



# DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

*Complete*

*3-13-07*

*[Signature]*

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00089 (SBP)

Project # 1005189

Project Name: PEREA ADDITION

Agent: ~~Garrett Smith Ltd~~

Phone No: ~~766-6068~~ 888-6088

*Shaker-Lorenz*

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 3/07/07 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

UTILITIES: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PLANNING (Last to sign) 3 copies  
\_\_\_\_\_  
\_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1005189



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Agent: Garyett Smith Ltd

Phone No: 766-6868 888-6088

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### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

UTILITIES: \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_

PLANNING (Last to sign): 3 copies

- \_\_\_\_\_
- \_\_\_\_\_

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- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
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3 copies of the approved site plan. Include all pages.

- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number 1005189



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

March 7, 2007

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:10 A.M.

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1003713**  
07DRB-00143 Major-Two Year SIA

ISAACSON & ARFMAN agent(s) for FAMILY HOUSING CORPORATION request(s) the above action(s) for all or a portion of Tract(s) A, **BELL TRADING POST LOFTS**, zoned SU-2 SU-1 FOR RES W/C-1, located on CENTRAL AVE SW, between LAGUNA RD SW and 15<sup>TH</sup> SW containing approximately 1 acre(s). [REF: Z-85-9, 05DRB-00149, 05DRB-00147] (J-13) **TWO YEAR SIA WAS APPROVED.**

2. **Project # 1004246**  
07DRB-00144 Major-SiteDev Plan  
BldPermit
  
3. **Project # 1005346**  
07DRB-00134 Major-Vacation of Public  
Easements
  
4. **Project # 1002739**  
06DRB-01621 Major-Vacation of Public  
Easements  
06DRB-01622 Major-Vacation of Pub  
Right-of-Way  
06DRB-01623 Minor-Final Plat Approval

TIERRA WEST LLC agent(s) for KOZANI LLC request(s) the above action(s) for Lot(s) 7-10 and 23-26, NORTH ALBUQUERQUE ACRES, UNIT B (to be known as **HOLLY PLAZA**) zoned SU-2 FOR IP, located on PASEO DEL NORTE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 5 acre(s). [Deferred from 3/07/2007] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 5/02/07.**

SURV-TEK INC agent(s) for ALBUQUERQUE 50 LLC request(s) the above action(s) for all or a portion of Tract(s) D-2, **AEROSPACE TECHNOLOGY PARK**, zoned SU-1 AIRPORT, located WEST OF PASEO DEL VULCAN NW, between I-40 and CITY OF RIO RANCHO containing approximately 50 acre(s). (F-6) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

MARK GOODWIN & ASSOCIATES agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for **ANDERSON HEIGHTS, UNIT 5A**, zoned RD/RLT, located on 118<sup>TH</sup> ST SW, between DENNIS CHAVES BLVD SW and COLOBEL AVE SW containing approximately 41 acre(s). [REF: 06DRB-01431] [Deferred from 12/6/06, 12/13/06 & 12/20/06] [Deferred from 1/3/07, 1/10/07, 1/17/07, 1/24/07, 1/31/07, 2/7/07, 2/21/07 & 3/07/07] (P-8) **DEFERRED AT THE BOARD'S REQUEST TO 3/21/07.**

5. **Project # 1005346**  
07DRB-00084 Major-Bulk Land Variance  
07DRB-00085 Major-Vacation of Public Easements  
07DRB-00086 Minor-Prelim & Final Plat Approval

CONSENSUS PLANNING INC agent(s) for ALBUQUERQUE 50 LLC request(s) the above action(s) for all or a portion of Tract(s) D-2, **AEROSPACE TECHNOLOGY PARK** and Tract(s) D & S, **DOUBLE EAGLE AIRPORT AND ADJACENT LANDS**, zoned SU-1 FOR AIRPORT & RELATED FACILITIES, located on PASEO DEL VOLCAN NW, between 1-40 and the CITY OF RIO RANCHO containing approximately 50 acre(s). [REF: 04DRB01505, 04DRB01506] [Deferred from 2/21/07 & 2/28/07] (F-6) **THE BULK LAND VARIANCE WAS APPROVED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD, VACATION OF REST OF 106-FOOT PUBLIC ACCESS & UTILITY EASEMENT AND TO RECORD THE PLAT AND NOTICE OF SUBDIVISION PLAT CONDITIONS.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

6. **Project # 1003801**  
07DRB-00222 Minor-SiteDev Plan  
BldPermit/EPC

CARLISLE SHOPS LLC request(s) the above action(s) for all or any portion of Lot(s) 28A, Block(s) A, **ALTURA ADDITION**, zoned SU-1 FOR C-1 WITH EXCLUSIONS located on CARLISLE BLVD NE between INDIAN SCHOOL RD NE and HANNETT AVE NE containing approximately 1 acre(s). [REF: 07EPC00012, 05EPC00745, 04EPC01821] [Anna DiMambro, EPC Case Planner] [Deferred from 3/07/07] (J-16) **DEFERRED AT AGENT'S REQUEST TO 3/14/07.**

7. **Project # 1003794**  
07DRB-00181 Minor-SiteDev Plan  
Subd/EPC  
07DRB-00182 Minor-SiteDev Plan Bldg  
Permit/EPC  
07DRB-00183 Minor-Prelim&Final Plat  
Approval

PETERSON - 98TH CENTRAL LLC request(s) the above action(s) for all or a portion of Tract(s) 1-A, ROW 1, UNIT A, WEST OF WESTLAND (to be known as **VOLCANO POINT SHOPPING CENTER**) zoned SU-2 PCA, located on 98<sup>th</sup> ST NW, between CENTRAL AVE NW and VOLCANO RD NW containing approximately 5 acre(s). [REF: 06EPC-01587] [**Maggie Gould, EPC Case Planner**] [*Deferred from 2/21/07 & 3/07 07*] (K-9) **DEFERRED AT AGENT'S REQUEST TO 3/14/07.**

8. ~~Project # 1005189~~  
07DRB-00089 Minor-SiteDev Plan  
BldPermit/EPC

BRASHER & LORENZ INC. agent(s) for LITTLE BROTHERS OF THE GOOD SHEPHERD request(s) the above action(s) for all or a portion of Lot(s) 1-A, Block(s) 45, **PEREA ADDITION**, zoned SU-2/SU-1 for found. house & rel. act., located on MOUNTAIN RD NW, between 14<sup>TH</sup> ST NW and BROTHER MATHIAS PLACE NW containing approximately 1 acre(s). [REF: Z-89-100] [**Maggie Gould, EPC Case Planner**] [*Deferred from 2/7/07, 2/14/07 & Indef deferred on a no show 2/21/07*] (J-13) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 3 COPIES.**

#### MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project # 1004354**  
07DRB-00216 Minor-Amendment to Final  
Plat Conditions

TIERRA WEST LLC agent(s) for PETE DASKALOS request(s) the above action(s) for all or any portion of Lot(s) 22-26, a portion of Lot 27, Block(s) 9, ORIGINAL TOWNSITE OF WESTLAND (to be known as **MONAHITI SUBDIVISION**) zoned SU-2 FOR IP USES located on 98<sup>TH</sup> ST NW, between VOLCANO RD NW and CENTRAL AVE NW containing approximately 9 acre(s). [REF: 05DRB01229, 05EPC01234] (K-9) **WITHDRAWN AT THE AGENT'S REQUEST.**

10. **Project # 1002345**  
07DRB-00232 Minor-Prelim&Final Plat  
Approval

LAND DEVELOPMENT CONSULTANTS LLC agent(s) for KARSTEN HOMES request(s) the above action(s) for all or any portion of Lot(s) 3 & 8, **BROADWAY INDUSTRIAL CENTER, UNITS 1 & 3**, zoned SU-2/HM located on KARSTEN CT SE between WOODWARD RD SE and SAN JOSE AVE SE containing approximately 18 acre(s). [REF: S-97-76] [Deferred from 3/07/07] (M-15) **DEFERRED AT AGENT'S REQUEST TO 3/14/07.**

11. **Project # 1003857**  
07DRB-00230 Minor-Prelim&Final Plat  
Approval

PRECISION SURVEYS INC agent(s) for MICHAEL A GONZALES request(s) the above action(s) for all or any portion of Tract(s) C-1, C-2 & D, LANDS OF BROMO GONZALES and Tract(s) 31-B-1, M.R.G.C.D. MAP 41, Lot(s) 4-6, 10-12, SIMPIER ADDITION 2, Block(s) E, (to be known as **TRACTS A & B BARELAS COFFEE HOUSE**) zoned SU-2 FOR NCR & SU-2 RT located on SIMPIER LN SW, between 8<sup>TH</sup> ST SW and 4<sup>TH</sup> ST SW containing approximately 2 acre(s). [REF: 07DRB00166] (L-14) **THE PRLIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR REAL PROPERTIES SIGNATURE AND AGIS DXF FILE.**

12. **Project # 1005402**  
07DRB-00234 Minor-Prelim&Final Plat  
Approval

WAYJOHN SURVEYING INC agent(s) for ANSELMO GUTIERREZ request(s) the above action(s) for all or any portion of Lot(s) 17 & 18, Block(s) 9, **EAST CENTRAL BUSINESS ADDITION**, zoned C-3, located on COCHITI RD SE BETWEEN DOROTHY ST SE AND SHIRLEY ST SE, containing approximately 1 acre(s). (L-21) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

13. **Project # 1002730**  
06DRB-01521 Minor-Final Plat Approval

ISAACSON & ARFMAN agent(s) for INFILL SOLUTIONS II LLC request(s) the above action(s) for all or a portion of Lot(s) 13-A-1, Block(s) 6, Tract(s) 3, NORTH ALBUQUERQUE ACRES UNIT 3 (to be known as **VILLA FIRENZE**) zoned R-D, located on CORONA AVE NE, between VENTURA ST NE and MENDOCINO DR NE containing approximately 4 acre(s). [REF: 06DRB-01204] *[Deferred from 10/25/06 Indef deferred 11/8/06 & Indef deferred 11/29/06]* (C-20) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

14. **Project # 1004913**  
07DRB-00072 Minor- Final Plat Approval

JEFF MORTENSEN & ASSOCIATES INC., agent(s) for REGENTS OF UNM REAL ESTATE request(s) the above action(s) for PARCELS 1, 2, A & B, **UNPLATTED LANDS OF UNM**, zoned C-3 heavy commercial zone, located on UNIVERSITY BLVD NE, between INDIAN SCHOOL RD NE and LOMAS BLVD NE containing approximately 20 acre(s). [REF: 06DRB00730, 06DRB00731] *[Final Plat was indef deferred 1/31/07 for SIA]* (J-15) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

15. **Project # 1005390**  
07DRB-00206 Minor-Prelim&Final Plat Approval

BORDENAVE DESIGNS agent(s) for TIMOTHY OTT request(s) the above action(s) for all or a portion of Lot(s) 9, 10 & 12, **NZ OFFICE COMMERCIAL CENTER**, zoned IP industrial park zone, located on RANDOLPH RD SE, between YALE BLVD SE and UNIVERSITY BLVD SE containing approximately 4 acre(s). *[Deferred from 2/28/07]* (M-15) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/07/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

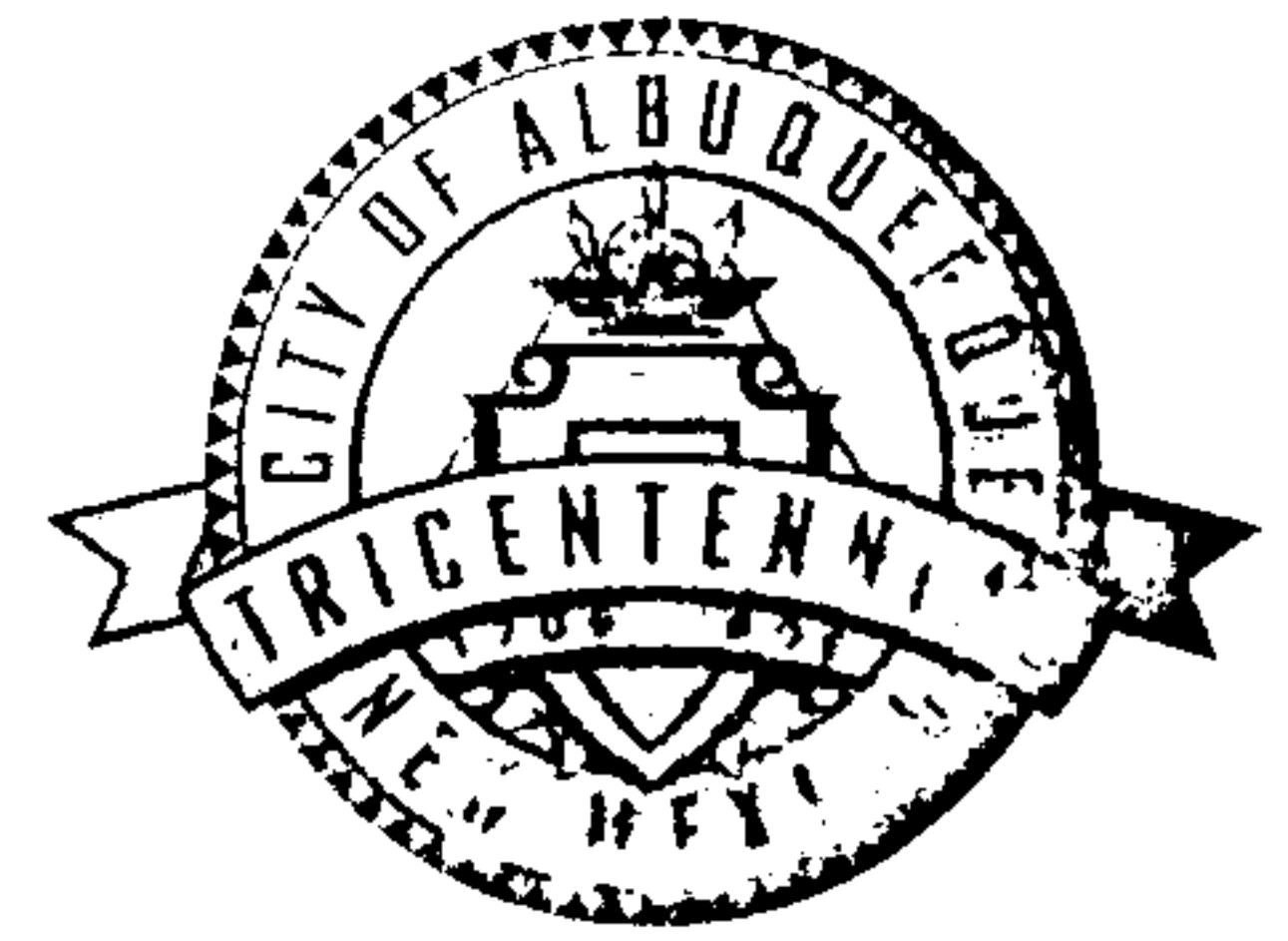


**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

16. **Project # 1005392**  
07DRB-00215 Minor-Sketch Plat or Plan
- SANDRA HILDEBRAND agent(s) for VIOLA & ROSS LUCERO request(s) the above action(s) for Lot(s) 3, **TOWN OF ATRISCO GRANT**, zoned R-1 located on GALLEGOS RD SW, between OLD COORS RD SW and GARCIA RD SW containing approximately 1 acre(s). (L-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
17. **Project # 1005394**  
07DRB-00223 Minor-Sketch Plat or Plan
- ROBERT MIERA request(s) the above action(s) for all or any portion of Lot(s) 17 thru 20, Block(s) K, **NEW KIMO ADDITION**, zoned SU-2 located on SAN PEDRO DR NE and TAYLOR AVE NE, between MENAUL NE and LOMAS NE containing approximately 1 acre(s). [REF: V-86-32] (H-18) **DUPLICATE REQUEST. WAS WITHDRAWN BY APPLICANT.**
18. **Project # 1005398**  
07DRB-00228 Minor-Sketch Plat or Plan
- DANIEL DUNN request(s) the above action(s) for all or any portion of Lot(s) 1, 2 & 3, Block(s) 3, **GARCIA ADDITION**, zoned S-R located on 11<sup>TH</sup> ST NW between MOUNTAIN NW and SAWMILL NW containing approximately 1 acre(s). (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1005401**  
07DRB-00233 Minor-Sketch Plat or Plan
- WAYJOHN SURVEYING INC agent(s) for ROBERT MIERA request(s) the above action(s) for all or any portion of Lot(s) 17-20, Block(s) K, **NEW KIMO ADDITION**, zoned SU-2 for R-2 & O-1 office and institution zone, located on SAN PEDRO DR NE between TAYLOR AVE NE and CUTLER AVE NE containing approximately 1 acre(s). (H-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
20. **Project # 1005403**  
07DRB-00235 Minor-Sketch Plat or Plan
- INTEGRATED DESIGN & ARCHITECTURE agent(s) for J & J REAL ESTATE PARTNERSHIP request(s) the above action(s) for Tract(s) 12A1A & 12A1B on **M.R.G.C.D. MAP 35**, zoned R-1 residential zone, located on RIO GRANDE BLVD NW between CONTRERAS PL NW and EL NIDO CT NW containing approximately 2 acre(s). (H-13) **INDEFINITELY DEFERRED ON A NO SHOW. AGENT REQUESTED TO BE HEARD ON 3/14/07.**
21. Approval of the Development Review Board Minutes for February 28, 2007. **THE DRB MINUTES FOR 2/28/07 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:10 A.M.



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD – SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1005189**

**AGENDA ITEM NO: 8**

**SUBJECT:**

Site Plan for Building Permit

**ACTION REQUESTED:**

**REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )**

**ENGINEERING COMMENTS:**

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**RESOLUTION:**

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED \_\_\_; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) **(SP-BP)** (FP) TO: (UD) (CE) (TRANS) (PRKS) **(PLNG)**

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** MARCH 7, 2007



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

February 21, 2007

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

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- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:10 P.M.

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

- 1. **Project # 1005310**  
07DRB-00083 Major-SiteDev Plan  
BldPermit

GREGORY T HICKS & ASSOCIATES agent(s) for STEVE GRIEGO request(s) the above action(s) for all or a portion of Tract(s) 9-C, **RENAISSANCE CENTER**, zoned SU-1 FOR IP, located on CHAPPELL DR NE, between MISSION DR NE and RENAISSANCE BLVD NE containing approximately 1 acre(s). [REF: 06AA01769, DRB-96-495, V-96-110] (F-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PLAT SHOWING CROSS ACCESS EASEMENT LANGUAGE AND PLANNING FOR 15-DAY APPEAL PERIOD AND 3 COPIES.**

2. **Project # 1005346**  
07DRB-00084 Major-Bulk Land Variance  
07DRB-00085 Major-Vacation of Public Easements  
07DRB-00086 Minor-Prelim & Final Plat Approval

CONSENSUS PLANNING INC agent(s) for ALBUQUERQUE 50 LLC request(s) the above action(s) for all or a portion of Tract(s) D-2, **AEROSPACE TECHNOLOGY PARK** and Tract(s) D & S, **DOUBLE EAGLE AIRPORT AND ADJACENT LANDS**, zoned SU-1 FOR AIRPORT & RELATED FACILITIES, located on PASEO DEL VOLCAN NW, between 1-40 and the CITY OF RIO RANCHO containing approximately 50 acre(s). [REF: 04DRB01505, 04DRB01506] *[Deferred from 2/21/07]* (F-6) **DEFERRED AT THE AGENT'S REQUEST TO 2/28/07.**

3. **Project # 1002739**  
06DRB-01621 Major-Vacation of Public Easements  
06DRB-01622 Major-Vacation of Pub Right-of-Way  
06DRB-01623 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for **ANDERSON HEIGHTS, UNIT 5A**, zoned RD/RLT, located on 118<sup>TH</sup> ST SW, between DENNIS CHAVES BLVD SW and COLOBEL AVE SW containing approximately 41 acre(s). [REF: 06DRB-01431] *[Deferred from 12/6/06,12/13/06 & 12/20/06]* *[Deferred from 1/3/07,1/10/07,1/17/07,1/24/07, 1/31/07 & 2/7/07 & 2/21/07]* (P-8) **DEFERRED AT THE BOARD'S REQUEST TO 3/7/07.**

4. **Project # 1005273**  
06DRB-01692 Major-Vacation of Pub Right-of-Way

SURVEYS SOUTHWEST LTD agent(s) for MELLOY BROS ENTERPRISES INC request(s) the above action(s) for all or a portion of Block(s) 2, **PARIS ADDITION** & Block(s) 4, **ROMERO ADDITION**, zoned C-2, located on KINLEY AVE NW, between 5<sup>TH</sup> ST NW and 4<sup>TH</sup> ST NW containing approximately 1 acre(s). *[Deferred from 1/3/07]* (J-14) **WITHDRAWN AT THE AGENT'S REQUEST.**

5. **Project # 1000614**  
06DRB-01670 Major-Vacation of Pub  
Right-of-Way

TIERRA WEST LLC agent(s) for LA CUEVA OESTE HOMEOWNER'S ASSOCIATION request(s) the above action(s) for **LA CUEVA OESTE UNIT 4**, zoned R-D residential and related uses zone, developing area, located on HOLLY AVE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 1 acre(s). [REF: 05DRB-00982] [Deferred from 1/3/07 & 2/21/07] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 2/28/07.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

6. **Project # 1001278**  
07DRB-00150 Minor-SiteDev Plan  
Subd/EPC  
07DRB-00151 Minor-Vacation of Private  
Easements  
07DRB-00152 Minor-Prelim&Final Plat  
Approval

CONSENSUS PLANNING INC AND SURV-TEK INC., agent(s) for PAT AND LILLIE MILLIGAN request(s) the above action(s) for all or a portion OF Tract 94, Town of Atrisco Grant, Unit 6, Lots A, B and a portion of C & D, Gonzales Family Lands, Tract H, Coors Plaza (to be known as **COORS TOWN CENTER**) zoned SU-1 FOR C-2 PERMISSIVE USES, located on COORS BLVD SW, between CENTRAL AVE SW and BRIDGE BLVD SW containing approximately 18 acre(s). [REF: 01EPC00747, 00748, 00749, 00750] [Russell Brito, EPC Case Planner] (K-10) **APPLICATION #07DRB-00152 WAS WITHDRAWN AT THE AGENT'S REQUEST. THE SITE PLAN FOR SUBDIVISION AND THE VACATION OF PRIVATE EASEMENTS WAS INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

7. **Project # 1005237**  
07DRB-00176 Minor-SiteDev Plan  
Subd/EPC  
07DRB-00177 Minor-SiteDev Plan Bldg  
Permit/EPC  
07DRB-00178 Minor-Prelim&Final Plat  
Approval

JEFF MORTENSEN & ASSOCIATES INC agent(s) for MARK 3S INC request(s) the above action(s) for all or a portion of east half of Lot(s) 9 and Lot(s) 10, Block(s) 20, Tract(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3 (to be known as **TRACTS A & B, MARK 3S HOLLY DEVELOPMENT**) zoned SU-2 MIXED USE, located on HOLLY AVE NE, between VENTURA ST NE and HOLBROOK ST NE containing approximately 2 acre(s).

REF:06DRB01758, 01759, 01760] [Carmen Marrone/Petra Morris, EPC Case Planner] (C-20) THE SITE PLAN FOR SUDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/21/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR RECORDING OF SANITARY SEWER MAINTENANCE AGREEMENT AND CITY ENGINEER FOR THE SIA AND 3 COPIES. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE AGIS DXF FILE.

8. **Project # 1003794**  
07DRB-00181 Minor-SiteDev Plan  
Subd/EPC  
07DRB-00182 Minor-SiteDev Plan Bldg  
Permit/EPC  
07DRB-00183 Minor-Prelim&Final Plat  
Approval

PETERSON - 98TH CENTRAL LLC request(s) the above action(s) for all or a portion of Tract(s) 1-A, ROW 1, UNIT A, WEST OF WESTLAND (to be known as **VOLCANO POINT SHOPPING CENTER**) zoned SU-2 PCA, located on 98<sup>th</sup> ST NW, between CENTRAL AVE NW and VOLCANO RD NW containing approximately 5 acre(s). [REF: 06EPC-01587] [Maggie Gould, EPC Case Planner] [Deferred from 2/21/07] (K-9) DEFERRED AT THE AGENT'S REQUEST TO 3/7/07.

9. ~~Project # 1005189~~  
07DRB-00089 Minor-SiteDev Plan  
BldPermit/EPC

GARRETT SMITH LTD. agent(s) for LITTLE BROTHERS OF THE GOOD SHEPHERD request(s) the above action(s) for all or a portion of Lot(s) 1-A, Block(s) 45, **PEREA ADDITION**, zoned SU-2/SU-1 for found. house & rel. act., located on MOUNTAIN RD NW, between 14<sup>TH</sup> ST NW and BROTHER MATHIAS PLACE NW containing approximately 1 acre(s). [REF: Z-89-100] [Maggie Gould, EPC Case Planner] [Deferred from 2/7/07, 2/14/07 & Indef deferred on a no show 2/21/07 ] (J-13) INDEFINITELY DEFERRED ON A NO SHOW.

