

Location Map  
Zone Atlas Map No. B-13-Z

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 17.0208 ACRES±  
 ZONE ATLAS INDEX NO: B-13-Z  
 NO. OF TRACTS CREATED: 3  
 NO. OF LOTS CREATED: 0  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: MARCH 2007

**Disclosure Statement:**

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE TRACT INTO THREE NEW TRACTS, TO GRANT EASEMENTS, TO VACATE EASEMENTS (07DRB-00260: VPE) AND TO DEDICATE ADDITIONAL RIGHT OF WAY FOR EAGLE RANCH ROAD.

**Notes:**

- MISC. DATA: ZONING SU-1; SEVEN BAR RANCH SECTOR DEVELOPMENT PLAN & COORS CORRIDOR SECTOR DEVELOPMENT PLAN
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 10, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2007120102.

**Easements**

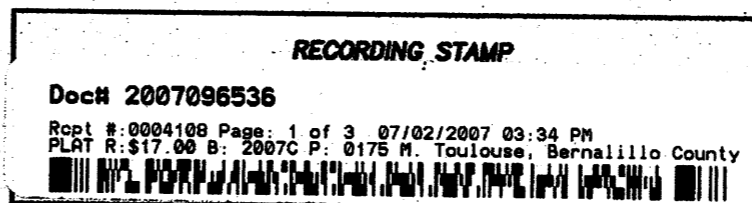
THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
  - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
  - QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
  - COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



**Legal Description**

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ALAMEDA GRANT, PROJECTED SECTION 10, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO COMPRISING OF TRACT N-1-B-2 AS SHOWN ON THE REPLAT OF TRACT N-1-B, SEVEN BAR RANCH, IN THE CITY OF ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 12, 1988, IN MAP BOOK C37, FOLIO 35, CONTAINING 17.0208 ACRES MORE OR LESS, NOW COMPRISING OF TRACTS N-1-B-2-A, N-1-B-2-B AND N-1-B-2-C, SEVEN BAR RANCH

**NMU, INC. NOTES**

NOTE: THESE PROPERTIES LIE WITHIN THE NEW MEXICO UTILITIES, INC. (NMU, INC.) FRANCHISE AREA. WATER AND SANITARY SEWER CAPABILITIES ARE BASED UPON THE NMU, INC. FACILITIES, NOT THE CITY OF ALBUQUERQUE.

EASEMENTS AS SHOWN ON THIS PLAT ARE GRANTED TO NEW MEXICO UTILITIES, INC. FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND WATER AND SANITARY SEWER LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE WATER AND SANITARY SEWER SERVICE.

**Free Consent and Dedication**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ADDITIONAL RIGHT OF WAY FOR EAGLE RANCH ROAD, N.W. SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

*John Sedberry*  
 JOHN SEDBERRY  
 MANAGING MEMBER  
 COORS DEVELOPMENT, LLC

3/19/07  
 DATE

**Acknowledgment**

STATE OF NEW MEXICO ) SS  
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 19<sup>th</sup> DAY OF March, 2007 BY JOHN SEDBERRY, MANAGING MEMBER, COORS EAGLE RANCH, LLC.

BY *Lisa Parish* MY COMMISSION EXPIRES: Aug 22, 2007  
 NOTARY PUBLIC



Plat of  
 Tracts N-1-B-2-A, N-1-B-2-B and N-1-B-2-C  
**Seven-Bar Ranch**

Albuquerque, Bernalillo County, New Mexico  
 March 2007

Project No. 1005133

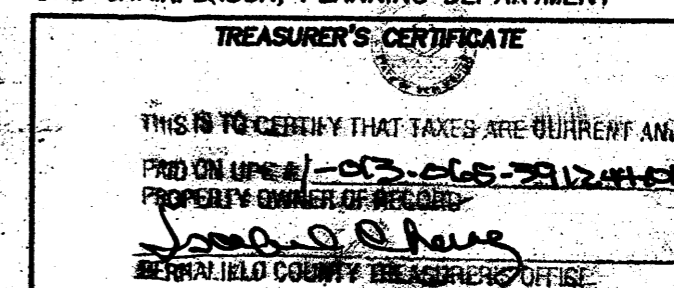
Application No. 07DRB-00352

**Utility Approvals**

<i>Lead S. Marts</i>	4-23-07
PNM ELECTRIC SERVICES	DATE
<i>Lead S. Marts</i>	4-23-07
PNM GAS SERVICES	DATE
<i>Successor</i>	4/24/07
QWEST TELECOMMUNICATIONS	DATE
<i>Amber Bolton</i>	4-19-07
COMCAST	DATE
<i>[Signature]</i>	8-24-07
NEW MEXICO UTILITIES, INC.	DATE

**City Approvals**

<i>[Signature]</i>	3-20-07
CITY SURVEYOR	DATE
N/A	
REAL PROPERTY DIVISION	DATE
N/A	
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
<i>[Signature]</i>	4-25-07
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
<i>[Signature]</i>	4-25-07
WATER UTILITY DEPARTMENT	DATE
<i>Christina Sandora</i>	4/25/07
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	6-20-07
AMAFCA	DATE
<i>Bradley D. Brinjan</i>	4/25/07
CITY ENGINEER	DATE
<i>[Signature]</i>	7/02/07
DRB CHAIRPERSON, PLANNING DEPARTMENT	



**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*Larry W. Medrano* 3/19/07  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993  
 DATE

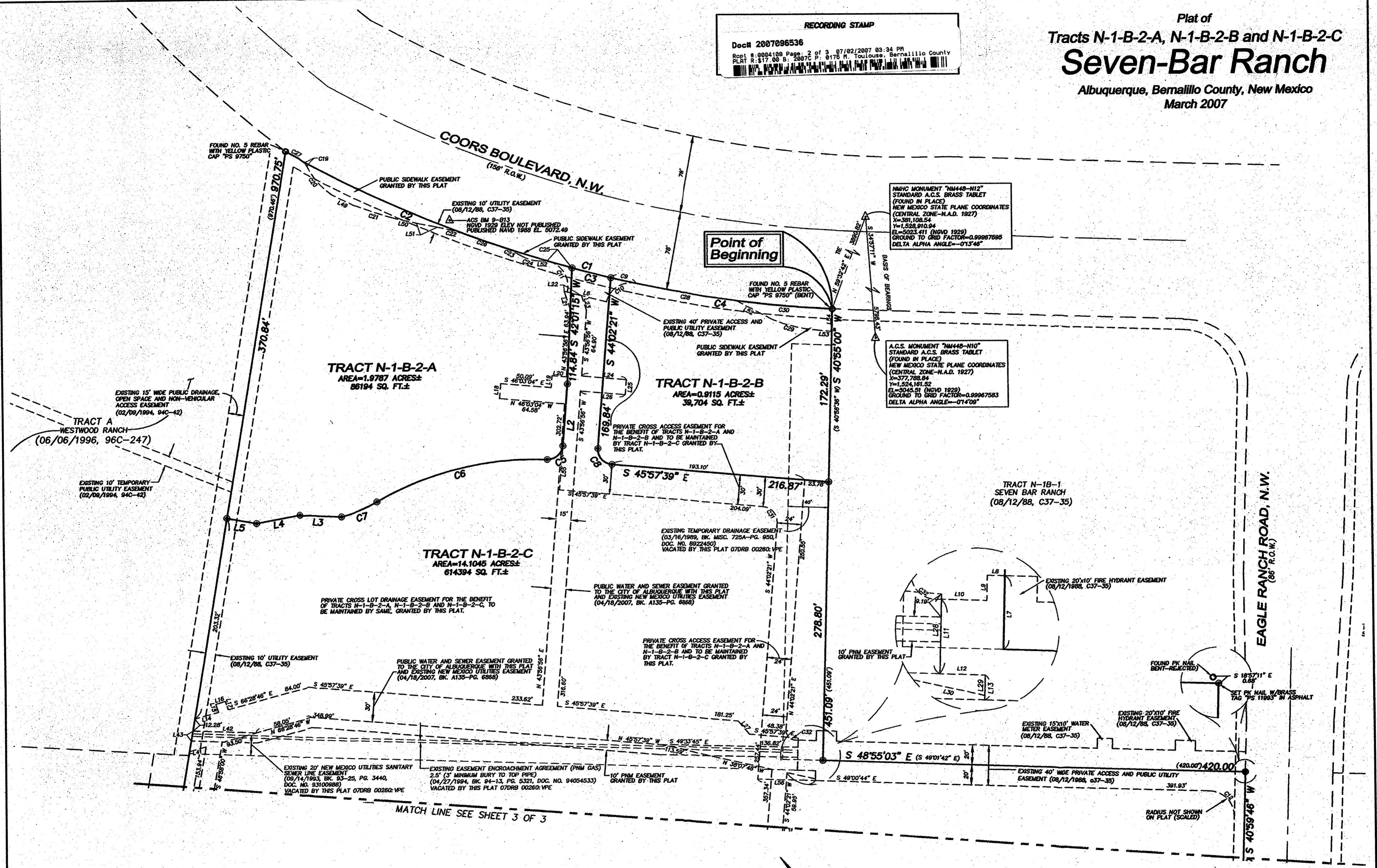


8500-A Jefferson Street, NE  
 Albuquerque, NM 87113

866.442.8011 TOLL FREE  
 505.856.5700 PHONE  
 505.856.7900 FAX

RECORDING STAMP  
 Doc# 2007096536  
 Rpt #: 0004108 Page: 2 of 3 07/02/2007 03:34 PM  
 PLRT R: \$17.00 B: 20070 P: 0175 M: Toulouse, Bernalillo County

Plat of  
**Tracts N-1-B-2-A, N-1-B-2-B and N-1-B-2-C**  
**Seven-Bar Ranch**  
 Albuquerque, Bernalillo County, New Mexico  
 March 2007



NMHC MONUMENT "NM448-N12"  
 STANDARD A.C.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=381,103.54  
 Y=1,528,910.94  
 EL=5023.411 (NGVD 1929)  
 GROUND TO GRID FACTOR=0.99967585  
 DELTA ALPHA ANGLE=-013'46"

A.C.S. MONUMENT "NM448-N10"  
 STANDARD A.C.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=371,758.64  
 Y=1,524,161.32  
 EL=5045.91 (NGVD 1929)  
 GROUND TO GRID FACTOR=0.99967583  
 DELTA ALPHA ANGLE=-014'08"

**Legend**

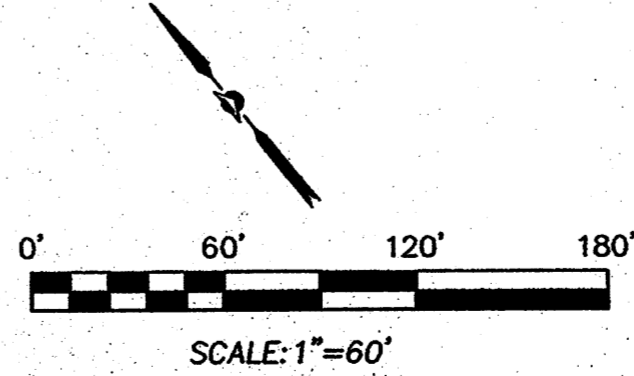
(N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES

N 90°00'00" E MEASURED BEARING AND DISTANCES

○ FOUND AND USED MONUMENT AS DESIGNATED

● DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY

SEE SHEET 3 OF 3 FOR LINE AND CURVE TABLES



**PRECISION SURVEYS, INC.**

8500-A Jefferson Street, NE  
 Albuquerque, NM 87113

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 505.856.5700 PHONE  
 505.856.7900 FAX

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# Legend

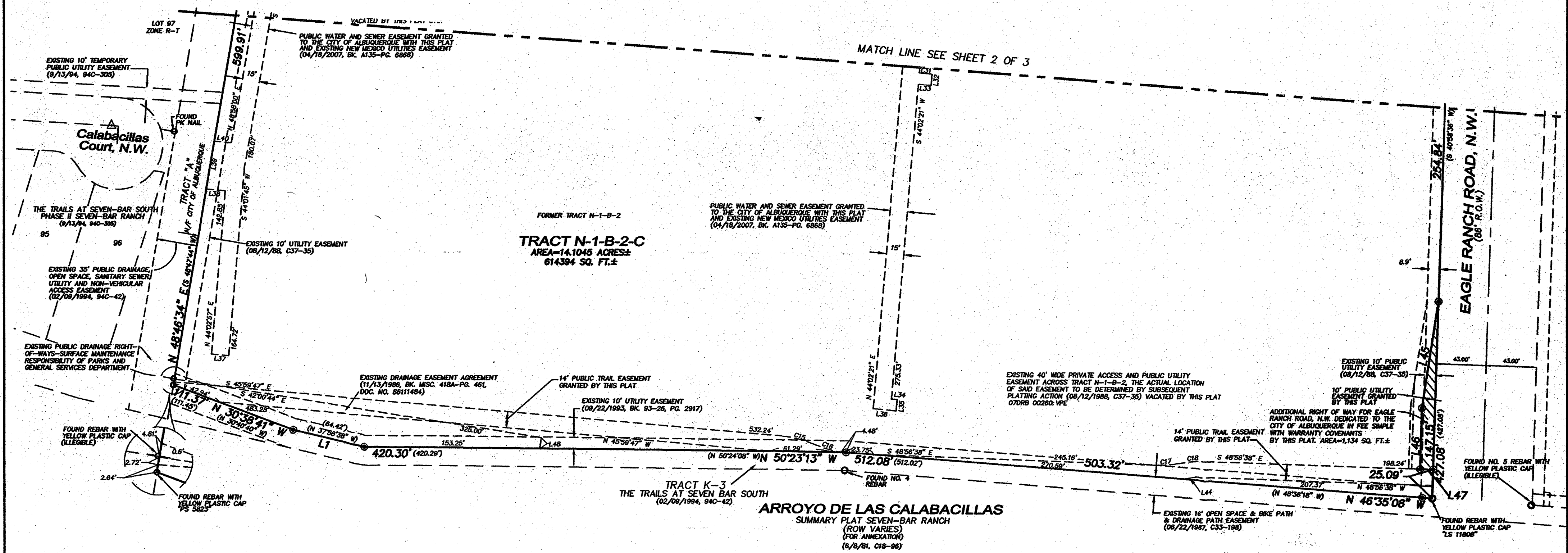
- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY

**RECORDING STAMP**

Doc# 2007096536

Rcpt #: 0004108 Page: 3 of 3 07/02/2007 09:34 PM  
 PLAT R: \$17.00 P: 2007C P: 0175 N. Toulouse, Bernalillo County

Plat of  
**Tracts N-1-B-2-A, N-1-B-2-B and N-1-B-2-C**  
**Seven-Bar Ranch**  
 Albuquerque, Bernalillo County, New Mexico  
 March 2007

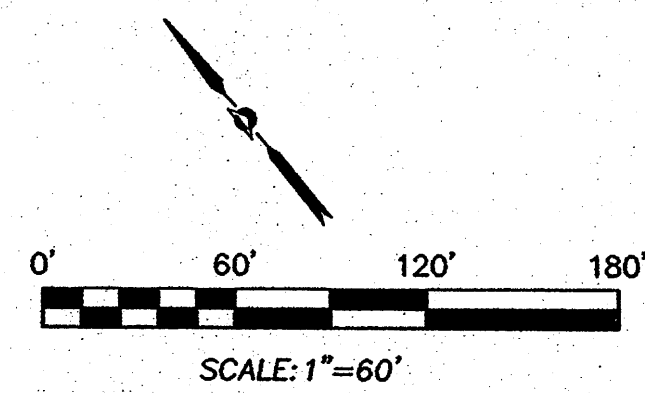


## Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	1224.00'	571.95'	26°46'23"	291.29'	566.76'	S 34°30'12" E
C2	1224.00'	309.19'	14°28'24"	155.42'	308.37'	N 28°21'13" W
C3	1224.00'	39.59'	01°51'12"	19.80'	39.59'	N 36°31'01" W
C4	1224.00'	223.16'	10°26'47"	111.89'	222.85'	N 42°40'00" W
C5	15.00'	22.91'	87°30'23"	14.36'	20.75'	S 87°47'33" W
C6	312.00'	177.04'	32°30'42"	90.97'	174.67'	S 64°42'37" E
C7	138.00'	38.38'	15°56'08"	19.32'	38.26'	N 72°59'54" W
C8	15.00'	23.56'	90°00'00"	15.00'	21.21'	N 00°57'39" W
C9	1224.00'	25.57'	01°11'49"	12.78'	25.57'	N 38°02'31" W
C10	25.00'	38.37'	87°55'48"	24.11'	34.71'	S 82°36'47" E
C11	25.00'	38.37'	87°56'15"	24.12'	34.71'	S 09°27'23" W
C12	25.00'	39.27'	90°00'18"	25.00'	35.36'	S 04°00'35" E
C13	143.37'	11.40'	04°33'22"	5.70'	11.40'	S 54°50'54" W
C14	156.62'	44.20'	16°10'14"	22.25'	44.06'	N 49°02'28" E
C15	102.00'	31.79'	17°51'23"	16.02'	31.66'	S 37°04'06" E
C16	98.00'	22.54'	13°10'45"	11.32'	22.49'	N 34°43'47" W
C17	98.50'	22.07'	12°50'19"	11.08'	22.03'	N 55°21'47" W
C18	101.50'	22.74'	12°50'19"	11.42'	22.70'	S 55°21'47" E
C19	61.55'	4.63'	03°15'19"	2.32'	4.63'	S 06°03'20" W
C20	80.56'	38.75'	27°33'27"	19.76'	38.37'	N 01°14'31" W
C21	330.42'	43.09'	07°28'18"	21.57'	43.06'	N 32°15'34" W
C22	303.90'	27.20'	05°07'41"	13.61'	27.19'	S 36°54'20" E
C23	178.82'	17.57'	05°37'45"	8.79'	17.56'	S 24°13'48" E
C24	36.39'	18.93'	29°48'05"	9.68'	18.71'	N 34°26'11" W
C25	1224.00'	25.70'	01°12'10"	12.85'	25.70'	N 34°59'20" W
C26	1224.00'	43.52'	02°02'13"	21.76'	43.51'	N 31°19'44" W
C27	1224.00'	21.76'	01°01'07"	10.88'	21.76'	N 21°37'35" W
C28	1224.00'	102.11'	04°46'47"	51.08'	102.08'	N 41°01'49" W
C29	143.97'	45.42'	18°04'37"	22.90'	45.23'	N 37°21'32" W
C30	1224.00'	95.48'	04°28'11"	47.77'	95.46'	N 45°39'18" W
C31	15.00'	23.56'	90°00'00"	15.00'	21.21'	S 00°57'39" E
C32	10.34'	18.73'	103°49'41"	13.19'	16.27'	N 08°40'26" W

## Line Table

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N 37°56'47" W	64.43'	L33	N 45°57'39" W	11.13'
L2	S 44°01'50" W	61.88'	L34	S 45°57'39" E	4.92'
L3	N 48°24'30" W	42.48'	L35	S 44°02'21" W	10.00'
L4	N 61°29'06" W	44.08'	L36	N 45°57'39" W	19.92'
L5	N 41°11'18" W	29.97'	L37	N 45°57'36" W	15.00'
L6	N 36°34'30" W	40.00'	L38	N 45°57'39" W	16.73'
L7	N 40°55'00" E	29.33'	L39	N 48°46'34" E	42.22'
L8	N 49°00'44" W	7.00'	L40	S 45°57'39" E	14.88'
L9	N 40°55'00" E	10.00'	L41	N 66°28'46" W	16.96'
L10	N 49°00'44" W	18.00'	L42	S 49°01'42" E	63.01'
L11	N 40°55'00" E	30.00'	L43	S 48°46'34" W	10.09'
L12	N 49°00'44" W	18.00'	L44	N 60°50'15" W	10.36'
L13	N 40°55'00" E	10.00'	L45	S 47°52'39" W	94.49'
L14	S 66°28'46" E	24.34'	L46	S 40°57'26" W	53.33'
L15	N 21°32'21" E	8.55'	L47	S 48°56'38" E	11.28'
L16	S 68°27'39" E	10.00'	L48	S 47°59'16" W	9.56'
L17	S 21°32'21" W	8.89'	L49	N 24°45'59" W	23.35'
L18	N 43°56'56" E	15.00'	L50	N 38°16'40" W	23.21'
L19	N 44°02'21" E	11.86'	L51	N 39°44'30" W	20.78'
L20	S 45°57'39" E	14.47'	L52	S 22°51'16" E	40.48'
L21	N 21°26'56" E	21.90'	L53	S 45°21'08" E	14.81'
L22	S 36°34'30" E	17.68'	L54	N 40°55'00" E	22.33'
L23	S 21°26'56" W	15.52'	L55	S 44°01'50" W	24.33'
L24	S 45°57'39" E	44.44'	L56	S 49°00'44" E	57.18'
L25	S 44°02'21" W	15.00'			
L26	N 45°57'39" W	44.41'			
L27	S 00°57'39" E	17.29'			
L28	S 40°55'00" W	32.09'			
L29	S 40°55'00" W	8.18'			
L30	N 38°07'48" W	28.96'			
L31	S 45°57'39" E	11.13'			
L32	S 44°02'21" W	10.00'			

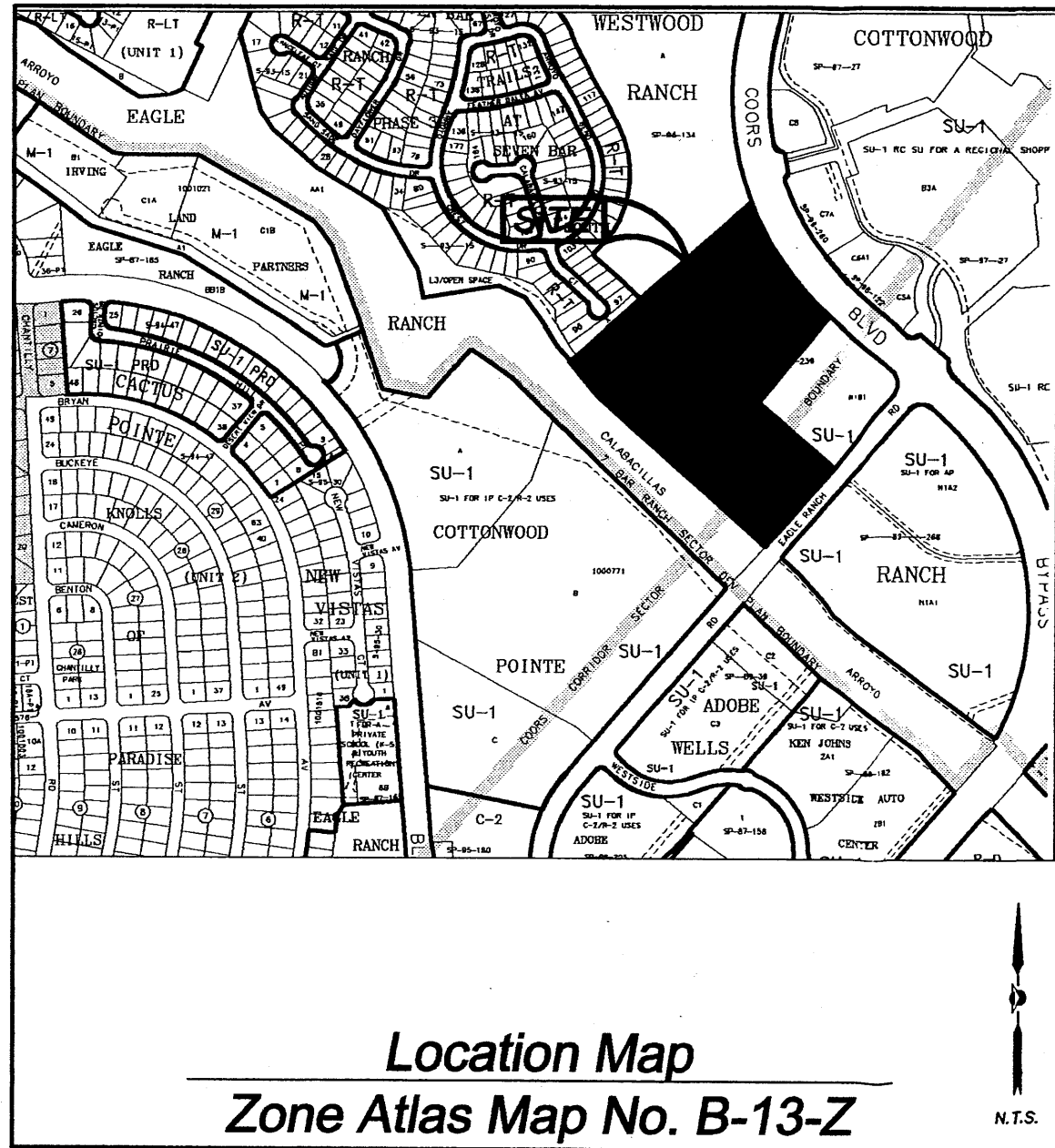


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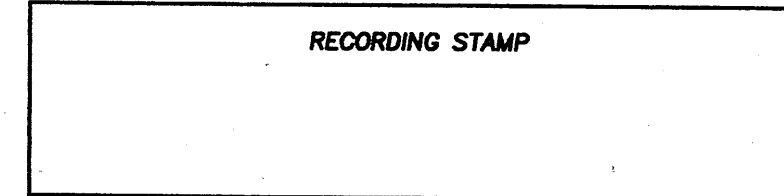
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IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



**Legal Description**

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ALAMEDA GRANT, PROJECTED SECTION 10, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO COMPRISING OF TRACT N-1-B-2 AS SHOWN ON THE REPLAT OF TRACT N-1-B, SEVEN BAR RANCH, IN THE CITY OF ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 12, 1988, IN MAP BOOK C37, FOLIO 35, CONTAINING 17.0208 ACRES MORE OR LESS, NOW COMPRISING OF TRACTS N-1-B-2-A, N-1-B-2-B AND N-1-B-2-C, SEVEN BAR RANCH

Plat of  
 Tracts N-1-B-2-A, N-1-B-2-B and N-1-B-2-C  
**Seven-Bar Ranch**  
 Albuquerque, Bernalillo County, New Mexico  
 March 2007

Project No. 1005133

Application No. 07DRB-

Utility Approvals

PRELIMINARY PLAT  
 APPROVED BY DRB

PNM ELECTRIC SERVICES ON 2/25/07 DATE

PNM GAS SERVICES DATE

QWEST TELECOMMUNICATIONS DATE

COMCAST DATE

NEW MEXICO UTILITIES, INC. DATE

City Approvals

[Signature] 3-20-07  
 CITY SURVEYOR DATE

REAL PROPERTY DIVISION DATE

ENVIRONMENTAL HEALTH DEPARTMENT DATE

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT DATE

WATER UTILITY DEPARTMENT DATE

PARKS AND RECREATION DEPARTMENT DATE

AMAFCA DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT:

TREASURER'S CERTIFICATE

**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.



[Signature] 3/19/07  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993  
 DATE

**PRECISION SURVEYS, INC.**

8500-A Jefferson Street, NE  
 Albuquerque, NM 87113

866.442.8011 TOLL FREE  
 505.856.5700 PHONE  
 505.856.7900 FAX

**Free Consent and Dedication**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

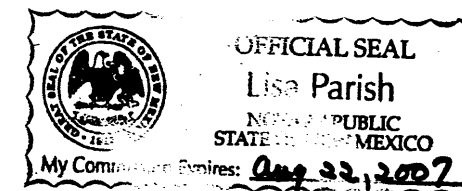
SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ADDITIONAL RIGHT OF WAY FOR EAGLE RANCH ROAD, N.W.SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

[Signature]  
 JOHN SEDBERRY  
 MANAGING MEMBER  
 COORS EAGLE RANCH, LLC

3/19/07  
 DATE

**Acknowledgment**

STATE OF NEW MEXICO ) SS  
 COUNTY OF BERNALILLO )



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 19<sup>th</sup> DAY OF March, 2007 BY JOHN SEDBERRY, MANAGING MEMBER, COORS EAGLE RANCH, LLC.

