

VICINITY MAP No. F-22



**LEGAL DESCRIPTION**

PARCEL 2-A-1 OF LAND OF EDMUND I. RADY, ALBUQUERQUE, NEW MEXICO, AS SAID PARCEL IS SHOWN AND DESIGNATED ON THE PLAT OF DIVISION THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 29, 1984 IN PLAT BOOK B20, PAGE 169.

**PLAT OF  
TRACT 1, TRACT 2, LOTS 1 - 32 AND LOTS 19A - 24A  
CIELO VISTA**

WITHIN  
SECTION 34, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
DECEMBER, 2006

PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

**UTILITY APPROVALS:**

PNM ELECTRIC SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

PNM GAS SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

QWEST TELECOMMUNICATIONS \_\_\_\_\_ DATE \_\_\_\_\_

COMCAST \_\_\_\_\_ DATE \_\_\_\_\_

NEW MEXICO UTILITIES \_\_\_\_\_ DATE \_\_\_\_\_

**CITY APPROVALS:**

CITY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

\*REAL PROPERTY DIVISION (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_

\*\*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

UTILITIES DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

AMAFCA \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

**CURVE TABLE**

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	52°53'52"	S 26°27'56" E	24.50	22.62	21.82
C2	37°09'08"	S 71°29'26" E	24.50	15.89	15.61
C3	34°19'45"	S 72°54'07" E	19.50	11.68	11.51

**LINE TABLE**

NUMBER	DIRECTION	DISTANCE
L1	N 90°00'00" E	299.34'
L2	N 90°00'00" E	279.33'
L3	N 00°00'00" E	92.66'
L4	N 00°00'00" W	72.66'
L5	N 00°00'00" E	20.00'
L6	N 90°00'00" E	16.04'
L7	N 90°00'00" E	120.69'
L8	S 90°00'00" W	25.00'
L9	N 90°00'00" E	84.64'
L10	N 00°00'00" W	6.00'
L11	N 00°00'00" W	238.01'
L12	S 00°00'00" W	12.00'
L13	N 90°00'00" E	11.66'
L14	N 00°00'00" W	201.98'
L15	N 76°19'33" W	36.94'
L16	S 76°19'33" E	39.90'
L17	N 89°55'41" E	103.70'
L18	S 89°55'41" W	106.54'
L19	N 00°00'00" W	24.14'
L20	N 89°56'00" E	103.79'
L21	N 81°12'29" E	13.77'
L22	N 90°00'00" W	35.09'
L23	S 00°09'26" E	1.04'
L24	S 89°56'00" W	56.85'
L25	N 81°12'29" E	20.20'
L26	S 89°56'00" W	69.22'
L27	S 00°00'00" E	111.45'
L28	N 00°00'00" E	107.34'
L29	S 90°00'00" W	23.83'
L30	S 00°01'00" E	20.00'
L31	S 89°56'00" W	30.19'
L32	N 00°00'16" W	24.41'
L33	N 00°03'56" W	24.54'
L34	N 00°00'00" W	5.00'
L35	S 47°54'31" W	5.11'

**AREA TABLE**

NUMBER	SQUARE FEET
LOT 1	2128.7216 sq. ft
LOT 2	2228.9958 sq. ft
LOT 3	2229.3745 sq. ft
LOT 4	2229.7532 sq. ft
LOT 5	2230.1319 sq. ft
LOT 6	1188.8866 sq. ft
LOT 7	1188.8866 sq. ft
LOT 8	1188.8866 sq. ft
LOT 9	1188.8866 sq. ft
LOT 10	1188.8866 sq. ft
LOT 11	1188.8866 sq. ft
LOT 12	1188.8866 sq. ft
LOT 13	1500.1442 sq. ft
LOT 14	1500.1442 sq. ft
LOT 15	1500.1442 sq. ft
LOT 16	1500.1442 sq. ft
LOT 17	1500.1442 sq. ft
LOT 18	1500.1442 sq. ft
LOT 19	945.1568 sq. ft
LOT 20	946.0629 sq. ft
LOT 21	946.9691 sq. ft
LOT 22	947.8753 sq. ft
LOT 23	948.7815 sq. ft
LOT 24	949.6876 sq. ft
LOT 25	950.5938 sq. ft
LOT 26	1906.2625 sq. ft
LOT 27	1906.2625 sq. ft
LOT 28	1906.2625 sq. ft
LOT 29	1906.2625 sq. ft
LOT 30	1906.2625 sq. ft
LOT 31	1906.2625 sq. ft
LOT 32	1906.2625 sq. ft
LOT 19A	2282.6088 sq. ft
LOT 20A	240.0000 sq. ft
LOT 21A	240.0000 sq. ft
LOT 22A	240.0000 sq. ft
LOT 23A	240.0000 sq. ft
LOT 24A	240.0000 sq. ft
TRACT 1	41924.7753 sq. ft
TRACT 2	22742.8210 sq. ft

**ADDRESS TABLE**

NUMBER	ADDRESS
LOT 1	12403
LOT 2	12405
LOT 3	12407
LOT 4	12409
LOT 5	12411
LOT 6	12413
LOT 7	12415
LOT 8	12417
LOT 9	12419
LOT 10	12421
LOT 11	12423
LOT 12	12425
LOT 13	12427
LOT 14	12429
LOT 15	12431
LOT 16	12433
LOT 17	12435
LOT 18	12437
LOT 19	12439
LOT 20	12441
LOT 21	12443
LOT 22	12445
LOT 23	12447
LOT 24	12449
LOT 25	12451
LOT 26	12453
LOT 27	12455
LOT 28	12457
LOT 29	12459
LOT 30	12461
LOT 31	12463
LOT 32	12465

**PURPOSE OF PLAT:**

THE PURPOSE OF THIS PLAT IS TO DIVIDE PARCEL 2-A-1 INTO 40 LOTS AND GRANT ANY EASEMENTS AS SHOWN.

**GENERAL NOTES:**

- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 2,6337 ACRES.
- TALOS LOG NO. \_\_\_\_\_
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- DATE OF FIELD WORK: AUGUST, 2006
- CURRENT ZONING: C-2

**FREE CONSENT**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

\_\_\_\_\_ DATE \_\_\_\_\_

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,

BY: \_\_\_\_\_  
OWNERS NAME

MY COMMISSION EXPIRES: \_\_\_\_\_ BY: \_\_\_\_\_  
NOTARY PUBLIC

**SURVEYORS CERTIFICATE:**

STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2006.

ANTHONY L. HARRIS, P.S. # 11463

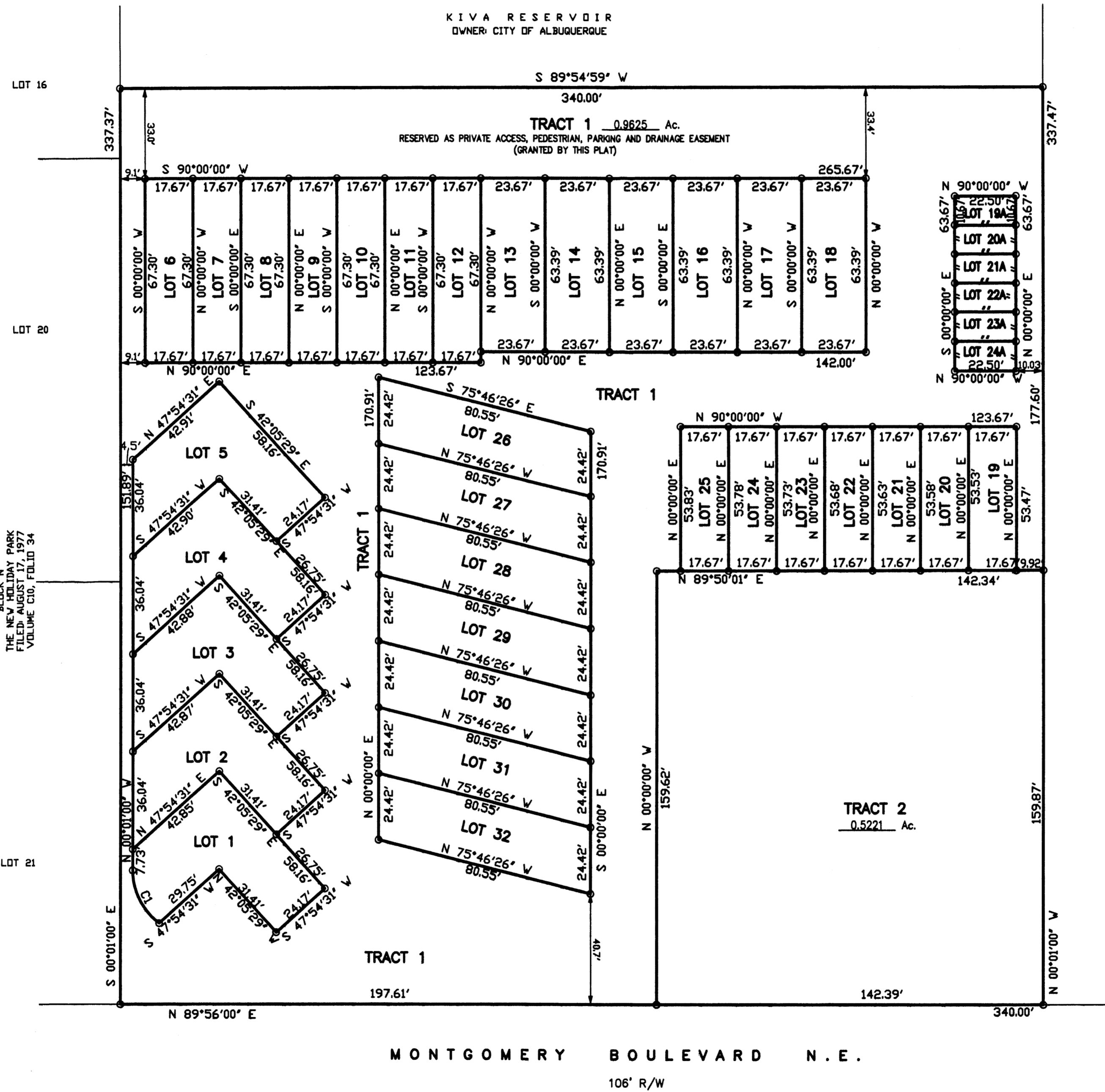
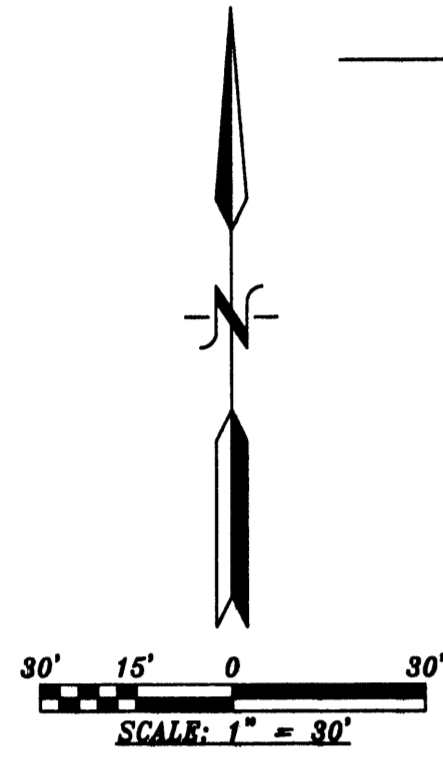
**HARRIS SURVEYING, INC.**  
412-D MONROE STREET N.E. ALBUQUERQUE, NEW MEXICO 87110  
PHONE: (505) 889-8058  
FAX: (505) 889-8645

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
UPC# \_\_\_\_\_  
PROPERTY OWNER OF RECORD: \_\_\_\_\_  
BERNALILLO CO. TREASURER'S OFFICE: \_\_\_\_\_

PLAT OF  
**TRACT 1, TRACT 2, LOTS 1 - 32 AND LOTS 19A - 24A**  
**CIELO VISTA**

WITHIN  
 SECTION 34, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 DECEMBER, 2006

KIVA RESERVOIR  
 OWNER: CITY OF ALBUQUERQUE

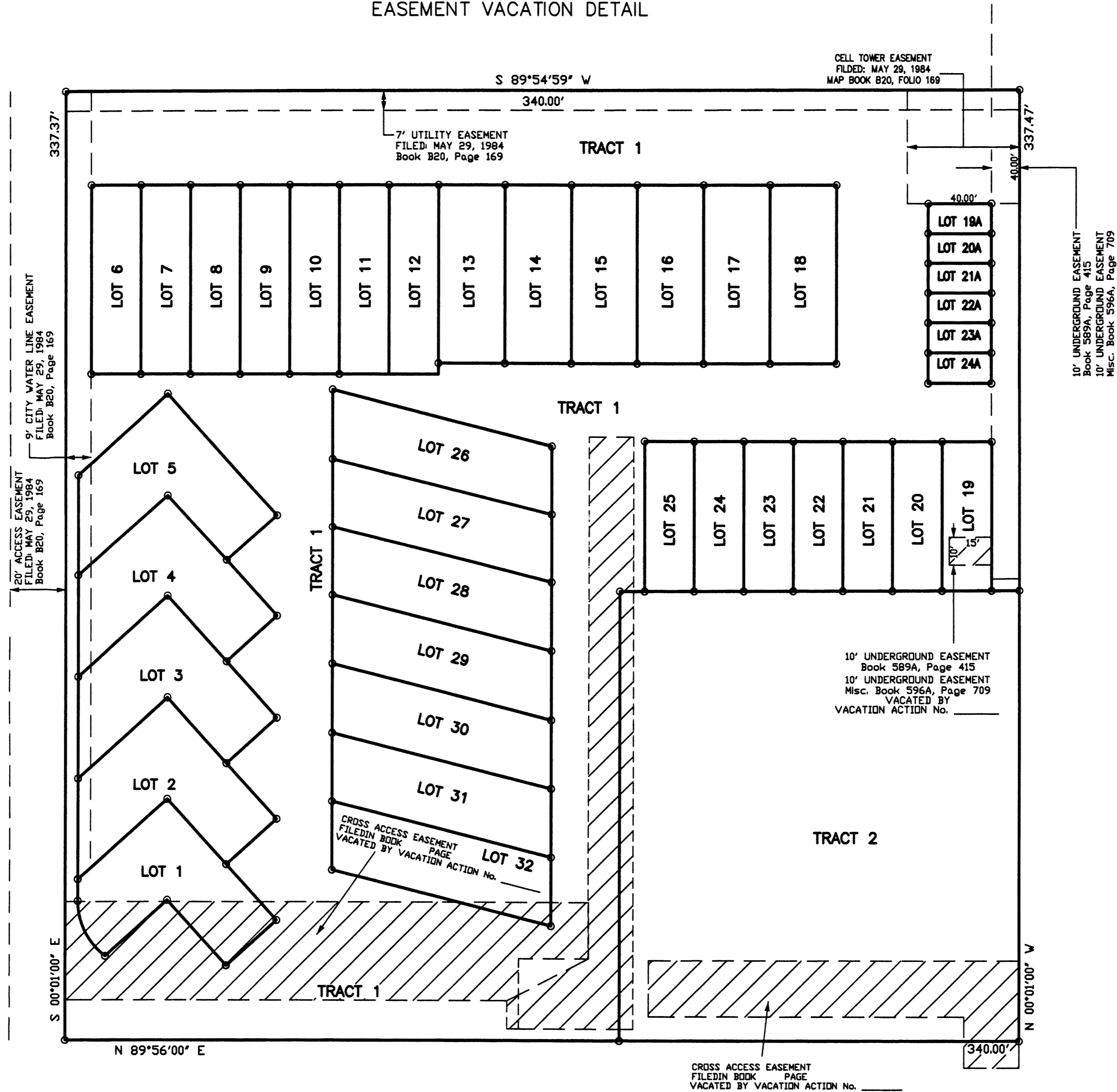
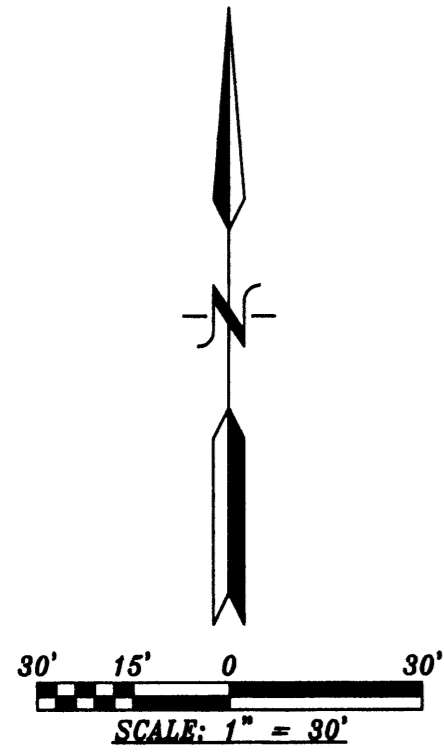


REPLAT.DWG

PLAT OF  
**TRACT 1, TRACT 2, LOTS 1 - 32 AND LOTS 19A - 24A**  
**CIELO VISTA**

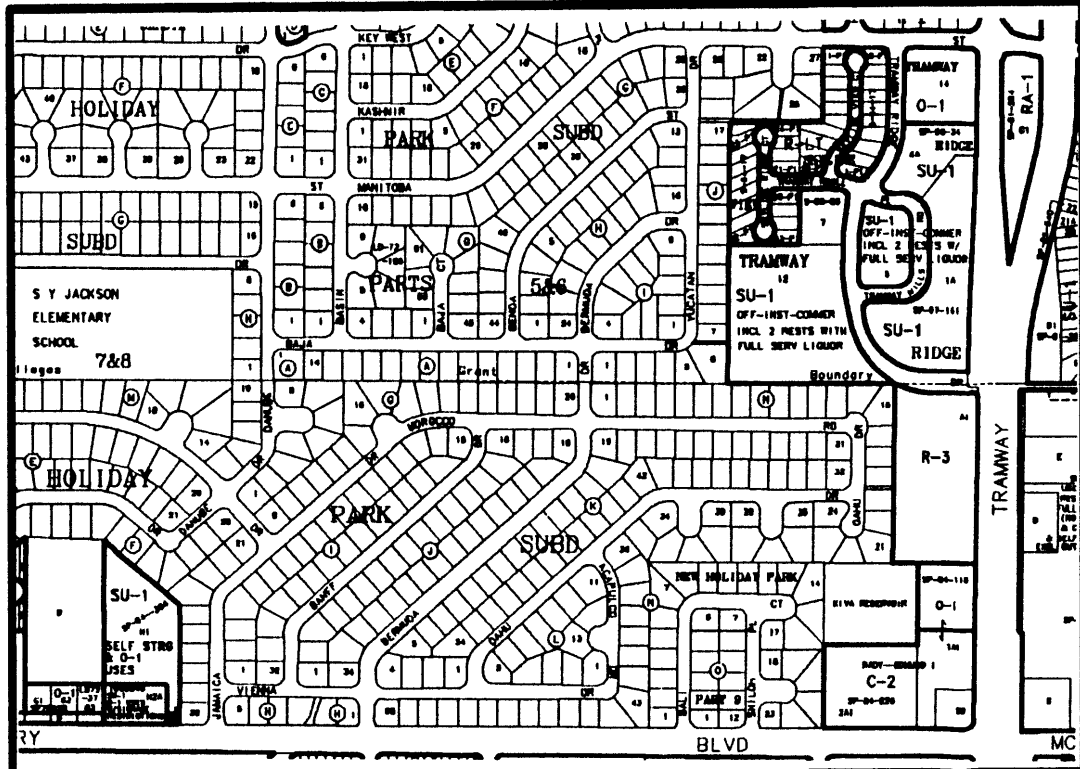
WITHIN  
 SECTION 34, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 DECEMBER, 2006

EASEMENT VACATION DETAIL









A.L.T.A / A.C.S.M. LAND TITLE SURVEY  
 OF  
**PARCEL 2-A-1**  
**LAND OF EDMUND I. RADY**  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 AUGUST, 2006

VICINITY MAP No. F-22

KIVA RESERVOIR  
 OWNER: CITY OF ALBUQUERQUE

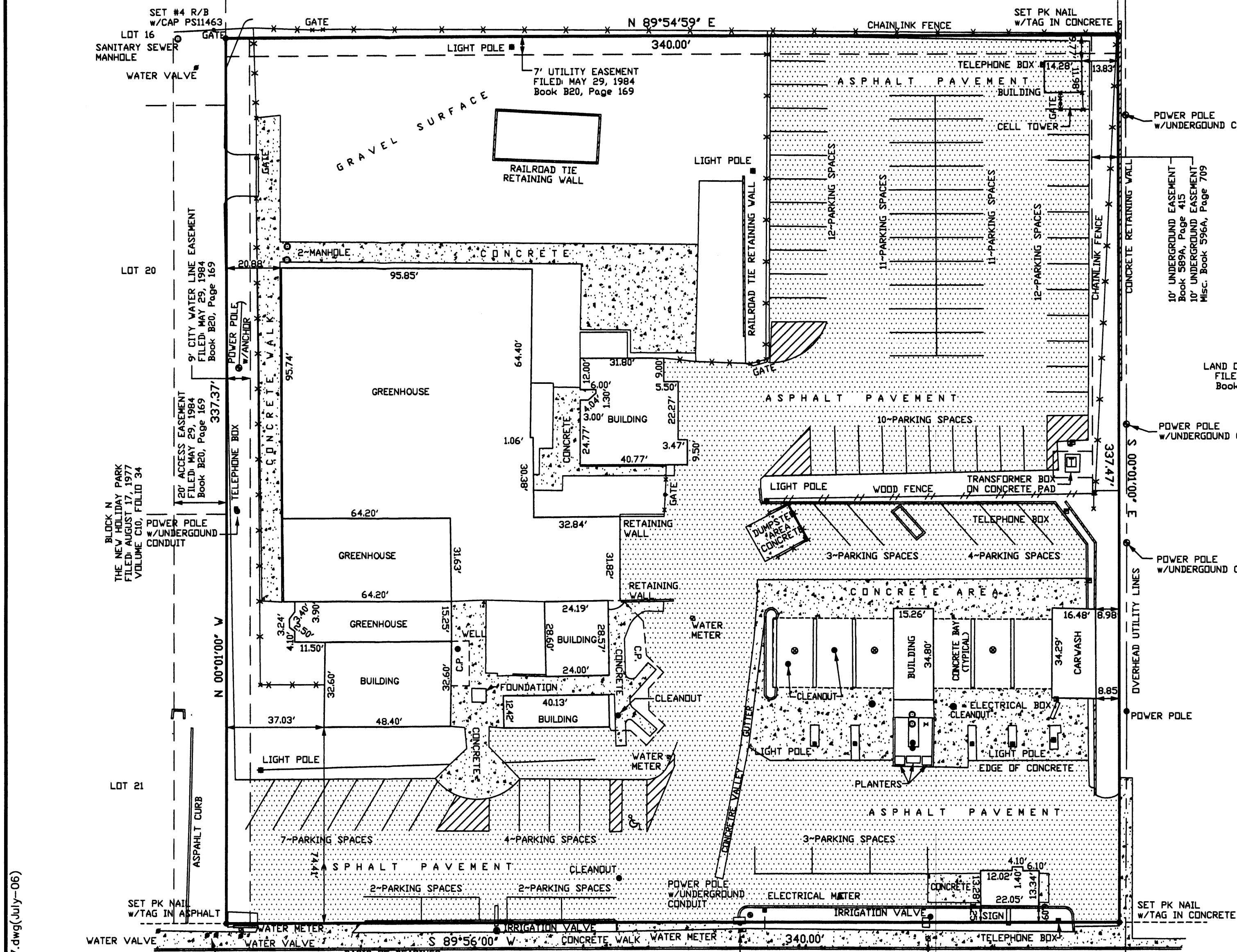
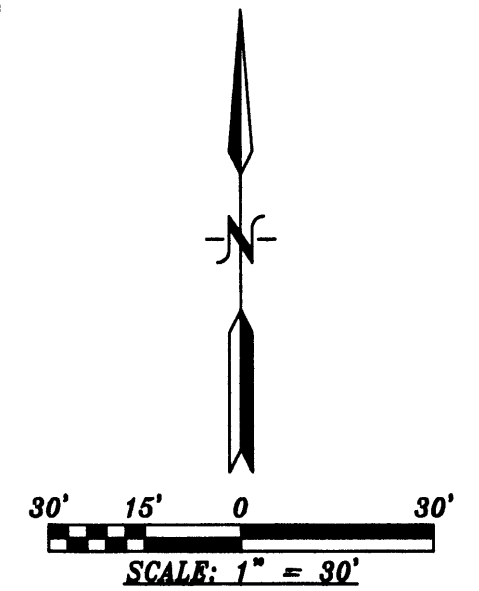
**LEGAL DESCRIPTION:**

PARCEL 2-A-1 OF LAND OF EDMUND I. RADY, ALBUQUERQUE, NEW MEXICO, AS SAID PARCEL IS SHOWN AND DESIGNATED ON THE PLAT OF DIVISION THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 29, 1984 IN PLAT BOOK B20, PAGE 169.

**GENERAL NOTES:**

- OWNER OF RECORD PER LANDAMERICA ALBUQUERQUE TITLE CO. TITLE BINDER DATED: MARCH 28, 2006 IS SHARON LYNN ROWLAND
- LEGAL DESCRIPTION AND EASEMENTS SHOWN WAS PROVIDED BY LANDAMERICA ALBUQUERQUE TITLE CO. COMMITMENT No. 6212000564
- PLATS USED TO ESTABLISH BOUNDARY.  
 A: PLAT OF DIVISION OF LAND OF EDMUND I. RADY FILED: MAY 29, 1984 BOOK B20, PAGE 169
- FIELD WORK PERFORMED ON: JULY, 2006

The property shown hereon is NOT within the 100 year flood plain. Zone "X", FIRM Panel #35002C0163E Dated: 11-19-03



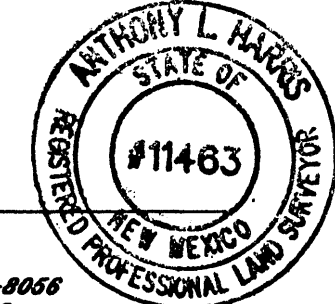
STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) S.S.

CERTIFY TO: WHALE OF A WASH. LLC, FIRST COMMUNITY BANK and LANDAMERICA ALBUQUERQUE TITLE Co.

I, ANTHONY L. HARRIS, A PROFESSIONAL SURVEYOR, LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY, AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THERE ARE NO ENCROACHMENTS FROM THIS PROPERTY TO ADJOINING PROPERTIES OR FROM ADJOINING PROPERTIES TO THIS PROPERTY UNLESS HEREON SHOWN. I FURTHER CERTIFY THAT THIS MAP OR PLAT AND SURVEY ON WHICH IT IS BASED WERE MADE (i) IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND ACSM LAND IN 1999, AND INCLUDES ITEMS: 1, 3, 8, 9, 10, 11, 13, 16 OF TABLE A THEREOF, AND (ii) PURSUANT TO THE ACCURACY STANDARDS (AS ADOPTED BY ALTA AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION) ON AN URBAN SURVEY.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO THIS 2nd DAY OF July 2006

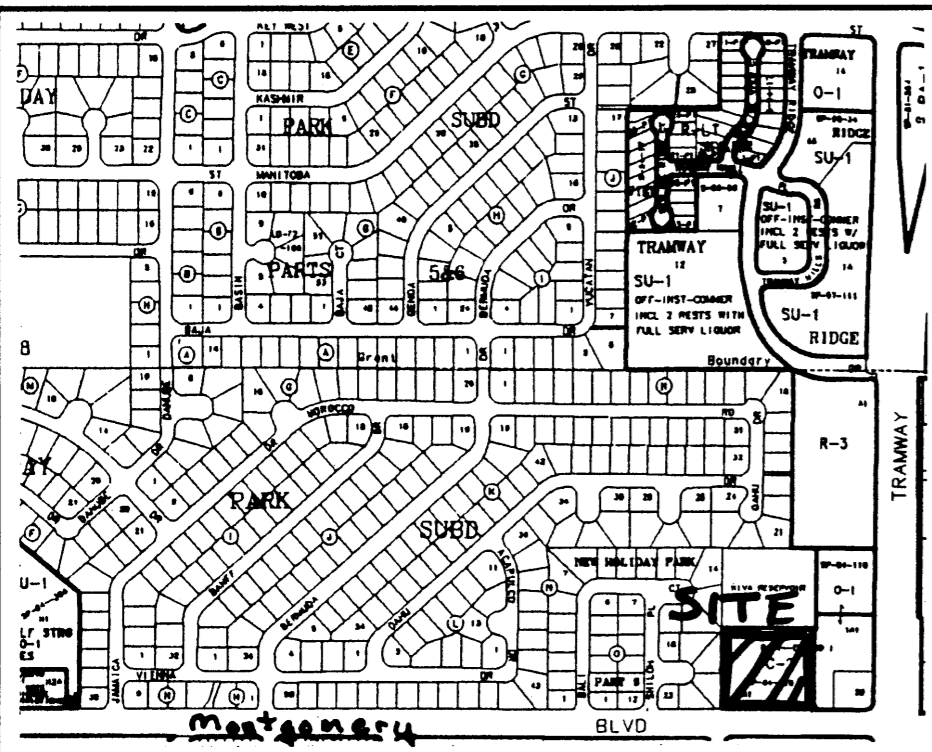
*Anthony L. Harris*  
 ANTHONY L. HARRIS, N.M.P.S. #11463



**ALTA SURVEYING, INC.** PHONE: (505) 889-8056  
 3415-D MONROE STREET N.E. FAX: (505) 889-8845  
 ALBUQUERQUE, NEW MEXICO 87110

06-1527.dwg (July-06)

**MONTGOMERY BOULEVARD N.E.**  
 106' R/W



VICINITY MAP No. F-22

**LEGAL DESCRIPTION**

PARCEL 2-A-1 OF LAND OF EDMUND I. RADY, ALBUQUERQUE, NEW MEXICO, AS SAID PARCEL IS SHOWN AND DESIGNATED ON THE PLAT OF DIVISION THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 29, 1984 IN PLAT BOOK B20, PAGE 169.

N.T.S.

**PRELIMINARY  
PLAT OF  
VILLA LOMA ESTATES**

WITHIN  
SECTION 34, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2007

PROJECT NUMBER: 1005185  
APPLICATION NUMBER: 07DRB-00262

**PRELIMINARY PLAT  
APPROVED BY DRB  
ON 5/02/07**

**PURPOSE OF PLAT:**

THE PURPOSE OF THIS PLAT IS TO CREATE 32 LOTS, 2 TRACTS AND 6 PARCELS AND GRANT ANY EASEMENTS AS SHOWN.

**GENERAL NOTES:**

- 1: UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TOTAL AREA OF PROPERTY: 2.6337 ACRES.
- 4: TALOS LOG NO. 2007165374
- 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- 6: DISTANCES ARE GROUND, BEARINGS ARE GRID.
- 7: BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- 8: DATE OF FIELD WORK: AUGUST, 2006
- 9: CURRENT ZONING: C-2
- 10: PARCELS ARE IDENTIFIED AS P. 33 THRU P. 38 P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- 11: TRACT 1 IS GRANTED AS A COMMON AREA, CROSS ACCESS EASEMENT, PRIVATE ACCESS, PEDESTRIAN, PARKING AND DRAINAGE EASEMENT AND PUBLIC WATER AND SANITARY SEWER EASEMENT THESE ARE FOR THE BENEFIT OF THE OWNERS OF LOTS 1 thru 32, VILLA LOMA ESTATES AND SHALL BE MAINTAINED BY THE VILLA LOMA ESTATES HOME OWNERS ASSOCIATION.
- 12: THE CROSS LOT ACCESS EASEMENT IS FOR THE BENEFIT OF THE OWNERS OF LOTS 1 thru 32, VILLA LOMA ESTATES AND THE OWNERS OF TRACT 2, VILLA LOMA ESTATES EACH OWNERSHIP WILL MAINTAIN THE EASEMENT THAT LIES WITHIN ITS BOUNDARIES
- 13: THE EXISTING 20 FOOT ACCESS EASEMENT ADJACENT TO THE WEST LINE OF VILLA LOMA ESTATES IS FOR THE BENEFIT OF THE OWNERS OF LOTS 1 thru 32, VILLA LOMA ESTATES AND THE CITY OF ALBUQUERQUE. THE CITY REQUIRED PAVING IMPROVEMENTS ARE THE RESPONSIBILITY OF THE OWNER OF VILLA LOMA ESTATES. THE CITY OF ALBUQUERQUE WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE ACCEPTED IMPROVEMENTS ON THE CITY-OWNED 20 FOOT WIDE ADJACENT PROPERTY
- 14: THE HOMEOWNERS ASSOCIATION COVENANT DOCUMENT WILL NOT THE VILLA LOMA ESTATES HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE ON-SITE PRIVATE SANITARY SEWER LINE

AREA TABLE		ADDRESS TABLE	
NUMBER	SQUARE FEET	NUMBER	ADDRESS
LOT 1	2128.8919 sq. ft	LOT 1	12403
LOT 2	2229.1754 sq. ft	LOT 2	12405
LOT 3	2229.1754 sq. ft	LOT 3	12407
LOT 4	2229.1754 sq. ft	LOT 4	12409
LOT 5	2230.3104 sq. ft	LOT 5	12411
LOT 6	1186.5332 sq. ft	LOT 6	12413
LOT 7	1188.8867 sq. ft	LOT 7	12415
LOT 8	1188.8867 sq. ft	LOT 8	12417
LOT 9	1188.8867 sq. ft	LOT 9	12419
LOT 10	1188.8867 sq. ft	LOT 10	12421
LOT 11	1188.8867 sq. ft	LOT 11	12423
LOT 12	1188.8867 sq. ft	LOT 12	12425
LOT 13	1155.0907 sq. ft	LOT 13	12427
LOT 14	1502.1165 sq. ft	LOT 14	12429
LOT 15	1502.1165 sq. ft	LOT 15	12431
LOT 16	1502.1165 sq. ft	LOT 16	12433
LOT 17	1502.1165 sq. ft	LOT 17	12435
LOT 18	1495.8909 sq. ft	LOT 18	12437
LOT 19	958.4991 sq. ft	LOT 19	12439
LOT 20	958.4991 sq. ft	LOT 20	12441
LOT 21	958.4991 sq. ft	LOT 21	12443
LOT 22	958.4991 sq. ft	LOT 22	12445
LOT 23	958.4991 sq. ft	LOT 23	12447
LOT 24	958.4991 sq. ft	LOT 24	12449
LOT 25	955.2326 sq. ft	LOT 25	12451
LOT 26	1912.9771 sq. ft	LOT 26	12453
LOT 27	1912.9771 sq. ft	LOT 27	12455
LOT 28	1912.9771 sq. ft	LOT 28	12457
LOT 29	1912.9771 sq. ft	LOT 29	12459
LOT 30	1912.9771 sq. ft	LOT 30	12461
LOT 31	1912.9771 sq. ft	LOT 31	12463
LOT 32	1909.6000 sq. ft	LOT 32	12465
P 33	2282.6088 sq. ft		
P 34	240.0000 sq. ft		
P 35	240.0000 sq. ft		
P 36	240.0000 sq. ft		
P 37	240.0000 sq. ft		
P 38	240.0000 sq. ft		
TRACT 1	42199.4658 sq. ft		
TRACT 2	22693.2334 sq. ft		

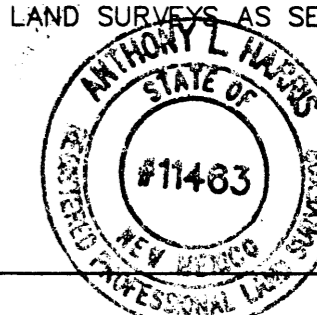
**SURVEYORS CERTIFICATE:**

STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,  
THIS 28th DAY OF Feb., 2007.

