

#5(a)



COMPLETED 04/21/08 SH DRB CASE ACTION LOG (SITE DEVELOPMENT PLAN)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70305

Project # 1005132

Project Name: NORTH ALBUQUERQUE ACRES UNIT B

Agent: THE DESIGN GROUP

Phone No.:

Your request was approved on 10/17/07 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Sidewalk easement on Holly NE
participation of signee at Holly NE & San Pedro

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): Perimeter Wall detail on Site Plan.
3 Copies

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

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Project # **1005132**

Project Name: **NORTH ALBUQUERQUE ACRES UNIT B**

Agent: **THE DESIGN GROUP**

Phone No.:

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OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: Sidewalk easement on Holly NE
participation of signor of Holly NE & San Pedro
-
-
-
-
- UTILITIES:
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-
- CITY ENGINEER / AMAFCA:
-
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- PARKS / CIP:
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3 Copies
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JOSHUA J. SKARSGARD, ESQ., CPA
ATTORNEY AT LAW

4101 Indian School Rd., NE, Suite 400
Albuquerque, NM 87110
josh@vsnlaw.com
Tel: (505) 262-2323
Fax: (505) 998-9099

December 21, 2007

Transportation Department
Development Review Board
City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87103
Via: Hand Delivery

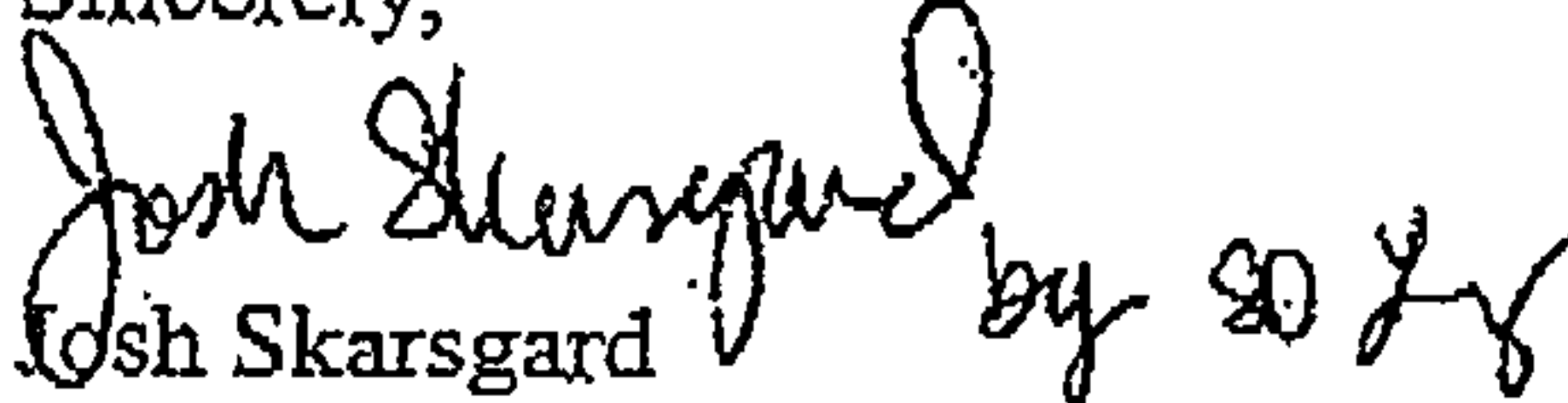
Re: Chuck Noya Property

Dear City of Albuquerque Transportation Department,

Concerning the proposed traffic signal at Holly Avenue and San Pedro Avenue and the property listed as 6425 Holly NE, Tract C-1.

Zia Rising has contributed \$60,000 toward the installation of the traffic signal at the intersection. That amount is to be considered this property's contribution as agreed to by the property owners adjacent to this intersection.

Sincerely,


Josh Skarsgard

#50



Complete Ag
12-21-07

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DRB Application No.: 07DRB-70306

Project # 1005132

Project Name: NORTH ALBUQUERQUE ACRES

Agent: THE DESIGN GROUP

Phone No.:

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- participation of Sinal of Holly NE + San Pedro NE
-
-
-
-
- UTILITIES:
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- CITY ENGINEER / AMAFCA:
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- PARKS / CIP:
-
-
-
- PLANNING (Last to sign): 3 Copies
- M.
-
-

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#5(b)



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REVISED 10/08/07

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- participation of signat of Holly NE + San Pedro NE
-
-
-

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-
-
-

- CITY ENGINEER / AMAFCA:
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-
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- PARKS / CIP:
-
-
-

- PLANNING (Last to sign): 3 Copies
- M.
-
-

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**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 17, 2007 9:00 AM

MEMBERS:

Sheran Matson, AICP, DRB Chair
Angela Gomez, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT ANGELA GOMEZ, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order 9:00 A.M. Adjourned: Changes and/or Additions to the Agenda
- B. New or Old Business

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1002848**
07DRB-70267 MAJOR - 2YR SUBD IMP
AGMT (2YR SIA)
TIERRA WEST LLC agent(s) for LARRY MILLER AMERICAN TOYOTA request(s) the above action(s) for all or a portion of Tract(s) A1 & B1, **AMERICAN TOYOTA**, zoned SU-2,SU-1 FOR AUTO SALES, located on ALAMEDA BLVD NE BETWEEN PAN AMERICAN FREEWAY NE AND SAN PEDRO DR NE containing approximately 5 acre(s). (C-18) **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

2. **Project# 1005236**
07DRB-70268 VACATION OF PUBLIC
EASEMENT
07DRB-70269 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

ALPHA PROFESSIONAL SURVEYING INC. agent(s) for ZIA PARK TOWNHOMES LLC request(s) the above action(s) for all or a portion of Tract(s) H & I, **LA CUESTA SUBDIVISION**, zoned SU-1/TOWNHOMES, located on ZIA RD NE BETWEEN JUAN TABO NE AND ZENA LONA RD NE containing approximately 2.9788 acre(s). (K-22) **DEFERRED TO 10/24/07 AT THE AGENTS REQUEST**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

3. **Project# 1004873**
07DRB-70283 EPC APPROVED SDP
FOR BUILD PERMIT

DENISH & KLINE ASSOCIATES agent(s) for FOREST CITY COVINGTON NM, LLC request(s) the above action(s) for all or a portion of Tract(s) 23 & 24, **INNOVATION PARK**, zoned PC, located on STRYKER RD SE AND UNIVERSITY BLVD NORTHBOUND AND UNIVERSITY BLVD SOUTHBOUND containing 4.5 acre(s) *[Deferred from 10/10/07]* (R-16, R-17) *[Catalina Lehner, EPC Planner]* **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND TO PLANNING FOR CORRECTIONS TO NOTES 2, 9,10 AND 11 ON UTILITY PLAN, AND FOR 3 COPIES.**

4. **Project# 1000771**
07DRB-70281 EPC APPROVED SDP
FOR BUILD PERMIT

DEKKER PERICH SABATINI agent(s) for H R RENTAL PROPERTIES INC request(s) the above action(s) for all or a portion of Tract(s) C, **COTTONWOOD POINTE SUBDIVISION to be known as Eagle Vista Apartments**, zoned SU-1 FOR R-2, C-2 AND IP, located on EAGLE RANCH RD NW AND IRVING BLVD NW containing approximately 6.76 acre(s). (B-13) *[Deferred from 10/10/07]* *[Carol Toffaletti, EPC Planner]* **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/17/07, THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA, AND FOR EASEMENT TAPER, AND TO PLANNING FOR 3 COPIES.**

5. ~~Project# 1005132~~
07DRB-70305 MINOR - SDP FOR
BUILDING PERMIT

THE DESIGN GROUP agent(s) for DR BERNITSKY request(s) the above action(s) for all or a portion of Tract(s) B-1, **NORTH ALBUQUERQUE ACRES Unit(s) B**, zoned SU-2 FOR O1, located on HOLLY AVENUE NE BETWEEN SAN PEDRO NE AND LOUISANNA NE containing approximately 0.76 acre(s). (C-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR SIDEWALK EASEMENT ON HOLLY AVE, FOR PARTICIPATION IN TRAFFIC SIGNAL AT HOLLY NE AND SAN PEDRO NE, AND TO PLANNING FOR 3 COPIES.**

- 07DRB-70306 MINOR - SDP FOR
BUILDING PERMIT

THE DESIGN GROUP agent(s) for ZIA RISING request(s) the above action(s) for all or a portion of Tract(s) C-1, **NORTH ALBUQUERQUE ACRES**, zoned SU-2 FOR O1, located on HOLLY PLACE NE BETWEEN SAN PEDRO NE AND LOUISIANA NE containing approximately 1.27 acre(s). (C-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR SIDEWALK EASEMENT ON HOLLY AVE, FOR PARTICIPATION IN TRAFFIC SIGNAL AT HOLLY NE AND SAN PEDRO NE, AND TO PLANNING FOR 3 COPIES.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

6. **Project# 1003238**
07DRB-70295 SIDEWALK WAIVER
7. **Project# 1005539**
07DRB-70279 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

EVERGREEN DURANES LTD CO request(s) the above action(s) for all or a portion of Lot(s) 29 P-1, **FLORAL MEADOWS**, zoned R-LT, located on ON SARITA AVE containing approximately 0.25 acre(s). (H-13) **THE SIDEWALK WAIVER WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

WILSON AND COMPANY INC agent(s) for MGMe DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 1, Block(s) 5, **VOLCANO CLIFFS SUBDIVISION, Unit(s) 26, (to be known as TIERRA BUENA ESTATES)**, zoned SU-2 SRLL, located on KIMMICK DR NW BETWEEN ROSA PARKS RD NW AND VALIENTE RD NW containing approximately 3.62 acre(s). (C-11) *[Deferred from 10/03/07]* **DEFERRED TO 10/24/07 AT THE AGENTS REQUEST.**

8. **Project# 1005182**
07DRB-70309 MAJOR - FINAL PLAT APPROVAL
- WILSON AND COMPANY INC agent(s) for LA CUENTISTA II, LLC request(s) the above action(s) for all or a portion of Tract(s) C, **LA CUENTISTA SUBDIVISION Unit(s) 2**, zoned SU2-SRSL, located on ROSA PARKS ROAD NW BETWEEN ALOE ROAD NW AND KIMMICK DRIVE containing approximately 35.4714 acre(s). (C-10 C-11) **DEFERRED TO 10/24/07 AT THE AGENTS REQUEST.**
9. **Project# 1005271**
07DRB-70303 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for WALDO GRIEGO request(s) the above action(s) for all or a portion of Lot(s) 31, **WEAKS ADDITION**, zoned R-1, located on 47TH STREET NW BETWEEN CENTRAL AVE NW AND GLENDALE PL NW containing approximately .1802 acre(s). (R-12) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DRY UTILITY SIGNATURES.**
10. **Project# 1006890**
07DRB-70308 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- PRECISION SURVEYS INC agent(s) for NEW MEXICO BANK & TRUST request(s) the above action(s) for all or a portion of Lot(s) 5-11 AND PORTION OF 12 & 13-15, Block(s) 17, Tract(s) 15-A, **MONKBRIDGE ADDITION (TBK TRACTS A & B, NEW MEXICO BANK & TRUST)**, zoned P, C-1 & C-3, located on CANDELARIA NW BETWEEN 4TH ST NW AND 5TH ST NW containing approximately 1.9616 acre(s). (G-14) **DEFERRED TO 10/24/07.**
11. **Project # 1005070**
06DRB-01154 Major-Preliminary Plat Approval
06DRB-01156 Minor-Sidewalk Waiver
06DRB-01155 Minor-Temp Defer SDWK
- SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, **THE TRAILS, UNIT 2 (to be known as TAOS @ THE TRAILS, UNIT 2)** zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). [Deferred from 9/6/06, 9/13/06, 9/27/06, 10/11/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07, 4/18/07, 6/20/07, 7/18/07, 08/22/07 & 09/05/07 & 09/26/07]. (C-9) **DEFERRED TO 4/16/08 AT THE AGENTS REQUEST.**
12. **Project# 1005465**
07DRB-70277 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- THOMPSON ENGINEERING CONSULTANTS, INC agent(s) for DUKE CITY DISTRIBUTING request(s) the above action(s) for all or a portion of Tract(s) C, **SOUTH BROADWAY INDUSTRIAL ACRES**, zoned SU-2 HM, located on WOODWARD RD SE BETWEEN BROADWAY BLVD SE AND 2ND ST SE containing approximately 3.52 acre(s). (M-14) [Deferred from 10/03/07] **DEFERRED TO 10/24/07 AT THE AGENTS REQUEST.**

13. **Project #1003828**
07DRB-00717 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

WILLIAM T CANIGLIA, agent(s) for CANDELARIA VILLAGE COMPANY request(s) the above action(s) for all or a portion of Lot(s) 38, **CANDELARIA VILLAGE**, zoned R-1, located on 12TH ST NW and DON FRANCISCO PL NW containing approximately 0.338 acre(s). [Defer from 06/20/07, 7/11/07 & 08/22/07] (G-13) **WITHDRAWN AT AGENTS REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

14. **Project# 1006882**
07DRB-70304 SKETCH PLAT REVIEW
AND COMMENT

MONICA MONTOYA - BARELAS CPC agent(s) for VERA M MONTOYA request(s) the above action(s) for all or a portion of Lot(s) 12, Block(s) 4, **SANTA FE ADDITION**, zoned SU2-R1, located on SANTA FE SW BETWEEN 9TH ST SW AND 8TH ST SW containing approximately .1 acre(s). (K-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**

15. Approval of the Development Review Board Minutes for August 22nd and August 29th 2007.

Other Matters: **Project # 1003102**

Application # 06DRB-00935 (Soft Lofts)

Application # 06DRB-00936 (Soft Lofts)

was withdrawn at the Agent's request.

ADJOURNED: 9:59 AM

#18



complete
4-17-07
[Signature]


DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

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DRB Application No.: <u>07DRB-00386 (P&F)</u>	Project # <u>1005132</u>
Project Name: <u>PASEO NUEVO 2 TRS B1/C1</u>	
Agent: <u>PRECISION SURVEYS INC</u>	Phone No.: <u>856-5700</u>

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 4/10/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: EXTENSION of X-ACCESS EASEMENT 
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
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- PLANNING (Last to sign): _____
- _____
- _____
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Project Number 1005132

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#18



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REVISED 9/28/05

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Project # 1005132

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Agent: PRECISION SURVEYS INC

Phone No.: 856-5700

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CITY ENGINEER / AMAFCA:

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OK

Project Number

1005132



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 4, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

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- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:00 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002371**
07DRB-00286 Major-One Year SIA

TIERRA WEST LLC agent(s) for HOFFMANTOWN WEST CHURCH request(s) the above action(s) for all or any portion of Tract(s) 1-A-1, Block(s) 15, **ALBAN HILLS**, zoned SU-1 FOR R-2 W/CHURCH RELATED USES located on LA ORILLA RD NW between COORS BLVD NW and the CORRALES DRAIN containing approximately 17 acre(s). [REF: 02DRB-00286, 03DRB-02150, 05DRB-00560, 03DRB-02085, 03DRB-02086] (D-12) **ONE-YEAR SIA WAS APPROVED.**

2. **Project # 1000985**
07DRB-00292 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for PALOMAS INVESTMENTS LLC request(s) the above action(s) for all or any portion of Lot(s) 1-A, Block(s) 12, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT A**, zoned SU-2 C-1 located on SAN PEDRO NE between PASEO DEL NORTE NE and PALOMAS NE. (D-18) **TWO-YEAR SIA WAS APPROVED.**

3. **Project # 1003790**
07DRB-00297 Major-SiteDev Plan Subd
07DRB-00298 Minor-Vacation of Private Easements
07DRB-00299 Minor-Prelim&Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for MCT INDUSTRIES INC request(s) the above action(s) for all or any portion of Tract(s) B, C-1 & C-2, **NORTH GATEWAY**, zoned IP located on BALLOON FIESTA PARKWAY NE between SAN MATEO BLVD NE and I-25 NE containing approximately 23 acre(s). (B-18) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD AND FOUR COPIES OF THE PLAN. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT "B" IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 04/04/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/1/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: 61-FEET OF RIGHT-OF-WAY ON BALLOON FIESTA COURT IS REQUIRED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

4. **Project # 1004623**
07DRB-00294 Major-SiteDev Plan
BldPermit

BERENT GROTH ARCHITECT agent(s) for RAUL LOPEZ request(s) the above action(s) for all or any portion of Lot(s) 13-16, Block(s) 3, **ROMERO ADDITION**, zoned SU-1 for legal office and/or residence, located on 5TH ST NW between SUMMER NW and MCKINLEY NW containing approximately 1 acre(s). [Deferred from 4/4/07] (J-14) **DEFERRED AT THE AGENT'S REQUEST TO 4/25/07.**

5. **Project # 1002739**
06DRB-01621 Major-Vacation of Public Easements
06DRB-01622 Major-Vacation of Pub Right-of-Way
06DRB-01623 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for **ANDERSON HEIGHTS, UNIT 5A**, zoned RD/RLT, located on 118TH ST SW, between DENNIS CHAVES BLVD SW and COLOBEL AVE SW containing approximately 41 acre(s). [REF: 06DRB-01431] [Deferred from 12/6/06,12/13/06 & 12/20/06] [Deferred from 1/3/07,1/10/07,1/17/07,1/24/07, 1/31/07, 2/7/07, 2/21/07, 3/07/07 & 03/21/07 & 4/4/07] (P-8) **DEFERRED AT THE BOARD'S REQUEST TO 4/11/07.**

6. **Project # 1002984**
07DRB-00238 Major-Vacation of Pub Right-of-Way

SANDRA LEVINSON & HAROLD GILL request(s) the above action(s) for all or any portion of Lot(s) 6, Block(s) 7, **VOLCANO CLIFFS, UNIT 2**, zoned R-1 located on KIBO DR NW between RIMROCK DR NW and SHIPROCK CT NW containing approximately 1 acre(s). [Deferred from 3/28/07] (E-10) **WITHDRAWN AT THE AGENT'S REQUEST.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1002962**
07DRB-00358 Minor-SiteDev Plan
BldPermit/EPC

J. S. ROGERS ARCHITECTS PC agent(s) for THE CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS request(s) the above action(s) for all or any portion of Tract(s) 10, **TRAILS, UNIT 2**, zoned SU-1 FOR CHURCH located on WOODMONT AVE NW between RAINBOW BLVD NW and UNIVERSE NW containing approximately 5 acre(s). [Carmen Marrone for David Stallworth, EPC Case Planner] (C-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/4/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR SIA AND 3 COPIES AND TRANSPORTATION DEVELOPMENT FOR MINOR CORRECTIONS ON THE 15-FOOT END CAP RADII.**

8. **Project # 1005360**
07DRB-00372 Minor-SiteDev Plan
BldPermit

KENT TRAUERNICHT agent(s) for STEVE SCHAUK request(s) the above action(s) for all or any portion of Lot(s) 45, **ALAMEDA BUSINESS PARK**, zoned SU-2 FOR IP-EP located on CALLE ALAMEDA NE , between PASEO ALAMEDA NE and ALAMEDA PARK DR NE containing approximately 1 acre(s). [REF: 07ZHE-00120] *[Deferred from 4/4/07]* (C-16) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

9. **Project # 1000504**
07DRB-00378 Minor-SiteDev Plan
BldPermit

NCA ARCHITECTS agent(s) for JEFFERSON PLAZA LLC request(s) the above action(s) for all or any portion of Tract(s) B-1-A-1-B, **GROUP NINE INDUSTRIAL PARK**, zoned IP, located on JEFFERSON PLAZA NE between OSUNA RD NE and SINGER BLVD NE containing approximately 6 acre(s). [REF: 07DRB-00364] *[Indef deferred from 4/4/07]* (E-17) **INDEFINITELY DEFFERRED AT THE AGENT'S REQUEST.**

07DRB-00364 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for CINCO BISCO LIMITED request(s) the above action(s) for all or any portion of Tract(s) B-1-A-1-B, **GROUP NINE INDUSTRIAL PARK**, zoned IP located on JEFFERSON PLAZA NE between OSUNA RD NE and SINGER BLVD NE containing approximately 9 acre(s). [REF: 00DRB-00608] *[Indef deferred from 4/4/07]* (E-17) **INDEFINITELY DEFFERRED AT THE AGENT'S REQUEST.**

10. **Project # 1001523**
07DRB-00341 Minor-SiteDev Plan
BldPermit

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or any portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1-IP FOR LIGHT INDUSTRIAL USES located on UNSER BLVD NW between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] *[Deferred from 3/28/07 & 4/4/07]* (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

07DRB-00207 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or a portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1 FOR LIGHT INDUSTRIAL USES, located on UNSER BLVD NW, between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] *[Deferred from 2/28/07] [Indef deferred from 3/14/07] [Deferred from 3/28/07 & 4/4/07]* (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1004178**
07DRB-00374 Minor-Ext of SIA for Temp
Defer SDWK

GARCIA KRAEMER & ASSOCIATES agent(s) for NM ONE CALL request(s) the above action(s) for all or any portion of Tract(s) G-1 & G-2, Block(s) 27, **MESA VILLAGE**, zoned O-1 located on EUBANK BLVD NE between LOMAS BLVD NE and WALKER NE containing approximately 2 acre(s). [REF: 05DRB01013, 07DRB00018] (J-20) **A TWO-YEAR EXTENSION TO THE FOUR YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

12. **Project # 1000572**
07DRB-00383 Major-Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or any portion of Tract(s) A, THE PRESIDIO (to be known as **THE PRESIDIO, UNIT 1**) zoned SU-1 PRD located on CHICO RD NE between EUBANK BLVD NE and MORRIS ST NE containing approximately 24 acre(s). [REF: 06DRB01714, 06DRB01715, 06DRB01783, 06DRB01778, 06DRB01779, 06DRB01781] (K-21) **FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR THE HOMEOWNERS ASSOC.SIGNATURE, CORRECTED ZONING, MASTER COVENANTS RECORDING DATE ON THE PLAT AND TO RECORD.**

13. **Project # 1003928**
07DRB-00394 Minor-Subd Design (DPM)
Variance
07DRB-00395 Minor-Sidewalk Variance

SURVEYS SOUTHWEST agent(s) for JIM MOCHO request(s) the above action(s) for LOT 16D **TOHATCHI ADDITION & LOT 12, BLOCK C, J. M. MOORE REALTY COMPANY'S 3RD ADDITION**, zoned R-1 residential zone located on MOUNTAIN RD NW between RIO GRANDE BLVD NW and PUEBLO BONITO NW containing approximately 1 acre(s). [REF: 06DRB01203] (J-13) **A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT "C" IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT "C" IN THE PLANNING FILE.**

07DRB-00068 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for JIM MOCHO request(s) the above action(s) for LOT 16D, **TOHATCHI ADDITION & LOT 12, BLOCK C, J M MOORE REALTY COMPANY'S 3RD ADDITION**, zoned R-1 residential zone, located on MOUNTAIN RD NW, between RIO GRANDE BLVD NW and PUEBLO BONITO NW containing approximately 1 acre(s). [REF: 06DRB01203] [*Deferred from 1/31/07 & Indef deferred on 2/14/07*] (J-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/4/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/8/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS: A 30-FOOT PUBLIC WATER AND SEWER EASEMENT IS REQUIRED. A 6-FOOT DEDICATION ALONG MOUNTAIN ROAD IS REQUIRED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

14. **Project # 1005458**
07DRB-00379 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for DAN MUNIZA request(s) the above action(s) for all or any portion of Tract(s) Q, **TOWN OF ATRISCO GRANT, NORTHERN UNIT**, zoned C-1/P located on COORS RD NW between REDLANDS RD NW and ATRISCO DR NW containing approximately 4 acre(s). [*Indef deferred from 4/4/07*] (G-11) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

15. **Project # 1002176**
07DRB-00393 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for CASH FLOW PROPERTIES LLC request(s) the above action(s) for all or any portion of Lot(s) 51-P1 & 52-P, **COVERED WAGON SUBDIVISION**, zoned SU-1 FOR SINGLE FAMILY RES located on COVERED WAGON AVE SE between LANIER DR SE and WATERFALL DR SE containing approximately 1 acre(s). [*Shown under Project 1005466 in error.*] (L-23) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

16. **Project # 1004355**
07DRB-00351 Minor-Prelim&Final Plat
Approval

WILSON & COMPANY INC agent(s) for KB HOME NEW MEXICO request(s) the above action(s) for all or any portion of Lot(s) 16-21, Block(s) 6, **VISTA VIEJA SUBDIVISION, UNIT 2**, zoned R-D located on TIERRA VIEJA ST NW between HAWK EYE RD NW and GO WEST RD NW containing approximately 1 acre(s). [REF: 06DRB01340] (D-9) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO UTILITIES DEVELOPMENT FOR LOCATION OF METER BOXES AND PLANNING TO RECORD THE PLAT.**

17. **Project # 1004994**
07DRB-00382 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for COLLATZ-PICKARD LLC request(s) the above action(s) for all or any portion of Anasazi Ridge, Unit 1, Tract E and Tract A, Seville Subdivision, Unit 7A (to be known as **ANASAZI RIDGE, UNIT 1A**) zoned R-1 located on MCMAHON BLVD NW between ANASAZI RIDGE AVE NW and BASKET WEAVER PL NW containing approximately 1 acre(s). (A-10) **INDEFINITELY DEFERRED ON A NO SHOW.**

18. **Project # 1005132**
07DRB-00386 Minor-Prelim&Final Plat
Approval
07DRB-00385 Minor-Vacation of Private
Easements

PRECISION SURVEYS INC agent(s) for SAN PEDRO EQUITIES LLC request(s) the above action(s) for all or any portion of Tract(s) B & C, (to be known as **PASEO NUEVO 2, TRACTS B-1 & C-1**) zoned SU-2, 0-1 located on HOLLY AVE NE, between SAN PEDRO DR NE and VILLE CT NE containing approximately 2 acre(s). [REF: 07DRB00137] (C-18) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO THE TRANSPORTATION DEVELOPMENT TO CORRECT CROSS-ACCESS EASEMENT. THE VACATION OF THE PRIVATE EASEMENT(S) WAS APPROVED AS SHOWN ON EXHIBIT "B" IN THE PLANNING FILE.**

19. **Project # 1005363**
07DRB-00346 Minor-Prelim&Final Plat
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for GIL CORDOVA request(s) the above action(s) for all or any portion of the north half of Lot(s) 33, **ALVARADO GARDENS, UNIT 3**, zoned RA-2 located on RIO GRANDE BLVD NW between CANDELARIA RD NW and GRIEGOS RD NW containing approximately 2 acre(s). [Deferred from 3/28/07] (G-12 & G-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/4/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

20. **Project # 1004071**
07DRB-00376 Minor-Sketch Plat or Plan
- JEFF MORTENSEN & ASSOCIATES INC agent(s) for ALBUQUERQUE PUBLIC SCHOOLS & NEW MEXICO STATE LAND OFFICE request(s) the above action(s) for all or any portion of Tract(s) C, **ANCIENT MESA**, zoned RO-20 located on RAINBOW BLVD NW between COMPASS DR NW and PETROGYLPH NATIONAL MONUMENT containing approximately 144 acre(s). [REF: 05DRB00511, 05DRB00512, 05DRB00513] (C-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
21. **Project # 1005456**
07DRB-00373 Minor-Sketch Plat or Plan
- FAITH HOME BUILDERS INC request(s) the above action(s) for all or any portion of Lot(s) 1-8, Block(s) 4, **ESPERAZA ADDITION**, zoned C-1 located on SAN MATEO BLVD SE between SOUTHERN AVE SE and KATHRYN SE containing approximately 1 acre(s). (L-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
22. **Project # 1005459**
07DRB-00380 Minor-Sketch Plat or Plan
- RAIMUND MCCLAIN agent(s) for KRISTINA YU request(s) the above action(s) for all or any portion of Lot(s) 12 & 13, **RIDGECREST ADDITION**, zoned R-2 located on ROSS PLACE SE, between JACKSON SE and CREST SE containing approximately 1 acre(s). (L-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. **Project # 1005460**
07DRB-00384 Minor-Sketch Plat or Plan

PLAZA SURVEYS agent(s) for NICOLAS PACHECO request(s) the above action(s) for all or any portion of Tract(s) 36B1, **M.R.G.C.D. MAP #35**, zoned RA-2 located on MOYA NW between GABALDON NW and LOS LUCEROS NW containing approximately 1 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

24. **Project # 1005461**
07DRB-00387 Minor-Sketch Plat or Plan

EDWARD GABALDON agent(s) for BERLINDA GABALDON request(s) the above action(s) for all or any portion of Lot(s) 15, Block(s) 4, **MELENDRES SUBDIVISION**, zoned R-3 located on PALOMAS SE between ANDERSON SE and KATHRYN SE containing approximately 1 acre(s). (L-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

25. **Project # 1005467**
07DRB-00392 Minor-Sketch Plat or Plan

MATTHEW COHEN request(s) the above action(s) for all or any portion of Tract(s) 283A, **M.R.G.C.D. MAP #38**, zoned R-1 located on MOUNTAIN RD NW, between CONSUELO PL NW and RIO GRANDE BLVD NW containing approximately 1 acre(s). (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

26. **Project # 1005462**
07DRB-00388 Minor-Sketch Plat or Plan

THOMPSON ENGINEERING CONSULTANTS agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or any portion of Tract(s) 2A, **INDIAN RIDGE SUBDIVISION**, zoned O-1 located on MENAUL BLVD NE between JUAN TABO BLVD NE and CHELWOOD PARK BLVD NE containing approximately 2 acre(s). (H-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

27. **Project # 1005463**
07DRB-00389 Minor-Sketch Plat or Plan

THOMPSON ENGINEERING CONSULTANTS agent(s) for YUNG T HSIEH request(s) the above action(s) for all or any portion of Lot(s) 4, **LANDS OF LW BARRETT**, zoned RD (9 DU ACRE) located on SAGE RD SW , between 86TH ST SW and SAN IGNACIO RD SW containing approximately 2 acre(s). (L-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

28. **Project # 1005464**
07DRB-00390 Minor-Sketch Plat or Plan

THOMPSON ENGINEERING CONSULTANTS agent(s) for ESMAIL HAIDARI request(s) the above action(s) for all or any portion of Lot(s) 32, Tract(s) A, **NORTH ALBUQUERQUE ACRES**, zoned R-LT residential zone located on PALOMAS AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). (D-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

29. **Project # 1005465**
07DRB-00391 Minor-Sketch Plat or Plan

THOMPSON ENGINEERING CONSULTANTS agent(s) for DUKE CITY DISTRIBUTING request(s) the above action(s) for all or any portion of Tract(s) C, SOUTH BROADWAY INDUSTRIAL ACRES (to be known as **DUKE CITY SUBDIVISION**) zoned SU-2 HM located on WOODWARD RD SE, between BROADWAY BLVD SE and 2ND ST SE containing approximately 4 acre(s). (M-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

30. Approval of the Development Review Board Minutes for March 28, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR MARCH 28, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 12:00 P.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1005132

AGENDA ITEM NO: 18

SUBJECT:

Final Plat
Preliminary Plat
Vacation of Private Easements

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No adverse comments.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: APRIL 4, 2007

0



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

April 4, 2007

18. Project # 1005132
07DRB-00386 Minor-Prelim&Final Plat Approval
07DRB-00385 Minor-Vacation of Private Easements

PRECISION SURVEYS INC agent(s) for SAN PEDRO EQUITIES LLC request(s) the above action(s) for all or any portion of Tract(s) B & C, (to be known as **PASEO NUEVO 2, TRACTS B-1 & C-1**) zoned SU-2, 0-1 located on HOLLY AVE NE, between SAN PEDRO DR NE and VILLE CT NE containing approximately 2 acre(s). [REF: 07DRB00137] (C-18)

At the April 4, 2007, Development Review Board meeting, the preliminary and final plat was approved with final sign-off delegated to the Transportation Development to correct cross-access easement.


The vacation of private easements was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.


Sheran Matson, AICP, DRB Chair

Cc: San Pedro Equities LLC, 4101 Indian School Rd NE, #400, 87110
Precision Surveys Inc., 8500-A Jefferson NE, 87113
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
April 4, 2007
DRB Comments**

ITEM # 18

PROJECT # 1005132 APPLICATION # 07-00385 & 00386

RE: Paseo Nuevo 2, Tracts B-1 & C-1/vpe & plat

Agent called on 3/30/07 to submit a smaller vacation exhibit.

No objection to the vacation request or the platting action.

Agent may file the plat provided a copy of the recorded plat is given to Planning to close the file.



**Sheran Matson, AICP
DRB Chair
924-3880 smatson@cabq.gov**

5132

DXF Electronic Approval Form

DRB Project Case #: 1005132

Subdivision Name: PASEO NUEVO 2 TRACTS B1 & C1

Surveyor: LARRY W MEDRANO

Contact Person: LISA PARRISH

Contact Information: 856-5700

DXF Received: 3/28/2007

Hard Copy Received: 3/27/2007

Coordinate System: Ground rotated to NMSP Grid


Approved

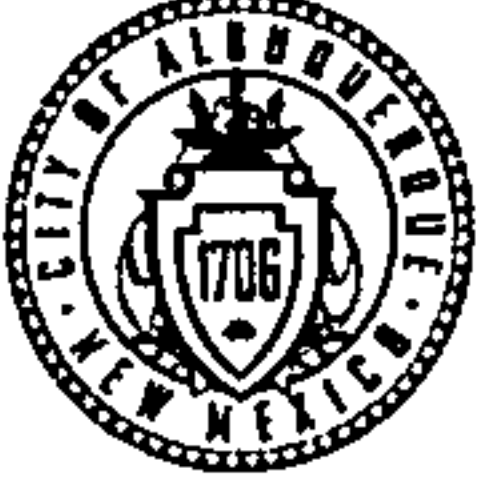
03-28-2007
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc 5132 to agiscov on 3/28/2007 Contact person notified on 3/28/2007

#6



Completed 02-15-07
J

DRB CASE ACTION LOG (PREL & FINAL PLAT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>07DRB-00137 (P&F)</u>	Project # <u>1005132</u>
Project Name <u>PASEO NUEVO 2</u>	
Agent: <u>PRECISION SURVEYS</u>	Phone No.: <u>856-5700</u>

Project Number 1005132

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 02/14/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: Five cross assessments needed?
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): _____
- _____
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

Handwritten arrow pointing to the AGIS DXF File approval required checkbox.

