



City of Albuquerque

Planning Department

Development & Building Services Division DRAINAGE AND
TRANSPORTATION INFORMATION SHEET (REV 02/2013)

Project Title: La Cuentista Subdivision Unit II Building Permit #: _____ City Drainage #: D10D002

DRB#: 1005182 EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: Rosa Parks Rd NW, Albuquerque, NM

Engineering Firm: Wilson & Company, Inc. Contact: Kristine Susco

Address: 4900 Lang Ave NE Albuquerque, NM 87109

Phone#: 505-348-4191 Fax#: _____ E-mail: kisusco@wilsonco.com

Owner: DR Scott, LLC Contact: Bob Prewitt

Address: 4400 Alameda Blvd Ste E Alb., NM 87113

Phone#: 505-345-2694 Fax#: _____ E-mail: Email: Prewitt@swcp.com

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT -Addendum
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes No Copy Provided

DATE SUBMITTED: 2-26-16

By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, an scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Drainage Report
ADDENDUM 02
for
LA CUENTISTA
SUBDIVISION, UNIT II

FEBRUARY 2016

Addendum to
Drainage Report Addendum 01
for
La Cuentista Subdivision Unit II
December 2014

Addendum to
Drainage Report for
La Cuentista Subdivision Unit II
January 2007

A Supplement to the
Drainage Report for
La Cuentista Subdivision
Date: November 2003

Prepared by:

Wilson & Company, Inc.
4900 Lang Avenue NE
Albuquerque, New Mexico 87109
(505) 348-4000
(505) 348-4072

Wilson & Company File No: 14-600-089-00

To: Abiel Carrillo, P.E.

From: Daniel Aguirre, P.E.

CC: File14-600-089-00

Date: February 26, 2016

File Number: 14-600-089-00

Re: La Cuentista Unit II Drainage Report Addendum 02



Addendum 02 to Drainage Report for La Cuentista Subdivision Unit II, January 2007

This addendum addresses the first flush calculations for the La Cuentista Subdivision Unit II. The existing pond in Unit II is a detention pond which requires some modifications to retain the first flush volume.

Existing Conditions

La Cuentista Subdivision Drainage Report dated November 2003 was prepared for the overall site development. La Cuentista Subdivision Unit II Drainage Report from January 2007 analyzed the Unit II development which required some changes to the routing of basins as in the approved drainage report. Detention Pond 4 was constructed with development of La Cuentista Subdivision Unit I. The detention pond was designed based on the runoff from 150 lots. Current design has reduced the number of lots to 122 residential units. No changes to the detention calculation is required since the original design was more conservative with higher density.

Proposed Improvements

The site drains into the existing detention pond. The existing pond will be re-graded below the outlet invert elevation to retain the first flush volume in the existing pond. The site is about 34.5 acres and includes 18.4 acres of impervious land treatment. See Table 1 – First Flush Volume Calculation.

Table 1 - First Flush Volume Calculation		
Rainfall Depth (in)	Impervious Area (ac)	V _{FF} (ac-ft)
0.34	18.38	0.521

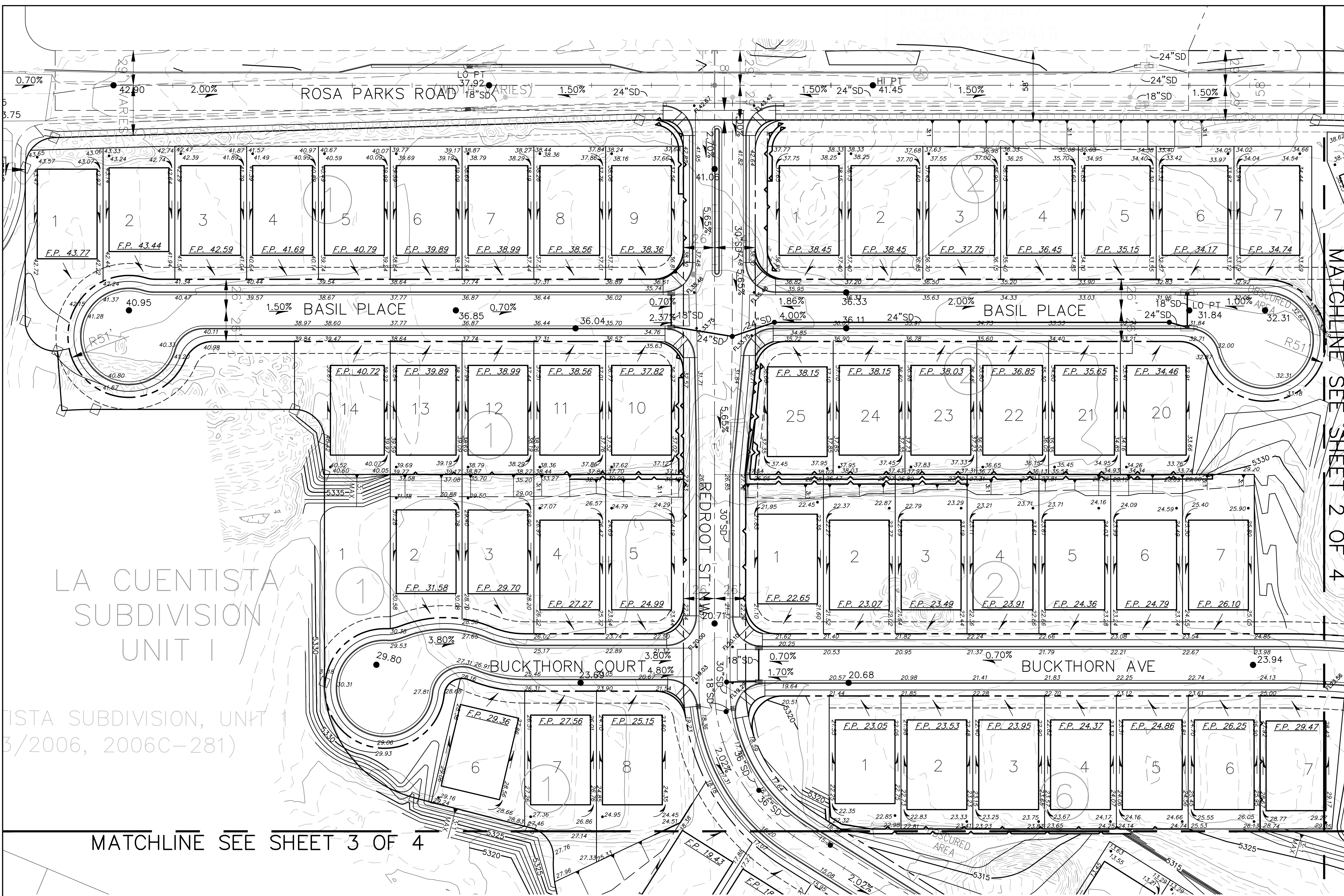
The retention volume provided is 0.592 ac-ft. See Grading and Drainage Plan for details.