*Anthony L. Harris*  
ANTHONY L. HARRIS, P.S. # 11463



**H.E.S. HARRIS SURVEYING, INC.** PHONE: (505) 889-8056  
2412-D MONROE STREET N.E. ALBUQUERQUE, NEW MEXICO 87110 FAX: (505) 889-8645

REPLA.JUSTIN.CASE.DWG

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
UPC# \_\_\_\_\_  
PROPERTY OWNER OF RECORD: \_\_\_\_\_  
BERNALILLO CO. TREASURER'S OFFICE: \_\_\_\_\_

APPROVED: *[Signature]* 3/1/07  
CITY SURVEYOR DATE  
*[Signature]* 2/27/07  
ROBER V. CRONIN TRUSTEE W-INVESTMENTS LLC DATE

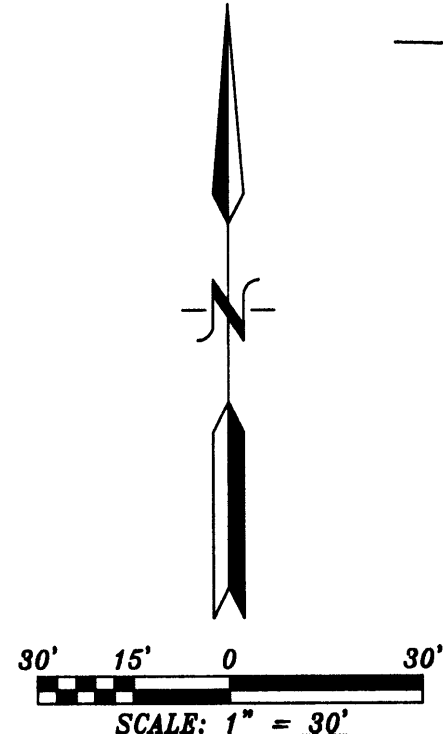
# PRELIMINARY PLAT OF VILLA LOMA ESTATES

WITHIN  
SECTION 34, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2007

KIVA RESERVOIR  
OWNER: CITY OF ALBUQUERQUE

CURVE TABLE					
NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	52°53'52"	S 24°47'58" E	24.50	22.62	21.82
C2	23°46'05"	S 79°46'26" W	14.50	6.02	5.97
C3	39°16'00"	N 68°42'32" W	14.50	9.94	9.74
C4	26°48'24"	S 78°24'52" W	14.50	6.78	6.72
C5	21°34'20"	N 12°17'28" E	19.50	7.34	7.30
C6	34°19'45"	S 71°14'10" E	19.50	11.68	11.51
C7	37°09'08"	S 69°49'28" E	24.50	15.89	15.61
C8	08°47'31"	S 87°16'09" W	98.08	15.05	15.04
C9	08°43'31"	N 87°14'09" E	50.08	7.63	7.62
C10	89°56'00"	N 46°37'55" E	20.08	31.52	28.39
C11	85°51'02"	N 45°28'54" W	25.00	37.46	34.05
C12	90°00'00"	S 46°39'55" W	5.08	7.98	7.19
C13	89°57'15"	N 52°36'57" W	5.08	7.98	7.19
C14	52°55'04"	S 61°56'33" E	25.08	23.17	22.35

LINE TABLE		
NUMBER	DIRECTION	DISTANCE
L1	S 88°20'02" E	299.34'
L2	S 88°20'02" E	279.33'
L3	N 01°39'58" E	92.66'
L4	N 01°39'58" E	72.66'
L5	S 88°20'02" E	16.04'
L6	N 01°39'58" E	20.00'
L7	S 88°20'02" E	109.01'
L8	S 88°20'02" E	81.64'
L9	N 01°39'57" E	6.00'
L10	N 88°20'02" W	20.00'
L11	N 01°39'57" E	238.01'
L12	S 01°39'58" W	10.00'
L13	S 88°20'02" E	8.66'
L14	N 01°39'57" E	201.98'
L15	S 88°24'05" E	17.28'
L16	N 01°38'55" E	43.43'
L17	S 02°33'23" E	5.20'
L18	N 74°39'38" W	36.96'
L19	S 88°24'25" E	99.84'
L20	N 88°20'05" W	106.54'
L21	N 01°39'55" E	22.12'
L22	S 88°20'05" E	4.14'
L23	S 01°35'55" W	1.17'
L24	S 88°24'02" E	25.75'
L25	S 01°35'55" W	0.53'
L26	S 88°22'12" W	63.62'
L27	N 82°52'23" E	13.76'
L28	N 88°20'05" W	51.35'
L29	N 01°31'26" E	1.06'
L30	S 88°24'02" E	13.92'
L31	N 01°38'58" E	34.38'
L32	N 88°21'05" W	9.00'
L33	S 49°34'29" W	5.11'
L34	N 01°39'58" E	5.00'
L35	S 01°38'58" W	20.00'
L36	N 88°21'02" W	15.00'
L37	S 01°35'58" W	12.76'
L38	N 88°20'02" W	49.87'
L39	N 89°14'52" E	28.89'
L40	N 00°57'06" W	17.23'
L41	N 26°51'47" W	15.75'
L42	S 03°16'09" W	46.68'
L43	S 24°58'39" E	30.32'
L44	S 40°13'40" W	19.65'
L45	S 52°12'58" E	25.68'
L46	S 12°42'04" E	14.04'
L47	S 33°13'01" E	28.61'
L48	S 40°35'25" W	25.91'
L49	N 17°19'41" W	18.76'
L50	S 68°58'19" W	17.74'
L51	N 88°24'05" W	27.84'
L52	N 82°52'23" E	20.20'
L53	N 88°24'05" W	69.22'
L54	S 01°39'57" W	111.45'
L55	N 88°20'05" W	23.83'
L56	N 01°39'55" E	107.20'



ACS STATION "10-F22A"  
X=424,087.35  
Y=1,502,928.69  
GRD TO GRID=0.9996277  
CENTRAL ZONE, NAD 1927  
ELEVATION NAVD88 5,834.76'

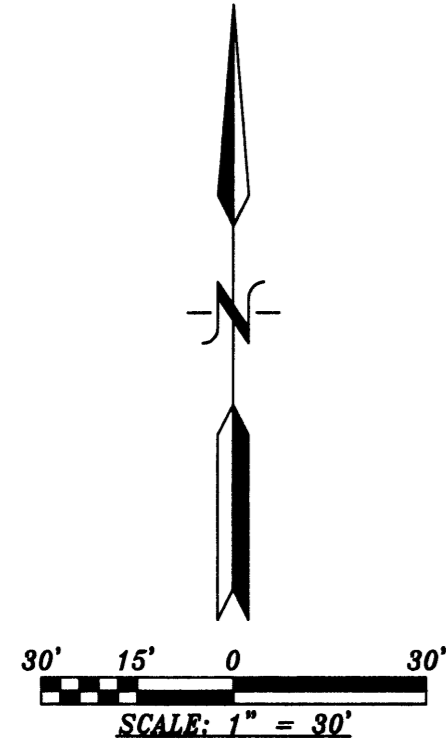
ACS STATION "17-G22"  
X=425,966.76  
Y=1,502,830.33  
GRD TO GRID=0.999623438  
CENTRAL ZONE, NAD 1927  
ELEVATION NAVD88 5,917.75'

REPLATJUSTINCASE.DWG

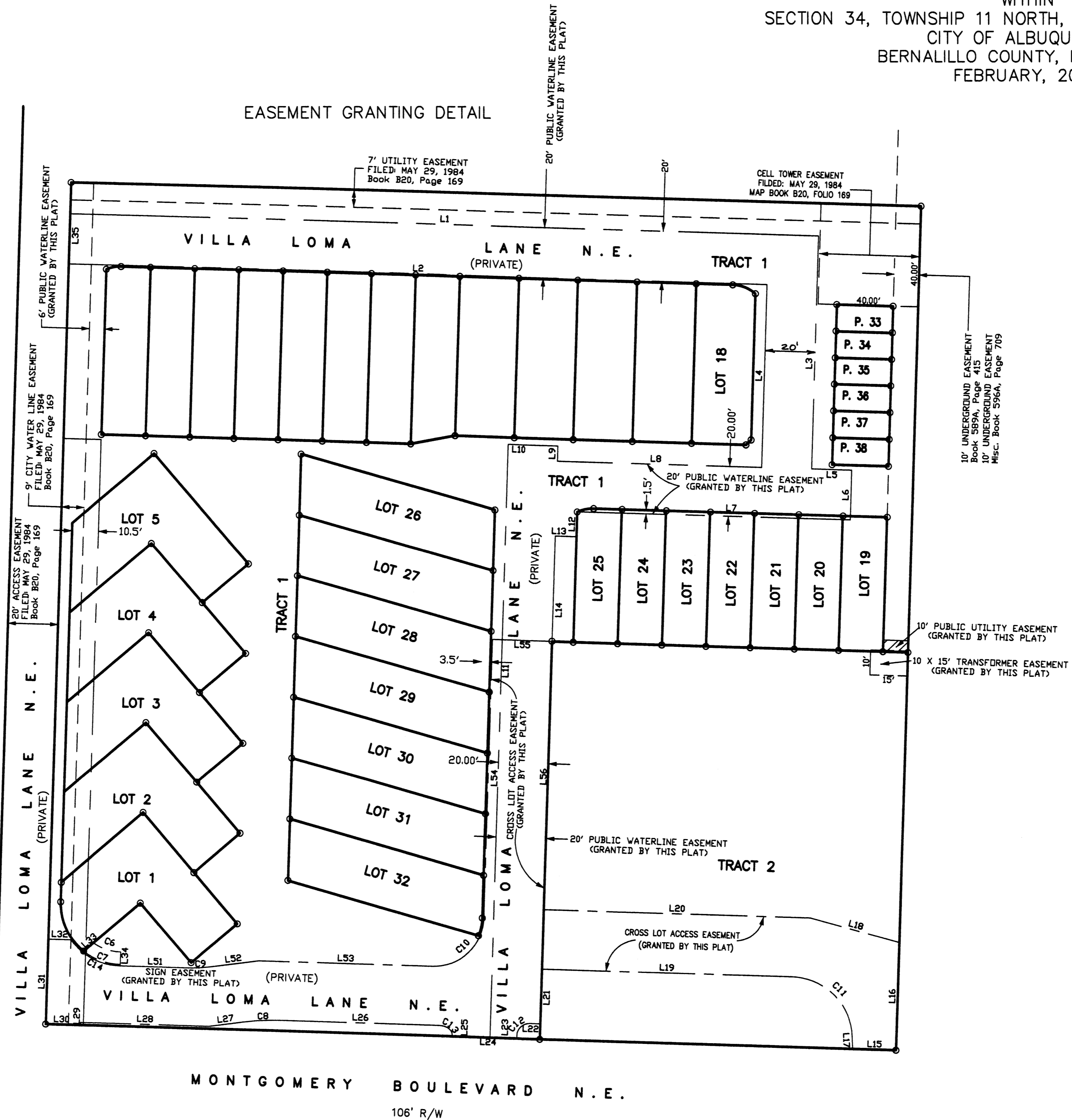


# PRELIMINARY PLAT OF VILLA LOMA ESTATES

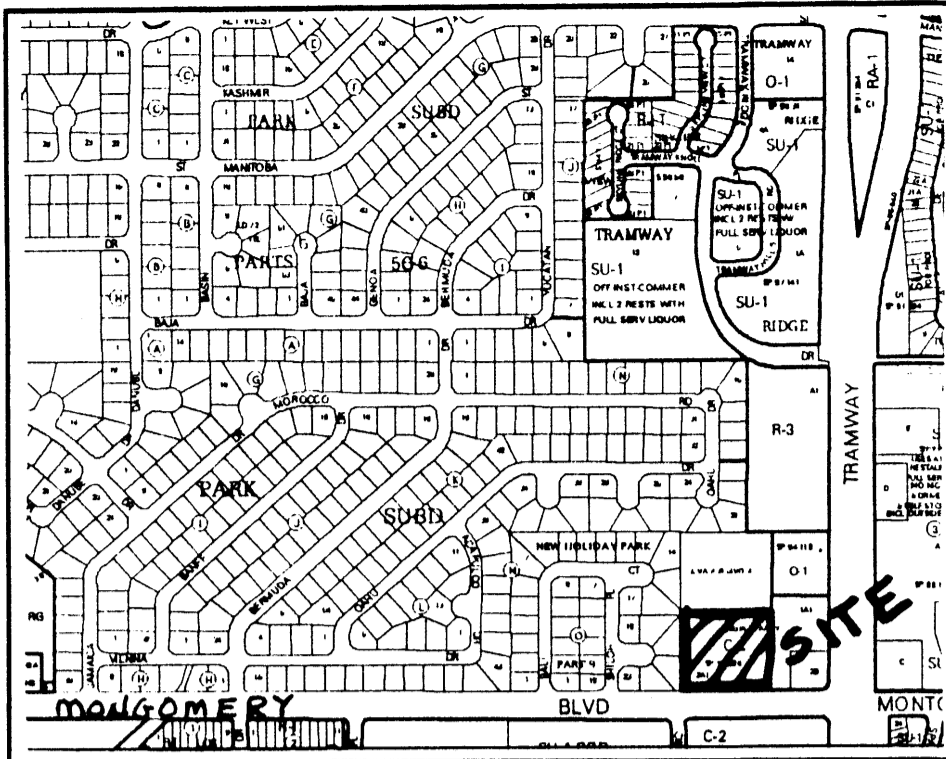
WITHIN  
SECTION 34, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2007



## EASEMENT GRANTING DETAIL



REPLAJUSTINCASE.DWG



VICINITY MAP No. F-22

**LEGAL DESCRIPTION**

PARCEL 2-A-1 OF LAND OF EDMUND I. RADY, ALBUQUERQUE, NEW MEXICO, AS SAID PARCEL IS SHOWN AND DESIGNATED ON THE PLAT OF DIVISION THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 29, 1984 IN PLAT BOOK B20, PAGE 169.

N.T.S.

**PLAT OF  
VILLA LOMA ESTATES**

WITHIN  
SECTION 34, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST, 2007

PROJECT NUMBER: 1005185

APPLICATION NUMBER: 07-DRB-00262

UTILITY APPROVALS:

PNM ELECTRIC SERVICES

PNM GAS SERVICES

QWEST TELECOMMUNICATIONS

COMCAST

NEW MEXICO UTILITIES

CITY APPROVALS:

CITY SURVEYOR

\*REAL PROPERTY DIVISION (CONDITIONAL)

\*\*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

ABCWAU

PARKS AND RECREATION DEPARTMENT

AMAFCA

CITY ENGINEER

DRB CHAIRPERSON, PLANNING DEPARTMENT

*Final*  
**PRELIMINARY PLAT**  
**APPROVED BY DRB**  
ON 9/5/07 DATE

8-27-07 DATE

**PURPOSE OF PLAT:**

THE PURPOSE OF THIS PLAT IS TO CREATE 32 LOTS, 2 TRACTS AND 6 PARCELS AND GRANT ALL EASEMENTS AS SHOWN.

**GENERAL NOTES:**

- 1: UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TOTAL AREA OF PROPERTY: 2.6337 ACRES.
- 4: TALOS LOG NO. 2007165374
- 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- 6: DISTANCES ARE GROUND, BEARINGS ARE GRID.
- 7: BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- 8: DATE OF FIELD WORK: AUGUST, 2006
- 9: CURRENT ZONING: C-2
- 10: PARCELS ARE IDENTIFIED AS P. 33 THRU P. 38
- 11: TRACT 1 IS GRANTED AS A COMMON AREA, CROSS ACCESS EASEMENT, PRIVATE ACCESS, PEDESTRIAN, PARKING AND DRAINAGE EASEMENT AND PUBLIC WATER AND SANITARY SEWER EASEMENT THESE ARE FOR THE BENEFIT OF THE OWNERS OF LOTS 1 thru 32, VILLA LOMA ESTATES AND SHALL BE MAINTAINED BY THE VILLA LOMA ESTATES HOME OWNERS ASSOCIATION.
- 12: THE CROSS LOT ACCESS EASEMENT IS FOR THE BENEFIT OF THE OWNERS OF LOTS 1 thru 32, VILLA LOMA ESTATES AND THE OWNERS OF TRACT 2, VILLA LOMA ESTATES EACH OWNERSHIP WILL MAINTAIN THE EASEMENT THAT LIES WITHIN ITS BOUNDARIES
- 13: THE EXISTING 20 FOOT ACCESS EASEMENT ADJACENT TO THE WEST LINE OF VILLA LOMA ESTATES IS FOR THE BENEFIT OF THE OWNERS OF LOTS 1 thru 32, VILLA LOMA ESTATES AND THE CITY OF ALBUQUERQUE. THE CITY REQUIRED PAVING IMPROVEMENTS ARE THE RESPONSIBILITY OF THE OWNER OF VILLA LOMA ESTATES. THE CITY OF ALBUQUERQUE WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE ACCEPTED IMPROVEMENTS ON THE CITY-OWNED 20 FOOT WIDE ADJACENT PROPERTY
- 14: THE VILLA LOMA ESTATES HOMEOWNERS ASSOCIATION INC. SHALL MAINTAIN ALL COMMON SEWER LINES CONTAINED WITHIN TRACT 1 BOUNDARIES AS DOCUMENTED IN SAID HOMEOWNERS ASSOCIATION COVENANTS AND RESTRICTIONS
- 15: PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE FOR THE COMMON JOINT USE OF:
  - A: PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE
  - B: PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS
  - C: U.S. WEST FOR INSTALLATION MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES
  - D: COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE

**FREE CONSENT**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

*Jonathan Barcela*  
JOHNATHAN BARELA MONTGOMERY POINT LLC, MEMBER 8-27-07 DATE

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 27th DAY OF August 2007.

BY: *Jonathan Barcela*  
JOHNATHAN BARELA  
MONTGOMERY POINT LLC, MEMBER  
MY COMMISSION EXPIRES: 4-11-10 BY: *Debbie S. Coburn*  
NOTARY PUBLIC

**SURVEYORS CERTIFICATE:**

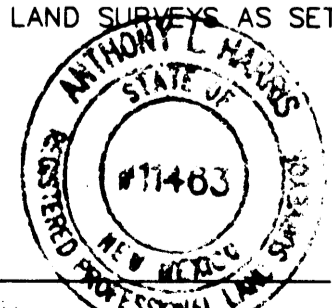
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 27th DAY OF August, 2007.

*Anthony L. Harris*  
ANTHONY L. HARRIS, P.S. # 11463

**ALBARRAS SURVEYING, INC.**  
2412-D BOVARDO STREET, N.E.  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE: (505) 889-8066  
FAX: (505) 889-8045



REPLAUSTINCASE.DWG

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UPC# \_\_\_\_\_

PROPERTY OWNER OF RECORD: \_\_\_\_\_

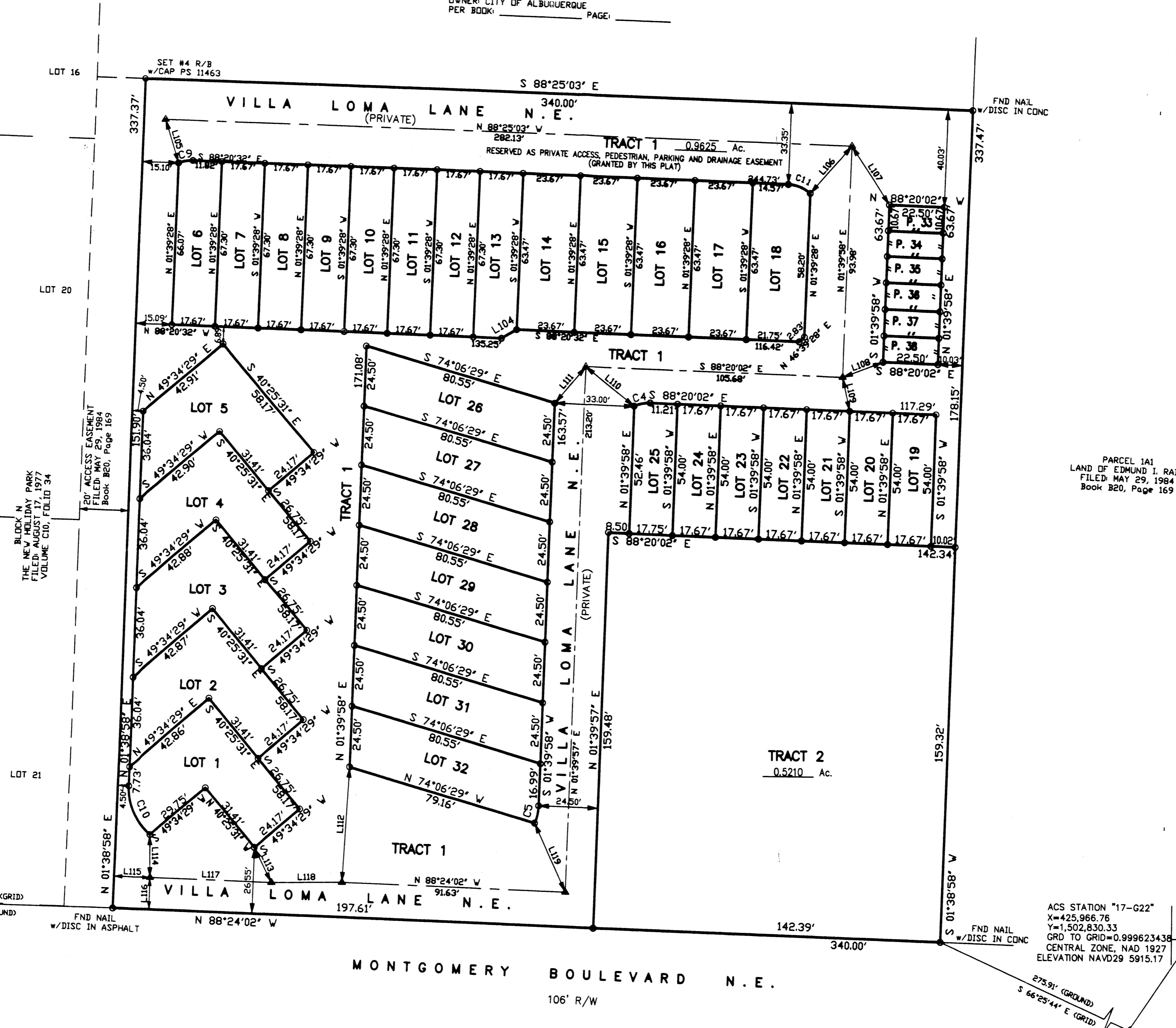
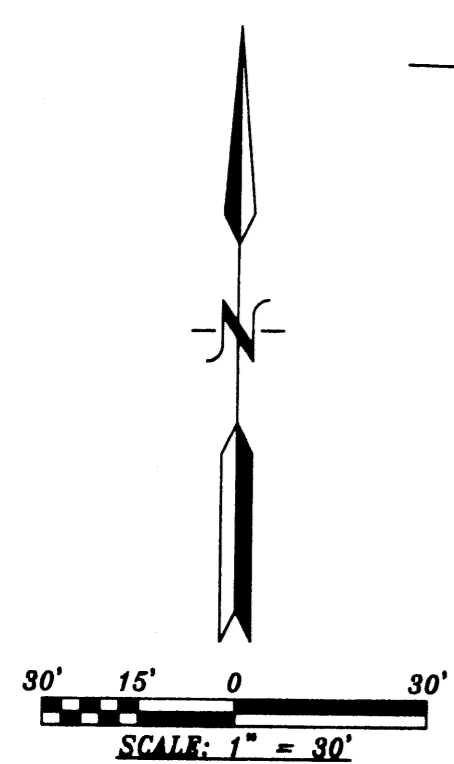
BERNALILLO CO. TREASURER'S OFFICE: \_\_\_\_\_



# PLAT OF VILLA LOMA ESTATES

WITHIN  
SECTION 34, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST, 2007

KIVA RESERVOIR  
OWNER: CITY OF ALBUQUERQUE  
PER BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_



ACS STATION "10-F22A"  
X=424,087.35  
Y=1,502,928.69  
GRD TO GRID=0.9996277  
CENTRAL ZONE, NAD 1927  
ELEVATION NAVD29 5832.20

ACS STATION "17-G22"  
X=425,966.76  
Y=1,502,830.33  
GRD TO GRID=0.999623438  
CENTRAL ZONE, NAD 1927  
ELEVATION NAVD29 5915.17

PLATJUSTINCASE.DWG



# PLAT OF VILLA LOMA ESTATES

WITHIN  
SECTION 34, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST, 2007

CURVE TABLE

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	85°51'02"	N 45°28'54" W	25.00	37.46	34.05
C2	90°00'00"	S 46°39'55" W	5.08	7.98	7.19
C3	89°57'15"	N 52°36'57" W	5.08	7.98	7.19
C4	08°47'31"	S 87°16'09" W	98.08	15.05	15.04
C5	52°55'04"	S 61°56'33" E	25.08	23.17	22.35
C6	89°56'00"	N 46°37'55" E	20.08	31.52	28.39
C7	37°09'08"	S 69°49'28" E	24.50	15.89	15.61
C8	34°19'45"	S 71°14'10" E	19.50	11.68	11.51
C9	23°46'05"	S 79°46'26" W	14.50	6.02	5.97
C10	52°53'52"	S 24°47'58" E	24.50	22.62	21.82
C11	39°16'00"	N 68°42'32" W	14.50	9.94	9.74

AREA TABLE

NUMBER	SQUARE FEET
LOT 1	2128.8919 sq. ft
LOT 2	2229.1754 sq. ft
LOT 3	2229.1754 sq. ft
LOT 4	2229.1754 sq. ft
LOT 5	2230.3104 sq. ft
LOT 6	1188.8867 sq. ft
LOT 7	1188.8867 sq. ft
LOT 8	1188.8867 sq. ft
LOT 9	1188.8867 sq. ft
LOT 10	1188.8867 sq. ft
LOT 11	1188.8867 sq. ft
LOT 12	1188.8867 sq. ft
LOT 13	1177.2445 sq. ft
LOT 14	1502.1165 sq. ft
LOT 15	1502.1165 sq. ft
LOT 16	1502.1165 sq. ft
LOT 17	1502.1165 sq. ft
LOT 18	1495.8909 sq. ft
LOT 19	958.4991 sq. ft
LOT 20	958.4991 sq. ft
LOT 21	958.4991 sq. ft
LOT 22	958.4991 sq. ft
LOT 23	958.4991 sq. ft
LOT 24	958.4991 sq. ft
LOT 25	955.2326 sq. ft
LOT 26	1912.9771 sq. ft
LOT 27	1912.9771 sq. ft
LOT 28	1912.9771 sq. ft
LOT 29	1912.9771 sq. ft
LOT 30	1912.9771 sq. ft
LOT 31	1912.9771 sq. ft
LOT 32	1909.6000 sq. ft
P 33	2282.6088 sq. ft
P 34	240.0000 sq. ft
P 35	240.0000 sq. ft
P 36	240.0000 sq. ft
P 37	240.0000 sq. ft
P 38	240.0000 sq. ft
TRACT 1	42199.4658 sq. ft
TRACT 2	22693.2334 sq. ft

ADDRESS TABLE

NUMBER	ADDRESS
LOT 1	12403
LOT 2	12405
LOT 3	12407
LOT 4	12409
LOT 5	12411
LOT 6	12413
LOT 7	12415
LOT 8	12417
LOT 9	12419
LOT 10	12421
LOT 11	12423
LOT 12	12425
LOT 13	12427
LOT 14	12429
LOT 15	12431
LOT 16	12433
LOT 17	12435
LOT 18	12437
LOT 19	12439
LOT 20	12441
LOT 21	12443
LOT 22	12445
LOT 23	12447
LOT 24	12449
LOT 25	12451
LOT 26	12453
LOT 27	12455
LOT 28	12457
LOT 29	12459
LOT 30	12461
LOT 31	12463
LOT 32	12465

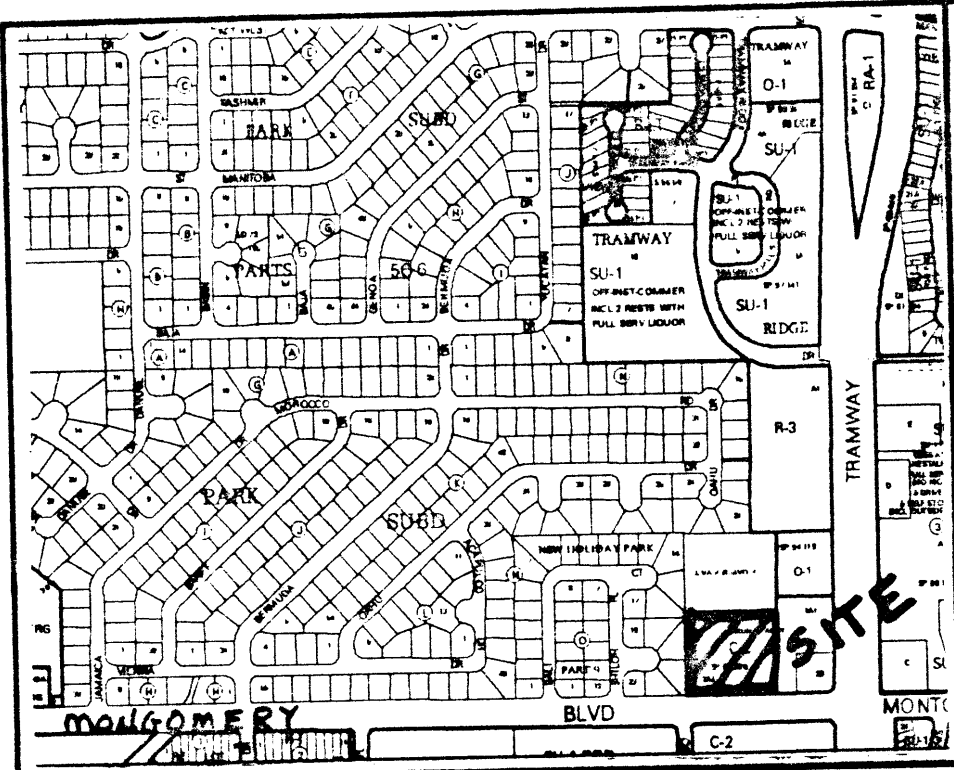
LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	S 01°38'58" W	337.37'
L2	N 01°38'58" E	12.21'
L3	N 88°20'02" W	284.34'
L4	N 01°39'58" E	92.98'
L5	N 88°20'02" W	16.04'
L6	N 01°39'58" E	20.00'
L7	S 88°20'02" E	109.01'
L8	N 01°39'58" E	10.00'
L9	S 88°20'02" E	8.66'
L10	N 01°39'57" E	201.98'
L11	N 88°24'02" W	20.00'
L12	N 01°39'57" E	40.88'
L13	N 88°20'03" W	10.46'
L14	N 01°39'57" E	5.00'
L15	S 88°20'03" E	10.46'
L16	N 01°39'57" E	43.78'
L17	N 88°20'03" W	10.46'
L18	N 01°39'57" E	5.00'
L19	S 88°20'03" E	10.46'
L20	N 01°39'57" E	43.73'
L21	N 88°20'03" W	10.46'
L22	N 01°39'57" E	5.00'
L23	S 88°20'03" E	10.46'
L24	N 01°39'57" E	43.95'
L25	N 88°20'03" W	10.46'
L26	N 01°39'57" E	5.00'
L27	S 88°20'03" E	10.46'
L28	N 01°39'57" E	39.66'
L29	S 88°20'02" E	101.64'
L30	N 01°39'58" E	72.98'
L31	N 88°20'02" W	25.74'
L32	S 01°39'58" W	2.50'
L33	N 88°20'02" W	5.00'
L34	N 01°39'58" E	2.50'
L35	N 88°20'02" W	42.33'
L36	S 01°39'58" W	2.50'
L37	N 88°20'02" W	5.00'
L38	N 01°39'58" E	2.50'
L39	N 88°20'02" W	42.33'
L40	S 01°39'58" W	2.50'
L41	N 88°20'02" W	5.00'
L42	N 01°39'58" E	2.50'
L43	N 88°20'02" W	30.33'
L44	S 01°39'58" W	2.50'
L45	N 88°20'02" W	5.00'
L46	N 01°39'58" E	2.50'
L47	N 88°20'02" W	30.33'
L48	S 01°39'58" W	2.50'
L49	N 88°20'02" W	5.00'
L50	N 01°39'58" E	2.50'
L51	N 88°20'02" W	30.33'
L52	S 01°39'58" W	2.50'
L53	N 88°20'02" W	5.00'
L54	N 01°39'58" E	2.50'
L55	N 88°20'02" W	13.67'
L56	S 01°39'58" W	2.50'
L57	N 88°20'02" W	5.00'
L58	N 01°39'58" E	2.50'
L59	N 88°20'02" W	14.26'

LINE TABLE CONTINUED

NUMBER	DIRECTION	DISTANCE
L60	S 01°38'58" W	305.17'
L61	N 88°21'02" W	6.00'
L62	S 88°24'05" E	17.28'
L63	N 01°38'55" E	43.43'
L64	N 74°39'38" W	36.96'
L65	N 88°20'05" W	106.54'
L66	N 01°39'55" E	107.20'
L67	N 88°20'05" W	23.83'
L68	S 01°39'57" W	111.45'
L69	N 88°24'05" W	69.22'
L70	N 88°52'23" E	20.20'
L71	N 88°24'05" W	27.84'
L72	N 88°21'05" W	9.00'
L73	N 01°38'58" E	34.38'
L74	S 88°24'02" E	13.92'
L75	N 01°31'26" E	1.06'
L76	N 88°20'05" W	51.35'
L77	N 82°52'23" E	13.76'
L78	S 88°22'12" E	63.62'
L79	S 01°35'55" W	0.53'
L80	S 88°24'02" E	25.75'
L81	S 01°35'55" W	1.17'
L82	S 88°20'05" E	4.14'
L83	N 01°39'55" E	22.12'
L84	S 88°24'25" E	99.84'
L85	S 02°33'23" E	5.20'
L86	S 88°20'02" E	22.53'
L87	S 01°39'58" W	6.75'
L88	S 88°20'02" E	135.25'
L89	N 77°26'24" E	30.85'
L90	S 74°06'29" E	27.15'
L91	S 88°20'02" E	30.89'
L92	N 01°39'58" E	239.98'
L93	N 88°24'02" W	10.00'
L94	N 01°39'58" E	229.96'
L95	S 88°20'02" E	19.64'
L96	S 74°06'29" E	28.44'
L97	N 77°26'24" E	32.14'
L98	S 88°20'02" E	124.00'
L99	S 01°39'58" W	6.75'
L100	S 88°20'02" E	32.53'
L101	S 01°38'58" W	10.00'
L102	N 01°39'58" E	5.00'
L103	S 49°34'29" W	5.11'
L104	S 59°30'02" W	7.19'
L105	N 17°19'41" W	18.76'
L106	S 40°35'25" W	25.91'
L107	S 33°13'01" E	28.61'
L108	S 68°58'19" W	17.74'
L109	S 12°42'04" E	14.04'
L110	S 52°12'58" E	25.68'
L111	S 40°13'40" W	19.65'
L112	S 03°16'09" W	46.68'
L113	N 26°51'47" W	15.75'
L114	N 00°57'06" W	17.23'
L115	N 88°21'02" W	15.00'
L116	S 01°35'58" W	12.76'
L117	N 88°20'02" W	49.87'
L118	N 89°14'52" E	28.89'
L119	S 24°58'39" E	30.32'





VICINITY MAP No. F-22

**LEGAL DESCRIPTION**

PARCEL 2-A-1 OF LAND OF EDMUND I. RADY, ALBUQUERQUE, NEW MEXICO, AS SAID PARCEL IS SHOWN AND DESIGNATED ON THE PLAT OF DIVISION THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 29, 1984 IN PLAT BOOK B20, PAGE 169.

