

## Planning Comments

### Project# 1005191

14DRB-70198 - VACATION OF PUBLIC STREET EASEMENT

14DRB-70199 - PRELIMINARY PLAT

14DRB-70200- SITE DEVELOPMENT PLAN FOR SUBDIVISION

THE GROUP agents for SEVANO DEVELOPMENT LLC request the referenced/ above actions for a portion of SIGNAL AVENUE NE and Lots 13 - 20, Block 29, Tract A, Unit B, **NORTH ALBUQUERQUE ACRES** zoned R-D/ SU-2 NC, located on the west side of LOUISIANA BLVD NE between ALAMEDA BLVD NE and SIGNAL AVE NE containing approximately 6.6198 acres. (C-18)

Refer to comments from Transportation Development plus any public hearing comments regarding proposed vacation.

Lot numbers and street name should be shown on the site plan drawing. There is a typo on the plan drawing for Tract A which needs to be corrected to match the Keyed Notes. The Subdivision Data table needs to identify Tract A and private street area. Driveway locations need to be shown on the plan drawing with adequate separation for mid-lot curb ramp locations (Lots 3, 8, 20 & 25).

Public sidewalks (Alameda, Signal) need to be located at property line per DPM standards. A Keyed Note 6 is needed for the proposed pedestrian connection to public right of way in the southwest corner of the site, or the sidewalk should be truncated at Lot 1 driveway and shown on the plan drawing. The sidewalk should also be truncated at Lot 27 driveway and shown on the plan drawing. An additional pedestrian connection to public right of way is needed in the northeast corner of the site.

Open Space requirements need to be addressed on the site plan. The 'Typical Lot' on the site plan scales at 50 ft wide but the plan drawing and plat show 44 ft wide lots; the proposed setbacks with 44 ft wide lots indicate over 500 sq ft deficiency per lot, and this includes proposed Tract A.

Previous dedications of right of way for Alameda and Louisiana need to be documented and referenced on the plat. The plat indicates vacation of a 7 ft P.U.E. recorded 10/1/79 but this was not part of the vacation application. Since this was recorded after filing of the plat it could probably be released outside of this platting action, and both the easement and the release could be referenced on the final plat. The proposed private street(s) should be easements over the adjoining lots rather than a separate tract.

Infrastructure List needs to follow with proposed street sections (identify sidewalks "both sides" for Section A, separate list item for Section B, etc.). Refer to comments from Hydrology regarding Storm Drain items. Street lights should be noted on Infrastructure List as per "DPM Standards" rather than "City Requirements".

A separate Sidewalk Variance application is needed for Temporary Deferral of Sidewalk Construction and Waiver of Sidewalk; deferral is not appropriate for proposed Tract A and sideyard of corner lots.

## Cherne, Curtis

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**From:** Conrad, Matthew A.  
**Sent:** Tuesday, July 08, 2014 2:43 PM  
**To:** Cherne, Curtis  
**Subject:** Project 1005191 / 14-DRB-70198

Curtis,

The case listed above is to be heard in front of the DRB tomorrow. The applicant was told to get a letter from Matt Schmader verifying that they were in compliance with the archeology section of the code. Matt is out of town until the 18<sup>th</sup>. I told the applicant that he should be at the DRB meeting tomorrow and that we would hear the case. We will wait to give our approval until we get the letter from Matt.

Please call me if you have any questions.

*Matthew Conrad*

Associate Planning Director  
City of Albuquerque Planning Department  
(505) 924-3340



CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD PUBLIC HEARING COMMENTS

JULY 9, 2014

**Project# 1005191**

14DRB-70198 - VACATION OF PUBLIC STREET EASEMENT

14DRB-70199 - PRELIMINARY PLAT

14DRB-70200- SITE DEVELOPMENT PLAN FOR SUBDIVISION

THE GROUP agents for SEVANO DEVELOPMENT LLC request the referenced/ above actions for a portion of SIGNAL AVENUE NE and Lots 13 - 20, Block 29, Tract A, Unit B, **NORTH ALBUQUERQUE ACRES** zoned R-D/ SU-2 NC, located on the west side of LOUISIANA BLVD NE between ALAMEDA BLVD NE and SIGNAL AVE NE containing approximately 6.6198 acres. (C-18)

<p><b>AMAFCA</b>          No comment.</p> <p><i>Comments provided by Lynn Mazur -</i></p>
<p><b>COG</b>          No comments provided</p> <p><i>Comments provided by Kendra Watkins/Andrew Gingerich -</i></p>
<p><b>TRANSIT</b></p> <p>14DRB-70198 VACATION OF PUBLIC STREET EASEMENT          14DRB-70199 – PRELIMINARY PLAT          14DRB-70200-SITE DEVELOPMENT PLAN FOR SUBDIVISION</p> <p>Adjacent and nearby routes          Route #98, Alameda-Wyoming-KAFB, commuter route passes the site on Alameda</p> <p>Adjacent bus stops          Existing bus stop on Alameda adjacent to the property, serves the above-mentioned route.</p> <p>Site plan requirements          None</p> <p>Large site TDM suggestions          None.</p> <p>Other information          None.</p> <p><i>Comments provided by Shabih Rizvi -</i></p>
<p><b>ZONING ENFORCEMENT</b>          No zoning comments</p> <p><i>Comments provided by David Kilpatrick –</i></p>

## NEIGHBORHOOD COORDINATION

Affected NA/HOA's - West La Cueva NA (R), Nor Este NA (R), Sonora HOA

*Comments provided by Stephani Winklepleck -*

### APS

**North Albuquerque Acres**, Lots 13-20, Block 29, Tract A, Unit B, is located on the west side of Louisiana Blvd NE between Alameda Blvd NE and Signal Ave NE. The owner of the above property requests approval of a Vacation of Public Street Easement, and approval of a Site Development Plan for Subdivision alongwith a Preliminary Plat for a development that will consist of 41 single family homes. This will impact EG Ross Elementary School, Desert Ridge Middle School, and La Cueva High School. EG Ross Elementary is exceeding capacity, Desert Ridge Middle School and La Cueva High School have excess capacity.

Loc No	School	2013-14 40th Day	Capacity	Space Available
219	EG Ross ES	499	476	-23
430	Desesrt Ridge MS	1027	1085	58
525	La Cueva HS	1863	2000	137

**Residential Units: 41**

**Est. Elementary School Students: 11**

**Est. Middle School Students: 5**

**Est. High School Students: 5**

**Est. Total # of Students from Project:21**

\*The estimated number of students from the proposed project is based on an average student generation rate for the entire APS district

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
  - Construct new schools or additions
  - Add portables
  - Use of non-classroom spaces for temporary classrooms
  - Lease facilities
  - Use other public facilities
- Improve facility efficiency (short term solution)
  - Schedule Changes
    - Double sessions
    - Multi-track year-round
  - Other
    - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
  - Boundary Adjustments / Busing

- Grade reconfiguration

- Combination of above strategies

All planned additions to existing educational facilities are contingent upon taxpayer approval.