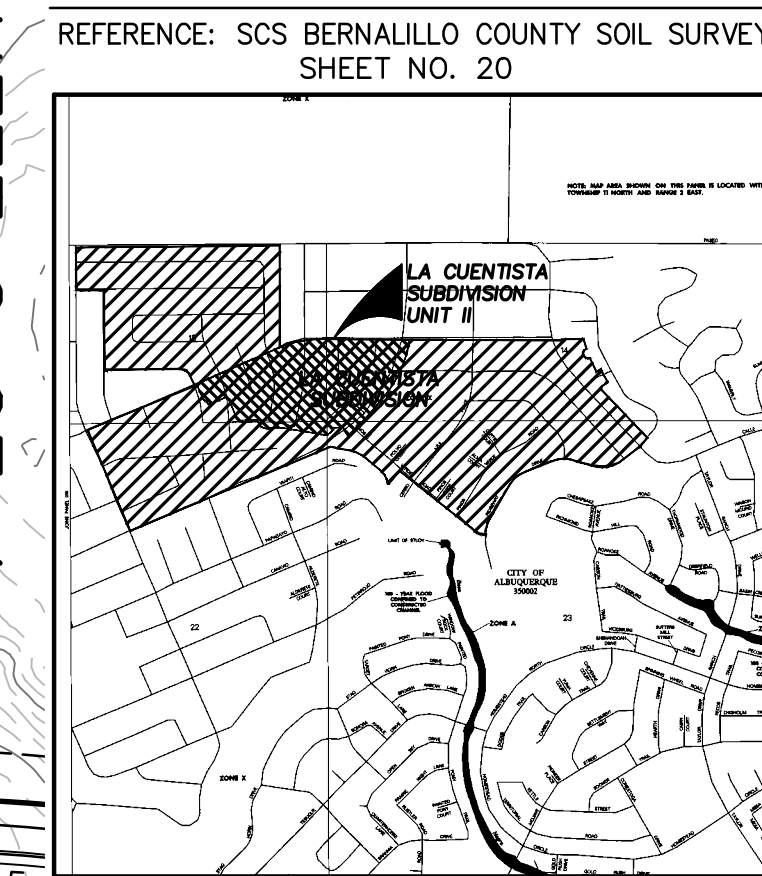
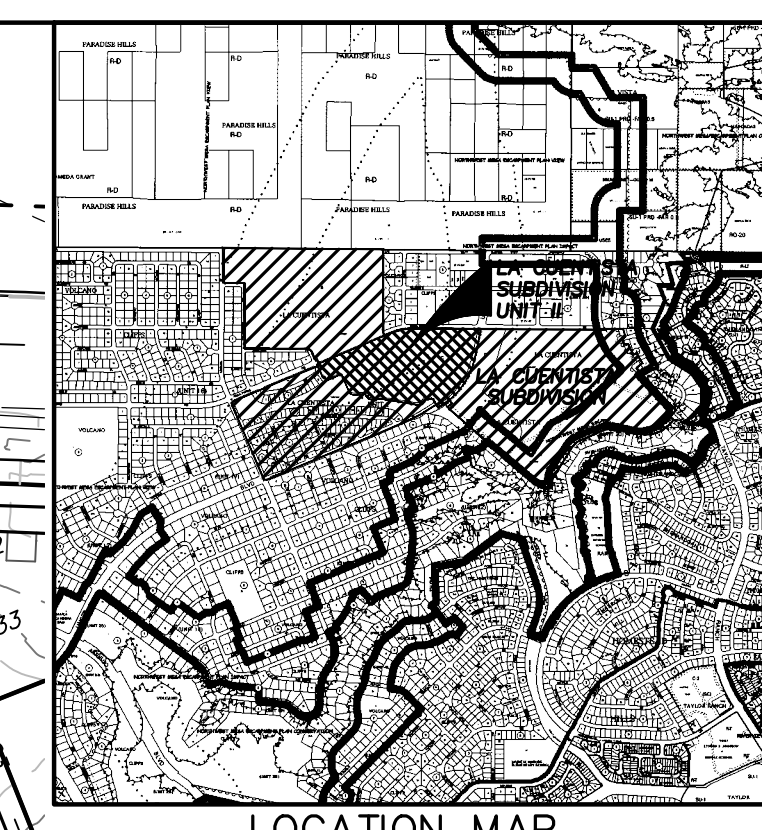
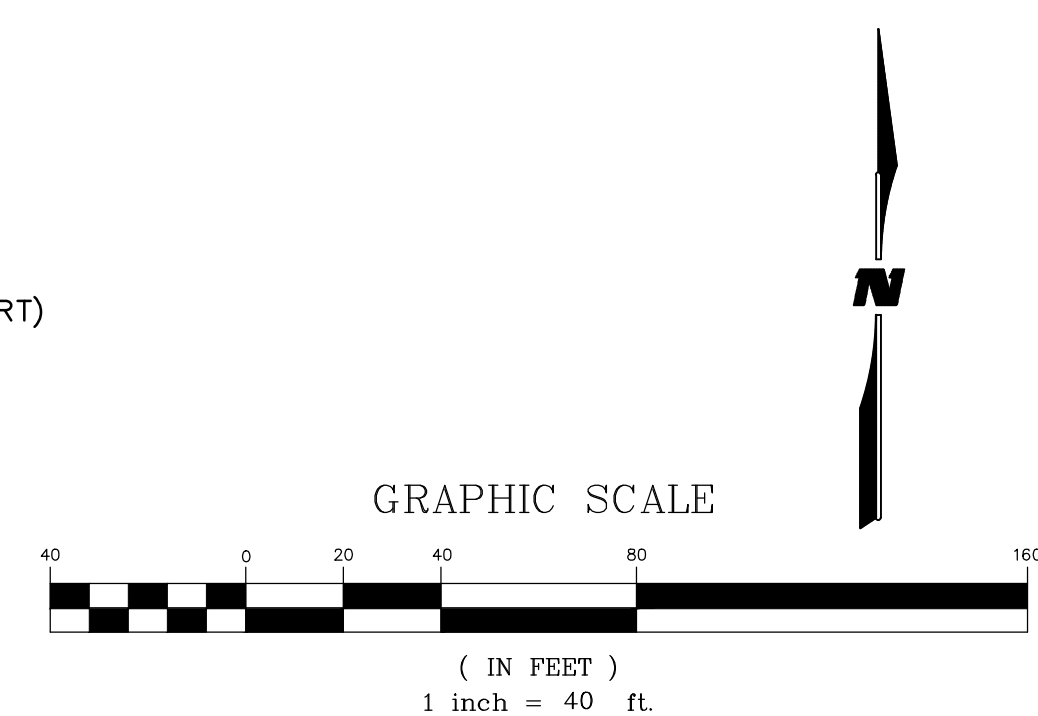
Conclusions and Recommendations