**PLAT OF  
VILLA LOMA ESTATES**

WITHIN  
SECTION 34, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST, 2007

PROJECT NUMBER: 1005185  
APPLICATION NUMBER: 07-DRB-00262-07-70222

**UTILITY APPROVALS:**

<u>Levi D. Mink</u> PNM ELECTRIC SERVICES	<u>9-17-07</u> DATE
<u>Levi D. Mink</u> PNM GAS SERVICES	<u>9-17-07</u> DATE
<u>Rich Redman</u> WEST TELECOMMUNICATIONS	<u>9-17-07</u> DATE
<u>Barbara Baker</u> COMCAST	<u>9-17-07</u> DATE
<u>N/A</u> NEW MEXICO UTILITIES	DATE

**CITY APPROVALS:**

<u>Al B. Hart</u> CITY SURVEYOR	<u>8-27-07</u> DATE
<u>N/A</u> *REAL PROPERTY DIVISION (CONDITIONAL)	DATE
<u>N/A</u> **ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
<u>Robt. J. ...</u> TRAFFIC ENGINEERING TRANSPORTATION DIVISION	<u>9-5-07</u> DATE
<u>Roger L. ...</u> ABCWAU	<u>9/5/07</u> DATE
<u>Chandral</u> PARKS AND RECREATION DEPARTMENT	<u>9/5/07</u> DATE
<u>Bradley B. Bingham</u> AMAFCA	<u>9/5/07</u> DATE
<u>Bradley B. Bingham</u> CITY ENGINEER	<u>9/5/07</u> DATE
<u>Bob Wilson</u> DRB CHAIRPERSON, PLANNING DEPARTMENT	<u>10/01/07</u> DATE
<u>Anthony L. Harris</u> VILLA LOMA ESTATES HOMEOWNERS ASSOC.	<u>9-20-07</u> DATE

DOCh 2007139552  
10/01/2007 09:35 AM Page: 1 of 4  
PLAT # 22 00 B 2007C P 0280 N Toulouse Bernalillo County

**PURPOSE OF PLAT:**

THE PURPOSE OF THIS PLAT IS TO CREATE 32 LOTS, 2 TRACTS AND 6 PARCELS AND GRANT ALL EASEMENTS AS SHOWN.

**GENERAL NOTES:**

- 1: UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TOTAL AREA OF PROPERTY: 2.6337 ACRES.
- 4: TALOS LOG NO. 2007165374
- 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- 6: DISTANCES ARE GROUND, BEARINGS ARE GRID.
- 7: BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- 8: DATE OF FIELD WORK: AUGUST 2006
- 9: CURRENT ZONING: C-2
- 10: PARCELS ARE IDENTIFIED AS P. 33 THRU P. 38
- 11: TRACT 1 IS GRANTED AS A COMMON AREA, CROSS ACCESS EASEMENT, PRIVATE ACCESS, PEDESTRIAN, PARKING AND DRAINAGE EASEMENT AND PUBLIC WATER AND SANITARY SEWER EASEMENT THESE ARE FOR THE BENEFIT OF THE OWNERS OF LOTS 1 thru 32, VILLA LOMA ESTATES AND SHALL BE MAINTAINED BY THE VILLA LOMA ESTATES HOME OWNERS ASSOCIATION.
- 12: THE CROSS LOT ACCESS EASEMENT IS FOR THE BENEFIT OF THE OWNERS OF LOTS 1 thru 32, VILLA LOMA ESTATES AND THE OWNERS OF TRACT 2, VILLA LOMA ESTATES EACH OWNERSHIP WILL MAINTAIN THE EASEMENT THAT LIES WITHIN ITS BOUNDARIES
- 13: THE EXISTING 20 FOOT ACCESS EASEMENT ADJACENT TO THE WEST LINE OF VILLA LOMA ESTATES IS FOR THE BENEFIT OF THE OWNERS OF LOTS 1 thru 32, VILLA LOMA ESTATES AND THE CITY OF ALBUQUERQUE. THE CITY REQUIRED PAVING IMPROVEMENTS ARE THE RESPONSIBILITY OF THE OWNER OF VILLA LOMA ESTATES. THE CITY OF ALBUQUERQUE WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE ACCEPTED IMPROVEMENTS ON THE CITY-OWNED 20 FOOT WIDE ADJACENT PROPERTY
- 14: THE VILLA LOMA ESTATES HOMEOWNERS ASSOCIATION INC. SHALL MAINTAIN ALL COMMON SEWER LINES CONTAINED WITHIN TRACT 1 BOUNDARIES AS DOCUMENTED IN SAID HOMEOWNERS ASSOCIATION COVENANTS AND RESTRICTIONS
- 15: PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE FOR THE COMMON JOINT USE OF:
  - A: PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE
  - B: PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS
  - C: U.S. WEST FOR INSTALLATION MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES
  - D: COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE

**GENERAL NOTES CONTINUED:**

- 16: TRACT 1 IS ALSO GRANTED AS A PUBLIC UTILITY EASEMENT BY THE RECORDING OF THIS PLAT
- 17: NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT

**FREE CONSENT**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Jonathan Barcla 8-27-07  
JOHNATHAN BARCLA MONTGOMERY POINT LLC, MEMBER DATE

ACKNOWLEDGMENT  
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 27th DAY OF August 2007

BY: Jonathan Barcla  
JOHNATHAN BARCLA  
MONTGOMERY POINT LLC, MEMBER  
MY COMMISSION EXPIRES: 4-11-10  
BY: Debbie L. Coburn  
NOTARY PUBLIC

**SURVEYORS CERTIFICATE:**

STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 27th DAY OF August 2007.

Anthony L. Harris  
ANTHONY L. HARRIS, P.S. # 11463



ANTHONY L. HARRIS SURVEYING, INC. PHONE: (505) 899-8056  
1018-B BROADWAY, SUITE 100, ALBUQUERQUE, NM 87102 FAX: (505) 899-8145

REPLAUSTINCASE.DWG

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
UPCA: 11463-02641  
PROPERTY OWNER OF RECORD: Jonathan Barcla  
BERNALILLO CO. TREASURER OFF: ...

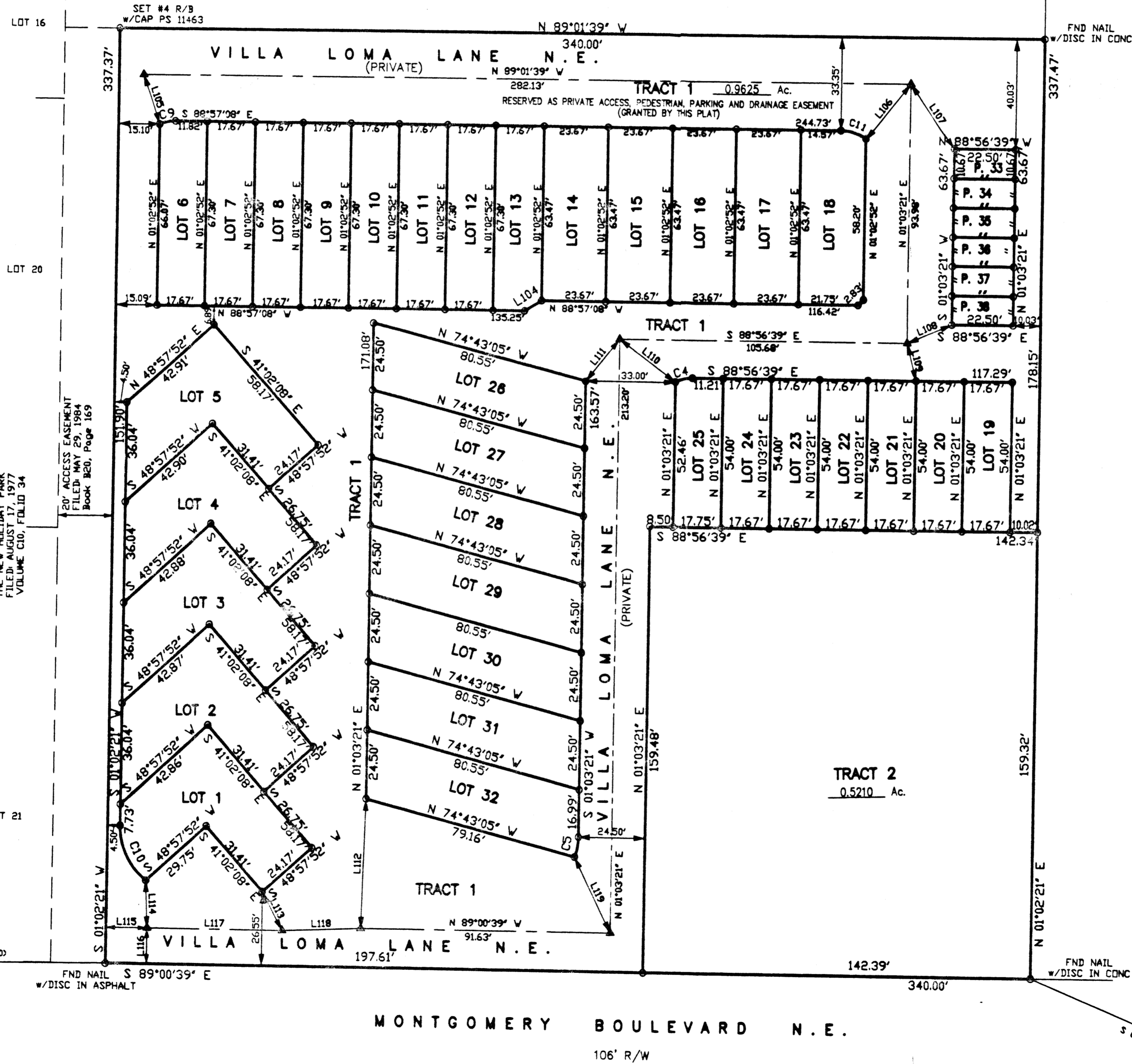
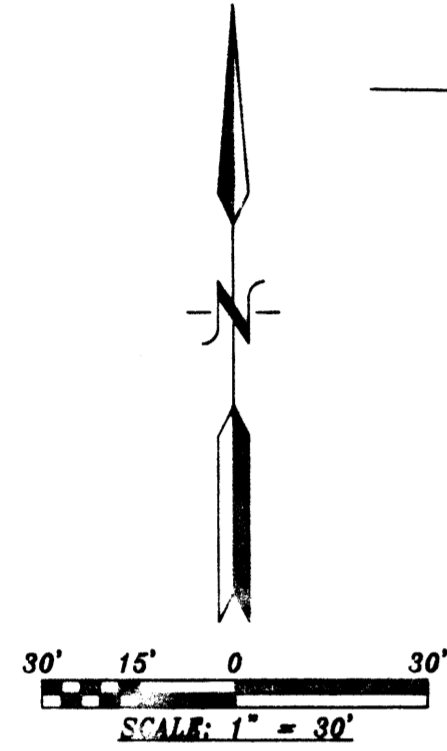
# PLAT OF VILLA LOMA ESTATES

WITHIN  
SECTION 34, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST, 2007

KIVA RESERVOIR  
OWNER: CITY OF ALBUQUERQUE  
PER BOOK: 4726 PAGE: 166

DOC# 2007139552

10/01/2007 09:35 AM Page: 2 of 4  
PLAT R 322 08 B 2007C P. 0280 M Toulouse, Bernalillo County



ACS STATION "10-F22A"  
X=424,087.35  
Y=1,502,920.09  
GRID TO GRID=0.9996277  
CENTRAL ZONE, NAD 1927  
ELEVATION NAVD29 5832.20

PARCEL 1A1  
LAND OF EDMUND I. RADY  
FILED MAY 29, 1984  
Book 820, Page 169

ACS STATION "17-G22"  
X=425,966.76  
Y=1,502,830.33  
GRID TO GRID=0.999623438  
CENTRAL ZONE, NAD 1927  
ELEVATION NAVD29 5915.17

REPLATJUSTINCASE.DWG



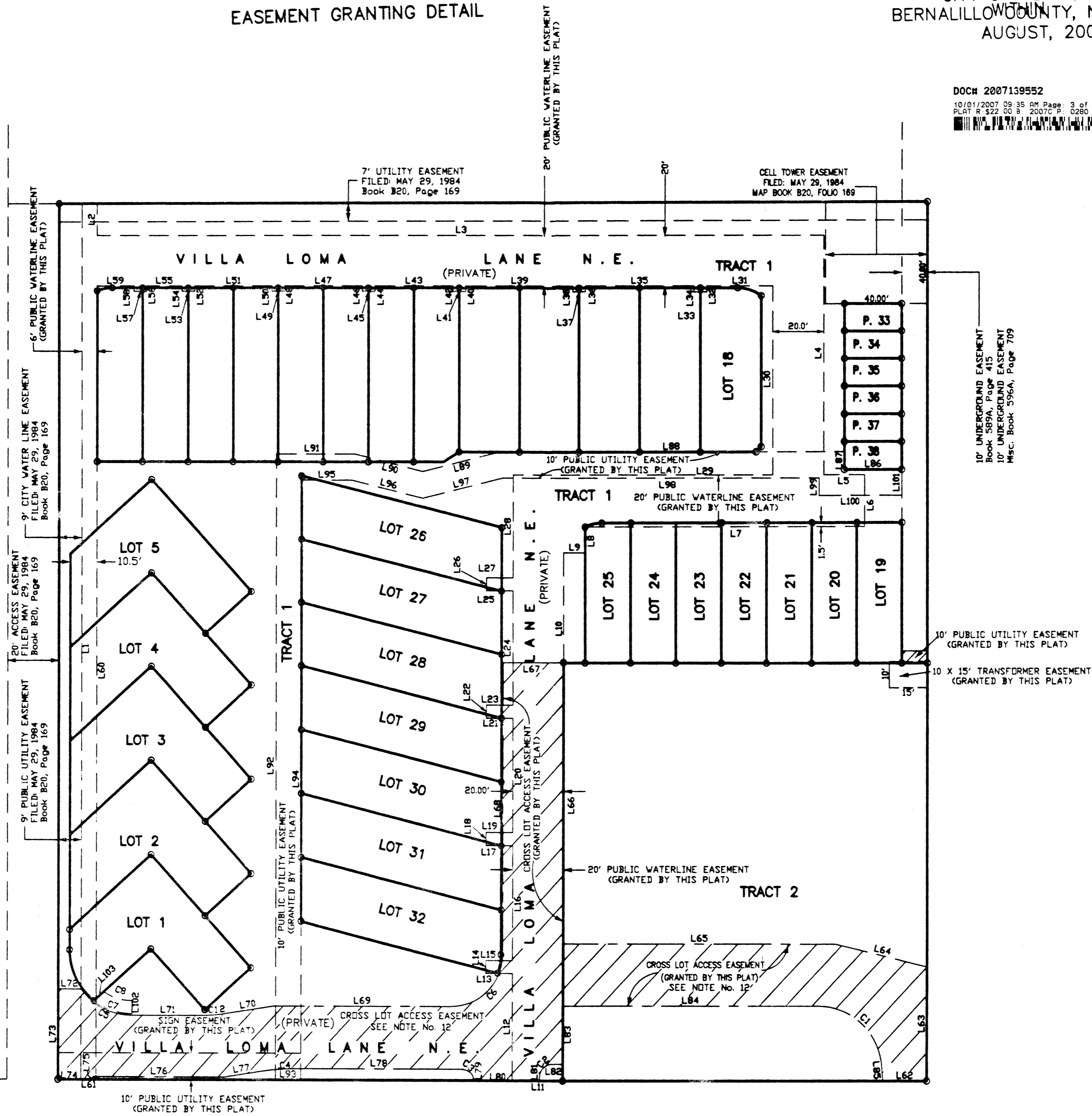
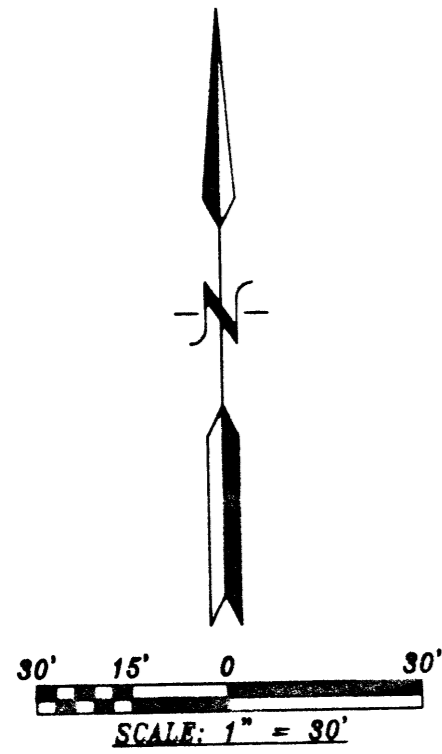
# PLAT OF VILLA LOMA ESTATES

SECTION 34, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST, 2007

## EASEMENT GRANTING DETAIL

DOC# 2007139552

10/01/2007 09:35 AM Page 3 of 4  
Plot # 522 05 a 20070 P 0280 H Toulouse, Bernalillo County



MONTGOMERY BOULEVARD N.E.

106' R/W

REPLATUS TINCASE.DWG

# PLAT OF VILLA LOMA ESTATES

WITHIN  
SECTION 34, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST, 2007

DOCH 2007139552

10/01/2007 09:35 AM Page: 4 of 4  
PLAT P: 22 00 B: 2007C P: 0280 M: Toulouse, Bernalillo County

CURVE TABLE

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	85°51'02"	N 46°05'30" W	25.00	37.46	34.05
C2	90°00'00"	S 46°03'19" W	5.08	7.98	7.19
C3	89°57'15"	N 53°13'33" W	5.08	7.98	7.19
C4	08°47'31"	S 86°39'33" W	98.08	15.05	15.04
C5	52°55'04"	S 62°33'10" E	25.08	23.17	22.35
C6	89°56'00"	N 46°01'19" E	20.08	31.52	28.39
C7	37°09'08"	S 70°26'05" E	24.50	15.89	15.61
C8	34°19'45"	S 71°50'46" E	19.50	11.68	11.51
C9	23°46'05"	S 79°09'50" W	14.50	6.02	5.97
C10	52°53'52"	S 25°24'35" E	24.50	22.62	21.82
C11	39°16'00"	N 69°19'08" W	14.50	9.94	9.74
C12	08°43'31"	N 86°37'33" E	50.08	7.63	7.62

AREA TABLE

NUMBER	SQ. ARE FEET
LOT 1	2,228,891.9 sq ft
LOT 2	2,228,175.4 sq ft
LOT 3	2,228,175.4 sq ft
LOT 4	2,228,175.4 sq ft
LOT 5	2,228,304 sq ft
LOT 6	1,188,886.7 sq ft
LOT 7	1,188,886.7 sq ft
LOT 8	1,188,886.7 sq ft
LOT 9	1,188,886.7 sq ft
LOT 10	1,188,886.7 sq ft
LOT 11	1,188,886.7 sq ft
LOT 12	1,188,886.7 sq ft
LOT 13	1,177,244.5 sq ft
LOT 14	1,502,165 sq ft
LOT 15	1,502,165 sq ft
LOT 16	1,502,165 sq ft
LOT 17	1,502,165 sq ft
LOT 18	1,495,892.5 sq ft
LOT 19	958,499.1 sq ft
LOT 20	958,499.1 sq ft
LOT 21	958,499.1 sq ft
LOT 22	958,499.1 sq ft
LOT 23	958,499.1 sq ft
LOT 24	958,499.1 sq ft
LOT 25	955,232.6 sq ft
LOT 26	1,912,977.1 sq ft
LOT 27	1,912,977.1 sq ft
LOT 28	1,912,977.1 sq ft
LOT 29	1,912,977.1 sq ft
LOT 30	1,912,977.1 sq ft
LOT 31	1,912,977.1 sq ft
LOT 32	1,909,600.0 sq ft
P 33	2,282,608.8 sq ft
P 34	240,000.0 sq ft
P 35	240,000.0 sq ft
P 36	240,000.0 sq ft
P 37	240,000.0 sq ft
P 38	240,000.0 sq ft
TRACT	14,219,465.8 sq ft
TRACT	2,228,932,334 sq ft

ADDRESS TABLE

NUMBER	ADDRESS
LOT 1	12403
LOT 2	12405
LOT 3	12407
LOT 4	12409
LOT 5	12411
LOT 6	12413
LOT 7	12415
LOT 8	12417
LOT 9	12419
LOT 10	12421
LOT 11	12423
LOT 12	12425
LOT 13	12427
LOT 14	12429
LOT 15	12431
LOT 16	12433
LOT 17	12435
LOT 18	12437
LOT 19	12439
LOT 20	12441
LOT 21	12443
LOT 22	12445
LOT 23	12447
LOT 24	12449
LOT 25	12451
LOT 26	12453
LOT 27	12455
LOT 28	12457
LOT 29	12459
LOT 30	12461
LOT 31	12463
LOT 32	12465

LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	S 01°02'21" W	337.37'
L2	N 01°02'21" E	12.21'
L3	N 88°56'39" W	284.34'
L4	N 01°03'21" E	92.98'
L5	N 88°56'39" W	16.04'
L6	N 01°03'21" E	20.00'
L7	S 88°56'39" E	109.01'
L8	N 01°03'21" E	10.00'
L9	S 88°56'39" E	6.66'
L10	N 01°03'21" E	201.98'
L11	N 89°00'39" W	20.00'
L12	N 01°03'21" E	40.88'
L13	N 88°56'39" W	10.46'
L14	N 01°03'21" E	5.00'
L15	S 88°56'39" E	10.46'
L16	N 01°03'21" E	43.78'
L17	N 88°56'39" W	10.46'
L18	N 01°03'21" E	5.00'
L19	S 88°56'39" E	10.46'
L20	N 01°03'21" E	43.73'
L21	N 88°56'39" W	10.46'
L22	N 01°03'21" E	5.00'
L23	S 88°56'39" E	10.46'
L24	N 01°03'21" E	43.95'
L25	N 88°56'39" W	10.46'
L26	N 01°03'21" E	5.00'
L27	S 88°56'39" E	10.46'
L28	N 01°03'21" E	39.66'
L29	S 88°56'39" E	101.64'
L30	N 01°03'21" E	72.98'
L31	N 88°56'39" W	25.74'
L32	S 01°03'21" W	2.50'
L33	N 88°56'39" W	5.00'
L34	N 01°03'21" E	2.50'
L35	N 88°56'39" W	42.33'
L36	S 01°03'21" W	2.50'
L37	N 88°56'39" W	5.00'
L38	N 01°03'21" E	2.50'
L39	N 88°56'39" W	42.33'
L40	S 01°03'21" W	2.50'
L41	N 88°56'39" W	5.00'
L42	N 01°03'21" E	2.50'
L43	N 88°56'39" W	30.33'
L44	S 01°03'21" W	2.50'
L45	N 88°56'39" W	5.00'
L46	N 01°03'21" E	2.50'
L47	N 88°56'39" W	30.33'
L48	S 01°03'21" W	2.50'
L49	N 88°56'39" W	5.00'
L50	N 01°03'21" E	2.50'
L51	N 88°56'39" W	30.33'
L52	S 01°03'21" W	2.50'
L53	N 88°56'39" W	5.00'
L54	N 01°03'21" E	2.50'
L55	N 88°56'39" W	13.67'
L56	S 01°03'21" W	2.50'
L57	N 88°56'39" W	5.00'
L58	N 01°03'21" E	2.50'
L59	N 88°56'39" W	14.26'

LINE TABLE CONTINUED

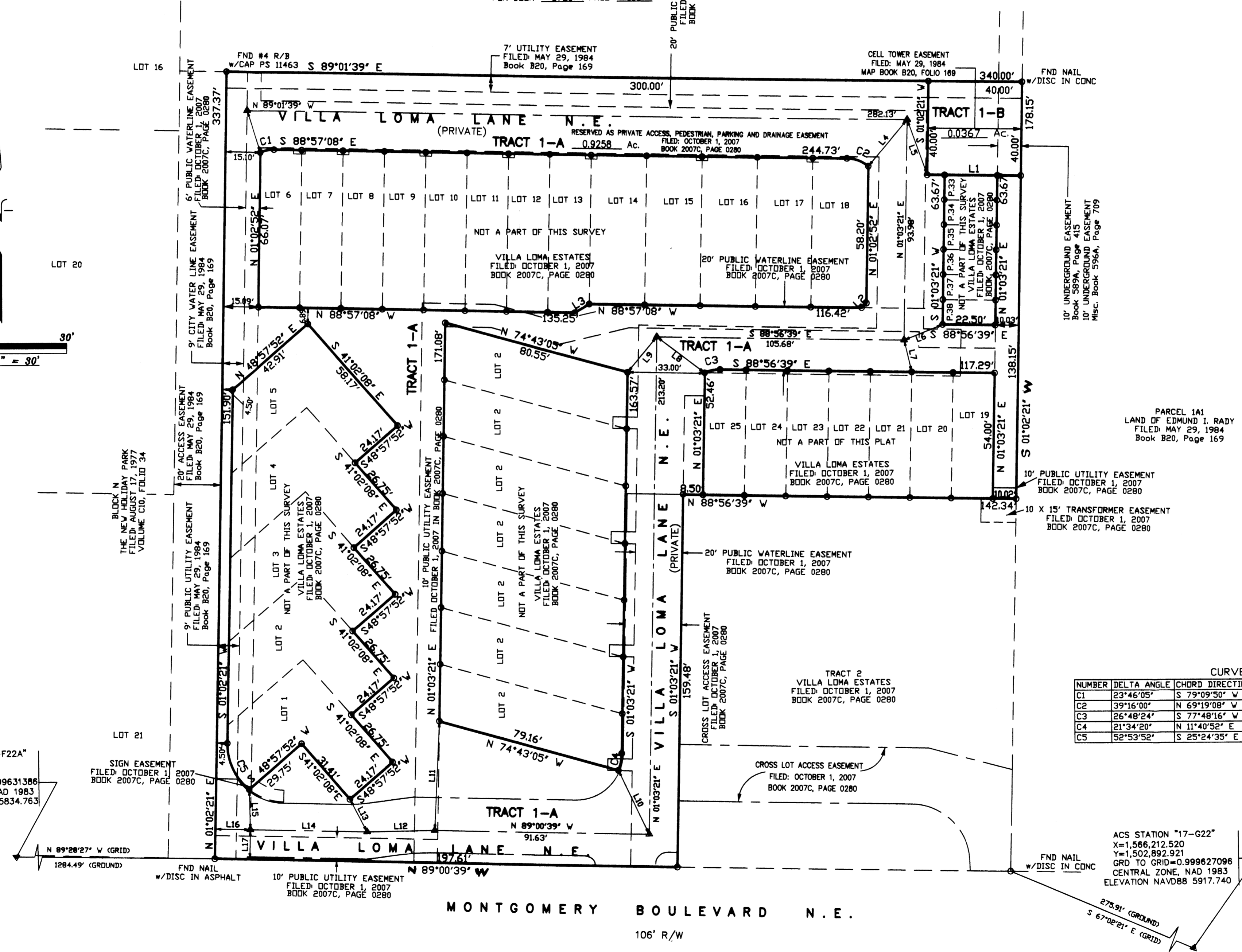
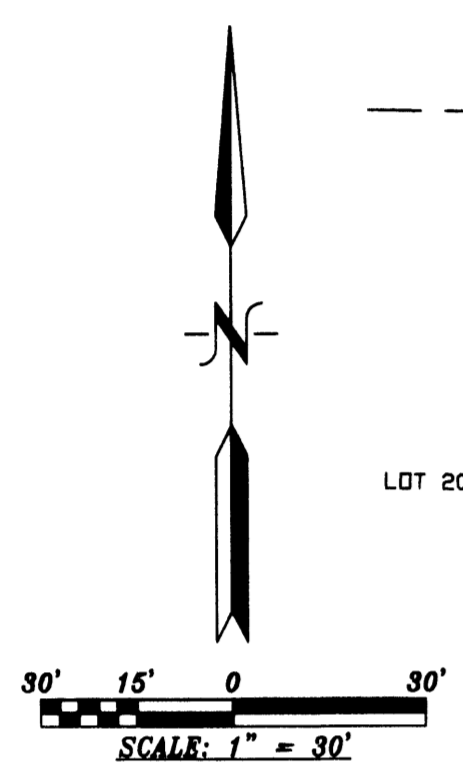
NUMBER	DIRECTION	DISTANCE
L60	S 01°02'21" W	305.17'
L61	N 88°57'39" W	6.00'
L62	S 89°00'41" E	17.28'
L63	N 01°02'19" E	43.43'
L64	N 75°16'14" W	36.96'
L65	N 88°56'41" W	106.54'
L66	N 01°03'19" E	107.20'
L67	N 88°56'41" W	23.83'
L68	S 01°03'21" W	111.45'
L69	N 89°00'41" W	69.22'
L70	N 82°15'47" E	26.20'
L71	N 89°00'41" W	27.84'
L72	N 88°57'41" W	9.00'
L73	N 01°02'21" E	34.38'
L74	S 89°00'39" E	13.92'
L75	N 00°54'49" E	1.06'
L76	N 88°56'41" W	51.35'
L77	N 82°15'47" E	13.76'
L78	S 88°58'48" E	63.62'
L79	S 00°59'19" W	0.53'
L80	S 89°00'39" W	25.75'
L81	S 00°59'19" W	1.17'
L82	S 88°56'41" E	4.14'
L83	N 01°03'18" E	22.12'
L84	S 89°01'01" E	99.84'
L85	S 03°09'59" E	5.20'
L86	S 88°56'39" E	22.53'
L87	S 01°03'21" W	6.75'
L88	S 88°56'39" E	135.25'
L89	N 76°49'48" E	30.85'
L90	S 74°43'05" E	27.15'
L91	S 88°56'39" E	30.89'
L92	N 01°03'21" E	239.98'
L93	N 89°00'39" W	10.00'
L94	N 01°03'21" E	229.96'
L95	S 88°56'39" E	19.64'
L96	S 74°43'05" E	28.44'
L97	N 76°49'48" E	32.14'
L98	S 88°56'39" E	124.00'
L99	S 01°03'21" W	6.75'
L100	S 88°56'39" E	32.53'
L101	S 01°02'21" W	10.00'
L102	N 01°03'21" E	5.00'
L103	S 48°57'52" W	5.11'
L104	S 58°53'25" W	7.19'
L105	N 17°56'17" W	18.76'
L106	S 39°58'49" W	25.91'
L107	S 33°49'37" E	28.61'
L108	S 68°21'43" W	17.74'
L109	S 13°18'40" E	14.04'
L110	S 52°49'34" E	25.68'
L111	S 39°37'03" W	15.65'
L112	S 02°39'33" W	46.66'
L113	N 27°28'23" W	15.75'
L114	N 01°33'42" W	17.23'
L115	N 88°57'39" W	15.00'
L116	S 00°59'21" W	12.76'
L117	N 88°56'39" W	49.87'
L118	N 88°38'16" E	28.89'
L119	S 25°35'15" E	30.32'



# PLAT OF TRACTS 1-A AND 1-B VILLA LOMA ESTATES

WITHIN SECTION 34, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MAY, 2008

KIVA RESERVOIR  
OWNER: CITY OF ALBUQUERQUE  
PER BOOK: 0726 PAGE: 166



LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	S 89°01'39" E	40.00'
L2	N 46°02'52" E	2.83'
L3	S 58°53'25" W	7.19'
L4	S 39°58'49" W	25.91'
L5	S 19°39'24" E	25.09'
L6	S 68°21'43" W	17.74'
L7	S 13°18'40" E	14.04'
L8	S 52°49'34" E	25.68'
L9	S 39°37'03" W	19.65'
L10	S 25°35'15" E	30.32'
L11	S 02°39'33" W	46.68'
L12	N 88°38'16" E	28.89'
L13	N 27°28'23" W	15.75'
L14	N 88°56'39" W	49.87'
L15	N 01°33'42" W	17.23'
L16	N 88°57'39" W	15.00'
L17	S 00°59'21" W	12.76'

CURVE TABLE

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	23°46'05"	S 79°09'50" W	14.50	6.02	5.97
C2	39°16'00"	N 69°19'08" W	14.50	9.94	9.74
C3	26°48'24"	S 77°48'16" W	14.50	6.78	6.72
C4	21°34'20"	N 11°40'52" E	19.50	7.34	7.30
C5	52°53'52"	S 25°24'35" E	24.50	22.62	21.82

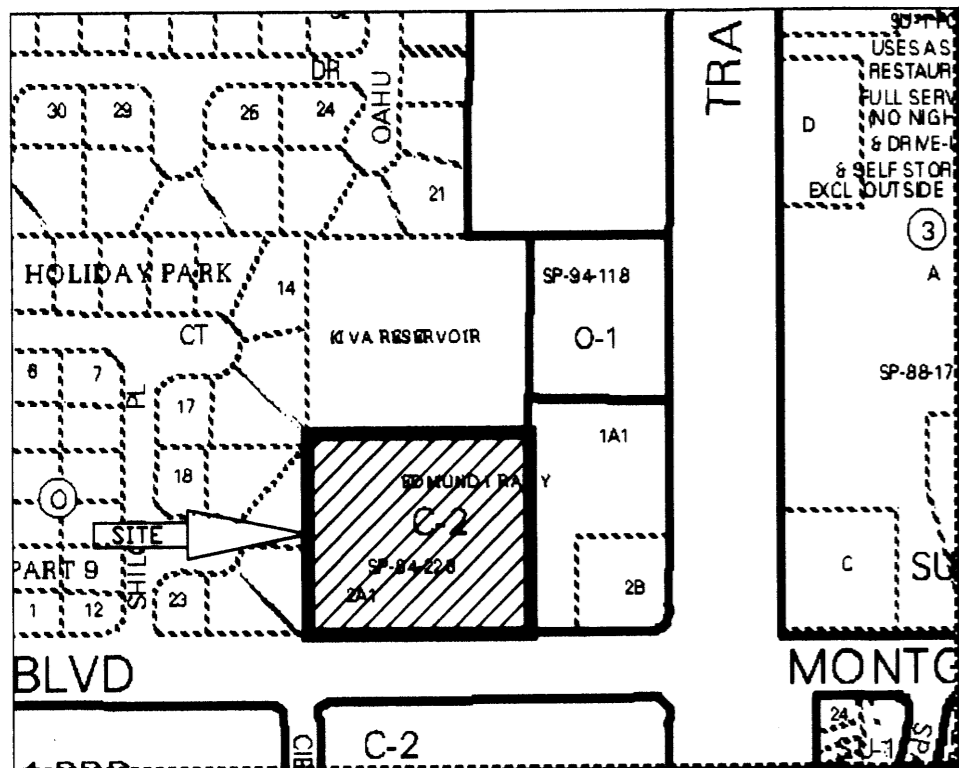
ACS STATION "10-F22A"  
X=1,564,333.111  
Y=1,502,991.270  
GRD TO GRID=0.999631386  
CENTRAL ZONE, NAD 1983  
ELEVATION NAVD88 5834.763

ACS STATION "17-G22"  
X=1,566,212.520  
Y=1,502,892.921  
GRD TO GRID=0.999627096  
CENTRAL ZONE, NAD 1983  
ELEVATION NAVD88 5917.740

RE-REPLAT.DWG

MONTGOMERY BOULEVARD N.E.  
106' R/W





**LEGAL DESCRIPTION**

TRACT NUMBERED ONE (1) OF THE PLAT OF VILLA LOMA ESTATES, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 1, 2007 IN BOOK 2007C, PAGE 280

**PLAT OF TRACTS 1-A AND 1-B VILLA LOMA ESTATES**

WITHIN SECTION 34, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MAY, 2008

PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

**UTILITY APPROVALS:**

PNM ELECTRIC SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

PNM GAS SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

QWEST TELECOMMUNICATIONS \_\_\_\_\_ DATE \_\_\_\_\_

COMCAST \_\_\_\_\_ DATE \_\_\_\_\_

NEW MEXICO UTILITIES \_\_\_\_\_ DATE \_\_\_\_\_

**CITY APPROVALS:**

*[Signature]* \_\_\_\_\_ DATE 5-20-08  
CITY SURVEYOR

\*REAL PROPERTY DIVISION (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_

\*\*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

ABCWAU \_\_\_\_\_ DATE \_\_\_\_\_

PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

AMAFCA \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

VICINITY MAP No. F-22

**PURPOSE OF PLAT:**

THE PURPOSE OF THIS PLAT IS TO DIVIDE TRACT 1 INTO 2 TRACTS.

