

Location Map
Zone Atlas Map No. C-18-Z
N.T.S.

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 2.0244 ACRES±
 ZONE ATLAS INDEX NO: C-18-Z
 NO. OF TRACTS CREATED: 2
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: JULY 26, 2006, FIELD VERIFIED FEBRUARY 2007

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO VACATE A PRIVATE EASEMENT AND GRANT A NEW PRIVATE EASEMENT.

Notes:

- MISC. DATA: ZONING SU-2/O-1
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES--US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2007042466.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.
 PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
 1. PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 3. QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.
 IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

RECORDING STAMP

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACTS LETTERED B AND C, PASEO NUEVO 2, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 15, 2007, IN PLAT BOOK 2007C, FOLIO 41, CONTAINING 2.0244 ACRES (88,183 SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACTS B-1 AND C-1, PASEO NUEVO 2.

Plat of
 Tracts B-1 and C-1
Paseo Nuevo 2
 Albuquerque, Bernalillo County, New Mexico
 March 2007

Project No. 1005132

Application No. 07DRB-

Utility Approvals

PNM ELECTRIC SERVICES	PRELIMINARY PLAT	DATE
PNM GAS SERVICES	APPROVED BY DRB	DATE
QWEST TELECOMMUNICATIONS	ON 4/10/07	DATE

COMCAST DATE

City Approvals
 CITY SURVEYOR *[Signature]* DATE 3-27-07

REAL PROPERTY DIVISION DATE

ENVIRONMENTAL HEALTH DEPARTMENT DATE

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT DATE

WATER UTILITY DEPARTMENT DATE

PARKS AND RECREATION DEPARTMENT DATE

AMAFCA DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 03/26/2007
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE



PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

[Signature] Managing Member 3/26/07
 RANDY SCHMILLE
 MANAGING MEMBER
 SAN PEDRO EQUITIES, LLC
 DATE

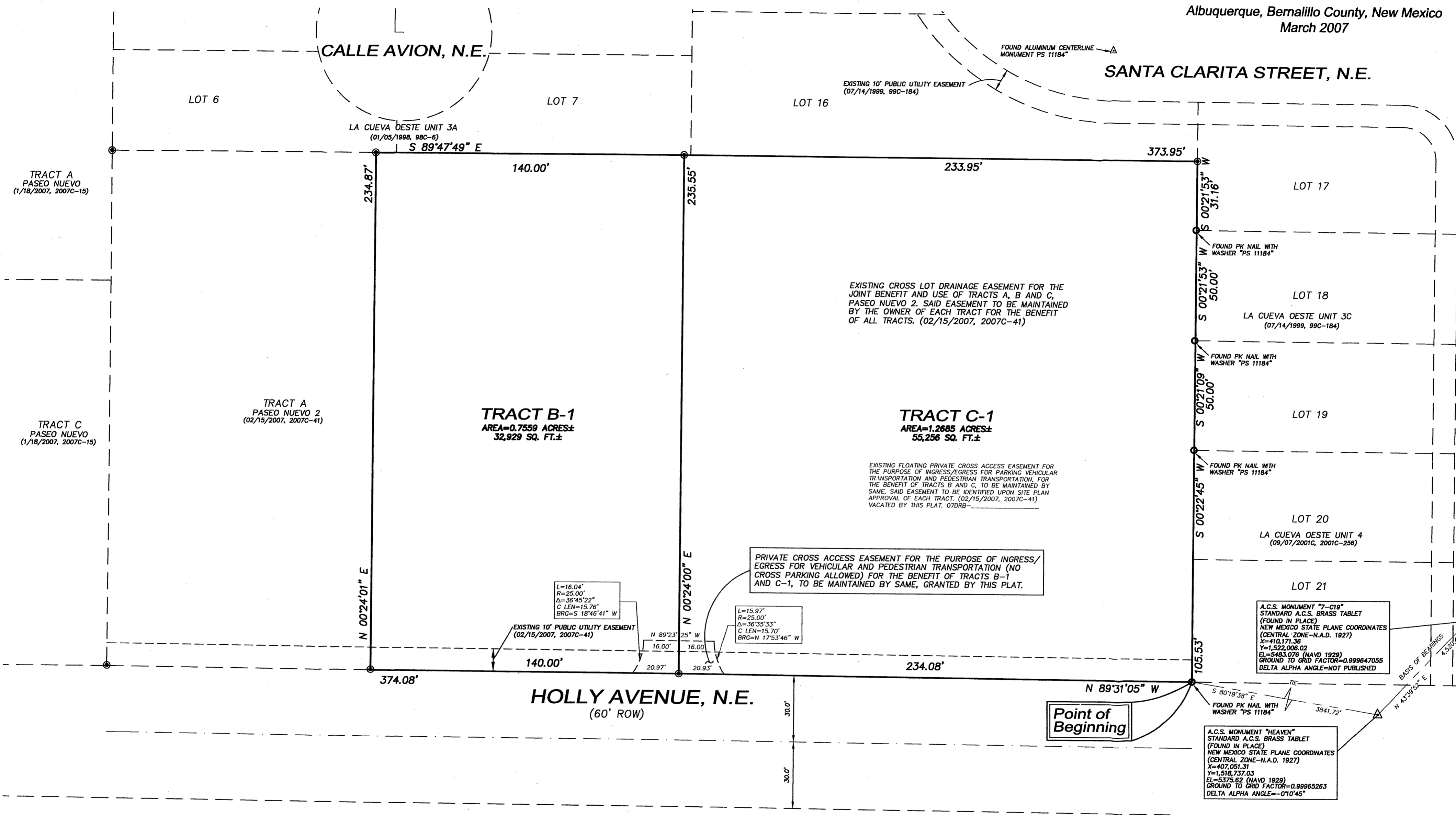
Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 26th DAY OF March, 2007 BY Randy Schmille, Managing Member, San Pedro Equities, LLC
 BY *[Signature]* MY COMMISSION EXPIRES: Aug 22, 2007
 NOTARY PUBLIC

OFFICIAL SEAL
 Lisa Parish
 NOTARY PUBLIC
 STATE OF NEW MEXICO
 My Commission Expires: Aug 22, 2007

Plat of
 Tracts B-1 and C-1
Paseo Nuevo 2
 Albuquerque, Bernalillo County, New Mexico
 March 2007

RECORDING STAMP



EXISTING CROSS LOT DRAINAGE EASEMENT FOR THE JOINT BENEFIT AND USE OF TRACTS A, B AND C, PASEO NUEVO 2. SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS. (02/15/2007, 2007C-41)

EXISTING FLOATING PRIVATE CROSS ACCESS EASEMENT FOR THE PURPOSE OF INGRESS/EGRESS FOR PARKING VEHICULAR TRANSPORTATION AND PEDESTRIAN TRANSPORTATION, FOR THE BENEFIT OF TRACTS B AND C, TO BE MAINTAINED BY SAME, SAID EASEMENT TO BE IDENTIFIED UPON SITE PLAN APPROVAL OF EACH TRACT. (02/15/2007, 2007C-41) VACATED BY THIS PLAT. 07DRB-

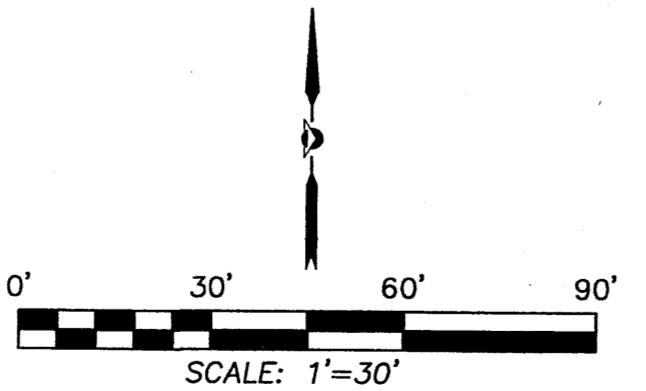
PRIVATE CROSS ACCESS EASEMENT FOR THE PURPOSE OF INGRESS/EGRESS FOR VEHICULAR AND PEDESTRIAN TRANSPORTATION (NO CROSS PARKING ALLOWED) FOR THE BENEFIT OF TRACTS B-1 AND C-1, TO BE MAINTAINED BY SAME, GRANTED BY THIS PLAT.

L=16.04'
 R=25.00'
 Δ=36°45'22\"/>

L=15.97'
 R=25.00'
 Δ=36°35'33\"/>

A.C.S. MONUMENT "7-C19"
 STANDARD A.C.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1927)
 X=410,171.38
 Y=1,522,006.02
 EL=5483.076 (NAVD 1929)
 GROUND TO GRID FACTOR=0.999647055
 DELTA ALPHA ANGLE=NOT PUBLISHED

A.C.S. MONUMENT "HEAVEN"
 STANDARD A.C.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1927)
 X=407,051.31
 Y=1,518,737.03
 EL=5375.62 (NAVD 1929)
 GROUND TO GRID FACTOR=0.99965263
 DELTA ALPHA ANGLE=0°10'45\"/>



Legend

- N 90°00'00" E FIELD MEASUREMENTS MATCH RECORD BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993"

PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
 Albuquerque, NM 87113

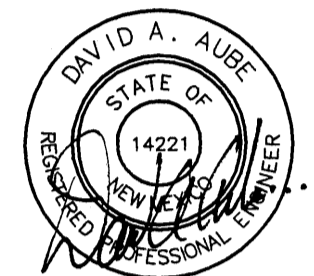
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THE HARTMAN + MAJEWSKI DESIGN GROUP

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10.2.07

Consultant Address Phone Fax e-mail

Bernitsky Eye Facility

6401 Holly Ave. NE Albuquerque, NM 87113

SPBP PRELIMINARY PLAT APPROVED BY DRB ON 10/17/07

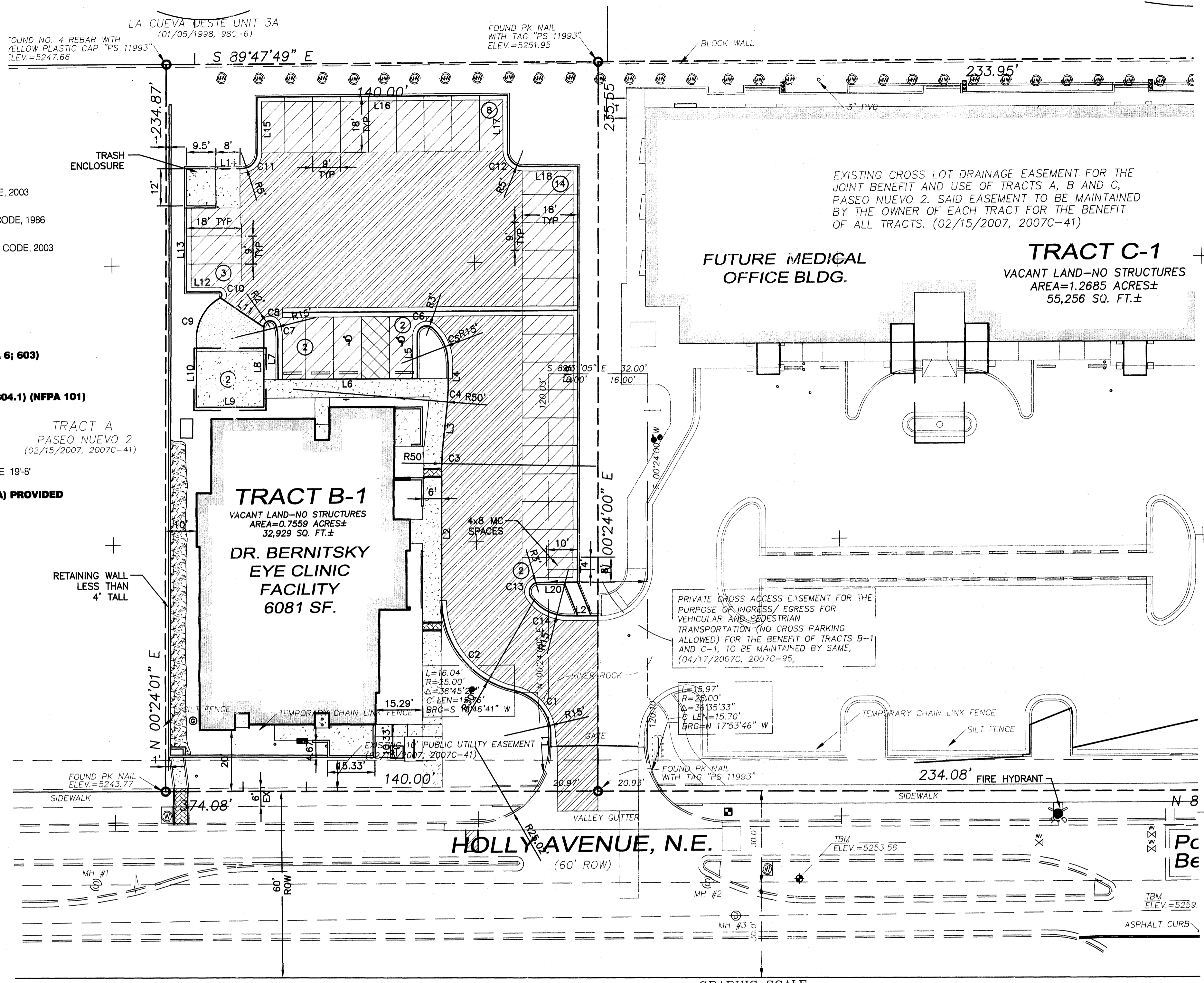
David Bernitsky, M.D.

Table with 3 columns: No., Description, Date

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Project number 2335 Date 9-20-2007 Drawn by DAA Checked by DAA

C101

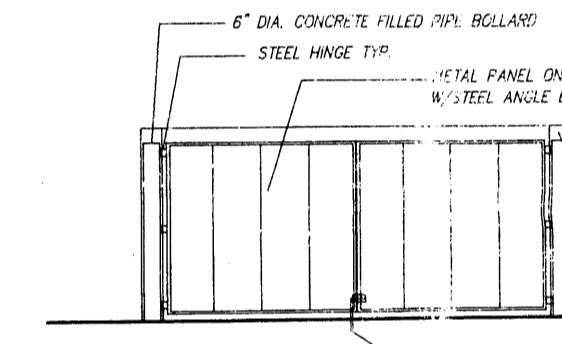
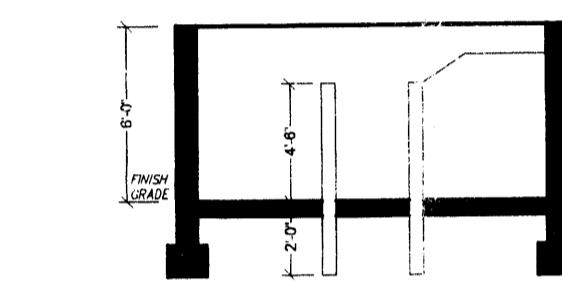
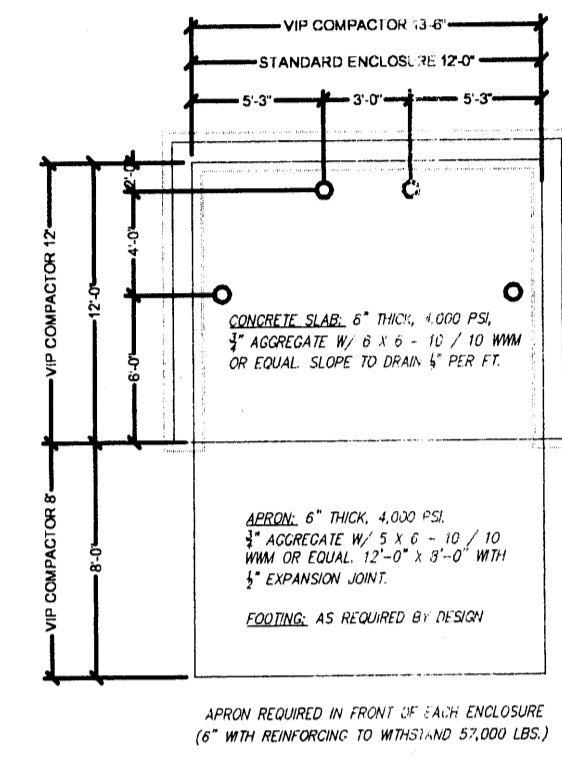


EXISTING CROSS LOT DRAINAGE EASEMENT FOR THE JOINT BENEFIT AND USE OF TRACTS A, B AND C, PASEO NUEVO 2. SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS. (02/15/2007, 2007C-41)

FUTURE MEDICAL OFFICE BLDG. TRACT C-1 VACANT LAND-NO STRUCTURES AREA=1.2685 ACRES± 55,256 SQ. FT.±

TRACT B-1 VACANT LAND-NO STRUCTURES AREA=0.7559 ACRES± 32,929 SQ. FT.± DR. BERNITSKY EYE CLINIC FACILITY 6081 SF.

PRIVATE CROSS ACCESS EASEMENT FOR THE PURPOSE OF INGRESS/EGRESS FOR VEHICULAR AND/OR PEDESTRIAN TRANSPORTATION (NO CROSS PARKING ALLOWED) FOR THE BENEFIT OF TRACTS B-1 AND C-1, TO BE MAINTAINED BY SAME. (04/17/2007C, 2007C-95)



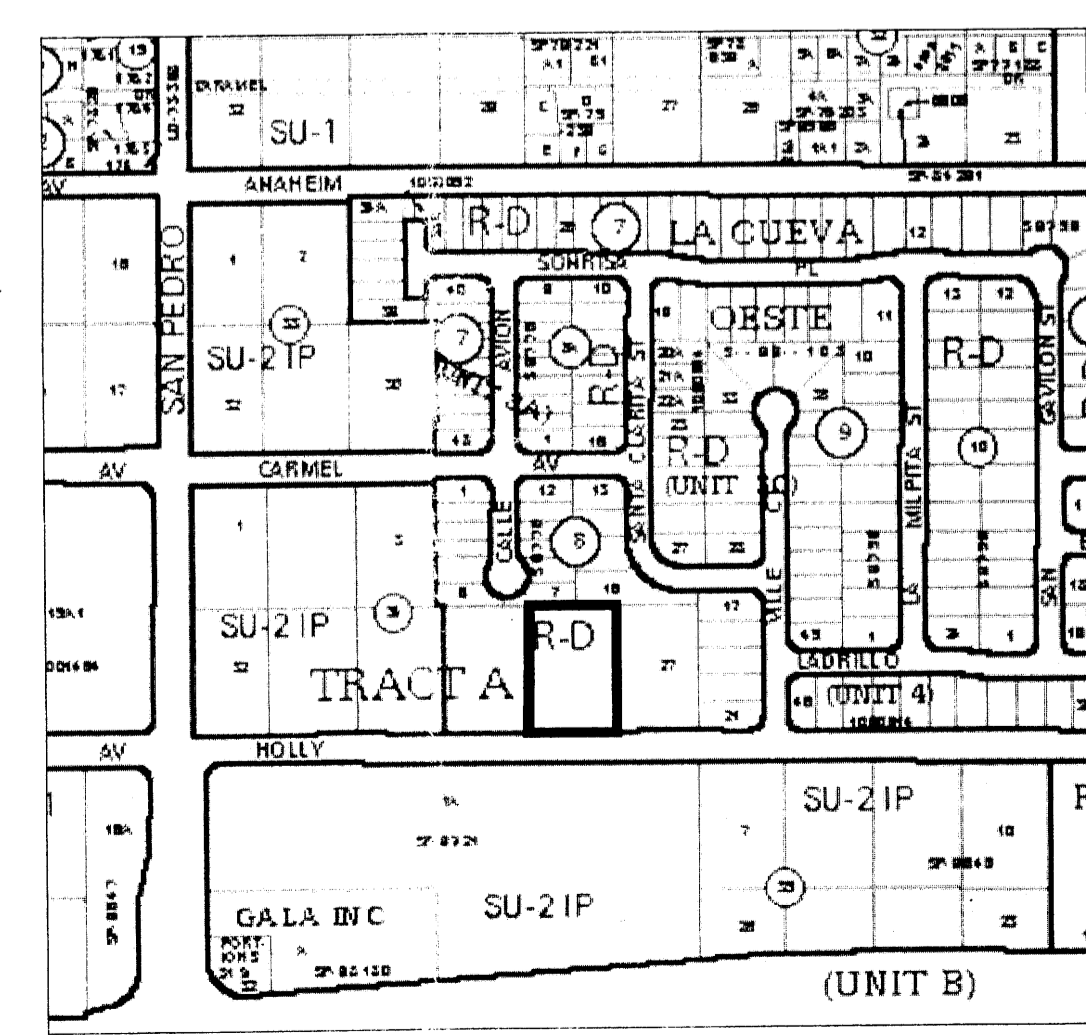
CONCRETE SLAB, 6" THICK, 4,000 PSI. 1" REBAR @ 18" O.C. IN 12" MIN. OR EQUAL. SLOPE TO DRAIN 1/4" PER FT. EXPANSION JOINT. FINISH: AS REQUIRED BY DESIGN.

6" OUTSIDE DIAMETER CONCRETE FILLED STEEL PIPE SHALL BE ENCASED IN 1" CONCRETE ALL AROUND AND EMBEDDED 2'-0". ADVISE ENCLOSURE WILL BE CONSTRUCTED OF 3/8" CONSTRUCTION WITH STRUCTS FINISH TO MATCH MAIN COLOR OF ADJACENT PROPOSED BUILDINGS.

6" DIA. CONCRETE FILLED 70% BOLLARD. STEEL HIRE TYP. METAL PANEL ON 1/2" STEEL TUBE FRAME W/STEEL ANGLE BRACING. PAINT TO MATCH ENCLOSURE. STRUCTURED UMI ENCLOSURE COLOR TO MATCH BLDG. GATE BOLT LOCKING DEVICE.