#6



DRB CASE ACTION LOG (PREL & FINAL PLAT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00137 (P&F)
Project Name PASEO NUEVO 2
Agent: PRECISION SURVEYS

Project # 1005132
Phone No.: 856-5700

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 02/14/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: the cross assessments needed

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk) RECORDED DATE: _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**

- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1005132



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

February 14, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 10:20 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. Project # 1005343

07DRB-00066 Major-Vacation of Public Easements

07DRB-00067 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for MONEER HINDI request(s) the above action(s) for **PARCEL 3, MANKIN INC.**, zoned C-2 community commercial zone, located on SKYLINE RD NE and I-40 and containing approximately 2 acre(s). [REF: ZA-98-269, Z-1410] (L-22) **WITHDRAWN AT THE AGENT'S REQUEST.**

2. **Project # 1000060**
03DRB-02115 Major – One Year SIA

MODRALL SPERLING agent(s) for SANDIA FOUNDATION request(s) the above action(s) for all or a portion of Tract(s) C & D1B, **GATEWAY SUBDIVISION**, zoned SU-2/C-3, located on LOMAS BLVD NE, between WOODWARD NE and I-25. (J-15) **A ONE-YEAR SIA WAS APPROVED.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

3. **Project # 1003613**
07DRB-00129 Minor-Amnd SiteDev Plan
Subd/EPC
07DRB-00130 Minor-Amnd Prelim Plat
Approval
07DRB-00131 Minor-Sidewalk Waiver
07DRB-00132 Minor-Temp Defer SDWK

THOMPSON ENGINEERING CONSULTANTS INC agent(s) for WAREHOUSE MOULDING & DOOR CORP request(s) the above action(s) for all or a portion of Lot(s) 11 and 1-4, Tract(s) 34, M.R.G.C.D. MAP 39, RANCHO RICO, POWELL GARDENS ADDITION & SUNSET VILLA ADDITION (to be known as **SUNSET VILLA SUBDIVISION**) zoned SU-1 FOR PRD, located on SUNSET GARDENS RD SW, between ATRISCO RD SW and SUNSET RD SW containing approximately 15 acre(s). [REF: 06DRB00854] (K-12) **THE AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES. WITH THE APPROVAL OF THE AMENDED GRADING PLAN ENGINEER STAMP DATED 1/26/07 THE AMENDED PRELIMINARY PLAT WAS APPROVED. THE PREVIOUS CONDITIONS OF FINAL PLAT STILL APPLY. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

4. **Project # 1005189**
07DRB-00089 Minor-SiteDev Plan
BldPermit/EPC

GARRETT SMITH LTD. agent(s) for LITTLE BROTHERS OF THE GOOD SHEPHERD request(s) the above action(s) for all or a portion of Lot(s) 1-A, Block(s) 45, **PEREA ADDITION**, zoned SU-2/SU-1 for found. house & rel. act., located on MOUNTAIN RD NW, between 14TH ST NW and BROTHER MATHIAS PLACE NW containing approximately 1 acre(s). [REF: Z-89-100] [**Maggie Gould, EPC Case Planner**] [*Deferred from 2/7/07 & 2/14/07*] (J-13) **DEFERRED AT THE AGENT'S REQUEST TO 2/21/07.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

5. **Project # 1000624**
07DRB-00128 Minor-Prelim&Final Plat
Approval

ACCURATE SURVEY agent(s) for KEITH CHESHIRE request(s) the above action(s) for all or a portion of Lot(s) 30 & 31, **ALAMEDA BUSINESS PARK**, zoned SU-2 IP EP, located on ALAMEDA PARK DR NW, between ALAMEDA BLVD NW and PASEO DEL NORTE NW containing approximately 2 acre(s)(C-16) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SITE PLAN FOR BUILDING PERMIT, AGIS DXF FILE AND TO RECORD.**

6. ~~**Project # 1005132**~~
07DRB-00137 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS INC agent(s) for SAN PEDRO EQUITIES LLC request(s) the above action(s) for all or a portion of Lot(s) 27-29, Block(s) 34, Unit B, Tract(s) A, **NORTH ALBUQUERQUE ACRES** (to be known as **TRACTS A & B, PASEO NUEVO 2**) zoned SU-2 for IP, located on HOLLY AVE NE, between SAN PEDRO DR NE and VILLE CT NE containing approximately 3 acre(s). [REF: 06EPC01313] (C-18) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT TO DETERMINE IF CROSS ACCESS EASEMENTS ARE NEEDED AND TO PLANNING TO RECORD.**

7. **Project # 1005335**
07DRB-00139 Minor-Prelim&Final Plat
Approval

JACK'S HIGH COUNTRY INC agent(s) for CAVALIER CAPITAL LLC request(s) the above action(s) for all or a portion of Lot(s) E-1, **LEONARD INDUSTRIAL AREA**, zoned M-1 light manufacturing zone, located on MENAUL BLVD NE, between PRINCETON ST NE and VASSAR ST NE containing approximately 6 acre(s). [REF: 07DRB00053] (H-16) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

8. **Project # 1005350**
07DRB-00098 Minor-Prelim&Final Plat
Approval

RUBY BUSTOS request(s) the above action(s) for all or a portion of Lot(s) 11, **REGINA ADDITION**, zoned R-1 residential zone, located on HERRERA RD NW, between 47TH ST NW and ATRISCO DR NW containing approximately 1 acre(s). (J-12) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

9. **Project # 1003928**
07DRB-00068 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for JIM MOCHO request(s) the above action(s) for LOT 16D, **TOHATCHI ADDITION & LOT 12, BLOCK C, J M MOORE REALTY COMPANY'S 3RD ADDITION**, zoned R-1 residential zone, located on MOUNTAIN RD NW, between RIO GRANDE BLVD NW and PUEBLO BONITO NW containing approximately 1 acre(s). [REF: 06DRB01203] [*Deferred from 1/31/07 & 2/14/07*] (J-13) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

10. **Project # 1005226**
06DRB-01543 Minor-Prelim&Final Plat
Approval

ROSS HOWARD COMPANY agent(s) for ESTELLE BEATY-VAHN request(s) the above action(s) for all of a portion of Lot(s) 1-3 and vacated Garcia Street, Block(s) 42, **SKYLINE HEIGHTS SUBDIVISION**, zoned C-3 & M-1, located on ACOMA ST SE, between ALTEZ ST SE and CONCHAS ST SE containing approximately 1 acre(s). *[Indef deferred on a no show on 11/1/06 & 11/15/06 & 1/31/07]* (L-20) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR ADDITIONAL WATER/SEWER ACCOUNTS AND TAPPING PERMITS AND TRANSPORTATION DEVELOPMENT FOR DOCUMENTATION THAT LOT 4-A HAS NO RIGHTS TO VACATED "GARCIA" STREET AND TO RECORD.**

11. **Project # 1004679**
07DRB-00071 Minor-Prelim&Final Plat
Approval

SHAKEEL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 15B, ALVARADO GARDENS UNIT 2 (to be known as **CAMPBELL ESTATES**) zoned RA-2, W7 residential and agricultural zone, located on CAMPBELL RD NW, between RIO GRANDE BLVD NW and the RIO GRANDE RIVER containing approximately 2 acre(s). [REF: 06DRB00149] *[Deferred from 1/31/07 & 2/7/07 & 2/14/07]* (G-12) **DEFERRED AT THE AGENT'S REQUEST TO 2/21/07.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

12. **Project # 1003121**
07DRB-00135 Minor-Sketch Plat or Plan

STEWART INGHAM agent(s) for ZIA TRUST INC request(s) the above action(s) for all or a portion of Tract(s) 19, **M.R.G.C.D. MAP 36**, zoned R-1, located on FORAKER NW, between LOS TOMASES NW and 8TH ST NW containing approximately 1 acre(s) (H-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. **Project # 1005349**
07DRB-00097 Minor-Sketch Plat or Plan
- ROLANDO PEREZ request(s) the above action(s) for all or a portion of Lot(s) 9 & 10, Block(s) 8, **LOMA VERDE**, zoned R-2, located on SAN PABLO ST NE, between DOMINGO NE and CHICO NE containing approximately 1 acre(s). (K-19) **DEFERRED TO 2/21/07.**
14. **Project # 1005363**
07DRB-00133 Minor-Sketch Plat or Plan
- GIL E CORDOVA request(s) the above action(s) for all or a portion of Lot(s) 33, Unit 3, **ALVARADO GARDENS**, zoned RA-2, located on RIO GRANDE BLVD NW, between CANDELARIA NW and GRIEGOS NW containing approximately 1 acre(s). (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
15. **Project # 1005364**
07DRB-00138 Minor-Sketch Plat or Plan
- CAP II JUAN TABO MONTGOMERY LLC request(s) the above action(s) for PARCELS A & B OF TRACT 1, **EL DORADO CENTER**, zoned C-2 community commercial zone, located on JUAN TABO BLVD NE, between MONTGOMERY BLVD NE and EAGLE NE containing approximately 5 acre(s). (G-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
16. **Project # 1005365**
07DRB-00140 Minor-Sketch Plat or Plan
- ALPHA PROFESSIONAL SURVEYING INC agent(s) for FRANK PADILLA request(s) the above action(s) for Tract(s) 300-A-2-B-1-A, M.R.G.C.D. Map 38, **LANDS OF FRANK & MARY PADILLA**, zoned RA-2, located on CARSON RD NW, between RIO GRANDE BLVD NW and MONTOYA RD NW containing approximately 1 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. **Project # 1005349**
07DRB-00097 Minor-Sketch Plat or Plan
- ROLANDO PEREZ request(s) the above action(s) for all or a portion of Lot(s) 9 & 10, Block(s) 8, **LOMA VERDE**, zoned R-2, located on SAN PABLO ST NE, between DOMINGO NE and CHICO NE containing approximately 1 acre(s). (K-19) **DEFERRED TO 2/21/07.**
14. **Project # 1005363**
07DRB-00133 Minor-Sketch Plat or Plan
- GIL E CORDOVA request(s) the above action(s) for all or a portion of Lot(s) 33, Unit 3, **ALVARADO GARDENS**, zoned RA-2, located on RIO GRANDE BLVD NW, between CANDELARIA NW and GRIEGOS NW containing approximately 1 acre(s). (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
15. **Project # 1005364**
07DRB-00138 Minor-Sketch Plat or Plan
- CAP II JUAN TABO MONTGOMERY LLC request(s) the above action(s) for PARCELS A & B OF TRACT 1, **EL DORADO CENTER**, zoned C-2 community commercial zone, located on JUAN TABO BLVD NE, between MONTGOMERY BLVD NE and EAGLE NE containing approximately 5 acre(s). (G-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
16. **Project # 1005365**
07DRB-00140 Minor-Sketch Plat or Plan
- ALPHA PROFESSIONAL SURVEYING INC agent(s) for FRANK PADILLA request(s) the above action(s) for Tract(s) 300-A-2-B-1-A, M.R.G.C.D. Map 38, **LANDS OF FRANK & MARY PADILLA**, zoned RA-2, located on CARSON RD NW, between RIO GRANDE BLVD NW and MONTOYA RD NW containing approximately 1 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. Approval of the Development Review Board Minutes for February 7, 2007. **THE DRB MINUTES FOR FEBRUARY 7, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:20 A.M.

**CITY OF ALBUQUERQUE
Planning Department
February 14, 2007
DRB Comments**

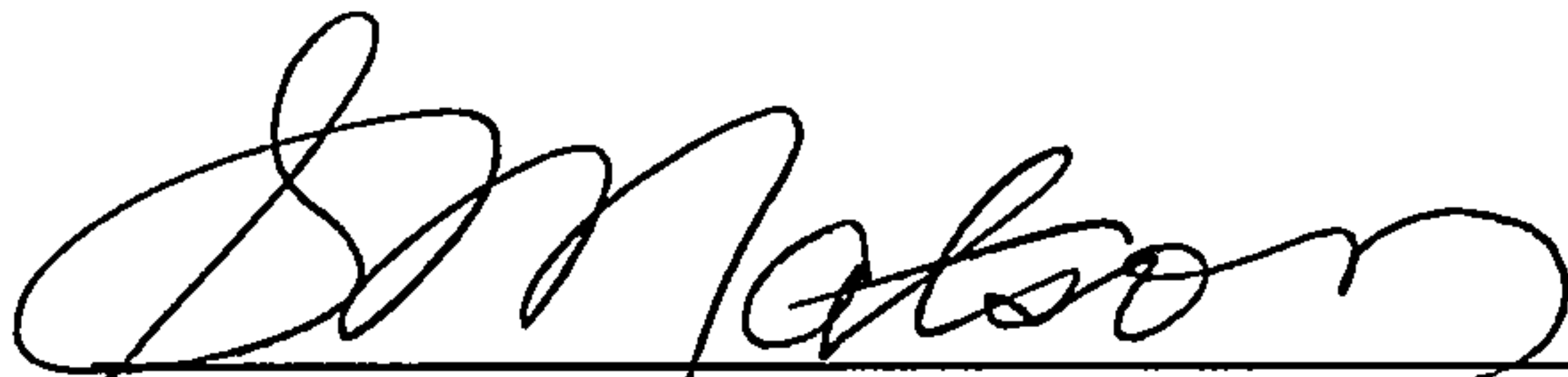
ITEM # 6

PROJECT # 1005132 APPLICATION # 07-000137

RE: Tracts A & B, Paseo Nuevo/minor plat

This property lies within the North I25 Sector Plan boundaries. A site plan for subdivision and landscape plan are required before a building permit is issued for each lot.

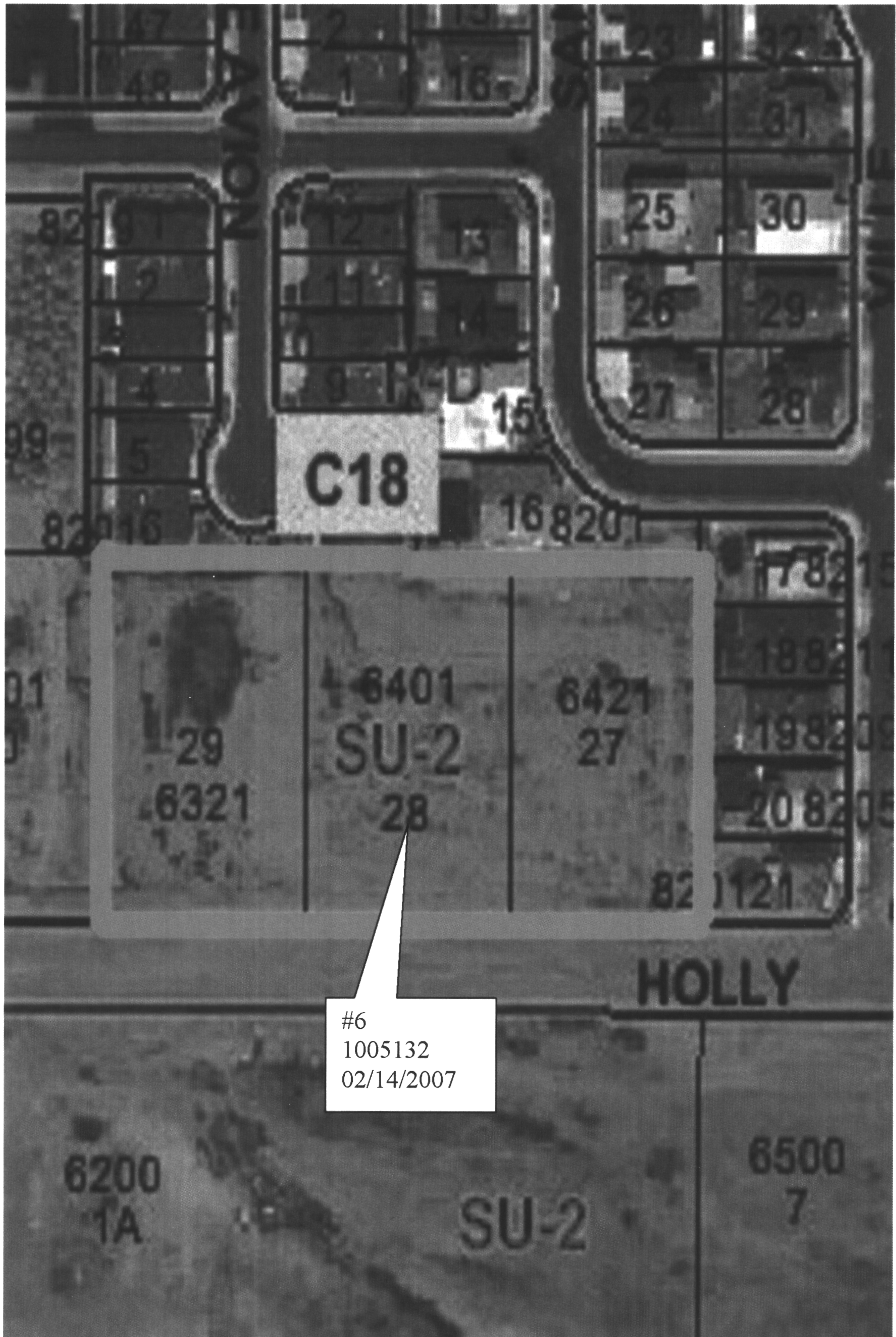
Planning has no objection to the requested replat. We will take delegation for AGIS dxf approval and to record the plat.



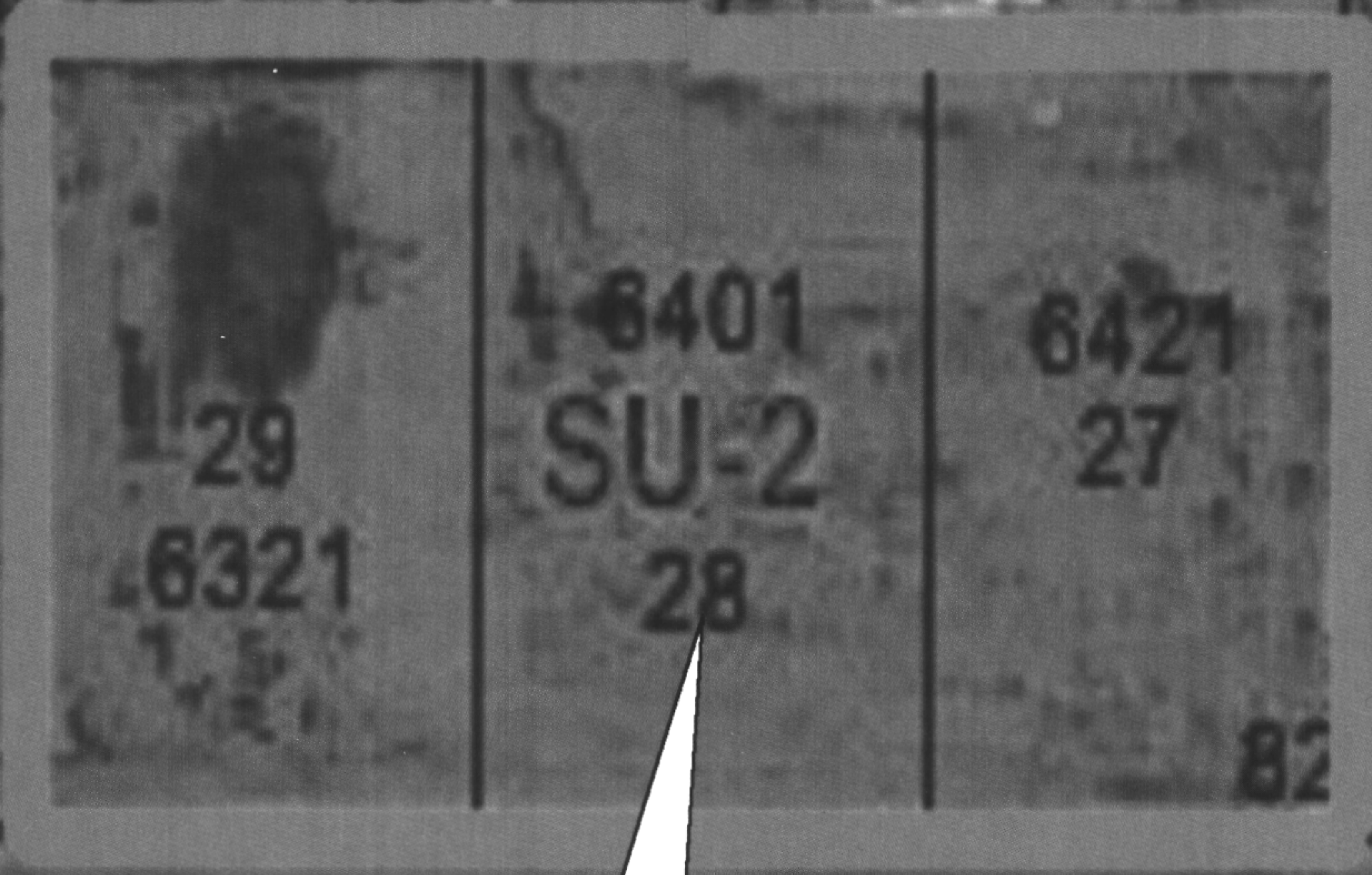
Sheran Matson, AICP

DRB Chair

924-3880 Fax 924-3864 smatson@cabq.gov



C18



#6
1005132
02/14/2007

HOLLY

6200
1A

SU-2

6500
7

#6

5132

DXF Electronic Approval Form

DRB Project Case #: 1005132

Subdivision Name: PASEO NUEVO 2 TRACTS A B & C

Surveyor: LARRY W MEDRANO


Contact Person: LISA PARRISH

Contact Information: 856-5700

DXF Received: 2/13/2007

Hard Copy Received: 2/7/2007

Coordinate System: NMSP Grid (NAD 27)


Approved

02-13-2007
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc 5132 to agiscov on 2/13/2007 Contact person notified on 2/13/2007

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1005132

AGENDA ITEM NO: 6

SUBJECT:

Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No adverse comments.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: FEBRUARY 14, 2007

**CITY OF ALBUQUERQUE
Planning Department
October 17, 2007
DRB COMMENTS**

ITEM # 5(b)

PROJECT # 1005132

APPLICATION # 07-70306

RE: Tract C-1, North Albuquerque Acres/sbp

The signature block needs to be updated. There is DRB site development plan signoff approval signature block that is available at our front office.

A perimeter wall design is required per section 14-16-3-19 of the City of Albuquerque Comprehensive City Zoning Code. Please refer to this section of the Zoning Code.

There is no lighting detail on the submittal.

The parking calculations are missing on the site plan. The proposed and required parking spaces are indicated, but the calculations are missing.

Replace the juniper with an alternate low water use plant.

Note 6 on the landscape plan should read " See E-201 to coordinate site lighting and trees."

Verify the total square footage of on the landscape plan calculations. My calculation did not match the provided square footage.

The building lengths on the elevation sheet are missing

The color rendering or illustrative information was not provided.

CITY OF ALBUQUERQUE
Planning Department
October 17, 2007
DRB COMMENTS

ITEM # 5(a)

PROJECT # 1005132 APPLICATION # 07-70305

RE: Tract B-1, North Albuquerque Acres, Unit B/sbp

The signature block needs to be updated. There is DRB site development plan signoff approval signature block that is available at our front office.

A perimeter wall design is required per section 14-16-3-19 of the City of Albuquerque Comprehensive City Zoning Code. Please refer to this section of the Zoning Code.

There is no lighting detail on the submittal.

The parking calculations are missing on the site plan. The proposed and required parking spaces are indicated, but the calculations are missing.

The landscaping plan scale does not match the scale of the site plan.

The easements are not shown on the landscape plan.

Verify the total square footage of on the landscape plan calculations. My calculation did not match the provided square footage.

The building lengths on the elevation sheet are missing

The color rendering or illustrative information was not provided.

There is no monument signage information. Along with sign elevations, dimensions, heights and width, sign face area, lighting, and materials are all missing from the submittal.

If you should have any questions, please feel free to contact me at 924-3858.

Andrew Garcia

Andrew Garcia, Planning Alternate
924-3858 agarcia@cabq.gov

**CITY OF ALBUQUERQUE
Planning Department
October 17, 2007
DRB COMMENTS**

ITEM # 5(b)

PROJECT # 1005132 APPLICATION # 07-70306

RE: Tract C-1, North Albuquerque Acres/sbp

The signature block needs to be updated. There is DRB site development plan signoff approval signature block that is available at our front office.

A perimeter wall design is required per section 14-16-3-19 of the City of Albuquerque Comprehensive City Zoning Code. Please refer to this section of the Zoning Code.

There is no lighting detail on the submittal.

The parking calculations are missing on the site plan. The proposed and required parking spaces are indicated, but the calculations are missing.

Replace the juniper with an alternate low water use plant.

Note 6 on the landscape plan should read " See E-201 to coordinate site lighting and trees."

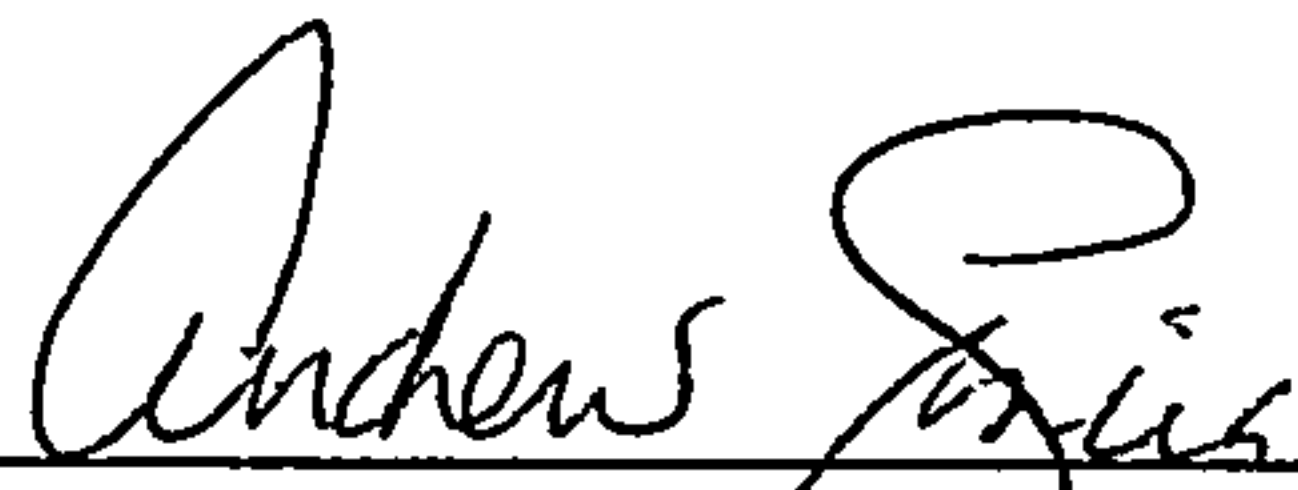
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If you should have any questions, please feel free to contact me at 924-3858.



Andrew Garcia, Planning Alternate
924-3858 agarcia@cabq.gov

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1005132

AGENDA ITEM NO: 5

SUBJECT:

Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: OCTOBER 17, 2007
505-924-3986

0

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1005132

AGENDA ITEM NO: 5

SUBJECT:

Site Plan for Building Permit 5

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) **(SP-BP)** (FP) TO: (UD) (CE) **(TRANS)** (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

505-924-3986

DATE: OCTOBER 17, 2007

0

**CITY OF ALBUQUERQUE
Planning Department
October 17, 2007
DRB COMMENTS**

ITEM # 5(a)

PROJECT # 1005132

APPLICATION # 07-70305

RE: Tract B-1, North Albuquerque Acres, Unit B/sbp

The signature block needs to be updated. There is DRB site development plan signoff approval signature block that is available at our front office.

A perimeter wall design is required per section 14-16-3-19 of the City of Albuquerque Comprehensive City Zoning Code. Please refer to this section of the Zoning Code.

There is no lighting detail on the submittal.

The parking calculations are missing on the site plan. The proposed and required parking spaces are indicated, but the calculations are missing.

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Verify the total square footage of on the landscape plan calculations. My calculation did not match the provided square footage.

The building lengths on the elevation sheet are missing

The color rendering or illustrative information was not provided.

There is no monument signage information. Along with sign elevations, dimensions, heights and width, sign face area, lighting, and materials are all missing from the submittal.

If you should have any questions, please feel free to contact me at 924-3858.

A handwritten signature in cursive script that reads "Andrew Garcia".

Andrew Garcia, Planning Alternate
924-3858 agarcia@cabq.gov

PERMANENT EASEMENT

Grant of Permanent Easement, between Paseo Nuevo Medical Office, LLC ("Grantor"), whose address is 4101 Indian School Road, N. E. Suite 400 Albuquerque, New Mexico 87110 and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico, 87103.

Grantor grants to the City an exclusive, permanent easement ("Easement") in, over, upon and across the real property described on Exhibit "A" attached hereto ("Property") for the construction, installation, maintenance, repair, modification, replacement and operation of Public Sidewalk, together with the right to remove trees, bushes, undergrowth and any other obstacles upon the Property if the City determines they interfere with the appropriate use of this Easement.

In the event Grantor constructs any improvements ("Improvements") within the Easement, the City has the right to enter upon Grantor's property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any Improvements or encroachments made by the Grantor, the City will not be financially or otherwise responsible for rebuilding or repairing the Improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or encroachments.

Grantor covenants and warrants that Grantor is the owner in fee simple of the Property, that Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will forever warrant and defend the title to the Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the Property for the benefit of the City and its successors and assigns until terminated.

This Easement shall not be effective until approved by the City Engineer in the signature block below.

WITNESS my hand and seal this 2nd day of November ~~October~~, 2007.

APPROVED:

[Signature]
City Engineer
Date: 12-04-07

W
11-27-07

GRANTOR:

By: [Signature]
(Individual)
Print Name: Charles J Noya
Date: 11-02-07

GRANTOR:

By: Paseo Nuevo Medical Office, LLC
(Corporation or Partnership)
Print Name: Charles Noya
Title: Managing Member
Date: 11-02-07

PARTNERSHIP'S NOTARY

STATE OF New Mexico)

)ss

COUNTY OF Bernalillo)

This instrument was acknowledged before me on 2nd day of November, 2007, ^{mo}
by Charles Noya, Managing Member, on behalf of Paseo Nuevo Medical Office, LLC, a New
Mexico Limited Liability Company.

(SEAL)

My Commission Expires:

Michelle L Fuentes
Notary Public



OFFICIAL SEAL
MICHELLE L. FUENTES
NOTARY PUBLIC - NEW MEXICO
My Commission Expires: 10/19/09

(EXHIBIT "A" ATTACHED)

**Legal Description
Public Sidewalk Easement**

EXHIBIT A

A PUBLIC SIDEWALK EASEMENT LYING AND SITUATE WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING A PORTION OF TRACT LETTERED C-1, PASEO NUEVO 2, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 17, 2007, IN PLAT BOOK 2007C, FOLIO 95, SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED EASEMENT LYING ON THE NORTH RIGHT OF WAY LINE OF HOLLY AVENUE, N.E. FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT HEAVEN BEARS N 80°D20'31 W, A DISTANCE OF 3847.80 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID NORTH RIGHT OF WAY LINE N 89°31'05" W, A DISTANCE OF 208.51 FEET TO THE SOUTHWEST CORNER OF DESCRIBED EASEMENT;

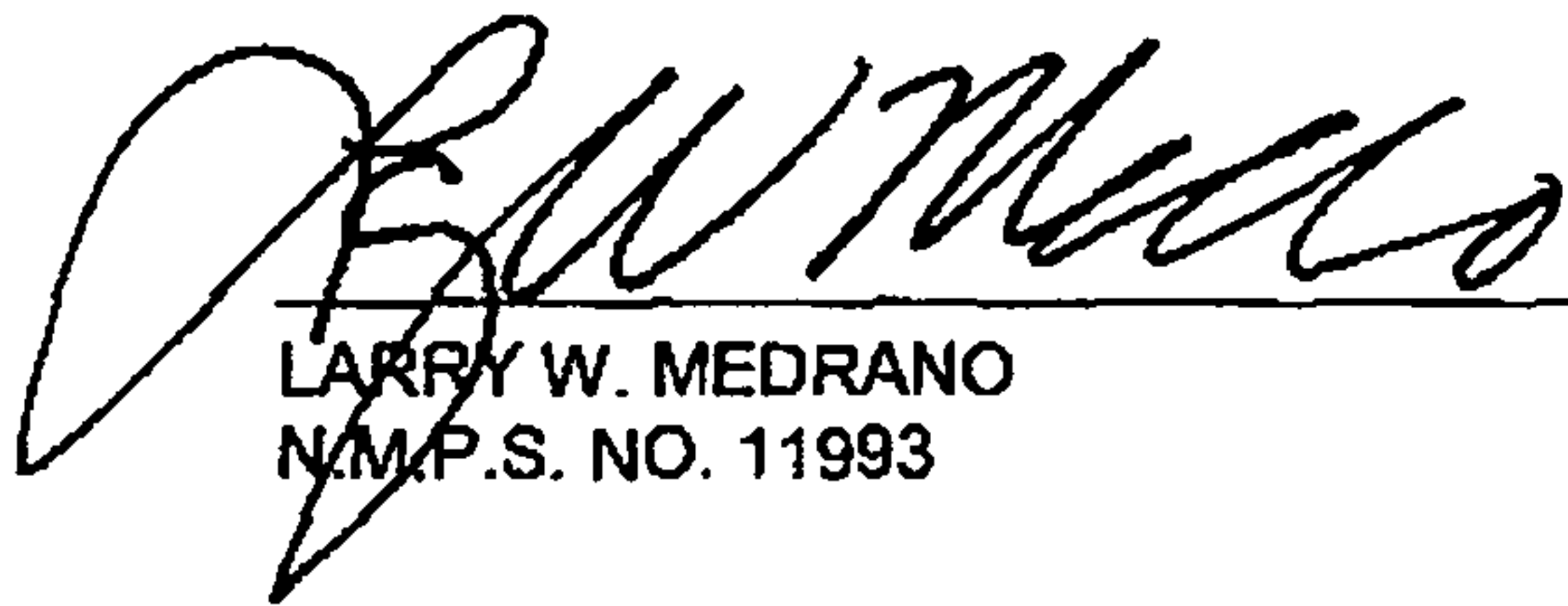
THENCE LEAVING SAID NORTH RIGHT OF WAY LINE N 00°00'00" E, A DISTANCE OF 1.75 FEET TO THE NORTHWEST CORNER OF DESCRIBED EASEMENT;

THENCE S 89°42'24" E, A DISTANCE OF 198.00 FEET TO A POINT OF CURVATURE OF DESCRIBED EASEMENT;

THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 67.68 FEET, AN ARC LENGTH OF 10.80 FEET, A DELTA ANGLE OF 9°08'47", A CHORD BEARING OF S 76°40'48" E, AND A CHORD LENGTH OF 10.79 FEET TO THE POINT OF BEGINNING, CONTAINING 425 SQUARE FEET MORE OR LESS, ALL AS SHOWN ON THE ATTACHED EXHIBIT B.

Surveyor's Certificate

I, LARRY W. MEDRANO LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS LEGAL DESCRIPTION, EXHIBIT AND EASEMENT SURVEY WAS PREPARED BY ME OR UNDER MY DIRECTION FROM NOTES OF AN ACTUAL FIELD SURVEY, AND THE SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.