**GENERAL NOTES:**

- 1: UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TOTAL AREA OF PROPERTY: 0.9625 ACRES.
- 4: TALOS LOG NO. 2007168578
- 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
- 6: DISTANCES ARE GROUND, BEARINGS ARE GRID.
- 7: BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- 8: DATE OF FIELD WORK: NOVEMBER, 2007
- 9: NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT
- 10: TRACT 1-A AND TRACT 1-B ARE PART OF TRACT ONE WHICH WAS/IS GRANTED AS A COMMON AREA, CROSS ACCESS EASEMENT, PRIVATE ACCESS, PEDESTRIAN, PARKING AND DRAINAGE EASEMENT AND PUBLIC WATER AND SANITARY SEWER EASEMENT THESE ARE FOR THE BENEFIT OF THE OWNERS OF LOTS 1 thru 32, VILLA LOMA ESTATES AND SHALL BE MAINTAINED BY THE VILLA LOMA ESTATES HOME OWNERS ASSOCIATION. PER PLAT RECORDED ON OCTOBER 1, 2007 BOOK 2007C, PAGE 0280
- 11: BY THE RECORDING OF THIS PLAT, A CROSS LOT DRAINAGE AND ACCESS EASEMENT IS GRANTED BY THIS PLAT

**FREE CONSENT**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

*[Signature]* \_\_\_\_\_ DATE 5-6-08  
JONATHAN BARELA MONTGOMERY POINT LLC, MEMBER

**\*ACKNOWLEDGMENT**

STATE OF NEW MEXICO ) s.s.  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 6th DAY OF May, 2008

BY: *[Signature]* \_\_\_\_\_  
JONATHAN BARELA  
MONTGOMERY POINT LLC, MEMBER  
MY COMMISSION EXPIRES: 4-10-2011 BY: *[Signature]* \_\_\_\_\_  
NOTARY PUBLIC

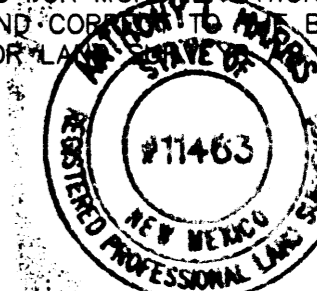
**SURVEYORS CERTIFICATE:**

STATE OF NEW MEXICO ) s.s.  
COUNTY OF BERNALILLO )

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEY SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 20th DAY OF May, 2008.

*[Signature]* \_\_\_\_\_  
ANTHONY L. HARRIS, P.S. # 11463



**HARRIS SURVEYING, INC.**  
2112-D WOODS STREET N.E. ALBUQUERQUE, NEW MEXICO 87110  
PHONE: (505) 889-8066 FAX: (505) 889-8045

RE-REPLAT.DWG

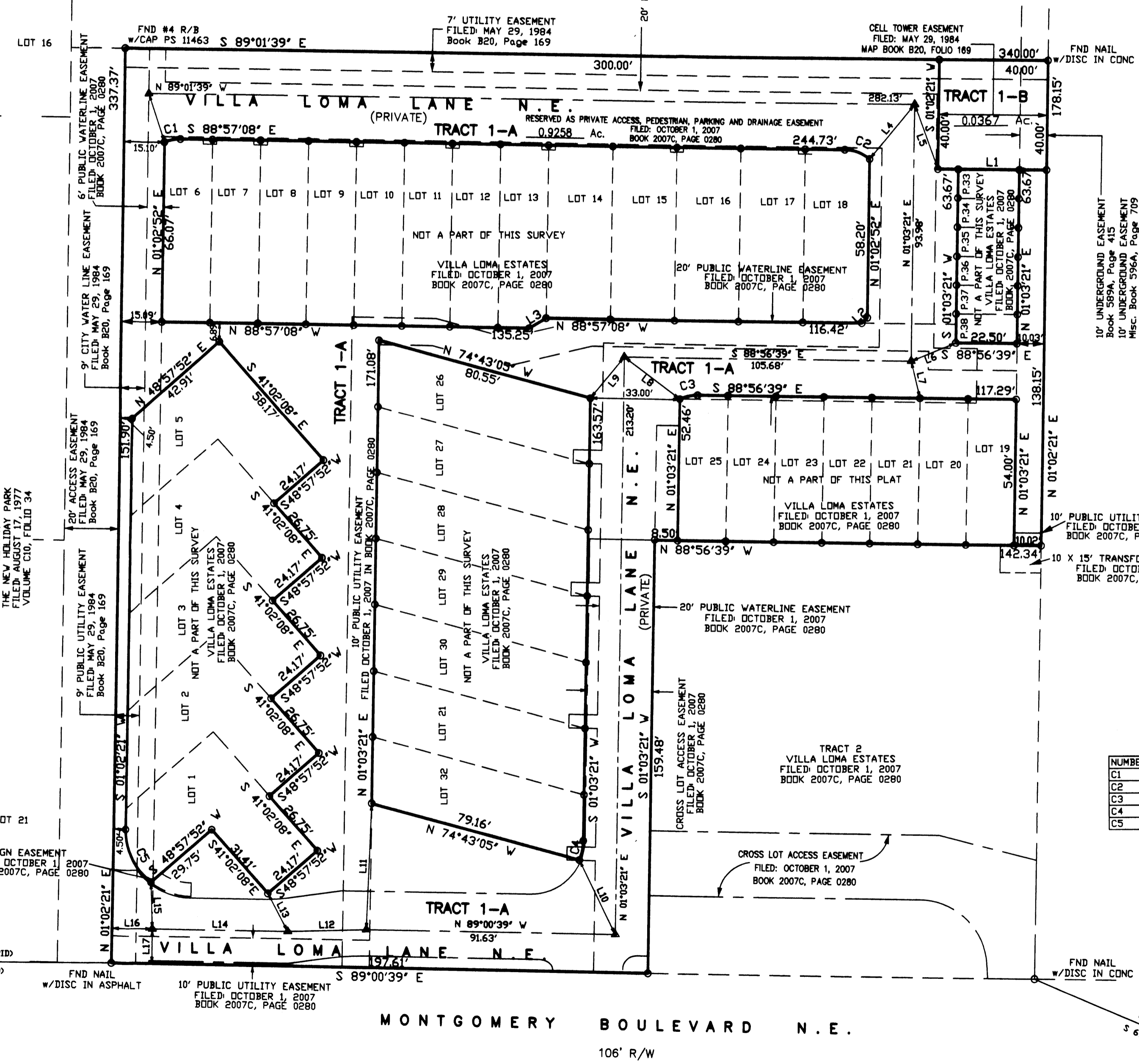
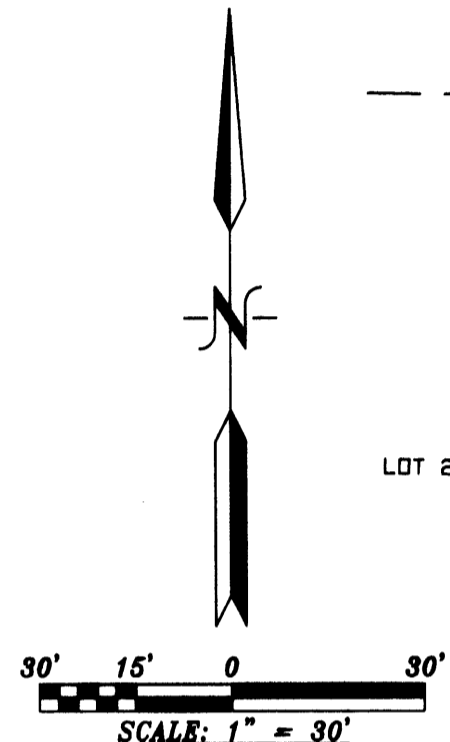
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
UPC# \_\_\_\_\_  
PROPERTY OWNER OF RECORD: \_\_\_\_\_  
BERNALILLO CO. TREASURER'S OFFICE: \_\_\_\_\_



# PLAT OF TRACTS 1-A AND 1-B VILLA LOMA ESTATES

WITHIN SECTION 34, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MAY, 2008

KIVA RESERVOIR  
OWNER: CITY OF ALBUQUERQUE  
PER BOOK: 0726 PAGE: 166



ACS STATION "10-F22A"  
X=1,564,333.111  
Y=1,502,991.270  
GRD TO GRID=0.999631386  
CENTRAL ZONE, NAD 1983  
ELEVATION NAVD88 5834.763

SIGN EASEMENT  
FILED: OCTOBER 1, 2007  
BOOK 2007C, PAGE 0280

CURVE TABLE

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	23°46'05"	S 79°09'50" W	14.50	6.02	5.97
C2	39°16'00"	N 69°19'08" W	14.50	9.94	9.74
C3	26°48'24"	S 77°48'16" W	14.50	6.78	6.72
C4	21°34'20"	N 11°40'52" E	19.50	7.34	7.30
C5	52°53'52"	S 25°24'35" E	24.50	22.62	21.82

LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	S 89°01'39" E	40.00'
L2	N 46°02'52" E	2.83'
L3	S 58°53'25" W	7.19'
L4	S 39°58'49" W	25.91'
L5	S 19°39'24" E	25.09'
L6	S 68°21'43" W	17.74'
L7	S 13°18'40" E	14.04'
L8	S 52°49'34" E	25.68'
L9	S 39°37'03" W	19.65'
L10	S 25°35'15" E	30.32'
L11	S 02°39'33" W	46.68'
L12	N 88°38'16" E	28.89'
L13	N 27°28'23" W	15.75'
L14	N 88°56'39" W	49.87'
L15	N 01°33'42" W	17.23'
L16	N 88°57'39" W	15.00'
L17	S 00°59'21" W	12.76'

ACS STATION "17-G22"  
X=1,566,212.520  
Y=1,502,892.921  
GRD TO GRID=0.999627086  
CENTRAL ZONE, NAD 1983  
ELEVATION NAVD88 5917.740

RE-REPLAT.DWG

A.L.T.A / A.C.S.M. LAND TITLE SURVEY  
with TOPOGRAPHY  
OF  
**PARCEL 2-A-1**  
**LAND OF EDMUND I. RADY**

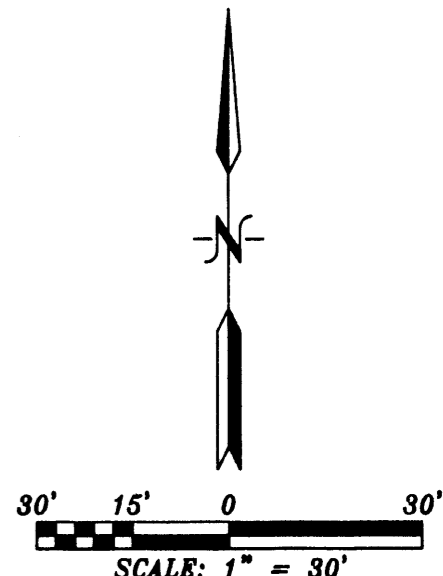
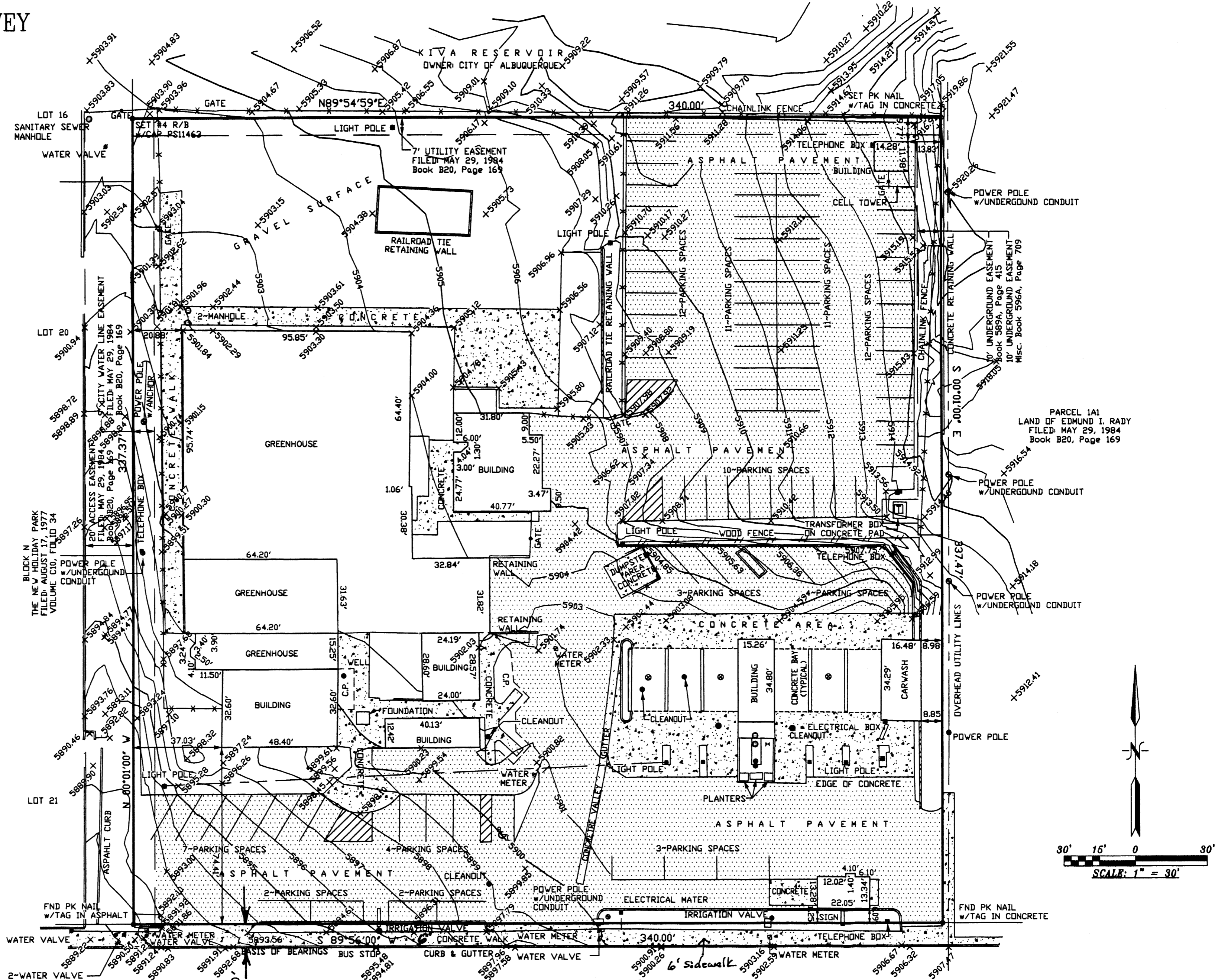
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
SEPTEMBER, 2006

**LEGAL DESCRIPTION:**

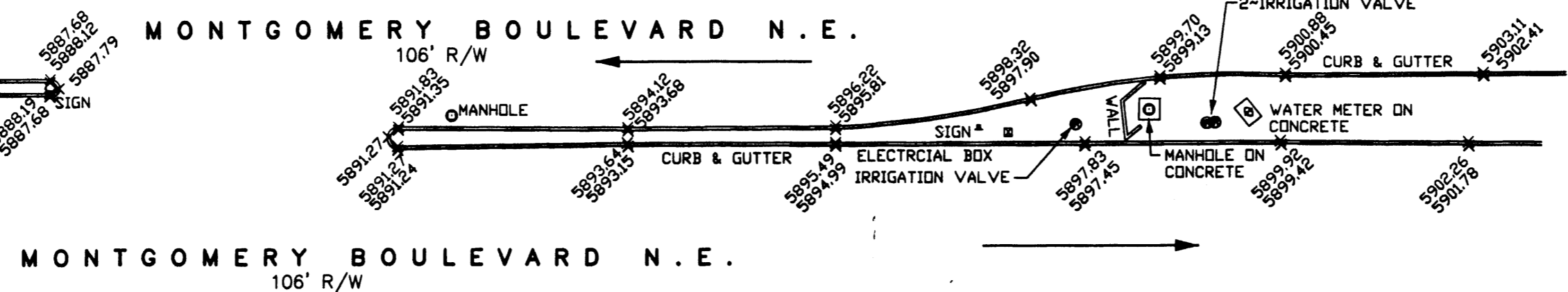
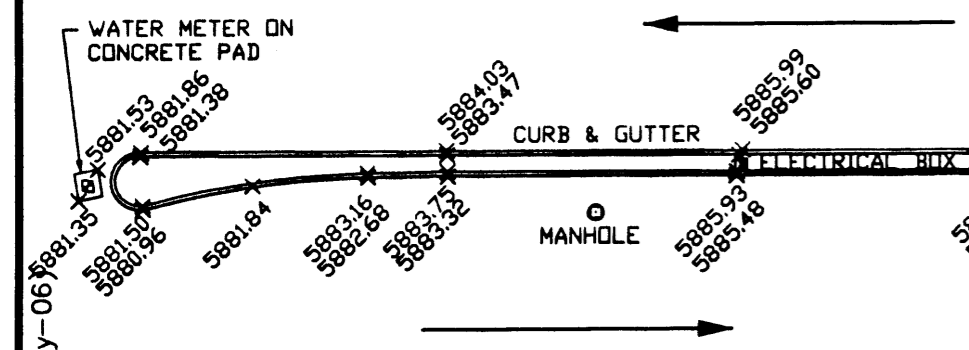
PARCEL 2-A-1 OF LAND OF EDMUND I. RADY, ALBUQUERQUE, NEW MEXICO, AS SAID PARCEL IS SHOWN AND DESIGNATED ON THE PLAT OF DIVISION THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 29, 1984 IN PLAT BOOK B20, PAGE 169.

**GENERAL NOTES:**

- OWNER OF RECORD PER LANDAMERICA ALBUQUERQUE TITLE CO. TITLE BINDER DATED: MARCH 28, 2006 IS SHARON LYNN ROWLAND
- LEGAL DESCRIPTION AND EASEMENTS SHOWN WAS PROVIDED BY LANDAMERICA ALBUQUERQUE TITLE CO. COMMITMENT No. 6212000564
- PLATS USED TO ESTABLISH BOUNDARY:  
A: PLAT OF DIVISION OF LAND OF EDMUND I. RADY FILED: MAY 29, 1984 BOOK B20, PAGE 169
- FIELD WORK PERFORMED ON: JULY, 2006
- CONTOUR INTERVAL IS ONE (1) FOOT.
- ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "17-G22", HAVING AN ELEVATION OF 5917.75
- UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.



VICINITY MAP No. F-22



STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) S.S.  
CERTIFY TO: WHALE OF A WASH, LLC, FIRST COMMUNITY BANK and  
LANDAMERICA ALBUQUERQUE TITLE Co.

I, ANTHONY L. HARRIS, A PROFESSIONAL SURVEYOR, LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THERE ARE NO ENCROACHMENTS FROM THIS PROPERTY TO ADJOINING PROPERTIES OR FROM ADJOINING PROPERTIES TO THIS PROPERTY UNLESS HEREON SHOWN. I FURTHER CERTIFY THAT THIS MAP OR PLAT AND SURVEY ON WHICH IT IS BASED WERE MADE (I) IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND ACSM LAND IN 1999, AND INCLUDES ITEMS: 1, 3, 8, 9, 10, 11, 13, 16 OF TABLE A THEREOF, AND (II) PURSUANT TO THE ACCURACY STANDARDS (AS ADOPTED BY ALTA AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION) ON AN URBAN SURVEY.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO  
THIS        DAY OF        2006

ANTHONY L. HARRIS, N.M.P.S. #11463

The property shown hereon is NOT within the 100 year flood plain. Zone X, FIRM Panel #        Dated:       

**HARRIS SURVEYING, INC.**  
2412-D MONROE STREET N.E.  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE: (505) 889-8056  
FAX: (505) 889-8645

# PLAT OF TRACTS 1-A AND 1-B VILLA LOMA ESTATES

WITHIN SECTION 34, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MAY, 2008

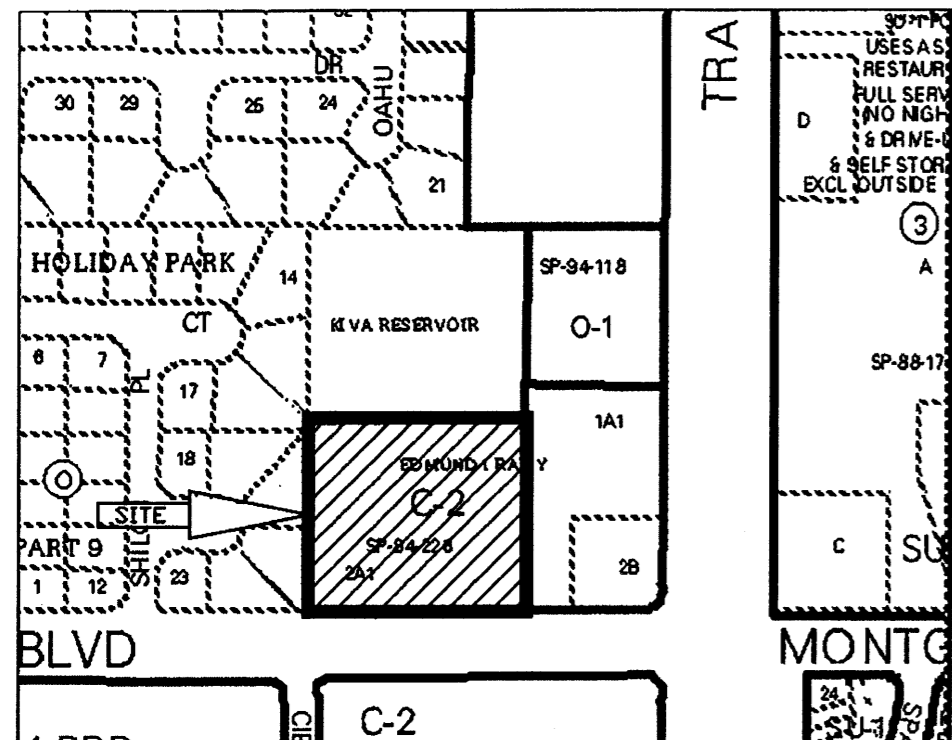
PROJECT NUMBER: 1005185  
APPLICATION NUMBER: ORDRB 70284

UTILITY APPROVALS:

<u>Fernando Vajil</u> PNM ELECTRIC SERVICES	<u>July 24, 2008</u> DATE
<u>Fernando Vajil</u> PNM GAS SERVICES	<u>July 24, 2008</u> DATE
<u>Quelch Buhler</u> QUEST TELECOMMUNICATIONS	<u>7/14/08</u> DATE
<u>Honni Barber</u> COMCAST	<u>7.24.08</u> DATE
<u>NA</u> NEW MEXICO UTILITIES	 DATE

CITY APPROVALS:

<u>[Signature]</u> CITY SURVEYOR	<u>5-20-08</u> DATE
<u>NA</u> *REAL PROPERTY DIVISION (CONDITIONAL)	DATE
<u>NA</u> **ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
<u>[Signature]</u> TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	<u>7/9/08</u> DATE
<u>Roger A Green</u> ABCWAW	<u>7-9-08</u> DATE
<u>Christina Sandoval</u> PARKS AND RECREATION DEPARTMENT	<u>7/9/08</u> DATE
<u>Bradley J. Bingham</u> AMAFCA	<u>7/9/08</u> DATE
<u>Bradley J. Bingham</u> CITY ENGINEER	<u>7/9/08</u> DATE
<u>Jack Clark</u> DRB CHAIRPERSON, PLANNING DEPARTMENT	<u>7/9/08</u> DATE



**LEGAL DESCRIPTION**  
TRACT NUMBERED ONE (1) OF THE PLAT OF VILLA LOMA ESTATES, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 1, 2007 IN BOOK 2007C, PAGE 280

DOC# 2008083667  
07/24/2008 03:38 PM Page: 1 of 2  
PLAT R: \$12.00 B: 2008C P: 0166 R: Toulous Oliveire, Bernalillo Cour

VICINITY MAP No. F-22

**PURPOSE OF PLAT:**  
THE PURPOSE OF THIS PLAT IS TO DIVIDE TRACT 1 INTO 2 TRACTS.

- GENERAL NOTES:**
- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
  - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
  - TOTAL AREA OF PROPERTY: 0.9625 ACRES.
  - TALOS LOG NO. 2007168578
  - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
  - DISTANCES ARE GROUND, BEARINGS ARE GRID.
  - BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
  - DATE OF FIELD WORK: NOVEMBER, 2007
  - NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT
  - TRACT 1-A AND TRACT 1-B ARE PART OF TRACT ONE WHICH WAS GRANTED AS A COMMON AREA, CROSS ACCESS EASEMENT, PRIVATE ACCESS, PEDESTRIAN, PARKING AND DRAINAGE EASEMENT AND PUBLIC WATER AND SANITARY SEWER EASEMENT THESE ARE FOR THE BENEFIT OF THE OWNERS OF LOTS 1 thru 32, VILLA LOMA ESTATES AND SHALL BE MAINTAINED BY THE VILLA LOMA ESTATES HOME OWNERS ASSOCIATION. PER PLAT RECORDED ON OCTOBER 1, 2007 BOOK 2007C, PAGE 0280
  - BY THE RECORDING OF THIS PLAT, A CROSS LOT DRAINAGE AND ACCESS EASEMENT IS GRANTED BY THIS PLAT

**FREE CONSENT**  
THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

[Signature] 5-6-08  
JONATHAN BARELA MONTGOMERY POINT LLC, MEMBER DATE

**ACKNOWLEDGMENT**  
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 6TH DAY OF MAY 2008

BY: [Signature]  
JONATHAN BARELA  
MONTGOMERY POINT LLC, MEMBER  
MY COMMISSION EXPIRES: 4-10-2011 BY: Abbie S. Coburn  
NOTARY PUBLIC

**SURVEYORS CERTIFICATE:**  
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEY SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,  
THIS 20th DAY OF May 2008

[Signature]  
ANTHONY L. HARRIS, P.S. # 11463

HARRIS SURVEYING, INC. PHONE: (505) 889-8058  
2418-B MONROE STREET N.E. FAX: (505) 889-8646  
ALBUQUERQUE, NEW MEXICO 87110



RE-REPLAT.DWG

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
UPC# 10220614810204011  
PROPERTY OWNER OF RECORD: W INVESTMENTS LLC  
BERNALILLO CO. TREASURER'S OFFICE: 2/24/08



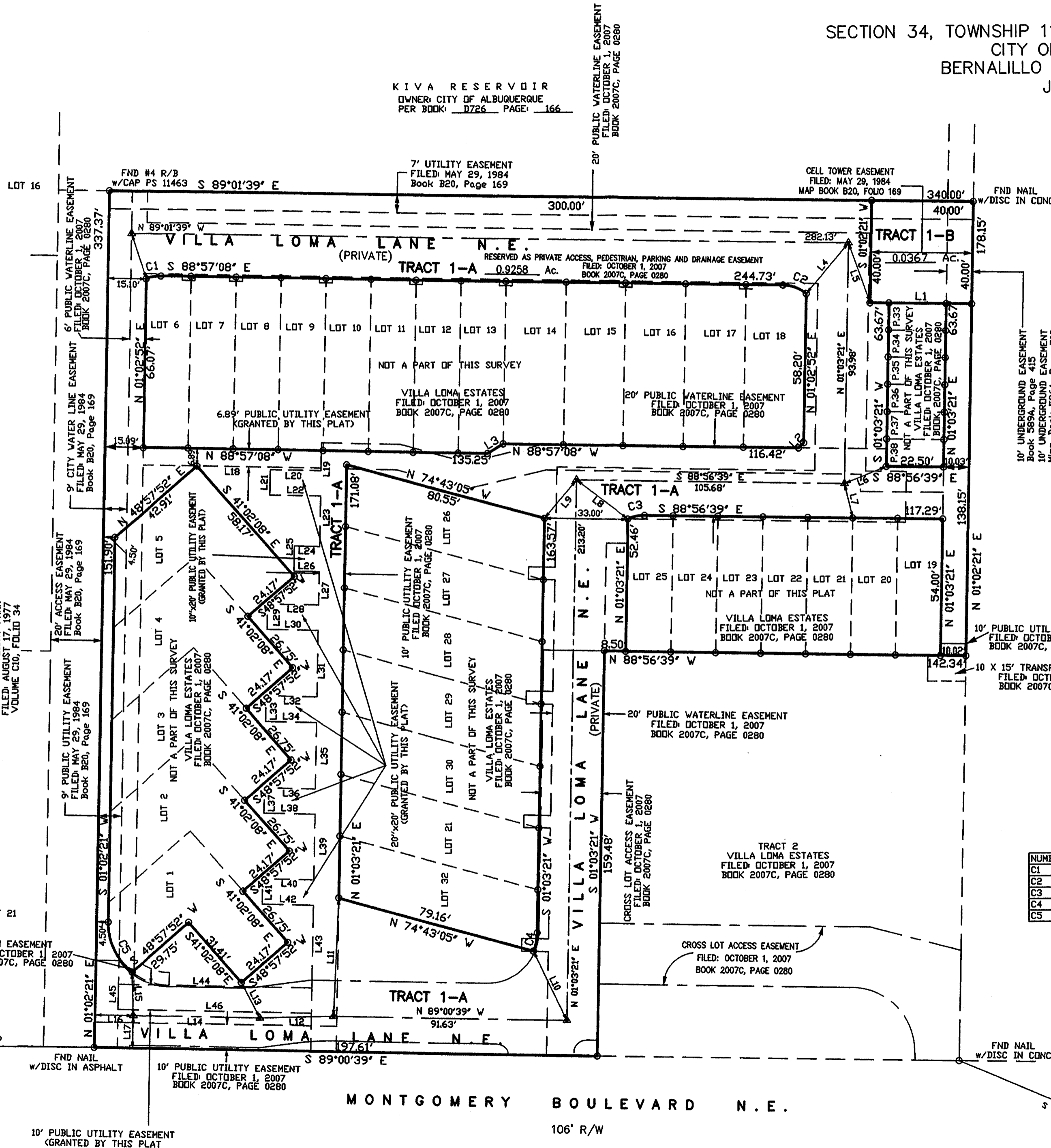
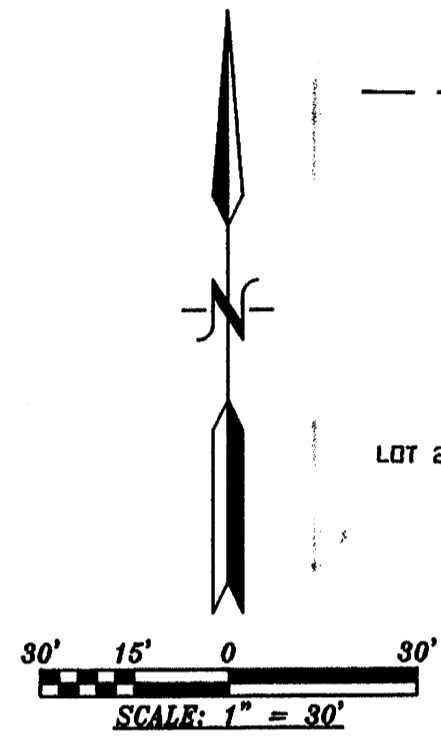
# PLAT OF TRACTS 1-A AND 1-B VILLA LOMA ESTATES

WITHIN  
SECTION 34, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JULY, 2008

KIVA RESERVOIR  
OWNER: CITY OF ALBUQUERQUE  
PER BOOK 1 D726 PAGE 166

DOCH 2008083667

07/24/2008 03:38 PM Page: 2 of 2  
PLAT R: \$12.00 B: 2008C P: 0166 R  
Toulious Olivares, Bernalillo Cour



LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	S 89°01'39" E	40.00'
L2	N 46°02'52" E	2.83'
L3	S 58°53'25" W	7.19'
L4	S 39°58'49" W	25.91'
L5	S 19°39'24" E	25.09'
L6	S 68°21'43" W	17.74'
L7	S 13°18'40" E	14.04'
L8	S 52°49'34" E	25.68'
L9	S 39°37'03" W	19.63'
L10	S 25°39'15" E	30.32'
L11	S 02°39'33" W	46.68'
L12	N 88°38'16" E	28.89'
L13	N 27°28'23" W	15.75'
L14	N 88°56'39" W	49.87'
L15	N 01°33'42" W	17.23'
L16	N 88°57'39" W	15.00'
L17	S 00°59'21" W	12.76'
L18	N 88°57'08" W	70.01'
L19	N 01°03'21" E	1.00'
L20	N 88°57'08" W	20.00'
L21	N 01°03'21" E	10.00'
L22	N 88°57'08" W	20.00'
L23	N 01°03'21" E	20.09'
L24	S 88°56'39" E	10.00'
L25	N 01°03'21" E	10.00'
L26	S 88°56'39" E	10.00'
L27	N 01°03'21" E	13.28'
L28	S 88°56'39" E	20.00'
L29	N 01°03'21" E	10.00'
L30	S 88°56'39" E	20.00'
L31	N 01°03'21" E	26.05'
L32	S 88°56'39" E	20.00'
L33	N 01°03'21" E	10.00'
L34	S 88°56'39" E	20.00'
L35	N 01°03'21" E	26.05'
L36	S 88°56'39" E	20.00'
L37	N 01°03'21" E	10.00'
L38	S 88°56'39" E	20.00'
L39	N 01°03'21" E	26.05'
L40	S 88°56'39" E	20.00'
L41	N 01°03'21" E	10.00'
L42	S 88°56'39" E	20.00'
L43	N 01°03'21" E	32.62'
L44	S 88°57'39" E	76.04'
L45	S 01°02'12" W	10.00'
L46	S 88°57'39" E	76.04'

CURVE TABLE

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	23°46'05"	S 79°09'50" W	14.50	6.02	5.97
C2	39°16'00"	N 69°19'08" W	14.50	9.94	9.74
C3	26°48'24"	S 77°48'16" W	14.50	6.78	6.72
C4	21°34'20"	N 11°40'52" E	19.50	7.34	7.30
C5	52°53'52"	S 25°24'35" E	24.50	22.62	21.82

ACS STATION "10-F22A"  
X=1,564,333.111  
Y=1,502,991.270  
GRD TO GRID=0.999631386  
CENTRAL ZONE, NAD 1983  
ELEVATION NAVD88 5834.763

ACS STATION "17-G22"  
X=1,566,212.520  
Y=1,502,892.921  
GRD TO GRID=0.999627096  
CENTRAL ZONE, NAD 1983  
ELEVATION NAVD88 5917.740

RE-REPLAT.DWG





**Villa Loma Estates**  
12401 Montgomery Boulevard NE  
Albuquerque, New Mexico

REVISIONS

- △
- △
- △
- △

DRAWN BY

REVIEWED BY

DATE

PROJECT NO. 0608T

DRAWING NAME

**PRELIMINARY PLAT  
GRADING AND  
DRAINAGE PLAN**

SHEET NO.

