

1005179

AFD PLANS CHECKING OFFICE  
624-3511

*Handwritten:* 5080 sq ft / VB  
1,924 GPA / 2 H/TOS

PROJECT NUMBER: 1005179

Application Number: 06 DRB-01417

Is an Infrastructure List required? ( ) Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB AMENDED SITE DEVELOPMENT PLAN APPROVAL:

*Handwritten:* 1-31-07  
Traffic Engineering, Transportation Division

*Handwritten:* 10/25/02  
Utilities Development

*Handwritten:* 10/25/06  
Parks and Recreation Department

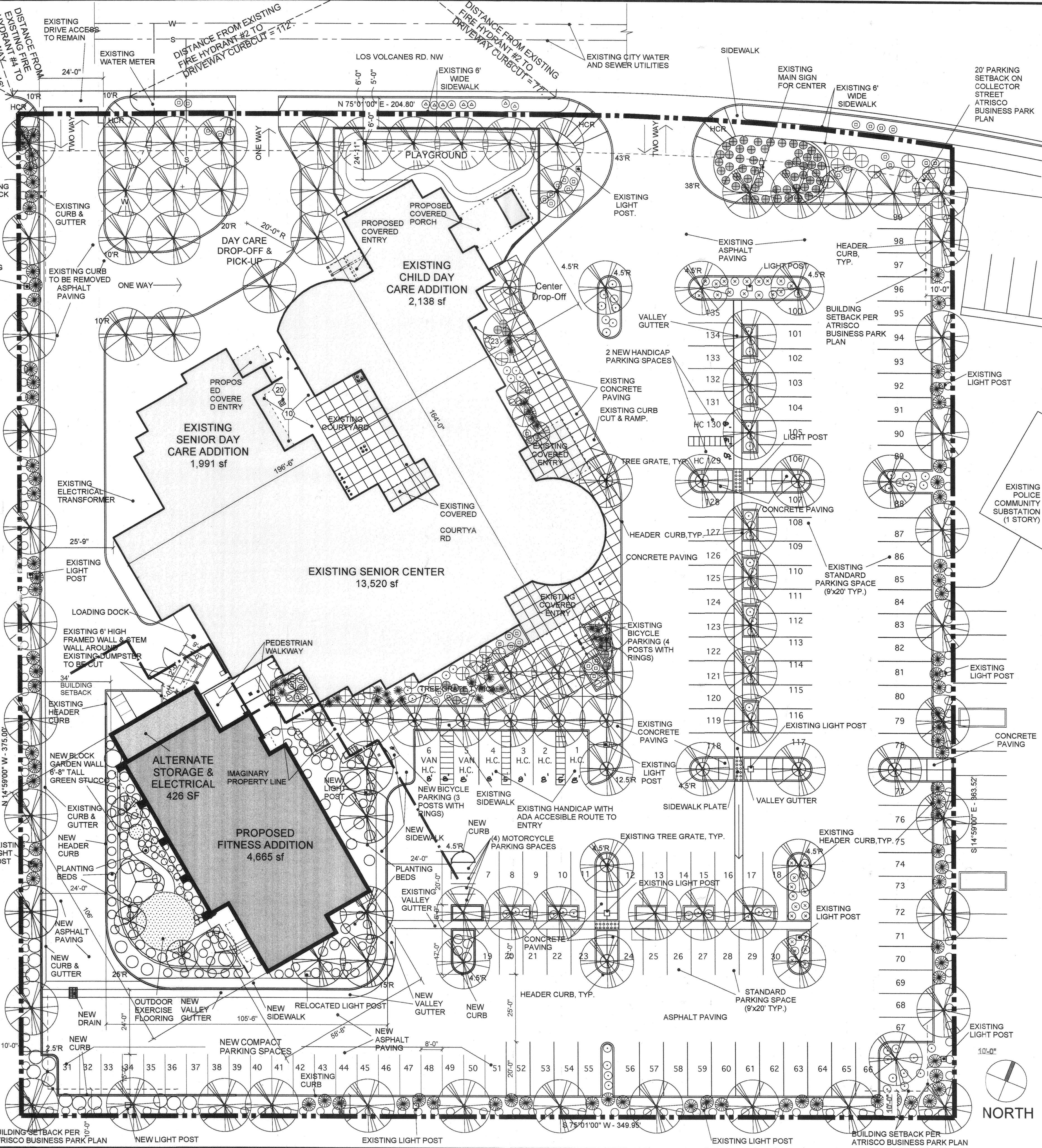
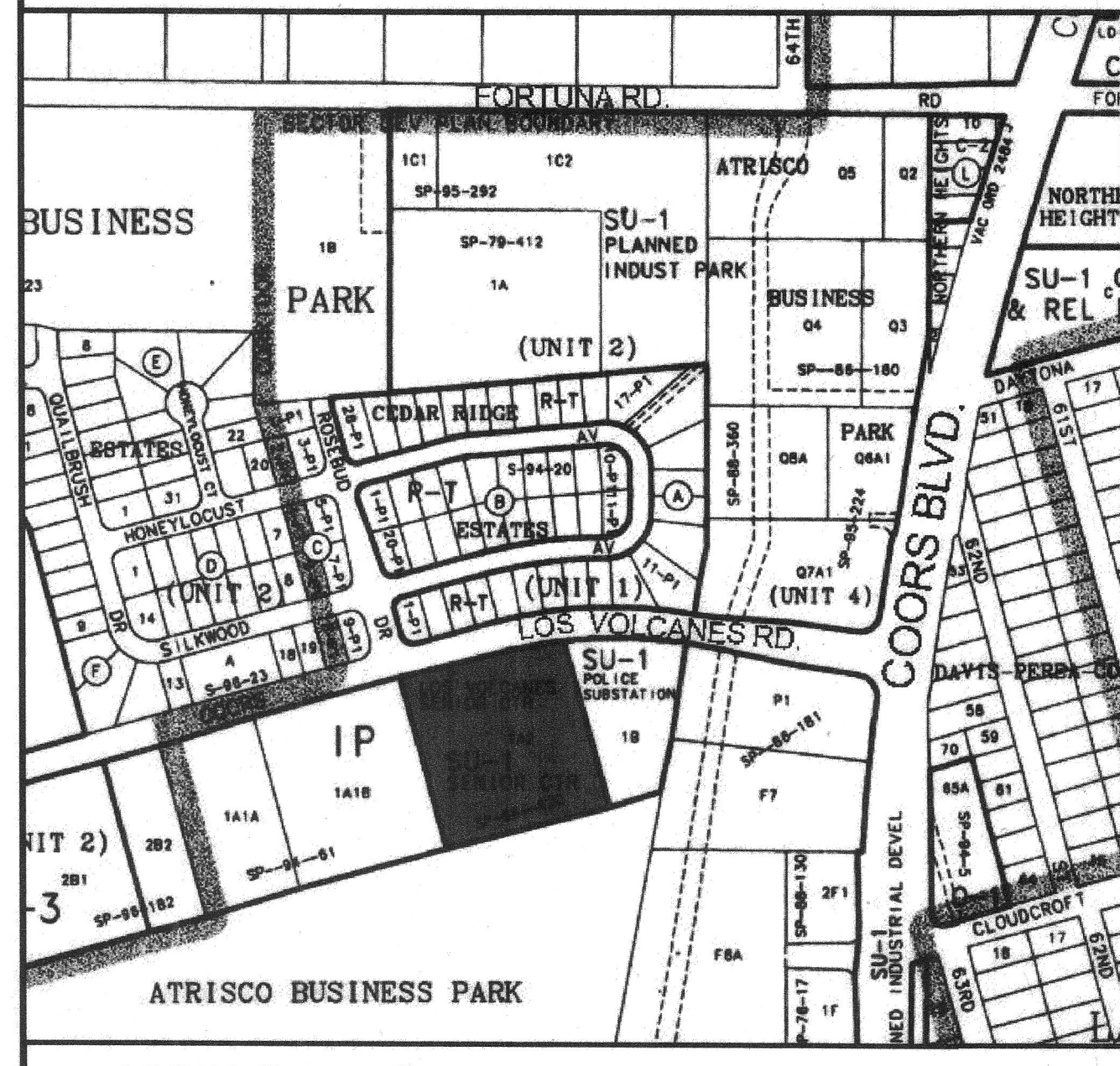
*Handwritten:* 10/25/06  
City Engineer

*Handwritten:* N/A  
\*Environmental Health Department

*Handwritten:* 10-21-06  
Solid Waste Management

*Handwritten:* 03/11/07  
DRB Chairperson, Planning Department

\*Environmental Health, if necessary



**SITE DATA**

**LEGAL DESCRIPTION:**  
LOT 1-A-2, UNIT 2 ATRISCO BUSINESS PARK (SP-86-420), LOCATED ON THE SOUTH SIDE OF LOS VOLCANES ROAD, BETWEEN COORS BOULEVARD, NW AND AIRPORT ROAD, NW CONTAINING APPROXIMATELY 3.0 ACRES.

**BUILDING FLOOR AREAS:**  
EXISTING SENIOR CENTER, SENIOR DAYCARE ADDITION AND CHILD DAY CARE ADDITION: 18,367 GHSF  
PROPOSED FITNESS ADDITION: 5,080 GHSF  
TOTAL FLOOR AREA INCLUDING PROPOSED ADDITIONS: 23,447 GHSF

**VEHICLE PARKING REQUIRED UNDER ALBUQUERQUE COMPREHENSIVE ZONING CODE:**

**SENIOR CENTER**  
THE SOCIAL HALL AS A PUBLIC DINING PLACE IS REQUIRED TO HAVE ONE PARKING SPACE FOR EACH FOUR SEATS IN THE SOCIAL HALL. THE 2,880 NSF OF THE SOCIAL HALL AT 15 SF PER PERSON FOR DINING = 192 PERSONS. THEREFORE, 192 SEATS / 4 = 48 PARKING SPACES.

THE BALANCE OF THE SENIOR CENTER, CONSIDERED AS A CLUB, IS REQUIRED TO HAVE ONE SPACE PER EACH 200 NET LEASABLE AREA. THEREFORE, THE 9,880 NSF OF THE CENTER AT 1 SPACE PER 200 NSF = 50 PARKING SPACES.

**ADULT AND CHILD DAY CARE CENTERS**  
EACH DAY CARE ADDITION IS REQUIRED TO HAVE TWO SPACES PLUS ONE ADDITIONAL SPACE FOR EACH 500 SF OF NET LEASABLE AREA. THEREFORE, THE SENIOR DAY CARE ADDITION AT 1884 NSF / 500 = 4 + 2 = 6 PARKING SPACES.

THEREFORE, THE CHILD DAY CARE ADDITION WOULD REQUIRE 1,976 NSF / 500 = 4 + 2 = 6 PARKING SPACES.

**PROPOSED FITNESS CENTER ADDITION**  
EXERCISE OR HEALTH CLUBS REQUIRES 1 SPACE PER EACH 3 PERSONS OF PERMITTED FIRE OCCUPANCY LOAD. THE OCCUPANCY LOAD OF THE NEW FITNESS CENTER ADDITION IS 101 PERSONS.

THEREFORE, THE PROPOSED FITNESS CENTER ADDITION AT 101 PERSONS WITH 1 SPACE FOR EACH 3 PERSONS = 34 PARKING SPACES.

