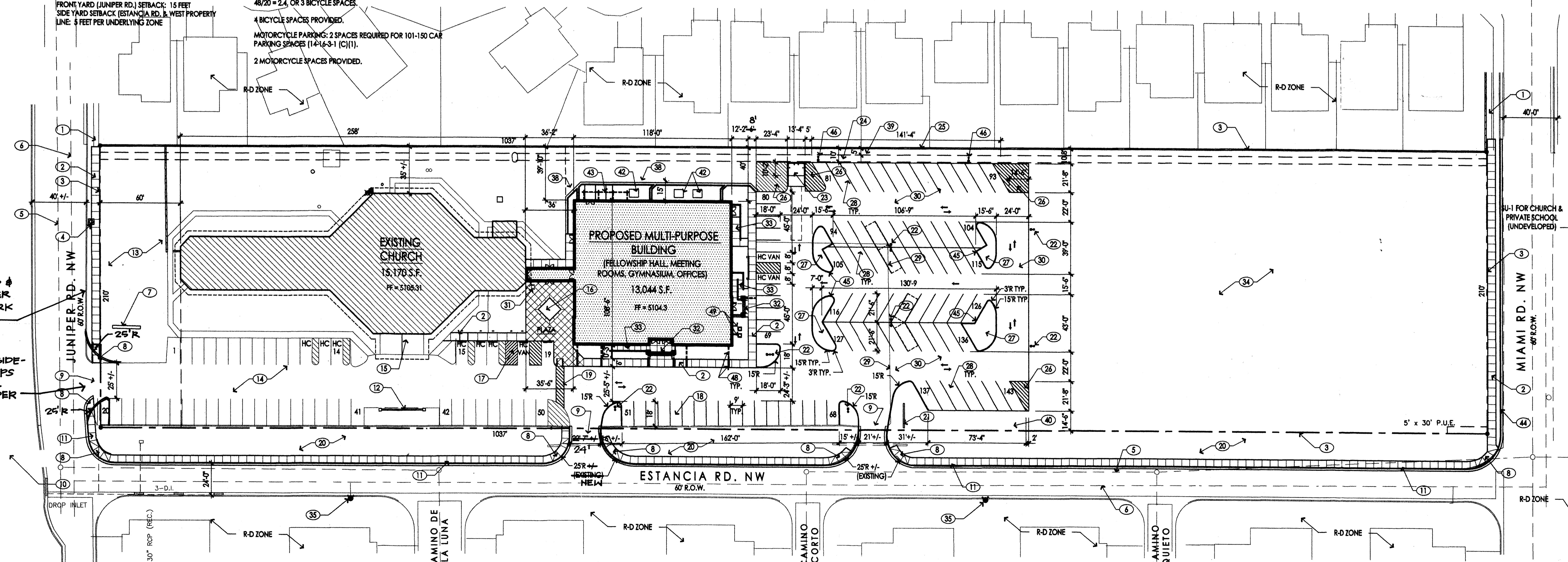
HC PARKING: 3 HC SPACES REQUIRED FOR 36-50 REQUIRED CAR PARKING SPACES (ZONING CODE, 14-16-3-1 (F)(9))
IBC REQUIREMENTS ARE MORE STRINGENT:
8 HC SPACES REQUIRED FOR 101-300 PARKING SPACES PROVIDED, WITH ONE VAN ACCESSIBLE SPACE.

9 HC SPACES PROVIDED, INCL. 3 VAN ACCESSIBLE
BICYCLE PARKING: 1 SPACE PER EACH 20 REQUIRED CAR PARKING SPACES (TWO MINIMUM) (14-16-3-1 (B)(3))
48/20 = 2.4, OR 3 BICYCLE SPACES.

4 BICYCLE SPACES PROVIDED.
MOTORCYCLE PARKING: 2 SPACES REQUIRED FOR 101-150 CAR PARKING SPACES (14-16-3-1 (C)(1)).
2 MOTORCYCLE SPACES PROVIDED.

HEIGHT:
26 FEET PER R-2 REGULATIONS, UNLESS MODIFIED BY PLANNING COMMISSION, 14-16-2-22 (D)

BUILDING SETBACKS:
FRONT YARD (JUNIPER RD.): SETBACK: 15 FEET
SIDE YARD SETBACK (ESTANCIA RD. & WEST PROPERTY LINE): 6 FEET PER UNDERLYING ZONE



KEYED NOTES

1. EXISTING 4' WIDE SIDEWALK.
2. NEW 6' WIDE SIDEWALK, PER C.O.A. WORK ORDER.
3. PROPERTY LINE.
4. EXISTING WATER METER.
5. EXISTING SANITARY SEWER MAIN.
6. EXISTING WATER MAIN.
7. EXISTING SIGN TO REMAIN.
8. NEW SIDEWALK RAMP, PER C.O.A. WORK ORDER.
9. EXISTING INGRESS/EGRESS.
10. BIKE TRAIL RECENTLY BUILT BY C.O.A. ON SOUTH SIDE OF JUNIPER.
11. NEW 6' SIDEWALK DIRECTLY BEHIND NEW MEDIAN CURB, PER C.O.A. WORK ORDER.
12. EXISTING SITE WALL TO REMAIN.
13. LANDSCAPED FRONT YARD, 15' MINIMUM BUFFER.
14. EXISTING PARKING TO REMAIN.
15. MAIN ENTRANCE TO EXISTING CHURCH.
16. PLANTER.
17. TWO NEW MOTORCYCLE PARKING SPACES.
18. RE-STRIP EXISTING ASPHALT PARKING LOT.
19. PEDESTRIAN DRIVE AISLE CROSSING W/ PAINTED STRIPING ON EXISTING ASPHALT.
20. EXISTING PONDING AREA TO REMAIN.
21. NEW MONUMENT SIGN, REFER DETAIL A3 THIS SHEET.
22. POLE LIGHT, REFER DETAIL A2 THIS SHEET.
23. TRASH ENCLOSURE PER C.O.A. STANDARD SINGLE DUMPSTER ENCLOSURE REQUIREMENTS. REFER TO DETAIL A1 THIS SHEET.
24. 10' WIDE LANDSCAPE BUFFER.
25. EXISTING GRAY CMU SITE WALL. HEIGHT VARIES WITH SLOPE (6' HIGH TYPICALLY), FULL LENGTH OF WEST PROPERTY LINE.
26. STRIPED ASPHALT.
27. PLANTER BED OPENING IN ASPHALT PARKING LOT.
28. 60" DIAGONAL PARKING, PER D.P.M. FIG. 23.7.1, TYPICAL.
29. EDGE OF EXISTING ASPHALT PARKING LOT. EXISTING ASPHALT TO REMAIN IN THIS AREA, AND TO BE RE-STRIPED AS SHOWN.
30. NEW ASPHALT PARKING.
31. BIKE RACK, 4 SPACES.
32. STEPS UP TO BUILDING ENTRY.
33. RAMP UP TO BUILDING ENTRY.
34. AREA FOR FUTURE CHURCH EXPANSION.
35. EXISTING FIRE HYDRANT.
36. NOT USED.
37. NOT USED.
38. NEW CURB & GUTTER.
39. 5' WIDE MINIMUM BUILDING SETBACK.
40. NEW LANDSCAPED SIDE YARD, (6' MIN. BUFFER)
41. NOT USED.
42. GROUND-MOUNTED MECHANICAL UNIT.
43. TRELIS STRUCTURE.
44. NEW MEDIAN CURB, PER C.O.A. WORK ORDER.
45. ASPHALT CURB.
46. POLE LIGHT W/ SHIELDED LIGHT FIXTURE (AT WEST SIDE OF PARKING LOT ONLY).
47. CONCRETE RUNDOWN FROM DOWNSPOUT TO CURB & GUTTER.
48. UNDERGROUND PVC PIPE FROM DOWNSPOUT TO SIDEWALK CULVERT.
49. CONDENSING UNITS ON CONCRETE PAD.