**PROJECT DATA**

THE SITE IS LOCATED ON THE NORTH SIDE OF MONTGOMERY BLVD. WEST OF TRAMWAY BLVD. (VICINITY MAP F-22). MONTGOMERY BLVD. BORDERS THE PROPERTY TO THE SOUTH, DEVELOPED COMMERCIAL TO THE EAST, DEVELOPED RESIDENTIAL TO THE WEST, AND DEVELOPED WATER STORAGE TANK FACILITY TO THE NORTH. THE SURROUNDING AREA IS FULLY DEVELOPED.

THE PRESENT SITE IS A DEVELOPED COMMERCIAL PROPERTY (PREVIOUSLY ROWLANDS PLANT NURSERY) WITH EXISTING STRUCTURES, PAVEMENT AND COMPACTED EARTH THROUGHOUT.

THE PROPOSED IMPROVEMENTS INCLUDE DEMOLITION OF EXISTING STRUCTURES AND CONSTRUCTION OF TOWNHOMES WITH NEW ASPHALT PAVED ACCESS AND PARKING AND ASSOCIATED SITE LANDSCAPING.

**DRAINAGE PLAN CONCEPT:**

THE SITE HISTORICALLY FREE DISCHARGES TO MONTGOMERY BLVD. THE PROPOSED IMPROVEMENTS WILL NOT SIGNIFICANTLY INCREASE SITE DISCHARGE DURING THE 100-YEAR, 6-HOUR STORM EVENT (SEE CALCULATIONS THIS SHEET) AND WILL CONTINUE TO FREE DISCHARGE TO MONTGOMERY BLVD. TO FOLLOW HISTORIC FLOWPATH.

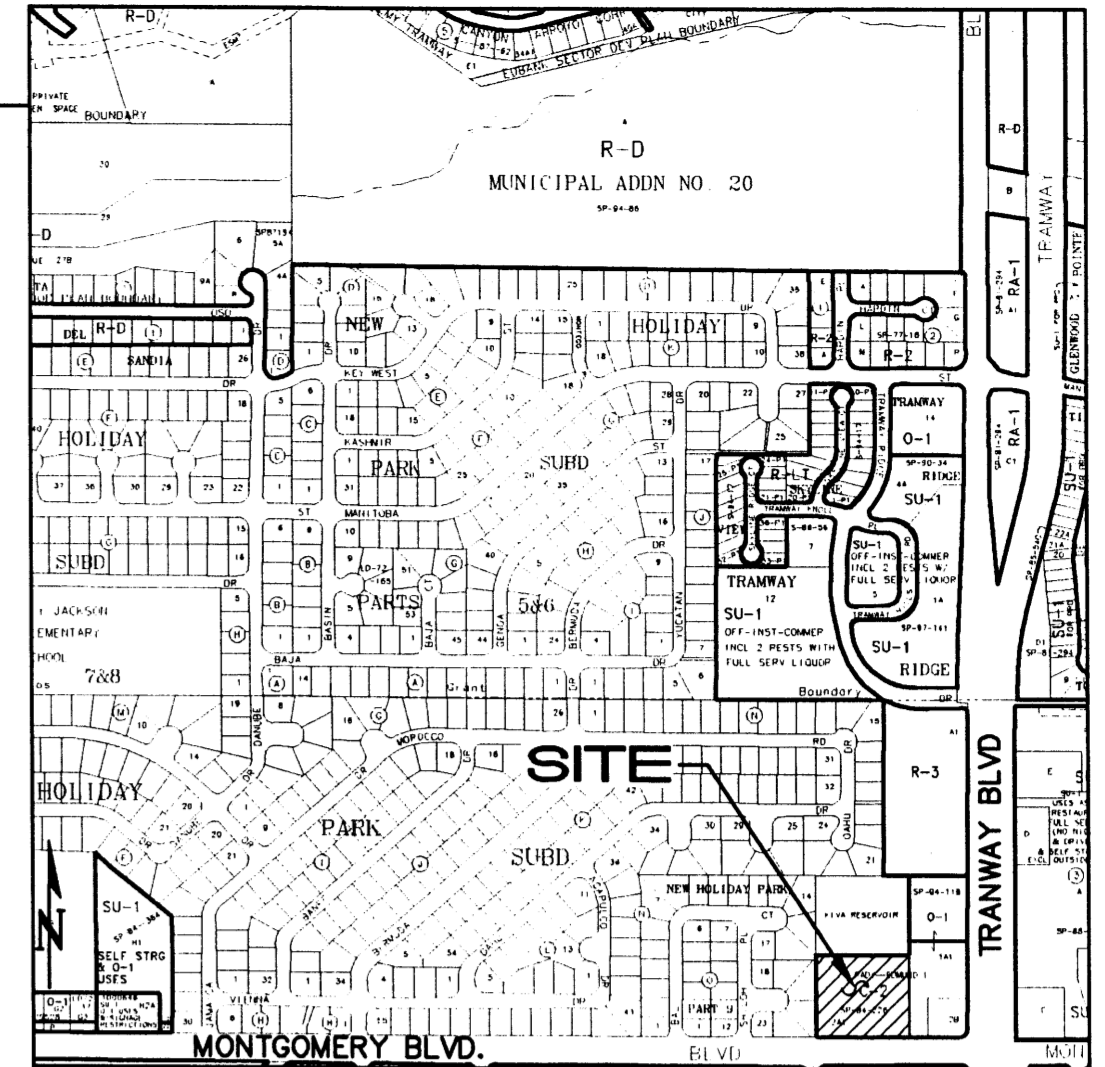
**LEGAL:** PARCEL 2-A-1 LAND OF EDMUND I. RADY, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**SURVEYOR:** ANTHONY L. HARRIS, N.M.P.S. #11463

**FLOODZONE:** PER FIRM MAP 163, THE SITE IS NOT LOCATED WITHIN A 100 YEAR FLOOD ZONE.

**BENCHMARK:** ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "17-G22", HAVING AN ELEVATION OF 5917.75.

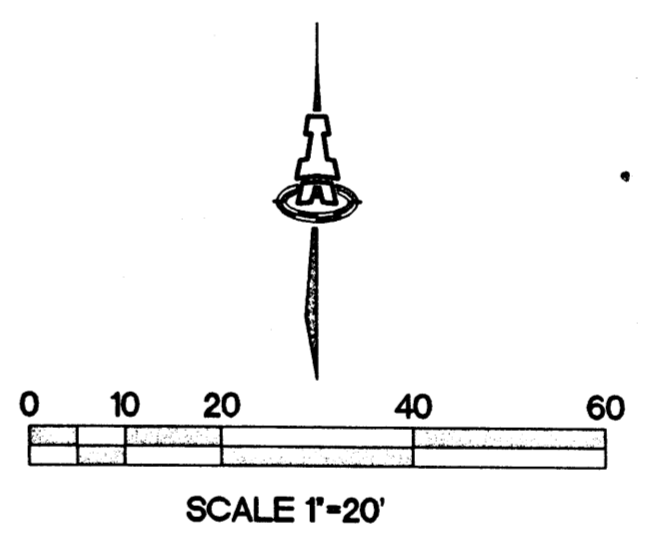
**OFFSITE FLOW:** NO OFF-SITE FLOW AFFECTS THIS PROPERTY. NOTE: FLOW FROM THE NORTH DRAINS TO THE SOUTHWEST AND PASSES TO THE PUBLIC ALLEY. THIS FLOW CONTINUES WITHIN THE ALLEY TO ENTER MONTGOMERY BLVD.



MAP # F-22 VICINITY MAP 1"=750'±

**KEYED NOTES**

- 1 CONSTRUCT PRIVATE ENTRANCE WITH CONCRETE VALLEY GUTTER AND UNIDIRECTIONAL HANDICAP RAMPS BY C.O.A. WORK ORDER.
- 2 CONSTRUCT ASPHALT PAVED ACCESS / PARKING AT ELEVATIONS SHOWN.
- 3 SAWCUT EXISTING ASPHALT AS REQUIRED TO PROVIDE CLEAN BONDING EDGE. PROVIDE SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
- 4 CONSTRUCT MOUNTABLE ROLL CURB (PER C.O.A. DWG. 2415A) TYPICAL AT ALL CURB LOCATIONS.
- 5 ALL ROOF AREA TO DISCHARGE TO INTERIOR PAVEMENT AND / OR LANDSCAPED AREAS (TYPICAL ALL UNITS). PROVIDE CONCRETE SPLASHPAD AT ALL CONCENTRATED DISCHARGE LOCATIONS.
- 6 CONSTRUCT PUBLIC RESIDENTIAL ALLEY WITH 24" WIDE CONCRETE ALLEY GUTTER BY C.O.A. WORK ORDER.
- 7 PROVIDE 5" WIDE OPENING IN CURB AT FLOWLINE ELEVATION SHOWN TO PASS FLOW TO PAVEMENT. CONSTRUCT PEDESTRIAN WALK FLUSH WITH FLOWLINE.
- 8 CONSTRUCT 18"-30" HIGH RETAINING WALL TO ACHIEVE GRADE DIFFERENCES SHOWN.
- 9 CONSTRUCT CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN. INSTALL 8" DIA. AREA DRAIN AT LOWPOINT OF DUMPSTER PADS. MAKE CONNECTIONS TO SANITARY SEWER LINE (SEE UTILITY PLAN).
- 10 ADJACENT PROPERTY - SAME OWNER



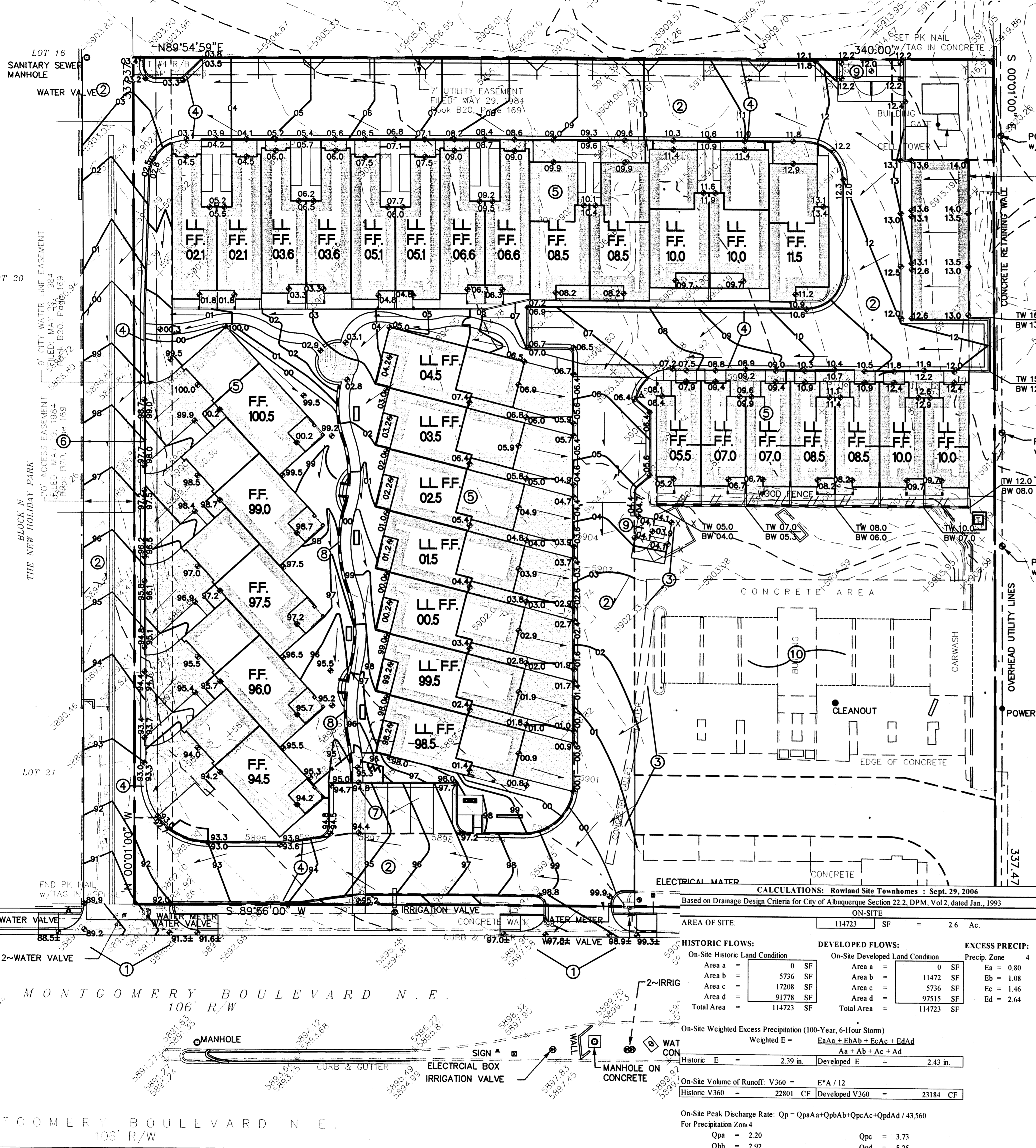
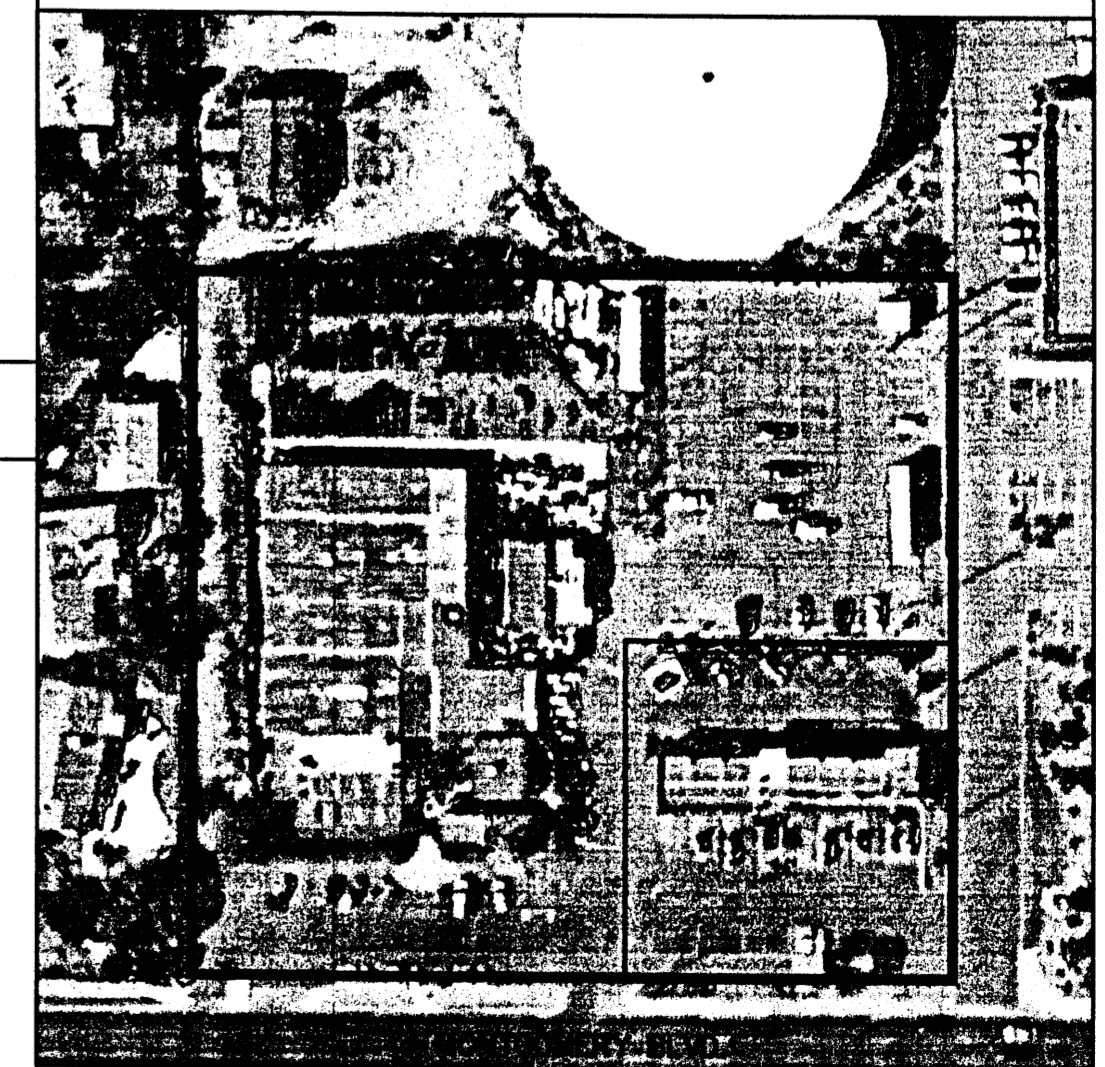
**GENERAL NOTES**

- A. COORDINATE ALL WORK WITH SITE PLAN, DEMOLITION PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
- B. GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS.

**LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5901.5 FINISH FLOOR ELEVATION
- == PROPOSED MOUNTABLE (4") CURB
- == PROPOSED RETAINING WALL
- TW 98 / BW 98 TOP OF / BOTTOM OF WALL ELEVATION
- W W BIKE RACK
- ☐ MAIL BOX

**EXISTING DEVELOPMENT**



CALCULATIONS: Rowland Site Townhomes : Sept. 29, 2006  
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE AREA OF SITE: 114723 SF = 2.6 Ac.

HISTORIC FLOWS:		DEVELOPED FLOWS:		EXCESS PRECIP:	
On-Site Historic Land Condition		On-Site Developed Land Condition		Precip. Zone	
Area a = 0 SF		Area a = 0 SF		Ea = 0.80	
Area b = 5736 SF		Area b = 11472 SF		Eb = 1.08	
Area c = 17208 SF		Area c = 5736 SF		Ec = 1.46	
Area d = 91778 SF		Area d = 97515 SF		Ed = 2.64	
Total Area = 114723 SF		Total Area = 114723 SF			

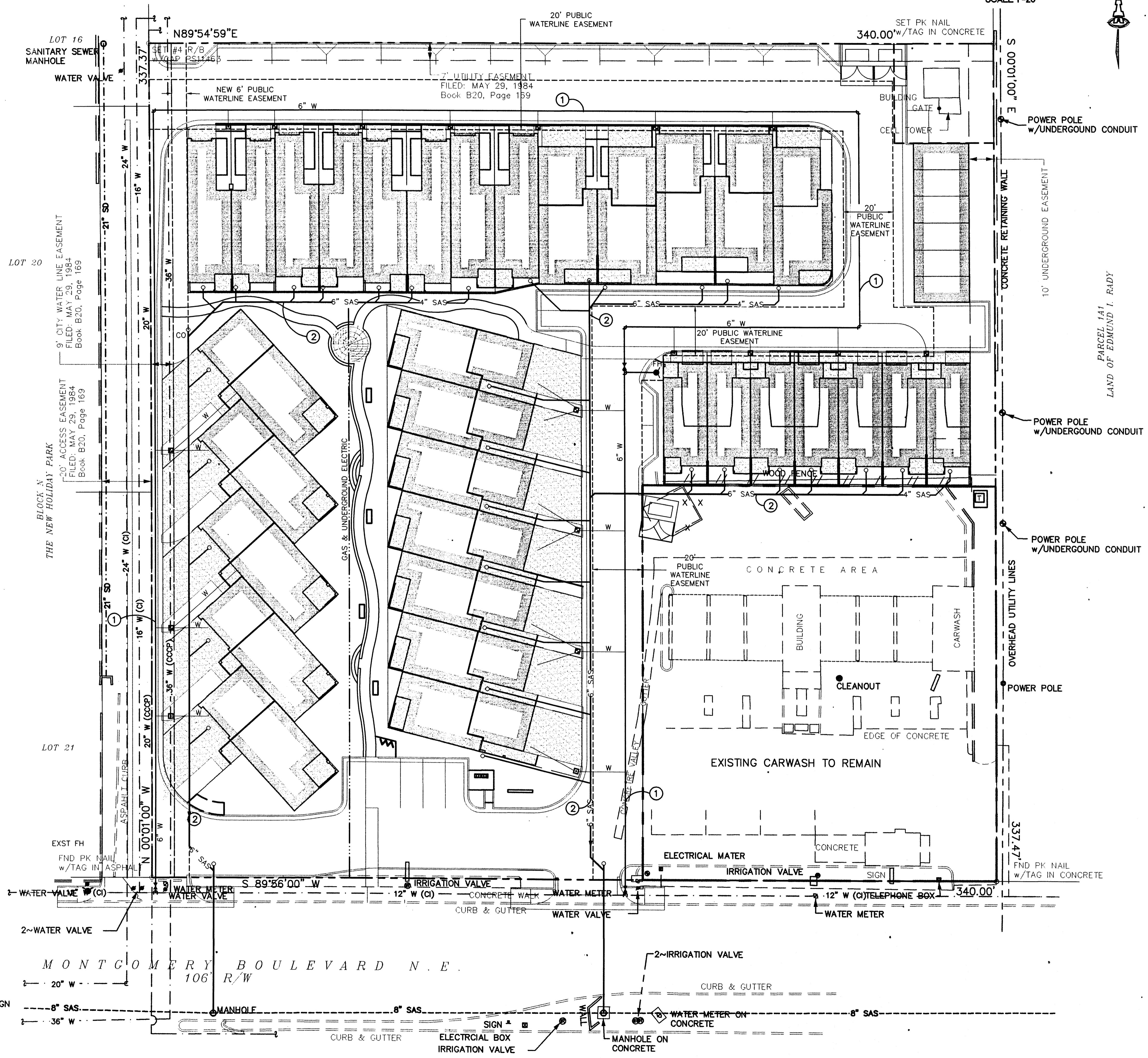
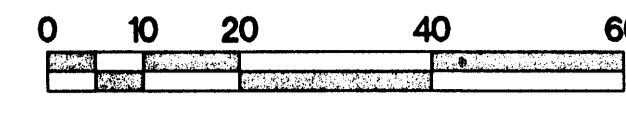
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)  
Weighted E =  $\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$   
Historic E = 2.39 in. | Developed E = 2.43 in.

On-Site Volume of Runoff: V360 =  $\frac{E \cdot A}{12}$   
Historic V360 = 22801 CF | Developed V360 = 23184 CF

On-Site Peak Discharge Rate:  $Qp = \frac{QpaAa + QpbAb + QpcAc + QpdAd}{43,560}$   
For Precipitation Zone 4  
Qpa = 2.20 | Qpb = 2.92 | Qpc = 3.73 | Qpd = 5.25  
Historic Qp = 12.9 CFS | Developed Qp = 13.0 CFS

M:\ACTIVE\2006\15626RD.dwg, 4/30/2007 10:19:22 AM



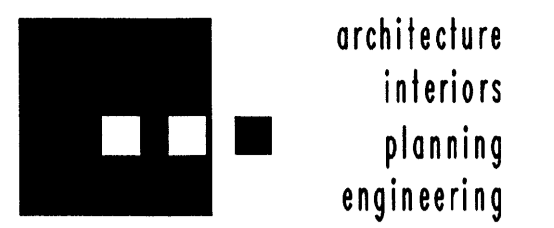


KEYED NOTES

1. PUBLIC 6" ONSITE WATERLINE.
2. PRIVATE SANITARY SEWER SERVICES.

LEGEND

- SINGLE WATER METER & BOX
- DOUBLE WATER METER & BOX
- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT
- SAS MANHOLE
- WATER LINE W/ FITTING
- TRANSFORMER



**Dekker  
Perich  
Sabatini**

7601 Jefferson NE  
Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org

ARCHITECT

ENGINEER



PROJECT

**Villa Loma Estates**  
12401 Montgomery Boulevard NE  
Albuquerque, New Mexico

REVISIONS

- △
- △
- △
- △

DRAWN BY

REVIEWED BY

DATE

PROJECT NO. 06081

DRAWING NAME

**PRELIMINARY PLAT  
UTILITY PLAN**

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632  
1562UMSTR.dwg Apr 30, 2007

SHEET NO.

C2

OF



**Sheet Index:**

SDP1	Site Development Plan for Subdivision
SDP2	Landscape Plan
SDP3	Design Standards with Building Elevations
SDP4	Design Standards Information
SDP5	Conceptual Grading & Drainage Plan
SDP6	Conceptual Utility Plan

**Zoning: Tract 1**

Address: 12401 Montgomery Boulevard N.E.

**Legal Description:**  
Parcel 2-A-1 of Land of Edmund I. Rady, Albuquerque, New Mexico, as said parcel is shown and designated on the plat of division thereof filed in the office of the county clerk of Bernalillo County, New Mexico on May 29, 1984 in plat book B20, Page 164.

Zone Atlas Page: F-22-Z

**Land Use Zoning:**  
Existing: C-2  
Proposed: Tract 1: SU-1 Planned Residential Development  
Tract 2: C-2

**Parking Required:**

**Townhome:**  
1 space per bathroom but not less than 2 spaces  
3 bathrooms per unit @ 32 units = 96 spaces

**Handicap Accessible Parking:**

Number of spaces designated for Handicap Accessible parking per COA Zoning Code 14-16-9-1(4). 10 Standard parking spaces provided. 1 space provided per 1 to 25 off-street standard parking spaces provided.

**Allowable Reductions:**

Transit Reduction - Parking requirement of building or use reduced 10% if it is within 300 feet of a regular Albuquerque system route.  
96 spaces x 10% = 9.6 space = 9 space reduction  
Adjusted total parking required = 96 sp. - 9 sp. = 87 spaces

**Parking Provided:**

-Garage spaces:	56 spaces
-Driveway spaces:	24 spaces
-Standard Spaces:	10 spaces
<b>Total:</b>	<b>90 spaces</b>

**Landscaping:**

Refer to sheet SDP2 for landscape calculations.

**Maximum Building Height:**

Three Story Units  
Top of Roof (Ridge Elevation) = 37'-6"  
Top of Parapet (Unit Separation Wall) = 40'-0"

**Minimum Building Setback:**

5ft. proposed at rear yard to adjoining C-2 Car Wash Facility

**Proposed Number of units:**

32 Dwelling units maximum comprised of the following unit types:	
A unit type	9 units
B unit type	12 units
C-1 unit type	7 units
C-2 unit type	8 units
<b>Total</b>	<b>32 units</b>

**Heated Building Areas:**

A unit type	2,100 sf per unit
B unit type	1,950 sf per unit
C-1 unit type	1,450 sf per unit
C-2 unit type	1,650 sf per unit

**Residential Townhome Lots:**

Lots numbered 1 through 32 and 19a through 24a located in Tract 1 and described herein will be individually owned and subdivided with replat. Average lot areas based on unit type are listed below:

Unit Type A, Lots 1 to 5 -	2,281 sf Average Lot Area
Unit Type B, Lots 14 to 18 and 26 to 32 -	1,705 sf Average Lot Area
Unit Type C-2, Lots 6 to 13 -	1,184 sf Average Lot Area
Unit Type C-1, Lots 19 to 25 -	950 sf Average Lot Area
Garage, Lots 19a to 24a -	236 sf Average Lot Area

PROJECT NUMBER: 1005185

Application Number: 07DRB-00353

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No. If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

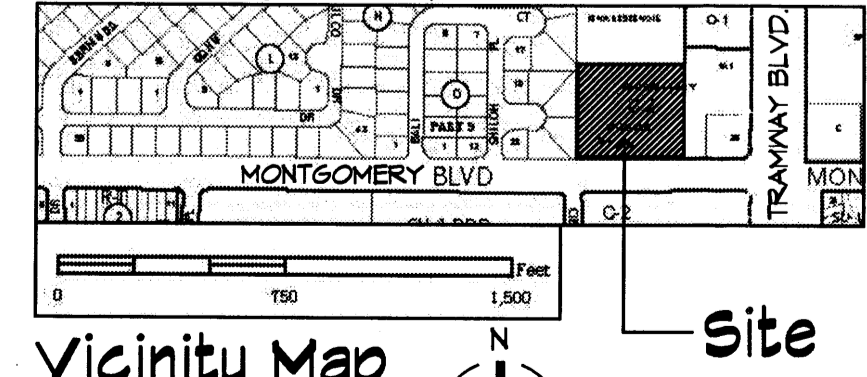
\*Environmental Health, if necessary

**General Notes:**

- Refer to Sheet SDP2 for Landscape Plan and Design Criteria. Refer to Sheets SDP3 and SDP4 for Site Development Plan Design Criteria. Refer to Sheets SDP5 and SDP6 for Conceptual Grading, Drainage and Utility Design.
- Applicable to Tract 1: All existing Structures, Paving, Fencing, Walls, Foundations, Sidewalks, Light poles, and over head Power poles to be Demolished & Removed.
- Applicable to Tract 2: All existing Structures, Paving, Fencing, Walls, Foundations, Sidewalks, Light poles, and over head power poles to remain.
- The minimum unit lot size is 949 sqft, the maximum unit lot size is 2281 sq ft, and the lot size of the garage is 236 sqft.
- Type 'A' units shall be limited to two stories in height.
- Overhead garage doors shall be varied in appearance and utilize two distinct and complimentary door styles throughout the project.

**Keyed Notes:**

- Existing transformer to be relocated.
- Existing refuse container to be relocated.
- Existing drainage structure to be reconfigured.
- Not Used.
- Existing concrete drainage swale (flush to paving) to remain or be reconfigured.
- Existing public access easement to remain.
- Existing utility easement to remain.
- Existing underground easement to remain.
- Existing cell tower structure and 40 ft x 40 ft access easement to remain.
- Existing fire hydrant to remain.
- Existing property line.
- Existing refuse container to be relocated.
- Existing block wall to remain. Stucco Tract 1 side of wall subject to adjacent property owners permission.
- Existing chain link fence and access gate to reservoir to remain.
- Existing car wash facility to remain.
- Existing Median to remain.
- Existing Public Sidewalk to remain.
- Existing Restricted access (right in/right out) opening to Montgomery Blvd.
- Existing Full access (right in/right out/left in/left out) at existing median opening to Montgomery Blvd.
- Existing transit stop to remain.
- New two way private access easement drive aisle per City of Albuquerque, DPM Standards, to be maintained by homeowner's Association.
- New two way fire department/private access easement drive aisle per City of Albuquerque, DPM Standards
- Common area and landscaped open space easement.
- Parking space per City of Albuquerque, DPM Standards.
- Parallel parking space, 8'-0" x 22'-0", per City of Albuquerque, DPM Standards.
- Concrete Apron.
- Proposed property line.
- Town home - building envelope.
- Access drive for end unit.
- Proposed refuse enclosure and container; refer to E2/SDP4.
- Proposed refuse large item pickup area.
- Proposed fire hydrant.
- Concrete driveway.
- Unit Sidewalk.
- Garage - building envelope.
- Mountable roll curb at townhome driveways and aprons per COA Standard 2415.
- Proposed Transformer.
- Handicap Accessible parking space, access aisle and signage.
- Proposed structure to house six-one car garage spaces.
- Open landscape Area.
- Patio.
- Rear Yard Area.
- Cmu Yard Wall.
- Cluster mail box.
- Bicycle rack.
- 6'-0" High security fence and access gate.
- Pole mounted light, refer to detail E1/SDP4.
- Site retaining wall.
- 5ft wide pedestrian trail, refer to landscape plan.
- Site steps.
- Shade structure, refer to landscape plan SDP2 and detail D5/SDP4.
- Handicap Accessible sidewalk ramp by Work Order per City of Albuquerque DPM Standards.
- 5ft wide colored and textured concrete cross walk flush with paving.
- Monument type Project sign.
- Bollard lighting, refer to detail E1/SDP4.
- New 6ft high Cmu wall with stucco finish. Extend length of northern boundary.
- New 6ft high open rail tube steel security fence with powder coated finish.
- Bench Seating.
- Motorbike parking.
- Modify median by City Work Order per City of Albuquerque DPM standards.
- New Private Entry Drive by City Work Order per Albuquerque DPM standards.
- Flare Concrete Driveway.
- Compact Parking Space 8'-0" wide x 18'-6" deep, paint paving with word 'COMPACT' per City of Albuquerque DPM standards.
- New 6ft wide City of Albuquerque Water Line Easement granted at Replat.



