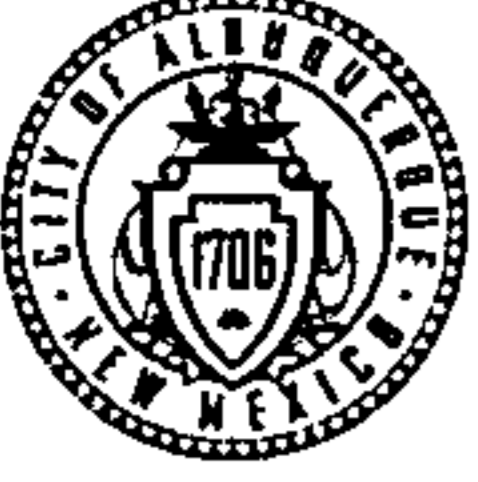


#19



COMPLETED 09/27/06
DRB CASE ACTION LOG (PREL & FINAL PLAT)
REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>06DRB-01366 (P&F)</u>	Project # <u>1005155</u>
Project Name: <u>ALBRIGHT MOORE ADDITION</u>	
Agent: <u>Wayjohn Surveying Inc.</u>	Phone No.: <u>255-2052</u>

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 9/27/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): record plat
- AGIS DXF
- _____
- _____

Project Number 1005155

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.** OK
- Copy of recorded plat for Planning.**

#19



DRB CASE ACTION LOG (PREL & FINAL PLAT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-01366 (P&F)
Project Name: ALBRIGHT MOORE ADDITION
Agent: Wayjohn Surveying Inc.

Project # 1005155
Phone No.: 255-2052

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OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): record plat
AGIS DXF.

- Planning must record this plat. Please submit the following items:**
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 - Tax certificate from the County Treasurer.
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 - Tax printout from the County Assessor.
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- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

OK

Project Number 1005155



LOS TOMASES

19
1005155
9-27-06



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

September 27, 2006

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 10:27 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000131**
06DRB-01277 Major-Two Year SIA
06DRB-01278 Minor-Ext of SIA for Temp
Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for BROADWAY DEVELOPMENT CO request(s) the above action(s) for, **BROADWAY INDUSTRIAL CENTER, UNIT 1**, zoned SU-2 HM, located on SAN JOSE AVE SE, between BROADWAY BLVD SE and I-25 containing approximately 61 acre(s). [REF: DRB-97-271] (M-14) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED. A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

2. **Project # 1000650**
06DRB-01267 Major-Two Year SIA

TIERRA WEST LLC agent(s) for WAL-MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) 1-A-1, **LANDS OF LAMONICA & WENK**, zoned SU-1 for C-1 Permissive Uses, located on COORS BLVD SW, between RIO BRAVO BLVD SW and LAMONICA RD SW containing approximately 20 acre(s). [REF: 03EPC-01109, 03EPC-01110, 03DRB-01782, 03DRB-01783, 04DRB-00277, 05DRB-00903] (P-10) **A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

3. **Project # 1002645**
06DRB-01268 Major-Two Year SIA

TIERRA WEST LLC agent(s) for CLEARBROOK INVESTMENTS request(s) the above action(s) for, **SEVILLE, UNIT 8**, zoned R-LT, located on IRVING BLVD NW, between KAYENTA PL NW and UNIVERSE BLVD NW containing approximately 27 acre(s). [REF: 03DRB-01440, 03DRB-01441, 03DRB-01965, 03DRB-00741, 04DRB-00400, 05DRB-01335] (A-10) **A 6-MONTH EXTENSION OF THE SIA WAS APPROVED.**

4. **Project # 1003634**
06DRB-01272 Major-Two Year SIA

GARCIA/KRAEMER & ASSOCIATES agent(s) for GREATER ALBUQUERQUE HABITAT FOR HUMANITY request(s) the above action(s) for all or a portion of Lot(s) 4A, 5A, 6A & 6B, Block(s) 12, **EASTERN ADDITION**, zoned SU-2/MR, located on HIGH ST SE between CROMWELL SE and PACIFIC SE and containing approximately 1 acre(s). [REF: 04DRB-01297, 04DRB-00409] (K-14) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

5. **Project # 1004639**
06DRB-01275 Major-Final Plat Approval

GARCIA/KRAEMER & ASSOCIATES agent(s) for 50/50 LLC request(s) the above action(s) for all or a portion of Lot(s) 313-A-2-B, ACRES ADDITION (to be known as **VENTANA DEL BOSQUE**) zoned RA-2/PCD, located on MOUNTAIN RD NW, between GABALDON RD NW and BOSQUE VERDE LANE NW containing approximately 5 acre(s). [REF:06DRB-00254,06DRB-00255, 06DRB-00256, 06DRB-00257] (J-12) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DEELGATED TO PLANNING FOR RESTRICTIVE COVENANTS, THE 15-DAY APPEAL PERIOD AND TO RECORD THE PLAT.**

6. **Project # 1004924**
06DRB-01273 Major-Vacation of Public Easements
06DRB-01274 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES agent(s) for HOECH REAL ESTATE CORPORATION request(s) the above action(s) for all or a portion of Tract(s) B, **FEDERAL PLAZA**, zoned SU-1 for O-1 uses, located on HOMESTEAD RD NE, between MONTGOMERY BLVD NE and SAN MATEO BLVD NE containing approximately 4 acre(s). [REF: 06EPC-00756, 06DRB-01181] (G-18) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