Addition to
Central Seventh Day Adventist Church
2201 Estancia Road NW
Albuquerque, NM

David West
Architect
AIA



1504 Camino Ecuestre NW
Albuquerque, NM 87107
ph/fax: 505-266-6416

REVISIONS	<p>SITE PLAN FOR BUILDING PERMIT</p> <p>A001</p> <p>DATE 1-15-07 OF</p>

PROJECT # 1005126

CONSTRUCTION NOTES

- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
- ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT/ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN ON THE PLANS AND THOSE OF THE EXISTING SITE.
- THE CONTRACTOR SHALL PROVIDE THE ARCHITECT / ENGINEER WITH AN AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION AT PROJECT COMPLETION.
- THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE EXISTING AND NEW ELEVATIONS (FINISH FLOORS, TOPS OF CURBS AND ASPHALT, FLOW LINE, PIPE INVERTS, ETC.), ON THE RECORD SET. THE RECORD SET SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ARCHITECT AT ANY TIME DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE RECORD SET SHALL BE TURNED OVER TO THE OWNER.
- THE OWNER / CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING OF CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SPECIFIC TO THIS PROJECT.
- ASPHALT PAVING TO BE 2" ASPHALT OVER 4" COMPACTED BASE COURSE, REFER TO GEOTECHNICAL REPORT OF ADDITIONAL REQUIREMENTS.

FACILITY ACCESSIBILITY
ALL SURFACES ALONG THE ACCESSIBLE ROUTE SHALL COMPLY WITH ANSI A117-1998.

WALKING SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 WITH A CROSS SLOPE NOT STEEPER THAN 1:48.

CURB RAMP AND RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 WITH A CROSS SLOPE NOT STEEPER THAN 1:48. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP OR ACCESSIBLE ROUTE SHALL NOT BE STEEPER THAN 1:20. TRANSITIONS FROM RAMP TO WALKS, GUTTERS OR STREETS SHALL BE AT THE SAME LEVEL. WHERE PEDESTRIANS MUST WALK ACROSS A CURB RAMP, THE RAMP SHALL HAVE FLARED SIDES WITH SLOPES NOT STEEPER THAN 1:10; WHERE THE TOP OF THE RAMP PARALLEL TO THE RUN OF THE RAMP IS LESS THAN 48 INCHES WIDE, THE FLARED SIDES SHALL HAVE A SLOPE NOT STEEPER THAN 1:12.

HANDICAP PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:48. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE.

TRAFFIC CONTROL
THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS AND DEVICES. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION PRIOR TO CONSTRUCTION, THE TRAFFIC CONTROL PLAN SHALL BE SUBMITTED AND APPROVED BY THE GOVERNING AUTHORITY.

