

Sheet Index:

- SDP1 Site Development Plan for Subdivision
- SDP2 Landscape Plan
- SDP3 Design Standards with Building Elevations
- SDP4 Design Standards Information
- SDP5 Conceptual Grading & Drainage Plan
- SDP6 Conceptual Utility Plan

Zoning: Tract 1

Address: 12401 Montgomery Boulevard NE.

Legal Description:
Parcel 2-A-1 of Land of Edmund I. Rady, Albuquerque, New Mexico, as said parcel is shown and designated on the plat of division thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on May 29, 1984 in plat book B20, Page 164.

Zone Atlas Page: F-22-Z

Land Use Zoning:

Existing: C-2
Proposed: Tract 1: SU-1 Planned Residential Development
Tract 2: C-2

Parking Required:

Townhome:
1 space per bathroom but not less than 2 spaces
3 bathrooms per unit @ 32 units = 96 spaces

Handicap Accessible Parking:

Number of spaces designated for Handicap Accessible parking per COA Zoning Code 14-16-3-1(f), 1b Standard parking spaces provided. 1 space provided per 1 to 25 off-street standard parking spaces provided.

Allowable Reductions:

Transit Reduction - Parking requirement of building or use shall be reduced 10% if it is within 300 feet of a regular Albuquerque Transit system route.
96 spaces x 10% = 9.6 space - 9 space reduction
Adjusted total parking required = 96 sp. - 9 sp. = 87 spaces

Parking Provided:

-Garage spaces: 56 spaces
-Driveway spaces: 24 spaces
-Standard spaces: 18 spaces
Total: 98 spaces

Landscape:

Refer to sheet SDP2 for landscape calculations.

Maximum Building Height:

Three story units -
Top of Roof (Ridge Elevation) = 37'-6"
Top of Parapet (Unit Separation Wall) = 40'-0"

Minimum Building Setback:

5ft. proposed at rear yard to adjoining C-2 Car Wash Facility

Proposed Number of units:

32 Dwelling units maximum comprised of the following unit types:
A unit type 5 units
B unit type 12 units
C-1 unit type 11 units
C-2 unit type 8 units
Total 32 units

Heated Building Areas:

A unit type 2,100 sf per unit
B unit type 1,450 sf per unit
C-1 unit type 1,450 sf per unit
C-2 unit type 1,650 sf per unit

Residential Townhome Lots:

Lots numbered 1 through 32 and 19a through 24a located in Tract 1 and described herein will be individually owned and subdivided with replat. Average lot areas based on unit type are listed below:

Unit Type A, Lots 1 to 5 - 2,281 sf Average Lot Area
Unit Type B, Lots 14 to 18 and 26 to 32 - 1,705 sf Average Lot Area
Unit Type C-2, Lots 6 to 13 - 1,184 sf Average Lot Area
Unit Type C-1, Lots 19 to 25 - 950 sf Average Lot Area
Garage, Lots 19a to 24a - 236 sf Average Lot Area

PROJECT NUMBER: 1005185

Application Number: 07DRB-00353

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

- Traffic Engineering, Transportation Division
Roger A. Huan
Date: 5-2-07
- Water Utility Department
Christina Sandoval
Date: 5/2/07
- Parks and Recreation Department
[Signature]
Date: 5/2/07
- City Engineer
[Signature]
Date: 5/3/07
- *Environmental Health Department (conditional)
Michael Holton (double envelope)
Date: 4/30/07
- Solid Waste Management
[Signature]
Date: 5/3/07
- DRB Chairperson, Planning Department
[Signature]
Date: 5/3/07

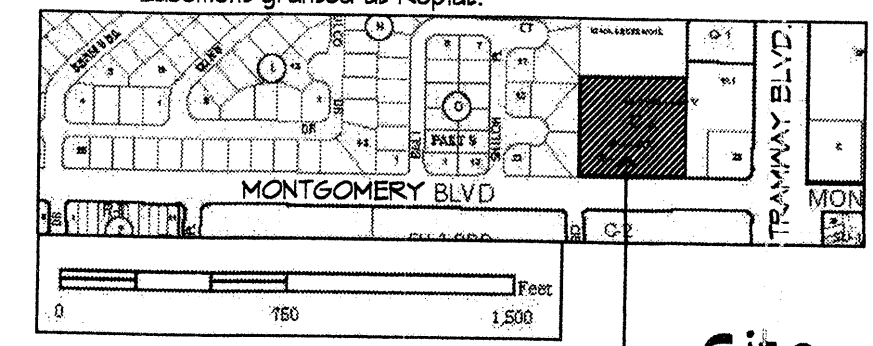
*Environmental Health, if necessary

General Notes:

- A. Refer to Sheet SDP2 for Landscape Plan and Design Criteria. Refer to Sheets SDP3 and SDP4 for Site Development Plan Design Criteria. Refer to Sheets SDP5 and SDP6 for Conceptual Grading, Drainage and Utility Design.
- B. Applicable to Tract 1: All existing Structures, Paving, Fencing, Walls, Foundations, Sidewalks, Light poles, and over head Power poles to be Demolished & Removed.
- C. Applicable to Tract 2: All existing Structures, Paving, Fencing, Walls, Foundations, Sidewalks, Light poles, and over head power poles to remain.
- D. The minimum unit lot size is 949 sqft, the maximum unit lot size is 2281 sq ft, and the lot size of the garage is 239 sqft.
- E. Type 'A' units shall be limited to two stories in height.
- F. Overhead garage doors shall be varied in appearance and utilize two distinct and complimentary door styles throughout the project.

Keyed Notes:

1. Existing transformer to be relocated.
2. Existing refuse container to be relocated.
3. Existing drainage structure to be reconfigured.
- 4-4 Not used.
10. Existing concrete drainage swale (flush to paving) to remain or be reconfigured.
11. Existing public access easement to remain.
12. Existing utility easement to remain.
13. Existing underground easement to remain.
14. Existing cell tower, structure and 40 ft x 40 ft access easement to remain.
15. Existing fire hydrant to remain.
16. Existing property line.
17. Existing refuse container to be relocated.
18. Existing block wall to remain. Stucco Tract 1 side wall subject to adjacent property owners permission.
19. Existing chain link fence and access gate to reservoir to remain.
20. Existing car wash facility to remain.
21. Existing Median to remain.
22. Existing Public Sidewalk to remain.
23. Existing Restricted access (right in/right out) opening to Montgomery Blvd.
24. Existing Full access (right in/right out/left in/left out) at existing median opening to Montgomery Blvd.
25. Existing transit stop to remain.
26. New two way private access easement, drive aisle per City of Albuquerque, DPM Standards, to be maintained by Homeowner's Association.
27. New two way fire department/private access easement drive aisle per City of Albuquerque, DPM Standards
28. Common area and landscaped open space easement
29. Parking space per City of Albuquerque, DPM Standards.
30. Parallel parking space, 8'-0" x 22'-0", per City of Albuquerque, DPM Standards.
31. Concrete Apron.
32. Proposed property line.
33. Town home - building envelope.
34. Access drive for end unit.
35. Proposed refuse enclosure and container; refer to E3/SDP4.
36. Proposed refuse large item pickup area.
37. Proposed fire hydrant.
38. Concrete driveway.
39. Unit Sidewalk.
40. Garage - building envelope.
41. Mountable roll curb at townhome driveways and aprons per COA Standard 2415.
42. Proposed Transformer.
43. Handicap Accessible parking space, access aisle and signage.
44. Proposed structure to house six-one car garage spaces
45. Open landscape Area.
46. Patio.
47. Rear Yard Area.
48. Cmu Yard Wall.
49. Cluster mail box.
50. Bicycle rack.
51. 6'-0" High security fence and access gate.
52. Pole mounted light, refer to detail E1/SDP4.
53. Site retaining wall.
54. 5ft wide pedestrian trail, refer to landscape plan.
55. Site steps.
56. Shade structure, refer to landscape plan SDP2 and detail D5/SDP4.
57. Handicap Accessible sidewalk ramp by Work Order per City of Albuquerque DPM Standards.
58. 5ft wide colored and textured concrete cross walk flush with paving.
59. Monument type Project sign.
60. Bollard lighting, refer to detail E1/SDP4.
61. New 6ft high Cmu wall with stucco finish. Extend length of northern boundary.
62. New 6ft high open rail tube steel security fence with powder coated finish.
63. Bench Seating.
64. Motorbike parking.
65. Modify median by City Work Order per City of Albuquerque DPM standards.
66. New Private Entry Drive by City Work Order per Albuquerque DPM standards.
67. Flare Concrete Driveway.
68. Compact Parking Space 8'-0" wide x 18'-6" deep, paint paving with word COMPACT per City of Albuquerque DPM standards.
69. New 6ft. wide City of Albuquerque Water Line Easement granted at Replat.



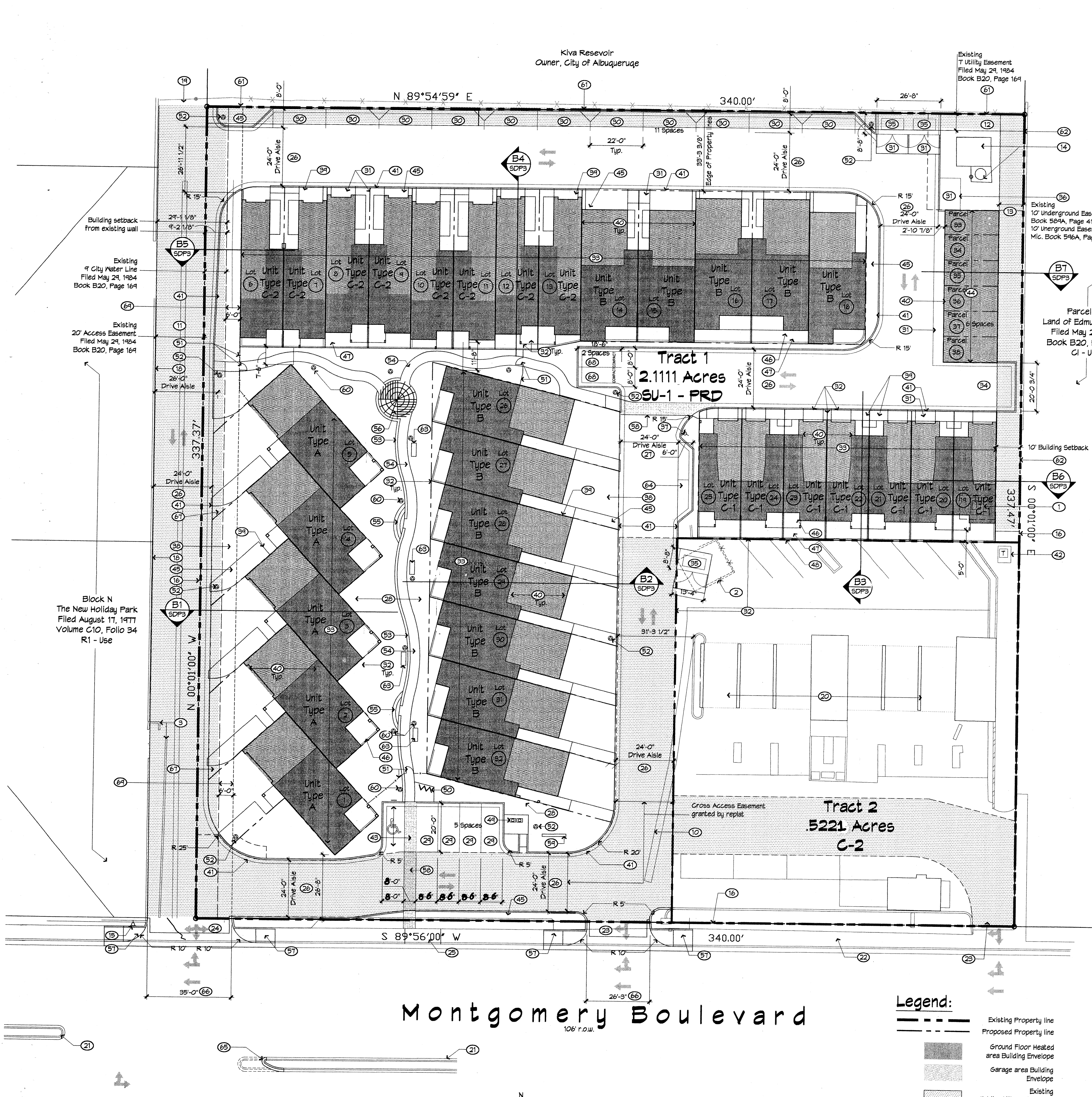
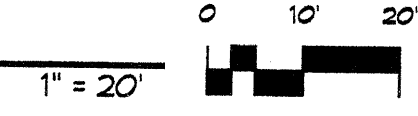
Vicinity Map
F-22-Z

Legend:

- Existing Property line
- Proposed Property line
- Ground Floor Heated area Building Envelope
- Garage area Building Envelope
- Existing Public Utility and Private Easement Locations

Montgomery Boulevard
106' r.o.w.