*Comments provided by April Winters -*

**POLICE DEPARTMENT**

This project is in the Northeast Area Command.

- No Crime Prevention or CPTED comments concerning the proposed *Major Subdivision Improvements Agreement, Site Development Plan For Subdivision or Vacation of Public Easement* requests at this time.

*Comments provided by Steve Sink -*

**FIRE DEPARTMENT**

No comments provided

*Comments provided by Antonio Chinchilla -*

**PNM ELECTRIC**

No comments provided

*Comments provided by Daniel Aragon -*

**NMGCO**

No comments provided.

*Comments provided by Patrick Sanchez -*

**COMCAST**

No comments provided

*Comments provided by Mike Mortus -*

**ENVIRONMENTAL HEALTH**

no comments

*Comments provided by Paul Olson -*

**M.R.G.C.D**

No comments provided

*Comments provided by Ray Gomez -*

**OPEN SPACE DIVISION**

No comments provided

*Comments provided by Kent Reed Swanson -*

**CITY ENGINEER**

*Comments provided by Curtis Cherne -*

**TRANSPORTATION PLANNING**

Per the Long Range Roadway System Map Alameda Blvd. is Principal Arterial with a minimum R/W width of 124 feet. Louisiana Blvd. is a Minor Arterial with a minimum R/W width of 102 feet. Per the Long Range Bikeway System Map both Alameda Blvd. and Louisiana Blvd. are planned to contain bicycle lanes, if they don't already exist in front of the site.

*Comments provided by John McKenzie - DMD*

**TRANSPORTATION DEVELOPMENT**

*Comments provided by Kristal Metro-*

**PARKS AND RECREATION**

14DRB-70198 – Vacation of Public Street Easement

No comments

14DRB-70199 – Preliminary Plat

Defer to Transportation regarding adequate Right of Way for Alameda and the 6' bike lanes to be provided on Alameda.

Defer to Planning re: RD open space requirements being met.

14DRB-70200 – Site Development Plan for Subdivision

Please describe if the 6' sidewalk on Alameda is existing.

Please show an additional pedestrian connection for the lots 18-27 on the east side of the development both at Alameda and at Signal.

Street trees are to be planted between curb and sidewalk, not between sidewalk and 6' high block walls.

Please confirm the spread of the trees are shown to scale on the Landscape Plan Sheet L1 match the spread indicated on the Plant Legend especially the three Austrian Pines shown near the intersection of Alameda and Louisiana. Please confirm that the Pines are outside the clear zone at maturity.

Please confirm the spread of the trees shown on Pocket Park Landscape Plan are shown to scale as well.

Grading and Drainage Plan shows a retaining wall along the east side of the "park" but landscaping is shown too close to wall to reach mature spread.

A Streetscape Maintenance Agreement is necessary if landscaping is within the City Right-of Way.

Regarding interior street trees, how will irrigation be provided? Please state on Site Plan.

To avoid confusion, please use consistent term for the "central landscaped area". The Sheet SP1 note 1.1 refers to "centrally located landscaped area with shade structure and community mailboxes", Note 1.3 calls it a "centrally located park", Note 1.5 calls it a "centrally located landscaped park" and Landscape Plan Sheet L2 is titled "Pocket Park". Also, it has keyed note 2 which should be 12.

Where are gang type mailboxes discussed in Note 1.1 and shown as key note 11?

Where is keynote 10?

*Comments provided by Carol Dumont -*

**ABCWUA**

No objection to Vacation action. Both water and sewer infrastructure must be constructed along Alameda property frontage. Final water line sizing can be determined during DRC review.

*Comments provided by Allan Porter-*

**PLANNING DEPARTMENT**

*Comments provided by Jack Cloud -*

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**



CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
 DEVELOPMENT REVIEW BOARD

August 29, 2012

**Project# 1005191**

- 12DRB-70235 VACATION OF PUBLIC ROADWAY EASEMENT
- 12DRB-70236 SIDEWALK VARIANCE
- 12DRB-70237 MINOR - TEMPORARY DEFERRAL OF SIDEWALK CONST
- 12DRB-70238 MAJOR - PRELIMINARY PLAT APPROVAL

ADIL RIZVI agent for ALAMEDA DEVELOPMENT GROUP requests the referenced/ above actions for Lots 13 - 20, Block(s) 29, TRACT A, UNIT B, **NORTH ALBUQUERQUE ACRES** zoned R-D, located on the west side of LOUISIANA BLVD NE between ALAMEDA BLVD NE and SIGNAL AVE NE containing approximately 8.0013 acres. (C-18)

<b>AMAFCA</b>				
No comments				
<b>COG</b>				
No comments provided				
<b>TRANSIT</b>				
Adjacent and nearby routes	Route #98, Alameda-Wyoming-KAFB commuter route, passes the site on Alameda.			
Adjacent bus stops	Existing bus stop on Alameda serving the above-mentioned route, is located adjacent to the property, 100' west from the NE corner of the property.			
Site plan requirements	None.			
Large site TDM suggestions	None.			
Other information	None.			
<b>ZONING ENFORCEMENT</b>				
No comments provided.				
<b>NEIGHBORHOOD COORDINATION</b>				
Letters sent to: Nor Este NA (R), North Domingo Baca NA (R), Sonora HOA and West La Cueva NA				
<b>APS</b>				
North Albuquerque Acres Unit B, Tract A, Lots 13-20, is located on the west side of the Louisiana Blvd NE between Alameda Blvd NE and Signal Ave NE. The owner of the above property requests a Vacation of Public Roadway Easement, a Sidewalk Variance, a Minor Temporary Deferral of Sidewalk Construction, Major Preliminary Plat Approval for a development that will consist of 35 single family homes. This will impact North Star Elementary School, Desert Ridge Middle School, and La Cueva High School. Currently, North Star Elementary School is exceeding capacity, Desert Ridge Middle School is nearing capacity, and La Cueva High School is exceeding capacity.				
<b>Loc No</b>	<b>School</b>	<b>2011-12 40th Day</b>	<b>2011-12 Capacity</b>	<b>Space Available</b>
268	North Star ES	706	643	-63

430	Desert Ridge MS	1023	1030	7
525	La Cueva HS	1927	2100	173

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
  - Construct new schools or additions
  - Add portables
  - Use of non-classroom spaces for temporary classrooms
  - Lease facilities
  - Use other public facilities
- Improve facility efficiency (short term solution)
  - Schedule Changes
    - Double sessions
    - Multi-track year-round
  - Other
    - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
  - Boundary Adjustments / Busing
  - Grade reconfiguration
- Combination of above strategies

**All planned additions to existing educational facilities are contingent upon taxpayer approval.**

**POLICE DEPARTMENT**

No comments provided.