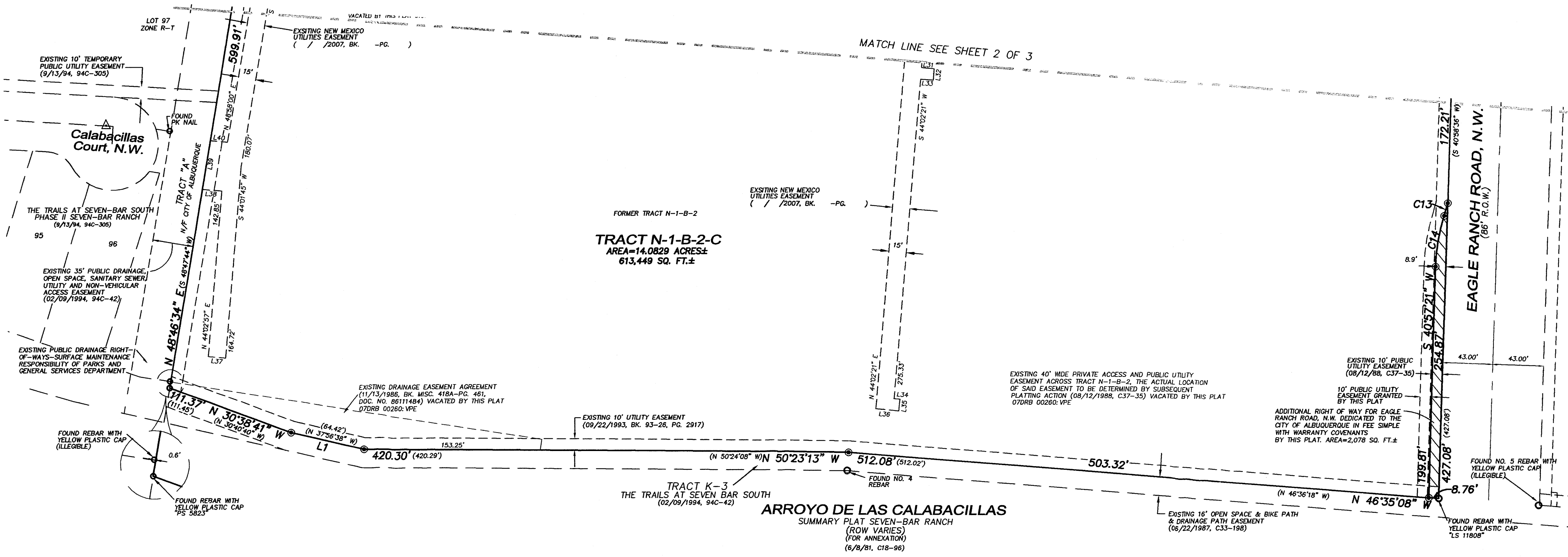
BY [Signature] MY COMMISSION EXPIRES: Aug 22, 2007  
 NOTARY PUBLIC

# Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY

RECORDING STAMP

Plat of  
**Tracts N-1-B-2-A, N-1-B-2-B and N-1-B-2-C**  
**Seven-Bar Ranch**  
 Albuquerque, Bernalillo County, New Mexico  
 March 2007

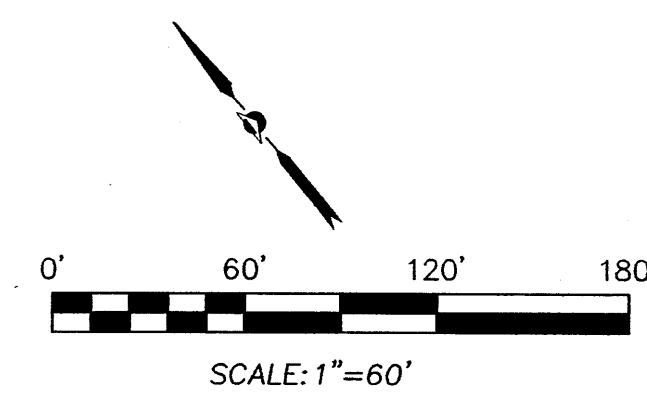


## Line Table

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N 37°56'47" W	64.43'	L28	S 40°55'00" W	32.09'
L2	S 44°01'50" W	61.88'	L29	S 40°55'00" W	8.18'
L3	N 48°24'30" W	42.48'	L30	N 38°07'48" W	28.96'
L4	N 61°29'06" W	44.08'	L31	S 45°57'39" E	11.13'
L5	N 41°11'18" W	29.97'	L32	S 44°02'21" W	10.00'
L6	N 36°34'30" W	40.00'	L33	N 45°57'39" W	11.13'
L7	N 40°55'00" E	29.33'	L34	S 45°57'39" E	4.92'
L8	N 49°00'44" W	7.00'	L35	S 44°02'21" W	10.00'
L9	N 40°55'00" E	10.00'	L36	N 45°57'39" W	19.92'
L10	N 49°00'44" W	18.00'	L37	N 45°57'39" W	15.00'
L11	N 40°55'00" E	30.00'	L38	N 45°57'39" W	16.73'
L12	N 49°00'44" W	18.00'	L39	N 48°46'34" E	42.22'
L13	N 40°55'00" E	10.00'	L40	S 45°57'39" E	14.88'
L14	S 66°28'46" E	24.34'	L41	N 66°28'46" W	16.96'
L15	N 21°32'21" E	8.55'	L42	S 49°01'42" E	63.01'
L16	S 68°27'39" E	10.00'	L43	S 48°46'34" W	10.09'
L17	S 21°32'21" W	8.89'			
L18	N 43°56'56" E	15.00'			
L19	N 44°02'21" E	11.86'			
L20	S 45°57'39" E	14.47'			
L21	N 21°26'56" E	21.90'			
L22	S 36°34'30" E	17.68'			
L23	S 21°26'56" W	15.52'			
L24	S 45°57'39" E	44.44'			
L25	S 44°02'21" W	15.00'			
L26	N 45°57'39" W	44.41'			
L27	S 00°57'39" E	17.29'			

## Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	1224.00'	571.95'	26°46'23"	291.29'	566.76'	S 34°30'12" E
C2	1224.00'	309.19'	14°28'24"	155.42'	308.37'	N 28°21'13" W
C3	1224.00'	39.59'	01°51'12"	19.80'	39.59'	N 36°31'01" W
C4	1224.00'	223.16'	10°26'47"	111.89'	222.85'	N 42°40'00" W
C5	15.00'	22.91'	87°30'23"	14.36'	20.75'	S 87°47'33" W
C6	312.00'	177.04'	32°30'42"	90.97'	174.67'	S 64°42'37" E
C7	138.00'	38.37'	15°56'08"	19.32'	38.26'	S 72°59'54" W
C8	15.00'	23.56'	90°00'00"	15.00'	21.21'	N 00°57'39" W
C9	1224.00'	25.57'	01°11'49"	12.78'	25.57'	N 38°02'31" W
C10	25.00'	38.37'	87°55'48"	24.11'	34.71'	S 82°36'47" E
C11	25.00'	38.37'	87°56'15"	24.12'	34.71'	S 09°27'23" W
C12	25.00'	39.27'	90°00'18"	25.00'	35.36'	S 04°00'35" E
C13	143.37'	11.40'	04°33'22"	5.70'	11.40'	S 54°50'54" W
C14	156.62'	44.20'	16°10'14"	22.25'	44.06'	N 49°02'28" E



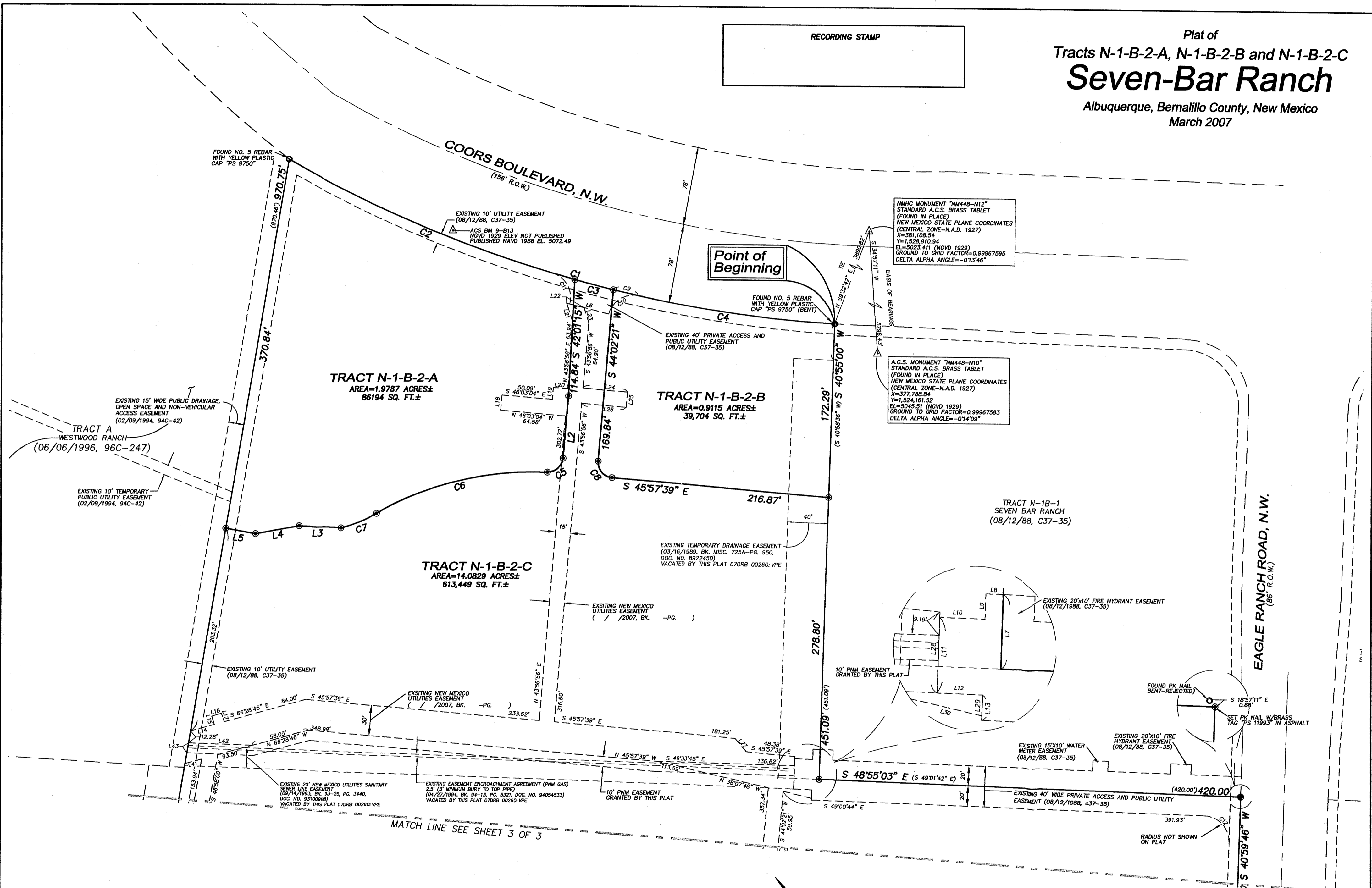
**PRECISION SURVEYS, INC.**

8500-A Jefferson Street, NE  
 Albuquerque, NM 87113  
 866.442.8011 TOLL FREE  
 505.856.5700 PHONE  
 505.856.7900 FAX

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Plat of  
**Tracts N-1-B-2-A, N-1-B-2-B and N-1-B-2-C**  
**Seven-Bar Ranch**  
 Albuquerque, Bernalillo County, New Mexico  
 March 2007

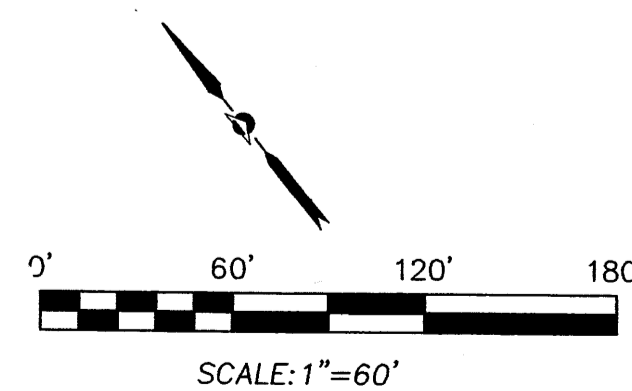
RECORDING STAMP



**Legend**

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY

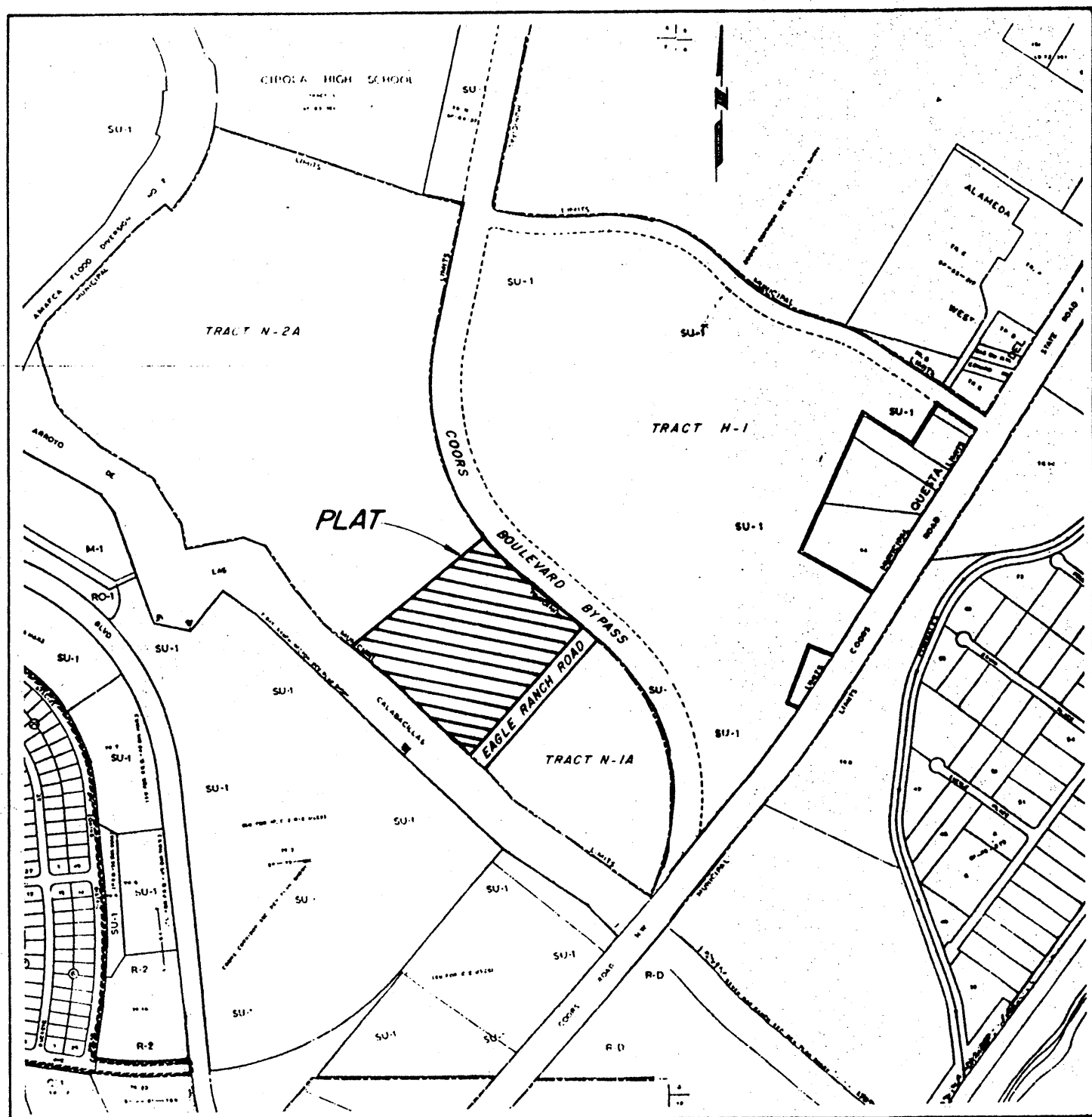
SEE SHEET 3 OF 3 FOR LINE AND CURVE TABLES



**PRECISION SURVEYS, INC.**

8500-A Jefferson Street, NE  
 Albuquerque, NM 87113

866.442.8011 TOLL FREE  
 505.856.5700 PHONE  
 505.856.7900 FAX



VICINITY MAP  
N.T.S.

**GENERAL NOTES**

1. Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone, and rotated to grid at the New Mexico State Highway Commission Monument "NM-448-N12".
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Delta Alpha = -00° 13' 46"
5. Combined ground to grid factor = 0.99967595
6. All corners are a 5/8" rebar and survcap stamped "HUGG LS 5823" unless otherwise indicated.
7. Zone Atlas Page B-13
8. Total plat acreage 21.2901 acres.

**APPROVAL**

*J. T. Wis* 8/10/88  
New Mexico Utilities, Inc. Date

Note: These properties are within the New Mexico Utilities, Inc. (NMU, INC.) franchise area. Water and Sanitary Sewer system capabilities are based on the NMU, INC. facilities, not the City of Albuquerque. Water and sanitary sewer infrastructure improvements must, however, be approved by both the City of Albuquerque and NMU, INC.

**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Alameda Grant in projected Sections 6 and 7, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising Tract N-1B, Seven-Bar Ranch, as the same is shown and designated on the plat entitled "TRACTS N-1A AND N-1B, SEVEN-BAR RANCH, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 18, 1987, in Volume C35, folio 69, more particularly described as follows:

BEGINNING at the Southeast corner of said Tract N-1B and the Southeast corner of the parcel herein described, a point on the Northwesterly right of way line of Eagle Ranch Road, whence (1) the Northwest corner of said projected Section 6, Township 11 North, Range 3, East (an existing 1-1/2" iron pipe in place) bears N 27° 43' 47" W, 9570.02 feet distant, and (2) New Mexico State Highway Commission Monument "NM-448-N12" bears N 52° 09' 44" E, 4220.08 feet distant; Thence,

N 46° 36' 18" W, 512.02 feet to a point; Thence,

N 50° 24' 08" W, 420.29 feet to a point; Thence,

N 37° 56' 38" W, 64.42 feet to a point; Thence,

N 30° 40' 40" W, 111.45 feet to the Southwest corner of said Tract N-1B and the Southwest corner of the parcel herein described, said point also being a point on the Southeasterly line of Tract N-2A, Seven-Bar Ranch, as the same is shown and designated on the plat entitled "TRACTS N-2A AND N-2B, (A REPLAT OF TRACT N-2), SEVEN-BAR RANCH, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 22, 1987, in Volume C33, folio 198; Thence,

N 48° 47' 44" E, 970.46 feet along said Southeasterly line of Tract N-2A and the Northwesterly line of said Tract N-1B to the Northwest corner of said Tract N-1B and the Northwest corner of the parcel herein described, a point on curve on the Southwesterly right of way line of Coors Boulevard By-Pass N. W.; Thence,

Southeasterly, 596.93 feet along said Southwesterly right of way line of Coors Boulevard By-Pass N. W. on the arc of a curve to the left (said curve having a radius of 1224.00 feet and a chord which bears S 35° 03' 51" E, 590.74 feet) to a point of tangency; Thence,

S 49° 01' 42" E, 324.41 feet along said Southwesterly right of way line of Coors Boulevard By-Pass N. W. to a point of curvature; Thence,

Southeasterly, 102.11 feet on the arc of a curve to the right (said curve having a radius of 65.00 feet and a chord which bears S 04° 01' 33" E, 91.93 feet) to a point of tangency on said Northwesterly right of way line of Eagle Ranch Road N. W.; Thence Southwesterly along said Northwesterly right of way line of Eagle Ranch Road N. W. on the following three (3) courses,

S 40° 58' 36" W, 184.99 feet to a point; Thence,

S 38° 41' 10" W, 150.12 feet to a point; Thence,

S 40° 58' 36" W, 477.92 feet to the Southeast corner and point of beginning of the parcel herein described.

SURVEYED and REPLATTED and now comprising TRACTS N-1B-1 AND N-1B-2, (A REPLAT OF TRACT N-1B, SEVEN-BAR RANCH), SEVEN-BAR RANCH, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner and proprietor thereof. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever all easements shown hereon and do hereby certify that they are so authorized to act.

V. T., INC., a Missouri Corporation

*Cecil Van Tuyl*

Cecil Van Tuyl, President

**TRACTS N-1B-1 AND N-1B-2**

A REPLAT OF TRACT N-1B, SEVEN-BAR RANCH

**SEVEN-BAR RANCH**

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

MAY, 1988

**APPROVALS**

*David W. Human* 8/9/88  
Traffic Engineer, City of Albuquerque  
Public Works Department Date

*Neil Chik* 080988  
Chief City Surveyor, City of Albuquerque  
Public Works Department Date

*W. H. Hensler* 8-9-88  
Utility Development Division, City of Albuquerque  
Public Works Department Date

*Frank J. Rogers* 8-11-88  
Albuquerque Metropolitan Arroyo Flood  
Control Authority Date

*Frank J. Rogers* 8-11-88  
City Engineer, City of Albuquerque  
Public Works Department Date

*Priscilla J. Rulle* 8-11-88  
Property Management, City of Albuquerque Date

*James M. Stea* 8-9-88  
Parks and Recreation Department, City  
of Albuquerque Date

APPROVAL as specified by the Albuquerque Subdivision  
Ordinance.

*Richard L. Meen* 8-11-88  
Chairman, Albuquerque/Bernalillo County  
Development Review Board Date

**DEB 88-372/442** DP-SS-239

**SURVEYORS CERTIFICATION**

I, Garry P. Hugg, New Mexico Professional Surveyor Number 5823, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

*Garry P. Hugg*

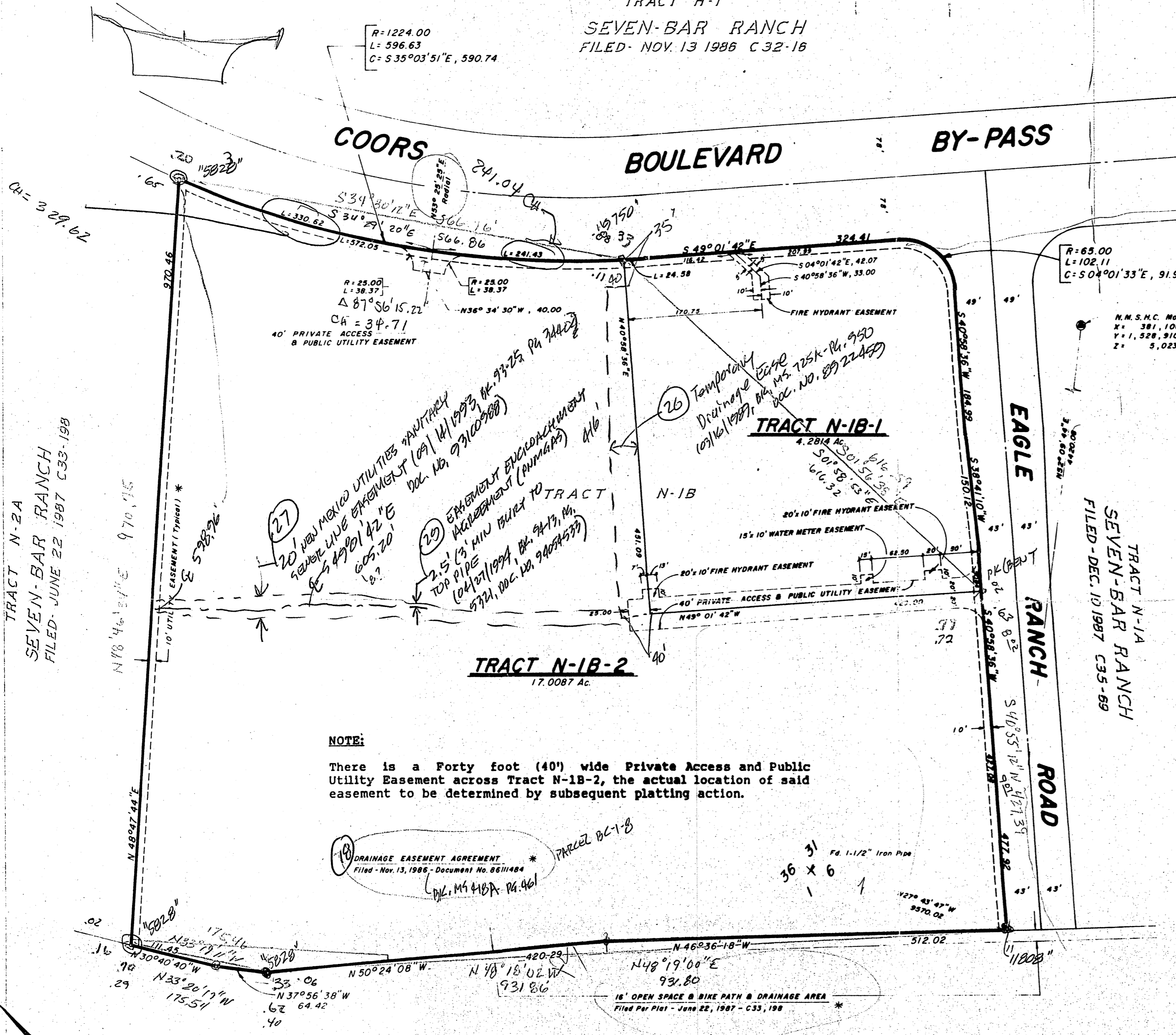
Garry P. Hugg  
NMPLS No. 5823  
May 19, 1988



TRACT H-1  
SEVEN-BAR RANCH  
FILED - NOV. 13 1986 C 32-18

SEVEN-BAR RANCH  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MAY, 1988

Notary Public  
County of Bernalillo, N.M.  
This instrument was filed for record on  
MAY 12 1988  
Garry P. Hugg  
Notary Public  
No. 5823



TRACT N-2A  
SEVEN-BAR RANCH  
FILED - JUNE 22 1987 C 33-198

TRACT N-1A  
SEVEN-BAR RANCH  
FILED - DEC. 10 1987 C 35-69

**NOTE:**  
There is a Forty foot (40') wide Private Access and Public Utility Easement across Tract N-1B-2, the actual location of said easement to be determined by subsequent platting action.

**ACKNOWLEDGEMENT**

STATE OF NEW MEXICO 88  
COUNTY OF SANDOVAL

On this 10th day of May, 1988, before me the undersigned, a Notary Public, personally appeared Garry P. Hugg, to me known to be New Mexico Professional Surveyor Number 5823, who acknowledged to me that he signed and sealed the accompanying Surveyors Certification as his free and voluntary act and deed.

*Garry P. Hugg*  
Notary Public



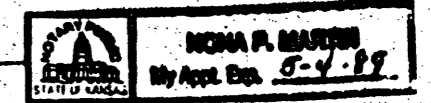
OFFICIAL SEAL  
Terry J. Cleveland  
NOTARY PUBLIC STATE OF NEW MEXICO  
Notary Commission Expires 7-15-92

**ACKNOWLEDGEMENT**

STATE OF KANSAS 88  
COUNTY OF JENNISON

On this 29th day of July, 1988, before me the undersigned, a Notary Public, personally appeared Cecil Van Tuyl, to me known to be President of V. T., Inc., a Missouri Corporation, who acknowledged to me that he signed and sealed the accompanying instrument on behalf of said corporation and that he is so authorized to act.

*Cecil Van Tuyl*  
Notary Public



NOTARY PUBLIC  
Donna A. Martin  
My Appl. Exp. 5-4-89

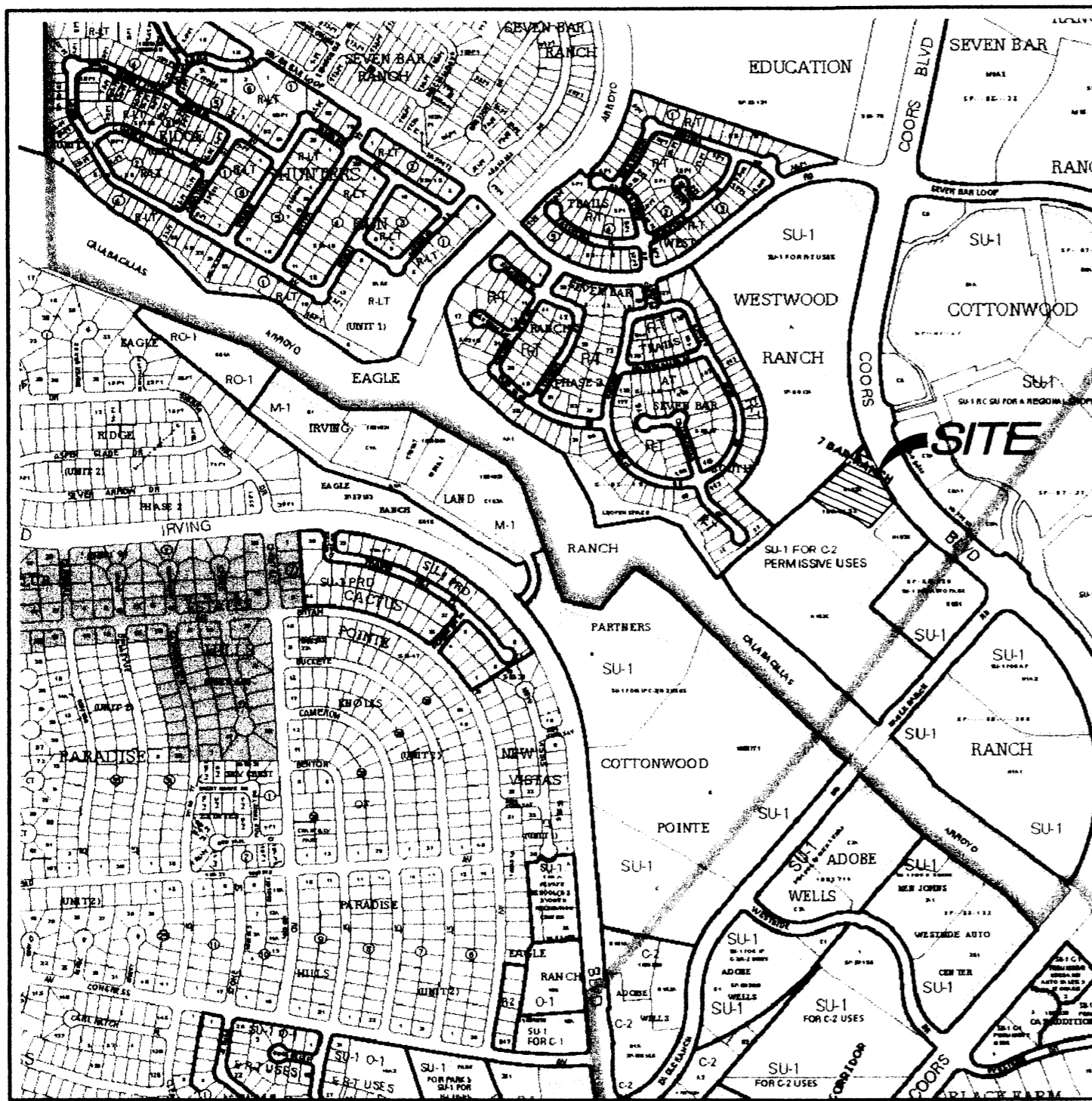
**DECLARATION**

The purpose of this replat is to create Lots N-1B-1 and N-1B-2.

\* = EXISTING EASEMENTS







**VICINITY MAP**  
Not To Scale

**GENERAL NOTES**

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page B-13-Z.

**SUBDIVISION DATA**

- Total number of existing Tracts: 1
- Total number of Tracts created: 2
- Gross Subdivision acreage: 1.9788 acres

**PROJECT # 1005133**  
13-70690 (VPG)  
13-70691 (P/F)  
10-23-13

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Bernalillo County Treasurer Date

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corporation d/b/a CenturyLink QC, for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**PURPOSE OF PLAT**

The purpose of this plat is to:

- Grant the new public and private easements as shown hereon.
- Divide existing Tract N-1-B-2-A-1 into two (2) tracts shown hereon.
- Show the portion of Public Sidewalk Easement VACATED by 13DRB-\_\_\_\_\_.