7. **Project # 1004464**
05DRB-01540 Major-Vacation of Pub Right-of-Way

GARCIA KRAEMER & ASSOCIATES agent(s) for 4120 SILVER LLC & 4200 SILVER LLC, request(s) the above action(s) for Lot(s) 5 & 6, Block(s) 10 and Lot(s) 1, Block(s) 11, **MESA GRANDE ADDITION**, zoned O-R, located on SIERRA DR SE, between SILVER AVE SE and MESA GRANDE PL SE. [*Deferred from 10/26/05 & 1/18/06 & 3/29/06*] (K-17) **DEFERRED AT THE AGENT'S REQUEST TO 3/28/07.**

8. **Project # 1005031**
06DRB-01077 Major-Vacation of Public Easements

SURV-TEK agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS, UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned R-D, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018] *[Deferred from 8/23/06 & 9/13/06 & 9/27/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.**

- 06DRB-01017 Major-Preliminary Plat Approval
06DRB-01018 Minor-Temp Defer SDWK

SURV TEK & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned R-D residential and related uses zone, developing area, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). (Listed as Project 1004644 in error) *[Deferred from 8/9/06 & 8/23/06 & 9/13/06 & 9/27/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.**

- 06DRB-01282 Minor-Subd Design (DPM) Variance

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned R-D residential and related uses zone, developing area, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018, DRB-01077] *Deferred from 9/13/06 & 9/27/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.**

9. **Project # 1005070**
06DRB-01154 Major-Preliminary Plat Approval
06DRB-01156 Minor-Sidewalk Waiver
06DRB-01155 Minor-Temp Defer SDWK

SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned R-D, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). *[Deferred from 9/6/06 & 9/13/06 & 9/27/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/11/06.**

10. **Project # 1003613**
06DRB-00854 Major-Preliminary Plat
Approval
06DRB-00855 Major-Vacation of Public
Easements
06DRB-00859 Minor-SiteDev Plan
Subd/EPC
06DRB-00856 Minor-Sidewalk Waiver
06DRB-00857 Minor-Temp Defer SDWK

THOMPSON ENGINEERING CONSULTANTS INC agent(s) for WAREHOUSE MOLDING & DOOR CORP request(s) the above action(s) for all or a portion of Tract(s) 34, MRGCD Map 39, Lot(s) 11, Rancho Rico and Lot(s) 1-4, Powell Gardens Addition (to be known as **SUNSET VILLA ADDITION**) zoned SU-1 for PRD, located on SUNSET GARDENS RD SW between ATRISCO RD SW and ARENAL DITCH, containing approximately 15 acres. [Deferred from 7/12/06 & 8/9/06 & 8/23/06 & 9/6/06 & 9/20/06] (K-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/27/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/18/06 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS: AN EASEMENT TO TRACT 11 SHALL BE PROVIDED. DEDICATION OF RIGHT-OF-WAY ALONG SUNSET GARDENS IS REQUIRED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

11. **Project # 1004428**
06DRB-01121 Major-Vacation of Public
Easements
06DRB-01119 Major-Preliminary Plat
Approval
06DRB-01122 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for ALBUQUERQUE RIO BRAVO PARTNERS LLC request(s) the above action(s) for all or a portion of Tract(s) RR-3A, RR-3B, RR-3C, RR-3D and RR-3E, TOWN OF ATRISCO GRANT (to be known as **CEJA VISTA**) zoned SU-1, C-1, R-LT, located on DENNIS CHAVEZ BLVD. SW, between MEADE AVE SE and 118TH ST SW containing approximately 99 acre(s). [REF: 05DRB-01460, 05DRB-01461] [Deferred from 8/30/06 & 9/27/06] (P-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

12. **Project # 1005000**
06DRB-01350 Minor-SiteDev Plan
BldPermit/EPC
- DEKKER PERICH SABATINI agent(s) for YMCA OF CENTRAL NEW MEXICO request(s) the above action(s) for Tract(s) G-A, G-B, LANDS OF PEACE FOUNDATION & Tract(s) C, NETHERWOOD PARK ADDITON (to be known as **H B HORN YMCA, TRACT A**) zoned SU-1 for recreational uses & 0-1 uses, located on INDIAN SCHOOL RD NE, between WASHINGTON NE and SAN MATEO NE containing approximately 5 acre(s). [REF: 06EPC-00967] [**Catalina Lehner, EPC Case Planner**] [*Deferred from 9/27/06*] (H-17) **DEFERRED AT THE AGENT'S REQUEST TO 10/11/06.**
13. **Project # 1004167**
06DRB-01367 Minor-SiteDev Plan
Subd/EPC
- CONSENSUS PLANNING agent(s) for LA ORILLA GROUP request(s) the above action(s) for all or a portion of Lot(s) 1-10, **BOSQUE PLAZA**, zoned C-1 (SC) located on COORS BLVD NW, between LA ORILLA RD NW and MONTANO PLAZA NW containing approximately 12 acre(s). [REF: 06EPC-01357, 06EPC-01358] [**Catalina Lehner, EPC Case Planner**] [*Deferred from 9/27/06*] (E-12) **DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.**
- 06DRB-01357 Minor-Prelim&Final Plat Approval
06DRB-01358 Minor-Vacation of Private Easements
- SURV-TEK INC agent(s) for LA ORILLA GROUP, JIM & CHRISTEN SHULL request(s) the above action(s) for all or a portion of Lot(s) 7, 8 & 10-B, **BOSQUE PLAZA**, zoned C-1 (SC) neighborhood commercial zone, located on COORS BLVD NW, between LA ORILLA RD NW and MONTANO PLAZA NW containing approximately 3 acre(s). [REF: 05DRB-00821, 05DRB-01042, 06DRB-01367] [*Deferred from 9/27/06*] (E-12) **DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.**