Vicinity Map  
F-22-Z

**Legend:**

	Existing Property line
	Proposed Property line
	Ground Floor Heated area Building Envelope
	Garage area Building Envelope
	Existing Public Utility and Private Easement Locations

Kiva Reservoir  
Owner, City of Albuquerque

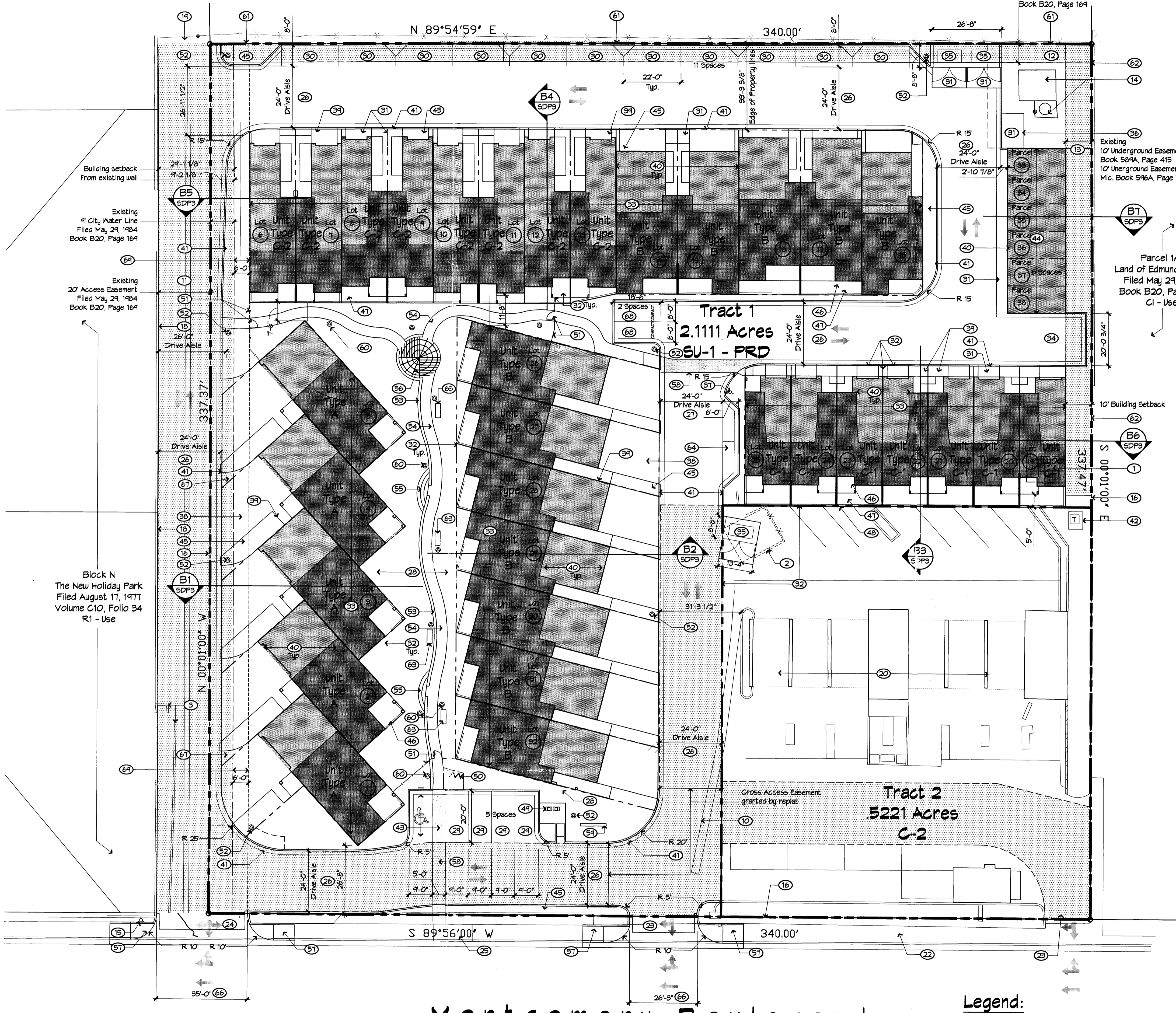
Existing  
T Utility Easement  
Filed May 29, 1984  
Book B20, Page 164

Existing  
10' Underground Easement  
Book 589A, Page 415  
10' Underground Easement  
Mic. Book 546A, Page 704

Parcel 1A1  
Land of Edmund I. Rady  
Filed May 29, 1984  
Book B20, Page 164  
CI - Use

**Site Plan**

1" = 20'



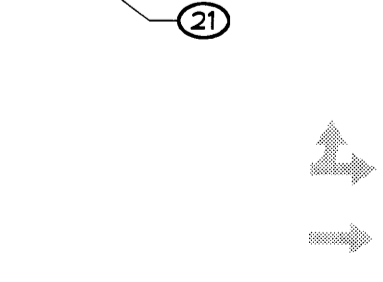
**Montgomery Boulevard**

106' r.o.w.

Existing  
City Water Line  
Filed May 29, 1984  
Book B20, Page 164

Existing  
20' Access Easement  
Filed May 29, 1984  
Book B20, Page 164

Block N  
The New Holiday Park  
Filed August 17, 1971  
Volume C10, Folio 34  
R1 - Use





PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Installed Size Mature Size	Water Use
<b>Trees</b>					
4	⊕	Acer palmatum 'Bloodgood' Japanese Maple	15 Gal	6' ht. x 4' spr. 15' ht. x 15' spr.	Medium+
4	⊙	Ptelea trifoliata Hoptree	15 Gal	6' ht. x 4' spr. 18' ht. x 10' spr.	Medium
9	⊙	Pistacia chinensis Chinese Pistache	2" B4B	10' ht. x 6' spr. 30' ht. x 30' spr.	Medium
1	⊙	Cercis reniformis Oklahoma Redbud	15 Gal	16' ht. x 6' spr. 40' ht. x 25' spr.	Medium
5	⊙	Koeleruteria paniculata Goldenrain Tree	2" B4B	8' ht. x 5' spr. 25' ht. x 25' spr.	Medium
6	⊙	Robinia ambigua 'Purple Robe' Purple Robe Locust	2" B4B	16' ht. x 6' spr. 25' ht. x 25' spr.	Medium
<b>Shrubs/Groundcovers</b>					
87	⊙	Achillea ageratifolia Greek Yarrow	1-Gal.	2' o.c. 1' ht. x 1' spr.	Low
32	⊕	Centranthus ruber Red Valerian	1-Gal.	5' o.c. 3' ht. x 3' spr.	Medium
34	⊕	Rosmarinus officinalis Rosemary	5-Gal.	3' o.c. 3' ht. x 3' spr.	Low +
91	⊙	Artemisia ludoviciana Prairie Sage	1-Gal.	2' o.c. 2' ht. x 3' spr.	Low
38	⊕	Lavandula angustifolia English Lavender	5-Gal.	5' o.c. 3' ht. x 3' spr.	Medium
74	⊕	Nepeta faassenii Catmint	1-Gal.	2' o.c. 2' ht. x 2' spr.	Medium
36	⊕	Caryopteris x clandonensis Blue Mist	5-Gal.	4' o.c. 3' ht. x 4' spr.	Low +
44	⊕	Sedum telephium Autumn Joy Sedum	1-Gal.	2' o.c. 2' ht. x 2' spr.	Low
54	⊕	Rhus aromatica 'Gro-Lo' Gro-Lo Sumac	1-Gal.	4' o.c. 2' ht. x 4' spr.	Low+
<b>Ornamental Grasses</b>					
25	⊕	Helictotrichon sempervirens Blue Avena Grass	5-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
17	⊕	Nassella tenuissima Threadgrass	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low +
14	⊕	Miscanthus sinensis Maidenhair Grass	5-Gal.	4' o.c. 5' ht. x 5' spr.	Low +
<b>Turfgrass</b> Kentucky bluegrass sod					

MULCHES

All shrub planting areas shall be top dressed with 3/4" Desert Bronze Rock Mulch unless otherwise specified.

IRRIGATION SYSTEM

Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas.

MAINTENANCE RESPONSIBILITY

Maintenance of the landscaping and irrigation system, including those areas within the public ROW, shall be the responsibility of the Homeowner's Association.

STATEMENT OF WATER WASTE

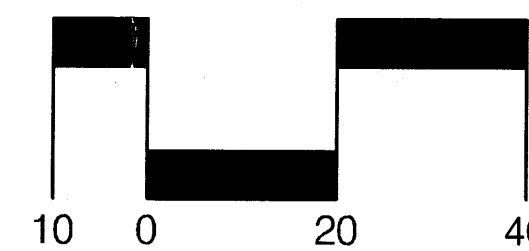
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area.

ON-LOT USEABLE OPEN SPACE REQUIREMENTS

Building Type	MINIMUM ON-LOT USEABLE OPEN SPACE REQUIRED & PROVIDED	
	SF Required Per D.U.	* of DU's SF Required By Unit Type Total SF Provided
A Unit 3 Bedroom	300	5 1500
B Unit 3 Bedroom	300	13 3,900
C-1 Unit 2 Bedroom	250	7 1,750
C-2 Unit 3 Bedroom	300	7 2,100
Total		32 9,250 (0.21 Acres)
Balconies/Covered Spaces		6,694 (0.35 Acres)
Total		22,113



NORTH



CONSENSUS  
PLANNING

Montgomery Boulevard

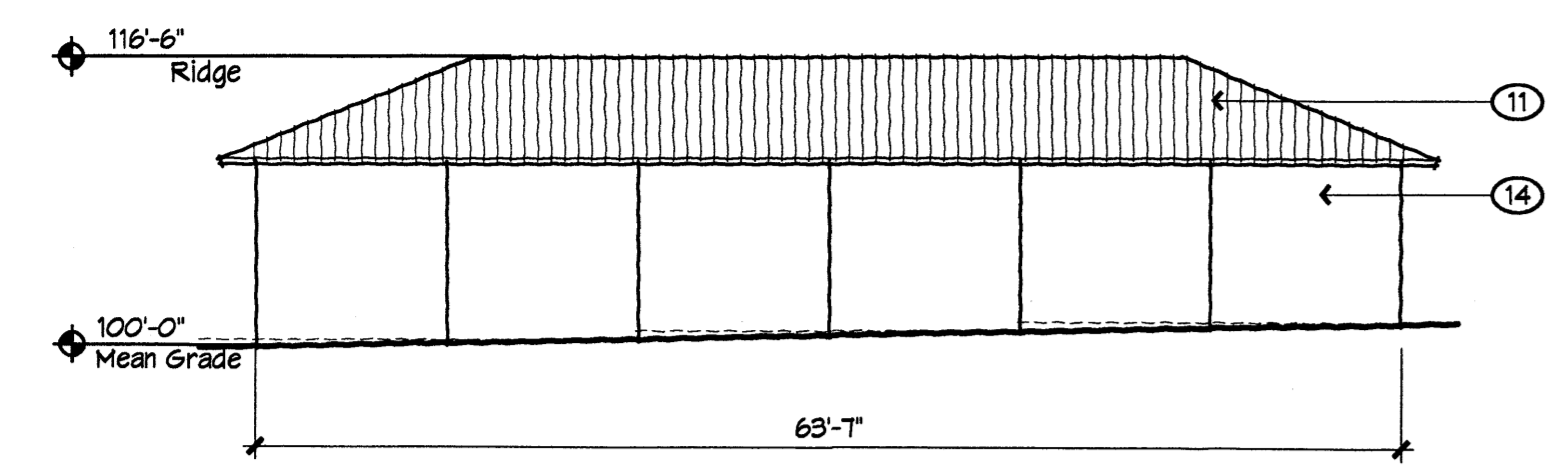
106' r.o.w.

Handwritten note: "Kitchen"

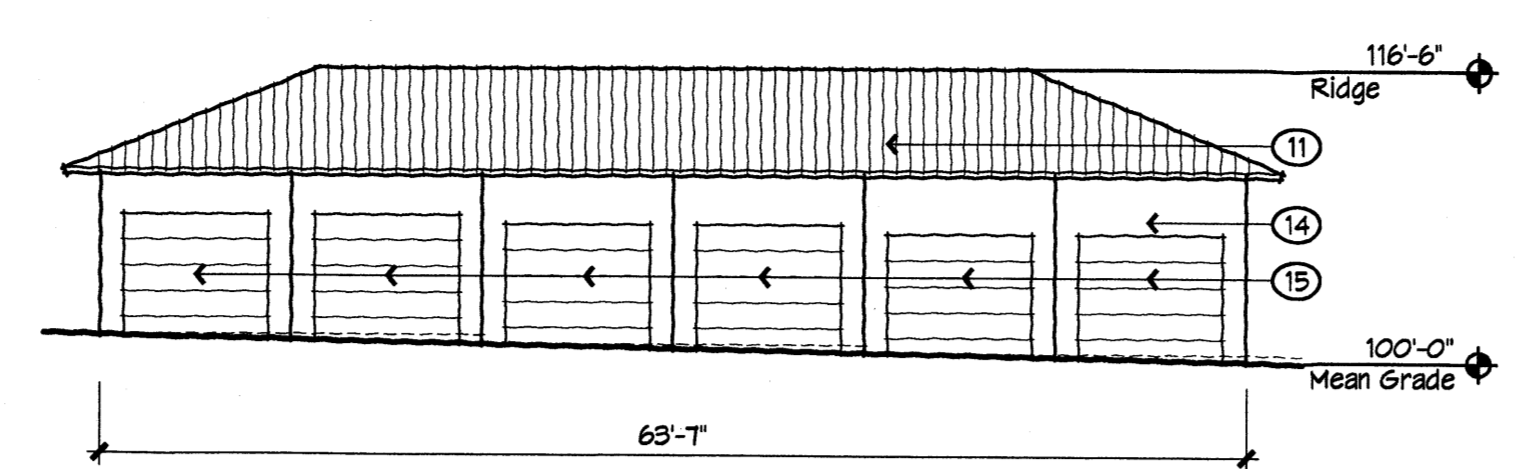
Entry Sign per standards



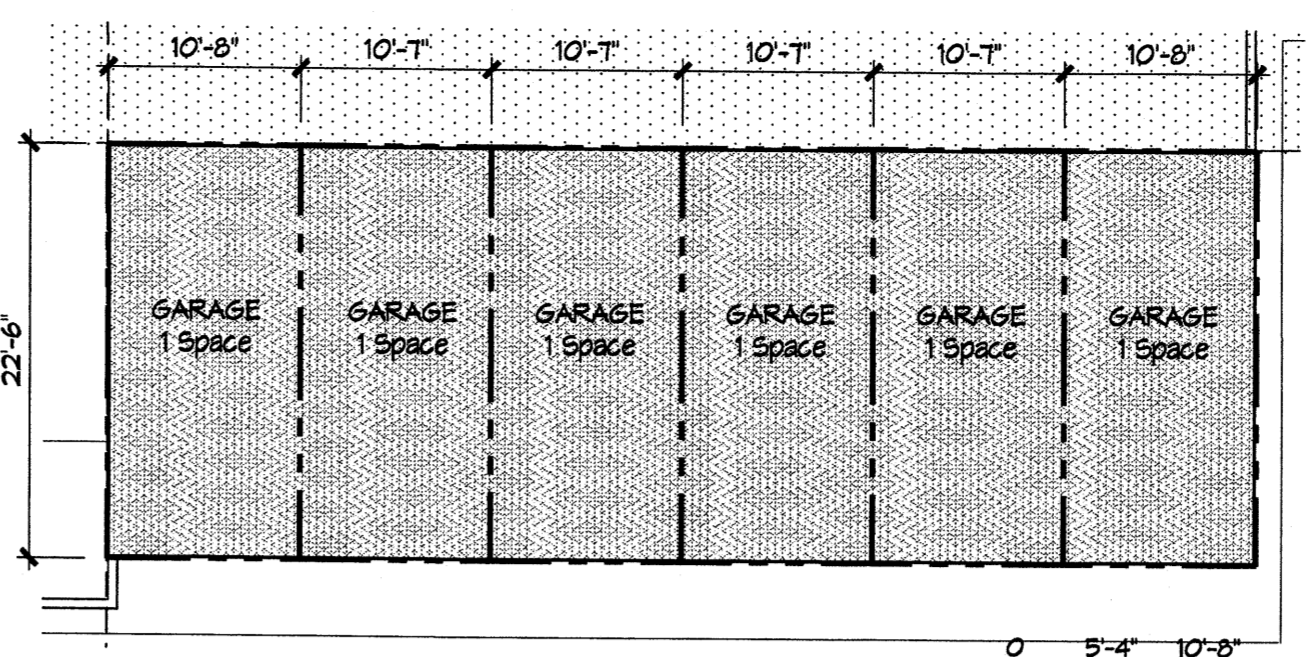
- General Notes:**
- A. Refer to sheet SDP1 for site development plan. Refer to sheet SDP2 for landscape plan and design criteria. Refer to sheet SDP4 for additional design criteria. Refer to sheets SDP5 and SDP6 for conceptual grading, drainage, and utility design.
  - B. Type 'A' units shall be limited to two story height.
  - F. Overhead garage doors shall be varied in appearance and utilize two distinct and complimentary door styles throughout the project.
- Keyed Notes:**
1. Property Line
  2. Town Home Building Envelope
  3. Concrete Driveway or Apron
  4. Concrete Sidewalk
  5. Patio
  6. Landscape Area
  - 7-10. Not Used
  11. Clay, Concrete, or Metal Roofing
  12. Fascia Trim
  13. Glazing
  14. Stucco Finish System
  15. Overhead Garage Door
  16. Balcony
  17. Wall



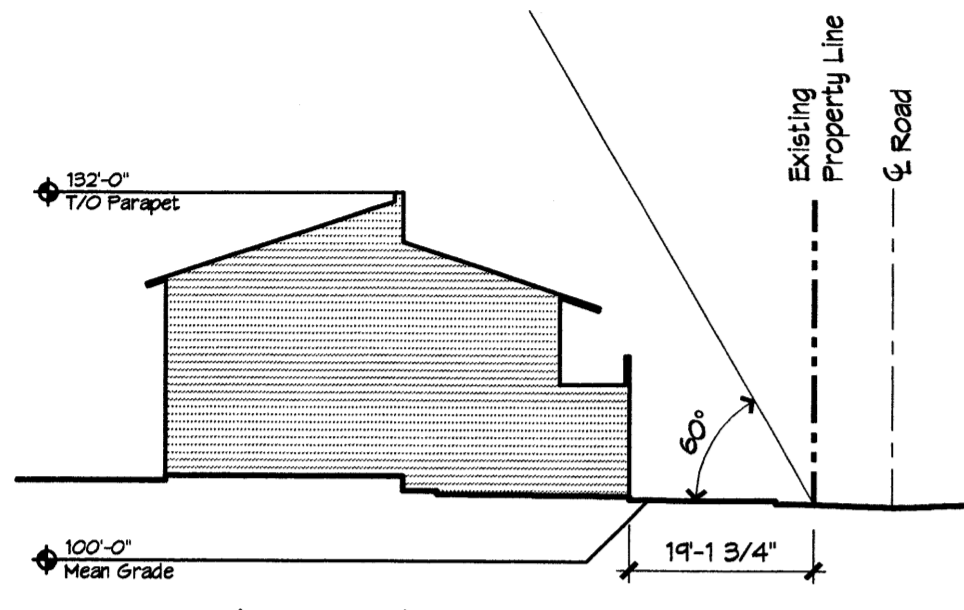
**Rear Garage Elevation**  
Design Concept



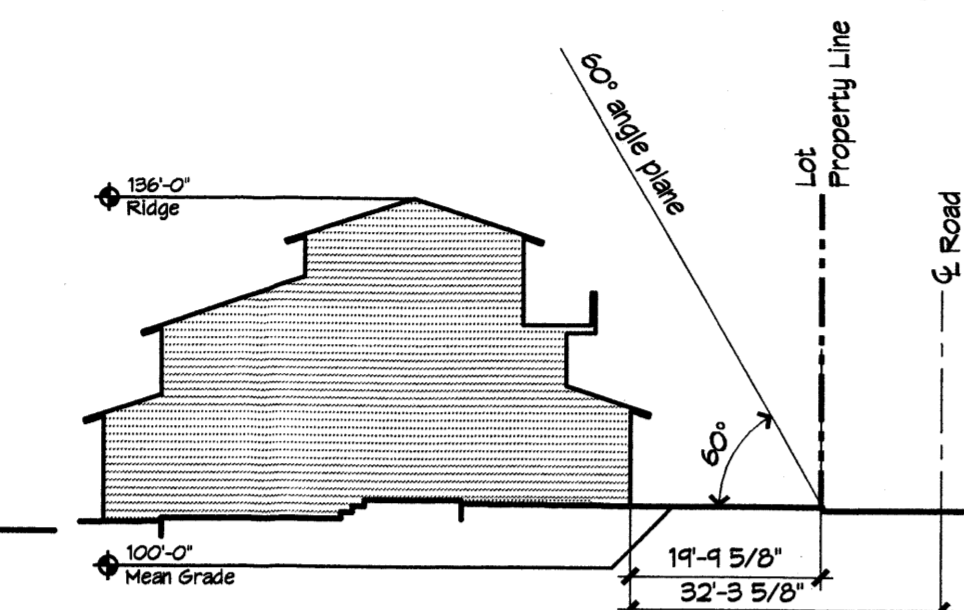
**Front Garage Elevation**  
Design Concept



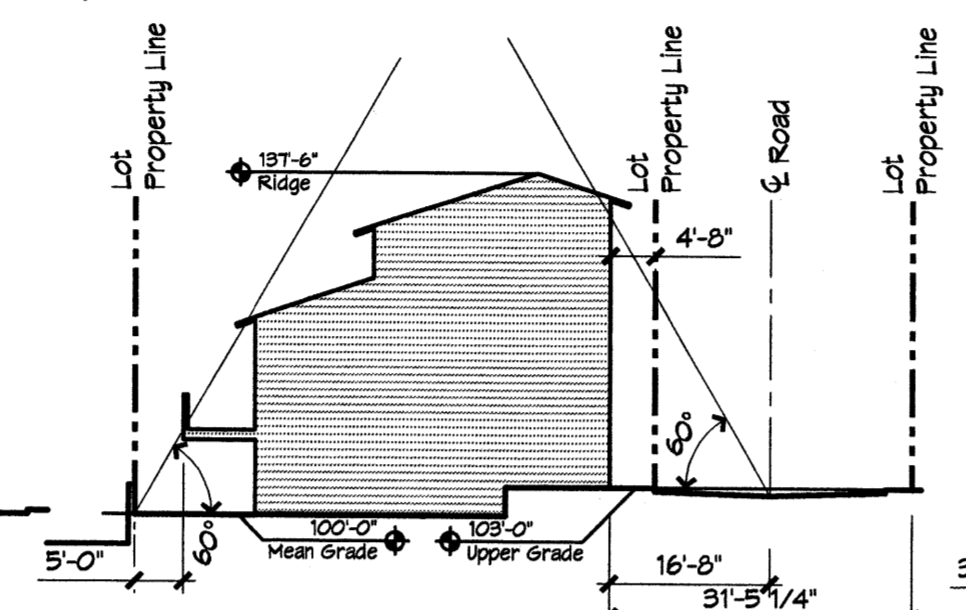
**Garage Plan**  
Design Concept



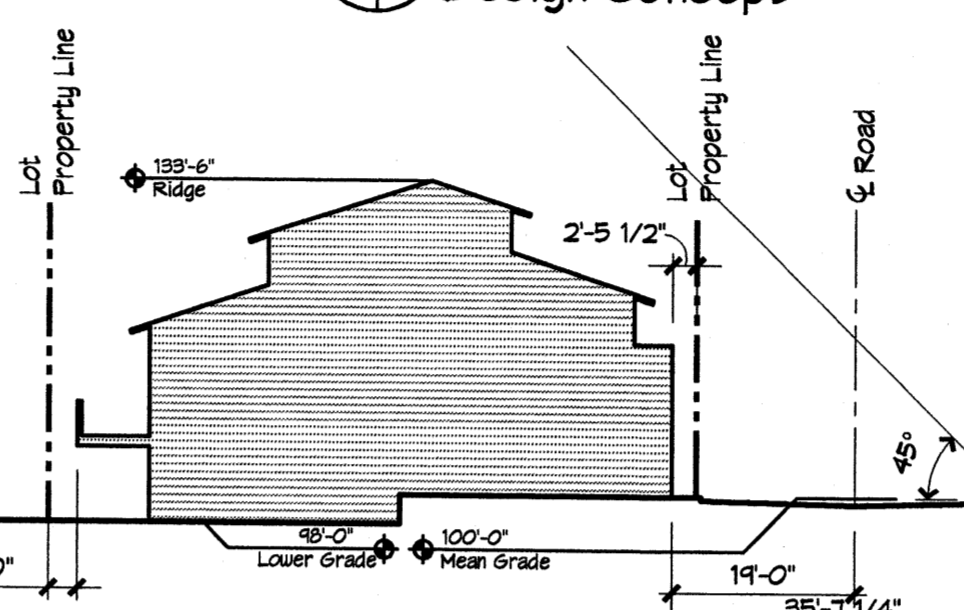
**Unit A Site Section**  
Design Concept for Setback Information  
1" = 20'



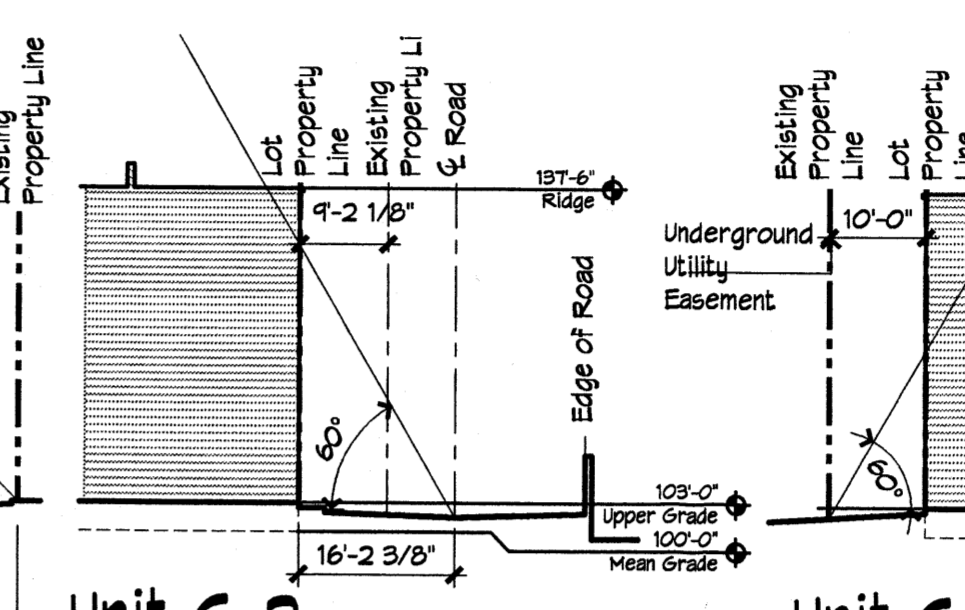
**Unit B Site Section**  
Design Concept for Setback Information  
1" = 20'



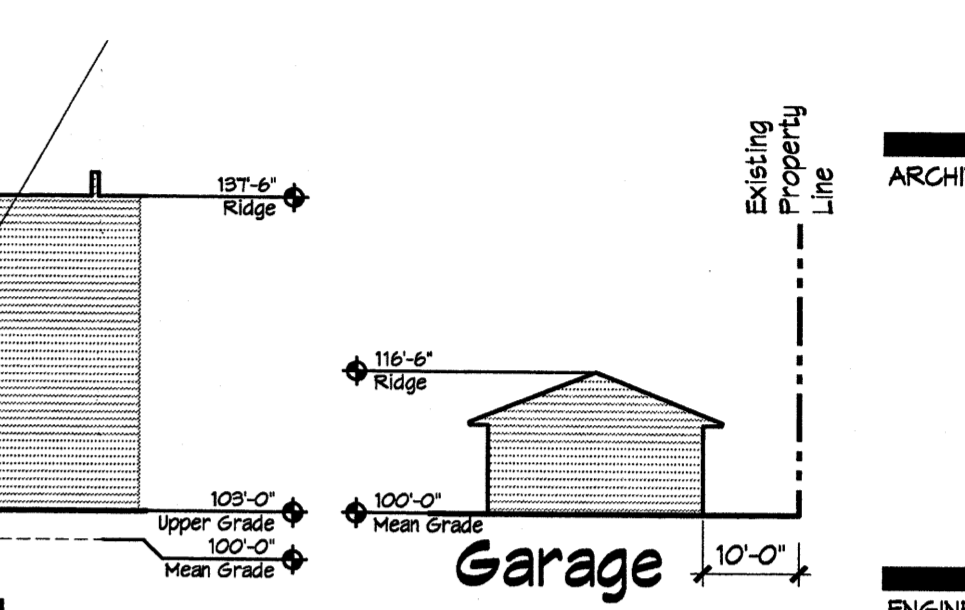
**Unit C-1 Site Section**  
Design Concept for Setback Information  
1" = 20'



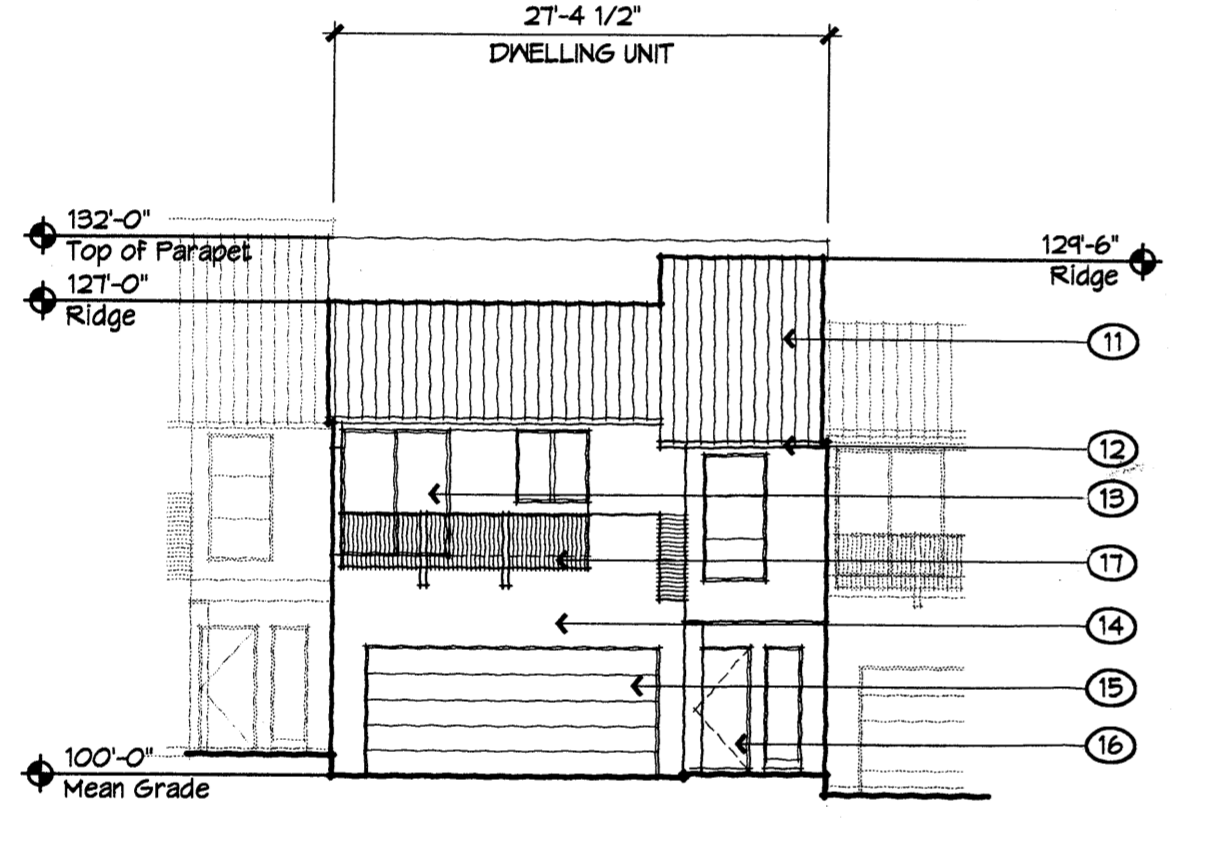
**Unit B/C-2 Site Section**  
Design Concept for Setback Information  
1" = 20'