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg  
NMPS No. 9750  
September 4, 2013



**PLAT OF**  
**TRACTS N-1-B-2-A-1 AND N-1-B-2-A-2**  
**SEVEN-BAR RANCH**

(BEING A REPLAT OF TRACT N-1-B-2-A, SEVEN-BAR RANCH)

SITUATE WITHIN  
**THE TOWN OF ALAMEDA GRANT**  
IN  
**PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**

SEPTEMBER, 2013

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

**PLAT APPROVAL**

**UTILITY APPROVALS:**

Public Service Company of New Mexico \_\_\_\_\_ Date \_\_\_\_\_

New Mexico Gas Company \_\_\_\_\_ Date \_\_\_\_\_

Qwest Corporation d/b/a CenturyLink QC. \_\_\_\_\_ Date \_\_\_\_\_

Comcast \_\_\_\_\_ Date \_\_\_\_\_

**CITY APPROVALS:**

Dail P. Acosta 9-19-13  
City Surveyor \_\_\_\_\_ Date \_\_\_\_\_  
Department of Municipal Development

Real Property Division \_\_\_\_\_ Date \_\_\_\_\_

Environmental Health Department \_\_\_\_\_ Date \_\_\_\_\_

Traffic Engineering, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_

ABCWUA \_\_\_\_\_ Date \_\_\_\_\_

Parks and Recreation Department \_\_\_\_\_ Date \_\_\_\_\_

AMAFCA \_\_\_\_\_ Date \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

DRB Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

SHEET 1 OF 3

**SURVOTEK, INC.**

Consulting Surveyors Phone: 505-897-3366  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

PLAT OF  
**TRACTS N-1-B-2-A-1 AND N-1-B-2-A-2**  
**SEVEN-BAR RANCH**  
 (BEING A REPLAT OF TRACT N-1-B-2-A, SEVEN-BAR RANCH)  
 SITUATE WITHIN  
**THE TOWN OF ALAMEDA GRANT**  
 IN  
**PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
 SEPTEMBER, 2013

**LEGAL DESCRIPTION**

That certain parcel of land situate within The Town of Alameda Grant in Projected Section 7, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract N-1-B-2-A, Seven-Bar Ranch as the same is shown and designated on the plat entitled "PLAT OF TRACTS N-1-B-2-A, N-1-B-2-B AND N-1-B-2-C, SEVEN-BAR RANCH, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 2, 2007, in Plat Book 2007C, Page 175.

Said parcel contains 1.9788 acres, more or less.

**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS**

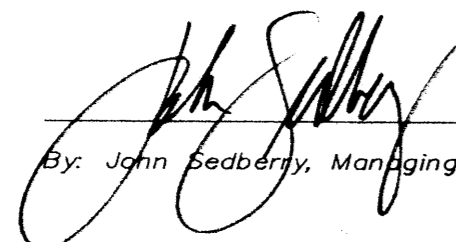
"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

**FREE CONSENT AND DEDICATION**

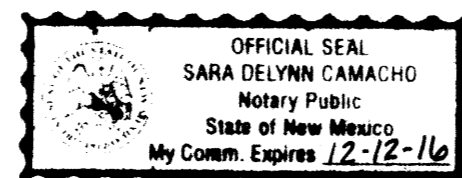
SURVEYED and REPLATTED and now comprising PLAT OF TRACTS N-1-B-2-A-1 AND N-1-B-2-A-2, SEVEN-BAR RANCH (BEING A REPLAT OF TRACT N-1-B-2-A, SEVEN-BAR RANCH) SITUATE WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant the public and private easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

**OWNER(S)**

SED Development, LLC, a New Mexico limited liability company

  
 By: John Sedberry, Managing Member

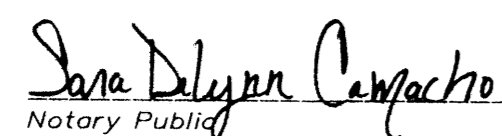
9/16/2013



**ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
 COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 16th  
 day of September, 2013, by John Sedberry

  
 Notary Public My commission expires 12-12-16



SHEET 2 OF 3

**SURV ● TEK, INC.**

Consulting Surveyors Phone: 505-897-3366  
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

LINE	LENGTH	BEARING
L1	4.56	S29°10'42"E
L2	31.93	S62°49'14"W
L3	57.29	N40°34'32"W
L4	43.29	N27°10'46"W
L5	45.79	N27°10'46"W
L6	4.29	N41°13'26"W
L7	6.00	S48°46'34"W
L8	15.00	N41°13'26"W
L9	26.00	N48°46'34"E
L10	21.75	S41°13'26"E
L11	89.20	S27°10'46"E
L12	68.32	S40°34'32"E
L13	7.06	N48°47'25"E
L14	71.37	S33°32'28"E
L15	2.60	S58°13'23"W
L16	20.00	S31°46'37"E
L17	10.08	N58°13'23"E
L18	10.00	N58°13'23"E
L19	25.54	S38°24'41"E
L20	7.10	N48°47'25"E

**EXISTING EASEMENTS LEGEND**

- (A) Existing City of Albuquerque Public Water and Sewer Easement per Plat filed 7-2-2007, in Vol. 2007C, Folio 175 and New Mexico Utilities Easement per Document filed 4-18-2007, in Book A135, Page 686B
  - (B) Existing 10' Utility Easement per Plat filed 8-12-1988 in Vol. C37, Folio 35
  - (C) Existing Private Access and Public Utility Easement per Plat filed 8-12-1988, in Vol. C37, Folio 35
  - (D) Existing Public Sidewalk Easement per Plat filed 7-2-2007, in Vol. 2007C, Folio 175.
  - (E) Existing Private Cross Access Easement granted by plat filed July 2, 2007 in Plat Book 2007C, Page 175 for the benefit of Tracts N-1-B-2-A and N-1-B-2-B to be maintained by Tract N-1-B-2-C
  - (F) Existing Private Cross Lot Drainage Easement granted by plat filed July 2, 2007 in Plat Book 2007C, Page 175 for the benefit of Tracts N-1-B-2-A, N-1-B-2-B and N-1-B-2-C to be maintained by same.
- Tracts N-1-B-2-A, N-1-B-2-B and N-1-B-2-C are subject to Terms, conditions, stipulations, restrictions and easements as contained in that certain Construction, Operation and Reciprocal Easement Agreement filed July 11, 2007 as Document No. 2007099402 and First Amendment to Construction, Operation and Reciprocal Easement Agreement filed August 13, 2012 as Document No. 2012081955.

PLAT OF  
**TRACTS N-1-B-2-A-1 AND N-1-B-2-A-2**  
**SEVEN-BAR RANCH**

(BEING A REPLAT OF TRACT N-1-B-2-A, SEVEN-BAR RANCH)

SITUATE WITHIN

**THE TOWN OF ALAMEDA GRANT**

IN

**PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST**

**NEW MEXICO PRINCIPAL MERIDIAN**

**CITY OF ALBUQUERQUE**

**BERNALILLO COUNTY, NEW MEXICO**

SEPTEMBER, 2013

15' Public Drainage, Open Space and Non-Vehicular Access Easement per Plat filed 2-9-1994, in Vol. 94C, Folio 42

TRACT A  
 WESTWOOD RANCH  
 FILED 6-6-1996, IN VOLUME 96C, FOLIO 247

Portion of existing Public Sidewalk Easement filed per Plat on July 2, 2007, in Plat Book 2007C, Page 175 VACATED by 130RB

Albuquerque Control Survey Monument "9-B13"  
 New Mexico State Plane Coordinates, Central Zone (NAD83) as published:  
 Y= 1,528,104.616  
 X= 1,517,724.365  
 Ground to grid factor = 0.999678411  
 Delta Alpha = -00°14'12.27"  
 Elevation = 5074.478 (NAVD88)

**TRACT N-1-B-2-A-2**  
 1.2471 AC.

15' Private Sanitary Sewer Easement granted by this plat for the benefit of Tract N-1-B-2-A-2. Maintenance of said easement shall be the responsibility of the owners of said Tract N-1-B-2-A-2.

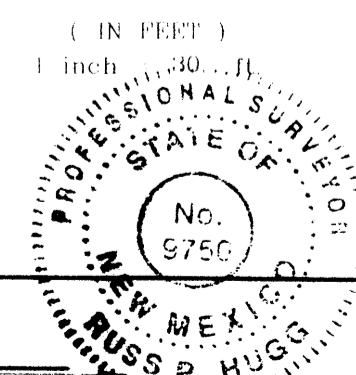
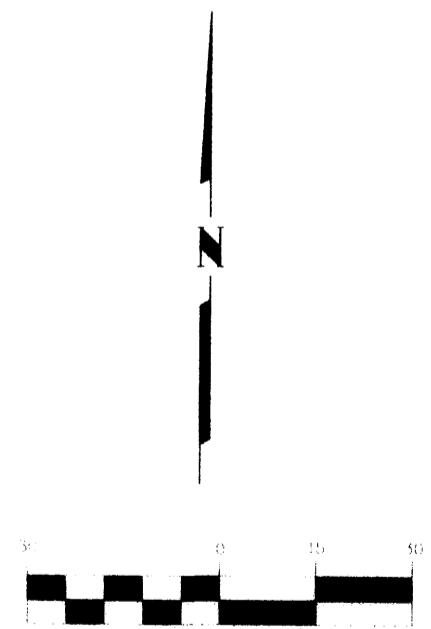
**TRACT N-1-B-2-A-1**  
 0.7317 AC.

20' Public waterline Easement granted to ABCWUA by this plat.

10'x 20' Public Sanitary Sewer Easement granted to ABCWUA by this plat.

TRACT N-1-B-2-C  
 SEVEN-BAR RANCH  
 FILED 7-2-2007, IN VOLUME 2007C, FOLIO 175

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	309.19'	1224.00'	155.42'	308.37'	S28°21'13"E	14°28'24"
C2	22.91'	15.00'	14.36'	20.75'	S87°47'33"W	87°31'28"
C3	177.04'	312.00'	90.97'	174.67'	N64°42'37"W	32°30'39"
C4	38.38'	138.00'	19.32'	38.26'	N72°59'54"W	15°56'11"
C5	149.33'	1224.00'	74.76'	149.24'	S24°36'43"E	6°59'25"
C6	159.86'	1224.00'	80.04'	159.75'	S31°50'55"E	7°28'59"
C7	118.46'	312.00'	59.95'	117.75'	N59°19'54"W	21°45'13"
C8	58.58'	312.00'	29.37'	58.49'	N75°35'14"W	10°45'26"
C9	21.27'	1224.00'	10.63'	21.27'	S21°36'53"E	0°59'44"
C10	7.31'	84.52'	3.66'	7.31'	N06°22'02"E	4°57'13"
C11	18.45'	36.00'	9.43'	18.24'	S08°33'02"E	29°21'28"
C12	56.33'	1209.93'	28.17'	56.32'	S24°32'11"E	2°40'02"
C13	11.90'	24.06'	6.07'	11.78'	N11°00'54"W	28°20'31"
C14	5.14'	21.00'	2.58'	5.13'	S04°06'37"E	14°02'06"
C15	9.01'	330.42'	4.50'	9.01'	S35°12'53"E	1°33'42"

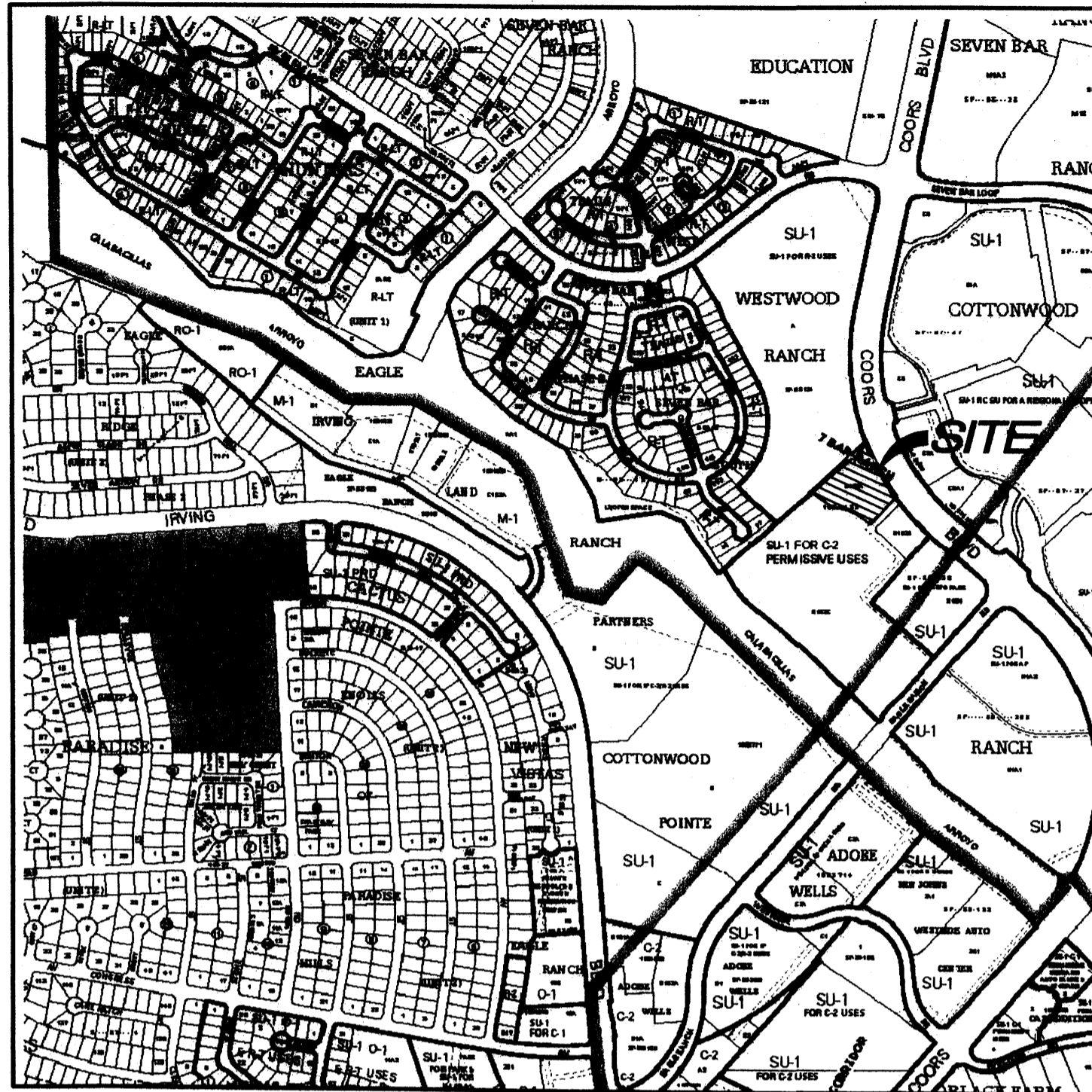


SHEET 3 OF 3

**SURV●TEK, INC.**

Consulting Surveyors  
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3366 Fax: 505-897-3377

130446.dwg



VICINITY MAP  
Not To Scale

**GENERAL NOTES**

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page B-13-Z.

**SUBDIVISION DATA**

- Total number of existing Tracts: 1
- Total number of Tracts created: 2
- Gross Subdivision acreage: 1.9788 acres

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

101306540928810190

seo development LLC

Yusuf Datta

5/2/14  
Date

Bernalillo County Treasurer

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corporation d/b/a CenturyLink QC. for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**PURPOSE OF PLAT**

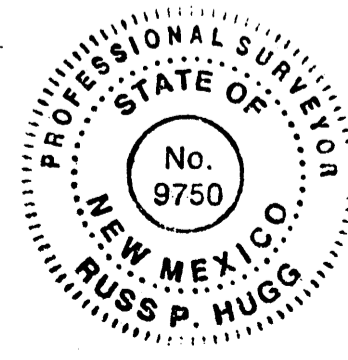
The purpose of this plat is to:

- Grant the new public and private easements as shown hereon.
- Divide existing Tract N-1-B-2-A-1 into two (2) tracts shown hereon.
- Show the portion of Public Sidewalk Easement VACATED by 13DRB-70690

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg  
NMPS No. 9750  
September 4, 2013



PLAT OF  
TRACTS N-1-B-2-A-1 AND N-1-B-2-A-2  
**SEVEN-BAR RANCH**

(BEING A REPLAT OF TRACT N-1-B-2-A, SEVEN-BAR RANCH)

SITUATE WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

SEPTEMBER, 2013

DOC# 2014035017

05/02/2014 10:57 AM Page 1 of 3  
PLAT R \$25.00 B 2014C P 0033 M. Toulous Olivere, Bernalillo Cou

PROJECT NUMBER: 1025133

Application Number: 13DRB-70690

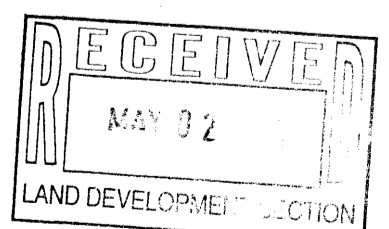
**PLAT APPROVAL**

**UTILITY APPROVALS:**

<i>Fernando Tial</i> Public Service Company of New Mexico	10-10-13 Date
<i>[Signature]</i> New Mexico Gas Company	10/9/2013 Date
<i>[Signature]</i> Qwest Corporation d/b/a CenturyLink QC.	10/9/13 Date
<i>[Signature]</i> Comcast	10/10/13 Date

**CITY APPROVALS:**

<i>Dail P. Aarsha</i> City Surveyor Department of Municipal Development	9-19-13 Date
<i>[Signature]</i> Real Property Division	9-20-14 Date
<i>[Signature]</i> Environmental Health Department	9-20-14 Date
<i>[Signature]</i> Traffic Engineering, Transportation Division	2/12/14 Date
<i>[Signature]</i> ABCWDA	02/12/14 Date
<i>Carol S. Dumont</i> Parks and Recreation Department	2-12-14 Date
<i>Anto c chue</i> AMAFCA	2-12-14 Date
<i>Anto c chue</i> City Engineer	2-12-14 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	4-21-14 Date



SHEET 1 OF 3  
**SURVOTEK, INC.**

Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366 Fax: 505-897-3377

PLAT OF  
**TRACTS N-1-B-2-A-1 AND N-1-B-2-A-2**  
**SEVEN-BAR RANCH**  
 (BEING A REPLAT OF TRACT N-1-B-2-A, SEVEN-BAR RANCH)  
 SITUATE WITHIN  
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**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
 SEPTEMBER, 2013

DOCH 2014035017

05/02/2014 10:57 AM Page 2 of 3  
 CityPLAT R \$25 00 B 2014C P 0033 M Toulous Olivere, Bernalillo Cour

**LEGAL DESCRIPTION**

That certain parcel of land situate within The Town of Alameda Grant in Projected Section 7, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract N-1-B-2-A, Seven-Bar Ranch as the same is shown and designated on the plat entitled "PLAT OF TRACTS N-1-B-2-A, N-1-B-2-B AND N-1-B-2-C, SEVEN-BAR RANCH, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 2, 2007, in Plat Book 2007C, Page 175.

Said parcel contains 1.9788 acres, more or less.

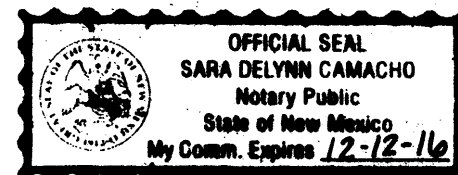
**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising PLAT OF TRACTS N-1-B-2-A-1 AND N-1-B-2-A-2, SEVEN-BAR RANCH (BEING A REPLAT OF TRACT N-1-B-2-A, SEVEN-BAR RANCH) SITUATE WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant the public and private easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

**OWNER(S)**

SED Development, LLC, a New Mexico limited liability company

By: John Sedberry 9/16/2013  
 John Sedberry, Managing Member

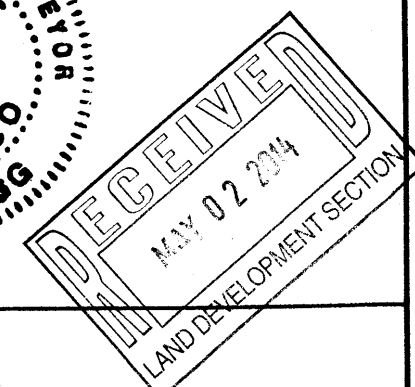
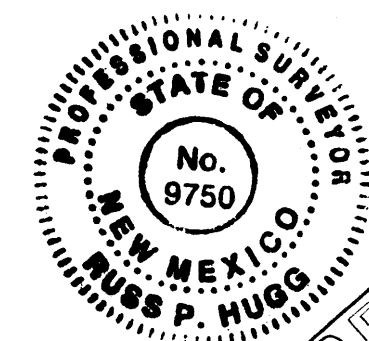


**ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
 COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 16th  
 day of September, 2013, by John Sedberry

Sara Delynn Camacho My commission expires 12-12-16  
 Notary Public



SHEET 2 OF 3

**SURVOTEK, INC.**

Consulting Surveyors Phone: 505-897-3388  
 8384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

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L13	25.54	S38°24'41"E
L14	22.13	N41°13'26"W
L15	81.91	S33°32'28"E
L16	7.14	N55°40'00"E
L17	75.76	S33°32'28"E

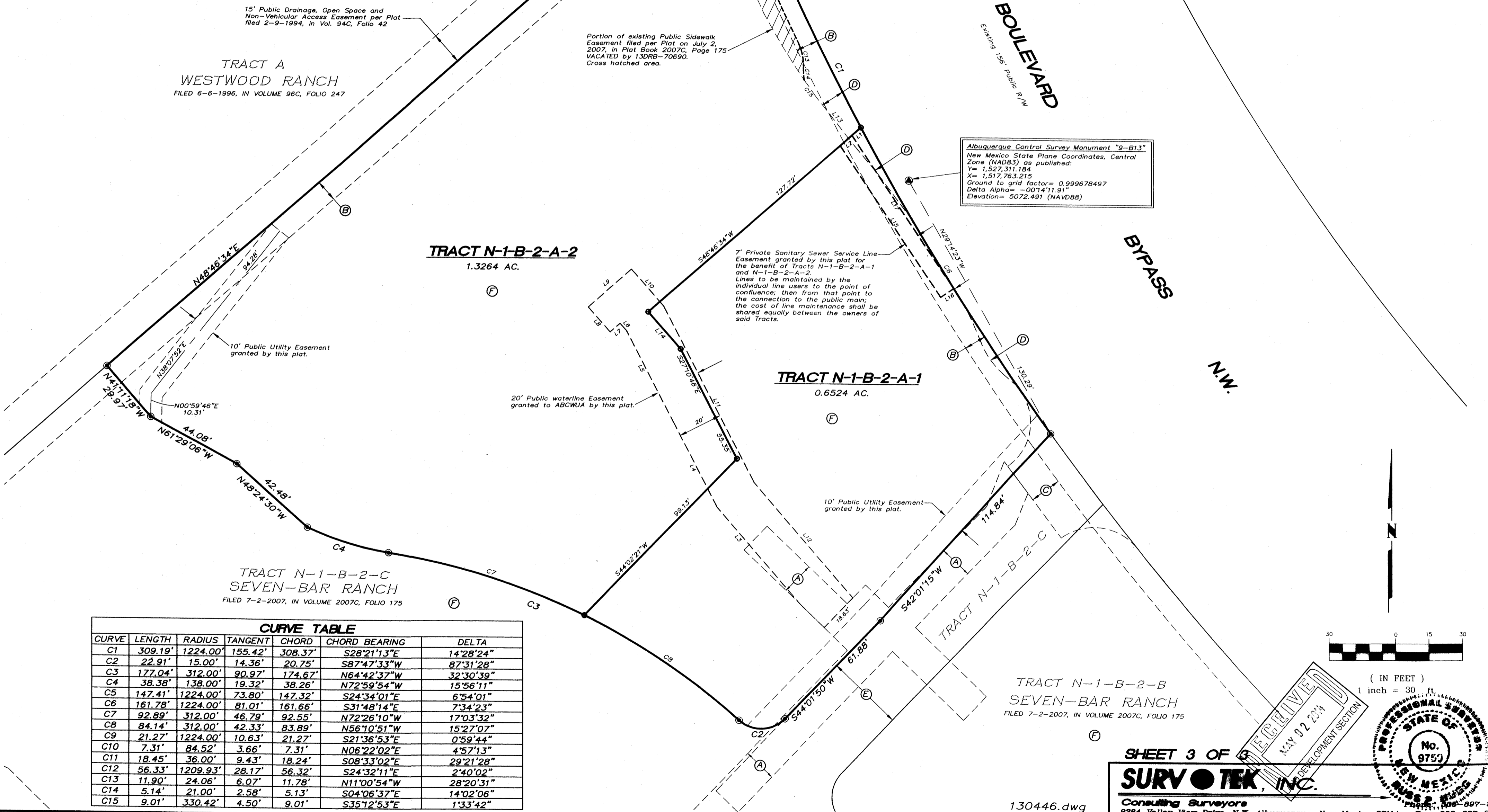
- EXISTING EASEMENTS LEGEND**
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DOCH 2014035017  
 05/02/2014 10:57 AM Page: 3 of 3  
 PLAT R: \$25.00 B: 2014C P: 0093 M: Toujous Oliveira, Bernalillo Cour

PLAT OF  
**TRACTS N-1-B-2-A-1 AND N-1-B-2-A-2**  
**SEVEN-BAR RANCH**

(BEING A REPLAT OF TRACT N-1-B-2-A, SEVEN-BAR RANCH)  
 SITUATE WITHIN  
**THE TOWN OF ALAMEDA GRANT**  
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**PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**

SEPTEMBER, 2013



**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	309.19'	1224.00'	155.42'	308.37'	S28°21'13"E	14°28'24"
C2	22.91'	15.00'	14.36'	20.75'	S87°47'33"W	87°31'28"
C3	177.04'	312.00'	90.97'	174.67'	N64°42'37"W	32°30'39"
C4	38.38'	138.00'	19.32'	38.26'	N72°59'54"W	15°56'11"
C5	147.41'	1224.00'	73.80'	147.32'	S24°34'01"E	6°54'01"
C6	161.78'	1224.00'	81.01'	161.66'	S31°48'14"E	7°34'23"
C7	92.89'	312.00'	46.79'	92.55'	N72°26'10"W	17°03'32"
C8	84.14'	312.00'	42.33'	83.89'	N56°10'51"W	15°27'07"
C9	21.27'	1224.00'	10.63'	21.27'	S21°36'53"E	0°59'44"
C10	7.31'	84.52'	3.66'	7.31'	N06°22'02"E	4°57'13"
C11	18.45'	36.00'	9.43'	18.24'	S08°33'02"E	29°21'28"
C12	56.33'	1209.93'	28.17'	56.32'	S24°32'11"E	2°40'02"
C13	11.90'	24.06'	6.07'	11.78'	N11°00'54"W	28°20'31"
C14	5.14'	21.00'	2.58'	5.13'	S04°06'37"E	14°02'06"
C15	9.01'	330.42'	4.50'	9.01'	S35°12'53"E	1°33'42"

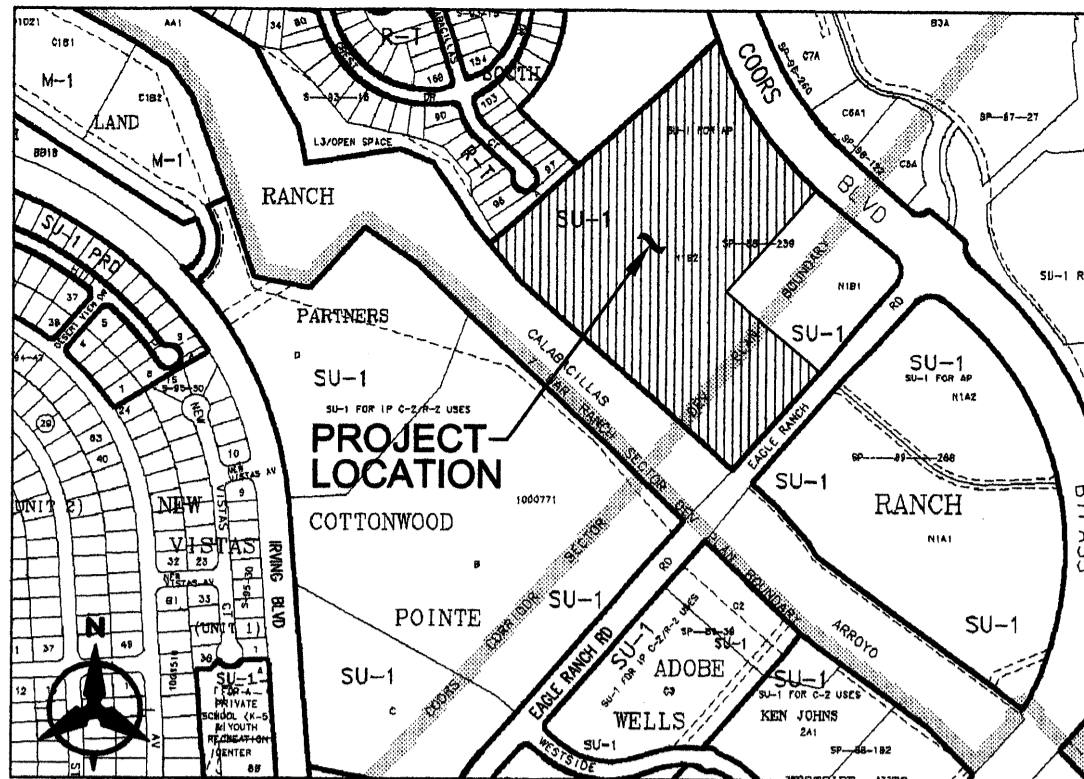
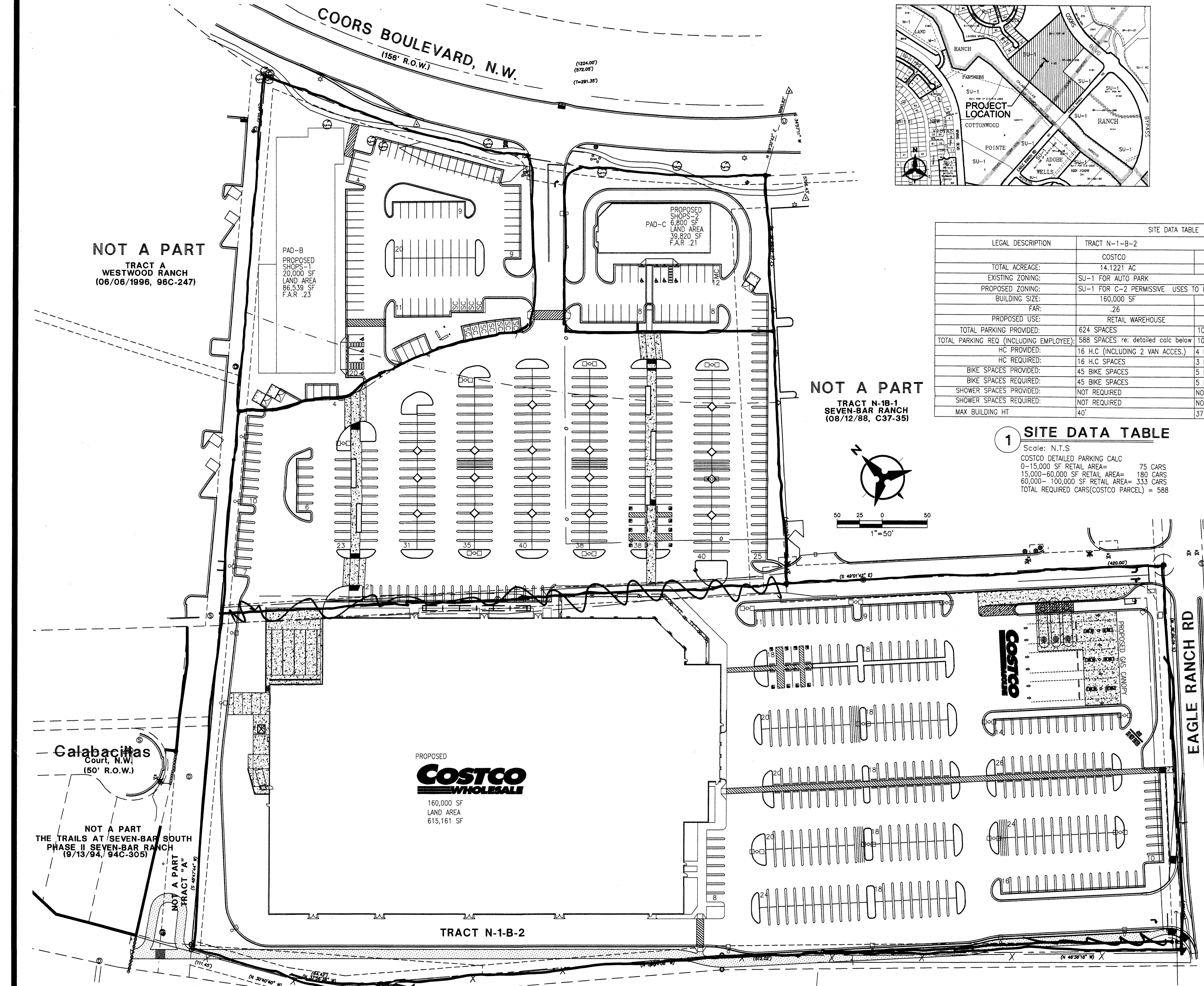
130446.dwg