ELEVATION

B6 VICINITY MAP SCALE: NOT TO SCALE



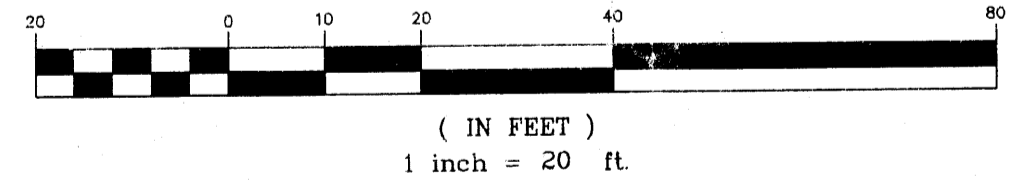
B6 VICINITY MAP SCALE: NOT TO SCALE C-18

- I. APPLICABLE CODES AND REGULATIONS
A. NEW MEXICO COMMERCIAL BUILDING CODE, 2003
B. INTERNATIONAL BUILDING CODE, 2003
C. INTERNATIONAL ENERGY CONSERVATION CODE, 1986
D. ICC/ANSI A117.1 - 2003
E. NEW MEXICO PLUMBING AND MECHANICAL CODE, 2003
F. UNIFORM MECHANICAL CODE, 2003
G. UNIFORM PLUMBING CODE, 2003
H. NEW MEXICO ELECTRICAL CODE, 2002
I. NATIONAL ELECTRICAL CODE, 2002
J. NATIONAL ELECTRICAL SAFETY CODE, 2002
K. LIFE SAFETY CODE / NFPA 101, 2000
II. TYPE OF CONSTRUCTION (IBC CHAPTER 6; 603)
TYPE V-B
III. OCCUPANCY GROUP (IBC CHAPTER 3; 304.1) (NFPA 101)
GROUP B - BUSINESS
IV. NUMBER OF STORIES / SIZE
ONE (1) STORY
HIGHEST STRUCTURAL ELEMENT ABOVE GRADE 19'-8"
V. TOTAL AREA (IBC 502.1, BUILDING AREA) PROVIDED
6,081 SQUARE FOOT BUILDING
+ 691 SQUARE FOOT CANOPY'S
6,772 SQUARE FEET TOTAL
VI. FIRE PROTECTION
FULLY SPRINKLERED
SMOKE DETECTION
FIRE ALARM AND COMMUNICATION SYSTEM
RM #109, #112 NON-SPRINKLED EXEMPTION

TRACT A PASEO NUEVO 2 (02/15/2007, 2007C-41)

RETAINING WALL LESS THAN 4' TALL

GRAPHIC SCALE



A1 SITE DEVELOPMENT PLAN FOR SUBDIVISION

SCALE: 1" = 20'-0"

CURVE TABLE with columns: CURVE, LENGTH, RADIUS, TANGENT, DELTA

LINE TABLE with columns: LINE, LENGTH, BEARING

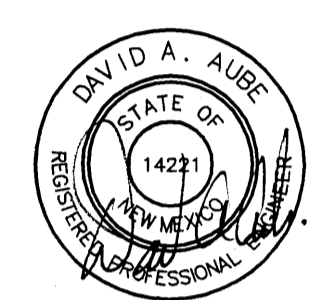
- LEGEND
NEW ASPHALT PAVING
NEW ASPHALT DRIVE LANES
NEW SIDEWALK
NEW LIGHT POLE 24' TALL

PROJECT NUMBER: APPLICATION NUMBER: This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on and the findings and conditions in the Official Notification of Decision are satisfied. Is an Infrastructure List required? () YES () NO if yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements. DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL. Traffic Engineering, Transportation Division Date Water Utility Department Date Parks and Recreation Department Date City Engineer Date Environmental Health Department Date Solid Waste Management Date DRB Chairperson, Planning Department Date * Environmental Health, if necessary



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9-20-07

Consultant
Address
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Phone
Fax
e-mail

Bernitsky Eye Facility

6401 Holly Ave. NE
Albuquerque, NM 87113

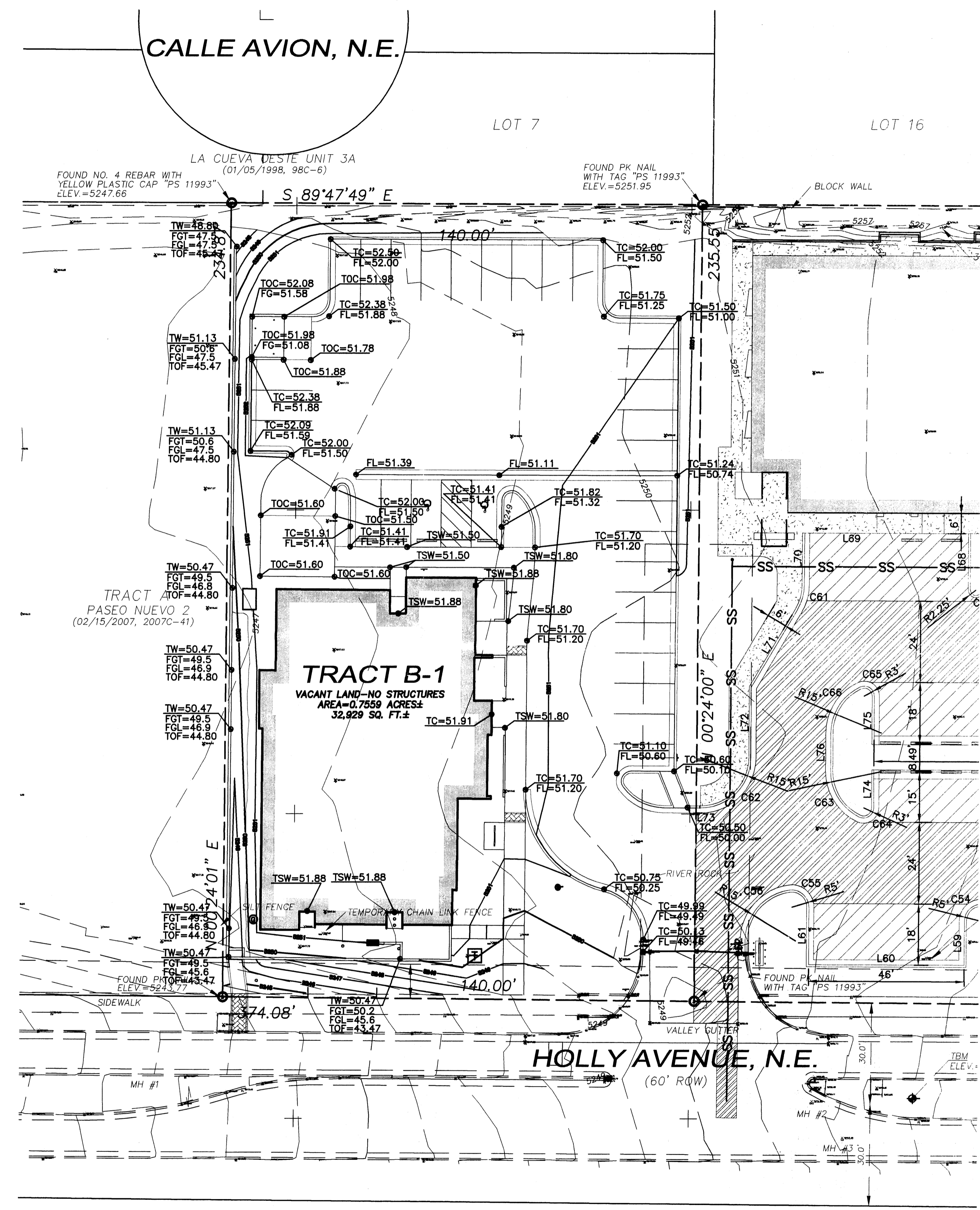
David Bernitsky, M.D.

No.	Description	Date

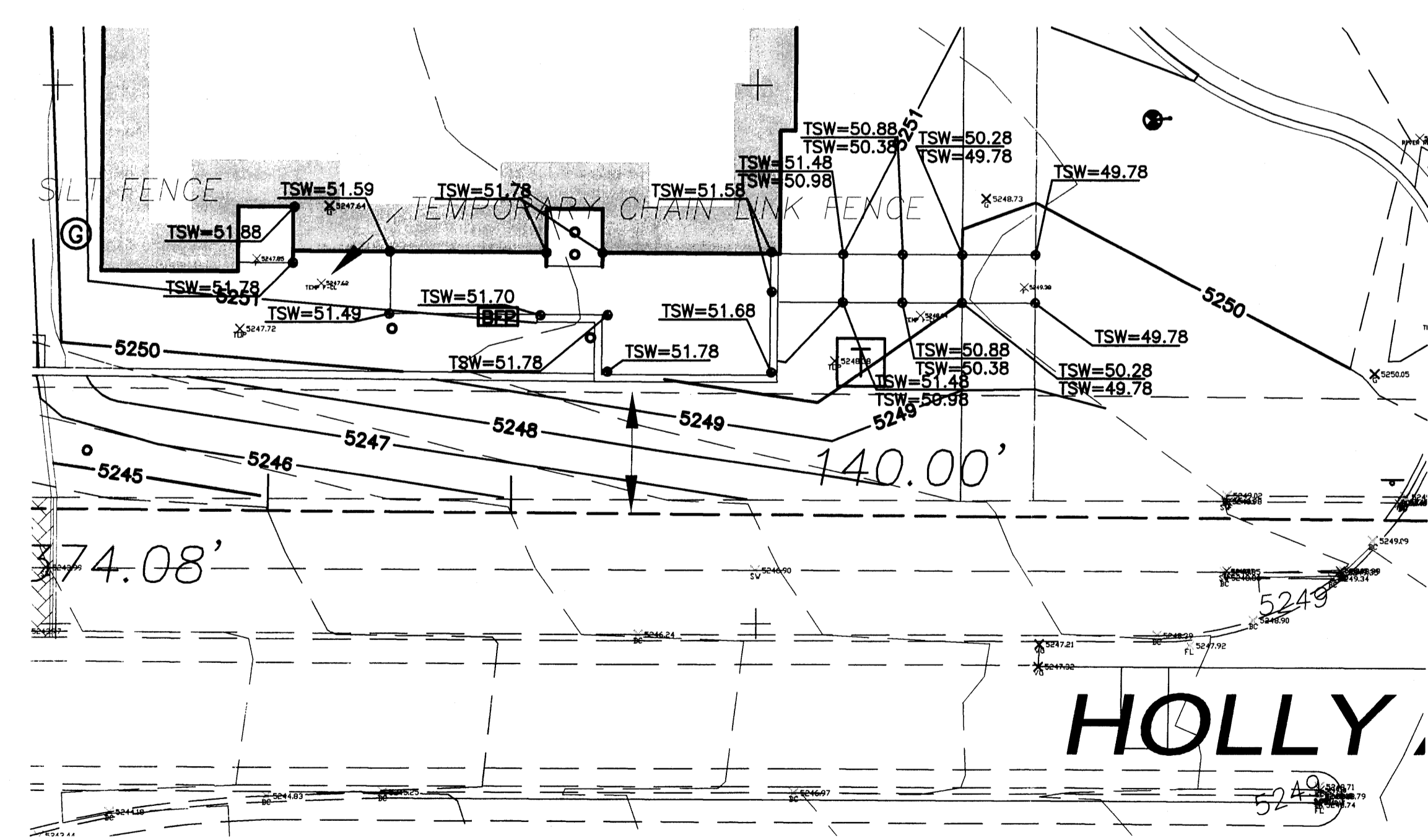
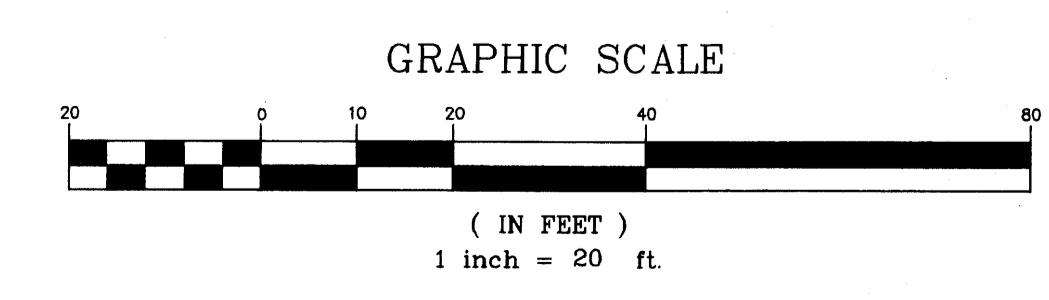
SITE GRADING PLAN

Project number	2335
Date	9-20-2007
Drawn by	DAA
Checked by	DAA

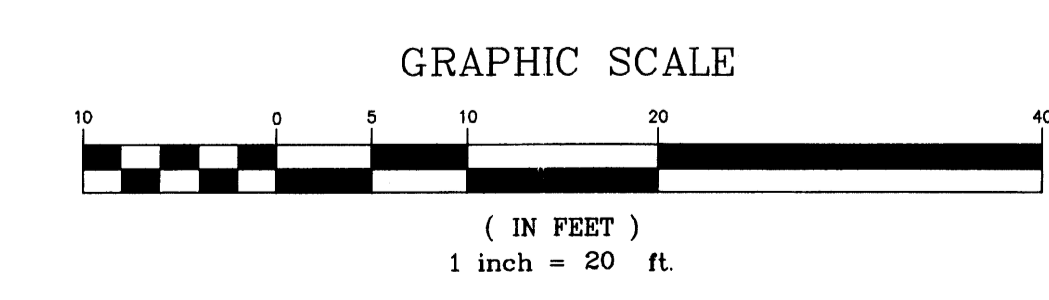
C201



A1 SITE GRADING PLAN
SCALE: 1" = 20'-0"



A4 ENLARGED GRADING PLAN
SCALE: 1" = 10'-0"

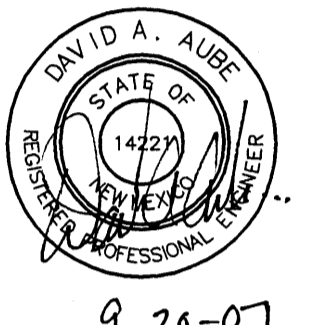


Scale



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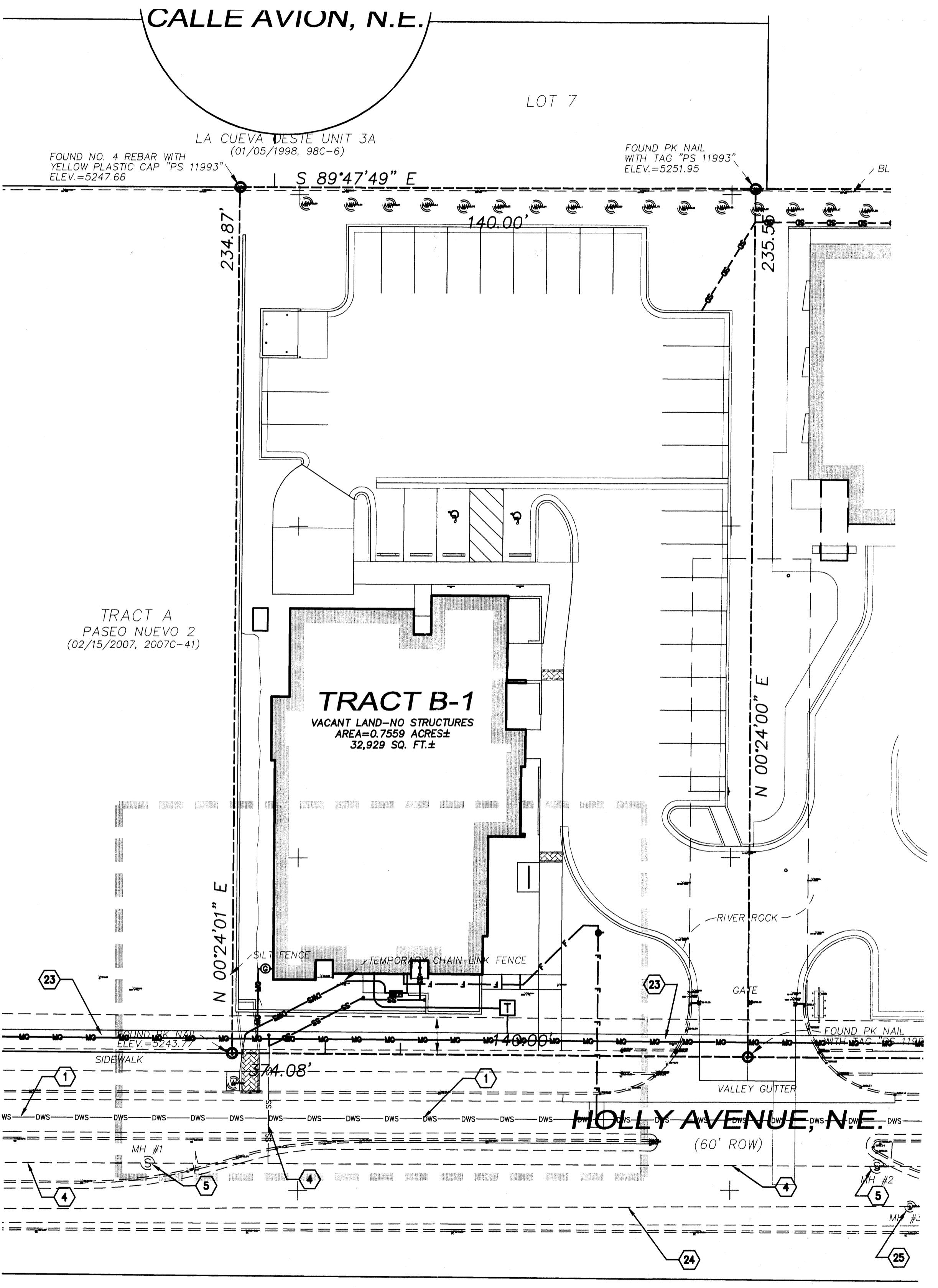
David Bernitsky, M.D.

No.	Description	Date

SITE UTILITY PLAN

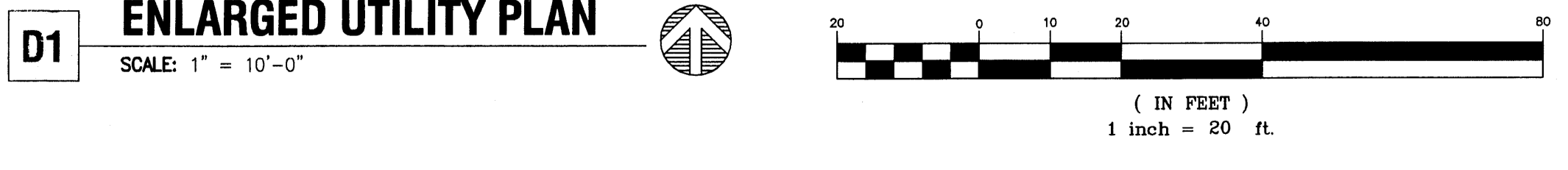
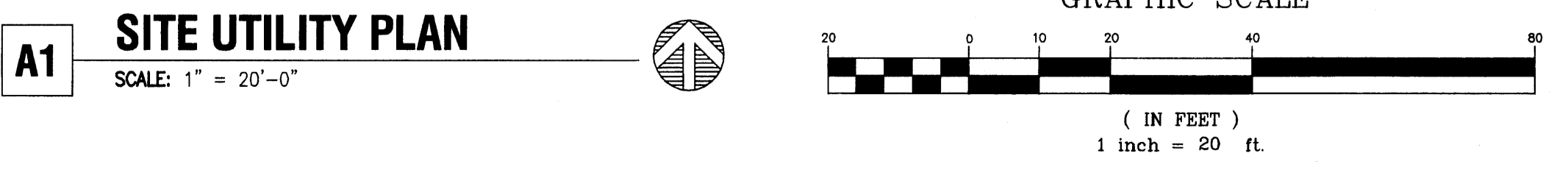
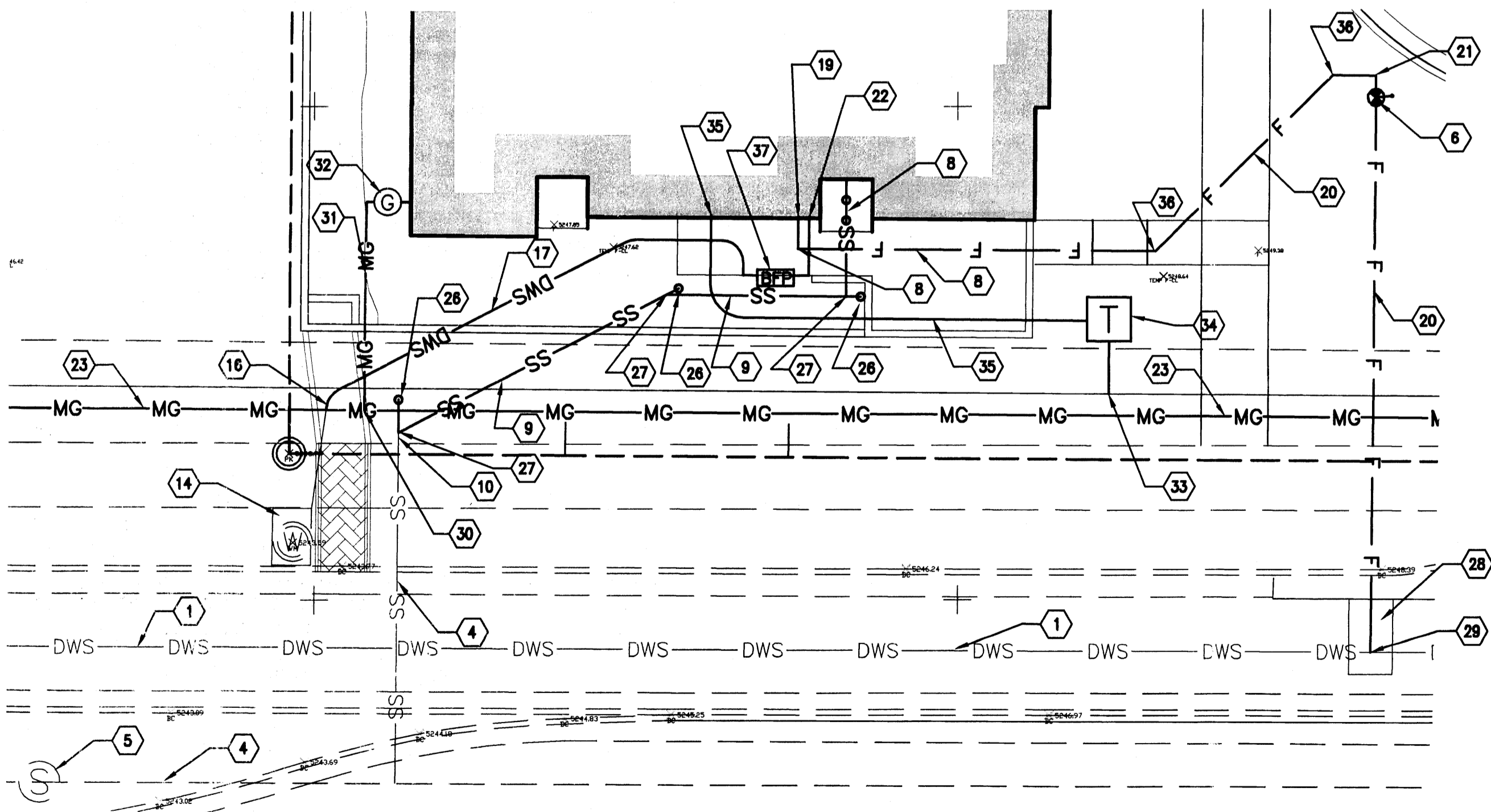
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Date	9-20-2007
Drawn by	DAA
Checked by	DAA