DRAINAGE PLAN

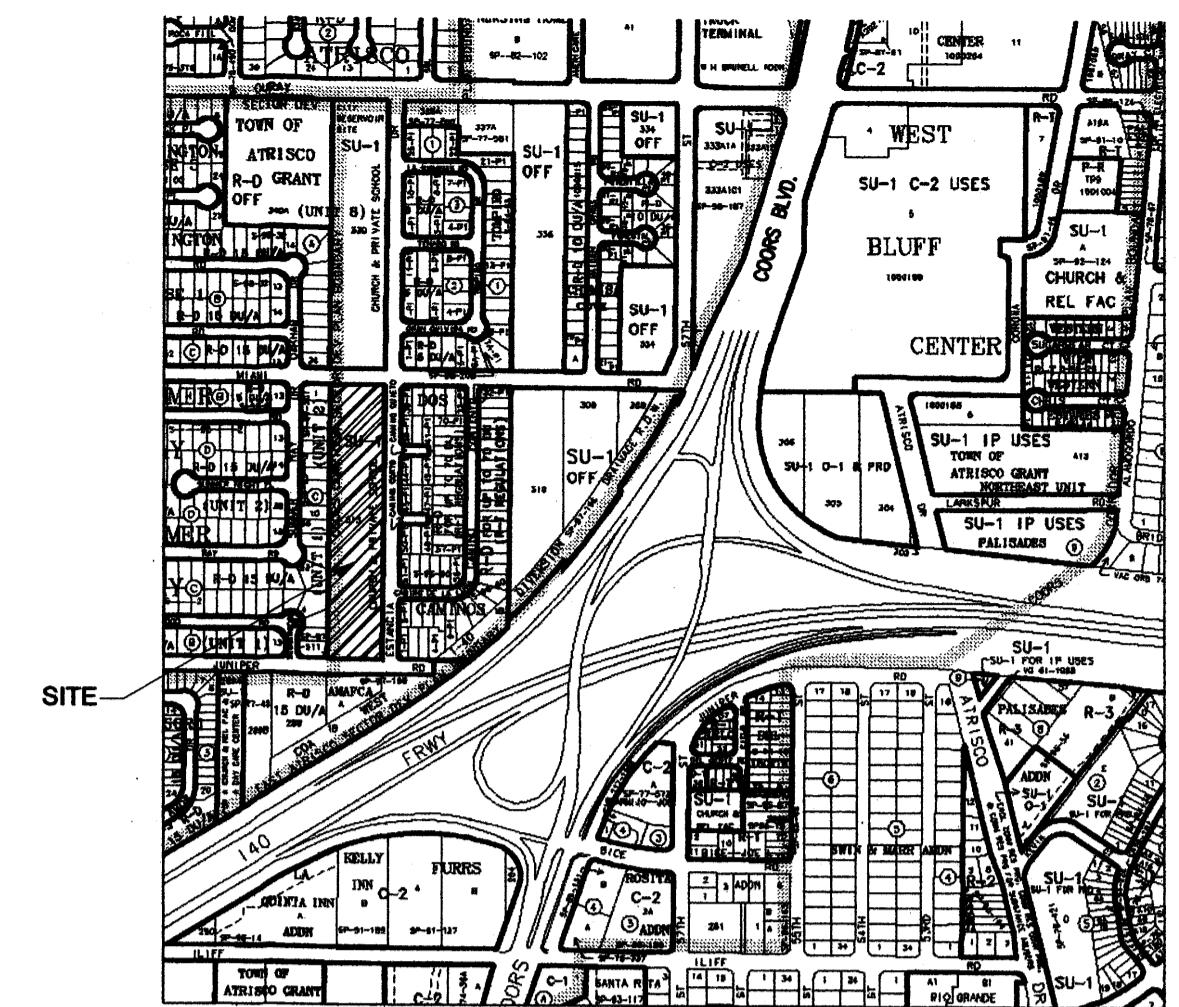
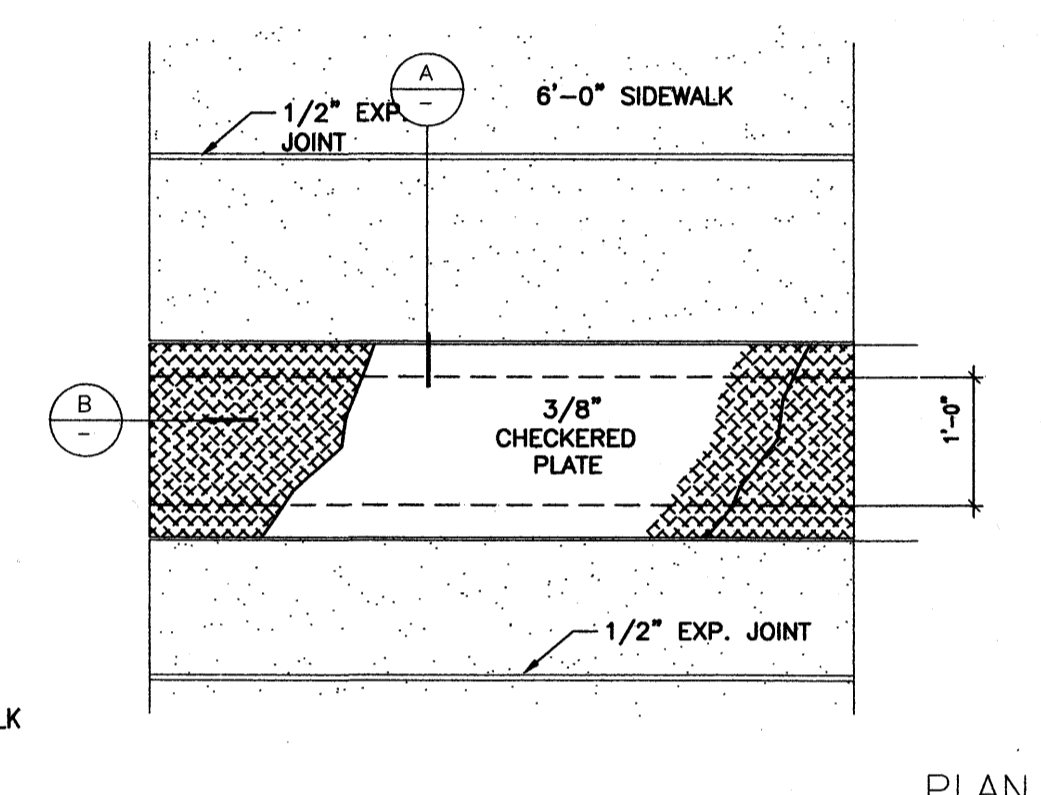
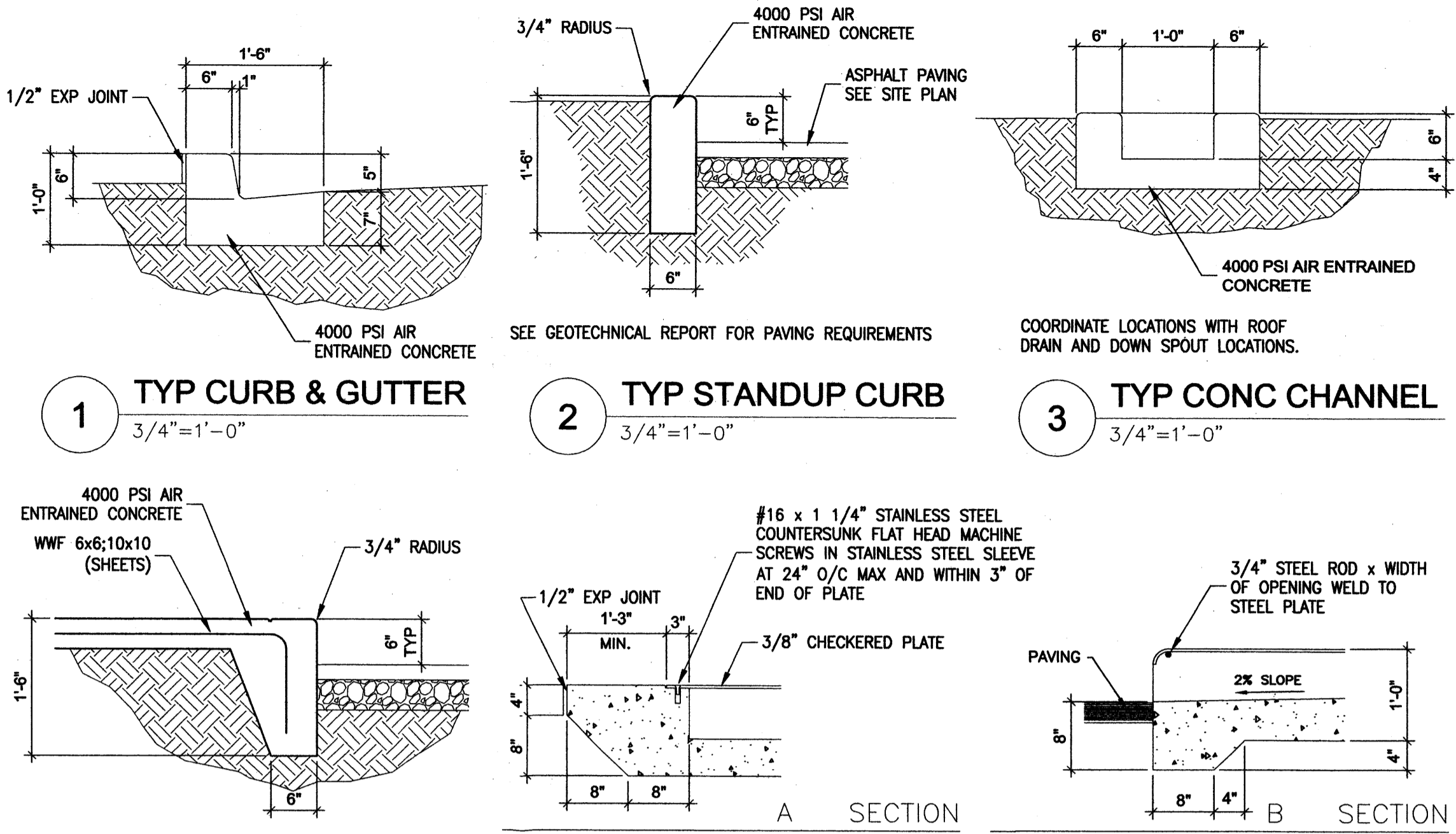
THE PROPOSED IMPROVEMENTS AS SHOWN BY THE VICINITY MAP, ARE LOCATED AT THE CORNER OF ESTANCIA AND JUNIPER. THE SITE IS DEVELOPED AND SLOPES TO THE EAST TO THE EXISTING DRAINAGE POND AND CATCH BASIN LOCATED AT THE SOUTH EAST CORNER OF THE SITE. ACCORDING TO FIRM PANEL 03270 THE SITE DOES NOT LIE WITHIN A FLOOD HAZARD ZONE. THE SITE IS HIGHER THAN THE LANDS TO THE NORTH. THE LANDS TO THE WEST ARE DEVELOPED AND FLOWS AWAY FROM THE SITE. THE EXISTING CURB AND GUTTER ALONG JUNIPER AND ESTANCIA BLOCK FLOWS FROM THE SOUTH AND EAST. THEREFORE OFFSITE FLOWS ARE CONSIDERED INSIGNIFICANT.