10. **Project # 1005126**  
07DRB-00065 Minor-SiteDev Plan  
BldPermit/EPC

PCM agent(s) for MR DON GIBSON, PASTOR request(s) the above action(s) for all or a portion of Lot(s) 313, TOWN OF ATRISCO GRANT, UNIT 8 (to be known as **CENTRAL SEVENTH DAY ADVENTIST CHURCH**) zoned SU-1 FOR CHURCH AND PRIVATE SCHOOL, located on ESTANCIA DR NW, between MIAMI NW and JUNIPER NW containing approximately 5 acre(s). [REF: 06EPC01299] [**Maggie Gould, EPC Case Planner**] [*Deferred from 1/31/07*] (H-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/21/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND 3 COPIES AND TO UTILITIES DEVELOPMENT FOR SEWER TAPPING PERMIT AND OPENING OF NEW ACCOUNTS.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

11. **Project # 1002315**  
07DRB-00168 Minor-Ext of SIA for Temp  
Defer SDWK

BOHANNAN HOUSTON INC agent(s) for MESA VERDE DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 13B, **WILDERNESS VILLAGE AT HIGH DESERT**, zoned SU-2 HD/R-R, located on FOOTHILLS TRAIL NE, between WILDERNESS TRAIL NE and HIGH DESERT PLACE NE containing approximately 73 acre(s). [REF:03DRB01651] (F-23) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEALKS WAS APPROVED.**

12. **Project # 1003762**  
07DRB-00180 Minor-Subd Design (DPM)  
Variance

ISAACSON & ARFMAN PA agent(s) for CHELWOOD HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) PR, **CHELWOOD HILLS SUBDIVISION**, zoned R-LT residential zone, located on EASTDALE DR NE, between CHELWOOD PARK BLVD NE and INDIAN SCHOOL RD NE containing approximately 4 acre(s). (J-22) **A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**



13. **Project # 1003684**  
07DRB-00136 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for CAPITAL ALLIANCE INVESTMENTS LLC request(s) the above action(s) for all or a portion of Lot 11, Block 9, Lots 10-17, Block 10, Lots 11-15, Block 11, Lots 17 & 18, Block 12, Lots 23-29, Block 13 and Lot 1, Block 14 and Tracts H, I, J and K, Paradise Heights, Unit 5 (to be known as **ANASAZI RIDGE, UNIT 2**) zoned R-1 and SU-1 / C-1, located on WESTSIDE BLVD NW, between UNIVERSE NW and KAYENTA NW containing approximately 11 acre(s). [REF: 06DBR00327, 06DRB00326] (A-10) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

14. **Project # 1005380**  
07DRB-00174 Minor-Prelim&Final Plat Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for EAST ROAD CORPORATION request(s) the above action(s) for all or a portion of Lot(s) 1-A, **BROADWAY INDUSTRIAL CENTER**, zoned SU-2 HM, located on BROADWAY BLVD SE, between SAN JOSE SE and BETHEL SE containing approximately 2 acre(s). [REF: DRB-99-08, S-99-06, V-99-06, DRB-99-300, V-99-98, DRB-97-271, DRB-99-100] (M-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

15. **Project # 1002984**  
07DRB-00161 Minor-Prelim&Final Plat Approval

ROBERT POWERS request(s) the above action(s) for all or a portion of Lot(s) 21, Block(s) 2, **VOLCANO CLIFFS, UNIT 2**, zoned R-1, located on KIMBERLITE DR NW, between CLIFF RD NW and POPO NW containing approximately 1 acre(s). [REF: 06DRB-01386] (E-10) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR REASSESSMENT OF SAD AND PLANNING FOR REAL PROPERTY SIGNATURE AND TO RECORD.**

16. **Project # 1005261**  
07DRB-00175 Minor-Prelim&Final Plat  
Approval

JEFF MORTENSEN & ASSOCIATES INC agent(s) for CITY OF ALBUQUERQUE C/O STUDIO SOUTHWEST request(s) the above action(s) for Lot(s) 1 & 2, Block(s) 2, Bratina Addition No. 2, Lot(s) 1-10, 19, 20 & 21 Franchini Addition and Lot(s) 1, Townes Addition (to be known as **TRACT 1, LANDS OF WESST CORPORATION**) zoned M-1 light manufacturing zone, located on BROADWAY BLVD and JOHN ST NE, between ROMA AVE NE and LOMAS BLVD NE containing approximately 2 acre(s). [REF: 06DRB01651, 06DRB01652] (J-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

17. **Project # 1002372**  
07DRB-00179 Major-Final Plat Approval

THOMPSON ENGINEERING agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or a portion of Tract(s) 223 & 224, Airport Unit, Town of Atrisco Grant (to be known as **LAS PLAYAS SUBDIVISION**) zoned R-2, located on GLENRIO RD NW, between 68<sup>TH</sup> ST NW and 72<sup>ND</sup> ST NW containing approximately 9 acre(s). (J-10) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

18. **Project # 1000462**  
07DRB-00167 Minor-Prelim&Final Plat  
Approval

JACK'S HIGH COUNTRY agent(s) for ARTHUR MORALES request(s) the above action(s) for all or a portion of Tract(s) A, **SPIRITUAL RENEWAL CENTER**, zoned SU-1 special use zone, located on COORS BLVD NW, between LA ORILLA RD NW and EAGLE RANCH RD NW containing approximately 5 acre(s). [REF: 00DRB00585, 00DRB00523] (D-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

19. **Project # 1004679**  
07DRB-00071 Minor-Prelim&Final Plat  
Approval

SHAKEEL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 15B, ALVARADO GARDENS UNIT 2 (to be known as **CAMPBELL ESTATES**) zoned RA-2, W7 residential and agricultural zone, located on CAMPBELL RD NW, between RIO GRANDE BLVD NW and the RIO GRANDE RIVER containing approximately 2 acre(s). [REF: 06DRB00149] [*Deferred from 1/31/07 & 2/7/07 & 2/14/07*] (G-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/21/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 2/19/07 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS: A SEPARATE PUE EASEMENT SHALL BE SHOWN ON THE FINAL PLAT. SHOW THE WATER METER EASEMENTS ON THE FINAL PLAT. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

20. **Project # 1004254**  
06DRB-01569 Minor-Prelim&Final Plat  
Approval

WAYJOHN SURVEYING INC agent(s) for CHARLES JAEGER request(s) the above action(s) for all or a portion of Lot(s) A-1, **ALVARADO GARDENS, UNIT 3**, zoned R-2 residential zone, located on VERANDA RD NW, between RIO GRANDE BLVD NW and GLENWOOD DR NW containing approximately 1 acre(s). [REF: 05DRB-00964] [*Indef deferred 11/8/06*] [*Deferred from 2/21/07*] (G-12) **DEFERRED AT THE AGENT'S REQUEST TO 2/28/07.**

21. **Project # 1004901**  
06DRB-00689 Minor- Final Plat Approval

WAYJOHN SURVEYING agent(s) for RIVERA INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) A-1, Block(s) 29, HUNING CASTLE ADDITION (to be known as **HUNING CASTLE TOWNHOMES**) zoned R-3, located on ALCALDE PLACE SW, between LEAD AVE SW and COAL AVE SW containing approximately 1 acre(s). [*Was Indefinitely deferred 5/24/06 for grading and drainage plan and infrastructure list*] [*Deferred from 9/20/06 & 9/27/06 Indef deferred for SIA on 10/4/06*] (K-13) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

22. **Project # 1005254**  
06DRB-01627 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for GILBERT SANCHEZ request(s) the above action(s) for all or a portion of Lot(s) 85, **LOS ALAMOS ADDITION**, zoned SU-1 FOR APT & OFFICE, located on 4<sup>TH</sup> ST NW, between PLACITAS RD NW and SANDIA RD NW containing approximately 1 acre(s). *[Indef deferred from 11/22/06]* (F-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR COMPLETION OF TAPPING PERMITS AND TRANSPORTATION DEVELOPMENT FOR PLACEMENT OF 4-FOOT SIDEWALKS ALONG PLACITAS.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

23. **Project # 1003857**  
07DRB-00166 Minor-Sketch Plat or Plan

PRECISION SURVEYS INC agent(s) for MICHAEL A GONZALES request(s) the above action(s) for all or a portion of Block(s) E, Tract(s) A & B, **BARELAS COFFEE HOUSE**, zoned SU-2-NCR & SU-2/RT, located on SIMPIER LN SW, between 8<sup>TH</sup> ST SW and 4<sup>TH</sup> ST SW containing approximately 2 acre(s). (L-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

24. **Project # 1005389**  
07DRB-00171 Minor-Sketch Plat or Plan

SCOTT SADLER request(s) the above action(s) for all or a portion of Tract(s) 7, Block(s) 0000, **LAS LOMITAS BUSINESS PARK**, zoned SU-1 for IP special use zone, located on CUESTA ABAJO CT NW, between EDITH BLVD NW and JEFFERSON BLVD NW containing approximately 2 acre(s). *[Was listed under Project #1002134 in error] [Indef deferred on a no show 2/21/07]* (D-16) **INDEFINITELY DEFERRED ON A NO SHOW.**

25. **Project # 1004617**  
07DRB-00149 Minor-Sketch Plat or Plan

TONY GUTIERREZ request(s) the above action(s) for all or a portion of Lot(s) 100, Block(s) A, **LA VICTORIA**, zoned C-2, located on BLUEWATER NW, between YUCCA NW and 56<sup>TH</sup> ST NW containing approximately 2 acre(s). [REF: 06DRB-00721] (J-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

26. **Project # 1005349**  
07DRB-00097 Minor-Sketch Plat or Plan

ROLANDO PEREZ request(s) the above action(s) for all or a portion of Lot(s) 9 & 10, Block(s) 8, **LOMA VERDE**, zoned R-2, located on SAN PABLO ST NE, between DOMINGO NE and CHICO NE containing approximately 1 acre(s). [*Deferred from 2/14/07*](K-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

27. Approval of the Development Review Board Minutes for February 14, 2007. **THE DRB MINUTES FOR FEBRUARY 14, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 12:10 P.M.



**BRASHER & LORENZ, INC.**  
**CONSULTING ENGINEERS**

2201 San Pedro NE Bldg 1 Suite 1200 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • [www.brasherlorenz.com](http://www.brasherlorenz.com)

February 20, 2007

Sheron Matson, AICP, Chair  
Development Review Board  
City of Albuquerque  
Plaza Del Sol  
Albuquerque, New Mexico 87102

**SUBJECT: LITTLE BROTHERS OF THE GOOD SHEPARD**  
**LOT 1-A, BLOCK 45, PEREA ADDITION**  
Project 1005189  
ZAP J-13

Dear Ms Matson:

As Agents for Little Brothers of the Good Shepard and Garrett-Smith Ltd, submitted herewith for approval are 6 copies of the revised Site Plan for Building Permit and 6 copies of the Infrastructure Listing for the subject project. The submittal package has been revised to address comments issued at the February 7, 2007 DRB hearing. Specifically, each comment is addressed as follows:

**TRANSPORTATION:**

1. The off-site parking is not necessary to satisfy the parking requirement for the project, therefore, it has been removed from the plan.
2. Since the off-site parking is not a part of the project, all references to the perimeter street work have been removed from the plan.
3. A 6 foot bike lane will be striped along the Mountain Road frontage as requested. This item is reflected on the Infrastructure Listing.

**HYDROLOGY/UTILITY DEVELOPMENT:**

4. Each new building will be separately metered and sewered as shown by the Conceptual Utility Plan. This arrangement has been confirmed by Nancy Musinski, ABCWUA.
5. An additional fire hydrant will be constructed at the northwest corner of the 14<sup>th</sup> Street/Granite Avenue intersection. This item is reflected on the Infrastructure Listing.

# CITY OF ALBUQUERQUE



*Handwritten notes:*  
Approved  
Deferred  
on a show

**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD – SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1005189**

**AGENDA ITEM NO: 9**

**SUBJECT:**

Site Plan for Building Permit

**ACTION REQUESTED:**

**REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )**

**ENGINEERING COMMENTS:**

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**RESOLUTION:**

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED \_\_\_; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

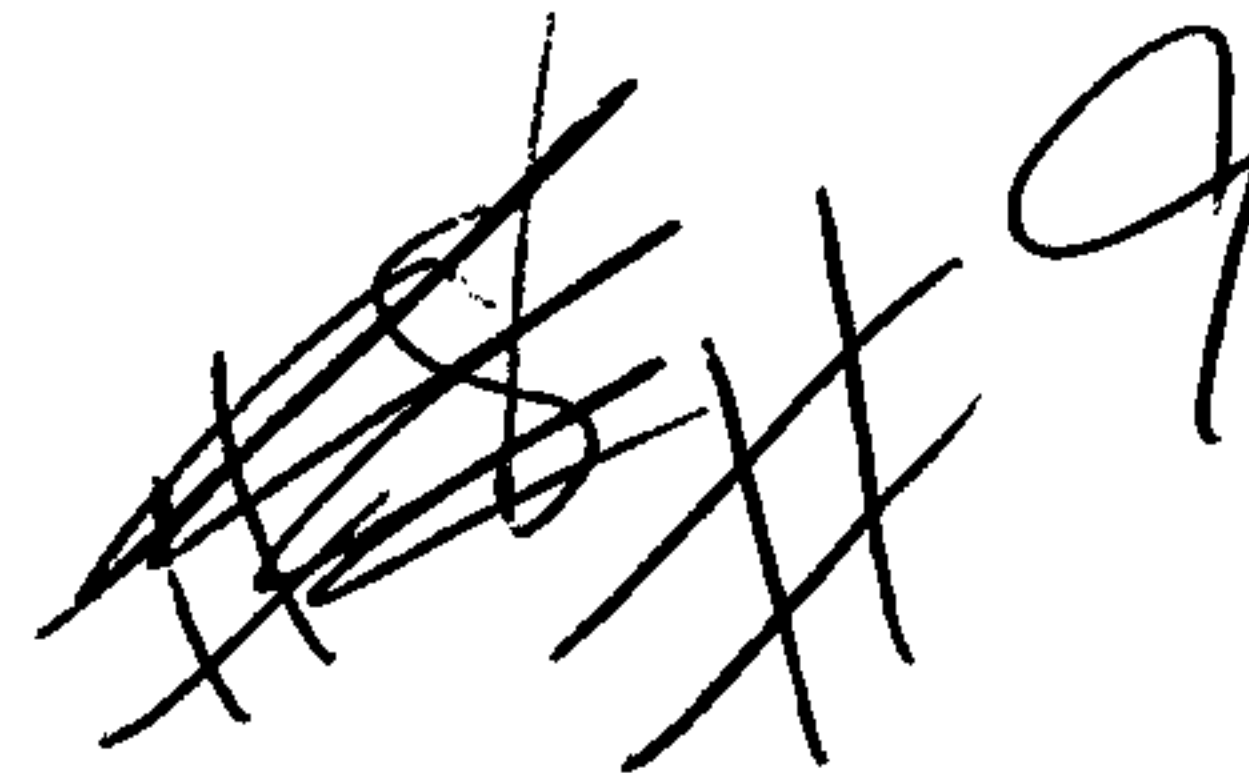
DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** FEBRUARY 21, 2007

February 16, 2007, 2007

City of Albuquerque  
Planning Department  
Inter-Office Memorandum



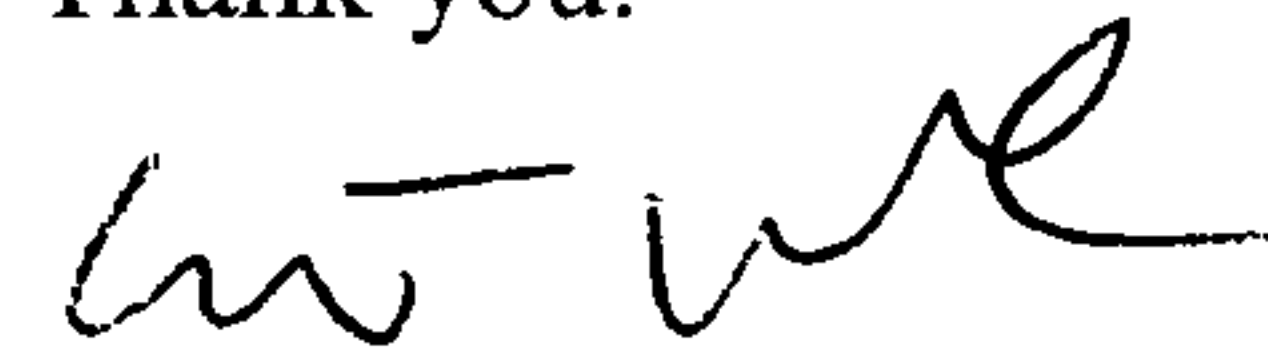
TO: Sheran Matson, DRB Chair  
FROM: Maggie Gould, Associate Planner  
SUBJECT: Project # 1005189

The Environmental Planning Commission approved Project # 1005189 /06 EPC01442, Site Plan for Building Permit for Lots 1-10, block 45 of the Perea Addition, Mountain Road, between 14<sup>th</sup> street and Brother Mathias Place, on November 16, 2006. The applicant has satisfied all of the conditions of approval.

The applicant met with staff and Wilfred Gallegos regarding the off street parking and the removal of the "bumpouts" around the site. These changes are acceptable.

If you should have any questions regarding this case, please do not hesitate to call me at 924-3910.

Thank you.



Maggie Gould  
Planner  
Advanced Planning





**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

February 14, 2007

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 10:20 A.M.

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1005343**  
07DRB-00066 Major-Vacation of Public Easements  
07DRB-00067 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for MONEER HINDI request(s) the above action(s) for **PARCEL 3, MANKIN INC.**, zoned C-2 community commercial zone, located on SKYLINE RD NE and I-40 and containing approximately 2 acre(s). [REF: ZA-98-269, Z-1410] (L-22) **WITHDRAWN AT THE AGENT'S REQUEST.**

2. **Project # 1000060**  
03DRB-02115 Major – One Year SIA

MODRALL SPERLING agent(s) for SANDIA FOUNDATION request(s) the above action(s) for all or a portion of Tract(s) C & D1B, **GATEWAY SUBDIVISION**, zoned SU-2/C-3, located on LOMAS BLVD NE, between WOODWARD NE and I-25. (J-15) **A ONE-YEAR SIA WAS APPROVED.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

3. **Project # 1003613**  
07DRB-00129 Minor-Amnd SiteDev Plan  
Subd/EPC  
07DRB-00130 Minor-Amnd Prelim Plat  
Approval  
07DRB-00131 Minor-Sidewalk Waiver  
07DRB-00132 Minor-Temp Defer SDWK

THOMPSON ENGINEERING CONSULTANTS INC agent(s) for WAREHOUSE MOULDING & DOOR CORP request(s) the above action(s) for all or a portion of Lot(s) 11 and 1-4, Tract(s) 34, M.R.G.C.D. MAP 39, RANCHO RICO, POWELL GARDENS ADDITION & SUNSET VILLA ADDITION (to be known as **SUNSET VILLA SUBDIVISION**) zoned SU-1 FOR PRD, located on SUNSET GARDENS RD SW, between ATRISCO RD SW and SUNSET RD SW containing approximately 15 acre(s). [REF: 06DRB00854] (K-12) **THE AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES. WITH THE APPROVAL OF THE AMENDED GRADING PLAN ENGINEER STAMP DATED 1/26/07 THE AMENDED PRELIMINARY PLAT WAS APPROVED. THE PREVIOUS CONDITIONS OF FINAL PLAT STILL APPLY. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

4. **Project # 1005189**  
07DRB-00089 Minor-SiteDev Plan  
BldPermit/EPC

GARRETT SMITH LTD. agent(s) for LITTLE BROTHERS OF THE GOOD SHEPHERD request(s) the above action(s) for all or a portion of Lot(s) 1-A, Block(s) 45, **PEREA ADDITION**, zoned SU-2/SU-1 for found. house & rel. act., located on MOUNTAIN RD NW, between 14<sup>TH</sup> ST NW and BROTHER MATHIAS PLACE NW containing approximately 1 acre(s). [REF: Z-89-100] [**Maggie Gould, EPC Case Planner**] [*Deferred from 2/7/07 & 2/14/07*] (J-13) **DEFERRED AT THE AGENT'S REQUEST TO 2/21/07.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

5. **Project # 1000624**  
07DRB-00128 Minor-Prelim&Final Plat  
Approval

ACCURATE SURVEY agent(s) for KEITH CHESHIRE request(s) the above action(s) for all or a portion of Lot(s) 30 & 31, **ALAMEDA BUSINESS PARK**, zoned SU-2 IP EP, located on ALAMEDA PARK DR NW, between ALAMEDA BLVD NW and PASEO DEL NORTE NW containing approximately 2 acre(s)(C-16) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SITE PLAN FOR BUILDING PERMIT, AGIS DXF FILE AND TO RECORD.**

6. **Project # 1005132**  
07DRB-00137 Minor-Prelim&Final Plat  
Approval

PRECISION SURVEYS INC agent(s) for SAN PEDRO EQUITIES LLC request(s) the above action(s) for all or a portion of Lot(s) 27-29, Block(s) 34, Unit B, Tract(s) A, **NORTH ALBUQUERQUE ACRES** (to be known as **TRACTS A & B, PASEO NUEVO 2**) zoned SU-2 for IP, located on HOLLY AVE NE, between SAN PEDRO DR NE and VILLE CT NE containing approximately 3 acre(s). [REF: 06EPC01313] (C-18) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT TO DETERMINE IF CROSS ACCESS EASEMENTS ARE NEEDED AND TO PLANNING TO RECORD.**

7. **Project # 1005335**  
07DRB-00139 Minor-Prelim&Final Plat  
Approval

JACK'S HIGH COUNTRY INC agent(s) for CAVALIER CAPITAL LLC request(s) the above action(s) for all or a portion of Lot(s) E-1, **LEONARD INDUSTRIAL AREA**, zoned M-1 light manufacturing zone, located on MENAUL BLVD NE, between PRINCETON ST NE and VASSAR ST NE containing approximately 6 acre(s). [REF: 07DRB00053] (H-16) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

8. **Project # 1005350**  
07DRB-00098 Minor-Prelim&Final Plat  
Approval

RUBY BUSTOS request(s) the above action(s) for all or a portion of Lot(s) 11, **REGINA ADDITION**, zoned R-1 residential zone, located on HERRERA RD NW, between 47<sup>TH</sup> ST NW and ATRISCO DR NW containing approximately 1 acre(s). (J-12) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

9. **Project # 1003928**  
07DRB-00068 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for JIM MOCHO request(s) the above action(s) for LOT 16D, **TOHATCHI ADDITION & LOT 12, BLOCK C, J M MOORE REALTY COMPANY'S 3RD ADDITION**, zoned R-1 residential zone, located on MOUNTAIN RD NW, between RIO GRANDE BLVD NW and PUEBLO BONITO NW containing approximately 1 acre(s). [REF: 06DRB01203] [*Deferred from 1/31/07 & 2/14/07*] (J-13) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

10. **Project # 1005226**  
06DRB-01543 Minor-Prelim&Final Plat  
Approval

ROSS HOWARD COMPANY agent(s) for ESTELLE BEATY-VAHN request(s) the above action(s) for all or a portion of Lot(s) 1-3 and vacated Garcia Street, Block(s) 42, **SKYLINE HEIGHTS SUBDIVISION**, zoned C-3 & M-1, located on ACOMA ST SE, between ALTEZ ST SE and CONCHAS ST SE containing approximately 1 acre(s). *[Indef deferred on a no show on 11/1/06 & 11/15/06 & 1/31/07]* (L-20) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR ADDITIONAL WATER/SEWER ACCOUNTS AND TAPPING PERMITS AND TRANSPORTATION DEVELOPMENT FOR DOCUMENTATION THAT LOT 4-A HAS NO RIGHTS TO VACATED "GARCIA" STREET AND TO RECORD.**

11. **Project # 1004679**  
07DRB-00071 Minor-Prelim&Final Plat  
Approval

SHAKEEL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 15B, ALVARADO GARDENS UNIT 2 (to be known as **CAMPBELL ESTATES**) zoned RA-2, W7 residential and agricultural zone, located on CAMPBELL RD NW, between RIO GRANDE BLVD NW and the RIO GRANDE RIVER containing approximately 2 acre(s). [REF: 06DRB00149] *[Deferred from 1/31/07 & 2/7/07 & 2/14/07]* (G-12) **DEFERRED AT THE AGENT'S REQUEST TO 2/21/07.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

12. **Project # 1003121**  
07DRB-00135 Minor-Sketch Plat or Plan

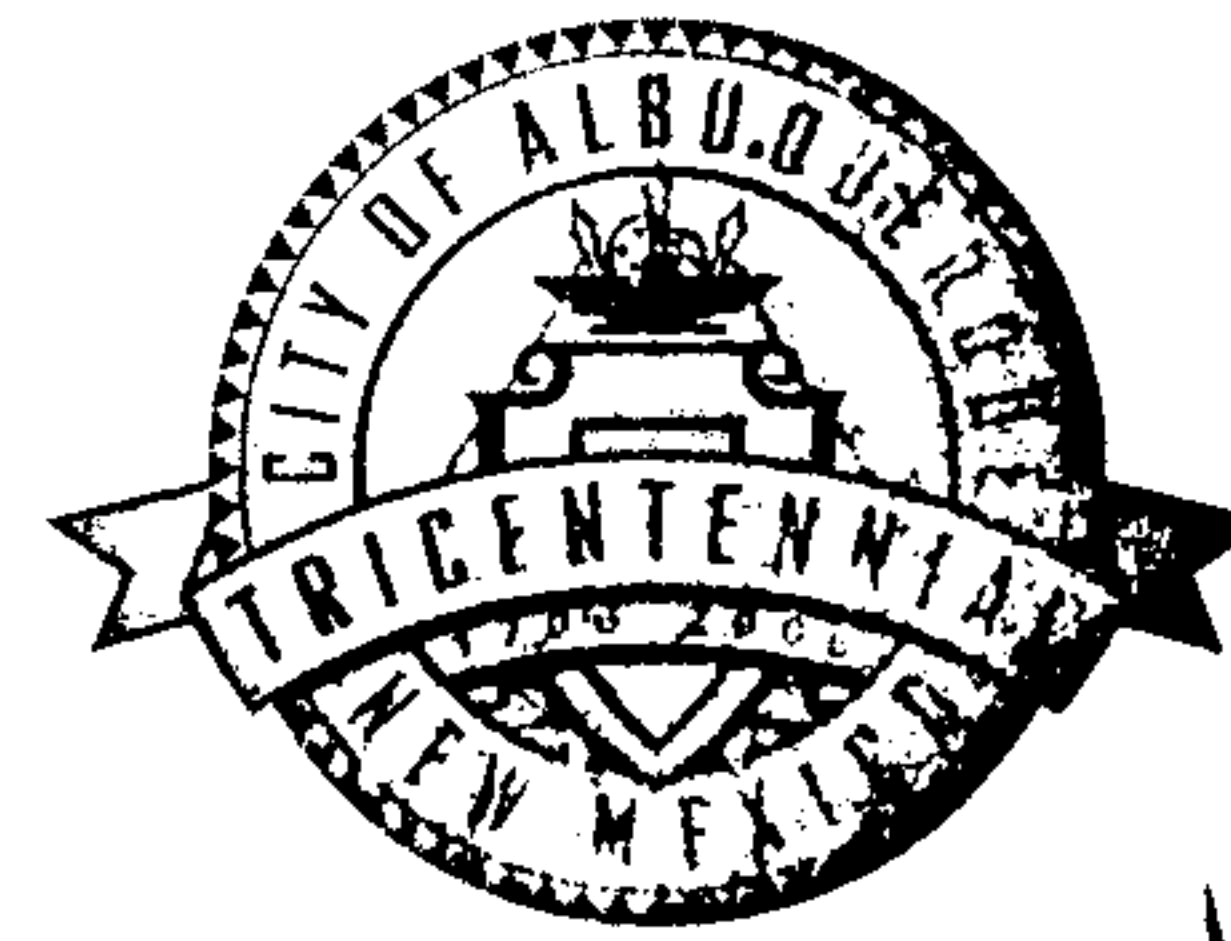
STEWART INGHAM agent(s) for ZIA TRUST INC request(s) the above action(s) for all or a portion of Tract(s) 19, **M.R.G.C.D. MAP 36**, zoned R-1, located on FORAKER NW, between LOS TOMASES NW and 8<sup>TH</sup> ST NW containing approximately 1 acre(s) (H-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. **Project # 1005349**  
07DRB-00097 Minor-Sketch Plat or Plan
- ROLANDO PEREZ request(s) the above action(s) for all or a portion of Lot(s) 9 & 10, Block(s) 8, **LOMA VERDE**, zoned R-2, located on SAN PABLO ST NE, between DOMINGO NE and CHICO NE containing approximately 1 acre(s). (K-19) **DEFERRED TO 2/21/07.**
14. **Project # 1005363**  
07DRB-00133 Minor-Sketch Plat or Plan
- GIL E CORDOVA request(s) the above action(s) for all or a portion of Lot(s) 33, Unit 3, **ALVARADO GARDENS**, zoned RA-2, located on RIO GRANDE BLVD NW, between CANDELARIA NW and GRIEGOS NW containing approximately 1 acre(s). (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
15. **Project # 1005364**  
07DRB-00138 Minor-Sketch Plat or Plan
- CAP II JUAN TABO MONTGOMERY LLC request(s) the above action(s) for PARCELS A & B OF TRACT 1, **EL DORADO CENTER**, zoned C-2 community commercial zone, located on JUAN TABO BLVD NE, between MONTGOMERY BLVD NE and EAGLE NE containing approximately 5 acre(s). (G-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
16. **Project # 1005365**  
07DRB-00140 Minor-Sketch Plat or Plan
- ALPHA PROFESSIONAL SURVEYING INC agent(s) for FRANK PADILLA request(s) the above action(s) for Tract(s) 300-A-2-B-1-A, M.R.G.C.D. Map 38, **LANDS OF FRANK & MARY PADILLA**, zoned RA-2, located on CARSON RD NW, between RIO GRANDE BLVD NW and MONTOYA RD NW containing approximately 1 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. Approval of the Development Review Board Minutes for February 7, 2007. **THE DRB MINUTES FOR FEBRUARY 7, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:20 A.M.