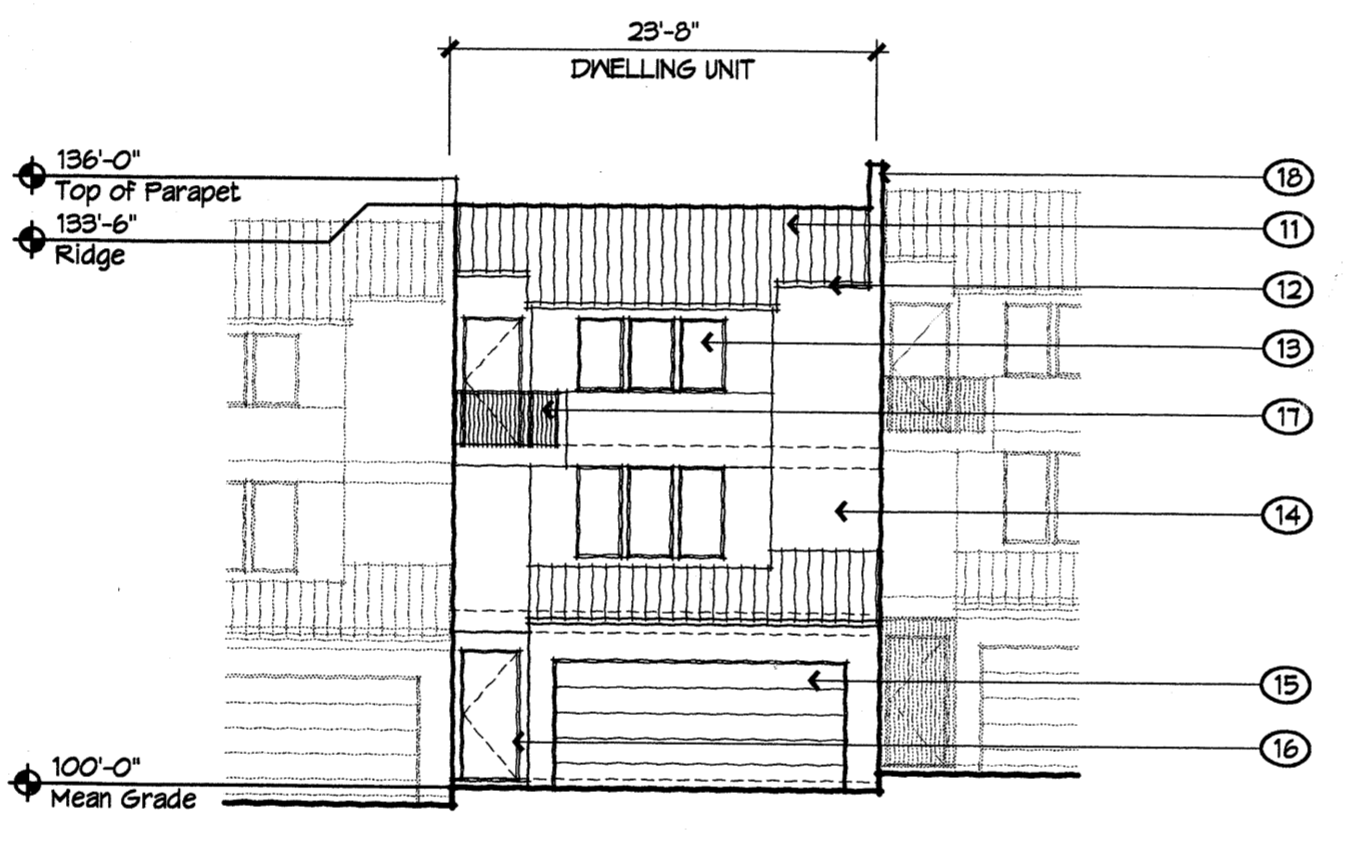
**Unit C-2 Site Section**  
Design Concept for Setback Information  
1" = 20'



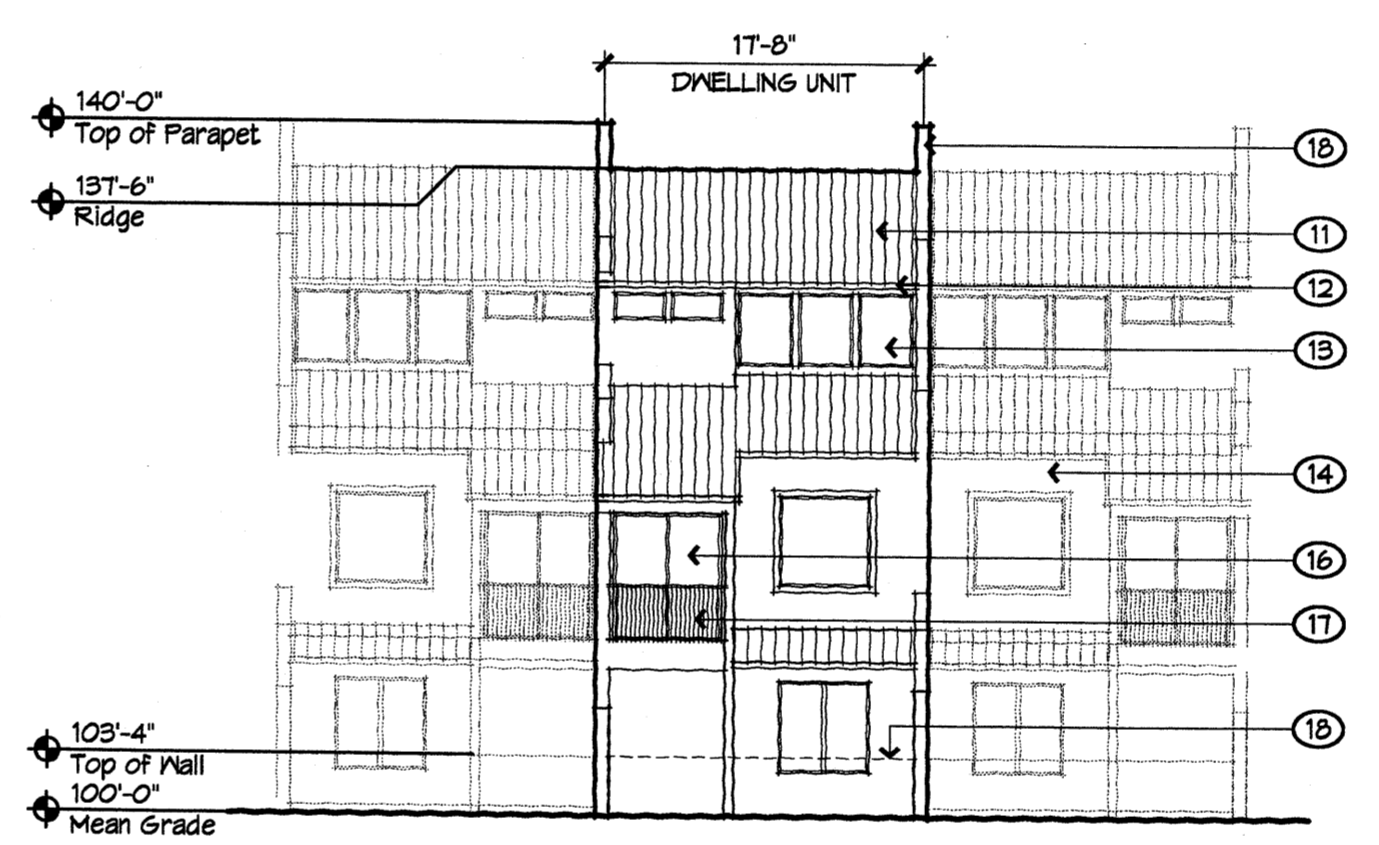
**Garage Site Section**  
Design Concept for Setback Information  
1" = 20'



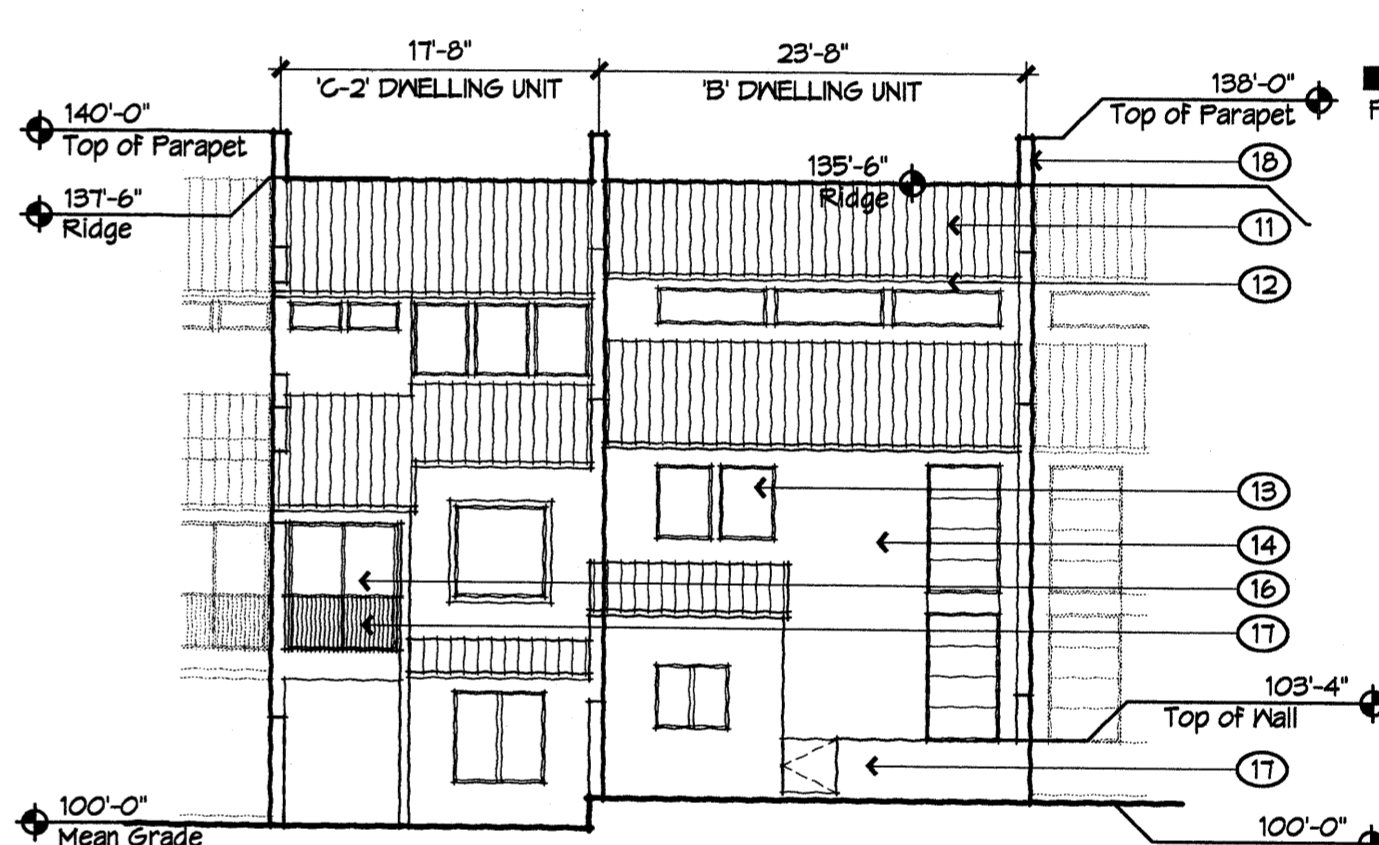
**Unit A West Elevation**  
2 Story



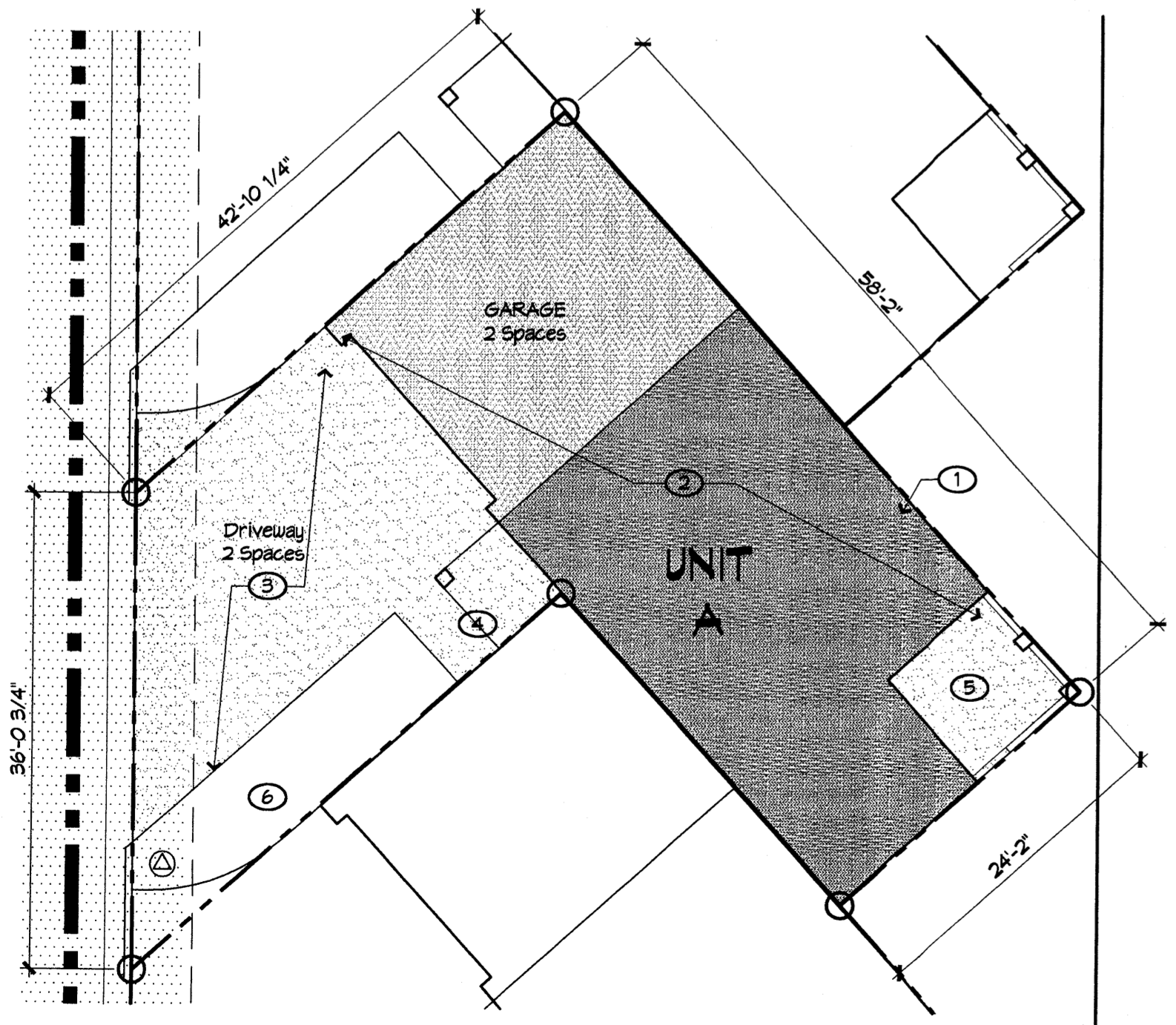
**Unit B East Elevation**  
3 Story



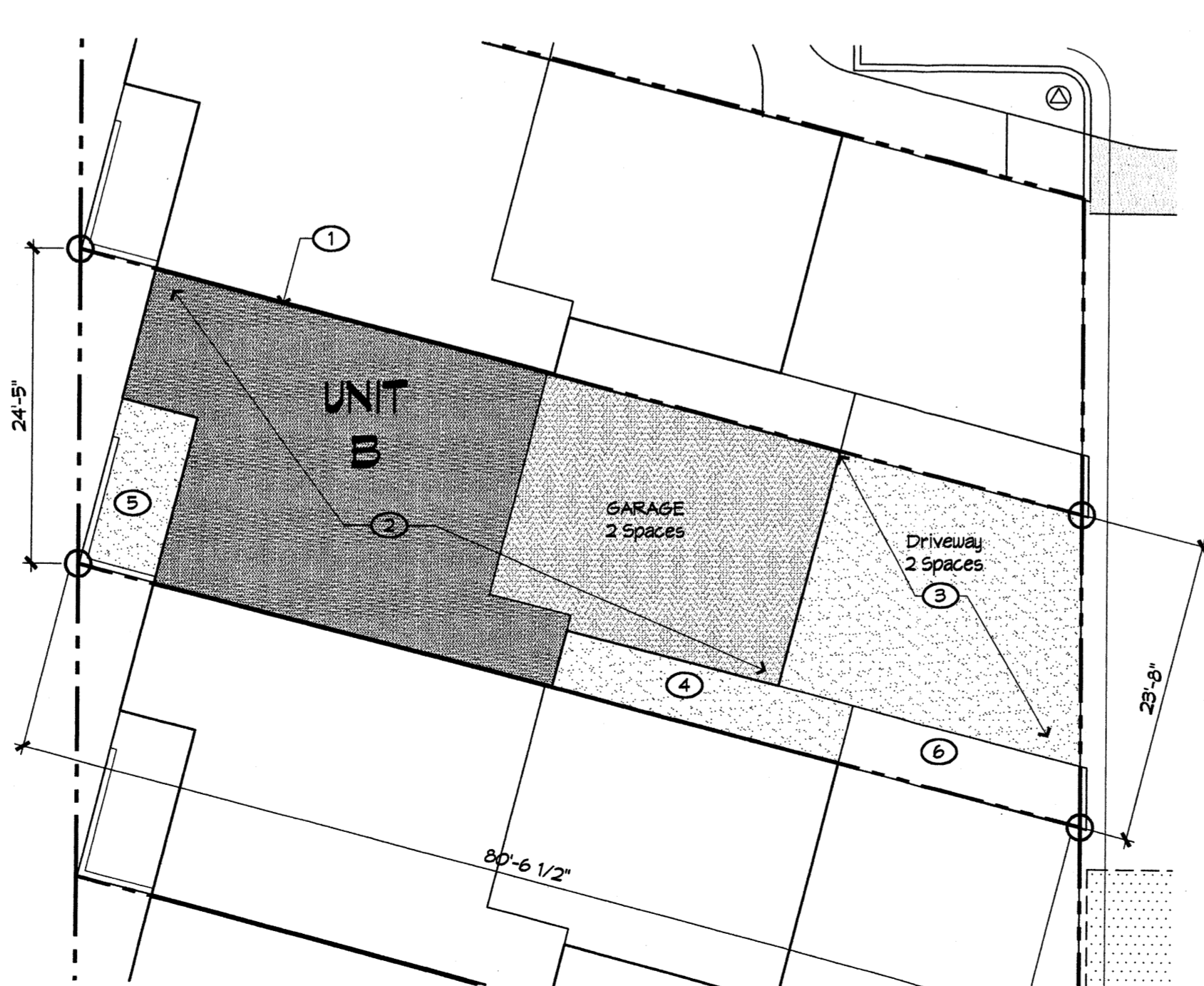
**Unit C-1 South Elevation**  
3 Story



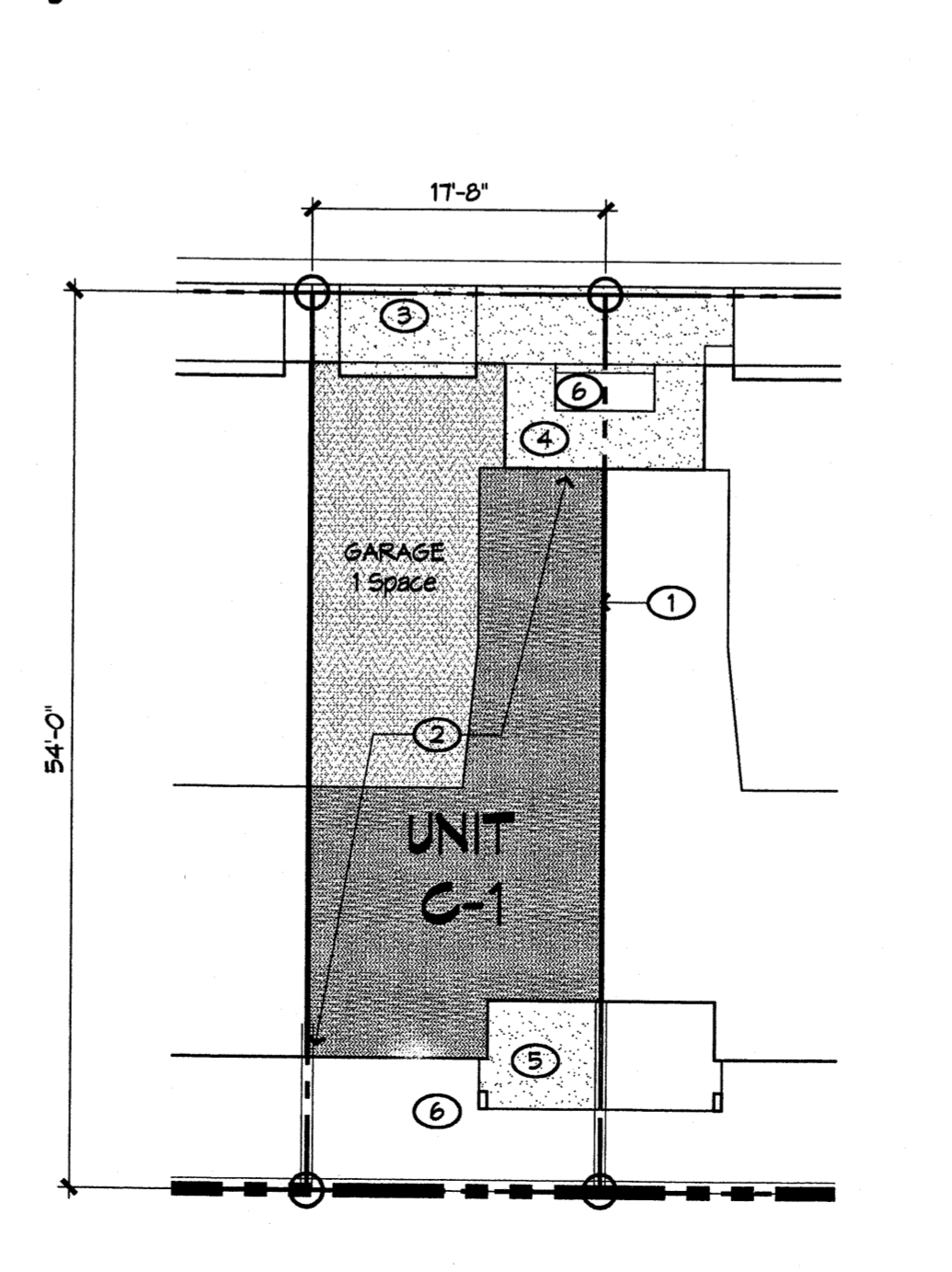
**Unit B/C-2 South Elevation**  
Design Concept



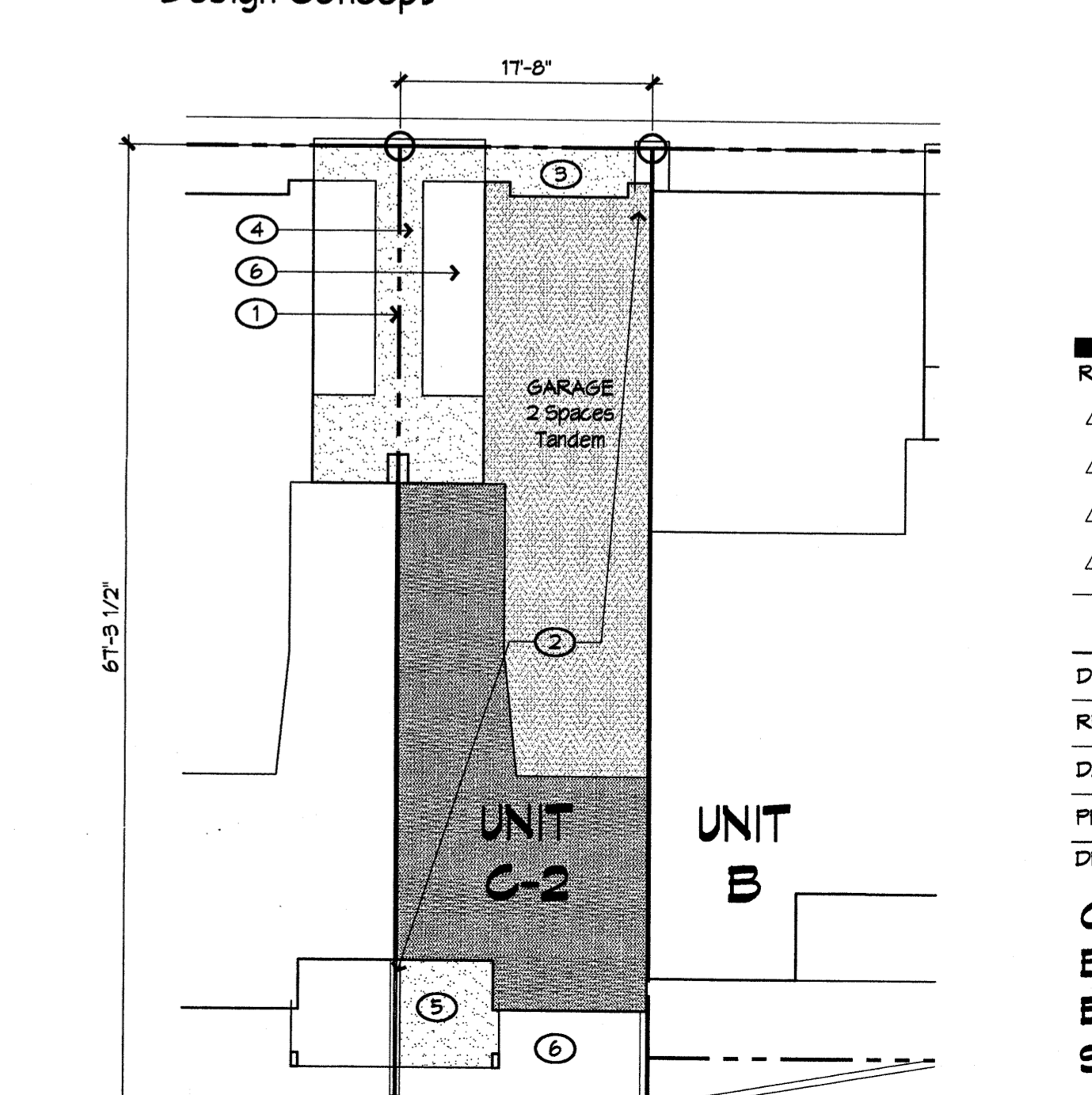
**Unit A Plan**  
Design Concept



**Unit B Plan**  
Design Concept



**Unit C-1 Plan**  
Design Concept



**Unit C-1/B Plan**  
Design Concept

REVISIONS


DRAWN BY	DM/BP
REVIEWED BY	DM/MB
DATE	
PROJECT NO.	0608T
DRAWING NAME	

Conceptual  
Building Plans,  
Elevations, and  
Section Design



## Design Requirements for Planned Residential Development (PRD)

### Overall Design Theme and Land use Concept:

The purpose of these design standards is to establish a framework for the quality development of the subject development area shown on the site development plan for subdivision. The primary goal for these design standards is to create an attractive, comfortable and safe residential community that fosters privacy and architectural character. These standards address the issues of architecture, parking, site lighting, screen walls and fences, pedestrian amenities, and signage to create the quality image desired for this development. The design standards are intended to be complementary to the planning and design of adjacent properties.

Minor amendments to this Site Plan for Subdivision shall be approved by the Planning Director in accordance with the Albuquerque Comprehensive City Zoning Code. Major amendments to this Site Development Plan for Subdivision shall be approved by the Environmental Planning Commission.

### Off-Street Parking:

Off-street parking space shall be provided in compliance with regulation 14-16-3-1 of the Albuquerque Comprehensive City Zoning Code. See SDP1 for Parking Calculation.

### Bicycle:

See SDP1 for Bicycle Rack location.

## Architectural Design Requirements:

### Street Design:

Private drive aisles 24 ft and 26 ft widths.

### Transit:

Bus Stop as noted on Site Development Plan sheet SDP1.

### Dwelling Unit Sizes:

Dwelling unit sizes range from 1,450 to 2,100 square feet.

### Setbacks/Building Height:

The use of building setbacks is required to provide space for creation of visually attractive street scenes. In these setbacks should be pedestrian building access, and screening materials including landscaping.

Front/side/rear yard setbacks and maximum building height are specifically prescribed per unit type on details B1-B7/SDP3.

### Exterior Wall Materials and Colors:

Exterior wall materials are to be predominately vernacular based. The varying styles of vernacular Northern New Mexico Architecture shall be the basis of a more simple and contemporary expression or interpretation for architectural design.

Articulation of massing so as not to produce a long and flat building facade should be considered and encouraged. An articulated top-line of buildings, and the play of figure/ground planes will help the massing to achieve this goal. The building massing should also promote pedestrian site access when possible through use of patios and walks.

The use of a stucco wall finish system (or synthetic version thereof) shall be the predominate wall material for buildings to reinforce the Northern New Mexico vernacular architectural expression. Natural or cultured stone accents may be incorporated at exterior building walls to provide a contrasting texture and color to the building massing. Exterior wall color should reflect a consistent overall palette of earth-based tones for the field colors.

Site and patio walls should reflect the same use of stucco finish to complement that of the buildings, or may contrast the building finish by use of exposed natural stone, cultured stone or split-face CMU. Metal - rail fencing can be used to articulate semi private patios + common garden open spaces.

Exterior detail trim such as shade canopies, trellises, open railings, pitched roof elements, parapet corning, lintels, etc. should be consistently detailed throughout the site to complement the overall architecture and minimize the overall detail variety to the extent possible.

### Roof materials and colors:

Roof materials may vary with the New Mexico vernacular expression from flat roof (low slope) with parapet, to metal roof and clay or concrete tile roof. Low reflectivity is required.

## Architectural Design Requirements Cont.:

### Site Lighting:

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky". Fixtures shall comply with the City of Albuquerque's Dark Skies requirements.
- The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.

### Placement of Mechanical Units:

Care should be made to hide the view of exposed mechanical units, riders, and other equipment from the ground directly adjacent to the building whenever possible, whether roof or pad mounted units are used. Ground level units shall be screened from public view through the use of walls, or landscape material. Roof mounted units shall be screened from public view through the use of parapet walls that are architecturally coordinated with the building they serve.

### Signage:

The following standards were developed to regulate the size, location, type and quality of sign elements within the overall development. The goal is to provide consistency in appearance and quality, and complements the visual character of the development.

- All signs shall comply with section 14-16-3-5 General Sign Regulations of the Zoning Code.
- Entry identification signs shall be of monument type and shall complement the materials, color, and architectural character of the buildings. The maximum height of the wall to receive the sign shall not exceed the height of the adjacent walls + fencing or 6ft.
- The design of the interior directional signs shall be coordinated with the design of the monument sign.
- Building mounted signs shall comply with section 14-16-3-5.c.6
- No illuminated plastic panel signs are allowed.

### Screen Walls and Fences:

The effective use of screening devices for utilitarian spaces, such as refuse areas, is critical to creating an attractive and functional development. The site orientation of these elements shall be placed away from public rights of way to the extent practical.

### Screening:

These screening requirements are in addition to those listed in the parking and landscape sections. Refer to SDP1 and SDP2.

Refuse containers shall be screened from view through the use of walls at least six feet high that are architecturally coordinated with the buildings they serve and meet City design standards.

- Refuse enclosures shall be further screened through the use of trees and shrubs when possible.

## Architectural Design Requirements Cont.:

### Walls/Fences:

Perimeter walls and fencing are allowed on the property. However efforts shall be made to lessen the visual impact of the walls or fencing through use of landscaping, and the design and location of openings.

- Unfinished block walls, barbed wire, chain link, concertina wire, and plastic/vinyl fencing are prohibited.
- Perimeter and security fences shall be painted tube steel with vertical pickets to complement the color and architectural character of the buildings.
- Acceptable materials for perimeter and yard walls include masonry block (with decorative finish), block with stucco, split face block, stone and painted tube steel. A combination of fence and/or wall is acceptable.
- Perimeter walls and fences, if used, shall include pedestrian openings at key locations within the development to ensure convenient access to adjacent commercial activities.
- The maximum height of perimeter walls and fences shall not exceed 6 feet in height.
- Clear sight distances shall be maintained at all driveway/entrance locations.
- Perimeter walls and fences, if used, shall be designed to be architecturally coordinated with the buildings they serve.

### Pedestrian Movement & Amenities:

The Site design encourages free pedestrian movement between all areas and buildings. Connectivity of site elements within the project and to the public access points are enhanced by the use of cross walks at key vehicle intersection points and handicap accessible routes.

The creation of a pedestrian-friendly environment. In the form of a centralized common open space courtyard will provide a central amenity for all residents to share. Objectives to achieve this goal include maintaining a high quality and consistency in style for site amenities, including benches, plazas, walkways, landscaping, signage and lighting. Other objectives include providing shaded walkways, and separating pedestrian and vehicular circulation systems in order to reinforce the courtyard character of the project and minimize conflict between people and cars. The use of alternative paving material for pedestrian pathways is encouraged but is not mandatory.

### Trails and Sidewalks

Public and private walks provide important connectivity within the project as well as and out of the site.

- All private trails and paths shall be soft surface, with a minimum of 5'-0" width. The use of asphalt is discouraged. Concrete or compacted crusher fines with stabilizer are acceptable materials.
- All hard surface pedestrian paths shall be designed to be handicapped accessible, except where topography makes this unfeasible.
- Pedestrian crossings shall be clearly demarcated with contrasting paving treatment.
- Secure bicycle storage racks shall be conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided.
- Although there are no public trails or open space on or adjacent to the property, the site design must include pedestrian paths and trails that enable connectivity to facilities off-site.

### Private Common Areas/ Public Open Space:

An important feature of this residential community is the inclusion of common use - courtyard space that exists adjacent to buildings. These spaces provide visual and physical relief, as well as opportunities for residents to meet their neighbors. The site is designed to provide residents with connections to public sidewalks from internal paths/sidewalks to reach public open space areas via car, bicycle or public transportation. The site offers its own open space for residential use.

### Preliminary grading and drainage plan:

The drainage is designed to be an incorporated feature of the site rather than a intrusive site requirement. Refer to sheet SDP5.

## Site Development Plan for Subdivision - Summary Information

### The Site:

The site consists of approximately 2.6336 acres. Parcel 2-A-1 will be re-platted into Tract 1 & 2 through the Development Review Board as shown on this Site Development Plan for Subdivision sheet SDP1.

### Proposed Use:

The site is zoned G-2. The proposed use for Tract 1 is SU-1 PRD (Planned Residential Development) for 32 units. Townhome Development and Tract 2 for G-2 use as shown on Site Development Plan for Subdivision sheet SDP1.

### Pedestrian Ingress & Egress:

Existing public sidewalk at Montgomery Boulevard and proposed private trail provide important connectivity within the project as well as and out of the site. The private landscaped trail is located between the townhomes centralized on the tract 1 site. The trail system shall be located to link the structures within the site, minimize pedestrian vehicle conflicts, and connect to the public sidewalk at Montgomery Blvd.

### Vehicular Ingress & Egress:

The primary access to the townhomes in Tract 1 and the carwash in Tract 2 is from Montgomery Boulevard. The three existing access points serving parcel 2-A-1 will be maintained. The requirements for width, radius and design configurations comply with COA standards. These primary access points will be a private Cross Access Easement between Tract 1 and Tract 2.