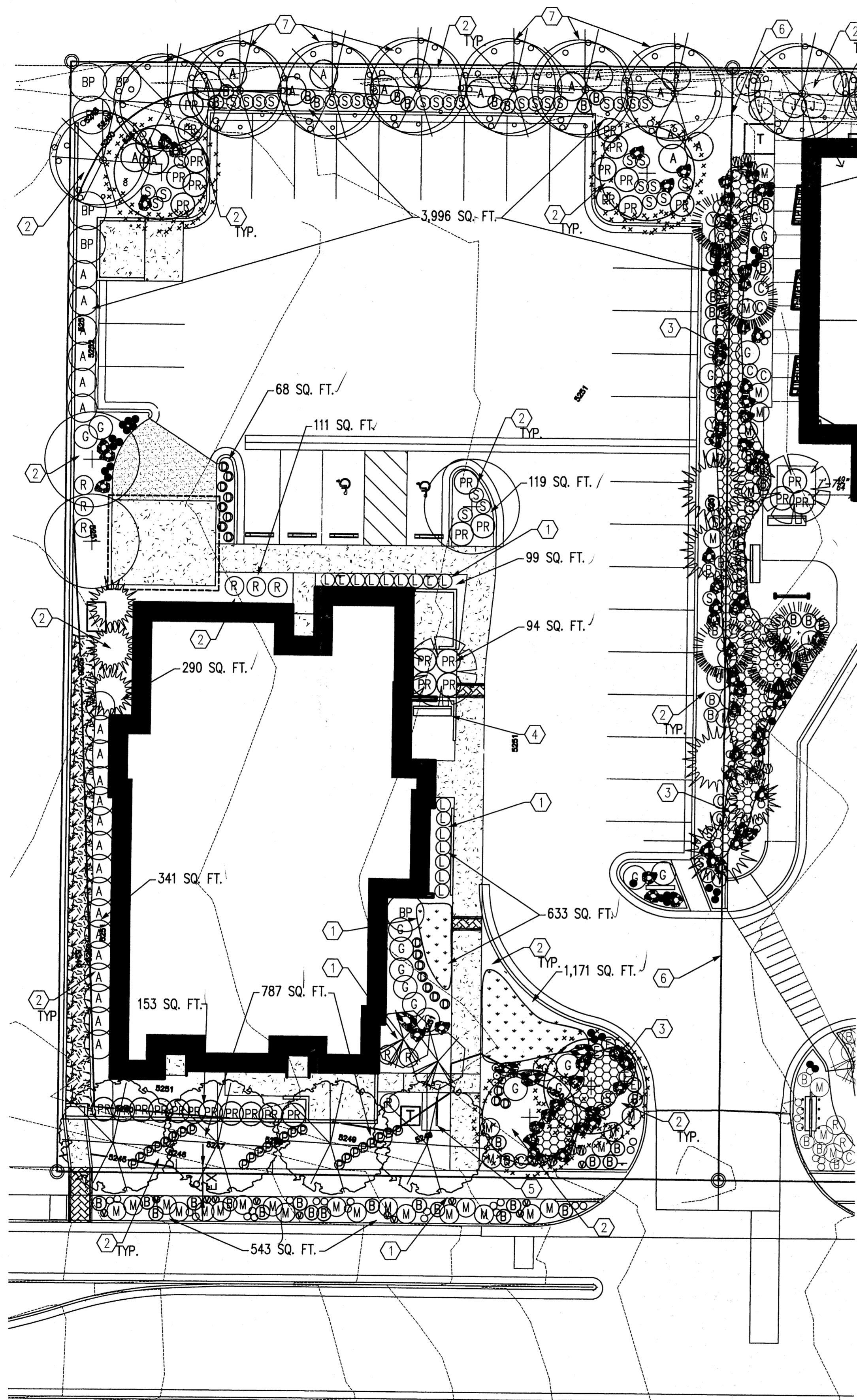
C301



- KEYED NOTES**
- EXISTING WATERLINE TO REMAIN.
 - EXISTING WATER VALVE TO REMAIN.
 - EXISTING FIRE HYDRANT TO REMAIN.
 - EXISTING SANITARY SEWER LINE.
 - EXISTING SANITARY SEWER MANHOLE.
 - INSTALL POST INDICATOR VALVE PER DETAIL F3/C504.
 - INSTALL FIRE DEPARTMENT CONNECTION ON BUILDING. SEE MECHANICAL PLANS FOR DETAILS.
 - INSTALL SANITARY SEWER DOUBLE CLEANOUT PER DETAIL E6/C503.
 - INSTALL 4" PVC SDR 35 SANITARY SEWER LINE
 - CONNECT TO EXISTING SANITARY SEWER STUB OUT.
 - LIGHT POLE SEE ELECTRICAL DRAWINGS FOR DETAILS.
 - EXISTING MONITORING WELL TO REMAIN. PROTECT DURING CONSTRUCTION.
 - ELECTRICAL EQUIPMENT SEE ELECTRICAL PLANS.
 - EXISTING 1 1/2" WATER SERVICE LINE SUTBOUT WITH CURB STOP.
 - INSTALL NEW 1 1/2" WATER METER IN EXISTING METER BOX PER CITY OF ALBUQUERQUE STANDARD DRAWING 2367.
 - INSTALL 2" X 1 1/2" REDUCER IN DOMESTIC SERVICE WATER LINE.
 - INSTALL 2" SCH 40 PVC WATERLINE.
 - INSTALL 2" X 90° ELBOW IN SCH 40 PVC WATERLINE.
 - CONNECT FIRE SUPPRESSION SERVICE TO BUILDING.
 - INSTALL 4" DI FIRE SUPPRESSION WATERLINE.
 - INSTALL 4" X 90° DI ELBOW IN FIRE SUPPRESSION WATERLINE.
 - CONNECT TO BUILDING. SEE MECHANICAL PLANS FOR CONTINUATION.
 - EXISTING NATURAL GAS LINE.
 - EXISTING STORM SEWER.
 - EXISTING STORM SEWER MANHOLE.
 - INSTALL SANITARY SEWER TERMINAL CLEANOUT PER DETAIL C6/C503.
 - INSTALL SANITARY SEWER WYE.
 - SAW CUT, REMOVE AND REPLACE ASPHALT AS NECESSARY (MINIMUM 4' WIDE). REPLACE IN KIND PLUS 2" OF ASPHALT THICKNESS.
 - INSTALL 4" TAPPING SADDLE AND CORPRATION STOP FOR NEW FIRE LINE ONTO EXISTIN WATER MAIN.
 - CONNECT NEW NATURAL GAS SERVICE TO EXISTING LINE. CONFIRM WITH PNM THE EXACT LINE SIZE BEFORE BEGINNING WORK.
 - INSTALL NEW 1" MEDIUM PRESSURE NATURAL GAS LINE FROM MAIN TO THE NEW BUILDING.
 - INSTALL NEW NATURAL GAS METER AT BUILDING. METER TO BE SIZED TO SUPPLY 330cfh AT 0.5" wc.
 - EXISTING UNDERGROUND ELECTRICAL LINE.
 - INSTALL NEW TRANSFORMER. SEE ELECTRICAL PLANS FOR SIZE AND DETAILS.
 - INSTALL ELECTRICAL SECONDARY LINES TO THE BUILDING. SEE ELECTRICAL PLANS FOR DETAILS.
 - INSTALL 4" X 45° BEND IN FIRE SUPPRESSION WATERLINE.

- GENERAL NOTES:**
- See sheet C001 for complete list of general notes and symbol/linetype legend that apply to all sheets.
 - See survey for all existing utility and cross lot drainage easments.
 - Contractor shall field verify site for existing conditions (spoils, borrow areas, etc.) prior to bidding earthwork quantities.

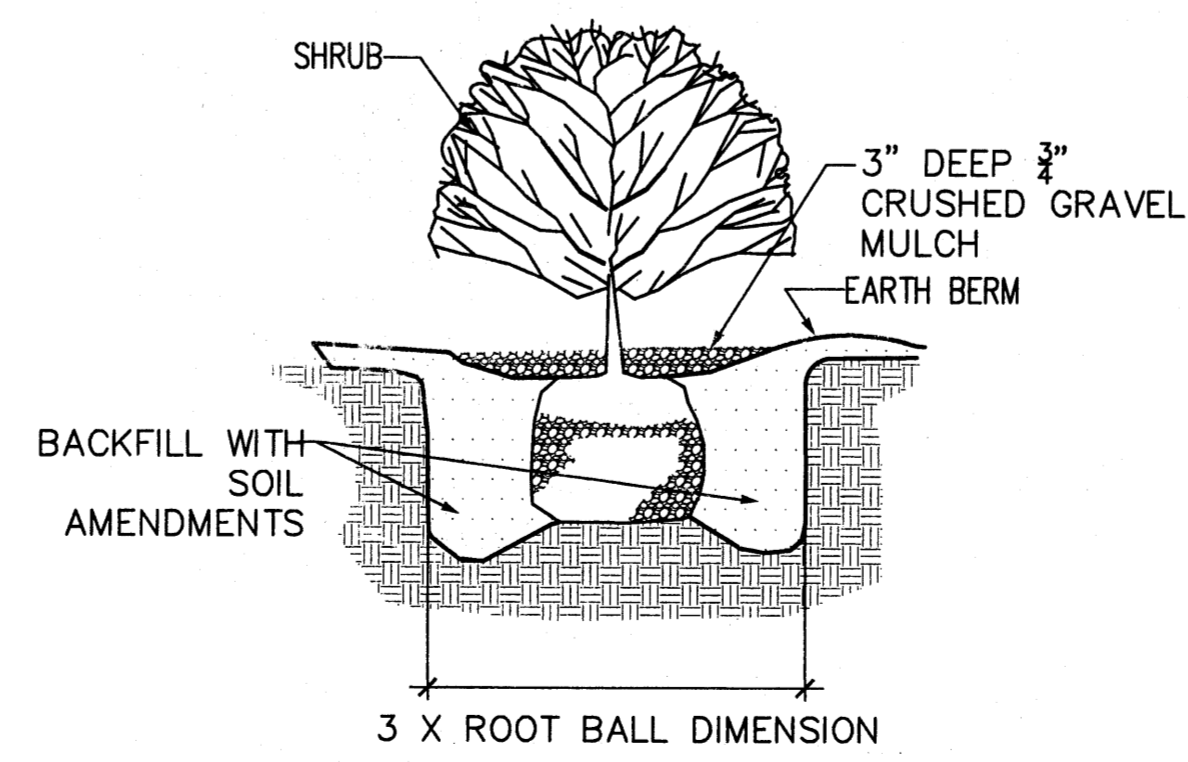




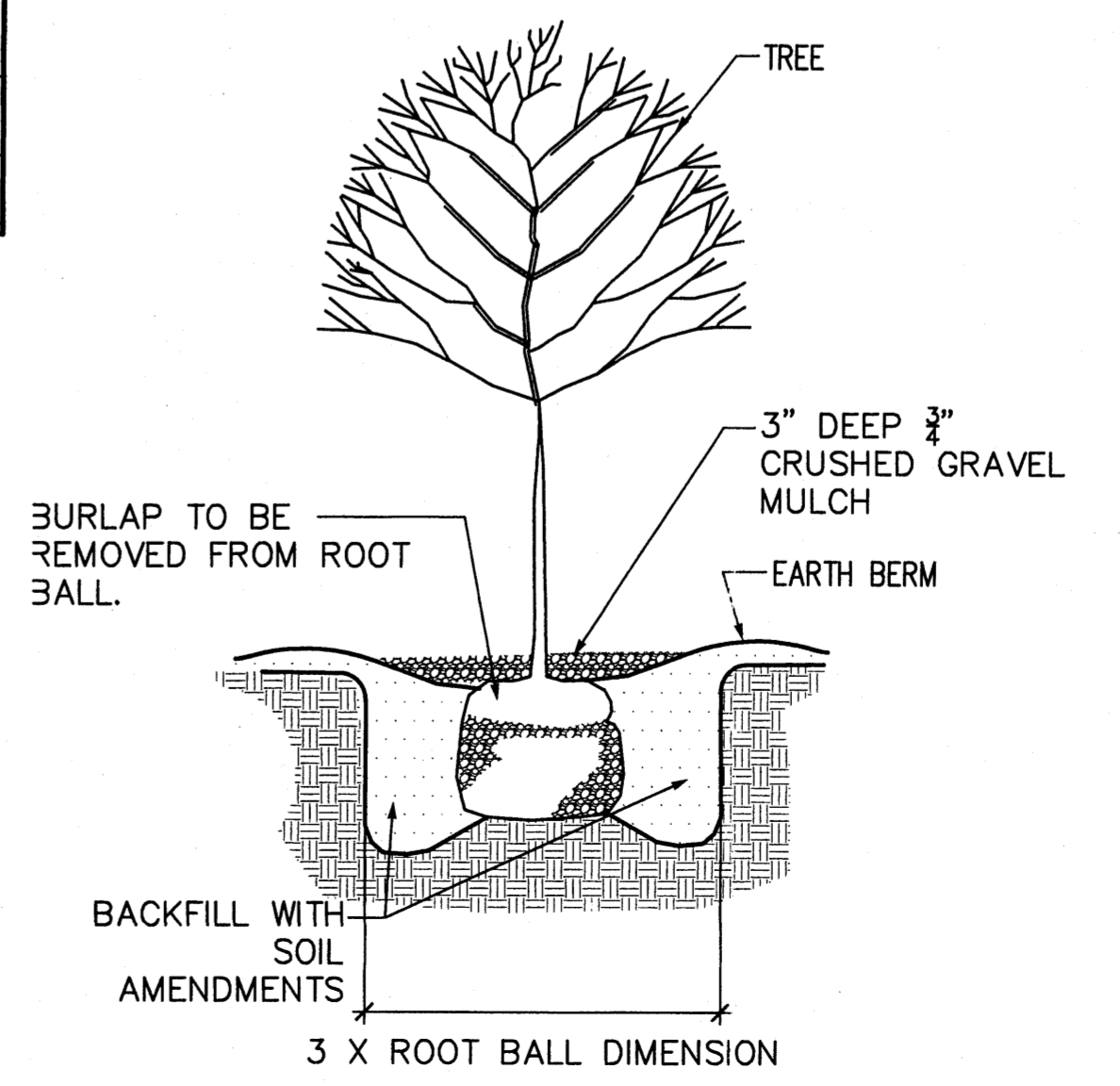
A1 LANDSCAPE PLAN
1/16" = 1'-0"

LEGEND				
SYMBOL	PLANT MATERIAL	SIZE	MATURE HT. AND SPREAD	WATER USAGE
XERIC SHRUBS				
(A)	APACHE PLUME FALLUGIA PARADOXA	3 GAL	5' X 5'	LOW
(B)	HARDY DWARF BROOM GEHSTA LYDIA	1 GAL	2' X 3'	MEDIUM
(BP)	BIRD OF PARADISE CAESALPINIA GILLIESII	5 GAL	12' X 12'	LOW
(C)	GRAY SANTOLINA SANTOLINA CHAMAECYPARISSUS	3 GAL	2' X 2'	LOW
(D)	BLUE AVENA GRASS HELICTOTRICHON SEMPERVIRENS	1 GAL	4' (SEEDHEAD) X 2'	LOW
(E)	BUSH MUHLY MUHLENBERGIA PORTENRI	1 GAL	3' X 3'	LOW
(G)	MAIDEN HAIR GRASS MISCANTHUS SINENSIS	3 GAL	5' X 4'	MEDIUM
(L)	ENGLISH LAVENDER LAVANDULA ANGUSTIFOLIA	3 GAL	3' X 3'	MEDIUM
(M)	CATMINT NEPETA MUSSINI SYN FASSENII	1 GAL	8' X 2'	LOW
(P)	SILKY THREADGRASS STIPA TENNUIFOLIA	1 GAL	2' X 2'	LOW
(PR)	PROSTRATE ROSEMARY ROSMARINUS OFFICINALIS*PROSTRATUS	1 GAL	2' X 6'	MEDIUM
(R)	ROSEMARY ROSMARINUS OFFICINALIS	3 GAL	6' X 6'	LOW
(S)	BLUE MIST SPIREA CARYOPTERIS CLANDONENSIS	3 GAL	2' X 3'	MEDIUM
(V)	BLUE FESCUE FESTUCA OVINA GLAUCA	1 GAL	12" X 12"	MEDIUM
(W)	MOONSHINE YARROW ACHILLEA TAYGATEA	1 GAL	2' X 18"	MEDIUM
(X)	MEXICAN BLUE SAGE SALVIA CHAMAEDRYOIDES	3 GAL	18" X 2'	LOW
(Y)	CORAL YUCCA HESPERALOE PARVIFLORA	5 GAL	3' X 3'	MEDIUM
(O)	DESERT ZINNIA ZINNIA GRANDIFLORA	6 PACK	4" X 6"	LOW
(●)	GAILLARDIA GAILLARDIA GRANDIFLORA	1 GAL	2' X 2'	MEDIUM
(○)	LITTLE BLUESTEM SCHIZACHYRIUM SCOPARIUM	1 GAL	3' X 18"	LOW
(□)	BLUE GRAMA GRASS BOELOUA GRACILIS	SEED	4-12"	LOW
(▨)	6" RIVER ROCK SWALE			
(■)	LARGE ROCK BOULDERS			

LEGEND				
SYMBOL	PLANT MATERIAL	SIZE	MATURE HT. AND SPREAD	WATER USAGE
TREES				
(⊗)	CHINESE PISTACHE PISTACIA CHINENSIS	2 1/2" CAL	30'/25'	MEDIUM
(⊕)	SKYLINE HONEY LOCUST GLEDISIA TRICANTHOS INERMIS/SKYLINE™	2 1/2" CAL	35'/30'	MEDIUM
(+)	RAYWOOD ASH FRAXINUS OXYCARPA 'RAYWOOD'	2 1/2" CAL	25'/20'	MEDIUM
(⊙)	GOLDEN RAIN TREE KOELREUTERIA PANICULATA	2" CAL	20'/15'	MEDIUM
(☼)	DESERT WILLOW CHILOPSIS LINEARIS	15 GAL	15'/10'	LOW
(⊖)	CHASTE TREE VITEX AGNUS-CASTA	15 GAL	15'/15'	LOW
(⊙)	PINON PINE PINUS EDULIS	6" B&B	30'/20'	LOW
(⊙)	CHITALPA "PINK DAWN" CHITALPA TASHKENTENSIS	15 GAL	25'-25'	LOW



A7 SHRUB PLANTING DETAIL
1/2" = 1'-0"



A6 TREE PLANTING DETAIL
1/2" = 1'-0"

LANDSCAPING

LANDSCAPE REQUIRED
GROSS SITE AREA = 32,929 SQ.FT.
BUILDING AREA = 6,127 SQ. FT.
NET SITE AREA = 26,802 SQ.FT.

REQUIRED LANDSCAPE AREA 15% NET SITE = 4,020 SQ.FT.
LANDSCAPE AREA PROVIDED = 8,495 SQ.FT.

LANDSCAPE BUFFERS

REAR: 6' BUFFER REQUIRED - 10' BUFFER PROVIDED.
SIDE: 6' BUFFER REQUIRED - 6' BUFFER PROVIDED.
FRONT: 10' BUFFER REQUIRED - 10' + 4' BUFFER PROVIDED.

TREE REQUIREMENTS

- 1 PER 10 REQUIRED PARKING SPACES
3 TREES REQUIRED - 14 PROVIDED.
- EACH PARKING SPACE WITHIN 50' OF A TREE.

KEYED NOTES

1. PROVIDE 3" DEEP TAN CRUSHER FINE GRAVEL MULCH OVER FILTER FABRIC.
2. PROVIDE 3" DEEP 3/4" TAN GRAVEL MULCH OVER FILTER FABRIC.
3. PROVIDE 6" RIVER ROCK OVER FILTER FABRIC FOR SWALE.
4. COATED METAL BENCH.
5. RIBBON BICYCLE RACK.
6. PROPERTY LINE.
7. FUTURE TREES TO BE INSTALLED AFTER 5 YR. MONITORING PERIOD HAS ENDED.