14. **Project # 1002580**
06DRB-01370 Minor-Amnd SiteDev Plan
BldPermit

DAVID GREEN agent(s) for DUSTYN LADEWIG request(s) the above action(s) for all or a portion of Lot(s) 29 & 30, Block(s) 5 (to be known as **TRACT A, NORTH ALBUQUERQUE ACRES**) zoned IP, located on SAN DIEGO ST NE NE, between SAN MATEO ST NE and PAN AMERICAN FRWY NE containing approximately 2 acre(s). [REF: 03DRB-00566] *[Deferred from 9/27/06]* (B-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.**

15. **Project # 1004644**
06DRB-01189 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of, THE TRAILS, UNIT 2, SANTA FE 3, (to be known as **THE TRAILS, UNIT 9A**) zoned R-D, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). *[Deferred from 8/23/06 & 9/13/06 & 9/27/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

16. **Project # 1004606**
06DRB-01354 Major-Final Plat Approval

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 11, THE TRAILS, UNIT 2 (to be known as **VALLE VISTA AT THE TRAILS, UNIT 2**) zoned R-D, located on WOODMONT NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 12 acre(s). *[Deferred from 9/27/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.**

17. **Project # 1005152**
06DRB-01363 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST agent(s) for PAUL BEATTY request(s) the above action(s) for all or a portion of the east half of Lot(s) A & B, Block(s) 5, **BUENA VENTURA SUBDIVISION**, zoned C-2, located on CENTRAL AVE NE, between CONCHAS ST NW and PARSIFAL ST NE containing approximately 2 acre(s). (K-20) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

18. **Project # 1001945**
05DRB-01415 Minor-Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for MADELINE DUNN request(s) the above action(s) for all or a portion of Tract(s) 297 and 298 (to be known as **LAND OF DUNN**) zoned R-LT residential zone, located on CARSON RD NW, between RIO GRANDE BLVD NW and ZEARING AVE NW containing approximately 1 acre(s). [REF: 02DRB00731, 05DRB00733] *[Deferred from 9/21/05] [Final Plat was indeferred 9/28/05 for SIA]* (J-13) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ESTATE CURB PLACEMENT.**

19. **Project # 1005155**
06DRB-01366 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for LORNA BLOOMBERG request(s) the above action(s) for all or a portion of Block(s) 9, Tract(s) A, B, **ALBRIGHT MOORE ADDITION**, zoned S-R, located on LOS TOMASES DR NW, between KINLEY AVE NW and BELLAMAH AVE NW containing approximately 1 acre(s). (J-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD THE PLAT.**

20. **Project # 1004803**
06DRB-00720 Minor- Final Plat Approval

GREATER ALBUQUERQUE HABITAT FOR HUMANITY request(s) the above action(s) for all or a portion of Lot(s) A-G, **LOS BLANCOS ADDITION**, zoned R-T, located on 75TH ST NW, between CENTRAL NW and LUCCA NW containing approximately 1 acre(s). [REF: 06DRB-00445] [*The final plat was indef deferred for the SIA on 5/31/06*] (K-10) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

21. **Project # 1001028**
05DRB-01886 Minor-Final Plat Approval

PRECISION SURVEYS agent(s) for RON CERROS request(s) the above action(s) for all or a portion of Tract(s) 1, **LANDS OF ALEJANDRO GARCIA**, zoned R-1, located on ALEJANDRO ST NW, between BLUE WATER NW and RINCON NW containing approximately 5 acre(s). [*Was Indef Deferred on 12/21/05, Indef Deferred on 5/17/06 & 6/21/06 for the SIA*] [*Indef Deferred on 9/27/06*] (J-11) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

22. **Project # 1003010**
06DRB-01290 Minor-Prelim&Final Plat Approval

PRECISION SURVEYS INC agent(s) for THE ALBUQUERQUE LITTLE THEATRE INC request(s) the above action(s) for all or a portion of Tract(s) B (to be known as **TRACTS B-1 & B-2, LANDS OF ALBUQUERQUE LITTLE THEATRE**, zoned SU-1 & SU-2 for Albuquerque Little Theatre, located on SAN PASQUALE AVE SW, between CENTRAL AVE SW and CHACOMA PL SW containing approximately 3 acre(s). [REF: 04DRB-01687] [*Deferred from 9/13/06 & indef deferred on 9/27/06*] (J-13) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

23. **Project # 1004901**
06DRB-00689 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING agent(s) for RIVERA INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) A-1, Block(s) 29, HUNING CASTLE ADDITION (to be known as HUNING CASTLE TOWNHOMES) zoned R-3, located on ALCALDE PLACE SW, between LEAD AVE SW and COAL AVE SW containing approximately 1 acre(s). *[Was Indefinitely deferred 5/24/06 for grading and drainage plan and infrastructure list] [Deferred from 9/20/06 & 9/27/06] (K-13)*
DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK . . .

24. Approval of the Development Review Board Minutes for September 20, 2006. **THE DRB MINUTES FOR SEPTEMBER 20, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:27 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1005155

AGENDA ITEM NO: 19

SUBJECT:

Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) **(FP)** TO: (UD) (CE) (TRANS) (PRKS) **(PLNG)**

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: SEPTEMBER 27, 2006

5155

DXF Electronic Approval Form

DRB Project Case #: 1005155

Subdivision Name: ALBRIGHT-MOORE A1 & B1

Surveyor: THOMAS D JOHNSTON


Contact Person: THOMAS D JOHNSTON

Contact Information: 255-2052

DXF Received: 9/27/2006

Hard Copy Received: 9/27/2006

Coordinate System: NMSP Grid (NAD 27)


Approved

09-27-2006
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc 5155 to agiscov on 9/27/2006 Contact person notified on 9/27/2006



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

September 27, 2006

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 10:27 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. Project # 1000131

06DRB-01277 Major-Two Year SIA
06DRB-01278 Minor-Ext of SIA for Temp
Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for BROADWAY DEVELOPMENT CO request(s) the above action(s) for, **BROADWAY INDUSTRIAL CENTER, UNIT 1**, zoned SU-2 HM, located on SAN JOSE AVE SE, between BROADWAY BLVD SE and I-25 containing approximately 61 acre(s). [REF: DRB-97-271] (M-14) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED. A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

2. **Project # 1000650**
06DRB-01267 Major-Two Year SIA

TIERRA WEST LLC agent(s) for WAL-MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) 1-A-1, **LANDS OF LAMONICA & WENK**, zoned SU-1 for C-1 Permissive Uses, located on COORS BLVD SW, between RIO BRAVO BLVD SW and LAMONICA RD SW containing approximately 20 acre(s). [REF: 03EPC-01109, 03EPC-01110, 03DRB-01782, 03DRB-01783, 04DRB-00277, 05DRB-00903] (P-10) **A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

3. **Project # 1002645**
06DRB-01268 Major-Two Year SIA

TIERRA WEST LLC agent(s) for CLEARBROOK INVESTMENTS request(s) the above action(s) for, **SEVILLE, UNIT 8**, zoned R-LT, located on IRVING BLVD NW, between KAYENTA PL NW and UNIVERSE BLVD NW containing approximately 27 acre(s). [REF: 03DRB-01440, 03DRB-01441, 03DRB-01965, 03DRB-00741, 04DRB-00400, 05DRB-01335] (A-10) **A 6-MONTH EXTENSION OF THE SIA WAS APPROVED.**

4. **Project # 1003634**
06DRB-01272 Major-Two Year SIA

GARCIA/KRAEMER & ASSOCIATES agent(s) for GREATER ALBUQUERQUE HABITAT FOR HUMANITY request(s) the above action(s) for all or a portion of Lot(s) 4A, 5A, 6A & 6B, Block(s) 12, **EASTERN ADDITION**, zoned SU-2/MR, located on HIGH ST SE between CROMWELL SE and PACIFIC SE and containing approximately 1 acre(s). [REF: 04DRB-01297, 04DRB-00409] (K-14) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

5. **Project # 1004639**
06DRB-01275 Major-Final Plat Approval

GARCIA/KRAEMER & ASSOCIATES agent(s) for 50/50 LLC request(s) the above action(s) for all or a portion of Lot(s) 313-A-2-B, ACRES ADDITION (to be known as **VENTANA DEL BOSQUE**) zoned RA-2/PCD, located on MOUNTAIN RD NW, between GABALDON RD NW and BOSQUE VERDE LANE NW containing approximately 5 acre(s). [REF:06DRB-00254,06DRB-00255, 06DRB-00256, 06DRB-00257] (J-12) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DEELGATED TO PLANNING FOR RESTRICTIVE COVENANTS, THE 15-DAY APPEAL PERIOD AND TO RECORD THE PLAT.**

6. **Project # 1004924**
06DRB-01273 Major-Vacation of Public Easements
06DRB-01274 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES agent(s) for HOECH REAL ESTATE CORPORATION request(s) the above action(s) for all or a portion of Tract(s) B, **FEDERAL PLAZA**, zoned SU-1 for O-1 uses, located on HOMESTEAD RD NE, between MONTGOMERY BLVD NE and SAN MATEO BLVD NE containing approximately 4 acre(s). [REF: 06EPC-00756, 06DRB-01181] (G-18) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

7. **Project # 1004464**
05DRB-01540 Major-Vacation of Pub Right-of-Way

GARCIA KRAEMER & ASSOCIATES agent(s) for 4120 SILVER LLC & 4200 SILVER LLC, request(s) the above action(s) for Lot(s) 5 & 6, Block(s) 10 and Lot(s) 1, Block(s) 11, **MESA GRANDE ADDITION**, zoned O-R, located on SIERRA DR SE, between SILVER AVE SE and MESA GRANDE PL SE. [*Deferred from 10/26/05 & 1/18/06 & 3/29/06*] (K-17) **DEFERRED AT THE AGENT'S REQUEST TO 3/28/07.**

8. **Project # 1005031**
06DRB-01077 Major-Vacation of Public Easements

SURV-TEK agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS, UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned R-D, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018] *[Deferred from 8/23/06 & 9/13/06 & 9/27/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.**

- 06DRB-01017 Major-Preliminary Plat Approval
06DRB-01018 Minor-Temp Defer SDWK

SURV TEK & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned R-D residential and related uses zone, developing area, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). (Listed as Project 1004644 in error) *[Deferred from 8/9/06 & 8/23/06 & 9/13/06 & 9/27/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.**

- 06DRB-01282 Minor-Subd Design (DPM) Variance

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned R-D residential and related uses zone, developing area, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018, DRB-01077] *Deferred from 9/13/06 & 9/27/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.**

9. **Project # 1005070**
06DRB-01154 Major-Preliminary Plat Approval
06DRB-01156 Minor-Sidewalk Waiver
06DRB-01155 Minor-Temp Defer SDWK

SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned R-D, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). *[Deferred from 9/6/06 & 9/13/06 & 9/27/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/11/06.**

10. **Project # 1003613**
06DRB-00854 Major-Preliminary Plat
Approval
06DRB-00855 Major-Vacation of Public
Easements
06DRB-00859 Minor-SiteDev Plan
Subd/EPC
06DRB-00856 Minor-Sidewalk Waiver
06DRB-00857 Minor-Temp Defer SDWK

THOMPSON ENGINEERING CONSULTANTS INC agent(s) for WAREHOUSE MOLDING & DOOR CORP request(s) the above action(s) for all or a portion of Tract(s) 34, MRGCD Map 39, Lot(s) 11, Rancho Rico and Lot(s) 1-4, Powell Gardens Addition (to be known as **SUNSET VILLA ADDITION**) zoned SU-1 for PRD, located on SUNSET GARDENS RD SW between ATRISCO RD SW and ARENAL DITCH, containing approximately 15 acres. [Deferred from 7/12/06 & 8/9/06 & 8/23/06 & 9/6/06 & 9/20/06] (K-12) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/27/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/18/06 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS: AN EASEMENT TO TRACT 11 SHALL BE PROVIDED. DEDICATION OF RIGHT-OF-WAY ALONG SUNSET GARDENS IS REQUIRED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

11. **Project # 1004428**
06DRB-01121 Major-Vacation of Public
Easements
06DRB-01119 Major-Preliminary Plat
Approval
06DRB-01122 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for ALBUQUERQUE RIO BRAVO PARTNERS LLC request(s) the above action(s) for all or a portion of Tract(s) RR-3A, RR-3B, RR-3C, RR-3D and RR-3E, TOWN OF ATRISCO GRANT (to be known as **CEJA VISTA**) zoned SU-1, C-1, R-LT, located on DENNIS CHAVEZ BLVD SW, between MEADE AVE SE and 118TH ST SW containing approximately 99 acre(s). [REF: 05DRB-01460, 05DRB-01461] [Deferred from 8/30/06 & 9/27/06] (P-9) DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

- 12. Project # 1005000**
06DRB-01350 Minor-SiteDev Plan
BldPermit/EPC
- DEKKER PERICH SABATINI agent(s) for YMCA OF CENTRAL NEW MEXICO request(s) the above action(s) for Tract(s) G-A, G-B, LANDS OF PEACE FOUNDATION & Tract(s) C, NETHERWOOD PARK ADDITON (to be known as **H B HORN YMCA, TRACT A**) zoned SU-1 for recreational uses & 0-1 uses, located on INDIAN SCHOOL RD NE, between WASHINGTON NE and SAN MATEO NE containing approximately 5 acre(s). [REF: 06EPC-00967] [Catalina Lehner, EPC Case Planner] [Deferred from 9/27/06] (H-17) **DEFERRED AT THE AGENT'S REQUEST TO 10/11/06.**
- 13. Project # 1004167**
06DRB-01367 Minor-SiteDev Plan
Subd/EPC
- CONSENSUS PLANNING agent(s) for LA ORILLA GROUP request(s) the above action(s) for all or a portion of Lot(s) 1-10, **BOSQUE PLAZA**, zoned C-1 (SC) located on COORS BLVD NW, between LA ORILLA RD NW and MONTANO PLAZA NW containing approximately 12 acre(s). [REF: 06EPC-01357, 06EPC-01358] [Catalina Lehner, EPC Case Planner] [Deferred from 9/27/06] (E-12) **DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.**
- 06DRB-01357 Minor-Prelim&Final Plat
Approval
06DRB-01358 Minor-Vacation of Private
Easements
- SURV-TEK INC agent(s) for LA ORILLA GROUP, JIM & CHRISTEN SHULL request(s) the above action(s) for all or a portion of Lot(s) 7, 8 & 10-B, **BOSQUE PLAZA**, zoned C-1 (SC) neighborhood commercial zone, located on COORS BLVD NW, between LA ORILLA RD NW and MONTANO PLAZA NW containing approximately 3 acre(s). [REF: 05DRB-00821, 05DRB-01042, 06DRB-01367] [Deferred from 9/27/06] (E-12) **DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.**

14. **Project # 1002580**
06DRB-01370 Minor-Amnd SiteDev Plan
BldPermit

DAVID GREEN agent(s) for DUSTYN LADEWIG request(s) the above action(s) for all or a portion of Lot(s) 29 & 30, Block(s) 5 (to be known as **TRACT A, NORTH ALBUQUERQUE ACRES**) zoned IP, located on SAN DIEGO ST NE NE, between SAN MATEO ST NE and PAN AMERICAN FRWY NE containing approximately 2 acre(s). [REF: 03DRB-00566] *[Deferred from 9/27/06]* (B-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.**

15. **Project # 1004644**
06DRB-01189 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of, THE TRAILS, UNIT 2, SANTA FE 3, (to be known as **THE TRAILS, UNIT 9A**) zoned R-D, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). *[Deferred from 8/23/06 & 9/13/06 & 9/27/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

16. **Project # 1004606**
06DRB-01354 Major-Final Plat Approval

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 11, THE TRAILS, UNIT 2 (to be known as **VALLE VISTA AT THE TRAILS, UNIT 2**) zoned R-D, located on WOODMONT NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 12 acre(s). *[Deferred from 9/27/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.**

17. **Project # 1005152**
06DRB-01363 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST agent(s) for PAUL BEATTY request(s) the above action(s) for all or a portion of the east half of Lot(s) A & B, Block(s) 5, **BUENA VENTURA SUBDIVISION**, zoned C-2, located on CENTRAL AVE NE, between CONCHAS ST NW and PARSIFAL ST NE containing approximately 2 acre(s). (K-20) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