THE PROPOSED IMPROVEMENTS CONSIST OF AN ADDITION TO THE EXISTING CHURCH WITH ASSOCIATED PARKING AND LANDSCAPING. AS SHOWN BY THE CALCULATION THE PROPOSED DEVELOPMENT WILL INCREASE THE RATE AND VOLUME OF RUNOFF. THE PROPOSED RATE OF DISCHARGE IS 17.4 CFS (3.5 CFS/ACRE), NO PONDING IS ANTICIPATED FOR THE SITE.

THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II.

CALCULATIONS
PRECIPITATION ZONE = 1
TOTAL SITE AREA = 5.0 ACRES
EXISTING CONDITIONS (BASED ON CURRENT DEVELOPMENT)
LAND TREATMENT A=36% B=26% D=38%
E = 0.66(0.36)+0.912(0.26)+2.36(0.38) = 1.37 INCHES
V = 1.37(5.0) / 12 = 0.571 ACRE FEET
Q = (1.87(0.36)+2.60(0.26)+5.02(0.38)) (5.0) = 16.3 CFS
EXISTING CONDITIONS (BASED PREVIOUS DRAINAGE PLAN)
LAND TREATMENT A=0% B=0% C=67% D=33%
E = 1.31 INCHES
Q = 18.8 CFS
DEVELOPED CONDITIONS
LAND TREATMENT A=36% B=17% D=47%
E = 0.66(0.36)+0.912(0.17)+2.36(0.47) = 1.52 INCHES
V = 1.52(5.0) / 12 = 0.627 ACRE FEET
Q = (1.87(0.36)+2.60(0.17)+5.02(0.47)) (5.0) = 17.4 CFS

INCREASE IN VOLUME OF RUNOFF = 0.057 ACRE FT
INCREASE IN RATE OF RUNOFF = 1.2 CFS

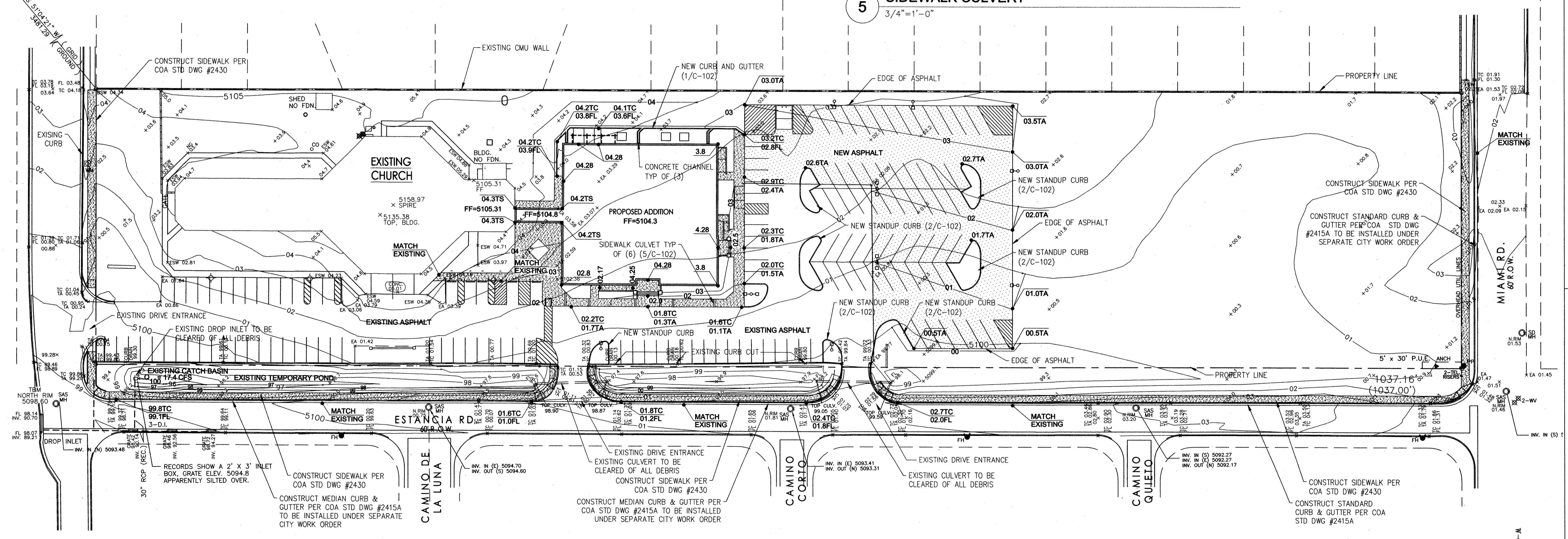


LEGAL DESCRIPTION:
LOT 313 TOWN OF AIRSO GRANT UNIT 8
ADDRESS:
2201 ESTANCIA RD. NW, ALBUQUERQUE, NM 87120

LEGEND:

93.1	EXISTING SPOT ELEVATION	FL	FLOW LINE
51.00	NEW SPOT ELEVATION	GND	GROUND
51	EXISTING CONTOUR	INV	INVERT
51	NEW CONTOUR	TA	TOP OF ASPHALT
SWALE	VERIFIED ELEVATION	TC	TOP OF CURB
-61.0	AS BUILT ELEVATION	TG	TOP OF GRATE
✓	PROPERTY LINE	TS	TOP OF CONCRETE SLAB
		TW	TOP OF WALL
		TBM	TEMPORARY BENCH MARK
		GRAVEL	GRAVEL
		ASPHALT PAVING	ASPHALT PAVING
		CONCRETE	CONCRETE

ACS STA 6+110
X = 360389.13
Y = 1492117.53
G-C = 0.99897760
ΔE = -0°16'06"
NEW MEXICO STATE PLANE
COORDINATES CENTRAL ZONE



A1 GRADING PLAN
1"=40'-0"

Arthur Blessen engineering
architect
engineer

11930 Manual Suite 109
Albuquerque, NM 87112
(505) 293-1477

Addition to
Central Seventh Day Adventist Church
2201 Estancia Road NW
Albuquerque, NM
PROJ. # 06005