This addendum addresses the addition of retention volume to store the first flush. The pond will be graded below the invert elevation of the pond outlet to retain the required volume.

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- LEGEND**
- RIGHT OF WAY
 - FINISH PAD ELEVATION
 - FLOW DIRECTION
 - SPOT ELEVATION (FLOWLINE LT & RT)
 - LOT GRADING SPOT ELEVATION
 - REAR YARD SLOPE
 - TOE OF SLOPE
 - RETAINING WALL



LEGAL DESCRIPTION
LA CUENTISTA SUBDIVISION, UNIT II

AS-BUILT INFORMATION

CONTRACTOR	DATE
WORK BY	DATE
ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
DRAWINGS BY	DATE
RECORDED BY	DATE

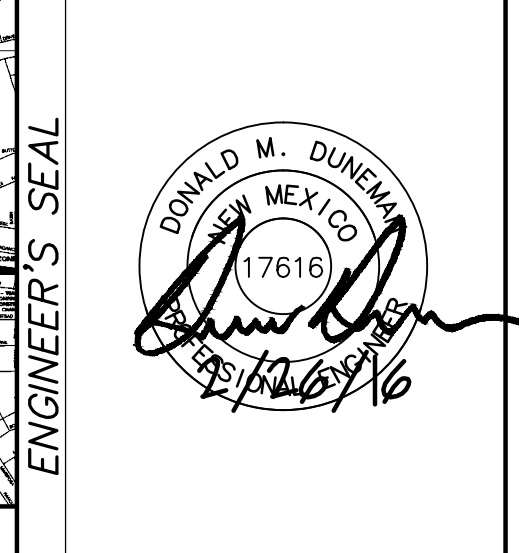
BENCH MARKS

ACS 1" ALUMINUM DISK STAMPED "ACS BM 5-D11", LOCATED 72' ± ESE OF THE CENTER OF THE CUL-DE-SAC AT THE SOUTH END OF RIDGEWAY DR. NW, EPOXIED TO LAVA ROCK IN OUTCROPPING