18. ~~Project # 1001945~~
05DRB-01415 Minor-Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for MADELINE DUNN request(s) the above action(s) for all or a portion of Tract(s) 297 and 298 (to be known as **LAND OF DUNN**) zoned R-LT residential zone, located on CARSON RD NW, between RIO GRANDE BLVD NW and ZEARING AVE NW containing approximately 1 acre(s). [REF: 02DRB00731, 05DRB00733] *[Deferred from 9/21/05] [Final Plat was indeferred 9/28/05 for SIA]* (J-13) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ESTATE CURB PLACEMENT.**

19. **Project # 1005155**
06DRB-01366 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for LORNA BLOOMBERG request(s) the above action(s) for all or a portion of Block(s) 9, Tract(s) A, B, **ALBRIGHT MOORE ADDITION**, zoned S-R, located on LOS TOMASES DR NW, between KINLEY AVE NW and BELLAMAH AVE NW containing approximately 1 acre(s). (J-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNG FOR AGIS DXF FILE AND TO RECORD THE PLAT.**

20. **Project # 1004803**
06DRB-00720 Minor- Final Plat Approval

GREATER ALBUQUERQUE HABITAT FOR HUMANITY request(s) the above action(s) for all or a portion of Lot(s) A-G, **LOS BLANCOS ADDITION**, zoned R-T, located on 75TH ST NW, between CENTRAL NW and LUCCA NW containing approximately 1 acre(s). [REF: 06DRB-00445] [*The final plat was indef deferred for the SIA on 5/31/06*] (K-10) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

21. **Project # 1001028**
05DRB-01886 Minor-Final Plat Approval

PRECISION SURVEYS agent(s) for RON CERROS request(s) the above action(s) for all or a portion of Tract(s) 1, **LANDS OF ALEJANDRO GARCIA**, zoned R-1, located on ALEJANDRO ST NW, between BLUE WATER NW and RINCON NW containing approximately 5 acre(s). [*Was Indef Deferred on 12/21/05, Indef Deferred on 5/17/06 & 6/21/06 for the SIA*] [*Indef Deferred on 9/27/06*] (J-11) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

22. **Project # 1003010**
06DRB-01290 Minor-Prelim&Final Plat Approval

PRECISION SURVEYS INC agent(s) for THE ALBUQUERQUE LITTLE THEATRE INC request(s) the above action(s) for all or a portion of Tract(s) B (to be known as **TRACTS B-1 & B-2, LANDS OF ALBUQUERQUE LITTLE THEATRE**, zoned SU-1 & SU-2 for Albuquerque Little Theatre, located on SAN PASQUALE AVE SW, between CENTRAL AVE SW and CHACOMA PL SW containing approximately 3 acre(s). [REF: 04DRB-01687] [*Deferred from 9/13/06 & indef deferred on 9/27/06*] (J-13) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

23. **Project # 1004901**
06DRB-00689 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING agent(s) for RIVERA INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) A-1, Block(s) 29, HUNING CASTLE ADDITION (to be known as **HUNING CASTLE TOWNHOMES**) zoned R-3, located on ALCALDE PLACE SW, between LEAD AVE SW and COAL AVE SW containing approximately 1 acre(s). *[Was Indefinitely deferred 5/24/06 for grading and drainage plan and infrastructure list] [Deferred from 9/20/06 & 9/27/06] (K-13)*
DEFERRED AT THE AGENT'S REQUEST TO 10/4/06.

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK . . .

24. Approval of the Development Review Board Minutes for September 20, 2006. **THE DRB MINUTES FOR SEPTEMBER 20, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:27 A.M.



SUBDIVISION Supplemental form **S**

Major Subdivision action

Minor Subdivision action

Vacation **V**

Variance (Non-Zoning)

ZONING Supplemental form **Z**

Annexation & Zone Establishment

Sector Plan

Zone Change

Text Amendment

SITE DEVELOPMENT PLAN **P**

...for Subdivision Purposes

...for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) **L**

APPEAL / PROTEST of... **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: LORNA K. BLOOMBERG PHONE: 505-247-9470

ADDRESS: 1423 LOS TOMASES DRIVE, N.W. FAX: _____

CITY: ALBUQUERQUE STATE NM ZIP 87102 E-MAIL: _____

Proprietary interest in site: OWNER

AGENT (if any): WAYJON SURVEYING, INC. PHONE: 255-2052

ADDRESS: 330 LOUISIANA BLVD NE FAX: 255-2807

CITY: ALBUQUERQUE STATE NM ZIP 87108 E-MAIL: WAYJON SURVEY@AOL.COM

DESCRIPTION OF REQUEST: MINOR PRELIMINARY / FINAL PLAT TO CREATE TWO PARCELS FROM TWO PARCELS

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACTS A AND B Block: 9 Unit: _____

Subdiv. / Addn. ALBRIGHT-MOORE ADDITION

Current Zoning: S-R Proposed zoning: SAME

Zone Atlas page(s): J-14 No. of existing lots: 2 No. of proposed lots: 2

Total area of site (acres): 0.6008 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 1 014 058 126 434 22607 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: LOS TOMASES DRIVE, N.W.

Between: KINLEY AVE, N.W. and BELAMAH AVE, N.W.

