



Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS 12-J13 AND 17-J14, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES () ARE PER THE PLAT OF PEREA ADDITION, FILED IN BERNALILLO COUNTY, NEW MEXICO ON MAY 01, 1891 IN VOLUME C2, FOLIO 43.
6. GROSS AREA: 1.1388 ACRES
7. NUMBER OF EXISTING LOTS: 10
8. NUMBER OF LOTS CREATED: 1
9. PROPERTY IS ZONED SU-1/SU-2 FOR O-1 FOR FOUND HOUSE AND RELIGIOUS ACT.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPC#: _____

PROPERTY OWNER OF RECORD: _____

BERNALILLO COUNTY TREASURERS OFFICE: _____

LEGAL DESCRIPTION

A certain tract of land being and comprised of portion of Lots numbered One (1) through Ten (10) inclusive in Block numbered Forty-five (45) of the PEREA ADDITION to the City of Albuquerque, Bernalillo County, New Mexico as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 1, 1891 in Volume C2, folio 43 and being more particularly described as follows:
 BEGINNING at the Southwest Corner of said tract, being a point of intersection of the North right-of-way of Granite Avenue NW and the East right-of-way of 14th Street NW; whence City of Albuquerque Control Station ACS 12-J13 bears S 14° 33' 47" W, 1057.99 feet distant; thence from said POINT OF BEGINNING running along said right-of-way of 14th Street NW; thence N 10° 45' 07" E, 224.13 feet to the Northeast corner of said tract, being a point on the South right-of-way of Mountain Road NW; thence along said South right-of-way S 67° 13' 59" E, 256.75 feet to the Northeast corner of said tract being a point on the West right-of-way of 13th Street NW; thence along said right-of-way S 10° 57' 41" W, 171.64 feet to the Southeast corner of said tract, being a point on the North right-of-way of Granite Avenue NW; thence along said North right-of-way N 79° 02' 19" W, 250.33 feet to the POINT OF BEGINNING and containing 1.1388 acres, more or less.

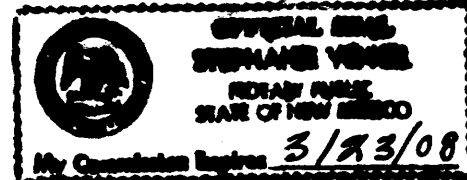
FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

OWNER(S) SIGNATURE: Bro. Gerard Sullivan DATE: 12-18-06
 OWNER(S) PRINT NAME: GERARD SULLIVAN
 ADDRESS: 901 BROTHER MATTHIAS PL NW, 87102 TRACT: _____
 ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
)SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 18th DAY OF December, 2006.
 BY: Bro. Gerard Sullivan

MY COMMISSION EXPIRES: March 23, 2008
Stephanie Vencil
 NOTARY PUBLIC



PLAT OF
 LOT 1-A, BLOCK 45
 PEREA ADDITION
 PROJECTED SECTION 18, T. 10 N., R. 3 E., N.M.P.M.
 TOWN OF ALBUQUERQUE GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER 2006
 SHEET 1 OF 2

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO ELIMINATE THE LOT LINES BETWEEN TEN (10) EXISTING LOTS CREATING ONE (1) NEW LOT AND TO DEDICATE ADDITIONAL RIGHT-OF-WAY.

CITY APPROVAL: PROJECT NO.: APPLICATION NO.
[Signature] 12-20-06
 CITY SURVEYOR DATE

TRAFFIC ENGINEERING DATE

PARKS & RECREATION DEPARTMENT DATE

WATER UTILITIES DEPARTMENT DATE

A.M.A.F.C.A. DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

SURVEYOR'S CERTIFICATION

I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Mitchell W. Reynolds 12-6-06
 Mitchell W. Reynolds Date
 New Mexico Professional Surveyor, 11224



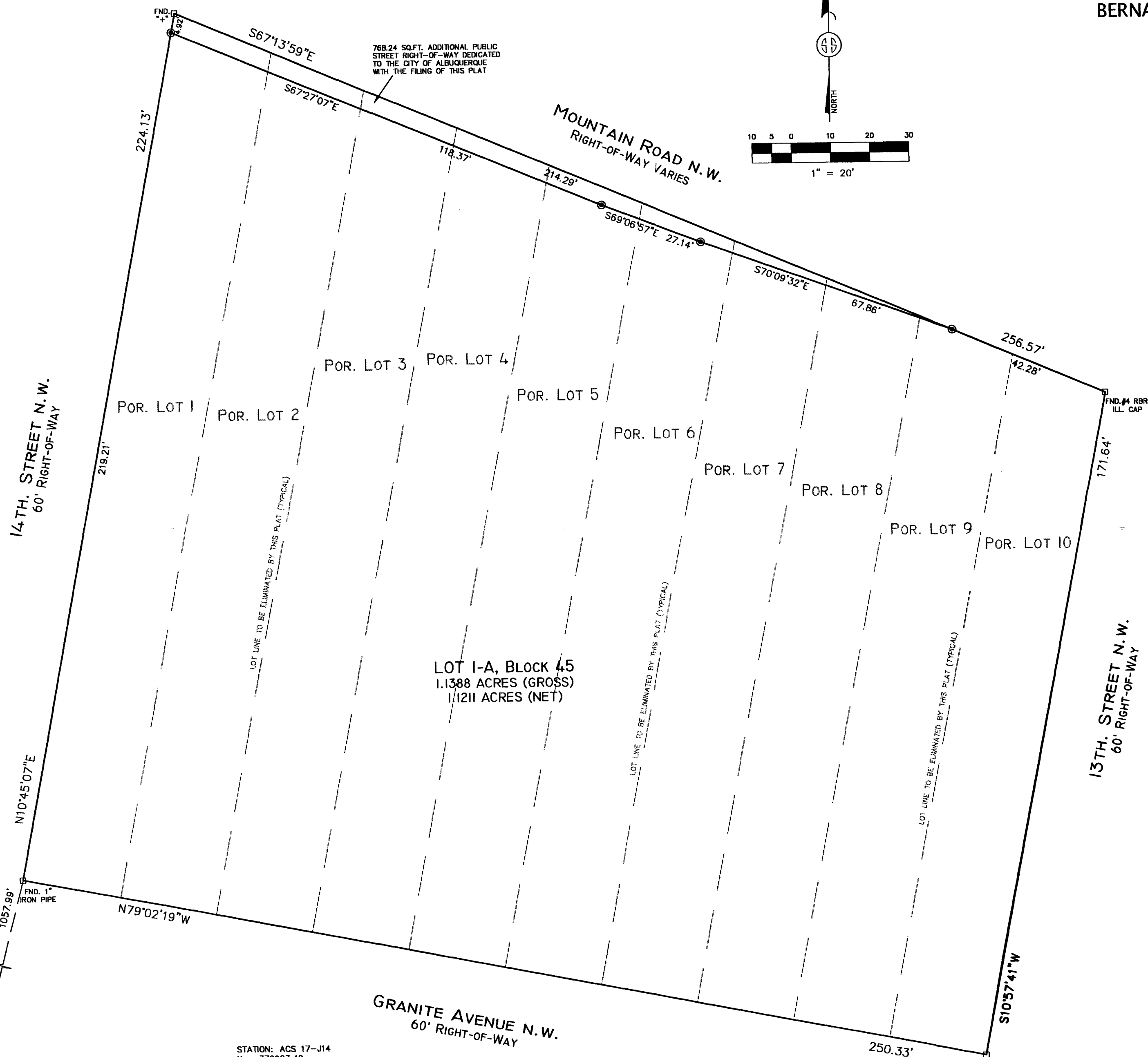
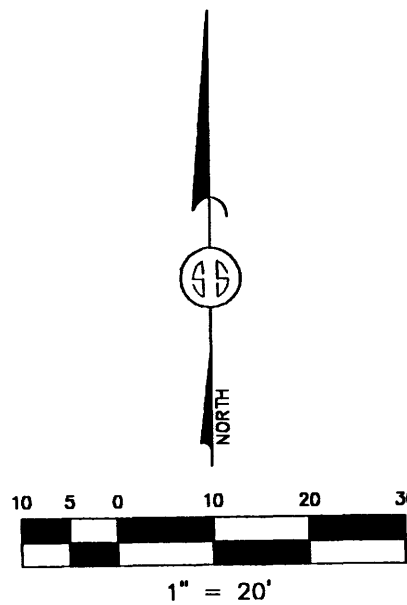
SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E. PHONE: (505) 998-0303
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306
 87102

T. 10 N., R. 3 E., SEC. 18

PLAT OF
LOT 1-A, BLOCK 45
PEREA ADDITION
 PROJECTED SECTION 18, T. 10 N., R. 3 E., N.M.P.M.
 TOWN OF ALBUQUERQUE GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER 2006
 SHEET 2 OF 2

PROJECT NO. 0601RS22
 DRAWN BY JT/PB
 ZONE ATLAS: J-13-Z
 PEREA-AD.CR5



MONUMENT LEGEND	
△	FOUND CONTROL STATION AS NOTED
□	FOUND MONUMENT AS NOTED
●	SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MWR 11224" UNLESS OTHERWISE NOTED

STATION: ACS 12-J13
 X = 376922.94
 Y = 1489212.34
 GROUND TO GRID = 0.9996804
 DELTA ALPHA = -001412"
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 1927

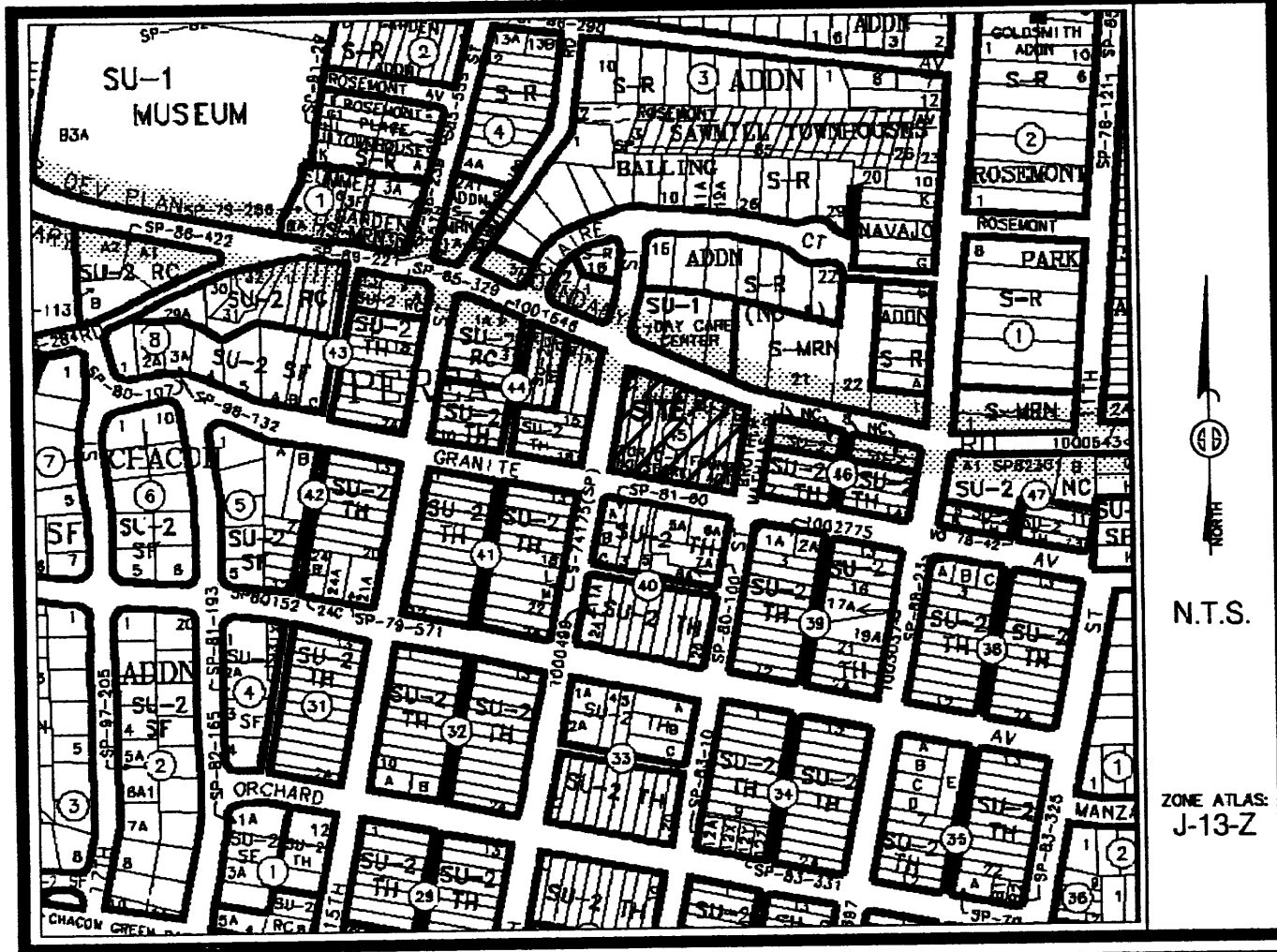
STATION: ACS 17-J14
 X = 378903.40
 Y = 1488804.10
 GROUND TO GRID = 0.9996799
 DELTA ALPHA = -001358"
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 1927

S78°21'09"E
 (BASIS OF BEARINGS)
 2022.10'

SURVEYS SOUTHWEST LTD.
 333 LOMAS BLVD., N.E.
 ALBUQUERQUE, NEW MEXICO
 87102
 PHONE: (505) 998-0303
 FAX: (505) 998-0306
T. 10 N., R. 3 E., SEC. 18

BOUNDARY SURVEY PLAT/TOPOGRAPHIC EXHIBIT

PORTION OF LOTS 1-10, BLOCK 45
PEREA ADDITION
PROJECTED SECTION 18, T. 10 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2006



Vicinity Map

SPOT ELEVATION LEGEND

- +50.00 = ELEVATION AT GROUND
- +00.00 = ELEVATION AT TOP OF FINISHED SURFACE
- +00.00 SW = ELEVATION AT TOP OF SIDEWALK
- +00.00 CL = ELEVATION AT CENTERLINE OF DRIVING LANE
- +00.00 BC = ELEVATION AT BACK OF CURB
- +00.00 FL = ELEVATION AT FLOWLINE OF CURB
- +00.00 DI = ELEVATION AT TOP OF DROP INLET
- +00.00 RM = ELEVATION AT RIM OF MANHOLE

SYMBOLS LEGEND

- = LIGHT POLE
- = POWER POLE
- OH— = OVERHEAD UTILITY LINE
- GAS— = UNDERGROUND GAS LINE
- SEWER— = UNDERGROUND SEWER LINE
- WATER— = UNDERGROUND WATER LINE
- = ANCHOR
- ⊙ = SEWER MANHOLE
- ⊕ = DRAINAGE MANHOLE
- ⊗ = TREE
- ⊠ = WATER METER
- ⊗ = WATER VALVE
- = SEWER CLEANOUT
- ⊠ = WATER SPIGOT
- ⊠ = TRANSFORMER
- ⊠ = ELECTRIC RISER
- = BOLLARD
- ⊗ = FIRE HYDRANT
- ⊗ = GAS METER
- ⊠ = DROP INLET
- = BLOCK WALL
- X— = FENCE

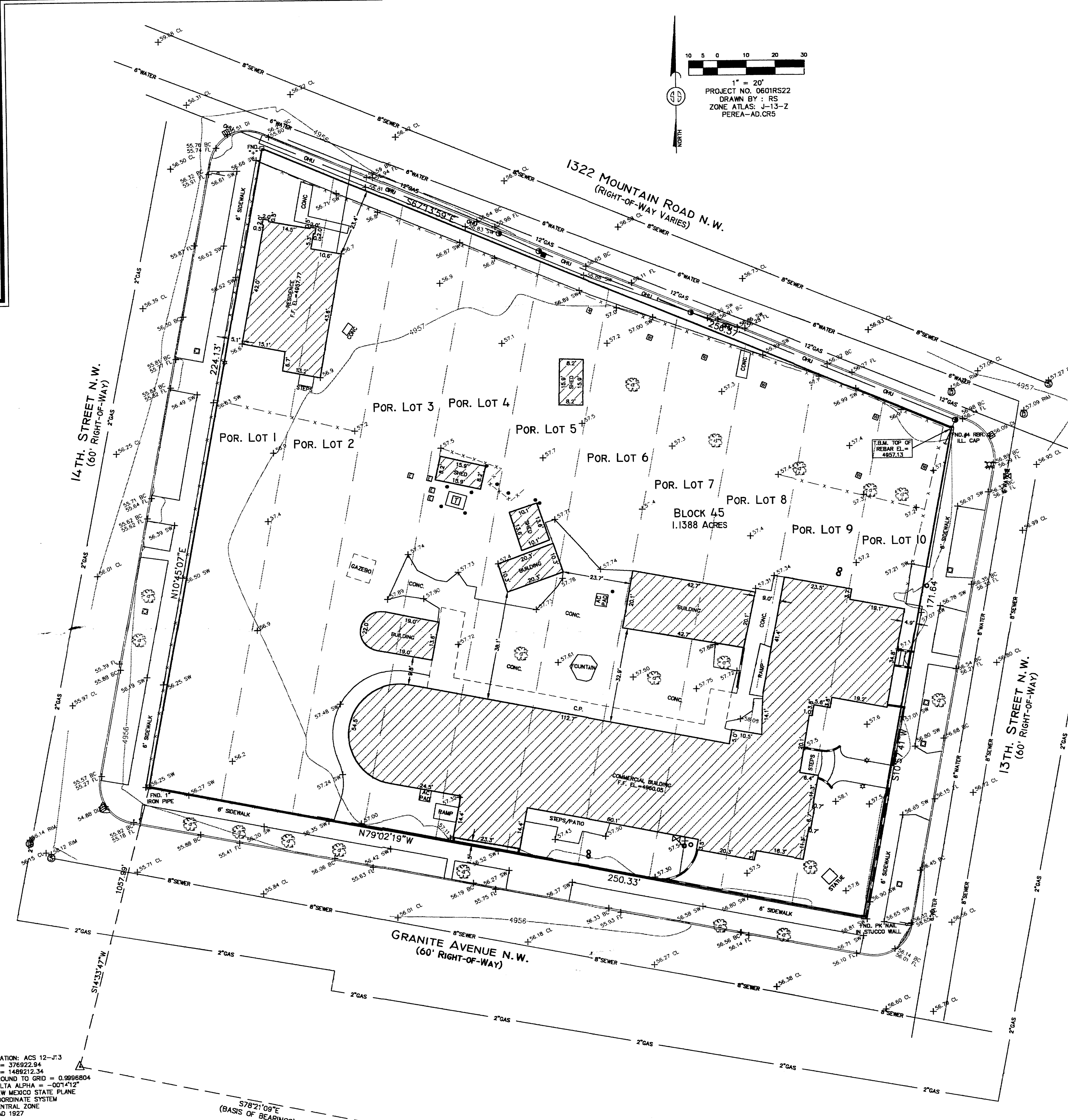
MONUMENT LEGEND

- ⊠ - FOUND MONUMENT AS NOTED
- ⊗ - SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MWR 11224" UNLESS OTHERWISE NOTED

UTILITY COMPANY INFORMATION
P.N.M. GAS & ELECTRIC SERVICES
848-4944
QWEST COMMUNICATIONS
245-8706
COMCAST CABLE
761-6273

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 18-J13, THE PUBLISHED ELEVATION OF WHICH IS 4954.442, AND IS LOCATED AT THE INTERSECTION OF LOMAS BOULEVARD NW AND ELEVENTH STREET NW, IN THE SOUTHWEST QUADRANT OF THE INTERSECTION.

