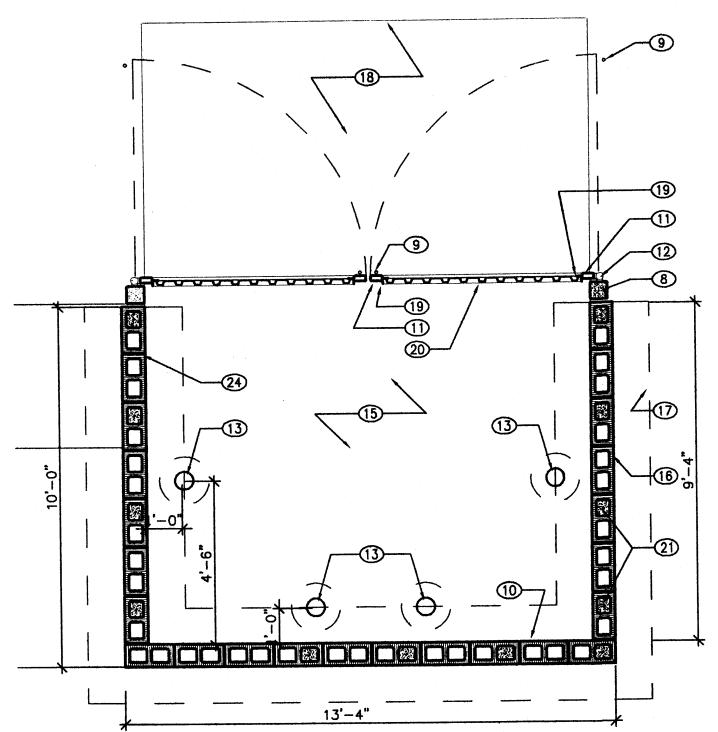
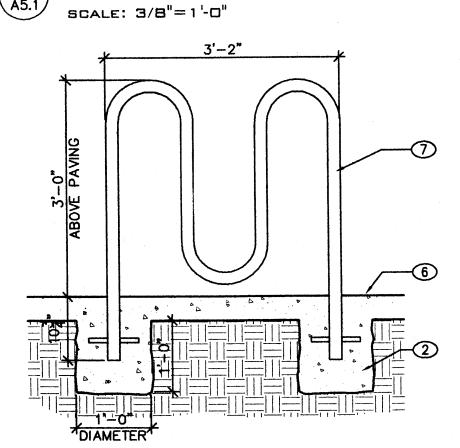
SIMMS TOWER STUDIO 850 4 0 0 GOLD AVENUE SW ALBUQUERQUE, NEW MEXICO 8 7 1 0 2 TEL 5 0 5 . 2 4 3 . 8 1 0 0 FAX 505.243.8101

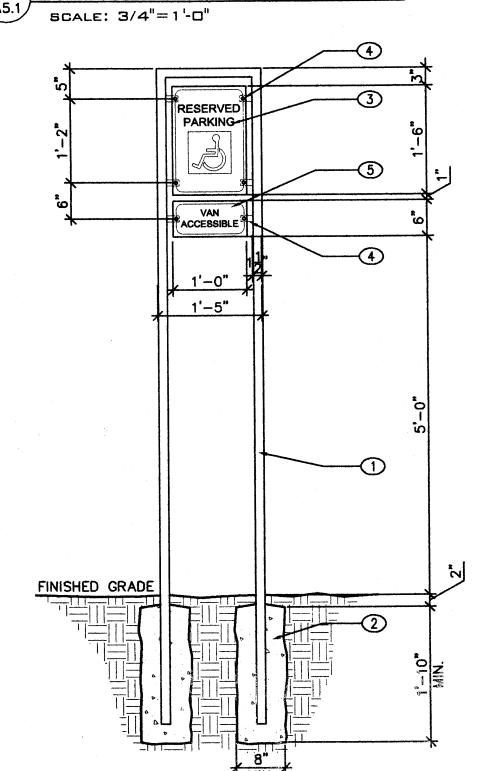
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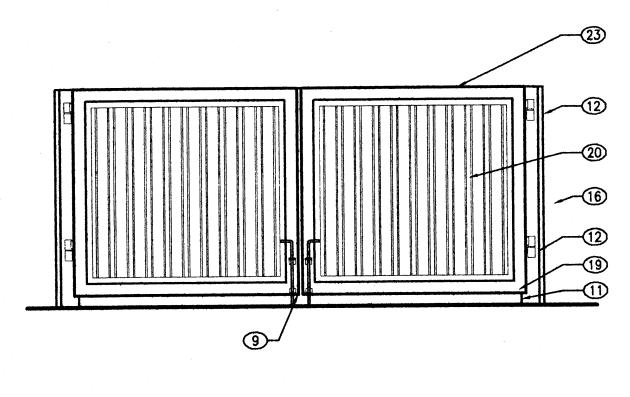
TRASH ENGLOSURE PLAN