David West
Architect
AIA

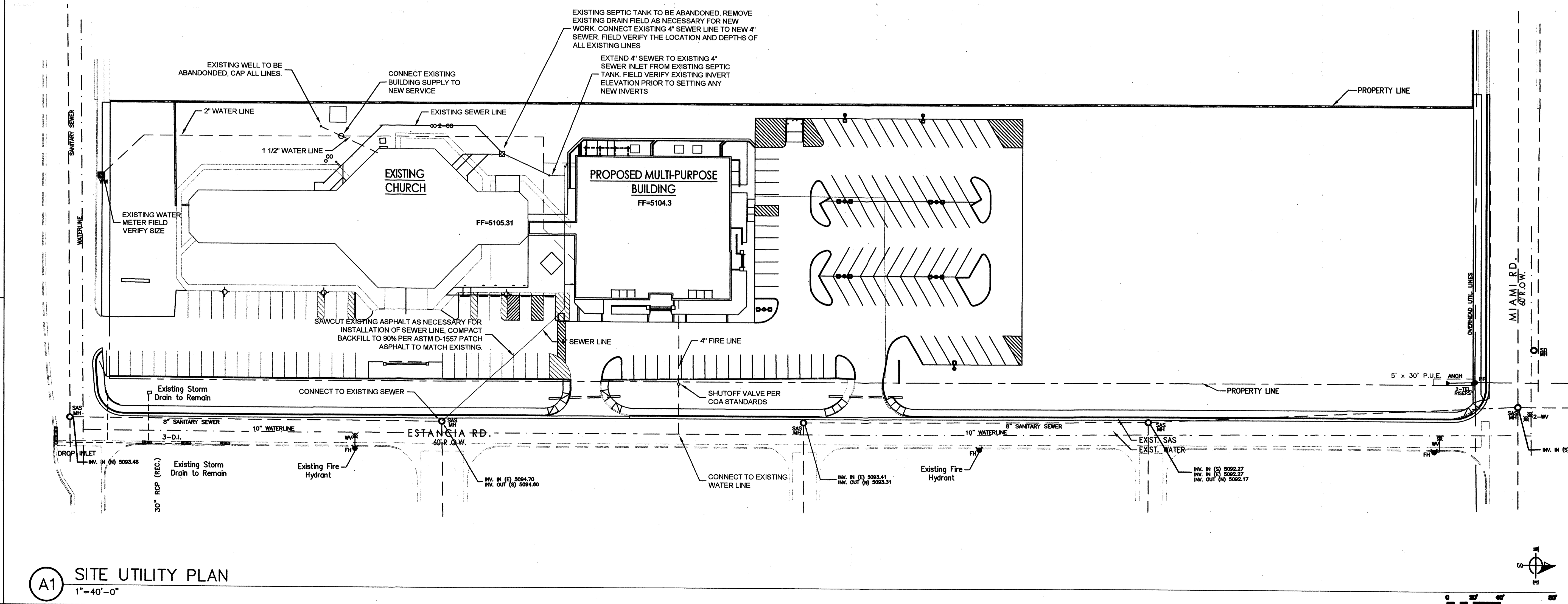
JOHN ARTHUR BLESSEN
NEW MEXICO
13481
REGISTERED PROFESSIONAL ENGINEER

1504 Camino Ecuestre NW
Albuquerque, NM 87107
ph/fax: 505-266-6416
ARCHITECT/ENGINEER SEAL

REVISIONS	GRADING PLAN
△	C-102
△	OF
△	DATE FEBRUARY 16, 2007

GENERAL NOTES

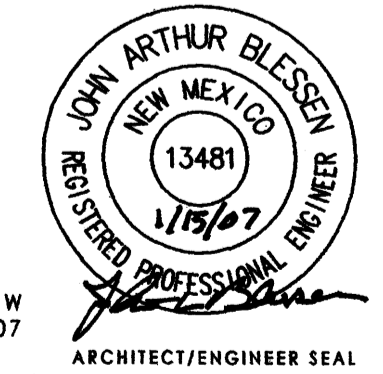
- A. CONTRACTOR NOTE: THESE DRAWINGS REFLECT INFORMATION ON UTILITIES GATHERED BY SITE SURVEY PROVIDED TO THE ARCHITECT, SITE INSPECTION, AND DISCUSSIONS WITH MUNICIPAL OFFICIALS. IT IS POSSIBLE THAT THE EXACT LOCATION OF BURIED LINES IN THE IMMEDIATE VICINITY OF THE PROPOSED BUILDING MAY BE SOMEWHAT DIFFERENT FROM THE LOCATION SHOWN ON THIS DRAWING. IF ADDITIONAL LINES ARE ENCOUNTERED, THEY SHALL BE EXPOSED AND IDENTIFIED BY THIS CONTRACTOR. WHERE ADDITIONAL LINES AND/OR DIFFERING LOCATIONS ARE ENCOUNTERED, THIS CONTRACTOR SHALL REQUEST THAT THE ARCHITECT ISSUE A RULING AS TO ANY NECESSARY CHANGE OF MATERIALS, RE-ROUTING, ABANDONING OR RELOCATING OF SUCH LINES.
- B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
 MINIMUM DEPTH BELOW GRADE (COVER):
 WATER - 36" SEWER - 48" GAS - 18"
 EXCEPT AT BUILDING CONNECTION
- C. SPECIFIC: THE CONTRACTOR SHALL BEAR ALL COSTS AND BE TOTALLY RESPONSIBLE FOR ALL OF THE UTILITY SERVICES AND THEIR COMPLETE INSTALLATION, AS SHOWN ON THE CONTRACT DRAWINGS, AND/OR DETAILS AND SPECIFICATIONS.
- D. SEWER PIPING BELOW SLAB OR PAVING, OR WITHIN 10' OF WATER LINES SHALL BE STANDARD WEIGHT ABS
- E. THIS CONTRACTOR IS TOTALLY RESPONSIBLE FOR CONTACTING PUBLIC UTILITY COMPANIES, MUNICIPALITIES, AND/OR OTHERS HAVING JURISDICTION ON UTILITY SERVICES FOR ALL CURRENT INFORMATION ON FEE CHARGES AND ALL OTHER COST EXPENSES REQUIRED IN PROVIDING COMPLETE AND FULLY OPERATING UTILITY SERVICES TO THIS PROJECT.
- F. REFER TO ARCHITECTURAL PLANS FOR COORDINATION WITH FINAL FINISHED AND EXISTING GRADES, AND OTHER SITE IMPROVEMENTS. ALSO REFER TO CIVIL, LANDSCAPING, AND ELECTRICAL DRAWINGS, AND OTHER DRAWINGS THAT MAY BE INCLUDED IN THIS SET OF CONTRACT DOCUMENTS.
- G. THIS CONTRACTOR SHALL COORDINATE CUT-OFF OF EXISTING UTILITIES FOR NEW CONNECTIONS WITH PUBLIC UTILITY COMPANY AND/OR MUNICIPALITY ENGINEERING OFFICIALS AND OWNER, AND HE SHALL CONFORM TO THEIR REQUIREMENTS. THE UTILITIES' CONNECTION POINTS SHOWN ON PLANS ARE APPROXIMATE ONLY.
- H. CONTRACTOR SHALL EXPOSE AND VERIFY INVERT ELEVATIONS OF RELEVANT SEWER LINES AND MANHOLES BEFORE SETTING ANY NEW INVERTS (EITHER INSIDE BUILDING AREA OR ON SITE). SHOULD INVERTS DIFFER GREATLY FROM THOSE SHOWN ON THESE DRAWINGS, THE ARCHITECT SHALL BE NOTIFIED AND A DECISION MADE AS TO ANY CHANGE IN MANHOLE INVERTS, CHANGES IN ROUTING AND/OR CHANGE IN ON-SITE SEWER LINE SLOPES AND INVERTS.
- I. REMOVE EXISTING ASPHALT AS NECESSARY FOR INSTALLATION OF NEW UNDERGROUND UTILITIES, TRENCH AND BACKFILL (COMPACT TO 90% PER ASTM D-1557) PATCH ASPHALT TO MATCH EXISTING.
- K. UTILITIES CONNECTIONS REQUIRING MAJOR SHUT-DOWN OF EXISTING FACILITIES SHALL BE SCHEDULED DURING OFF-HOURS, SUCH AS EVENINGS AND WEEKENDS, AND MUST BE SCHEDULED AND APPROVED BY OWNER AND ARCHITECT.
- L. THIS CONTRACTOR SHALL INSTALL PROPER (OSHA) BARRICADES IN PEDESTRIAN AND VEHICULAR TRAFFIC AREAS AS NEEDED TO ENSURE SAFETY AND THAT ALL FEDERAL, STATE AND LOCAL STANDARDS ARE COMPLIED WITH.
- M. CONTRACTOR SHALL MAKE EVERY EFFORT TO PROMPTLY COVER ALL PIPE TRENCHES AND OTHER EXCAVATION SITES TO MINIMIZE ANY POTENTIAL HAZARDS.
- N. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELIGHTING OF ALL GAS PILOTS ON ALL GAS APPLIANCES AND EQUIPMENT AFFECTED BY SHUT-OFF OF GAS SUPPLY CAUSED BY THE CONTRACTOR FOR ANY REASON (RE-ROUTING OF LINES, MAKING NEW CONNECTIONS, ETC.).
- P. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS AND DEVICES. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION, THE TRAFFIC CONTROL PLAN SHALL BE SUBMITTED AND APPROVED BY THE GOVERNING AUTHORITY.
- Q. UTILITY TRENCHES TO BE BACK FILLED AND COMPACTED TO 90% PER ASTM D-1557, REFER TO GEOTECHNICAL REPORT OF ADDITIONAL REQUIREMENTS.