UTILITY INFORMATION SHOWN HEREON PER FIELD INSPECTION AND CITY OF ALBUQUERQUE UTILITY RECORDS. ACTUAL LOCATION SHOULD BE FURTHER VERIFIED BEFORE BEGINNING CONSTRUCTION AND ANY DISCREPANCIES REPORTED TO THE SURVEYOR.



LEGAL DESCRIPTION
A Portion of Lots 1-10 Block 45 PEREA ADDITION as the same as shown and designated on the Plat of said Addition filed in the Office of the County Clerk of Bernalillo County, New Mexico on May 1, 1891 in Volume C2, folio 43.

- NOTES**
- 1) Basis of bearings in New Mexico State Plane Grid bearings, Central Zone Nad 1927 based on ACS Control Stations 12-J-13, and 17-J-14.
 - 2) Bearing and distance are field measured.
 - 3) Property further identified by UPC #'s 10130584063001101 and 10130584103111004.
 - 4) Subject property is located within Zone X, designating areas determined to be outside the 0.2 % annual chance flood plain according to the Flood Insurance Rate Map, Bernalillo County, New Mexico and Incorporated Areas per Map No. 35001C0331E, effective date November 19, 2003.
 - 5) Documents used in the survey, Plat of Perea Addition Filed May 1, 1891 in Volume C2 folio 43.

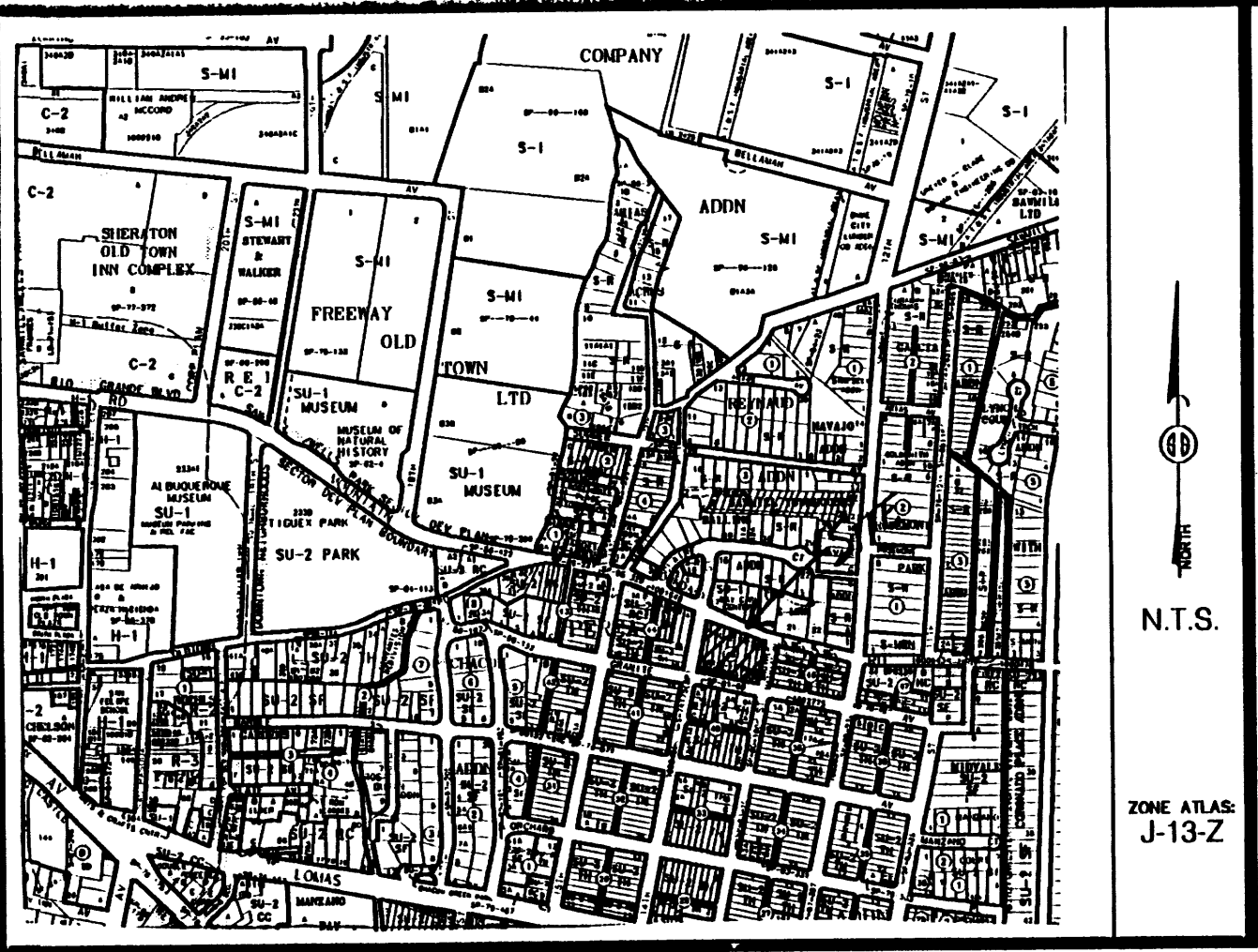
SURVEYOR'S CERTIFICATE
I, MITCHELL W. REYNOLDS, A NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR HEREBY CERTIFY THAT THIS SURVEY PLAT WAS PREPARED FROM AN ACTUAL GROUND SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION, THAT I AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THIS SURVEY PLAT AND THE FIELD SURVEY UPON WHICH IT IS BASED MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, AND THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT. THIS IS A SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

Mitchell W. Reynolds
MITCHELL W. REYNOLDS, N.M.L.S. NO. 11224
1-31-06
DATE



SURVEYS SOUTHWEST, LTD.
333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO
87102
PHONE: (505) 998-0303
FAX: (505) 998-0306

T10N R3E SEC. 18



Vicinity Map

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9. PROPERTY IS ZONED SU-1/SU-2 FOR O-1 FOR FOUND HOUSE AND RELIGIOUS ACT.

LEGAL DESCRIPTION

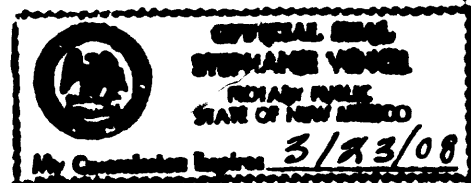
A certain tract of land being and comprised of portion of Lots numbered One (1) through Ten (10) inclusive in Block numbered Forty-five (45) of the PEREA ADDITION to the City of Albuquerque, Bernalillo County, New Mexico as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 1, 1891 in Volume C2, folio 43 and being more particularly described as follows: BEGINNING at the Southwest Corner of said tract, being a point of intersection of the North right-of-way of Granite Avenue NW and the East right-of-way of 14th Street NW; whence City of Albuquerque Control Station ACS 12-J13 bears S 14° 33' 47" W, 1057.99 feet distant; thence from said POINT OF BEGINNING running along said right-of-way of 14th Street NW; thence N 10° 45' 07" E, 224.13 feet to the Northeast corner of said tract, being a point on the South right-of-way of Mountain Road NW; thence along said South right-of-way S 67° 13' 59" E, 256.75 feet to the Northeast corner of said tract being a point on the West right-of-way of 13th Street NW; thence along said right-of-way S 10° 57' 41" W, 171.64 feet to the Southeast corner of said tract, being a point on the North right-of-way of Granite Avenue NW; thence along said North right-of-way N 79° 02' 19" W, 250.33 feet to the POINT OF BEGINNING and containing 1.1388 acres, more or less.

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OWNER(S) SIGNATURE: Bro. Gerard Sullivan DATE: 12-18-06
 OWNER(S) PRINT NAME: GERARD SULLIVAN
 ADDRESS: 901 BROTHER MATTHIAS PL NW, 87102 TRACT: _____
 ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 18th DAY OF December, 2006.
 BY: Bro. Gerard Sullivan
Stephanie Council
 MY COMMISSION EXPIRES: March 23, 2008
 NOTARY PUBLIC



DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO ELIMINATE THE LOT LINES BETWEEN TEN (10) EXISTING LOTS CREATING ONE (1) NEW LOT AND TO DEDICATE ADDITIONAL RIGHT-OF-WAY.

CITY APPROVALS PROJECT NO.: 1005189 APPLICATION NO. 06 DRB-01772

<u>[Signature]</u>	<u>12-20-06</u>
CITY SURVEYOR	DATE
<u>[Signature]</u>	<u>1-3-07</u>
TRAFFIC ENGINEERING	DATE
<u>Christina Sandoval</u>	<u>1/3/07</u>
PARKS & RECREATION DEPARTMENT	DATE
<u>Roger A. Shum</u>	<u>1-3-07</u>
WATER UTILITIES DEPARTMENT	DATE
<u>Bradley J. Bingham</u>	<u>1/3/07</u>
A.M.A.F.C.A.	DATE
<u>Bradley J. Bingham</u>	<u>1/3/07</u>
CITY ENGINEER	DATE
<u>Andrew Garcia</u>	<u>1-5-07</u>
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

SURVEYORS CERTIFICATION

I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Mitchell W. Reynolds 12-6-06
 Mitchell W. Reynolds Date
 New Mexico Professional Surveyor, 11224



SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E. PHONE: (505) 998-0303
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306
 87102

T. 10 N., R. 3 E., SEC. 18

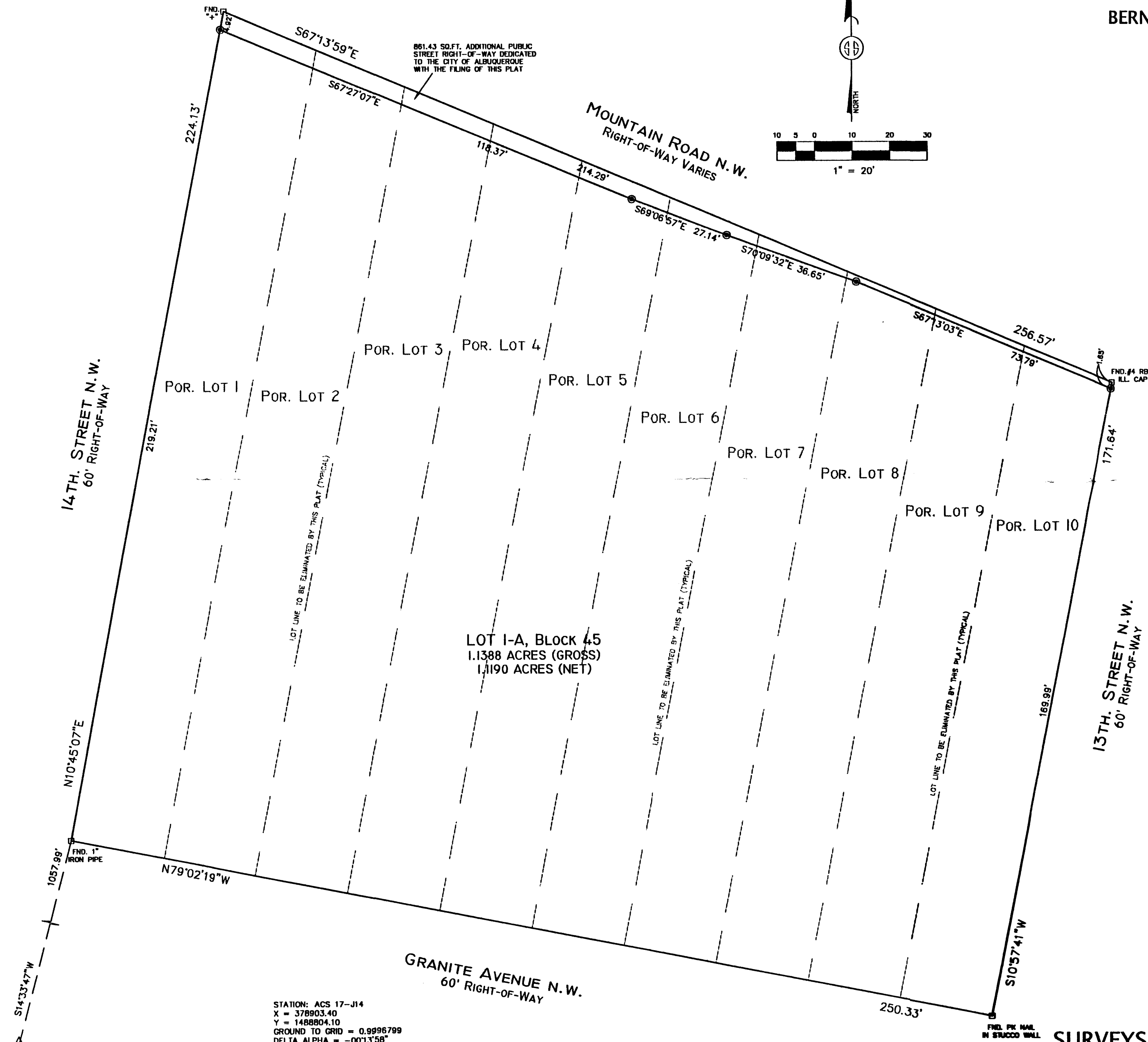
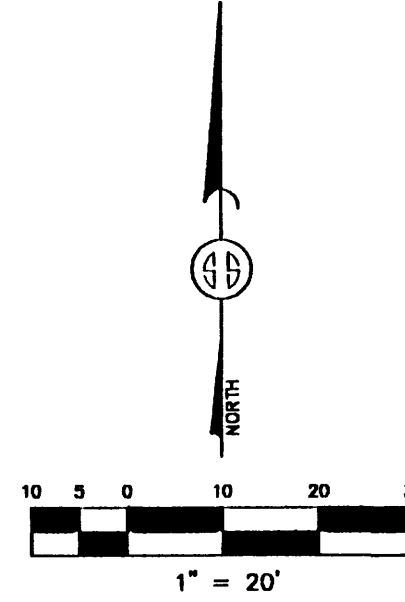
THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
 UPC#: 5 Ure Cdr #2 1-013 056 408 300 11001
 PROPERTY OWNER OF RECORD: Charity Unkempt

BERNALILLO COUNTY TREASURERS OFFICE:

P. Redman 1/8/07

**PLAT OF
LOT 1-A, BLOCK 45
PEREA ADDITION**
PROJECTED SECTION 18, T. 10 N., R. 3 E., N.M.P.M.
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER 2006
SHEET 2 OF 2

PROJECT NO. 0601RS22
DRAWN BY JT/PB
ZONE ATLAS: J-13-Z
PEREA-AD.CR5



861.43 SQ.FT. ADDITIONAL PUBLIC STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

LOT LINE TO BE ELIMINATED BY THIS PLAT (TYPICAL)

LOT LINE TO BE ELIMINATED BY THIS PLAT (TYPICAL)

LOT LINE TO BE ELIMINATED BY THIS PLAT (TYPICAL)