GENERAL NOTES

1. REFER TO GRADING AND DRAINAGE PLAN FOR DRAIN PATTERN
2. ALL PLANT MATERIAL TO BE WATERED BY AUTOMATIC IRRIGATION SYSTEM.
3. THE OWNER AGREES TO PROPERLY MAINTAIN ALL LANDSCAPING AND TO REPLACE DEAD PLANT MATERIAL IN A TIMELY MANNER.
4. LANDSCAPING PLANTING AND IRRIGATION SYSTEM DESIGN WILL COMPLY WITH WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE 6-1-1-4 THROUGH 6-1-1-14.
5. ALL PLANTING AREAS TO RECEIVE 3" DEEP 3/4" TAN GRAVEL MULCH OVER FILTER FABRIC UNLESS NOTED OTHERWISE.
6. 4" METAL EDGE BETWEEN ALL MULCH AND SOD.



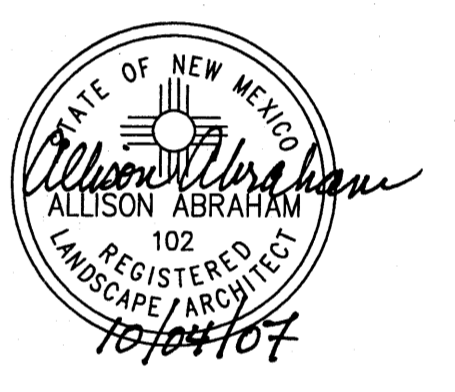
THE HARTMAN + MAJEWSKI DESIGN GROUP

Architects Engineers Interior Design
Planners Urban designers LEED
202 Central Avenue SE, Suite 200
Albuquerque, New Mexico 87102
Tel 505.242.6880 - Fax 505.242.6881
www.designgroupnm.com



ARCHITECTS PLANNERS INTERIOR DESIGN
115 AMHERST DRIVE SE, ALBUQUERQUE, NEW MEXICO 87106
TELE (505) 255-8989 FAX (505) 288-8985

These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to reuse of these documents for other projects



Bernitsky Eye Facility

6401 Holly Ave. NE
Albuquerque, NM 87113

David Bernitsky, M.D.

No.	Description	Date

LANDSCAPE PLAN

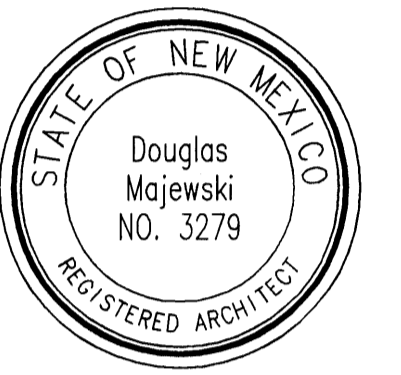
Project number 2335
Date 10-3-07
Drawn by JAF
Checked by CAA

L1.1



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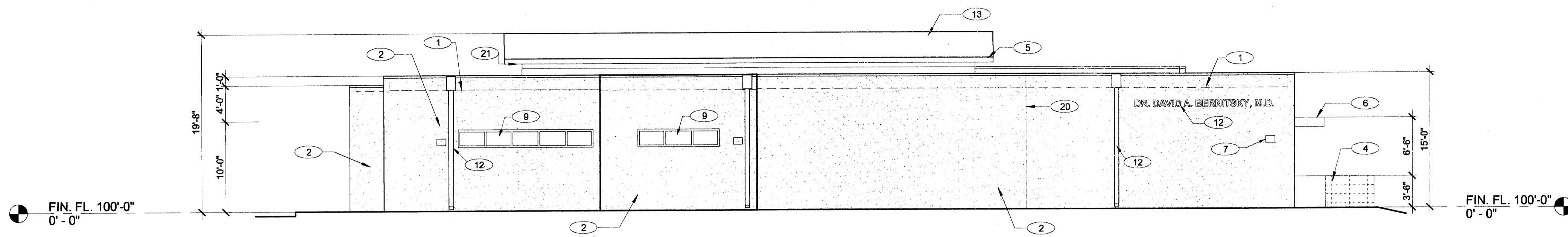
Bernitsky Eye Facility

6401 Holly Ave. NE
Albuquerque, NM 87113

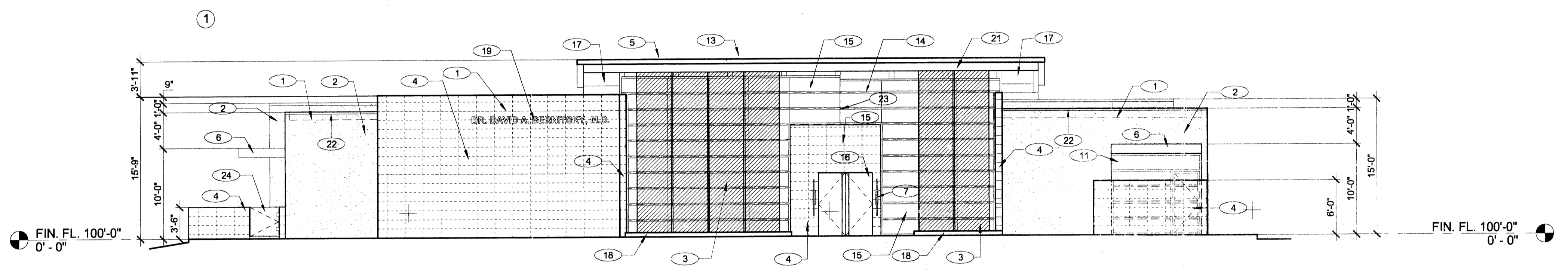
David Bernitsky, M.D.

KEYED NOTES

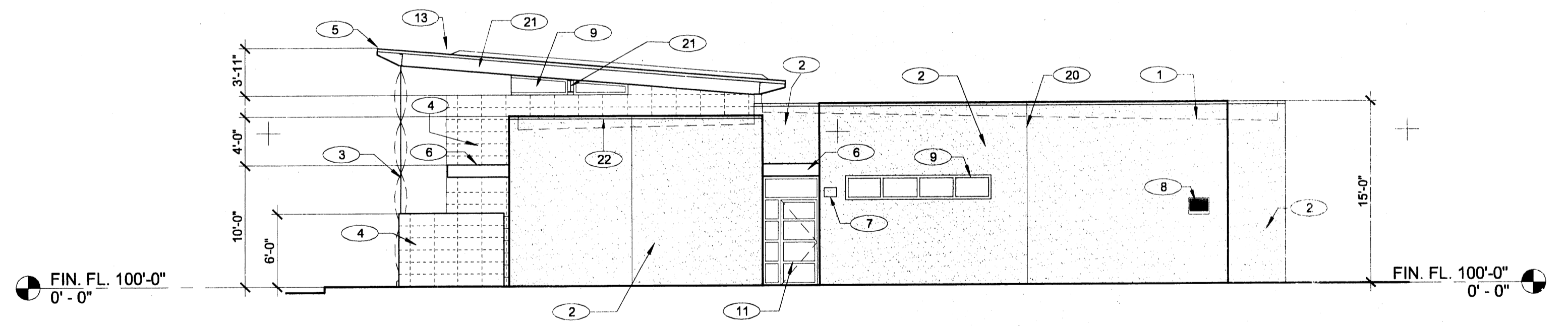
- 1 LINE OF ROOF BEHIND PARAPET
- 2 EIFS FINISH SYSTEM
- 3 CURVED METAL ARCHITECTURAL SCREEN
- 4 STONE VENEER
- 5 ALUMINUM FLASHING
- 6 STEEL FRAME CANOPY
- 7 EXTERIOR SURFACE MOUNTED FIXTURE
- 8 AIR VENT LOUVER
- 9 WINDOW AND FRAME AS SCHEDULED
- 10 DOORS AND FRAMES AS SCHEDULED
- 11 METAL-FRAMED STOREFRONT
- 12 SCUPPER AND DOWNSPOUT
- 13 MEMBRANE ROOF
- 14 18" METAL SUNSHADE
- 15 METAL FRAME CURTAINWALL SYSTEM
- 16 FRAMELESS GLASS ENTRY DOOR
- 17 EXPOSED METAL DECK
- 18 CONCRETE SLAB - SEE STRUCTURAL
- 19 BUILDING MOUNTED SIGN (O.F.C.I.)
- 20 EXPANSION JOINT
- 21 BEAM - SEE STRUCTURAL
- 22 METAL CAP
- 23 CHANGE IN WALL PLANE
- 24 METAL GATE



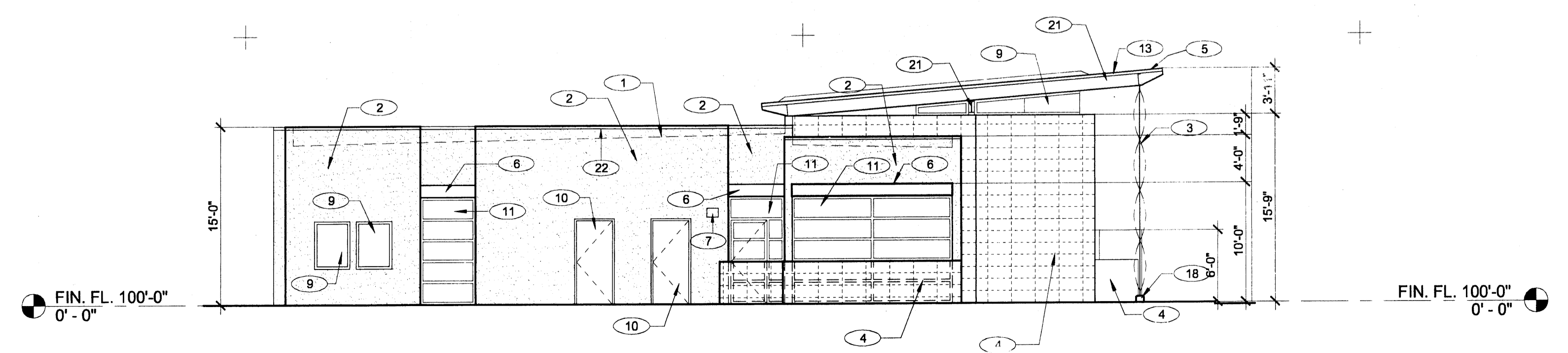
West Elevation
1/8" = 1'-0"



East Elevation
1/8" = 1'-0"



North Elevation
1/8" = 1'-0"



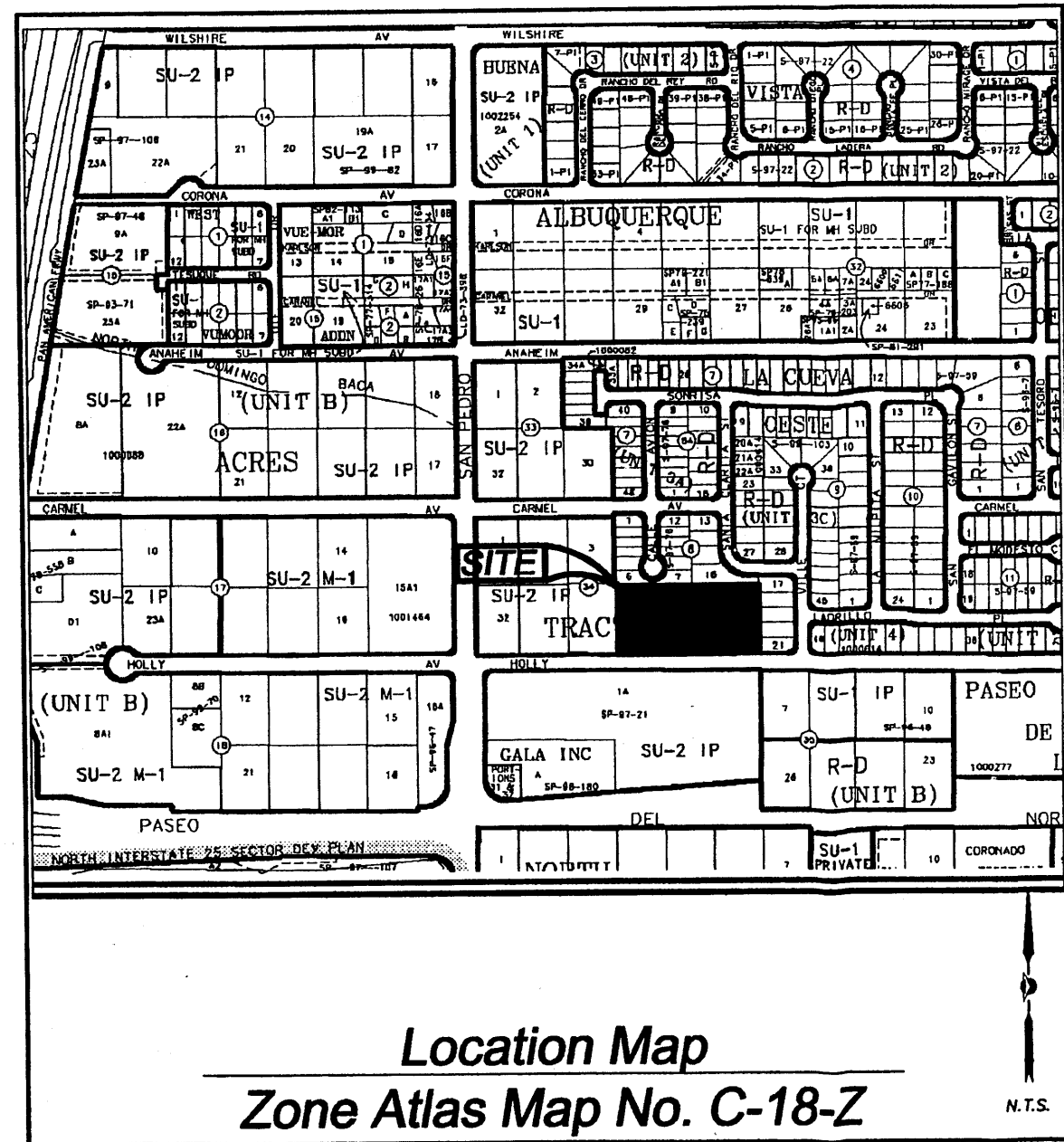
South Elevation
1/8" = 1'-0"

No.	Description	Date

EXTERIOR ELEVATIONS

Project number	2335
Date	9-20-07
Drawn by	RGM
Checked by	RAT

A200



Location Map
Zone Atlas Map No. C-18-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 2.0244 ACRES±
 ZONE ATLAS INDEX NO: C-18-Z
 NO. OF TRACTS CREATED: 2
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: JULY 26, 2006, FIELD VERIFIED FEBRUARY 2007

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO VACATE A PRIVATE EASEMENT AND GRANT A NEW PRIVATE EASEMENT.

Notes:

- MISC. DATA: ZONING SU-2/O-1
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2007042466

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

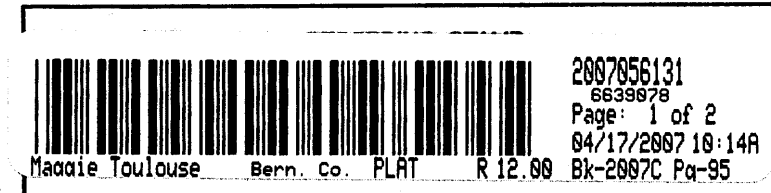
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
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INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACTS LETTERED B AND C, PASEO NUEVO 2, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 15, 2007, IN PLAT BOOK 2007C, FOLIO 41, CONTAINING 2.0244 ACRES (88,183 SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACTS B-1 AND C-1, PASEO NUEVO 2.

Plat of
 Tracts B-1 and C-1
Paseo Nuevo 2
 Albuquerque, Bernalillo County, New Mexico
 March 2007

Project No. 10049745132

Application No. 07DRB-00386

Utility Approvals

Lead P. Muro	3-30-07
PNM ELECTRIC SERVICES	DATE
Lead P. Muro	3-30-07
PNM GAS SERVICES	DATE
Lead P. Salido	4/2/07
QWEST TELECOMMUNICATIONS	DATE
Lead P. Carlson	4-10-07
COMCAST	DATE
City Approvals	
Lead P. [Signature]	3-27-07
CITY SURVEYOR	DATE
N/A [Signature]	4/10/07
REAL PROPERTY DIVISION	DATE
N/A [Signature]	4/10/07
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
Lead P. [Signature]	4-10-07
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
William G. Walsh	4/4/07
WATER UTILITY DEPARTMENT	DATE
Christina S. Anderson	4/4/07
PARKS AND RECREATION DEPARTMENT	DATE
Bradley L. Bijn	4/4/07
AMAFCA	DATE
Lead P. [Signature]	4/4/07
CITY ENGINEER	DATE
Lead P. [Signature]	4/10/07
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

THIS IS TO CERTIFY THAT THE ABOVE PLAT AND THE TREASURER'S CERTIFICATE AND FIND ON UPC # 3-10-07-018-04-352-06940206 PROPERTY OWNER OF RECORD San Pedro Equities
 recorded in the office of the BERNALILLO COUNTY TREASURER'S OFFICE:
 P. [Signature] 4/10/07

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 03/26/2007
 LARRY W. MEDRANO
 N.M.P.S. No. 11993



PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

Free Consent

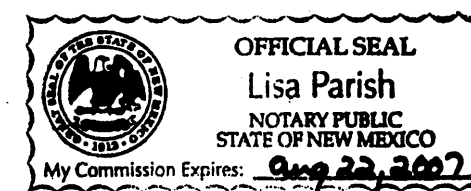
THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

[Signature] Managing Member 3/26/07
 RANDY SCHILLE
 MANAGING MEMBER
 SAN PEDRO EQUITIES, LLC

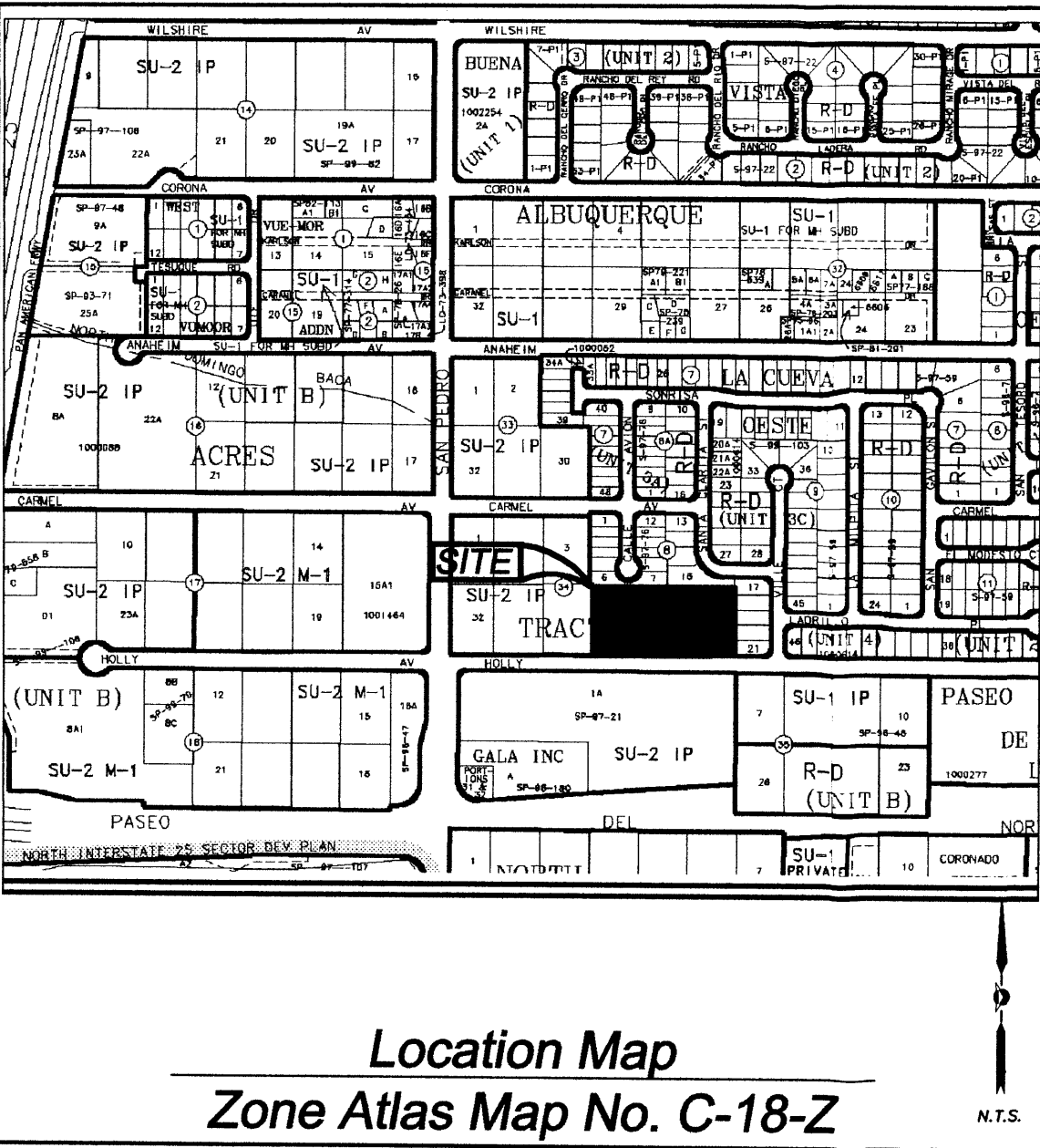
Acknowledgment

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 26th DAY OF March, 2007 BY RANDY SCHILLE, MANAGING MEMBER, SAN PEDRO EQUITIES, LLC

BY [Signature] MY COMMISSION EXPIRES: Aug 22, 2007
 NOTARY PUBLIC



Subdivision Data:

GROSS SUBDIVISION ACREAGE: 3.0109 ACRES±
 ZONE ATLAS INDEX NO: C-18-Z
 NO. OF TRACTS CREATED: 3
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: JULY 26, 2006, FIELD VERIFIED JANUARY 2007

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING THREE LOTS INTO THREE NEW TRACTS, TO GRANT EASEMENTS, AND TO DEDICATE ADDITIONAL RIGHT OF WAY FOR HOLLY AVENUE, N.E..