Site Plan



Existing City Water Line
Filed May 24, 1984
Book B20, Page 164

Existing 20' Access Easement
Filed May 24, 1984
Book B20, Page 164

Block N
The New Holiday Park
Filed August 17, 1977
Volume C10, Folio 34
R1 - Use

Kiva Reservoir
Owner, City of Albuquerque

Existing
T Utility Easement
Filed May 24, 1984
Book B20, Page 164

Existing
10' Underground Easement
Book 594A, Page 415
10' Underground Easement
Mic. Book 546A, Page 104

Parcel 1A1
Land of Edmund I. Rady
Filed May 29, 1984
Book B20, Page 164
C1 - Use

Cross Access Easement
granted by replat

[Signature]
4/30/07

PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Installed Size Mature Size	Water Use
Trees					
4	⊕	<i>Acer palmatum</i> 'Bloodgood' Japanese Maple	15 Gal	6' ht. x 4' spr. 15' ht. x 15' spr.	Medium+
4	⊙	<i>Ptelea trifoliata</i> Hoptree	15 Gal	6' ht. x 4' spr. 18' ht. x 10' spr.	Medium
9	⊙	<i>Pistacia chinensis</i> Chinese Pistache	2" B4B	10' ht. x 6' spr. 30' ht. x 30' spr.	Medium
1	⊙	<i>Cercis reniformis</i> Oklahoma Redbud	15 Gal	16' ht. x 6' spr. 40' ht. x 25' spr.	Medium
5	⊙	<i>Koeleruteria paniculata</i> Goldenrain Tree	2" B4B	8' ht. x 5' spr. 25' ht. x 25' spr.	Medium
6	⊕	<i>Robinia ambigua</i> 'Purple Robe' Purple Robe Locust	2" B4B	16' ht. x 6' spr. 25' ht. x 25' spr.	Medium
Shrubs/Groundcovers					
81	⊙	<i>Achillea ageratifolia</i> Greek Yarrow	1-Gal.	2' o.c. 1' ht. x 1' spr.	Low
32	⊕	<i>Centranthus ruber</i> Red Valerian	1-Gal.	5' o.c. 3' ht. x 3' spr.	Medium
34	⊕	<i>Rosmarinus officinalis</i> Rosemary	5-Gal.	3' o.c. 3' ht. x 3' spr.	Low +
91	⊙	<i>Artemisia ludoviciana</i> Prairie Sage	1-Gal.	2' o.c. 2' ht. x 3' spr.	Low
38	⊕	<i>Lavandula angustifolia</i> English Lavender	5-Gal.	5' o.c. 3' ht. x 3' spr.	Medium
14	*	<i>Nepeta faassenii</i> Catmint	1-Gal.	2' o.c. 2' ht. x 2' spr.	Medium
36	⊕	<i>Caryopteris x clandonensis</i> Blue Mist	5-Gal.	4' o.c. 3' ht. x 4' spr.	Low +
44	⊕	<i>Sedum telephium</i> Autumn Joy Sedum	1-Gal.	2' o.c. 2' ht. x 2' spr.	Low
54	⊕	<i>Rhus aromatica</i> 'Gro-Lo' Gro-Lo Sumac	1-Gal.	4' o.c. 2' ht. x 4' spr.	Low+
Ornamental Grasses					
25	⊙	<i>Helictotrichon sempervirens</i> Blue Avena Grass	5-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
17	*	<i>Nassella tenuisima</i> Threadgrass	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low +
14	⊙	<i>Miscanthus sinensis</i> Maidenhair Grass	5-Gal.	4' o.c. 5' ht. x 5' spr.	Low +
Turfgrass Kentucky bluegrass sod					

MULCHES
All shrub planting areas shall be top dressed with 3/4" Desert Bronze Rock Mulch unless otherwise specified.

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public ROW, shall be the responsibility of the Homeowner's Association.

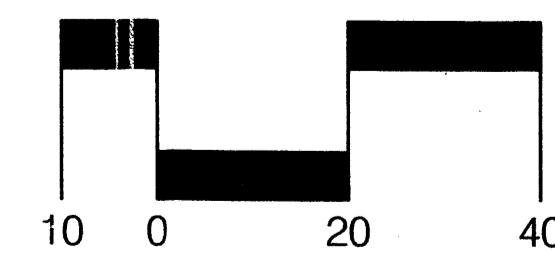
STATEMENT OF WATER WASTE
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area.

ON-LOT USEABLE OPEN SPACE REQUIREMENTS

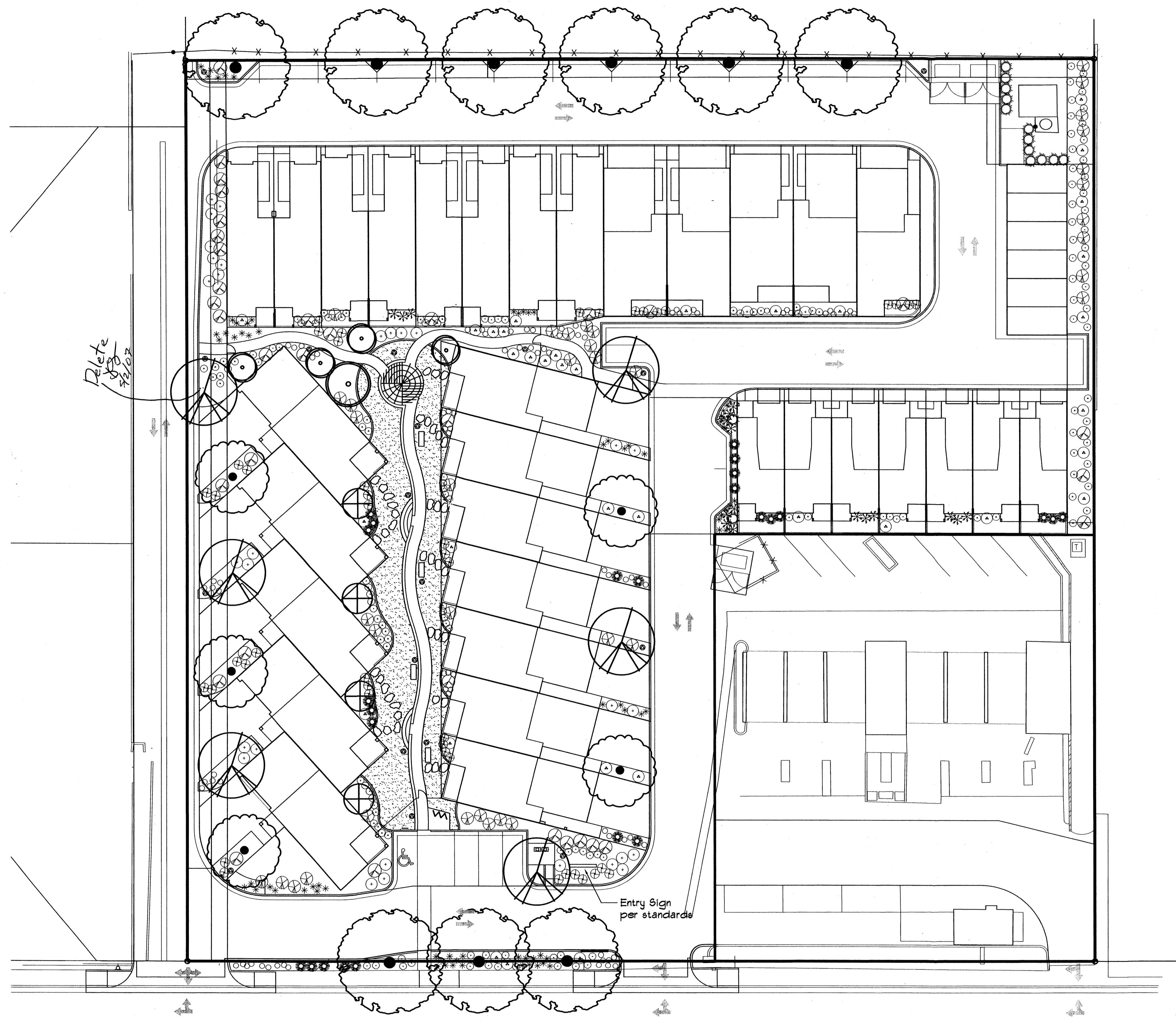
MINIMUM ON-LOT USEABLE OPEN SPACE REQUIRED & PROVIDED				
Building Type	SF Required Per DU	# of DUs	SF Required By Unit Type	Total SF Provided
A Unit				
3 Bedroom	300	5	1500	
B Unit				
3 Bedroom	300	13	3,900	
C-1 Unit				
2 Bedroom	250	1	1,750	
C-2 Unit				
3 Bedroom	300	1	2,100	
Total		32	9,250 (0.21 Acres)	15,415 (0.35 Acres)
Balconies/Covered Spaces				6,694
Total				22,113



NORTH



CONSENSUS
PLANNING



Montgomery Boulevard

106' r.o.w.