MONUMENT LEGEND	
△	- FOUND CONTROL STATION AS NOTED
□	- FOUND MONUMENT AS NOTED
●	- SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MWR 11224" UNLESS OTHERWISE NOTED

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Y = 1489212.34
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DELTA ALPHA = -00°14'12"
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COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927

STATION: ACS 17-J14
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Y = 1488804.10
GROUND TO GRID = 0.9996799
DELTA ALPHA = -00°13'58"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927

S14°33'47"W
1057.99'
FND. 1" IRON PIPE

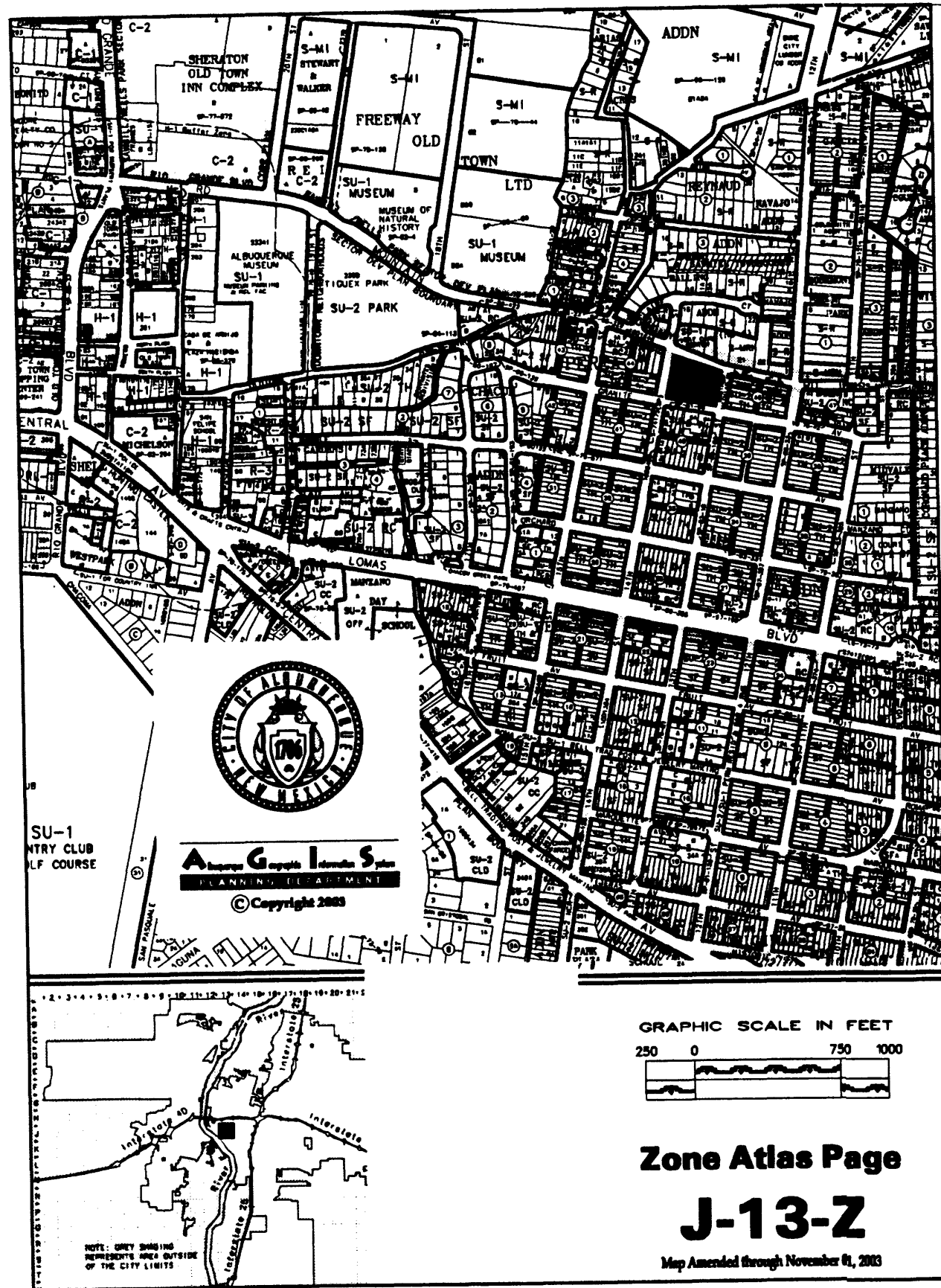
N10°45'07"E
219.21'

N79°02'19"W
2022.10'

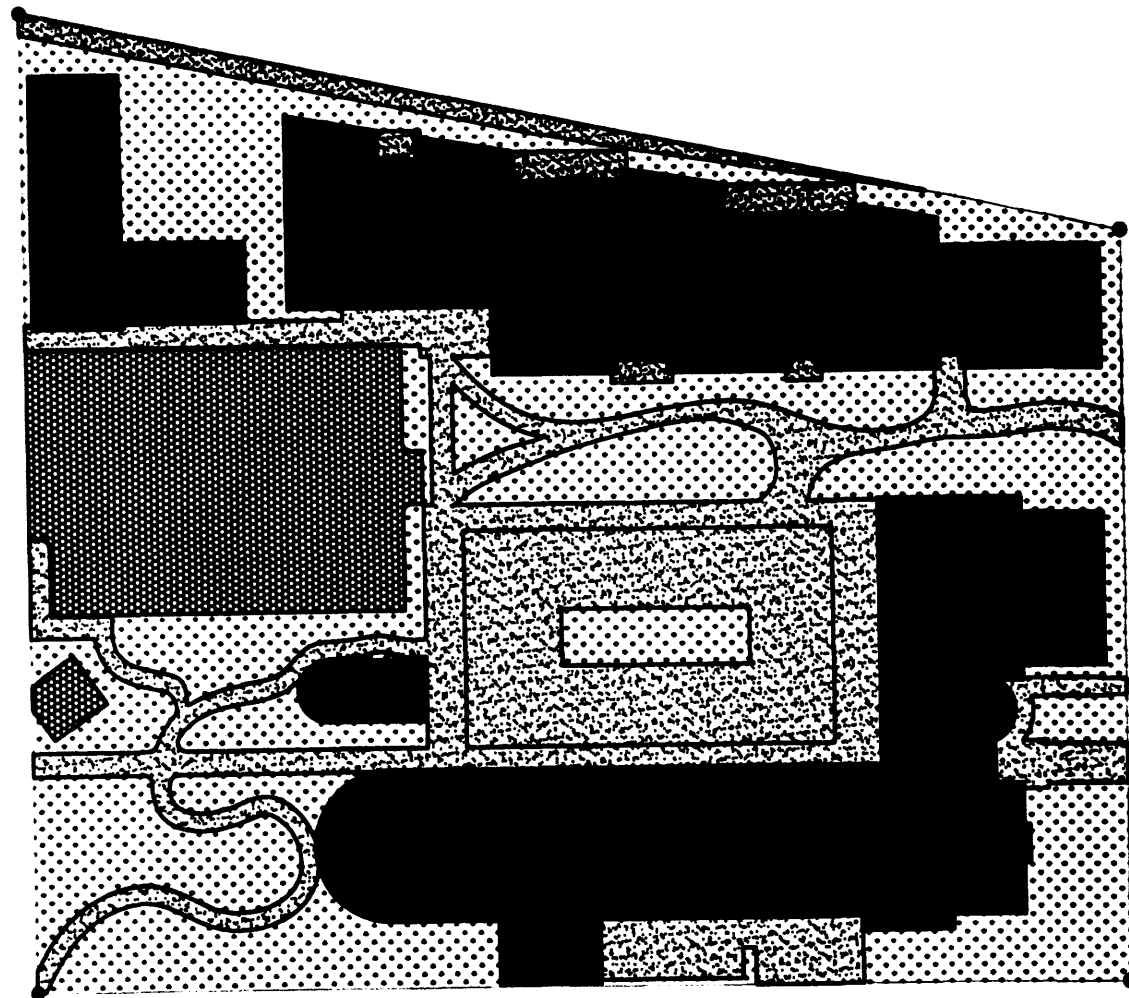
(BASIS OF BEARINGS)



SURVEYS SOUTHWEST LTD.
333 LOMAS BLVD., N.E. ALBUQUERQUE, NEW MEXICO 87102
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FAX: (505) 998-0306
T. 10 N., R. 3 E., SEC. 18



2 VICINITY MAP
AC1



LANDSCAPING:	14,035 SQUARE FEET
STRUCTURES:	17,218 SQUARE FEET
CIRCULATION:	12,889 SQUARE FEET
PARKING:	5,463 SQUARE FEET

3 SITE SQUARE FOOTAGE
AC1 NOT TO SCALE

ABBREVIATIONS

EXST.	EXISTING
F.H.	FIRE HYDRANT
H.C.	HANDICAP
N.L.F.	NEW LIGHT FIXTURE
PP.	POWER POLE
S.D.	STORM DRAIN
S.S.	STOP SIGN
TEL.	TELEPHONE
TYP.	TYPICAL

BLDG	USE	SQUARE FOOTAGE
A	RESIDENCE / OFFICE / RELIGIOUS	11,800 SF (2 FLOORS)
B	RESIDENCE / CHAPEL	910 SF (2 FLOORS)
C	RESIDENCE	4,004 SF (2 FLOORS)
D	TOMB / CHAPEL	368 SF (1 FLOOR)
E	RESIDENCE/DORMITORY	13,742 SF (2 FLOORS)
F	RESIDENCE	3,336 SF (2 FLOORS)
		34,160 SF TOTAL

PARKING REQUIRED PER E.P.C.	
OFF STREET (17 REG +2 H/C)	19
PROVIDED =	19

BICYCLE REQUIREMENTS			
USE	SPACES REQUIRED	CALCULATIONS	TOTALS
RESIDENCE (BLDG A,B,C)	1 PER 2 D.U.	18 D.U./2 =	9
CHAPEL (BLDG D)	NONE REQUIRED		0
DORMITORY (BLDG E)	1 PER 6 RESIDENTS	18 RESIDENTS / 6 =	3
RESIDENCE (BLDG F)	<5 UNITS = NONE REQUIRED		0
			12 REQUIRED & PROVIDED

1 SITE PLAN
AC1 SCALE: 1"=20'-0"

NOTE: THE DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED SITE DEVELOPMENT PLAN FOR SUBDIVISION. THOSE IMPROVEMENTS WILL INCLUDE ANY ADDITIONAL RIGHT-OF-WAY REQUIREMENTS, PAVING, CURB AND GUTTER, SIDEWALK AND ADA ACCESSIBLE RAMPS THAT HAVE NOT ALREADY BEEN PROVIDED FOR. ALL PUBLIC INFRASTRUCTURE CONSTRUCTED WITHIN PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE TO CITY STANDARDS. THOSE STANDARDS WILL INCLUDE BUT ARE NOT LIMITED TO SIDEWALKS (STD. DWG. 2430), DRIVEWAYS (STD. DWG. 2425), PRIVATE ENTRANCES (STD. DWG. 2426) AND WHEEL CHAIR RAMPS (STD. DWG. 2441).

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date	Environmental Health Department (conditional)	Date
Water Utility Department	Date	SSM Waste Management	Date
Parks and Recreation Department	Date	DRB Chairperson, Planning Department	Date
City Engineer	Date		

INDEX TO DRAWINGS
AC1- SITE PLAN FOR BUILDING PERMIT
AL1- LANDSCAPING PLAN
A2 - ELEVATIONS
C1 - CONCEPTUAL GRADING AND DRAINAGE PLAN
C2 - CONCEPTUAL UTILITY PLAN