**FIRE DEPARTMENT**

No comments

**PNM ELECTRIC & NMGAS**

No comments provided.

**COMCAST**

No comments provided.

**QWEST**

No comments provided.

**CENTURYLINK**

No comments provided.

**M.R.G.C.D**

No Adverse comments

**OPEN SPACE DIVISION**

No comments provided.

**CITY ENGINEER**

Comments, if any, will be provided at the meeting

**TRANSPORTATION DEVELOPMENT**

Provide cross sections for Louisiana, Signal, and Alameda.

Clarify the width of all right of way, existing and proposed.

Pedestrian access routes are to be provided from stub streets (see Table 23.2.1A of the *Development Process Manual*).

Define, in square feet, the area of right of way to be dedicated with this plat.

What is the purpose of Tract A? Who will maintain this tract?

What pavement width is proposed along the stub streets? Provide a cross section.

**Vacation of Public Roadway Easement:**

A 30-foot wide right of way dedication is required along Signal Avenue.



**Sidewalk Variance:**

Sidewalk is required along all frontage. Justification for the sidewalk variance, in accordance with the requirements as stated in the Sidewalk Ordinance, must be provided.

**Sidewalk Deferral:**

Sidewalk deferral: side lot sidewalk may not be deferred.

**Infrastructure List:**

Note \*\*\* states "These items will be financially guaranteed." All items included on the infrastructure list are to be financially guaranteed, so this note is not appropriate.

Note \*\* states "Internal sidewalk on Sevano Circle to be deferred." Side lot sidewalk may not be deferred. This note must be revised or removed.

Stub streets must be included on the infrastructure list.

**PARKS AND RECREATION**

No comments

**ABCWUA**

**PLANNING DEPARTMENT**

Refer to comments from affected agencies/ Transportation Development plus any public hearing comments regarding proposed vacation. It appears Easement No. 4 needs to be vacated as it will be in City right of way.

Tracts B, C and D are not shown on the plat drawing, nor are they included in the "number of tracts created." Tract A and the proposed private street(s) should be easements over the adjoining lots rather than separate tracts. The street 'stubs' can stop before the last lot for vehicular access and the easement can be narrowed and continued to the public streets as a pedestrian easement. Dedication of right of way needs to include Signal Avenue.

It is unclear from Sidewalk Variance application and exhibit what is being requested - further explanation is needed.

Refer to comments from Transportation Development regarding Temporary Deferral of Sidewalk Construction.

Street lights should be noted on Infrastructure List as per "DPM Standards" rather than "City Requirements".

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
May 9, 2012  
DRB Comments**

**ITEM # 11**

**PROJECT # 1005191**

**APPLICATION # 12-70136**

**RE: Lots 13 – 20, Block 29, Tract A, Unit B, North Albuquerque  
Acres**

The previously approved plat has expired, so a new application is required. The site is within the North I-25 Sector Plan and must conform to design requirements of the plan; wall design and street trees along Louisiana and along Alameda will particularly need to be addressed. Open Space requirements must be demonstrated (2,400 sq ft per dwelling).

Paving of the proposed stub streets/ Roadway & Utility Easements needs to be called out on the Infrastructure List; the easements need to be across lot lines of the properties served (not separate tracts) and the maintenance and beneficiaries need to be noted. Likewise, Open Landscape Area needs to be an easement over lots, not a separate tract.

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Jack Cloud, DRB Chairman  
924-3880/ jcloud@cabq.gov



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

October 24, 2007

Project# 1005191  
07DRB-70319 EXT OF MAJOR PRELIMINARY PLAT

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 13-20, Block(s) 29, Tract(s) A, **NORTH ALBUQUERQUE ACRES Unit(s) B to be known as SEVANO PLACE SUBDIVISION**, zoned R-D, located on LOUISIANA BLVD NE BETWEEN ALAMEDA BLVD NE AND SIGNAL AVE NE containing approximately 6.84 acre(s). (C-18)

At the October 24, 2007 Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

  
Sheran Matson, AICP, DRB Chair

Cc: Adil Rizvi – 2340 Menaul Blvd NE Suite 200 – Albuquerque, NM 87107

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD – SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1005191**

**AGENDA ITEM NO: 10**

**SUBJECT:**

Preliminary Plat – Extension

**ACTION REQUESTED:**

**REV/CMT: ( )      APPROVAL: (X)      SIGN-OFF: ( )      EXTN: ( )      AMEND: ( )**

**ENGINEERING COMMENTS:**

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**RESOLUTION:**

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED \_\_\_; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

505-924-3986

**DATE:** OCTOBER 24, 2007

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# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

**DRB CASE NO/PROJECT NO: 1005191**

**AGENDA ITEM NO: 10**

**SUBJECT:**

Preliminary Plat – Extension

**ACTION REQUESTED:**

REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )

**ENGINEERING COMMENTS:**

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**RESOLUTION:** | ✓

APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

505-924-3986

**DATE:** OCTOBER 24, 2007

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Item # 10  
Project # 1005191  
Hearing Date: Oct. 24, 2007



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

October 24, 2007 9:00AM

MEMBERS:

Sheran Matson, AICP, DRB Chair  
Angela Gomez, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT ANGELA GOMEZ, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order 9:00 A.M. Adjourned: 11:05 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

**NOTE:** IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project# 1006842**  
07DRB-70271 VACATION OF PUBLIC  
RIGHT-OF-WAY

AQUEDA CANO agent(s) for IGNACIO ROJO request(s) the above action(s) for all or a portion of Lot(s) south 48 ft of west 80 ft of lot 16, Block(s) 2, **NEW ERA FRUIT ADDITION**, zoned SU-2/MR, located on WILLIAM ST SE BETWEEN TRUMBULL SE AND AVENIDA CESAR CHAVEZ SE containing approximately 0.09 acre(s). (L-14) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**

2. **Project# 1006537**  
07DRB-70247 MAJOR - PRELIMINARY  
PLAT APPROVAL  
07DRB-70248 MINOR - TEMP DEFR  
SWDK CONST  
07DRB-70249 MINOR - SDP FOR  
SUBDIVISION

TIERRA WEST LLC agent(s) for KATHY TRUJILLO request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, Block(s) 12, PETROGLYPH EDGE SUBDIVISION, UNIT 3 (to be known as **VOLCANO CLIFFS**), zoned R-1, located on MOJAVE ST NW BETWEEN UNSER BLVD NW AND TESUQUE ST NW containing approximately 4.24 acre(s). (E-10) *[Deferred from 10/03/07]*. **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED TODAY AND APPROVAL OF THE GRADING AND DRAINAGE PLAN ENGINEER STAMP DATED OCTOBER 19, 2007, THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 3 COPIES AND A NOTE FOR ALL LOTS TO BE LABELED AS P-2.**