**RECAP**

SENIOR CENTER	48
SOCIAL HALL	48
BALANCE OF SC	50
ADULT DAYCARE	6
CHILD DAY CARE	6
FITNESS ADDITION	34
<b>TOTAL</b>	<b>144 PARKING SPACES REQUIRED</b>

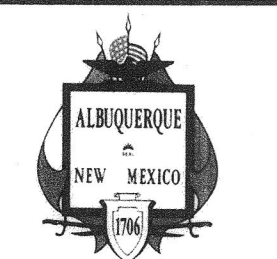
**EXISTING**

STANDARD:	143
COMPACT:	0
HANDICAP:	8
TOTAL SPACES PROVIDED:	151
REQUIRED:	110
BICYCLE PARKING:	6
BICYCLE P. REQUIRED (1 PER 20 VEHICLE PARKING SPACES):	8

**PROPOSED**

STANDARD:	106
COMPACT:	21
HANDICAP:	8
TOTAL SPACES PROVIDED:	135
REQUIRED:	144
BICYCLE PARKING:	10
BICYCLE P. REQUIRED (1 PER 20 VEHICLE PARKING SPACES):	7
MOTORCYCLE PARKING:	4

**PARKING SUMMARY**



**CITY OF ALBUQUERQUE  
CAPITAL IMPLEMENTATION PROGRAM**

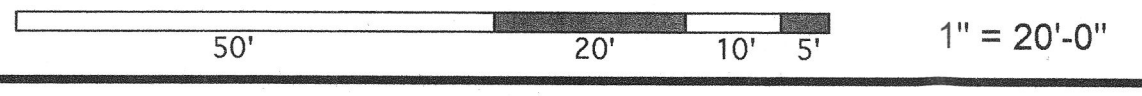
**PROJECT TITLE:** LOS VOLCANES FITNESS CENTER ADDITION  
6500 LOS VOLCANES ROAD NW  
ALBUQUERQUE, NEW MEXICO

**DRAWING TITLE:** AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR	MO./DAY/YR
		24 OCT. 06	
LAST DESIGN UPDATE			

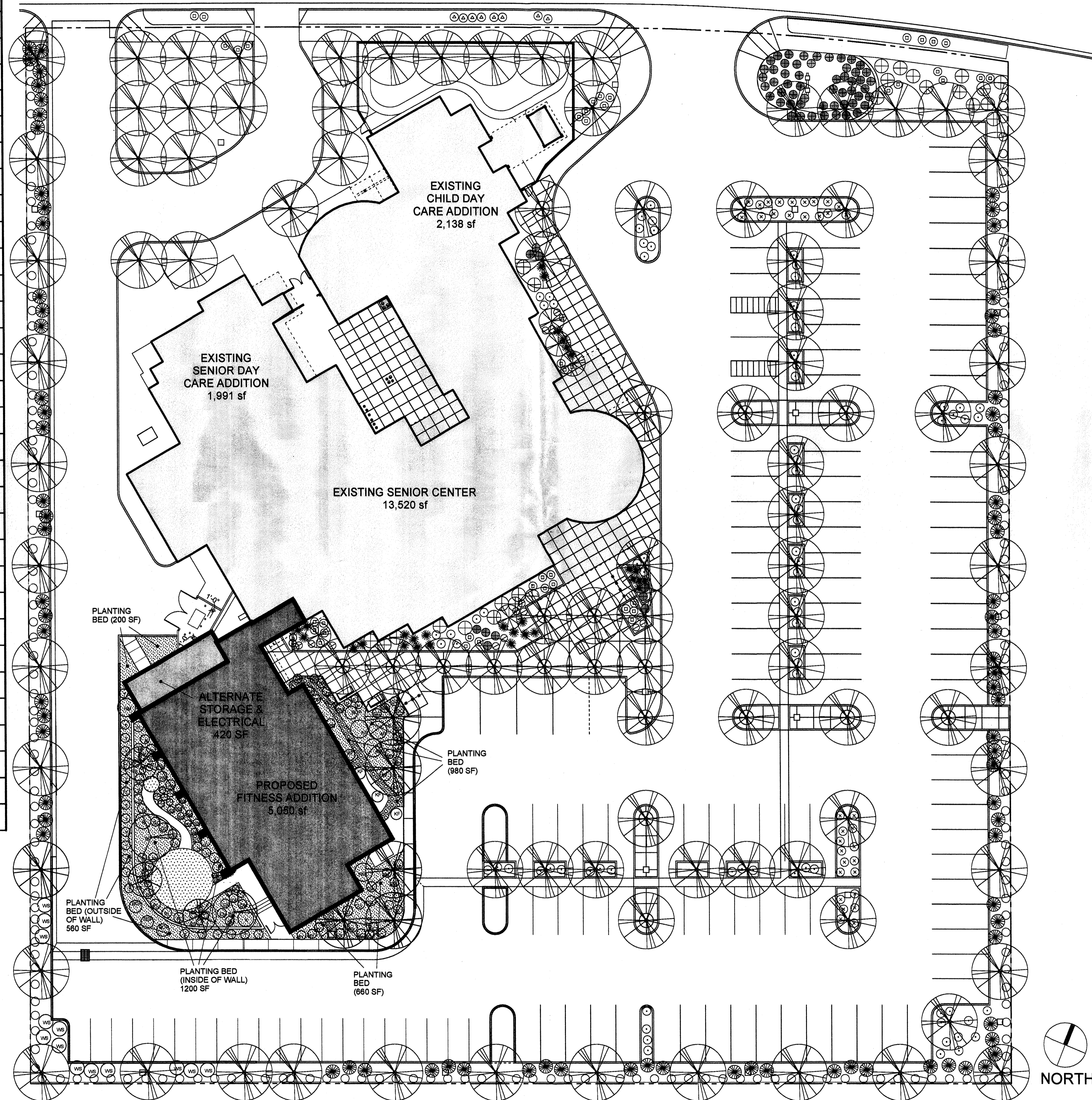
CITY PROJECT NO.	ZONE MAP NO.	DWG.	SHEET	OF
	J-10-Z	DRB-REV	1	4

**SITE PLAN**



**PLANT SCHEDULE**

Quantity	Common Name	Symbol	Size / Notes
<b>TREES</b>			
5	HONEY LOCUST	HL	3" CALIPER
2	BRADFORD PEAR	BP	2 1/2" CALIPER
3	REDBUD	RB	2" CALIPER
2	NEW MEXICO OLIVE	NM	15 GALLON CONTAINER
<b>SHRUBS</b>			
3	APACHE PLUME	AP	5 GALLON CONTAINER
4	BIRD OF PARADISE	BOP	5 GALLON CONTAINER
3	BLUE MIST SPIREA	BM	5 GALLON CONTAINER
21	TURPENTINE BUSH	T	5 GALLON CONTAINER
2	KERRIA GOLDEN GUINEA	K	5 GALLON CONTAINER
5	PERSIAN LILAC (CUTLEAF)	PL	5 GALLON CONTAINER
3	RAPHIOLEPIS	R	5 GALLON CONTAINER
5	PROVENCE LAVENDER	L	1 GALLON CONTAINER
6	NEARLY WILD ROSE	N	5 GALLON CONTAINER
13	WESTERN SAND CHERRY	WS	5 GALLON CONTAINER
3	GREEN MOUND JUNIPER	J	5 GALLON CONTAINER
5	COMPACT MAHONIA	CM	5 GALLON CONTAINER
4	GOLDEN CURRANT	CU	5 GALLON CONTAINER
<b>PERENNIALS</b>			
13	SIX HILLS GIANT CATMINT	GC	1 GALLON CONTAINER
17	DWARF PLUMBAGO	DP	1 GALLON CONTAINER
3	PINELEAF PENSTEMON	P	1 GALLON CONTAINER
9	MOONSHINE YARROW	MY	1 GALLON CONTAINER
9	CORAL CANYON TWINSPUR	CC	1 GALLON CONTAINER
5	PIKES PEAK PENSTEMON	PP	1 GALLON CONTAINER
8	SILVER SAGE	SS	1 GALLON CONTAINER
<b>GRASSES</b>			
3	REGAL MIST MUHLY	RM	1 GALLON CONTAINER
3	AUTUMN GLOW MUHLY	AG	1 GALLON CONTAINER
6	KARL FOERSTER FEATHER REED GRASS	KF	1 GALLON CONTAINER
2	AUTUMN GLOW MUHLY	AG	1 GALLON CONTAINER
3	HEAVY METAL SWITCH GRASS	HM	1 GALLON CONTAINER



**GENERAL NOTES**

- IRRIGATION FOR NEW PLANTING SHALL BE CONNECTED TO THE EXISTING AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THIS PROPOSED SYSTEM SHALL MATCH THE EXISTING SYSTEM BY HAVING THE LATERAL LINES AT THE SAME 12" MINIMUM BURIAL DEPTH, USING 1/2" RISERS.
- THE NEW IRRIGATION SYSTEM SHALL BE SIMILAR TO THE EXISTING SYSTEM FROM THE LATEST ADDITION REGARDING THE USE OF LOW GALLONAGE BUBBLER HEADS. SUCH LOW GALLONAGE BUBBLER HEADS SHALL BE 1/2" RISERS. LANDSCAPE DESIGN AND IRRIGATION SYSTEMS SHALL BE IN COMPLIANCE WITH WATER CONSERVATION ORDINANCE.
- RESPONSIBILITY FOR MAINTENANCE SHALL BE BY THE CITY OF ALBUQUERQUE.
- ALL NEW LANDSCAPED AREAS SHALL RECEIVE MULCH AND FILTER FABRIC MATERIALS THAT MATCH THE EXISTING MATERIALS IN COLOR, DEPTH, AND INSTALLATION SO THAT THE LANDSCAPE LOOKS UNIFORM. MULCH SHALL BE 3/4" SIZE "SANTA FE BROWN" GRAVEL, 4" DEPTH.
- PLANT LOCATIONS AND SIZES SHALL BE AS SHOWN ON THE PLAN AND SCHEDULE.

**REQUIRED VS. PROPOSED LANDSCAPED AREA**

Total Site Area	130,670 SF
Minus Building Area	-23,837 SF
Minus Area of Landscaped Public Right-of-Way	-1,013 SF
<b>Net Site Area</b>	<b>105,820 SF</b>
Required Landscaped Area (20% of Net Site Area)	21,164 SF
<b>Total Landscaped Area Proposed</b>	<b>23,347 SF</b>

**GROUND SURFACE LEGEND**

GRAVEL MULCH COVER	SEMIPIERVIOUS AREAS
PLAYGROUND SAND	SEMIPIERVIOUS AREA
CONCRETE OR ASPHALT PAVING	IMPERVIOUS AREAS

**EXISTING VS. NEW PLANTS**

(Symbol)	EXISTING PLANT TO REMAIN SYMBOL TYPE (NO INITIALS)
(Symbol)	PROPOSED NEW PLANT SYMBOL TYPE (WITH INITIALS INDICATING KIND)



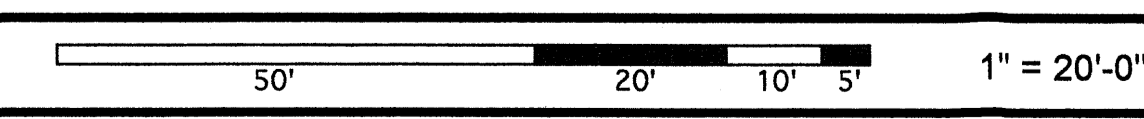
**CITY OF ALBUQUERQUE**  
**CAPITAL IMPLEMENTATION PROGRAM**  
 PROJECT TITLE: **LOS VOLCANES FITNESS CENTER ADDITION**  
 6500 LOS VOLCANES ROAD NW  
 ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: **LANDSCAPE PLAN**