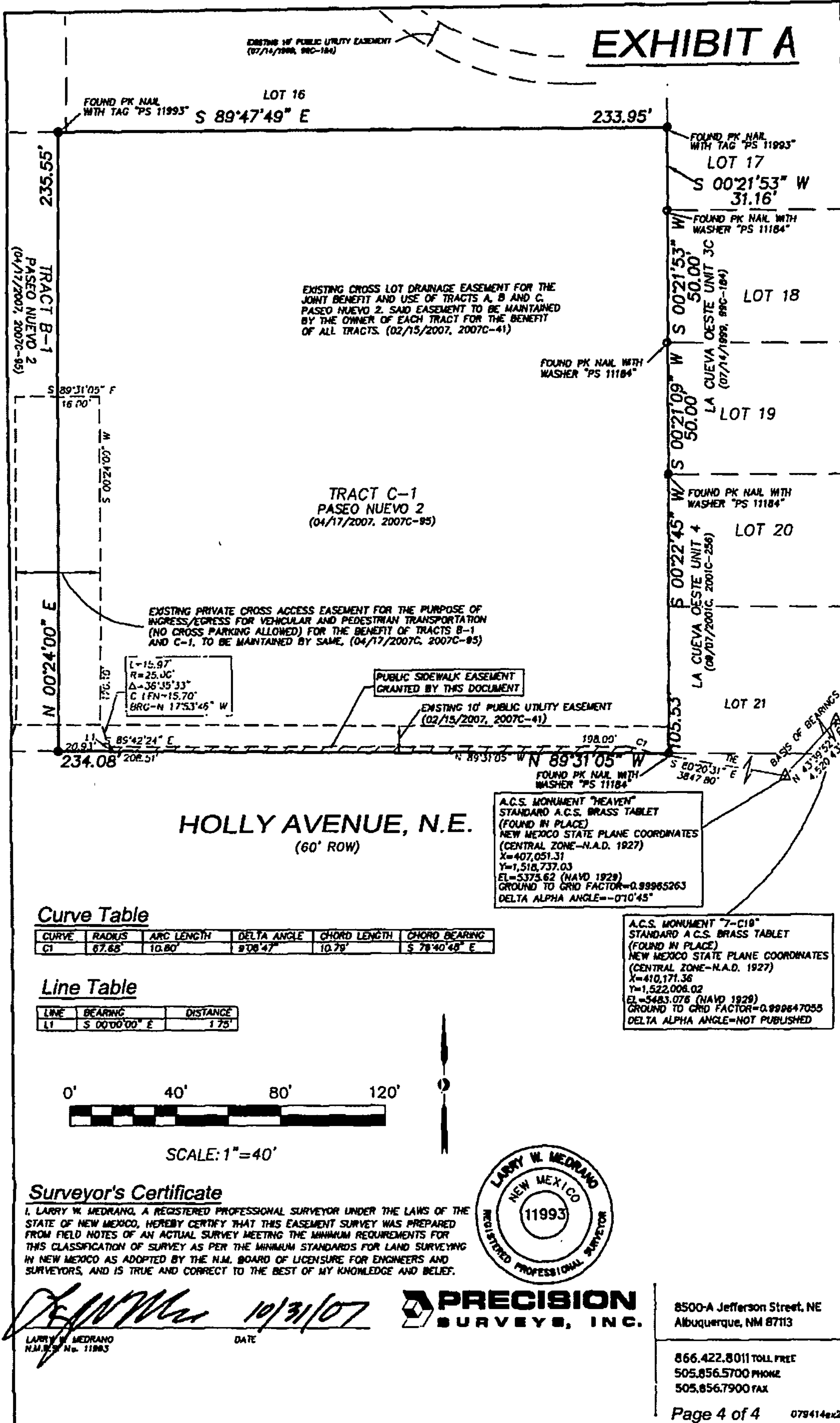

LARRY W. MEDRANO
N.M.P.S. NO. 11993

10/31/07
DATE



EXISTING 10' PUBLIC UTILITY EASEMENT
(07/14/1999, 99C-184)

EXHIBIT A



EXISTING CROSS LOT DRAINAGE EASEMENT FOR THE JOINT BENEFIT AND USE OF TRACTS A, B AND C, PASEO NUEVO 2. SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS. (02/15/2007, 2007C-41)

EXISTING PRIVATE CROSS ACCESS EASEMENT FOR THE PURPOSE OF INGRESS/EGRESS FOR VEHICULAR AND PEDESTRIAN TRANSPORTATION (NO CROSS PARKING ALLOWED) FOR THE BENEFIT OF TRACTS B-1 AND C-1, TO BE MAINTAINED BY SAME. (04/17/2007C, 2007C-85)

PUBLIC SIDEWALK EASEMENT
GRANTED BY THIS DOCUMENT

EXISTING 10' PUBLIC UTILITY EASEMENT
(02/15/2007, 2007C-41)

L=15.97'
R=25.00'
Δ=36°15'33"
C I FN=15.70'
BRC-N 17°53'46" W

A.C.S. MONUMENT "HEAVEN"
STANDARD A.C.S. BRASS TABLE
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=407,051.31
Y=1,518,737.03
EL=5375.62 (NAVD 1929)
GROUND TO GRID FACTOR=0.99965263
DELTA ALPHA ANGLE=-0°10'45"

A.C.S. MONUMENT "7-C19"
STANDARD A.C.S. BRASS TABLE
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=410,171.36
Y=1,522,008.02
EL=5483.076 (NAVD 1929)
GROUND TO GRID FACTOR=0.999647055
DELTA ALPHA ANGLE=NOT PUBLISHED

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD BEARING
C1	67.68'	10.80'	9°08'47"	10.79'	S 78°40'48" E

Line Table

LINE	BEARING	DISTANCE
L1	S 00°00'00" E	1.75'



SCALE: 1" = 40'

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS EASEMENT SURVEY WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR THIS CLASSIFICATION OF SURVEY AS PER THE MINIMUM STANDARDS FOR LAND SURVEYING IN NEW MEXICO AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



Larry W. Medrano 10/31/07
LARRY W. MEDRANO N.M.L.S. No. 11993 DATE

PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
Albuquerque, NM 87113

866.422.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

15

C18-005

PERMANENT EASEMENT

Grant of Permanent Easement, between Paseo Nuevo Medical Office, LLC ("Grantor"), whose address is 4101 Indian School Road, N. E. Suite 400 Albuquerque, New Mexico 87110 and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico, 87103.

Grantor grants to the City an exclusive, permanent easement ("Easement") in, over, upon and across the real property described on Exhibit "A" attached hereto ("Property") for the construction, installation, maintenance, repair, modification, replacement and operation of Public Sidewalk, together with the right to remove trees, bushes, undergrowth and any other obstacles upon the Property if the City determines they interfere with the appropriate use of this Easement.

In the event Grantor constructs any improvements ("Improvements") within the Easement, the City has the right to enter upon Grantor's property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any Improvements or encroachments made by the Grantor, the City will not be financially or otherwise responsible for rebuilding or repairing the Improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or encroachments.

Grantor covenants and warrants that Grantor is the owner in fee simple of the Property, that Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will forever warrant and defend the title to the Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the Property for the benefit of the City and its successors and assigns until terminated.

This Easement shall not be effective until approved by the City Engineer in the signature block below.

WITNESS my hand and seal this 2nd day of November, ~~October~~, 2007.

APPROVED:
[Signature]
City Engineer
Date: 12-04-07

[Signature]
11-27-07

GRANTOR:
By: [Signature]
(Individual)
Print Name: Charles J Noya
Date: 11-02-07

GRANTOR:
By: Paseo Nuevo Medical Office, LLC
(Corporation or Partnership)
Print Name: Charles Nova
Title: Managing Member
Date: 11-02-07

PARTNERSHIP'S NOTARY

STATE OF New Mexico)
)ss
COUNTY OF Bernalillo)

This instrument was acknowledged before me on 2nd day of November ^{mo} ~~October~~, 2007,
by Charles Noya, Managing Member, on behalf of Paseo Nuevo Medical Office, LLC, a New
Mexico Limited Liability Company.

(SEAL)

My Commission Expires:

Michelle L Fuentes
Notary Public



OFFICIAL SEAL
MICHELLE L. FUENTES
NOTARY PUBLIC STATE OF NEW MEXICO
My Commission Expires 10/19/09

(EXHIBIT "A" ATTACHED)

**Legal Description
Public Sidewalk Easement**

EXHIBIT A

A PUBLIC SIDEWALK EASEMENT LYING AND SITUATE WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING A PORTION OF TRACT LETTERED C-1, PASEO NUEVO 2, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 17, 2007, IN PLAT BOOK 2007C, FOLIO 95, SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED EASEMENT LYING ON THE NORTH RIGHT OF WAY LINE OF HOLLY AVENUE, N.E. FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT HEAVEN BEARS N 80°D20'31 W, A DISTANCE OF 3847.80 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID NORTH RIGHT OF WAY LINE N 89°31'05" W, A DISTANCE OF 208.51 FEET TO THE SOUTHWEST CORNER OF DESCRIBED EASEMENT;

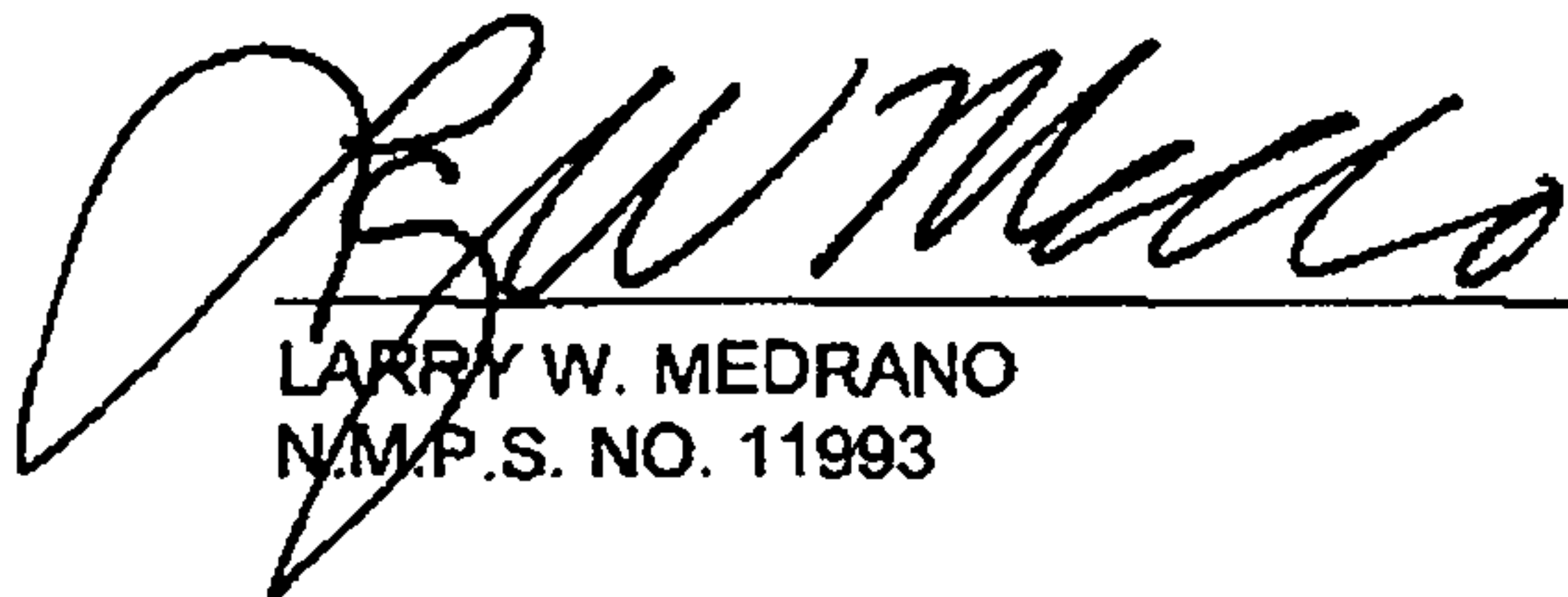
THENCE LEAVING SAID NORTH RIGHT OF WAY LINE N 00°00'00" E, A DISTANCE OF 1.75 FEET TO THE NORTHWEST CORNER OF DESCRIBED EASEMENT;

THENCE S 89°42'24" E, A DISTANCE OF 198.00 FEET TO A POINT OF CURVATURE OF DESCRIBED EASEMENT;

THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 67.68 FEET, AN ARC LENGTH OF 10.80 FEET, A DELTA ANGLE OF 9°08'47", A CHORD BEARING OF S 76°40'48" E, AND A CHORD LENGTH OF 10.79 FEET TO THE POINT OF BEGINNING, CONTAINING 425 SQUARE FEET MORE OR LESS, ALL AS SHOWN ON THE ATTACHED EXHIBIT B.

Surveyor's Certificate

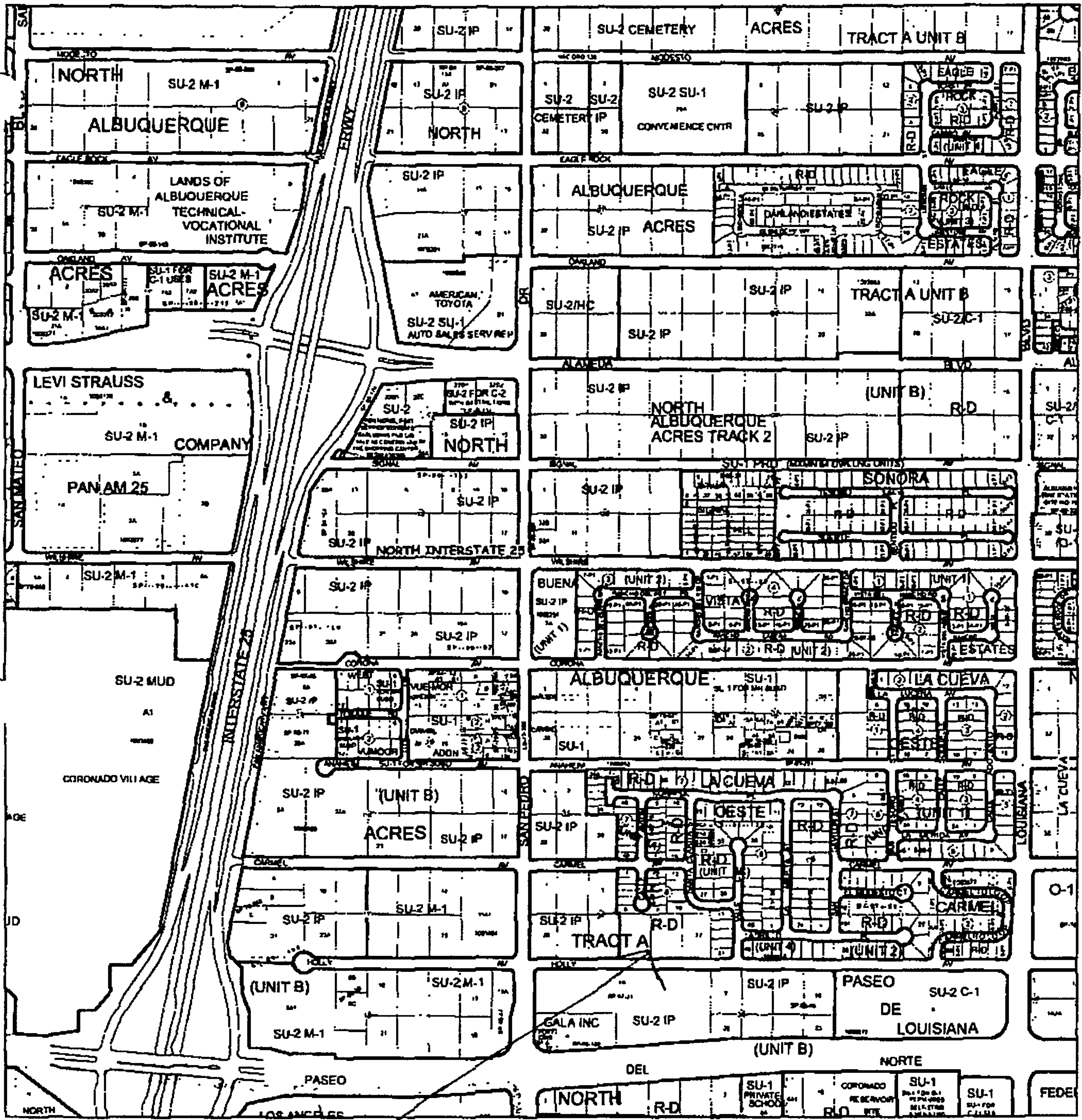
I, LARRY W. MEDRANO LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS LEGAL DESCRIPTION, EXHIBIT AND EASEMENT SURVEY WAS PREPARED BY ME OR UNDER MY DIRECTION FROM NOTES OF AN ACTUAL FIELD SURVEY, AND THE SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.


LARRY W. MEDRANO
N.M.P.S. NO. 11993

10/31/07

DATE



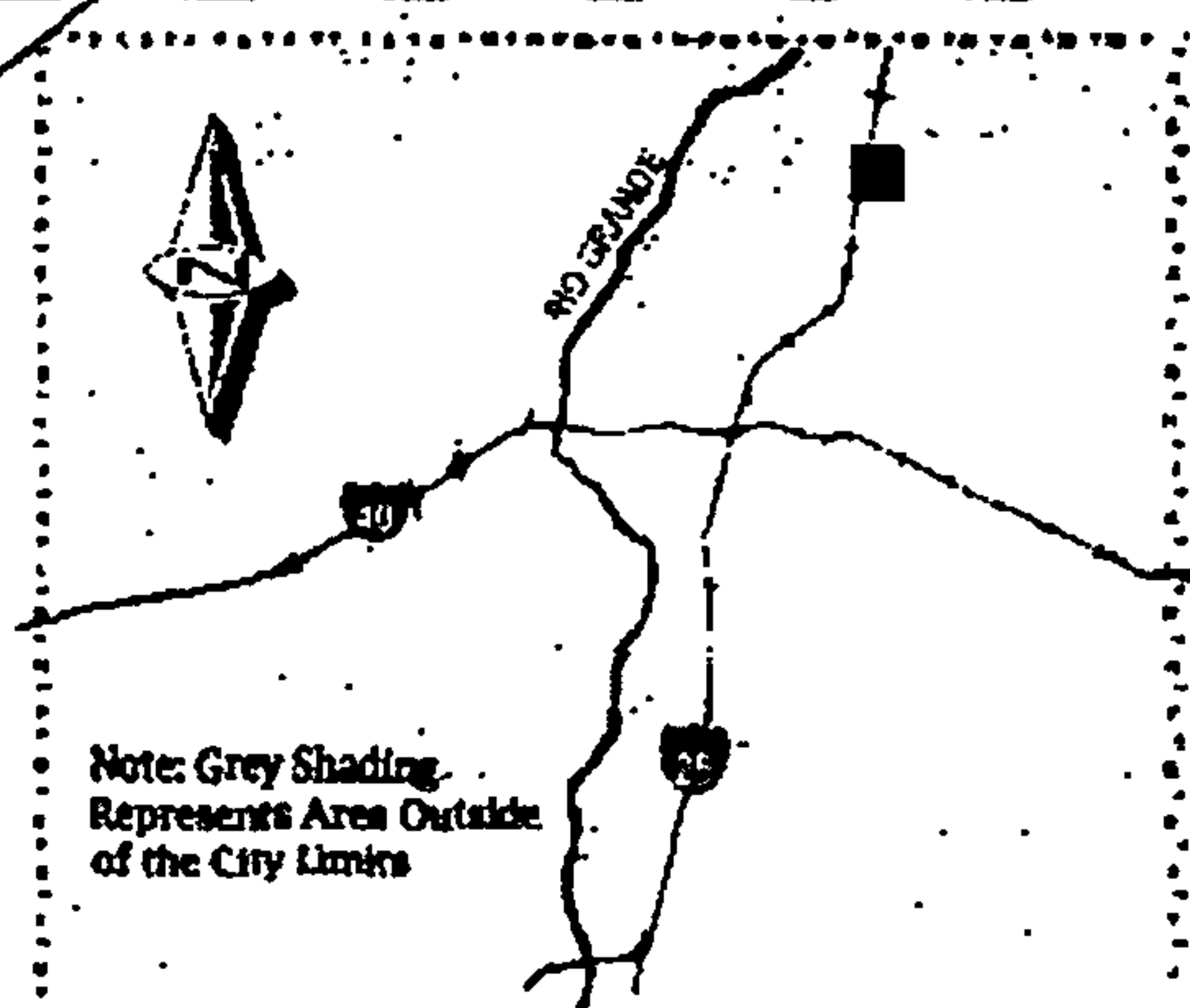


For more current information and more details visit: <http://www.cabq.gov/gis>

Location



Map amended through: 11/2/2005



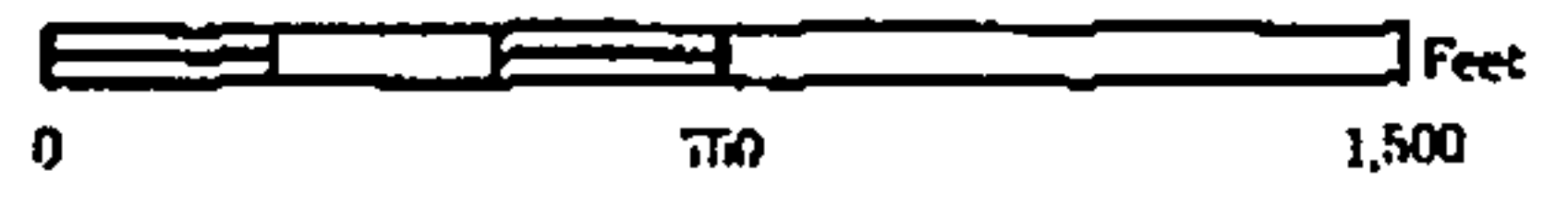
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

C-18-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Ruffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



1005132

FINANCIAL GUARANTY AMOUNT

11/13/2006

Type of Estimate: SIA Procedure - B - Modified Non-W.O.- w/F.G.

Project Description:

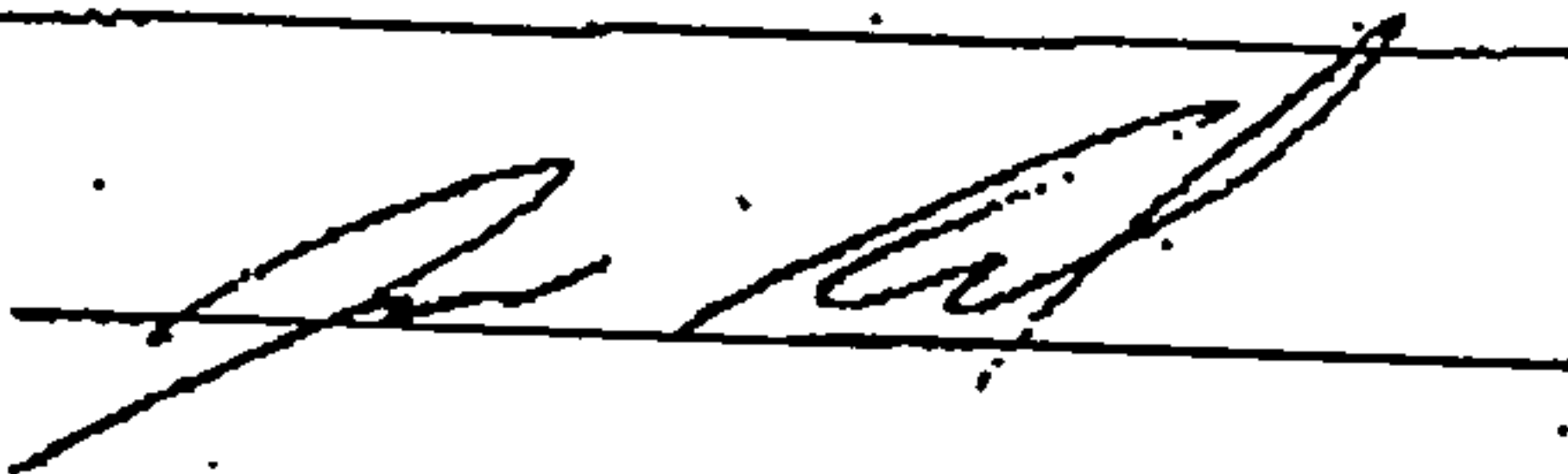
Project ID #: 796381, Paseo Nuevo Office Bldg, Pav/Util Serv Conn, Phase/Ur

Requested By: Josh Skarsgard w/ Tierra West LLC

TOTAL FINANCIAL GUARANTY REQUIRED \$60,000.00

APPROVAL:

DATE:



11-13-06

Notes: Traffic signal at San Pedro & Holly NE



Bank • Mortgage • Insurance

December 21, 2006

IRREVOCABLE LETTER OF CREDIT AND AGREEMENT NO. 300257
AMOUNT: \$60,000.00

Bruce J. Perlman, Ph. D
Chief Administrative Officer
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Letter of Credit for Paseo Nuevo, Ltd. Co.
City of Albuquerque Project No.: 796381
Project Name: Paseo Nuevo

Dear Mr. Perlman:

This letter is to advise the City of Albuquerque ("City") that, at the request of Paseo Nuevo, Ltd. Co., Charter Bank in Albuquerque, NM, has established an Irrevocable Letter of Credit in the sum of Sixty Thousand and No/100 Dollars, (\$60,000.00) for the exclusive purpose of providing the financial guarantee which the City requires, Paseo Nuevo, Ltd. Co. ("Subdivider") to provide for the installation of the improvements, which must be constructed at the San Pedro/Holly NE Intersection, Albuquerque, NM, Project No. 796381. The amount of the Letter of Credit is 125% of the City's estimated cost of construction of improvements as required by the City's Subdivision Ordinance.

The improvements are identified in the agreement between the City of Albuquerque and Subdivider, which was recorded on 1/2, 2007 in the records of the Clerk of Bernalillo County, New Mexico in Book Misc. A130, at pages 470 to 470, as amended ("Agreement").

A Draft or Drafts for any amount up to, but not in excess of Sixty Thousand and No/100 dollars, (\$60,000.00) is/are available at sight at Charter Bank, 4400 Osuna NE, Albuquerque, NM 87109, between January 5, 2009 and March 5, 2009.

When presented for negotiation, the Draft(s) is/are to be accompanied by the City's notarized certification stating: "1) Paseo Nuevo, Ltd. Co. has failed to comply with the terms of the Agreement; 2) the undersigned is the Chief Administrative Officer of the City of Albuquerque and is authorized to sign this certification; and 3) the amount of the Draft does not exceed 125% of the City's estimated cost of completing the improvements specified in the Agreements."

We hereby agree with the drawer of Draft(s) drawn under and in compliance with the terms of this credit that such Draft(s) will be duly honored upon presentation to the drawee if negotiated between January 5, 2009 and March 5, 2009.

The Draft(s) drawn under this credit must contain the clause: "Drawn under Letter of Credit and Agreement No. 300257 of Charter Bank, 4400 Osuna NE, Albuquerque, NM 87109, dated, December 21, 2006 and the original Letter of Credit must be endorsed on the reverse side with the amount of each draft. This Letter of Credit must accompany each draft and be attached to the draft,

which exhausts this credit.

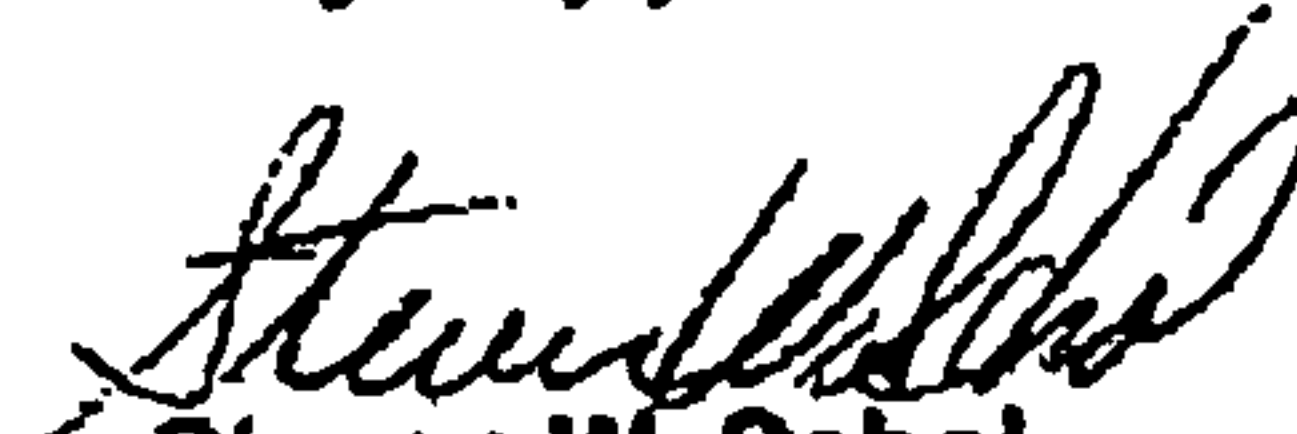
This Letter of Credit for the benefit of the City of Albuquerque shall be irrevocable until:

1. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or
2. City notification of Paseo Nuevo, Ltd. Co. failure to comply with the terms of the Agreement, and payment by Certified Check from Charter Bank to the City of Albuquerque of 125% of the City's estimated costs of completing the improvements specified in the Agreement; or
3. Expiration of the date March 5, 2009; or
4. Written termination of this Letter of Credit by the City of Albuquerque, signed by its Chief Administrative Officer.

This Letter of Credit will terminate at 2:00 o'clock PM, New Mexico time, March 5, 2009.

This credit is subject to the Uniform Customs and Practice for Documentary Credits (Revision), International Chamber of Commerce Publication.

Very truly yours,


Steven W. Schol
Vice President
Charter Bank

ACCEPTED:

CITY OF ALBUQUERQUE

By: 
Chief Administrative Officer

Dated: 12-28-06

by 12/27/06

12-26-06

FIGURE 12

938-4691

SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B Modified Non-Work Order)
Project No. 796.381

Att: Steve Schol
Charter Bank

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 28th day of December, 2006, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and PASEO NUEVO LTD. CO. ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] Ltd. Liab. Co., whose address is 4101 INDIAN SCHOOL R.D. N.E. Suite 400, 87110 and whose telephone number is 998-9094, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [describe:] LOTS 1, 2, 3, 30, 31, and 32 TRACT A, Block 34

North Albuquerque Acres, recorded on _____ in the records of the Bernalillo County Clerk at Book _____ pages _____ through _____ (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] PASEO NUEVO LTD. CO. ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as PASEO NUEVO describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private Improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 5 day of JANUARY, 2009 ("Construction Completion Deadline"), at no cost to the City.

Note: To compute the Construction Completion Deadline: the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.



3. Financial Guaranty. The Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: LETTER OF CREDIT # 300857
Amount: \$ 60,000⁰⁰ Name of Financial Institution or Surety
providing Guaranty: CHARTER BANK
Date City first able to call Guaranty: JAN. 5 2009
[Construction Completion Deadline]: JAN. 5, 2009
If Guarantee other than a Bond, last day City able to call on Guaranty
is: MARCH 5, 2009
Additional information:

4. Completion, Acceptance and Termination. Upon completion of the required infrastructure, the Subdivider shall notify the City Engineer and the Design Review Section of Planning Department. After the City Engineer approves the construction, the City will promptly release this Agreement and the Financial Guaranty.

5. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officers, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.



6. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

7. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has posted a suitable financial guaranty and entered into a Subdivision Improvements Agreement with the City. Thereafter, when the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

8. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to the Financial Guaranty.

9. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

10. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

11. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

12. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

13. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

14. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

15. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the Subdivider and signed by the City's Legal Department on this form.

16. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.



Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER: PASEO NUEVO, LTD. Co.

CITY OF ALBUQUERQUE

By [Signature]: [Signature]

Name: GORDON L. SKARSGARD

Title: Managing Member

Dated: DEC 18, 2006

[Signature]
City Engineer

Dated: 12-25-06

M
12-26-06

SUBDIVIDER'S NOTARY

STATE OF NEW MEXICO)

) ss.

COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 18th day of DECEMBER, 2006 by [name(s) of person(s):] GORDON L. SKARSGARD, [title or capacity, for instance, "President" or "Owner":] MANAGING MEMBER of [Subdivider:] PASEO NUEVO, LTD. CO.

[Signature]
Notary Public

My Commission Expires:

Jan 25, 2010

CITY'S NOTARY

STATE OF NEW MEXICO)

) ss.

COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 28th day of December, 2006 by Richard Dourte, City Engineer, of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

[Signature]
Notary Public

My Commission Expires:

11-25-2007



Margaret C Toulouse Bern. Co. AGRE

R 15.89

2687000470

6583417

Page: 4 of 4

01/02/2007 02:18P

BK-A139 Pg-478

Project Number: _____

FIGURE 12

ORIGINAL

INFRASTRUCTURE LIST

(Rev. 4-05)
EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Passo Marso
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN FOR B.P.

Locs 1, 2, 3, 30, 31, & 32, Tract A, Sheet 34 of North Albuquerque Acres
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that equipment items and/or unbrassan items have not been included in the Infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that equipment or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and sponsor. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification	
							Private P.E.	City Const Engineer
<input type="checkbox"/>	<input type="checkbox"/>	30'	Additional Arterial Paving Curb & Gutter (East Side) 6' Sidewalk (East Side)	San Pedro Drive 500' x 30' = 15000 sq ft x 12' = 36000 sq ft	Holly Avenue 15000 sq ft = 1667 yds	Carmel Avenue	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	14'	Raised Median w/ 12' Turn Lanes	San Pedro Drive 1.45a	Holly Avenue	Carmel Avenue	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	12'	Right Turn Lane	San Pedro Drive 300' x 12' = 3600 sq ft	Holly Avenue 3600 sq ft = 400 yds	Entrance	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	15'	Additional Arterial Paving Curb & Gutter (Both Sides) 6' Sidewalk (South Side)	Carmel Avenue 300' x 15' = 4500 sq ft x 6' = 1800 yds	San Pedro Drive 500 yds	Entrance	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	12' F.F	Arterial Paving Curb & Gutter 6' Sidewalk (North Side)	Holly Avenue 118' x 12' = 1416 sq ft x 6' = 72 yds	San Pedro Drive 200 yds	East Property Line	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	12'	Raised Median (North Side) w/ 11' Left Turn Lane	Holly Avenue 450'	San Pedro Drive	East Property Line	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	12'	Left Turn Lane	Holly Avenue 220' x 12' = 2640 sq ft	San Pedro Drive 2640 sq ft	Entrance	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	8'	Fireline Connection (Building)	San Pedro Drive 370'	San Pedro Drive	West Property Line	<input type="checkbox"/>	<input type="checkbox"/>

Date Submitted: 0-20-06
 Date Site Plan Approved: August 30, 2006
 Date Preliminary Plat Approved: ~~8/30~~ 8/30
 Date Preliminary Plat Expires: ~~8/30~~ 8/30
 DRB Project No.: 1004914
 DRB Application No.: 06 DRS-01117
06 DRS-00785

3051 yds

PAGE 1 OF 3

Guaranteed		Under Construction		Size	Type of Improvement	Location	From	To	Construction Certification		
DRC #		DRC #							Private	P.E.	City Seal
				8"	X Fireline Connection (Parking Garage)	San Pedro Drive 371	San Pedro Drive	West Property Line	/	/	/
				6"	X Fire Hydrant	San Pedro Drive	San Pedro Drive	West Property Line	/	/	/
				8"	X Waterline W/S services	Holly Avenue 450	San Pedro Drive	East Property Line	/	/	/
				2"	X Watermeter	Carmel Avenue	Carmel Avenue	North Property Line	/	/	/
				6"	X Fire Hydrant	Carmel Avenue	Carmel Avenue	North Property Line	/	/	/
				8"	SAS Gravity Line	San Pedro Drive 70	San Pedro Drive	West Property Line	/	/	/
				8"	SAS Gravity Line W/S services	Holly Avenue 451	San Pedro Drive	East Property Line	/	/	/
				30" to 48"	Storm Sewer	Holly Avenue 450	San Pedro Drive	East Property Line	/	/	/
				18" 24"	Storm Sewer	Main Entrance 170	Tract A	Holly Avenue	/	/	/
				1/4	Traffic Signal (\$80,000.00) Road Grade	San Pedro Drive	San Pedro Drive	Holly Avenue	/	/	/
					Street signage and striping per DPM				/	/	/
					Water Infrastructure to include Valves, Fittings, Valve Boxes, and Fire Hydrants as required.				/	/	/
					Sanitary Sewer to include Manholes and Service Connections as required.				/	/	/
					Catch Basins and RCP connections included with Storm Sewer.				/	/	/
					Residential Street Lights per DPM.				/	/	/

Traffic Signal

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Inspector	P.E. / City Cust Engineer
<input type="checkbox"/>	<input type="checkbox"/>							
<input type="checkbox"/>	<input type="checkbox"/>							
<input type="checkbox"/>	<input type="checkbox"/>							

NOTES

If the site is located in a floodplain, then the financial guarantees will not be released until the LOU/R is approved by FEMA. Street lights per City requirements.