SHEET 3 OF 3

**SURV TEK, INC.**  
 Consulting Surveyors  
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3388 Fax: 505-897-3377

RECEIVED  
 MAY 02 2014  
 DEVELOPMENT SECTION

PROFESSIONAL SURVEYOR  
 STATE OF NEW MEXICO  
 No. 9750  
 RUSSELL R. HUSS



PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on \_\_\_\_\_ and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) YES ( ) NO. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

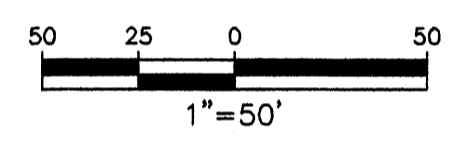
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Soils/Water Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

LEGAL DESCRIPTION	SITE DATA TABLE		
	TRACT N-1-B-2	PAD B(SHOPS-1)	PAD C(SHOPS-2)
TOTAL ACREAGE:	14.1221 AC	1.9866 AC	.6409 AC
EXISTING ZONING:	SU-1 FOR AUTO PARK		
PROPOSED ZONING:	SU-1 FOR C-2 PERMISSIVE USES TO INCLUDE A COSTCO RETAIL WAREHOUSE		
BUILDING SIZE:	160,000 SF	20,000 SF	6,800 SF
FAR:	.26	.23	.21
PROPOSED USE:	RETAIL WAREHOUSE	RETAIL SHOPS	RETAIL SHOPS/W DRIVE THRU
TOTAL PARKING PROVIDED:	624 SPACES	105 SPACES (11 SMALL CARS)	33 SPACES (1 MOTOR CYCLE)
TOTAL PARKING REQ (INCLUDING EMPLOYEE):	588 SPACES re: detailed calc below	100 SPACES (1 car per 200sf)	33 SPACES (1 car per 200sf)
HC PROVIDED:	16 H.C (INCLUDING 2 VAN ACCES.)	4 H.C (INCLUDING 2 VAN ACCESSIBLE)	4 H.C (INCLUDING 2 VAN ACCESSIBLE)
HC REQUIRED:	16 H.C SPACES	3 H.C SPACES	3 H.C SPACES
BIKE SPACES PROVIDED:	45 BIKE SPACES	5 BIKE SPACES	2 BIKE SPACES
BIKE SPACES REQUIRED:	45 BIKE SPACES	5 BIKE SPACES	2 BIKE SPACES
SHOWER SPACES PROVIDED:	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED
SHOWER SPACES REQUIRED:	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED
MAX BUILDING HT	40'	37'	32'

**1 SITE DATA TABLE**  
 Scale: N.T.S.  
 COSTCO DETAILED PARKING CALC  
 0-15,000 SF RETAIL AREA= 75 CARS  
 15,000-60,000 SF RETAIL AREA= 180 CARS  
 60,000- 100,000 SF RETAIL AREA= 333 CARS  
 TOTAL REQUIRED CARS(COSTCO PARCEL) = 588



NOT A PART  
 TRACT A  
 WESTWOOD RANCH  
 (06/06/1996, 96C-247)

NOT A PART  
 TRACT N-1B-1  
 SEVEN-BAR RANCH  
 (08/12/88, C37-35)

NOT A PART  
 THE TRAILS AT SEVEN-BAR SOUTH  
 PHASE II SEVEN-BAR RANCH  
 (9/13/94, 94C-305)

SFS vs SPBP  
 PRELIMINARY PLAT  
 APPROVED BY DRB  
 ON 1/25/02

NOT A PART  
 TRACT N-1A-1  
 SEVEN-BAR RANCH  
 (11/01/89, C40-34)

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DATE	DESCRIPTION

05-0374-01  
 PM: GLENN BROUGHTON  
 DRAWN: B. ORTEGA  
 MARCH 20, 2007

SITE PLAN  
 FOR SUBDIVISION

**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

C-1.1

DRB  
 SUBMITTAL

**COSTCO WHOLESALE**  
 ALBUQUERQUE III

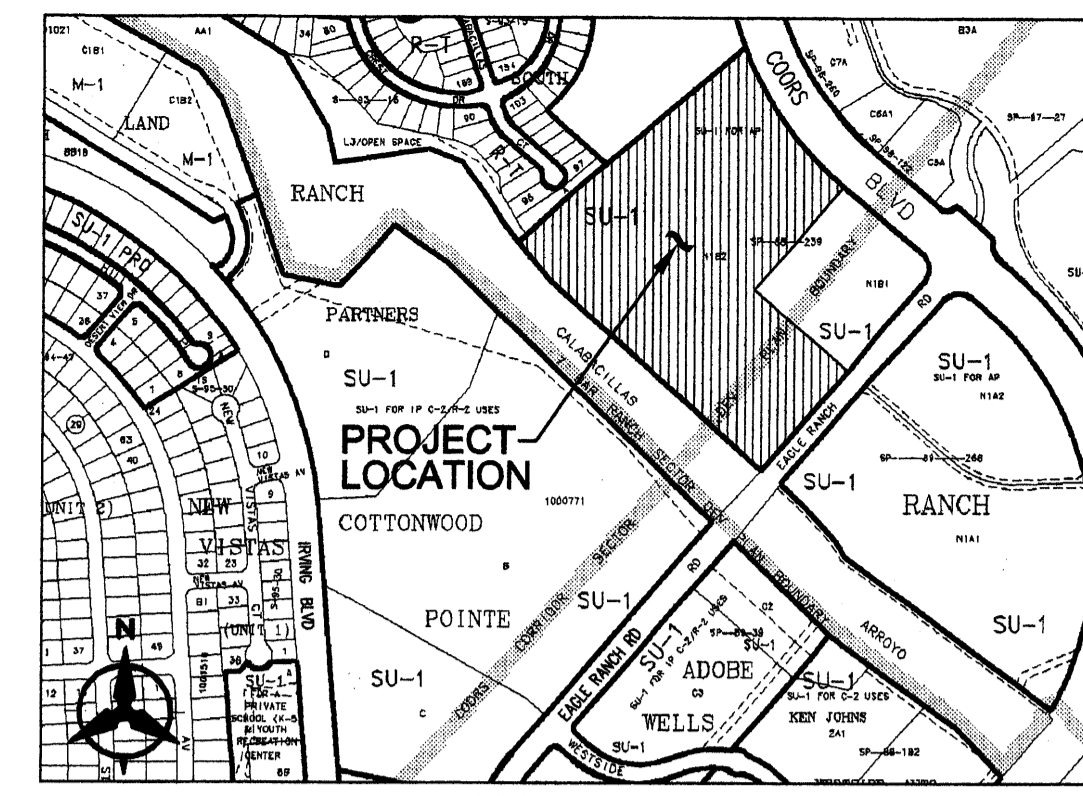
SWC OF COORS BLVD BYPASS  
 AND EAGLE RANCH RD

**COSTCO WHOLESALE CORPORATION**  
 999 LAKE DRIVE  
 ISSAQUAH, WA 98027  
 T: 425.313.8100  
 www.costco.com

**MULVANNY G2**

1110 112TH AVE. NE | SUITE 500  
 BELLEVUE, WA | 98004  
 | 425.463.2000 | 1.425.463.2002

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VICINITY MAP  
ZONE ATLAS PAGE B-13-Z

PROJECT NUMBER: \_\_\_\_\_  
APPLICATION NUMBER: \_\_\_\_\_

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Introductory Lot required? ( ) YES ( ) NO \* If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN CHECK APPROVAL**

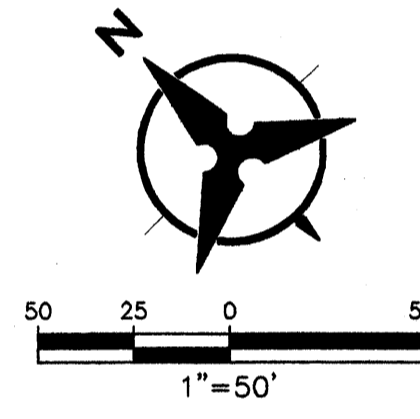
Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Public Works Department	4/19/07
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

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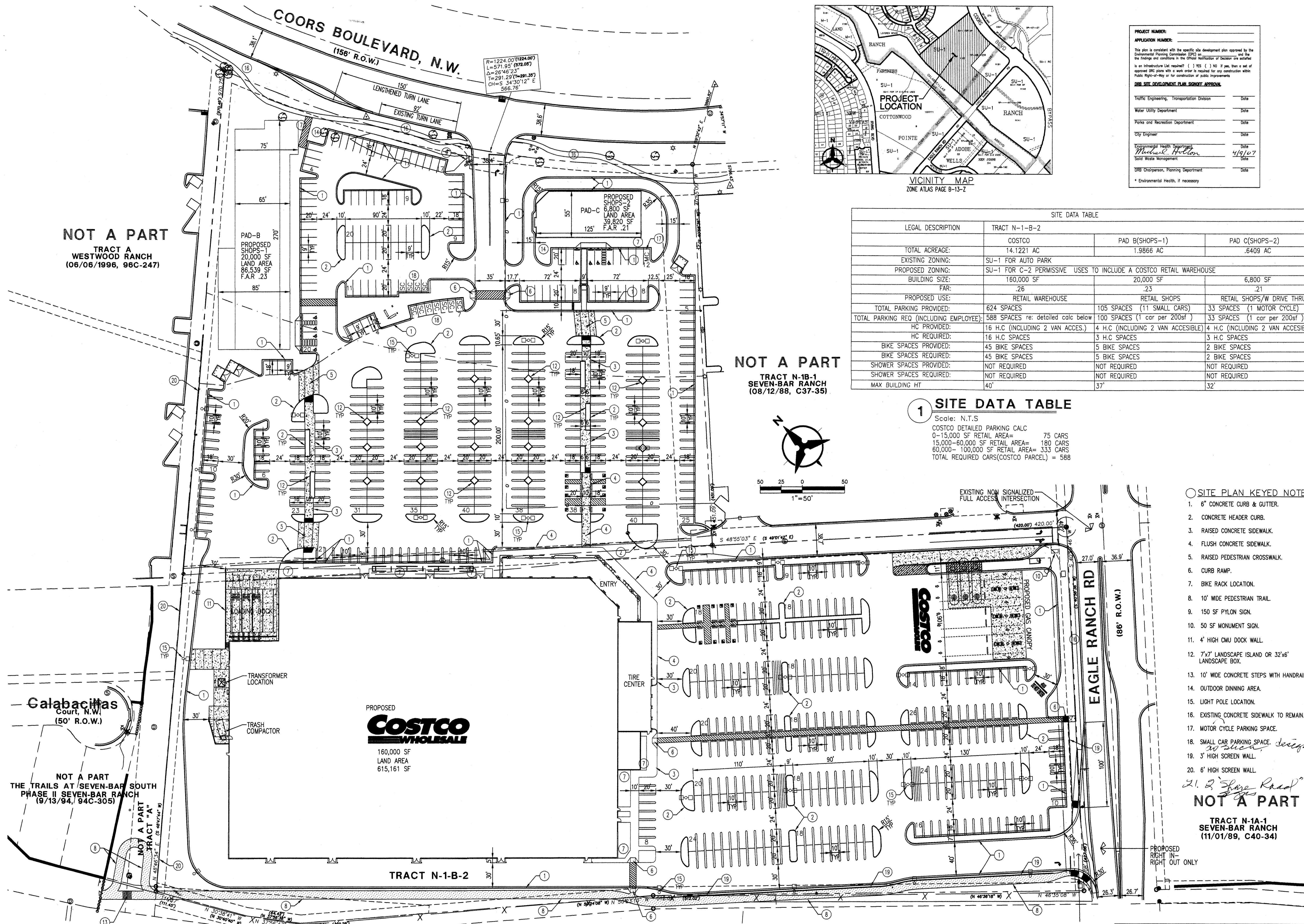
**1 SITE DATA TABLE**

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TRACT A  
WESTWOOD RANCH  
(06/06/1996, 96C-247)

NOT A PART  
TRACT N-1B-1  
SEVEN-BAR RANCH  
(08/12/88, C37-35)



**SITE PLAN KEYED NOTES:**

- 6" CONCRETE CURB & GUTTER.
- CONCRETE HEADER CURB.
- RAISED CONCRETE SIDEWALK.
- FLUSH CONCRETE SIDEWALK.
- RAISED PEDESTRIAN CROSSWALK.
- CURB RAMP.
- BIKE RACK LOCATION.
- 10' WIDE PEDESTRIAN TRAIL.
- 150 SF PYLON SIGN.
- 50 SF MONUMENT SIGN.
- 4' HIGH CMU DOCK WALL.
- 7'x7' LANDSCAPE ISLAND OR 32'x6' LANDSCAPE BOX.
- 10' WIDE CONCRETE STEPS WITH HANDRAIL.
- OUTDOOR DINNING AREA.
- LIGHT POLE LOCATION.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- MOTOR CYCLE PARKING SPACE.
- SMALL CAR PARKING SPACE *no such as designated*
- 3' HIGH SCREEN WALL.
- 6' HIGH SCREEN WALL.

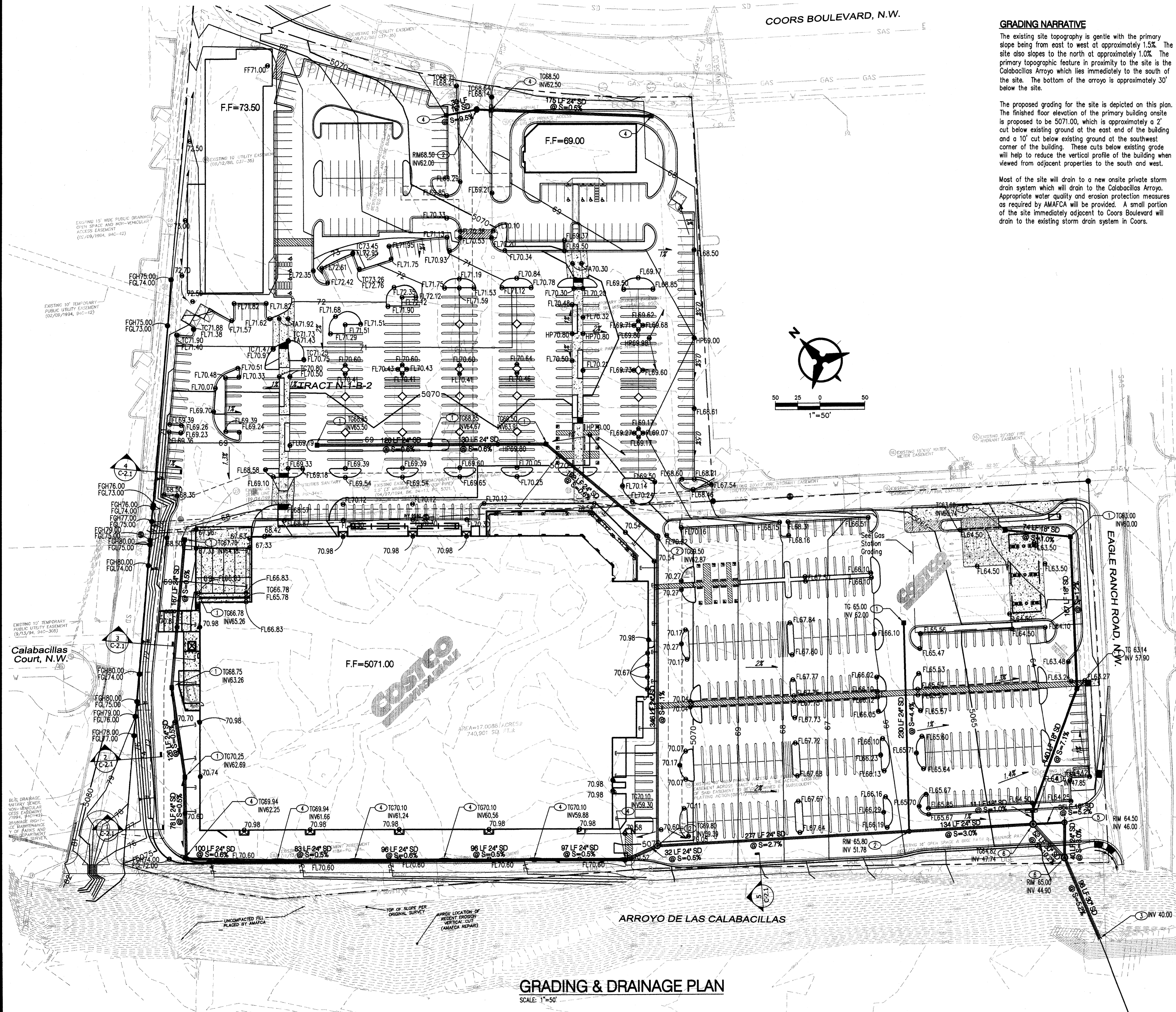
21, 22 "Shore Road" Inlets  
**NOT A PART**

TRACT N-1A-1  
SEVEN-BAR RANCH  
(11/01/89, C40-34)

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DATE	DESCRIPTION





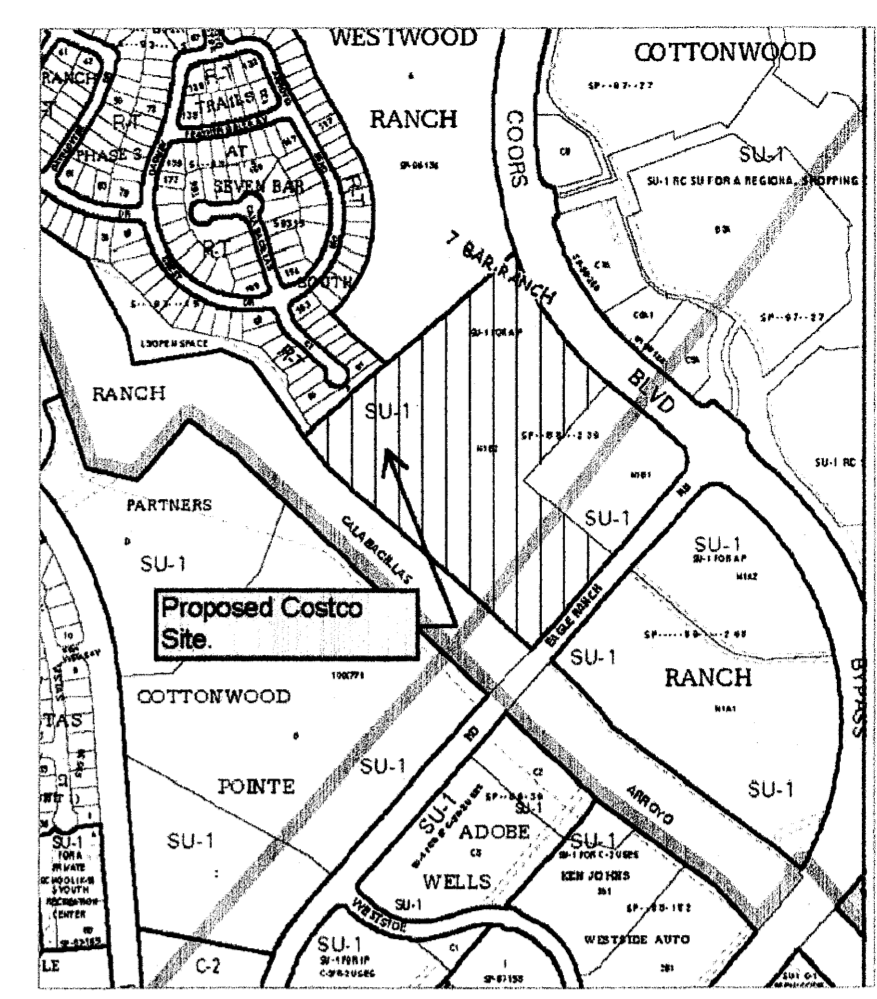
COORS BOULEVARD, N.W.

**GRADING NARRATIVE**

The existing site topography is gentle with the primary slope being from east to west at approximately 1.5%. The site also slopes to the north at approximately 1.0%. The primary topographic feature in proximity to the site is the Calabacillas Arroyo which lies immediately to the south of the site. The bottom of the arroyo is approximately 30' below the site.

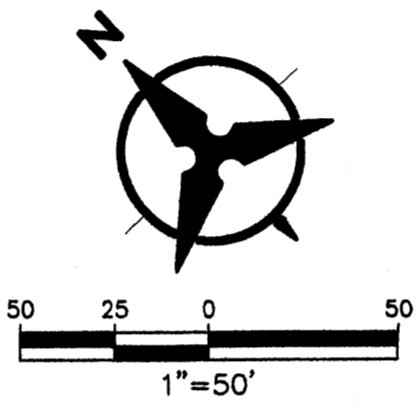
The proposed grading for the site is depicted on this plan. The finished floor elevation of the primary building onsite is proposed to be 5071.00, which is approximately a 2' cut below existing ground at the east end of the building and a 10' cut below existing ground at the southwest corner of the building. These cuts below existing grade will help to reduce the vertical profile of the building when viewed from adjacent properties to the south and west.

Most of the site will drain to a new onsite private storm drain system which will drain to the Calabacillas Arroyo. Appropriate water quality and erosion protection measures as required by AMAFCA will be provided. A small portion of the site immediately adjacent to Coors Boulevard will drain to the existing storm drain system in Coors.



ZONE ATLAS PAGE: B-13-Z

TRACT N-1-B-2 AS SHOWN ON THE REPLAT OF TRACT N-1-B, SEVEN BAR RANCH, IN THE CITY OF ALBUQUERQUE, NEW MEXICO.



**KEYED NOTES**

1. INSTALL STORM DRAIN INLET TYPE "SINGLE D", PER COA STD DWG 2206; OR NYOPLAST ROAD AND HIGHWAY DRAINAGE INLET STRUCTURE W/ 2'X3' STEEL BAR GRATE (261.2 SQ. IN. APPROXIMATE DRAIN AREA) H-25 RATED GRATE (OR APPROVED EQUAL).
2. INSTALL 4' DIA TYPE "C" SD MANHOLE PER COA STD DWG 2101
3. DAYLIGHT STORM DRAIN W/ EROSION PROTECTION AND STORM WATER QUALITY TREATMENT AS REQUIRED BY AMAFCA
4. INSTALL TYPE "C" INLET PER COA STD DWG 2205
5. INSTALL WATER QUALITY MANHOLE.
6. INSTALL 6' DIA TYPE "C" SD MANHOLE PER COA STD DWG 2101.

**LEGEND**

- PROPERTY LINE
- - - - - EXISTING CONTOURS
- 5301.15 EXISTING GROUND SPOT ELEVATION
- 65.23 PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE, TW=TOP OF WALL, BW=BOTTOM OF WALL
- EX=EXISTING, TG=TOP OF GRADE, FGH=FINISH GROUND HIGH SIDE, FGL=FINISH GROUND LOW SIDE
- YOSLXX.XX TOSL=TOP OF SLOPE
- S=2.0% PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- - - - - PROPOSED INDEX CONTOURS
- - - - - PROPOSED INTER CONTOURS
- - - - - PROPOSED CURB & GUTTER
- - - - - EASEMENT
- PROPOSED STORM DRAIN INLET
- EXISTING MONUMENT
- PROPOSED RETAINING WALL



ALBUQUERQUE III

SWC OF COORS BLVD BYPASS AND EAGLE RANCH RD

**COSTCO WHOLESALE CORPORATION**

999 LAKE DRIVE  
ISSAQUAH, WA 98027  
T: 425.313.8100  
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1110 112TH AVE. NE | SUITE 500  
BELLEVUE, WA | 98004  
1.425.463.2000 | 1.425.463.2002

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DATE	DESCRIPTION

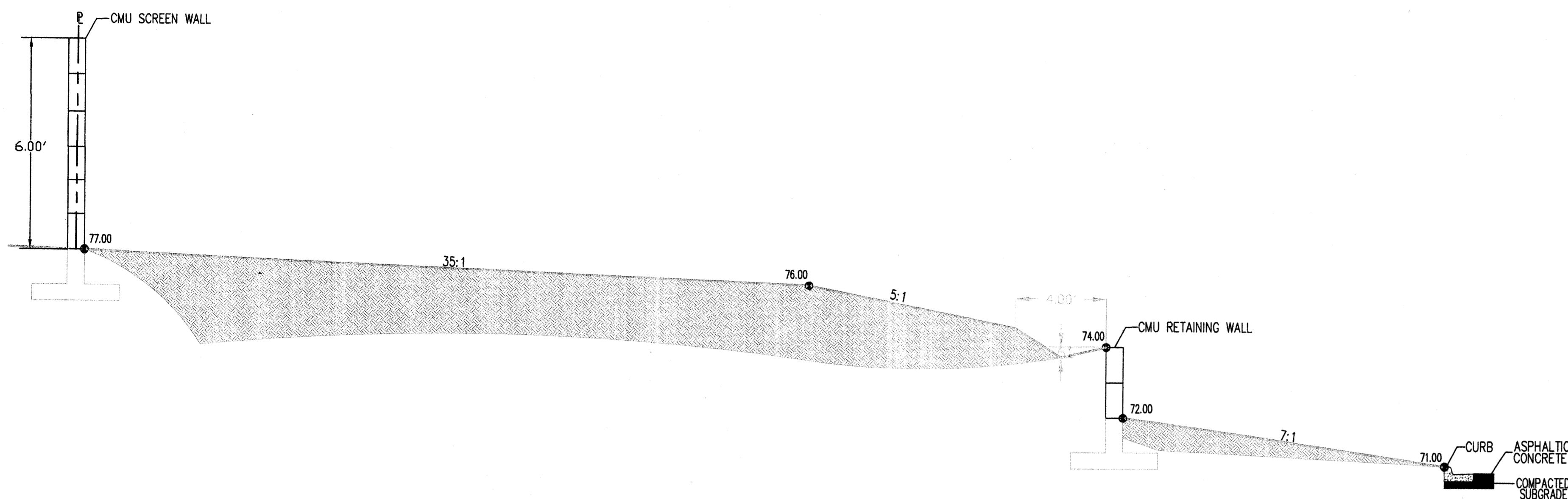
05-0374-01  
P/N: GLENN BROUGHTON  
DRAWN: B. ORTEGA  
MARCH 20, 2007

**GRADING & DRAINAGE PLAN**

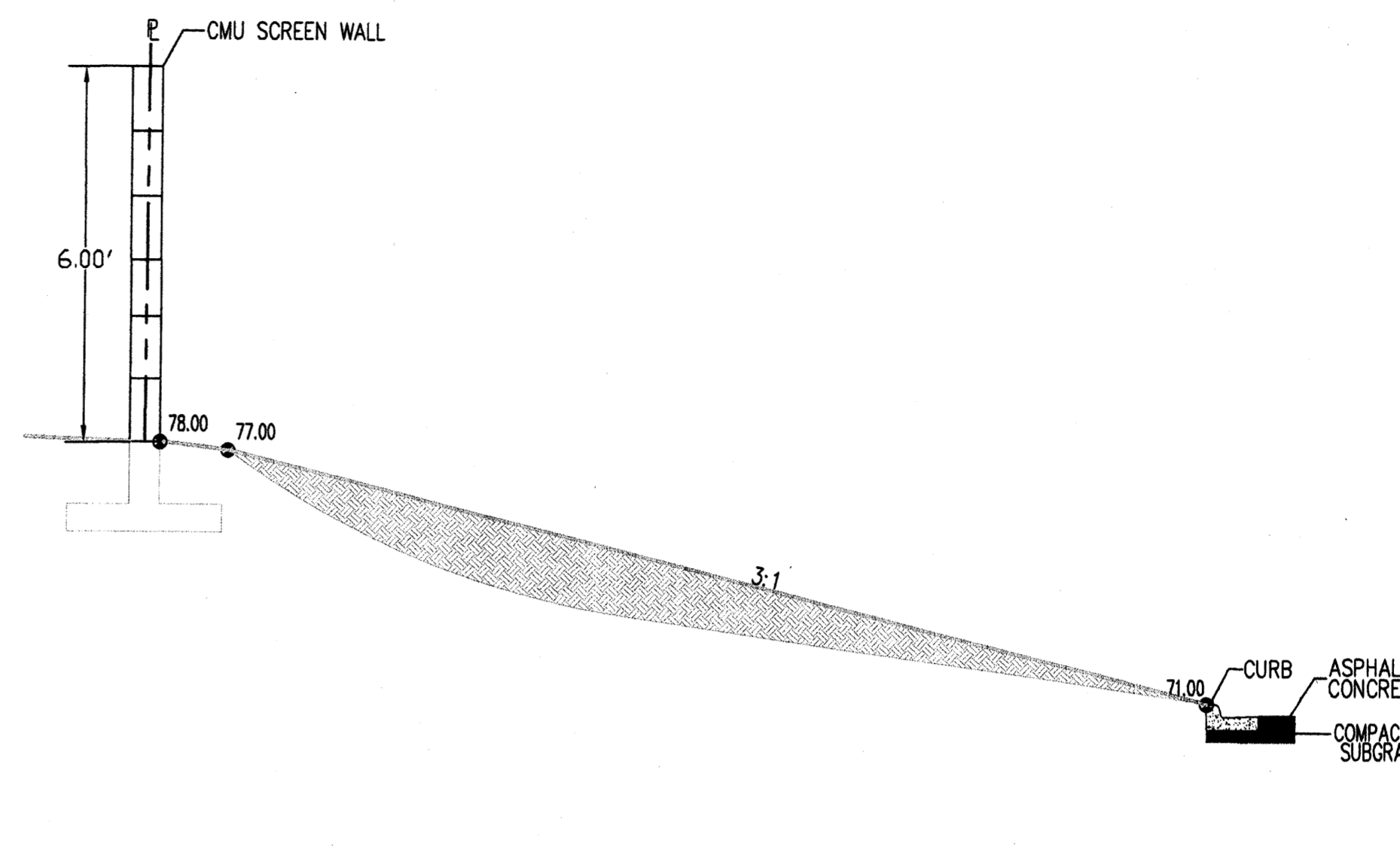
**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**C-2.0**