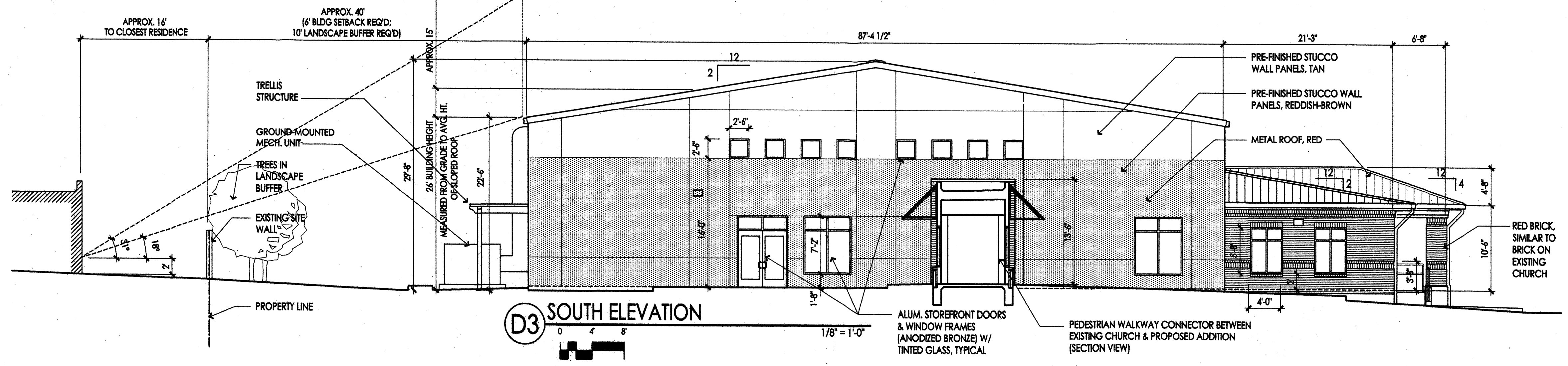
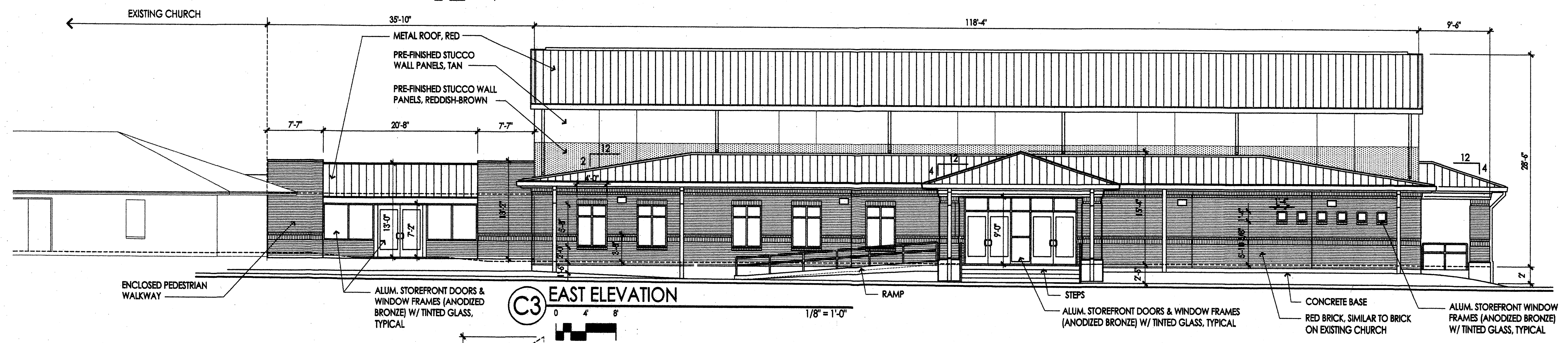
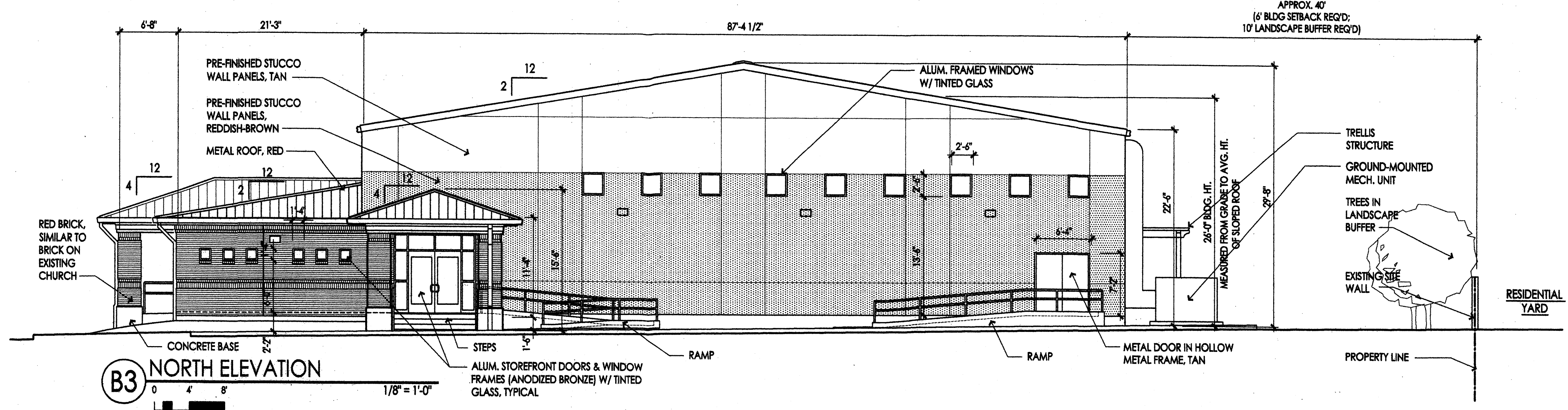
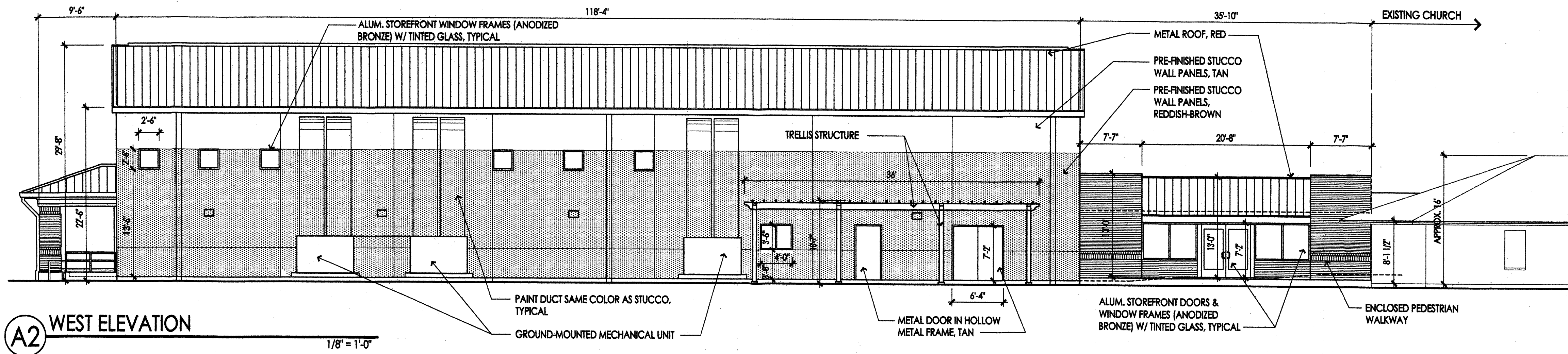
j arthur bleszen engineering
 architect engineer
 11930 Manual Suite 109
 Albuquerque, NM 87112
 (505) 293-1477