Delete 1/2\"/>

Entry sign
per standards

REVISIONS

▲	
▲	
▲	
▲	

DRAWN BY	DM/EP
REVIEWED BY	DM/MB
DATE	
PROJECT NO.	06081
DRAWING NAME	

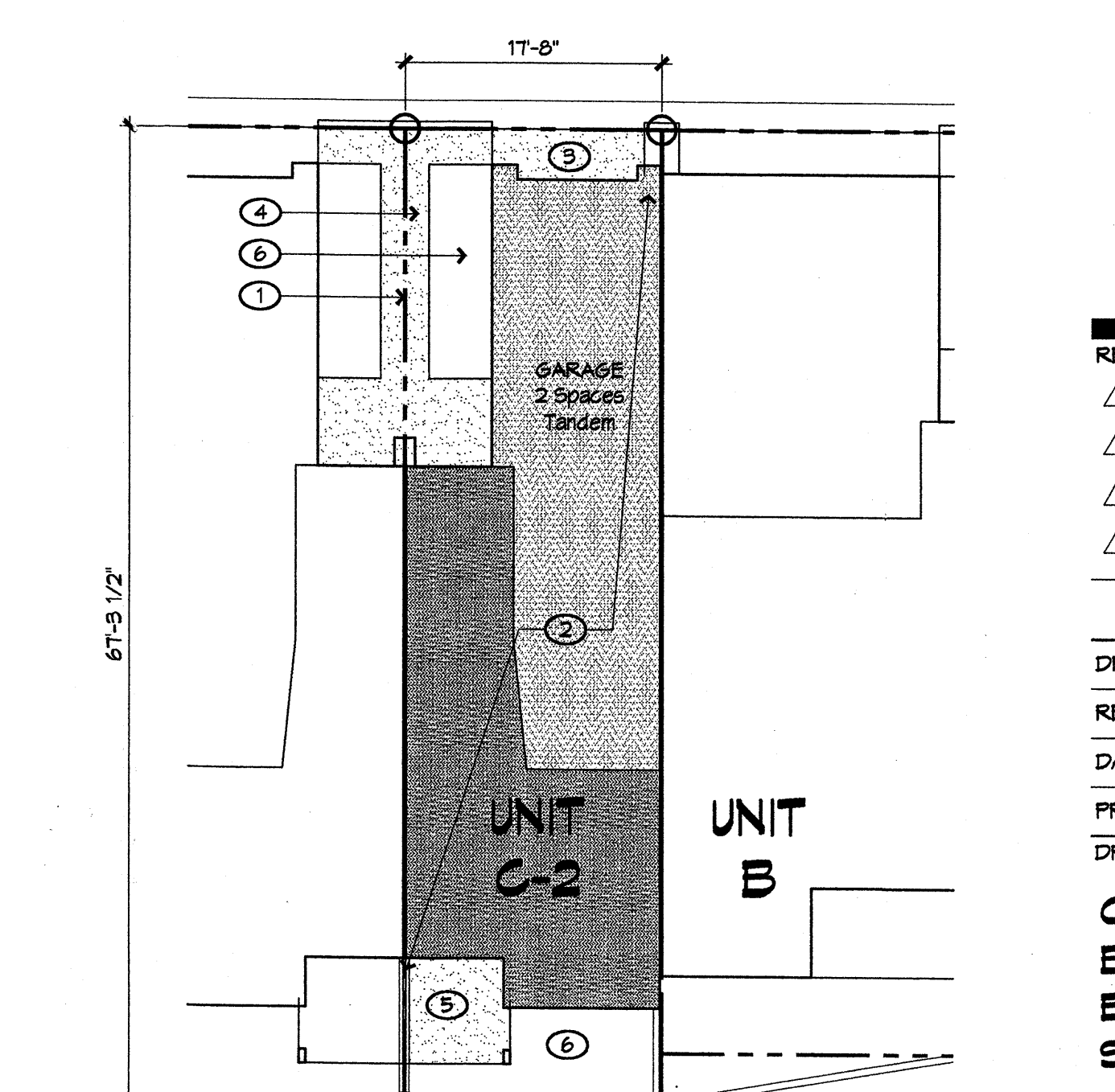
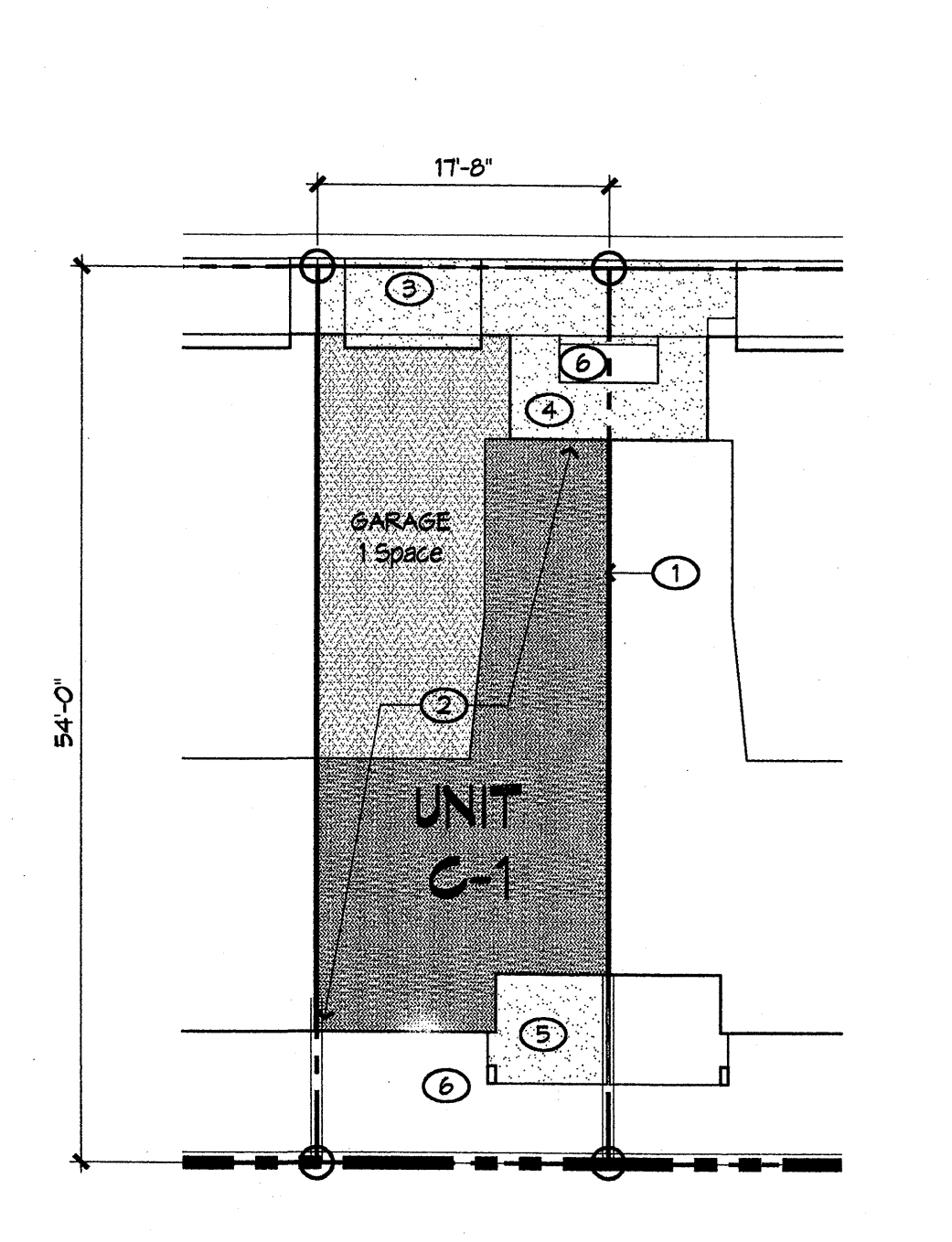
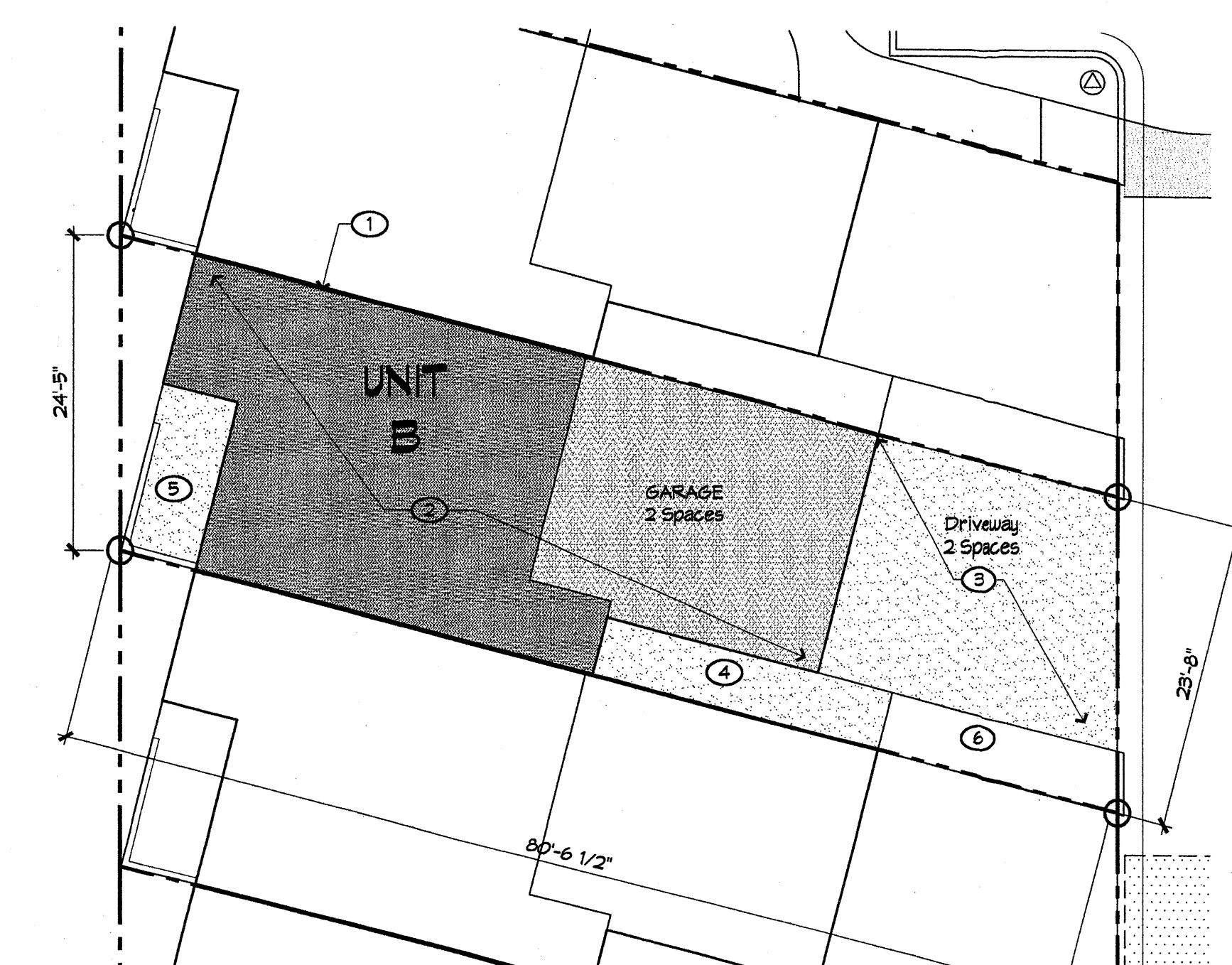
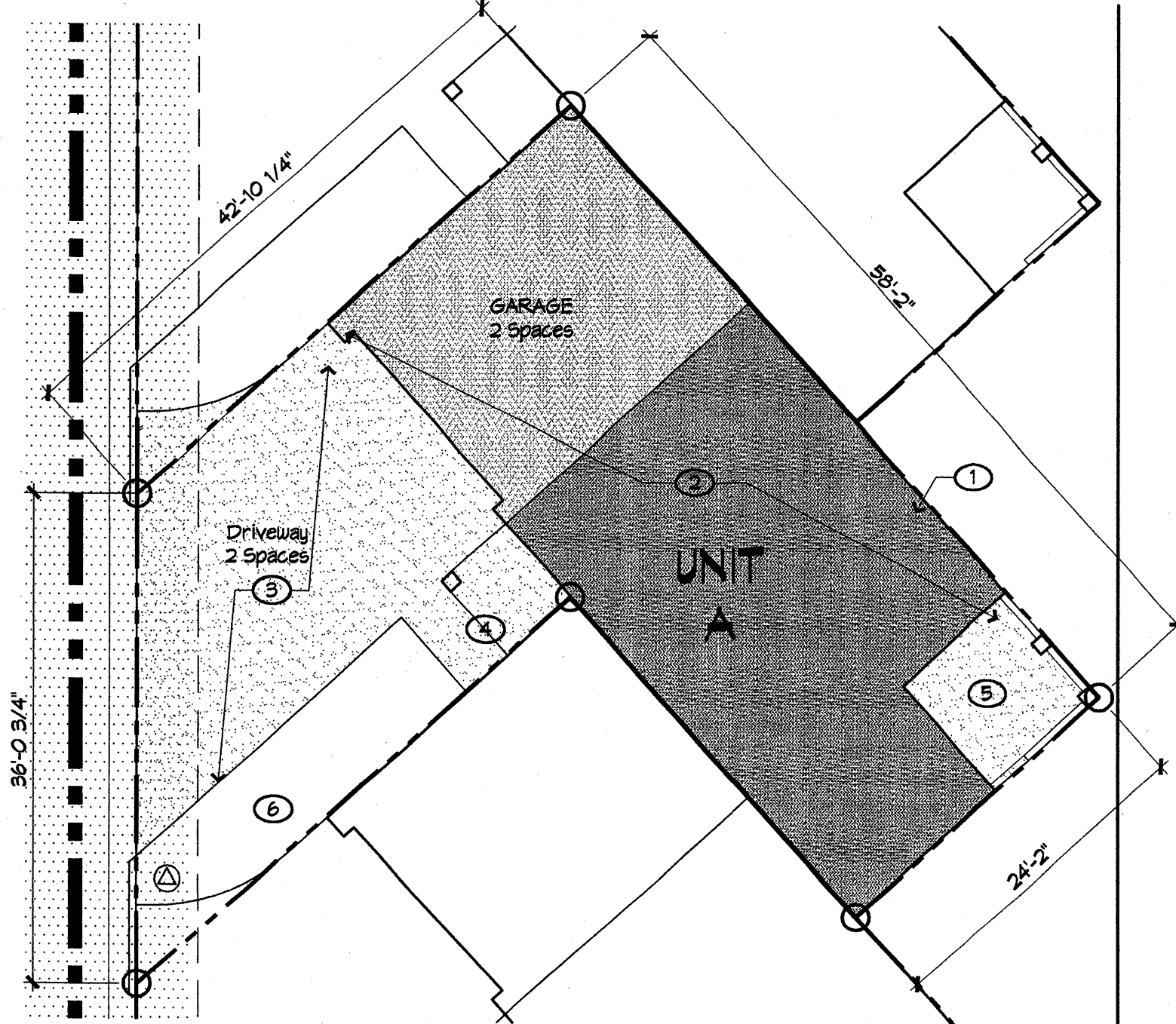
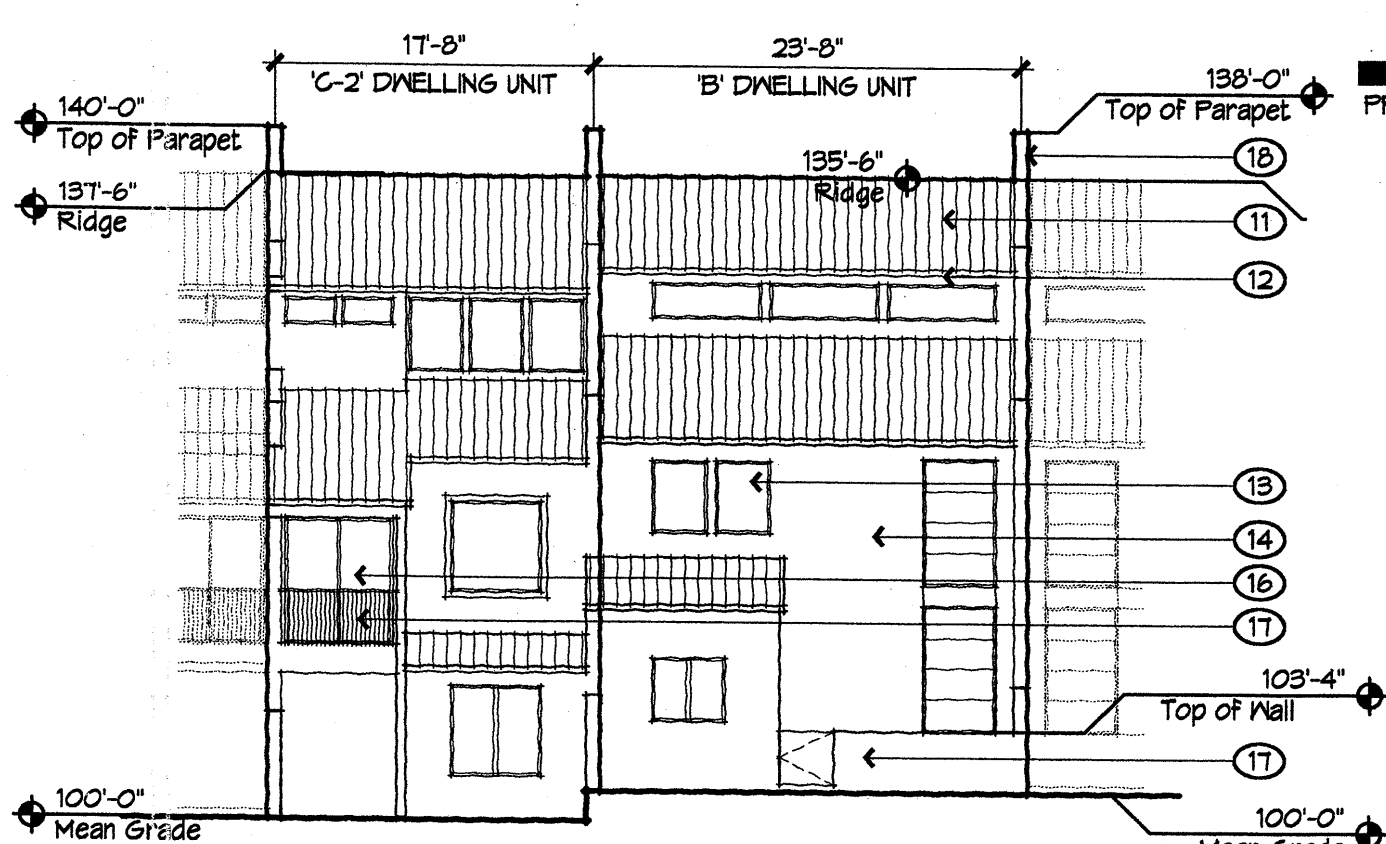
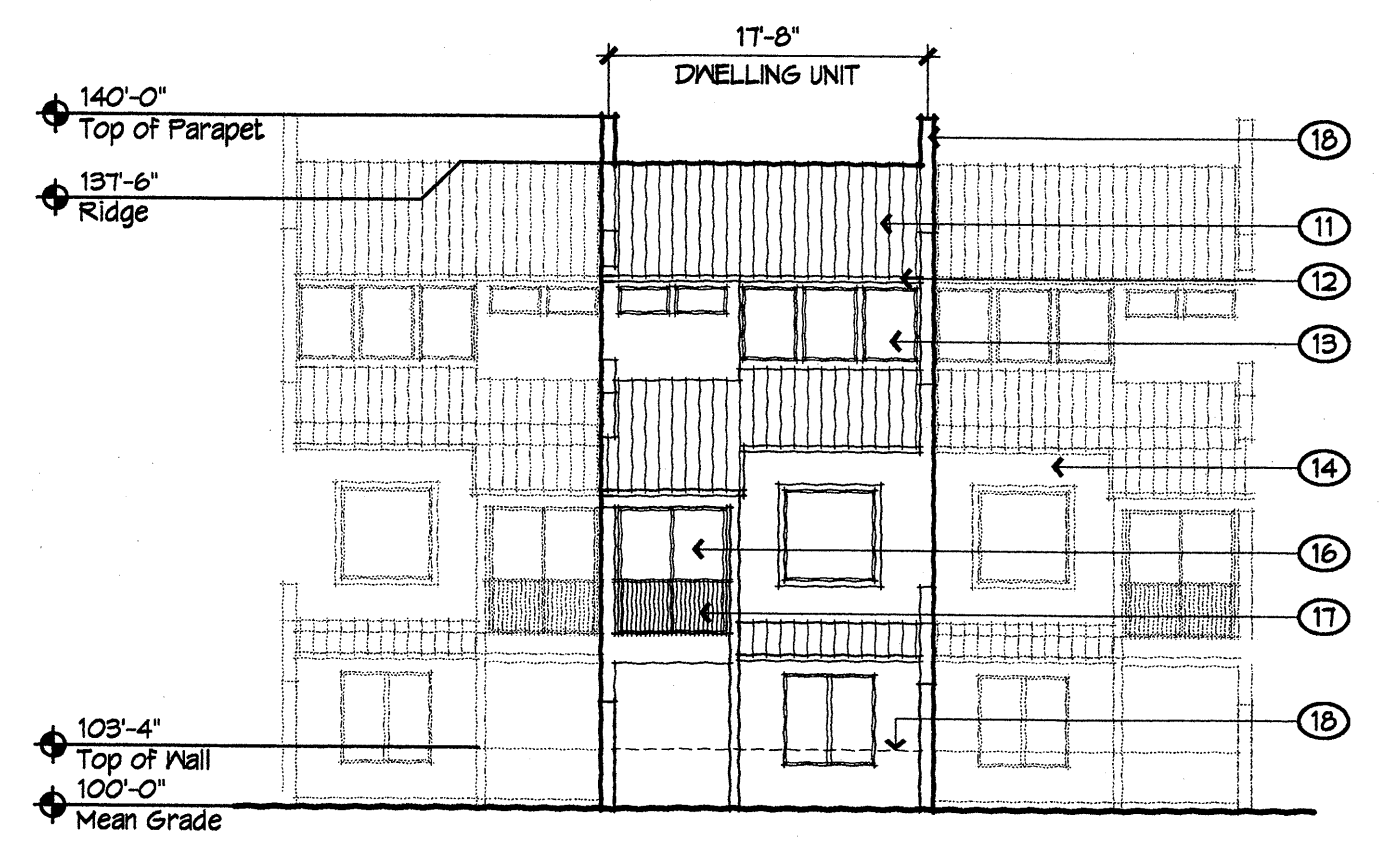
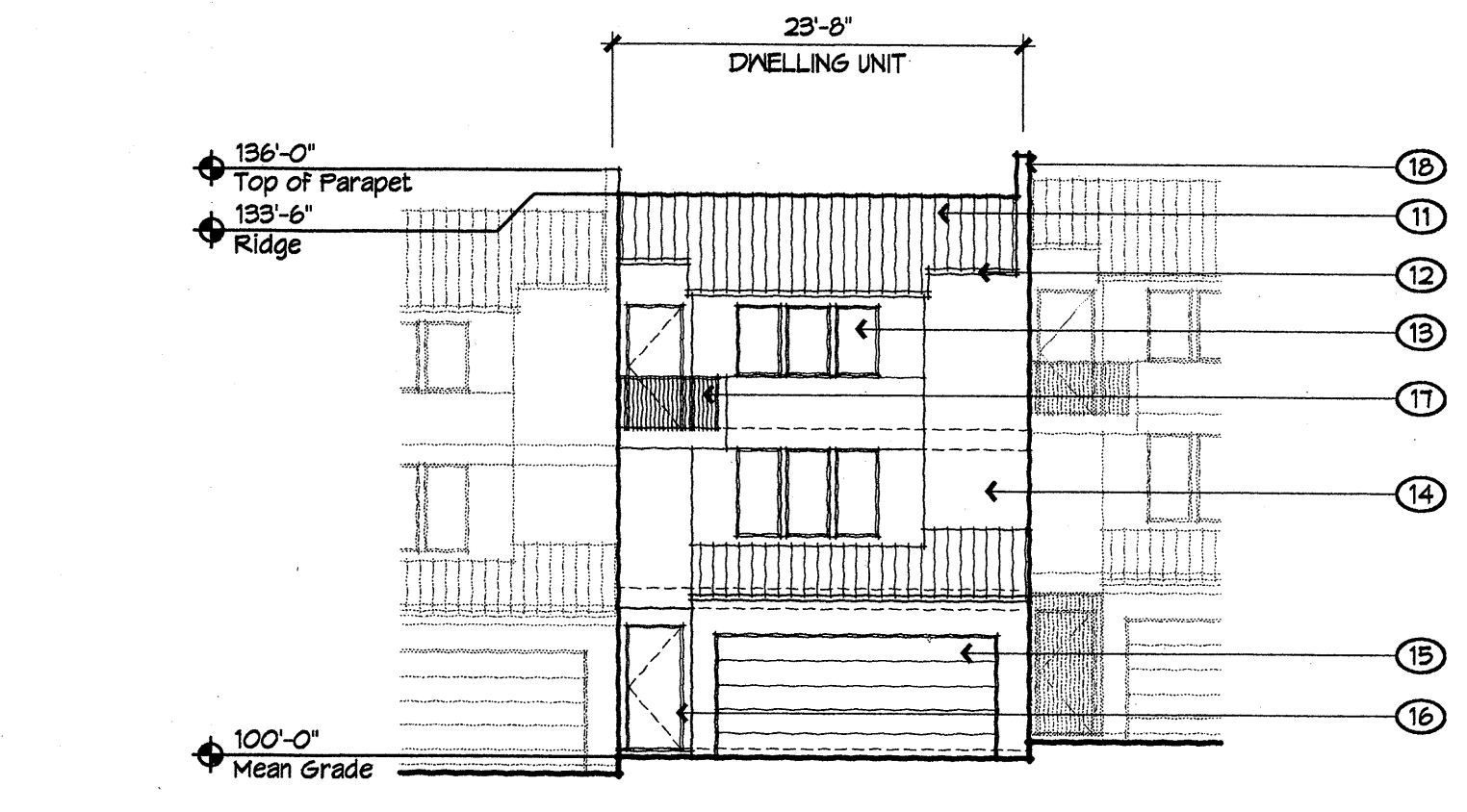
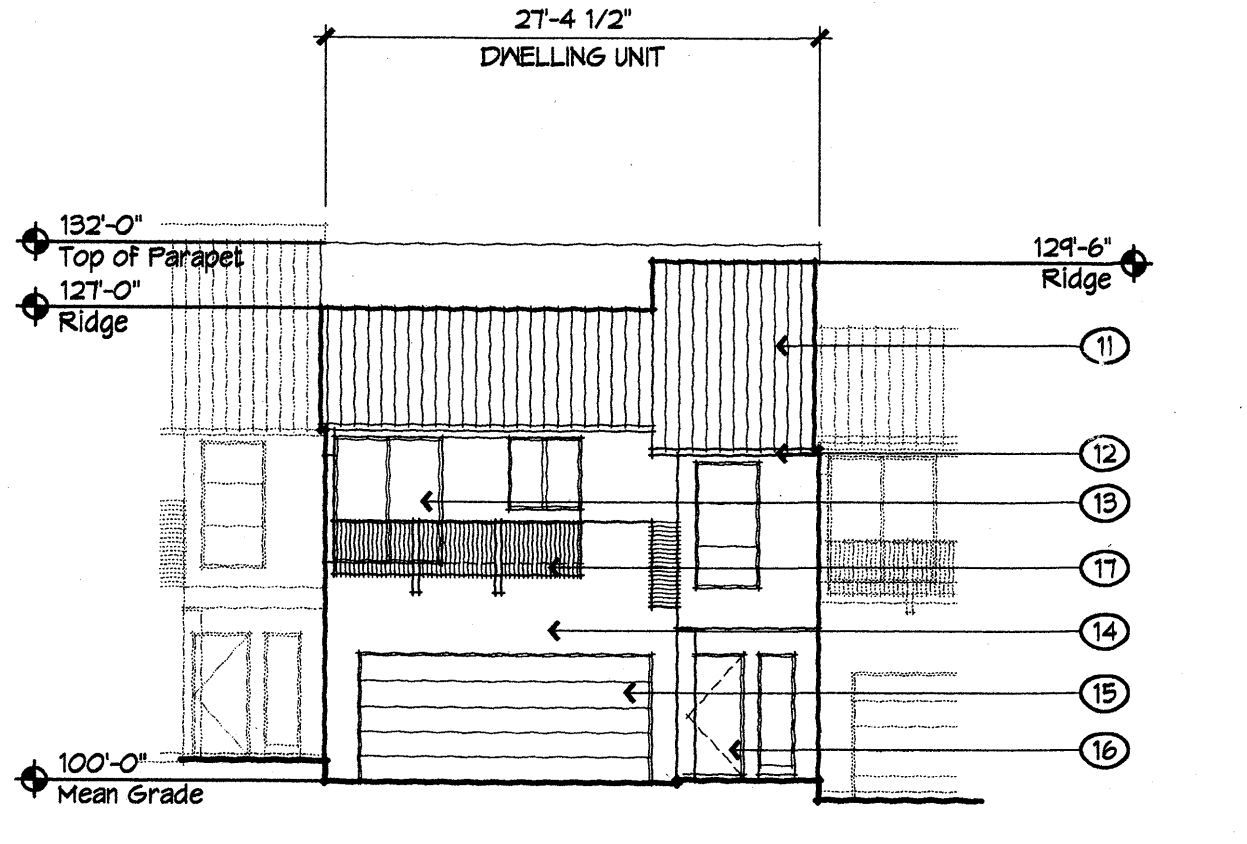