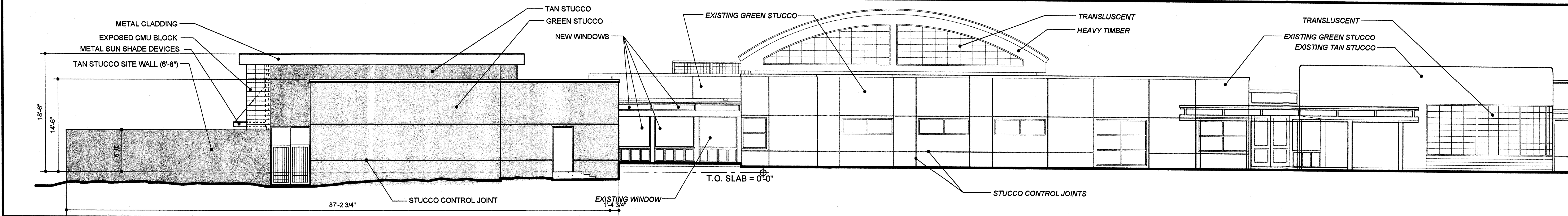
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
		2.06.06	
LAST DESIGN UPDATE			

CITY PROJECT NO. ****	ZONE MAP NO. J-10-Z	DWG. DRB-REV	SHEET 2 OF 4
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**SITE PLAN**



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		SEAL	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK STAKED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
INSPECTOR'S ACCEPTANCE BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
FIELD VERIFICATION BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
DRAWINGS CORRECTED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
MICRO-FILM INFORMATION	DATE	NO.	DATE	NO.	DATE	NO.	DATE
RECORDED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE



AS BUILT INFORMATION	
CONTRACTOR	DATE
WORK STAKED BY	INSPECTOR'S ACCEPTANCE BY
DATE	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
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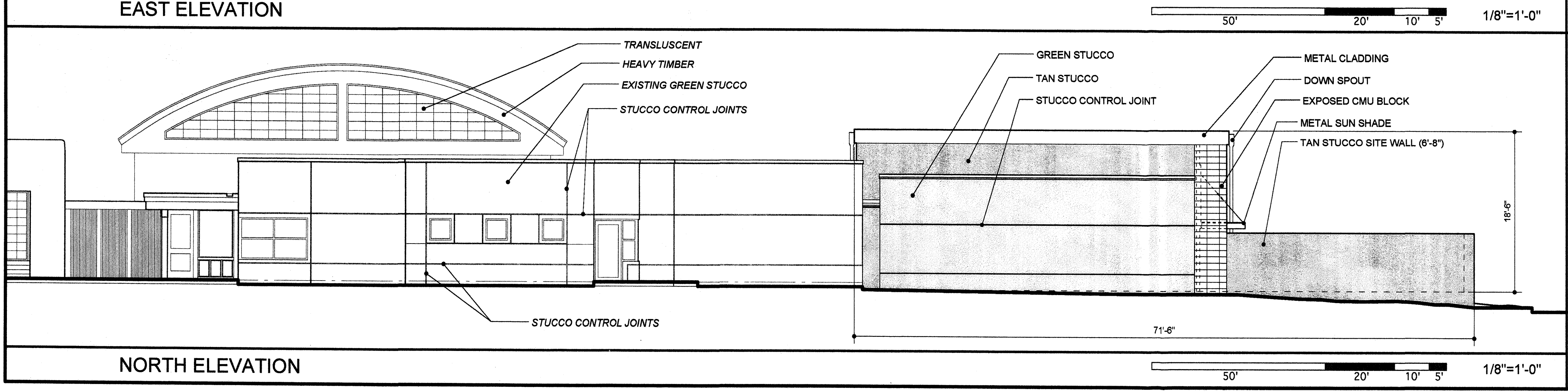
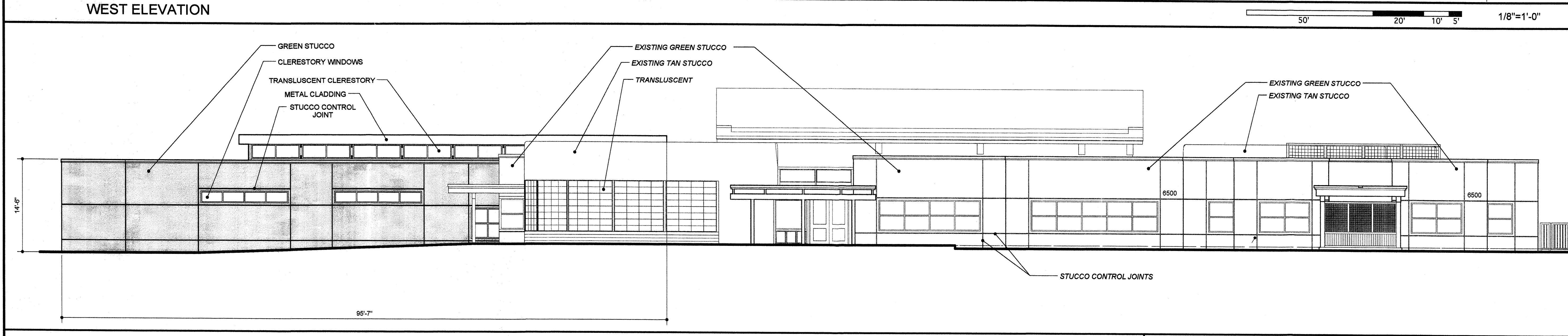
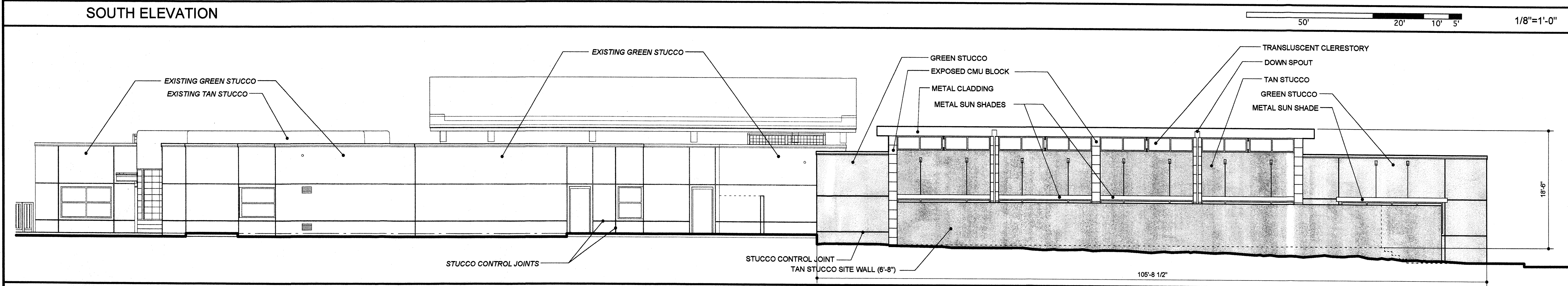
BENCH MARKS	
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES BY	DATE
NO.	

SEAL	
NO.	DATE



REVISIONS	
NO.	DATE

REVISIONS	
NO.	DATE



### SHEET KEYNOTES

1. STUCCO, TAN.
2. STUCCO, GREEN.
3. CONCRETE.
4. SUNSHADES.
5. WOOD STRUCTURE.
6. CLADDING (UNDETERMINED).
7. GLAZING.
8. CMU BLOCK COLUMN.

**CITY OF ALBUQUERQUE**  
CAPITAL IMPLEMENTATION PROGRAM

PROJECT TITLE: **LOS VOLCANES FITNESS CENTER ADDITION**  
6500 LOS VOLCANES ROAD NW  
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: **SITE ELEVATIONS**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR	MO./DAY/YR
		2.06.06	

LAST DESIGN UPDATE

CITY PROJECT NO. ****	ZONE MAP NO. J-10-Z	DWG. DRB-REV	SHEET 3 OF 4
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**Drainage Plan**

The study site is the existing Los Volcanes Senior Center. It is located in the Atrisco Business Park on the south side of Los Volcanes Road between Coors Boulevard and Airport Road, NW., Lot 1-A-2 and contains approximately 3.000 acres. The site is presently developed and is covered by an original Drainage Plan dated March 21, 1990. Modifications were made to the site in 1997 and these changes were covered in the AS-built drawings dated May 21, 1997.

The Master Drainage Plan for the Atrisco Business Park required interim ponding for 100 percent of the 100 year, 24 hour storm volume until a storm drain was built. A storm drain has been built. It was completed in 2005. This storm sewer will allow free discharge of the fully developed flows from the site and eliminate the need for ponding. The storm drain facility is a 60" RCP in Los Volcanes Road.

Construction plans show a storm sewer manhole near the center of the west driveway for Los Volcanes Senior Center. The manhole is north of the centerline of Los Volcanes. Plans show a 30" RCP to the Senior Center. The pipe extends 43.5' south of the manhole at a slope of 0.0036 ft./ft. Invert elevation at the end of the pipe is shown as 5092.26'.

Off-site flows have no impact on the proposed development. Flows from the north are blocked by Los Volcanes Road. There is a Police Substation immediately east of the property that has a berm and ponding area to prevent water from flowing west. Flows from the south and west are prevented from contributing flows to the site by existing grades. All on-site flows are diverted around the existing building and are transported to the pond at the southwest corner of the site. This pond will be replaced by a catch basin and storm sewer to Los Volcanes Road. The drainage changes in this project will be to fill the ponding area and construct a drop inlet and additional parking. The fitness center will be built in an existing parking area and will not change the runoff volume or flow.

**Existing Drainage**

Excess precipitation calculated according to DPM Section 22.2, Hydrology, is shown on the As-Built Plan for the site dated 5/21/97. The table from that drawing is repeated below.

Land Use	Area Ac.	Factor	Volume	Factor	Q
A					
B	0.40	0.67	0.27	2.03	0.81
C					
D	2.60	1.97	5.12	4.37	11.36
					12.17

Peak Discharge in existing the property is 12.17 cfs. Peak Volume is 0.449 ac.ft.

Filling the pond area converts the 80' x 80' drainage area to parking and reduces Land Treatment B and increases land Treatment D by equal amounts. The change is shown in the following table.

Land Use	Area Ac.	Factor	Volume	Factor	Q
A					
B	0.25	0.67	0.17	2.03	0.51
C					
D	2.75	1.97	5.41	4.37	12.01
					12.52

80' to 80' to Ponding Area = 0.147 acres

Peak Discharge, with the changes is 12.52 cfs. Peak Volume is 0.451 ac.ft. The 12.52 cfs will be channeled to the 30" pipe in the west driveway and will be collected in a Type "D" drop inlet at the low point in the parking lot.

Pipe Size and Cover: The existing 30" stub can be extended to the drop inlet. The minimum slope for 12.52 cfs in a 30" RCP is 0.0009. If we use this slope and extend the 30" RCP from the property line to the drop inlet, the cover on the pipe is about 2.33'.