Notes:

- MISC. DATA: ZONING SU-2 IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
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- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2007042466

Easements

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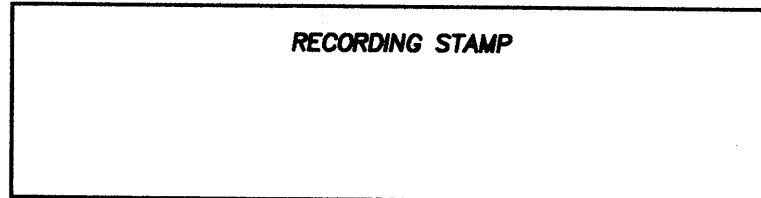
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EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

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Legal Description

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BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT LYING ON THE CENTERLINE OF HOLLY AVENUE, NE, FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "HEAVEN" BEARS S 80°46'10" E, A DISTANCE OF 3836.99 FEET;

THENCE FROM SAID POINT OF BEGINNING, N 89°31'05" W ALONG SAID CENTERLINE, A DISTANCE OF 494.09 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE INTERSECTION OF SAID HOLLY AVENUE CENTERLINE AND THE CENTERLINE OF SAN PEDRO DRIVE, NE;

THENCE LEAVING SAID HOLLY CENTERLINE, N 00°24'01" E, A DISTANCE OF 264.28 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993",

THENCE S 89°07'49" E, A DISTANCE OF 493.95 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 00°21'53" W, A DISTANCE OF 31.16 FEET TO AN ANGLE POINT MARKED BY A FOUND PK NAIL WITH WASHER "PS 11184";

THENCE S 00°21'53" W, A DISTANCE OF 50.00 FEET TO AN ANGLE POINT MARKED BY A FOUND PK NAIL WITH WASHER "PS 11184";

THENCE S 00°21'09" W, A DISTANCE OF 50.00 FEET TO AN ANGLE POINT MARKED BY A FOUND PK NAIL WITH WASHER "PS 11184";

THENCE S 00°22'45" W, A DISTANCE OF 135.53 FEET TO THE POINT OF BEGINNING, CONTAINING 3.0109 ACRES (131157 SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACTS A, B AND C, PASEO NUEVO 2.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ADDITIONAL STREET AND PUBLIC RIGHT OF WAY SHOWN HEREON FOR HOLLY AVENUE, N.E., TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

GORDON L. SKARSGARD
 MANAGING MEMBER
 SAN PEDRO EQUITIES, LLC

Acknowledgment

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2007 BY
 GORDON L. SKARSGARD, MANAGING MEMBER, SAN PEDRO EQUITIES, LLC

BY _____ MY COMMISSION EXPIRES: _____
 NOTARY PUBLIC

Plat of
 Tracts A, B and C
Paseo Nuevo 2
 Albuquerque, Bernalillo County, New Mexico
 February 2007

Project No. _____

Application No. 07DRB-

Utility Approvals

PNM ELECTRIC SERVICES _____ DATE _____

PNM GAS SERVICES _____ DATE _____

QWEST TELECOMMUNICATIONS _____ DATE _____

COMCAST _____ DATE _____

NEW MEXICO UTILITIES _____ DATE _____

City Approvals

CITY SURVEYOR _____ DATE _____

REAL PROPERTY DIVISION _____ DATE _____

ENVIRONMENTAL HEALTH DEPARTMENT _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT _____ DATE _____

WATER UTILITY DEPARTMENT _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

AMAFCA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO
 N.M.P.S. No. 11993

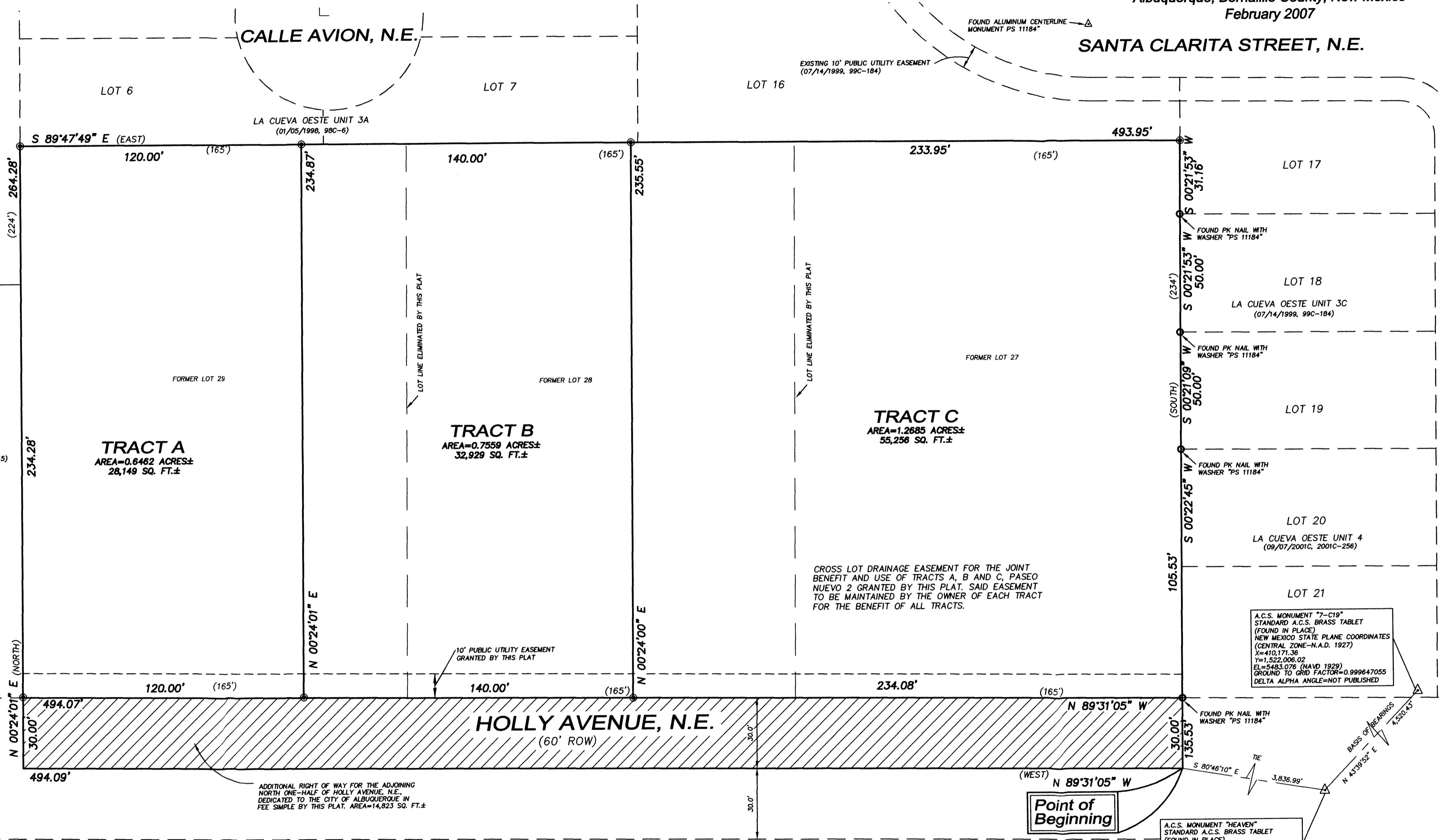


8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

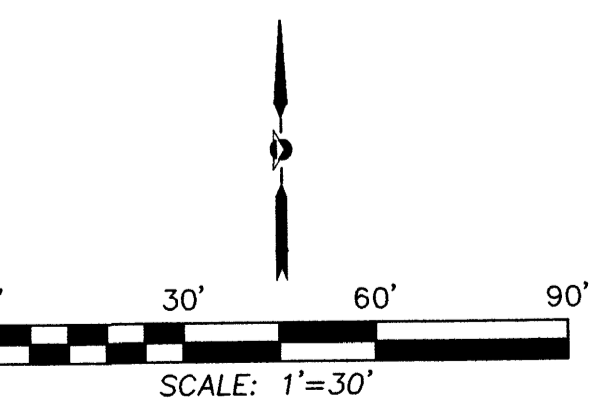
Plat of
Tracts A, B and C
Paseo Nuevo 2
Albuquerque, Bernalillo County, New Mexico
February 2007

RECORDING STAMP



A.C.S. MONUMENT "7-19"
STANDARD A.C.S. BRASS TABLE
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=410,171.36
Y=1,522,006.02
EL=5483.076 (NAVD 1929)
GROUND TO GRID FACTOR=0.999647055
DELTA ALPHA ANGLE=NOT PUBLISHED

A.C.S. MONUMENT "HEAVEN"
STANDARD A.C.S. BRASS TABLE
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=407,051.31
Y=1,518,737.03
EL=5375.62 (NAVD 1929)
GROUND TO GRID FACTOR=0.99965263
DELTA ALPHA ANGLE=-07°45'



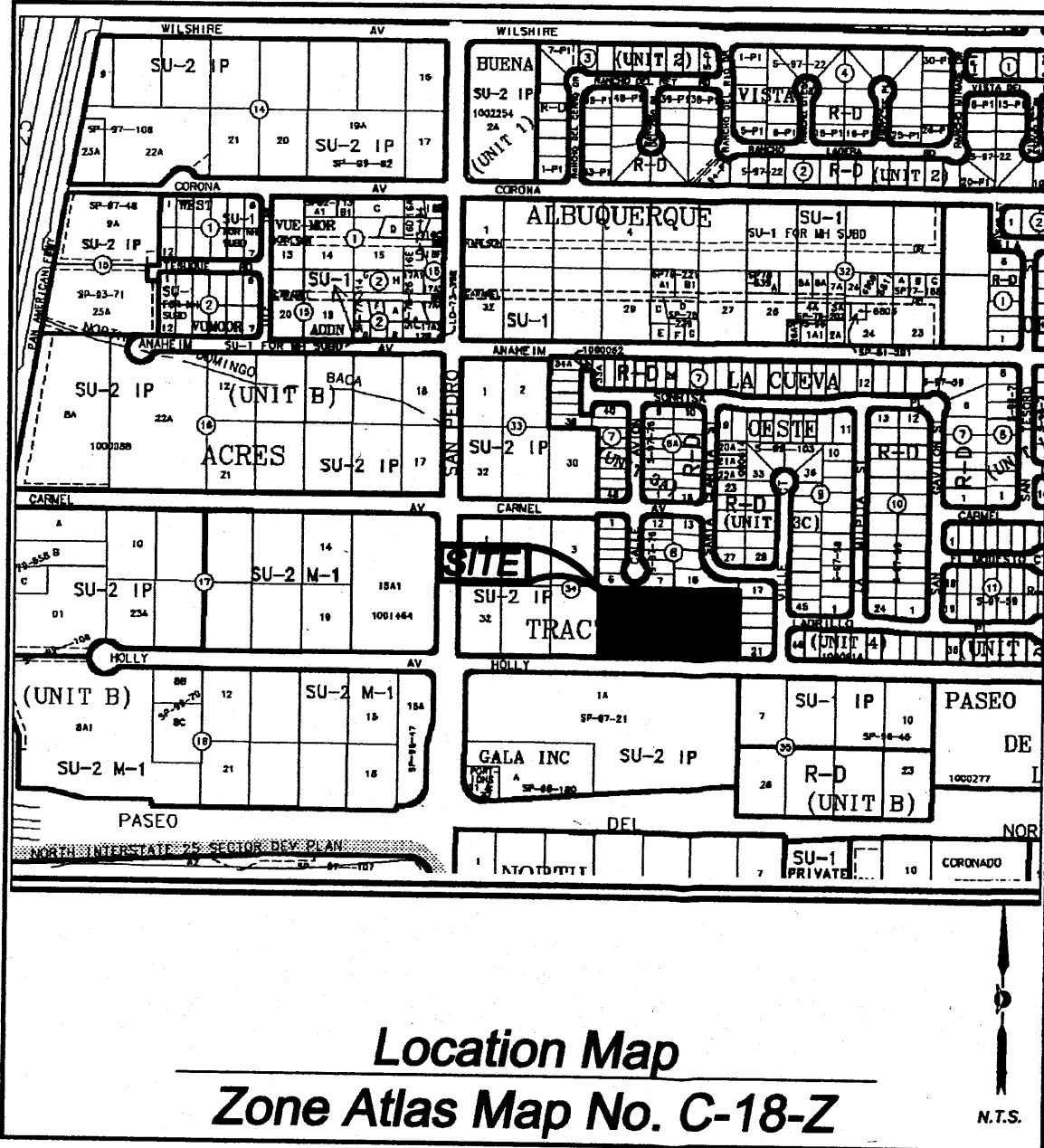
Legend

(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
N 90°00'00" E	MEASURED BEARING AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
●	SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11983"

PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
Albuquerque, NM 87113
866.422.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

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Subdivision Data:

GROSS SUBDIVISION ACREAGE: 3.0109 ACRES±
 ZONE ATLAS INDEX NO. C-18-Z
 NO. OF TRACTS CREATED: 2
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: JULY 26, 2006, FIELD VERIFIED JANUARY 2007

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING THREE LOTS INTO TWO NEW TRACTS, TO GRANT EASEMENTS, AND TO DEDICATE ADDITIONAL RIGHT OF WAY FOR HOLLY AVENUE, N.E.

Notes:

- MISC. DATA: ZONING SU-2 IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2007042466

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

RECORDING STAMP

Plat of
 Tracts A and B
Paseo Nuevo 2
 Albuquerque, Bernalillo County, New Mexico
 January 2007

Project No. _____
 Application No. **07DRB-**
 Utility Approvals

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
NEW MEXICO UTILITIES	DATE
City Approvals CITY SURVEYOR	2-6-07 DATE
REAL PROPERTY DIVISION	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCIA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE **02/06/2007**



PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, NEW MEXICO IRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOTS NUMBERED TWENTY-SEVEN (27), TWENTY-EIGHT (28), AND TWENTY-NINE (29) AND THE NORTH ONE-HALF (1/2) OF HOLLY AVENUE, NE, IN BLOCK NUMBERED THIRTY-FOUR (34), TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, AN ADDITION IN BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN PLAT BOOK D, FOLIO 130, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE (CENTRAL ZONE-NORTH AMERICA DATUM OF 1927) BEARINGS, AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS;

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT LYING ON THE CENTERLINE OF HOLLY AVENUE, NE, FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "HEAVEN" BEARS S 80°46'10" E, A DISTANCE OF 3836.99 FEET;
 THENCE FROM SAID POINT OF BEGINNING, N 81°31'05" W ALONG SAID CENTERLINE, A DISTANCE OF 494.09 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE INTERSECTION OF SAID HOLLY AVENUE CENTERLINE AND THE CENTERLINE OF SAN PEDRO DRIVE, NE;
 THENCE LEAVING SAID HOLLY CENTERLINE, N 0°24'01" E, A DISTANCE OF 264.28 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";
 THENCE S 89°07'49" E, A DISTANCE OF 493.91 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";
 THENCE S 00°21'53" W, A DISTANCE OF 31.16 FEET TO AN ANGLE POINT MARKED BY A FOUND PK NAIL WITH WASHER "PS 11184";
 THENCE S 00°21'53" W, A DISTANCE OF 50.00 FEET TO AN ANGLE POINT MARKED BY A FOUND PK NAIL WITH WASHER "PS 11184";
 THENCE S 00°21'09" W, A DISTANCE OF 50.00 FEET TO AN ANGLE POINT MARKED BY A FOUND PK NAIL WITH WASHER "PS 11184";
 THENCE S 00°22'45" W, A DISTANCE OF 135.51 FEET TO THE POINT OF BEGINNING, CONTAINING 3.0109 ACRES (131157 SQUARE FEET), MORE OR LESS NOW COMPRISING TRACTS A AND B, PASEO NUEVO 2.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS VARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

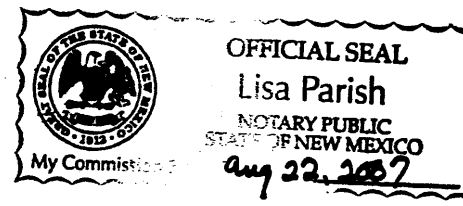
SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ADDITIONAL STREET AND PUBLIC RIGHT OF WAY SHOWN HEREON FOR HOLLY AVENUE, I.E., TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

GORDON L. SKARSGARD
 MANAGING MEMBER
 SAN PEDRO EQUITIES, LLC
 DATE **Feb 6, 07**

Acknowledgment

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS **6th** DAY OF **February**, 2007 BY
 GORDON L. SKARSGARD, MANAGING MEMBER, SAN PEDRO EQUITIES, LLC
 BY
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: **Aug. 22, 2007**

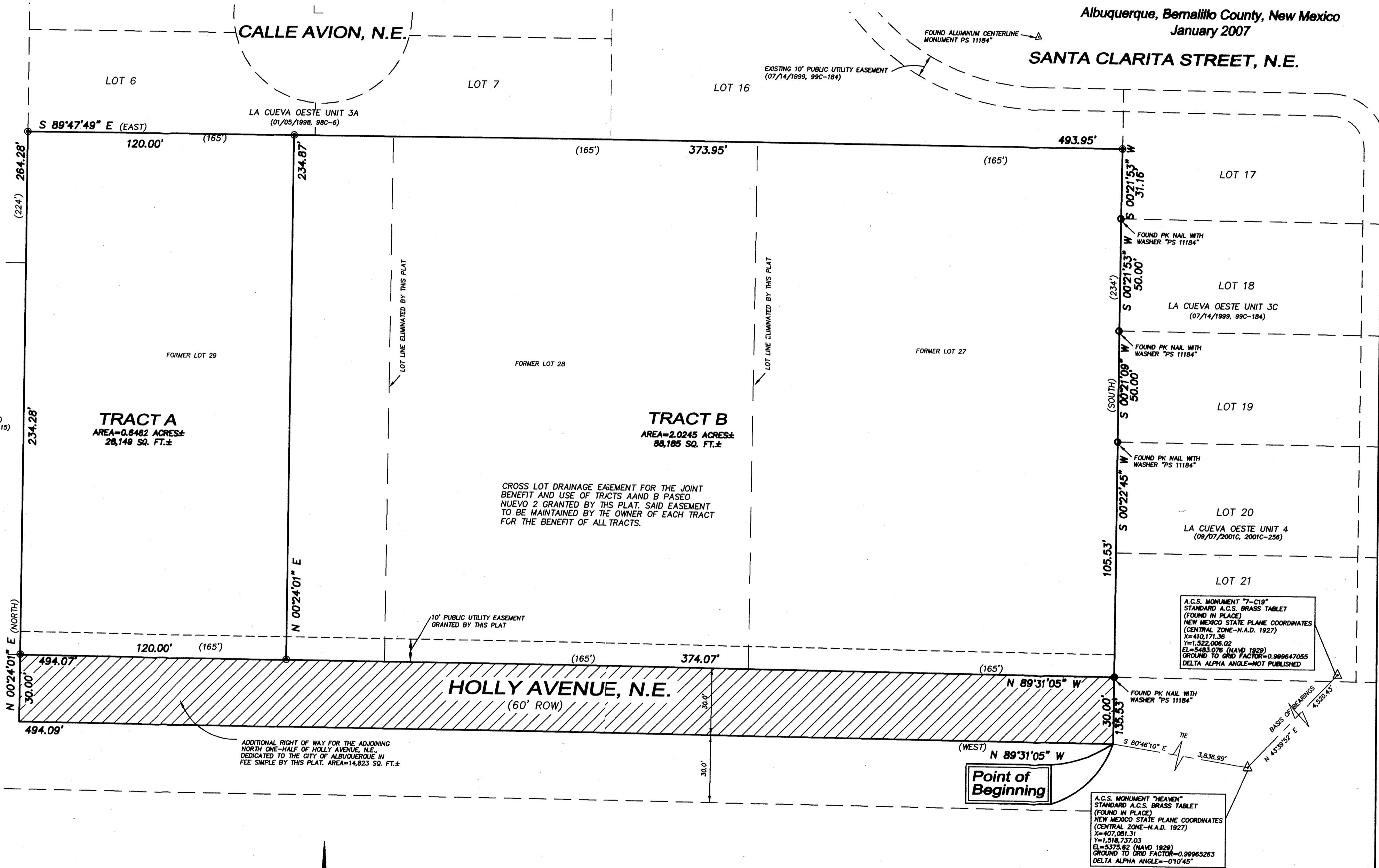


Plat of
Tracts A and B
Paseo Nuevo 2

Albuquerque, Bernalillo County, New Mexico
January 2007

SANTA CLARITA STREET, N.E.

RECORDING STAMP



CROSS LOT DRAINAGE EASEMENT FOR THE JOINT BENEFIT AND USE OF TRACTS A AND B PASEO NUEVO 2 GRANTED BY THIS PLAT. SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS.