3. **Project# 1005236**  
07DRB-70268 VACATION OF PUBLIC  
EASEMENT  
07DRB-70269 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

ALPHA PROFESSIONAL SURVEYING INC. agent(s) for ZIA PARK TOWNEHOMES LLC request(s) the above action(s) for all or a portion of Tract(s) H & I, **LA CUESTA SUBDIVISION**, zoned SU-1/TOWNHOMES, located on ZIA RD NE BETWEEN JUAN TABO NE AND ZENA LONA RD NE containing approximately 2.9788 acre(s). (K-22) *[Deferred from 10/17/07]* **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN-OFF DELEGATED TO PLANNING FOR AGIS DFX, 15 DAY APPEAL PERIOD AND FOR DRY UTILITIES' SIGNATURES.**



**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND  
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

4. **Project# 1005243**  
07DRB-70316 EPC APPROVED SDP  
FOR BUILD PERMIT  
07DRB-70317 EPC APPROVED SDP  
FOR SUBDIVISION

CONSENSUS PLANNING agent(s) for ALLIANCE RESIDENTIAL request(s) the above action(s) for all or a portion of Tract(s) 1-6, **UNIVERSITY VILLAGE to be known as Broadstone Towne Center**, zoned SU-1 FOR PRD AND SU-1 FOR C-2, located on GIBSON BLVD SE BETWEEN UNIVERSITY BLVD SE AND BUENA VISTA SE containing approximately 16.76 acre(s). (L-15) **[Catalina Lehner, EPC Planner]**  
**DEFERRED TO 10/31/07 AT THE AGENT'S REQUEST.**

07DRB-70318 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

HIGH MESA CONSULTING GROUP agent(s) for BROADSTONE TOWNE CENTER LLC request(s) the above action(s) for all or a portion of Lot(s) UNPLATTED LANDS, **UNPLATTED LANDS WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M. to be known as Broadstone Towne Center**, zoned SU-1/PRD & SU-1 FOR C-2 PERMISSIVE USES, located on GIBSON BLVD SE BETWEEN UNIVERSITY BLVD SE AND BUENA VISTA containing approximately 16.76 acre(s). (L-15) **DEFERRED TO 10/31/07 AT THE AGENT'S REQUEST.**

5. **Project# 1006801**  
07DRB-70240 MINOR - SDP FOR  
BUILDING PERMIT

CLAUDIO VIGIL ARCHITECTS agent(s) for BRUNACINI DEVELOPMENT COMPANY, LTD request(s) the above action(s) for all or a portion of Tract(s) C, **BRUNACINI AT ATRISCO BUSINESS PARK**, zoned IP, located on LOS VOLCANES RD NW BETWEEN UNSER BLVD NW AND COORS BLVD NW containing approximately 22.5074 acre(s). (J-10) *[Deferred from 9/12/07, 9/26/07, 10/03/07 & 10/10/07]* **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO THE CITY ENGINEER FOR SIA AND TO PLANNING FOR 3 COPIES.**

6. **Project# 1006726**  
07DRB-70173 MAJOR – AMENDED SDP  
FOR BUILDING PERMIT

BRAD KILLMAN AND/OR MAX KILLMAN agent(s) for ALLSTAR MOVING & STORAGE INC A NEW MEXICO CORP request(s) the above action(s) for all or a portion of Lot(s) 31, Tract(s) D-1, **RICHFIELD PARK**, zoned IP, located on WASHINGTON ST NE BETWEEN ALAMEDA NE AND PASEO DEL NORTE NE containing approximately 0.89 acre(s). (C-17) *[Deferred from 8/29/07]* **DEFERRED TO 12/5/07 AT THE AGENT'S REQUEST.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

7. **Project# 1006899**  
07DRB-70314 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

CARTESIAN SURVEYS INC agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Tract(s) B-9-E-1-A, B-9-F-1, B-9-E-2-A, **SEVEN BAR RANCH**, zoned SU-1/R-2 USES, located on CIBOLA LOOP NW AND ELLISON DR NW containing approximately 29.79 acre(s). (A-13)**INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
  
8. **Project# 1006898**  
07DRB-70313 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

CARTESIAN SURVEYS INC agent(s) for CURT RICHTER request(s) the above action(s) for all or a portion of Lot(s) 7 & 8, Block(s) 17, **REBONITO**, zoned R-1, located on NAINES AVE NE BETWEEN DELUBINA NE AND ANTONIO NE containing approximately 0.61 acre(s). (J-23) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO PLANNING FOR SOLAR COLLECTOR LANGUAGE ON THE PLAT, AGIS DFX AND TO RECORD.**
  
9. **Project# 1005387**  
07DRB-70310 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for CENTURION PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) 1-19, southerly 115 ft of the easterly 20 ft of lot 20 plus a portion of vacated alley, Block(s) 28, **NEW MEXICO DTOWN CO'S ORIGINAL TOWNSITE OF ALBUQUERQUE NEW MEXICO**, zoned SU-3 FOR PARKING LOT, located on GOLD AVE SW BETWEEN 7TH ST SW AND SILVER AVESW containing approximately 1.67 acre(s). (K-14) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN-OFF DELEGATED TO PLANNING FOR A REVISED AGIS DFX, 15FT RADIUS DEDICATION ON CORNERS, AND COPY OF LOT 20 DEED.**
  
10. ~~**Project# 1005191**~~  
07DRB-70319 EXT OF MAJOR  
PRELIMINARY PLAT

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 13-20, Block(s) 29, Tract(s) A, **NORTH ALBUQUERQUE ACRES Unit(s) B to be known as SEVANO PLACE SUBDIVISION**, zoned R-D, located on LOUISIANA BLVD NE BETWEEN ALAMEDA BLVD NE AND SIGNAL AVE NE containing approximately 6.84 acre(s). (C-18) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