# CITY OF ALBUQUERQUE



*af 2/21/07*

**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD – SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1005189**

**AGENDA ITEM NO: 4**

**SUBJECT:**

Site Plan for Building Permit

**ACTION REQUESTED:**

**REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )**

**ENGINEERING COMMENTS:**

An Infrastructure List is required for this site.  
An approved SIA with Financial Guarantee(s) is required prior to site plan approval.

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**RESOLUTION:**

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED \_\_\_; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** FEBRUARY 14, 2007





**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD – SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1005189**

**AGENDA ITEM NO: 4**

**SUBJECT:**

Site Plan for Building Permit

**ACTION REQUESTED:**

**REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )**

**ENGINEERING COMMENTS:**

An Infrastructure List is required for this site.  
An approved SIA with Financial Guarantee(s) is required prior to site plan approval.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

**RESOLUTION:**

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED <sup>2-21-07</sup> X; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** FEBRUARY 14, 2007



#4  
1005189  
02/14/2007



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

February 7, 2007

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 10:45 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1001396**  
07DRB-00026 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES agent(s) for VISTA DEL NORTE DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Block(s) 13, Tract(s) 1A-3A, **ALTA TIERRA DEL NORTE UNIT 1**, zoned R1, located on CALLE MONTANA NE, between VISTA DEL NORTE NE and CALLE FUERTE NE containing approximately 1 acre(s). [REF: 03DRB-02116] (D-16) **TWO-YEAR SIA WAS APPROVED.**

2. **Project # 1004075**  
06DRB-01537 Major-Vacation of Pub  
Right-of-Way  
06DRB-01539 Minor-Vacation of Private  
Easements

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, 4B, 4C and 1 through 15, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25 SW, between BROADWAY BLVD SW and LOS PICAROS RD SW containing approximately 2,294 acre(s). [REF: 06DRB-00744] [Deferred from 11/15/06,12/13/06, 1/3/07,1/17/07 & 2/7/07]. (R-16, Q-16, R-15, R-17, S-14, S-16, S-17, T-16) **DEFERRED AT THE AGENT'S REQUEST TO 2/28/07.**

3. **Project # 1002739**  
06DRB-01621 Major-Vacation of Public  
Easements  
06DRB-01622 Major-Vacation of Pub  
Right-of-Way  
06DRB-01623 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for **ANDERSON HEIGHTS, UNIT 5A**, zoned RD/RLT, located on 118<sup>TH</sup> ST SW, between DENNIS CHAVES BLVD SW and COLOBEL AVE SW containing approximately 41 acre(s). [REF: 06DRB-01431] [Deferred from 12/6/06,12/13/06 & 12/20/06] [Deferred from 1/3/07,1/10/07,1/17/07,1/24/07, 1/31/07 & 2/7/07] (P-8) **DEFERRED AT THE BOARD'S REQUEST TO 2/21/07.**

- Project #1002739**  
07DRB-00088 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for PARCEL 3, **ANDERSON HEIGHTS, UNIT 1** (to be known as **ANDERSON HEIGHTS, UNIT 3**) zoned R-LT residential zone, located on COLOBEL SW, between 118<sup>TH</sup> ST SW and MESSINA SW containing approximately 18 acre(s). [REF: 06DRB00513] (N-8) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD AND TO EXPLORE THE POSSIBILITY OF A PEDESTRIAN ACCESS BETWEEN LOTS 95 & 96.**

4. **Project # 1004526**  
07DRB-00013 Major-Preliminary Plat  
Approval  
07DRB-00014 Minor-Temp Defer SDWK

TIERRA WEST LLC agent(s) for STILLBROOKE HOMES INC request(s) the above action(s) for all or a portion of Tract(s) 401, TOWN OF ATRISCO GRANT, UNIT 3 (to be known as **SAGE PARK SUBDIVISION**) zoned R-D residential and related uses zone, developing area, located on SAGE RD SW, between 75<sup>TH</sup> ST SW and COORS RD SW containing approximately 10 acre(s). [REF: 05DRB-01129] [*Deferred from 1/31/07*] (L-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/7/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 2/6/07 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

5. **Project # 1005189**  
07DRB-00089 Minor-SiteDev Plan  
BldPermit/EPC

GARRETT SMITH LTD. agent(s) for LITTLE BROTHERS OF THE GOOD SHEPHERD request(s) the above action(s) for all or a portion of Lot(s) 1-A, Block(s) 45, **PEREA ADDITION**, zoned SU-2/SU-1 for found. house & rel. act., located on MOUNTAIN RD NW, between 14<sup>TH</sup> ST NW and BROTHER MATHIAS PLACE NW containing approximately 1 acre(s). [REF: Z-89-100] [**Maggie Gould, EPC Case Planner**] [*Deferred from 2/7/07*] (J-13) **DEFERRED AT THE AGENT'S REQUEST TO 2/14/07.**

6. **Project # 1004927**  
06DRB-01632 Minor-SiteDev Plan  
BldPermit/EPC

MULLEN HELLER ARCHITECTURE agent(s) for HARVARD MALL PARTNERS request(s) the above action(s) for all or a portion of Lot(s) 6-10 & 16-21, Block(s) 1 **UNIVERSITY HEIGHTS ADDITION**, zoned SU-1,UC, located on HARVARD DR SE, between CENTRAL AVE SE and SILVER AVE SE containing approximately 2 acre(s). [REF: 06EPC-00777][**Stephanie Shumsky, EPC Planner**][*Def. 11/22/06, 1/24/07, 2/7/07*](K15)**INDEFINITELY DEFERRED AT AGENT'S REQUEST.**

7. **Project # 1004874**  
07DRB-00070 Minor-SiteDev Plan  
BldPermit/EPC

MASTERWORKS ARCHITECTS INC agent(s) for ANDERSON PROPERTIES LLC request(s) the above action(s) for all or a portion of Lot(s) 17-A, Block(s) 2, **MONKBRIDGE ADDITION**, zoned SU-1 FOR SALES OF BUILDING MATERIAL AND OUTSIDE STORAGE, located on CANDELARIA BLVD NW, between 2<sup>ND</sup> ST NW and 3<sup>RD</sup> ST NW containing approximately 1 acre(s). [REF: 06EPC00623, 06EPC00702, 06DRB01571] [**Maggie Gould, EPC Case Planner**] [Deferred from 1/31/07] (G-14) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF SITE PLAN.**

8. **Project # 1004354**  
07DRB-00033 Minor-SiteDev Plan  
Subd/EPC  
07DRB-00034 Minor-SiteDev Plan  
BldPermit/EPC  
07DRB-00032 Minor-Prelim&Final Plat  
Approval

TIERRA WEST LLC agent(s) for KRANIA LLC request(s) the above action(s) for all or a portion of Lot(s) 27, Block(s) 9, Tract(s) O, ORIGINAL TOWNSITE OF WESTLAND (to be known as **KRANIA**) zoned SU-2 FOR IP, located on 98<sup>TH</sup> ST NW, between CENTRAL AVE NW and VOLCANO RD NW containing approximately 8 acre(s). [**Carmen Marrone for Petra Morris, EPC Case Planner**]. [Deferred from 1/24/07 & 1/31/07] (K-9) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF SITE PLAN. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR 3 COPIES OF SITE PLAN. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/7/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12/1/06 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

9. **Project # 1004354**  
06DRB-01426 Minor- Final Plat Approval

TIERRA WEST LLC agent(s) for MONAHITI LLC request(s) the above action(s) for all or a portion of Lot(s) 22-26, Block(s) 9, **MONAHITI SUBDIVISION, ORIGINAL TOWNSITE OF WESTLAND**, zoned SU-2 for C-2, IP uses, located on 98<sup>TH</sup> ST NW, between CENTRAL AVE NW and VOLCANO RD NW containing approximately 2 acre(s). [REF: 05DRB-01229, 05EPC-01234] *[Final Plat Indef Deferred on 10/11/06 for SIA & deferred on 1/3/07 for agreement]* (K-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR A SIGNED NEIGHBORHOOD AGREEMENT ON STREET PAVING AND UTILITIES WITH THE OWNERS TO THE EAST AND TO PLANNING TO RECORD.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

10. **Project # 1003572**  
07DRB-00090 Minor-Vacation of Private Easements

SURVEYS SOUTHWEST LTD agent(s) for ANGELO BRUNACINI request(s) the above action(s) for all or a portion of Tract(s) A1-A-4, **PHASE 2, UNIT 2 JOURNAL CENTER**, zoned IP industrial park zone, located on NORTH DIVERSION CHANNEL NE, between SNAPROLL ST NE and RUTLEDGE RD NE containing approximately 14 acre(s). [REF: 07DRB00035] (D-16, D-17) **THE VACATION OF THE PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

- 07DRB-00035 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST, LTD agent(s) for ANGELO BRUNACINI request(s) the above action(s) for Tract(s) A-1, A-2, A-3 & A-4, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP, located on NORTH DIVERSION CHANNEL NE, between SNAPROLL ST NE and RUTLEDGE ROAD NE containing approximately 14 acre(s). *[Indef deferred from 1/24/07]* (D-16) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

11. **Project # 1003469**  
07DRB-00087 Minor-Prelim&Final Plat  
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for JEFFREY & LORRI M. ZUMWALT request(s) the above action(s) for all or a portion of Lot(s) 7-A-1, P 1, **OAKLAND HEIGHTS**, zoned RD, located on OAKRIDGE COURT NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). [REF: 06DRB00882, 06DRB01668] (C-20) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CERTIFICATION OF THE PAD ELEVATION AND MAINTENANCE AND BENEFICIARIES OF 10-FOOT PEDESTRIAN EASEMENT AND PLANNING TO RECORD.**

12. **Project # 1004039**  
07DRB-00091 Minor-Prelim&Final Plat  
Approval  
07DRB-00092 Minor-Vacation of Private  
Easements

ISAACSON & ARFMAN agent(s) for RUTLEDGE INVESTMENT COMPANY INC. request(s) the above action(s) for all or a portion of Lot(s) 39 & 48, Tract(s) 5, **THE LEGENDS OF HIGH DESERT**, zoned SU-2/HD/C-1, located on ACADEMY RD NE, between CORTADERIA ST NE and IMPERATA ST NE containing approximately 1 acre(s). [REF: 06DRB-00606] (E-23) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SET BACK EXHIBIT AND PLANNING TO RECORD. THE VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

13. **Project # 1004679**  
07DRB-00071 Minor-Prelim&Final Plat  
Approval

SHAKEEL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 15B, ALVARADO GARDENS UNIT 2 (to be known as **CAMPBELL ESTATES**) zoned RA-2, W7 residential and agricultural zone, located on CAMPBELL RD NW, between RIO GRANDE BLVD NW and the RIO GRANDE RIVER containing approximately 2 acre(s). [REF: 06DRB00149] [*Deferred from 1/31/07 & 2/7/07*] (G-12) **DEFERRED AT THE AGENT'S REQUEST TO 2/14/07.**



14. **Project # 1004878**  
07DRB-00041 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for GEORGE METZGAR request(s) the above action(s) for all or a portion of Lot(s) 8-13, Block(s) A, **SOUTH BROADWAY ACRES, UNIT 1**, zoned SU-2 FOR MR, located on BETHEL DR SE, between TOPEKA ST SE and the railroad tracks, containing approximately 1 acre(s). [REF: 06DRB-00638] *[Deferred from 1/24/07 & 1/31/07]* (M-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR PLACEMENT OF SIDEWALK.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

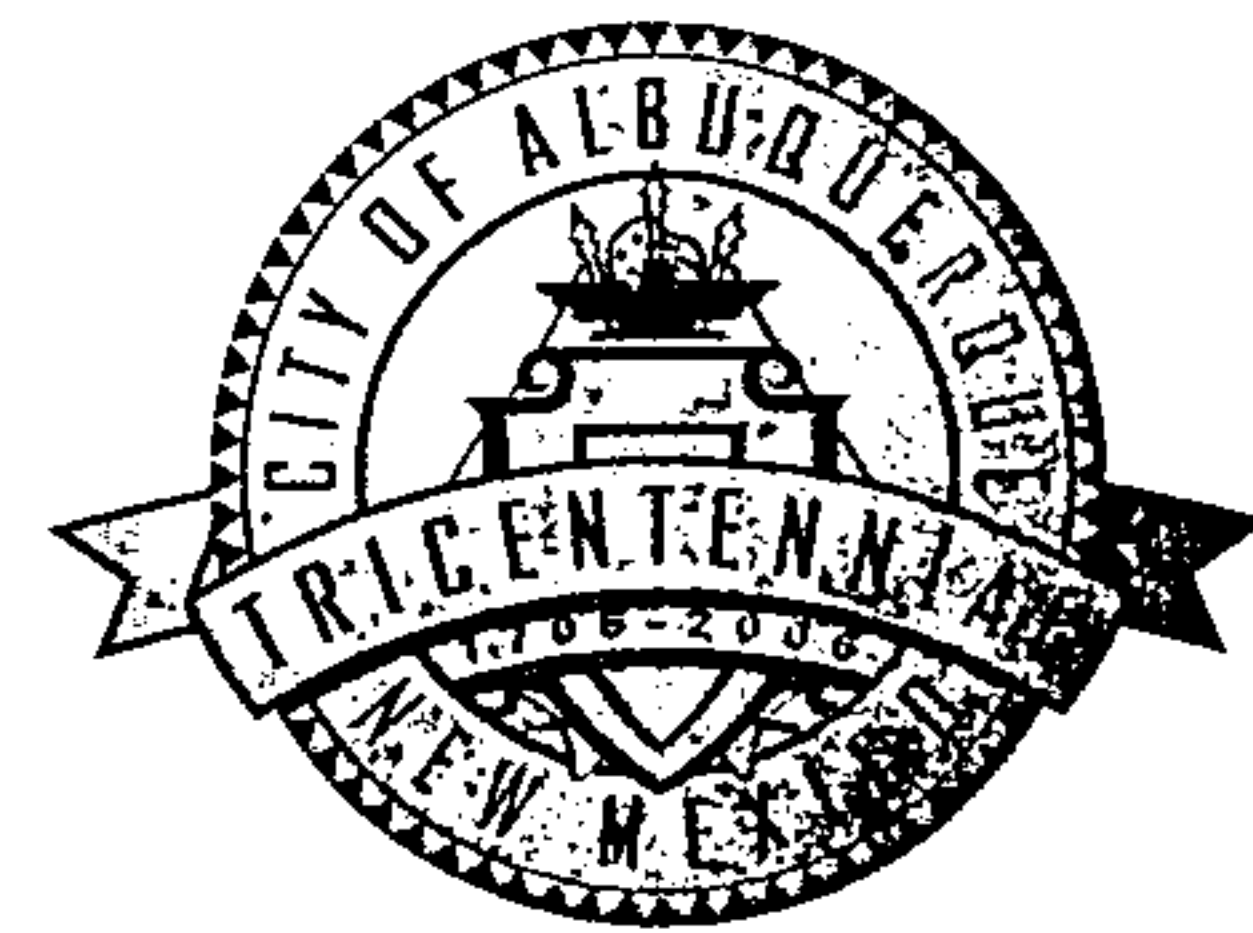
15. **Project # 1005348**  
07DRB-00093 Minor-Sketch Plat or Plan

CLAUDIO VIGIL ARCHITECTS request(s) the above action(s) for all or a portion of Tract(s) 9, UNIT 1, **LADERA BUSINESS PARK**, zoned SU-1 FOR LIGHT INDUSTRIAL, located on LA MORADA PL NW, between LADERA DR NW and UNSER BLVD NW containing approximately 7acre(s). (H-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

16. Approval of the Development Review Board Minutes for January 31, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR JANUARY 31, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:45 A.M.

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

**DRB CASE NO/PROJECT NO: 1005189**

**AGENDA ITEM NO: 5**

**SUBJECT:**

Site Plan for Building Permit

**ACTION REQUESTED:**

REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )

**ENGINEERING COMMENTS:**

An Infrastructure List is required for this site.

An approved SIA with Financial Guarantee(s) is required prior to site plan approval.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

**RESOLUTION:**

2-14-07

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** FEBRUARY 7, 2007



Maggie S.  
Gould@Exchange  
02/07/2007 09:33 AM

To Claire A. Senova/PLN/CABQ@COA  
cc  
bcc  
Subject Project 1005189

To: Claire Senova, Administrative Assistant  
From: Maggie Gould, Planner

For Project 1005189, Garrett Smith Agent for Little Brothers of the Good Shepard

The applicant has satisfied all conditions imposed by the EPC at the November 16, 2006 hearing.

The applicant met with staff prior to DRB submittal.  
Please contact me if there are further questions.

Maggie Gould  
Planner  
Advanced Planning Division  
City of Albuquerque Planning Department  
924-3910  
924-3339 fax



#14



Complete Ag  
~~1-5-07~~

COMPLETED 01/09/07 SH  
DRB CASE ACTION LOG (PREL & FINAL)  
REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>06DRB-01772 (P&amp;F)</u>	Project # <u>1005189</u>
Project Name <u>PEREA ADDITION</u>	
Agent: <u>Surveys Southwest</u>	Phone No.: <u>998-0303</u>

Project Number

1005189

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 1-3-07 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): Revised  
 EPC Conditions on Site Plan. ok Ag  
 \_\_\_\_\_  
 \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
  - 3 copies of the approved site plan. Include all pages.**
  - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
  - Property Management's signature must be obtained prior to Planning Department's signature.**
  - AGIS DXF File approval required.** — OR
  - Copy of recorded plat for Planning.**

#14



# DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-01772 (P&F)

Project # 1005189

Project Name PEREA ADDITION

Agent: Surveys Southwest

Phone No.: 998-0303

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 1-3-07 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

UTILITIES: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

PLANNING (Last to sign): Received

EPC Conditions on Site Plan.

\_\_\_\_\_

\_\_\_\_\_

#### Planning must record this plat. Please submit the following items:

-The original plat and a mylar copy for the County Clerk.

-Tax certificate from the County Treasurer.

-Recording fee (checks payable to the County Clerk): RECORDED DATE: \_\_\_\_\_

-Tax printout from the County Assessor.

3 copies of the approved site plan. Include all pages:

County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

*OK*

Project Number

1005189



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

January 3, 2007

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:20 A.M.

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**  
**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

- 1. **Project # 1000614**  
06DRB-01670 Major-Vacation of Pub  
Right-of-Way

TIERRA WEST LLC agent(s) for LA CUEVA OESTE HOMEOWNER'S ASSOCIATION request(s) the above action(s) for **LA CUEVA OESTE UNIT 4**, zoned R-D residential and related uses zone, developing area, located on HOLLY AVE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 1 acre(s). [REF: 05DRB-00982] [Deferred from 1/3/07] (C-18)  
**DEFERRED AT THE AGENT'S REQUEST TO 1/31/07.**

2. **Project # 1000572**  
06DRB-01714 Major – Bulk Land Variance  
Approval  
06DRB-01715 Minor-Prelim&Final Plat  
Approval

ISAACSON & ARFM PA agent(s) for CENTEX HOMES request(s) the above action(s) for Lot(s) 1B, 2, 3, 5A, 6, 7 & 8, THE LENKURT PROPERTIES (to be known as **TRACTS A & B, THE PRESIDIO**), zoned SU-1 FOR PRD, located on CHICO RD NE, between EUBANK BLVD NE and MORRIS ST NE containing approximately 43 acre(s). [REF: 06DRB-01193, 06DRB-01038, 06DRB-01040, 06DRB-01041, 06DRB-01535, 06DRB-01538] (K-21) **THE BULK LAND VARIANCE WAS APPROVED. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

06DRB-01783 Minor-Amnd SiteDev Plan  
Subd/EPC

CONSENSUS PLANNING agent(s) for CENTEX HOMES, T WATERMAN request(s) the above action(s) for LOTS 1B, 2, 3, & 6, LENKURT PROPERTIES, (to be known as **THE PRESIDIO**) zoned SU-1 FOR PRD & 1P, located on CHICO RD NE, between EUBANK BLVD NE and MORRIS ST NE containing approximately 3 acre(s). [REF: 06DRB-01715] [Catalina Lehner, EPC Case Planner] (K-21) **THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES.**

06DRB-01778 Minor-Amnd Prelim Plat  
Approval  
06DRB-01779 Minor-Sidewalk Waiver  
06DRB-01781 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for LOTS 1B, 2, 3, 5A, 6, 7 & 8, THE LENKURT PROPERTIES, (to be known as bulk land plat of **TRACTS A & B, THE PRESIDIO**) zoned SU-1 FOR PRD, located on CHICO RD NE, between EUBANK BLVD NE and MORRIS ST NE containing approximately 24 acre(s). [REF: 06DRB-01714, 06DRB-01715] (K-21) **THE AMENDED PRELIMINARY PLAT WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT. THE AMENDED INFRASTRUCTURE LIST DATED 1/3/07 AND THE AMENDED GRADING PLAN ENGINEER STAMP DATED 11/13/06 WAS APPROVED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**



3. **Project # 1003469**  
06DRB-01668 Major-Vacation of Public  
Easements

TERRAMETRICS NEW MEXICO agent(s) for  
JEFFREY A. & LORRI M. ZUMWALT request(s) the above  
action(s) for all or a portion of Lot(s) 7-A1 P1, **OAKLAND  
HEIGHTS**, zoned RD (3DU/AC) located on OAK RIDGE  
COURT NE, between BARSTOW ST NE and VENTURA  
ST NE containing approximately 1 acre(s). [REF: 04DRB-  
00891, 06DRB-00882] (C-20) **THE VACATION WAS  
APPROVED AS SHOWN ON EXHIBIT B IN THE  
PLANNING FILE.**

4. **Project # 1005271**  
06DRB-01683 Major-Vacation of Public  
Easements

WALDO GRIEGO request(s) the above action(s) for all or a  
portion of Lot(s) 31, **WEAKS ADDITION**, zoned R-1,  
located on 47<sup>TH</sup> ST NW, between CENTRAL AVE NW and  
GLENDALE AVE NW. (K-12) **THE VACATION WAS  
APPROVED AS SHOWN ON EXHIBIT B IN THE  
PLANNING FILE.**

5. **Project # 1005273**  
06DRB-01692 Major-Vacation of Pub  
Right-of-Way

SURVEYS SOUTHWEST LTD agent(s) for MELLOY  
BROS ENTERPRISES INC request(s) the above action(s)  
for all or a portion of Block(s) 2, **PARIS ADDITION &  
Block(s) 4, ROMERO ADDITION**, zoned C-2, located on  
KINLEY AVE NW, between 5<sup>TH</sup> ST NW and 4<sup>TH</sup> ST NW  
containing approximately 1 acre(s). [*Deferred from 1/3/07*]  
(J-14) **DEFERRED AT THE AGENT'S REQUEST TO  
2/21/07.**

6. **Project # 1005283**  
06DRB-01716 Major-Vacation of Public Easements

PRECISION SURVEYS INC agent(s) for JOURNAL CENTER CORPORATION request(s) the above action(s) for all or a portion of Tract(s) 2A-2A-2B-1, **JOURNAL CENTER**, zoned IP industrial park zone, located on JEFFERSON ST NE, between HEADLINE BLVD NE and JOURNAL CENTER BLVD NE containing approximately 7 acre(s). (D-17) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

7. **Project # 1003673**  
06DRB-01660 Major-Vacation of Public Easements

MOCK ASSOCIATES INC request(s) the above action(s) for all or a portion of Lot(s) 6P1, **OAKLAND SOUTH SUBDIVISION, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA ST NE and BARSTOW ST NE containing approximately 1 acre(s). [Deferred from 12/20/06] [REF: 05DRB-01212] [Deferred from 12/20/06] (C-20) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

8. **Project # 1002739**  
06DRB-01621 Major-Vacation of Public Easements  
06DRB-01622 Major-Vacation of Pub Right-of-Way  
06DRB-01623 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for **ANDERSON HEIGHTS, UNIT 5A**, zoned RD/RLT, located on 118<sup>TH</sup> ST SW, between DENNIS CHAVES BLVD SW and COLOBEL AVE SW containing approximately 41 acre(s). [REF: 06DRB-01431] [Deferred from 12/6/06 & 12/13/06 & 12/20/06] [Deferred from 1/3/07] (P-8) **DEFERRED AT THE BOARD'S REQUEST TO 1/10/07.**

9. **Project # 1004075**  
06DRB-01537 Major-Vacation of Pub  
Right-of-Way  
06DRB-01539 Major-Vacation of Public  
Easements