**Legal Description**

That certain parcel of land situated within projected Section 15, T10N, R2E, NMPM, Town of Atrisco Grant, City of Albuquerque, Bernalillo County, New Mexico comprised of a portion of Lot 1 of Tract N and Tract O, as shown and designated on the plat entitled "Land Division Tracts A, D, M, N, S-1 and S-2 of the Plat of Unit No. 2, Atrisco Business Park", as filed in the office of the Bernalillo County Clerk on September 12, 1873 in Book D5, Folio 181, and being more particularly described as follows:

Beginning at the northeast corner of the parcel herein described said point being common to the northwest corner of Lot 1-B as shown on the "Summary Plat of Lot 1 of Tract N and Tract O, Unit 2, Atrisco Business Park" as filed in the office of the Bernalillo County Clerk on August 18, 1982 in Book C20, Folio 17; thence,

S 14° 59' 00" E, a distance of 363.52 feet along the westerly boundary of Lot 1B to the southeast corner; thence,

S 75° 01' 00" W, a distance of 349.95 feet to the southwest corner; thence,

N 14° 59' 00" W, a distance of 375.00 feet to the northwest corner; thence,

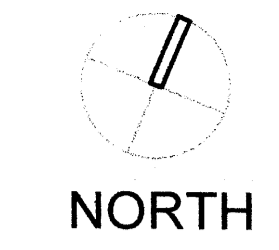
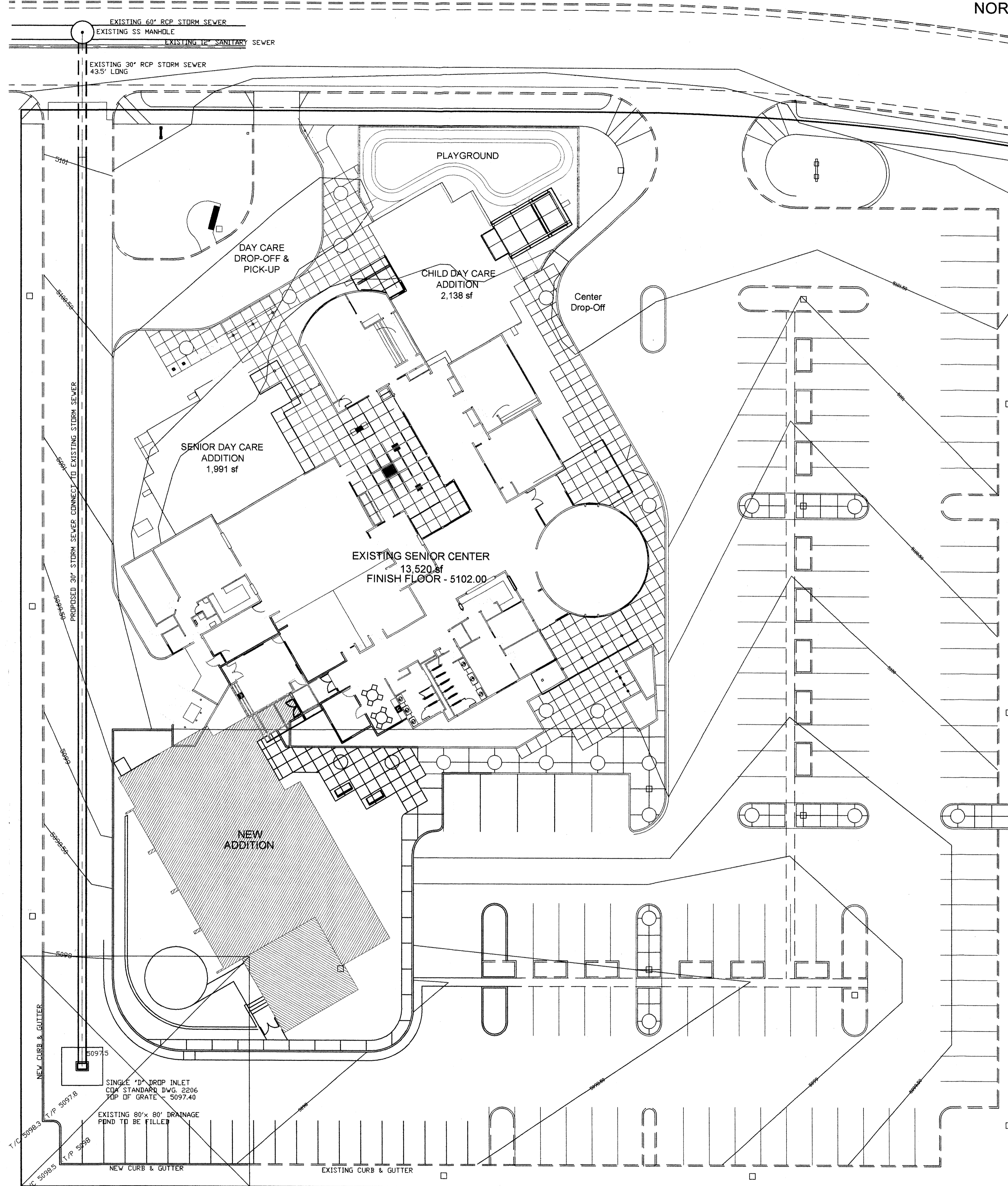
N 75° 01' 00" E, a distance of 204.80 feet along the southerly right-of-way line of Los Volcanes Road to a point of tangency; thence,

Easterly, a distance of 145.76 feet along the arc of a curve to the right (said arc having a radius of 922.93 feet, and a central angle of 9° 02' 56") to the northeast corner and point of beginning of the parcel of land herein described.

The above described parcel of land contains 3.000 acres, more or less.

**Flood Map**

The area is shown on the FIRM Map 350002 0027C for the City of Albuquerque. The 100 Year Flood Plan is at contour 5101.



AS BUILT INFORMATION	
CONTRACTOR	NO.
WORK STAKED BY	DATE
INSPECTORS ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE

BENCH MARKS	
BM 2-J-10 CORNER OF CLOUDCROFT & COORS ELEVATION 5100.42 MSL	
TBM CORNER OF PORCH AT EAST ENTRANCE - 5102.00 = FF EXISTING BUILDING	

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	
NO.	



SEAL	
NO.	DATE
BY	
REVISIONS	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE

CITY OF ALBUQUERQUE  
CAPITAL IMPLEMENTATION PROGRAM

PROJECT TITLE: LOS VOLCANES FITNESS CENTER ADDITION  
6500 LOS VOLCANES ROAD NW  
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR	MO./DAY/YR
		08.26.06	

LAST DESIGN UPDATE

CITY PROJECT NO. \*\*\*\* ZONE MAP NO. J-10 DWG. D-1 DRB REV SHEET 4 OF 4

SITE PLAN

1" = 20'-0"

**LOS VOLCANES SENIOR CENTER - Zone Atlas Map J-10**

**Drainage Plan**

The study site is the existing Los Volcanes Senior Center. It is located in the Atrisco Business Park on the south side of Los Volcanes Road between Coors Boulevard and Airport Road, NW., Lot 1-A-2 and contains approximately 3,000 acres. The site is presently developed and is covered by an original Drainage Plan dated March 21, 1990. Modifications were made to the site in 1997 and these changes were covered in the As-built drawings dated May 21, 1997.

The Master Drainage Plan for the Atrisco Business Park required interim ponding for 100 percent of the 100 year, 24 hour storm volume until a storm drain was built. A storm drain has been built. It was completed in 2005. This storm sewer will allow free discharge of the fully developed flows from the site and eliminate the need for ponding. The storm drain facility is a 60" RCP in Los Volcanes Road.

Construction plans show a storm sewer manhole near the center of the west driveway for Los Volcanes Senior Center. The manhole is north of the centerline of Los Volcanes Road. Plans show a 30" RCP to the Senior Center. The pipe extends 43.5' south of the manhole at a slope of 0.0036 ft./ft. Invert elevation at the end of the pipe is shown as 5092.28'.

Off-site flows have no impact on the proposed development. Flows from the north are blocked by Los Volcanes Road. There is a Police Substation immediately east of the property that has a berm and ponding area to prevent water from flowing west. Flows from the south and west are prevented from contributing flows to the site by existing grades. All on-site flows are diverted around the existing building and are transported to the pond at the southwest corner of the site. This pond will be replaced by a catch basin and storm sewer to Los Volcanes Road. The drainage changes in this project will be to fill the ponding area and construct a drop inlet, and add additional parking. The fitness center will be built in an existing parking area and will not change the runoff volume or flow.

**Existing Drainage**

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C					
D	2.60	1.97	5.12	4.37	11.36
					12.17

Peak Discharge for the existing property is 12.17 cfs. Peak Volume is 0.449 ac.ft.

**Revised Drainage**

Filling the pond area converts the 80' x 80' drainage area to parking and reduces Land Treatment B and increases land Treatment D by equal amounts. The change is shown in the following table.

Land Use	Area Ac.	Factor	Volume	Factor	Q
A					
B	0.25	0.67	0.17	2.03	0.51
C					
D	2.75	1.97	5.41	4.37	12.01
					12.52

80' to 80' to Ponding Area = 0.147 acres

Peak Discharge, with the changes is 12.52 cfs. Peak Volume is 0.451 ac.ft. The 12.52 cfs will be channeled to the 30" pipe in the west driveway and will be collected in a Type "D" drop inlet at the low point in the parking lot.

**Pipe Size and Cover**

The existing 30" stub can be extended to the drop inlet. The minimum slope for 12.52 cfs in a 30" RCP is 0.0009. If we use this slope and extend the 30" RCP from the property line to the drop inlet, the cover on the pipe is about 2.33'.

**Legal Description**

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Beginning at the northeast corner of the parcel herein described said point being common to the northwest corner of Lot 1-B as shown on the "Summary Plat of Lot 1 of Tract N and Tract O, Unit 2, Atrisco Business Park" as filed in the office of the Bernalillo County Clerk on August 18, 1982 in Book C20, Folio 17; thence,

S 14° 59' 00" E, a distance of 363.52 feet along the westerly boundary of Lot 1B to the southeast corner, thence,

S 75° 01' 00" W, a distance of 349.95 feet to the southwest corner, thence,

N 14° 59' 00" W, a distance of 375.00 feet to the northwest corner, thence,

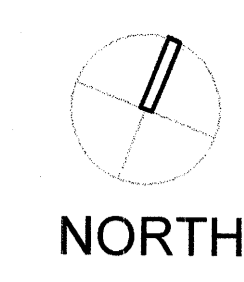
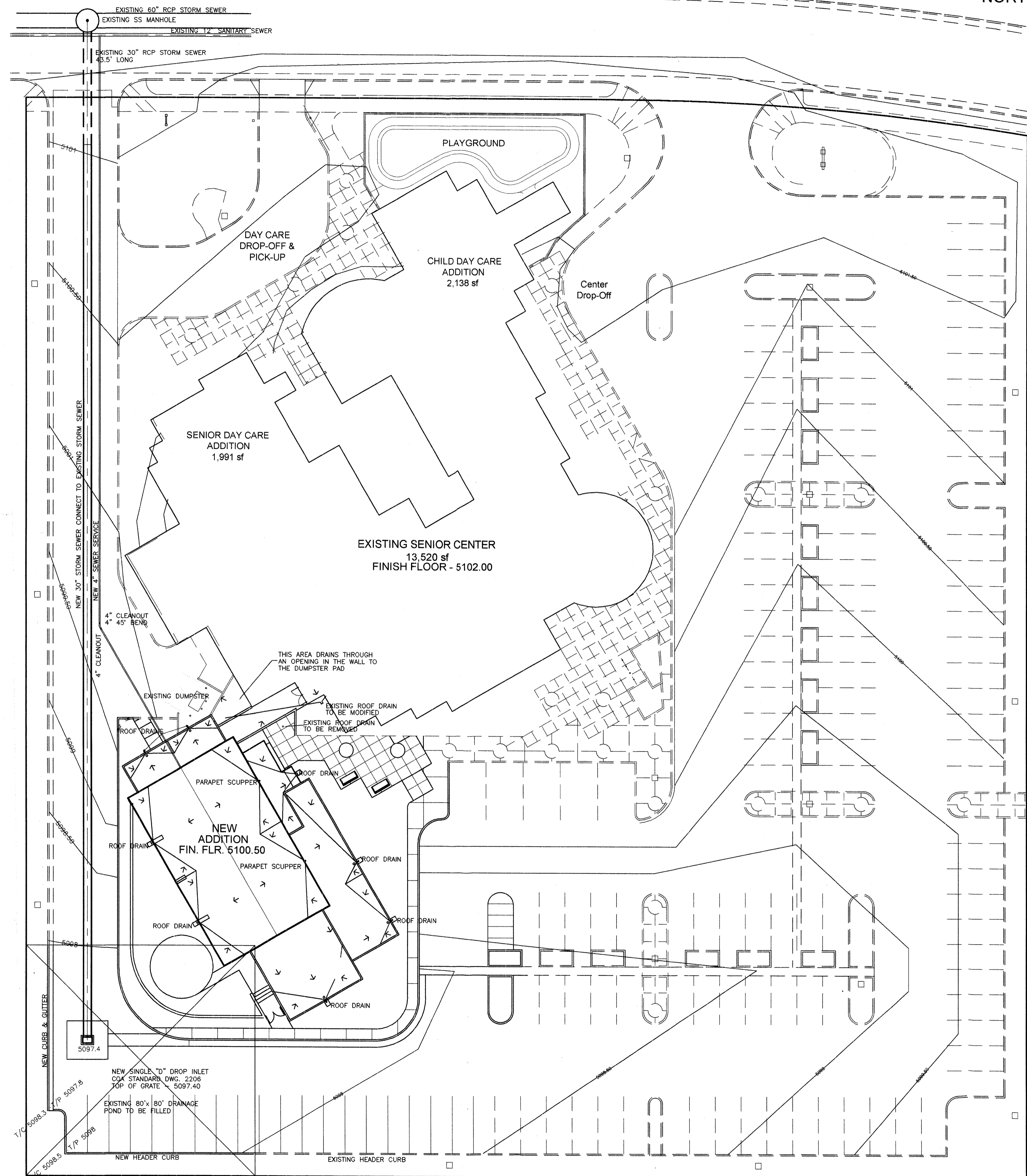
N 75° 01' 00" E, a distance of 204.80 feet along the southerly right-of-way line of Los Volcanes Road to a point of tangency, thence,