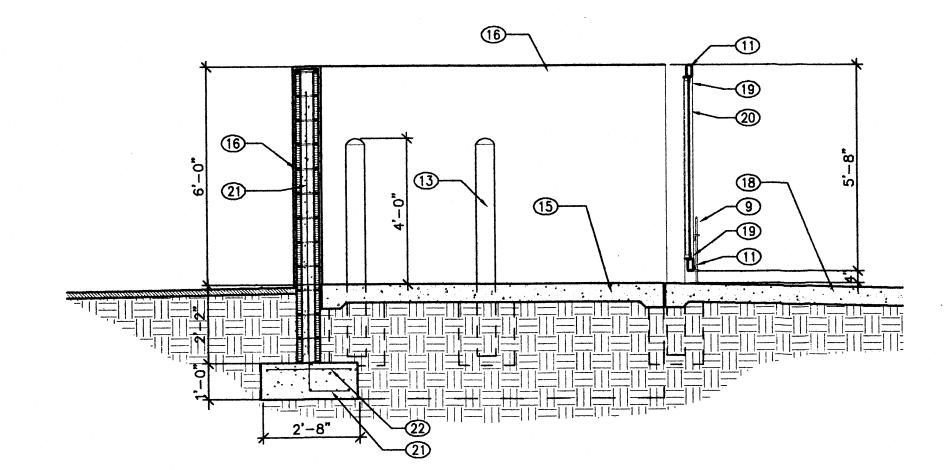
BIKE RACK DETAIL



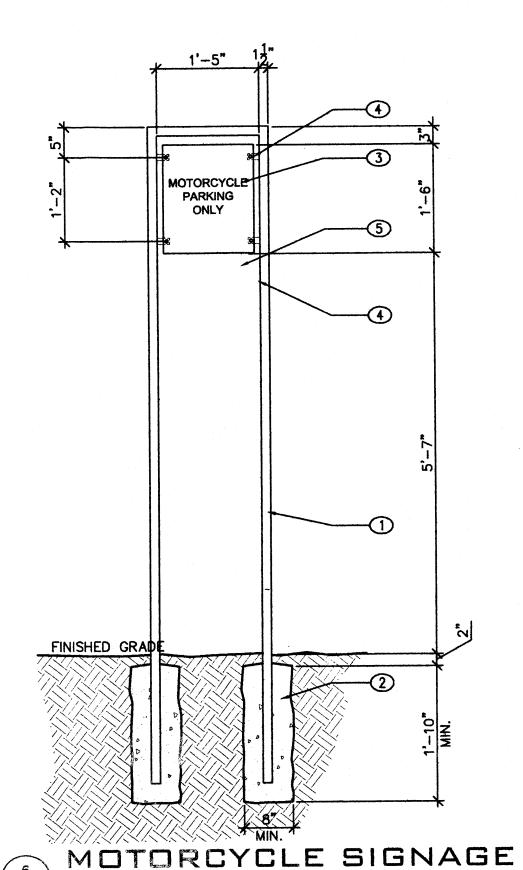
ACCESSIBLE SIGNAGE SCALE: 3/4"=1'-0"



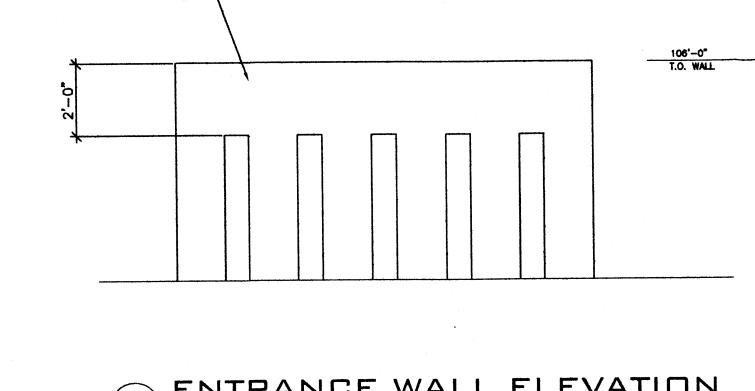
TRASH ENCLOSURE ELEVATION SCALE: 3/8"=1'-0"

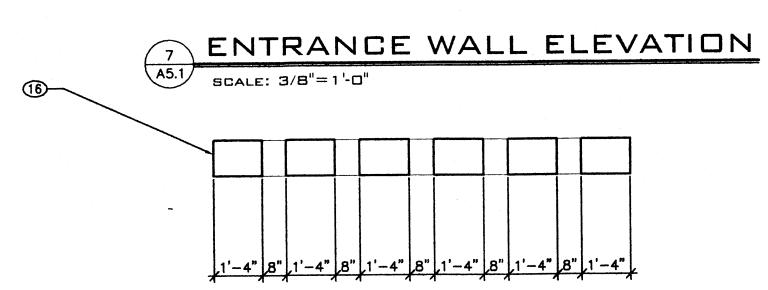


TRASH ENCLOSURE SECTION SCALE: 3/8"=1'-0"



SCALE: 3/4"=1'-0"





7 ENTRANCE WALL PLAN SCALE: 3/8"=1'-0"

GENERAL NOTES

- 1. DO NOT SCALE DRAWNGS
- 2. CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO
- CONSTRUCTION 3. VERIFY EXISTING CONDITIONS IN FIELD. BRING
- DISCREPANCIES TO ATTENTION OF ARCHITECT 4. DIMENSIONS ARE TO FACE OF STUDS UNLESS
- OTHERWISE NOTED
- 5. F.F. INDICATES THAT THE DIMENSION IS A CRITICAL FINISHED DIMENSION MEASURED FROM FINISHED FACE TO FINISHED FACE