Addition to
Central Seventh Day Adventist Church
 2201 Estancia Road NW
 Albuquerque, NM
 PROJ. # 04005

David West
 Architect
 AIA
 1504 Camino Ecuestre NW
 Albuquerque NM 87107
 ph/fax: 505-268-6416



REVISIONS	UTILITY PLAN
▲	U-101
▲	OF
DATE JANUARY 15, 2007	



Addition to
Central Seventh Day Adventist Church
2201 Estancia Road NW
Albuquerque, NM

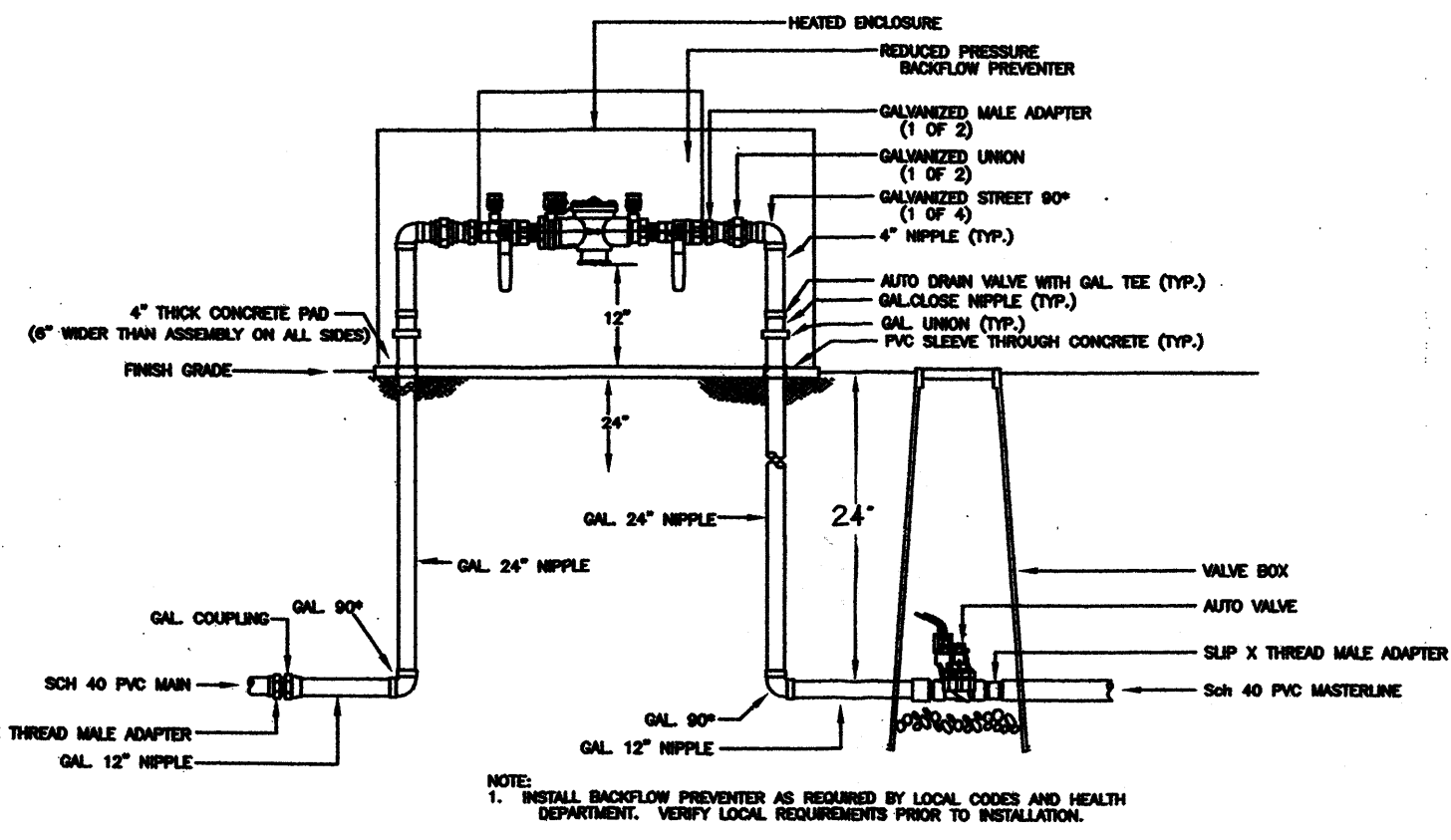
David West
Architect
AIA

STATE OF NEW MEXICO
REGISTERED ARCHITECT
NOV. 2006
1-15-07

1504 Camino Ecuestrie NW
Albuquerque, NM 87107
ph/fax: 505-266-6416

ARCHITECT/ENGINEER SEAL

REVISIONS	BLDG. ELEVATIONS
△	A301
△	OF
DATE 1-15-07	



Mastervalue w/RPBA

PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use
Trees				
5	⊕	<i>Crataegus phaenopyrum</i> Washington Hawthorn	15-Gal	Medium+
12	⊙	<i>Forsythera neomexicana</i> New Mexico Olive	15-Gal	Medium
9	⊕	<i>Pistachia</i> Chinese Pistache	2" B&B	Medium+
3	⊙	<i>Chitalpa</i> Chitalpa	15-Gal	Medium +
5	⊕	<i>Quercus Buckleyi</i> Texas Red Oak	2" B&B	Medium
24	⊕	<i>Populus Acuminata</i> Mountain Cottonwood	2" B&B	Medium
Shrubs/Groundcovers				
8	⊙	<i>Caryopteris clandonensis</i> Blue Mist	5-Gal	Medium
18	⊙	<i>Cotoneaster parneyi</i> Clusterberry Cotoneaster	5-Gal	Medium
15	⊙	<i>Juniperus sabina</i> 'Buffalo' Buffalo Juniper (female)	5-Gal	Low +
15	⊙	<i>Ceratostigma</i> Dwarf Plumbago	1-Gal	Low+
16	⊙	<i>Potentilla fruticosa</i> Shrubby Cinquefoil	5-Gal	Medium+
7	⊕	<i>Rhaphiolepis indica</i> India Hawthorn	5-Gal	Medium
59	⊙	<i>Rosmarinus officinalis</i> Rosemary	5-Gal	Low +
13	⊙	<i>Sphaeralcea</i> Scarlet Globemallow	1-Gal	Low +