Easterly, a distance of 145.76 feet along the arc of a curve to the right (said arc having a radius of 922.93 feet, and a central angle of 9° 02' 58") to the northeast corner and point of beginning of the parcel of land herein described.

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**Flood Map**

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AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		SEAL		REVISIONS		DESIGNED BY		DRAWN BY		CHECKED BY	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
BM 2+10 CORNER OF CLOUDCROFT & COORS ELEVATION 5100.42 MSL TBM CORNER OF PORCH AT EAST ENTRANCE - 5102.00 = FF EXISTING BUILDING															
CITY OF ALBUQUERQUE CAPITAL IMPLEMENTATION PROGRAM PROJECT TITLE: LOS VOLCANES FITNESS CENTER ADDITION 6500 LOS VOLCANES ROAD NW ALBUQUERQUE, NEW MEXICO DRAWING TITLE: DRAINAGE PLAN															
DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		MO./DAY/YR.		MO./DAY/YR.		CITY PROJECT NO.		ZONE MAP NO.		DWG.		SHEET	
				12.11.06				7620-02		J-10		C-1		4 of 63	

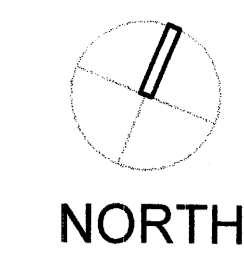
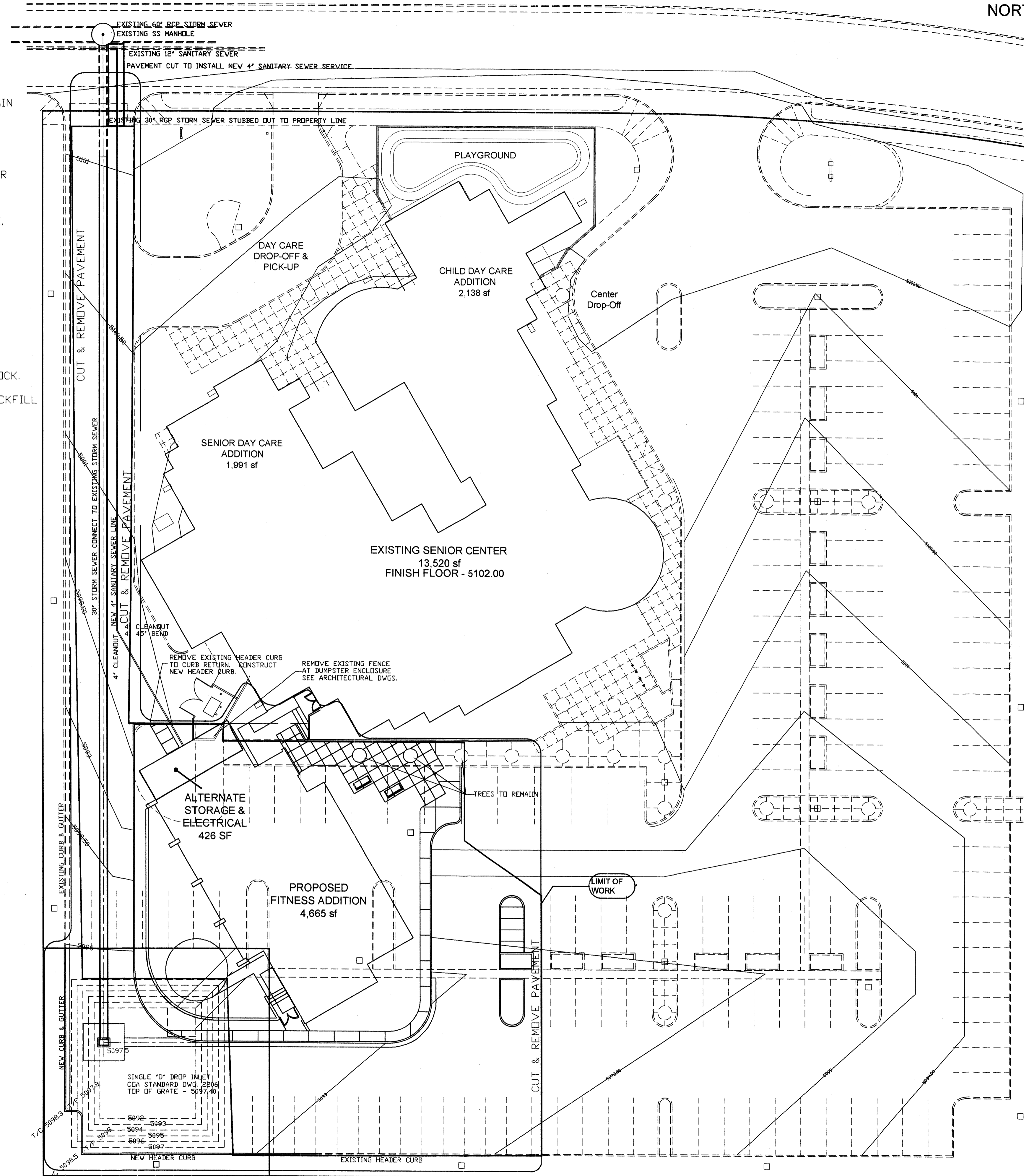
- DEMOLITION AND REMOVALS (QUANTITIES INDICATED ARE APPROXIMATE CONTRACTOR TO VERIFY)**
- CHAIN LINK FENCE AROUND HOLDING POND IS TO BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
  - CONCRETE RUNDOWN AND SPLASH PAD.
  - CONCRETE CURB AND GUTTER AND PARKING ISLANDS ON THE NORTH SIDE OF POND 164 LF.
  - WALL AND FOUNDATION AT DUMPSTER ENCLOSURE IS TO BE CUT BACK AND REMOVED WITH ALTERNATE NO. 1.
  - SIDEWALK ALONG THE SOUTH SIDE OF THE BUILDING 102 SY.
  - NOTE THAT THERE ARE THREE (3) TREES TO REMAIN THAT WILL REQUIRE PROTECTION DURING CONSTRUCTION.
  - PAVEMENT REMOVAL AREA FOR THE STORM DRAIN 696 SY.
  - PAVEMENT REMOVAL AREA FOR THE BUILDING & SIDEWALK 1730 SY.
  - CITY STREET PAVEMENT TO BE REMOVED FOR THE SEWER LINE CONNECTION WILL BE 17 SY.
  - A BUILDING ROOF DRAIN TO POND NEEDS TO BE RELOCATED TO DRAIN TO THE DROP INLET.
  - BACK FILL FOR POND - 520 CU YDS

- ORDER OF CONSTRUCTION**  
IN ORDER TO MAINTAIN DRAINAGE WE RECOMMEND THE FOLLOWING ORDER OF CONSTRUCTION.
- VERIFY THE LOCATION AND INVERT OF THE 30" RCP STUB AND 12" SANITARY SEWER.
  - REMOVE ASPHALT FOR 30" PIPE CONSTRUCTION AND SEWER SERVICE. INSTALL 30" RCP AND SEWER SERVICE.
  - ROUTE THE EXISTING ROOF DRAIN TO NEW DROP INLET.
  - CONSTRUCT DROP INLET.
  - BACK FILL POND AROUND DROP INLET.
  - REMOVE ASPHALT AND BEGIN BUILDING CONSTRUCTION.

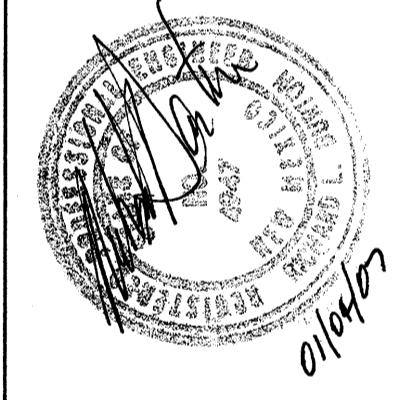
**NOTES**  
BARROW MATERIAL SHALL MEET THE REQUIRMENTS OF COA STANDARD SPECIFICATIONS SECTION - 205.

MATERIAL TO BE DISPOSED OF BY THE CONTRACTOR SHALL INCLUDE CONCRETE CURB & GUTTER AND SIDEWALK, ASPHALT AND CONCRETE BLOCK.

BASE COURSE REMOVED FROM THE PAVED SECTON MAY BE USED AS BACKFILL FOR THE POND.



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		SEAL	
CONTRACTOR	DATE	BM 2-J-10 CORNER OF CLOUDCROFT & CDD'S ELEVATION 5100.42 MSL	DATE	FIELD NOTES	NO.	BY	NO.
		BM 2-J-10 CORNER OF PORCH AT EAST ENTRANCE = 5102.00 = FF EXISTING BUILDING					
WORK STAKED BY	DATE						
INSPECTOR'S ACCEPTANCE BY	DATE						
FIELD VERIFICATION BY	DATE						
DRAWINGS CORRECTED BY	DATE						
MICRO-FILM INFORMATION							
RECORDED BY	DATE						
NO.							