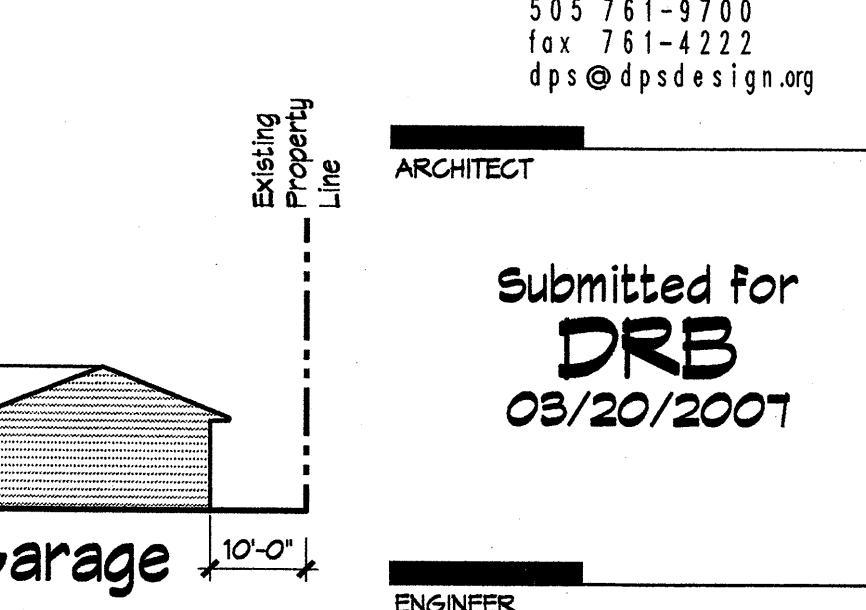
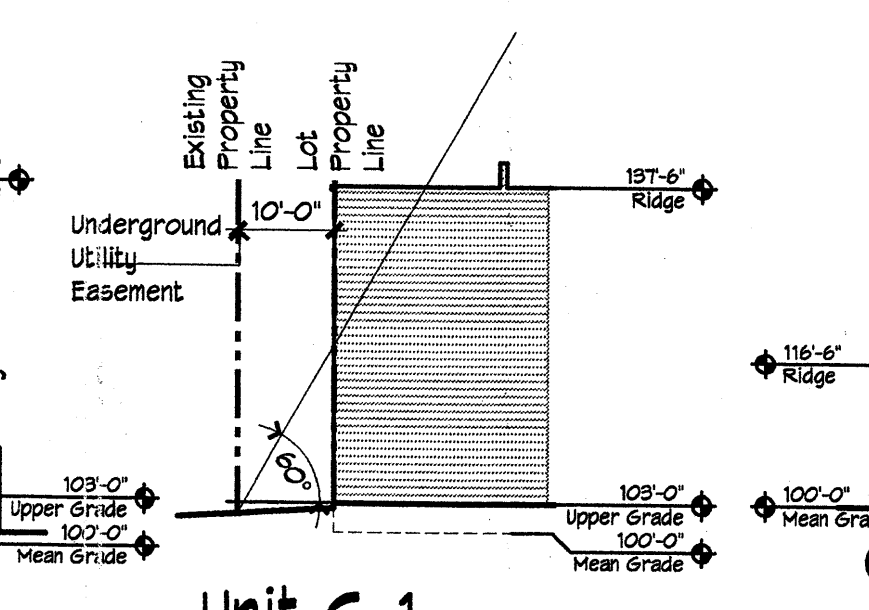
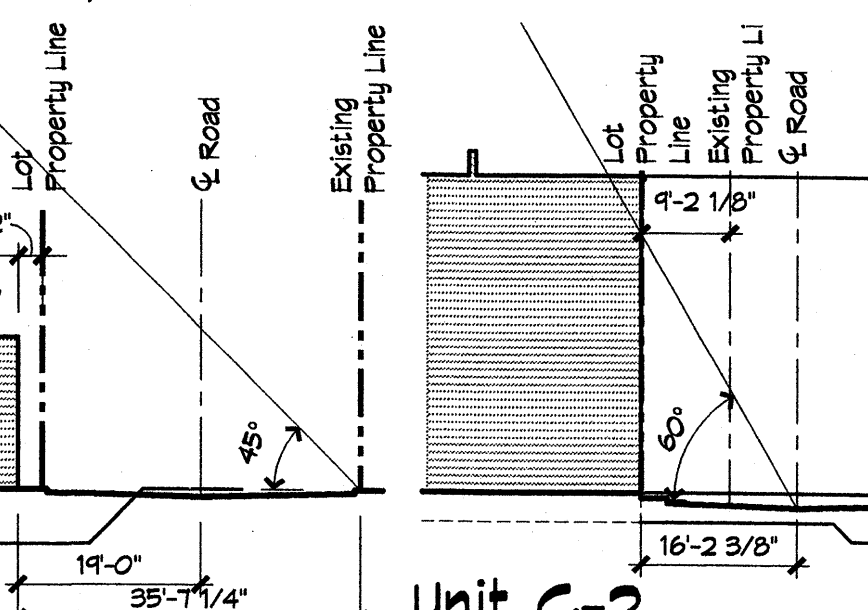
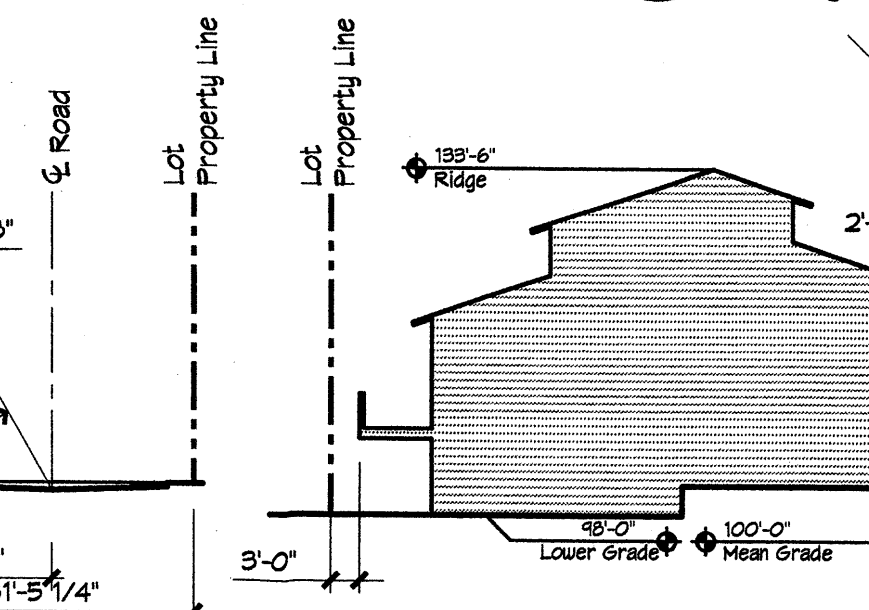
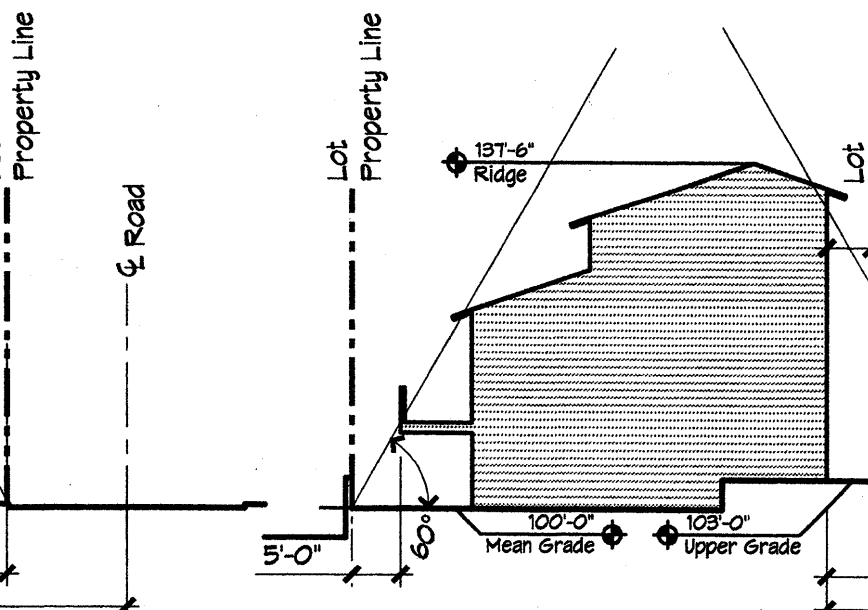
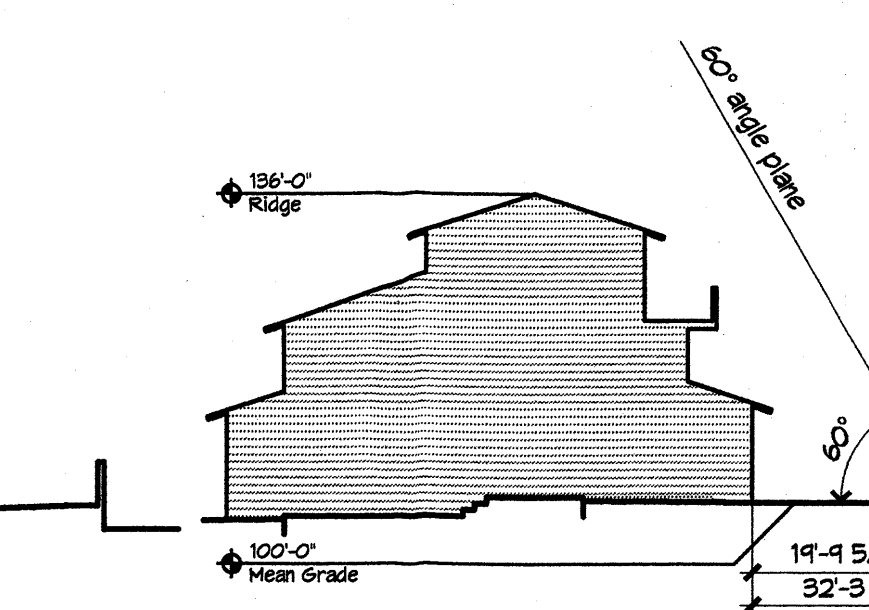
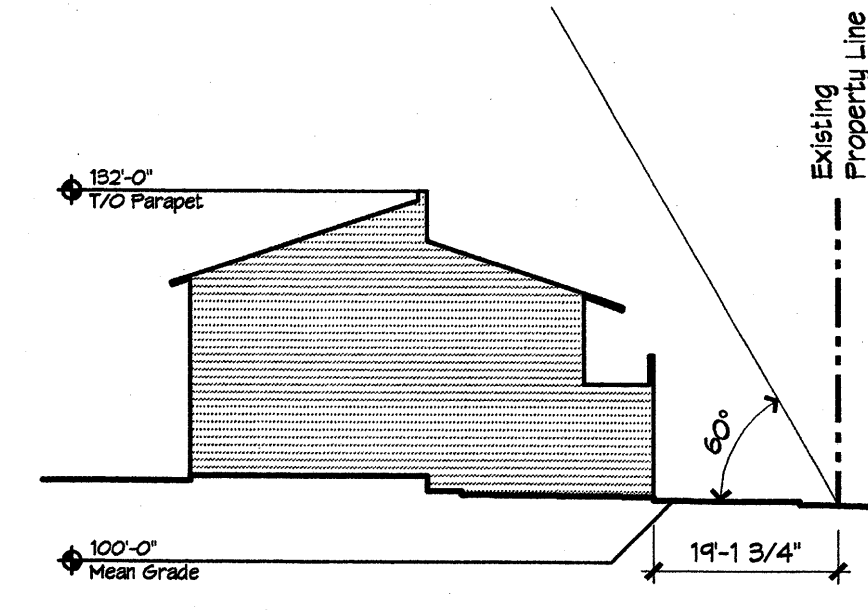
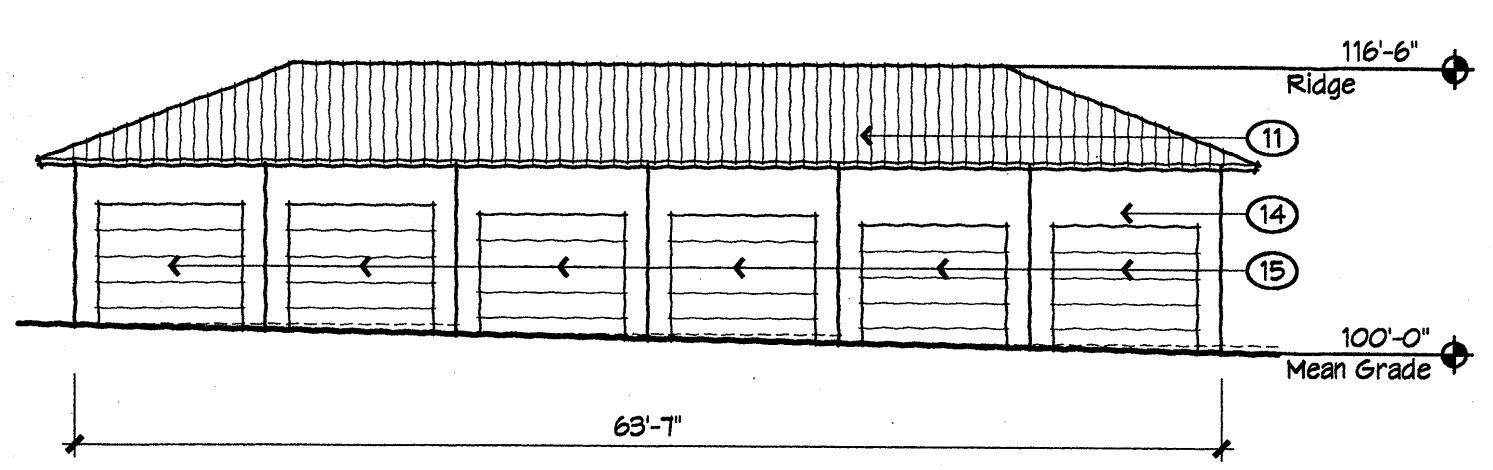
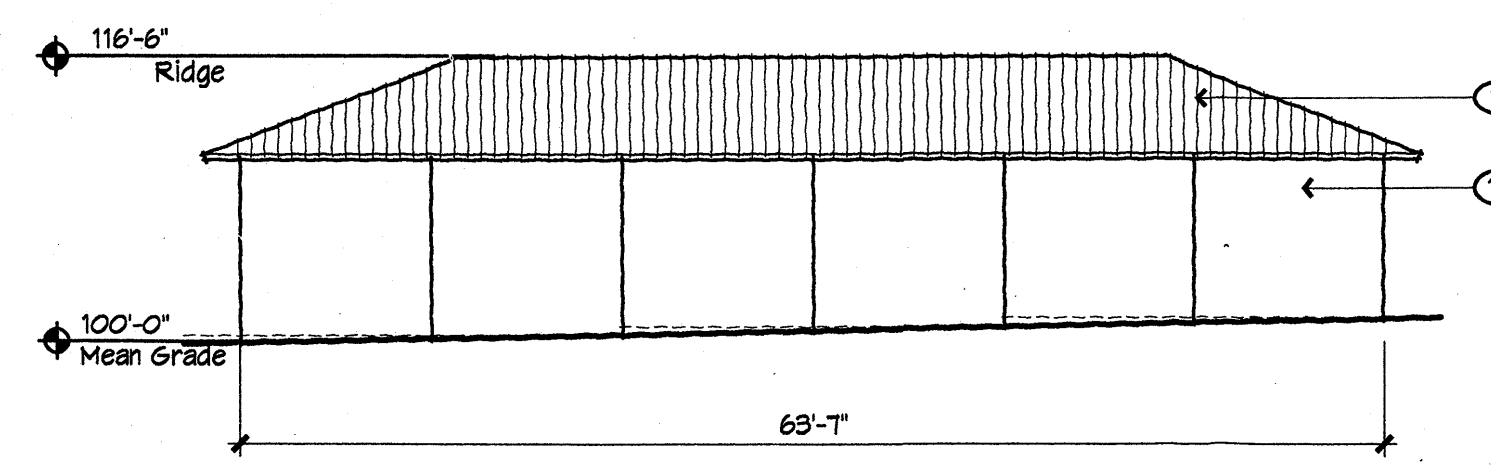
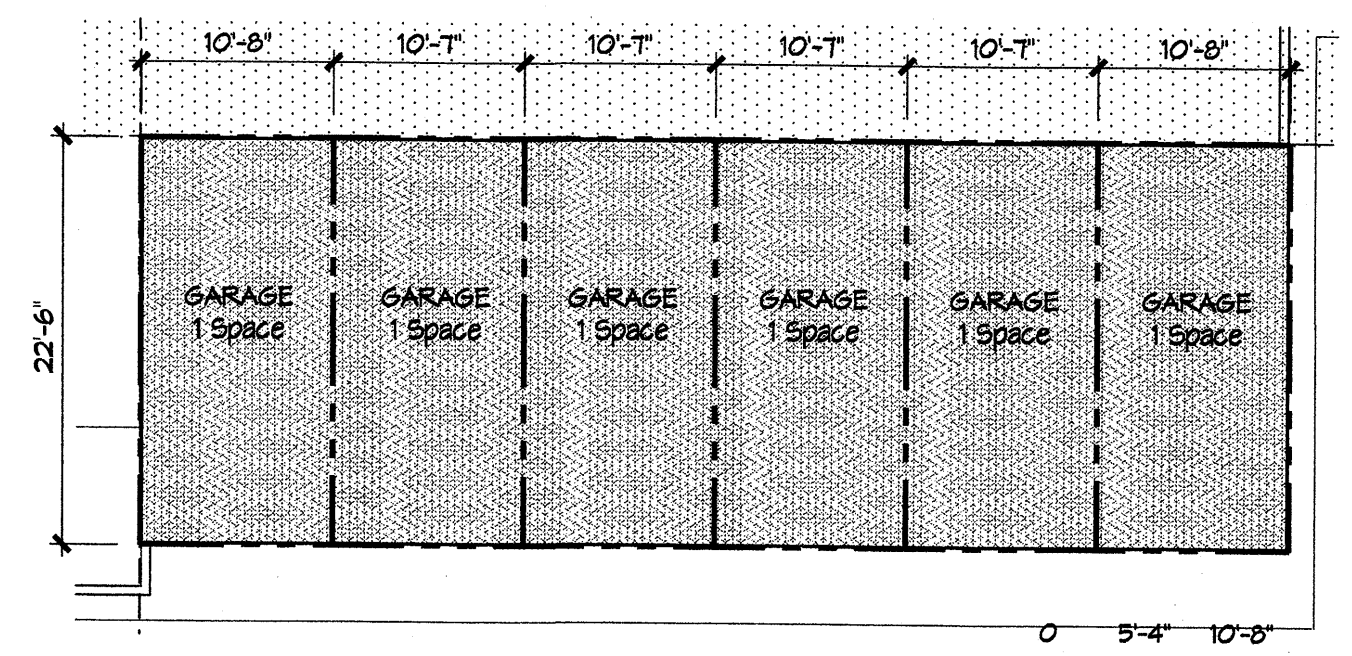
Conceptual
Building Plans,
Elevations, and
Section Design