514 CENTRAL SW
ALBUQUERQUE
NEW MEXICO
8 7 1 0 2
505/766-6968
FAX /243-4508

GARRETT SMITH LTD
DESIGN, ARCHITECTURE & DEVELOPMENT

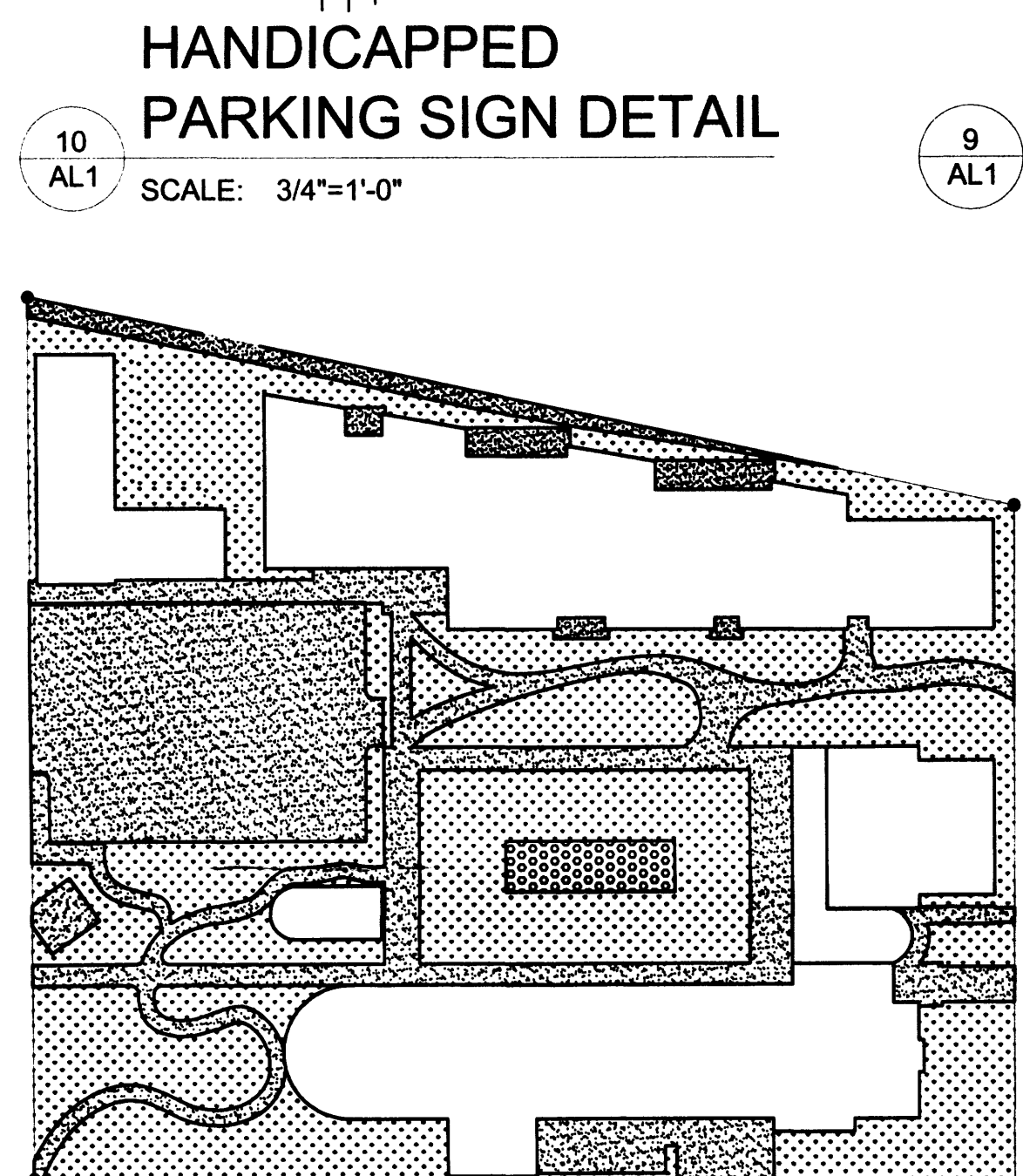
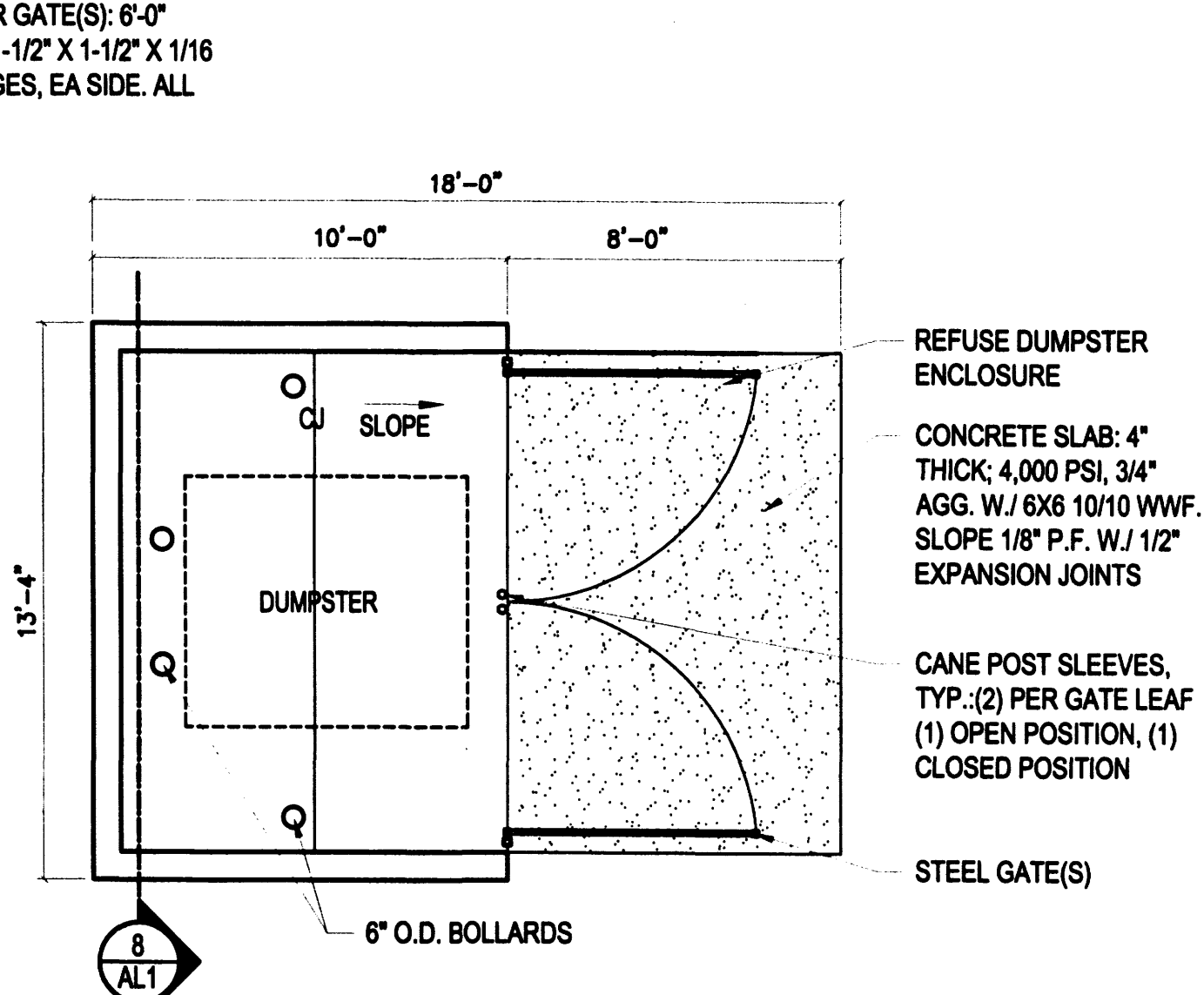
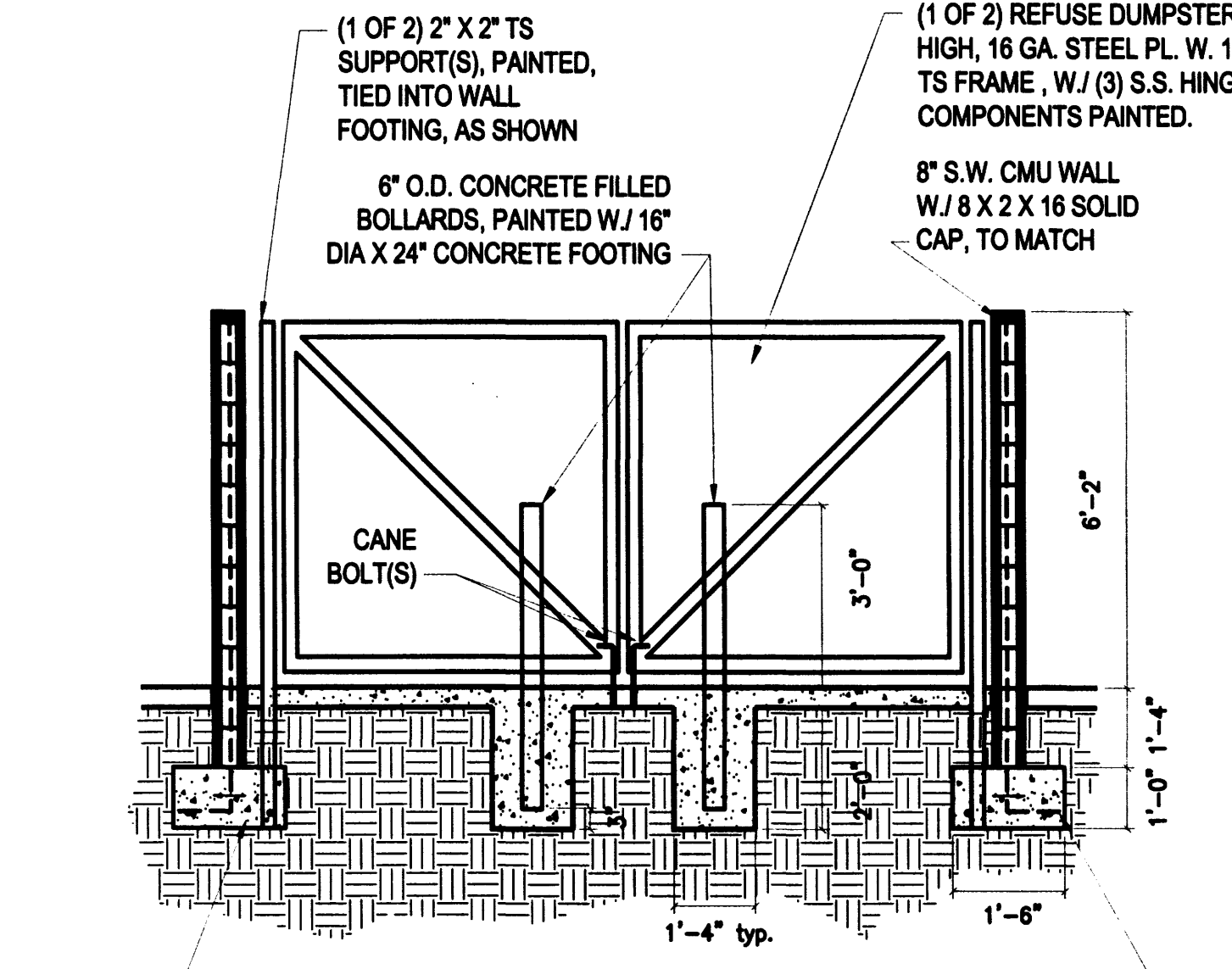
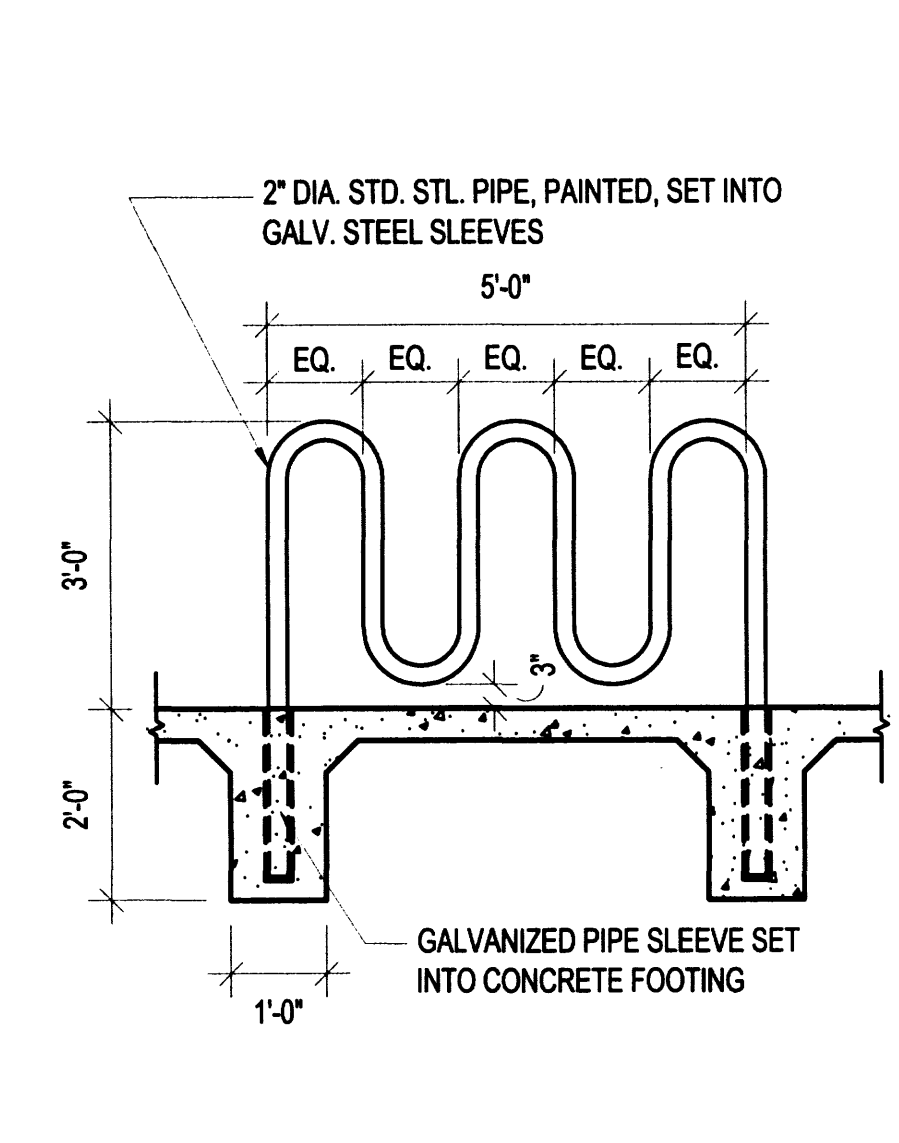
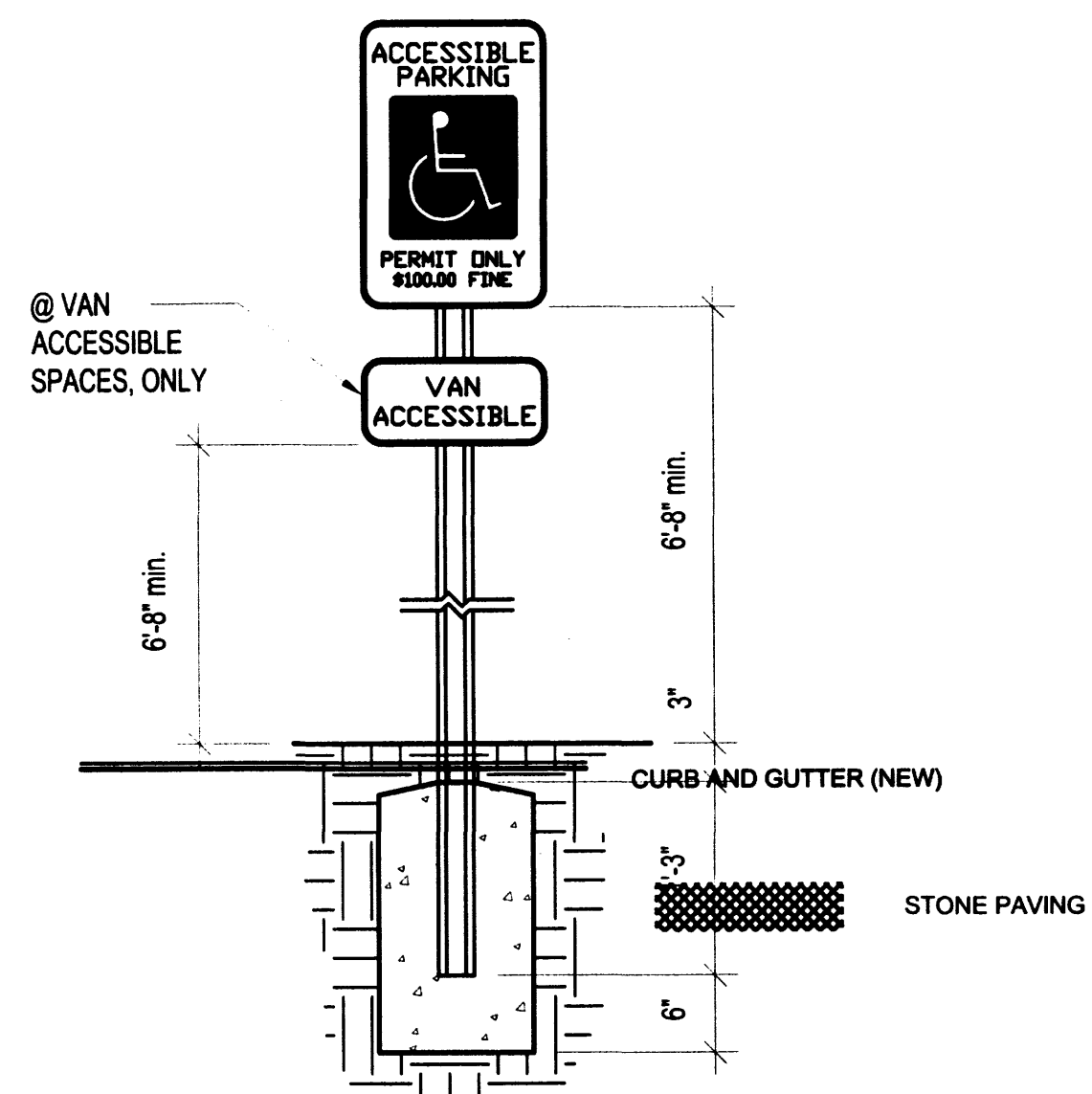
LITTLE BROTHERS OF THE GOOD SHEPHERD
SITE PLAN FOR BUILDING PERMIT

SPBP
PRELIMINARY PLAN
APPROVED BY DRB
ON _____

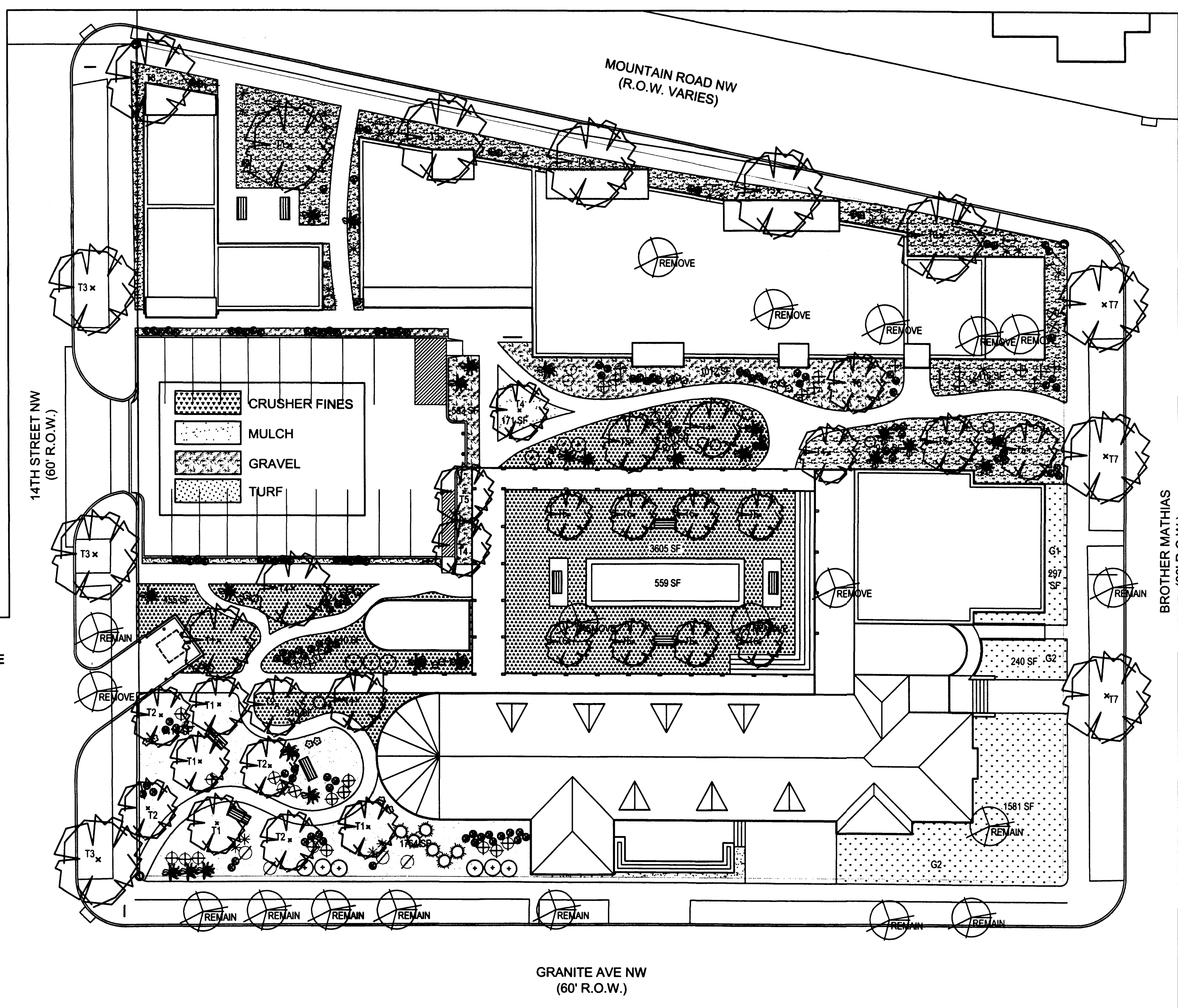
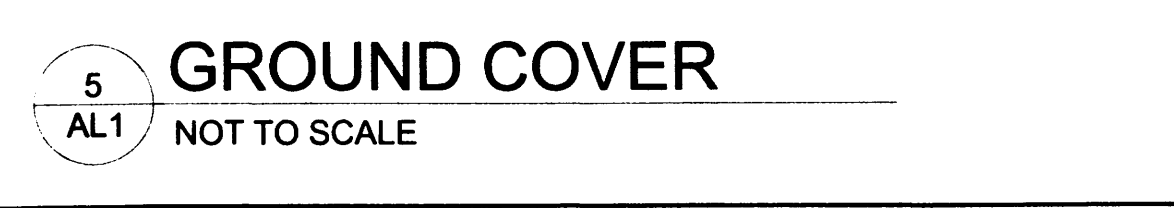
DRWN. BY: NR/CM
DATE: 1/24/2007