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 9/18/2006

(Print) THOMAS D. JOHNSTON Applicant Agent

FOR OFFICIAL USE ONLY

Form revised September 2001

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>06283</u>	<u>PEP</u>	<u>5(3)</u>	<u>\$ 285.00</u>
	<u>CMF</u>		<u>\$ 20.00</u>
			<u>\$</u>
			<u>\$</u>
			<u>\$</u>
			<u>\$</u>
			<u>\$</u>
			<u>Total 305.00</u>

Hearing date 9-27-06

[Signature] 9/19/06
Planner signature / date

Project # 1005755

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- ~~NA~~ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- ~~NA~~ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- ~~NA~~ Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

THOMAS D. JOHNSTON (AGENT)

Applicant name (print)

[Signature] 9.18.06

Applicant signature / date



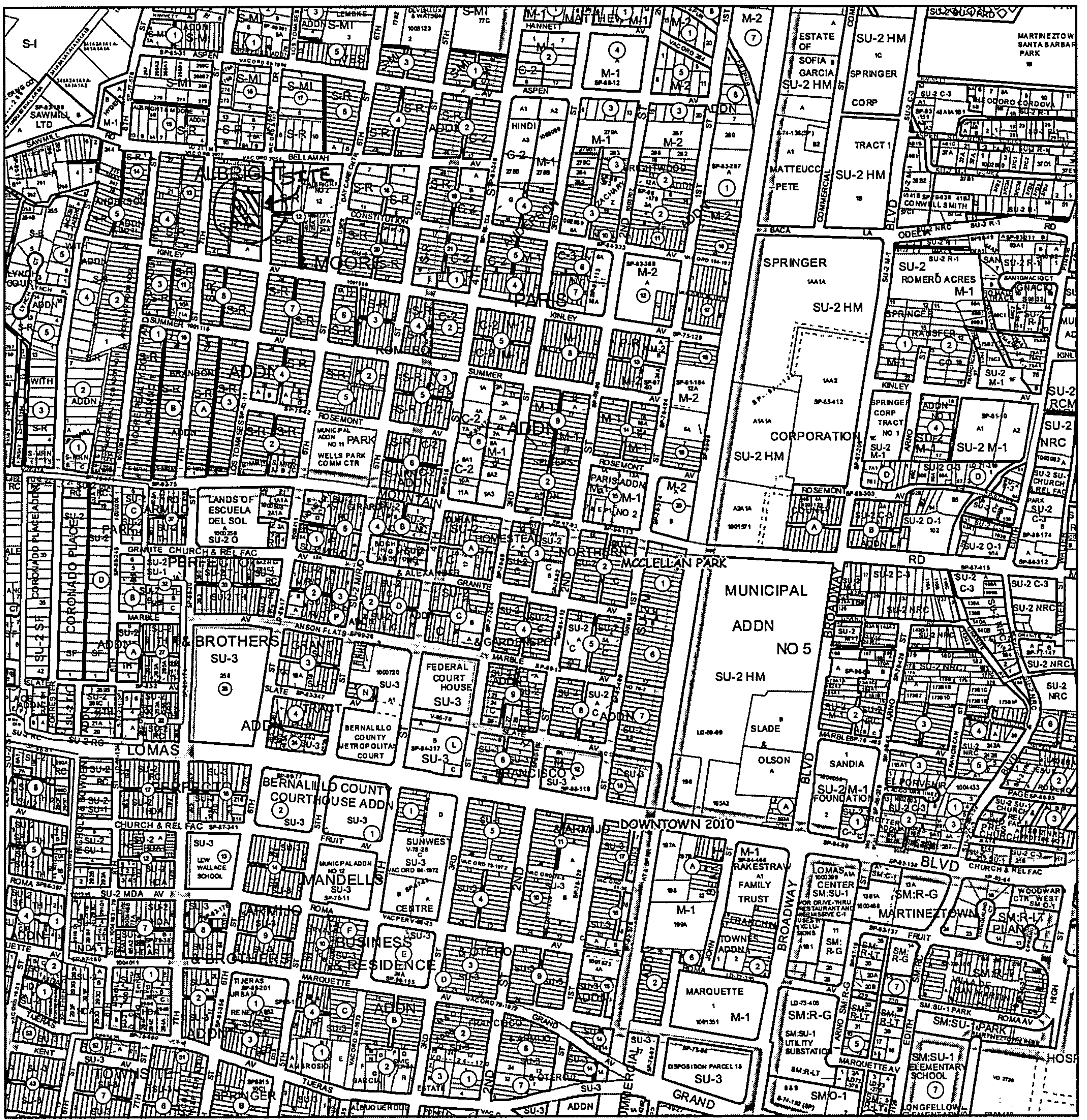
Form revised MARCH 2003

- | | |
|---|--------------------------|
| <input checked="" type="checkbox"/> Checklists complete | Application case numbers |
| <input checked="" type="checkbox"/> Fees collected | _____ |
| <input checked="" type="checkbox"/> Case #s assigned | _____ |
| <input checked="" type="checkbox"/> Related #s listed | _____ |

[Signature] 9/19/06

Planner signature / date

Project # 1005155



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 3/14/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
J-14-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500
Feet



330 Louisiana Blvd., N.E. ♦ Albuquerque, NM 87108 ♦ Phone: (505) 255-2052 ♦ Fax: (505) 255-2887

September 18, 2006

Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Minor Preliminary/Final Plat of Tracts A-1 and B-1, Block 9, Albright-Moore
Addition

To Whom It May Concern:

I am submitting a preliminary and final minor subdivision plat proposing to create two tracts from two existing parcels. We are creating the two parcels in order to adjust an interior lot line so that it no longer runs through an existing structure. The north proposed tract is currently vacant. Both parcels are currently zoned S -R.