**CITY OF ALBUQUERQUE  
CAPITAL IMPLEMENTATION PROGRAM**

PROJECT TITLE: **LOS VOLCANES FITNESS CENTER ADDITION  
6500 LOS VOLCANES ROAD NW  
ALBUQUERQUE, NEW MEXICO**

DRAWING TITLE: **DEMOLITION, REMOVAL & FILL PLAN**

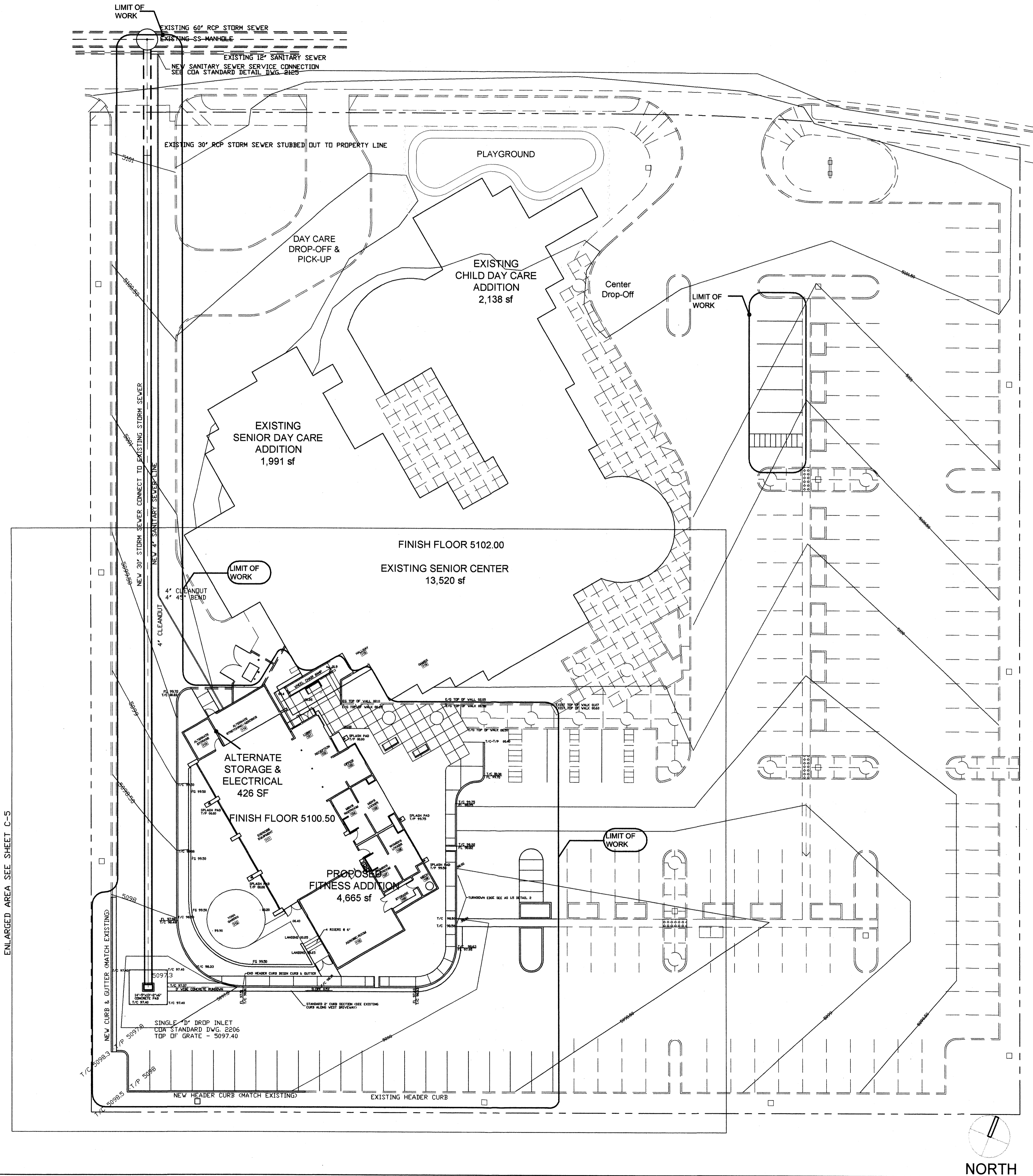
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR	MO./DAY/YR
		12.13.06	

LAST DESIGN UPDATE

CITY PROJECT NO.	ZONE MAP NO.	DWG.	SHEET
7620-02	J-10	C-2	5 OF 63

QUANTITIES (QUANTITIES ARE APPROXIMATE CONTRACTOR TO VERIFY)

- 1) 30" RCP STORM SEWER 310 LF.
- 2) 4" SEWER SERVICE LINE - 260 LF.
- 3) 4" CLEANOUTS - 2 EACH.
- 4) TYPE "D" DROP INLET - 1 EACH.
- 5) CONCRETE PAD AROUND DROP INLET - 19 SY.
- 6) CONCRETE PADS AROUND CLEAN OUTS - 2 EACH.
- 7) NEW ASPHALT PAVING ON SITE - 1422 SY.
- 8) NEW ASPHALT PAVING FOR STREET PATCH - 17 SY.
- 9) STANDARD CURB & GUTTER - 153 LF.
- 10) CONCRETE SIDEWALK - 108 SY (VERIFY).
- 11) HEADER CURB 293 LF.
- 12) PARKING LOT STRIPES - 380 LF.



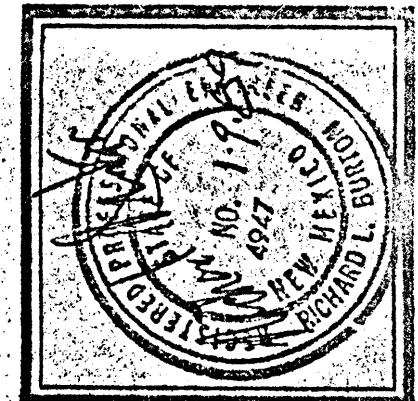
ENLARGED AREA SEE SHEET C-5



CIVIL SITE PLAN

1" = 20'-0"

AS BUILT INFORMATION		CONTRACTOR		DATE	
WORK STAKED BY		INSPECTOR'S ACCEPTANCE BY		DATE	
FIELD VERIFICATION BY		DRAWINGS CORRECTED BY		DATE	
MICRO-FILM INFORMATION		RECORDED BY		DATE	
NO.		NO.		NO.	
BENCH MARKS		BM 2-J-10 CORNER OF CLOUDCROFT & CDD'S ELEVATION 5100.42 MSL		DATE	
SURVEY INFORMATION		DATE TBM CORNER OF PORCH AT EAST ENTRANCE - 5102.00 = FF EXISTING BUILDING		DATE	
FIELD NOTES		BY		DATE	
NO.		NO.		DATE	
SEAL		BY		DATE	
REMARKS		REVISIONS		DATE	
DESIGNED BY		DRAWN BY		CHECKED BY	
NO.		NO.		DATE	
DATE		DATE		DATE	
CITY OF ALBUQUERQUE CAPITAL IMPLEMENTATION PROGRAM					
PROJECT TITLE: LOS VOLCANES FITNESS CENTER ADDITION					
6500 LOS VOLCANES ROAD NW					
ALBUQUERQUE, NEW MEXICO					
DRAWING TITLE: CIVIL SITE PLAN					
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR	MO./DAY/YR		
		12.13.06			
CITY PROJECT NO. 7620-02		ZONE MAP NO. J-10	DWG. C-3	SHEET 6 OF 63	