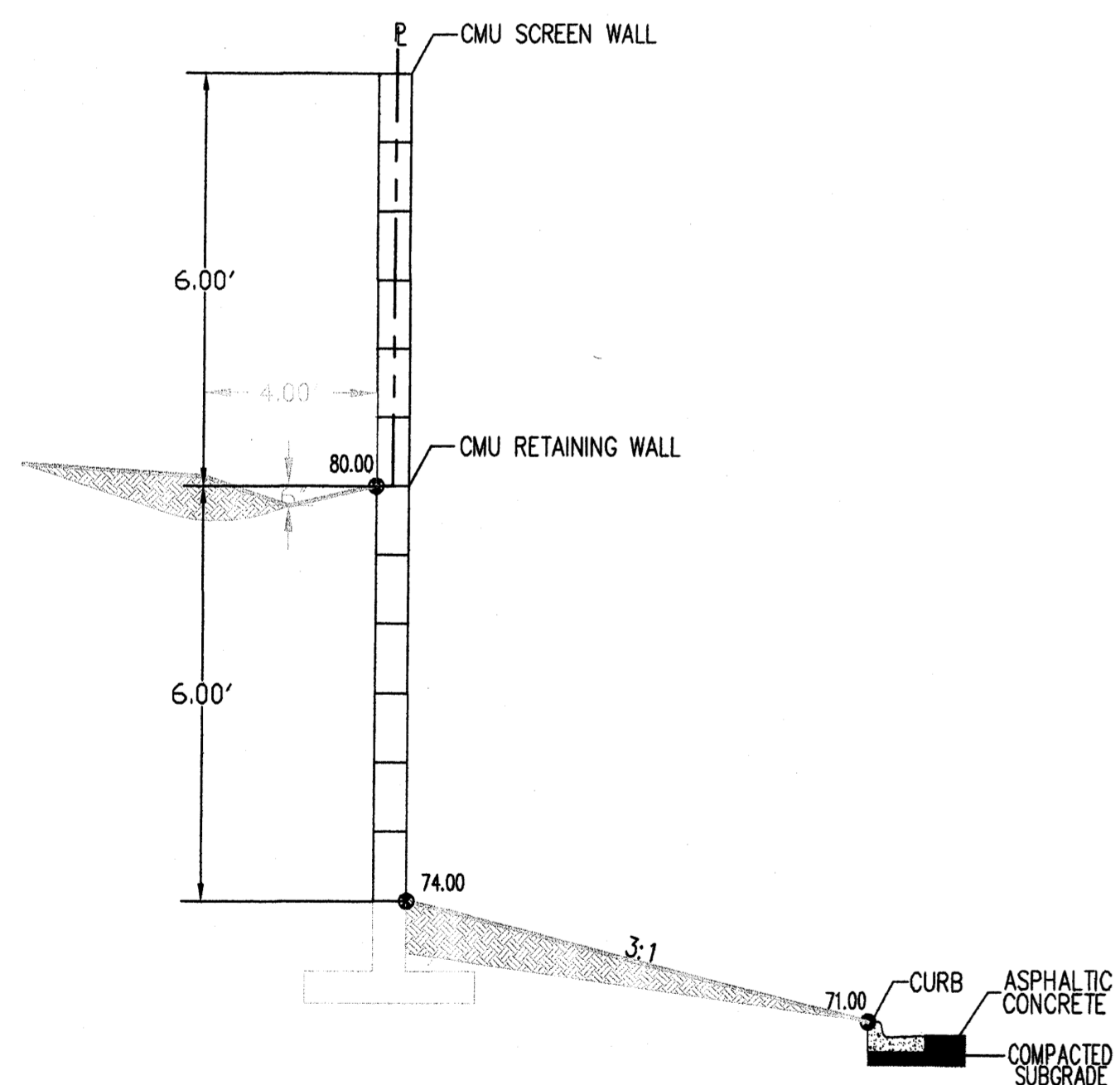
**GRADING & DRAINAGE PLAN**  
SCALE: 1"=50'



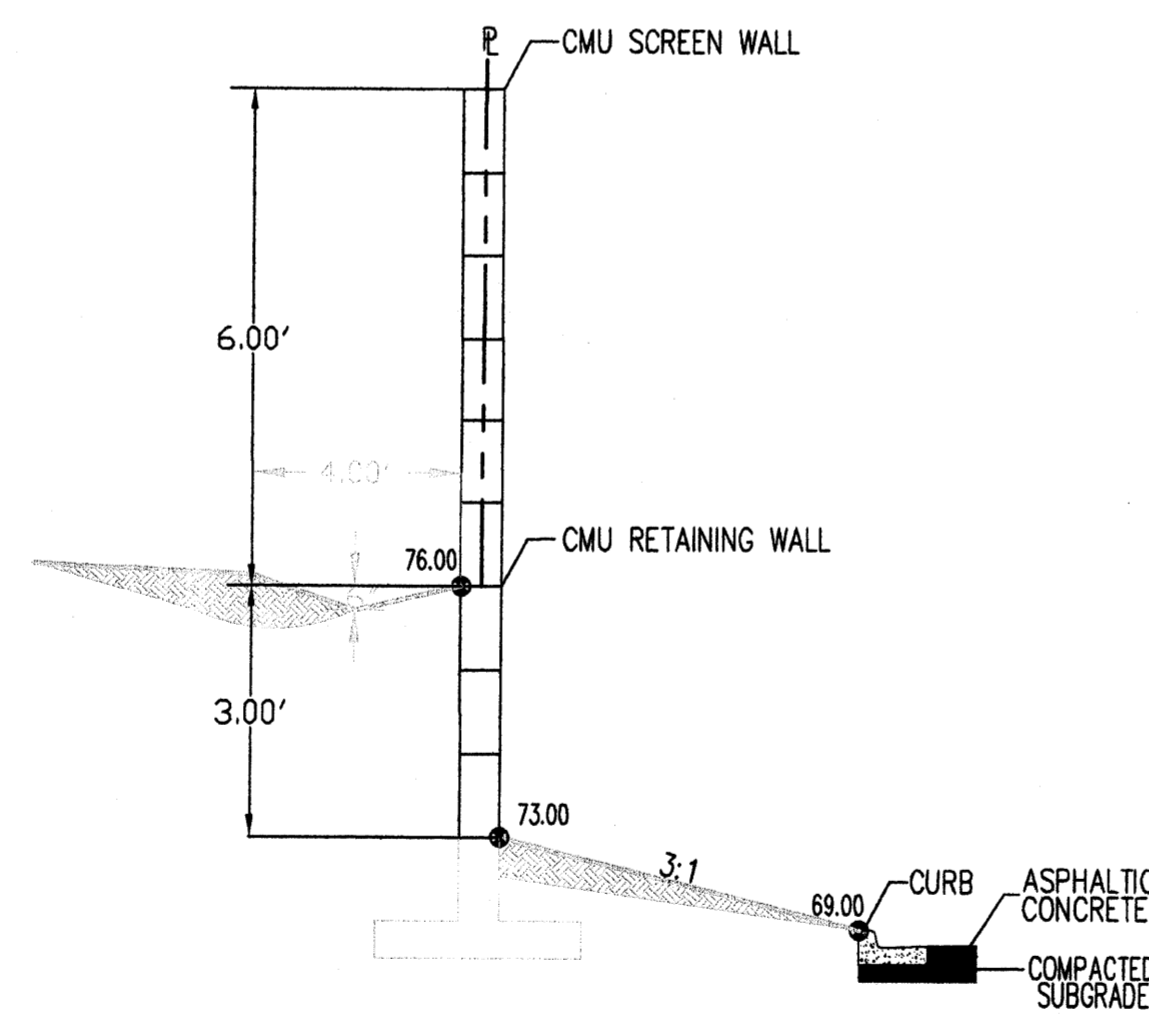
1 RETAINING WALL GRADING SECTION  
NTS



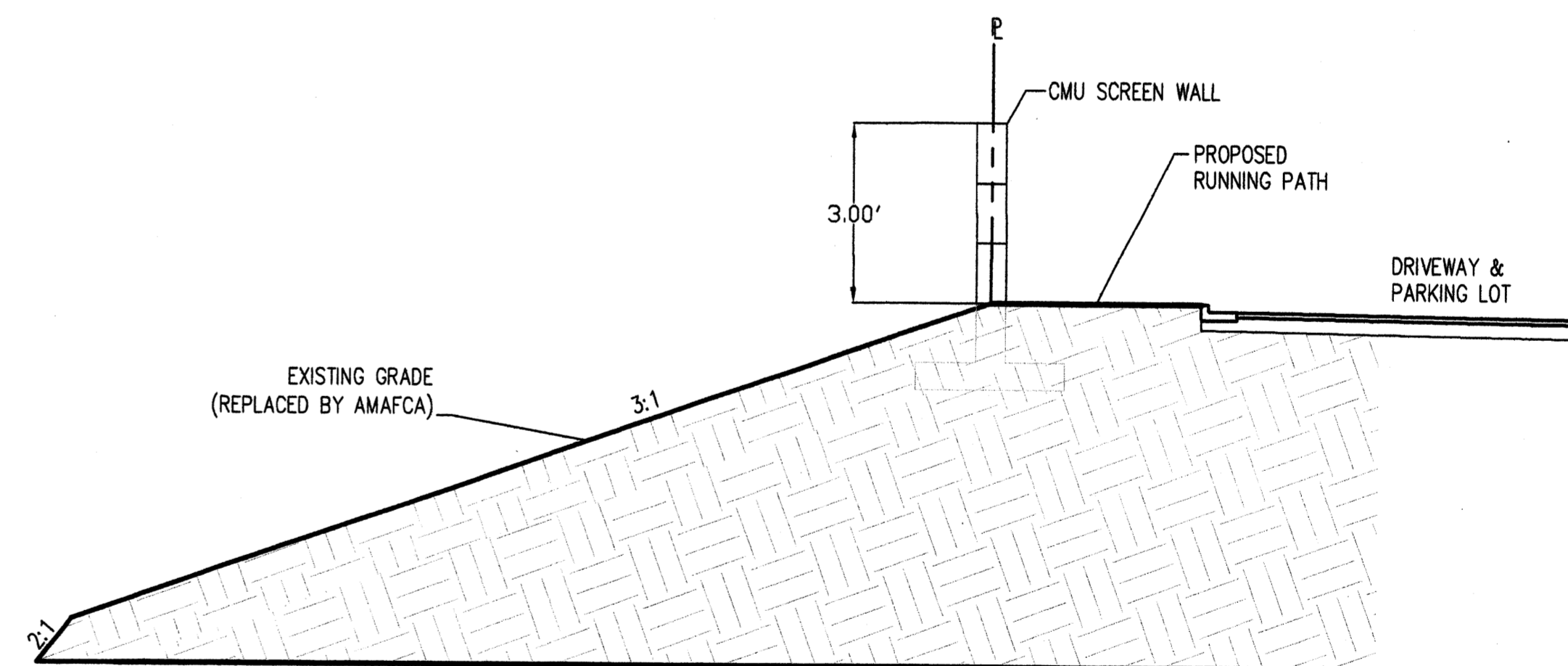
2 RETAINING WALL GRADING SECTION  
NTS



3 RETAINING WALL GRADING SECTION  
NTS



4 RETAINING WALL GRADING SECTION  
NTS



5 RETAINING WALL GRADING SECTION  
NTS

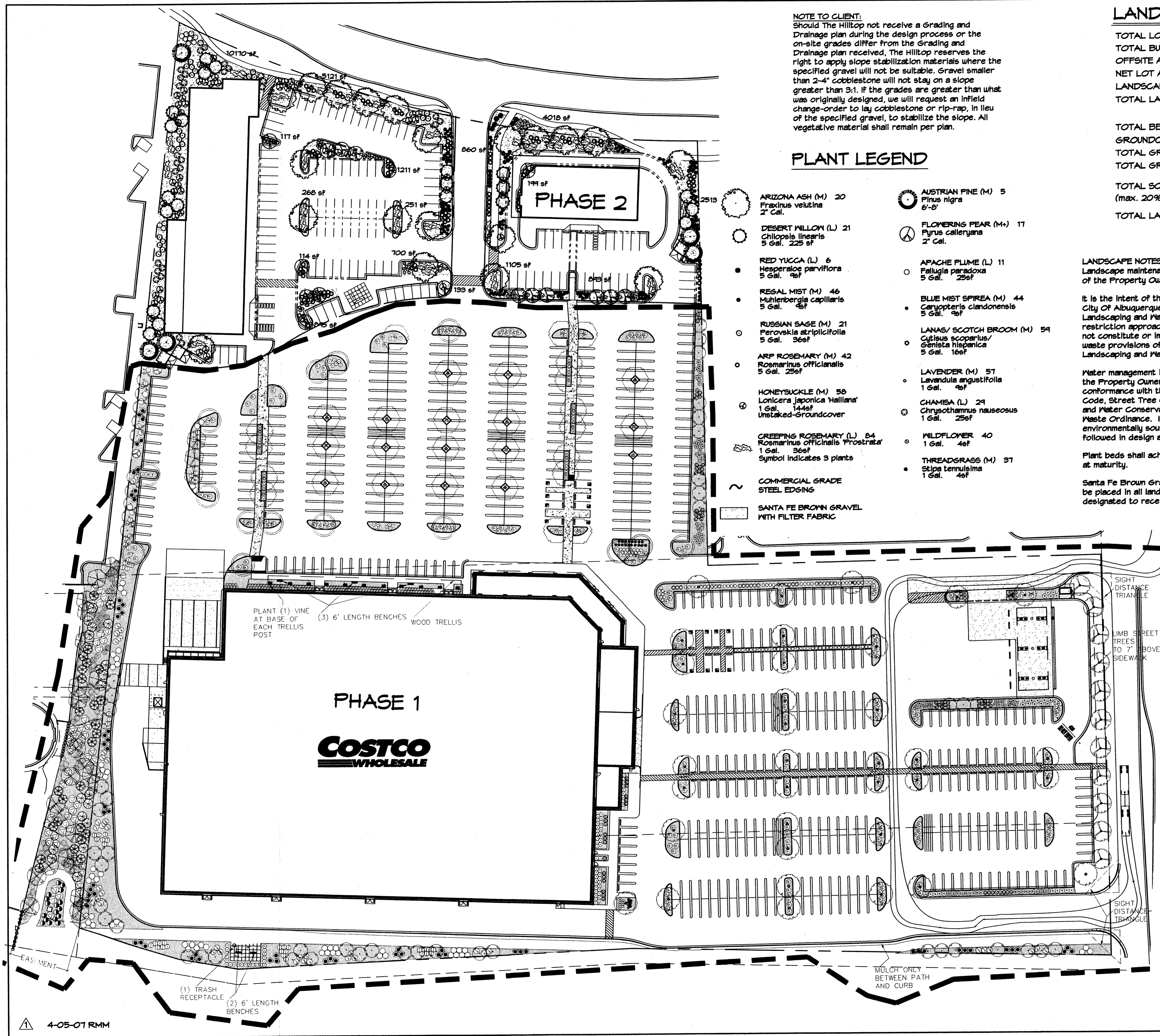
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△	DATE	DESCRIPTION

05-0374-01  
PM: GLENN BROUGHTON  
DRAWN: B. ORTEGA  
MARCH 20, 2007

GRADING SECTIONS





**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**PLANT LEGEND**

- ARIZONA ASH (M) 20  
*Fraxinus velutina*  
2" Cal.
- DESERT WILLOW (L) 21  
*Chilopsis linearis*  
5 Gal. 225 sf
- RED YUCCA (L) 6  
*Hesperaloe parviflora*  
5 Gal. 45sf
- REGAL MIST (M) 46  
*Muhlenbergia capillaris*  
5 Gal. 45sf
- RUSSIAN SAGE (M) 21  
*Perovskia atriplicifolia*  
1 Gal. 36sf
- ARP ROSEMARY (M) 42  
*Rosmarinus officinalis*  
5 Gal. 25sf
- HONEYSUCKLE (M) 58  
*Lonicera japonica 'Halliana'*  
1 Gal. 144sf  
Unstaked-Groundcover
- CREEPING ROSEMARY (L) 84  
*Rosmarinus officinalis 'Prostrata'*  
1 Gal. 36sf  
Symbol indicates 3 plants
- ~ COMMERCIAL GRADE STEEL EDGING
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- AUSTRIAN PINE (M) 5  
*Pinus nigra*  
6'-8'
- FLOWERING PEAR (M+) 17  
*Pyrus calleryana*  
2" Cal.
- APACHE PLUME (L) 11  
*Fallugia paradoxa*  
5 Gal. 25sf
- BLUE MIST SPIREA (M) 44  
*Caryopteris clandonensis*  
5 Gal. 45sf
- LANAS/ SCOTCH BROOM (M) 59  
*Cytisus scoparius/ Genista hispanica*  
5 Gal. 16sf
- LAVENDER (M) 57  
*Lavandula angustifolia*  
1 Gal. 45sf
- CHAMISA (L) 29  
*Chrysothamnus nauseosus*  
1 Gal. 25sf
- WILDFLOWER 40  
1 Gal. 45sf
- THREADGRASS (M) 37  
*Stipa tenuissima*  
1 Gal. 45sf

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	132381	square feet
TOTAL BUILDINGS AREA	26787	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	105594	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	15839	square feet
TOTAL BED PROVIDED	28568	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	21426	square feet
TOTAL GROUNDCOVER PROVIDED	21536 (75%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL LANDSCAPE PROVIDED	28568 (27%)	square feet

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

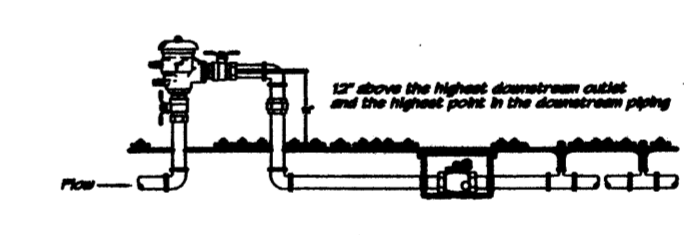
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

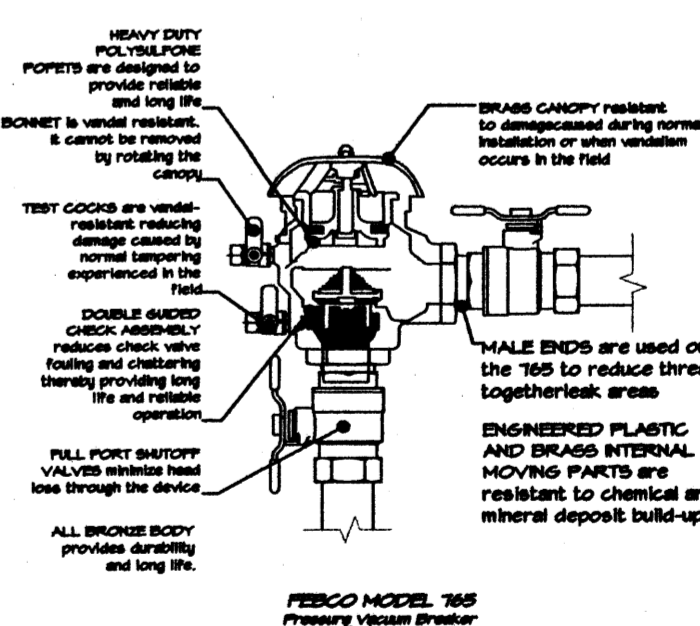
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



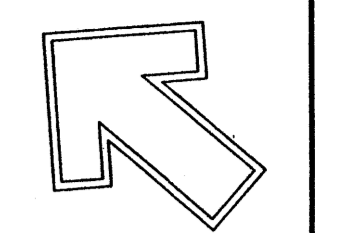
FESCO MODEL 785 Primary Valve Breaker Check Valve



FESCO MODEL 785 Primary Valve Breaker Filter

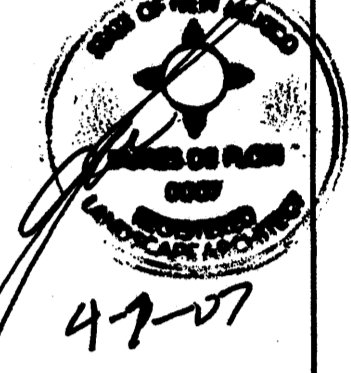
HEAVY DUTY POLYURETHANE PORTS are designed to provide extra strength and long life. BONNET is vinyl resistant, cannot be removed by twisting the canopy. TREE COCOON are vinyl resistant, reducing damage to normal canopy by supporting the tree. COCOON ANTI-WIND CHOCK ANGLE-ONLY reduces chock when felling and chattering thereby providing long life and reliable connection. FULL HOIST BATTERY VALVES allows load low through the device. ALL BRASS BODY provides durability and long life.

BRASS CANOPY resistant to damage from the normal operation of the valve. VALVE ENDS are used on the 1/2" to reduce thread together/tear areas. ENGINEERED PLASTIC AND BRASS INTERNAL MOVING PARTS are resistant to chemical and mineral deposit build-up.



Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

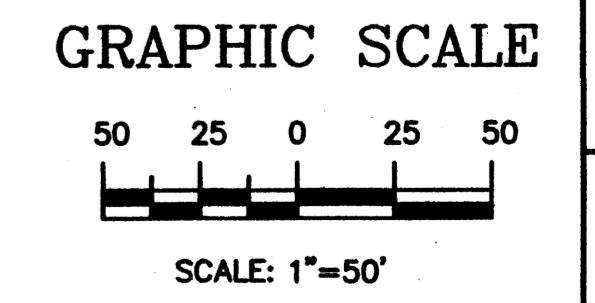
COSTCO - OUTLOTS ONLY  
COORS-BY-PASS  
ALBUQUERQUE, NM  
LANDSCAPE PLAN

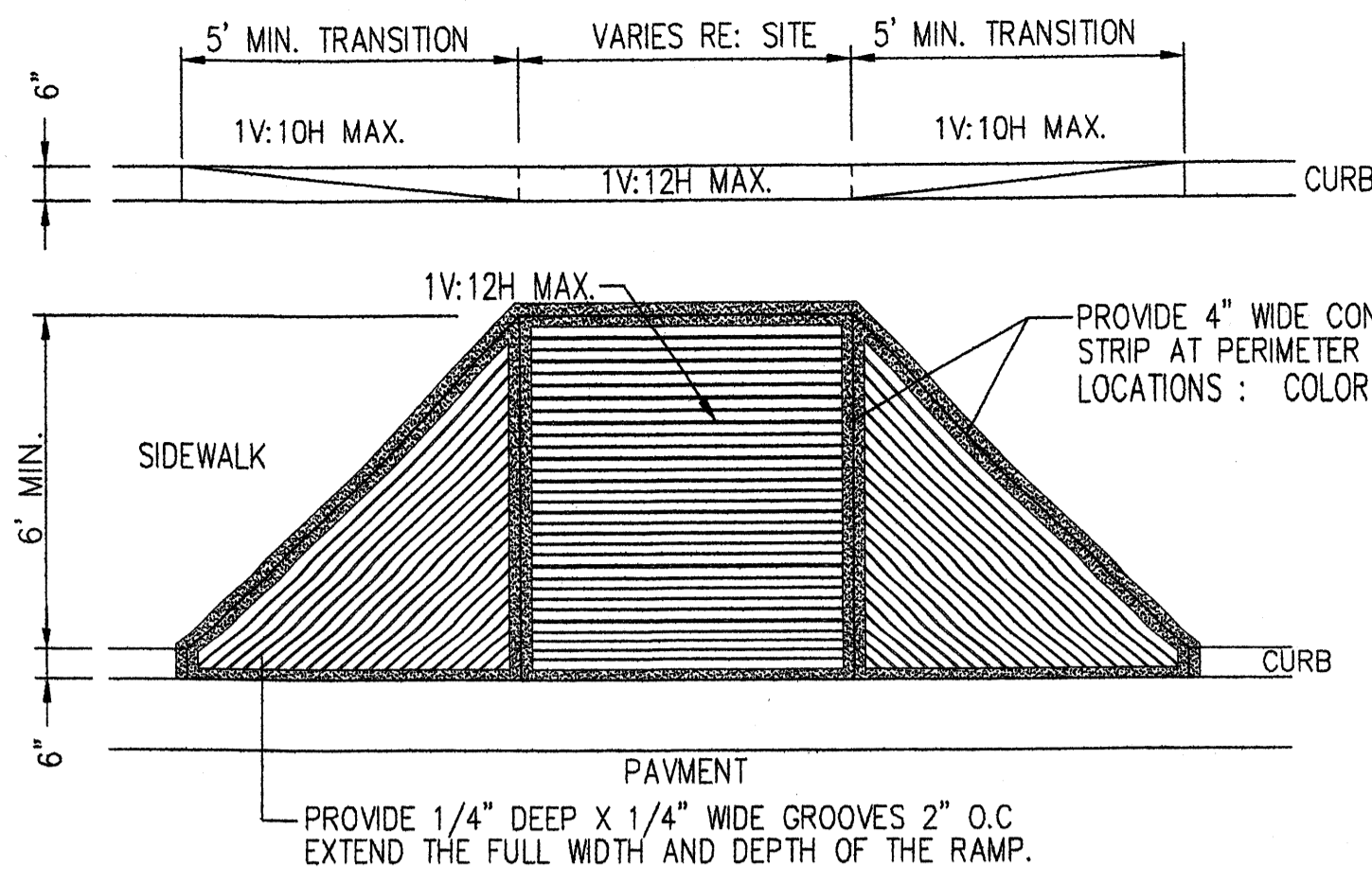
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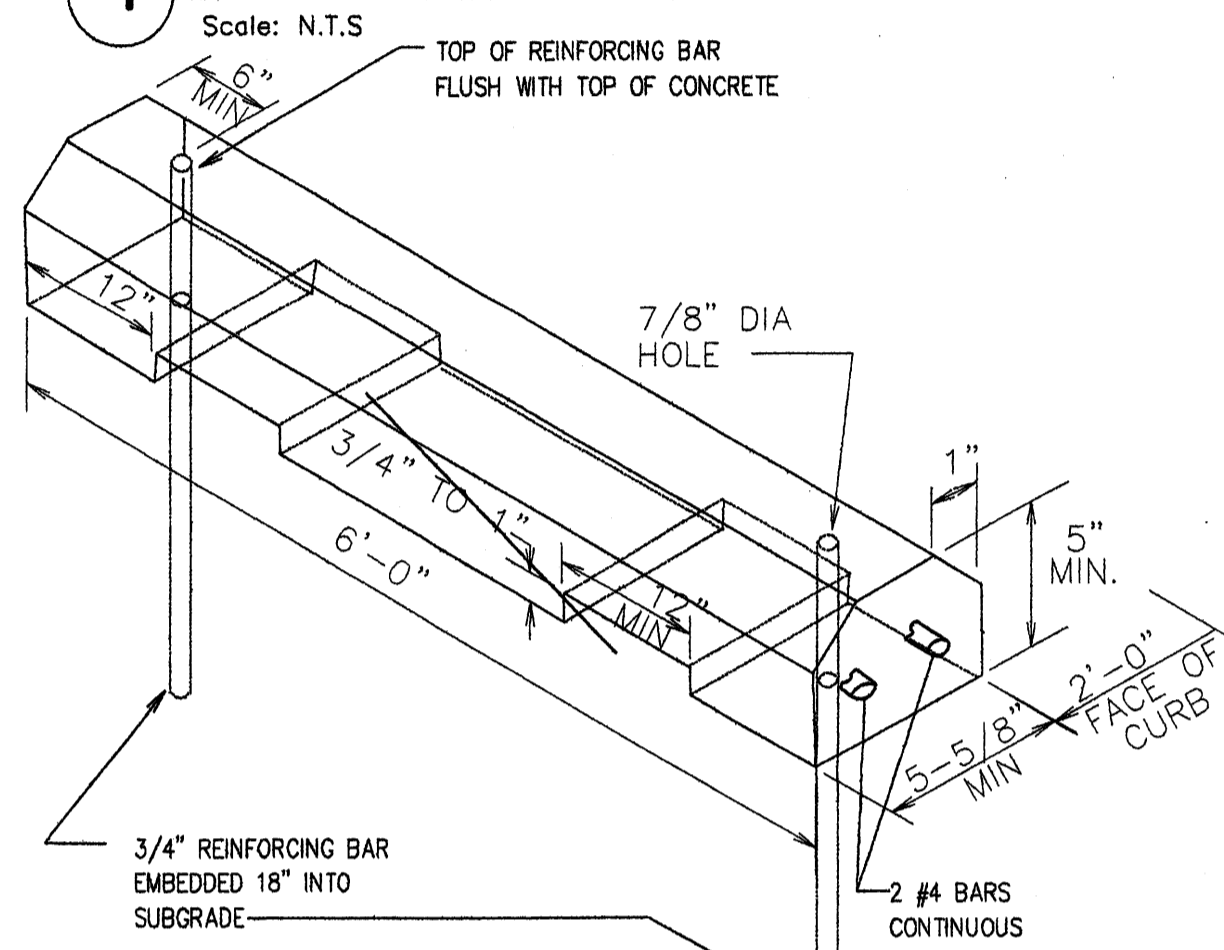
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REVISION # 1  
DATE 9-6-06