KEYED NOTES O

- 1. 1-1/2" O.D. GALVANIZED STEEL PIPE, PAINT BLACK
- 2. 3,000 P.S.I. CONCRETE FOOTING
- 3. ACCESSIBLE PARKING SIGN, NMBC APPROVED TYPE R7-8, WHITE FIELD, GREEN LETTERING AND BORDER, SYMBOL IS BLUE BACKGROUND WITH WHITE INTERNATIONAL SYMBOL OF ACCESSIBILITY
- 4. 1"x2"x1/8" STEEL TABS WELDED TO PIPE, PROVIDE HOLES
- FOR CARRIAGE BOLT/CAP NUT ATTACHMENT TO SIGN 5. "VAN ACCESSIBLE" PARKING SIGN, NMBC APPROVED TYPE
- R7-8A, WHITE FIELD, GREEN LETTERING AND BORDER 6. CONCRETE SIDEWALK RE: CIVIL, LIGHT BROOM FINISH
- 7. "THUNDERBOLT" TB-5-G PRE-MANUFACTURED BIKE RACK W. GALVANIZED FINISH AS MANUFACTURED BY CREATIVE PIPE, INC., HERMOSA BEACH, CA., PHONE
- (310)376-9536, WWW.CREATIVEPIPE.COM 8. 6"X6" STEEL GATE POST, GROUT SOLID
- 9. CANE BOLT/RECEIVER, GALVANIZED
- 10. NOT USED
- 11, 2"X4" TUBE STEEL
- 12. "KING KONG HINGE" AS MANUFACTURED BY KING ARCHITECTURAL METALS, 1-800-542-2379
- 13. 6" O.D. CONCRETE FILLED STEEL PIPE BOLLARD ENCASED
- IN 6" CONCRETE ALL AROUND, EMBEDDED 24" 14. NOT USED
- 15. CONC. SLAB 6" THICK; 4000 PSI 3/4" AGG., W6X6-10/10 WWM OR EQ. SLOPE TO DRAIN 1/8" PER
- 16. CMU WALL, STUCCOED
- 17. OUTLINE OF REINFORCED CONCRETE FOOTING BELOW 18. APRON: 6" THICK; 4000 PSI 3/4" AGG., W5X6-10/10
- WWM OR EQ. 12'X8' WITH 1/2" EXPANSION JOINT
- 19. L 2x2x3/16 STEEL ANGLE, WELDED TO TUBE STEEL
- FRAME W. FLAT FACE OF ANGLE LEG AT MIDPOINT OF TUBE (AS SHOWN)
- 20. GALVANIZED STEEL "B" DECK, WELD TO INSIDE OF STEEL ANGLE WITH WIDE FACE OF DECK TO OUTSIDE OF
- ENCLOSURE (AS SHOWN)

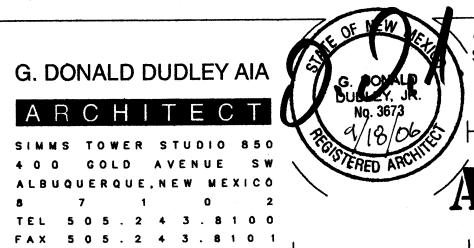
 21. VERTICAL #4 REBAR @ 32" O.C., GROUT CELL SOLID