11. **Project# 1005539**  
07DRB-70279 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- WILSON AND COMPANY INC agent(s) for MGMe DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 1, Block(s) 5, **VOLCANO CLIFFS SUBDIVISION, Unit(s) 26, (to be known as TIERRA BUENA ESTATES)**, zoned SU-2 SRLL, located on KIMMICK DR NW BETWEEN ROSA PARKS RD NW AND VALIENTE RD NW containing approximately 3.62 acre(s). (C-11) *[Deferred from 10/03/07, 10/10/07, 10/17/07]* **WITH APPROVAL OF THE GRADING AND DRAINAGE PLAN DATED 10/8/07 AND THE INFRASTRUCTURE LIST DATED 10/24/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA AND THE DEVELOPMENT AGREEMENT.**
12. **Project# 1005182**  
07DRB-70309 MAJOR - FINAL PLAT  
APPROVAL
- WILSON AND COMPANY INC agent(s) for LA CUENTISTA II, LLC request(s) the above action(s) for all or a portion of Tract(s) C, **LA CUENTISTA SUBDIVISION Unit(s) 2**, zoned SU2-SRSL, located on ROSA PARKS ROAD NW BETWEEN ALOE ROAD NW AND KIMMICK DRIVE containing approximately 35.4714 acre(s). (C-10 C-11) *[Deferred from 10/17/07]* **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
13. **Project# 1005465**  
07DRB-70277 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- THOMPSON ENGINEERING CONSULTANTS, INC agent(s) for DUKE CITY DISTRIBUTING request(s) the above action(s) for all or a portion of Tract(s) C, **SOUTH BROADWAY INDUSTRIAL ACRES**, zoned SU-2 HM, located on WOODWARD RD SE BETWEEN BROADWAY BLVD SE AND 2<sup>ND</sup> ST SE containing approximately 3.52 acre(s). (M-14) **DEFERRED TO 10/31/07 AT THE AGENT'S REQUEST.**
14. **Project# 1006890**  
07DRB-70308 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- PRECISION SURVEYS INC agent(s) for NEW MEXICO BANK & TRUST request(s) the above action(s) for all or a portion of Lot(s) 5-11 AND PORTION OF 12 & 13-15, Block(s) 17, Tract(s) 15-A, **MONKBRIDGE ADDITION (TBK TRACTS A & B, NEW MEXICO BANK & TRUST)**, zoned P, C-1 & C-3, located on CANDELARIA NW BETWEEN 4TH ST NW AND 5TH ST NW containing approximately 1.9616 acre(s). (G-14) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN-OFF DELEGATED TO PLANNING FOR SOLAR LANGUAGE AND TO RECORD.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

15. **Project# 1003119**  
07DRB-70321 SKETCH PLAT REVIEW  
AND COMMENT
- WAYJOHN SURVEYING INC agent(s) for ASN, LLC request(s) the above action(s) for all or a portion of Tract(s) 4-B1, **HORNE DEVELOPMENT ADDITION**, zoned SU-1 PLANNED COMMERCIAL, located on HOTEL CIRCLE NE BETWEEN EUBANK BLVD NE AND TOMASITA ST NE containing approximately 5.0392 acre(s). **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
16. **Project# 1006904**  
07DRB-70320 SKETCH PLAT REVIEW  
AND COMMENT
- WAYJOHN SURVEYING INC agent(s) for VANCE DUGGER & ROSABELLA MONTOYA DUGGER request(s) the above action(s) for all or a portion of Lot(s) 17, Block(s) 5, **NORTH ALBUQUERQUE ACRES TRACT A Unit(s) A**, zoned M-1, located on SAN FRANCISCO DR. NE BETWEEN SAN PEDRO DR NE AND I-40 FRONTAGE RD containing approximately .7216 acre(s). (D-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
17. **Project# 1004557**  
07DRB-70322 SKETCH PLAT REVIEW  
AND COMMENT
- YOLANDA MONTOYA agent(s) for MIKE RIOLIA request(s) the above action(s) for all or a portion of Lot(s) 28, Block(s) 27, Tract(s) A, **NAA Unit(s) B**, zoned SU-2/IP, located on OKLAND AVE NE BETWEEN SAN PEDRO NE AND LOUISIANNA NE containing approximately .89 acre(s). (C-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
18. **Project# 1006901**  
07DRB-70315 SKETCH PLAT REVIEW  
AND COMMENT
- AJAY JARIWALA/JARIM KASSAM request(s) the above action(s) for all or a portion of Lot(s) 2-A, Block(s) 2, **SUNPORT PARK**, zoned IP, located on WOODWARD SE BETWEEN UNIVERSITY BLVD SE AND TRANSPORT SE containing approximately 3.3 acre(s). **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
19. Approval of the Development Review Board Minutes for September 5, and September 12, 2007.

Other Matters:

ADJOURNED: 11:05



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

November 22, 2006

### 7. Project # 1005191

06DRB-01454 Major-Preliminary Plat Approval  
06DRB-01455 Major-Vacation of Pub Easements  
06DRB-01456 Minor-Sidewalk Variance  
06DRB-01457 Minor-Temp Defer SDWK

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 13-20, Tract(s) A, Block(s) 29, NORTH ALBUQUERQUE ACRES, UNIT B (to be known as **SEVANO PLACE SUBDIVISION**) zoned R-D, located on LOUISIANA NE, between ALAMEDA NE and SIGNAL NE containing approximately 7 acre(s). [*Deferred from 11/1/06 & 11/8/06 & 11/15/06*] (C-18)

At the November 22, 2006, Development Review Board meeting, with the signing of the infrastructure list dated 11/22/06 and approval of the grading plan engineer stamp dated 11/21/06 the preliminary plat was approved with the following conditions of final plat approval:

Environmental Health must sign the plat.

Radius dedications are required per the DPM.

Zoning shall be shown as R-D on the plat.

The Homeowner's Association President must sign the final plat.

A 5-foot public roadway easement must be shown as vacated on the plat.

The vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

### FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

### CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

The sidewalk variance 06DRB-01456 was withdrawn at the agent's request.

The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by December 7, 2006, in the manner described below.