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, 4B, 4C and 1 through 15, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25 SW, between BROADWAY BLVD SW and LOS PICAROS RD SW containing approximately 2,294 acre(s). [REF: 06DRB-00744] [Deferred from 11/15/06 & 12/13/06 & 1/3/07]. (R-16, Q-16, R-15, R-17, S-14, S-16, S-17, T-16) **DEFERRED AT THE AGENT'S REQUEST TO 1/17/07.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

10. **Project # 1004801**  
06DRB-01748 Minor-SiteDev Plan  
Subd/EPC  
06DRB-01747 Minor-Prelim&Final Plat  
Approval

TIERRA WEST LLC agent(s) for FRATERNAL ORDER OF POLICE, ALBUQUERQUE LODGE 1 request(s) the above action(s) for all or a portion of Tract(s) 1 & 2, **FRATERNAL ORDER OF POLICE ADDITION**, zoned IP, located on JEFFERSON ST NE, between the BEAR ARROYO and OSUNA NE containing approximately 10 acre(s). [REF: 06EPC-01443, 06EPC-01441] [Deferred from 12/20/06] [Stephanie Shumsky, EPC Case Planner] (E-17) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PARKING CALCS AND PLANNING FOR 3 COPIES. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/3/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1004354**  
06DRB-01426 Minor- Final Plat Approval
- TIERRA WEST LLC agent(s) for MONAHITI LLC request(s) the above action(s) for all or a portion of Lot(s) 22-26, Block(s) 9, **ORIGINAL TOWNSITE OF WESTLAND**, zoned SU-2 for C-2, IP uses, located on 98<sup>TH</sup> ST NW, between CENTRAL AVE NW and VOLCANO RD NW containing approximately 2 acre(s). [REF: 05DRB-01229, 05EPC-01234] *[Final Plat Indef Deferred on 10/11/06 for SIA & deferred on 1/3/07 for agreement]* (K-9) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
12. **Project # 1005228**  
06DRB-01767 Minor-Prelim&Final Plat Approval
- EDWIN G CHAVEZ agent(s) for MARIA F. T. LOPEZ & MARY FRANCIS MCDONALD request(s) the above action(s) for TRACTS 34-A, 34-B, 34-C & 34-D (to be known as **LANDS OF FRANCES AND THERESA**) zoned RA-2, located on SAN ISIDRO DR NW, between CANDELARIA RD NW and DON JUAN CT NW containing approximately 1 acre(s). (G-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO CHECK FOR OPENING OF 2 NEW ACCOUNTS AND CONSTRUCTION OF 2 ADDITIONAL WATER/SEWER SERVICE CONNECTIONS AND PLANNING FOR AGIS DXF FILE AND TO RECORD.**
13. **Project # 1003778**  
06DRB-01744 Minor-Final Plat Approval
- SHAKEEL RIZVI agent(s) for CLEARBROOK INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 21 & 22, Block(s) 2, **SHAHEEN NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). *[Deferred from 12/20/06]* (C-19) **FINAL PLAT WAS APPROVED WITH FINAL SIGN. OFF DELEGATED TO PLANNING TO RECORD.**

14. ~~Project # 1005189~~  
06DRB-01772 Minor-Prelim & Final Plat  
Approval

SURVEYS SOUTHWEST, LTD agent(s) for GERARD SULLIVAN request(s) the above action(s) for all or a portion of Lot(s) 1-10, Block(s) 45, **PEREA ADDITION**, zoned SU-1/SU-2 FOR 0-1 FOR FOUND HOUSE AND RELIGIOUS ACT, located on MOUNTAIN RD NW, between 14<sup>TH</sup> ST NW and 13<sup>TH</sup> ST NW containing approximately 1 acre(s). [REF: Z-89-100] (J-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR EPC CONDITION ON SITE PLAN.**

15. **Project # 1005247**  
06DRB-01605 Minor-Prelim & Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for GILBERT LOVATO, K-RAM INC request(s) the above action(s) for all or a portion of Lot(s) 30, Block(s) 10, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-1 & M-1, located on OAKLAND AVE NE, between SAN MATEO BLVD NE and EAGLE AVE NE containing approximately 1 acre(s). [*Indef deferred from 11/15/06 & Indef deferred 1/3/07*] (C-18) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

16. **Project # 1003257**  
06DRB-01720 Minor-Subd Design (DPM)  
Variance

MARK GOODWIN & ASSOCIATES, PA agent(s) for SALTILLO, LLC request(s) the above action(s) for **SALTILLO, UNIT 2**, zoned R-1, located on BLACK ARROYO RD NW, between MCMAHON BLVD NW and CALABACILLAS ARROYO containing approximately 172 acre(s). [*Deferred from 12/20/06*] (A-10) **A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

17. **Project # 1003094**  
06DRB-01787 Minor-Sketch Plat or Plan
- TREVESTON ELLIOTT WORKSHOP ARCHITECTS agent(s) for S G PROPERTIES, ROMERO-ROSE request(s) the above action(s) for all or a portion of Lot(s) 1-24, Block(s) 30, **NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE**, zoned SU-3 special center zone, located on 2<sup>ND</sup> ST SW, between SILVER AVE SW and LEAD AVE SW containing approximately 2 acre(s). [REF: 03DRB-01997] (L-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
18. **Project # 1005185**  
06DRB-01786 Minor-Sketch Plat or Plan
- HARRIS SURVEYING INC agent(s) for W INVESTMENTS request(s) the above action(s) for PARCEL 2-A-1, LAND OF EDMUND I RADY (to be known as **CIELO VISTA**) zoned C-2 community commercial zone, located on MONTGOMERY BLVD NE, between TRAMWAY BLVD NE and BERMUDA RD NE containing approximately 3 acre(s). (F-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
19. **Project # 1005312**  
06DRB-01771 Minor-Sketch Plat or Plan
- PATRICK SERDO request(s) the above action(s) for all or a portion of Lot(s) 1, Block(s) 54, **FOUR HILLS 17TH INSTALLMENT**, zoned R-1, located on WAGON TRAIN DR SE, between CASTELLANO SE and CATRON SE containing approximately 1 acre(s). [Deferred from 1/3/07] (M-23) **DEFERRED AT THE AGENT'S REQUEST TO 1/10/07.**

20. **Project # 1005302**  
06DRB-01742 Minor-Sketch Plat or Plan

SURVEYS SOUTHWEST LTD agent(s) for WILLIAM W DORN SR. request(s) the above action(s) for all or a portion of Lot(s) 7, Block(s) 26, **EASTERN ADDITION**, zoned SU-2 LCR, located on LEWIS AVE SE, between EDITH ST SE and WALTER ST SE containing approximately 1 acre(s). *[Deferred from 12/20/06]* (L-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project # 1005236**  
06DRB-01690 Minor-Sketch Plat or Plan

NANCI STAHLMAN request(s) the above action(s) for Lot(s) H & I OF PLAT TRACT A-D & F-K and Lot(s) 5-A, 6-A, 19-A & 20-A, **LA CUESTA SUBDIVISION**, zoned RT, located on JUAN TABO BLVD NE, between INTERSTATE 40 FRWY and PAISANO NE containing approximately 3 acre(s). *[Deferred from 12/20/06]* (K-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. Approval of the Development Review Board Minutes for December 20, 2006. **THE DRB MINUTES FOR DECEMBER 20, 2006 WERE APPROVED.**

ADJOURNED: 11:20 A.M.



# 14  
1005189  
01/03/07

J13

14TH

GRANITE

BROTHER MARTIAS

1  
1322

2  
1322

3  
901

5  
901

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901

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908

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908

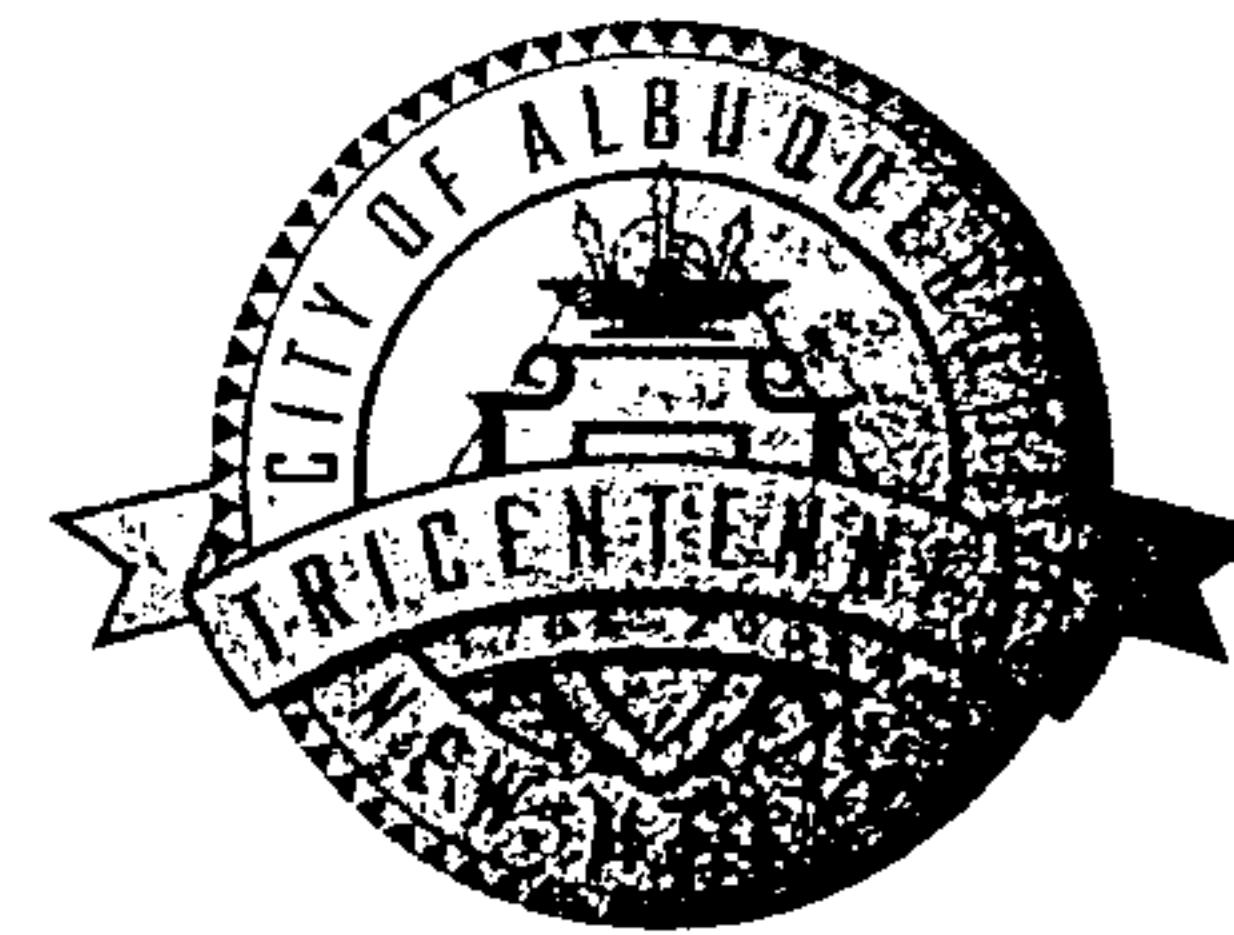
5  
1322

901

7  
901



# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD – SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1005189**

**AGENDA ITEM NO: 14**

**SUBJECT:**

Final Plat  
Preliminary Plat

**ACTION REQUESTED:**

**REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )**

**ENGINEERING COMMENTS:**

P.O. Box 1293

No adverse comments.

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**RESOLUTION:**

APPROVED \_\_; DENIED \_\_; DEFERRED \_\_; COMMENTS PROVIDED \_\_; WITHDRAWN \_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** JANUARY 3, 2007

**5189**

### DXF Electronic Approval Form

DRB Project Case #: 1005189

Subdivision Name: PEREA BLOCK 45 LOT 1A

Surveyor: LARRY W MEDRANO


Contact Person: SARAH AMATO

Contact Information: 998-0303

DXF Received: 12/22/2006

Hard Copy Received: 12/22/2006

Coordinate System: Ground rotated to NMSP Grid

  
Approved

12-22-2006  
Date

\* The DXF file cannot be accepted (at this time) for the following reason(s):

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**AGIS Use Only**  
Copied fc 5189 to agiscov on 12/22/2006 Contact person notified on 12/22/2006

ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME Little Brothers of the Good Shepherd.  
AGENT Garrett Smith LTD  
ADDRESS 514 Central Ave SW.  
PROJECT & APP # 1005189 /  
PROJECT NAME \_\_\_\_\_

\$ \_\_\_\_\_ 441032/3424000 Conflict Management Fee  
\$ 50.<sup>00</sup> 441006/4983000 DRB Actions *deferral fee*  
\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
\$ \_\_\_\_\_ 441018/4971000 Public Notification  
\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study  
\$ 50.<sup>00</sup> TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

**GARRETT SMITH LTD.** 07/91  
514 CENTRAL SW 505-766-6968  
ALBUQUERQUE, NM 87102

13041  
95-219/1070 176  
1017550548

DATE February 16, 2007

PAY TO THE ORDER OF CITY OF ALBUQUERQUE \$ 50.00  
Fifty and No/100 DOLLARS

WELLS FARGO Wells Fargo Bank, N.A.  
New Mexico  
wellsfargo.com

FOR PROJ. NO. 1005189  
LITTLE BROTHERS OF THE GOOD SHEPHERD

*Stephanie Vencil*

⑈0000013041⑈ ⑆107002192⑆ 1017550548⑈

MP

Thank You

**ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services**

**PAID RECEIPT**

APPLICANT NAME LITTLE BROTHERS OF THE GOOD SHEPARD  
 AGENT GARRETT SMITH  
 ADDRESS \_\_\_\_\_  
 PROJECT & APP # 1005189/07DRB00089  
 PROJECT NAME \_\_\_\_\_

\$ \_\_\_\_\_ 441032/3424000 Conflict Management Fee  
 \$ 50.00 441006/4983000 DRB Actions DEFERRAL FEE  
 \$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
 \$ \_\_\_\_\_ 441018/4971000 Public Notification  
 \$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
      Major/Minor Subdivision    Site Development Plan    Bldg Permit  
      Letter of Map Revision    Conditional Letter of Map Revision  
      Traffic Impact Study  
 \$ 50.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

**BRASHER & LORENZ, INC.**  
 CONSULTING ENGINEERS  
 2201 SAN PEDRO NE BUILDING 1 SUITE 1200  
 ALBUQUERQUE, NM 87110  
 (505) 888-6088

**NEW MEXICO BANK & TRUST**  
 ALBUQUERQUE, NM 87103  
 95-654-1070

718

2/20/07

PAY TO THE ORDER OF

City of Albuquerque

\*\*\*DUPLICATE\*\*\*  
 City of Albuquerque  
 Treasury Division

Fifty Dollars and 7/100

DOLLAR

2/20/2007 11:48AM LOC: ANNX  
 RECEIPT# 00076353 WSH 007 TRNSH 0046  
 Account 441006 Fund 0110  
 Activity 4983000 TRNSF  
 Trans Amt \$50.00  
 J24 Misc \$50.00  
 CK \$50.00  
 CHANGE \$0.00

MEMO

0007183 10700654 610 435 0 Thank You

ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME Little Brothers of the Good Shepard  
AGENT Garrett Smith  
ADDRESS \_\_\_\_\_  
PROJECT & APP # 1005189 / 07 DRB-000089  
PROJECT NAME \_\_\_\_\_

\$ \_\_\_\_\_ 441032/3424000 Conflict Management Fee  
\$ 50.<sup>00</sup> 441006/4983000 DRB Actions *deferral fee*  
\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
\$ \_\_\_\_\_ 441018/4971000 Public Notification  
\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study  
\$ 50.<sup>00</sup> TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

7206

BRASHER & LORENZ, INC.  
CONSULTING ENGINEERS  
2201 SAN PEDRO NE BUILDING 1 SUITE 1200  
ALBUQUERQUE, NM 87110  
(505) 888-6088

NEW MEXICO BANK & TRUST  
ALBUQUERQUE, NM 87103  
95-654-1070

2.23.07

PAY TO THE ORDER OF

CITY OF ALBUQUERQUE

\*\*\*DUPLICATE  
City of Albuquerque  
Treasury Division  
\$ 50.<sup>00</sup>

FIFTY

DOLLARS

MEMO

06507

2/27/2007 11:32AM DEPT ANNEX  
RECEIPT# 00073470 USH 006 TRANS# 0013  
Account: 44-000 Fund: 0110  
Activity: 492700 TRBCCF  
Trans Amt: \$50.00  
J2's Rate: \$50.00  
CR: \$0.00  
CHANGE: \$0.00



⑈007206⑈ ⑆107006541⑆ 610 435 0⑈

Thank You

Security Features Included: Details on back.

Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

Date Submitted: 02-20-2007

Date Site Plan Approved: \_\_\_\_\_

Date Preliminary Plat Approved: \_\_\_\_\_

Date Preliminary Plat Expires: \_\_\_\_\_

DRB Project No.: 1005189

DRB Application No.: \_\_\_\_\_

**INFRASTRUCTURE LIST**

(Rev. 9-20-05)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**LITTLE BROTHERS OF THE GOOD SHEPARD  
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**LOT 1-A, BLOCK 45, PEREA ADDITION  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		NA	FIRE HYDRANT	NW CORNER 14th ST NW AT GRANITE AVE NW	NA	NA	/	/	/
		6'	STRIPED BIKE LANE	MOUNTAIN ROAD NW	14th STREET NW	BROTHER MATHIAS NW	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

1  
2  
3

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---



---

**AGENT / OWNER**

DENNIS A. LORENZ

NAME (print)

BRASHER + LORENZ

FIRM

*[Signature]* 2.19.07

SIGNATURE - date

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

DRB CHAIR - date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

\_\_\_\_\_ - date

CITY ENGINEER - date

\_\_\_\_\_ - date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

Sheron Matson, Chair  
DRB, City of Albuquerque  
Little Brothers of the Good Shepard  
2/20/2007

---

**PLANNING:**

Site Plan

6. DRB signature block is provided.

Landscaping Plan

7. Junipers have been replaced by rosemary and other suitable plants on the Landscaping Plan.
8. Water usage is itemized for each tree.
9. A typical tree planting detail is reduced in size.
10. Typical landscaping and irrigation notes are placed on the plan as requested.

Please schedule for the February 28, 2007 DRB meeting. If you have any questions, or if I can be of any assistance, please feel free to call.

Sincerely,

**BRASHER & LORENZ, INC.**

Dennis A. Lorenz, PE  
Principal

/dl/06507  
encl



**G A R R E T T S M I T H L T D**  
DESIGN. ARCHITECTURE & DEVELOPMENT

www.garrett-smith-ltd.com  
gsl@garrett-smith-ltd.com

February 20, 2007

Brasher & Lorenz, Inc.  
2201 San Pedro NE  
Bldg No. 1, Suite 1200  
Albuquerque, New Mexico 87110

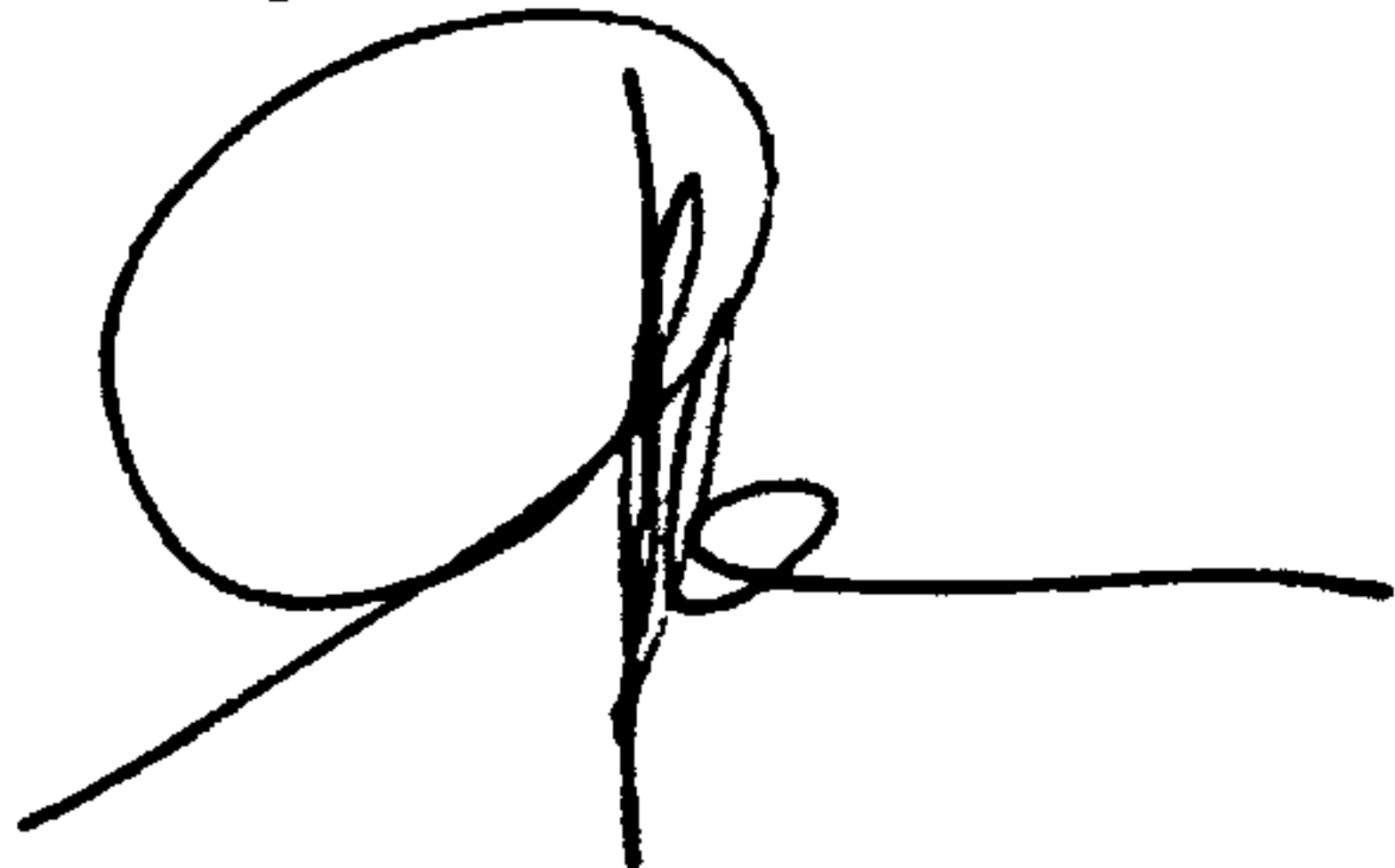
RE: Letter of Agency

Dear Mr. Lorenz,

This letter is to grant authorization to you and your company, Brasher & Lorenz, Inc., to serve on behalf of Garrett Smith Ltd. with respect to DRB proceedings with the City of Albuquerque for the Little Brothers of the Good Shepherd. Garrett Smith Ltd. is the authorized representative for the Little Brothers of the Good Shepherd for the residential project on the properties located at 901 Brother Mathias Place NW and 1322 Mountain Road NW. Please use this letter for Design Review Board proceedings to the City of Albuquerque for your work on the above referenced properties.

Should any questions arise as to the purpose of your company's actions on our behalf, please do not hesitate to have the concerned officials contact our office.

With Regards,



Garrett Smith, AIA  
Garrett Smith Ltd.

513 CENTRAL SW  
ALBUQUERQUE  
NEW MEXICO  
8 7 1 0 2  
PHONE 766 6968  
FAX 243 4508


**G A R R E T T S M I T H L T D**  
DESIGN, ARCHITECTURE & DEVELOPMENT

SIX CENTRAL SW  
ALBUQUERQUE  
NEW MEXICO  
8 7 3 0 2  
505-766-6568  
FAX 505-243-4508

Sheran Matson, DRB Chairperson  
City of Albuquerque  
Planning Department

Please defer The Little Brothers of the Good Shepherd to February 21, 2007 due to scheduling conflicts.