 22. HORIZONTAL #4 REBAR @ 12" O.C.

 23. MATCH TOP OF BLOCK.

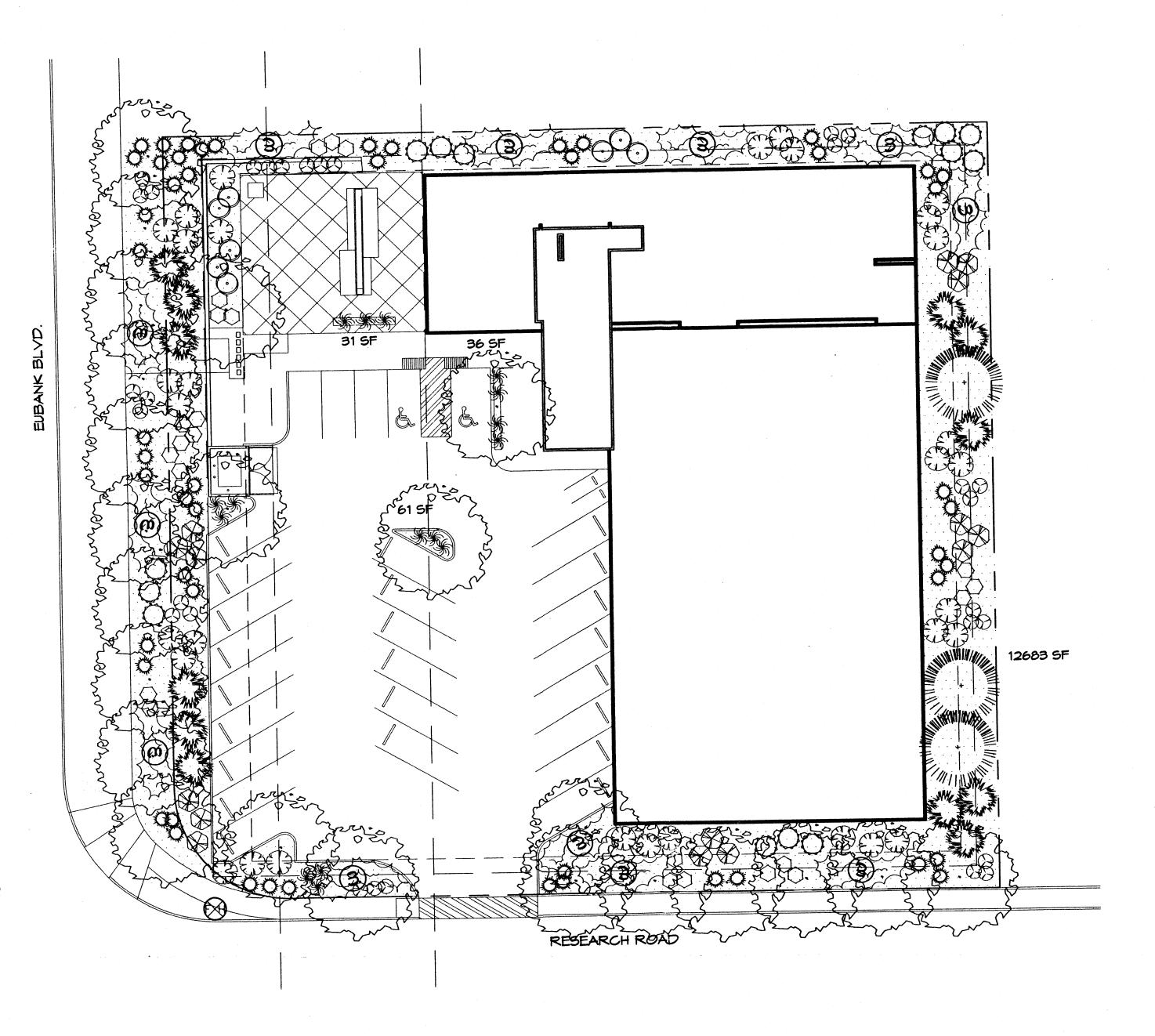
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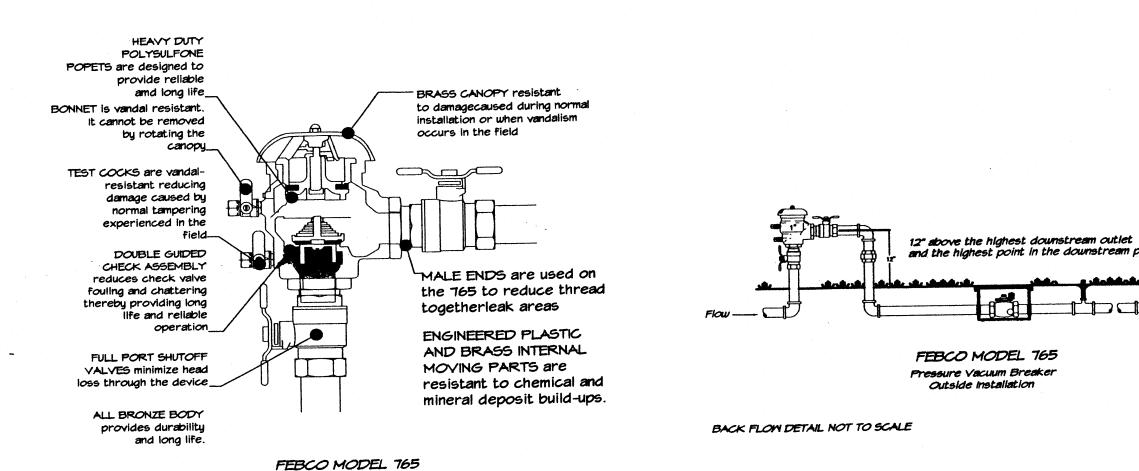
10401 Research Road, SE - Albuquerque, NM 87123-3423



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sequence rio. 4 of: 30





Pressure Vacuum Breaker Features

PLANT LEGEND



AUSTRIAN PINE (M) 3 Pinus nigra



BUTTERFLY BUSH (M) 12 Buddleia davidii 5 Gal. 81sf

ROSEMARY (M) 14 Rosemarinus officinalis

2 Gal. 365f



INDIAN HAWTHORN (M) 15 Rhaphiolepis indica 5 Gal. 36sf



HALLS HONEYSUCKLE (M) 36 Juniperus 'Halliana' Symbol indicates three plants.

SCOTCH BROOM (M) 52



SANTA ANA TAN WITH FILTER FABRIC

APACHE PLUME (L) 32 Fallugia paradoxa 5 Gal. 25sf

RUSSIAN SAGE (M) 8 Perovskia atriplicifolia 5 Gal. 25sf

AUTUMN SAGE (M) 24 2 Gal.