Approval of Creditable Items:	Impact Fee Administrator Signature	Date	City User Dept. Signature	Date

AGENT / OWNER

Ronald R. Thomas
 NAME (print)
Tennis West LLC.
 FIRM

[Signature]
 SIGNATURE - date *8/30/06*

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Andrew Spill *8/30/06*
 DRB CHAIR - date

[Signature] *8-30-06*
 TRANSPORTATION DEVELOPMENT - date

[Signature] *8/30/06*
 UTILITY DEVELOPMENT - date

Blanchard *8/30/06*
 PARKS & GENERAL RECREATION - date

AMAFCA - date

 - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT OWNER

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

10/09/2007 Issued By: FLNABG

Permit Number: 2007 070 305 **Category Code 910**

Application Number: 07DRB-70305, Minor - Sdp For Building Permit

Address:

Location Description: HOLLY AVENUE NE BETWEEN SAN PEDRO NE AND LOUISANNA NE

Project Number: 1005132

Applicant
The Design Group

202 Central Ave Se Suite 200
Albuquerque, NM 87102
242-8880

Agent / Contact
Dr Bernitsky

6401 Holly Ave
Albuquerque, NM 87113
688-8887

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$385.00
TOTAL:		\$405.00

City Of Albuquerque
Treasury Division

10/9/2007 9:47AM LOC: ANNX
WS# 007 TRANS# 0007
RECEIPT# 00089158-00089158
PERMIT# 2007070305 TRSMSP
Trans Amt \$405.00
Conflict Manag. Fee \$20.00
DRB Actions \$385.00
CK \$405.00
CHANGE \$0.00

Thank You



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): The Design Group PHONE: 242-6880
 ADDRESS: 202 Central Avenue SE, Suite 200 FAX: 242-6881
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: daube@designgroupnm.com

APPLICANT: DR. BERNITSKY PHONE: 688-6887
 ADDRESS: 6401 Holly Ave FAX: _____
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: _____
 Proprietary interest in site: owner List all owners: Dr Bernitsky

DESCRIPTION OF REQUEST: SITE DEV. PLAN FOR BUILDING PERMIT FOR NEW EYE CARE FACILITY

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT B-1 Block: _____ Unit: B
 Subdiv/Addn/TBKA: North Albuquerque Acres
 Existing Zoning: SUZ for OP Proposed zoning: SUZ for OP
 Zone Atlas page(s): C-18-Z UPC Code: 101806433806940205 MRGCD Map No _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.):
AX-84-9, Z-84-41, DRB 1005132

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? Yes Remediated as much as possible
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 0.76
 LOCATION OF PROPERTY BY STREETS: On or Near: Holly Avenue NE
 Between: San Pedro NE and Louisiana NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE: David A. Aube DATE: 10-4-07
 (Print) DAVID A AUBE Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07DRB-70305</u>	<u>SBP</u>	<u>P(3)</u>	<u>\$ 385.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$ _____
Hearing date <u>October 17, 2007</u>				Total <u>\$ 405.00</u>

Rudens Jones
 Planner signature / date

Project # 1005132

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB *802 IN NORTH I25 Sector Plan.*
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

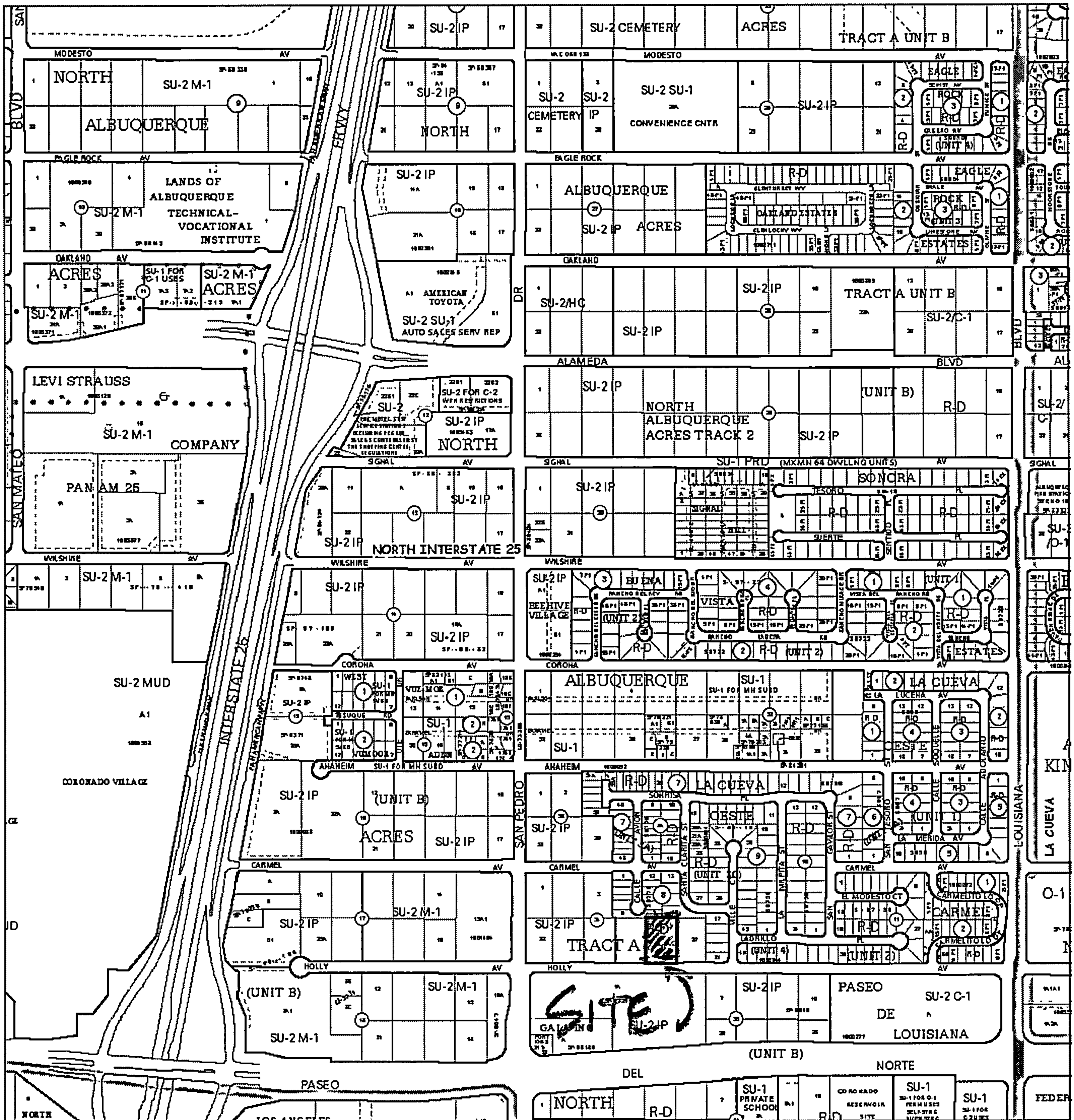
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David Aube
 Applicant name (print)
Daw A. Aub... 10/5/07
 Applicant signature / date

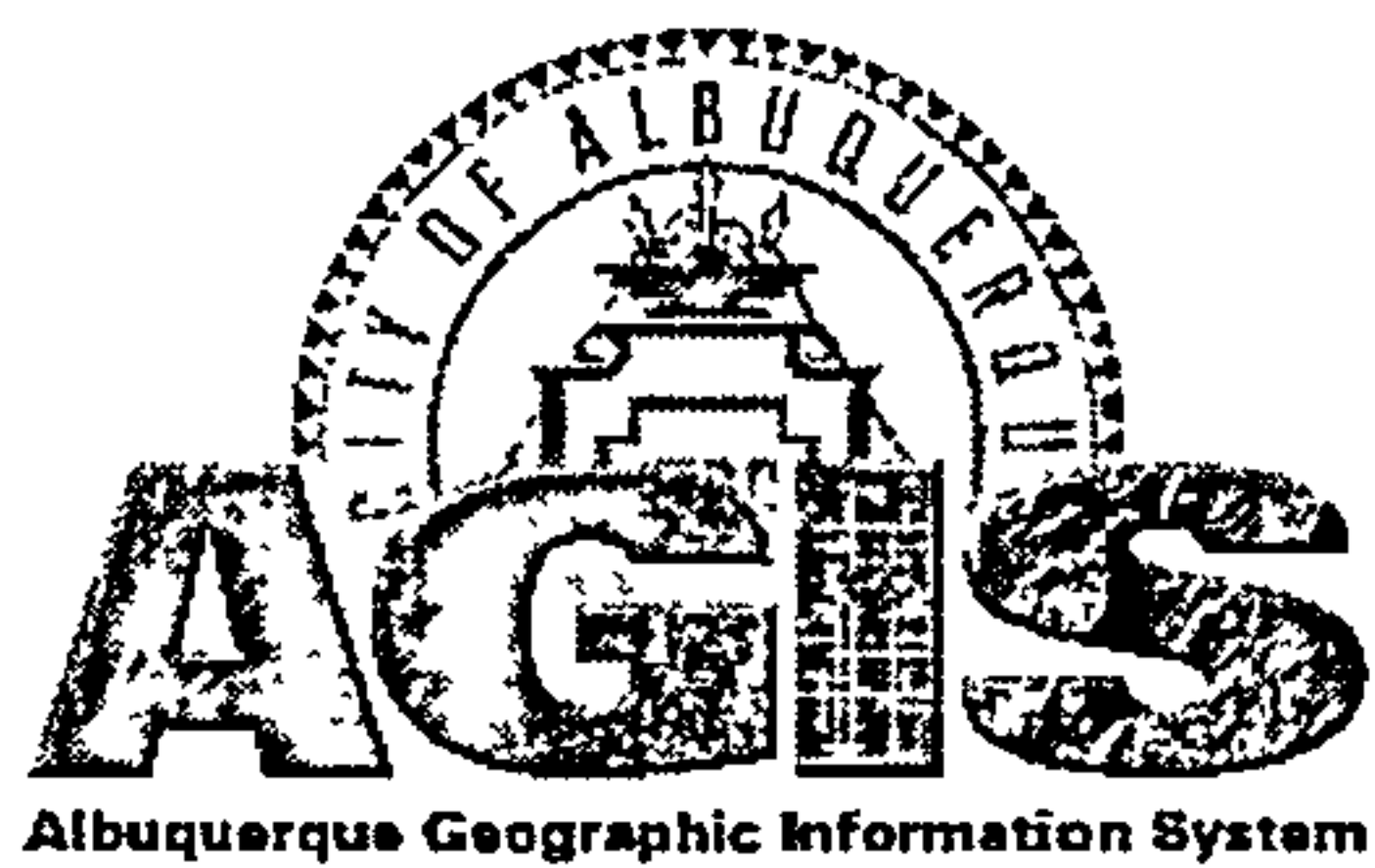


- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
07DRB - - 70305

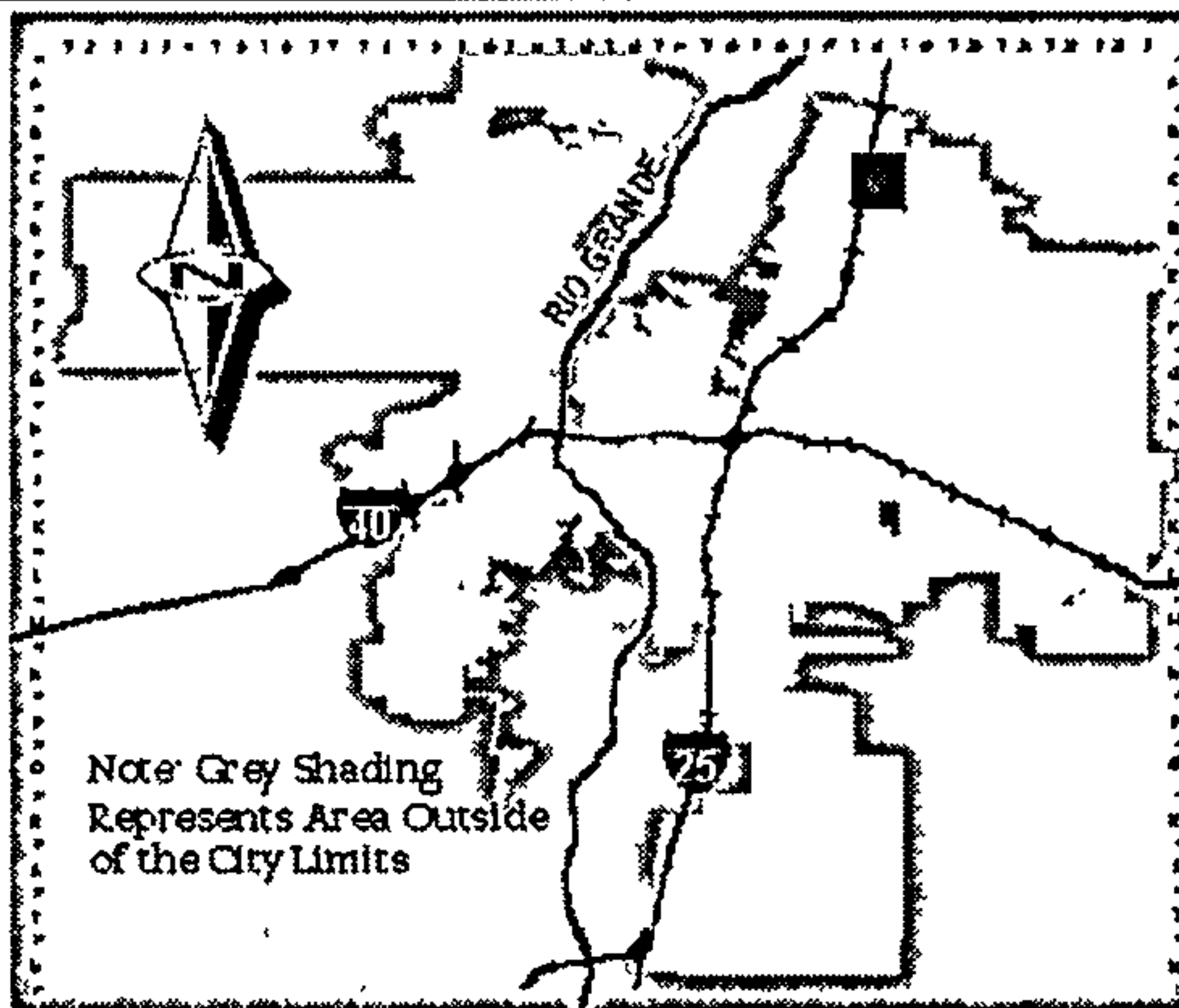
Form revised October 2007
Andrew... 10-9-07
 Planner signature / date
 Project # 1005132



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 9/5/2006

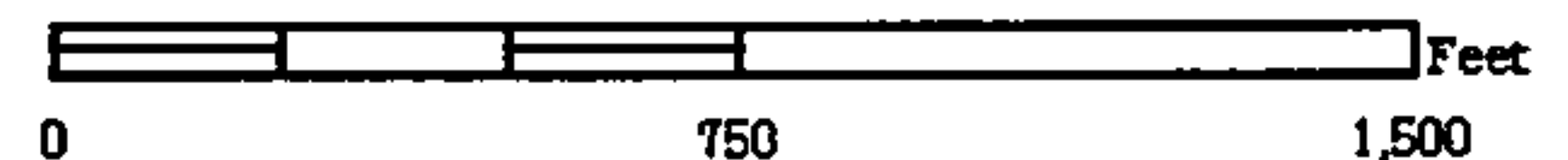


Zone Atlas Page:

C-18-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





October 5, 2007

Sheran Matson
DRB Chairperson, Planning Manager
Plaza Del Sol
600 2nd Street NW
Albuquerque, NM 87102

**RE: Dr. Bernitsky Eye Care Facility
6401 Holly Avenue NE**

Dear Sheran Matson:

Dr. Bernitsky is seeking approval of a Site Development Plan for Building Permit for Lot B-1, Unit B, North Albuquerque Acres, located on Holly Avenue NE between San Pedro and Louisiana. The site is located in Zone Atlas Page C-18-Z.

The North I25 Sector Plan controls the development process for this property and provided that we comply with the City of Albuquerque Comprehensive City Zoning Code for O-1 (Office and Institutional Zone) that the site plan will not require approval by Environmental Planning Commission (EPC) and will go directly to the Development Review Board (DRB) for approval.

A final plat for adjusting the property lines with easements within the site was recorded by Precision surveys on February 15, 2007. The Final Plat indicated a "Flowing private cross access easement" for the benefit of Tracts B and C. A "Cross lot drainage easement for the benefit and use of Tracts A, B, and C of Paseo Nuevo 2" was also granted by the plat. The Floating private cross access easement has been eliminated on Tract B and an access easement approximately 130' x 32' (located on the property line between Tract B and C from Holly Avenue) was created by subsequent DRB actions and is shown on plat that will soon be recorded.

The site currently has a small retaining/screen walls that separated the property from the adjoining residential neighborhoods to the North and East. The wet utilities within the Holly Right of Way (ROW) are completed and the dry utilities will be under construction soon and that stub outs into Tracts B and C will be completed before this project.

The Eye Care Facility will be 6100 sf and will be located in the south west corner of the site. There is a common driveway access for this and the adjoining property to the east.

If you have any questions or require additional information, please contact me at the office at 242-6880, or on my cell at 463-4503.

Respectfully submitted:

A handwritten signature in black ink, appearing to read 'David A. Aube'.

David A. Aube, P.E.

P:\2335drbernitsky\C2_Agencies\DRB Narrative Bernitsky.doc

October 5, 2007

Letter of Authorization

The Hartman + Majewski Design Group (dg) is designated as the agent with authority to act on behalf of Dr. Bernitsky in the application for the Site Development Plan for Building Permit, for Tract B-1, Unit B, North Albuquerque Acres, located at 6401 Holly Avenue NE, north of Holly Avenue between San Pedro and Louisiana, for all actions required by the City of Albuquerque Planning Process. The street address for this project is 6401 Holly Avenue, NE.

Dr. David and Gay Bernitsky

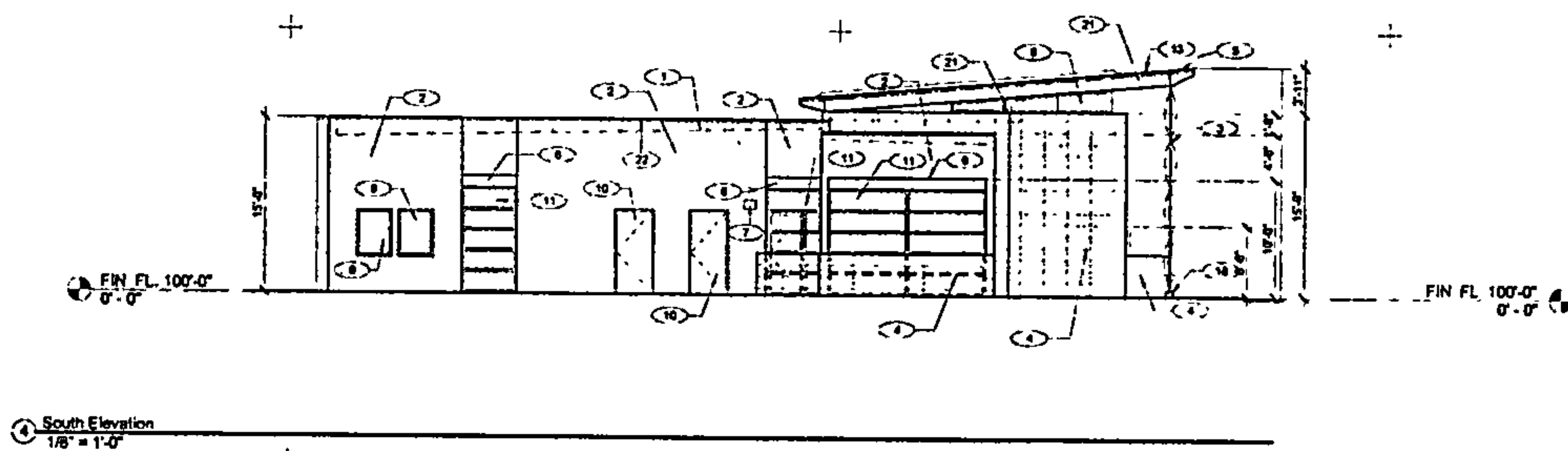
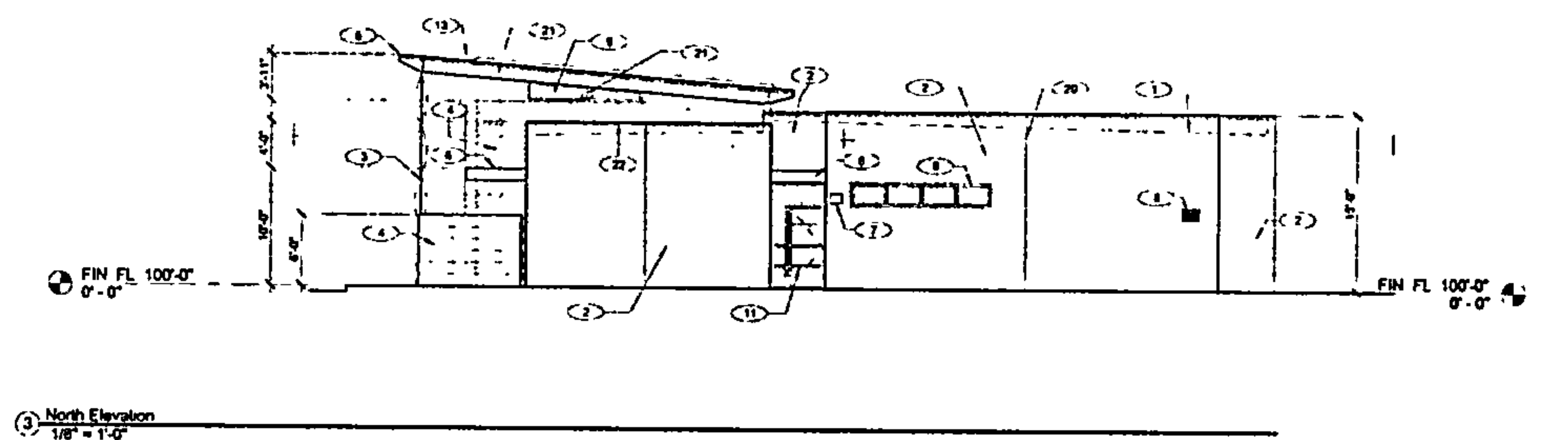
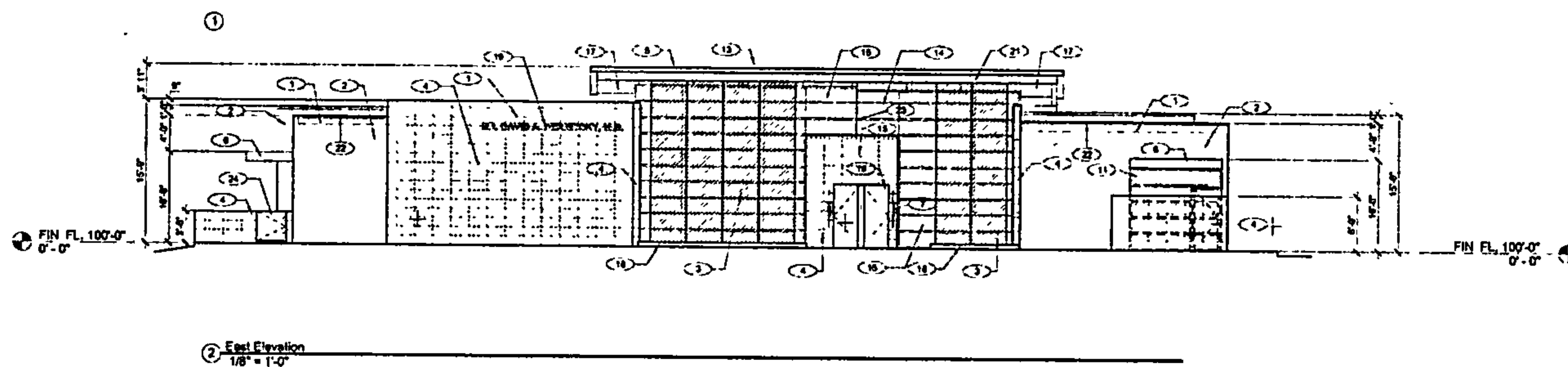
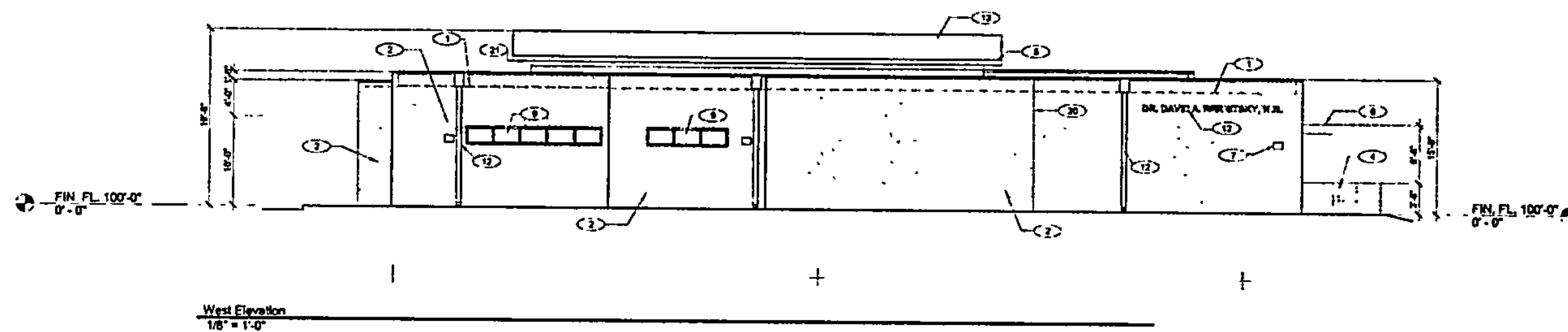
KEYED NOTES

- 1 LINE OF ROOF RISING PARAPET
- 2 EIFS FINISH SYSTEM
- 3 CURVED METAL ARCHITECTURAL SCREEN
- 4 STONE VENEER
- 5 ALUMINUM FLASHING
- 6 STEEL FRAME CANOPY
- 7 EXTERIOR SURFACE MOUNTED FIXTURE
- 8 AIR VENT LOUVER
- 9 WINDOW AND FRAME AS SCHEDULED
- 10 DOORS AND FRAMES AS SCHEDULED
- 11 METAL-FRAMED STOREFRONT
- 12 SCUPPER AND DOWNSPOUT
- 13 MEMBRANE ROOF
- 14 1" METAL SUNSHADE
- 15 METAL FRAME CURTAINWALL SYSTEM
- 16 FRAMELESS GLASS ENTRY DOOR
- 17 EXPOSED METAL DECK
- 18 CONCRETE SLAB - SEE STRUCTURAL
- 19 BUILDING MOUNTED SIGN (O.P. C.I.)
- 20 EXPANSION JOINT
- 21 BEAM - SEE STRUCTURAL
- 22 METAL CAP
- 23 CHANGE IN WALL PLANE
- 24 METAL GATE



**THE HARTMAN + MAJEWSKI
DESIGN GROUP**

Architects Engineers Interior Design
Planners Urban designers IJLID
202 Central Avenue SE, Suite 200
Albuquerque, New Mexico 87102
Tel 505.242.6880 - Fax 505.242.6881
www.designgroupnm.com



Bernitsky Eye Facility

6401 Holly Ave NE
Albuquerque, NM 87113

David Bernitsky, M.D.

No.	Description	Date

EXTERIOR ELEVATIONS

Project number	2335
Date	9-20-07
Drawn by	RG M
Checked by	RAY

A200

Scale 1/8" = 1'-0" 2335_A200



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Planners Urban designers I.J.J.D.S.
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Albuquerque, New Mexico 87102
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www.designgroup.com



Consultant
Address
Phone
Fax
e-mail

Bernitsky Eye Facility

6401 Holly Ave. NE
Albuquerque, NM 87113

David Bernitsky, M.D.