AC1

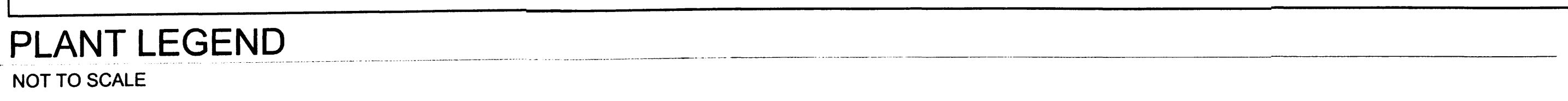
- All plant material shall conform to the sizes given in the list and shall be nursery grown in accordance with the "American Standard for Nursery Stock" Latest edition.
- All planting shall be in accordance with standard American Nurserymen procedures and specifications.
- All plant material is subject to final approval by the architect. Obtain approval from the architect before making any substitutions or changes.
- Location and orientation of all trees to be approved by architect before planting. Contractor to obtain approval by staking locations for inspection by the architect prior to excavation.
- Contractor shall verify the location of all underground utilities in the field, prior to any excavation for plantings or irrigation.
- Backfill Mix for trees: Backfill mix by volume shall consist of 25% amendment, and 75% backfill for trees. For shrubs: 50% amendment and 50% backfill. Native soil shall be cleared of all stone debris 1" diameter or bigger. All other deleterious shall be removed.
- Soil amendment shall consist of composted cotton burs that have been freeze defoliated as specified "Back to Earth Resources" (214) 373-6776, or approved equal.
- Stone mulch to be installed where indicated on drawings. Mulch shall consist of 3/8" diameter "Santa Fe Brown" (or approved equal) to a depth of 3" except around plant trunk where depth shall be 1" Submit sample for approval by architect.
- Fertilizer: Fertilizer shall be "Gro Power" 7 gram planting tablets. Provide 6 tablets per 5 gallon shrubs, 2 tablets per 1 gallon containers, 18 tablets per tree of 2" caliper, and 24 tablets per tree of 2-1/2" caliper or larger.
- Installation and Maintenance: Landscaping shall be installed according to the approved plan; installation shall be completed within 60 days of the related building's occupancy. Owner (Brothers of the Good Shepherd) is responsible party for maintaining all onsite plantings as required.
- Irrigation: Drip irrigation system to be used throughout. All plantings, pervious surfaces and irrigation components to comply with COA Water Conservation Ordinance (article 6-1-1-1).
- Contractor shall assure percolation of all planting pits prior to the installation of trees, amending as necessary for proper water retention or drainage.
- Landscape maintenance shall be the responsibility of the Property Owner.
- It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.
- Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principals will be followed in design and installation.
- Plant beds shall achieve 75% live ground cover at maturity. SFB Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.
- Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (5) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.
- Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
- Irrigation maintenance shall be the responsibility of the Property Owner.



PERVIOUS SURFACE	14,211 SF
IMPERVIOUS SERVICE	16,847 SF
PONDING AREA	559 SF



TREE OR GRASS TYPE	WATER USE	TYPE	WATER USE	TYPE	WATER USE
T1 Gala Apple Tree (<i>Malus domestica</i>) 2" min. caliper	Medium	SHRUBS, GROUND COVER, & PERENNIALS <i>Amorpha fruticosa</i> (False Indigo) <i>Artemisia 'Powis Castle'</i> (Powis Castle Sage) <i>Atriplex confertifolia</i> (Shadscale) <i>Berberis julianae</i> (Wintergreen Barberry) <i>Buddleia davidii nanhoensis</i> (Dwarf Butterfly Bush) <i>Caryopteris clandonensis</i> (Blue Mist) <i>Caesalpinia gilliesii</i> (Bird of Paradise) <i>Ephedra species</i> (Joint Fir) <i>Ericameria laricifolia</i> (Turpentine Bush) <i>Eurotia lanata</i> (Winterfat - female+1 male) <i>Helianthus maximiliani</i> (Maximilian Sunflower) <i>Hesperaloe parviflora</i> (Red Yucca) <i>Liatris punctata</i> (Spotted Gayfeather) <i>Lycium pallidum</i> (Wolfberry) <i>Oenothera bielandieri</i> (Mexican Evening Primrose) <i>Perovskia atriplicifolia</i> (Russian Sage) <i>Pinus mugo</i> (Mugo Pine) <i>Potentilla fruticosa</i> (Shrubby Cinquefoil)	Low	Rosemarinus officinalis (Rosemary)	Low+
T2 Bartlett Pear Tree (<i>Pyrus Communis</i>) 2" min. caliper	Medium+		Low+	<i>Salvia greggii</i> (Cherry Sage)	Medium
T3 Purple Robe Locust (<i>Robinia Pseudoacacia</i>) 2" min. caliper	Medium		Low	<i>Salvia lavandulifolia</i> (Lavender Sage)	Medium
T4 Arizona Walnut (<i>Juglans major</i>) 2" min. caliper	Medium		Medium	<i>Sedum telephium</i> (Autumn Joy Sedum)	Low+
T5 Arizona Sycamore (<i>Platanus Wrightii</i>) 2" min. caliper	Medium+		Medium	<i>Shepherdia argentea</i> (Silver Buffaloberry)	Medium+
T6 Empress Tree (<i>Paulonia Tormentosa</i>) 2" min. caliper	Medium		Low	ORNAMENTAL GRASSES	
T7 Black Locust (<i>Robinia Pseudoacacia</i>) 2" min. caliper	Medium		Low+	<i>Helictotrichon sempervirens</i> (Blue Avena)	Medium
G1 Turf Grasses - Park Blend: <i>Festuca elatior</i> (Tall Fescue), <i>Lolium perenne</i> (Ryegrass), <i>Poa pratensis</i> (Kentucky Bluegrass)	High		Low	<i>Pennisetum alopecuroides</i> (Fountain Grass)	Medium
G2 Existing Turf (Saint Augustine)	Medium.		Low+		

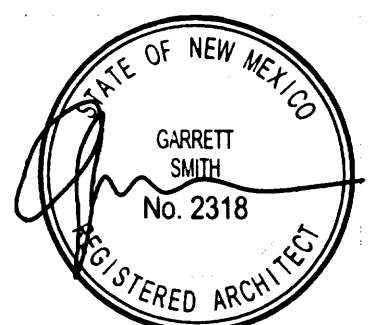
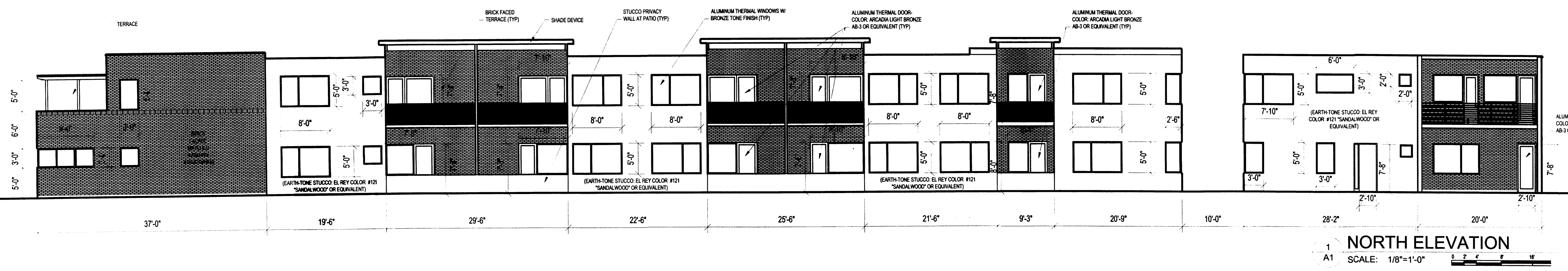
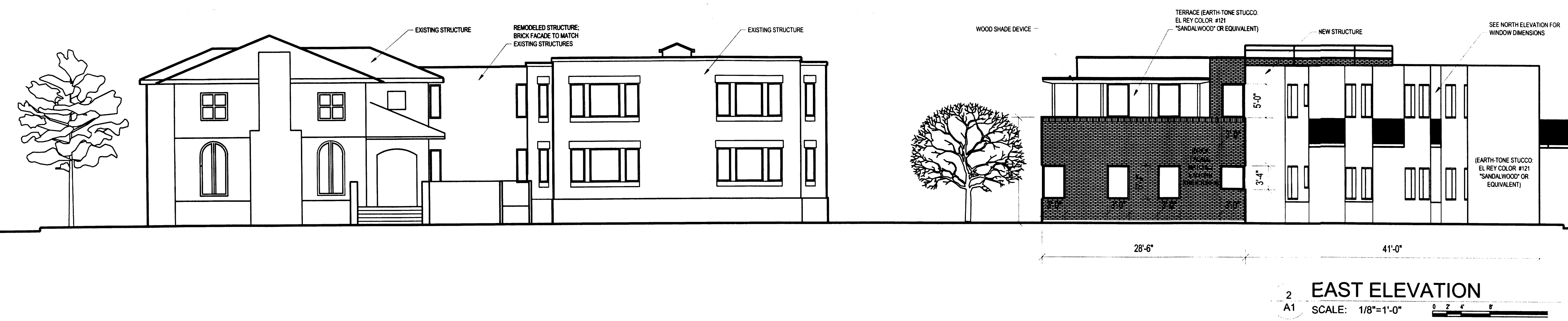
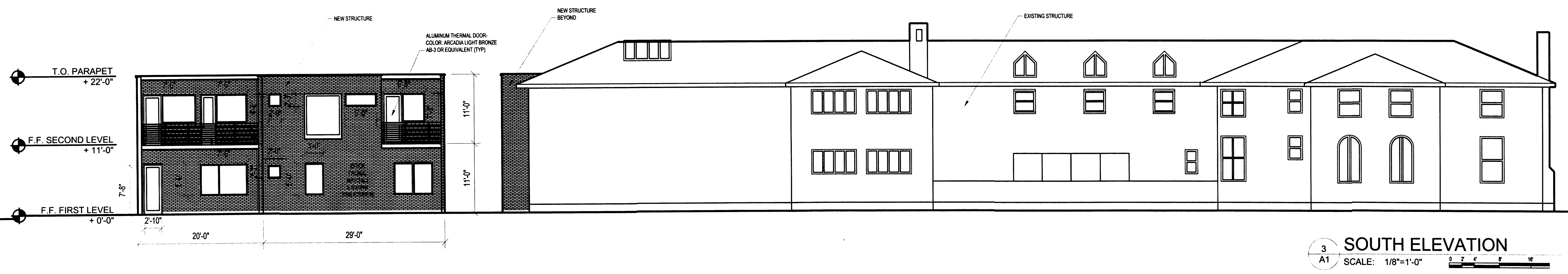
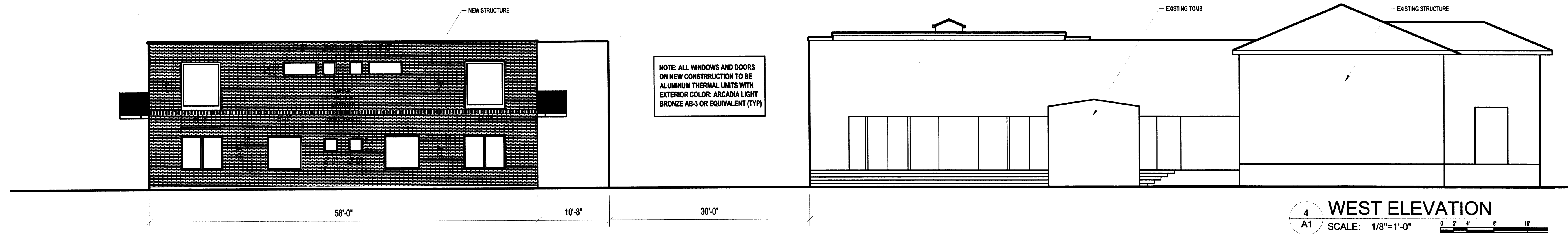


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LITTLE BROTHERS OF THE GOOD SHEPHERD
LANDSCAPE PLAN

DRWN. BY: NR, CM
DATE: 1/24/2007



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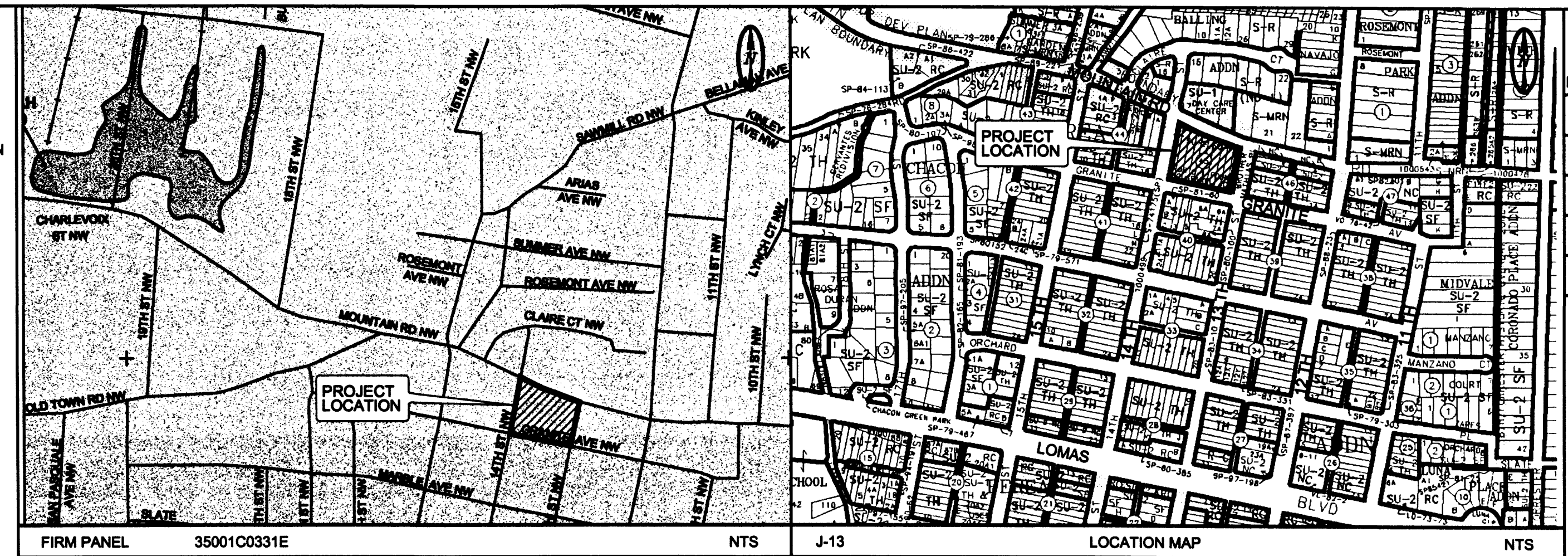
LITTLE BROTHERS OF THE GOOD SHEPHERD
ELEVATIONS

DRWN. BY: NR
DATE: 01/24/2007

A2

LEGEND

- × 56.80 EXISTING SPOT ELEVATION
- 56.80◊ PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- DRAINAGE SWALE
- PROPOSED STRUCTURE
- ▣ PROPOSED CONCRETE
- DRAINAGE BASIN



REVISIONS

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Albuquerque, New Mexico 87110
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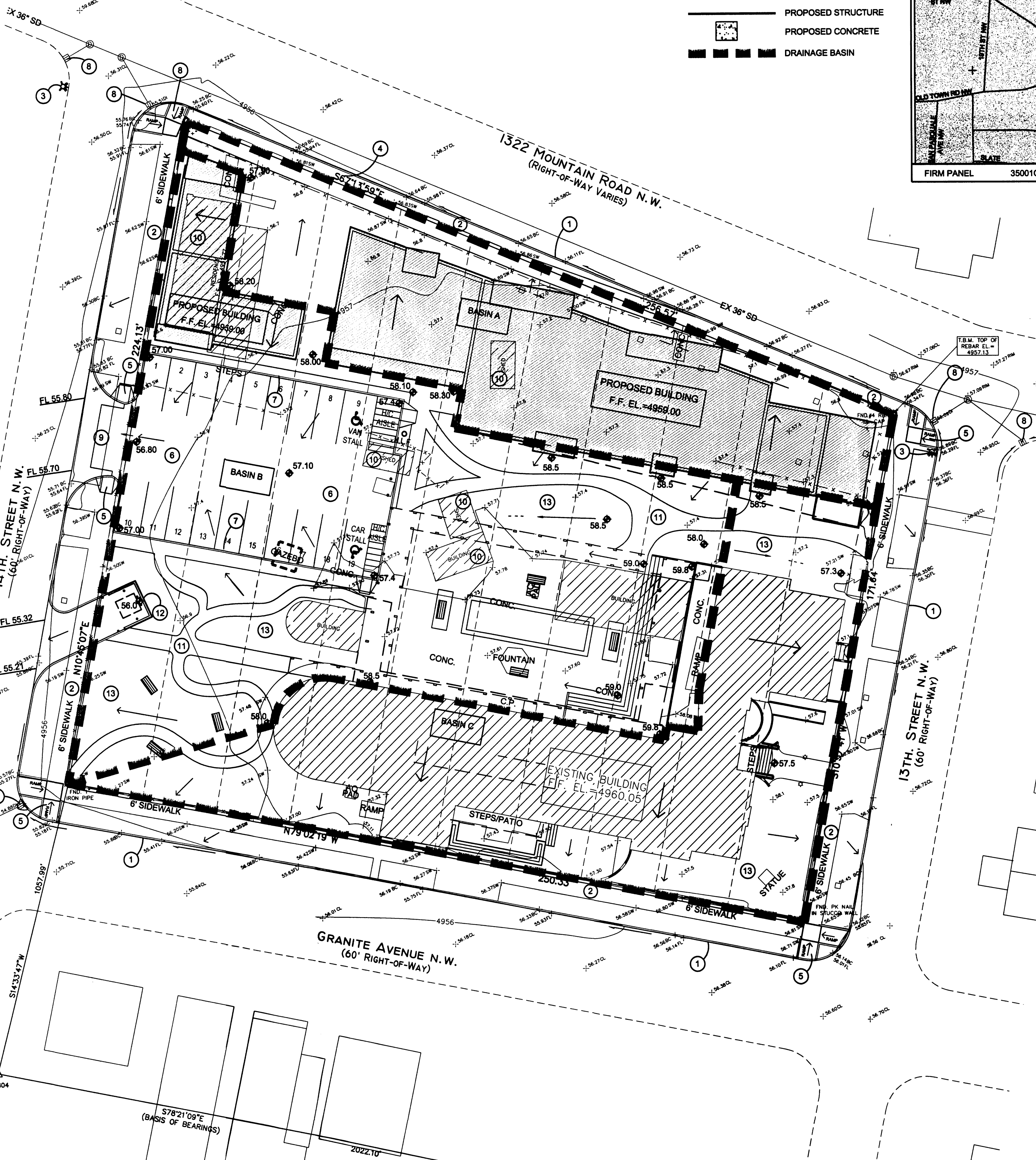
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LITTLE BROTHERS OF THE GOOD SHEPHERD
CONCEPTUAL GRADING AND DRAINAGE PLAN



DRWN. BY: FG
DATE: 07/27/2006

C1



DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- BLI recommends an on-site pre-construction meeting with the landscape contractor to review the grading and drainage criteria.