ORNAMENTAL GRASS (M) 16 MAIDEN GRASS REGAL MIST FOUNTAIN GRASS BLUE AVENA BLUE FESCUE BEAR GRASS

WILDFLOWER 30 1 Gal. 4sf Including but not limited to: BLACK EYE SUSAN, PENSTEMON, SANTOLINA, PRIMROSE, YARROW, BLANKETFLOMER, SNOW IN SUMMER, POPPY, DAYLILIES, ICEPLANT, RED HOT POKER, AND CONEFLOWER.

LANDSCAPE NOTES: Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Maste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Eubank Blvd. Required # 7 Provided # 10

Name of Street: RESEARCH ROAD Required # 7 Provided # 7

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces Required # 5 Provided # 5

IRRIGATION NOTES:

NOTE TO CLIENT:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polypipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received. The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller

greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

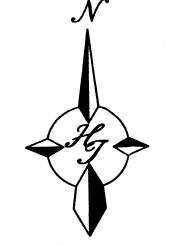
than 2-4" cobblestone will not stay on a slope

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	43525	square feet
TOTAL BUILDINGS AREA	16542	square feet
NET LOT AREA	26983	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4047	square feet
TOTAL BED PROVIDED	12811	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	9608	square feet
TOTAL GROUNDCOVER PROVIDED	9786	square feet
TOTAL LANDSCAPE PROVIDED	12811	square feet

Cont. Lic. #26458 7909 Edith N.E. Albuquerque, NM 87184 Ph. (505) 898-9690 Fax (505) 898-7737 cm i@hilltoplandscaping.com All creative ideas contained Herein remains the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order