ELEVATION = 5267.27 FT.
NGVD 29 U.S. FEET

SURVEY INFORMATION

FIELD NOTES	DATE
BY	DATE
AERIAL MAPPING, WCI 05/01	DATE
BOUNDARY, WCI 06/01	DATE
BOUNDARY, WCI 10/01	DATE



NO.	DATE	REVISIONS	BY

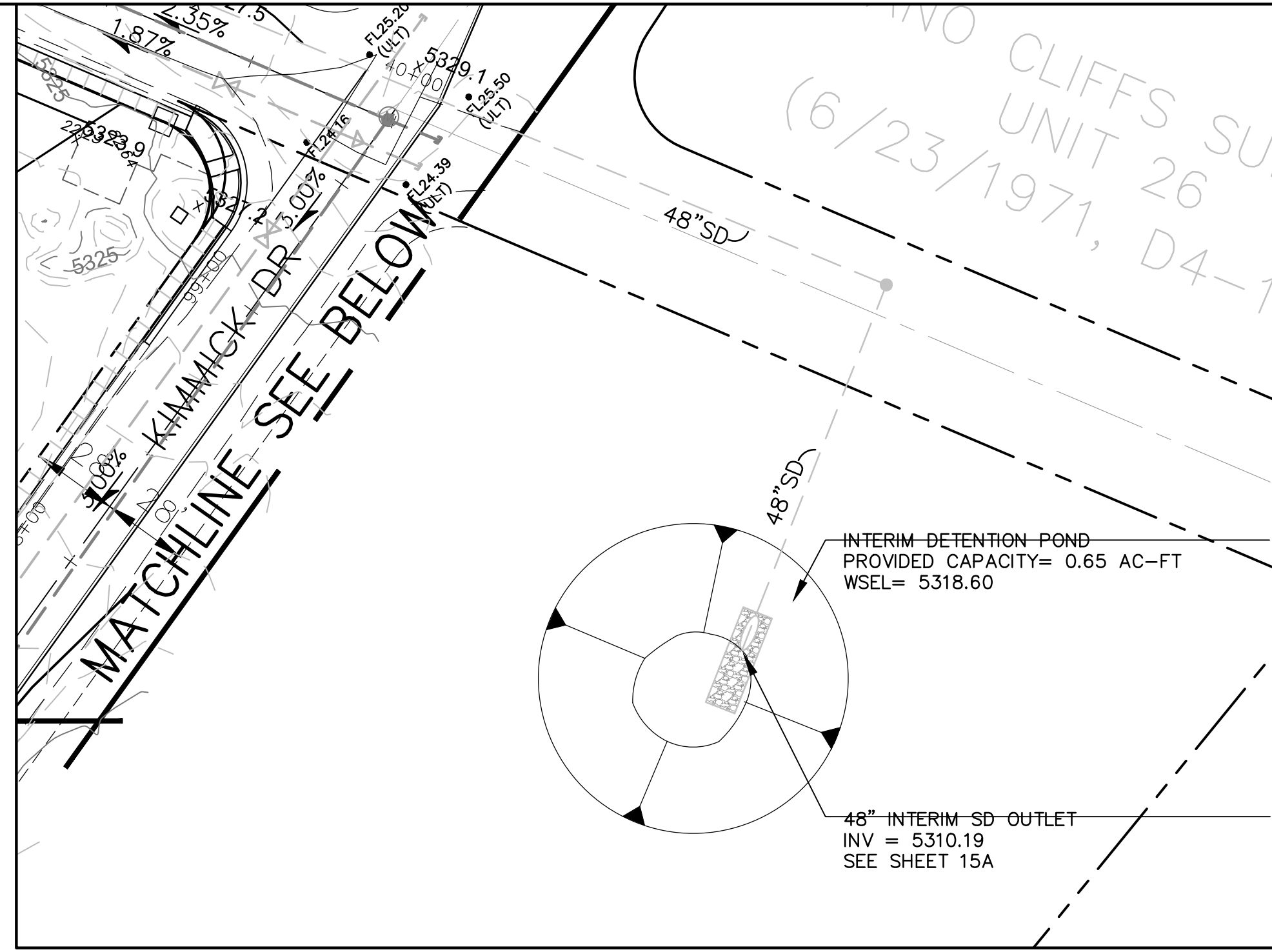
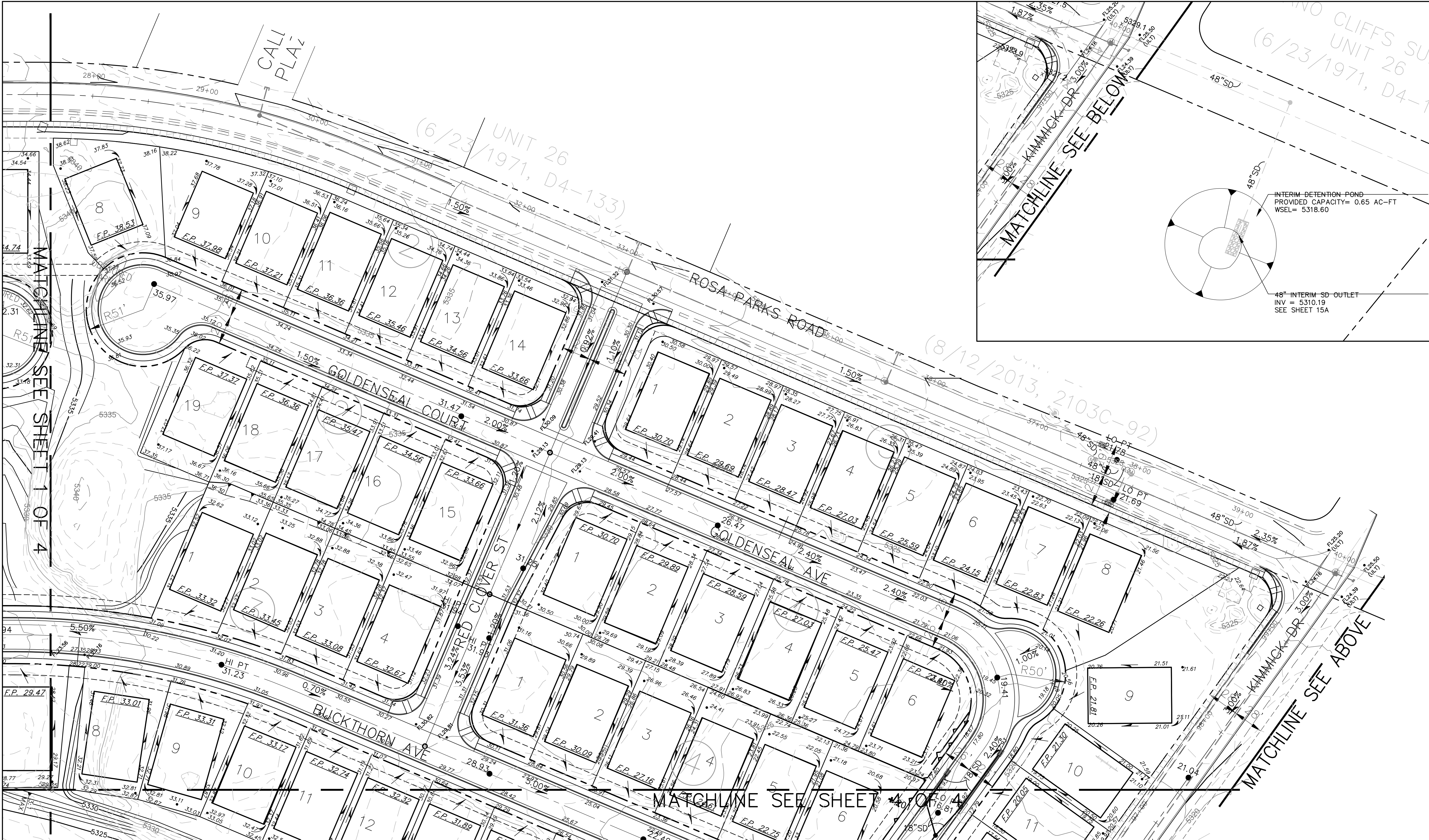
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