KEYED NOTES

- EXISTING STANDARD CURB & GUTTER
- EXISTING 6" SIDEWALK
- EXISTING FIRE HYDRANT
- NEW CONCRETE DRIVE PAD PER COA STD DWG 2425
- NEW ACCESSIBLE RAMP
- NEW ASPHALT PAVING
- NEW 6" CONCRETE CURB
- EXISTING DROP INLET
- CONCRETE ALLEY GUTTER - SEE SHEET C-2
- EXISTING BUILDINGS TO BE REMOVED
- NEW SIDEWALK
- NEW REFUSE ENCLOSURE
- NEW LANDSCAPING
- R+D EXISTING CURB AND GUTTER
CONSTRUCT PARALLEL PARKING SPACES

PROPERTY ADDRESS

1322 MOUNTAIN RD NW

LEGAL DESCRIPTION

PROTION OF LOTS 1-10, BLOCK 45
PEREA ADDITION

PROJECT BENCHMARK

ACS STATION " 18-J13 " ELEVATION= 4954.442 FEET
MAD 1927

SURVEY

SITE MAPPING BY
SURVEYS SOUTHWEST
JANUARY 2006

CONCEPTUAL GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Conceptual Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the construction of a 24 unit condominium project located Broadway Boulevard SE at Hazledine Avenue SE, in Albuquerque, New Mexico. Proposed site improvements include paving, landscaping, utility, grading, and drainage improvements. The purpose of this Plan is to support for Building Permit approval by the City of Albuquerque.

EXISTING CONDITIONS

The project site is approximately 0.76-acre in size and is located on Broadway Boulevard SE at Hazledine Avenue SE. The site is presently an undeveloped dirt parcel comprised of 5 residential lots. The properties once consisted of single family residences that have since been torn down. Site topography slopes from east to west at approximately 3-percent.

On-site flows drain westward to Broadway, which conveys runoff south to existing public storm drains. Off-site flows enter the property from the east draining from the residential lots across the public alley into the site. All other off-site flows are intercepted by public storm drains in Broadway and Hazledine. As shown by the attached FIRM Panel, this site is not impacted by a mapped Flood Hazard Zone.

PROPOSED CONDITIONS

As shown by the Plan, the project consists of the construction of a 24 unit condominium project with associated site improvements. The Plan shows the elevations and detail necessary to properly grade and construct the required paving and drainage improvements. Flow arrows give the direction of drainage flows and the project hydrology is tabulated for both existing and proposed conditions.

As shown by the Plan, the site will discharge all developed runoff to existing perimeter streets. The perimeter streets convey all excess runoff to existing public drop inlets and 72-inch storm drain located at Broadway Boulevard SE. On-site flows from will be conveyed to Broadway Boulevard by the proposed site improvements to a channel and sidewalk culvert located at the southwest corner of the site. Off-site flows from Basin "OS-1" will be intercepted by the public alley, which will be re-graded to convey runoff south to Santa Fe Avenue. Santa Fe Avenue drains to the 72-inch storm drain located in Broadway Boulevard SE.

Since this is an infill site free discharge of developed runoff is considered appropriate. As shown by the Project Hydrology the calculated increase in peak flowrate to be discharged from the site is 1.0 cfs. The calculated increase in volume is 2260 cubic feet.

EROSION CONTROL

Since the disturbed area is determined to be less than 1.0-acre a Storm Water Pollution Prevention Plan and Notice of Intent are not required. However, temporary erosion control will be required during the construction phase to protect downstream property and improvements from sediment and uncontrolled runoff. This Plan recommends the placement of silt fencing along the construction boundaries to mitigate sediment deposition into the adjoining properties and public streets.

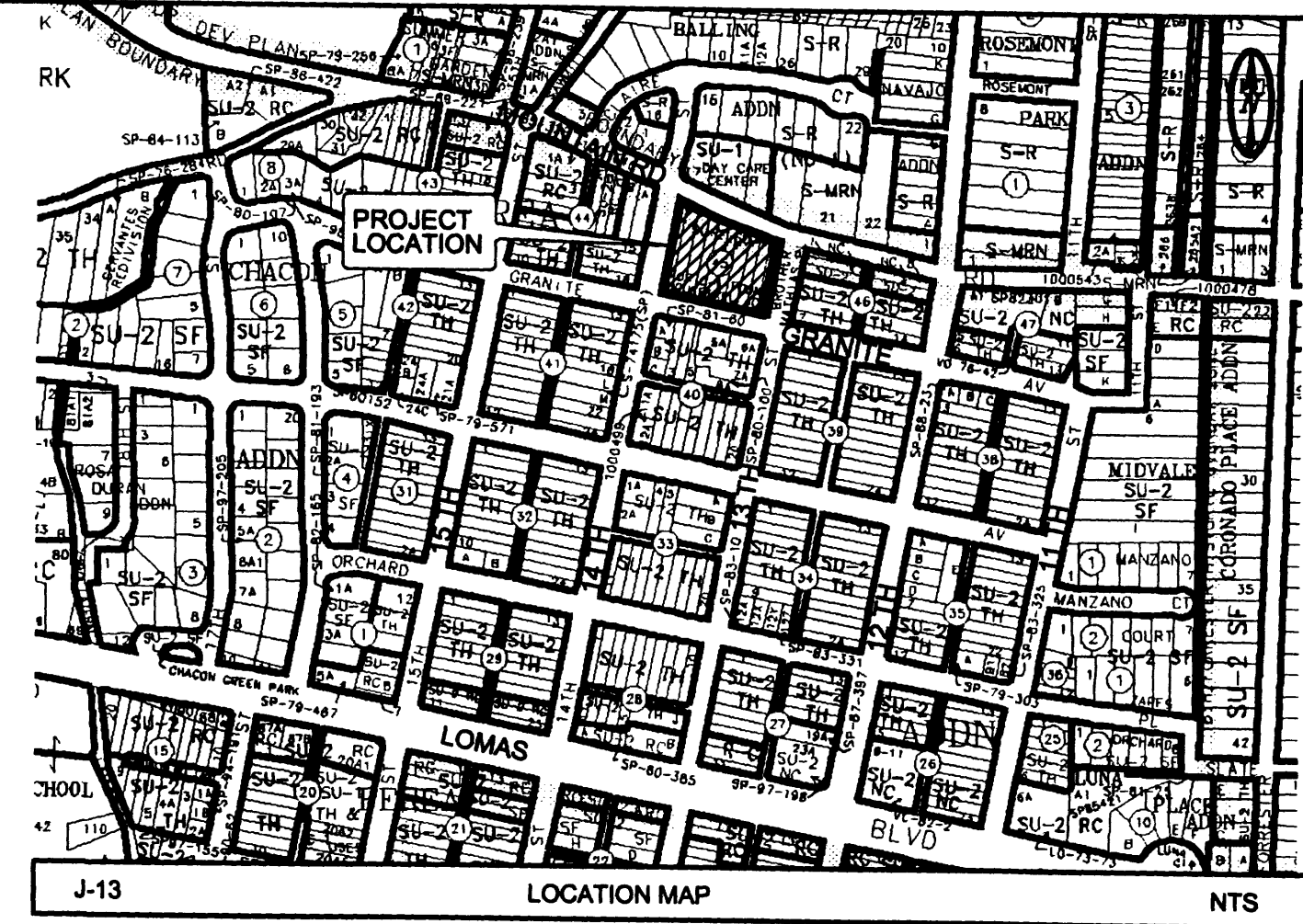
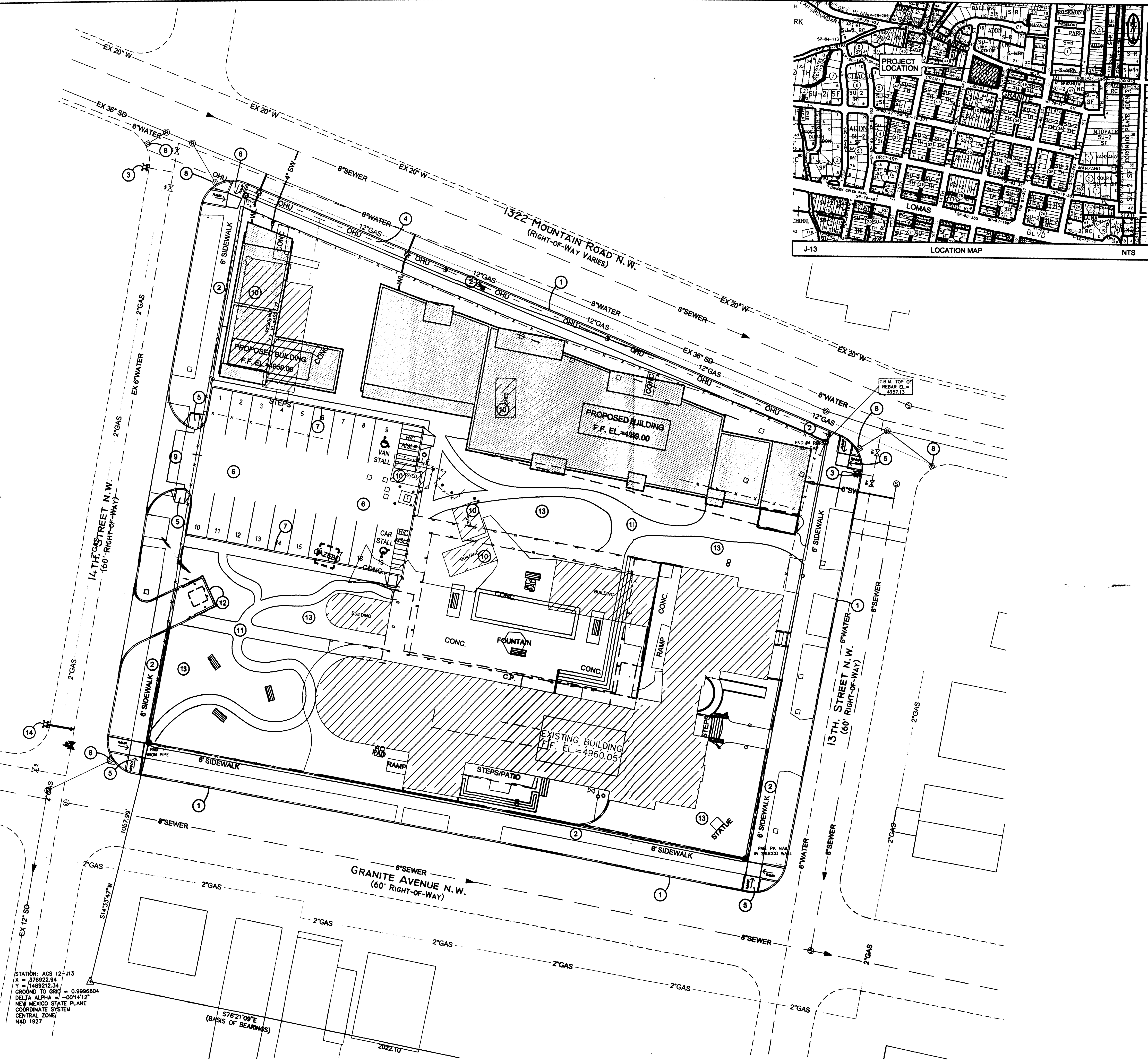
CALCULATIONS

Calculations are provided which define the 100-year/6 hour design storm falling with the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

PROJECT HYDROLOGY									
ZONE:		AHYMO							
P6 HOUR:		2.35"							
P10 DAY:		3.95"							
UNDEVELOPED:									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
SITE	0.76	0.00	0.00	0.76	0.00	1.13	2.4	0.0716	
DEVELOPED (PROPOSED):									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
SITE	0.76	0.00	0.04	0.08	0.64	1.95	3.4	0.1235	
A	0.49	0.00	0.03	0.05	0.41	1.95	2.2	0.0796	
B	0.27	0.00	0.01	0.03	0.23	1.95	1.2	0.0439	
C	0.30	0.00	0.08	0.16	0.06	1.23	1.0	0.0308	

STATION: ACS 12-J13
X = 376922.94
Y = 1489212.34
GROUND TO GRID = 0.9996804
DELTA ALPHA = -0°14'12"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
MAD 1927

STATION: ACS 17-J14
X = 378903.40
Y = 1488804.10
GROUND TO GRID = 0.9996799
DELTA ALPHA = -0°13'58"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
MAD 1927



LEGEND

ITEM	EXISTING	PROPOSED
WATERLINE	--- 6" W ---	--- 6" W ---
SANITARY SEWER	--- 8" SAS ---	--- 8" SAS ---
CLEAN OUT		○
STORM SEWER	--- 36" STS ---	--- 36" STS ---
FIRE HYDRANT	⊕	⊕
VALVE	⊕	⊕
METERED WATER SERVICE		⊕
MANHOLE	○	○
CURB AND GUTTER	—	—
HEADER CURB	—	—
DROP INLET	—	—
OVERHEAD ELEC WITH POWER POLE	— OHE —	— OHE —
UNDERGROUND ELEC, GAS, TEL, TV	— UGT —	— UGT —
CURB ELEVATIONS	⊕ 16.7	⊕ 16.7
SPOT ELEV.	⊕ 16.7	⊕ 16.7
SEWER SERVICE	—	—
RIGHT OF WAY	—	—
EASEMENT	—	—
POWER POLE (GUYED)	— PP —	— PP —
CENTERLINE	—	—
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2

- GENERAL UTILITIES PLAN NOTES:**
- LOCATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE, BASED ON RECORD INFORMATION. CONTRACTOR SHALL FIELD-VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES BEFORE CONSTRUCTION.
 - SIZES, MATERIALS, AND POINTS OF CONNECTIONS OF ON-SITE SERVICE LINES FOR WATER, AND SEWER ARE APPROXIMATE, AND WILL BE DETERMINED BY THE BUILDING MECHANICAL CONTRACTOR.
 - ALL METERED SERVICE LINES, WILL BE CONSTRUCTED UNDER CITY SPECIFICATION.
 - GAS, ELECTRIC, TELEPHONE, AND CABLE TV SERVICE LINES TO BE DESIGNED BY EACH UTILITY OPERATOR.
 - ALL SANITARY MAINS SHALL BE 8" PVC SDR 35 PIPE.
 - ALL SANITARY SEWER SERVICE LINES SHALL BE 4" PVC SDR 35 PIPE.
 - ALL SANITARY SEWER PIPES SHALL BE LAID TO 1/4" FOOT, PER CODE.
 - CLEAN OUTS SHALL BE INSTALLED PER CODE.