SHEET # L1 OF L1

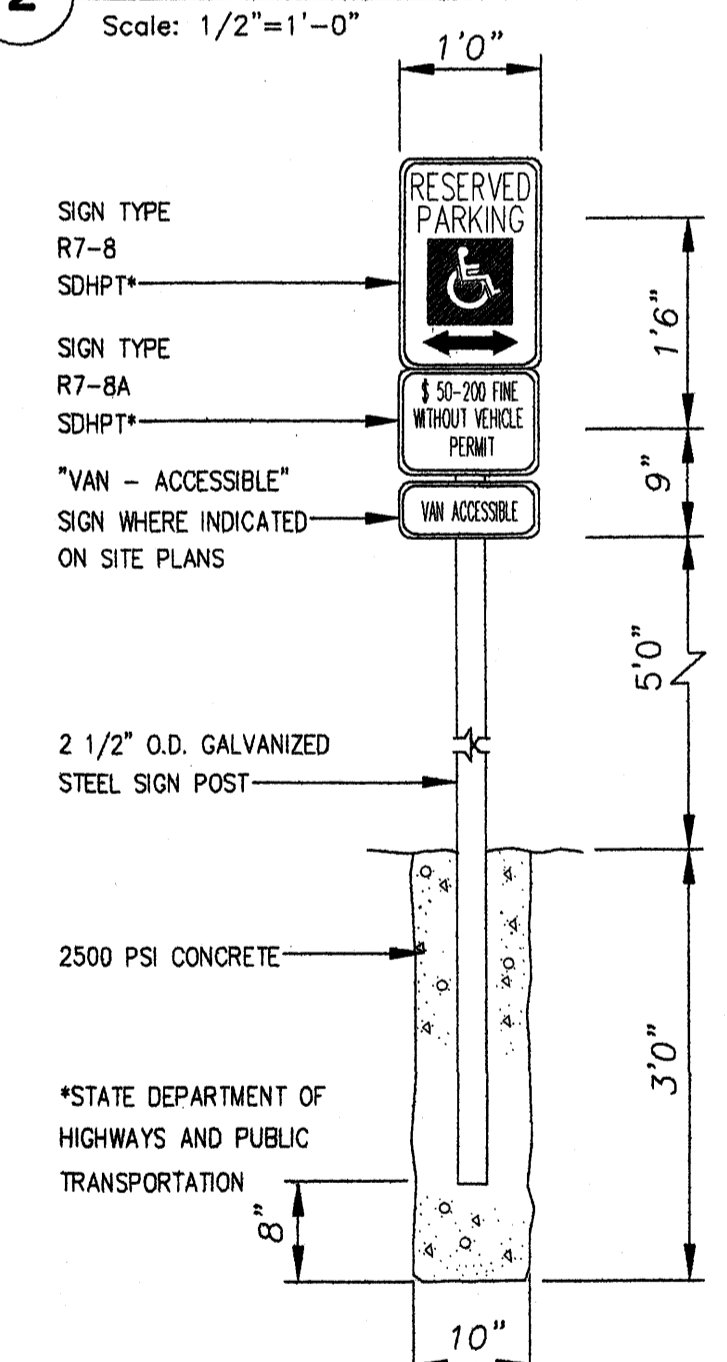




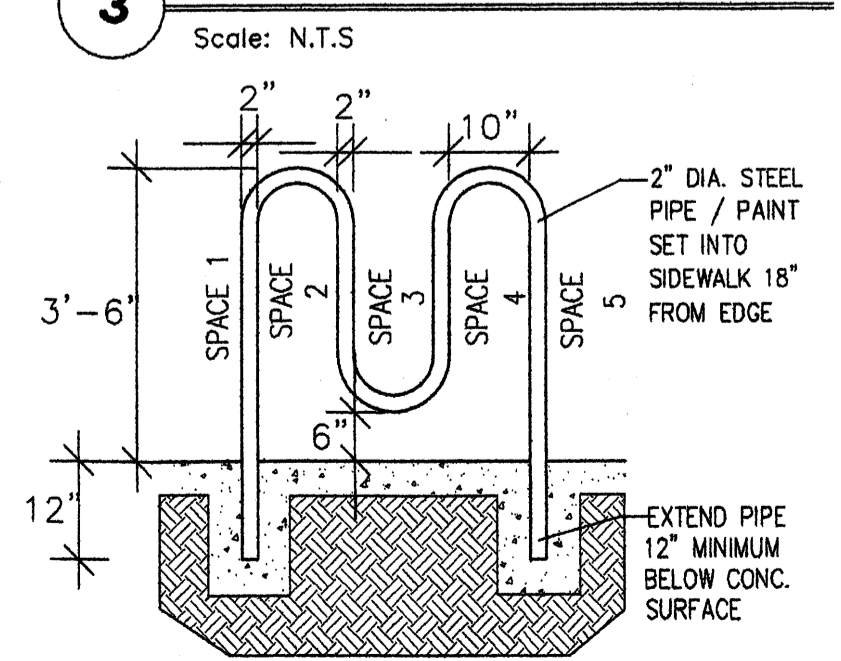
**1 H.C RAMP**



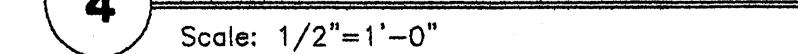
**2 BOLLARD DETAIL**



**3 H.C SIGN DETAIL**



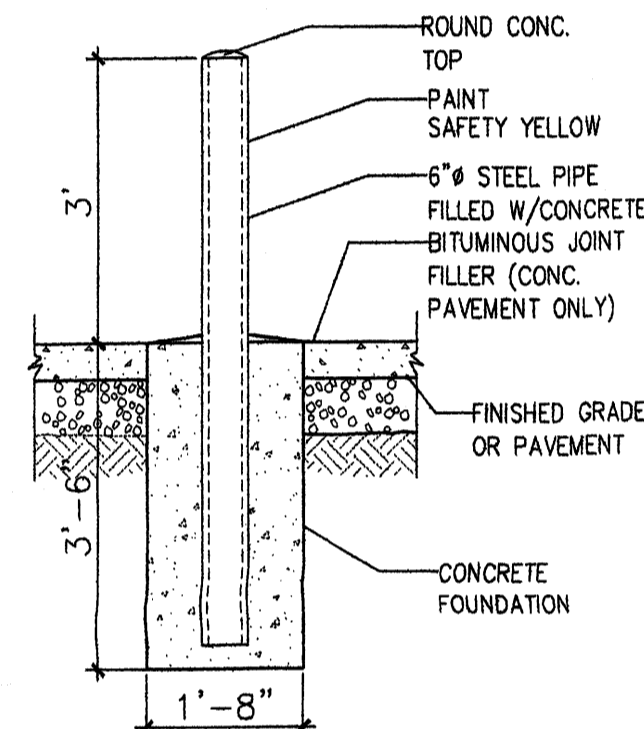
**4 BIKE RACK**



- KEYED NOTES**
- 8" CMU WALL WITH TEXTURED PAINT PAPER. COLOR TO BE BASKET BEIGE SW 6143 7.
  - FINISH GRADE.
  - SLOPE STUCCO CAP.
  - 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
  - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
  - 1/2" EXPANSION JOINT MATERIAL
  - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W.M.
  - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W.M. W/ TURNDOWN EDGE.
  - 6" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
  - ASPHALT PAVING
  - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

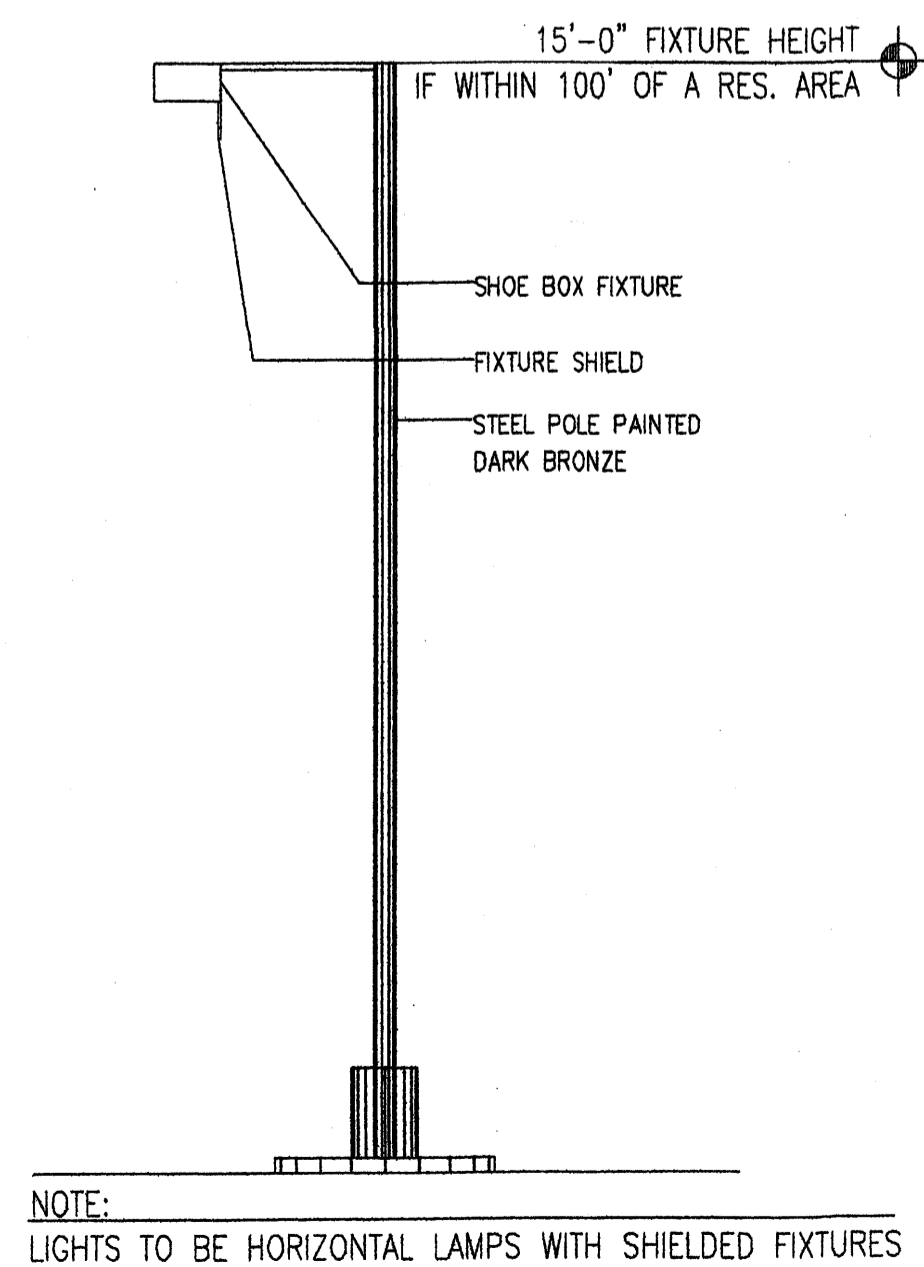
**7 ENCLOSURE NOTES**

Scale: N.T.S



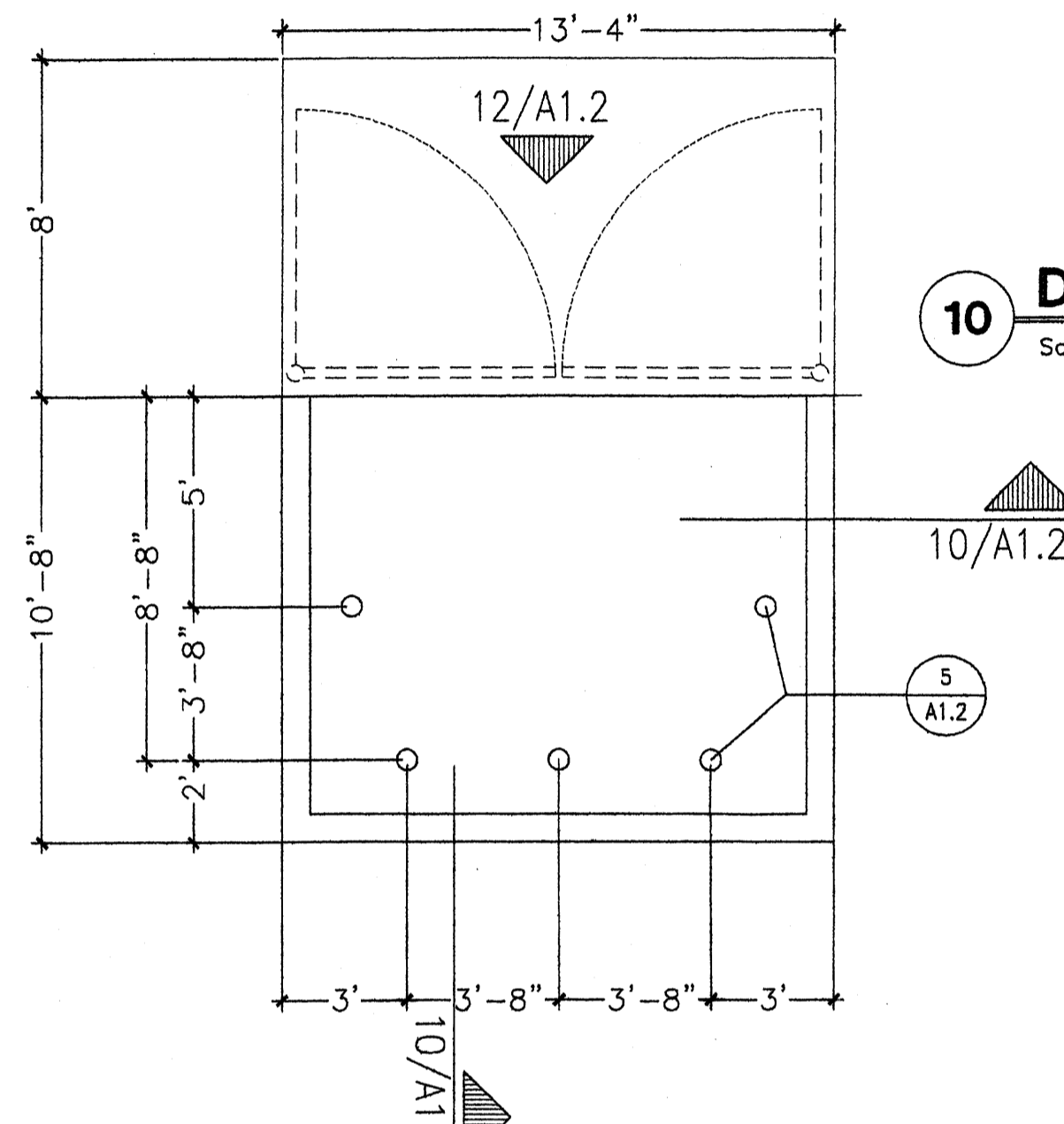
**5 BOLLARD DETAIL**

Scale: 1/2"=1'-0"



**6 LIGHT POLE DETAIL**

Scale: N.T.S

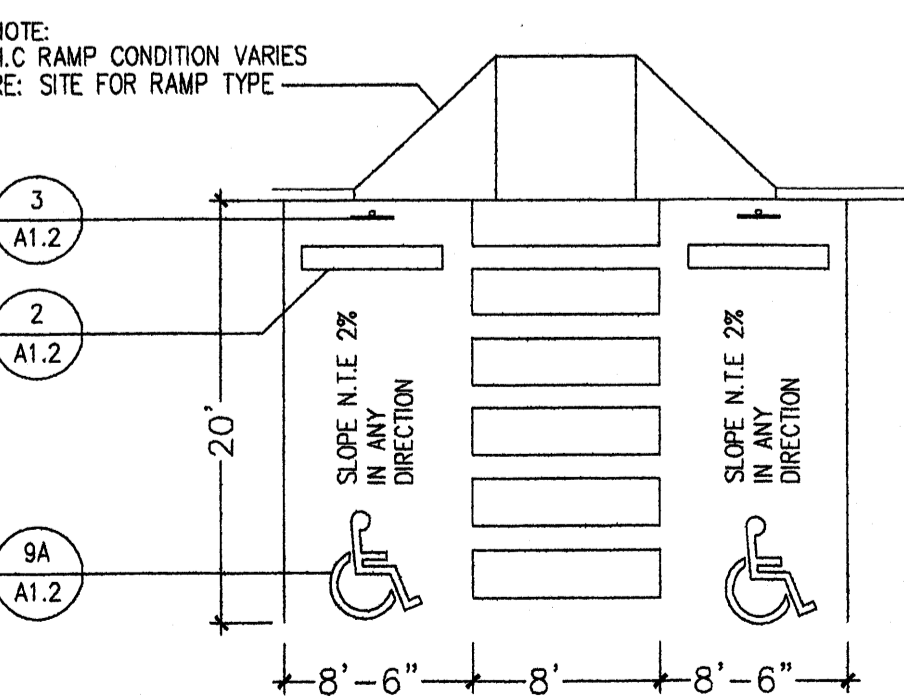


**8 DUMPSTER PLAN**

Scale: 1/2"=1'-0"

**9A H.C SYMBOL**

Scale: N.T.S



**9 H.C TYP. PARKING DET.**

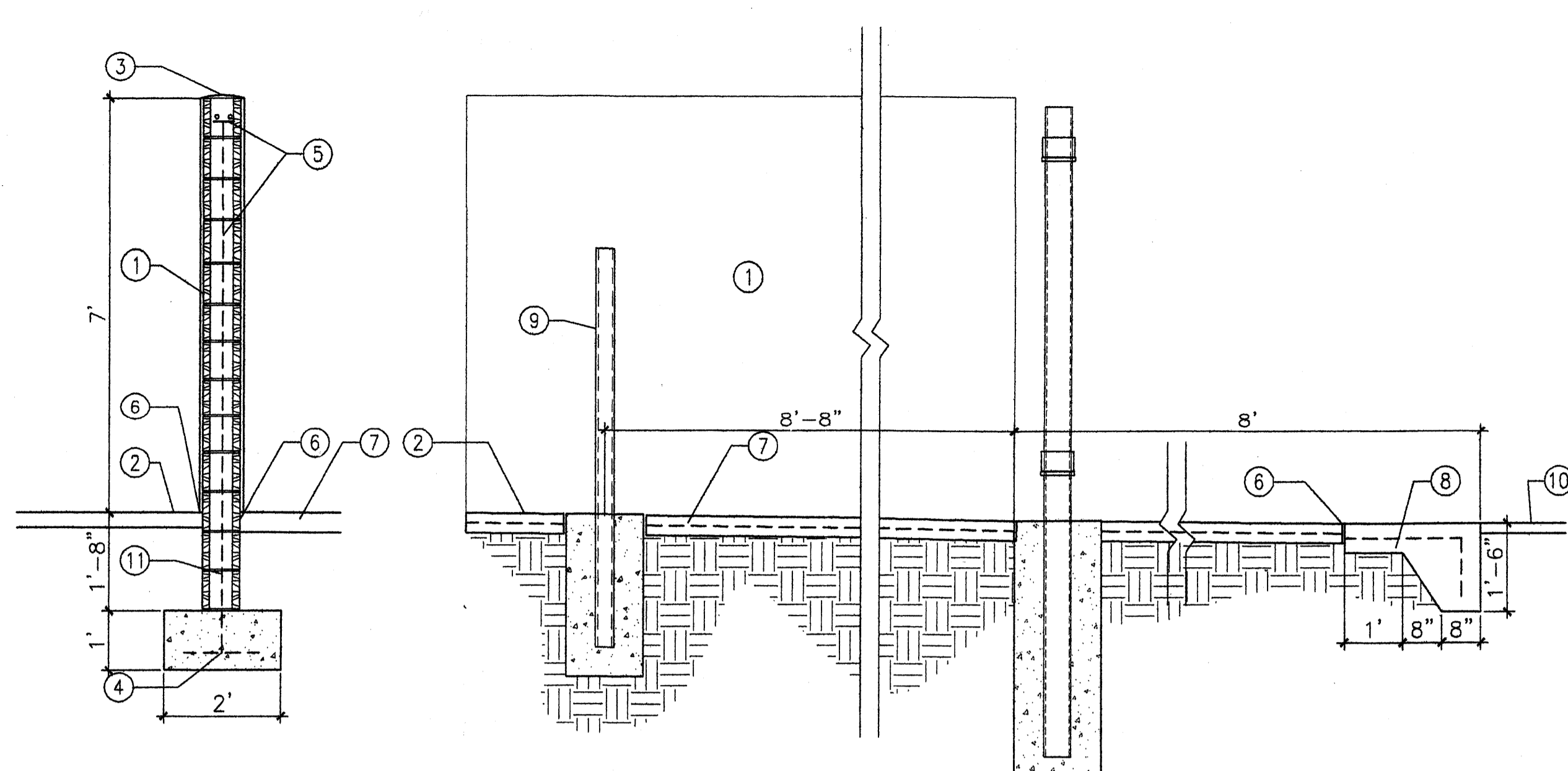
Scale: 1"=1'-0"

**10 DUMPSTER SEC**

Scale: 1/2"=1'-0"

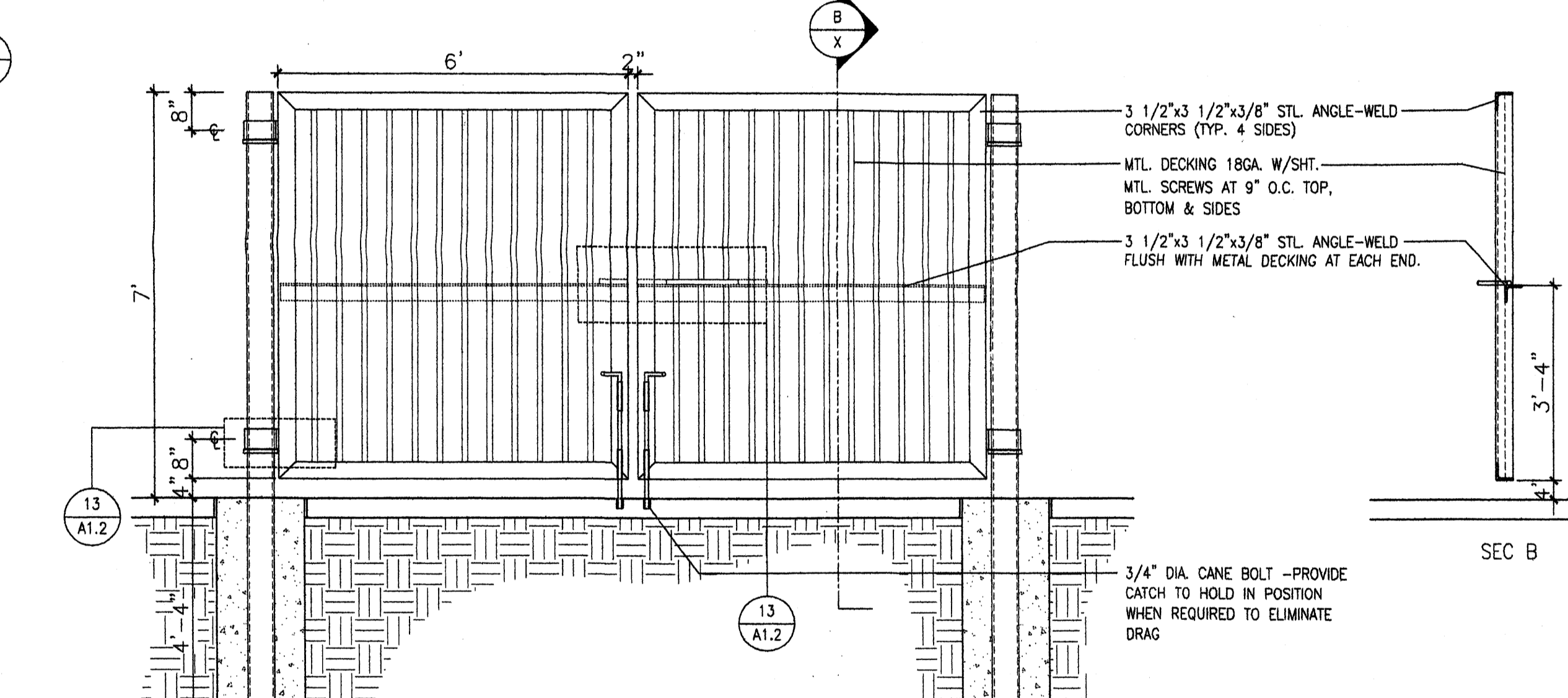
**11 DUMPSTER SEC**

Scale: 1/2"=1'-0"



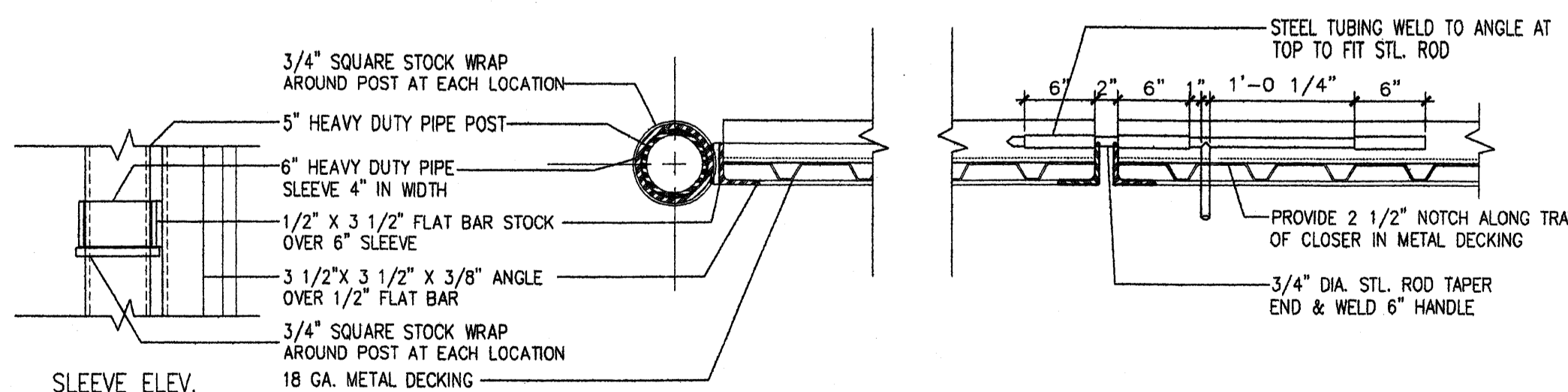
**12 GATE ELEV.**

Scale: 1/2"=1'-0"



**13 GATE POST/SLIDE BOLT DET.**

Scale: 1"=1'-0"



REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
1			

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
 2325 SAN PEDRO NE SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

**COSTCO DEVELOPMENT**  
 N.W.C. OF COORS BYPASS-EAGLE RANCH RD.  
 ALBUQUERQUE, NEW MEXICO

**PROJECT TITLE**  
 N.W.C. OF COORS BYPASS-EAGLE RANCH RD.  
 ALBUQUERQUE, NEW MEXICO

**PROJECT MANAGER**  
 STEPHEN DUNBAR, AIA

**JOB NO.**  
 SD

**DRAWN BY**  
 SD

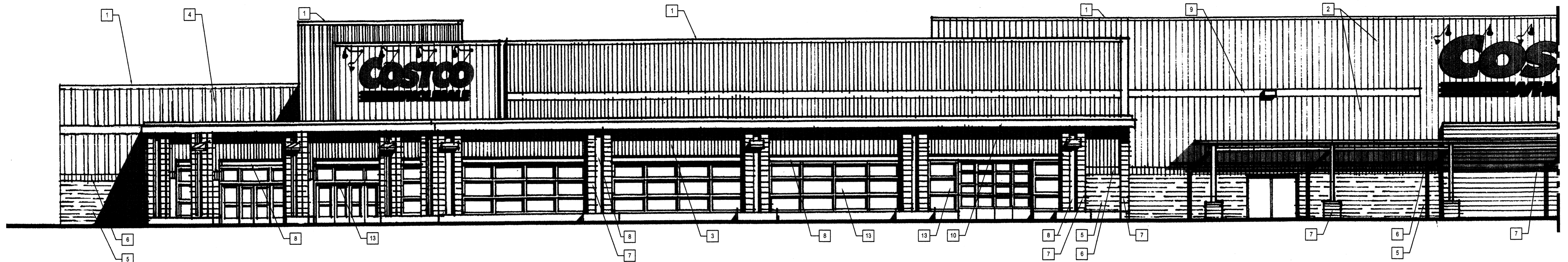
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 SITE DETAIL PLAN

**DATE:**  
 10/10/04

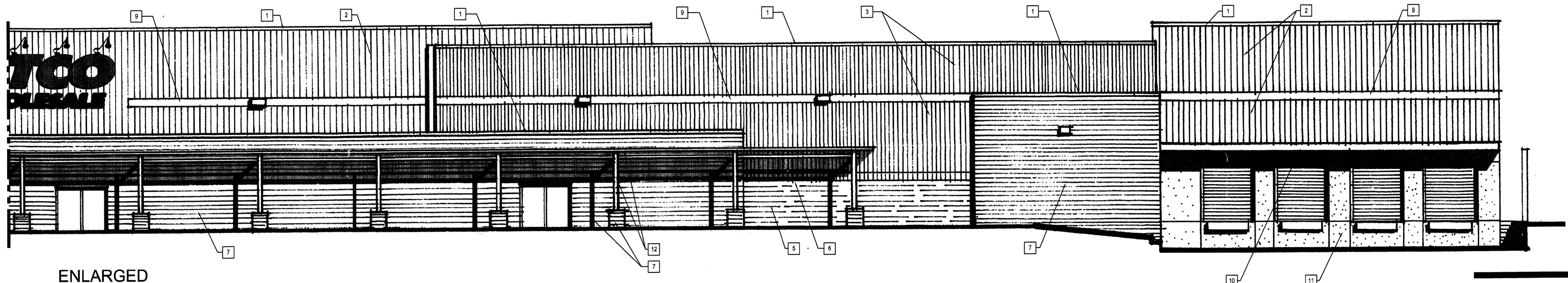
**SCALE:**  
 1/8"=1'-0"

**sheet-**  
**A1.2**

**of-**  
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1  
ENLARGED  
NORTH ELEVATION  
SCALE: 1/8"=1'-0"



2  
ENLARGED  
NORTH ELEVATION  
SCALE: 1/8"=1'-0"

EXTERIOR FINISH SCHEDULE					
#	ITEM	MATERIAL	FINISH	COLOR	NOTES
1	COPING	METAL	KYNAR 500	DARK BRONZE	
2	UPPER WALL	ARCHITECTURAL PANEL	PRE-FINISHED	LIGHT TAN	
3	UPPER WALL	ARCHITECTURAL PANEL	PRE-FINISHED	DARK BRONZE	
4	UPPER WALL	ARCHITECTURAL PANEL	PRE-FINISHED	TERRACOTTA	
5	LOWER WALL	CMU	SPLIT FACE	DARK BROWN	
6	ACCENT BAND	CMU	SMOOTH FACE	DARK BROWN	
7	ACCENT LOWER WALL	CMU	SPLIT FACE	DARK TAN	
8	METAL ACCENT	STEEL	PAINT	DARK BROWN	
9	STRIPE	ARCHITECTURAL PANEL	PRE-FINISHED	RED	
10	CANOPY	METAL ROOFING	PRE-FINISHED	DARK BROWN	
11	LOWER WALL	CONCRETE	PAINT	GRAY	
12	TRELLIS	WOOD	STAIN, SEAL		
13	STOREFRONT	GLAZING, ALUMINUM	PRE-FINISHED		