General Notes:

- A. Refer to sheet SDP1 for site development plan. Refer to sheet SDP2 for landscape plan and design criteria. Refer to sheet SDP4 for additional design criteria. Refer to sheets SDP5 and SDP6 for conceptual grading, drainage, and utility design.
- B. Type 'A' units shall be limited to two story height.
- F. Overhead garage doors shall be varied in appearance and utilize two distinct and complimentary door styles throughout the project.

Keyed Notes:

- 1. Property Line
- 2. Town Home Building Envelope
- 3. Concrete Driveway or Apron
- 4. Concrete Sidewalk
- 5. Patio
- 6. Landscape Area
- 7-10. Not Used
- 11. Clay, Concrete, or Metal Roofing
- 12. Fascia Trim
- 13. Glazing
- 14. Stucco Finish System
- 15. Overhead Garage Door
- 16. Balcony
- 17. Wall



Design Requirements for Planned Residential Development (PRD)

Overall Design Theme and Land Use Concept:
The purpose of these design standards is to establish a framework for the quality development of the subject development area shown on the site development plan for subdivision. The primary goal for these design standards is to create an attractive, comfortable and safe residential community that fosters privacy and architectural character. These standards address the issues of architecture, parking, site lighting, screen walls and fences, pedestrian amenities, and signage to create the quality image desired for this development. The design standards are intended to be complementary to the planning and design of adjacent properties.

Minor amendments to this Site Plan for Subdivision shall be approved by the Planning Director in accordance with the Albuquerque Comprehensive City Zoning Code. Major amendments to this Site Development Plan for Subdivision shall be approved by the Environmental Planning Commission.

Off-Street Parking:

Off-street parking space shall be provided in compliance with regulation 14-16-9-1 of the Albuquerque Comprehensive City Zoning Code. See SDP1 for Parking Calculation.

Bicycle:

See SDP1 for Bicycle Rack location.

Architectural Design Requirements:

Street Design:
Private drive aisles 24 ft and 26 ft widths.

Transit:

Bus Stop as noted on Site Development Plan sheet SDP1.

Dwelling Unit Sizes:

Dwelling unit sizes range from 1,450 to 2,100 square feet.

Setbacks/Building Height:

The use of building setbacks is required to provide space for creation of visually attractive street scenes. In these setbacks should be pedestrian building access, and screening materials including landscaping.

Front/side/rear yard setbacks and maximum building height are specifically prescribed per unit type on details B1-B7/SDP3

Exterior Wall Materials and Colors:

Exterior wall materials are to be predominately vernacular based. The varying styles of vernacular Northern New Mexico Architecture shall be the basis of a more simple and contemporary expression or interpretation for architectural design.