24	⊙	<i>Oenothera</i> Mexican Evening Primrose	1-Gal	Low +
Ornamental Grasses				
44	●	<i>Muhlenbergia capillaris</i> 'Regal Mist' Regal Mist	1-Gal	Medium

SITE DATA

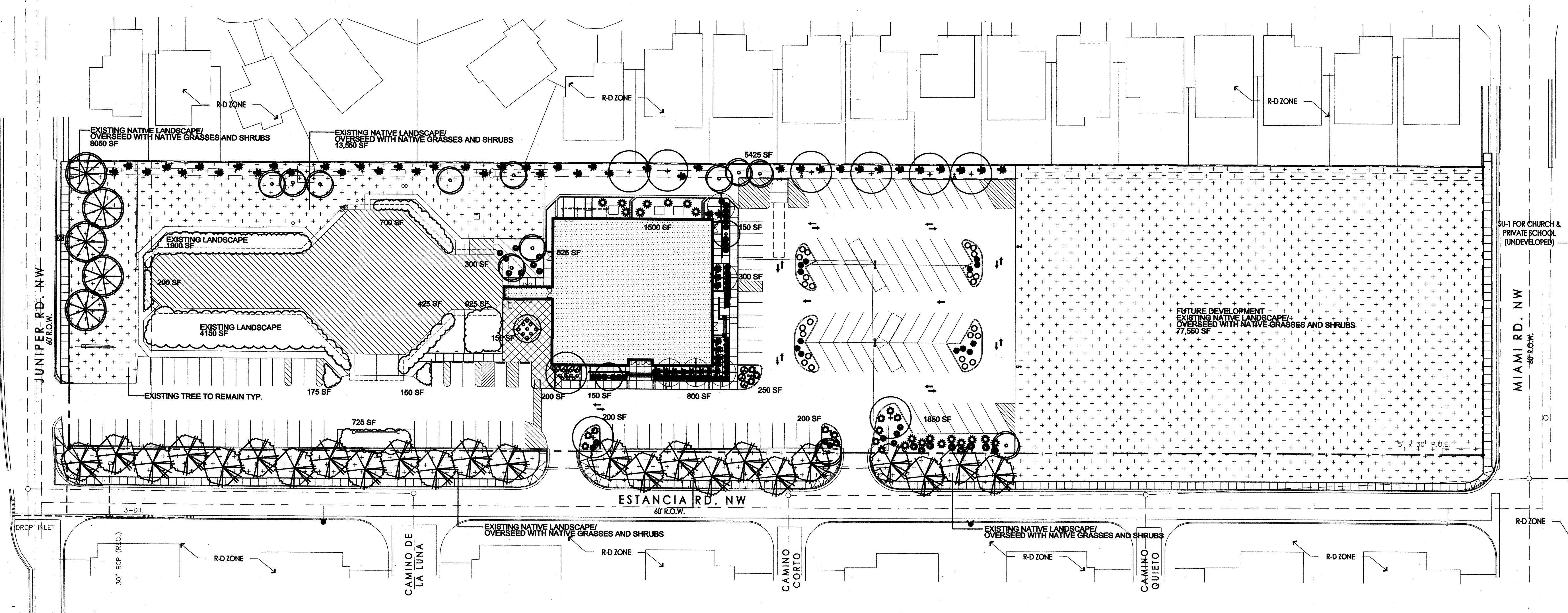
GROSS LOT AREA	217,770 SF
LESS BUILDING(S)	28,214 SF
LESS FUTURE DEVELOPMENT	77,550 SF
NET LOT AREA	112,006 SF
REQUIRED LANDSCAPE	16,800 SF
15% OF NET LOT AREA	31,250 SF
EXISTING LANDSCAPE	11,700 SF
PROPOSED LANDSCAPE	42,950 SF
TOTAL LANDSCAPE PROVIDED	38 %
REQUIRED STREET TREES	29
PROVIDED AT 30' O.C. SPACING ALONG STREET	29
REQUIRED PARKING LOT TREES	14
PROVIDED AT 1 PER 10 SPACES (143 SPACES/10)	14
EXISTING TREES	6
PROPOSED TREES	11
TOTAL PARKING LOT TREES PROVIDED	17

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

NOTE

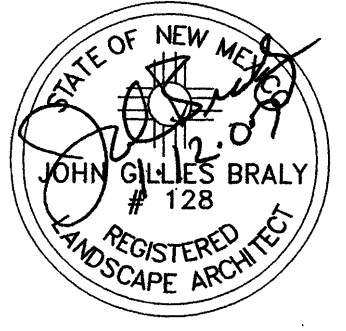
MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER
PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER (WILKINS MODEL 975) PER CITY OF ALBUQUERQUE
WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH
IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC
APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.
NATIVE SEED TO BE C.O.A. WEST SIDE MIX WITH SHRUB SEED AT 11 LBS. PER ACRE.



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Addition to
Central Seventh Day Adventist Church
2201 Estancia Road NW
Albuquerque, NM

David West
Architect
AIA
1504 Camino Ecuestre NW
Albuquerque NM 87107
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REVISIONS	DATE	LANDSCAPE PLAN
1	11-6-06	L001 OF
2	10-27-06	
3	10-2-06	
DATE	1-8-07	