## OFFICIAL NOTICE OF DECISION

PAGE 2

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

Sheran Matson, AICP, DRB Chair

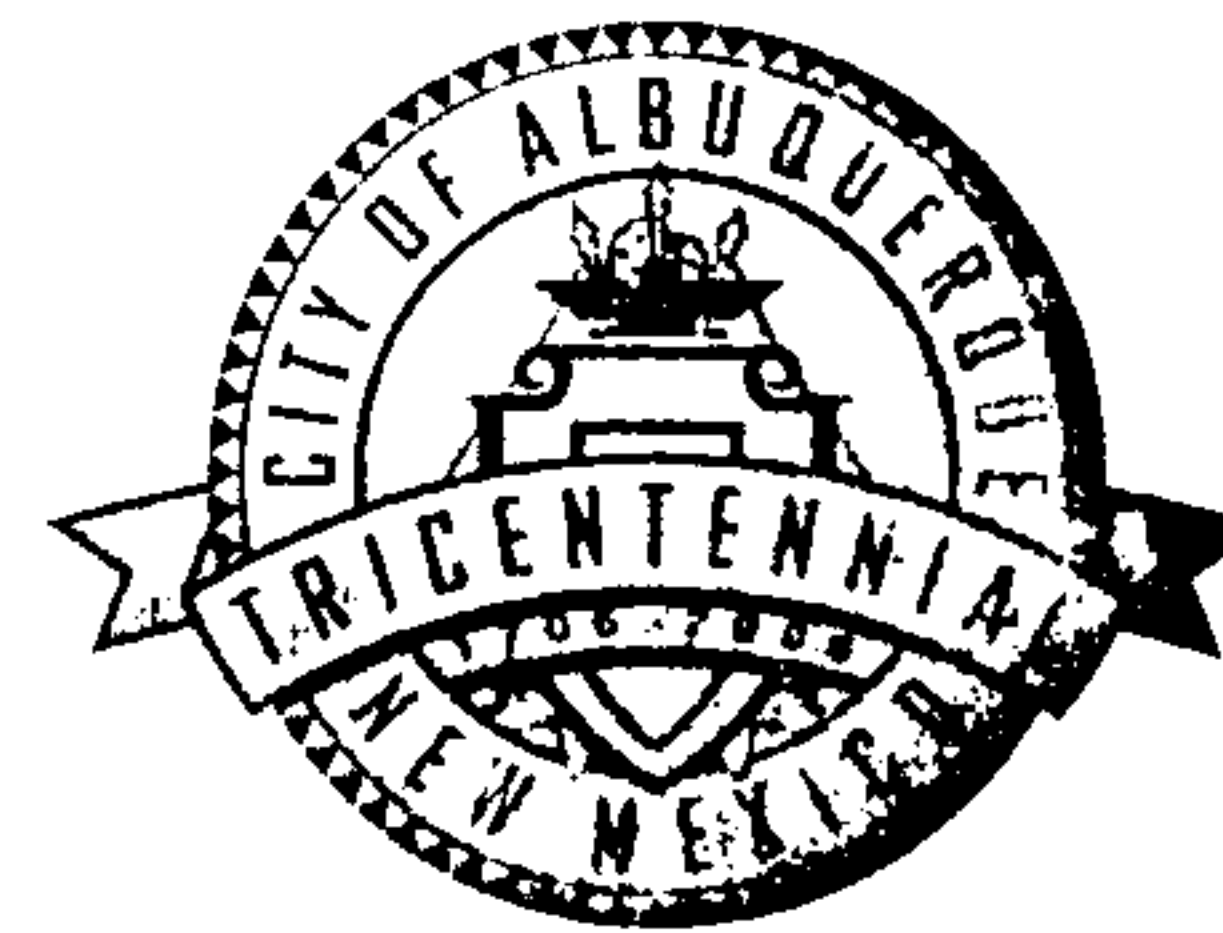
Cc: Adil Rizvi, 2340 Menaul Blvd NE, Suite 200, 87107  
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.  
File

# DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1005191 AGENDA#: 7 DATE: 11.22.06

1. Name: Adil Rizvi Address: \_\_\_\_\_ Zip: \_\_\_\_\_
2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD – SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1005191**

**AGENDA ITEM NO: 7**

**SUBJECT:**

Preliminary Plat  
Sidewalk Deferral  
Sidewalk Variance  
Vacation of Public Right-of-Way

**ACTION REQUESTED:**

**REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )**

**ENGINEERING COMMENTS:**

No objection to Sidewalk Waiver or Sidewalk Deferral request.  
No objection to Vacation request.  
An approved grading and drainage plan ~~must be on file~~ <sup>on file</sup> ~~prior~~ <sup>for</sup> to Preliminary Plat approval.  
*dated 11-21-06*

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

**RESOLUTION:**

**APPROVED \_\_\_; DENIED \_\_\_; DEFERRED \_\_\_; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_**

**DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)**

**SIGNED: Bradley L. Bingham  
City Engineer / AMAFCA Designee**

**DATE: NOVEMBER 22, 2006**





**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

November 15, 2006

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:25 P.M.

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000296**  
06DRB-01536 Major-Vacation of Public Easements

BOHANNAN HUSTON INC agent(s) for SCOTT PATRICK HOMES request(s) the above action(s) for all or a portion of Lot(s) 16A-P1 & 17A-P1, **OXBOW VILLAGE**, zoned SU-3, located on OXBOW VILLAGE LANE NW, between OXBOW DR NW and ST. JOSEPHS DR NW containing approximately 1 acre(s). [REF: 05DRB-00789] [Deferred from 11/15/06] (G-11) **DEFERRED AT THE AGENT'S REQUEST TO 11/22/06.**

2. **Project # 1000572**  
06DRB-01535 Major-Vacation of Public Easements  
06DRB-01538 Minor-Vacation of Private Easements

ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for Lot(s) 1B, 2, 3, 5A, 6, 7 & 8, **THE LENKURT PROPERTIES**, zoned SU-1 PRD, located on CHICO RD NE, between EUBANK BLVD NE and MORRIS ST NE containing approximately 23 acre(s). [REF: 06DRB-01190, 06DRB-01038, 06DRB-01040, 06DRB-01041] (K-21) **VACATION WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

3. **Project # 1005137**  
06DRB-01533 Major-Vacation of Pub Right-of-Way  
06DRB-01534 Major-Vacation of Public Easements

FRANK VENAGLIA request(s) the above action(s) for Lot(s) 22, Block(s) 21 CITY RIGHT-OF WAY & LANDSCAPED MEDIAN, **NEW MEXICO TOWN COMPANY ORIGINAL TOWNSITE**, zoned SU-3 special center zone, located on GOLD AVE SW, between 7<sup>TH</sup> ST SW and 8<sup>TH</sup> ST SW containing approximately 1 acre(s). [REF: 06DRB-01326] (K-14) **VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1001999**  
06DRB-01528 Major-Vacation of Pub Right-of-Way

ADVANCED ENGINEERING AND CONSULTING agent(s) for MIQUEL MELENDEZ request(s) the above action(s) for all or a portion of Lot(s) 13A1 through 13A3, Block(s) 14, **RAYNOLDS ADDITION**, zoned SU-2 FOR MFR, located on 11<sup>TH</sup> ST SW, between SILVER AVE SW and GOLD AVE SW containing approximately 1 acre(s). [REF: 06DRB-01871] (K-13) **WITH THE CHANGE TO THE VACATION EXHIBIT THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

5. **Project # 1002017**  
06DRB-01540 Major-Vacation of Pub  
Right-of-Way

MYERS, OLIVER & PRICE PC agent(s) for DAVID & PAM MONTROYA request(s) the above action(s) for all or a portion of EDITH BLVD NE between ALAMEDA NE and FRESQUEZ NE. *[Deferred from 11/15/06]* (B-17) **DEFERRED AT THE AGENT'S REQUEST TO 11/22/06.**

6. **Project # 1004075**  
06DRB-01537 Major-Vacation of Pub  
Right-of-Way  
06DRB-01539 Major-Vacation of Public  
Easements