> TEL 505.2 4 3.8100 FAX 5 0 5 . 8 4 3 . 6 8 2 0



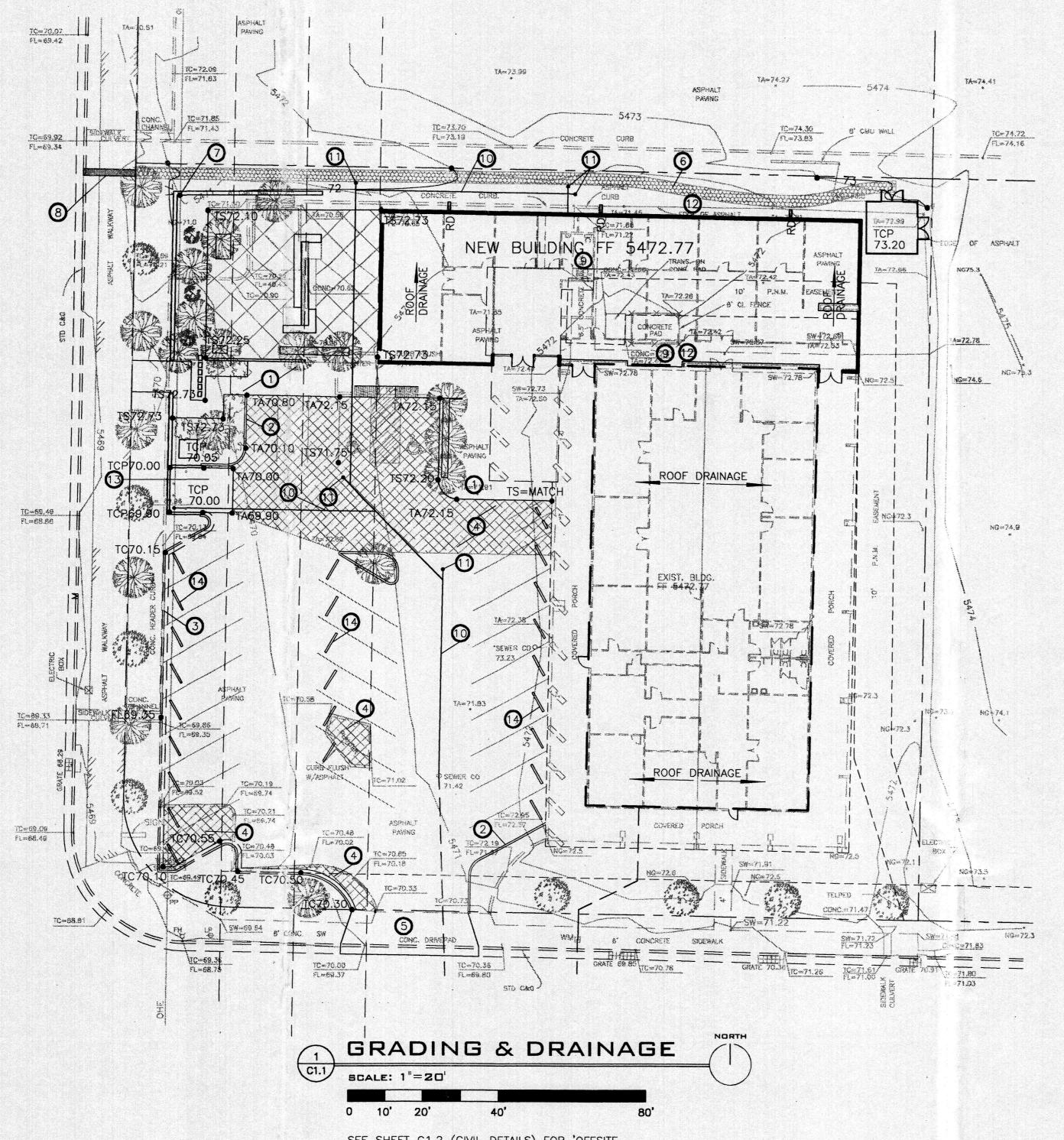
GRAPHIC SCALE



ANALYTICAL SOLUTIONS

10401 RESEARCH RD. SE

Albuquerque, NM date: July 31, 2006 G. DONALD DUDLEY AIA ARCHITECT JAMES DE FLON 0007 SIMMS TOWER STUDIO 850 400 GOLD AVENUE SW ALBUQUERQUE, NEW MEXICO 7 1 0 2



SEE SHEET C1.2 (CIVIL DETAILS) FOR 'OFFSITE DRAINAGE' AND 'DRAINAGE DATA'. SEE ARCHITECTURAL SHEETS FOR DEMO ITEMS. NEW TC AND TS SHALL BE 6" ABOVE ADJACENT TA.

ENGINEER'S CERTIFICATION	LEG	LEGEND		
ENGINEER'S GERIIFICATION	TBM NG FF FG FL TA TCP TC TS TW FH WM WV MH	TEMPORARY BENCHMARK NATURAL GROUND FINISH FLOOR FINISH GRADE FLOWLINE TOP OF ASPHALT TOP OF CONCRETE TOP OF CURB TOP OF SIDEWALK TOP OF WALL FIRE HYDRANT WATER METER WATER VALVE MANHOLE	LP PP GW PED RD	LIGHT POLE POWER POLE GUY WIRE ELEC. OR TEL. PEDESTAL ROOF DRAINAGE POINT EXISTING CONTOUR PROPOSED CONTOUR EXISTING SPOT ELEVATION PROPOSED SPOT ELEVATION RECORD SPOT ELEVATION
	CB GM GV	CATCH BASIN GRATE GAS MATER GAS VALVE		

SITE CONDITIONS

EXISTING CONDITION

THE SITE IS PRESENTLY DEVELOPED WITH ONE BUILDING, WITH SEVERAL OUTDOOR EQUIPMENT FACILITIES AND PARKING LOT. THE WESTERLY HALF OF THE ROOF, THE EQUIPMENT AREA AND THE PARKING AREA DRAIN TO AN EXISTING SIDEWALK CULVERT TO EUBANK AT THE SOUTHWEST CORNER OF THE SITE AND THE EASTERLY HALF OF THE ROOF AND SIDE YARD DRAIN TO A SIDEWALK CULVERT TO RESEARCH AT THE SOUTHEAST CORNER OF THE SITE. OFFSITE FLOWS ARE LIMITED TO THE LOT EAST OF THE SITE WHICH IS PRESENTLY UNDEVELOPED. THIS REPORT ASSUMES THE OFFSITE AREA WILL CONTINUE TO ENTER THE SITE UNTIL THE LOT IS DEVELOPED

PROPOSED CONDITION

THE EXISTING BUILDING AND THE SOUTHERLY PORTION OF THE PARKING AREA WILL REMAIN. THE OUTDOOR EQUIPMENT AREA WILL BE REPLACED BY A BUILDING ADDITION AND THE NORTHERLY PORTION OF THE PARKING LOT WILL BE RECONFIGURED TO INCLUDE AN OUTDOOR EMPLOYEE AREA AND BUILDING ENTRY AREA. EXISTING WATER, SANITARY SEWER AND GAS SERVICE ARE TO REMAIN AND ALTERED AS SHOWN ON THIS SHEET. THE NEW BUILDING ADDITION AND A PORTION OF THE OUTDOOR EMPLOYEE AREA ARE TO BE ROUTED TO EUBANK VIA A NEW SIDEWALK CULVERT AT THE NORTHWEST CORNER OF THE SITE.

OKEYED NOTES

- TURNDOWN SIDEWALK. SEE DETAIL SHEET C1.2.
- 2. HEADER CURB. SEE DETAIL SHEET C1.2.
- 3. CURB & GUTTER. SEE DETAIL SHEET C1.2
- 4. NEW ASPHALT (HATCHED AREA). SEE DETAIL SHEET C1.2.
- 5. REMOVE EXISTING DRIVEPAD. BUILD 30 FOOT WIDE DRIVEPAD DETAIL. SEE CITY OF ALBUQUERQUE STD. DWG. 2425, SECTION E-E.
- 6. 12" DRY STREAM. SEE DETAIL SHEET C1.2.
- 7. 2-3" PVC PIPES THRU WALL OR 2 CMU'S ON EDGE AT GROUND LEVEL TO PROVIDE FOR DRAINAGE.
- 1 BARREL 18" WIDE SIDEWALK CULVERT. SEE CITY OF ALBUQUERQUE STD. DWG. 2236.
- EXTEND 3/4" WATER LINE INTERNALLY FROM EXISTING SPIGOT TO BUILDING CONNECTIONS. SEE PLUMBING DRAWINGS.
- 10. EXTEND 4" SANITARY SEWER SERVICE FROM EXISTING CLEANOUT TO NEW BUILDING CONNECTIONS & REFUSE AREA. SEE PLUMBING DRAWINGS.
- 11. SANITARY SEWER CLEANOUT. SEE DETAIL SHEET C1.2.
- 12. RELOCATE GAS METER TO NORTH SIDE OF NEW BUILDING. SEE MECHANICAL DRAWINGS.
- 13. REFUSE ENCLOSURE w/8"x8" AREA DRAIN & 3" PVC OUTLET TO SANITARY SEWER SERVICE. AREA DRAIN GRATE ELEV. 69.85. SEE ARCHITECTURAL DRAWINGS.
- 4. CONCRETE PARKING BUMPERS

SO 19 NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.