**Project # 1005189**  
07DRB-00089 Minor-SiteDev Plan  
BldPermit/EPC

Thank you,  
  
Colin Morris

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Little Brothers of the Good Shepherd PHONE: 815.472.3131  
 ADDRESS: 901 Brother Mathias Place NW FAX: 815.472.6194  
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: NA  
 Proprietary interest in site: Monastery List all owners: Little Brothers of the Good Shepherd  
 AGENT (if any): Garrett Smith Ltd. PHONE: 505.766.6968  
 ADDRESS: 514 Central Avenue SW FAX: 505.243.4508  
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: garrett-smith-ltd.com

DESCRIPTION OF REQUEST: Approval of Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 1-A Block: 45 Unit: ---  
 Subdiv. / Addn. Perea Addition  
 Current Zoning: SU2/SU1 for found. house & rel. act. Proposed zoning: ---  
 Zone Atlas page(s): J-13-Z No. of existing lots: 1 No. of proposed lots: 1  
 Total area of site (acres): 1.1388 acres Density if applicable: dwellings per gross acre: 30 dwellings per net acre: 30  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No  
 UPC No. #101305840830011001, #101305841031111004, #101305842330211002 MRGCD Map No. ---

LOCATION OF PROPERTY BY STREETS: On or Near: Mountain Road NW  
 Between: 14th Street NW and Brother Mathias Place NW

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): SD-76-6-3/Z-89-100

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team  Date of review: Jan. 10, 2006 PA # 06-004

SIGNATURE [Signature] DATE January 27, 2007  
 (Print) Garrett Smith, AIA  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>070RB - 00089</u>	<u>SBP</u>		<u>0-</u>
<input type="checkbox"/> All fees have been collected				\$ <u>20.00</u>
<input type="checkbox"/> All case #s are assigned			<u>CMF</u>	\$ <u>20.00</u>
<input type="checkbox"/> AGIS copy has been sent				\$ <u>---</u>
<input type="checkbox"/> Case history #s are listed				\$ <u>---</u>
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ <u>---</u>
<input type="checkbox"/> F.H.D.P. density bonus				\$ <u>---</u>
<input type="checkbox"/> F.H.D.P. fee rebate				\$ <u>---</u>
	Hearing date <u>02-07-07</u>			Total <u>\$ 20.00</u>

[Signature] 01-30-07 Project # 1005189

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAN REVIEW AND COMMENT**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Completed Site Plan for Subdivision Checklist
  - Infrastructure List, if relevant to the site plan
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

GARRETT SMITH  
 Applicant name (print)  
Jan 27, 2007  
 Applicant signature / date

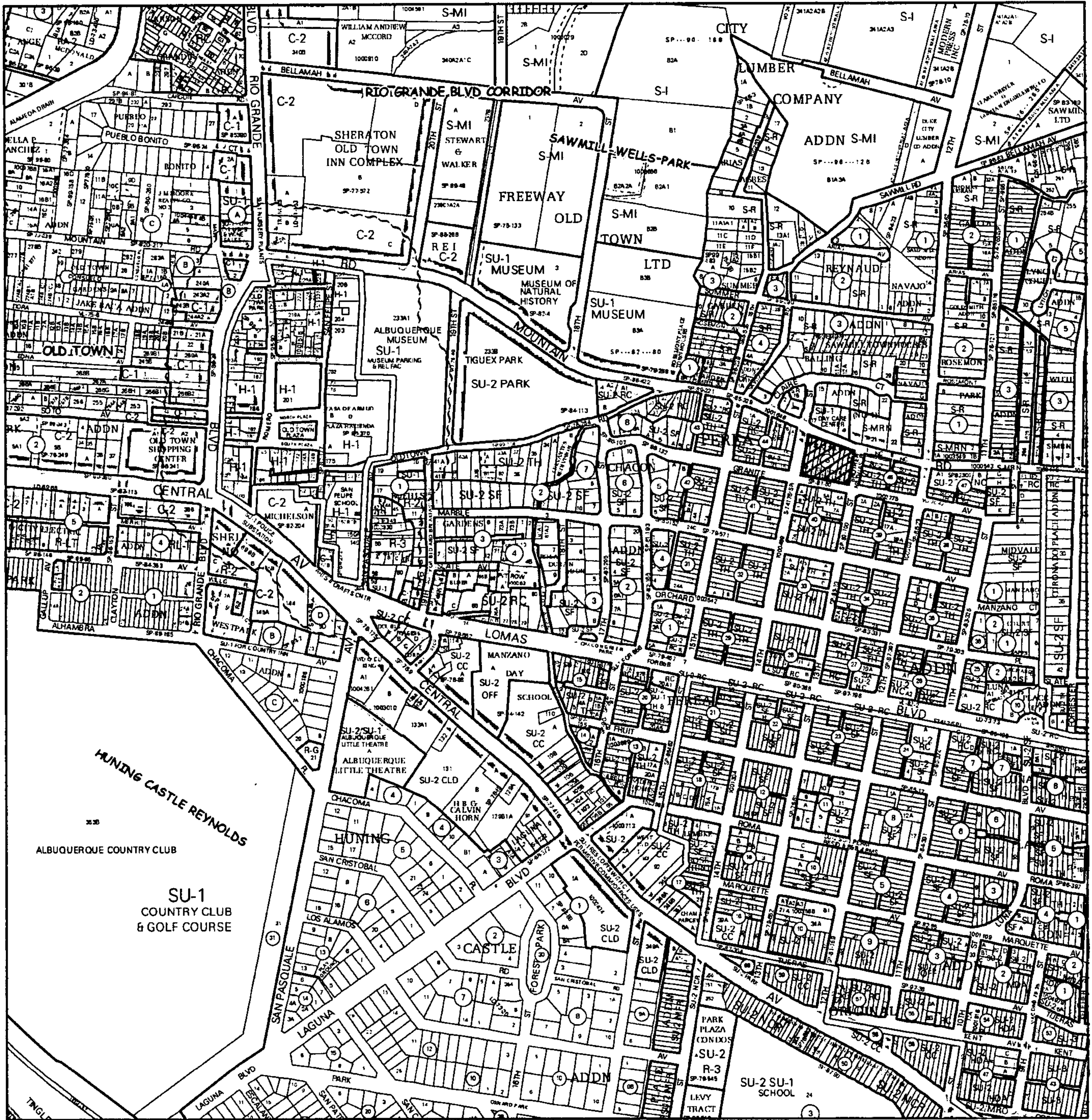


Form revised JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
07 DRB - - 00089  
 \_\_\_\_\_  
 \_\_\_\_\_

Joseph Mena 01-30-07  
 Planner signature / date  
**Project # 1005189**



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 9/5/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**J-13-Z**

Selected Symbols

SECTOR PLANS	Facarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



City of Albuquerque  
Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: November 17, 2006

## OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1005189\***  
06EPC-01442 EPC Site Development Plan-  
Building Permit

Garret Smith, Garrett Smith LTD  
514 Central Ave. SW  
Albuq. NM 87102

LEGAL DESCRIPTION: for all or a portion of Lots 1-10, **Perea Addition**, zoned SU-2/SU-1 for Found House & Related Activities, located on MOUNTAIN RD. NW, between 14TH ST. NW and BROTHER MATHIAS PLACE, containing approximately 2 acres. (J-13) Maggie Gould, Staff Planner

On November 16, 2006 the Environmental Planning Commission voted to approve Project 1005189/06 EPC 01442, a Site Plan for Building Permit for Lots 1-10, block 45 of the Perea Addition, based on the following Findings and subject to the following Conditions:

### FINDINGS:

1. This is a request for a Site Plan for Building Permit for an approximately one acre site located on Mountain road between 13<sup>th</sup> and 14<sup>th</sup> streets and Granite avenue, lots 1-10, block 45 of the Perea Addition.
2. The site is located along Mountain road, an historic area.
3. The site has been home to Little Brothers of The Good Shepard Monastery since 1956.
4. Several Comprehensive Plan Policies are furthered by this request:
  - a. Established Urban Area policies:

The Goal and Policies a, d, and e are furthered by this request because it will add to the density and mix of uses in the area, the design is compatible with the existing development in the area, there is neighborhood support and the site has access to a full range of municipal services. Policies f and h are furthered by this request the housing will clustered and the large center courtyard will be maintained. The housing will have good access to the street network and there is a mixed density pattern in the neighborhood.

Policies l and m are furthered by this request because the proposed buildings are well designed and will add to the visual appeal of the area.

Policy o is furthered by this request because this project add too the ongoing revitalization in the area.

b. Housing

The goal and policy a area furthered because the housing on this site will provide a persons of a lower income bracket.

Policy b is furthered because the proposed housing is well designed and takes the history and character of the neighborhood into consideration.. This project will fit into the overall revitalization of the area.

Policy c is furthered because this project will provide housing for persons of a lower income bracket and will preserve the existing historic character of the neighborhood.

c. Community Identity And Urban Design

The goal is furthered because this project will help to preserve and enhance the built character of the area because it is compatible with the existing structures, and will respect the existing historic character of the area.

d. Transportation And Transit

Policy c is furthered by this request because the site is close to a variety of public transportaion.

Policy g is furthered by this request because the site has access to standard sidewalks and access to public transit. The new street trees will add a pedestrian amenity. Additionally, the applicant will be required to build a portion of the bikepath adjacent to the site.

Policy o will be furthered by this request because the residents of the proposed buildings will have shared cars and will have most of their needs met on site.

e. Historic Resources

The goal and policy b will be furthered by this request because the proposed site plan preserves existing historic structures on the site. The new building will be compatible with the surrounding area. The building has been designed to compliment the existing historic character of the area. Staff consulted with the historic preservation planners for the Planning Department, regarding the history and the significance of the site.

5. Policies of the Downtown Neighborhood Area Sector Development Plan are furthered by this project. The new building will remove a vacant structure on the property. The building will be compatible with the existing development pattern. The architecture of the new building was designed with consideration of the existing buildings on the site and in the neighborhood.
6. The Downtown Neighborhood Association is in support of this project.
7. The Sawmill Neighborhood Association was notified and supports this project.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. All landscape areas shall contain 75% live vegetative cover.
  - a. Flowering Cherry and Flowering Crabapple shall be replaced with fruit bearing varieties of these trees or a similar fruit bearing tree.
  - b. Flowering Pear shall be replaced with a low water tree, such as Royal Empress or Pink Flowering Dogwood.
  - c. The Eastern Redbud shall be replaced with a more appropriate street tree, such as Black or Purple Robe Locust.
  - d. The removed trees along 14<sup>th</sup> street shall be replaced with an appropriate low water street tree.
  - e. Contractors shall assure percolation of all planting pits prior to the installation of the trees amending as necessary for proper water retention or drainage.
  - f. Cut and remove all wire and/or rope from the root ball. Peel back the burlap to expose the majority of the root ball. If the root ball is of synthetic material remove it entirely.
3. The current 10 lots shall be replatted into 1 lot.
4. The dumpster shall be relocated per the direction of the Solid Waste Department.
6. Conditions From City Engineer, Municipal Development, Water Authority and NMDOT:
  - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - b. Delete parking, as shown on site plan, accessing Building F from Mountain Road (does not meet criteria for accessing a collector street). An alternate might be two spaces facing head in if adequate maneuvering on-site is provided for (no direct backing into Mountain Road permitted).
  - c. Provide 6' sidewalk adjacent to Mountain Road.
  - d. Provide 15' reverse curve bump outs at site drive on 14<sup>th</sup> Street (sides of drive).



- e. Site plan shall comply and be designed per DPM Standards or as previously discussed with Traffic Engineer.
  - f. Construction of the bicycle lane along Mountain Road adjacent to the subject property, as designated on Long Range Bikeways System map.
7. Revised site development plan shall eliminate spaces 20-23 and replace them with a landscape area.

**IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY DECEMBER 1, 2006 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.**

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

**YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).**

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

OFFICIAL NOTICE OF DECISION  
NOVEMBER 16, 2006  
PROJECT #1005189  
PAGE 5 OF 5

Sincerely,

*C. Marone*  
*for* Richard Dineen  
Planning Director

RD/MG/ac

cc: Little Brothers of the Good Shepard, 901 Brother Mathias Place, NW, 87102  
Richard Deutsch, Downtown NA, 410 Luna Blvd. NW, Albuquerque, NM 87102  
Jennifer de Garmo, Downtown Na, 1021 Forrester St. NW, Albuquerque, NM 87102  
Lezle Williams, Sawmill Area NA, 1127 12<sup>th</sup> St. NW, Albuquerque, NM 87104  
Larry Schultz, Sawmill Area NA, 1324 Sawmill Rd. NW, Albuquerque, NM 87104



# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

### 2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including handicapped spaces
  - 2. Calculations: spaces required: 25 provided: 29  
Handicapped spaces required: 1 provided: 2
- B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required: 12  
provided: 12
  - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths
  - 2. Location and dimension of drive aisle crossings, including paving treatment
  - 3. Location and description of amenities, including patios, benches, tables, etc.

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

## 4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

## 5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- 15. Planting or tree well detail
- 16. Street Tree Plan as defined in the Street Tree Ord.

## SHEET #3 –PRELIMINARY GRADING PLAN –

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

## A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

## B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

## SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. For EPC and DRB submittals only – Color renderings or similar illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

### B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

*Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.*

January 24, 2007

Development Review Board  
City of Albuquerque Planning Department  
Plaza del Sol  
600 Second Street NW  
Albuquerque, New Mexico 87102

Subject: DRB Application, Little Brothers of the Good Shepherd  
Site Development Plan for Building Permit

Dear City of Albuquerque Development Review Board,

We are pleased to submit for your approval an infill, owner-occupied housing project for the Little Brothers of the Good Shepherd, located at 901 Brother Mathias Place NW, Albuquerque, NM 8710, between Brother Mathias Boulevard and 14th Street. The present application is for DRB approval of Site Development Plan for Building Permit.

The site is currently occupied by a monastery for the Little Brothers of the Good Shepherd, founded by Brother Mathias Barrett in 1951, and has been occupied as such for over 55 years. The Brothers would like to make improvements to their existing facilities, bringing them up to accessibility standards, and would like to add to the northern half of their property eighteen (18) new residential dormitories and three (3) apartments, all to be used by monastery residents. This portion of the property is currently vacant and/or dilapidated. An old and ruined house that sits on the northwest corner of the block will be demolished in the process.

The approximate area of the proposed new construction is 18,618 GSF heated with 19 on-site parking spaces and 10 on-street parking spaces provided within the existing curb line. There is currently a public transit stop on the block of this project located on Mountain Road adjacent to Brother Mathias Place. The project will be two stories with a maximum height of 26'-0".

We have met with or contacted the two impacted neighborhoods, the Downtown Neighborhood Association and the Sawmill Area Neighborhood Association to discuss this proposal. We have documented the potential concerns of each neighborhood and have addressed them in the project design.

The planned project for the Little Brothers of the Good Shepherd is designed to front Mountain Road with dormitories to match the scale and massing of other 2-story projects on site and in the area. As designers of some of the residential projects in the area, we have a soundly-researched knowledge of the neighborhood typologies and the strategies they employ. We have studied front, side and rear elevations of these and other similar project types to develop a building that is in agreement with area residences. Features of the design include variations in facade depth, color, and material as well as an extensive landscaping strategy to amplify contextuality. The design will maintain and enhance the existing residential character of Mountain Road and the Downtown and Sawmill Area neighborhoods while fulfilling a need for housing as articulated by the Brothers, and consistent with the goals of the Albuquerque Metropolitan Redevelopment Agency to create projects that foster sound community growth.

Construction of the project will take place in a single phase. The current property was comprised of 10 lots that were replatted into one property following EPC approval. There are a number of recent and current development projects that have focused on this section of Mountain Road as a vibrant component of the urban neighborhood lifestyle that is emerging in Albuquerque. We have creatively engaged this trend while giving attention to the many concerns that redevelopment projects pose to neighborhoods in order to develop a project that will be a good neighbor and have a positive impact on the stability, image, diversity and safety of the Downtown and Sawmill Area neighborhoods.

We have received EPC approval in an official notification of decision letter from November 17, 2006 and we met with our staff planner, Maggie Gould, on January 25, 2007 to ensure all conditions of approval were met. In response to their conditions for approval, we have revised the plans to reflect the following:

1. (Comment 3.a.) Flowering Cherry was replaced with Gala Apple. Flowering Crabapple was replaced with Bartlett Pear.
2. (Comment 3.b.) Flowering Pear replaced by Royal Empress.
3. (Comment 3.c.) Eastern Redbud replaced with Purple Robe Locust as street tree.
4. (Comment 3.d.) One tree along 14<sup>th</sup> to remain and a Purple Robe Locust street tree added to the north.
5. (Comment 3.e.) See note 12, detail 6/AL1 (Landscape Plan Sheet) for percolation instructions.
6. (Comment 3.f.) See note on detail 4/AL1 (Landscape Plan Sheet) for root ball notation.
7. (Comment 3.) The previous 10 lots have been replatted into 1.
8. (Comment 4.) The dumpster location has been modified per the direction of the Solid Waste Department.
9. (Comment 6.a.) See note on AC1 – Site Plan Drawing.
10. (Comment 6.b.)
11. (Comment 6.c.) A 6' sidewalk adjacent to Mountain Rd. has been provided.
12. (Comment 6.d.) Reverse curve bumpout curbs with 15' radius have been indicated at site drive on 14<sup>th</sup> street.
13. (Comment 6.e.) Site Plan complies with DPM Standards.
14. (Comment 6.f.) Bicycle lane along Mountain Rd. per COA's Long Range Bikeways System has been indicated.
15. (Comment 7.) Parking has been deleted and access from Mountain Rd. removed.

The following is a synopsis of the vital information on the project:

Street Address:

1322 Mountain Rd. NW  
901 Brother Mathias Pl. NW

Legal Description:

Lot: 1-A    Block: 45    Subdivision: Perea Addition

Physical Description:

The project encompasses the entire block bounded by Mountain Road, Granite Avenue, 14th Street, & Brother Mathias Place zoned SU-2 and currently having a religious and residential land use in the form of a monastery.

DRB Request:

Approval of Site Development Plan for Building Permit for 21 new residential units and existing facility improvements.

Applicant:

Little Brothers of the Good Shepherd  
901 Brother Mathias Pl. NW  
Albuquerque, NM 87102

Agent:

Garrett Smith  
Garrett Smith Ltd.  
514 Central Av. SW  
Albuquerque, NM 87102

Respectfully yours,



Garrett Smith, AIA  
President



FROM : GSL

FAX NO. : 5052434508

Sep. 29 2006 11:26AM P2

October 3, 2006

Garrett Smith, AIA  
Garrett Smith Ltd.  
514 Central Avenue SW  
Albuquerque, New Mexico 87102

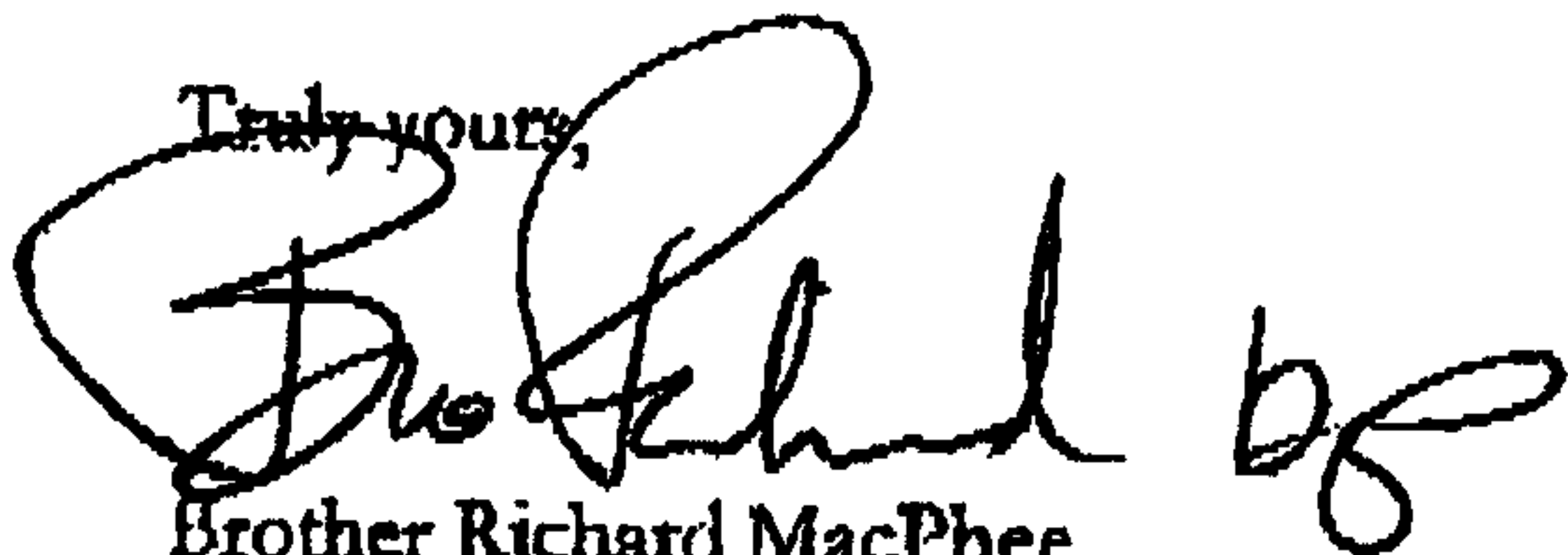
Subject: Letter of Agency

Dear Mr. Smith,

This letter constitutes our authorization for you and your company, Garrett Smith Ltd., to act on behalf of the Little Brothers of the Good Shepherd in the proceedings to acquire the necessary permits to complete the residential project on our properties located at 901 Brother Mathias Place NW and 1322 Mountain Road NW. Please use this letter for any and all applications to the City of Albuquerque, including the those made to the Environmental Planning Commission and the Design Review Board for the referenced properties.

Should any questions arise as to the purpose of your company's actions on our behalf, please do not hesitate to have the concerned officials contact our office.

Truly yours,



Brother Richard MacPhee  
Executive Director

October 3, 2006

Garrett Smith, AIA  
Garrett Smith Ltd.  
514 Central Avenue SW  
Albuquerque, New Mexico 87102

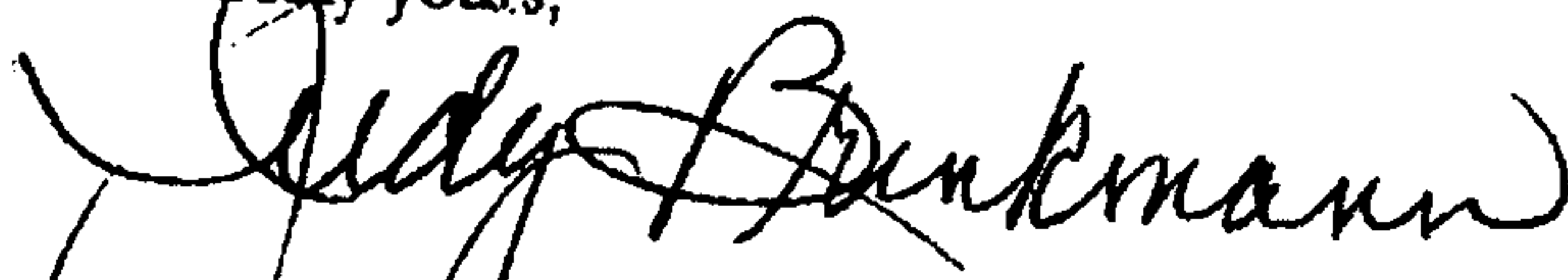
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Truly yours,



Judy Brinkman  
Director of Finance

FROM :GSL

FAX NO. :5052434508

Sep. 29 2006 11:34AM P2

October 3, 2006

Garrett Smith, ALA  
Garrett Smith Ltd.  
514 Central Avenue SW  
Albuquerque, New Mexico 87102

Subject: Letter of Agency

Dear Mr. Smith,

This letter constitutes our authorization for you and your company, Garrett Smith Ltd., to act on behalf of the Little Brothers of the Good Shepherd in the proceedings to acquire the necessary permits to complete the residential project on our properties located at 901 Brother Mathias Place NW and 1322 Mountain Road NW. Please use this letter for any and all applications to the City of Albuquerque, including the those made to the Environmental Planning Commission and the Design Review Board for the referenced properties.

Should any questions arise as to the purpose of your company's actions on our behalf, please do not hesitate to have the concerned officials contact our office.

Truly yours,

*Bro. Gerard Sullivan*

Brother Gerard Sullivan

ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME Little Brothers of the good Shepherd  
AGENT Garrett Smith Ltd  
ADDRESS 514 Central Ave SW  
PROJECT & APP # 1005189/07DRB00089  
PROJECT NAME 1-A Perea addition

\$ 20.00 441032/3424000 Conflict Management Fee

\$ \_\_\_\_\_ 441006/4983000 DRB Actions

\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ \_\_\_\_\_ 441018/4971000 Public Notification

\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study

\$ 20.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

GARRETT SMITH LTD. 07/91  
514 CENTRAL SW 505-766-6968  
ALBUQUERQUE, NM 87102

13009  
95-219/1070 176  
1017550548

DATE January 30, 2007

PAY TO THE ORDER OF City of Albuquerque

\$ 20.00

Twenty Dollars ONLY

DOLLARS



Wells Fargo Bank, N.A.  
New Mexico  
wellsfargo.com

FOR DRB Submittal (Brothers Good Sheperd)

Stephane Savel MP

⑈0000013009⑈ ⑆107002192⑆ 1017550548⑈

CK  
CHANGE

Thank You

\$20.00  
\$20.00  
\$0.00

4  
1  
1

# FIRE HYDRANT AND INSTANTANEOUS FIRE FLOW REQUIREMENTS

ALBUQUERQUE FIRE DEPARTMENT  
FIRE MARSHAL'S PLAN CHECKING OFFICE  
600 2<sup>ND</sup> ST N.W, 8<sup>TH</sup> Floor, Plaza del Sol  
Albuquerque, New Mexico 87102  
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER J-13-Z

REFERRAL # \_\_\_\_\_

SITE ADDRESS 14<sup>th</sup> @ Mountain

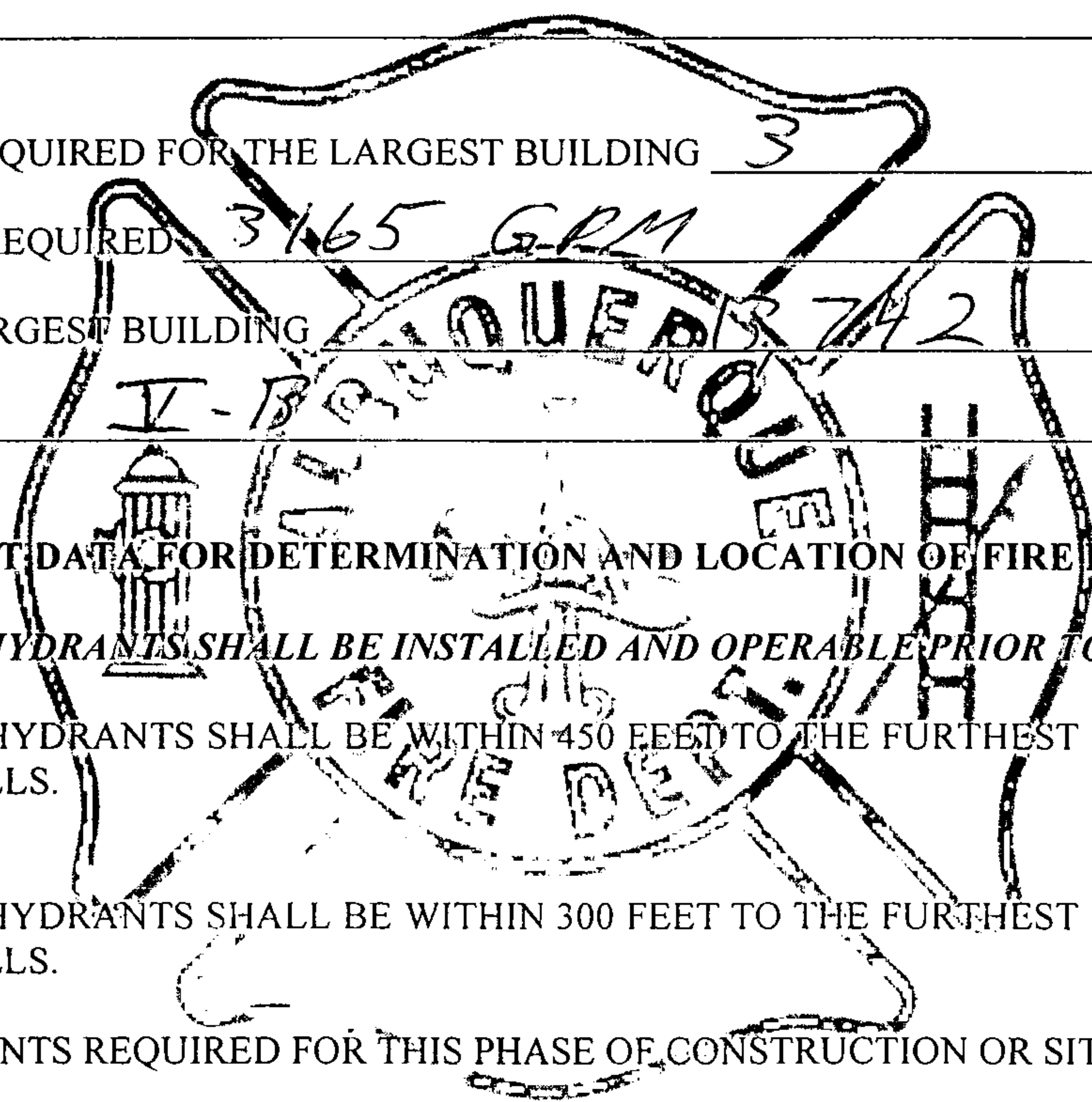
LEGAL DESCRIPTION: SUBJECT TRACT 1-A, Block 45 Perca addition