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, 4B, 4C and 1 through 15, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25 SW, between BROADWAY BLVD SW and LOS PICAROS RD SW containing approximately 2,294 acre(s). [REF: 06DRB-00744] *[Deferred from 11/15/06]* (R-16, Q-16, R-15, R-17, S-14, S-16, S-17, T-16) **DEFERRED AT THE AGENT'S REQUEST TO 12/13/06.**

7. **Project # 1004354**  
06DRB-01541 Major-Vacation of Public  
Easements

TIERRA WEST LLC agent(s) for MONAHITI LLC request(s) the above action(s) for all or a portion of Lot(s) 22-26 and a portion of Lot(s) 27, Block(s) 9, Tract(s) O, **ORIGINAL TOWNSITE OF WESTLAND**, zoned C-2, located on 98<sup>TH</sup> ST NW, between CENTRAL AVE NW and VOLCANO RD NW containing approximately 2 acre(s). [REF: 06DRB-01426, ZA-96-227] (K-9) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

8. **Project # 1004851**  
06DRB-01452 Major-Preliminary Plat  
Approval

JEFF MORTENSEN & ASSOCIATES agent(s) for THE SAWMILL DEVELOPMENT COMPANY LLC request(s) the above action(s) for all or a portion of Tract(s) 2, LANDS OF MCCLAIN and Tract(s) A-3, LANDS OF AND WILLIAM ANDREW MCCORD (to be known as **ANTIGUA TRAVESIA**, zoned S-M1, located on ZEARING AVE NW, between RIO GRANDE BLVD NW and 19<sup>TH</sup> ST NW containing approximately 3 acre(s). [REF: 06DRB-00556, 06DRB-01095] [*Deferred from 11/1/06 & 11/8/06*] (H-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/15/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/27/06 THE PRELIMINARY PLAT WAS APPROVED WITH A CONDITION OF FINAL PLAT: DEVELOPER MUST INCLUDE ON THE RESIDENTIAL SUBDIVISION FINAL PLAT THIS STATEMENT: "THE PROPERTY ON THIS PLAT IS SUBJECT TO A PRE-DEVELOPMENT FACILITIES FEE AGREEMENT WITH THE ALBUQUERQUE PUBLIC SCHOOLS RECORDED AT (INSERT RECORDING INFORMATION HERE)."**

9. ~~Project # 1005191~~  
06DRB-01454 Major-Preliminary Plat  
Approval  
06DRB-01455 Major-Vacation of Pub  
Right-of-Way  
06DRB-01456 Minor-Sidewalk Variance  
06DRB-01457 Minor-Temp Defer SDWK

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 13-20, Tract(s) A, Block(s) 29, NORTH ALBUQUERQUE ACRES, UNIT B (to be known as **SEVANO PLACE SUBDIVISION**) zoned R-D, located on LOUISIANA NE, between ALAMEDA NE and SIGNAL NE containing approximately 7 acre(s). [*Deferred from 11/1/06 & 11/8/06 & 11/15/06*] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 11/22/06.**

10. **Project # 1004989**  
 06DRB-01411 Major-Preliminary Plat  
 Approval  
 06DRB-01412 Major-Vacation of Public  
 Easements  
 06DRB-01413 Minor-Subd Design (DPM)  
 Variance  
 06DRB-01414 Minor-Sidewalk Waiver  
 06DRB-01415 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for MESA VERDE DEVELOPMENT CO request(s) the above action(s) for all or a portion of Tract(s) A, UNIT 2, WILDERNESS @ HIGH DESERT (to be known as **WILDERNESS CANON @ HIGH DESERT**) zoned SU-2, HD/R-R, located on HIGH DESERT PL NE, between TRAILHEAD RD NE and EMBUDITO VIEW CT NE containing approximately 4 acre(s). [REF: 06DRB-00933, 04DRB-00713, 04DRB-01723] [*Deferred from 10/25/06 & 11/8/06 & 11/15/06*] (F-23) **DEFERRED AT THE AGENT'S REQUEST TO 11/22/06.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

11. **Project # 1004167**  
 06DRB-01611 Minor-SiteDev Plan  
 BldPermit/EPC

CONSENSUS PLANNING agent(s) for LA ORILLA GROUP LLC request(s) the above action(s) for all or a portion of Lot(s) 10-B-1, **BOSQUE PLAZA**, zoned C-1 (SC) located on COORS BLVD NW, between LA ORILLA RD NW and BOSQUE PLAZA LANE NW containing approximately 1 acre(s). [REF: 06EPC-00066] [**Catalina Lehner, EPC Case Planner**] [Heard under Project #1004647 which is incorrect] (D-12 & E-12) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

12. **Project # 1005247**  
 06DRB-01605 Minor-Prelim&Final Plat  
 Approval

SURVEYS SOUTHWEST LTD agent(s) for GILBERT LOVATO, K-RAM INC request(s) the above action(s) for all or a portion of Lot(s) 30, Block(s) 10, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-1 & M-1, located on OAKLAND AVE NE, between SAN MATEO BLVD NE and EAGLE AVE NE containing approximately 1 acre(s). (C-18) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

13. **Project # 1004943**  
06DRB-01547 Minor-Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for JULIE GUITERREZ request(s) the above action(s) for all or a portion of Tract(s) D, VILLAGE CENTER NORTH (to be known as **PINNACLE PEAK TOWNHOMES**) zoned SU-1 for mixed use, located on PINNACLE PEAK NW, between MCMAHON BLVD NW and UNSER BLVD NW containing approximately 2 acre(s). [REF: 06DRB-01164, 06DRB-01165, 06DRB-01167] *[Deferred from 11/1/06 & 11/8/06]* (A-11) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE, APS LANGUAGE AND TO RECORD.**

14. **Project # 1004918**  
06DRB-01612 Minor-Prelim&Final Plat Approval

BOHANNAN HUSTON agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 4-A-1, 4-A-2 & 4-A-3, **MESA DEL SOL, BUILDINGS 2 & 3**, zoned SU-2 Planned Community, located on I-25 SW, between BROADWAY BLVD SW and LOS PICAROS RD SW containing approximately 2,287 acre(s). [REF: 06DRB-00744] (R-16, Q-16, R-15, R-17, S-14, S-16, S-17 & T-16) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ENCROACHMENT AGREEMENT, PROOF OF RECORDED EASEMENTS & REMOVAL OF VACATION LANGUAGE AND TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

15. **Project # 1005090**  
06DRB-01606 Minor-Prelim&Final Plat Approval  
06DRB-01607 Minor-Sidewalk Waiver