**LA CUENTISTA SUBDIVISION UNIT II PHASE I
CONSTRUCTION GRADING PLAN**

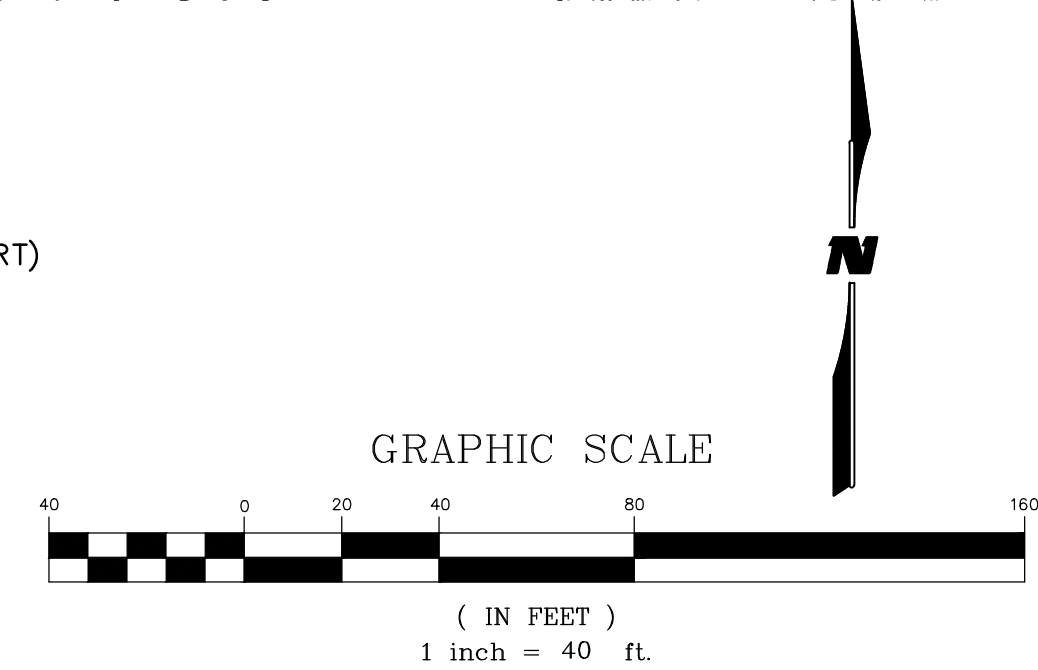
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. **70978X** Zone Map No. C-10, C-11 Drawing Sheet **1 of 4 XX of XX**

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- LEGEND**
- RIGHT OF WAY
 - FINISH PAD ELEVATION
 - FLOW DIRECTION
 - SPOT ELEVATION (FLOWLINE LT & RT)
 - LOT GRADING SPOT ELEVATION
 - REAR YARD SLOPE
 - TOE OF SLOPE
 - RETAINING WALL