10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT

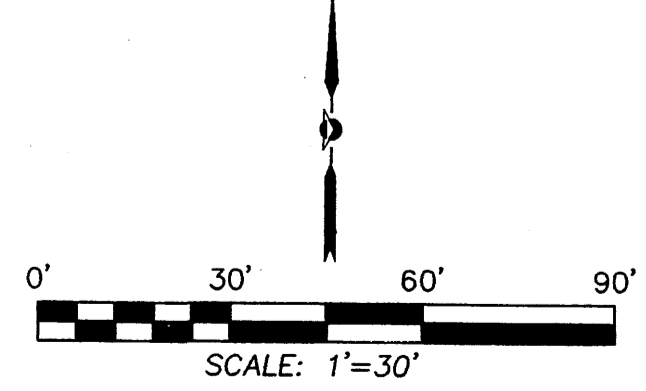
ADDITIONAL RIGHT OF WAY FOR THE ADJOINING NORTH ONE-HALF OF HOLLY AVENUE, N.E., DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE BY THIS PLAT. AREA=14,823 SQ. FT.±

A.C.S. MONUMENT "7-C19" STANDARD A.C.S. BRASS TABLE (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) X=410,171.36 Y=1,522,006.02 EL=5483.076 (NAVD 1929) GROUND TO GRID FACTOR=0.999647055 DELTA ALPHA ANGLE=NOT PUBLISHED

A.C.S. MONUMENT "HEAVEN" STANDARD A.C.S. BRASS TABLE (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) X=407,081.31 Y=1,518,737.03 EL=5375.82 (NAVD 1929) GROUND TO GRID FACTOR=0.99965263 DELTA ALPHA ANGLE=-0°10'45"

Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- ⊙ SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11983"

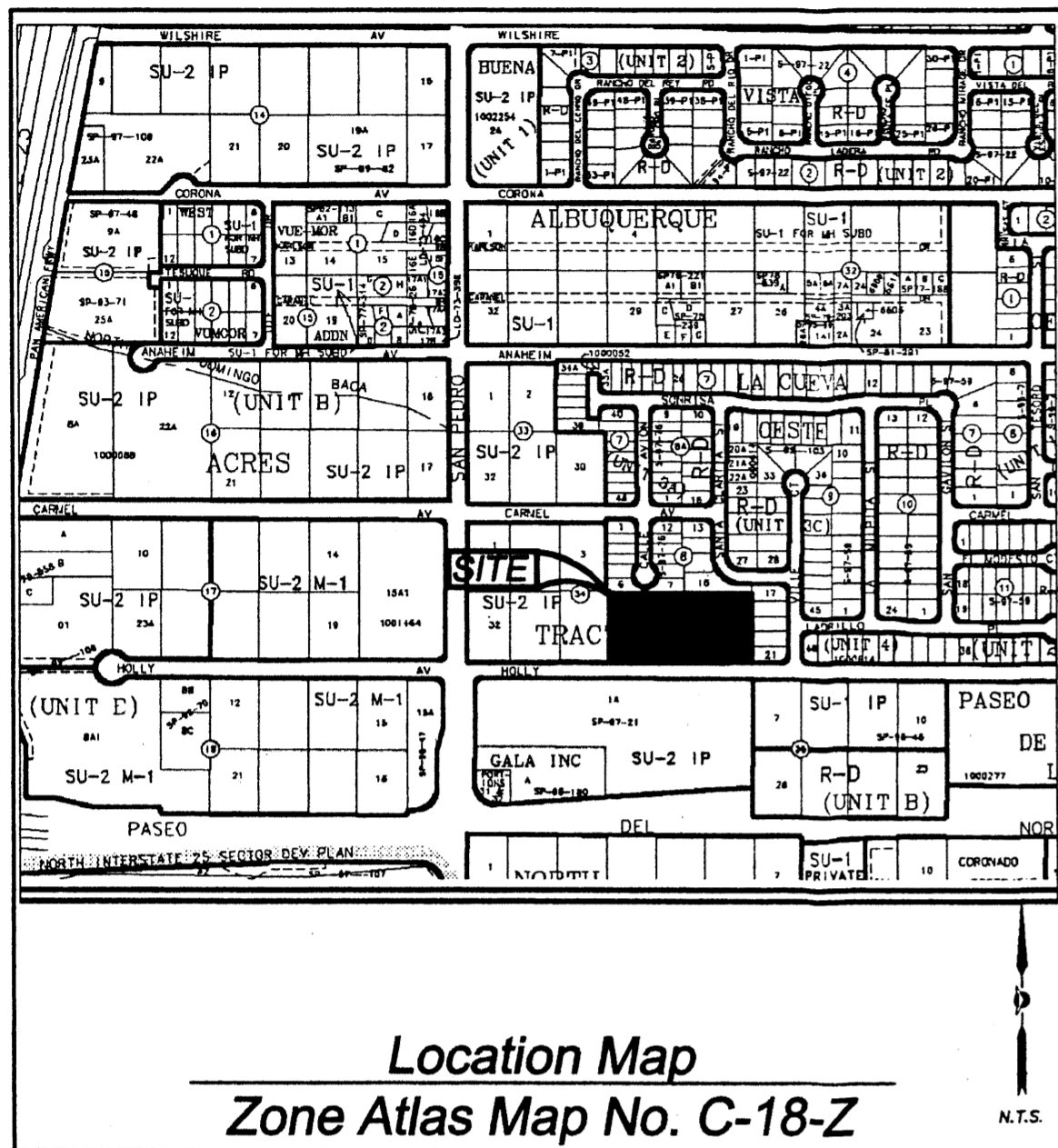


PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
Albuquerque, NM 87113

866.422.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

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Location Map

Zone Atlas Map No. C-18-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 3.0109 ACRES±
 ZONE ATLAS INDEX NO: C-18-Z
 NO. OF TRACTS CREATED: 3
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: JULY 26, 2006, FIELD VERIFIED JANUARY 2007

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING THREE LOTS INTO THREE NEW TRACTS, TO GRANT EASEMENTS, AND TO DEDICATE ADDITIONAL RIGHT OF WAY FOR HOLLY AVENUE, N.E.

Notes:

- MISC. DATA: ZONING SU-2 IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2007042466

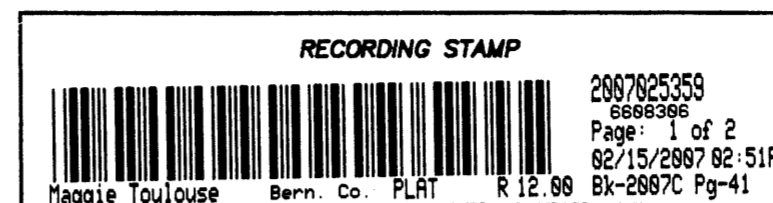
Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY



Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOTS NUMBERED TWENTY-SEVEN (27), TWENTY-EIGHT (28), AND TWENTY-NINE (29) AND THE NORTH ONE-HALF (1/2) OF HOLLY AVENUE, NE, IN BLOCK NUMBERED THIRTY-FOUR (34), TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, AN ADDITION IN BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN PLAT BOOK D, FOLIO 130, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) BEARINGS, AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT LYING ON THE CENTERLINE OF HOLLY AVENUE, NE, FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "HEAVEN" BEARS S 80°46'10" E, A DISTANCE OF 3836.99 FEET;

THENCE FROM SAID POINT OF BEGINNING, N 89°31'05" W ALONG SAID CENTERLINE, A DISTANCE OF 494.09 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE INTERSECTION OF SAID HOLLY AVENUE CENTERLINE AND THE CENTERLINE OF SAN PEDRO DRIVE, NE;

THENCE LEAVING SAID HOLLY CENTERLINE, N 00°24'01" E, A DISTANCE OF 264.28 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 89°07'49" E, A DISTANCE OF 493.95 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 00°21'53" W, A DISTANCE OF 31.16 FEET TO AN ANGLE POINT MARKED BY A FOUND PK NAIL WITH WASHER "PS 11184";

THENCE S 00°21'53" W, A DISTANCE OF 50.00 FEET TO AN ANGLE POINT MARKED BY A FOUND PK NAIL WITH WASHER "PS 11184";

THENCE S 00°21'09" W, A DISTANCE OF 50.00 FEET TO AN ANGLE POINT MARKED BY A FOUND PK NAIL WITH WASHER "PS 11184";

THENCE S 00°22'45" W, A DISTANCE OF 135.53 FEET TO THE POINT OF BEGINNING, CONTAINING 3.0109 ACRES (131157 SQUARE FEET), MORE OR LES.; NOW COMPRISING TRACTS A, B AND C, PASEO NUEVO 2.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND 1018064-40206
 PAID ON UPC # 1018064 40204, 1018064-40205
 PROPERTY OWNER OF RECORD
 San Pedro Equities LLC
 BERNALILLO COUNTY TREASURER'S OFFICE
 m. chernan 2/15/07

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

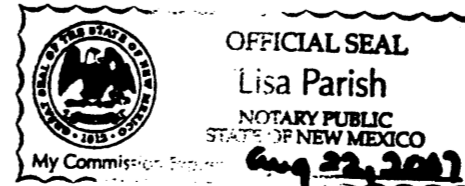
SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ADDITIONAL STREET AND PUBLIC RIGHT OF WAY SHOWN HEREON FOR HOLLY AVENUE, N.E., TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

Gordon L. Skarsgard
 GORDON L. SKARSGARD
 MANAGING MEMBER
 SAN PEDRO EQUITIES, LLC

2/13/07
 DATE

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)



Plat of
 Tracts A, B and C
Paseo Nuevo 2
 Albuquerque, Bernalillo County, New Mexico
 February 2007

Project No. 1005132

Application No. 07DRB-00137

Utility Approvals

<i>Leah D. Mark</i>	2-13-07
PNM ELECTRIC SERVICES	DATE
<i>Leah D. Mark</i>	2-13-07
PNM GAS SERVICES	DATE
<i>David B. Johnson</i>	2/13/07
QWEST TELECOMMUNICATIONS	DATE
<i>Bonnie B. Blum</i>	2-14-07
COMCAST	DATE
<i>JA</i>	
NEW MEXICO UTILITIES	DATE

City Approvals

<i>W. B. Hart</i>	2-13-07
CITY SURVEYOR	DATE
N/A	2/14/07
REAL PROPERTY DIVISION	DATE
N/A	2/14/07
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
<i>John D. ...</i>	2-15-07
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
<i>Robert ...</i>	2/14/07
WATER UTILITY DEPARTMENT	DATE
<i>Christina Sandoval</i>	2/14/07
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley J. Bingham</i>	2/14/07
AMAFCA	DATE
<i>Bradley J. Bingham</i>	2/14/07
CITY ENGINEER	DATE
<i>Andrew ...</i>	2-15-07
DRB CHAIRPERSON PLANNING DEPARTMENT	



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 02/12/2007
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE



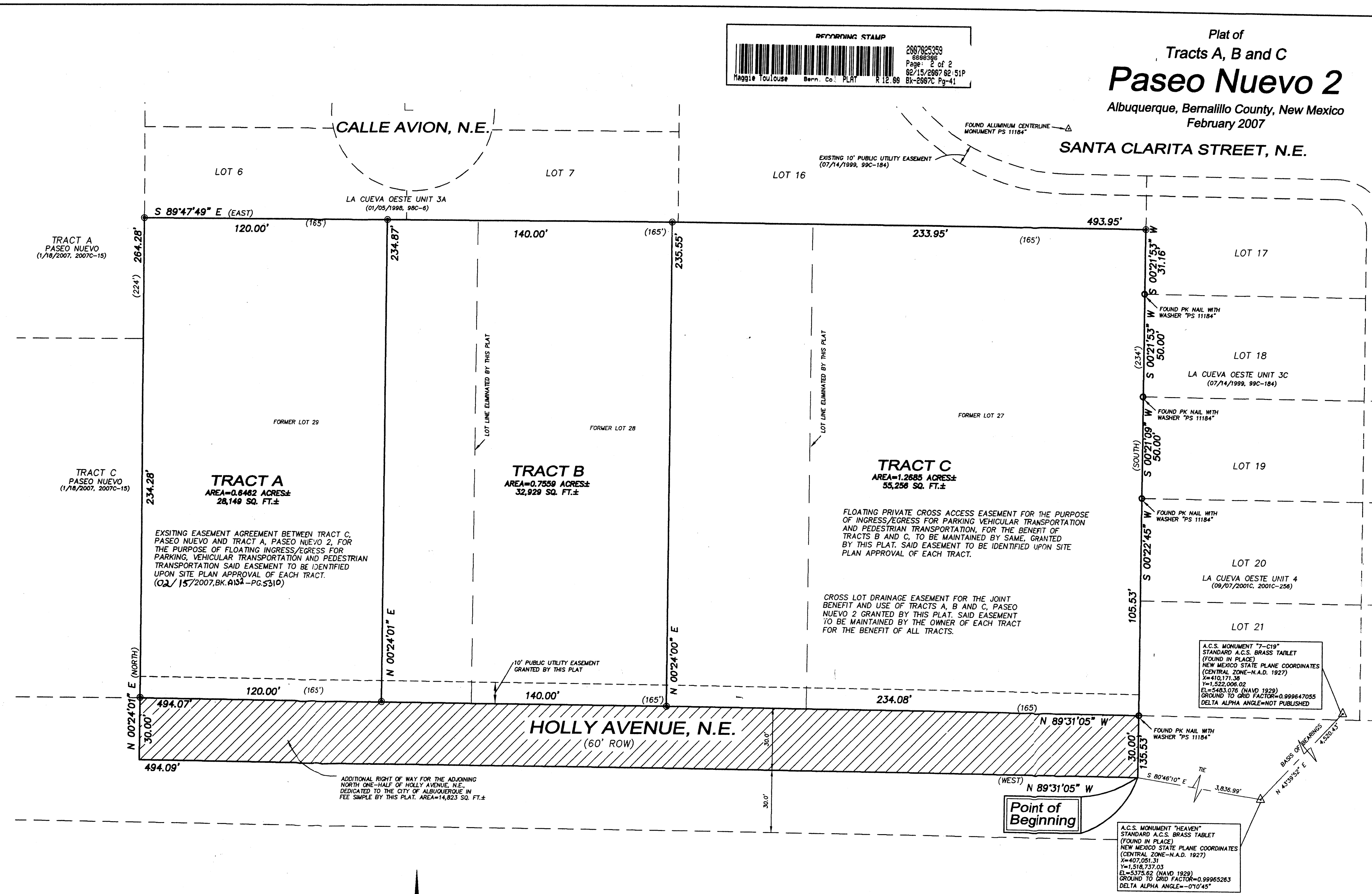
8500-A Jefferson Street, NE
 Albuquerque, NM 87113

RECORDING STAMP

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Haggle Toulouse Bern. Co. PLRT R 12.00

Plat of
 Tracts A, B and C
Paseo Nuevo 2
 Albuquerque, Bernalillo County, New Mexico
 February 2007



EXISTING EASEMENT AGREEMENT BETWEEN TRACT C, PASEO NUEVO AND TRACT A, PASEO NUEVO 2, FOR THE PURPOSE OF FLOATING INGRESS/EGRESS FOR PARKING, VEHICULAR TRANSPORTATION AND PEDESTRIAN TRANSPORTATION SAID EASEMENT TO BE IDENTIFIED UPON SITE PLAN APPROVAL OF EACH TRACT. (02/15/2007, BK. A134-PG. 5310)

FLOATING PRIVATE CROSS ACCESS EASEMENT FOR THE PURPOSE OF INGRESS/EGRESS FOR PARKING VEHICULAR TRANSPORTATION AND PEDESTRIAN TRANSPORTATION, FOR THE BENEFIT OF TRACTS B AND C, TO BE MAINTAINED BY SAME, GRANTED BY THIS PLAT. SAID EASEMENT TO BE IDENTIFIED UPON SITE PLAN APPROVAL OF EACH TRACT.

CROSS LOT DRAINAGE EASEMENT FOR THE JOINT BENEFIT AND USE OF TRACTS A, B AND C, PASEO NUEVO 2 GRANTED BY THIS PLAT. SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS.

ADDITIONAL RIGHT OF WAY FOR THE ADJOINING NORTH ONE-HALF OF HOLLY AVENUE, N.E., DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE BY THIS PLAT. AREA=14,823 SQ. FT.±

A.C.S. MONUMENT "7-C19"
 STANDARD A.C.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1927)
 X=410,171.38
 Y=1,522,006.02
 EL=5483.076 (NAVD 1929)
 GROUND TO GRID FACTOR=0.999647055
 DELTA ALPHA ANGLE=NOT PUBLISHED

A.C.S. MONUMENT "HEAVEN"
 STANDARD A.C.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1927)
 X=407,051.31
 Y=1,518,737.03
 EL=5375.52 (NAVD 1929)
 GROUND TO GRID FACTOR=0.99965263
 DELTA ALPHA ANGLE=-0°10'45"

Legend

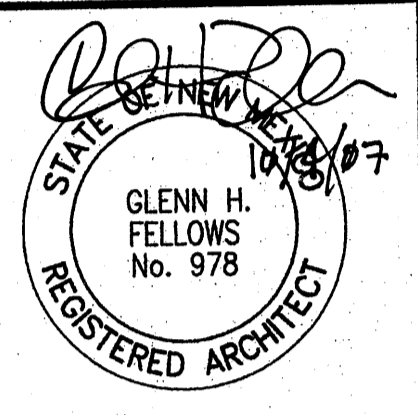
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
N 90°00'00" E	MEASURED BEARING AND DISTANCES



8500-A Jefferson Street, NE
 Albuquerque, NM 87113



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 115 AMHERST DRIVE SE, ALBUQUERQUE, NEW MEXICO 87102
 TEL: (505) 252-4900 FAX: (505) 258-8685



Paseo Nuevo 2
MEDICAL OFFICE
 6408 HOLLY AVE NE
 ALBUQUERQUE NM 87113

GENERAL NOTES

- LANDSCAPE PLAN ON C112
- REFER TO GRADING AND DRAINAGE PLAN FOR DRAIN PATTERN
- PARKING SPACES:**
 TOTAL: 55
 DISABLED SPACES: 4
 MOTORCYCLE SPACES: 3 (NOT INCLUDED IN TOTAL COUNT)
- PARKING SPACES 6 INCHES WIDER WHEN SIDES ADJACENT TO CURB
 SEE C1131 FOR SITE DETAILS

KEYED NOTES

- EXISTING CONDITIONS**
- A BLOCK WALLS ON PROPERTY LINE
 - B COA SIDEWALK
 - C STRIP OF EARTH BETWEEN HOLLY AVE NE AND SIDEWALK
 - D UTILITY EASEMENT 10'-0" WIDE
 - E SET BACK - ADJACENT TO RESIDENTIAL PROPERTY LINE
 - F REMAINING LAND-FILL STRIP
 - G WELL MONITOR
 - H FIRE HYDRANT

- NEW NOTES:**
- RETAINING WALL
 - DUMPSTER ENCLOSURE MASONRY TO 6'-0" ABOVE GRADE
 - GABION BASKET
 - ENCLOSURE GATE TO 6'-0" ABOVE GRADE
 - CONCRETE SIDEWALK 8'-0"
 - CURB & GUTTER
 - CONCRETE SIDEWALK/MOW STRIP - 4'-0" WIDE
 - CONCRETE SIDEWALK - 5'-0" WIDE
 - CONCRETE SIDEWALK - 6'-0" WIDE
 - MONUMENT SIGN
 - LANDSCAPED AREA
 - CONCRETE EXTENDS OUT 20'-0", STAMPED & STAINED FLAGSTONE PATTERN
 - CONCRETE STOOP AT DOORS
 - SWALE
 - ASPHALT PAVEMENT
 - DRY WELL
 - CONCRETE PAD AT TRANSFORMER
 - RAMP
 - WWF TRELLIS (FUTURE)
 - COLUMN SUPPORT FOR CANOPY
 - CANOPY ABOVE DROP OFF
 - CANOPY ABOVE WALK
 - WHEEL STOP
 - 24'-0" RADIUS ARC TO SHOW CLEARANCE
 - SIDEWALK FLUSH WITH LOT
 - MOTORCYCLE PARKING
 - HC PARKING SIGN
 - DUMPSTER
 - PATIO, STAMPED STAINED FLAGSTONE PATTERN
 - RUNDOWN CURB & GUTTER
 - TRENCH DRAIN
 - POST INDICATOR VALUE
 - FIRE DEPARTMENT CONNECTION
 - BIKE RACK
 - PEDESTRIAN & BIKE ACCESS
 - LIGHT POLE

SIGN OFF BLOCK
 APPROVED BY DRB
 10/17/07

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () YES () NO if yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