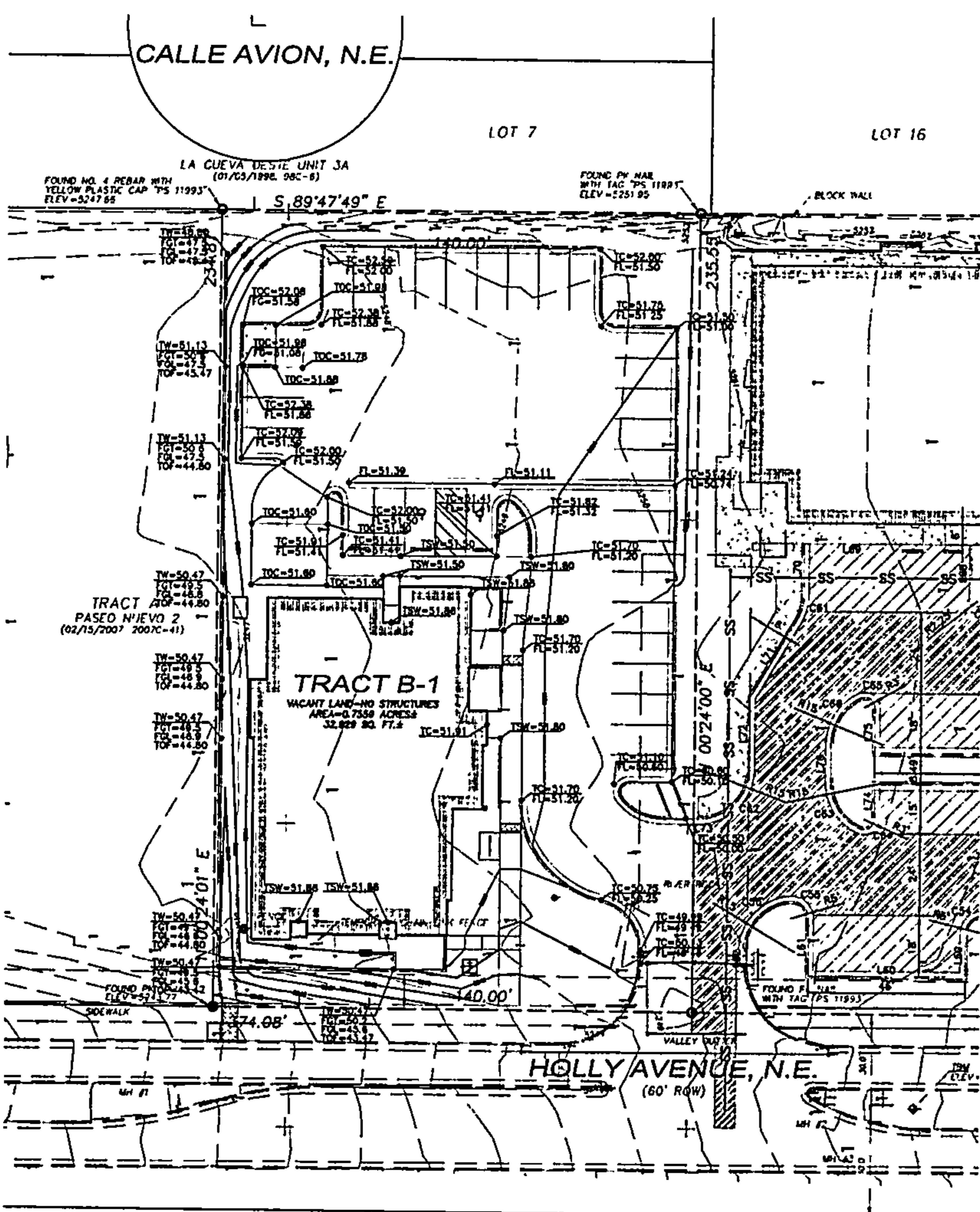
No.	Description	Date

SITE GRADING PLAN

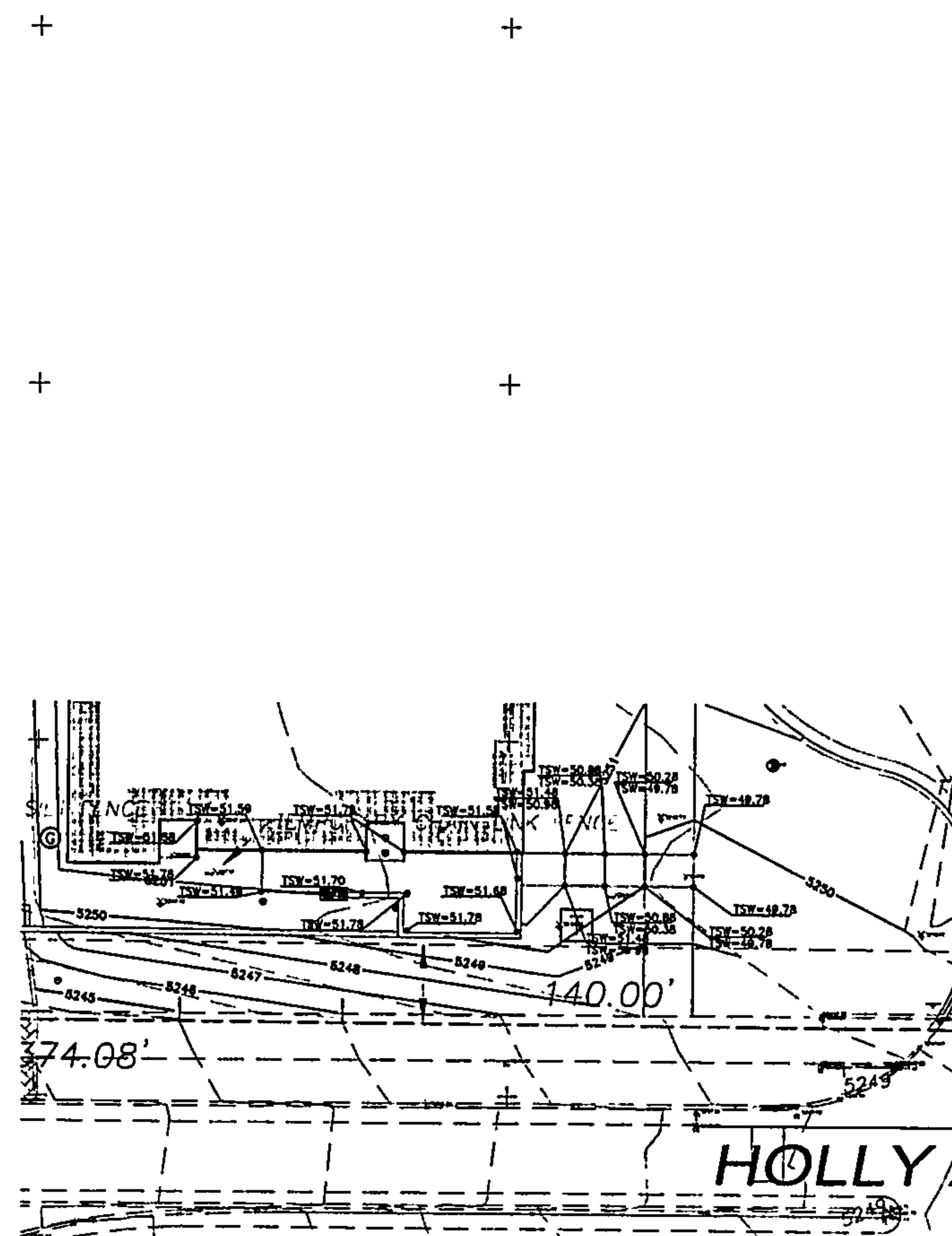
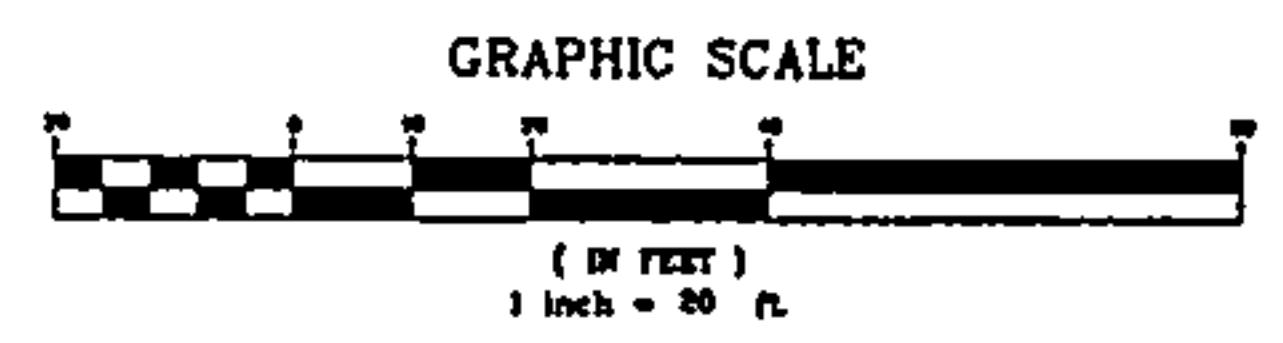
Project number: 2335
Date: 9-20-2007
Drawn by: DAA
Checked by: DAA

C201

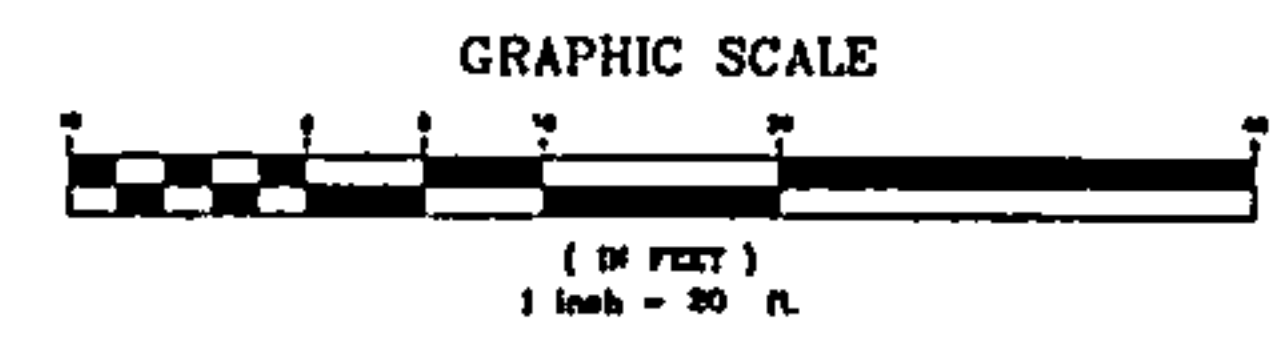
Scale



A1 SITE GRADING PLAN
SCALE: 1" = 20'-0"



A4 ENLARGED GRADING PLAN
SCALE: 1" = 10'-0"





**THE HARTMAN + MAJEWSKI
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Consultant
Address
Address
Phone
Fax
e-mail

Bernitsky Eye Facility

6401 Holly Ave. NE
Albuquerque, NM 87113

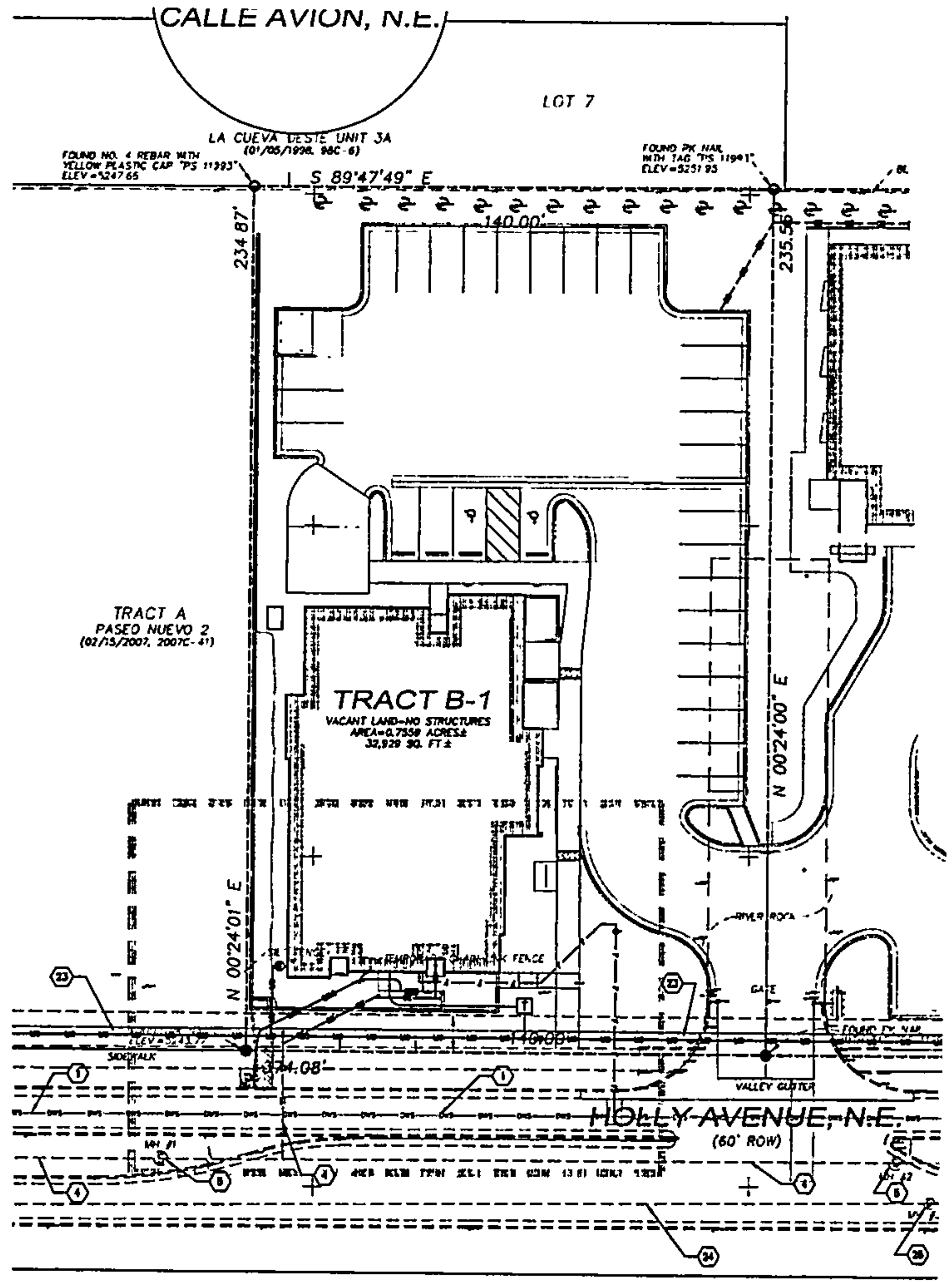
David Bernitsky, M.D.

No.	Description	Date

SITE UTILITY PLAN

Project number	2335
Date	9-20-2007
Drawn by	DAA
Checked by	DAA

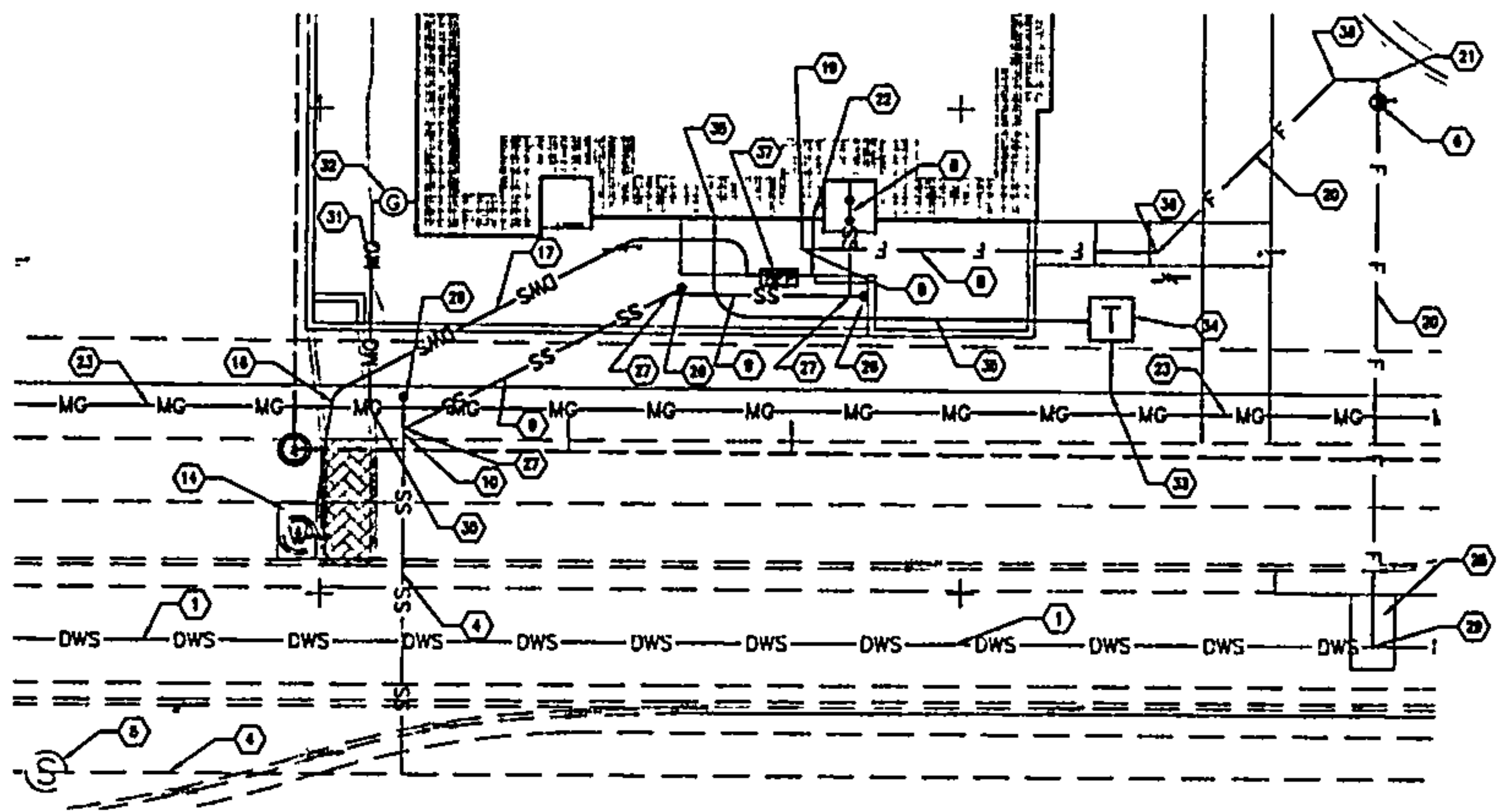
C301



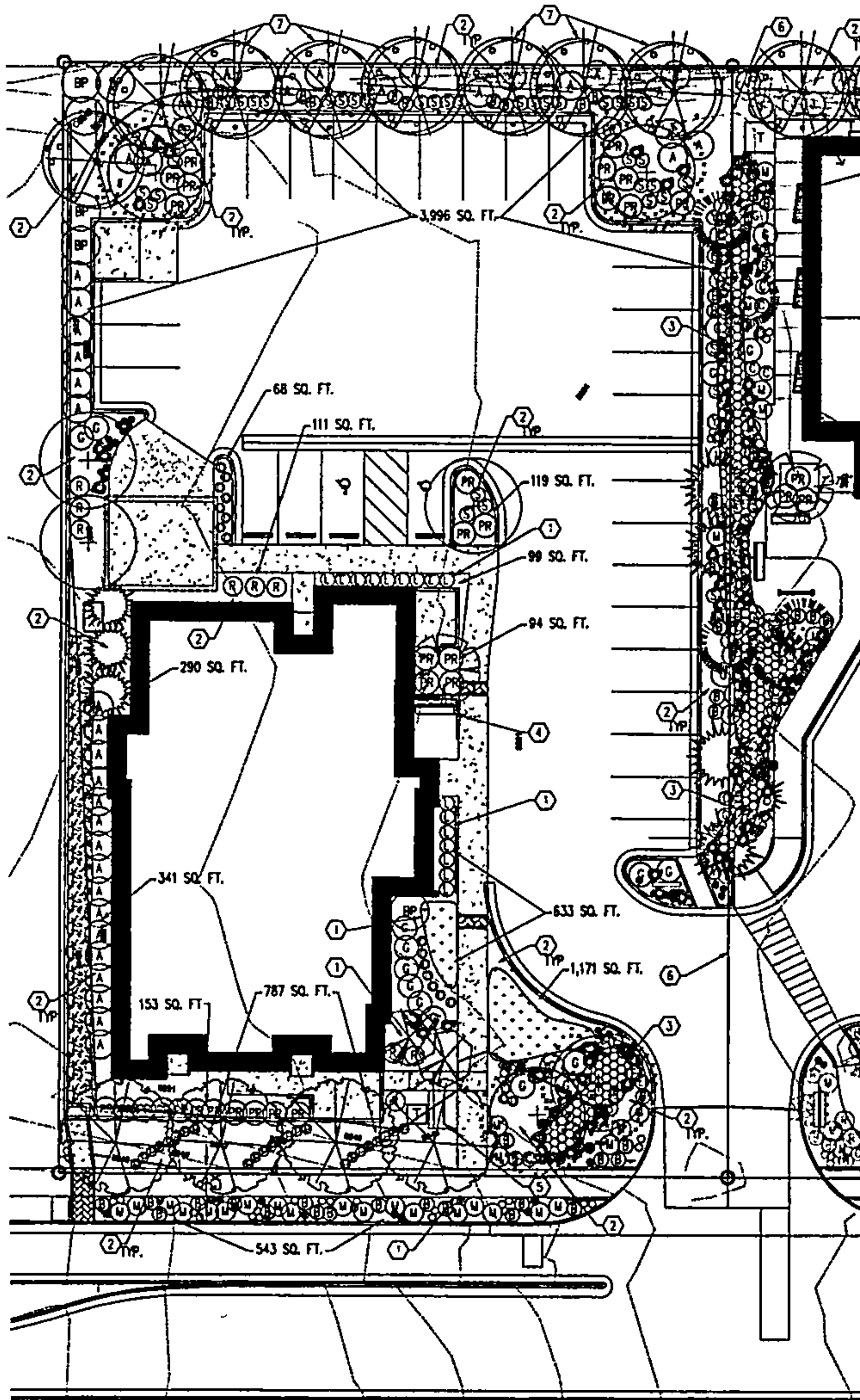
A1 SITE UTILITY PLAN
SCALE: 1" = 20'-0"
GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft

- KEYED NOTES**
- EXISTING WATERLINE TO REMAIN
 - EXISTING WATER VALVE TO REMAIN
 - EXISTING FIRE HYDRANT TO REMAIN
 - EXISTING SANITARY SEWER LINE
 - EXISTING SANITARY SEWER MANHOLE
 - INSTALL POST INDICATOR VALVE PER DETAIL F3/CS04
 - INSTALL FIRE DEPARTMENT CONNECTION ON BUILDING SEE MECHANICAL PLANS FOR DETAILS.
 - INSTALL SANITARY SEWER DOUBLE CLEANOUT PER DETAIL E6/CS03
 - INSTALL 4" PVC SDR 35 SANITARY SEWER LINE
 - CONNECT TO EXISTING SANITARY SEWER STUB OUT
 - LIGHT POLE SEE ELECTRICAL DRAWINGS FOR DETAILS.
 - EXISTING MONITORING WELL TO REMAIN PROTECT DURING CONSTRUCTION.
 - ELECTRICAL EQUIPMENT SEE ELECTRICAL PLANS
 - EXISTING 1 1/2" WATER SERVICE LINE SUBROUT WITH CURB STOP
 - INSTALL NEW 1 1/2" WATER METER IN EXISTING METER BOX PER CITY OF ALBUQUERQUE STANDARD DRAWING 2367
 - INSTALL 2" X 1 1/2" REDUCER IN DOMESTIC SERVICE WATER LINE
 - INSTALL 2" SCH 40 PVC WATERLINE.
 - INSTALL 2" X 90° ELBOW IN SCH 40 PVC WATERLINE
 - CONNECT FIRE SUPPRESSION SERVICE TO BUILDING
 - INSTALL 4" DI FIRE SUPPRESSION WATERLINE
 - INSTALL 4" X 90° DI ELBOW IN FIRE SUPPRESSION WATERLINE
 - CONNECT TO BUILDING. SEE MECHANICAL PLANS FOR CONTINUATION
 - EXISTING NATURAL GAS LINE
 - EXISTING STORM SEWER.
 - EXISTING STORM SEWER MANHOLE.
 - INSTALL SANITARY SEWER TERMINAL CLEANOUT PER DETAIL C6/CS03
 - INSTALL SANITARY SEWER WYE.
 - SAW CUT, REMOVE AND REPLACE ASPHALT AS NECESSARY (MINIMUM 4' WIDE) REPLACE IN KIND PLUS 2" OF ASPHALT THICKNESS
 - INSTALL 4" TAPPING SADDLE AND CORPRATION STOP FOR NEW FIRE LINE ONTO EXISTW WATER MAIN
 - CONNECT NEW NATURAL GAS SERVICE TO EXISTING LINE. CONFIRM WITH PHM THE EXACT LINE SIZE BEFORE BEGINNING WORK
 - INSTALL NEW 1" MEDIUM PRESSURE NATURAL GAS LINE FROM MAIN TO THE NEW BUILDING.
 - INSTALL NEW NATURAL GAS METER AT BUILDING METER TO BE SIZED TO SUPPLY 350cfm AT 0.5" wc
 - EXISTING UNDERGROUND ELECTRICAL LINE
 - INSTALL NEW TRANSFORMER SEE ELECTRICAL PLANS FOR SIZE AND DETAILS
 - INSTALL ELECTRICAL SECONDARY LINES TO THE BUILDING SEE ELECTRICAL PLANS FOR DETAILS
 - INSTALL 4" X 45° BEND IN FIRE SUPPRESSION WATERLINE

- GENERAL NOTES:**
- See sheet C001 for complete list of general notes and symbol/note type legend that apply to all sheets.
 - See survey for all existing utility and cross lot drainage elements.
 - Contractor shall field verify site for existing conditions (spots, borrow areas, etc.) prior to bidding earthwork quantities.



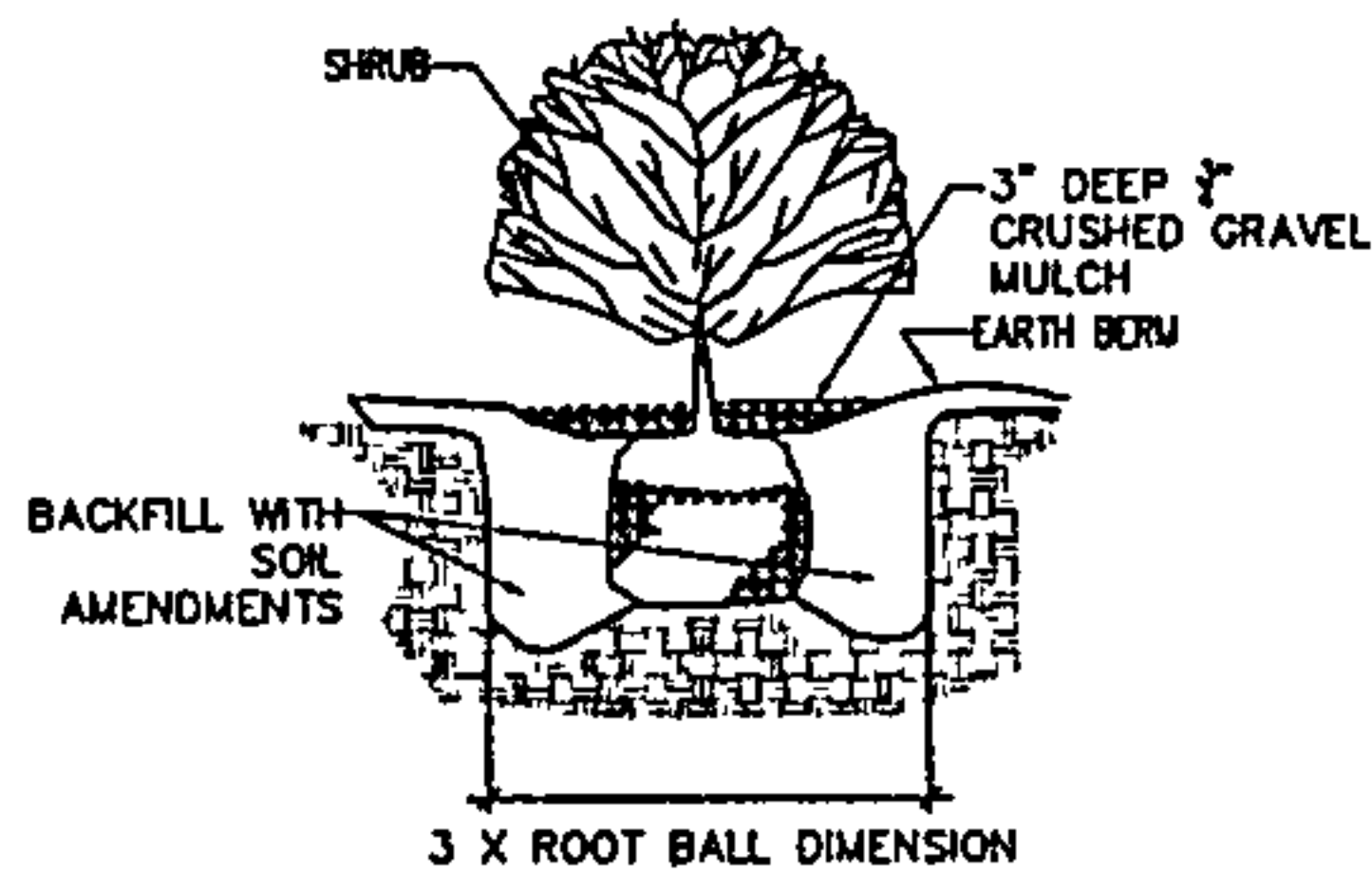
D1 ENLARGED UTILITY PLAN
SCALE: 1" = 10'-0"
GRAPHIC SCALE
(IN FEET)
1 inch = 10 ft



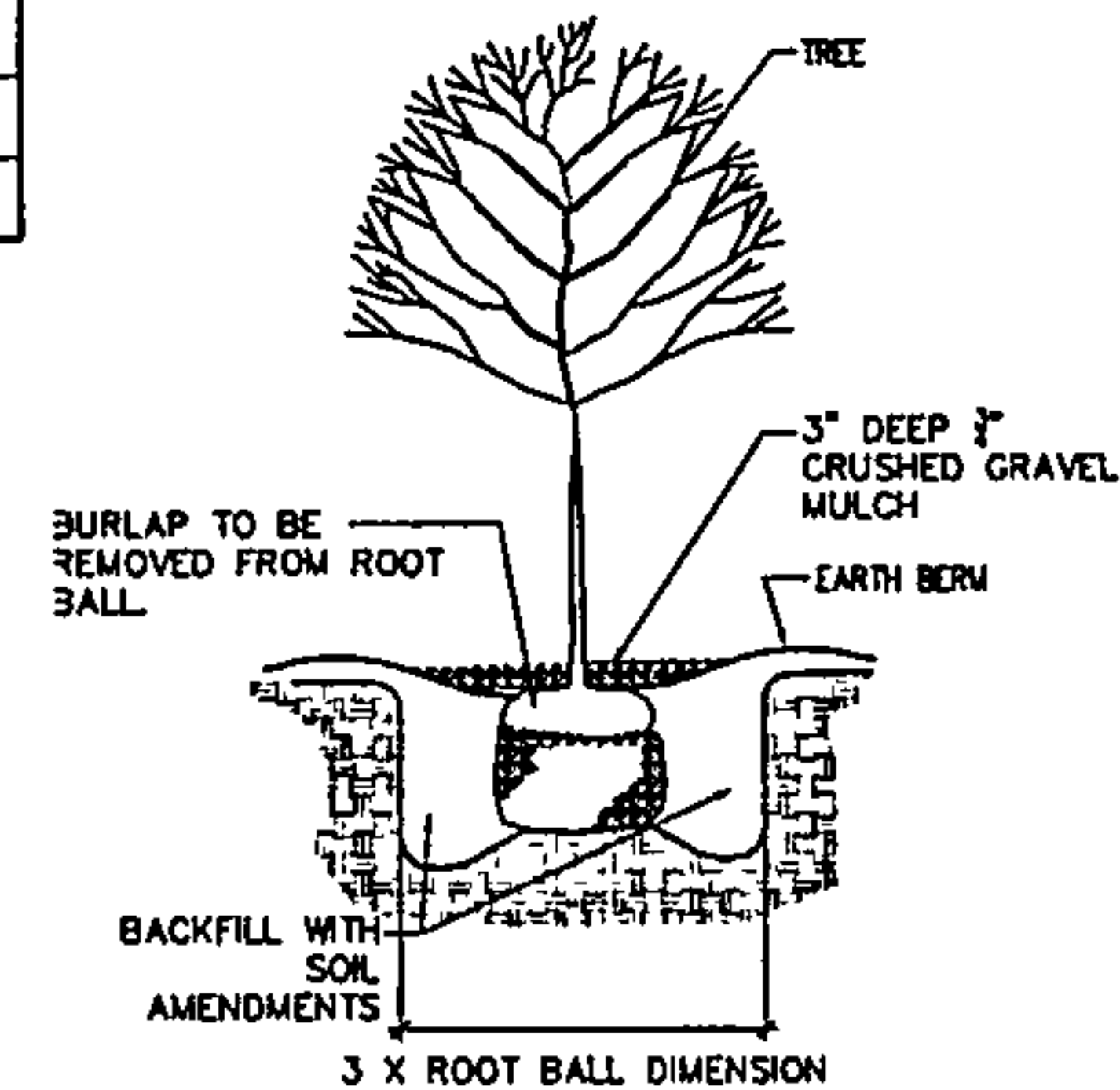
A1 LANDSCAPE PLAN
1/16" = 1'-0"

LEGEND				
SYMBOL	PLANT MATERIAL	SIZE	NATURE, HT. AND SPREAD	WATER USAGE
PERENNIAL SHRUBS				
(A)	APACHE PLUME FALLUDIA PARADOXA	3 GAL	5' x 5'	LOW
(B)	HARDY DWARF BROOM GONISTA LYDIA	1 GAL	2' x 3'	MEDIAN
(BH)	BIRD OF PARADISE CAESALPINA GILLESII	3 GAL	12' x 12'	LOW
(C)	GRAY SANTOLINA SANTOLINA CHAMAECYPARISSUS	3 GAL	2' x 2'	LOW
(D)	BLUE AVENA GRASS HELIOTROPICUM SEMPERVIRENS	1 GAL	6' (HEADS) x 2'	LOW
(E)	BUSH MURRAY MULLENBERGIA PORTORIS	1 GAL	3' x 3'	LOW
(G)	MADONN HAIR GRASS MECHANTHAUS SPINOSUS	3 GAL	6' x 4'	MEDIAN
(L)	ENGLISH LAVENDER LAVANDULA ANGSTYFOLIA	3 GAL	3' x 3'	MEDIAN
(M)	CATNIP NEPETA MUSSEI SYN FASSCHII	1 GAL	18" x 2'	LOW
(P)	SILKY THREADGRASS STIPA TENUIFOLIA	1 GAL	2' x 2'	LOW
(PH)	PROSTRATE ROSEMARY ROSMAIRIUS OFFICINALIS PROSTRATUS	1 GAL	2' x 6'	MEDIAN
(R)	ROSEMARY ROSEMARYIUS OFFICINALIS	3 GAL	6' x 6'	LOW
(S)	BLUE UST SPIREA CARYOPHTERUS CLAUDONENSIS	3 GAL	2' x 3'	MEDIAN
(V)	BLUE FESCUE FESTUCA OVINA GLAUCA	1 GAL	12" x 12"	MEDIAN
(W)	WOOD-SHINE YARROW ACHILLEA TAYGATA	1 GAL	2' x 18"	MEDIAN
(X)	MESQUAN BLUE SAGE SALVIA CHAMAEDRYODES	3 GAL	16" x 2'	LOW
(Y)	CORAL YUCCA MESPALOE PARVIFLORA	3 GAL	3' x 3'	MEDIAN
(Z)	DESERT ZINNIA ZINNIA GRANDIFLORA	6 PACK	6" x 6"	LOW
(Z)	GALLARNDIA GALLARNDIA GRANDIFLORA	1 GAL	2' x 2'	MEDIAN
(Z)	LITTLE BLUESTEM SCHIZACHYRIUM SCOPARILUM	1 GAL	2' x 18"	LOW
(Z)	BLUE GRAMA GRASS BOULDERIA GRACILIS	SEED	4-12"	LOW
	6" RIVER ROCK SWALE			
	LARGE ROCK BOULDERS			

LEGEND				
SYMBOL	PLANT MATERIAL	SIZE	NATURE, HT. AND SPREAD	WATER USAGE
TREES				
(A)	CHINESE PISTACHE PISTACIA GIBBERNSIS	2 1/2" CAL	35'/25'	MEDIAN
(B)	BYLANE HONEY LOCUST BLENZISA TREANTHODS NERMISIBYLANE	2 1/2" CAL	35'/25'	MEDIAN
(C)	RAYWOOD ASH FRAXINUS DRYCARPA 'RAYWOOD'	2 1/2" CAL	35'/25'	MEDIAN
(D)	GOLDEN RAIN TREE KOELREUTERIA PANICULATA	2" CAL	35'/25'	MEDIAN
(E)	DESERT WILLOW CHALOPDS LINEARIS	15 GAL	15'/20'	LOW
(F)	CHASTE TREE VITEX AGNIUS-CASTA	15 GAL	15'/20'	LOW
(G)	PINK PINE PINUS EDULIS	6" CAL	35'/25'	LOW
(H)	CHITALPA 'PINK DAWN' CHITALPA TASHKENTENSIS	15 GAL	35'-25'	LOW



A7 SHRUB PLANTING DETAIL
1/2" = 1'-0"



A6 TREE PLANTING DETAIL
1/2" = 1'-0"

LANDSCAPING

LANDSCAPE REQUIRED
GROSS SITE AREA = 32,929 SQ.FT.
BUILDING AREA = 6,127 SQ. FT
NET SITE AREA = 26,802 SQ.FT

REQUIRED LANDSCAPE AREA 15% NET SITE = 4,020 SQ.FT.
LANDSCAPE AREA PROVIDED = 8,495 SQ.FT.

LANDSCAPE BUFFERS

REAR: 6' BUFFER REQUIRED - 10' BUFFER PROVIDED.

SIDE 6' BUFFER REQUIRED - 6' BUFFER PROVIDED.

FRONT: 10' BUFFER REQUIRED - 10' + 4' BUFFER PROVIDED.

TREE REQUIREMENTS

- 1 PER 10 REQUIRED PARKING SPACES
3 TREES REQUIRED - 14 PROVIDED.
- EACH PARKING SPACE WITHIN 50' OF A TREE.

KEYED NOTES

1. PROVIDE 3" DEEP TAN CRUSHER FINE GRAVEL MULCH OVER FILTER FABRIC.
2. PROVIDE 3" DEEP 3/4" TAN GRAVEL MULCH OVER FILTER FABRIC.
3. PROVIDE 6" RIVER ROCK OVER FILTER FABRIC FOR SWALE.
4. COATED METAL BENCH.
5. RIBBON BICYCLE RACK.
6. PROPERTY LINE.
7. FUTURE TREES TO BE INSTALLED AFTER 5 YR. MONITORING PERIOD HAS ENDED.