- KEYED NOTES**
- EXISTING STANDARD CURB & GUTTER
 - EXISTING 6" SIDEWALK
 - EXISTING FIRE HYDRANT
 - NEW CONCRETE DRIVE PAD PER COA STD DWG 2425
 - NEW ACCESSIBLE RAMP
 - NEW ASPHALT PAVING
 - NEW 6" CONCRETE CURB
 - EXISTING DROP INLET
 - CONCRETE ALLEY GUTTER - SEE SHEET C-2
 - EXISTING BUILDINGS TO BE REMOVED
 - NEW SIDEWALK
 - NEW REFUSE ENCLOSURE
 - NEW LANDSCAPING
 - NEW FIRE HYDRANT

PROPERTY ADDRESS
1322 MOUNTAIN RD NW

LEGAL DESCRIPTION
PROTION OF LOTS 1-10, BLOCK 45
PEREA ADDITION

PROJECT BENCHMARK
ACS STATION * 18-J13 *
ELEVATION= 4954.442 FEET
NAD 1927

SURVEY
SITE MAPPING BY
SURVEYS SOUTHWEST
JANUARY 2006

STATION: ACS 12-J13
X = 378922.94
Y = 1489212.34
GROUND TO GRID = 0.9995804
DELTA ALPHA = -0014'12"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927

S78°21'00"E
(BASIS OF BEARINGS)

1 AC2 CONCEPTUAL UTILITY PLAN NORTH
SCALE: 1" = 20'

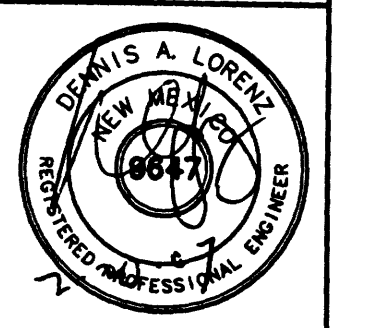
REVISIONS

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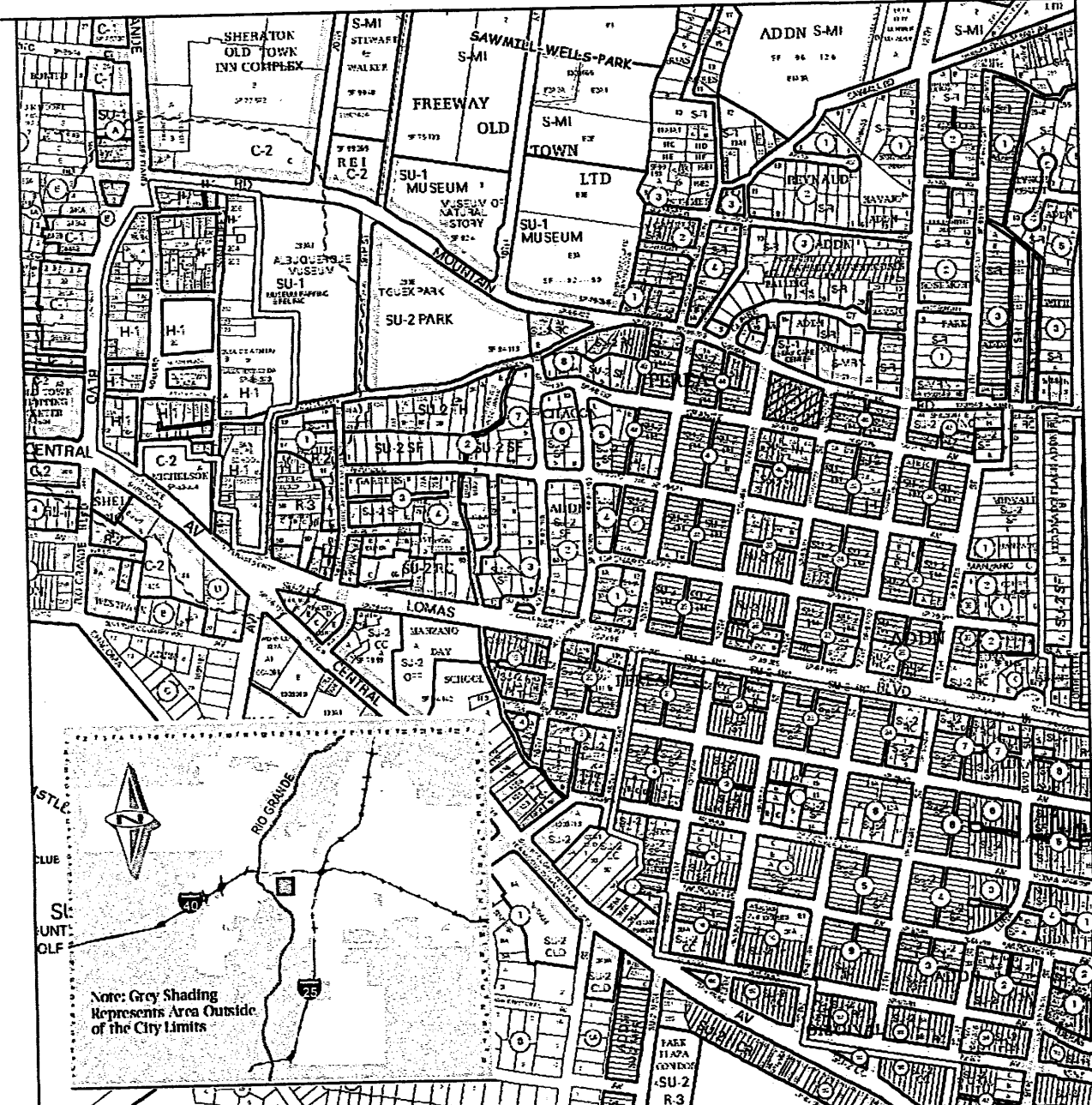
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THE GOOD SHEPHERD
CONCEPTUAL UTILITY PLAN



DRWN. BY: FG
DATE: 07/27/2006

C2

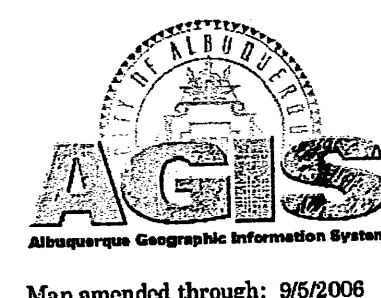


Zone Atlas Page:

J-13-Z

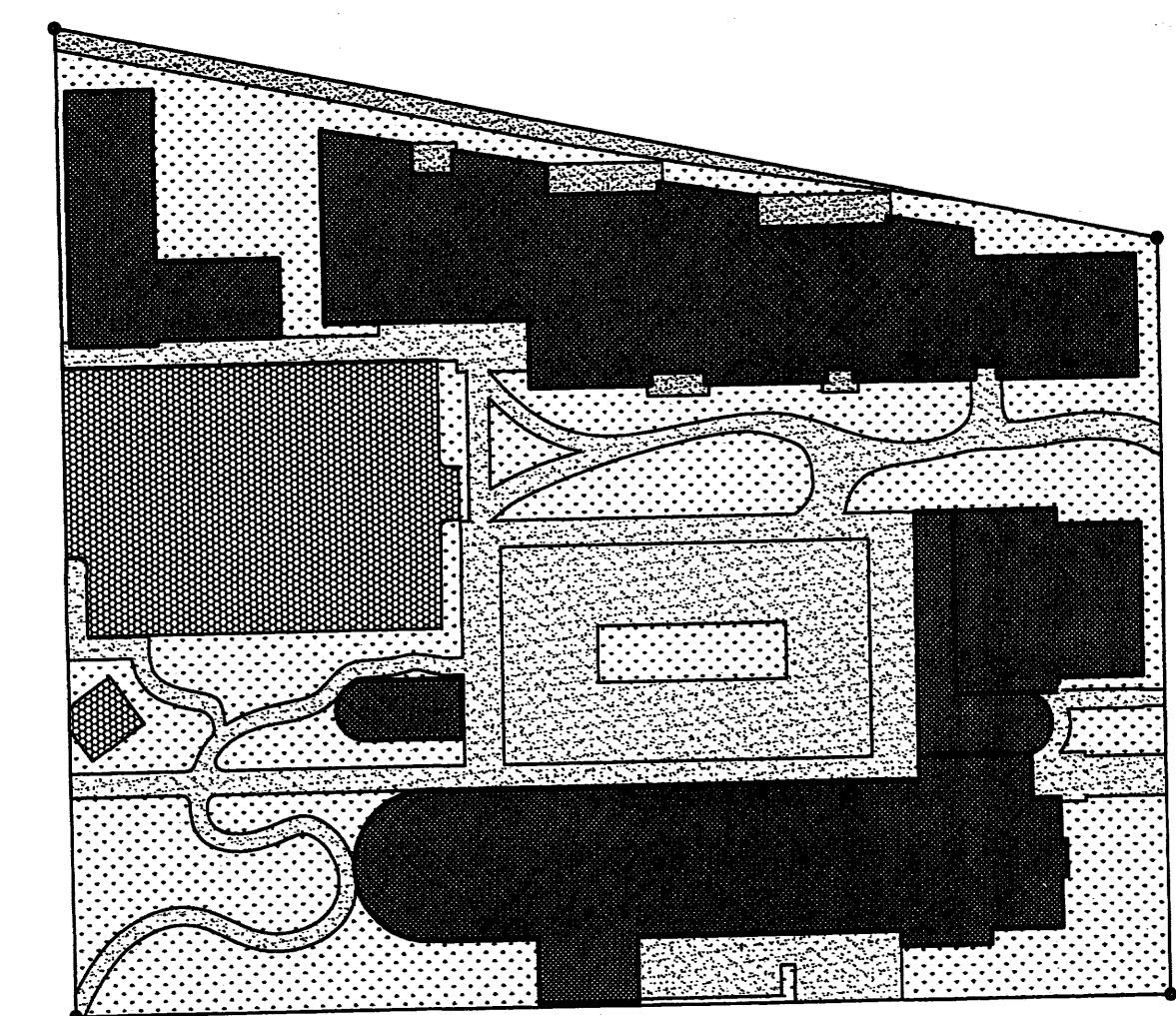
Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- T-1 Buffer Zone
- Penetration Min.
- Recreation
- 5 Mile Airport Zone
- Airport Noise Contours
- Walk Overlay Zone



2 VICINITY MAP

AC1



- LANDSCAPING: 14,035 SQUARE FEET
- STRUCTURES: 17,218 SQUARE FEET
- CIRCULATION: 12,889 SQUARE FEET
- PARKING: 5,463 SQUARE FEET

3 SITE SQUARE FOOTAGE

NOT TO SCALE

ABBREVIATIONS

ABBREVIATION	WORD
HYD.	FIRE HYDRANT
N.L.F.	NEW LIGHT FIXTURE
PP.	POWER POLE
S.D.	STORM DRAIN
S.S.	STOP SIGN
TEL.	TELEPHONE
TYP.	TYPICAL

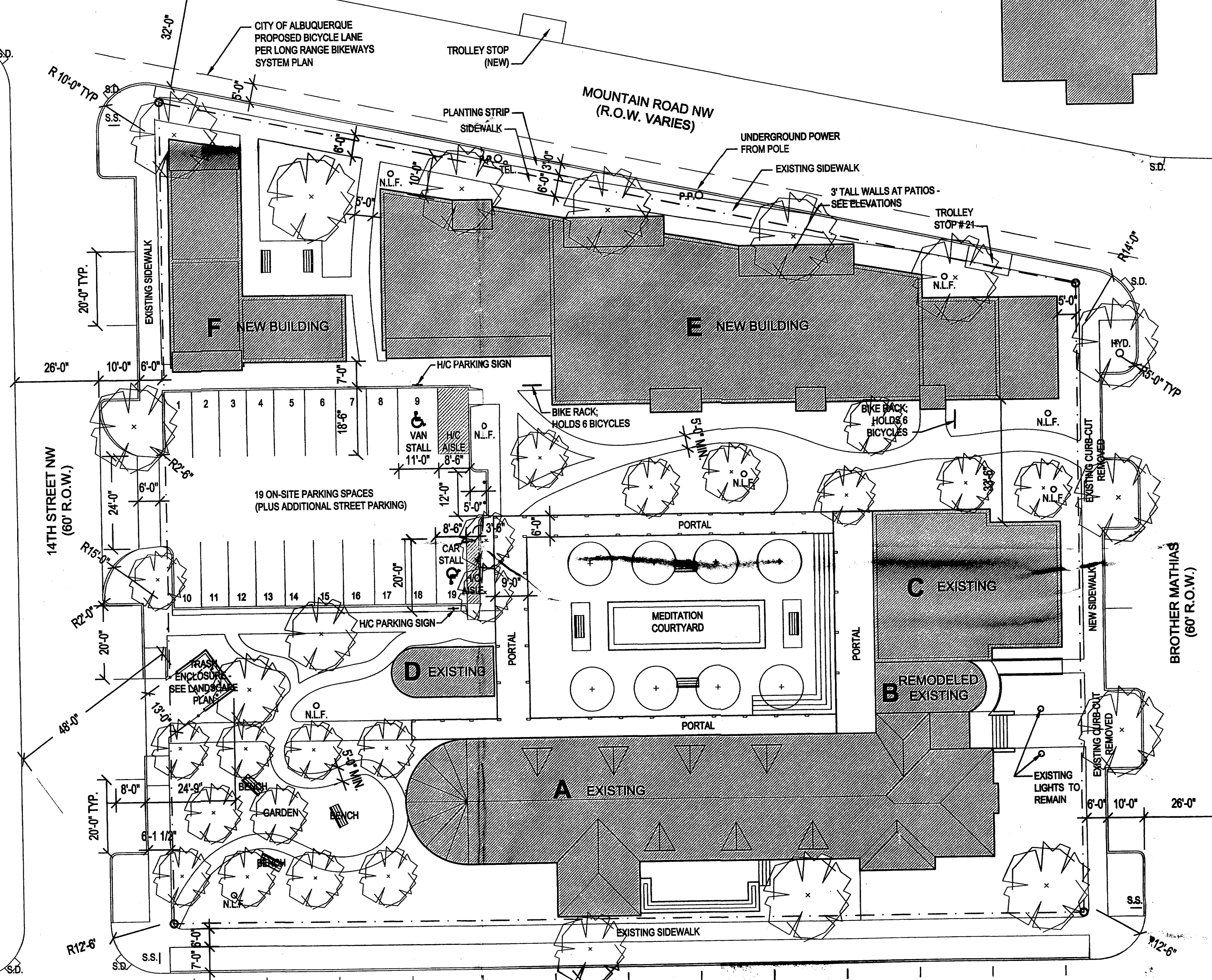
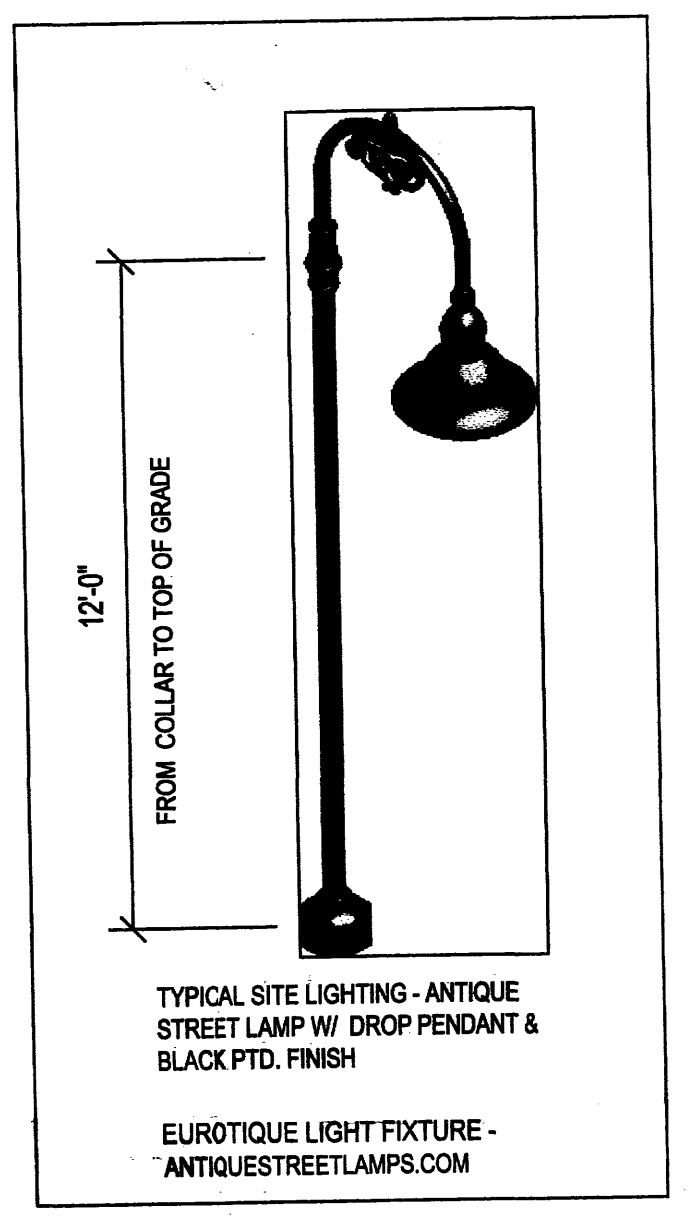
BLDG	USE	SQUARE FOOTAGE
A	RESIDENCE / OFFICE / RELIGIOUS	11800 SF (2 FLOORS)
B	RESIDENCE / CHAPEL	910 SF (2 FLOORS)
C	RESIDENCE	4004 SF (2 FLOORS)
D	TOMB / CHAPEL	368 SF (1 FLOOR)
E	RESIDENCE/DORMITORY	11742 SF (2 FLOORS)
F	RESIDENCE	1336 SF (2 FLOORS)
		34,160 SF TOTAL

USE	SPACES REQUIRED	CALCULATIONS	TOTALS
RESIDENCE (BLDG A,B,C)	1 SPACE PER BATH	18 BATHS =	18
CHAPEL (BLDG D)	PRIVATE = NO SPACES REQUIRED		0
DORMITORY (BLDG E)	1 SPACE PER 3 RESIDENTS	18 RESIDENTS / 3 =	6
RESIDENCE (BLDG F)	1 SPACE PER BATH	3 BATHS =	3
		(TRANSIT REDUCTIONS; TRANSIT STOP WITHIN 300' = 10%)	-2
		(H/C REQUIRES 1 SPACE FOR 1-25)	25 REQUIRED

PARKING PROVIDED	QUANTITY
OFF STREET (17 REG +2 H/C)	19
ON STREET (50% OF 21)	10
PROVIDED =	29

USE	SPACES REQUIRED	CALCULATIONS	TOTALS
RESIDENCE (BLDG A,B,C)	1 PER 2 D.U.	18 D.U./2 =	9
CHAPEL (BLDG D)	NONE REQUIRED		0
DORMITORY (BLDG E)	1 PER 6 RESIDENTS	18 RESIDENTS / 6 =	3
RESIDENCE (BLDG F)	<5 UNITS = NONE REQUIRED		0
			12 REQUIRED & PROVIDED

NOTE: THE DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED SITE DEVELOPMENT PLAN FOR SUBDIVISION. THOSE IMPROVEMENTS WILL INCLUDE ANY ADDITIONAL RIGHT-OF-WAY REQUIREMENTS, PAVING, CURB AND GUTTER, SIDEWALK AND ADA ACCESSIBLE RAMPS THAT HAVE NOT ALREADY BEEN PROVIDED FOR. ALL PUBLIC INFRASTRUCTURE CONSTRUCTED WITHIN PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE TO CITY STANDARDS. THOSE STANDARDS WILL INCLUDE BUT ARE NOT LIMITED TO SIDEWALKS (STD. DWG. 2430), DRIVEWAYS (STD. DWG. 2425), PRIVATE ENTRANCES (STD. DWG. 2426) AND WHEEL CHAIR RAMPS (STD. DWG. 2441).