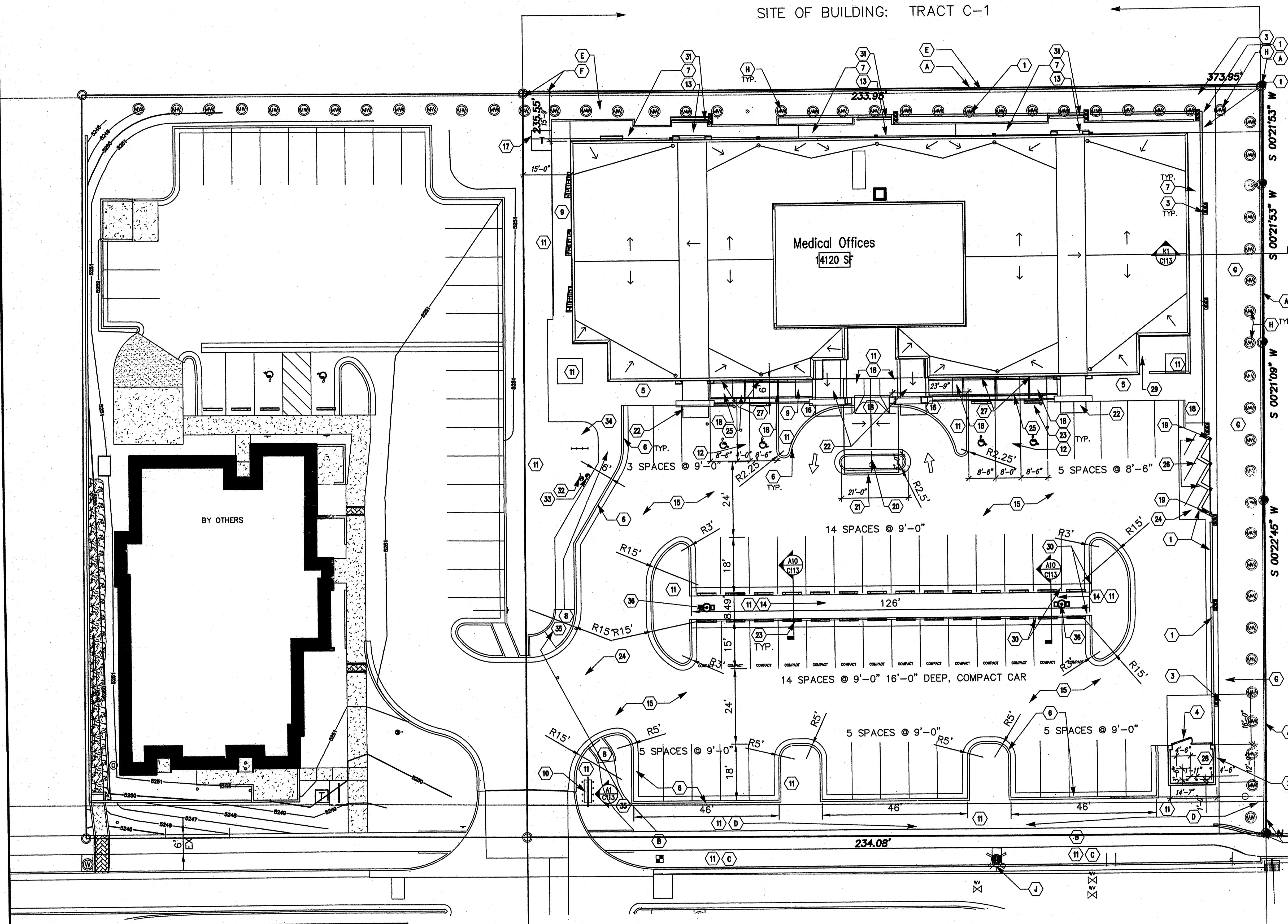
* Environmental Health, if necessary

NO	DATE	DESCRIPTION

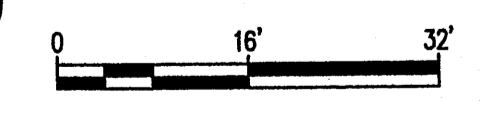
DATE: 10.01.07
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 DRAWN BY: TPW
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SITE DEVELOPMENT PLAN

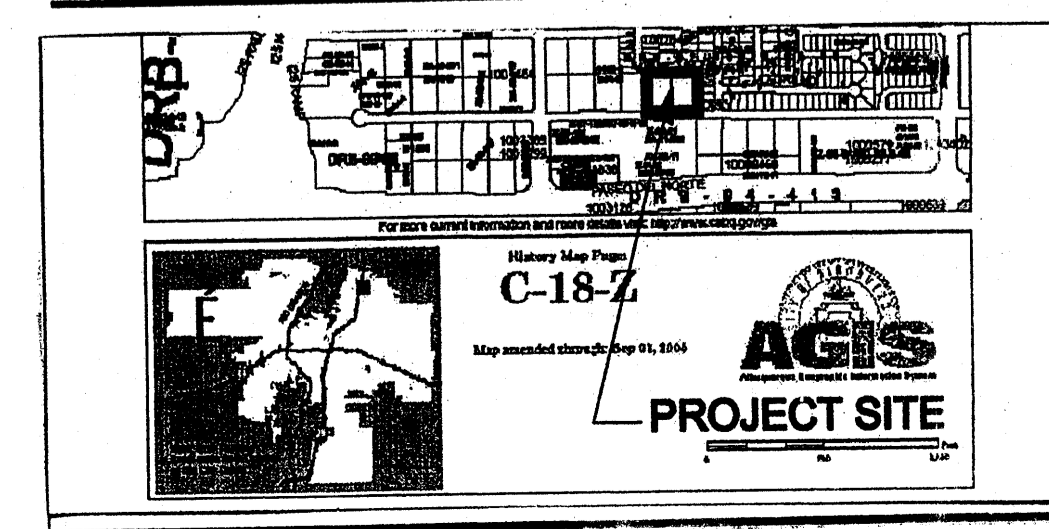
C111
 SHEET OF



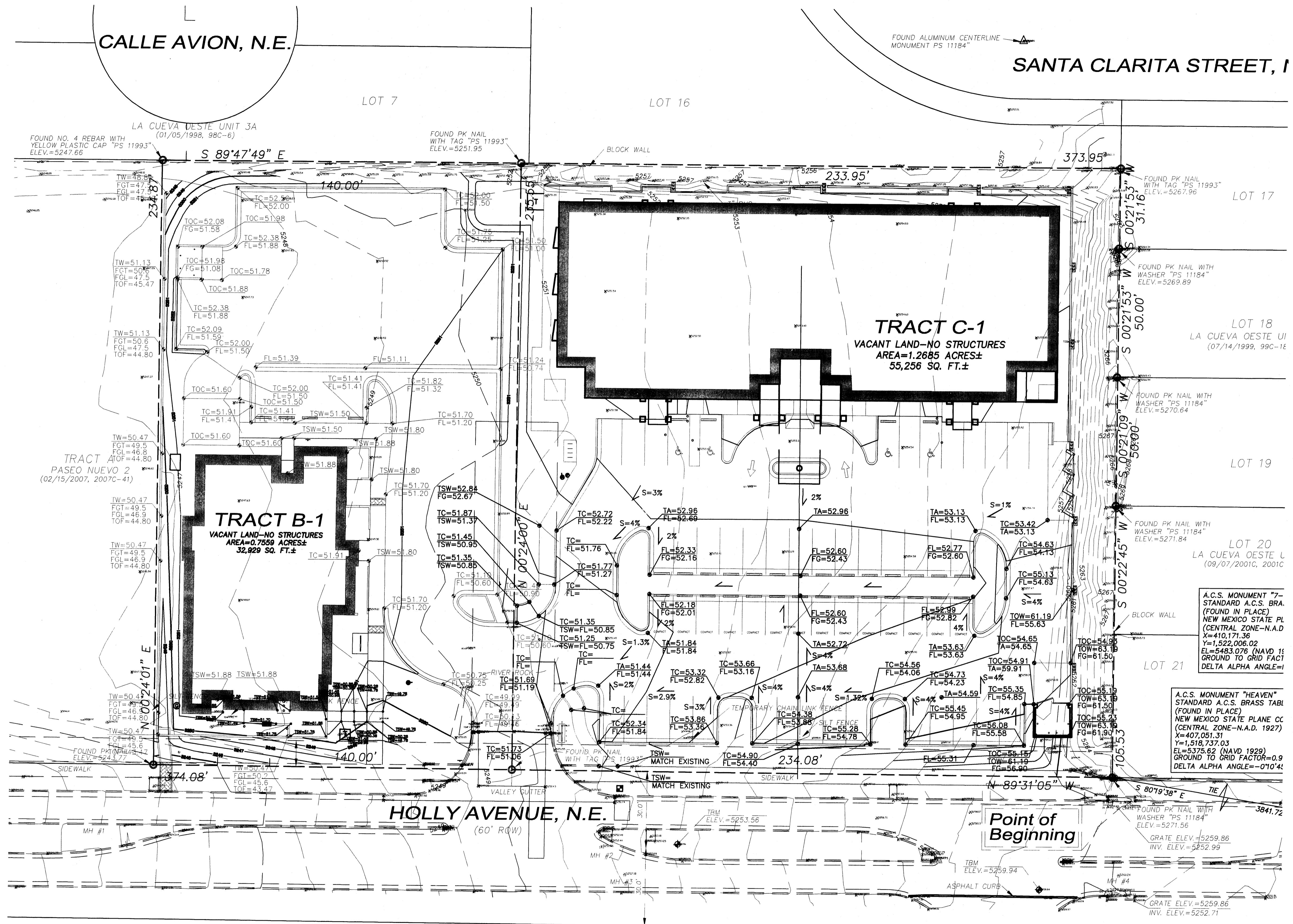
B1 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 1/16" = 1'-0"



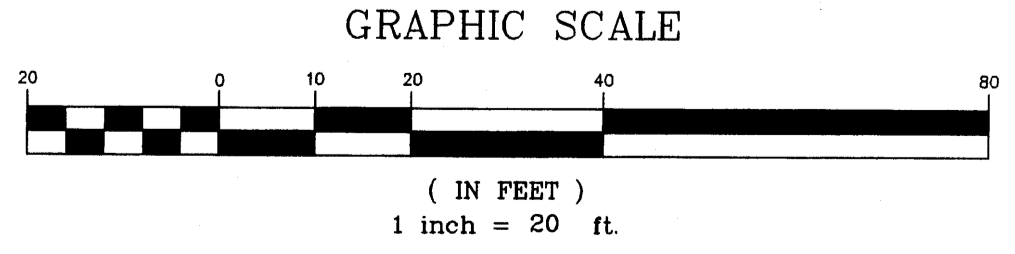
VICINITY MAP



Need a new sign-off block

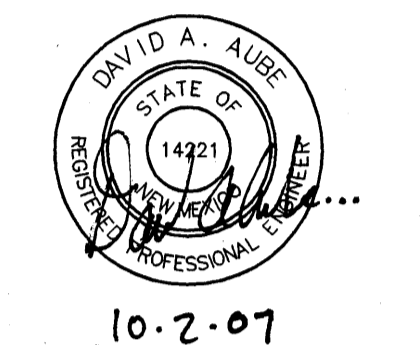


A1 SITE GRADING PLAN
SCALE: 1" = 20'-0"



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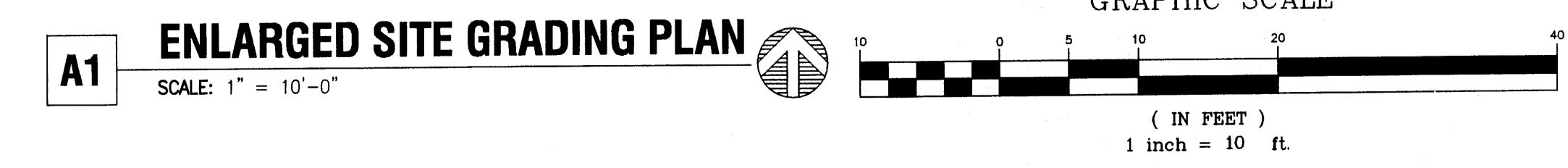
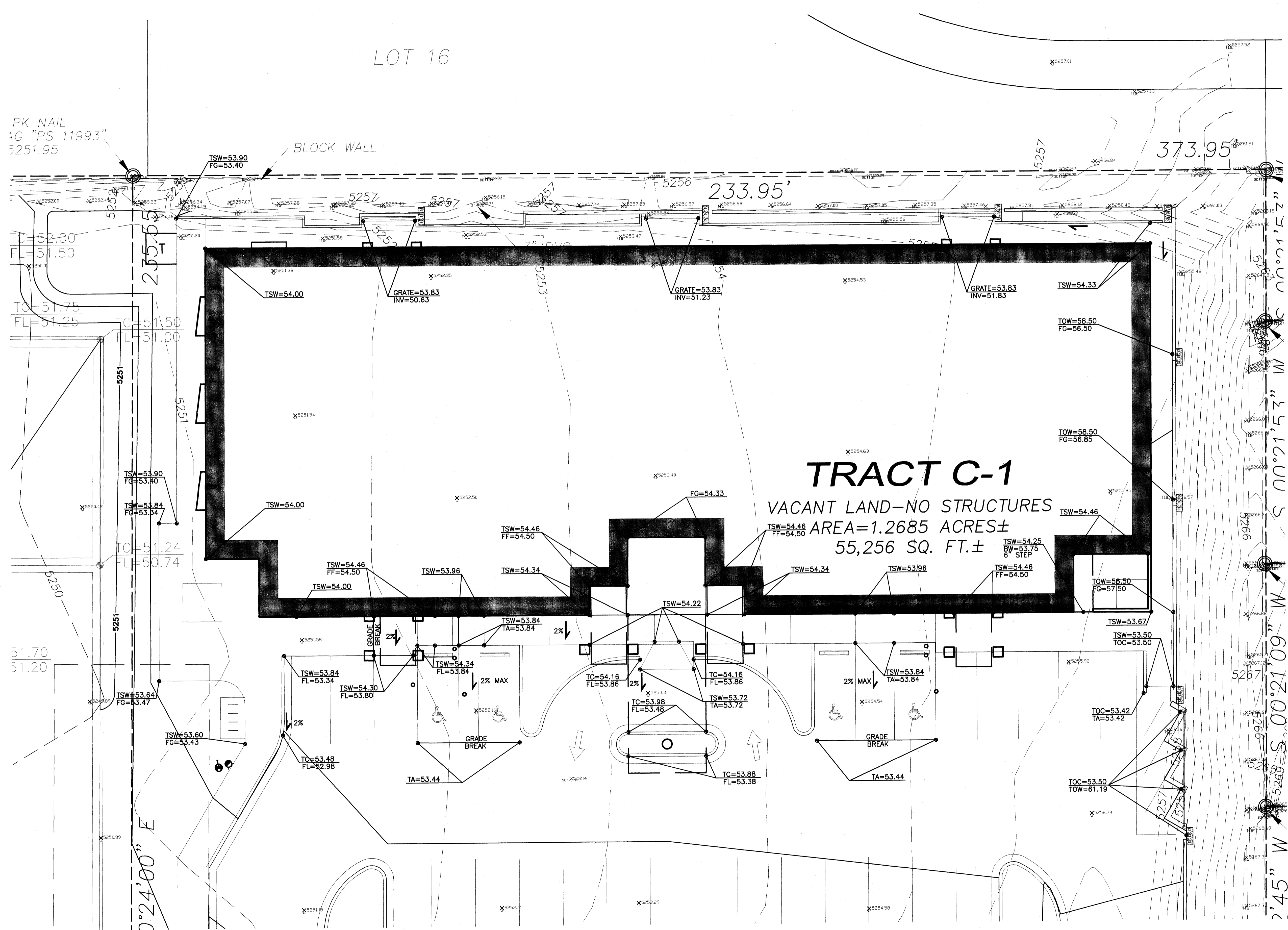
THE DESIGN GROUP
ARCHITECTS • PLANNERS • INTERIOR DESIGN
355 CENTRAL AVENUE SE SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
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SITE GRADING PLAN

C201
SHEET OF



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ALBUQUERQUE, NEW MEXICO 87102

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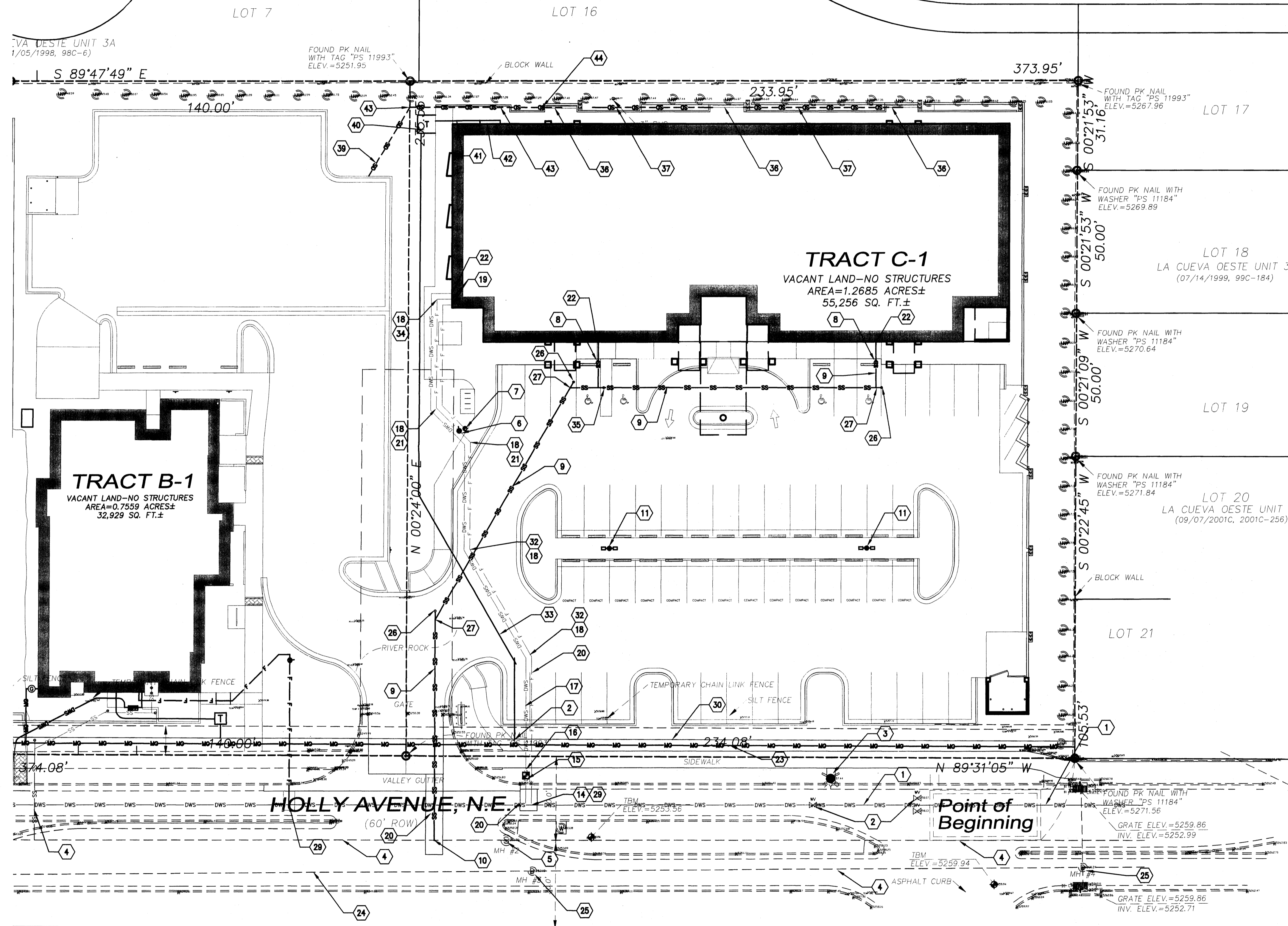
ENLARGED SITE GRADING PLAN

C202

SHEET OF

AVION, N.E.

SANTA CLARITA STREET, N.E.



GENERAL NOTES:

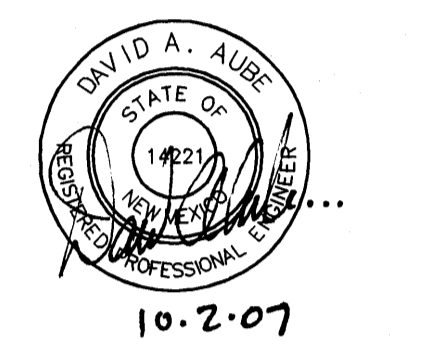
- A. See sheet CG01 for complete list of general notes and symbol/linetype legend that apply to all sheets.
- B. See survey for all existing utility and cross lot drainage easements.
- C. Contractor shall field verify site for existing conditions (spoils, borrow areas, etc.) prior to bidding earthwork quantities.

KEYED NOTES

- 1. Existing waterline to remain.
- 2. Existing water valve to remain.
- 3. Existing fire hydrant to remain.
- 4. Existing sanitary sewer line.
- 5. Existing sanitary sewer manhole.
- 6. Install post indicator valve per detail F3/C504.
- 7. Install fire department connection per detail A3/C504.
- 8. Install sanitary sewer double cleanout per detail E6/C503.
- 9. Install 4" PVC SDR 35 sanitary sewer line
- 10. Connect to existing sanitary sewer stub out.
- 11. Light pole see electrical drawings for details.
- 12. Existing monitoring well to remain. protect during construction.
- 13. Electrical equipment see electrical plans.
- 14. install 1 1/2" water service line subout with curb stop.
- 15. Install new 1 1/2" water meter in existing meter box per City of Albuquerque Standard Drawing 2367.
- 16. Install 2"x 1 1/2" reducer in domestic service water line.
- 17. Install 2" Sch 40 pvc waterline.
- 18. Install 2" bend in Sch 40 PVC waterline.
- 19. Connect fire suppression service to building.
- 20. Install 4" DI fire suppression waterline.
- 21. Install 4"x 45' DI bend in fire suppression waterline.
- 22. Connect to building. See mechanical plans for continuation.
- 23. Existing natural gas line.
- 24. Existing storm sewer.
- 25. Existing storm sewer manhole.
- 26. Install sanitary sewer terminal cleanout per detail C6/C503.
- 27. Install sanitary sewer wye.
- 28. Saw cut, remove and replace asphalt as necessary (minimum 4' wide). replace in kind plus 2" of asphalt thickness.
- 29. Install 4" tapping saddle and corporation stop for new fire line onto existing water main.
- 30. Existing electrical lines.
- 31. Connect primary feed. See Electrical Plans.
- 32. Install 4" x 22.5' DI bend in fire suppression waterline.
- 33. Primary Power conduit and conductors. See Elec. Plans.
- 34. Install 4" x 90' DI elbow in fire suppression waterline.
- 35. Install sanitary sewer single cleanout per detail E6/C503.
- 36. Install 8" wide trench drain. See grading plans for inverts.
- 37. Install 8" PVC storm drain line.
- 38. Install 12" PVC storm drain line
- 39. Install 12" HDPE end section and transition coupling.
- 40. Electrical Transformer.
- 41. Secondary Power Line. See Electrical Plans.
- 42. Main disconnect. See Electrical Plans.
- 43. Install 12" x 45' bend in storm drain line.
- 44. Install 12"x8" reducer.