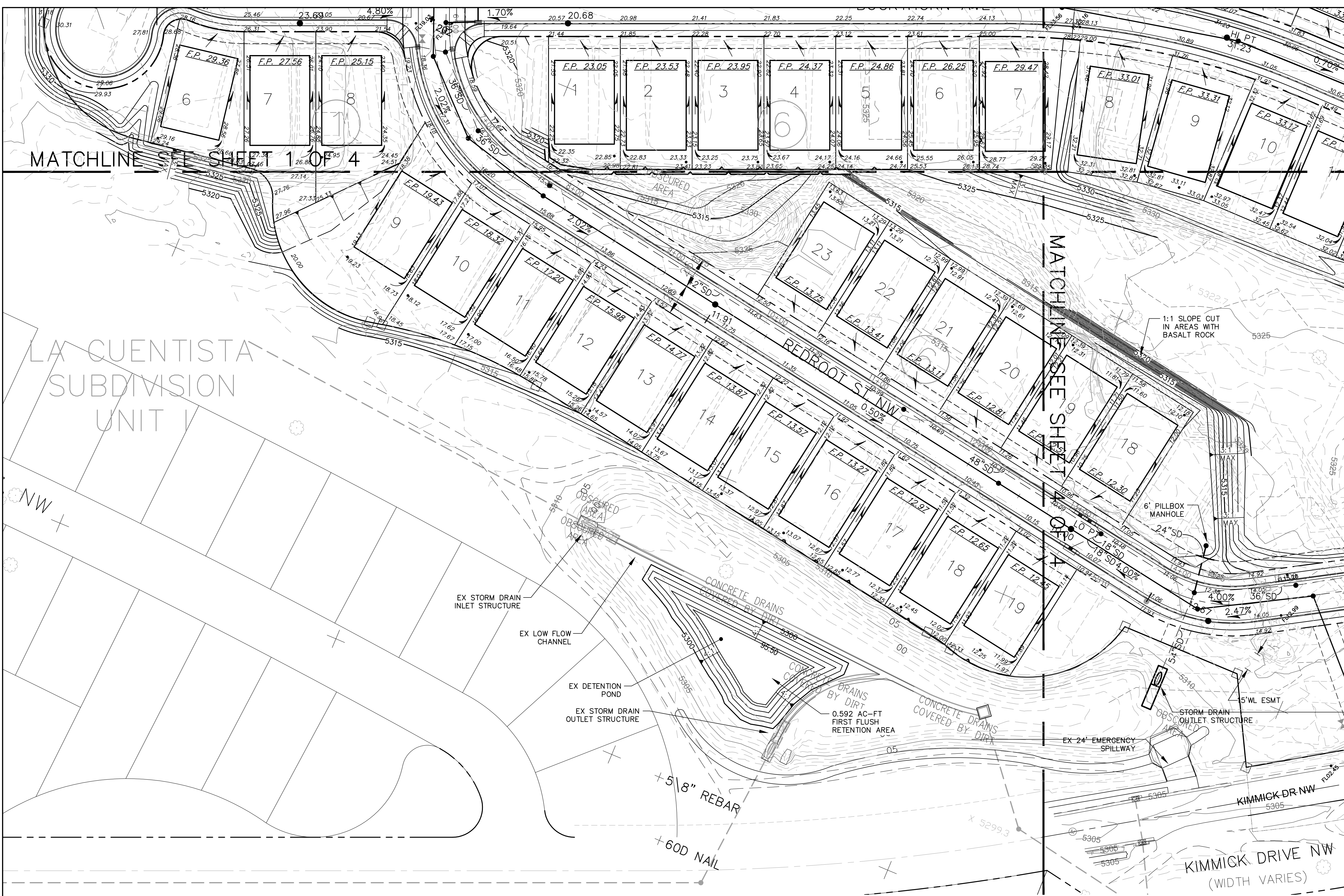


CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

**LA CUENTISTA SUBDIVISION UNIT II PHASE I
CONSTRUCTION GRADING PLAN**

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 70978X	Zone Map No. C-10, C-11	Drawing	Sheet	
		2 of 4 XX of XX		

ENGINEER'S SEAL		SURVEY INFORMATION		AS-BUILT INFORMATION	
		NO.	FIELD NOTES	CONTRACTOR	AS-BUILT INFORMATION
NO.	DATE	BY	DATE	INSPECTOR'S NAME	DATE
		AERIAL MAPPING, WCI 05/01		BY	DATE
		BOUNDARY, WCI 06/01		FIELD CHECK BY	DATE
		BOUNDARY, WCI 10/01		VERIFICATION BY	DATE
				CONNECTED BY	DATE
				RECORDED BY	DATE
				NO.	



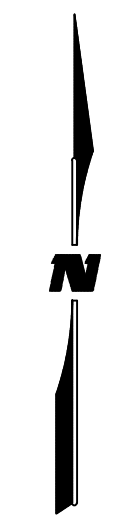
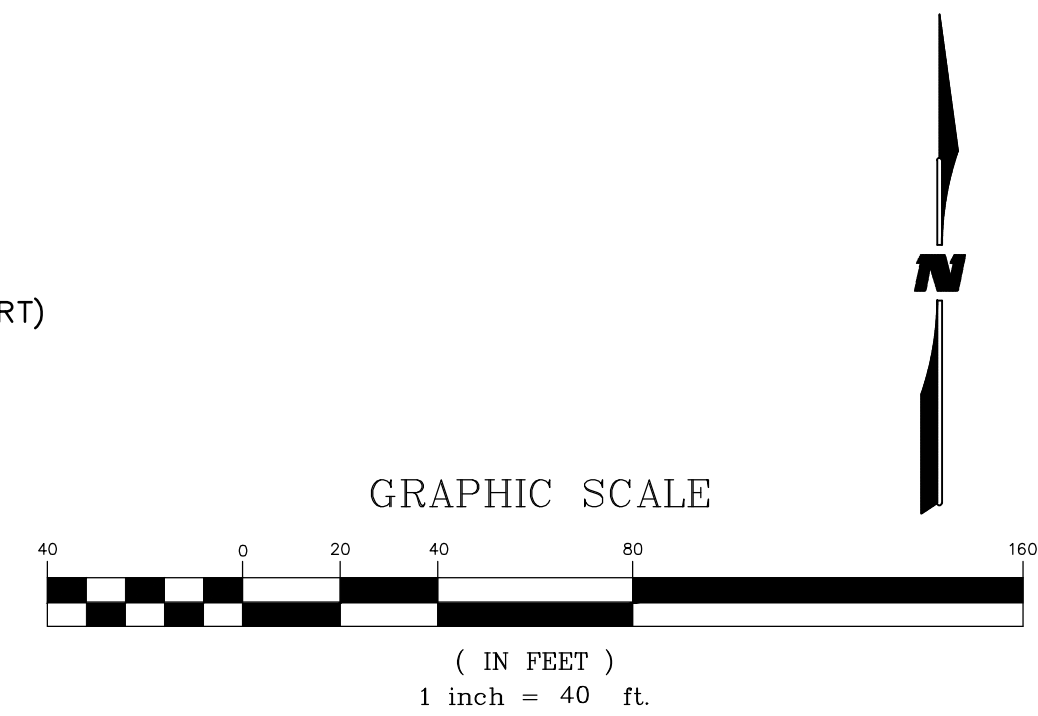
MATCHLINE SEE SHEET 1 OF 4