**LOS VOLCANES SENIOR CENTER**  
ALBUQUERQUE, NEW MEXICO

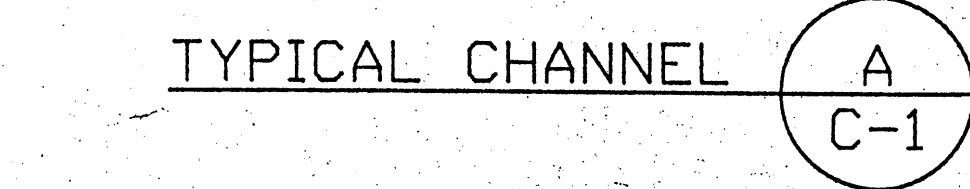
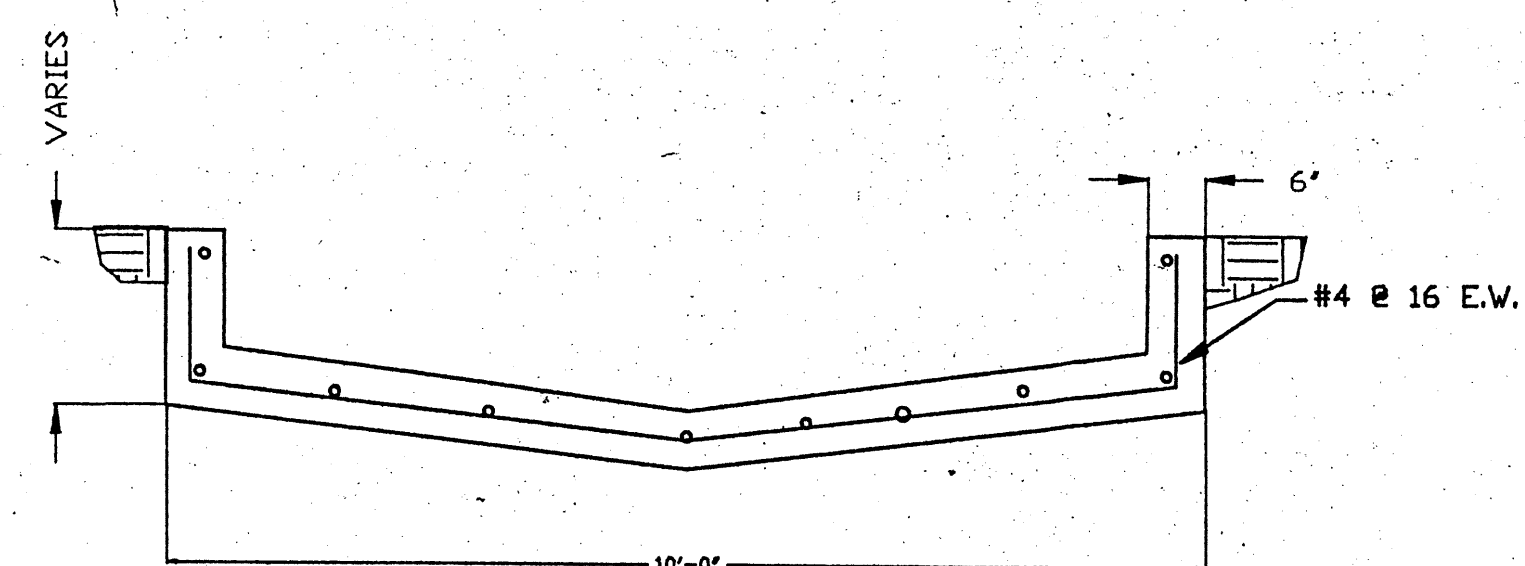
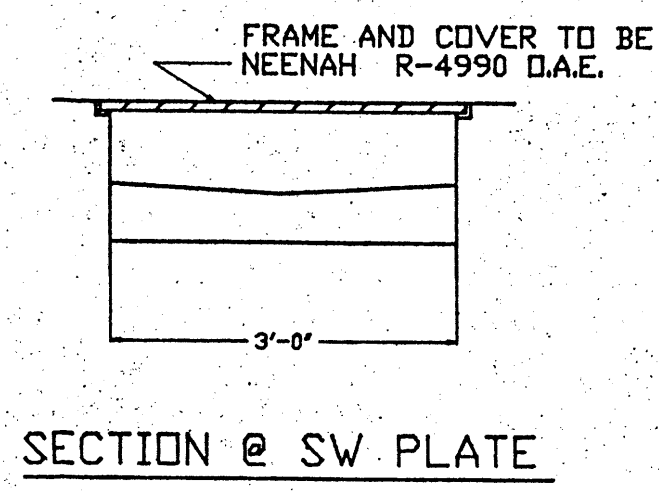
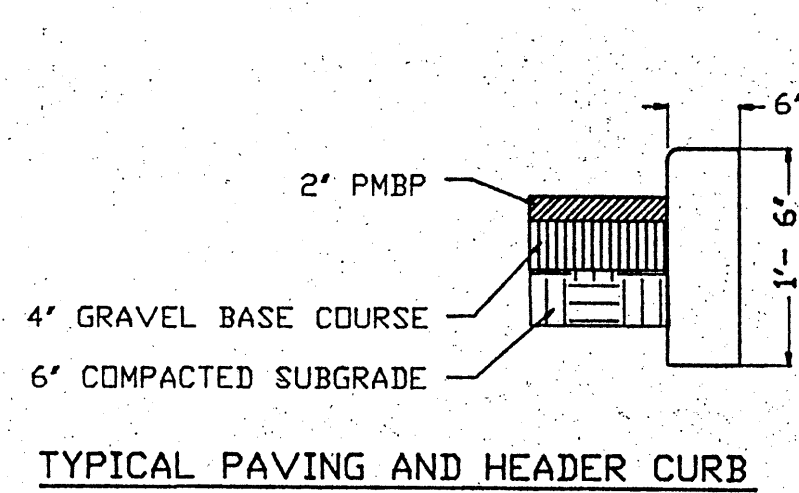
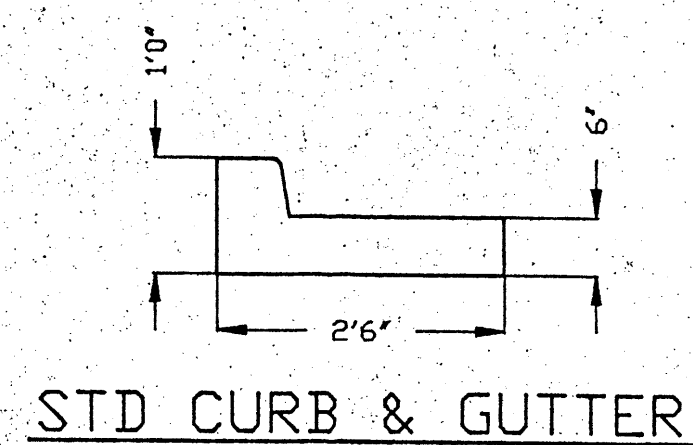
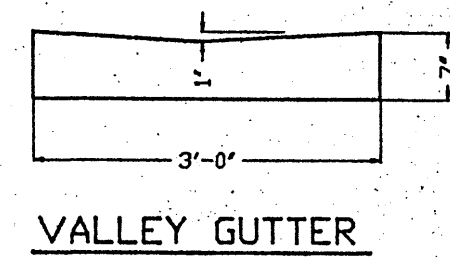
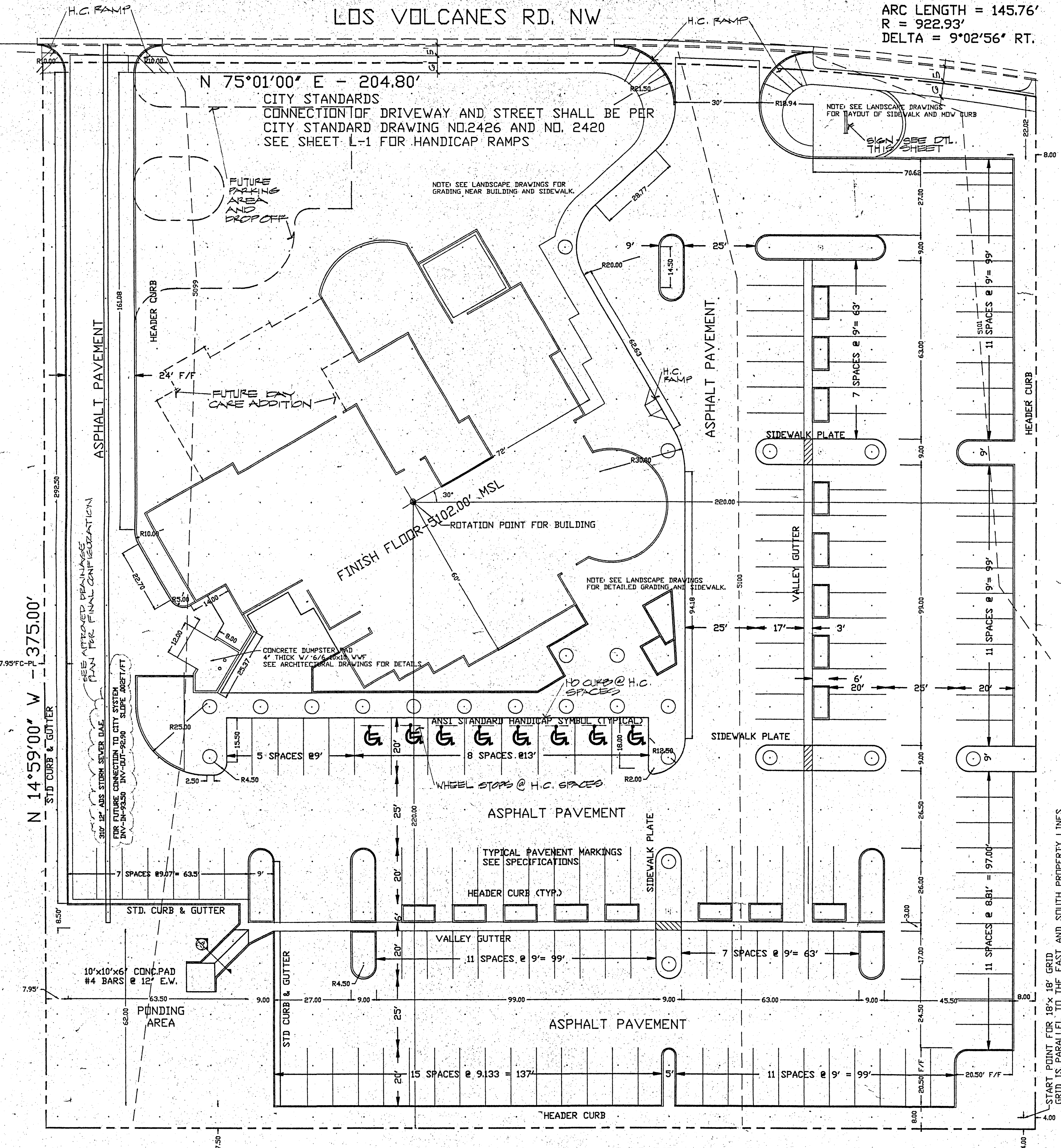
**MAHLMAN & MILES ARCHITECTS**  
414-1/2 CENTRAL SE #4  
ALBUQUERQUE, NEW MEXICO 87102 / 505-243-0101

**C-2**  
3 of 49

ARC LENGTH = 145.76'  
R = 922.93'  
DELTA = 9°02'56" RT.

LOS VOLCANES RD. NW

N 75°01'00" E - 204.80'  
CITY STANDARDS  
CONNECTION OF DRIVEWAY AND STREET SHALL BE PER  
CITY STANDARD DRAWING NO.2426 AND NO. 2420  
SEE SHEET L-1 FOR HANDICAP RAMPS



NOTE: SEE PLANTING PLAN FOR SITE LIGHTING

**File No. Z-88-2**  
I certify that this Site Development Plan is in accordance with the Environmental Planning Commission's Decision of January 22, 1988, and that Conditions 1, 2, 3, 4 and 5 have been satisfied.

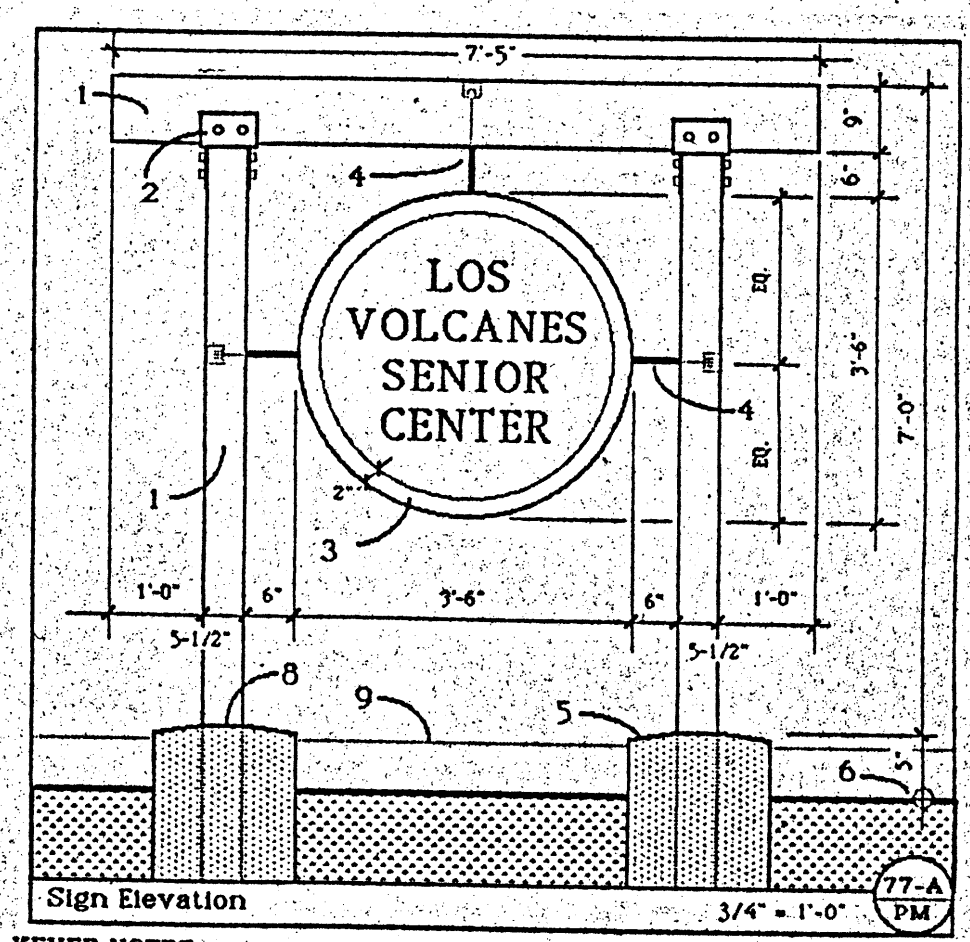
*Jack Cloud* 2/1/89  
Planning Director Date

Approved as to Requirements:  
*Jack Regan* 2/1/89  
City Engineer - AMAFCA Date

*W. H. ...* 1-24-89  
Water Resources Date

*David W. Hansen* 1-24-89  
 Parks and Recreation Date

*David W. Hansen* 1/24/89  
Traffic Date



**KEYED NOTES**

1. 1/2" x 1/2" x 9' laminated timber lintel on 6 x 6 wood columns.
2. Steel connection similar to match wood "Teech" column/beam connections, see Structural.
3. 3'-6" x 8" clear anodized aluminum "sign box", .080 aluminum face plate with 2" x 2" milled aluminum channel perimeter; provide aluminum internal stiffeners as required for sturdy construction. Counter-sink all screwed connections. 4" high vinyl lettering (Times).
4. 3/4" plated steel round anchored for rigid connection to internal stiffeners within "sign box" extend thru column as shown and anchor with threaded end and counter-sunk double nut; plug and seal for complete weathertightness.
5. 1'-6" x 4'-6" deep concrete footing, see Structural. Slope top 1" as shown.
6. Grade, see Grading Plan.
7. Column base connector, see Structural.
8. Line of notch dressing shown dashed.
9. See Detail 77-A/PM for stainless column footing. CONSTRUCTOR DETAIL NO. 77-A/PM

SCALE 1/2" = 1'-0"

**LEGEND** < FOR SITE & GRADING PLANS >

EXISTING CURB & GUTTER	=====
NEW CURB & GUTTER	=====
HEADER CURB	=====
TOP OF CURB OR CONCRETE	T/C
TOP OF WALK	T/W
EXISTING SPOT ELEVATION	98.83
NEW SPOT ELEVATION	99.70
TOP OF PAVEMENT	-T/P
EXISTING GROUND ELEVATION	E/G

START POINT FOR 18' x 18' GRID  
GRID IS PARALLEL TO THE EAST AND SOUTH PROPERTY LINES



SITE PLAN

SCALE 1" = 20'