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING 3

INSTANTANEOUS FLOW REQUIRED 3165 GPM

SQUARE FOOTAGE - LARGEST BUILDING 3742

TYPE CONSTRUCTION V-B



### PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

**ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION**

ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 3

DATE: 1-23-07

FIRE DEPARTMENT INSPECTOR: R. C. Sanchez

RECEIVED BY: [Signature]

TELEPHONE: \_\_\_\_\_

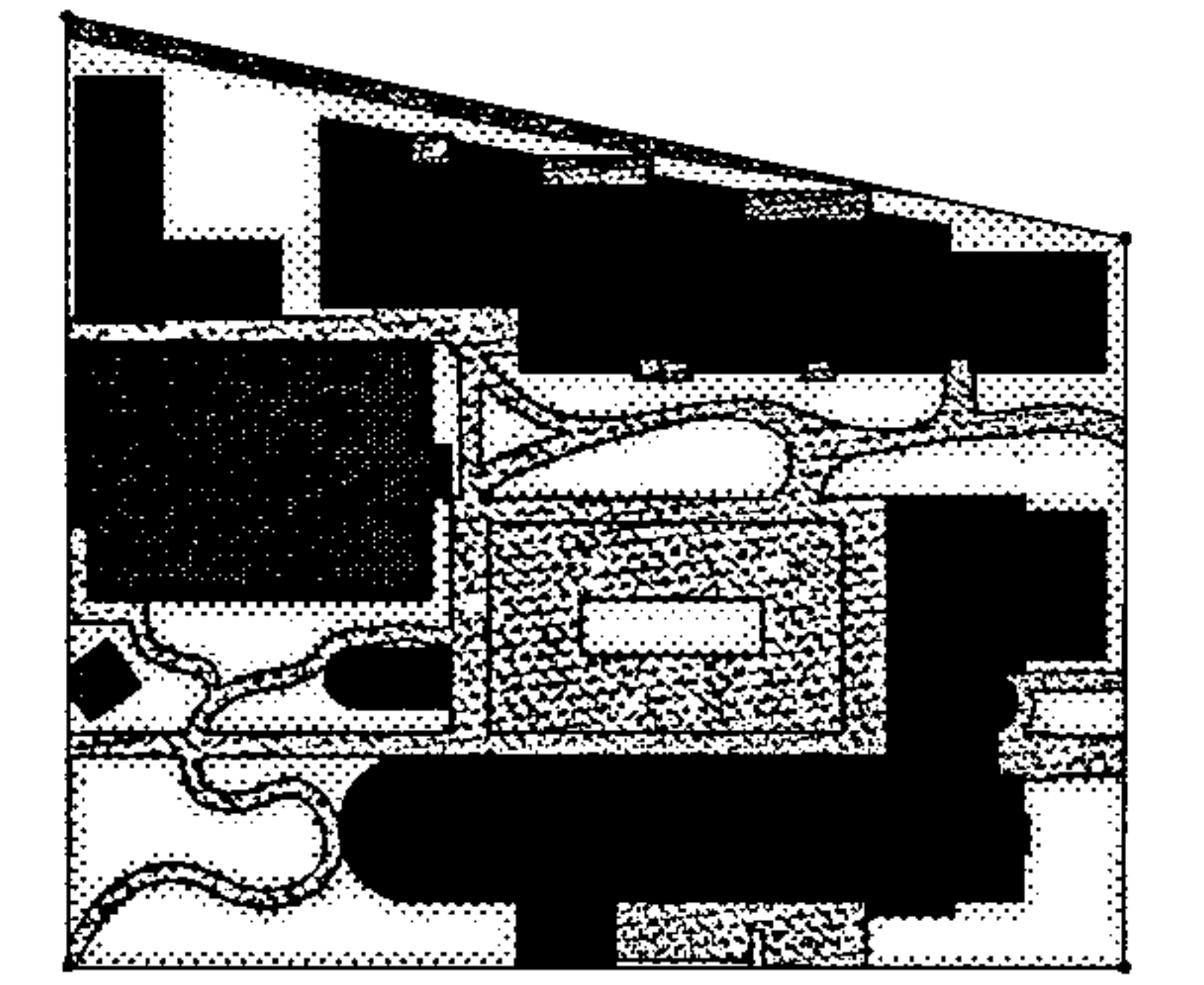
#### NOTES:

- ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI, UNDER REQUIRED FIRE FLOW CONDITIONS.
- DETERMINATION OF THE WATER SYSTEM CAPACITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
- DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPONSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.

WHITE - INDIVIDUAL      YELLOW - FILE



2 VICINITY MAP  
AC1



- LANDSCAPING: 14,035 SQUARE FEET
- STRUCTURES: 17,218 SQUARE FEET
- CIRCULATION: 12,889 SQUARE FEET
- PARKING: 5,463 SQUARE FEET

3 SITE SQUARE FOOTAGE  
AC1  
NOT TO SCALE

ABBREVIATIONS

ABBREVIATION	WORD
HYD.	FIRE HYDRANT
N.L.F.	NEW LIGHT FIXTURE
PP.	POWER POLE
S.D.	STORM DRAIN
S.S.	STOP SIGN
TEL.	TELEPHONE
TYP.	TYPICAL

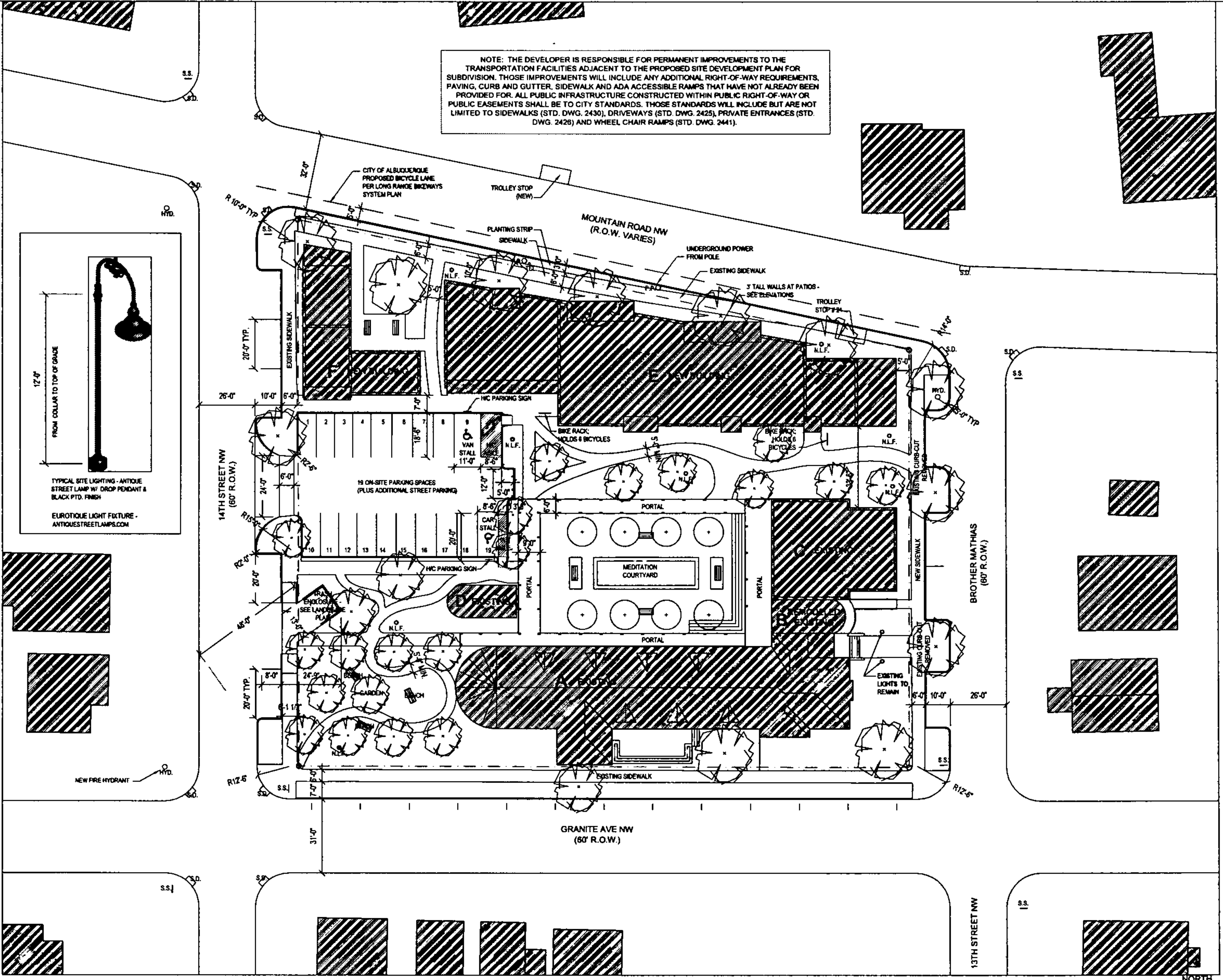
BLDG	USE	SQUARE FOOTAGE
A	RESIDENCE / OFFICE / RELIGIOUS	11,800 SF (2 FLOORS)
B	RESIDENCE / CHAPEL	910 SF (2 FLOORS)
C	RESIDENCE	4,004 SF (2 FLOORS)
D	TOMB / CHAPEL	368 SF (1 FLOOR)
E	RESIDENCE / DORMITORY	13,742 SF (2 FLOORS)
F	RESIDENCE	3,336 SF (2 FLOORS)
		<b>34,160 SF TOTAL</b>

USE	SPACES REQUIRED	CALCULATIONS	TOTALS
RESIDENCE (BLDG A,B,C)	1 SPACE PER BATH	18 BATHS =	18
CHAPEL (BLDG D)	PRIVATE = NO SPACES REQUIRED		0
DORMITORY (BLDG E)	1 SPACE PER 3 RESIDENTS	18 RESIDENTS / 3 =	6
RESIDENCE (BLDG F)	1 SPACE PER BATH	3 BATHS =	3
			<b>27</b>
(TRANSIT REDUCTIONS; TRANSIT STOP WITHIN 300' = 10%)			<b>-2</b>
(H/C REQUIRES 1 SPACE FOR 1-25)			<b>25 REQUIRED</b>

PARKING PROVIDED	
OFF STREET (17 REG + 2 H/C)	19
ON STREET (50% OF 21)	10
<b>PROVIDED =</b>	<b>29</b>

USE	SPACES REQUIRED	CALCULATIONS	TOTALS
RESIDENCE (BLDG A,B,C)	1 PER 2 D.U.	18 D.U. / 2 =	9
CHAPEL (BLDG D)	NONE REQUIRED		0
DORMITORY (BLDG E)	1 PER 6 RESIDENTS	18 RESIDENTS / 6 =	3
RESIDENCE (BLDG F)	<5 UNITS = NONE REQUIRED		0
			<b>12 REQUIRED &amp; PROVIDED</b>

NOTE: THE DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED SITE DEVELOPMENT PLAN FOR SUBDIVISION. THOSE IMPROVEMENTS WILL INCLUDE ANY ADDITIONAL RIGHT-OF-WAY REQUIREMENTS, PAVING, CURBS AND GUTTER, SIDEWALK AND ADA ACCESSIBLE RAMPS THAT HAVE NOT ALREADY BEEN PROVIDED FOR. ALL PUBLIC INFRASTRUCTURE CONSTRUCTED WITHIN PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE TO CITY STANDARDS. THOSE STANDARDS WILL INCLUDE BUT ARE NOT LIMITED TO SIDEWALKS (STD. DWG. 2430), DRIVEWAYS (STD. DWG. 2425), PRIVATE ENTRANCES (STD. DWG. 2426) AND WHEEL CHAIR RAMPS (STD. DWG. 2441).



REVISIONS

NO.	DESCRIPTION

514 CENTRAL SW  
ALBUQUERQUE  
NEW MEXICO  
8 7 1 0 2  
505/766-6968  
FAX /243-4508

GARRETT SMITH, LTD.  
ARCHITECTS & DEVELOPERS

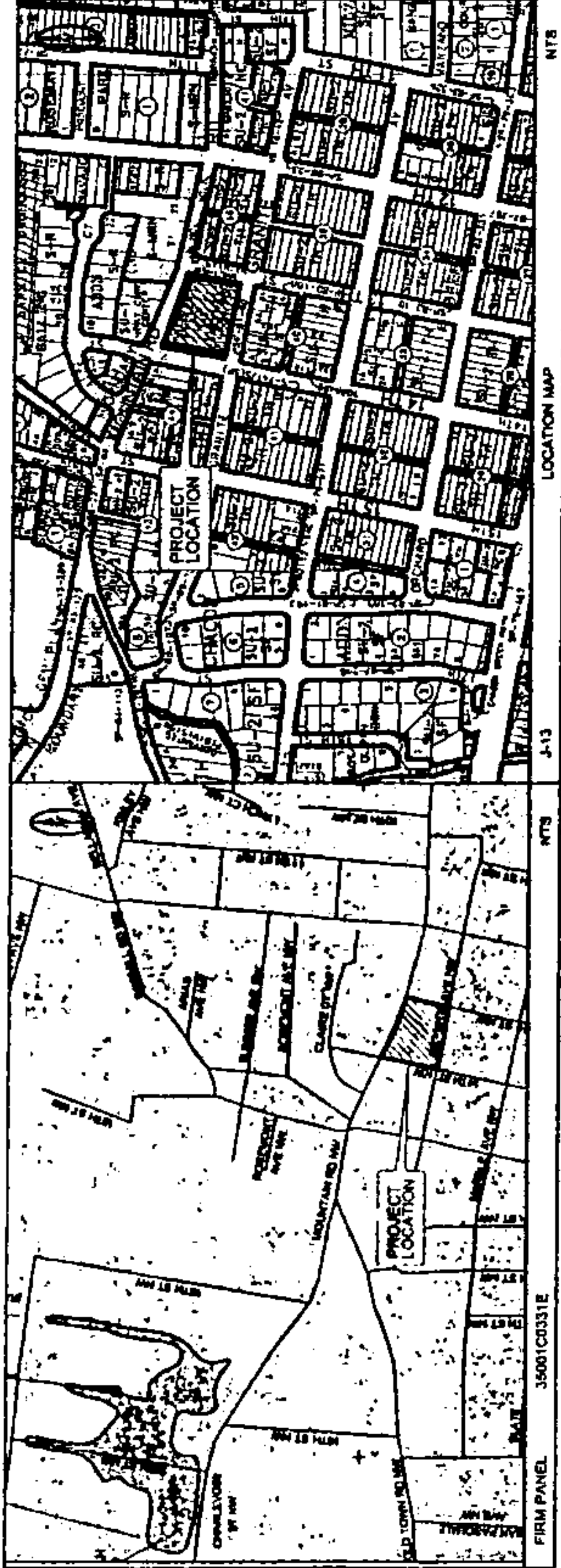
LITTLE BROTHERS OF THE GOOD SHEPHERD  
SITE PLAN

DRWN. BY: NR,CM  
DATE: 1/24/2007

AC1

**LEGEND**

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- DRAINAGE SWALE
- PROPOSED STRUCTURE
- PROPOSED CONCRETE
- DRAINAGE BASIN



**PURPOSE AND SCOPE**

IN ACCORDANCE WITH THE DRAINAGE ORDINANCE FOR THE CITY OF ALBUQUERQUE, THIS CONCEPTUAL GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING RUNOFF FROM THE PROPOSED DEVELOPMENT. THE PLAN PROVIDES FOR THE PROPOSED CONSTRUCTION OF RESIDENTIAL, HOLDING BUILDINGS, NEW PARKING LOTS, UTILITY, LANDSCAPING, GRADING AND DRAINAGE IMPROVEMENTS TO SUPPORT THE NEW BUILDINGS. THIS PLAN IS PREPARED TO SUPPORT SITE PLAN APPROVAL AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION.

**EXISTING CONDITIONS**

THE PROJECT SITE CONTAINS APPROXIMATELY 1.14 ACRES AND IS LOCATED AT 1322 MOUNTAIN ROAD N.E. BETWEEN 13TH STREET AND 14TH STREET N.E. THE SITE IS PRESENTLY DEVELOPED AS THE LITTLE BROTHERS OF THE SHEPHERD. THE SITE IS PRESENTLY DEVELOPED AS THE LITTLE BROTHERS OF THE SHEPHERD. THE SITE IS PRESENTLY DEVELOPED AS THE LITTLE BROTHERS OF THE SHEPHERD. THE SITE IS PRESENTLY DEVELOPED AS THE LITTLE BROTHERS OF THE SHEPHERD.

**PROPOSED CONDITIONS**

AS SHOWN BY THE PLAN, THE PROPERTY IS TO BE REDEVELOPED FOR THE LITTLE BROTHERS OF THE SHEPHERD. PROPOSED SITE IMPROVEMENTS INCLUDE THE CONSTRUCTION OF RESIDENTIAL, HOLDING BUILDINGS, NEW PARKING LOTS, UTILITY, LANDSCAPING, GRADING AND DRAINAGE IMPROVEMENTS. THE SITE WILL CONTINUE TO DRAIN BY SURFACE FLOW TO THE EXISTING PERIMETER STREETS. AS SHOWN BY THE PROJECT HYDROLOGY, RE-DEVELOPMENT OF THIS PROPERTY WILL INCREASE THE DEVELOPED PEAK FLOW RATE BY APPROXIMATELY 1.3 CFS.

**TEMPORARY EROSION CONTROL**

TEMPORARY EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING CONSTRUCTION TO LIMIT THE DISTURBANCE TO ADJACENT PROPERTIES AND TO PREVENT POLLUTANT DISCHARGE EXCEEDING STATE REQUIREMENTS.

**CALCULATIONS**

THE CALCULATIONS SHOWN HEREON DEFINE THE 100-YEAR 24 HOUR DESIGN STORM IMPACTING THE SITE AND CONTRIBUTING TO SITE DRAINAGE BASINS UNDER EXISTING AND DEVELOPED CONDITIONS. THE METHOD OF ESTIMATING PEAK RUNOFF IS PRESENTED AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL, VOLUME 1, SECTION 2.2. PART A, UPDATED JULY 1987.

PROJECT HYDROLOGY									
AHYMO									
ZONE	AREA (AC)	AREA (SQ. FT.)	C (IMP.)	C (DEV.)	Q (CFS)	Q (DEV.)	VOL (CU FT.)	TIME (MIN)	PEAK FLOW (CFS)
UNDEVELOPED	1.14	49,224	0.45	0.30	1.76	3.7	0.197		
DEVELOPED	1.14	49,224	0.50	0.30	1.98	4.2	0.225		
TOTAL	1.14	49,224	0.45	0.30	1.76	3.7	0.197		
INLET	0.14	6,082	0.50	0.30	0.21	0.44	0.023		
OUTLET	0.14	6,082	0.50	0.30	0.21	0.44	0.023		
DIFFERENCE	0.00	0.00	0.00	0.00	0.00	0.00	0.00		

**DRAINAGE PLAN NOTES**

1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation construction.
2. The Plan recommends positive drainage away from all structures to provide protection of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading details only. BLI assumes no responsibility for subsurface analysis, foundation/structure design, or utility design.
5. Local codes may require all buildings to be enclosed in natural underground spill if the Contractor plans to construct a foundation/structure. If the Contractor wishes BLI to prepare the Foundation/Structure Design, the Contractor must provide all necessary information to prepare the Foundation/Structure Design. The Contractor must be notified PRIOR to placement of the foundation/structure.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a survey. A professional survey should be performed by a licensed New Mexico Registered Professional Surveyor to determine the exact project boundary.
8. BLI recommends an on-site pre-construction meeting with the landscape contractor to review the grading and drainage details.

**KEYED NOTES**

1. EXISTING STANDARD CURB & GUTTER
2. EXISTING FIRE HYDRANT
3. NEW CONCRETE DRIVE PAD PER COA STD DWG 2428
4. NEW ASPHALT DRIVE PAD PER COA STD DWG 2428
5. NEW ASPHALT DRIVE PAD
6. NEW ASPHALT DRIVE PAD
7. NEW F CONCRETE CURB
8. EXISTING DRAIN INLET
9. CONCRETE ALLEY GUTTER - SEE SHEET C-2
10. EXISTING BUILDINGS TO BE REMOVED
11. NEW RESURFACING
12. NEW LANDSCAPING
13. NEW CONCRETE CURB AND GUTTER
14. R-O EXISTING CURB AND GUTTER
15. CONSTRUCT PARALLEL PARKING SPACES

PROPERTY ADDRESS  
1322 MOUNTAIN RD NW  
LEGAL DESCRIPTION  
PORTION OF LOTS 1-10, BLOCK 48  
PERMITS ADDITION  
PROJECT BENCHMARK  
ACR STATION 18+413.4  
ELEVATION= 4584.442 FEET  
MAD 1927

SURVEY  
SITE MAPPING BY  
SURVEYS SOUTHWEST  
JANUARY 2008

**1 CONCEPTUAL GRADING AND DRAINAGE PLAN**

SCALE: 1" = 20'

C1

**BRASHER & LORENZ CONSULTING ENGINEERS**  
314 CENTRAL SW ALBUQUERQUE NEW MEXICO 87102  
505/766-9388 FAX /243-4508

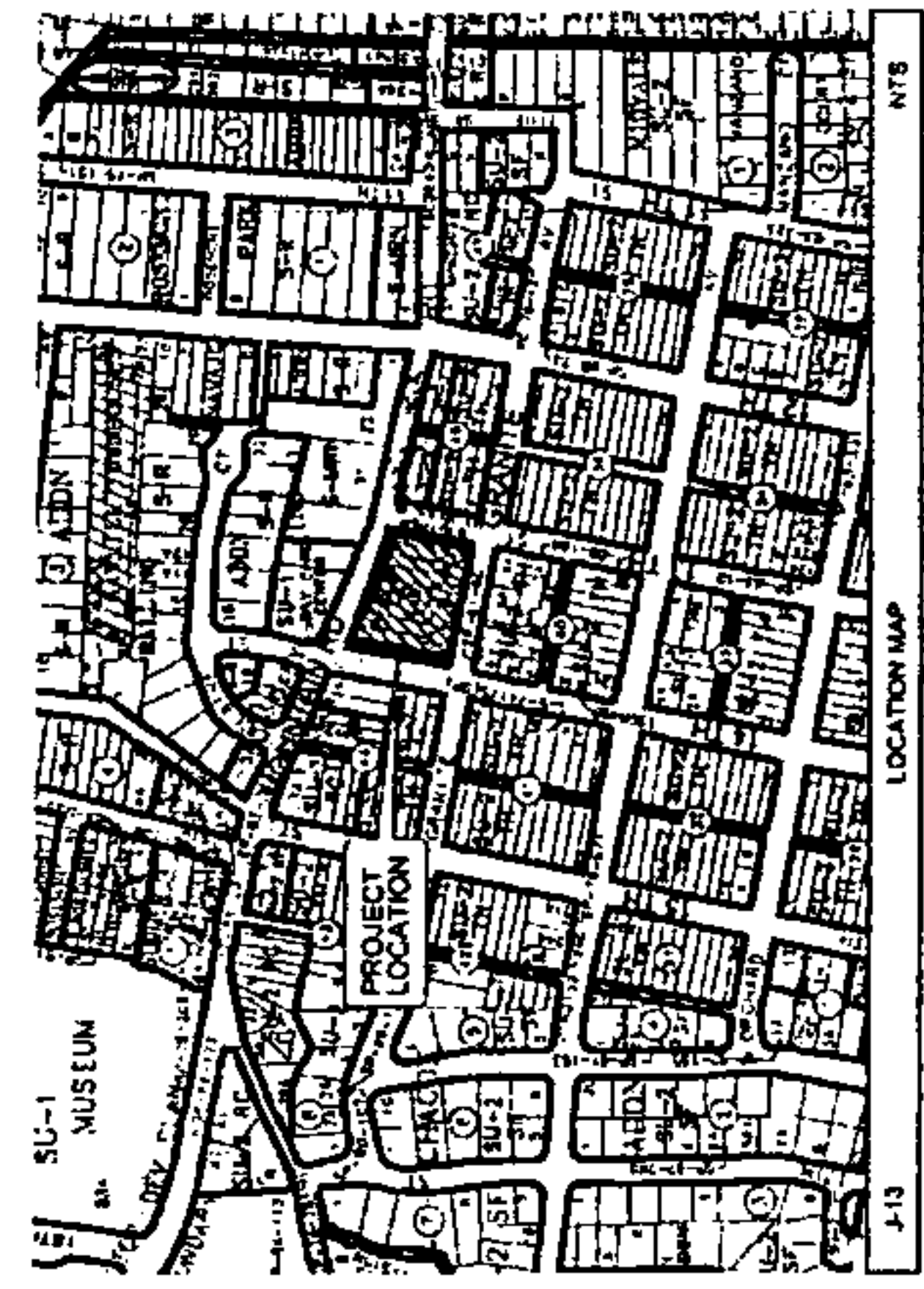
**GARRETT SMITH LTD**

**LITTLE BROTHERS OF THE GOOD SHEPHERD**  
CONCEPTUAL GRADING AND DRAINAGE PLAN

DATE: 07/27/2008  
DRAWN BY: FG



C1



<p>REVISIONS</p>		<p>BRASHER &amp; LORENZ CONSULTING ENGINEERS</p> <p>2001 South Mountain Road, Suite 100 Albuquerque, NM 87106 Phone: (505) 263-1111 Fax: (505) 263-1112</p>		<p>GARRETT SMITH LTD</p>		<p>LITTLE BROTHERS OF THE GOOD SHEPHERD</p> <p>CONCEPTUAL UTILITY PLAN</p>		<p>DRAWN BY: FG DATE: 01/27/2006</p>		<p>C2</p>	
------------------	--	---	--	--------------------------	--	--	--	--	--	-----------	--

**LEGEND**

ITEM	EXISTING	PROPOSED
WATER LINE	--- 18" W	--- 18" W
SANITARY SEWER	--- 18" SAS	--- 18" SAS
CLEAN OUT	--- 6" SAS	--- 6" SAS
STORM SEWER	--- 36" S/S	--- 36" S/S
FIRE HYDRANT VALVE	--- 4" FM	--- 4" FM
METERED WATER SERVICE	--- 4" M	--- 4" M
MANHOLE	--- 48"	--- 48"
CURB AND GUTTER	--- 18" C	--- 18" C
HEADER CURB	--- 18" H	--- 18" H
DROP INLET	--- 18" D	--- 18" D
SWITCHING FLAG	--- 18" S	--- 18" S
UNDERGROUND ELEC.	--- 18" U	--- 18" U
CABLE TV	--- 18" C	--- 18" C
CURB ELEVATIONS	--- 18" C	--- 18" C
SPOT ELEV	--- 18" S	--- 18" S
SEWER SERVICE RIGHT OF WAY	--- 18" S	--- 18" S
EMMENT	--- 18" E	--- 18" E
POWER POLE (RAYED)	--- 18" P	--- 18" P
CENTERLINE	--- 18" C	--- 18" C
TOP OF ASPHALT ELEV	--- 18" T	--- 18" T

**GENERAL UTILITIES PLAN NOTES:**

- LOCATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE, BASED ON RECORDED INFORMATION. CONTRACTOR SHALL FIELD-VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES BEFORE SIDES, MATERIALS, AND POINTS OF CONNECTIONS OF ON-SITE SERVICE LINES FOR WATER, AND SEWER ARE APPROXIMATE, AND WILL BE DETERMINED BY THE BUILDING MECHANICAL CONTRACTOR.
- CONSTRUCTION UNDER CITY JURISDICTION.
- GAS, ELECTRIC, TELEPHONE, AND CABLE TV SERVICE LINES TO BE DEMONDED BY EACH UTILITY OPERATOR.
- ALL SANITARY SEWER LINES SHALL BE 4" PVC 304.33 PIPE.
- ALL SANITARY SEWER PIPES SHALL BE LAD TO 144" FOOT PER CODE.
- CLEAN OUTS SHALL BE INSTALLED PER CODE.