MATCHLINE SEE SHEET 2 OF 4

LA CUMENTISTA SUBDIVISION UNIT II

LEGEND

- RIGHT OF WAY
- FINISH PAD ELEVATION
- FLOW DIRECTION
- SPOT ELEVATION (FLOWLINE LT & RT)
- LOT GRADING SPOT ELEVATION
- REAR YARD SLOPE
- TOE OF SLOPE
- RETAINING WALL



ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		NO.	FIELD NOTES	ACS 1 3/4" ALUMINUM DISK STAMPED		CONTRACTOR	
		BY	DATE	"ACS BM 5-D11", LOCATED 72' ± ESE OF THE CENTER OF THE CUL-DE-SAC AT THE SOUTH END OF RIDGEWAY DR. NW, EPOXIED TO LAVA ROCK IN OUTCROPPING		INSPECTOR'S	
NO.	DATE	AERIAL MAPPING, WCI 05/01	BOUNDARY, WCI 06/01	BOUNDARY, WCI 10/01	DATE	DATE	DATE
REVISIONS		REMARKS		MICRO-FILM INFORMATION		RECORDED BY	
DESIGNED BY	KIS	DATE	AUG. 2003	ELEVATION = 5267.27 FT.		NGVD 29 U.S. FEET	
DRAWN BY	VKL	DATE	AUG. 2003				
CHECKED BY	DSA	DATE	AUG. 2003				