GENERAL NOTES

1. REFER TO GRADING AND DRAINAGE PLAN FOR DRAIN PATTERN.
2. ALL PLANT MATERIAL TO BE WATERED BY AUTOMATIC IRRIGATION SYSTEM.
3. THE OWNER AGREES TO PROPERLY MAINTAIN ALL LANDSCAPING AND TO REPLACE DEAD PLANT MATERIAL IN A TIMELY MANNER.
4. LANDSCAPING PLANTING AND IRRIGATION SYSTEM DESIGN WILL COMPLY WITH WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE 6-1-1-4 THROUGH 6-1-1-14.
5. ALL PLANTING AREAS TO RECEIVE 3" DEEP 3/4" TAN GRAVEL MULCH OVER FILTER FABRIC UNLESS NOTED OTHERWISE.
6. 4" METAL EDGE BETWEEN ALL MULCH AND SOD.



THE HARTMAN + MAJEWSKI

DESIGN GROUP

Architects Engineers Interior Design

Planners Urban designers LEED

202 Central Avenue SE, Suite 200

Albuquerque, New Mexico 87102

Tel 505.242.6880 - Fax 505.242.6881

www.designgroupnm.com



ARCHITECTS PLANNERS INTERIOR DESIGN

101 SHAW BLVD. N.E. ALBUQUERQUE, NEW MEXICO 87102

Tel 505.242.6880 Fax 505.242.6881

These documents were prepared for the specific project only. SMPC Architects liability is limited to this specific project, and does not extend to reuse of these documents for other projects.



Bernitsky Eye Facility

6401 Holly Ave NE
Albuquerque, NM 87113

David Bernitsky, M.D.

No.	Description	Date

LANDSCAPE PLAN

Project number 2336
Date 10-3-07
Drawn by JAP
Checked by CAA

L1.1

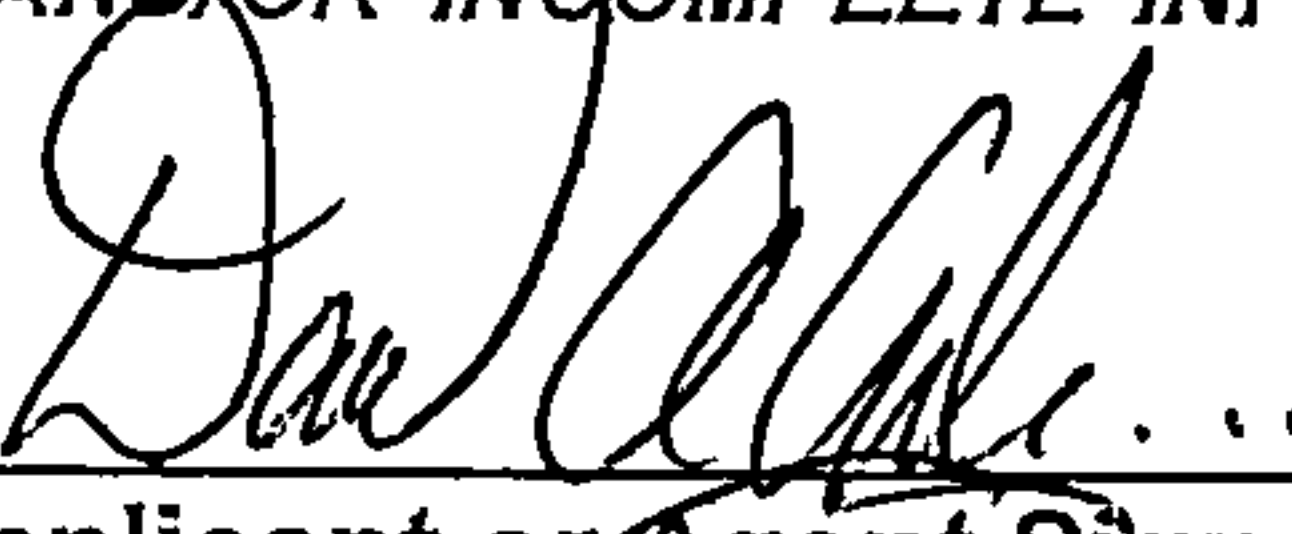
Scale NA 2336 L1.1

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 2/22/07

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.


Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Preliminary Grading Plan (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. Building and Structure Elevations
5. Conceptual Utility Plan
6. Previously approved Development Plan (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
 1.0 - 5.0 acres 1" = 20'
 Over 5 acres 1" = 50'
 Over 20 acres 1" = 100'
- 3. Bar scale ✓
- 4. North arrow ✓
- 5. Scaled vicinity map ✓
- 6. Property lines (clearly identify) ✓
- 7. Existing and proposed easements (identify each) ✓
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

20 scale

[Other scales as approved by staff]

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 2/22/07

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) ✓
- B. Square footage of each structure ✓
- C. Proposed use of each structure ✓
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials *Call walls on perimeter less than 4' tall!*
- F. Dimensions of all principal site elements or typical dimensions thereof -
- G. Loading facilities
- H. Site lighting (indicate height & fixture type), *where lights, detail.*
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable. ✓

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled. *Parking aces.*
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 31 provided: 31
Handicapped spaces required: 2 provided: 2
Motorcycle spaces required: 2 provided: 2
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 3 provided: 5
 - 2. Other bicycle facilities, if applicable *(San Pedro)*
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities *San Pedro*

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 2/22/07

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required (None close by)
- 4. Utilities
 - 1. Fire hydrant locations, existing and proposed.
 - 2. Distribution lines
 - 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
 - 4. Existing water, sewer, storm drainage facilities (public and/or private).
 - 5. Proposed water, sewer, storm drainage facilities (public and/or private)
- 5. Phasing
 - A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan *doesn't match SP*
- 2. Bar Scale *2*
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements *N*
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan) *84.05 %*
- 15. Planting or tree well detail
- 16. Street Tree Plan as defined in the Street Tree Ord.

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST Revised: 2/22/07

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections *walls less than 4' tall.*
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale *No*
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width *Buildings length 5*
 - 3. Location, material and colors of windows, doors and framing *color?*
 - 4. Materials and colors of all building elements and structures *lot ID*
 - 5. For EPC and DRB submittals only – Color renderings or similar illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.



Supplemental form

SUBDIVISION	S	Z	ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action			<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	V		<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P		<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision			<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/> for Building Permit			<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)			<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan			APPEAL / PROTEST of...
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L	A	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
STORM DRAINAGE	D		
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): The Design Group PHONE: 242-6880
 ADDRESS: 202 Central Ave SE, Suite 200 FAX: 242-6881
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: daube@designgroupnm.com

APPLICANT: Zia Rising (Chick Noya) PHONE: 998 9080
 ADDRESS: 401 Indian School Rd NE, Suite 400 FAX: 998 9063
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: cnoya@vsnlaw.com
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Proposed spec office building (medical office)

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract C-1 Block: _____ Unit: B
 Subdiv/Addn/TBKA: North Albuquerque Acres (TBK) PASADO NUEVO Z MEDICAL OFFICE
 Existing Zoning: SUZ for 01 Proposed zoning: SUZ for 01 OFFICE
 Zone Atlas page(s): C-187 UPC Code: 101806435206940206 MRGCD Map No _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):
AX-84-9, Z-84-41, DRB 1005B2

CASE INFORMATION:

Within city limits? Yes No Within 1000FT of a landfill? Yes No Remediated
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.27
 LOCATION OF PROPERTY BY STREETS: On or Near: 6425 Holly Avenue NE
 Between: San Pedro NE and Louisiana NE

Check-off if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team Date of review: _____

SIGNATURE David A. Abe DATE 10/5/07

(Print) David A Abe Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07 DRB - 70306</u>	<u>SBP</u>	<u>P(3)</u>	<u>\$ 385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CME</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>10/17/07</u>			Total <u>\$ 405.00</u>

Sandy Handley 01/09/07
 Planner signature / date

Project # 1005132

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

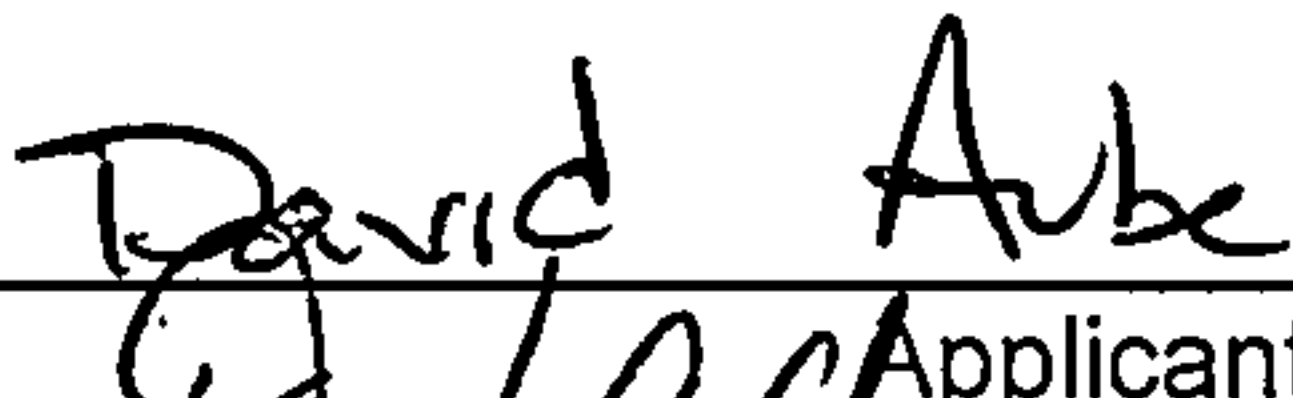

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ~~Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.~~
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - ~~Copy of the document delegating approval authority to the DRB~~ SU-2
 - ~~Infrastructure List, if relevant to the site plan~~
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

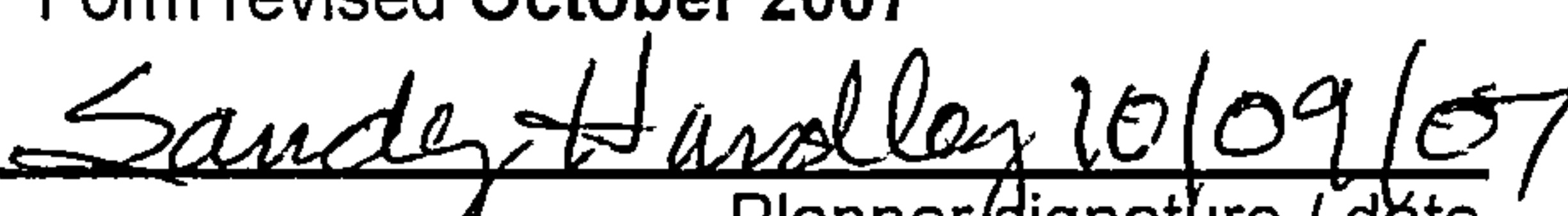

 Applicant name (print)
 10/3/07
 Applicant signature / date

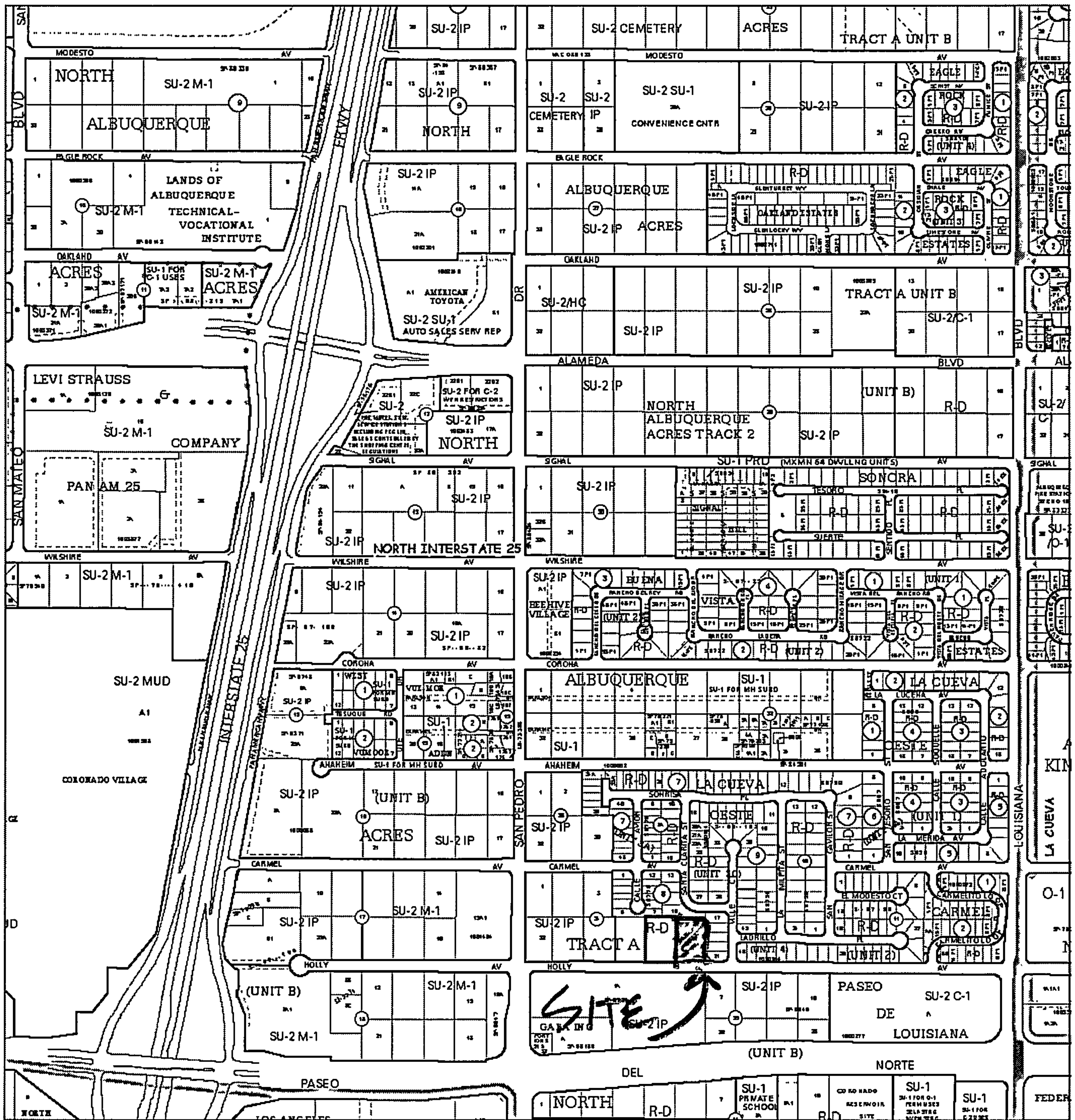


- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
070003 - 70306

Form revised October 2007


10/09/07
 Planner signature / date
 Project # 1005132



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 9/5/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-18-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet



October 5, 2007

Sheran Matson
DRB Chairperson, Planning Manager
Plaza Del Sol
600 2nd Street NW
Albuquerque, NM 87102

**RE: Paseo Nuevo 2, Spec Medical Office Building
6425 Holly Avenue NE**

Dear Sheran Matson:

Zia Rising is seeking approval of a Site Development Plan for Building Permit for Lot C-1, Unit B, North Albuquerque Acres, located on Holly Avenue NE between San Pedro and Louisiana. The site is located in Zone Atlas Page C-18-Z. The street address is 6425 Holly Ave. NE.

The North I25 Sector Plan controls the development process for this property and provided that we comply with the City of Albuquerque Comprehensive City Zoning Code for O-1 (Office and Institutional Zone) that the site plan will not require approval by Environmental Planning Commission (EPC) and will go directly to the Development Review Board (DRB) for approval.

A final plat for adjusting the property lines with easements within the site was recorded by Precision surveys on February 15, 2007. The Final Plat indicated a "Flowing private cross access easement" for the benefit of Tracts B and C. A "Cross lot drainage easement for the benefit and use of Tracts A, B, and C of Paseo Nuevo 2" was also granted by the plat. The Floating private cross access easement has been eliminated on Tract B and an access easement approximately 130' x 32' (located on the property line between Tract B and C from Holly Avenue) was created by subsequent DRB actions and is shown on plat that will soon be recorded.

The site currently has a small retaining/screen walls that separated the property from the adjoining residential neighborhoods to the North and East. The wet utilities within the Holly Right of Way (ROW) are completed and the dry utilities will be under construction soon and that stub outs into Tracts B and C will be completed before this project.

The Spec Office Building will be 14,120 sf. and will be located along the north property line of the site. There is a common driveway access for this and the adjoining property to the east.

If you have any questions or require additional information, please contact me at the office at 242-6880, or on my cell at 463-4503.

Respectfully submitted:

A handwritten signature in black ink, appearing to read 'David A. Aube'.

David A. Aube, P.E.
P:\2335drbernitky\C2_Agencies\DRB Narrative Pain.doc

October 5, 2007

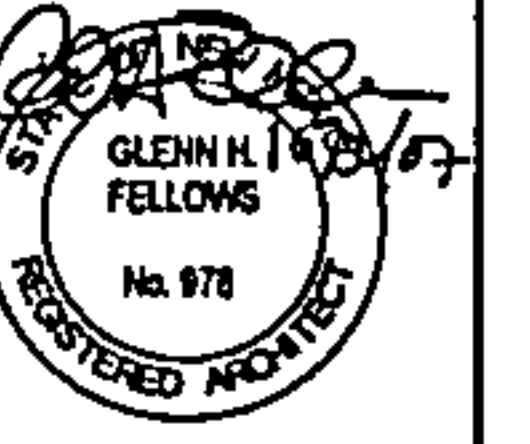
Letter of Authorization

The Hartman + Majewski Design Group (dg) is designated as the agent with authority to act on behalf of Zia Rising in the application for the Site Development Plan for Building Permit, for Tract C-1, Unit B, North Albuquerque Acres, located at 6425 Holly Avenue NE, north of Holly Avenue between San Pedro and Louisiana, for all actions required by the City of Albuquerque Planning Process. The street address for this project is 6425 Holly Avenue, NE.

Chuck Noya
Managing Partner
Zia Rising



ARCHITECTS PLANNERS INTERIOR DESIGN
1600 WEST SPRING VALLEY AVENUE SUITE 200
DALLAS, TEXAS 75244-1000
TEL: (214) 258-0888 FAX: (214) 258-0888



Paseo Nuevo 2
MEDICAL OFFICE
ALBUQUERQUE, NM 87113

NO	DATE	DESCRIPTION

DATE: 10/01/07
PROJECT #: 07026
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SHEET TITLE:

EXTERIOR ELEVATIONS

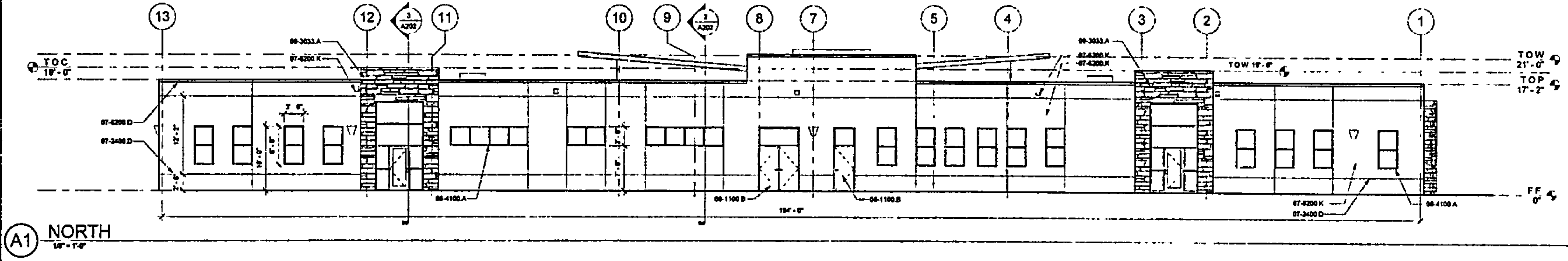
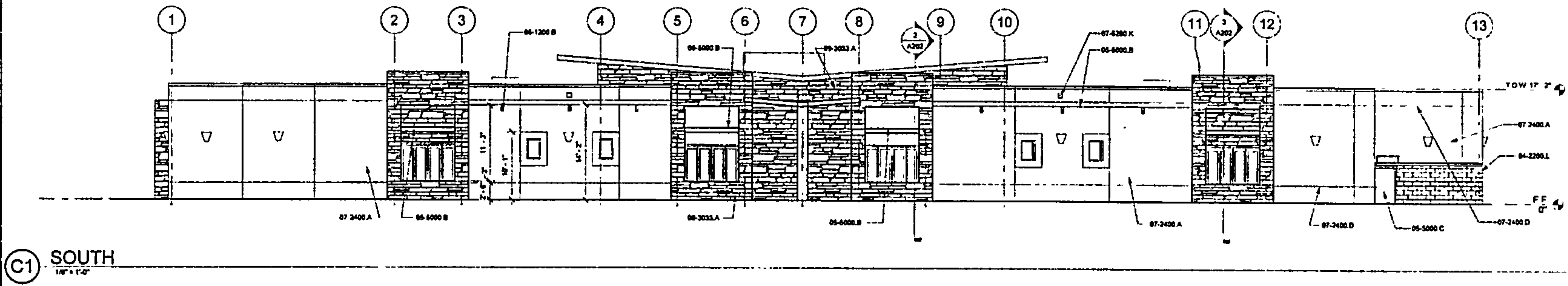
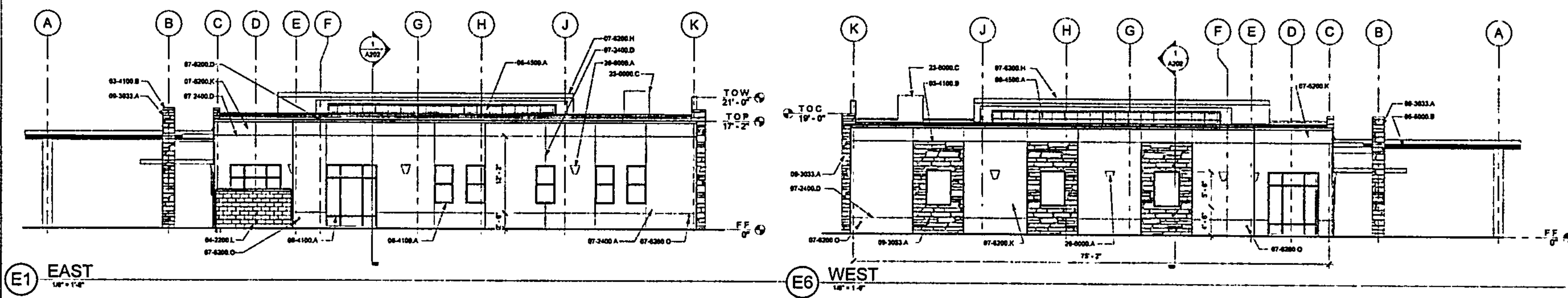
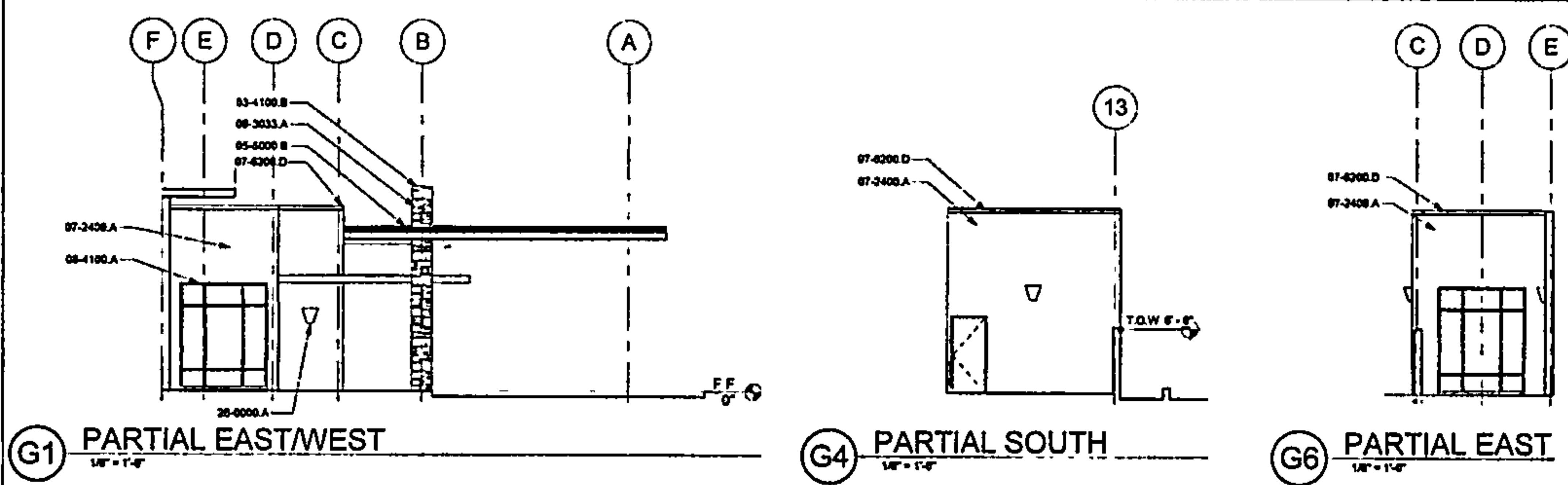
A201
SHEET OF

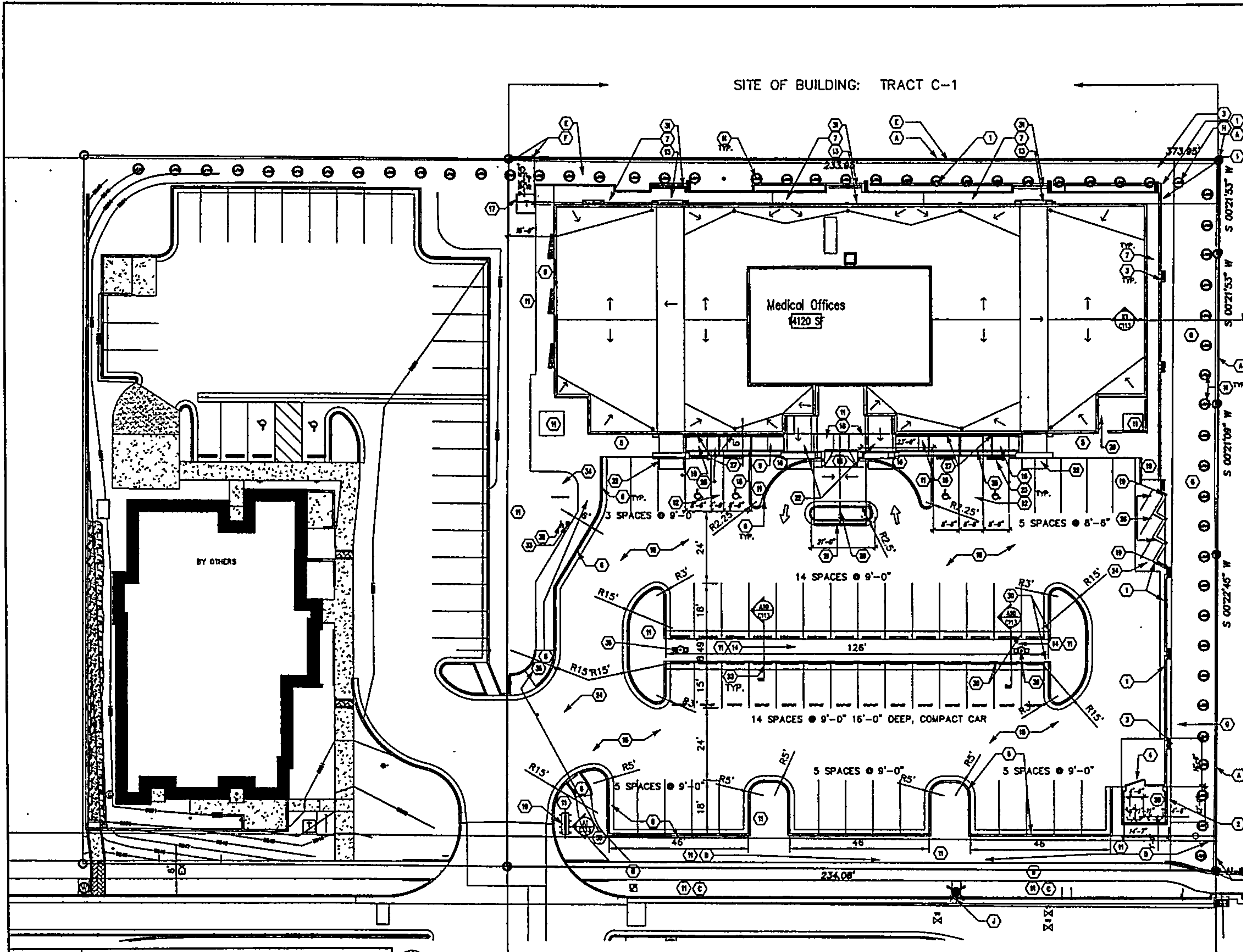
MATERIAL KEYING LEGEND

03-4100 B	INTEGRAL COLOR CAP WITH IMBEDDED THREADED ROD
04-2200 L	DECORATIVE BLOCK - TWO HOLES THRU SIDE OF BLOCK
05-1200 B	STEEL TUBE
05-5000 B	CANOPY
05-5000 C	GATE
07-2400 A	EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)
07-2400 D	EIFS CONTROL JOINT
07-6200 D	METAL COPING, PREFABRICATED
07-6200 H	FASCIA TRIM
07-6200 K	OVERFLOW SCUPPER
07-6200 O	ROOF DRAIN OUTLET
08-1100 B	HOLLOW METAL DOOR
08-4100 A	ALUMINUM STOREFRONT SYSTEM
08-4500 A	TRANSLUCENT WALL PANEL
09-3033 A	STONE TILES
23-0000 C	MECHANICAL ROOF TOP UNIT
26-0000 A	LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS)

Exterior Finish Schedule

Material	Note Number	Name
Stone Tile	09-3033	Amscraft - Renaissance Masonry Units - Georgia Standard Finish Sedona, rock'd finish
EIFS	07-2400	STO - 32230
Coping & prefinished metal	07-4100 B, 07-6200 D	Kynar finish - color match Dunn Edwards - DEB362 Storm Cloud LRV-21
Painted Steel	08-1200, 05-5000	Dunn Edwards - DEB301 Hidden forest LRV-9
Storefront and Automatic Door & Window frames	08-4100, 08-4229	Clear Anodized Aluminum
Soft Panels	07-4100 A	white
Hollow Metal doors and frames	08-1100	Dunn Edwards - color match STO EIFS
Translucent Wall Panel	08-4500	Kalwall - Prefinished white aluminum frame, white side inward, crystal side outward





GENERAL NOTES

1. LANDSCAPE PLAN ON C112
2. REFER TO GRADING AND DRAINAGE PLAN FOR DRAIN PATTERN
3. **PARKING SPACES:**
TOTAL: 55
DISABLED SPACES: 4
MOTORCYCLE SPACES: 3 (NOT INCLUDED IN TOTAL COUNT)
4. PARKING SPACES 6 INCHES WIDER WHEN SIDES ADJACENT TO CURB
5. SEE C1131 FOR SITE DETAILS

KEYED NOTES

- EXISTING CONDITIONS**
- A BLOCK WALLS ON PROPERTY LINE
 - B COA SIDEWALK
 - C STRIP OF EARTH BETWEEN HOLLY AVE NE AND SIDEWALK
 - D UTILITY EASEMENT 10'-0" WIDE
 - E SET BACK - ADJACENT TO RESIDENTIAL PROPERTY LINE
 - F REMAINING LAND FILL STRIP
 - G WELL MONITOR
 - H FIRE HYDRANT

NEW NOTES:

1. RETAINING WALL
2. DUMPSTER ENCLOSURE MASONRY TO 6'-0" ABOVE GRADE
3. CAGON BASKET
4. ENCLOSURE GATE TO 6'-0" ABOVE GRADE
5. CONCRETE SIDEWALK 8'-0"
6. CURB & GUTTER
7. CONCRETE SIDEWALK/MOW STRIP - 4'-0" WIDE
8. CONCRETE SIDEWALK - 5'-0" WIDE
9. CONCRETE SIDEWALK - 6'-0" WIDE
10. MONUMENT SIGN
11. LANDSCAPED AREA
12. CONCRETE EXTENDS OUT 20'-0", STAMPED & STAINED FLAGSTONE PATTERN
13. CONCRETE STOOP AT DOORS
14. SWALE
15. ASPHALT PAVEMENT
16. DRY WELL
17. CONCRETE PAD AT TRANSFORMER
18. RAMP
19. WHF TRELLIS (FUTURE)
20. COLUMN SUPPORT FOR CANOPY
21. CANOPY ABOVE DROP OFF
22. CANOPY ABOVE WALK
23. WHEEL STOP
24. 24'-0" RADIUS ARC TO SHOW CLEARANCE
25. SIDEWALK FLUSH WITH LOT
26. MOTORCYCLE PARKING
27. HC PARKING SIGN
28. DUMPSTER
29. PATIO, STAMPED STAINED FLAGSTONE PATTERN
30. RUNDOWN CURB & GUTTER
31. TRENCH DRAIN
32. POST INDICATOR VALUE
33. FIRE DEPARTMENT CONNECTION
34. BIKE RACK
35. PEDESTRIAN & BIKE ACCESS
36. LIGHT POLE

SIGN OFF BLOCK

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and the findings and conditions in the Official Modification of Resolution are satisfied.