### Internal Circulation Requirements:

The internal circulation with access off of Montgomery Boulevard meets the required street widths; radius and configurations complying with COA standards. These dimensions are shown on the illustrative Site Development Plan Sheet SDP1 of 6. The internal circulation is designed with residential avenues and alleys as the main circulation pattern completed with landscaped spaces between drives, parking and pedestrian friendly tree-lined streets that provide residents with welcoming entrance to their residence.

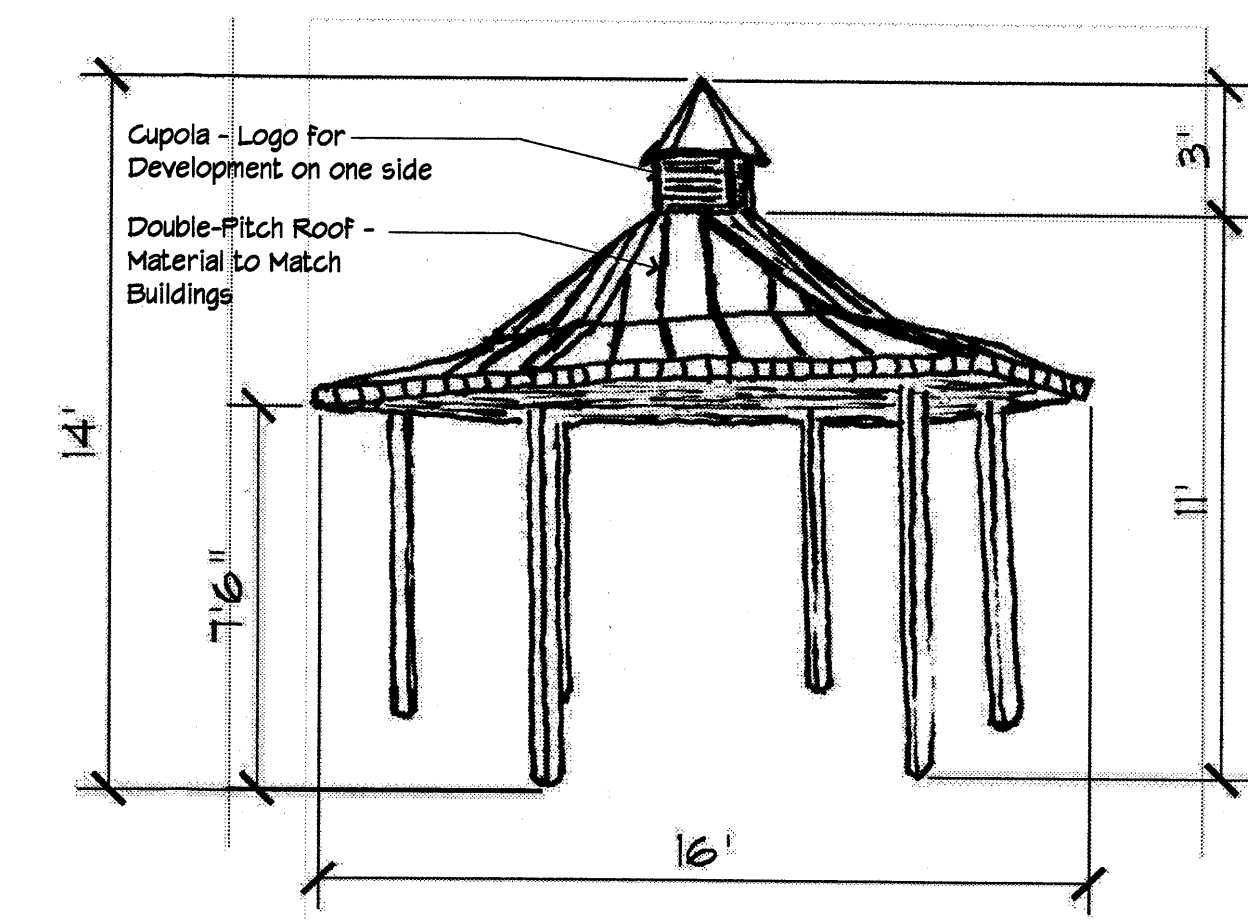
### Maximum Building Height:

The maximum building height shall be in accordance to the height restrictions and regulations indicated in the Albuquerque Comprehensive City Zoning Code for the R-2 zone.

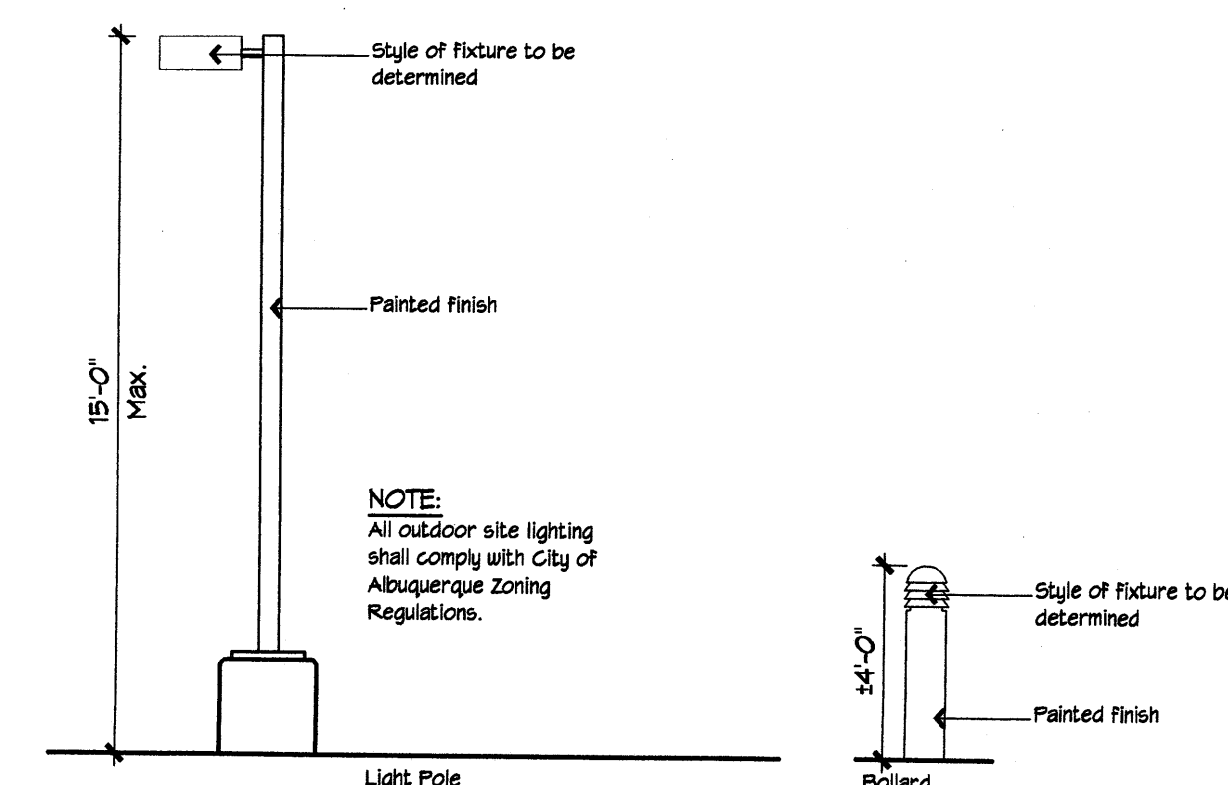
The maximum height for Tract 1 shall be 40 feet.

### Maximum Dwelling Units:

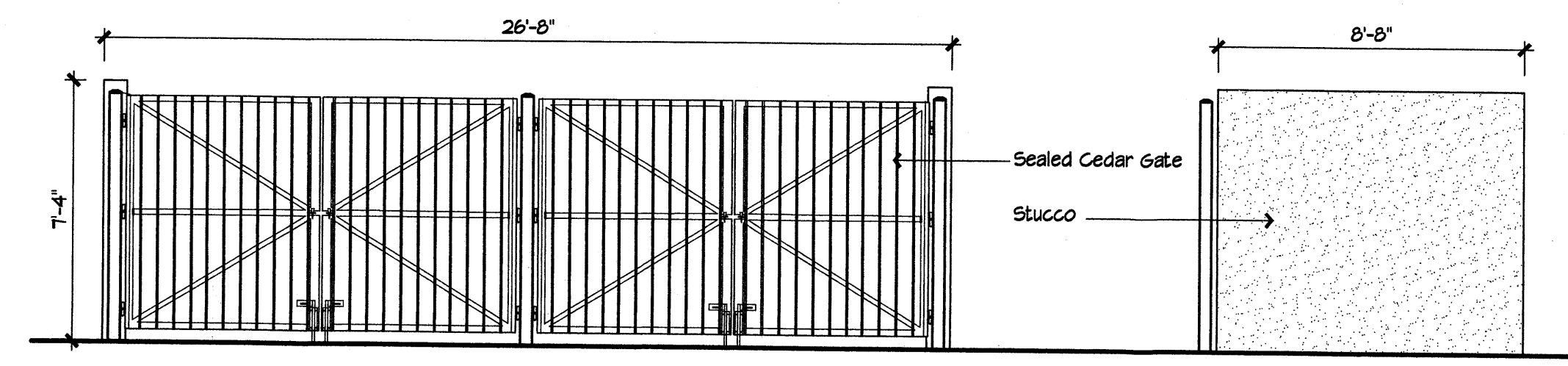
The maximum number of dwelling units and/or density shall not exceed 16 DU's per acre.



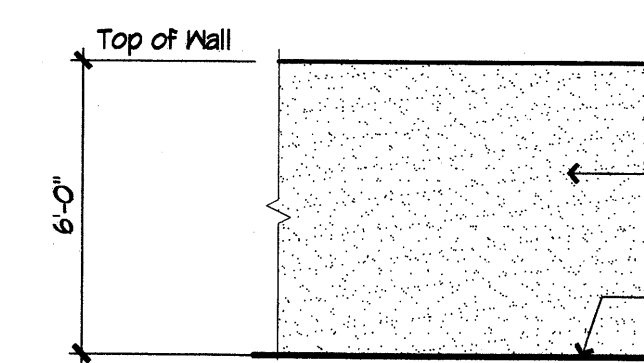
**D5** Shade Structure Detail  
Elevation 1/4" = 1'-0"



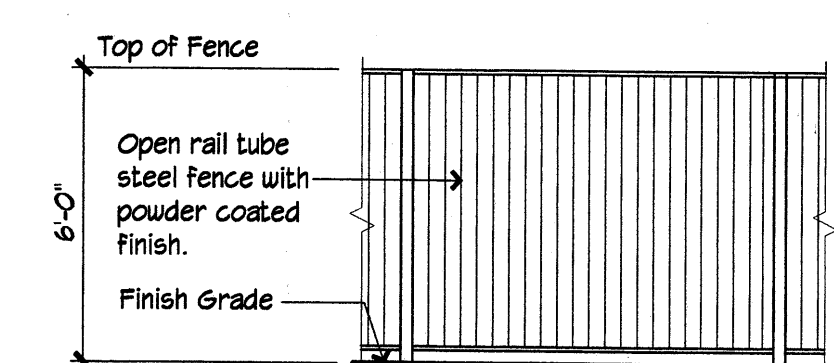
**E1** Light Pole and Bollard  
Elevation 1/4" = 1'-0"



**E2** Refuse Enclosure  
Elevation 1/4" = 1'-0"

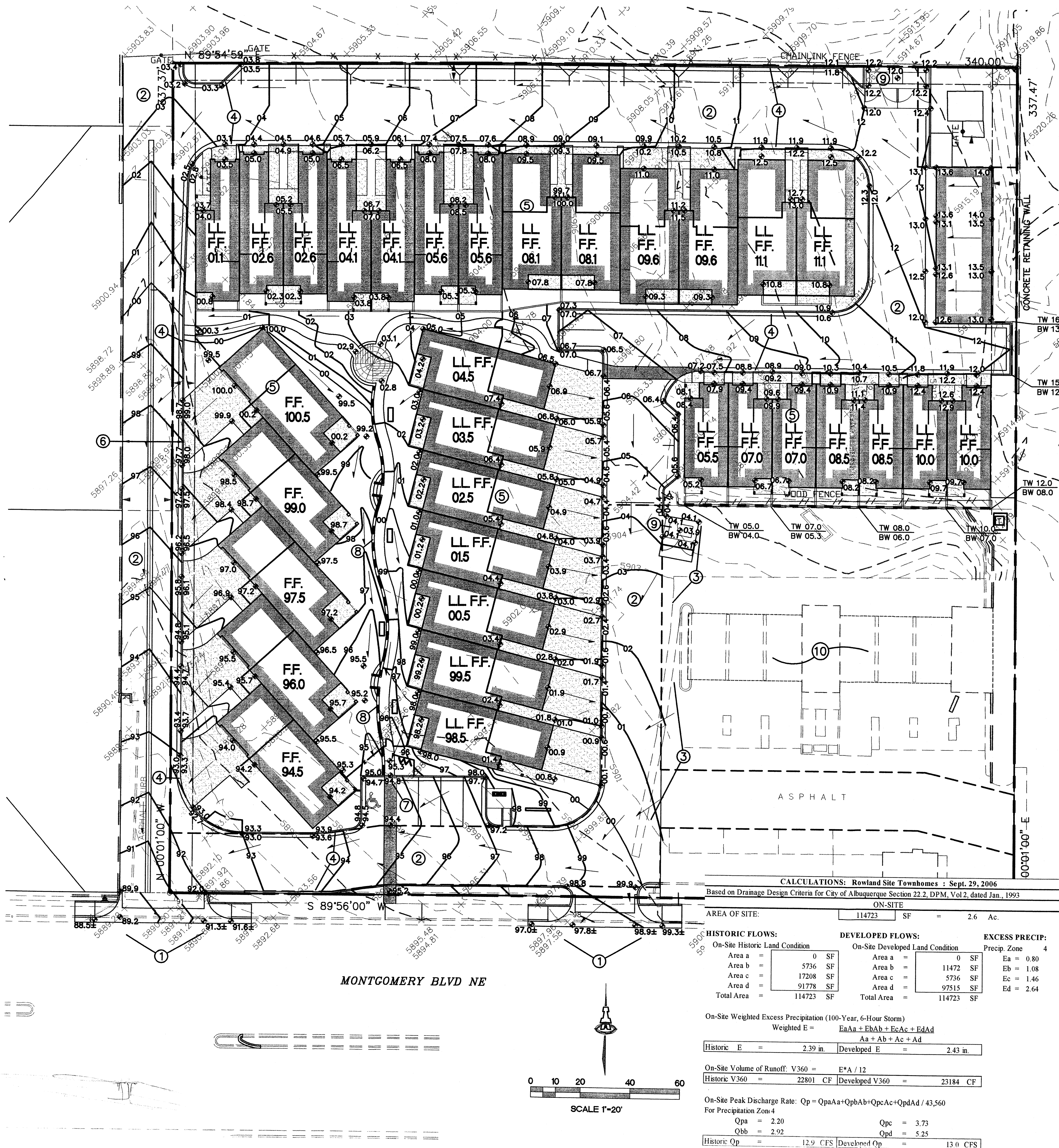


**E4** CMU Site Wall  
Elevation 1/4" = 1'-0"



**E5** Open Rail Site Fence  
Elevation 1/4" = 1'-0"





**PROJECT DATA**

THE SITE IS LOCATED ON THE NORTH SIDE OF MONTGOMERY BLVD. WEST OF TRAMWAY BLVD. (VICINITY MAP F-22). MONTGOMERY BLVD. BORDERS THE PROPERTY TO THE SOUTH, DEVELOPED COMMERCIAL TO THE EAST, DEVELOPED RESIDENTIAL TO THE WEST, AND DEVELOPED WATER STORAGE TANK FACILITY TO THE NORTH. THE SURROUNDING AREA IS FULLY DEVELOPED.

THE PRESENT SITE IS A DEVELOPED COMMERCIAL PROPERTY (PREVIOUSLY ROWLANDS PLANT NURSERY) WITH EXISTING STRUCTURES, PAVEMENT AND COMPACTED EARTH THROUGHOUT.

THE PROPOSED IMPROVEMENTS INCLUDE DEMOLITION OF EXISTING STRUCTURES AND CONSTRUCTION OF TOWNHOMES WITH NEW ASPHALT PAVED ACCESS AND PARKING AND ASSOCIATED SITE LANDSCAPING.

**DRAINAGE PLAN CONCEPT:**

THE SITE HISTORICALLY FREE DISCHARGES TO MONTGOMERY BLVD. THE PROPOSED IMPROVEMENTS WILL NOT SIGNIFICANTLY INCREASE SITE DISCHARGE DURING THE 100-YEAR, 6-HOUR STORM EVENT (SEE CALCULATIONS THIS SHEET) AND WILL CONTINUE TO FREE DISCHARGE TO MONTGOMERY BLVD. TO FOLLOW HISTORIC FLOWPATH.

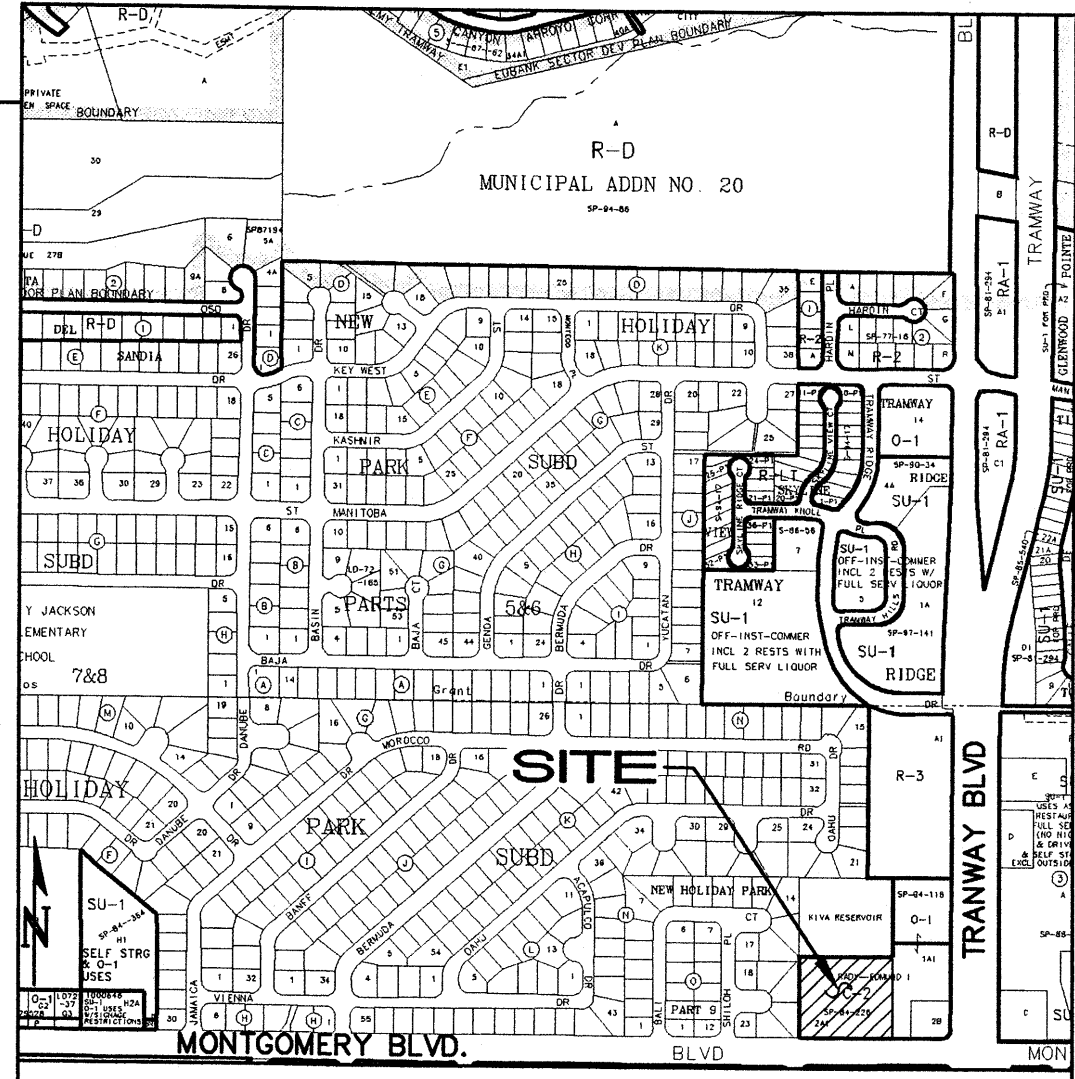
**LEGAL:** PARCEL 2-A-1 LAND OF EDMUND I. RADY, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**SURVEYOR:** ANTHONY L. HARRIS, N.M.P.S. #11463

**FLOODZONE:** PER FIRM MAP 163, THE SITE IS NOT LOCATED WITHIN A 100 YEAR FLOOD ZONE.

**BENCHMARK:** ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "17-G22", HAVING AN ELEVATION OF 5917.75.

**OFFSITE FLOW:** NO OFF-SITE FLOW AFFECTS THIS PROPERTY. NOTE: FLOW FROM THE NORTH DRAINS TO THE SOUTHWEST AND PASSES TO THE PUBLIC ALLEY. THIS FLOW CONTINUES WITHIN THE ALLEY TO ENTER MONTGOMERY BLVD.



MAP # F-22 VICINITY MAP 1"=750'±

**KEYED NOTES**

- 1 CONSTRUCT PRIVATE ENTRANCE WITH CONCRETE VALLEY GUTTER AND UNIDIRECTIONAL HANDICAP RAMPS BY C.O.A. WORK ORDER.
- 2 CONSTRUCT ASPHALT PAVED ACCESS / PARKING AT ELEVATIONS SHOWN.
- 3 SAWCUT EXISTING ASPHALT AS REQUIRED TO PROVIDE CLEAN BONDING EDGE. PROVIDE SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
- 4 CONSTRUCT MOUNTABLE ROLL CURB (PER C.O.A. DWG. 2415A) TYPICAL AT ALL CURB LOCATIONS.
- 5 ALL ROOF AREA TO DISCHARGE TO INTERIOR PAVEMENT AND / OR LANDSCAPED AREAS (TYPICAL ALL UNITS). PROVIDE CONCRETE SPLASHPAD AT ALL CONCENTRATED DISCHARGE LOCATIONS.
- 6 CONSTRUCT PUBLIC RESIDENTIAL ALLEY WITH 24" WIDE CONCRETE ALLEY GUTTER BY C.O.A. WORK ORDER.
- 7 PROVIDE 5' WIDE OPENING IN CURB AT FLOWLINE ELEVATION SHOWN TO PASS FLOW TO PAVEMENT. CONSTRUCT PEDESTRIAN WALK FLUSH WITH FLOWLINE.
- 8 CONSTRUCT 18"-30" HIGH RETAINING WALL TO ACHIEVE GRADE DIFFERENCES SHOWN.
- 9 CONSTRUCT CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN. INSTALL 8" DIA. AREA DRAIN AT LOWPOINT OF DUMPSTER PADS. MAKE CONNECTIONS TO SANITARY SEWER LINE (SEE UTILITY PLAN).
- 10 ADJACENT PROPERTY - SAME OWNER

**GENERAL NOTES**

- A. COORDINATE ALL WORK WITH SITE PLAN, DEMOLITION PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
- B. GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS.

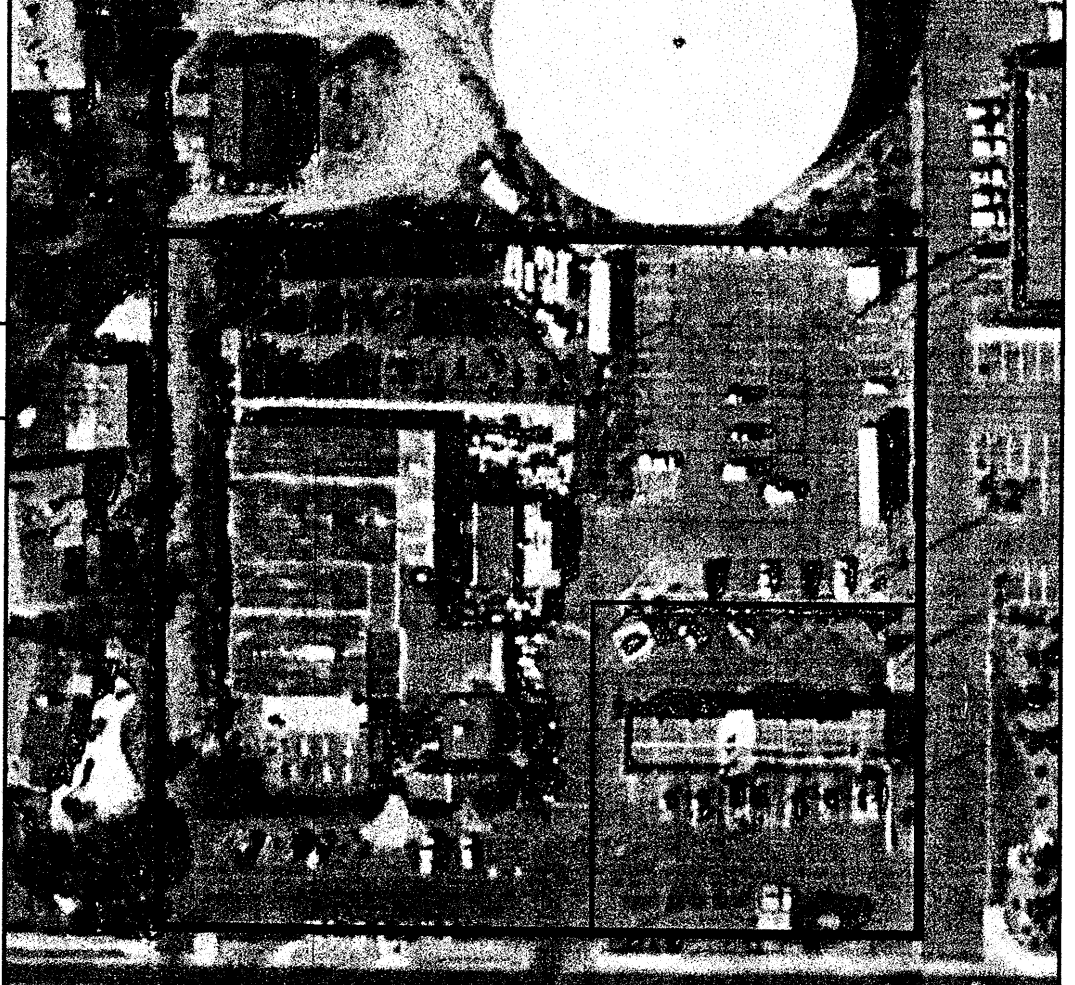
**LEGEND**

- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5901.5 FINISH FLOOR ELEVATION
- ==== PROPOSED MOUNTABLE (4") CURB
- PROPOSED RETAINING WALL
- TW 98 / BW 96 TOP OF / BOTTOM OF WALL ELEVATION
- W BIKE RACK
- M MAIL BOX

CALCULATIONS: Rowland Site Townhomes : Sept. 29, 2006  
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE		
AREA OF SITE:	114723	SF = 2.6 Ac.
<b>HISTORIC FLOWS:</b>	<b>DEVELOPED FLOWS:</b>	<b>EXCESS PRECIP:</b>
On-Site Historic Land Condition	On-Site Developed Land Condition	Precip. Zone 4
Area a = 0 SF	Area a = 0 SF	Ea = 0.80
Area b = 5736 SF	Area b = 11472 SF	Eb = 1.08
Area c = 17208 SF	Area c = 5736 SF	Ec = 1.46
Area d = 91778 SF	Area d = 97515 SF	Ed = 2.64
Total Area = 114723 SF	Total Area = 114723 SF	
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)		
Weighted E = $\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$		
Historic E = 2.39 in	Developed E = 2.43 in	
On-Site Volume of Runoff: V360 = $E \cdot A / 12$		
Historic V360 = 22801 CF	Developed V360 = 23184 CF	
On-Site Peak Discharge Rate: $Qp = QpaA + QpbAb + QpcAc + QpdAd / 43,560$		
For Precipitation Zone 4		
Qpa = 2.20	Qpc = 3.73	
Qpb = 2.92	Qpd = 5.25	
Historic Qp = 12.9 CFS	Developed Qp = 13.0 CFS	

**EXISTING DEVELOPMENT**



**Villa Loma Estates**  
12401 Montgomery Boulevard NE  
Albuquerque, New Mexico

**REVISIONS**

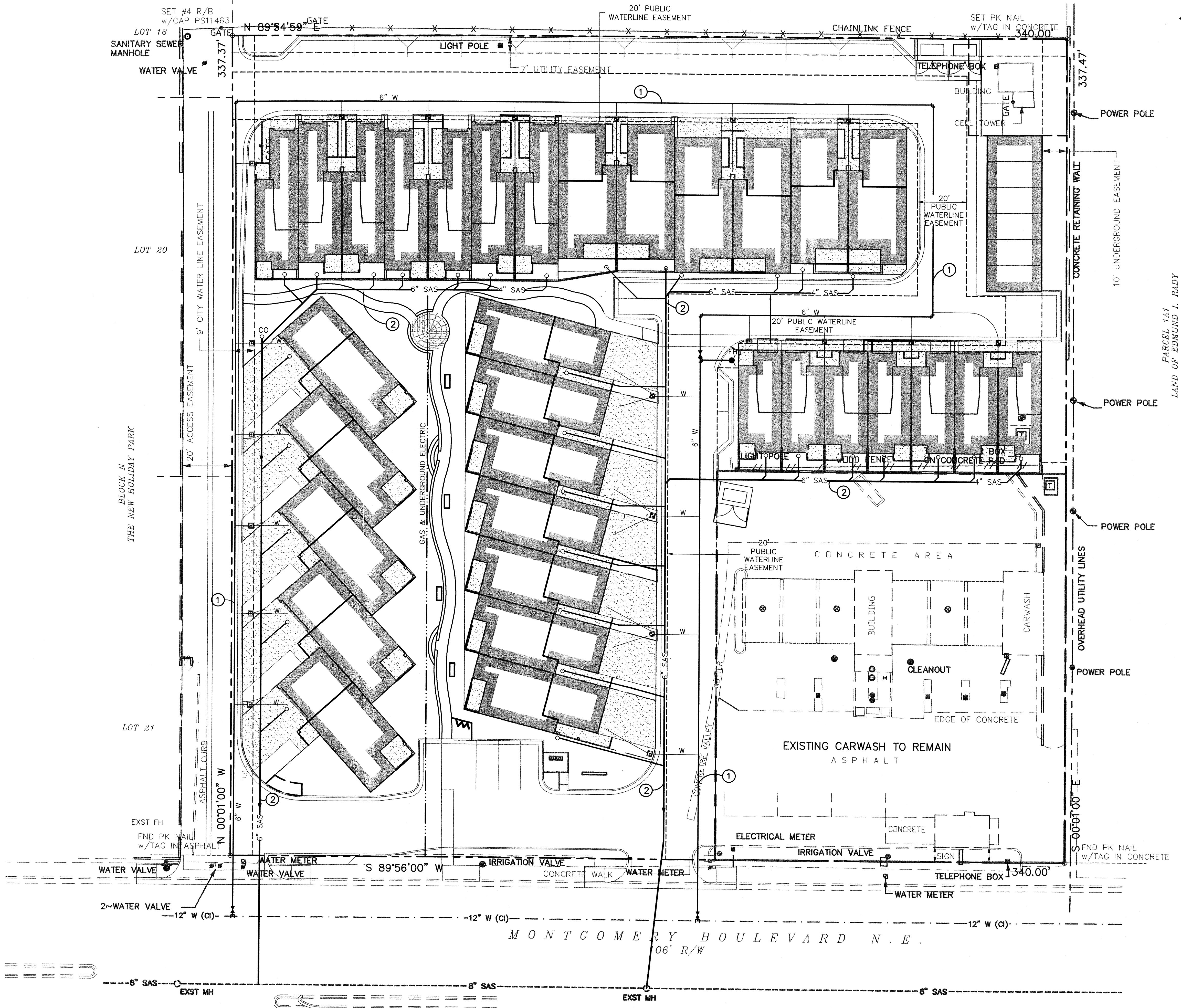
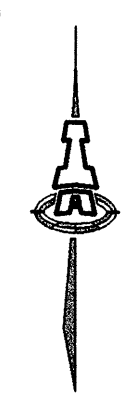
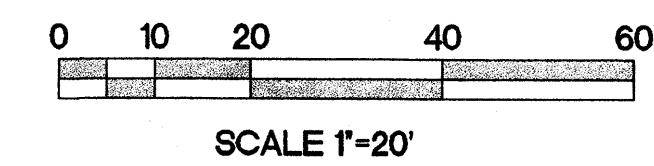
- △
- △
- △
- △

DRAWN BY  
REVIEWED BY  
DATE  
PROJECT NO. 0608T  
DRAWING NAME

**PRELIMINARY PLAT  
GRADING AND  
DRAINAGE PLAN**

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632  
1562GRD.dwg Mar 15, 2007



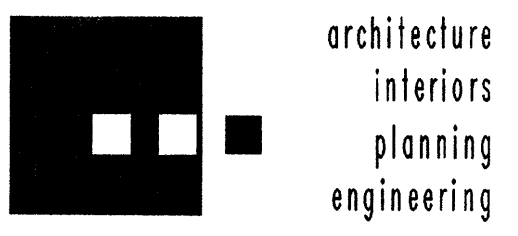


KEYED NOTES

- 1. PUBLIC 6" ONSITE WATERLINE.
- 2. PRIVATE SANITARY SEWER SERVICES.

LEGEND

- SINGLE WATER METER & BOX
- DOUBLE WATER METER & BOX
- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT
- SAS MANHOLE
- WATER LINE W/ FITTING
- TRANSFORMER

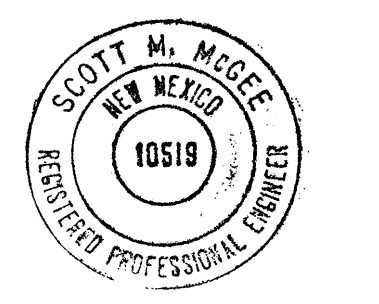


**Dekker Perich Sabatini**

7601 Jefferson NE  
Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org

ARCHITECT

ENGINEER



PROJECT

**Villa Loma Estates**  
12401 Montgomery Boulevard NE  
Albuquerque, New Mexico

REVISIONS

- △
- △
- △
- △

DRAWN BY

REVIEWED BY

DATE

PROJECT NO. 06097

DRAWING NAME

**PRELIMINARY PLAT  
UTILITY PLAN**

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632  
1562UMSTR.dwg Mar 14, 2007

SHEET NO.

**C2**

OF