ARCHITECTS
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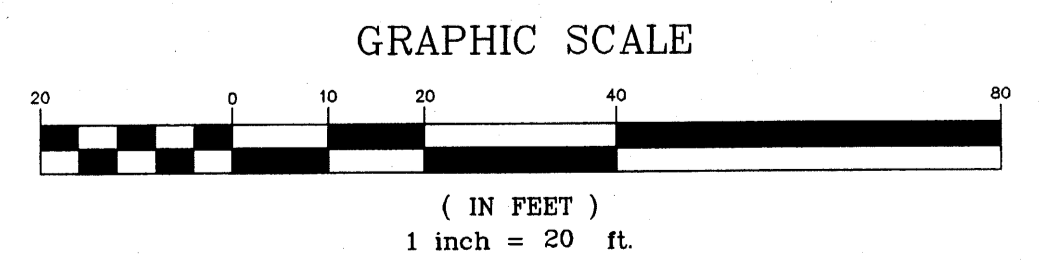
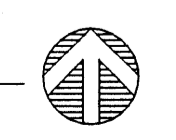
SITE UTILITY PLAN

C301

SHEET OF

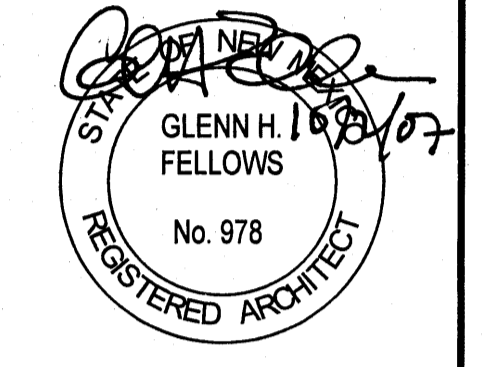
A1 SITE UTILITY PLAN

SCALE: 1" = 20'-0"





ARCHITECTS PLANNERS INTERIOR DESIGN
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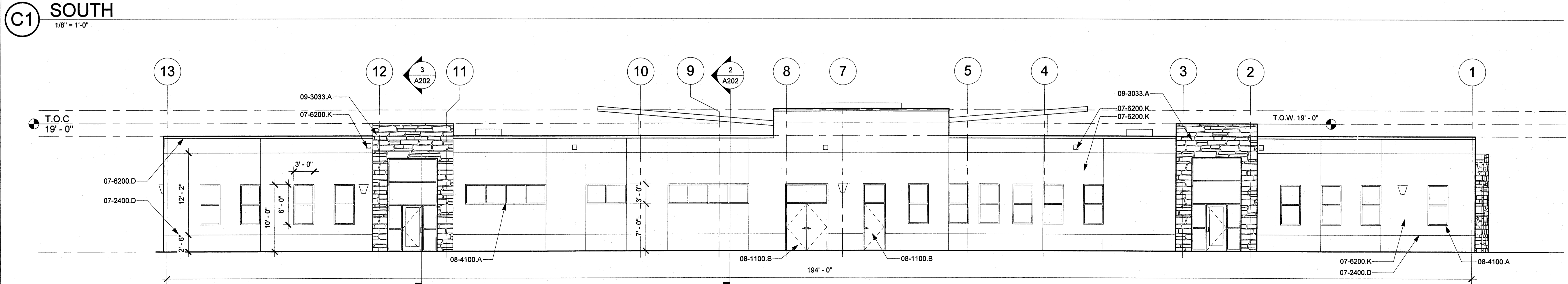
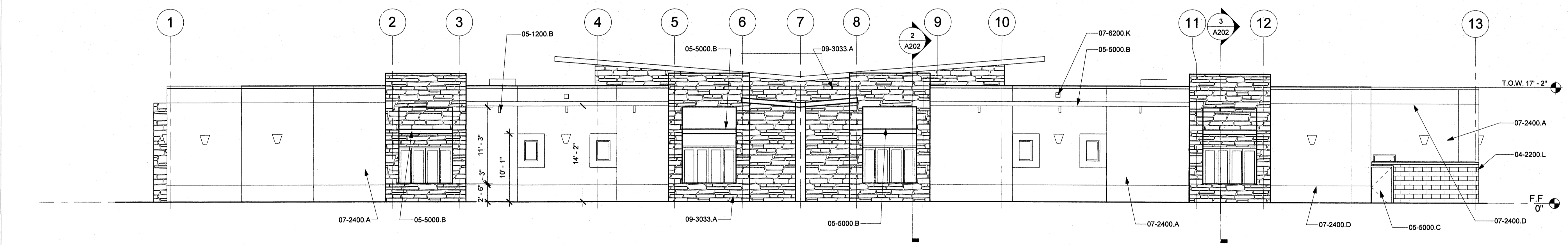
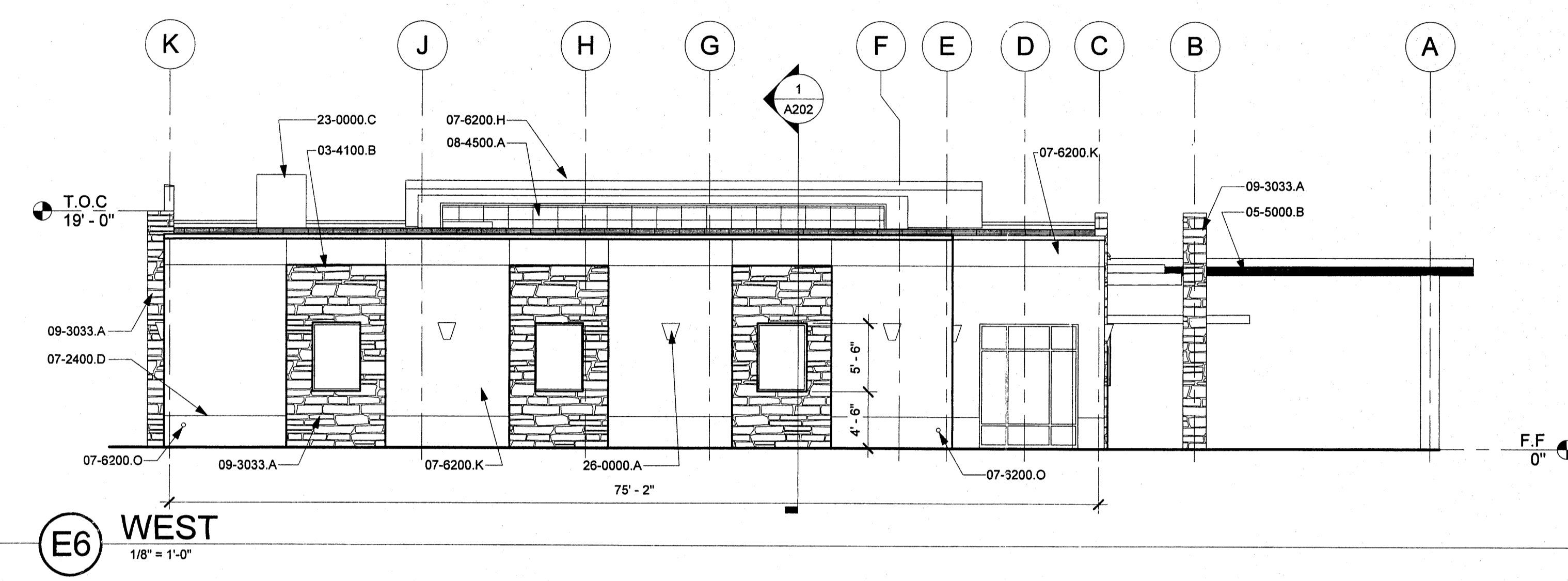
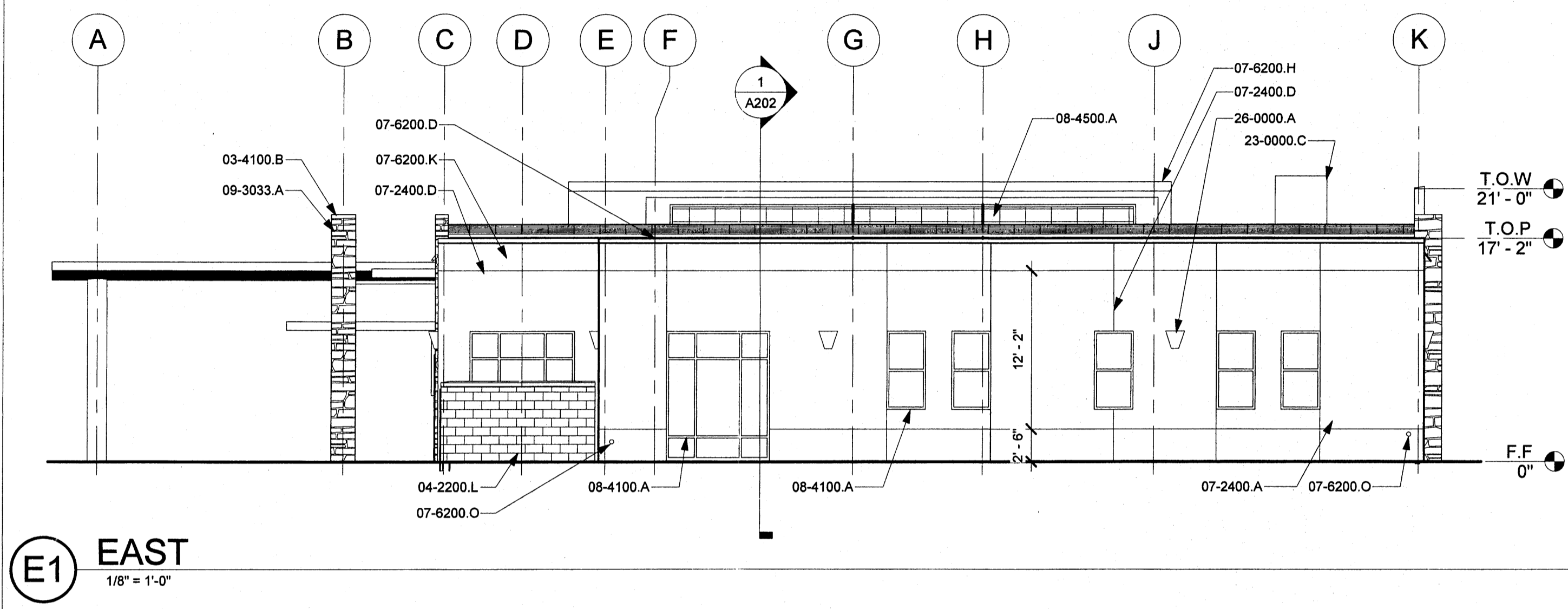
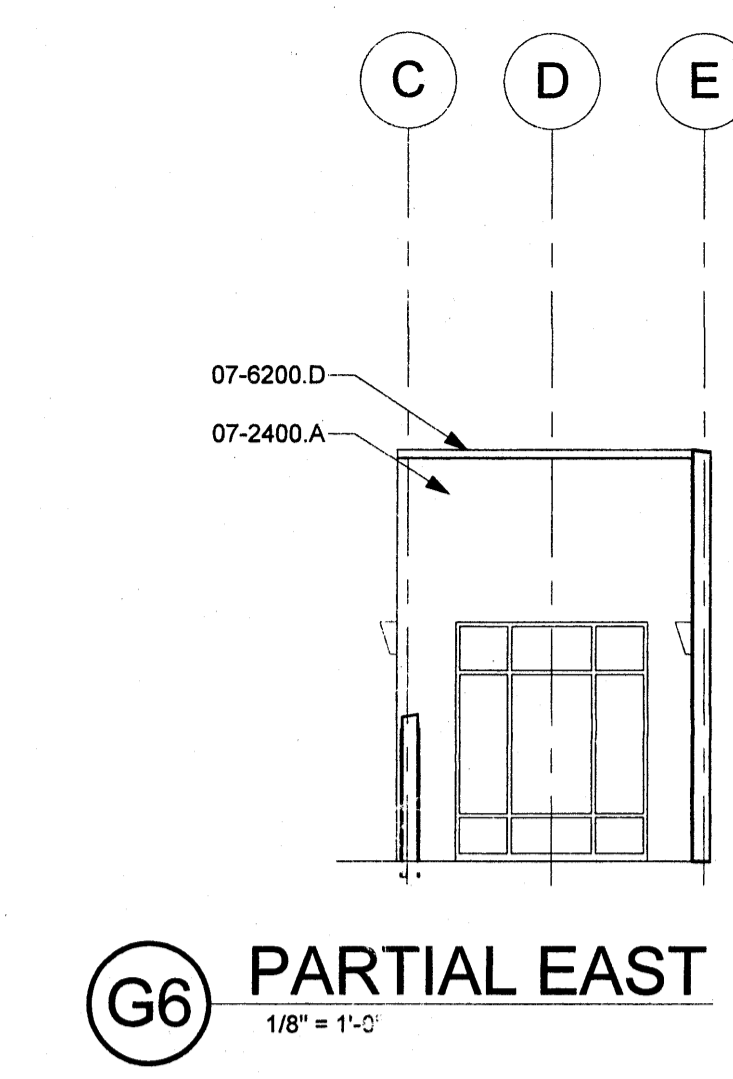
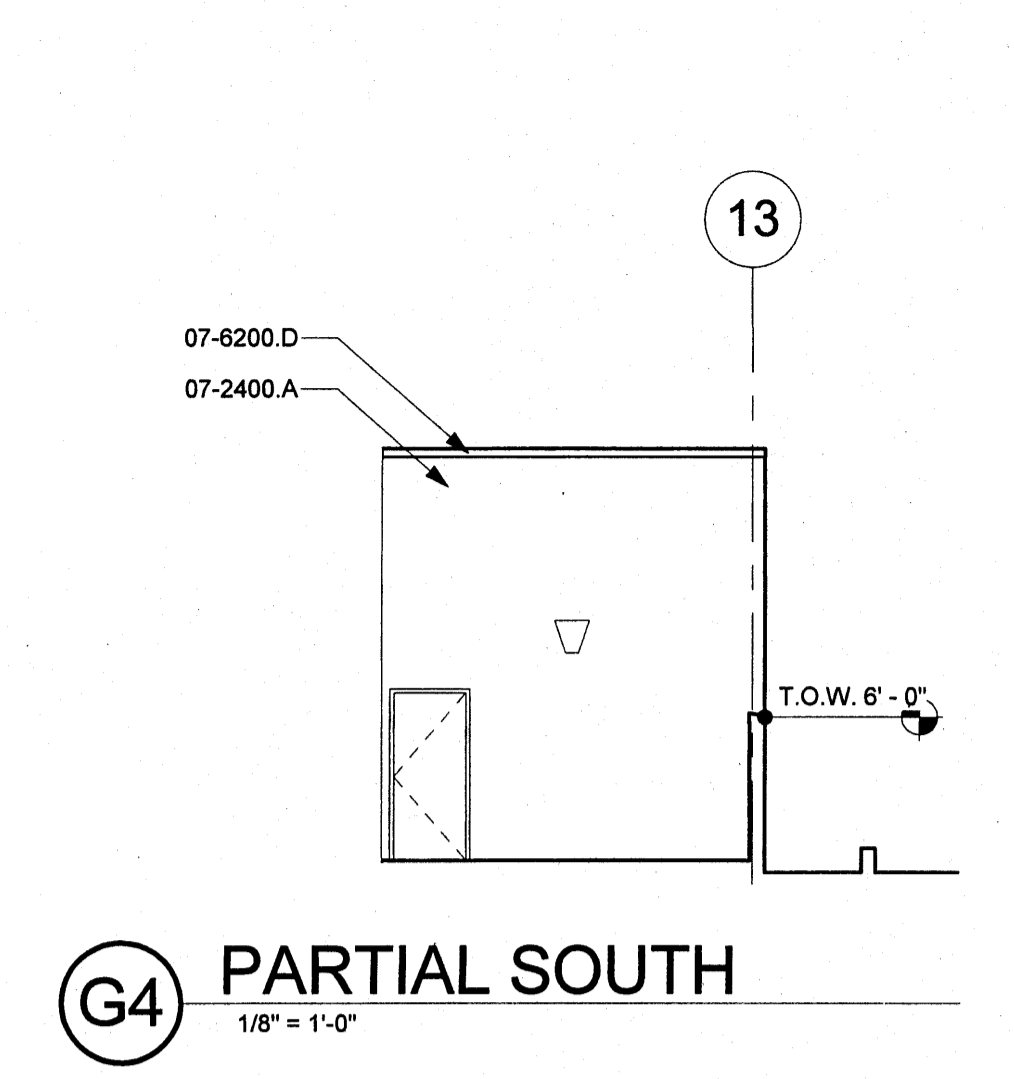
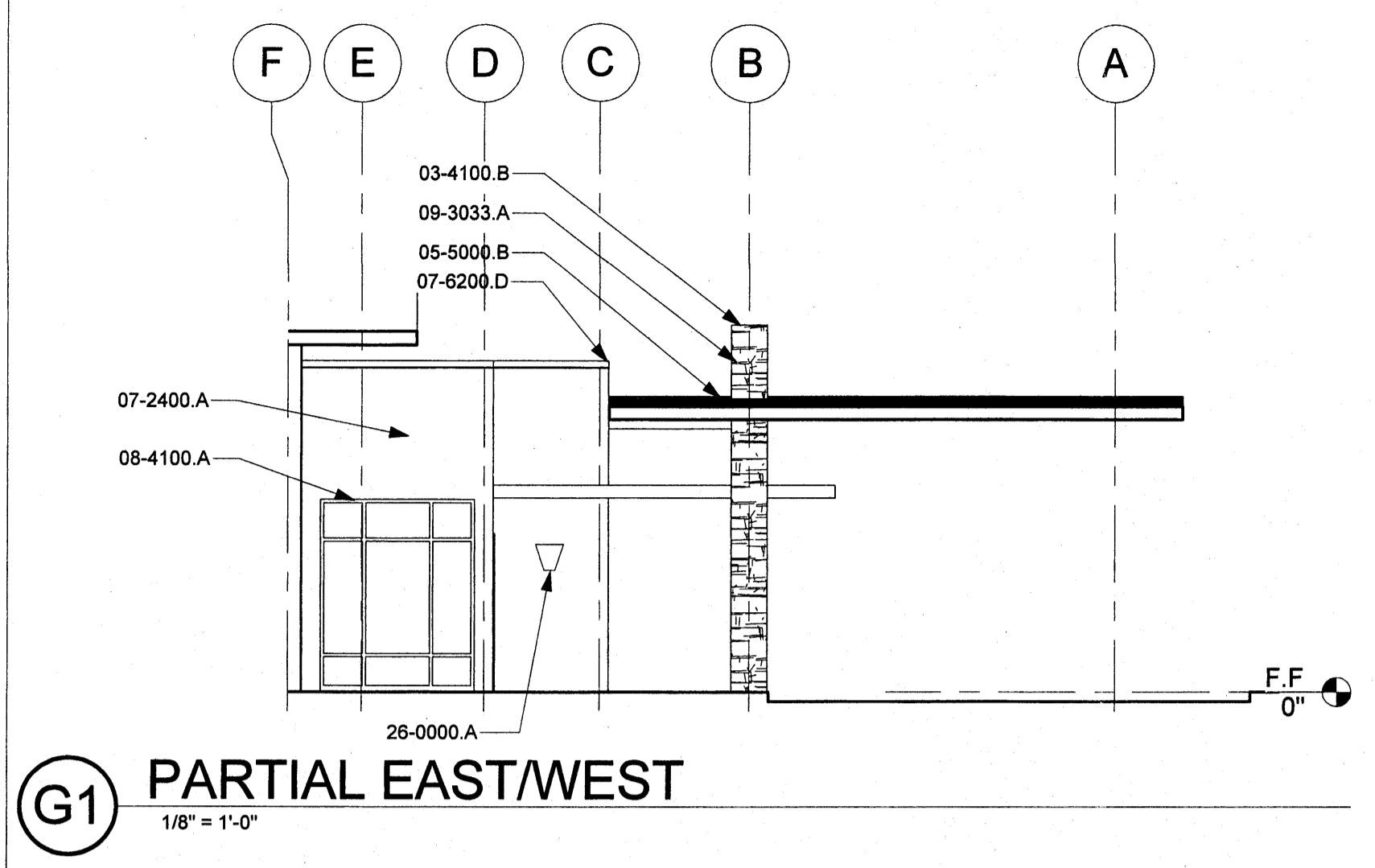


Paseo Nuevo 2
MEDICAL OFFICE
6425 HOLLY AVE NE
ALBUQUERQUE NM 87113

MATERIAL KEYING LEGEND

- 03-4100.B INTEGRAL COLOR CAP WITH IMBEDDED THREADED ROD
- 04-2200.L DECORATIVE BLOCK - TWO HOLES THRU SIDE OF BLOCK
- 05-1200.B STEEL TUBE
- 05-5000.B CANOPY
- 05-5000.C GATE
- 07-2400.A EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)
- 07-2400.D EIFS CONTROL JOINT
- 07-6200.D METAL COPING, PREFABRICATED
- 07-6200.H FASCIA TRIM
- 07-6200.K OVERFLOW SCUPPER
- 07-6200.O ROOF DRAIN OUTLET
- 08-1100.B HOLLOW METAL DOOR
- 08-4100.A ALUMINUM STOREFRONT SYSTEM
- 08-4500.A TRANSLUCENT WALL PANEL
- 09-3033.A STONE TILES
- 23-0000.C MECHANICAL ROOF TOP UNIT
- 26-0000.A LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS)

Exterior Finish Schedule		
Material	Note Number	Name
Stone Tile	09-3033	Arriscraft - Renaissance Masonry Units - Georgia Standard Finish: Sedona, rocked finish
EIFS	07-2400	STO - 32230
Coping & prefinished metal	07-4100.B, 07-6200	Kynar finish - color match Dunn Edwards - DE6362 Storm Cloud LRV-21
Painted Steel	05-1200, 05-5000	Dunn Edwards - DE6301 Hidden forrest LRV-9
Storefront and Automatic Door & Window frames	08-4100, 08-4229	Clear Anodized Aluminum
Soffit Panels	07-4100.A	white
Hollow Metal doors and frames	08-1100	Dunn Edwards - color match STO EIFS color
Translucent Wall Panel	08-4500	Kalwall - Prefinished white aluminum frame, white side inward, crystal side outward



NO	DATE	DESCRIPTION

DATE: 10.01.07
PROJECT #: 07026
DRAWN BY: Author
CHD BY: SMPC

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A201
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