PRELIMINARY PLAT
APPROVED BY DRB
ON _____

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
R.C. Smith 1-29-07
SIGNATURE & DATE

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 1/29/07

1 SITE PLAN

AC1 SCALE: 1"=20'-0"

REVISIONS

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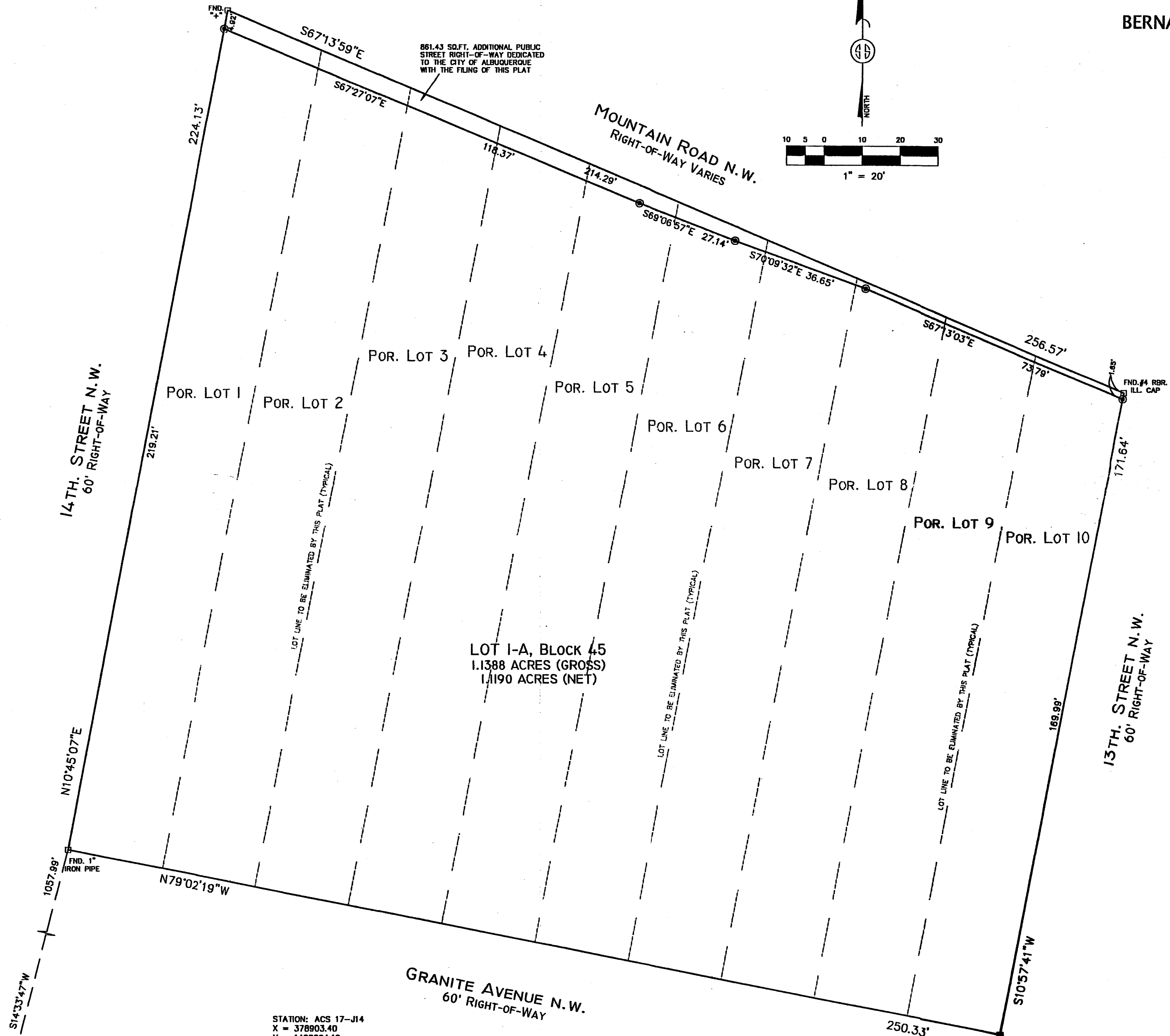
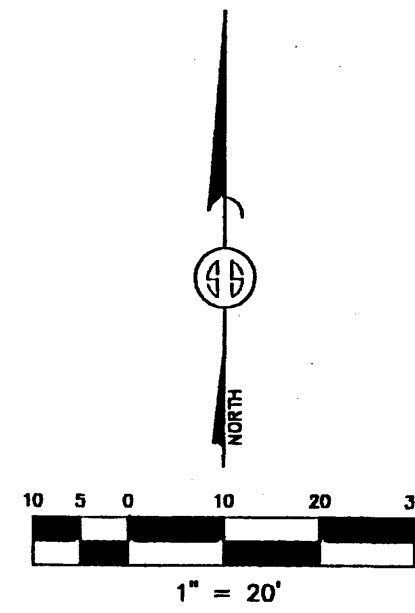
LITTLE BROTHERS OF THE GOOD SHEPHERD
SITE PLAN

DRWN. BY: NR,CM
DATE: 1/24/2007

AC1

**PLAT OF
LOT 1-A, BLOCK 45
PEREA ADDITION**
PROJECTED SECTION 18, T. 10 N., R. 3 E., N.M.P.M.
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER 2006
SHEET 2 OF 2

PROJECT NO. 0601RS22
DRAWN BY JT/PB
ZONE ATLAS: J-13-Z
PEREA-AD.CR5



LOT 1-A, BLOCK 45
1.1388 ACRES (GROSS)
1.1190 ACRES (NET)

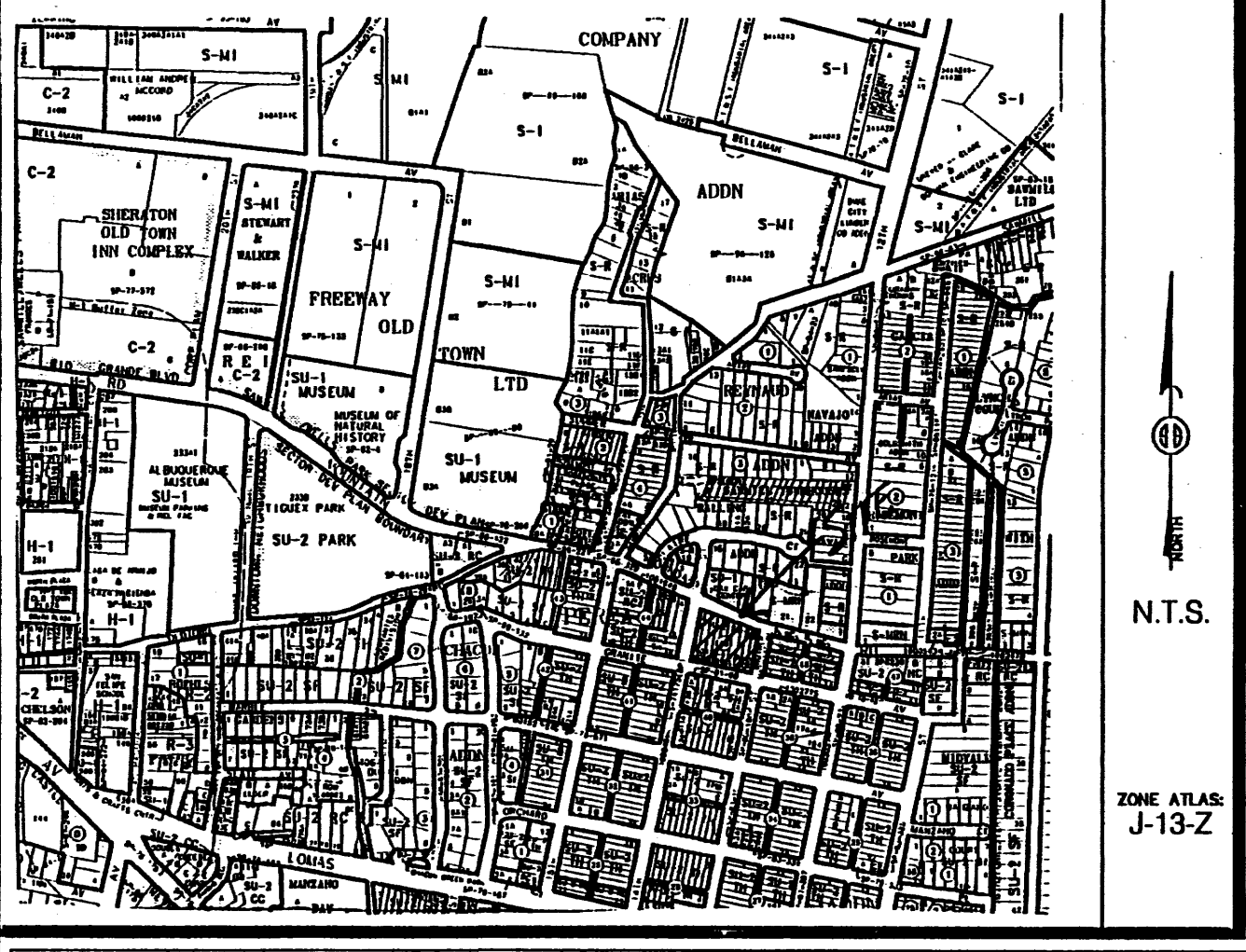
MONUMENT LEGEND	
△	FOUND CONTROL STATION AS NOTED
□	FOUND MONUMENT AS NOTED
●	SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MWR 11224" UNLESS OTHERWISE NOTED

STATION: ACS 12-J13
X = 376922.94
Y = 1489212.34
GROUND TO GRID = 0.9996804
DELTA ALPHA = -0014'12"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927

STATION: ACS 17-J14
X = 378903.40
Y = 1488804.10
GROUND TO GRID = 0.9996799
DELTA ALPHA = -0013'58"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927

2887883378
658695
Page: 2 of 2
01/08/2007 10:13A
Bk-2867C Pg-6

SURVEYS SOUTHWEST LTD.
333 LOMAS BLVD., N.E. ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 998-0303
FAX: (505) 998-0306
T. 10 N., R. 3 E., SEC. 18



Vicinity Map

N.T.S.
ZONE ATLAS
J-13-Z

**PLAT OF
LOT 1-A, BLOCK 45
PEREA ADDITION
PROJECTED SECTION 18, T. 10 N., R. 3 E., N.M.P.M.
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER 2006
SHEET 1 OF 2**

LEGAL DESCRIPTION
A certain tract of land being and comprised of portion of Lots numbered One (1) through Ten (10) inclusive in Block numbered Forty-five (45) of the PEREA ADDITION to the City of Albuquerque, Bernalillo County, New Mexico as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 1, 1891 in Volume C2, folio 43 and being more particularly described as follows:
BEGINNING at the Southwest Corner of said tract, being a point of intersection of the North right-of-way of Granite Avenue NW and the East right-of-way of 14th Street NW; whence City of Albuquerque Control Station ACS 12-J13 bears S 14° 33' 47" W, 1057.99 feet distant; thence from said POINT OF BEGINNING running along said right-of-way of 14th Street NW; thence N 10° 45' 07" E, 224.13 feet to the Northeast corner of said tract, being a point on the South right-of-way of Mountain Road NW; thence along said South right-of-way S 67° 13' 59" E, 256.75 feet to the Northeast corner of said tract being a point on the West right-of-way of 13th Street NW; thence along said right-of-way S 10° 57' 41" W, 171.64 feet to the Southeast corner of said tract, being a point on the North right-of-way of Granite Avenue NW; thence along said North right-of-way N 79° 02' 19" W, 250.33 feet to the POINT OF BEGINNING and containing 1.1388 acres, more or less.

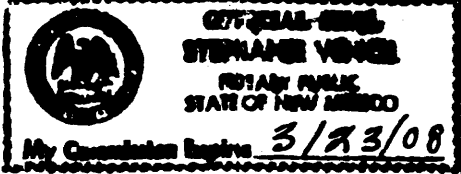
FREE CONSENT
THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

DISCLOSURE STATEMENT
THE PURPOSE OF THIS PLAT IS TO ELIMINATE THE LOT LINES BETWEEN TEN (10) EXISTING LOTS CREATING ONE (1) NEW LOT AND TO DEDICATE ADDITIONAL RIGHT-OF-WAY.

- SUBDIVISION DATA / NOTES**
1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
 2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS 12-J13 AND 17-J14, AS SHOWN HEREON.
 3. DISTANCES ARE GROUND DISTANCES.
 4. PLAT SHOWS ALL EASEMENTS OF RECORD.
 5. BEARINGS AND DISTANCES IN PARENTHESES () ARE PER THE PLAT OF PEREA ADDITION, FILED IN BERNALILLO COUNTY, NEW MEXICO ON MAY 01, 1891 IN VOLUME C2, FOLIO 43.
 6. GROSS AREA: 1.1388 ACRES
 7. NUMBER OF EXISTING LOTS: 10
 8. NUMBER OF LOTS CREATED: 1
 9. PROPERTY IS ZONED SU-1/SU-2 FOR O-1 FOR FOUND HOUSE AND RELIGIOUS ACT.

OWNER(S) SIGNATURE: Gerard Sullivan DATE: 12-18-06
 OWNER(S) PRINT NAME: GERARD SULLIVAN
 ADDRESS: 901 BROTHER MATTHIAS PL NW, 87102 TRACT:
 ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
) SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 18th DAY OF December, 2006.
 BY: Bro. Gerard Sullivan
Stephanie Vogel
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: March 23, 2008



CITY APPROVALS PROJECT NO.: 1005189 APPLICATION NO. 06DRB-01TT2

M. B. Hart 12-20-06
CITY SURVEYOR DATE

John S. [Signature] 1-3-07
TRAFFIC ENGINEERING DATE

Christina Sandoval 1/3/07
PARKS & RECREATION DEPARTMENT DATE

Ryan A. [Signature] 1-3-07
WATER UTILITIES DEPARTMENT DATE

Bradley J. Bingham 1/3/07
A.M.A.F.C.A. DATE

Bradley J. Bingham 1/3/07
CITY ENGINEER DATE

Andrew Garcia 1-5-07
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

SURVEYOR'S CERTIFICATION

I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Mitchell W. Reynolds 12-6-06
Mitchell W. Reynolds Date
New Mexico Professional Surveyor, 11224



SURVEYS SOUTHWEST LTD.
333 LOMAS BLVD., N.E. PHONE: (505) 998-0303
ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306
87102 T. 10 N., R. 3 E., SEC. 18

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
 UPC#: 5 Upe Cad 7th 1-013 056 408 300 11001
 PROPERTY OWNER OF RECORD: Charity [Signature]

BERNALILLO COUNTY TREASURERS OFFICE:
P. [Signature] 1/8/07

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 6566925
 Page 1 of 2
 81/88/2897 18-13R
 Margaret C Toulouse Bern. Co. PLT R 12-89 Bk-2897C Pg-6