SWC COORS BLVD. BYPASS  
AND EAGLE RANCH ROAD



1110 112TH AVE. NE | SUITE 500  
BELLEVUE, WA | 98004

1 425.463.2000 | 1 425.463.2002

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05-0374-01  
APRIL 03, 2007  
CONCEPT  
ELEVATIONS

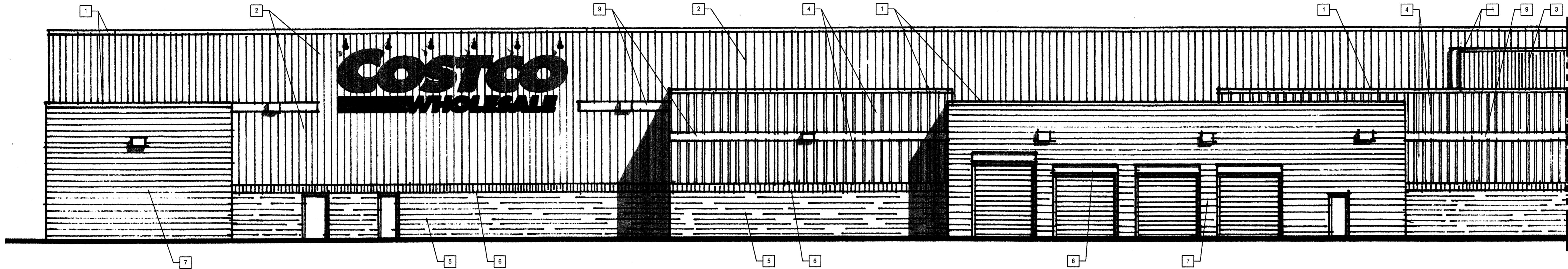
**COSTCO WHOLESALE**

ALBUQUERQUE, NEW MEXICO

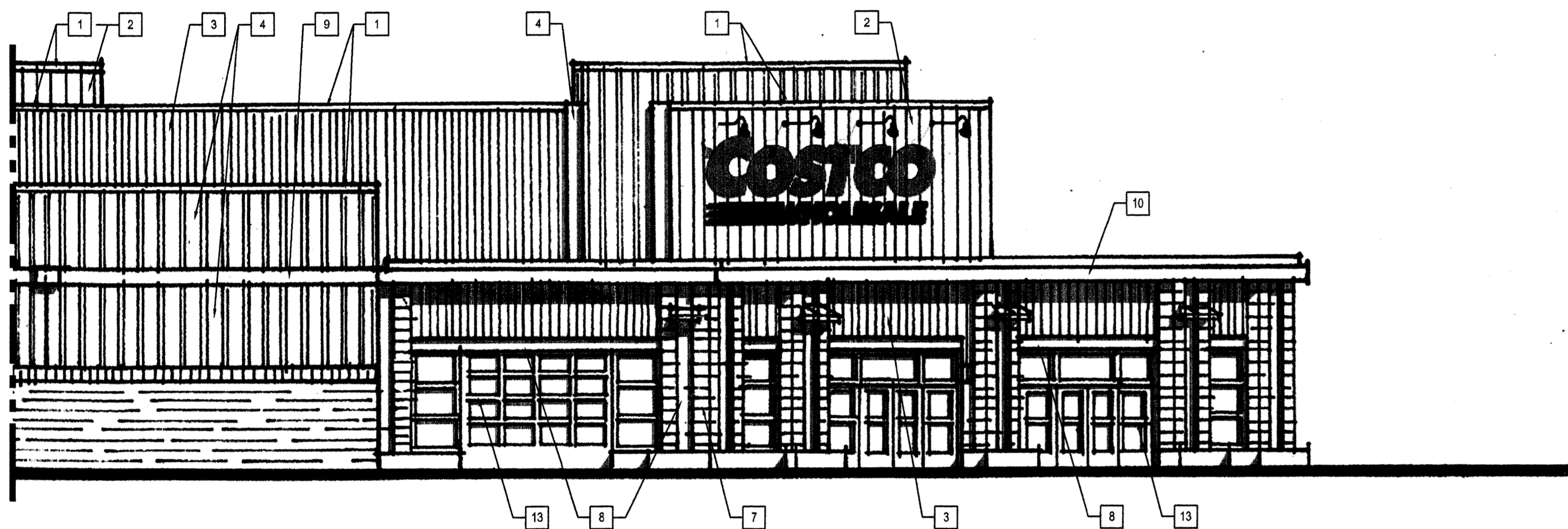
**CONCEPT ELEVATIONS**

APRIL 03, 2007

DD3.2-01



1 ENLARGED EAST ELEVATION  
SCALE: 1/8"=1'-0"



2 ENLARGED EAST ELEVATION  
SCALE: 1/8"=1'-0"



3 ENLARGED ENTRANCE ELEVATION  
SCALE: 1/8"=1'-0"

EXTERIOR FINISH SCHEDULE					
#	ITEM	MATERIAL	FINISH	COLOR	NOTES
1	COPING	METAL	KYNAR 500	DARK BRONZE	
2	UPPER WALL	ARCHITECTURAL PANEL	PRE-FINISHED	LIGHT TAN	
3	UPPER WALL	ARCHITECTURAL PANEL	PRE-FINISHED	DARK BRONZE	
4	UPPER WALL	ARCHITECTURAL PANEL	PRE-FINISHED	TERRACOTTA	
5	LOWER WALL	CMU	SPLIT FACE	DARK BROWN	
6	ACCENT BAND	CMU	SMOOTH FACE	DARK BROWN	
7	ACCENT LOWER WALL	CMU	SPLIT FACE	DARK TAN	
8	METAL ACCENT	STEEL	PAINT	DARK BROWN	
9	STRIPE	ARCHITECTURAL PANEL	PRE-FINISHED	RED	
10	CANOPY	METAL ROOFING	PRE-FINISHED	DARK BROWN	
11	LOWER WALL	CONCRETE	PAINT	GRAY	
12	TRELLIS	WOOD	STAIN, SEAL		
13	STOREFRONT	GLAZING, ALUMINUM	PREFINISHED		

SWC COORS BLVD. BYPASS  
AND EAGLE RANCH ROAD

**MULVANNY G2**

1110 112TH AVE. NE | SUITE 500  
BELLEVUE, WA | 98004  
t 425.463.2000 | f 425.463.2002

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05-0374-01  
APRIL 03, 2007  
CONCEPT  
ELEVATIONS

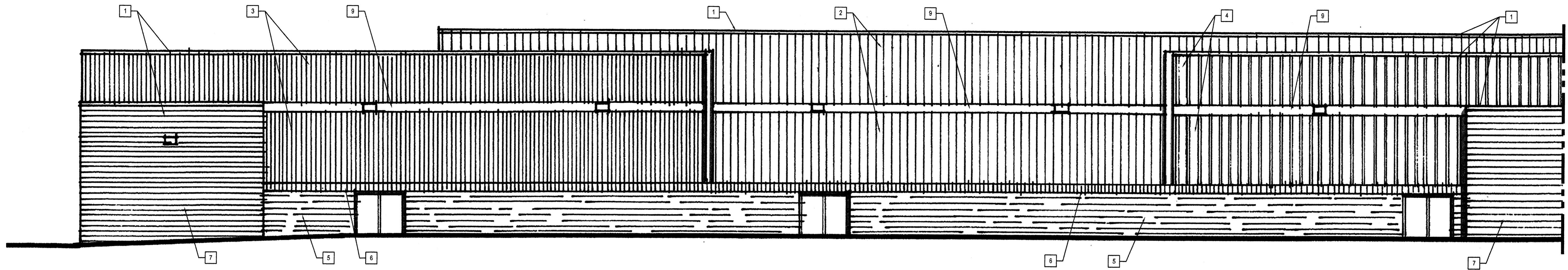
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**COSTCO WHOLESALE**

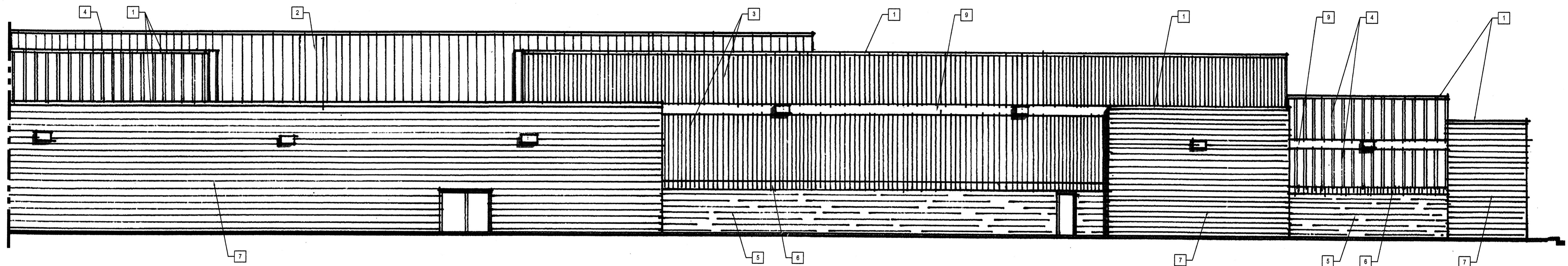
ALBUQUERQUE, NEW MEXICO

**CONCEPT ELEVATIONS**

APRIL 03, 2007



1 ENLARGED SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



2 ENLARGED SOUTH ELEVATION  
SCALE: 1/8"=1'-0"

EXTERIOR FINISH SCHEDULE					
#	ITEM	MATERIAL	FINISH	COLOR	NOTES
1	COPING	METAL	KYNAR 500	DARK BRONZE	
2	UPPER WALL	ARCHITECTURAL PANEL	PRE-FINISHED	LIGHT TAN	
3	UPPER WALL	ARCHITECTURAL PANEL	PRE-FINISHED	DARK BRONZE	
4	UPPER WALL	ARCHITECTURAL PANEL	PRE-FINISHED	TERRACOTTA	
5	LOWER WALL	CMU	SPLIT FACE	DARK BROWN	
6	ACCENT BAND	CMU	SMOOTH FACE	DARK BROWN	
7	ACCENT LOWER WALL	CMU	SPLIT FACE	DARK TAN	
8	METAL ACCENT	STEEL	PAINT	DARK BROWN	
9	STRIPE	ARCHITECTURAL PANEL	PRE-FINISHED	RED	
10	CANOPY	METAL ROOFING	PRE-FINISHED	DARK BROWN	
11	LOWER WALL	CONCRETE	PAINT	GRAY	
12	TRELLIS	WOOD	STAIN, SEAL		
13	STOREFRONT	GLAZING, ALUMINUM	PREFINISHED		

SWC COORS BLVD. BYPASS AND EAGLE RANCH ROAD

MULVANNY G2

1110 112TH AVE. NE | SUITE 500  
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APRIL 03, 2007  
CONCEPT ELEVATIONS

COSTCO WHOLESALE

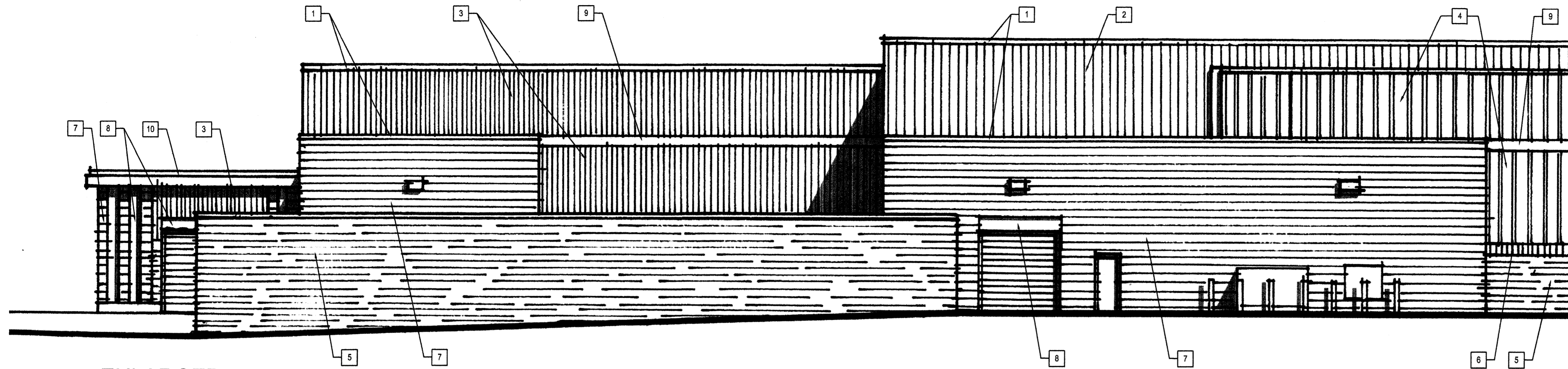
ALBUQUERQUE, NEW MEXICO

CONCEPT ELEVATIONS

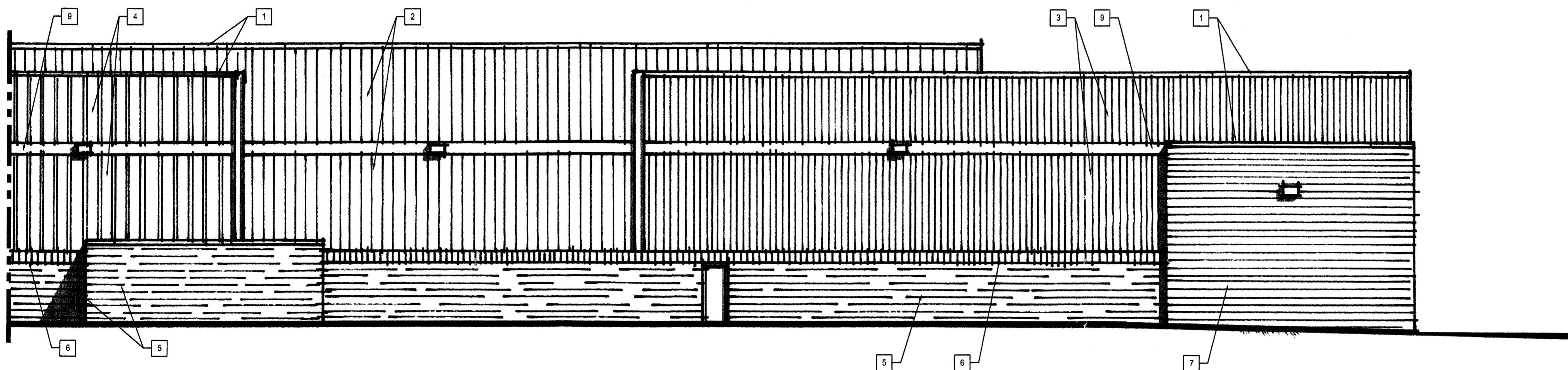
APRIL 03, 2007

DD3.4-01





1 ENLARGED WEST ELEVATION  
SCALE: 1/8"=1'-0"



2 ENLARGED WEST ELEVATION  
SCALE: 1/8"=1'-0"

EXTERIOR FINISH SCHEDULE					
#	ITEM	MATERIAL	FINISH	COLOR	NOTES
1	COPING	METAL	KYNAR 500	DARK BRONZE	
2	UPPER WALL	ARCHITECTURAL PANEL	PRE-FINISHED	LIGHT TAN	
3	UPPER WALL	ARCHITECTURAL PANEL	PRE-FINISHED	DARK BRONZE	
4	UPPER WALL	ARCHITECTURAL PANEL	PRE-FINISHED	TERRACOTTA	
5	LOWER WALL	CMU	SPLIT FACE	DARK BROWN	
6	ACCENT BAND	CMU	SMOOTH FACE	DARK BROWN	
7	ACCENT LOWER WALL	CMU	SPLIT FACE	DARK TAN	
8	METAL ACCENT	STEEL	PAINT	DARK BROWN	
9	STRIPE	ARCHITECTURAL PANEL	PRE-FINISHED	RED	
10	CANOPY	METAL ROOFING	PRE-FINISHED	DARK BROWN	
11	LOWER WALL	CONCRETE	PAINT	GRAY	
12	TRELLIS	WOOD	STAIN, SEAL		
13	STOREFRONT	GLAZING, ALUMINUM	PREFINISHED		

# COSTCO WHOLESAL

ALBUQUERQUE, NEW MEXICO

# CONCEPT ELEVATIONS

APRIL 03, 2007

SWC COORS BLVD. BYPASS  
AND EAGLE RANCH ROAD

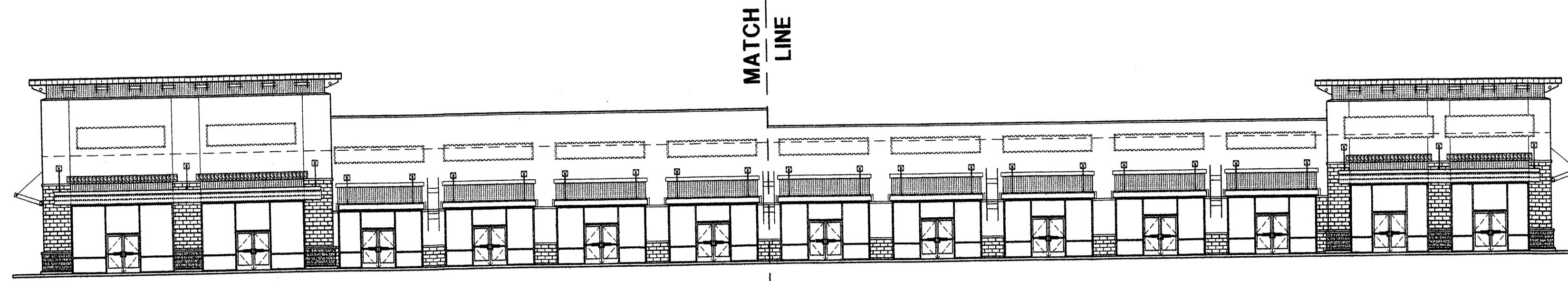


1110 112TH AVE. NE | SUITE 500  
BELLEVUE, WA | 98004  
t 425.463.2000 | f 425.463.2002

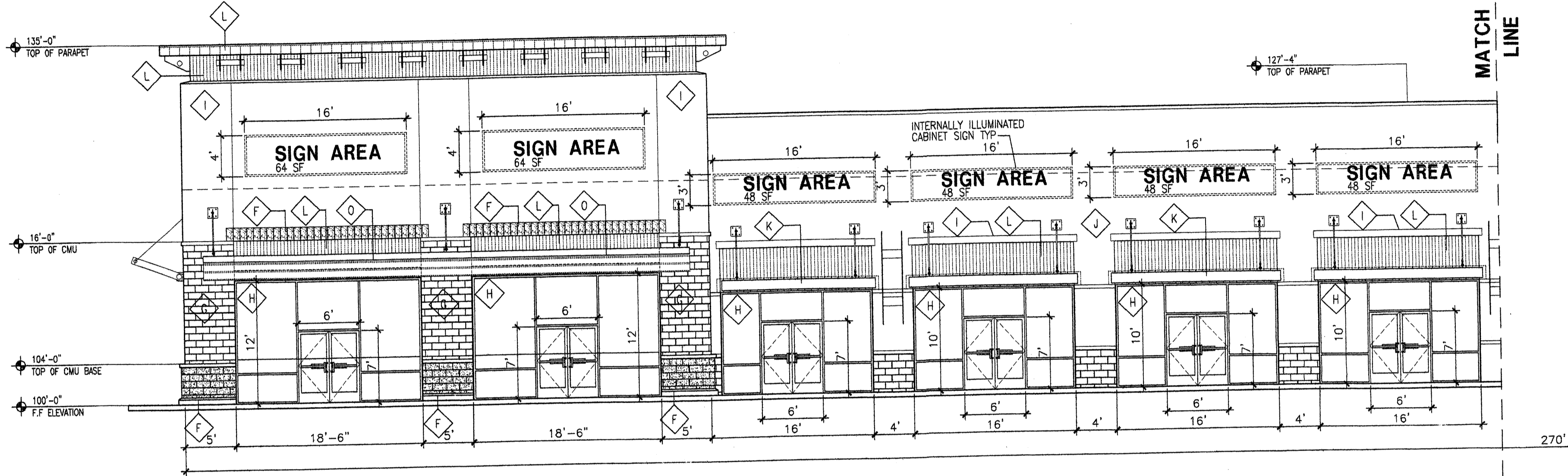
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05-0374-01  
APRIL 03, 2007  
CONCEPT  
ELEVATIONS

DD3.5-01

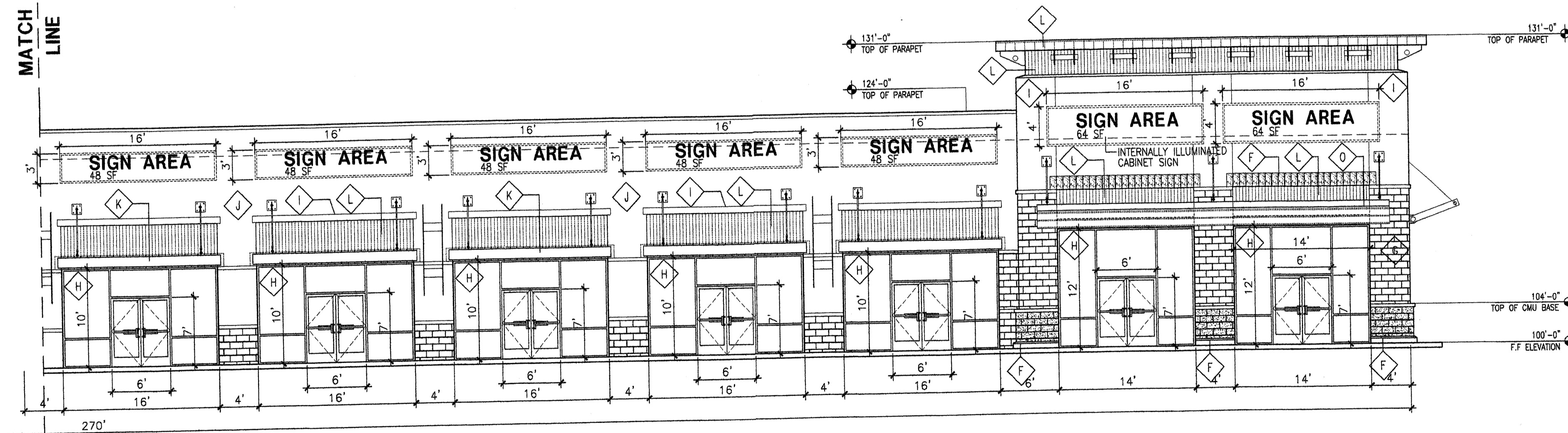


**1 EASTERN OVERALL ELEVATION (REFERENCE)**  
Scale: 1/16"=1'



**1 EASTERN ELEVATION**  
Scale: 1/8"=1'

Keyed Color / Material Schedule	
◊ A	CMU BLOCK UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #110 YBOULDER(GREY COLOR)
◊ B	CMU BLOCK UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #940 YELLOW SAGE(LIGHT TAN COLOR)
◊ C	CMU BLOCK UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #220 ELKHORN(LIGHT BROWN COLOR)
◊ D	CMU BLOCK UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #260 CHESTNUT(DARK BROWN COLOR)
◊ E	CMU BLOCK UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #260 CHESTNUT(DARK BROWN COLOR)
◊ F	CMU BLOCK UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #310 FIRE AND ICE(RED COLOR)
◊ G	CMU BLOCK UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #810 DOMINGO(BLACK COLOR)
◊ H	STOREFRONT CLEAR ANNOZIZED ALUMINUM(SILVER COLOR)
◊ I	WALL FINISH COLOR SHERWIN WILLIAMS BASKET BEIGE SW 6143(DARK TAN)
◊ J	WALL FINISH COLOR SHERWIN WILLIAMS WOOL SKEIN SW 6148(LIGHT TAN)
◊ K	WALL FINISH COLOR SHERWIN WILLIAMS PACER WHITE SW 6098(WHITE)
◊ L	WALL FINISH MATERIAL STYLE WALL II FLUTED ARCHITECTURAL 16" WALL PANEL COLOR SHELL GREY (GREY COLOR)
◊ M	WALL FINISH MATERIAL T100 36" ARCHITECTURAL METAL PANNEL COLOR BURGUNDY
◊ N	WALL FINISH MATERIAL T10B 36" ARCHITECTURAL METAL PANNEL COLOR MESA GREY (BROWN)
◊ O	WALL FINISH COLOR MISC METAL SHERWIN WILLIAMS COLOR RO MATCH FIRE AND ICE(RED)

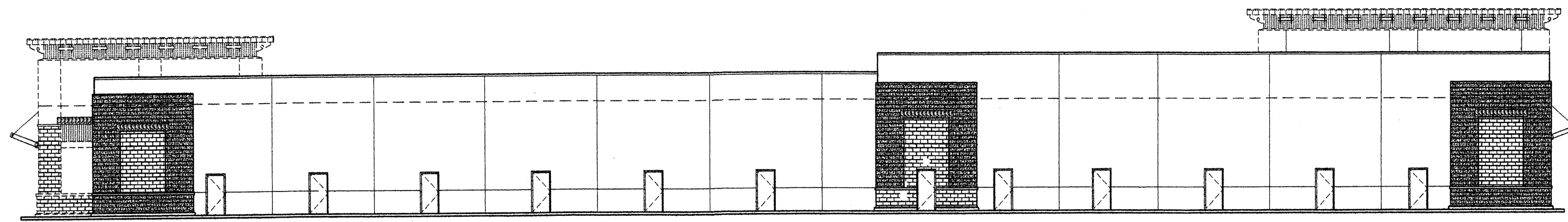


**1A EASTERN ELEVATION**  
Scale: 1/8"=1'

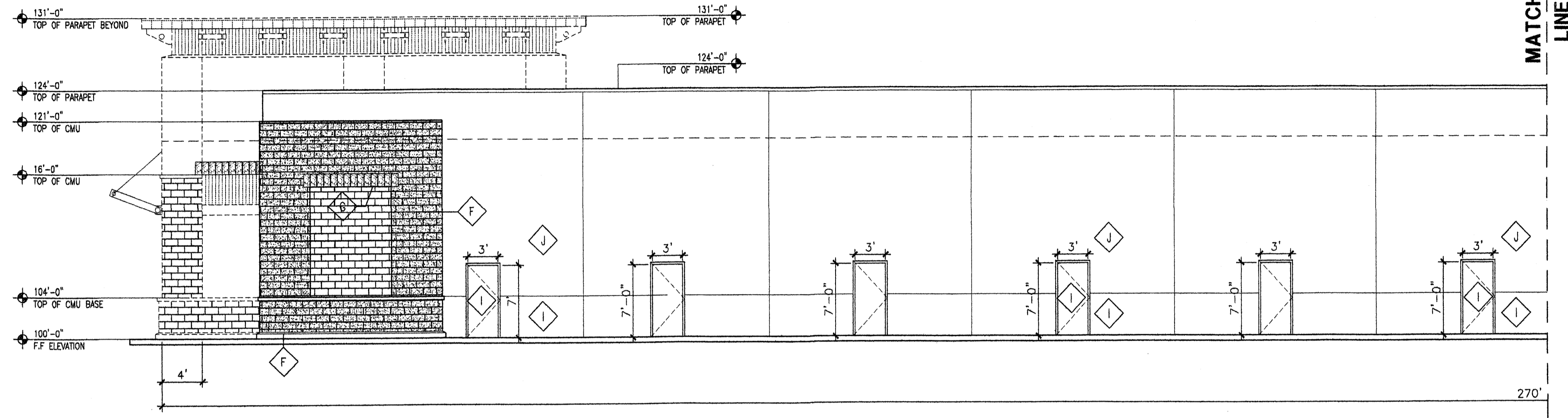
REV	DATE	BY	REVISION
6			

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

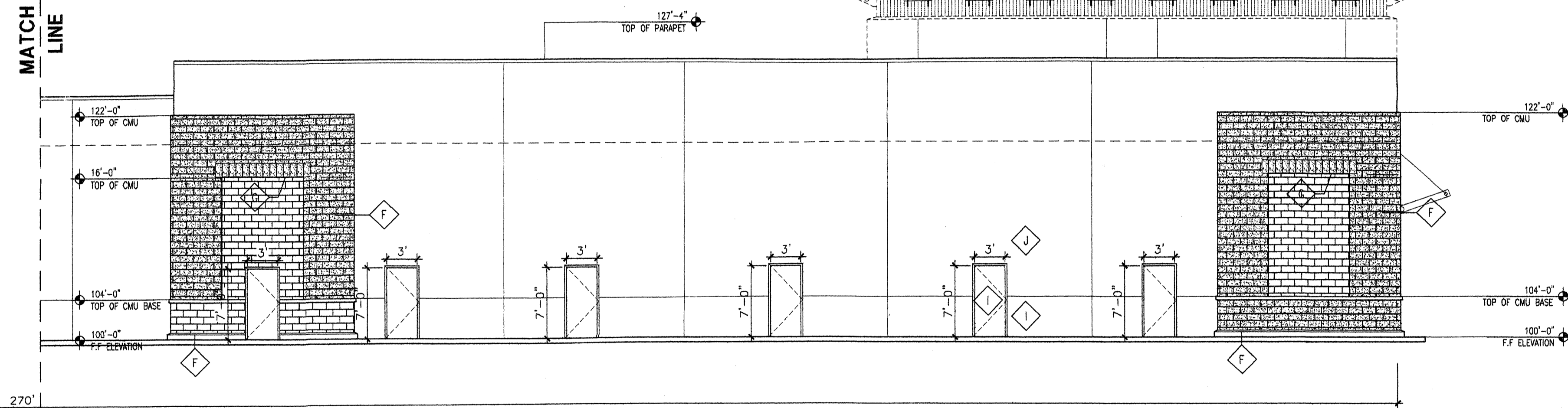
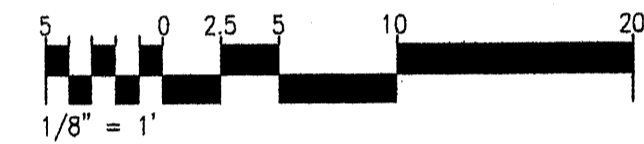
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<b>PROJECT MANAGER</b> STEPHEN DUNBAR, AIA		<b>JOB NO.</b>
<b>SHEET TITLE</b> CONCEPT ELEVATIONS		
<b>DATE:</b> 10/10/04	<b>sheet-</b> <b>A4.4</b>	
<b>SCALE:</b> 1/8"=1'-0"	of.	