- 2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL AT 260-1990 FOR THE LOCATION OF EXISTING UTILITIES.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5. BACKFILL COMPACTION WITHIN THE CITY RIGHT-OF-WAY SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- 6. MAINTENANCE OF THE SIDEWALK CULVERT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PORPERTY BEING SERVED.
- 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

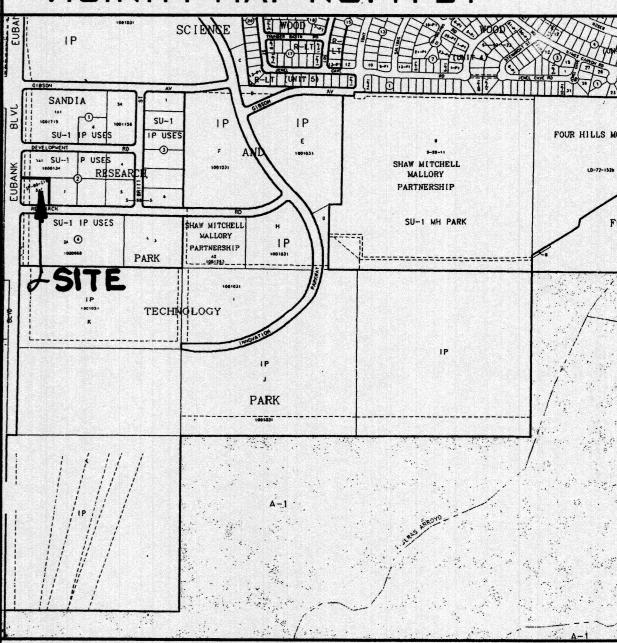
GRADING NOTES

- 1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULE A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RELES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

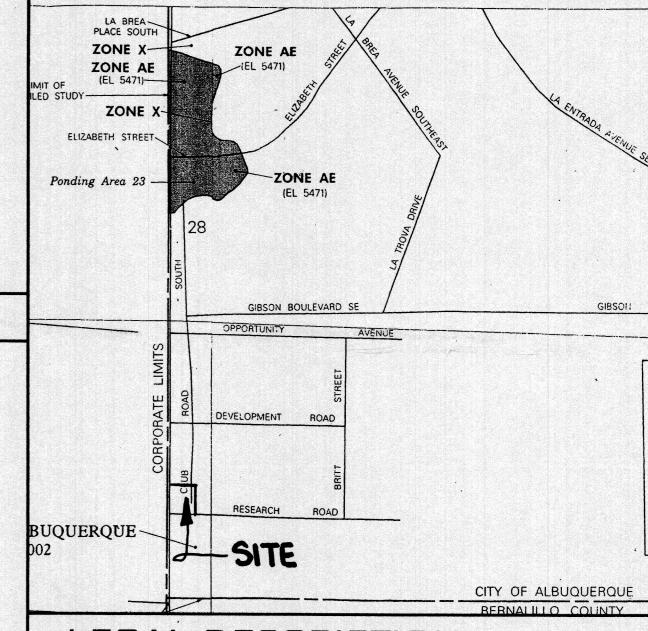
EROSION NOTES

- 1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FOR THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
- 2. THE CONTRACTOR SHALL PROMPTLY CLEAN UM ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- 3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

VICINITY MAP NO. M-21



FEMA FIRM MAP NO.366/367



LEGAL DESCRIPTION

LOT 8-A, BLOCK 2, SANDIA RESEARCH PARK

PERMANENT BENCHMARK

ACS 10-L21 ELEVATION 5466.64 (NGVD 1929)