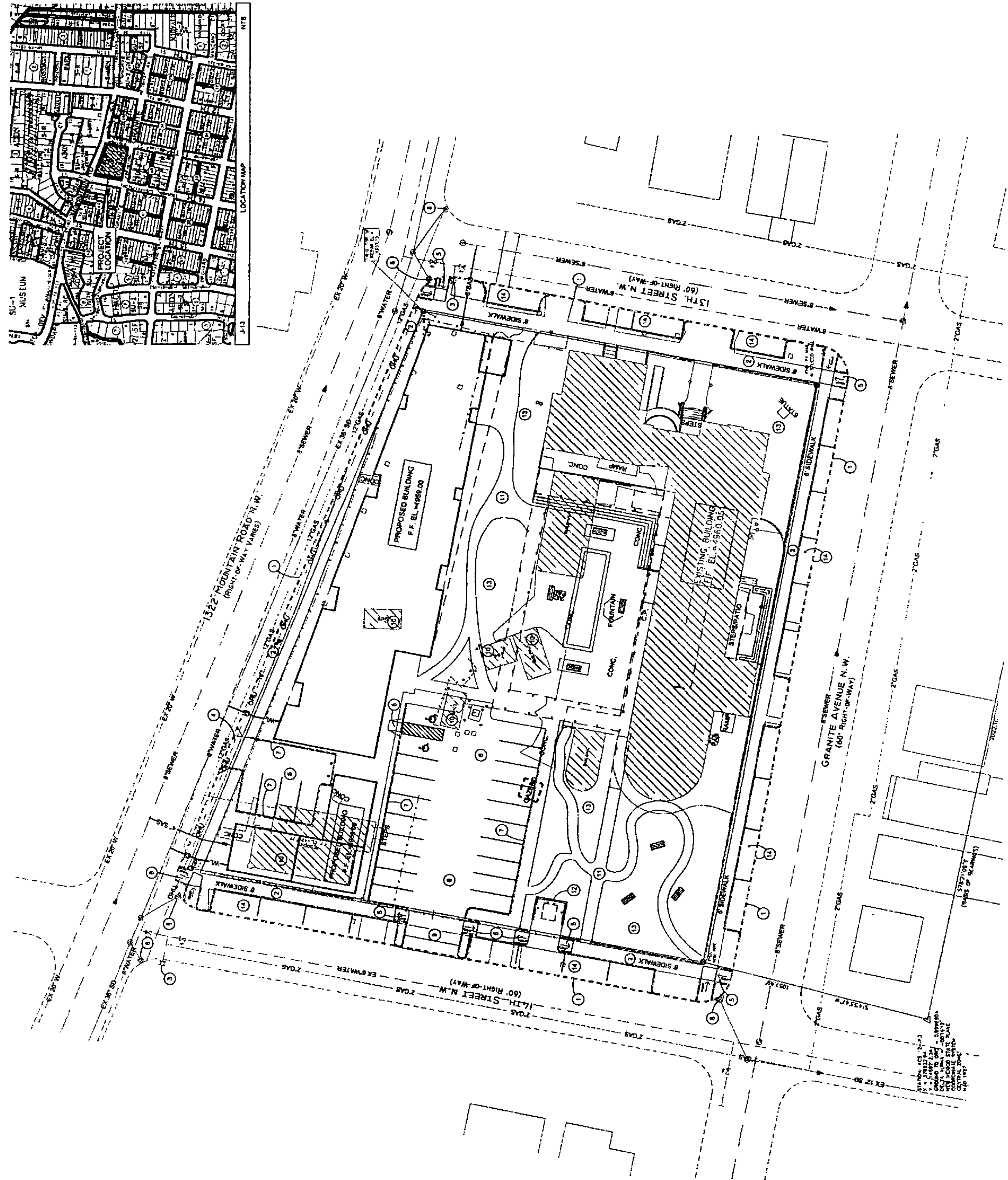
- KEYED NOTES**
- EXISTING STANDARD CURB & GUTTER
  - EXISTING SIDEWALK
  - EXISTING DRIVE
  - NEW CONCRETE DRIVE PAD PER COA STD DWG 2425
  - NEW ACCESSIBLE RAMP
  - NEW ASPHALT PAVING
  - NEW 6" CONCRETE CURB
  - NEW 6" CONCRETE CUB
  - CONCRETE ALLEY GUTTER - SEE SHEET C-2
  - EXISTING BUILDINGS TO BE REMOVED
  - NEW SIDEWALK
  - NEW DRIVE
  - NEW LANDSCAPING
  - R-10 EXISTING CURB AND GUTTER
  - CONSTRUCT PARALLEL PARKING SPACES

**PROPERTY ADDRESS**  
1322 MOUNTAIN RD NW

**LEGAL DESCRIPTION**  
PORTION OF LOTS 1-10, BLOCK 48  
PEREA ADDITION

**PROJECT BENCHMARK**  
ACE STATION 118+11.12  
ELEVATION 4924.443 FEET  
MAD 1087

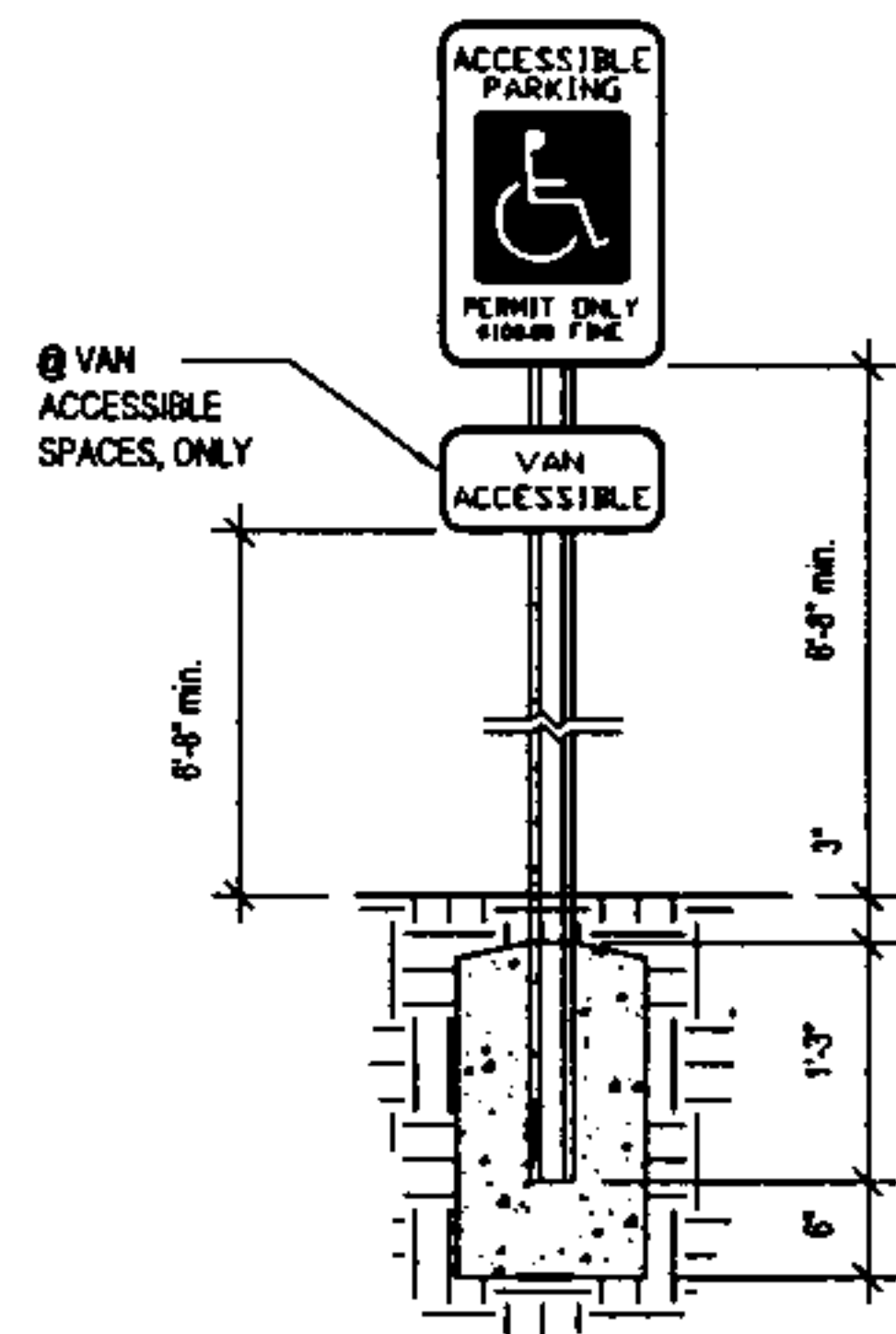
**SURVEY**  
SITE MAPPING BY  
SURVEY'S SOUTHWEST  
JANUARY 2006



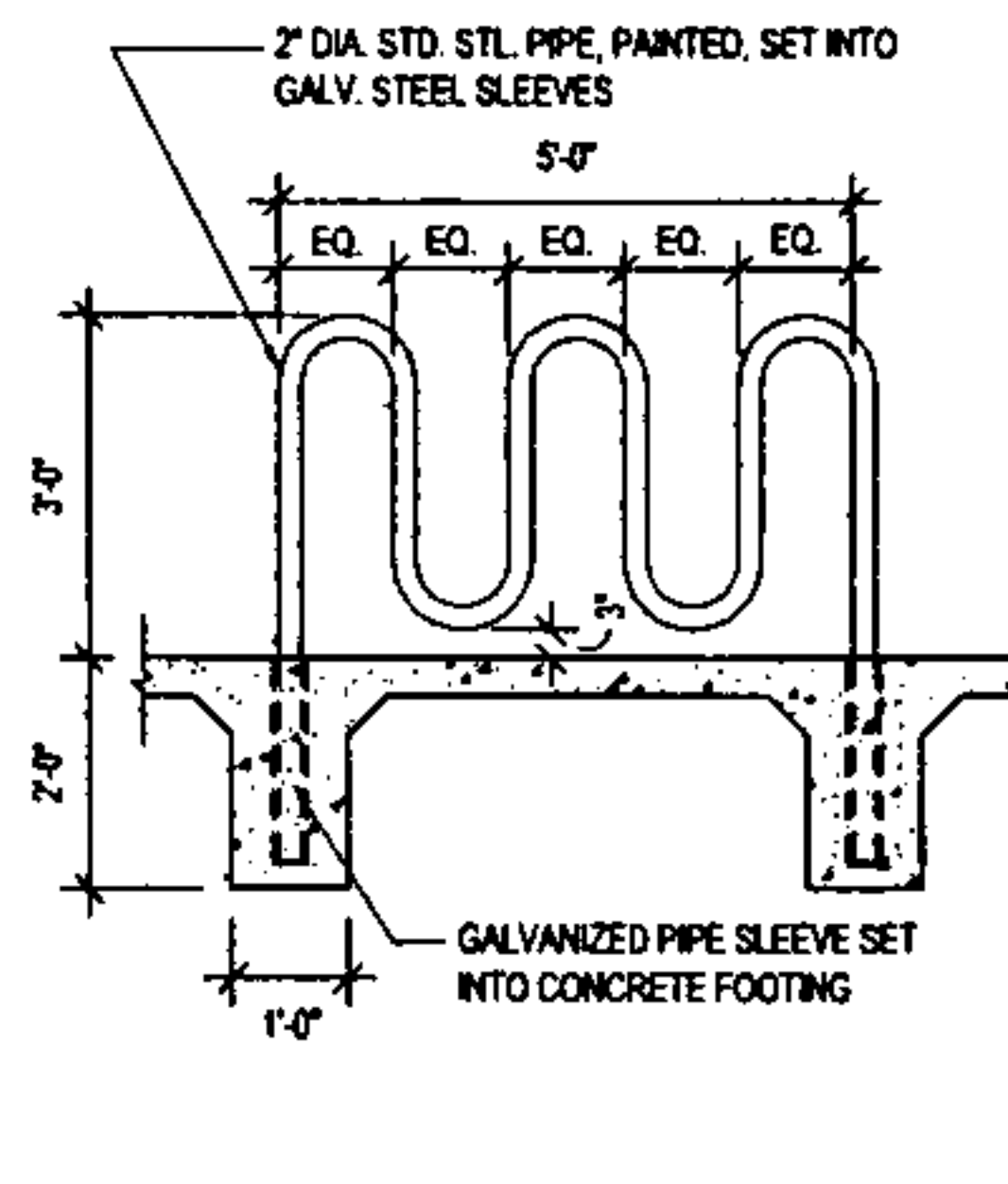
1 CONCEPTUAL UTILITY PLAN  
SCALE: 1" = 20'  
NORTH



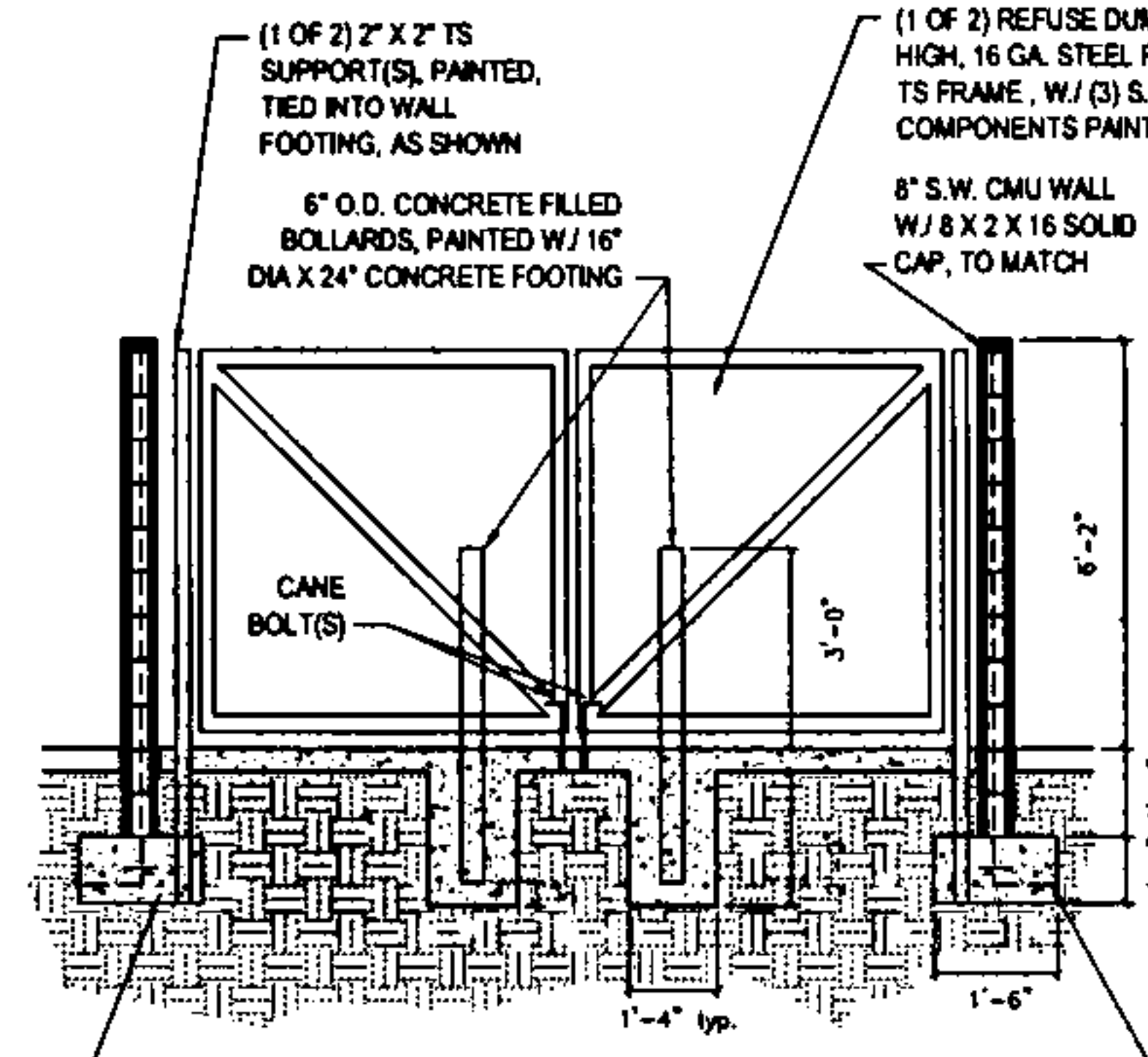
- All plant material shall conform to the sizes given in the list and shall be nursery grown in accordance with the "American Standard for Nursery Stock" Latest edition.
- All planting shall be in accordance with standard American Nurserymen procedures and specifications.
- All plant material is subject to final approval by the architect. Obtain approval from the architect before making any substitutions or changes.
- Location and orientation of all trees to be approved by architect before planting. Contractor to obtain approval by staking locations for inspection by the architect prior to excavation.
- Contractor shall verify the location of all underground utilities in the field, prior to any excavation for plantings or irrigation.
- Backfill mix for trees: Backfill mix by volume shall consist of 25% amendment, and 75% backfill for trees. For shrubs: 50% amendment and 50% backfill. Native soil shall be cleared of all stone debris 1" diameter or bigger. All other deleterious shall be removed.
- Soil amendment shall consist of composted cotton burs that have been freeze defoliated as specified "Back to Earth Resources" (214) 373-6776, or approved equal.
- Stone mulch to be installed where indicated on drawings. Mulch shall consist of 3/8" diameter "Santa Fe Brown" (or approved equal) to a depth of 3" except around plant trunk where depth shall be 1". Submit sample for approval by architect.
- Fertilizer: Fertilizer shall be "Gro Power" 7 gram planting tablets. Provide 6 tablets per 5 gallon shrubs, 2 tablets per 1 gallon containers, 18 tablets per tree of 2" caliper, and 24 tablets per tree of 2-1/2" caliper or larger.
- Installation and Maintenance: Landscaping shall be installed according to the approved plan; installation shall be completed within 60 days of the related building's occupancy. Owner (Brothers of the Good Shepherd) is responsible party for maintaining all onsite plantings as required.
- Irrigation: Drip irrigation system to be used throughout. All plantings, pervious surfaces and irrigation components to comply with COA Water Conservation Ordinance (article 8-1-1-1).
- Contractor shall assure percolation of all planting pits prior to the installation of trees, amending as necessary for proper water retention or drainage.



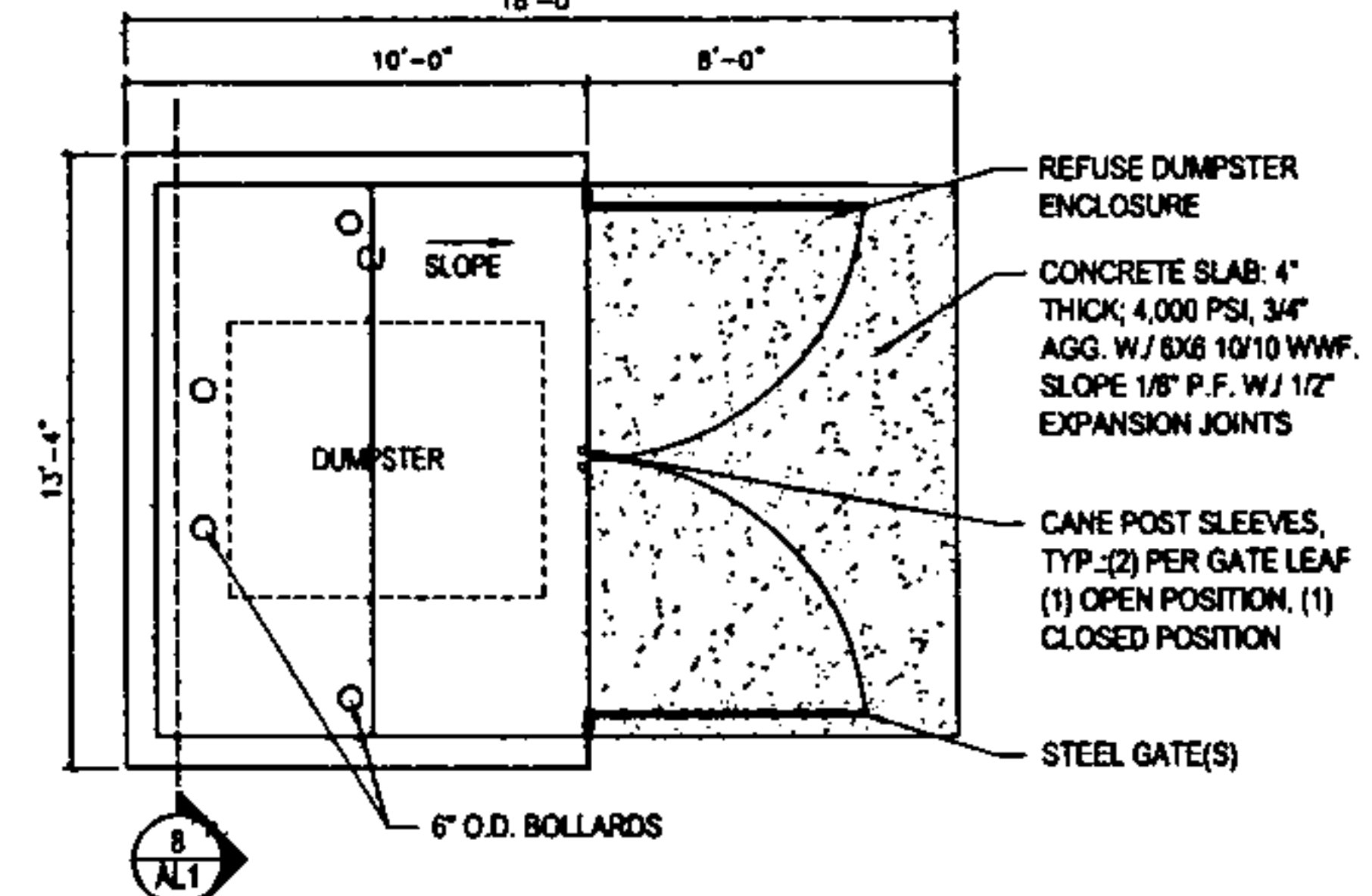
**HANDICAPPED PARKING SIGN DETAIL**  
SCALE: 3/4"=1'-0"