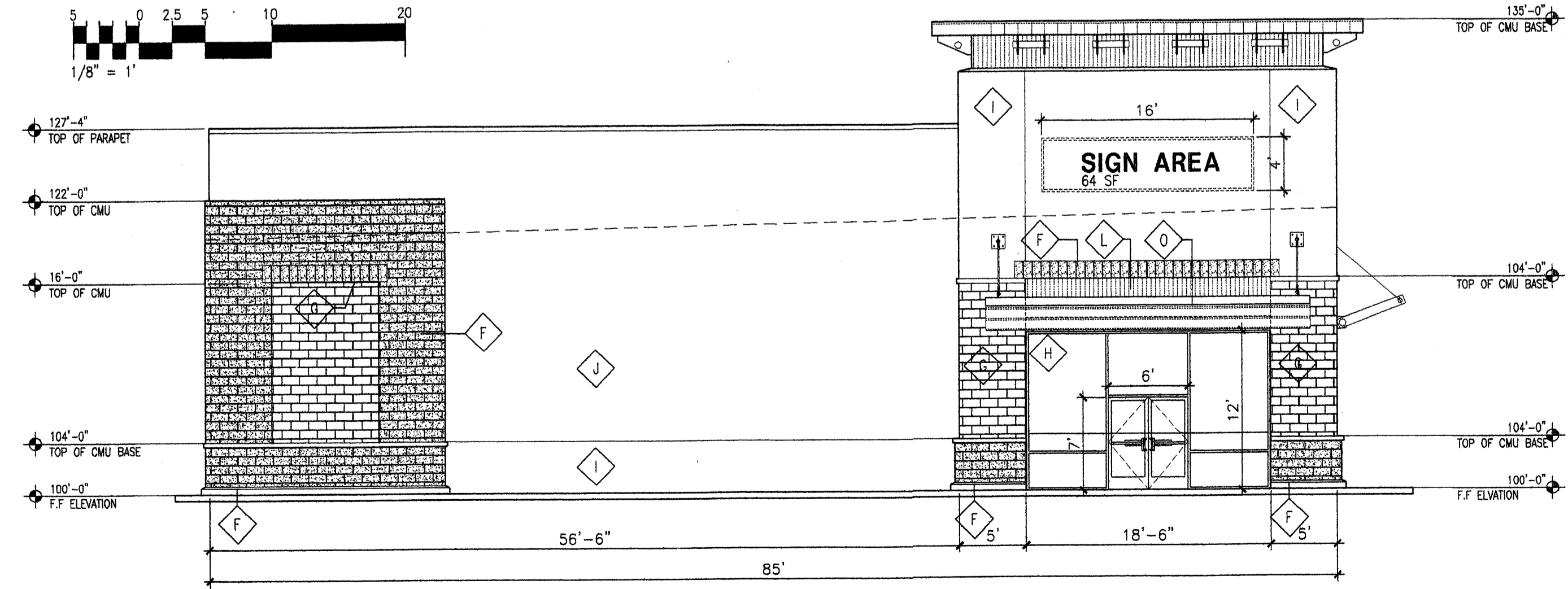
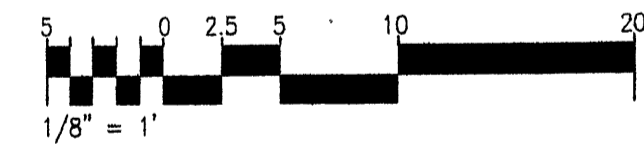
**1 WESTERN OVERALL ELEVATION (REFERENCE)**  
Scale: 1/16"=1'



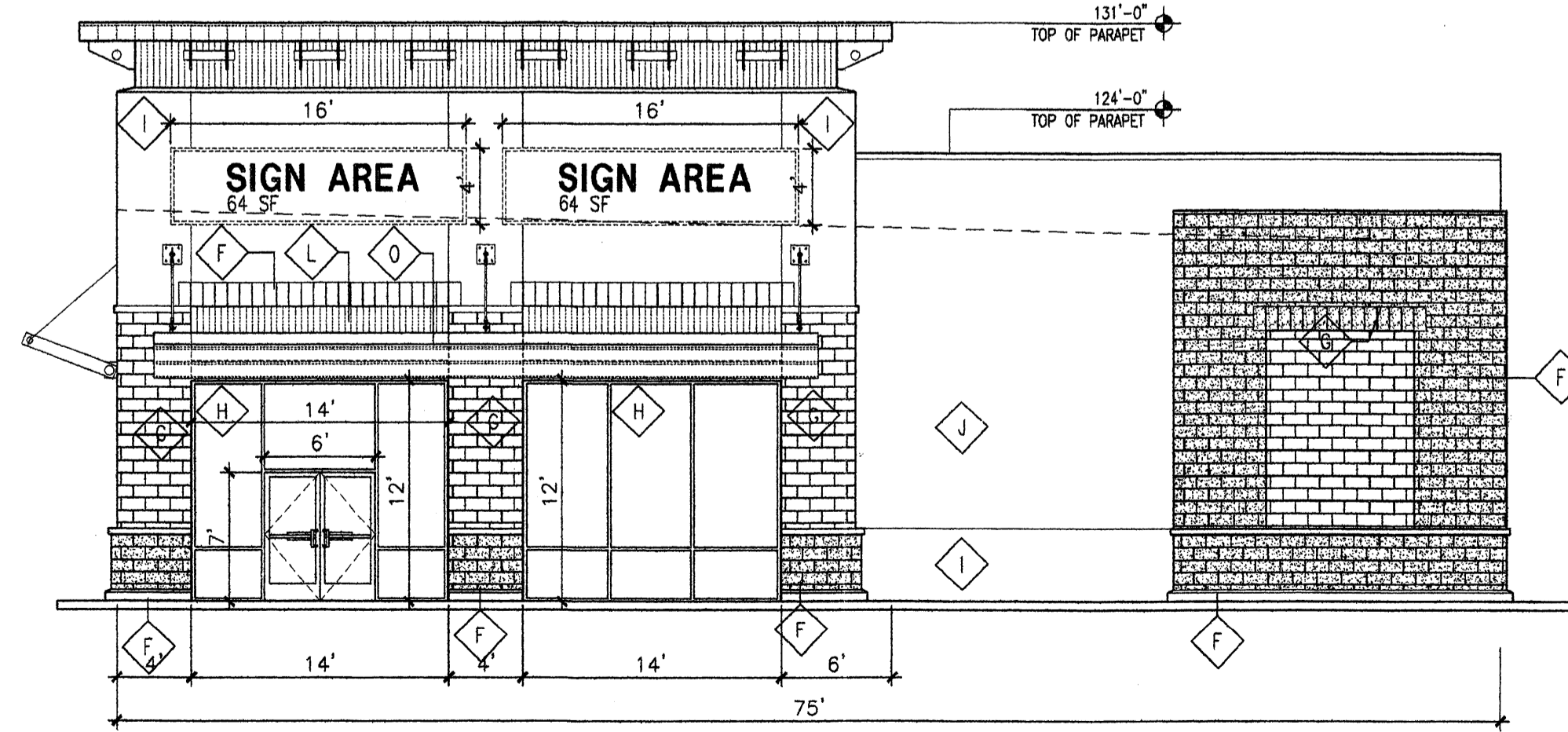
**1 WESTERN ELEVATION**  
Scale: 1/8"=1'



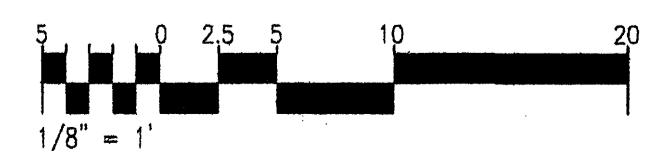
**1A WESTERN ELEVATION**  
Scale: 1/8"=1'



**2 SOUTHERN ELEVATION**  
Scale: 1/8"=1'



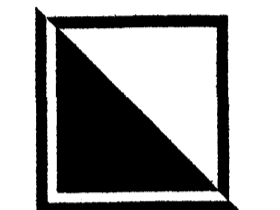
**3 NORTHERN ELEVATION**  
Scale: 1/8"=1'



**Keyed Color / Material Schedule**

A	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #110 YBOULDER(GREY COLOR)
B	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #940 YELLOW SAGE(LIGHT TAN COLOR)
C	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #220 ELKHORN(LIGHT BROWN COLOR)
D	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #260 CHESTNUT(DARK BROWN COLOR)
E	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #260 CHESTNUT(DARK BROWN COLOR)
F	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #310 FIRE AND ICE(RED COLOR)
G	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #810 DOMINO(BLACK COLOR)
H	STOREFRONT	CLEAR ANNOZED ALUMINUM(SILVER COLOR)
I	WALL FINISH COLOR	SHERWIN WILLIAMS BASKET BEIGE SW 6143(DARK TAN)
J	WALL FINISH COLOR	SHERWIN WILLIAMS WOOL SKEIN SW 6148(LIGHT TAN)
K	WALL FINISH COLOR	SHERWIN WILLIAMS PACER WHITE SW 6098(WHITE)
L	WALL FINISH MATERIAL	STYLE WALL II FLUTED ARCHITECTURAL 16" WALL PANNEL COLOR SHELL GREY (GREY COLOR)
M	WALL FINISH MATERIAL	T100 36" ARCHITECTURAL METAL PANNEL COLOR BURGUNDY
N	WALL FINISH MATERIAL	T108 36" ARCHITECTURAL METAL PANNEL COLOR MESA GREY (BROWN)
O	WALL FINISH COLOR	SHERWIN WILLIAMS COLOR RO MATCH FIRE AND ICE(RED)

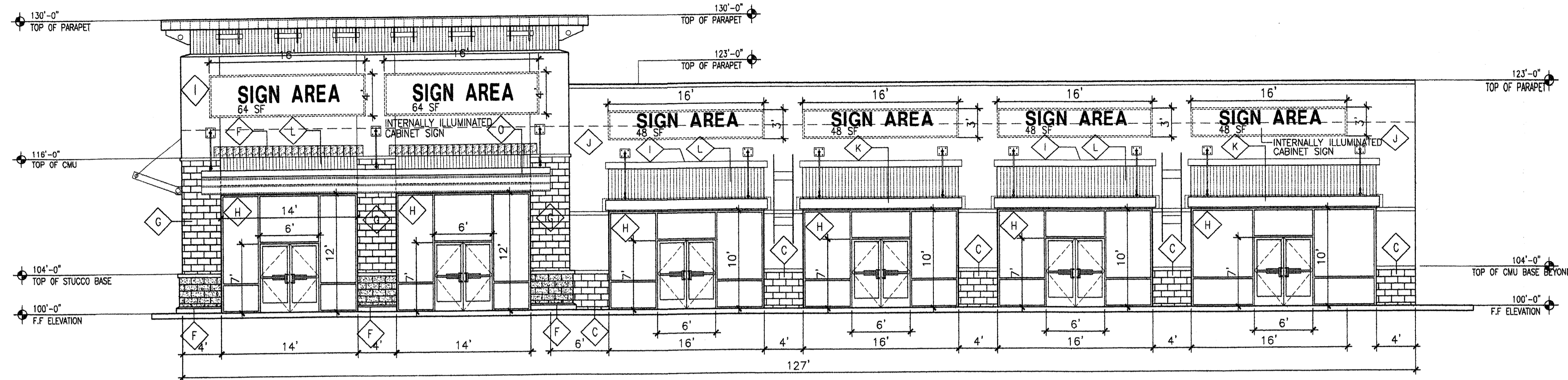
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			



**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

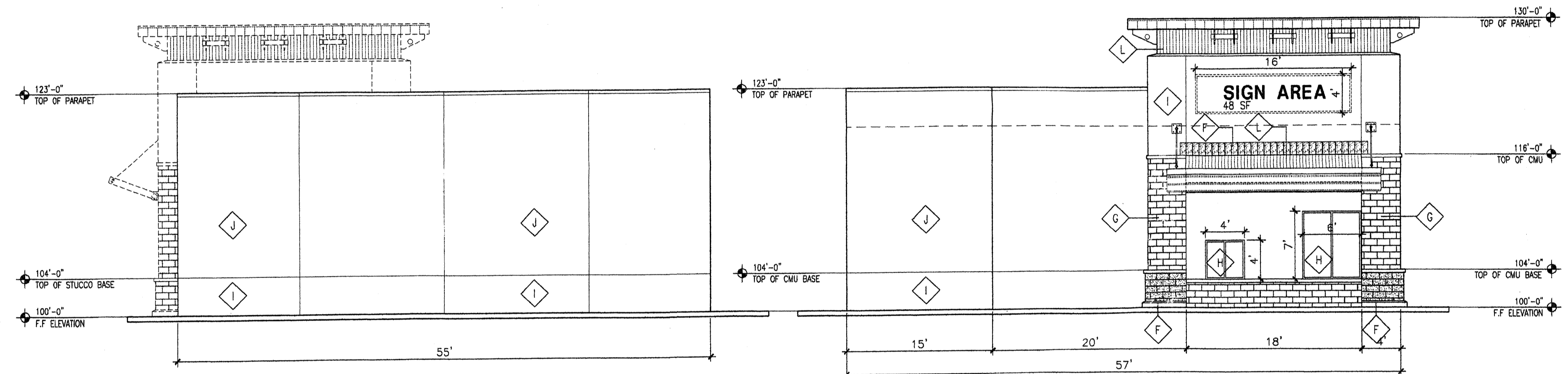
PROJECT TITLE	SHOPS-(COSTCO DEVELOPMENT)
	N.W.C OF COORS BYPASS-EAGLE RANCH RD.
	ALBUQUERQUE NEW MEXICO
PROJECT MANAGER	STEPHEN DUNBAR AIA
JOB NO.	
DRAWN BY:	SD
SHEET TITLE	CONCEPT ELEVATIONS

DATE:	10/10/04	Sheet-
SCALE:	1/8"=1'-0"	<b>A4.5</b>
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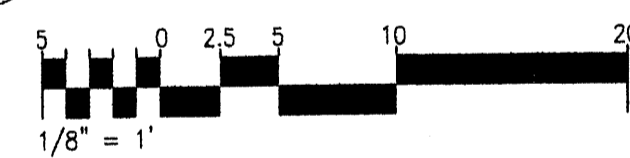
**1 SOUTHERN ELEVATION**

Scale: 1/8"=1'



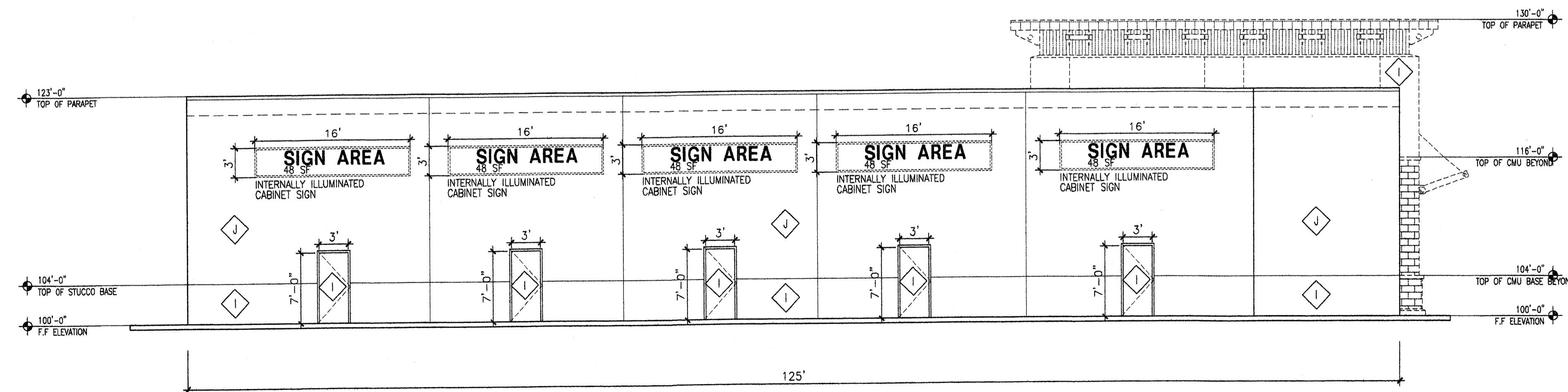
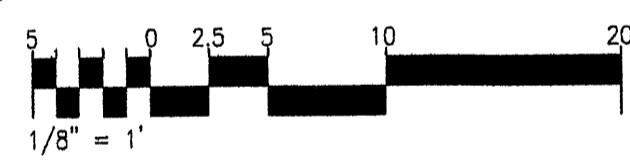
**2 EASTERN ELEVATION**

Scale: 1/8"=1'



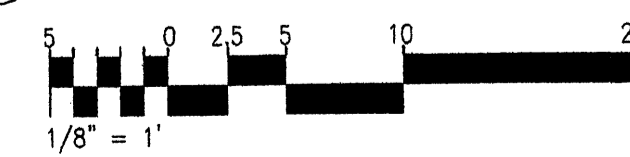
**3 WESTERN ELEVATION**

Scale: 1/8"=1'



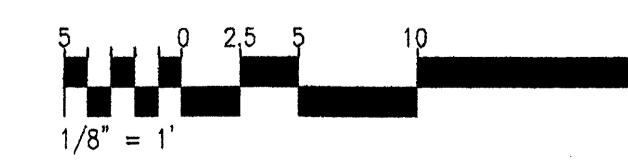
**4 NORTHERN ELEVATION**

Scale: 1/8"=1'

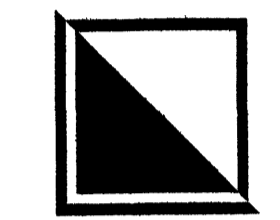


**Keyed Color / Material Schedule**

A	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #110 YBOULDER(GREY COLOR)
B	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #940 YELLOW SAGE(LIGHT TAN COLOR)
C	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #220 ELKHORN(LIGHT BROWN COLOR)
D	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #260 CHESTNUT(DARK BROWN COLOR)
E	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #310 FIRE AND ICE(RED COLOR)
F	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #810 DOMINO(BLACK COLOR)
G	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #810 DOMINO(BLACK COLOR)
H	STOREFRONT	CLEAR ANNOXIDIZED ALUMINUM(SILVER COLOR)
I	WALL FINISH COLOR	SHERWIN WILLIAMS BASKET BEIGE SW 6143(DARK TAN)
J	WALL FINISH COLOR	SHERWIN WILLIAMS WOOL SKEIN SW 6148(LIGHT TAN)
K	WALL FINISH COLOR	SHERWIN WILLIAMS PACER WHITE SW 6098(WHITE)
L	WALL FINISH MATERIAL	STYLE WALL II FLUTED ARCHITECTURAL 16" WALL PANNEL COLOR SHELL GREY (GREY COLOR)
M	WALL FINISH MATERIAL	T100 36" ARCHITECTURAL METAL PANNEL COLOR BURGUNDY
N	WALL FINISH MATERIAL	T108 36" ARCHITECTURAL METAL PANNEL COLOR MESA GREY (BROWN)
O	WALL FINISH COLOR	SHERWIN WILLIAMS COLOR RO MATCH FIRE AND ICE(RED)



REV	DATE	BY	REVISION
1			
2			
3			
4			



**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

**PROJECT TITLE**  
 SHOPS-2(COSTCO DEVELOPMENT)  
 N.W.C. OF COORS BYPASS-EAGLE RANCH RD.  
 ALBUQUERQUE, NEW MEXICO

**PROJECT MANAGER**  
 STEPHEN DUNBAR AVA

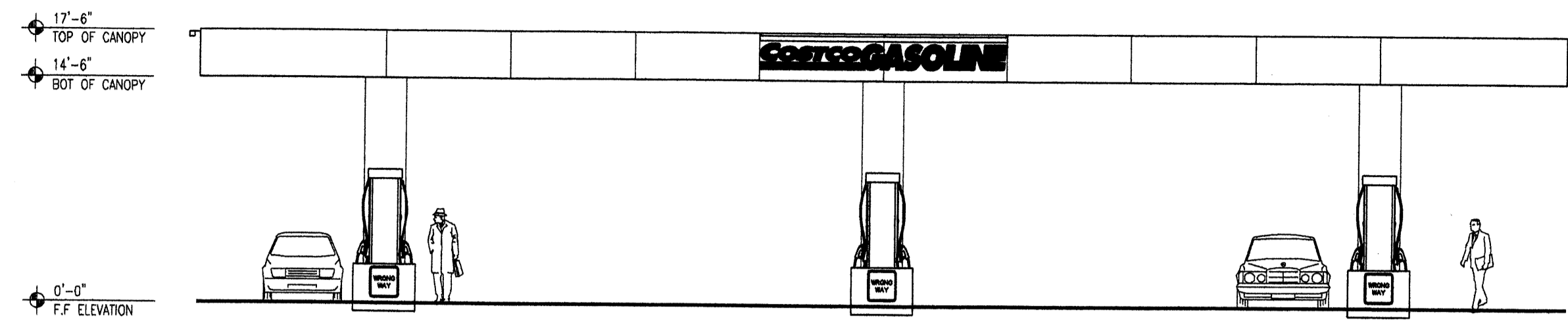
**DRAWN BY:**  
 SD

**SHEET TITLE**  
 CONCEPT ELEVATIONS

**DATE:**  
 10/10/04

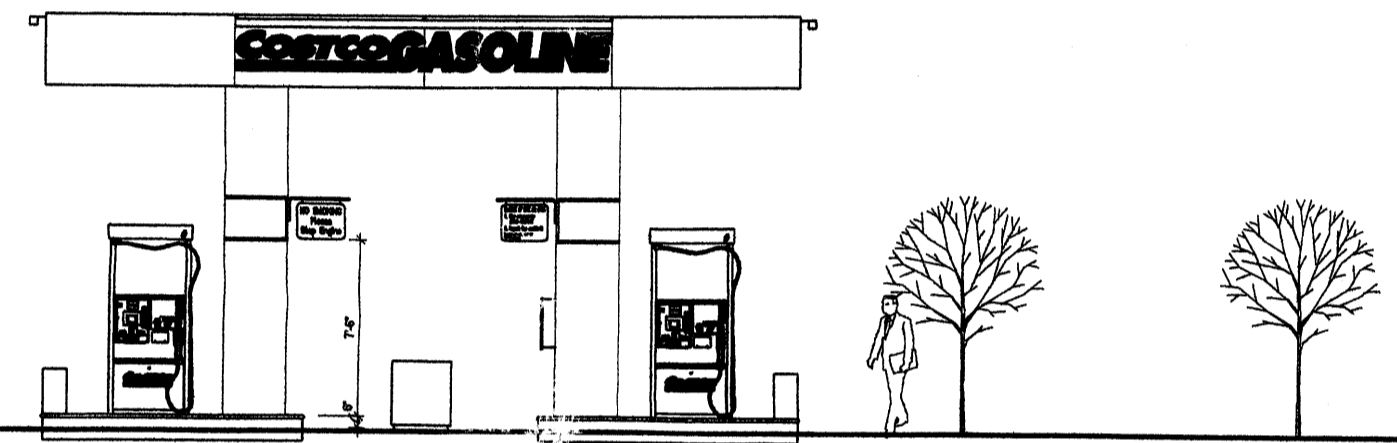
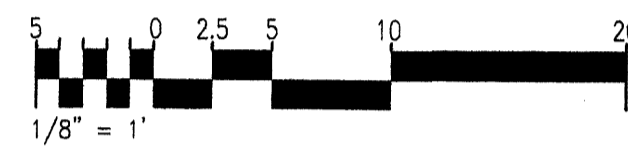
**SCALE:**  
 1/8"=1'-0"

**Sheet:**  
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 of-



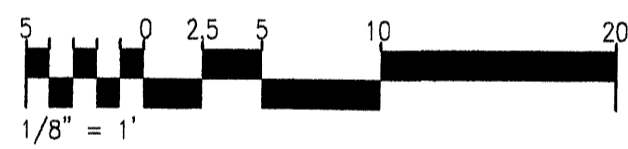
### 1 NORTH AND SOUTH ELEVATION

Scale: 1/8"=1'



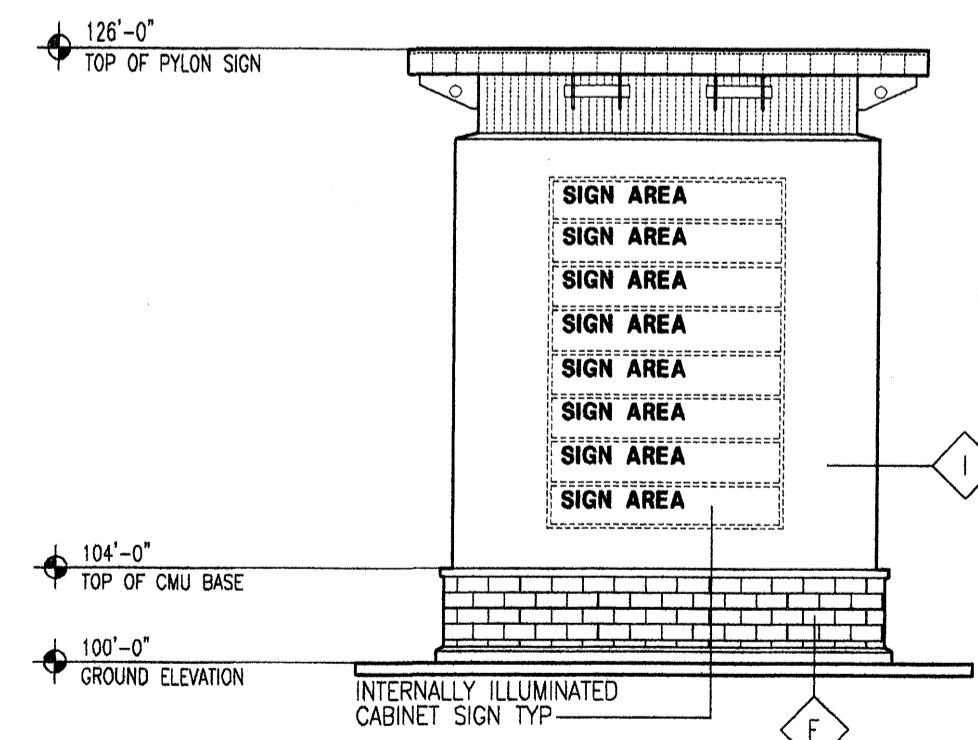
### 2 EAST AND WEST ELEVATION

Scale: 1/8"=1'



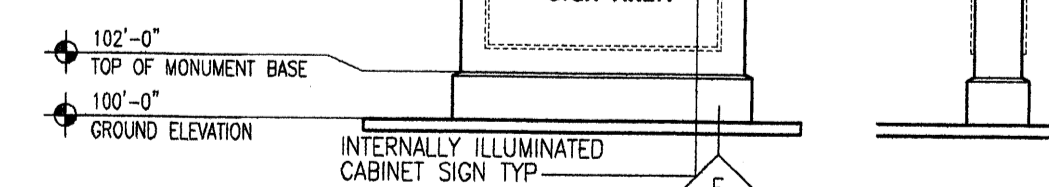
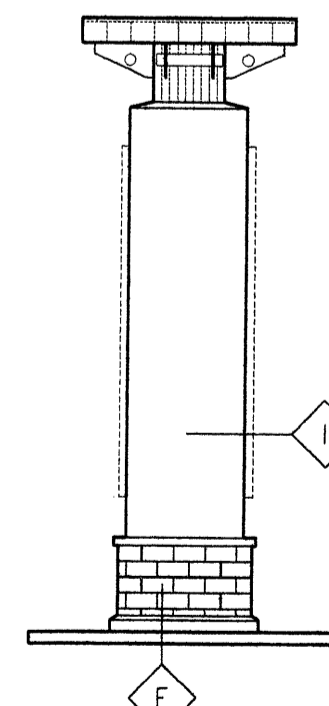
### Keyed Color / Material Schedule

◊ A	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #110 BOULDER (GREY COLOR)
◊ B	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #940 YELLOW SAGE (LIGHT TAN COLOR)
◊ C	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #220 ELKHORN (LIGHT BROWN COLOR)
◊ D	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #260 CHESTNUT (DARK BROWN COLOR)
◊ E	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #260 CHESTNUT (DARK BROWN COLOR)
◊ F	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #310 FIRE AND ICE (RED COLOR)
◊ G	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR #810 DOMINO (BLACK COLOR)
◊ H	STOREFRONT	CLEAR ANNOXIDIZED ALUMINUM (SILVER COLOR)
◊ I	WALL FINISH COLOR	SHERWIN WILLIAMS BASKET BEIGE SW 6143
◊ J	WALL FINISH COLOR	SHERWIN WILLIAMS WOOL SKEIN SW 6148
◊ K	WALL FINISH COLOR	SHERWIN WILLIAMS PACER WHITE SW 6098
◊ L	WALL FINISH MATERIAL	STYLE WALL II FLUTED ARCHITECTURAL 16" WALL PANEL COLOR SHELL GREY (GREY COLOR)
◊ M	WALL FINISH MATERIAL	T10D 36" ARCHITECTURAL METAL PANEL COLOR BURGUNDY
◊ N	WALL FINISH MATERIAL	T10B 36" ARCHITECTURAL METAL PANEL COLOR MESA GREY (BROWN)



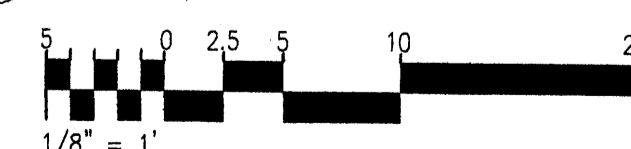
### 3 PYLON SIGN

Scale: 1/8"=1'

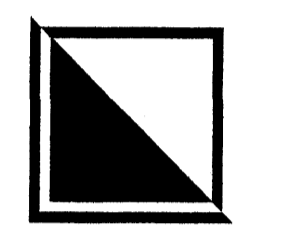


### 4 MONUMENT SIGN

Scale: 1/8"=1'



REV	DATE	BY	REVISION
1/6			



**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE  
 GAS CANOPY - SIGNAGE (COSTCO DEVELOPMENT)

PROJECT MANAGER  
 STEPHEN DUNBAR, AIA

JOB NO.  
 N.W.C. OF COORS BYPASS-EAGLE RANCH RD. ALBUQUERQUE NEW MEXICO

DRAWN BY:  
 SD

SHEET TITLE  
**CONCEPT ELEVATIONS**

DATE:  
 10/10/04

SCALE:  
 1/8"=1'-0"

sheet-  
**A4.7**  
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