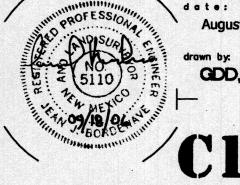
ANALYTICAL SOLUTIONS

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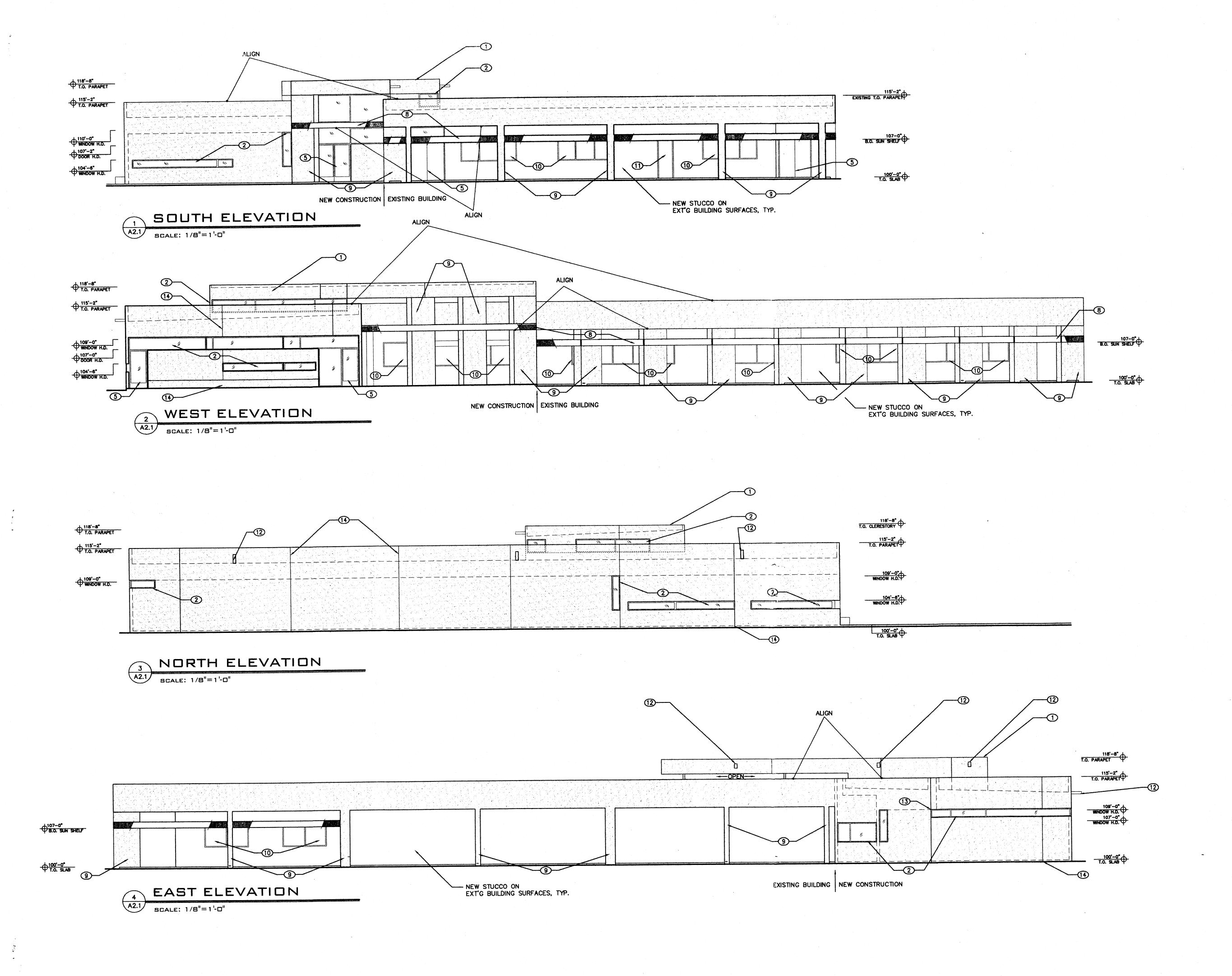


ARCHITECT SIMMS TOWER STUDIO 850 400 GOLD AVENUE SW ALBUQUERQUE, NEW MEXICO 8 7 1 0 2 TEL 505.243.8100

FAX 505.2 4 3.810 1



GDD, eh, std



GENERAL NOTES

- 1. DO NOT SCALE DRAWINGS
- 2. CONTRACTOR TO COORDINATE ALL DRAWINGS
- PRIOR TO CONSTRUCTION 3. VERIFY EXISTING CONDITIONS IN FIELD. BRING
- DISCREPANCIES TO ATTENTION OF ARCHITECT 4. DIMENSIONS ARE TO FACE OF STUDS UNLESS
- OTHERWISE NOTED
- 5. F.F. INDICATES THAT THE DIMENSION IS A CRITICAL FINISHED DIMENSION MEASURED FROM FINISHED FACE TO FINISHED FACE
- 6. EXISTING GROUND FLOOR SLAB ELEVATION INDICATED AS 100'-0". ALL VERTICAL DIMENSIONS ARE MEASURED FROM THIS POINT

KEYED NOTES

- 1. RAISED ENTRY CANOPY WITH CLERESTORY
- 2. WINDOW, SEE SCHEDULE
- 3. STUCCO W/ HARD TROWELLED FINISH 4. SCUPPER
- 5. DOOR, SEE SCHEDULE
- 6. not used
 7. ALIGN T.O. WIN HEAD W/ OPPOSITE SILL
 8. HORIZONTAL SUN-SHELF: 22 GA. BRAKE METAL ON GYP.
 SHEATHING, PAINTED
- 9. VERTICAL SUN-FIN: STUCCO W/ HARD TROWELLED FINISH
 10. EXISTING ALUMINUM STOREFRONT
 11. EXISTING METAL DOOR
 12. SCUPPER AND OVERFLOW
 13. ALIGN WINDOW WITH SKYLIGHT ABOVE.
 14. EXPANSION JOINT.

ANALYTICAL SOLUTIONS

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