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

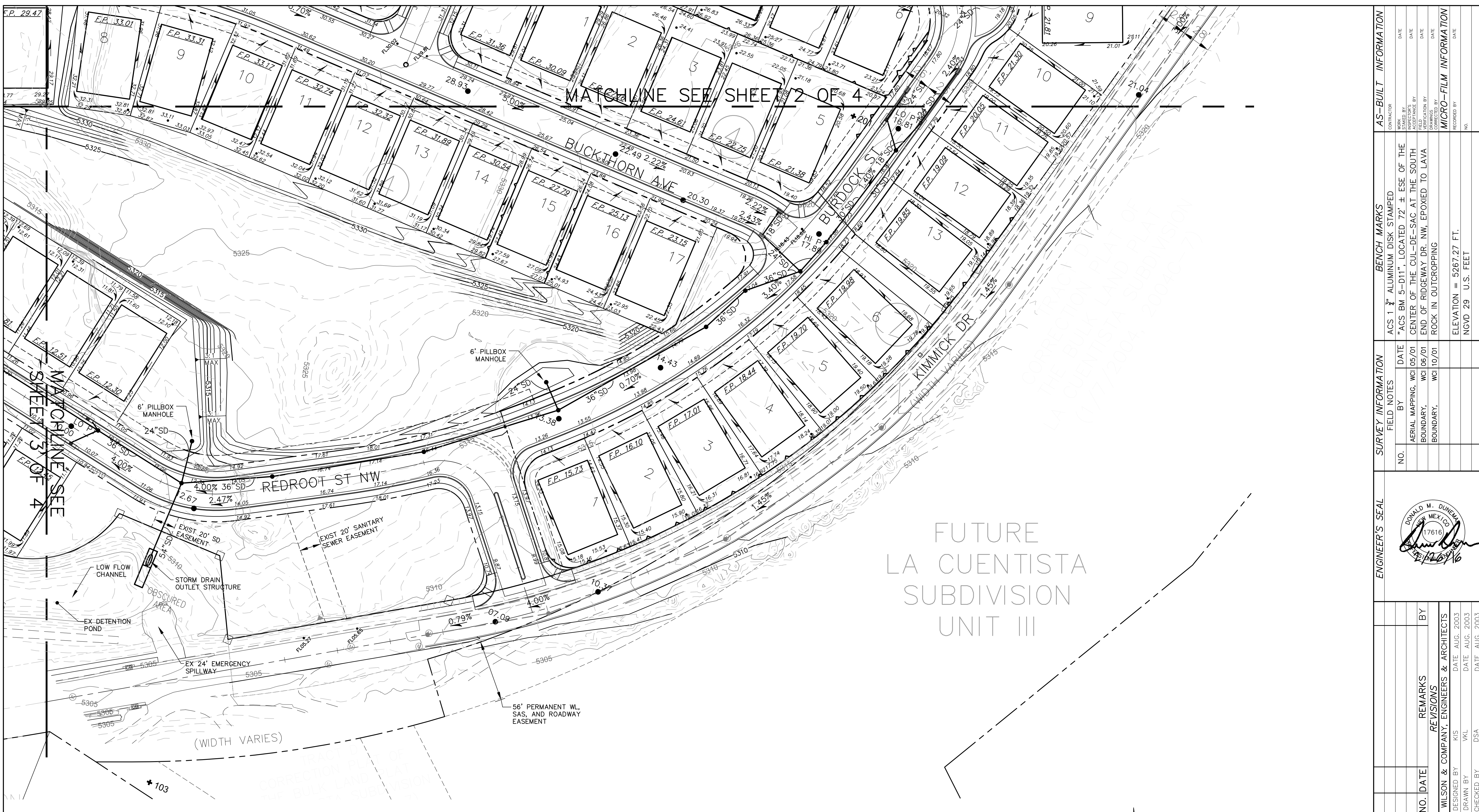
**LA CUMENTISTA SUBDIVISION UNIT II PHASE 1
CONSTRUCTION GRADING PLAN**

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. **70978X** Zone Map No. C-10, C-11 Drawing **3** of **4XX** of **XX** Sheet

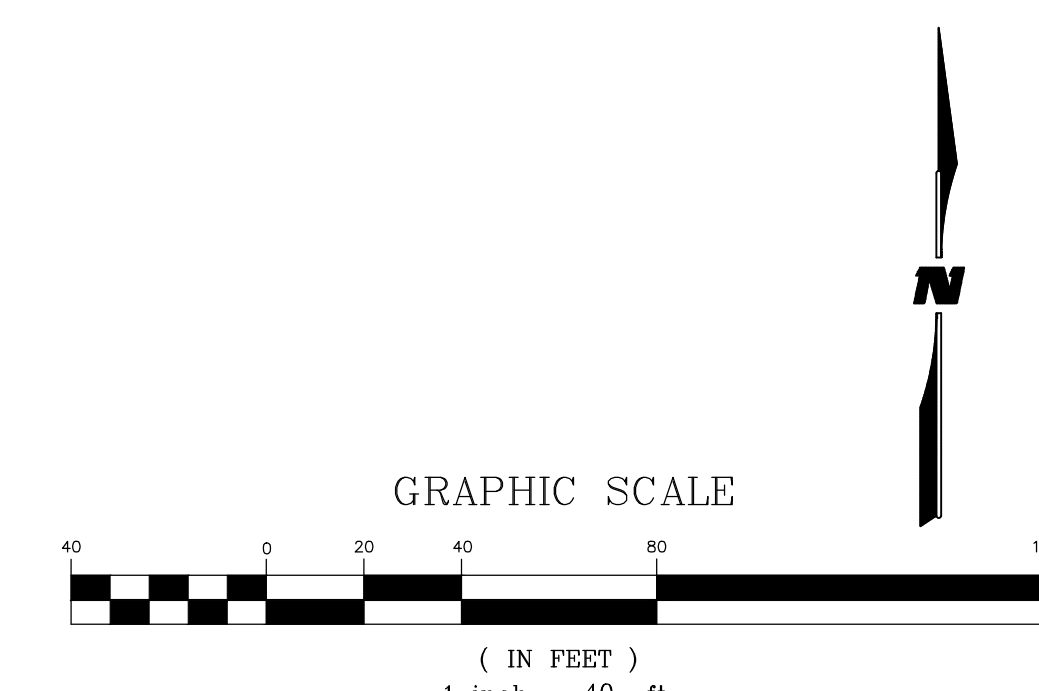
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M:\MSD\14-600-089-00\2_DISCIPLINES\SHEETS\PHASE 1\146089_P1_GD04.DWG 2/26/2016 10:02 AM



LEGEND

	RIGHT OF WAY
$FP = 00.0$	FINISH PAD ELEVATION
	FLOW DIRECTION
	SPOT ELEVATION (FLOWLINE LT & RT)
	LOT GRADING SPOT ELEVATION
	REAR YARD SLOPE
	TOE OF SLOPE
	RETAINING WALL



WCI #1460008900
FEB 2016

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

**LA CUENTISTA SUBDIVISION UNIT II PHASE 1
CONSTRUCTION GRADING PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Last Design Update			
City Project No. 70978X	Zone Map No. C-10, C-11	Drawing	Sheet 4 of 4 XX of XX

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		NO.	FIELD NOTES	ACS 1 3/4" ALUMINUM DISK STAMPED "ACS BM 5-D11", LOCATED 72' ± ESE OF THE CENTER OF THE CUL-DE-SAC AT THE SOUTH END OF RIDGEWAY DR. NW, EPOXIED TO LAVA ROCK IN OUTCROPPING		CONTRACTOR	DATE
NO.	DATE	BY	DATE	AERIAL MAPPING, WCI 05/01	INSPECTOR'S DATE	INSPECTOR'S DATE	INSPECTOR'S DATE
				BOUNDARY, WCI 06/01	VERIFICATION BY DATE	VERIFICATION BY DATE	VERIFICATION BY DATE
				BOUNDARY, WCI 10/01	COMPAZED BY DATE	COMPAZED BY DATE	COMPAZED BY DATE
				ELEVATION = 5267.27 FT. NGVD 29 U.S. FEET		MICRO-FILM INFORMATION	