Articulation of massing so as not to produce a long and flat building facade should be considered and encouraged. An articulated top-line of buildings, and the play of figure/ground planes will help the massing to achieve this goal. The building massing should also promote pedestrian site access when possible through use of patios and walks.

The use of a stucco wall finish system (or synthetic version thereof) shall be the predominant wall material for buildings to reinforce the Northern New Mexico vernacular architectural expression. Natural or cultured stone accents may be incorporated at exterior building walls to provide a contrasting texture and color to the building massing. Exterior wall color should reflect a consistent overall palette of earth-based tones for the field colors.

Site and patio walls should reflect the same use of stucco finish to complement that of the buildings, or may contrast the building finish by use of exposed natural stone, cultured stone or split-face cmu. Metal - rail fencing can be used to articulate semi private patios + common garden open spaces.

Exterior detail trim such as shade canopies, trellises, open railings, pitched roof elements, parapet corning, lintels, etc. should be consistently detailed throughout the site to complement the overall architecture and minimize the overall detail variety to the extent possible.

Roof materials and colors:

Roof materials may vary with the New Mexico vernacular expression from flat roof (low slope) with parapet, to metal roof and clay or concrete tile roof. Low reflectivity is required.

Architectural Design Requirements Cont.:

Site Lighting:

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky". Fixtures shall comply with the City of Albuquerque's Dark Skies requirements.
- The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.

Placement of Mechanical Units:

Care should be made to hide the view of exposed mechanical units, risers, and other equipment from the ground directly adjacent to the building whenever possible, whether roof or pad mounted units are used. Ground level units shall be screened from public view through the use of walls, or landscape material. Roof mounted units shall be screened from public view through the use of parapet walls that are architecturally coordinated with the building they serve.

Signage:

The following standards were developed to regulate the size, location, type and quality of sign elements within the overall development. The goal is to provide consistency in appearance and quality, and compliments the visual character of the development.

- All signs shall comply with section 14-16-3-5 General Sign Regulations of the Zoning Code.
- Entry identification signs shall be of monument type and shall complement the materials, color, and architectural character of the buildings. The maximum height of the wall to receive the sign shall not exceed the height of the adjacent walls + fencing or 6ft.
- The design of the interior directional signs shall be coordinated with the design of the monument sign.
- Building mounted signs shall comply with section 14-16-3-5.c.6
- No illuminated plastic panel signs are allowed.

Screen Walls and Fences:

The effective use of screening devices for utilitarian spaces, such as refuse areas, is critical to creating an attractive and functional development. The site orientation of these elements shall be placed away from public rights of way to the extent practical.

Screening:

These screening requirements are in addition to those listed in the parking and landscape sections. Refer to SDP1 and SDP2.

Refuse containers shall be screened from view through the use of walls at least six feet high that are architecturally coordinated with the buildings they serve and meet City design standards.

Refuse enclosures shall be further screened through the use of trees and shrubs when possible.

Architectural Design Requirements Cont.:

Walls/Fences:

Perimeter walls and fencing are allowed on the property. However efforts shall be made to lessen the visual impact of the walls or fencing through use of landscaping, and the design and location of openings.

- Unfinished block walls, barbed wire, chain link, concertina wire, and plastic/vinyl fencing are prohibited.
- Perimeter and security fences shall be painted tube steel with vertical pickets to complement the color and architectural character of the buildings.
- Acceptable materials for perimeter and yard walls include masonry block (with decorative finish), block with stucco, split face block, stone and painted tube steel. A combination of fence and/or wall is acceptable.
- Perimeter walls and fences, if used, shall include pedestrian openings at key locations within the development to ensure convenient access to adjacent commercial activities.
- The maximum height of perimeter walls and fences shall not exceed 6 feet in height.
- Clear sight distances shall be maintained at all driveway/entrance locations.
- Perimeter walls and fences, if used, shall be designed to be architecturally coordinated with the buildings they serve.

Pedestrian Movement & Amenities:

The Site design encourages free pedestrian movement between all areas and buildings. Connectivity of site elements within the project and to the public access points are enhanced by the use of cross walks at key vehicle intersection points and handicap accessible routes.

The creation of a pedestrian-friendly environment in the form of a centralized common open space courtyard will provide a central amenity for all residents to share. Objectives to achieve this goal include maintaining a high quality and consistency in style for site amenities, including benches, plazas, walkways, landscaping, signage and lighting. Other objectives include providing shaded walkways, and separating pedestrian and vehicular circulation systems in order to reinforce the courtyard character of the project and minimize conflict between people and cars. The use of alternative paving material for pedestrian pathways is encouraged but is not mandatory.

Trails and Sidewalks

Public and private walks provide important connectivity within the project as well as and out of the site.

- All private trails and paths shall be soft surface, with a minimum of 5'-0" width. The use of asphalt is discouraged. Concrete or compacted crusher fines with stabilizer are acceptable materials.
- All hard surface pedestrian paths shall be designed to be handicapped accessible, except where topography makes this unfeasible.
- Pedestrian crossings shall be clearly demarcated with contrasting paving treatment.
- Secure bicycle storage racks shall be conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided.
- Although there are no public trails or open space on or adjacent to the property, the site design must include pedestrian paths and trails that enable connectivity to facilities off-site.

Private Common Areas/ Public Open Space:

An important feature of this residential community is the inclusion of common use - courtyard space that exists adjacent to buildings. These spaces provide visual and physical relief, as well as opportunities for residents to meet their neighbors. The site is designed to provide residents with connections to public sidewalks from internal paths/sidewalks to reach public open space areas via car, bicycle or public transportation. The site offers its own open space for residential use.

Preliminary grading and drainage plan:

The drainage is designed to be an incorporated feature of the site rather than a intrusive site requirement. Refer to sheet SDP5.

Site Development Plan for Subdivision - Summary Information

The Site:

The site consists of approximately 2.6336 acres. Parcel 2-A-1 will be re-platted into Tract 1 & 2 through the Development Review Board as shown on this Site Development Plan for Subdivision sheet SDP1.

Proposed Use:

The site is zoned C-2. The proposed use for Tract 1 is SU-1 PRD (Planned Residential Development) for 32 unit Townhome Development and Tract 2 for C-2 use as shown on Site Development Plan for Subdivision sheet SDP1.

Pedestrian Ingress & Egress:

Existing public sidewalk at Montgomery Boulevard and proposed private trail provide important connectivity within the project as well as and out of the site. The private landscaped trail is located between the townhomes centralized on the tract 1 site. The trail system shall be located to link the structures within the site, minimize pedestrian vehicle conflicts, and connect to the public sidewalk at Montgomery Blvd.

Vehicular Ingress & Egress:

The primary access to the townhomes in Tract 1 and the carwash in Tract 2 is from Montgomery Boulevard. The three existing access points serving parcel 2-A-1 will be maintained. The requirements for width, radius and design configurations comply with COA standards. These primary access points will be a private Cross Access Easement between Tract 1 and Tract 2.

Internal Circulation Requirements:

The internal circulation with access off of Montgomery Boulevard meets the required street widths, radius and configurations complying with COA standards. These dimensions are shown on the illustrative Site Development Plan sheet SDP1 of 6. The internal circulation is designed with residential avenues and alleys as the main circulation pattern completed with landscaped spaces between drives, parking and pedestrian friendly tree-lined streets that provide residents with welcoming entrance to their residence.

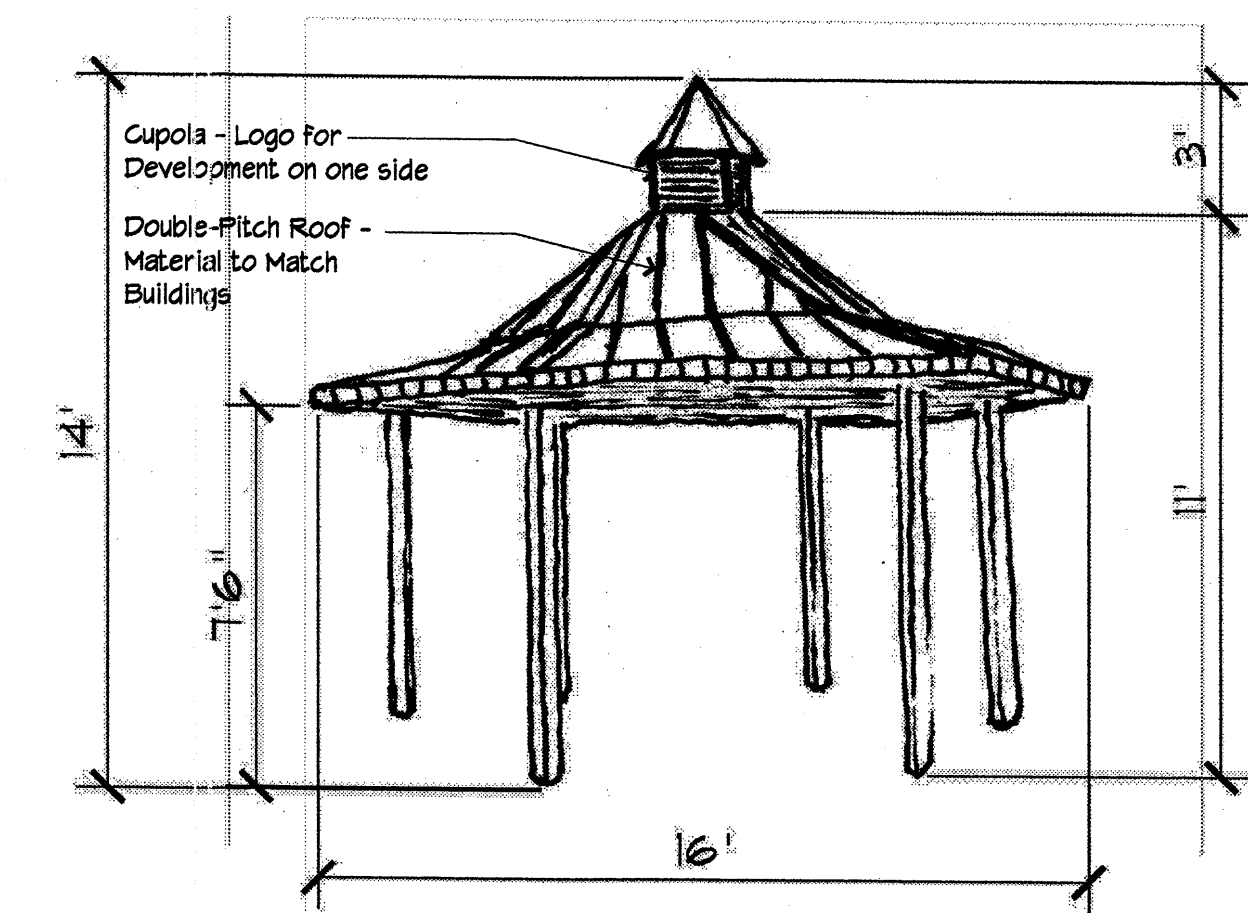
Maximum Building Height:

The maximum building height shall be in accordance to the height restrictions and regulations indicated in the Albuquerque Comprehensive City Zoning Code for the R-2 zone.

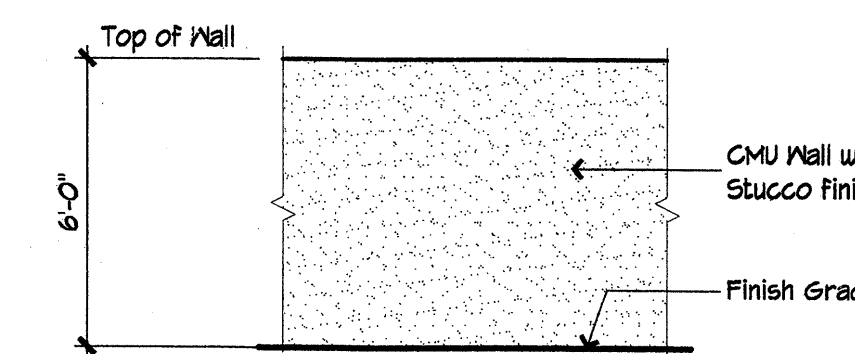
The maximum height for Tract 1 shall be 40 feet.

Maximum Dwelling Units:

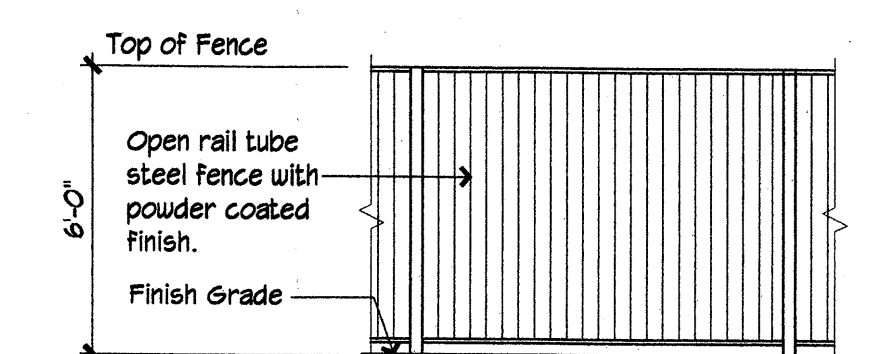
The maximum number of dwelling units and/or density shall not exceed 16 DUs per acre.