**BICYCLE RACK DETAIL**  
SCALE: 3/4"=1'-0"

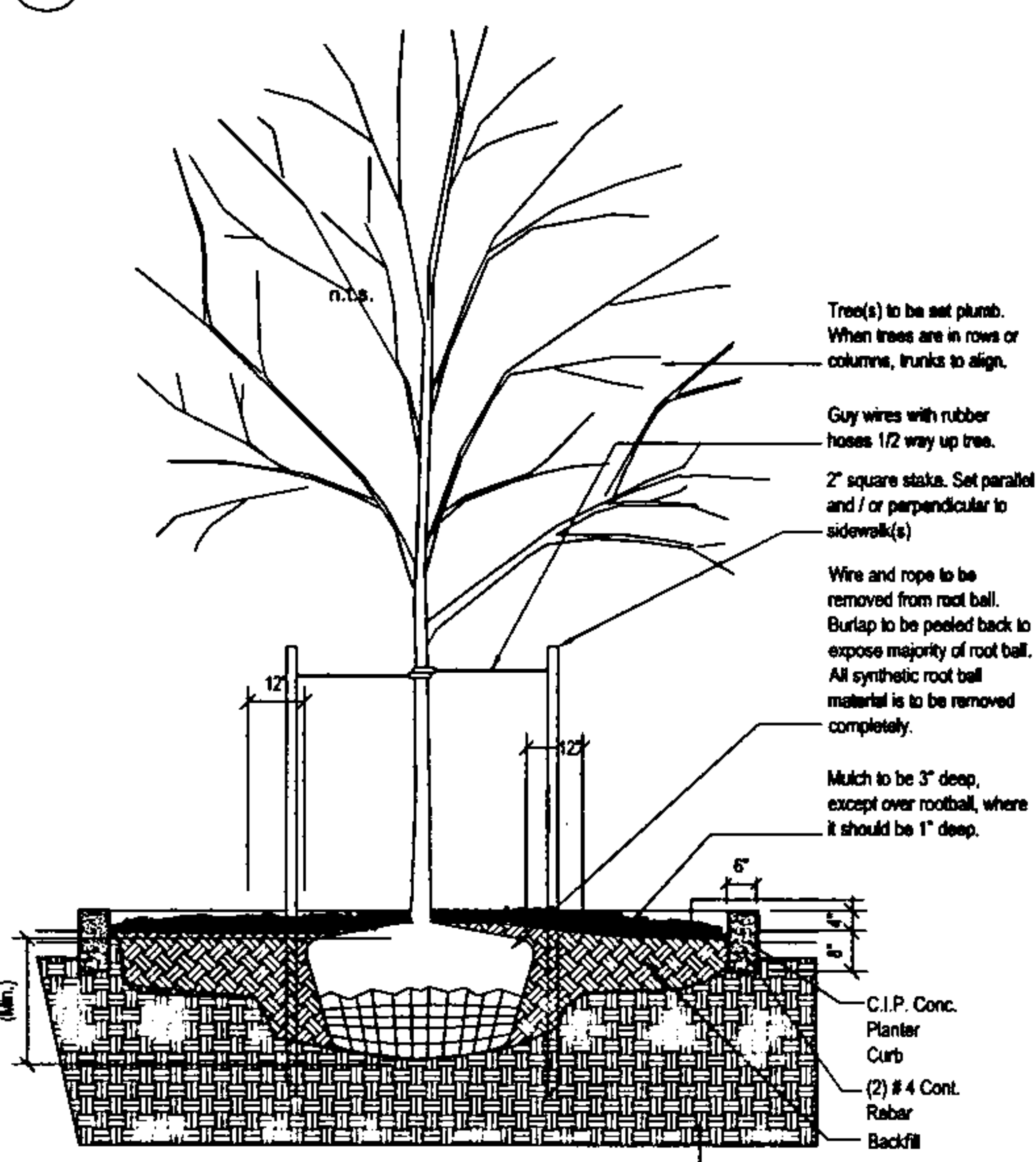


**TRASH ENCLOSURE SECTION**  
SCALE: 1/4"=1'-0"

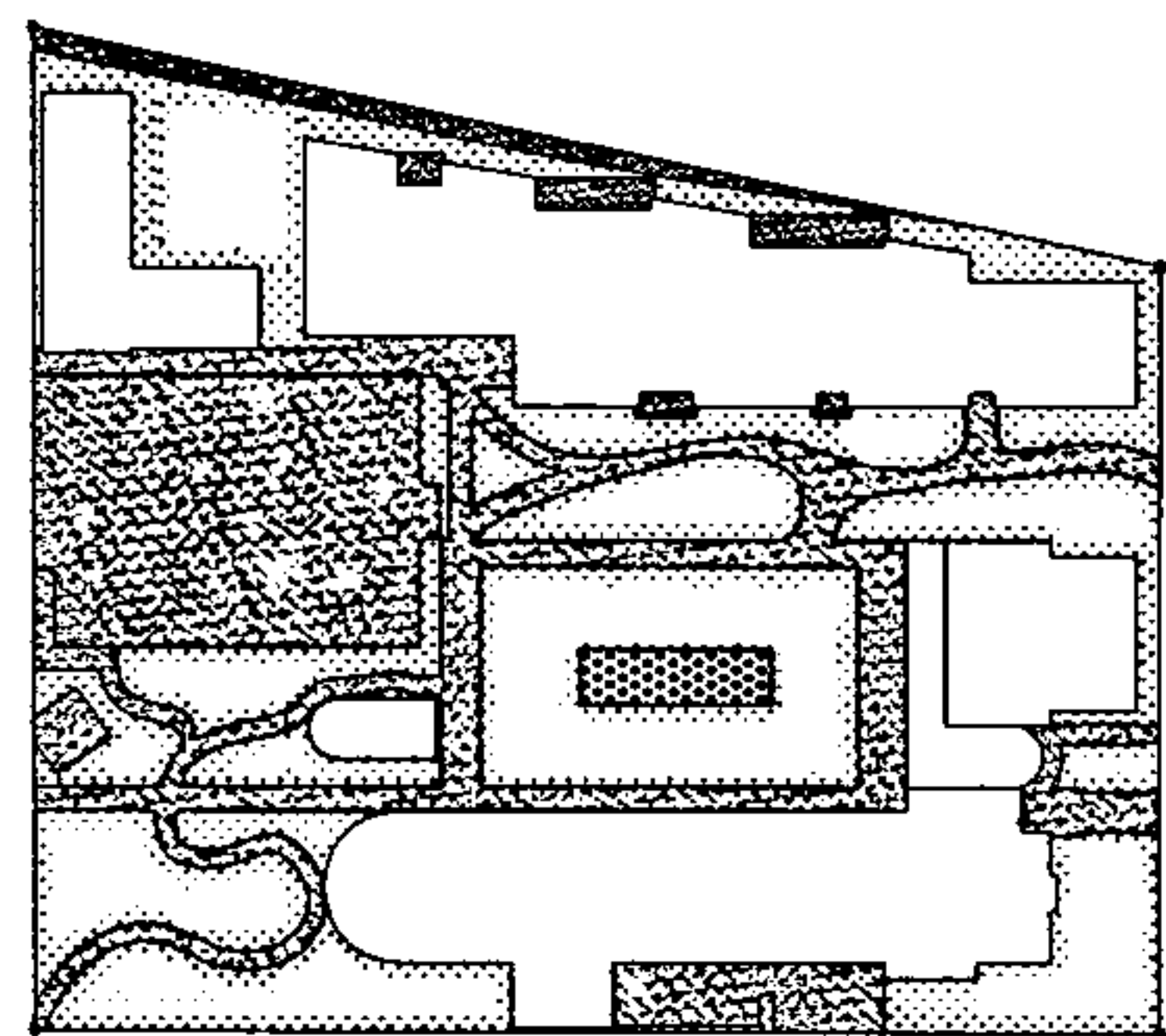


**TRASH ENCLOSURE PLAN**  
SCALE: 1/4"=1'-0"

**LANDSCAPE NOTES**



**TYPICAL TREE PLANTING**  
NOT TO SCALE



PERVIOUS SURFACE	14,211 SF
IMPERVIOUS SERVICE	16,847 SF
PONDING AREA	559 SF

**GROUND COVER**  
NOT TO SCALE

- PLANT PALETTE**
- Shrubs, Groundcovers, and Perennials
- Amorpha fruticosa (False Indigo), Artemisia 'Powis Castle' (Powis Castle Sage), Atriplex confertifolia (Shadscale), Berberis juliflora (Wintergreen Barberry), Buddleia davidii nanhoensis (Dwarf Butterfly Bush), Caryopteris clandonensis (Blue Mist), Caesalpinia gilliesii (Bird of Paradise), Ephedra species (Joint Fir), Ericameria laricina (Turpentine Bush), Eurolia lanata (Winterfat - female + 1 male), Helianthus maximiliani (Maximilian Sunflower), Hesperaloe parviflora (Red Yucca), Juniperus sabina 'Buffalo' (Buffalo Juniper - female), Liatris punctata (Spotted Gayfeather), Lyodium pallidum (Wolfberry), Oenothera bielandiera (Mexican Evening Primrose), Perovskia atriplicifolia (Russian Sage), Pinus mugo (Mugo Pine), Potentilla fruticosa (Shrubby Cinquelot), Rosmarinus officinalis (Rosemary), Salvia greggii (Cherry Sage), Salvia lavandulifolia (Lavender Sage), Sedum telephium (Autumn Joy Sedum), Shepherdia argentea (Silver Buffaloberry)
- Ornamental Grasses
- Holciotrichon sempervirens (Blue Avena), Pennisetum alopecuroides (Fountain Grass)

**LANDSCAPE AREA REQUIRED = 15% OF NET LOT AREA**

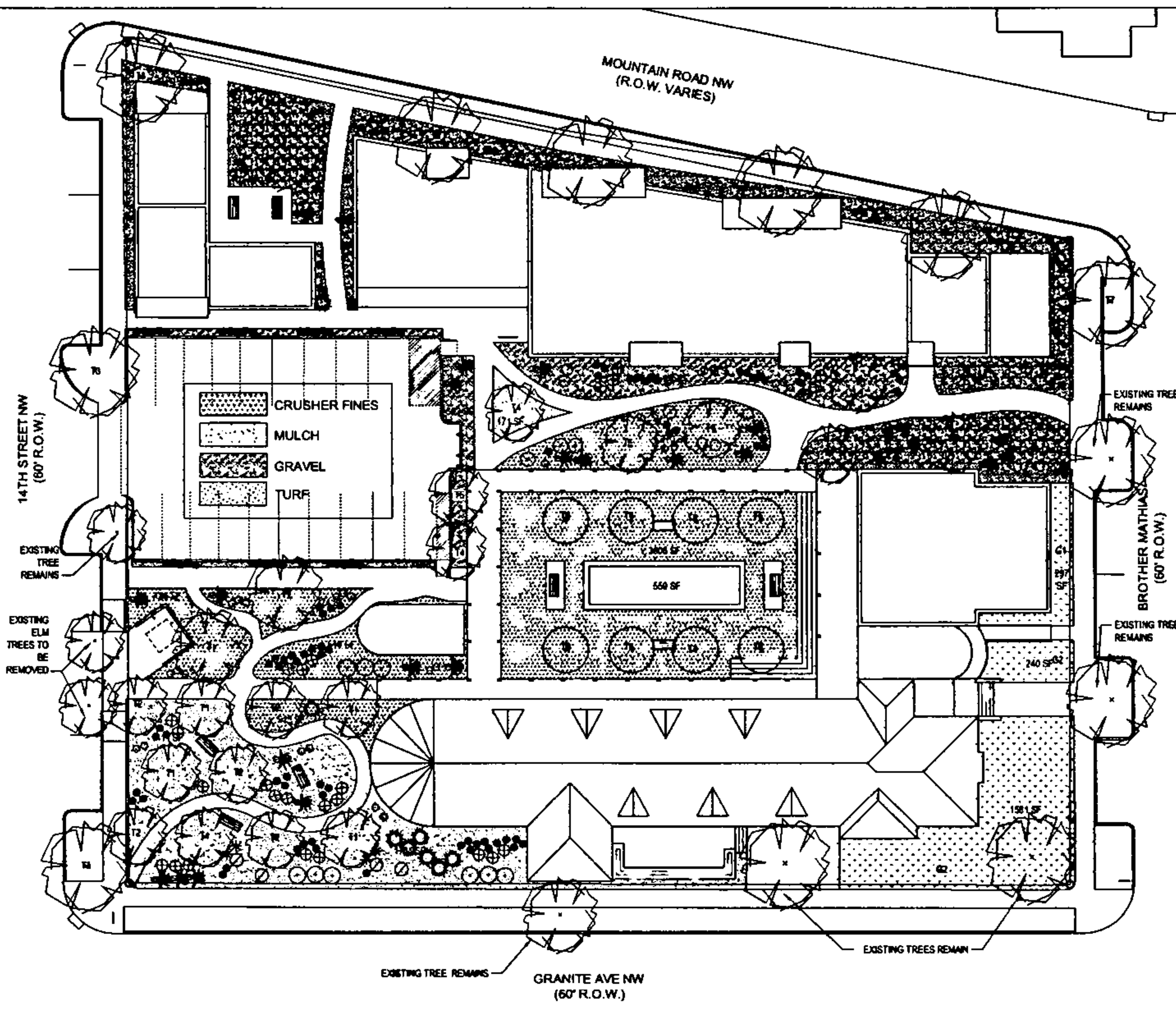
NET LOT AREA =	30,387 SF
30,387 SF X 15% =	4,558 SF
AREA PROVIDED =	14,035 SF = 46% OF NET LOT AREA

OF 14,035 SF LANDSCAPE AREA, TURF AREA = 2118 SF OR 15%

LANDSCAPE CANOPY PROVIDES > 75% COVER PER ZONING REQ'S

**LANDSCAPE AREA**  
AL1

**PLANT LEGEND**  
NOT TO SCALE



**LANDSCAPE PLAN**  
SCALE: 1"=20'-0"

REVISIONS

514 CENTRAL SW  
ALBUQUERQUE  
NEW MEXICO  
8 7 1 0 2  
505/766-6968  
FAX /243-4508

GARRETT SMITH LTD.  
DESIGN, ARCHITECTURE & CONSTRUCTION

LITTLE BROTHERS OF THE GOOD SHEPHERD

LANDSCAPE PLAN

DRWN. BY: NRCM  
DATE: 1/24/2007

AL1



# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

### SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**PRELIM/FINAL**

### ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

### SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**P**

**L**

**D**

### APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

### APPLICANT INFORMATION:

NAME: GERARD SULLIVAN PHONE: C/O BROOK FINCH 766-6968  
 ADDRESS: 901 BROTHER MATTHIAS PL. NW FAX: \_\_\_\_\_  
 CITY: ALBU STATE: NM ZIP: 87102 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: OWNER List all owners: \_\_\_\_\_  
 AGENT (if any): SURVEL'S SOUTHWEST, LTD PHONE: 998-0303  
 ADDRESS: 333 LOMAS BLVD NE FAX: 998-0306  
 CITY: ALBU STATE: NM ZIP: 87102 E-MAIL: \_\_\_\_\_

### DESCRIPTION OF REQUEST:

ELIMINATE THE LOT LINES BETWEEN TEN EXISTING LOTS CREATING ONE NEW LOT & DEDICATE ADDITIONAL R-O-W

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

### SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 7 THROUGH 10 Block: 45 Unit: N/A  
 Subdiv. / Addn. PEREA ADDITION  
 Current Zoning: SU-1/SU-2 FOR D-1 FOR FOUND. HOUSE & RELIGIOUS ACT Proposed zoning: N/A  
 Zone Atlas page(s): J-13-2 No. of existing lots: 10 No. of proposed lots: 1  
 Total area of site (acres): 1.1388 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A  
 Within city limits?  Yes.  No, but site is within 5 miles of the city limits. Within 1000FT of a landfill?  No  
 UPC No. 1-013-058-408-300-11001, 1-013-058-423-302-11002 MRGCD Map No. N/A  
 LOCATION OF PROPERTY (BY STREETS): On or Near: MOUNTAIN ROAD NW  
 Between: 14<sup>th</sup> STREET NW and 13<sup>th</sup> STREET NW

### CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): Proj # 1005189  
2-89-100

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: \_\_\_\_\_

SIGNATURE Dan Graney DATE 12.20.06  
 (Print) Dan Graney \_\_\_\_\_ Applicant  Agent

### FOR OFFICIAL USE ONLY

Form revised 4/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06 DRB- 01772</u>	<u>P.S.F</u>	<u>23</u>	\$ <u>215.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CME</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>January 3, 2007</u>			Total \$ <u>235.00</u>

Andrew Garcia 12/20/06 Project # 1005189

1-013-058-404-305-11005  
 1-013-058-414-311-11003  
 1-013-058-410-311-11004

**SKETCH PLAT REVIEW AND COMMENT**

**YOUR ATTENDANCE IS REQUIRED.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

**MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT**

**Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

**Extensions are not reviewed through internal routing.**  
Extension of preliminary plat approval expires after one year.

**MAJOR SUBDIVISION FINAL PLAT APPROVAL**

**Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

**DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL**

**Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**AMENDMENT TO PRELIMINARY PLAT (with minor changes)**

**Your attendance is required.**

**AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**

**AMENDMENT TO GRADING PLAN (with minor changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
  - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
  - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

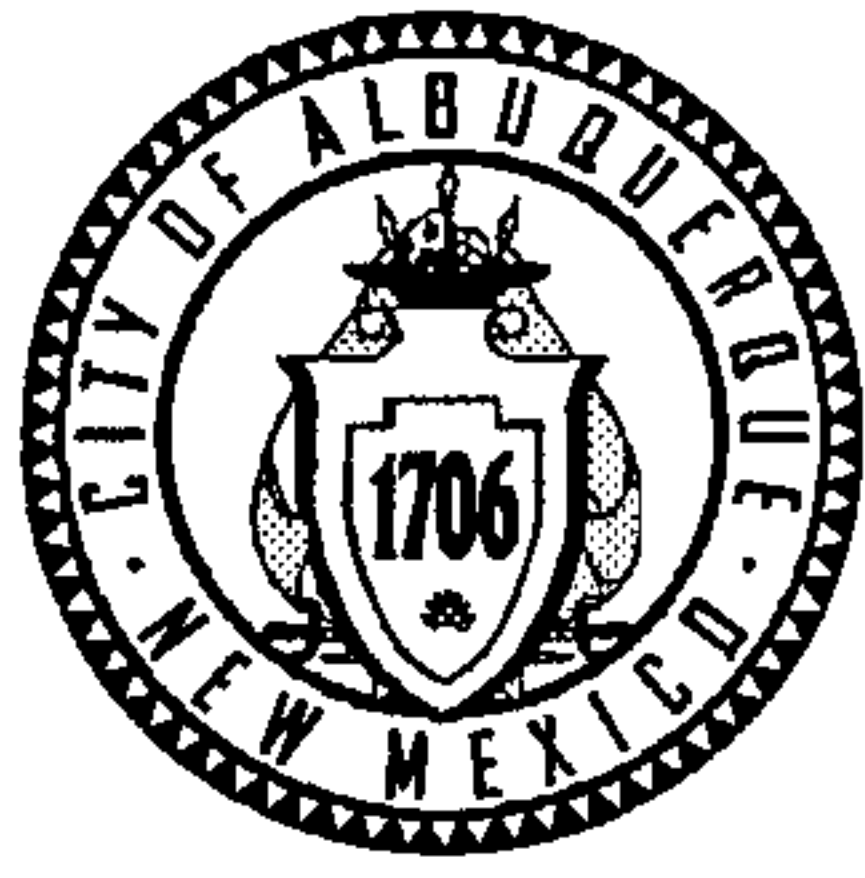
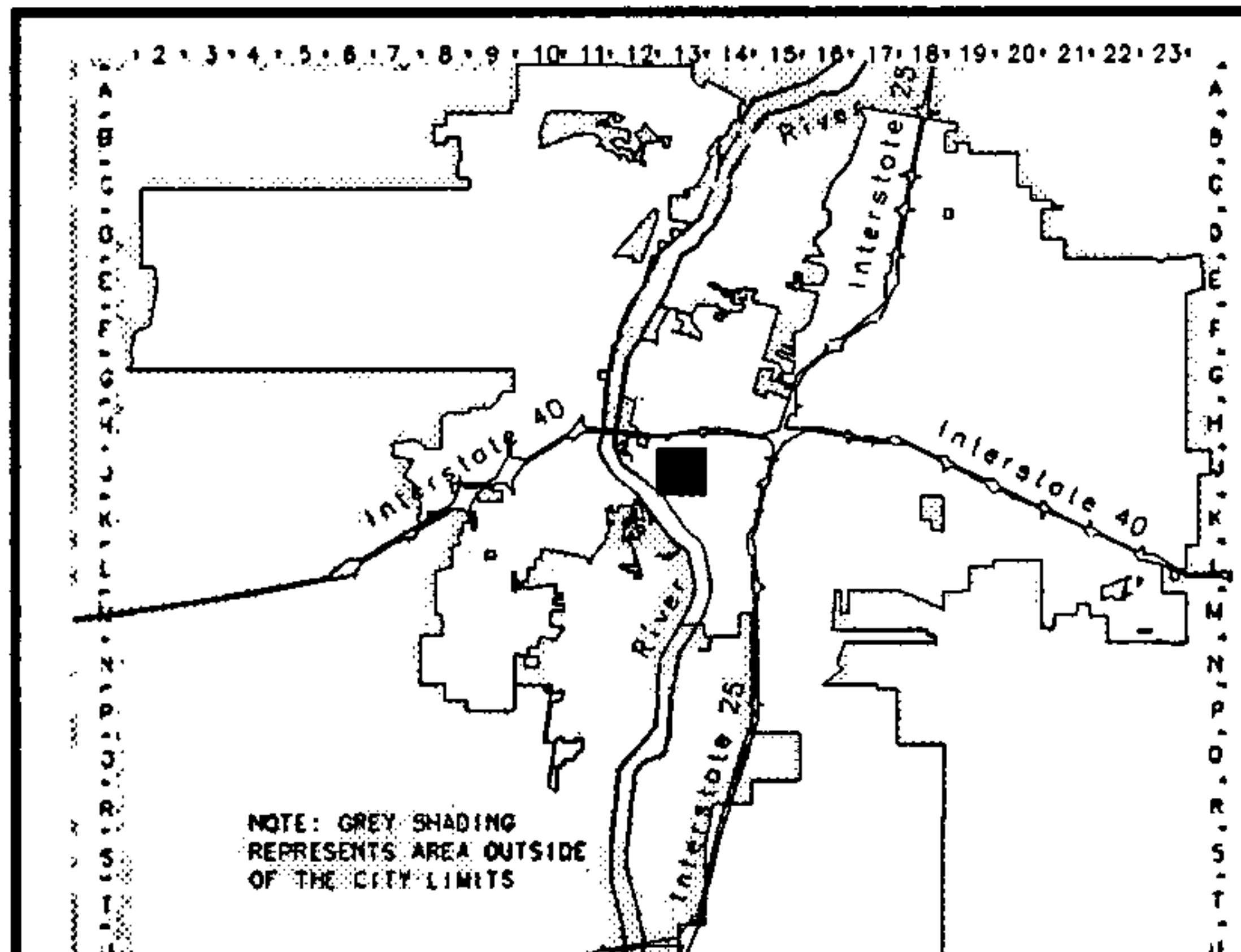
Dan Craney Applicant name (print)  
Dan Craney Applicant signature / date  
12.20.06



Form revised 8/04, 1/05 & 10/05

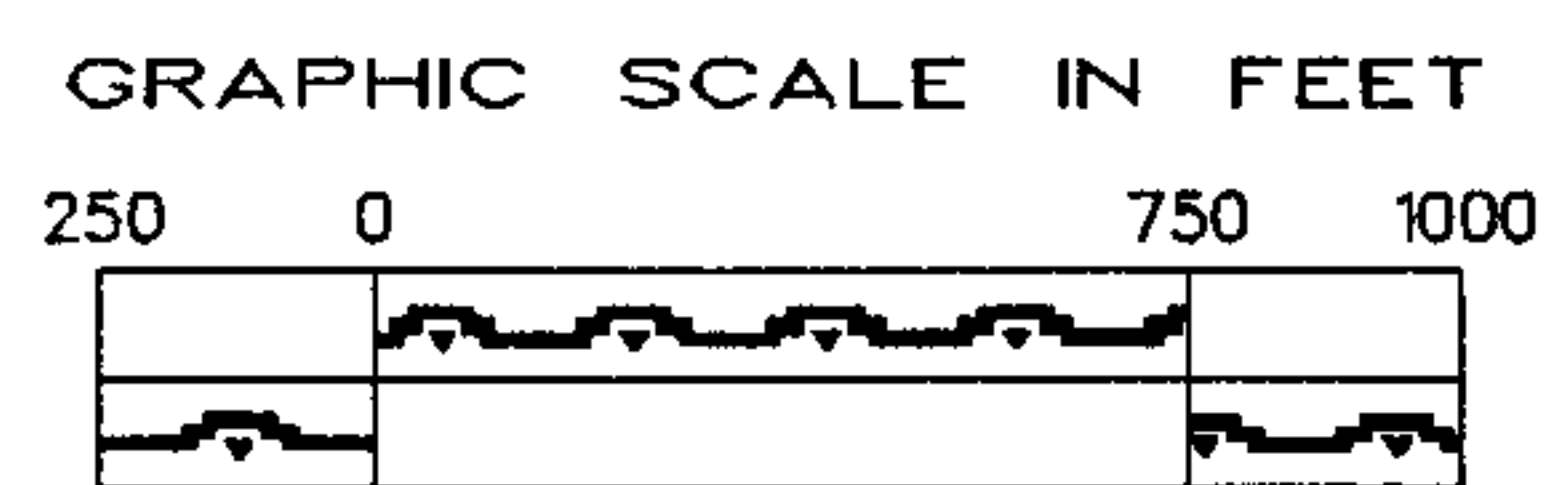
- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- | Application case numbers |
|--------------------------|
| 06 PRB - - 01772         |
| - - -                    |
| - - -                    |

Andrew Garcia 12/20/06  
Planner signature / date  
**Project # 1005189**



**AGIS**  
Albuquerque Geographic Information System  
PLANNING DEPARTMENT

© Copyright 2004



**Zone Atlas Page**

**J-13-Z**

Map Amended through August 03, 2004

# *Surveys Southwest, Ltd*

---

*333 Lomas Blvd., NE \* Albuquerque, New Mexico 87102 \* 998-0303 \* Fax 998-0306*

December 20, 2006

DEVELOPMENT REVIEW BOARD MEMBERS  
PLAZA DEL SOL  
600 SECOND STREET NW  
ALBUQUERQUE, NM 87102

REF: LOT 1-A, BLOCK 45, PEREA ADDITION

Dear Board Members:

The purpose of the above referenced replat is to consolidate existing lot lines into One (1) new lot for site expansion. There are existing facilities on this property.

If you have any questions please feel free to contact me.

Sincerely,

Dan Graney  
President

**ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services**

**PAID RECEIPT**

APPLICANT NAME Gerard Sullivan  
 AGENT Survey Southwest LTD  
 ADDRESS 333 Lomas Blvd NE.  
 PROJECT & APP # 1005189 / 06 DRB-01772  
 PROJECT NAME Perca Addition

\*\*\*DUPLICATE\*\*\*  
 City Of Albuquerque  
 Treasury Division

12/20/2006 2:30PM LOC: ANRX  
 RECEIPT# 00071088 USH 006 TRANSH 0013  
 ACCOUNT 441032 Fund 0110 TRSCCS  
 Activity 3424000 \$235.00  
 Trans Amt \$20.00  
 J24 Misc

Thank You

\$ 20.<sup>00</sup> 441032/3424000 Conflict Management Fee  
 \$ 215.<sup>00</sup> 441006/4983000 DRB Actions  
 \$            441006/4971000 EPC/AA/LUCC Actions & All Appeals  
 \$            441018/4971000 Public Notification  
 \$            441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
 ( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
 ( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
 ( ) Traffic Impact Study  
 \$ 235.<sup>00</sup> TOTAL AMOUNT DUE

**\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

12/20/2006  
 RECEIPT# 00071088  
 ACCOUNT 441006  
 Activity 4983000  
 Trans Amt  
 J24 Misc  
 CHANGE

<b>GARRETT SMITH LTD.</b> 07/91 514 CENTRAL SW 505-766-6968 ALBUQUERQUE, NM 87102		<b>12896</b> 95-219/1070 176 1017550548
City of Albuquerque Treasury Division		DATE <u>December 12, 2006</u>
PAY TO THE ORDER OF <u>City of Albuquerque</u>		\$ <u>235.00</u>
<u>Two Hundred Thirty Five and No/100</u>		DOLLARS
FOR <u>Planning Fee (Brothers of Good Shepherd)</u>		Security Features Details on Back
**0000012896** *107002192* 1017550548**		

*Stephanie Council*

THANK YOU