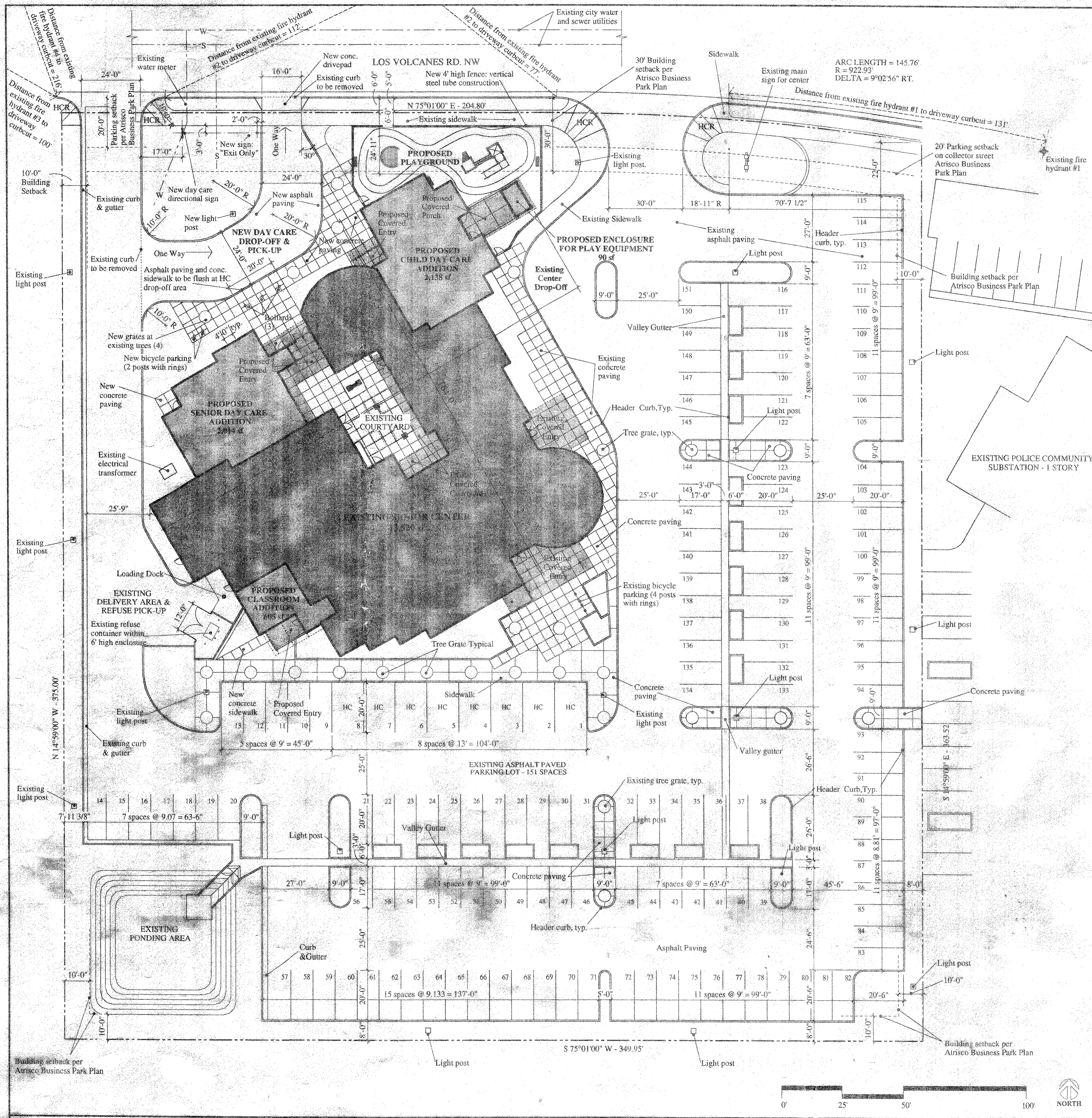
S 75°01'00" W - 349.95'

N 14°59'00" W - 375.00'

S 14°59'00" E - 363.52'

DRB-88-065  
SHEET 1 OF 3





**SITE DATA**

**Legal Description:**  
 Lot 1-A-2, Unit 2 Atrisco Business Park (SP-86-420), located on the south side of Los Volcanes Road, between Coors Boulevard, NW and Airport Road, NW containing approximately 3.0 acres.

**Building Floor Areas:**  
 Existing Senior Center: 13,520 sf  
 Proposed Senior Day Care Addition: 2,014 sf  
 Proposed Classroom Addition: 605 sf  
 Proposed Child Day Care Addition: 2,138 sf  
 Proposed Play Equipment Enclosure: 90 sf  
**Total Floor Area Including All Proposed Additions: 18,267 sf**

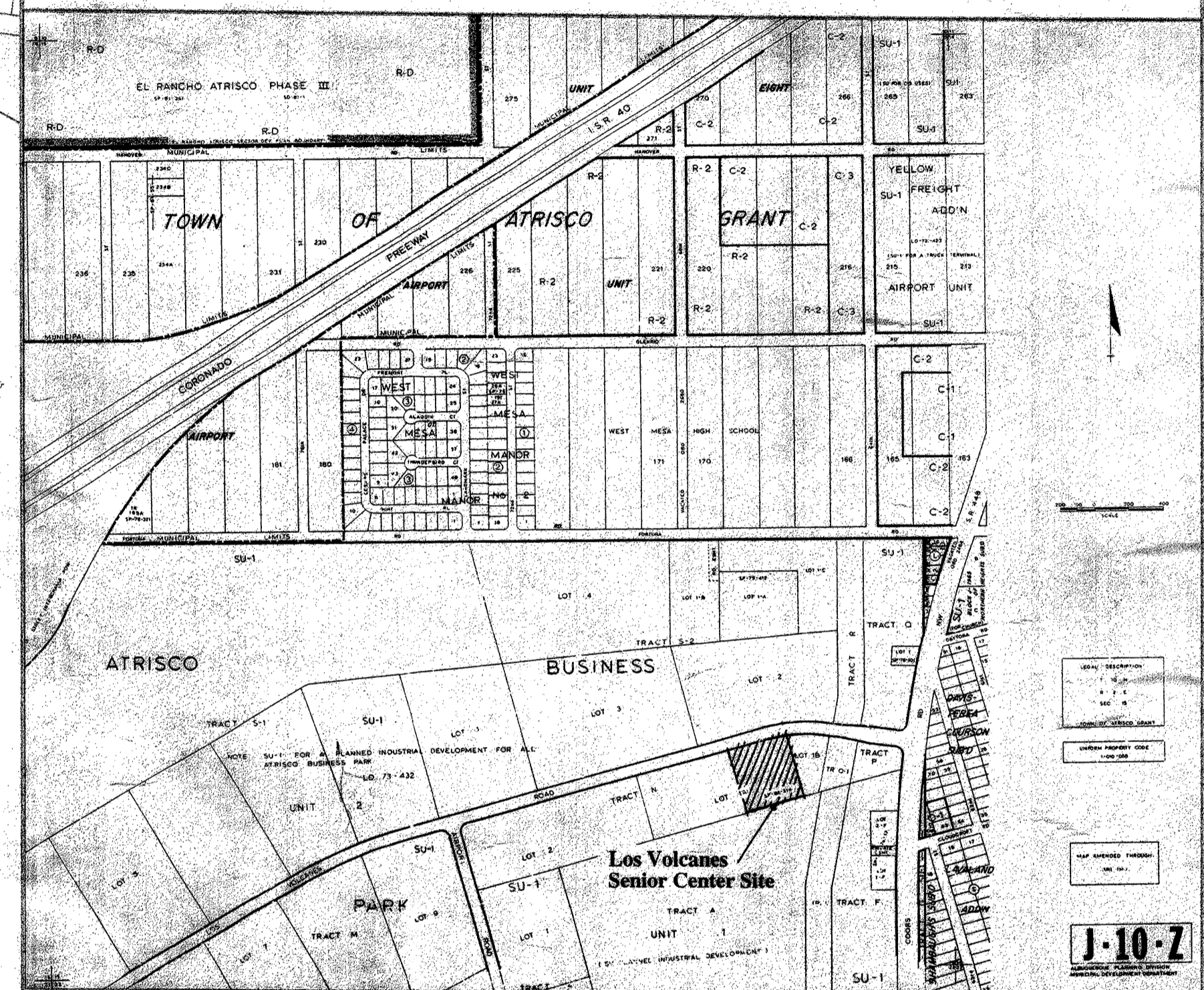
**Vehicle Parking Required Under Albuquerque Comprehensive Zoning Code:**  
 As a public assembly place, the Center is required to have one parking space for each four seats in the Social Hall, so 403 seats / 4 = 101 parking spaces, including handicapped spaces.

Each day care addition is required to have two spaces plus one additional space for each 500 sf of net leasable area. So, the Senior Day Care addition would require 2,014 sf / 500 = 5 + 2 = 7 parking spaces and the Child Day Care addition would require 2,138 / 500 = 5 + 2 = 7 parking spaces.

	Existing	Proposed New	Total Provided	Required
Standard Parking Spaces	143	0	143	107
Handicapped Spaces	8	0	8	8
<b>Total Parking Spaces</b>	<b>151</b>	<b>0</b>	<b>151</b>	<b>115</b>

**Bicycle Parking Data:**  
 One bicycle space is required for each 20 required automobile parking spaces.

	Existing	Proposed New	Total Provided	Required
Bicycle Spaces	4	2	6	6



**VICINITY MAP / ZONE ATLAS MAP** 1" = 400'

**APPROVED AND ACCEPTED BY:**

*Kenn I. Toni* 3-7-96  
 PLANNING DIRECTOR  
 ALBUQUERQUE / BERNALILLO COUNTY DEVELOPMENT REVIEW BOARD  
 DATE

*Paul J. Leguia* 3-6-96  
 CITY ENGINEER  
 DATE

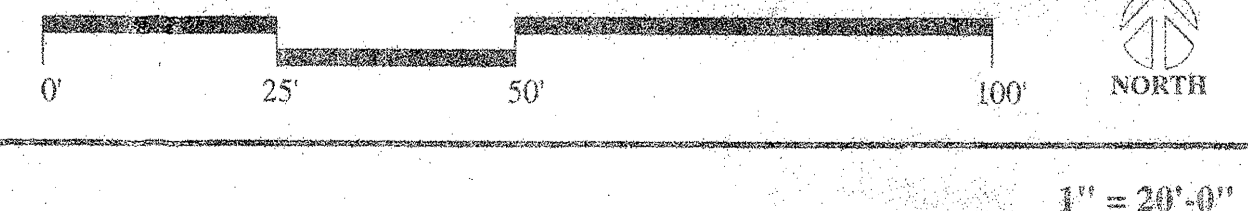
*Paul J. Leguia* 3-5-96  
 A.M.A.E. C.A.  
 DATE

*Paul J. Leguia* 12-19-95  
 TRAFFIC ENGINEER  
 DATE

*Robert W. Kane* 12-19-95  
 UTILITIES DEVELOPMENT DIVISION  
 CITY OF ALBUQUERQUE PUBLIC WORKS  
 DATE

*R. Biderhut* 12/19/95  
 PARKS AND RECREATION / GENERAL SERVICES  
 DATE

**SITE PLAN**



**SITE PLAN FOR DEVELOPMENT PLAN AMENDMENT**

**LOS VOLCANES SENIOR CENTER ADDITIONS & ALTERATIONS**

6500 LOS VOLCANES ROAD NW  
 ALBUQUERQUE, NEW MEXICO  
 DECEMBER 1995

**MAHLMAN & MILES ARCHITECTS**  
 414-1/2 CENTRAL S.E. - #4  
 ALBUQUERQUE, NEW MEXICO 87102 505-243-0101

**SD-1**