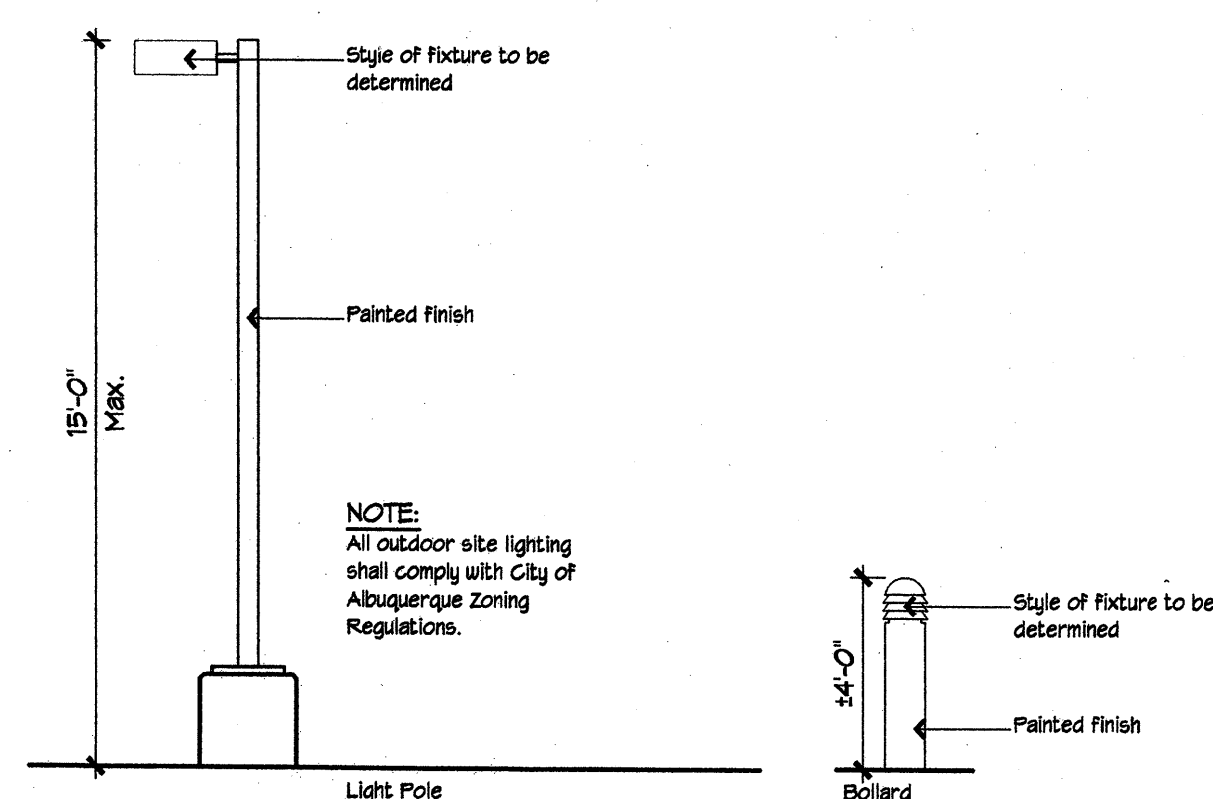
*will contain seating
D5 Shade Structure Detail
Elevation 1/4" = 1'-0"



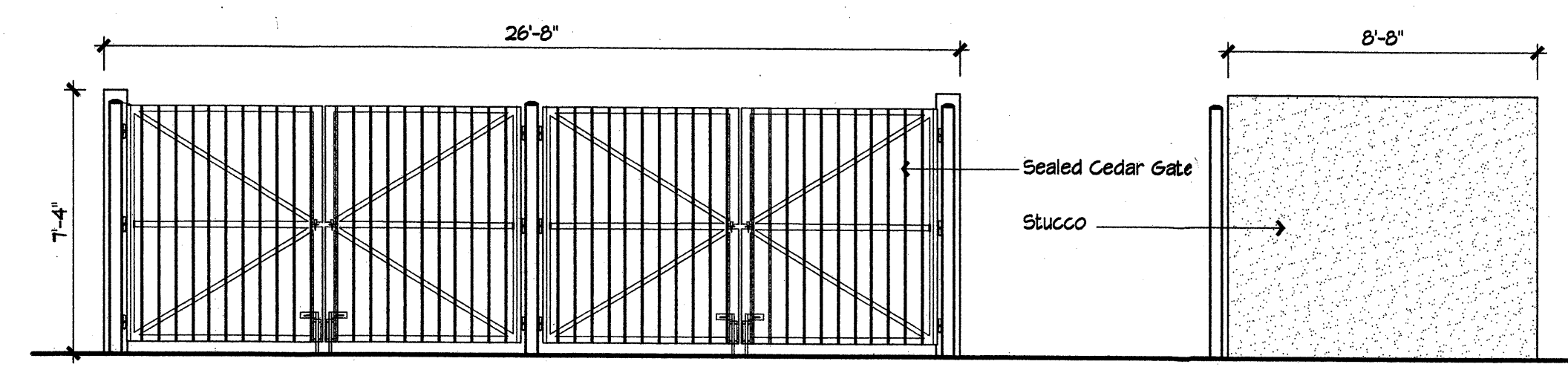
E4 CMU Site Wall
Elevation 1/4" = 1'-0"



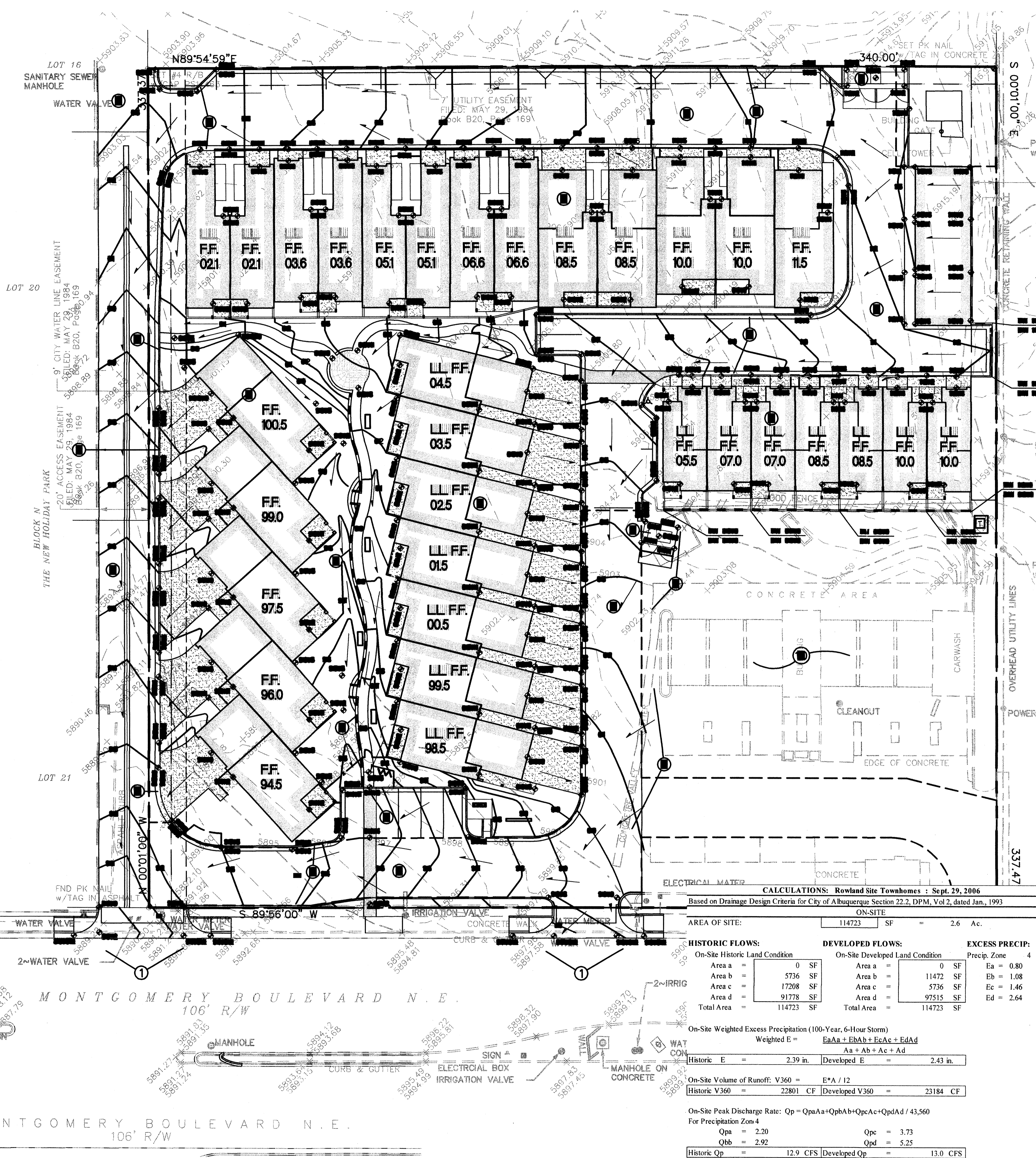
E5 Open Rail Site Fence
Elevation 1/4" = 1'-0"



E1 Light Pole and Bollard
Elevation 1/4" = 1'-0"



E2 Refuse Enclosure
Elevation 1/4" = 1'-0"



PROJECT DATA

THE SITE IS LOCATED ON THE NORTH SIDE OF MONTGOMERY BLVD. WEST OF TRAMWAY BLVD. (VICINITY MAP F-22). MONTGOMERY BLVD. BORDERS THE PROPERTY TO THE SOUTH, DEVELOPED COMMERCIAL TO THE EAST, DEVELOPED RESIDENTIAL TO THE WEST, AND DEVELOPED WATER STORAGE TANK FACILITY TO THE NORTH. THE SURROUNDING AREA IS FULLY DEVELOPED.

THE PRESENT SITE IS A DEVELOPED COMMERCIAL PROPERTY (PREVIOUSLY ROWLANDS PLANT NURSERY) WITH EXISTING STRUCTURES, PAVEMENT AND COMPACTED EARTH THROUGHOUT.

THE PROPOSED IMPROVEMENTS INCLUDE DEMOLITION OF EXISTING STRUCTURES AND CONSTRUCTION OF TOWNHOMES WITH NEW ASPHALT PAVED ACCESS AND PARKING AND ASSOCIATED SITE LANDSCAPING.

DRAINAGE PLAN CONCEPT:

THE SITE HISTORICALLY FREE DISCHARGES TO MONTGOMERY BLVD. THE PROPOSED IMPROVEMENTS WILL NOT SIGNIFICANTLY INCREASE SITE DISCHARGE DURING THE 100-YEAR, 6-HOUR STORM EVENT (SEE CALCULATIONS THIS SHEET) AND WILL CONTINUE TO FREE DISCHARGE TO MONTGOMERY BLVD. TO FOLLOW HISTORIC FLOWPATH.

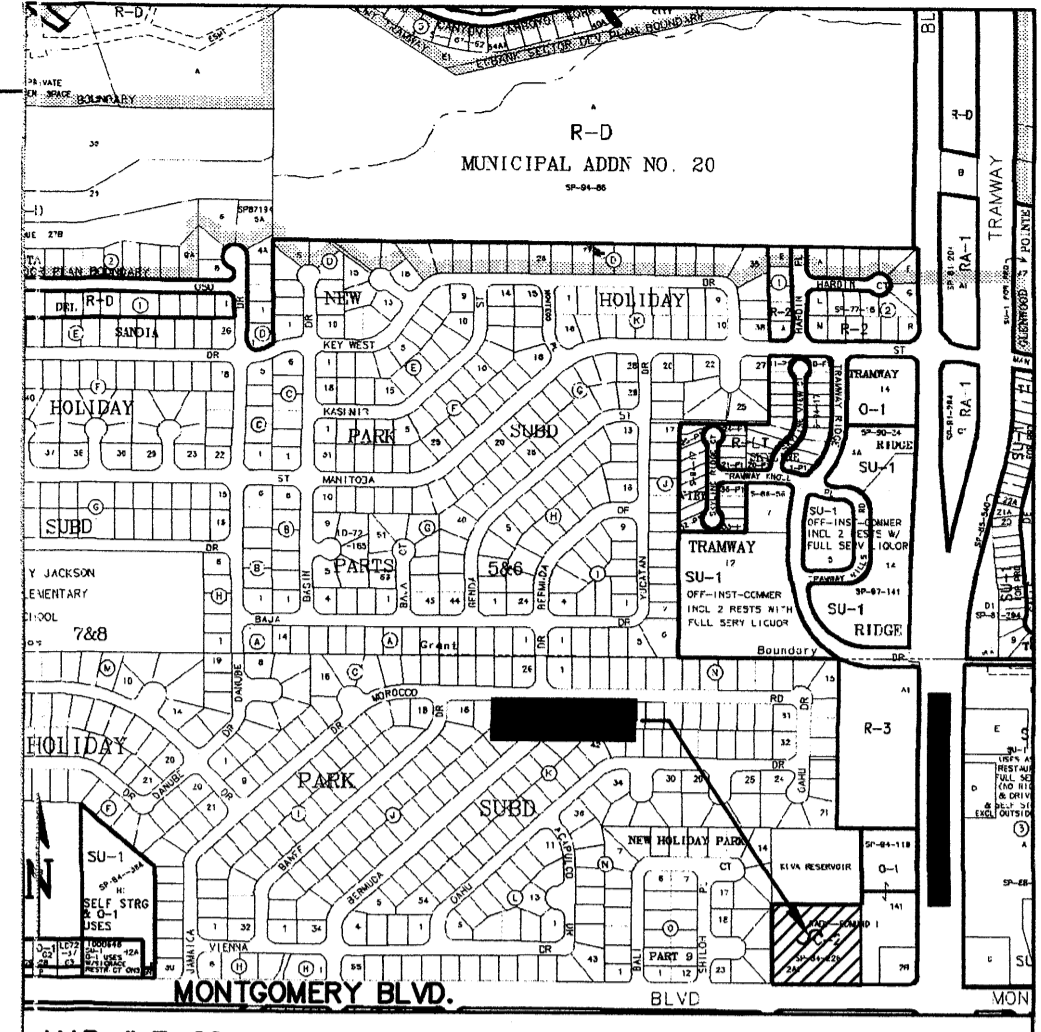
LEGAL: PARCEL 2-A-1 LAND OF EDMUND I. RADY, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

SURVEYOR: ANTHONY L. HARRIS, N.M.P.S. #11463

FLOODZONE: PER FIRM MAP 163, THE SITE IS NOT LOCATED WITHIN A 100 YEAR FLOOD ZONE.