Thank you for your time in considering this matter. If you have any questions, please call me at the number listed at the top of this sheet.

Regards,

A handwritten signature in black ink, appearing to read "T. Johnston", written in a cursive style.

Thomas D. Johnston, PS
President, Wayjohn Surveying Inc.

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME LORNA Bloom BERG
AGENT WAY JOHN SURVEYING
ADDRESS _____
PROJECT & APP # 1005155 / 06DRB-01304
PROJECT NAME ALBRIGHT - MOORE ADDITION

\$ 20.00 441032/3424000 Conflict Management Fee
\$ 285.00 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 305.00 TOTAL AMOUNT DUE

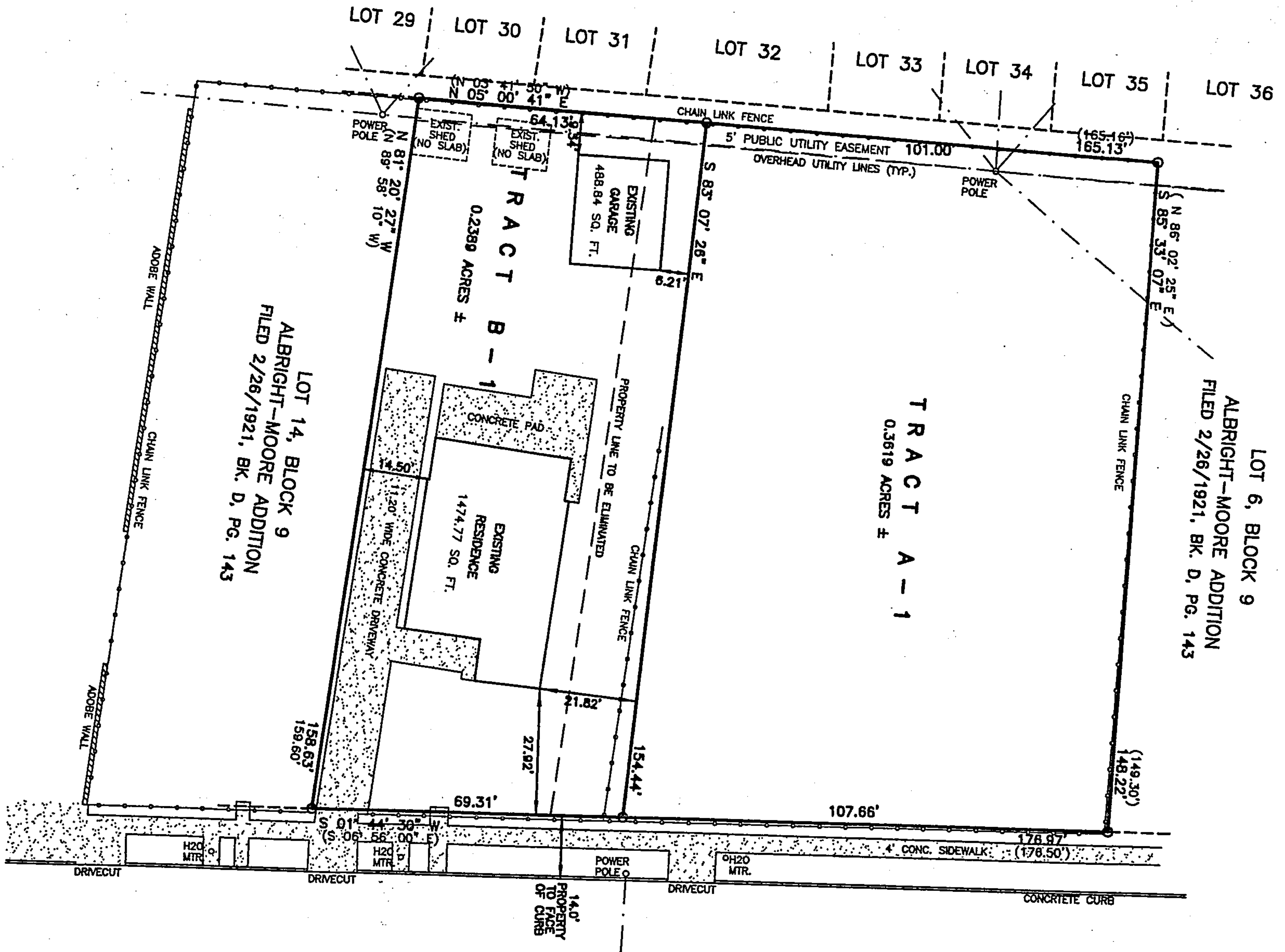
***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

12661
WAYJOHN SURVEYING, INC.
11108 HUME AVE. NE. 505-255-2052
ALBUQUERQUE, NM 87112
DATE 9/19/06 95-32-1070
PAY TO THE ORDER OF CITY OF ALBUQUERQUE \$ 305.00
THREE HUNDRED FIVE AND 00/100 DOLLARS
Bank of America
9/19/2006 9:55AM LOC: INX
RECEIPT# 0002851 F# 006 TRANSH 0012
Fund 0110
FOR PAY SUBMITTAL \$305.00
⑆ 266 ⑆ ⑆ 107000327 ⑆ 000123386377 ⑆

Thank You

Thank You

ALBRIGHT-MOORE ADDITION
 FILED 2/26/1921, BK. D, PG. 143
 BLOCK 9



EXISTING SITE CONDITIONS

LOS TOMASES DRIVE, N. W.
 (60' R. O. W.)