Is an infrastructure (if required) () YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

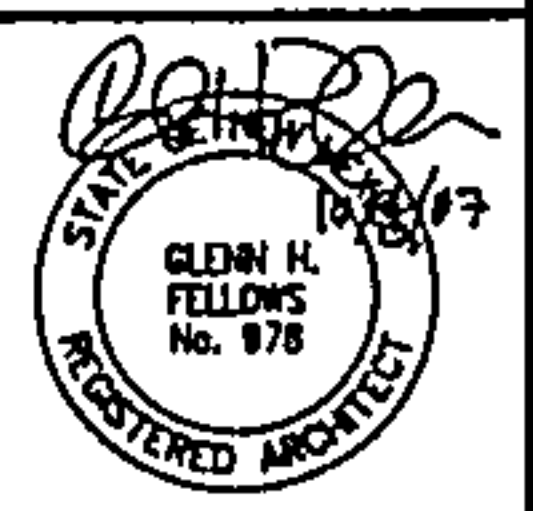
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary



ARCHITECTS • PLANNERS • INTERIOR DESIGN
 118 MARKET DRIVE NE, ALBUQUERQUE, NEW MEXICO 87102
 TEL: (505) 263-4400 FAX: (505) 263-4400



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MEDICAL OFFICE

NO.	DATE	DESCRIPTION

DATE:	10.01.07
PROJECT #:	07028
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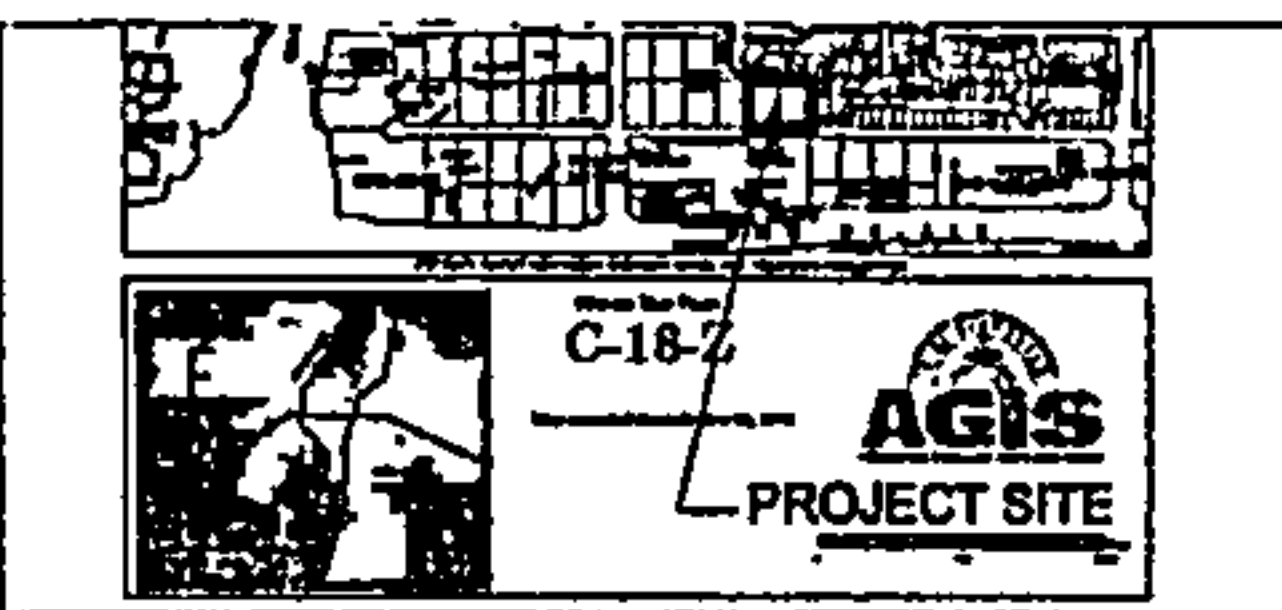
SITE DEVELOPMENT PLAN

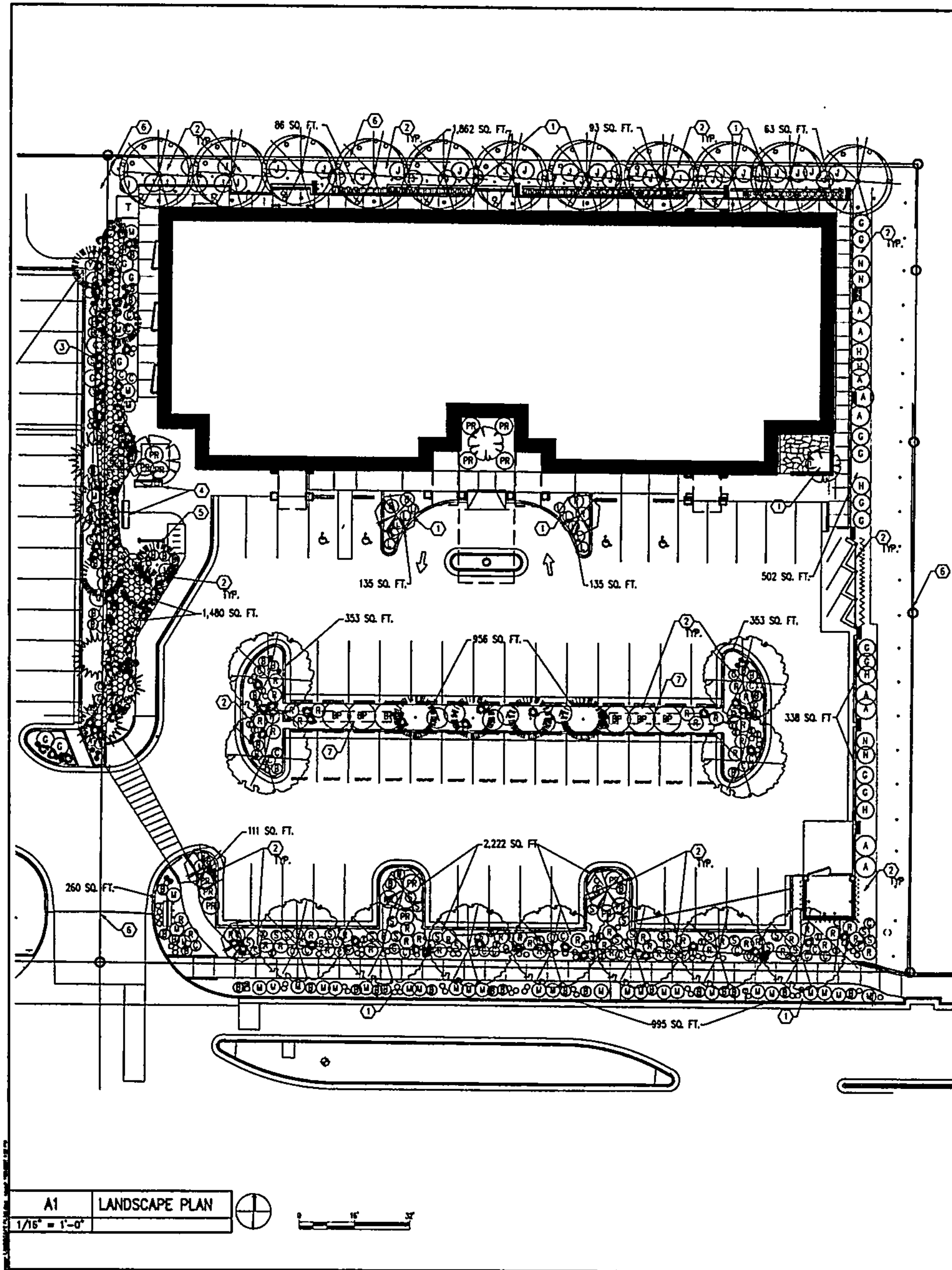
C111
 SHEET OF

B1 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 1/16" = 1'-0"

SITE OF BUILDING: TRACT C-1

VICINITY MAP





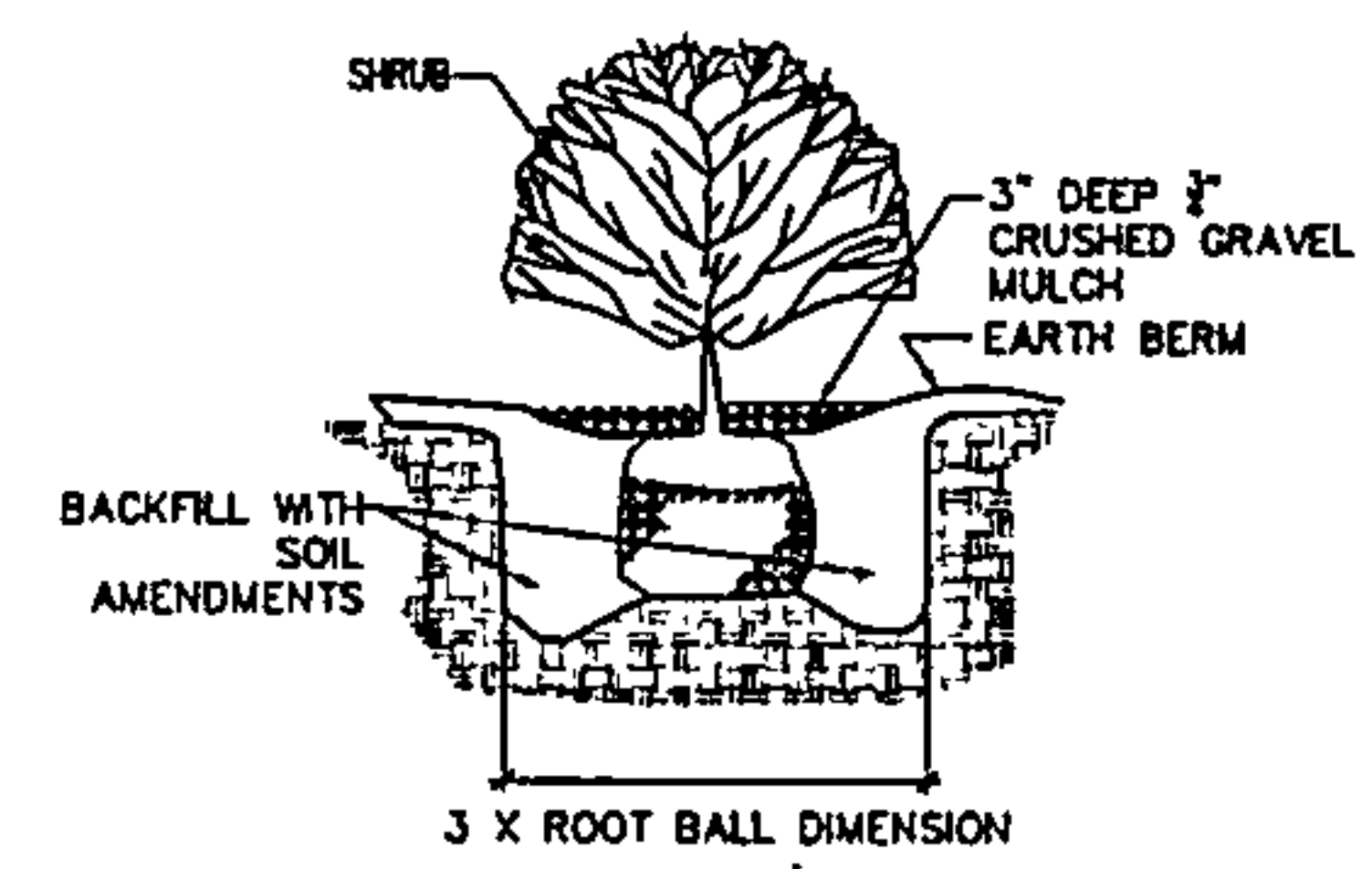
A1 LANDSCAPE PLAN
 1/16" = 1'-0"

LEGEND

SYMBOL	PLANT MATERIAL	SIZE	TRUNK HT. AND SPREAD	WATER USAGE
XERIC SHRUBS				
(A)	AFRICAN FLAME FALLUOGIA PARADOXA	3 GAL	5' X 5'	LOW
(B)	HARDY ORANGE BROOM GENISTA LYDA	1 GAL	2' X 2'	MEDIUM
(B)	BIRD OF PARADISE CAESALPIA GILLESII	3 GAL	12' X 12'	LOW
(C)	GRAY SANTOLINA SANTOLINA CHAMAECYPARISSIS	3 GAL	2' X 2'	LOW
(D)	VALENTINE STAR GRASS MISCANTHUS SINENSIS	3 GAL	5' X 5'	MEDIUM
(M)	CATMINT NEPETA JUSSIEU SYM FASSCHII	1 GAL	5' X 2'	LOW
(P)	PROSTRATE ROSEMARY ROSMARIJUS OFFICINALIS "PROSTRATUS"	1 GAL	2' X 2'	MEDIUM
(H)	ROSEMARY - ROSMARIJUS OFFICINALIS	3 GAL	5' X 5'	LOW
(S)	BLUE MIST SPIREA CARYOPTERIS CLAUDONENSIS	3 GAL	2' X 2'	MEDIUM
(W)	MOONSPINE YARROW ACHILLEA TAYGATEA	1 GAL	2' X 10"	MEDIUM
(X)	MEXICAN BLUE SAGE SALVIA CHAMAECRYDIDES	3 GAL	18" X 2'	LOW
(L)	ENGLISH LAVENDER LAVANDULA ANGUSTRIFOLIA	3 GAL	3' X 3'	MEDIUM
(Y)	CORAL YUCCA HESPERALOE PARVIFLORA	5 GAL	2' X 3'	MEDIUM
(J)	ANDREA JUMPER JUNIPERUS HORIZONTALIS "PLUMOSA"	3 GAL	18" X 5'	LOW
(H)	CHAMISA CHRYSOTHAMNUS HAUSSCOBIUS	3 GAL	5' X 5'	MEDIUM
(N)	RUSSIAN SAGE PEROVSKIA ATRIPLOCFOLIA	5 GAL	5' X 5'	MEDIUM
(T)	TRIANGLE WOOD 8" D.C. CALYPSO RADICANS	3 GAL	CLIMBER	MEDIUM
(Z)	DESERT ZINNIA ZINNIA GRANDIFLORA	6 PACK	4' X 1'	LOW
(G)	GALLARDIA GALLARDIA GRANDIFLORA	1 GAL	2' X 2'	MEDIUM
(R)	6" RIVER ROCK SWALE			
(B)	LARGE ROCK BOULDERS			

LEGEND

SYMBOL	PLANT MATERIAL	SIZE	TRUNK HT. AND SPREAD	WATER USAGE
TREES				
(C)	CHINESE PISTACHE PISTACIA CHINENSIS	1 1/2" CAL	30'/50'	MEDIUM
(L)	BYLINE HONEY LOCUST GLEDITSIA TRICANTHOS INERMIS 'SKYLARK'	1 1/2" CAL	30'/50'	MEDIUM
(G)	GOLDEN RAIN TREE KOELPUDERIA PANNICULATA	1" CAL	30'/50'	MEDIUM
(S)	DESERT WILLOW CHOLEPSIS LINEARIS	18 GAL	15'/50'	LOW
(C)	CHASTE TREE VITEX AGNUS-CASTA	15 GAL	15'/50'	LOW
(P)	PIYON PINE PINUS EDULIS	5 GAL	30'/50'	LOW



A7 SHRUB PLANTING DETAIL
 1/2" = 1'-0"

LANDSCAPING

LANDSCAPE REQUIRED
 GROSS SITE AREA = 55,256 SQ. FT.
 BUILDING AREA = 14,120 SQ. FT.
 NET SITE AREA = 41,136 SQ. FT.

REQUIRED LANDSCAPE AREA 15% NET SITE = 6,170 SQ. FT.
 LANDSCAPE AREA PROVIDED = 9,984 SQ. FT.

LANDSCAPE BUFFERS

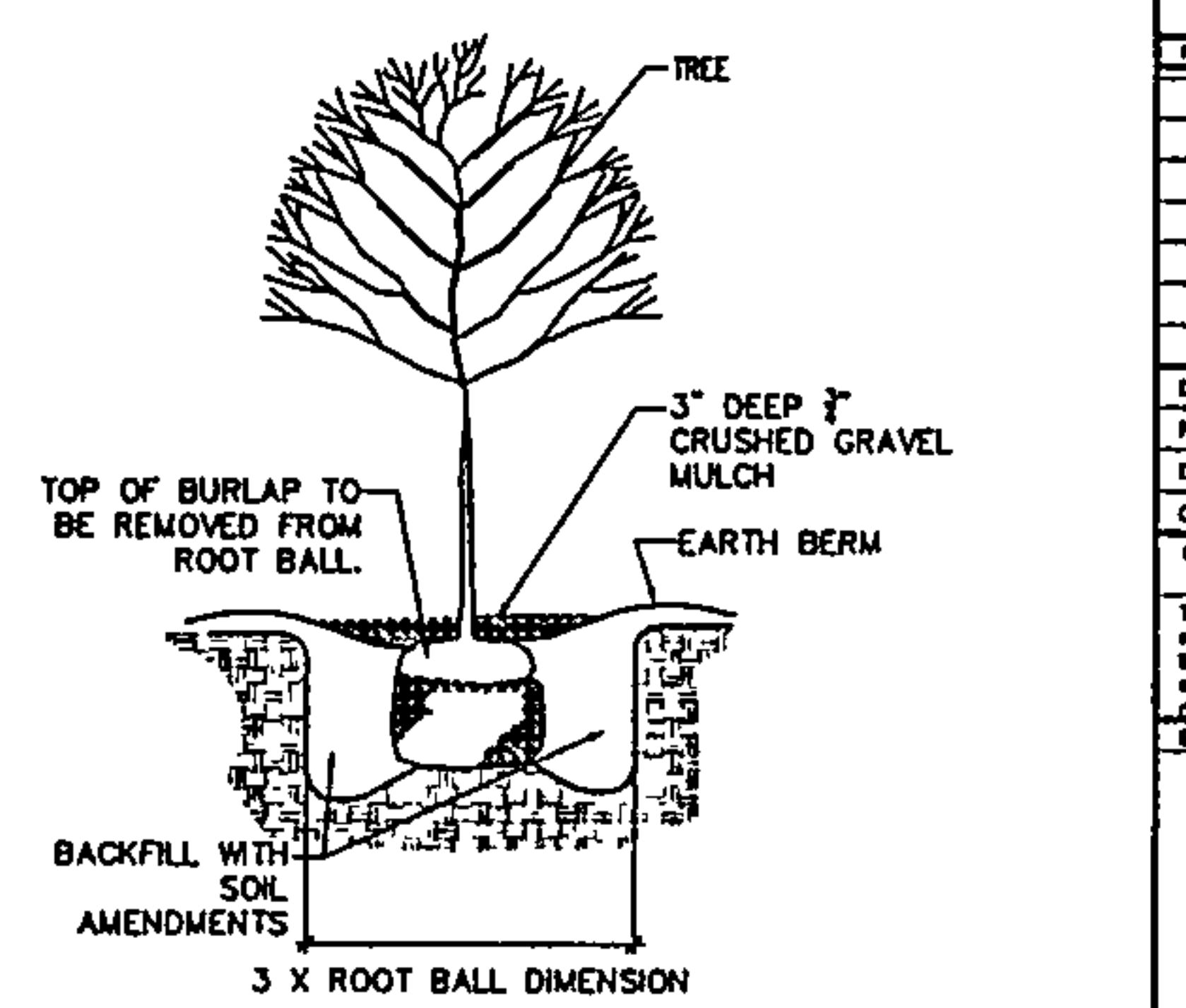
REAR: 6' BUFFER REQUIRED - 15' BUFFER PROVIDED
 SIDE: 6' BUFFER REQUIRED - 15-20' BUFFER PROVIDED
 FRONT: 10' BUFFER REQUIRED - 10' + 4' BUFFER PROVIDED

TREE REQUIREMENTS

- 1 PER 10 REQUIRED PARKING SPACES
- 6 TREES REQUIRED - 11 PROVIDED.
- EACH PARKING SPACE WITHIN 50' OF A TREE.

- ### KEYED NOTES
- PROVIDE 3" DEEP TAN CRUSHER FINE GRAVEL MULCH OVER FILTER FABRIC.
 - PROVIDE 3" DEEP 3/4" TAN GRAVEL MULCH OVER FILTER FABRIC.
 - PROVIDE 6" RIVER ROCK OVER FILTER FABRIC FOR SWALE.
 - COATED METAL BENCH.
 - RIBBON BICYCLE RACK.
 - PROPERTY LINE.
 - PUMICE WICK.

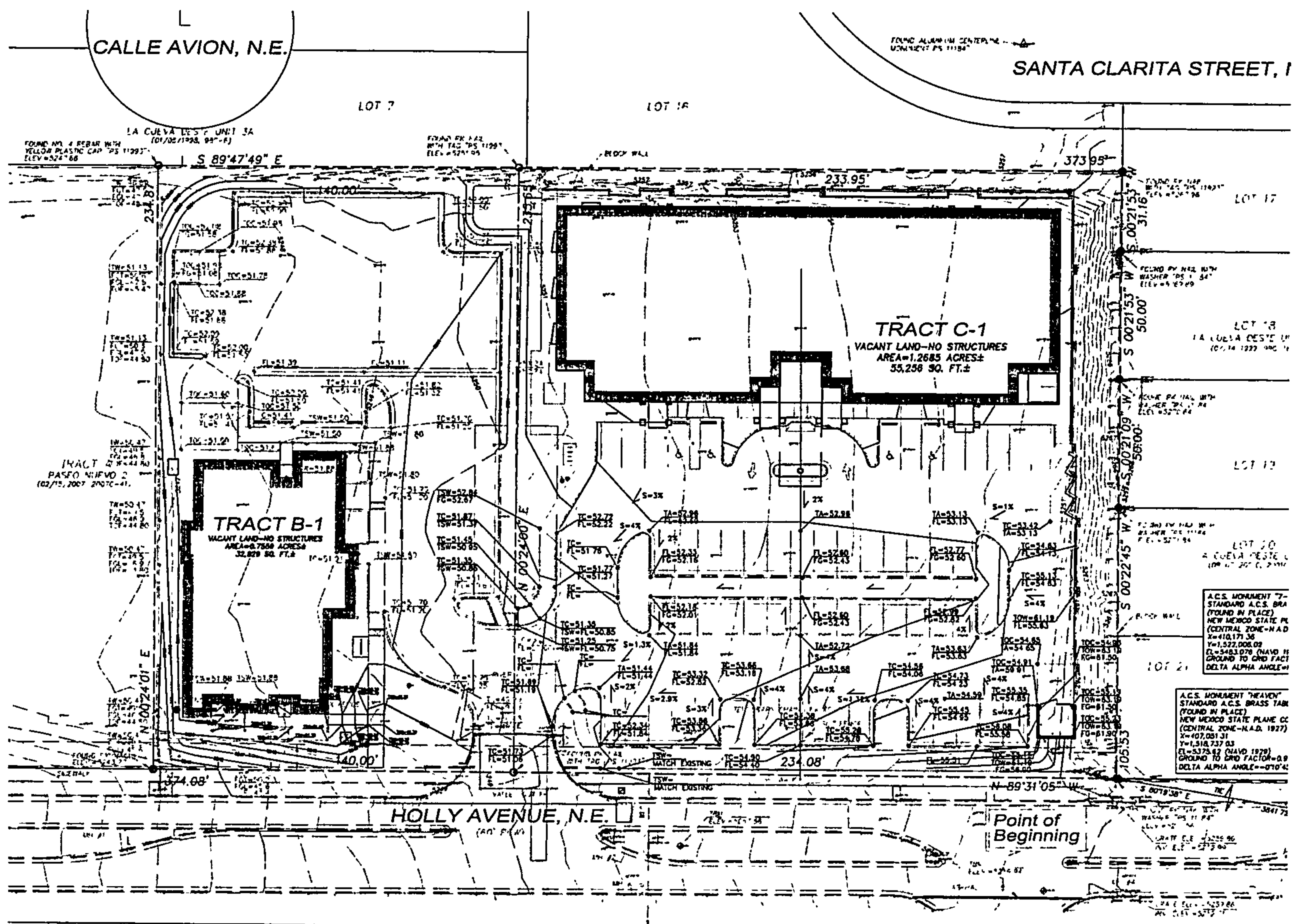
- ### GENERAL NOTES
- ARCHITECTURAL SITE PLAN ON C111
 - REFER TO GRADING AND DRAINAGE PLAN FOR DRAIN PATTERN
 - ALL PLANT MATERIAL TO BE WATERED BY AUTOMATIC IRRIGATION SYSTEM
 - THE OWNER AGREES TO PROPERLY MAINTAIN ALL LANDSCAPING AND TO REPLACE DEAD PLANT MATERIAL IN A TIMELY MANNER.
 - LANDSCAPING PLANTING AND IRRIGATION SYSTEM DESIGN WILL COMPLY WITH WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE 6-1-1-4 THROUGH 6-1-1-14
 - SEE E-201 TO CO ORDINATE SITE LIGHTING AND TREES.



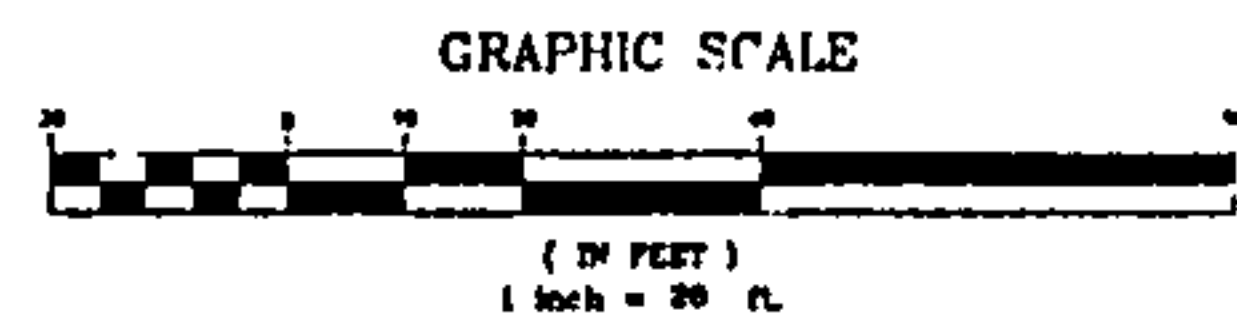
A6 TREE PLANTING DETAIL
 1/2" = 1'-0"

NO.	DATE	DESCRIPTION
	10.01.07	
DATE	10.01.07	
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LANDSCAPE PLAN



A1 SITE GRADING PLAN
SCALE: 1" = 20'-0"



ARCHITECTS
ARCHITECTS • PLANNERS • INTERIOR DESIGNERS
10101 SANTA CLARITA STREET, SUITE 100, SANTA CLARITA, CA 91060
TEL: 909.251.1111 FAX: 909.251.1112

THE DESIGN GROUP
10101 SANTA CLARITA STREET, SUITE 100, SANTA CLARITA, CA 91060
TEL: 909.251.1111 FAX: 909.251.1112



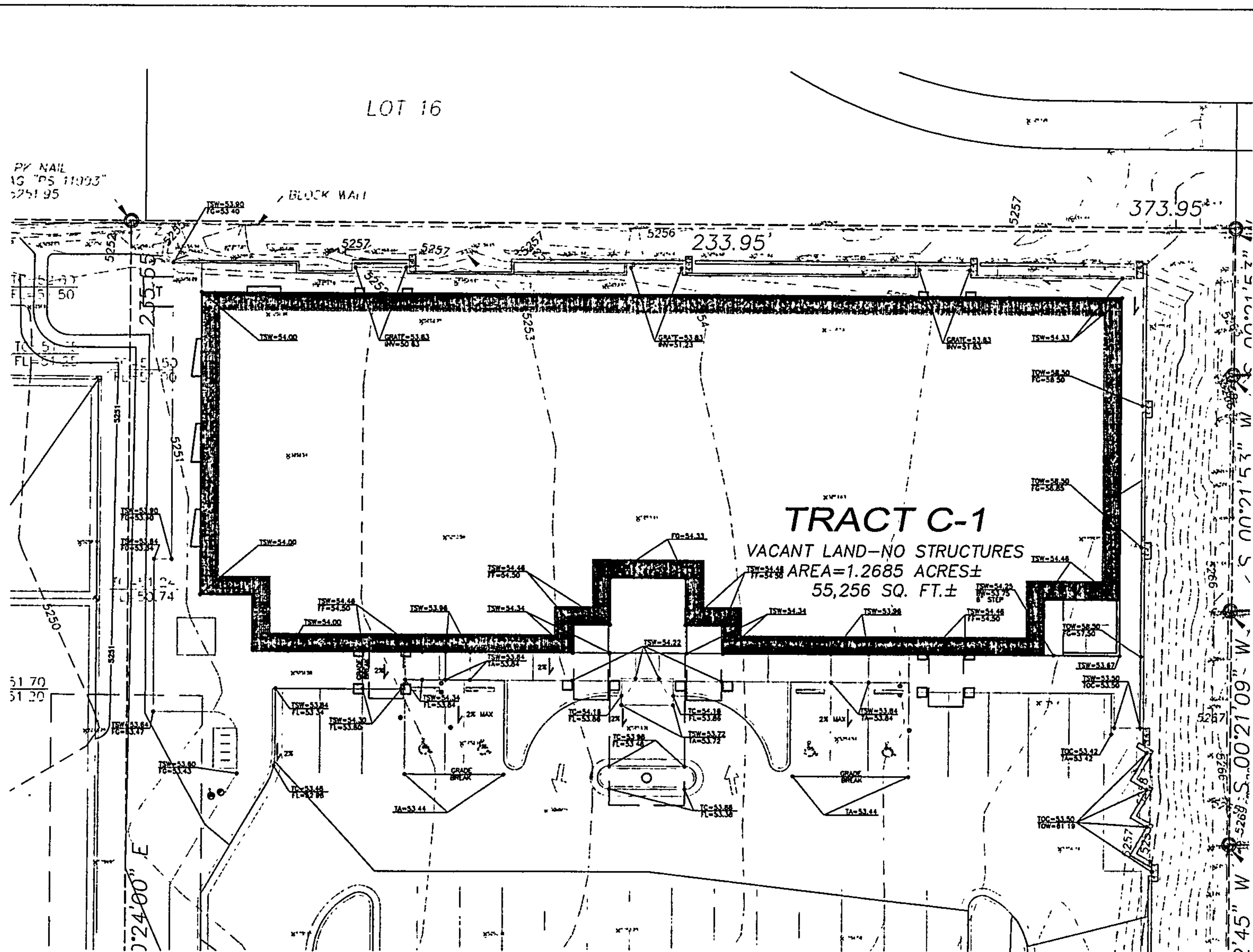
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SITE GRADING PLAN

C201

SHEET OF



A1 ENLARGED SITE GRADING PLAN
 SCALE: 1" = 10'-0"
 GRAPHIC SCALE
 (IN FEET)
 1 inch = 10 ft.

LOT 16

PY NAIL
 16 "PS 11093"
 5251.95

BLOCK WALL

TRACT C-1
 VACANT LAND-NO STRUCTURES
 AREA=1.2685 ACRES±
 55,256 SQ. FT.±

ARCHITECTS
 ARCHITECTS • PLANNERS • INTERIOR DESIGN
 1800 WEST 10TH AVENUE, SUITE 1000 DENVER, CO 80202
 TEL: 303.733.1000 FAX: 303.733.1001

THE DESIGN GROUP
 1800 WEST 10TH AVENUE, SUITE 1000 DENVER, CO 80202
 TEL: 303.733.1000 FAX: 303.733.1001



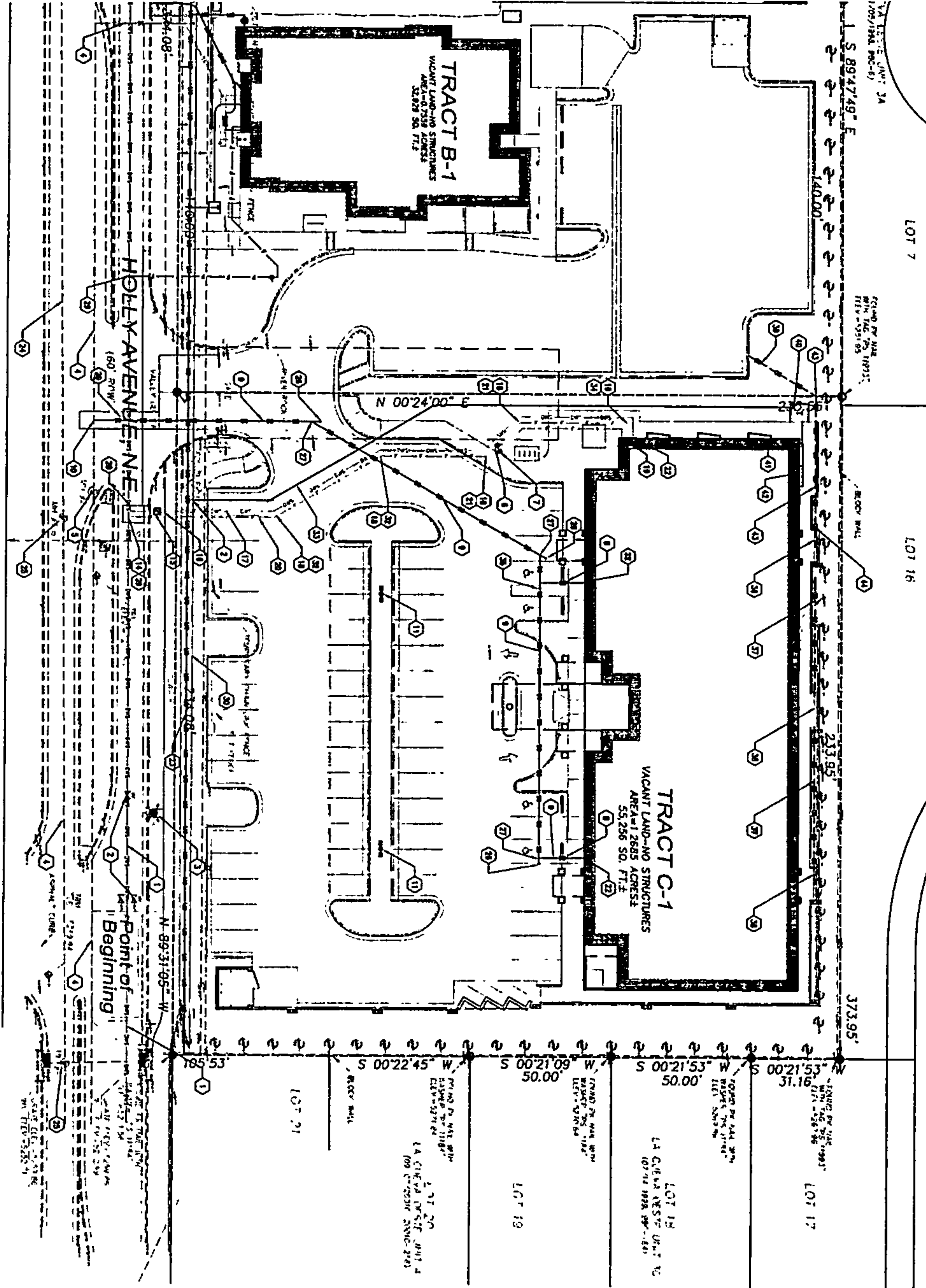
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ENLARGED SITE GRADING PLAN
C202

SHEET OF

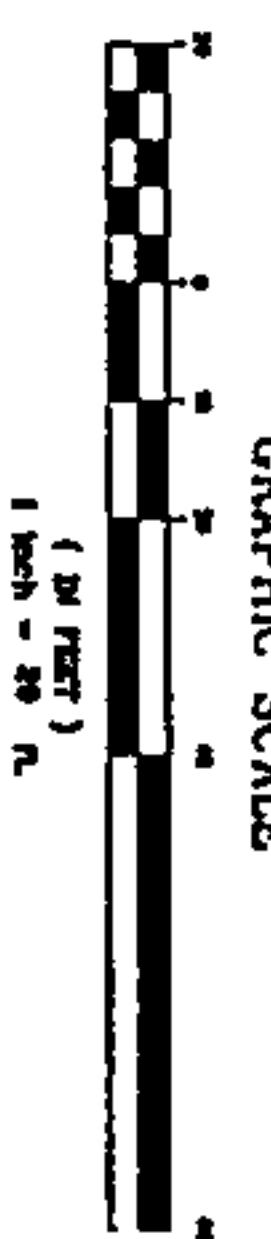
AVION, N.E.

SANTA CLARITA STREET, N.E.