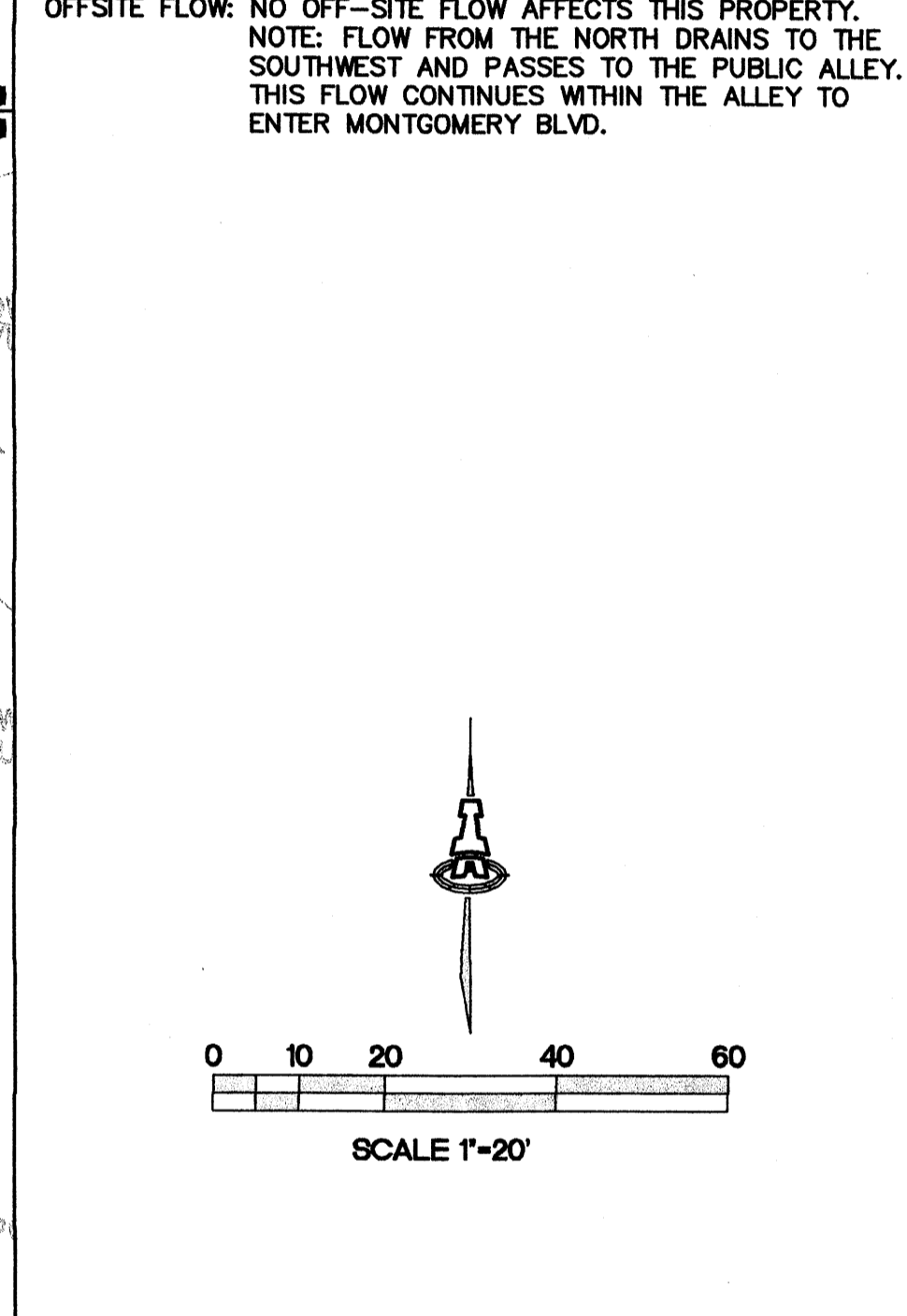
BENCHMARK: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "17-622", HAVING AN ELEVATION OF 5917.75.

OFFSITE FLOW: NO OFF-SITE FLOW AFFECTS THIS PROPERTY. NOTE: FLOW FROM THE NORTH DRAINS TO THE SOUTHWEST AND PASSES TO THE PUBLIC ALLEY. THIS FLOW CONTINUES WITHIN THE ALLEY TO ENTER MONTGOMERY BLVD.



KEYED NOTES

1. CONSTRUCT PRIVATE ENTRANCE WITH CONCRETE VALLEY GUTTER AND UNIDIRECTIONAL HANDICAP RAMPS BY C.O.A. WORK ORDER.
2. CONSTRUCT ASPHALT PAVED ACCESS / PARKING AT ELEVATIONS SHOWN.
3. SAWCUT EXISTING ASPHALT AS REQUIRED TO PROVIDE CLEAN BONDING EDGE. PROVIDE SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
4. CONSTRUCT MOUNTABLE ROLL CURB (PER C.O.A. DWG. 2415A) TYPICAL AT ALL CURB LOCATIONS.
5. ALL ROOF AREA TO DISCHARGE TO INTERIOR PAVEMENT AND / OR LANDSCAPED AREAS (TYPICAL ALL UNITS). PROVIDE CONCRETE SPLASHPAD AT ALL CONCENTRATED DISCHARGE LOCATIONS.
6. CONSTRUCT PUBLIC RESIDENTIAL ALLEY WITH 24" WIDE CONCRETE ALLEY GUTTER BY C.O.A. WORK ORDER.
7. PROVIDE 5" WIDE OPENING IN CURB AT FLOWLINE ELEVATION SHOWN TO PASS FLOW TO PAVEMENT. CONSTRUCT PEDESTRIAN WALK FLUSH WITH FLOWLINE.
8. CONSTRUCT 18"-30" HIGH RETAINING WALL TO ACHIEVE GRADE DIFFERENCES SHOWN.
9. CONSTRUCT CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN. INSTALL 8" DIA. AREA DRAIN AT LOWPOINT OF DUMPSTER PADS. MAKE CONNECTIONS TO SANITARY SEWER LINE (SEE UTILITY PLAN).
10. ADJACENT PROPERTY - SAME OWNER



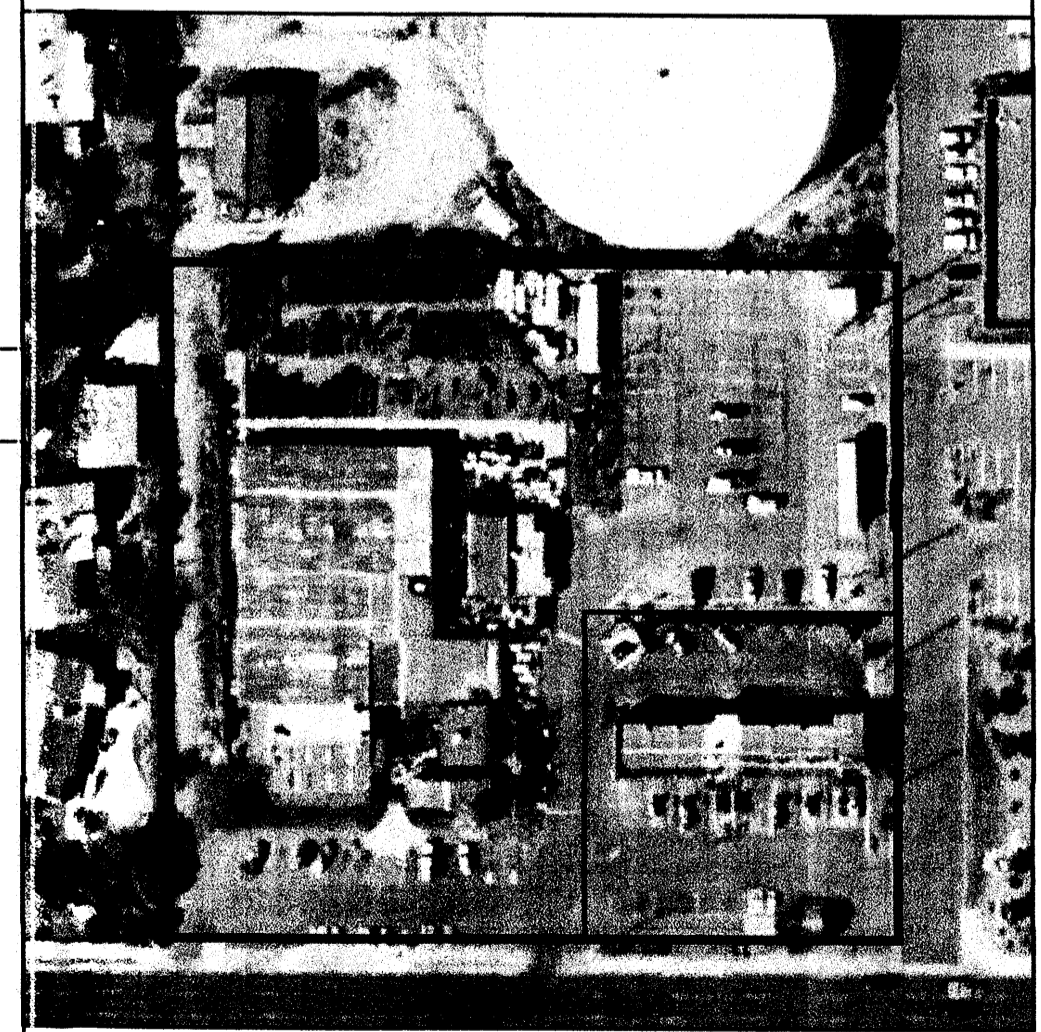
GENERAL NOTES

- A. COORDINATE ALL WORK WITH SITE PLAN, DEMOLITION PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
- B. GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS.

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5901.5 FINISH FLOOR ELEVATION
- PROPOSED MOUNTABLE (4") CURB
- PROPOSED RETAINING WALL
- TW 98 TOP OF WALL ELEVATION
- BW 98 BOTTOM OF WALL ELEVATION
- BIKE RACK
- MAIL BOX

EXISTING DEVELOPMENT



CALCULATIONS: Rowland Site Townhomes : Sept. 29, 2006
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

AREA OF SITE: 114723 SF = 2.6 Ac.	
HISTORIC FLOWS:	DEVELOPED FLOWS:
On-Site Historic Land Condition	On-Site Developed Land Condition
Area a = 0 SF	Area a = 0 SF
Area b = 5736 SF	Area b = 11472 SF
Area c = 17208 SF	Area c = 5736 SF
Area d = 91778 SF	Area d = 92515 SF
Total Area = 114723 SF	Total Area = 114723 SF
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)	
Weighted E = $\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$	
Historic E = 2.39 in.	Developed E = 2.43 in.
On-Site Volume of Runoff: V360 = $E * A / 12$	
Historic V360 = 22801 CF	Developed V360 = 23184 CF
On-Site Peak Discharge Rate: $Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43.560$	
For Precipitation Zone 4	
Qpa = 2.20	Qpc = 3.73
Qpb = 2.92	Qpd = 5.25
Historic Qp = 12.9 CFS	Developed Qp = 13.0 CFS

architecture
interiors
planning
engineering

**Dekker
Perich
Sabatini**

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Albuquerque, NM 87109
505 761-9700
fax 761-4222
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ARCHITECT

ENGINEER

Villa Loma Estates
12401 Montgomery Boulevard NE
Albuquerque, New Mexico

REVISIONS

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DRAWN BY _____
REVIEWED BY _____
DATE _____
PROJECT NO. 06031
DRAWING NAME _____

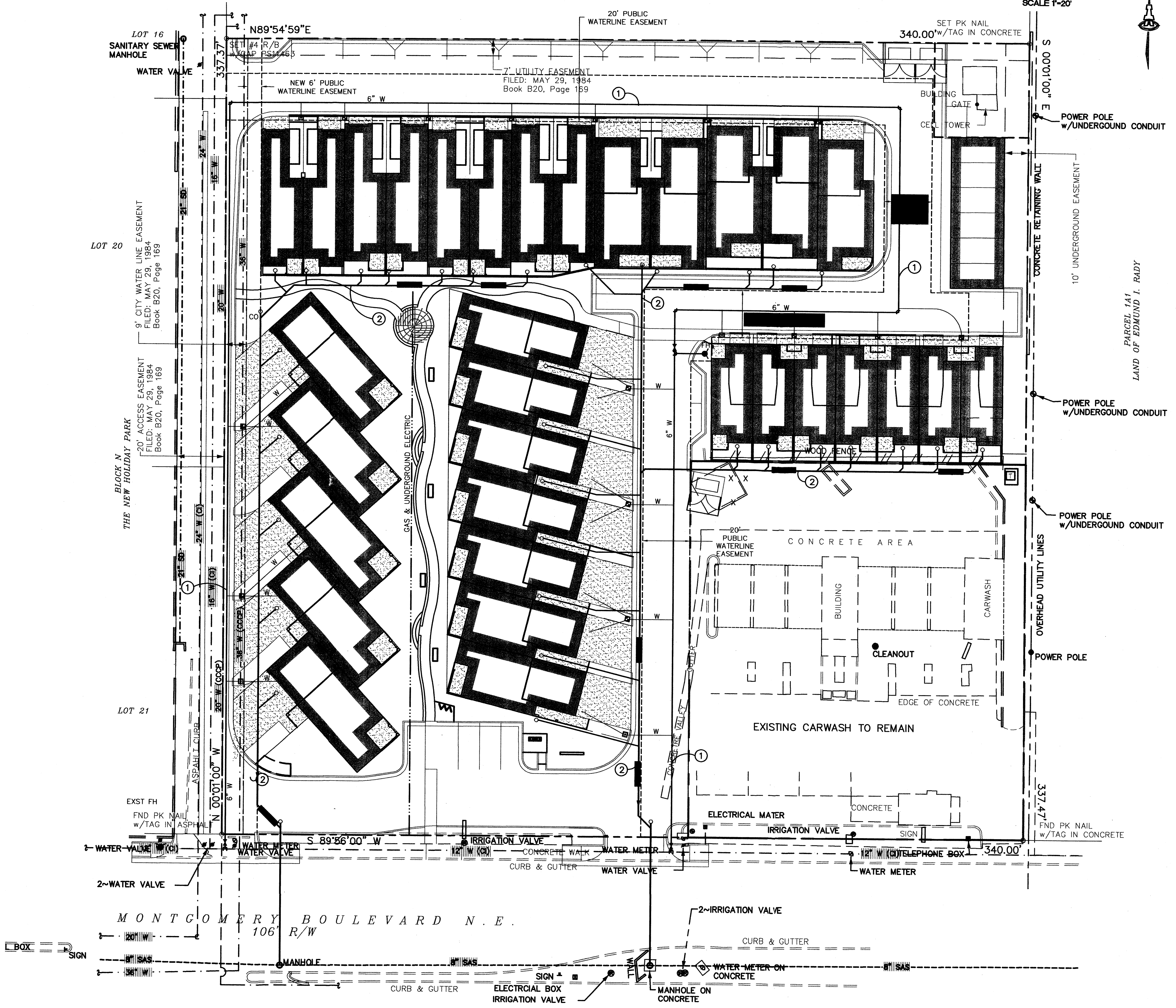
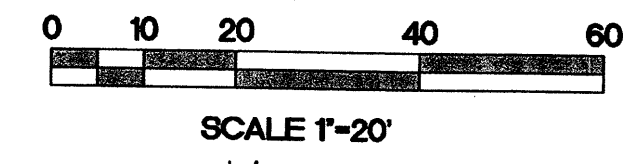
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates

128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1562GRD.dwg Apr. 30, 2007

**PRELIMINARY PLAT
GRADING AND
DRAINAGE PLAN**

SHEET NO. **C1**

KIVA RESERVOIR



KEYED NOTES

- 1. PUBLIC 6" ONSITE WATERLINE.
- 2. PRIVATE SANITARY SEWER SERVICES.

LEGEND

- [Symbol] SINGLE WATER METER & BOX
- [Symbol] DOUBLE WATER METER & BOX
- [Symbol] GATE VALVE w/ VALVE BOX
- [Symbol] FIRE HYDRANT
- [Symbol] SAS MANHOLE
- [Symbol] WATER LINE w/ FITTING
- [Symbol] TRANSFORMER

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ARCHITECT

ENGINEER

PROJECT

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12401 Montgomery Boulevard NE
Albuquerque, New Mexico

REVISIONS

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DRAWN BY

REVIEWED BY

DATE

PROJECT NO. 06031

DRAWING NAME

ISAACSON & ARFMAN, P.A.

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Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1562UMSTR.dwg Apr 30, 2007

**PRELIMINARY PLAT
UTILITY PLAN**

SHEET NO. **C2** OF

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