A1 SITE UTILITY PLAN

SCALE: 1" = 30'-0"



GENERAL NOTES:

- A. See sheet C301 for complete list of general notes and symbols/names beyond that apply to all sheets.
- B. See survey for all existing utility and cross lot drainage elements.
- C. Contractor shall field verify site for all existing utilities, (water, sewer, gas, etc.) prior to bidding and provide quantities.

KEYED NOTES

1. Existing waterline to remain.
2. Existing water valve to remain.
3. Existing fire hydrant to remain.
4. Existing sanitary sewer line.
5. Existing sanitary sewer manhole.
6. Install fire department connection per detail E3/C504.
7. Install sanitary sewer double cleanout per detail E3/C503.
8. Install 4" PVC SDR 35 sanitary sewer line.
9. Connect to existing sanitary sewer stub out.
10. Light pipe see electrical drawings for details.
11. Existing monitoring well to remain. Protect during construction.
12. Electrical equipment see electrical plans.
13. Install 1 1/2" water service line without curb stop.
14. Install new 1 1/2" water meter in existing meter box per City of Albuquerque Standard Drawing 2387.
15. Install 2" x 1 1/2" reducer in domestic water line.
16. Install 2" Sch 40 PVC waterline.
17. Install 3" band in Sch 40 PVC waterline.
18. Connect 1/2" suppression service to building.
19. Install 4" DI fire suppression waterline.
20. Install 4" x 45' DI band in fire suppression waterline.
21. Connect to building. See mechanical plans for construction.
22. Existing natural gas line.
23. Existing storm sewer.
24. Install storm sewer manhole.
25. Install sanitary sewer terminal cleanout per detail E3/C503.
26. Install sanitary sewer stop.
27. Some cut, remove and replace capblock as necessary (minimum 4' max) replace in hard plan 2' of capblock thickness.
28. Install 4" tapping saddle and capblock stop for new fire line onto existing water main.
29. Existing electrical lines.
30. Connect primary feed. See Electrical Plans.
31. Install 4" x 22.5' DI band in fire suppression waterline.
32. Primary power conduit and conductors. See Elec Plans.
33. Install 4" x 90' DI elbow in fire suppression waterline.
34. Install sanitary sewer manhole cleanout per detail E3/C503.
35. Install 8" water branch drain. See grading plans for details.
36. Install 8" PVC storm drain line.
37. Install 12" PVC storm drain line.
38. Install 12" HOPE end section and transition coupling.
39. Electrical Transformer.
40. Secondary Power Line. See Electrical Plans.
41. Main disconnect. See Electrical Plans.
42. Install 12" x 45' band in storm drain line.
43. Install 12" x 45' band in storm drain line.
44. Install 12" x 45' reducer.

<p>ARCHITECTS</p> <p>THE DESIGN GROUP</p> <p>18-2-07</p>		<p>DATE: 11.18.07</p> <p>PROJECT: DRUG</p> <p>DRAWN BY: DM</p> <p>CHECKED BY: TWH</p> <p>SCALE: 1" = 30'-0"</p> <p>DATE: 2007</p> <p>THIS DOCUMENTARY PREPARED BY THE ARCHITECT FOR THE PROJECT AND DOES NOT CONSTITUTE AN OFFER OF INSURANCE OR FINANCIAL SERVICES.</p>
<p>SITE UTILITY PLAN</p> <p>C301</p>		<p>DATE: 11.18.07</p> <p>PROJECT: DRUG</p> <p>DRAWN BY: DM</p> <p>CHECKED BY: TWH</p> <p>SCALE: 1" = 30'-0"</p> <p>DATE: 2007</p> <p>THIS DOCUMENTARY PREPARED BY THE ARCHITECT FOR THE PROJECT AND DOES NOT CONSTITUTE AN OFFER OF INSURANCE OR FINANCIAL SERVICES.</p>

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 2/22/07

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

David White 10-5-07
Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Preliminary Grading Plan (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. Building and Structure Elevations
5. Conceptual Utility Plan
6. Previously approved Development Plan (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. Written project summary. Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision ✓
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' [Other scales as approved by staff]
3. Bar scale ✓
4. North arrow ✓
5. Scaled vicinity map ✓
6. Property lines (clearly identify) ✓
7. Existing and proposed easements (identify each) ✓
8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 2/22/07

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) ✓
- B. Square footage of each structure ✓
- C. Proposed use of each structure ✓
- D. Temporary structures, signs and other improvements ✓
- E. Walls, fences, and screening: indicate height, length, color and materials ✓
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities ✓
- H. Site lighting (indicate height & fixture type) = NO ELEVATION DRAWING
- I. Indicate structures within 20 feet of site ✓
- J. Elevation drawing of refuse container and enclosure, if applicable. (will be shown on original before meeting. ?)

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled. *where are parking calcs.*
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 55 provided: 55
Handicapped spaces required: 4 provided: 4
Motorcycle spaces required: 3 provided: 3
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 3 provided: 5
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities *Nearest is on San Pedro*

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 2/22/07

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

Nothing close by.

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

All one Phase

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- 15. Planting or tree well detail
- 16. Street Tree Plan as defined in the Street Tree Ord.

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 2/22/07

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

All walls on perimeter are existing.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

194x75 =

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale *No bar scale.*
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation ✓
 - 2. Dimensions of facade elements, including overall height and width ✓
 - 3. Location, material and colors of windows, doors and framing ✓
 - 4. Materials and colors of all building elements and structures ✓
 - 5. For EPC and DRB submittals only – Color renderings or similar illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s) ✓
- 2. Sign elevations to scale ?
- 3. Dimensions, including height and width ?
- 4. Sign face area - dimensions and square footage clearly indicated ?
- 5. Lighting ?
- 6. Materials and colors for sign face and structural elements. ?

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING & PLANNING	Z
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input checked="" type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		
		APPEAL / PROTEST of...	A
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: San Pedro Equities, LLC PHONE: 315-0312
 ADDRESS: 4101 Indian School NE #400 FAX: 998-9099
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: N/A
 Proprietary interest in site: Owner List all owners: _____
 AGENT (if any): Precision Surveys, Inc. PHONE: 856-5700
 ADDRESS: 8500-A Jefferson N.E. FAX: 856-7900
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: presurv@presurv.com

DESCRIPTION OF REQUEST: To vacate a private easement + grant a new private easement and Prelim/Final Plat.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. B and C / TBKA B-1 and C-1 Block: N/A Unit: N/A
 Subdiv. / Adn. Paseo Nuevo 2
 Current Zoning: SU-2/0-1 Proposed zoning: SU-2/0-1
 Zone Atlas page(s): C-18 No. of existing lots: 2 No. of proposed lots: 2
 Total area of site (acres): 2.0244ac. Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 101806435206940206, 101806433806940205, MRGCD Map No. N/A
 LOCATION OF PROPERTY BY STREETS: On or Near: Holly Ave. NE
 Between: San Pedro Drive NE and Ville Court NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 1005132
07DRB00137

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Lisa Parish DATE 3-27-07
 (Print) LISA PARISH Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07DRB - 00385</u>	<u>VPRE</u>		<u>\$ 45.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>07DRB - 00386</u>	<u>P&F</u>		<u>\$ 285.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$
	Hearing date <u>04/04/07</u>			Total
				<u>\$ 350.00</u>

Sandy Hundley 03/27/07
 Planner signature / date

Project # 1005132

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- ___ Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
- ___ Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
- ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
- ___ Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**.
(Not required for dedicated and City owned public right-of-way.)
- ___ Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **24 copies**
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Fee (see schedule)
- ___ Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DPM)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the variance or waiver
- ___ Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the deferral or extension
- ___ Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

- ___ The complete document which created the private easement (not to exceed 8.5" by 14") **6 copies**
- ___ Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the vacation
- ___ Letter of authorization from the grantors and the beneficiaries
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF RECORDED PLAT

- ___ 6 copies of the recorded plat to be vacated.
- ___ 6 copies of documents justifying the vacation.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter describing, explaining, and justifying the vacation
- ___ Any original and/or related file numbers are listed on the cover application
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Lisa Parish
Applicant name (print)
Lisa Parish 3-26-07
Applicant signature / date



Form revised 4/03, 10/03 and APRIL 2006

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
OTDRB-00385

Sandy Handley 03/27/07
Planner signature / date
Project #: 1005132

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Lisa Parish
Lisa Parish Applicant name (print)
 Applicant signature / date 3-27-07



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers

07DRB - 00386

Form revised 3/03, 8/03 and 11/03

Sandy Handley 03/27/07
 Planner signature / date

Project # 1005132



8500-A Jefferson Street, NE
Albuquerque, NM 87113

866.422.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX
www.precision-surveys.com

March 27, 2007

Ms. Sheran Matson, AICP
Chair, Development Review Board
Planning/Development Services Division
600 2nd Street, NW
Albuquerque, NM 87102

RE: REQUEST FOR PRELIMINARY/FINAL PLAT, TRACTS A AND B, PASEO NUEVO 2 TBKA TRACTS B-1 AND C-1, PASEO NUEVO 2 LOCATED ON HOLLY AVENUE N.E. BETWEEN SAN PEDRO DRIVE N.E. AND VILLE COURT N.E., ZONE ATLAS C-18. *Vacation of private Easement,*

Dear Ms Matson,

On behalf of our client, San Pedro Equities, LLC., we are submitting an application for a Preliminary/Final plat. This re-plat is to vacate a private easement and to grant a new private easement.

Enclosed are the required submittals.

If you have any questions or need additional information, please do not hesitate to contact our office at 856-5700.

Sincerely,

Lisa Parish
Precision Surveys



8500-A Jefferson Street, NE
Albuquerque, NM 87113

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March 27, 2007

Ms. Sheran Matson, AICP
Chair, Development Review Board
Planning/Development Services Division
600 2nd Street, NW
Albuquerque, NM 87102

**RE: REQUEST FOR PRELIMINARY/FINAL PLAT, TRACTS A AND B, PASEO
NUEVO 2 TBKA TRACTS B-1 AND C-1, PASEO NUEVO 2 LOCATED ON
HOLLY AVENUE N.E. BETWEEN SAN PEDRO DRIVE N.E. AND VILLE
COURT N.E., ZONE ATLAS C-18.**

Dear Ms Matson,

On behalf of our client, San Pedro Equities, LLC., we are submitting an application for a Preliminary/Final plat. This re-plat is to vacate a private easement and to grant a new private easement.

Enclosed are the required submittals.

If you have any questions or need additional information, please do not hesitate to contact our office at 856-5700.

Sincerely,

A handwritten signature in black ink, appearing to read 'Lisa Parish', written in a cursive style.

Lisa Parish
Precision Surveys

Attn: Sandy

San Pedro Equities, Ltd.
4100 Indian School Rd. NE
Albuquerque, NM

March 27, 2007

Re: Project # 1005132

VIA FAX: 924-3864

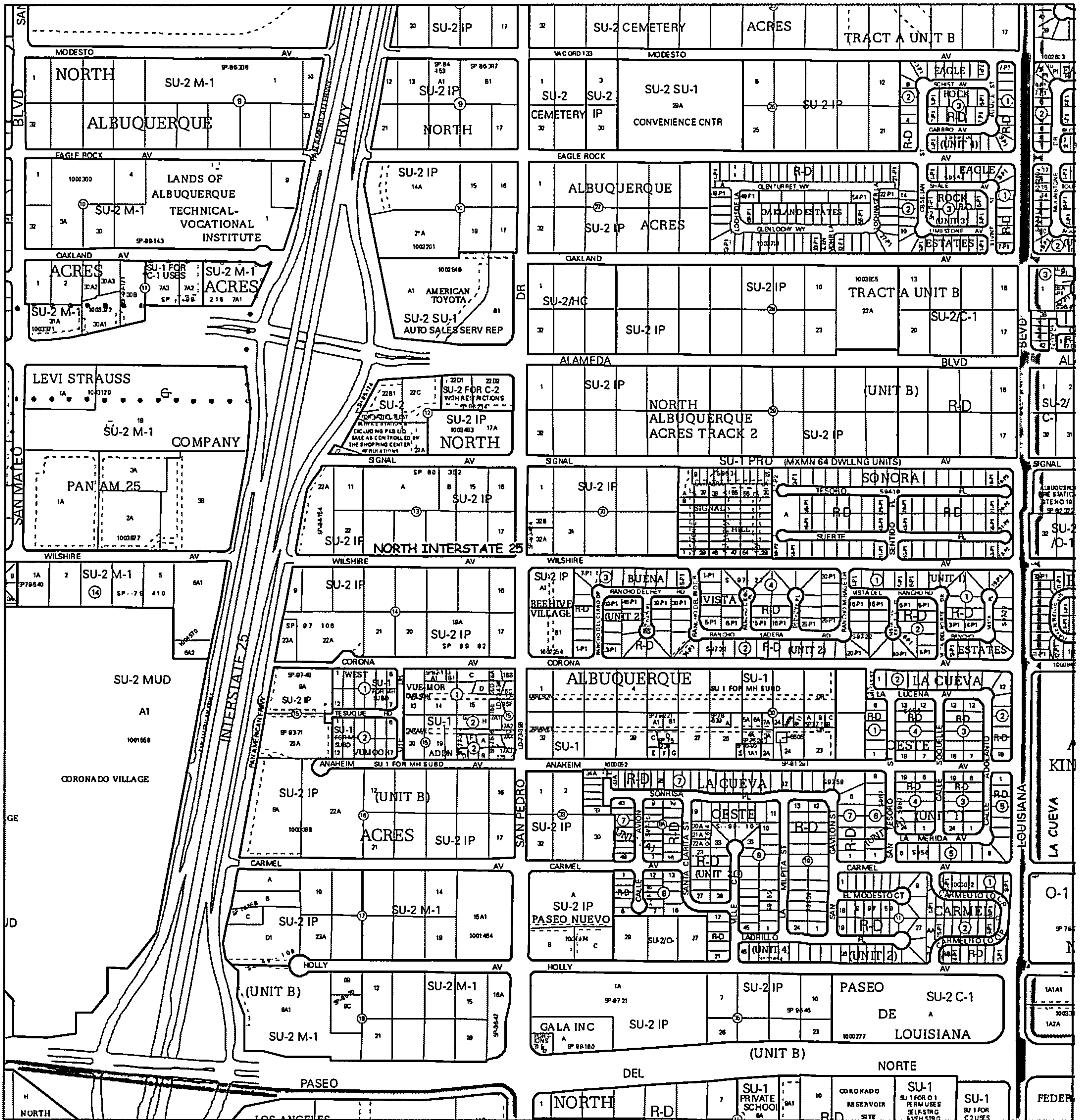
To Whom It May Concern:

Precision Surveying has my authority to act as agent for project # 1005132.

Sincerely,

Randy Schmille

Randy Schmille, Managing Member
San Pedro Equities, Ltd.



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 3/22/2007

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-18-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1500 Feet

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME SAN PEDRO EQUITIES LLC
AGENT PRECISION SURVEYS INC
ADDRESS 8500-A JEFFERSON NE
PROJECT & APP # 1005132/07 DRB 00385,00386
PROJECT NAME TRB-1 & C-1 PASEO NUEVO 2

- \$ 20.00 441032/3424000 Conflict Management Fee
- \$ 330.00 441006/4983000 DRB Actions
- \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
- \$ _____ 441018/4971000 Public Notification
- \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 350.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

3/27/07
RECEIVED
ACCOUNT
ACTIVITY
TRANS
J24 N

PRECISION SURVEYS, INC.
8414-D JEFFERSON ST. NE
ALBUQUERQUE, NM 87113

1142

DATE 3-27-07 DATE
City of Albuquerque
Treasury Div. \$ 350.00

PAY TO THE ORDER OF City of Albuquerque

Three Hundred Fifty dollars 00/100

IronStone Bank
Albuquerque, NM 87109
www.ironstonebank.com

FOR Submit 079317

RECEIVED 00073132 USH...
Account 441006 Fund 0110
Act. by 4983000 TR5LJG
\$350.00
330.00
10.00

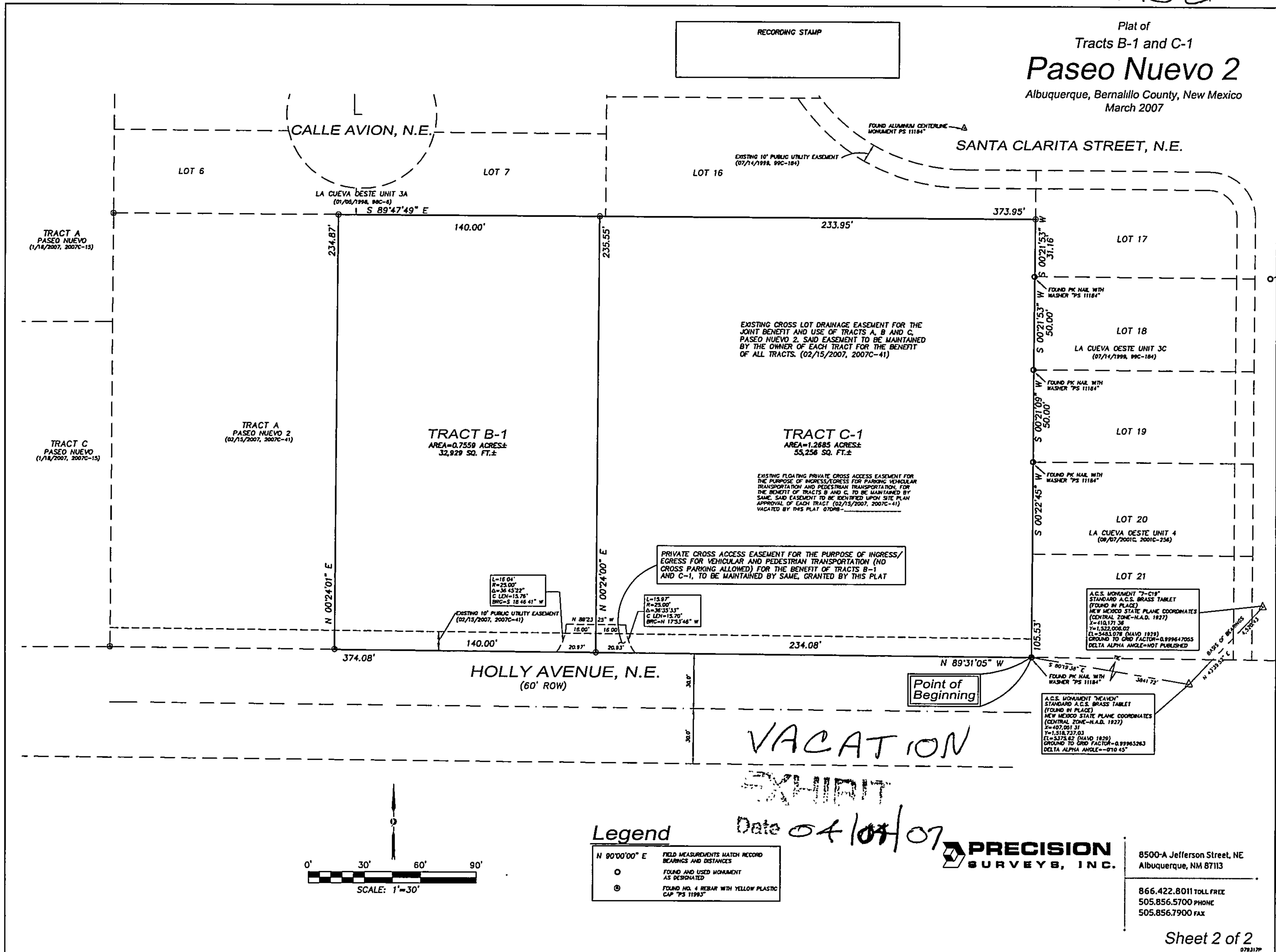
001142 10089652000460019387

Thank You

1005132

Plat of
Tracts B-1 and C-1
Paseo Nuevo 2
Albuquerque, Bernalillo County, New Mexico
March 2007

RECORDING STAMP



EXISTING CROSS LOT DRAINAGE EASEMENT FOR THE JOINT BENEFIT AND USE OF TRACTS A, B AND C, PASEO NUEVO 2. SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS. (02/15/2007, 2007C-41)

EXISTING FLOATING PRIVATE CROSS ACCESS EASEMENT FOR THE PURPOSE OF INGRESS/EGRESS FOR PARKING VEHICULAR TRANSPORTATION AND PEDESTRIAN TRANSPORTATION, FOR THE BENEFIT OF TRACTS B AND C, TO BE MAINTAINED BY SAME. SAID EASEMENT TO BE IDENTIFIED UPON SITE PLAN APPROVAL OF EACH TRACT (02/15/2007, 2007C-41) VACATED BY THIS PLAT 07098

PRIVATE CROSS ACCESS EASEMENT FOR THE PURPOSE OF INGRESS/EGRESS FOR VEHICULAR AND PEDESTRIAN TRANSPORTATION (NO CROSS PARKING ALLOWED) FOR THE BENEFIT OF TRACTS B-1 AND C-1, TO BE MAINTAINED BY SAME, GRANTED BY THIS PLAT

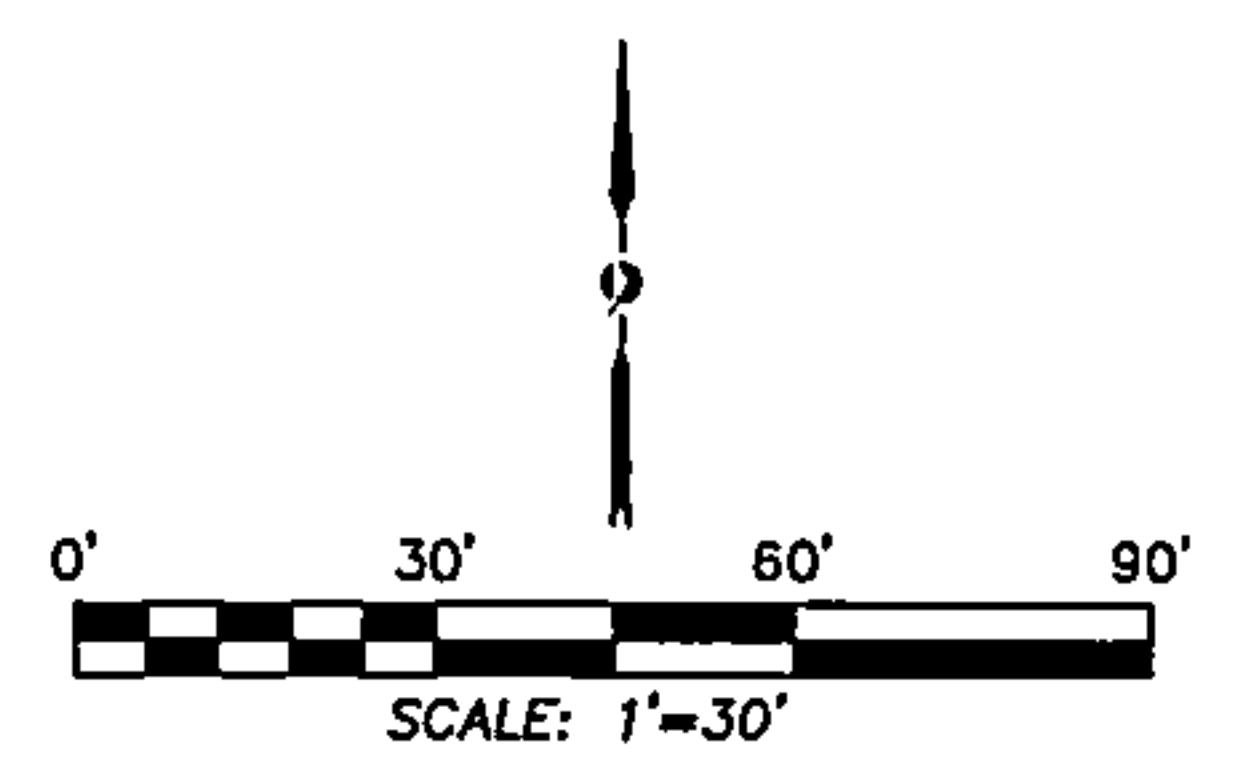
TRACT B-1
AREA=0.7559 ACRES±
32,929 SQ. FT.±

TRACT C-1
AREA=1.2685 ACRES±
55,256 SQ. FT.±

VACATION

EXHIBIT

Date 04/04/07



Legend

- N 80°00'00" E FIELD MEASUREMENTS MATCH RECORD BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- ⊙ FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11983"

PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
Albuquerque, NM 87113

866.422.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX



#6

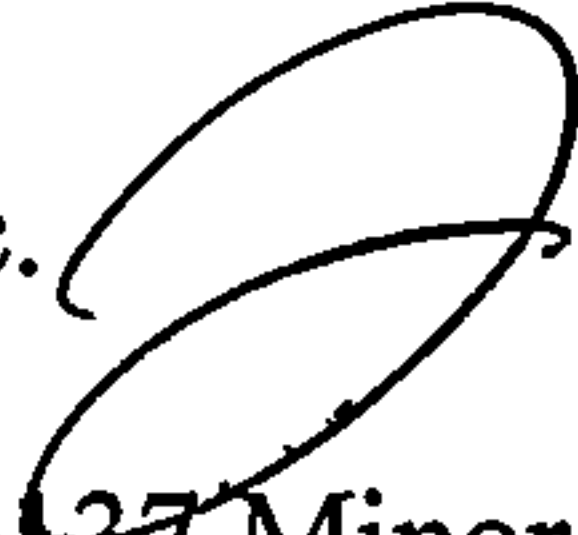
INTERA Incorporated
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: February 8, 2007

TO: Sheran Matson, Planning Department – Design Review Board

COPY: Rhonda Methvin, Environmental Health Department
Kevin Curran, Legal Department
Precision Surveys Inc.

FROM: Jim Joseph, P.E., INTERA Inc. 

SUBJECT: Project # 1005132, 07DRB-00137 Minor-Prelim&Final Plat Approval, Lots 27-29, Block 34, Unit B, Tract A, North Albuquerque Acres (to be known as Tracts A & B, Paseo Nuevo 2), Located on Holly Ave. NE between San Pedro Dr. NE and Ville Ct. NE, containing approximately 3 acres.

The above-referenced project is within the former buffer zone of a former privately owned/operated landfill (Holly Avenue Landfill). The landfill was removed during March 2005 and no longer provides a source for potential landfill gas impacts. Therefore, the Albuquerque Environmental Health Department has exempted the project from following the most current version of the “City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones.” The project may proceed through the development process provided all other City requirements are met.



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www.precisionsurveys.com

February 12, 2007

Ms. Sheran Matson, AICP
Chair, Development Review Board
Planning/Development Services Division
600 2nd Street, NW
Albuquerque, NM 87102

**RE: REQUEST FOR PRELIMINARY/FINAL PLAT, TRACTS A AND B, PASEO
NUEVO 2 LOCATED ON HOLLY AVENUE N.E. BETWEEN SAN PEDRO
DRIVE N.E. AND VILLE COURT N.E., ZONE ATLAS C-18.**

Dear Ms Matson,

On behalf of our client, San Pedro Equities, LLC., we are submitting an application for a Preliminary/Final plat. This re-plat will consolidate the existing three tracts into three new tracts and to grant easements also to dedicate additional right of way for Holley Avenue N. E.

We submitted this re-plat as three lots to two lots. The owner decided they wanted to go three lots to three lots. The new drawing has been submitted with this letter.
Enclosed are the required submittals.

If you have any questions or need additional information, please do not hesitate to contact our office at 856-5700.

Sincerely,

A handwritten signature in black ink that reads 'Lisa Parish'. The signature is fluid and cursive, with a large loop at the end.

Lisa Parish
Precision Surveys

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING & PLANNING	Z
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		
		APPEAL / PROTEST of...	A
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: San Pedro Equities, LLC PHONE: 262-2323
 ADDRESS: 4101 Indian School NE # 480 FAX: 998-9099
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: _____
 AGENT (if any): Precision Surveys Inc PHONE: 856-5700
 ADDRESS: 8500-A Jefferson NE FAX: 856-7900
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: presurv@presurv.com

DESCRIPTION OF REQUEST: To replat the existing three lots into two new tracts to grant easements & to dedicate additional R/W for Holly Ave. NE
 Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots 27-29 Block: 34 Unit: B
 Subdiv. / Adn. Tract A, North Albuquerque Acres / T&K A Tracts A+B Paseo Nuevo 2
 Current Zoning: SU-2 IP Proposed zoning: SU-2 IP
 Zone Atlas page(s): C-18 No. of existing lots: 3 No. of proposed lots: 2 3 LP
 Total area of site (acres): 3.0109 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 101806435206940206, 101806433806940205, MRGCD Map No. N/A
 LOCATION OF PROPERTY BY STREETS: On or Near: Holly Avenue NE
 Between: San Pedro Drive NE and Ville Court NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1005132

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____
 SIGNATURE Lisa Parish DATE 2-6-07
 (Print) Lisa Parish Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07 DRB - 00137</u>	<u>P&F</u>	<u>2(3)</u>	<u>\$ 285.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$
	Hearing date <u>02/14/07</u>			Total
				<u>\$ 305.00</u>

Sandy Handley 02/06/07
 Planner signature / date

Project # 1005132

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.

- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer)

NO INTERNAL ROUTING

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Lisa Parish Applicant name (print)
Lisa Parish Applicant signature / date 2-8-07

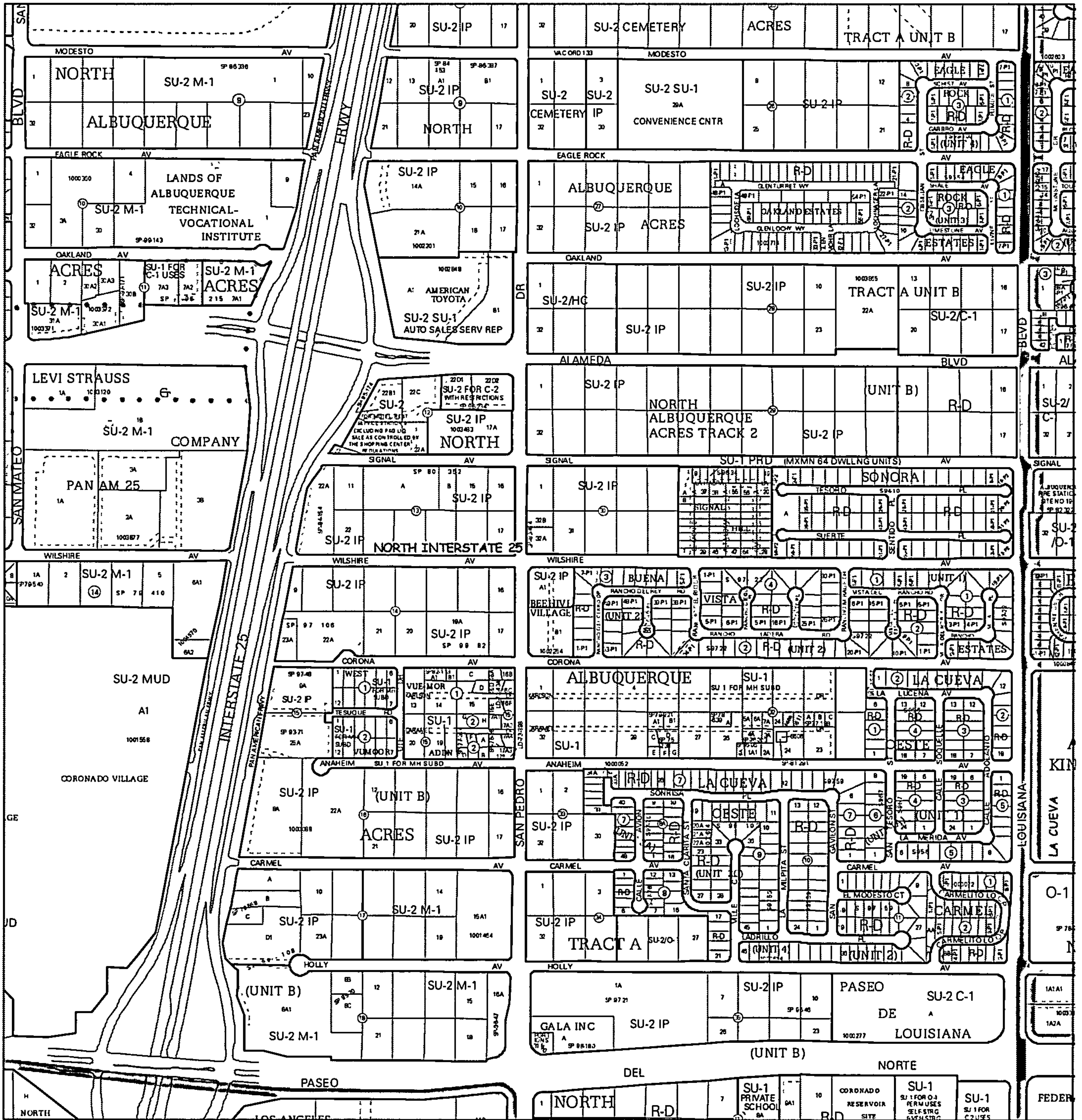


Form revised 3/03, 8/03 and 11/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
07DRB - 00137
 _____ - _____
 _____ - _____

Sandy Handley 02/06/07
 Planner signature / date
 Project # 1005132



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 1/9/2007

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-18-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet



8500-A Jefferson Street, NE
Albuquerque, NM 87113

866.422.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX
www.precisionsurveys.com

February 6, 2007

Ms. Sheran Matson, AICP
Chair, Development Review Board
Planning/Development Services Division
600 2nd Street, NW
Albuquerque, NM 87102

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Enclosed are the required submittals.

If you have any questions or need additional information, please do not hesitate to contact our office at 856-5700.

Sincerely,

A handwritten signature in black ink, appearing to read 'Lisa Parish', written over a horizontal line.

Lisa Parish
Precision Surveys

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME SAN PEDRO EQUITIES
AGENT PRECISION SURVEYS INC
ADDRESS 8500-A JEFFERSON NE
PROJECT & APP # 1005132/07 DRB 00137
PROJECT NAME TR5 A&B PASO NUEVO 2

\$ 20.00 441032/3424000 Conflict Management Fee
\$ 285.00 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 305.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

2/6/2007 11:28AM
RECEIPT 00072725 WSH 006 TRASH 0005
Account 441006 Fund 0110
Activity 4983000
Trans A
J24 MIS
CK
CHANGE

PRECISION SURVEYS, INC.
8414-D JEFFERSON ST. NE
ALBUQUERQUE, NM 87113

DATE 2-6-07

City of Albuquerque
Treasury Division

City of Albuquerque
Treasury Division

1121
95-8965/1070
279

KIDNAP ST. OFFICE
City of Albuquerque
Treasury Division

PAY TO THE ORDER OF
\$305.00
\$305.00
\$0.00

Three Hundred Five Dollars 00/100

IronStone Bank
www.ironstonebank.com

FOR Submittal 02-9317

2/6/2007 11:28AM LOC: ANNX
RECEIPT# 00072724 WSH 006 TRASH# 0005
Account 441032 Fund 0110
Activity 342000 TRSCCS
\$305.00 MP
\$20.00

Thank You

1107089652100046001938711