JAMES TORRES agent(s) for MAURO TORRES & EVANGELINA TORRES request(s) the above action(s) for all or a portion of Lot(s) 130B-1, 130B-2, 130C-1, 130C-2, M.R.G.C.D. Map #31, Tract(s) 130 (to be known as **LANDS OF MAURO TORRES**) zoned RA-2, located on TEODORO RD NW, between RIO GRANDE BLVD NW and DURANES LATERAL containing approximately 1 acre(s). [REF: 06DRB-01212] *[Deferred from 11/15/06]* (F-13) **DEFERRED AT THE AGENT'S REQUEST TO 11/22/06.**

16. **Project # 1005250**  
06DRB-01613 Minor-Prelim&Final Plat  
Approval

JOSE RODRIGUEZ request(s) the above action(s) for all or a portion of Lot(s) A, B & C, Block T-1, **CARLOS REY SUBDIVISION**, zoned R-2 residential zone, located on CHURCHILL RD SW, between COORS BLVD SW and BATAAN DR SW containing approximately 1 acre(s). *[Deferred from 11/15/06]* (K-10) **DEFERRED AT THE AGENT'S REQUEST TO 11/22/06.**

17. **Project # 1005226**  
06DRB-01543 Minor-Prelim&Final Plat  
Approval

ROSS HOWARD COMPANY agent(s) for ESTELLE BEATY-VAHN request(s) the above action(s) for all or a portion of Lot(s) 1-3 and vacated Garcia Street, Block(s) 42, **SKYLINE HEIGHTS SUBDIVISION**, zoned C-3 & M-1, located on ACOMA ST SE, between ALTEZ ST SE and CONCHAS ST SE containing approximately 1 acre(s). *[Indef deferred on a no show on 11/1/06 & 11/15/06]* (L-20) **INDEFINITELY DEFERRED ON A NO SHOW.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

18. **Project # 1004820**  
06DRB-01573 Minor-Sketch Plat or Plan

EASTERLING CONSULTANTS LLC agent(s) for AQUATIC CONSULTANTS request(s) the above action(s) for all or a portion of Tract(s) D-1-B, **ADOBE WELLS SUBDIVISION**, zoned C-2, located on EAGLE RANCH NW, between IRVING NW and WESTSIDE DR NW containing approximately 4 acre(s). (B-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1005094**  
06DRB-01574 Minor-Sketch Plat or Plan

EASTERLING CONSULTANTS LLC agent(s) for J. K. DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 7, Block(s) A, **GRANDE HEIGHTS SUBDIVISION**, zoned R-1, located on VISTA GRANDE DR NW, between SEQUOIA RD NW and REDLANDS RD NW containing approximately 1 acre(s). (G-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **Project # 1005073**  
06DRB-01614 Minor-Sketch Plat or Plan

MOD HAB LLC request(s) the above action(s) for all or a portion of Lot(s) 1, 2 & 3, Block(s) 11, **ROSEMONT ADDITION**, zoned S-R, located on 12<sup>TH</sup> ST NW, between ROSEMONT NW and ARIAS NW containing approximately 1 acre(s). [REF: 06DRB-01170] (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. Approval of the Development Review Board Minutes for November 8, 2006. **APPROVAL OF DRB MINUTES WAS DEFERRED.**

ADJOURNED: 12:25 P.M.



*Report to  
11/22/06*

# DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1005191 AGENDA#: 9 DATE: 11.15.06

1. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

Ms Sheran Matson, AICP  
DRB Chair  
City of Albuquerque  
P.O.Box 1293  
Albuquerque, New Mexico 87102

#9

11-14-2006

SEVANO PLACE SUBDIVISION: DRB NO: 1005191  
REQUEST TO DEFER TILL 11-22-2006

Dear Ms Matson:

I would like to defer the above referenced subdivision to 11-22-2006. This is because Albuquerque Public Schools (APS) has not signed the documents required for preliminary plat approval. Per my conversation with APS the documents will be signed 11-17-2006.

If you have any questions please call me at 315-6484. Thank you very much for your cooperation.

Sincerely,



Adil Rizvi  
2340 Manual NE  
Suite 200  
Albuquerque, NM 87113

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

**DRB CASE NO/PROJECT NO: 1005191**

**AGENDA ITEM NO: 9**

**SUBJECT:**

Preliminary Plat  
Sidewalk Deferral  
Sidewalk Variance  
Vacation of Public Right-of-Way

**ACTION REQUESTED:**

REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )

**ENGINEERING COMMENTS:**

P.O. Box 1293

No objection to Vacation request.  
An approved grading and drainage plan must be on file prior to Preliminary Plat approval.

Albuquerque

New Mexico 87103

www.cabq.gov

**RESOLUTION:**

11-22-06

APPROVED \_\_; DENIED \_\_; DEFERRED X; COMMENTS PROVIDED \_\_; WITHDRAWN \_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** NOVEMBER 15, 2006




**INTERA Incorporated**  
6000 Uptown Boulevard NE  
Suite 100  
Albuquerque, NM 87110  
Telephone: 505 246 1600  
Fax: 505 246 2600

## MEMORANDUM

DATE: October 30, 2006

TO: Sheran Matson, Planning Department – Design Review Board

COPY: Rhonda Methvin, Environmental Health Department  
Kevin Curran, Legal Department  
Adil Rizvi

FROM: James Joseph, INTERA Inc. 

SUBJECT: Project # 1005191, Lots 13-20, Tract A, Block 29, North Albuquerque Acres, Unit B (to be known as Sevano Place Subdivision), Located on Louisiana Blvd. NE between Alameda Blvd. NE and Signal NE (06DRB-01454 Major-Preliminary Plat Approval, 06DRB-01455 Major-Vacation of Public Right-of-Way, 06DRB-01456 Minor-Sidewalk Variance, 06DRB-01457 Minor-Temp Defer SDWK)

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There is the potential for the above-named project to be impacted by the presence of landfill gas generated by a former privately owned/operated landfill (Oakland Landfill). The developers of this site are required to follow the most current version of the "City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones". A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division.



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

November 8, 2006

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 a.m.

Adjourned: 10:35 a.m.

B. Changes and/or Additions to the Agenda

C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000965**  
06DRB-01500 Major-Vacation of Public  
Easements

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) 1, LANDS OF RAY GRAHAM III, **ANDALUCIA @ LA LUZ**, zoned SU-1, located on COORS NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 85 acre(s). [02DRB-00059] (F-11) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

2. **Project # 1005169**  
06DRB-01504 Major-Bulk Land Variance  
06DRB-01505 Minor-Prelim&Final Plat  
Approval

ALPHA PROFESSIONAL SURVEYING agent(s) for UNM REAL ESTATE DEPARTMENT request(s) the above action(s) for all or a portion of Tract(s) 10 & 11, **UNIVERSITY OF NEW MEXICO, AIRPORT PARCEL**, zoned M-2 located on IRA SPRECHER RD SE, between LOS PICAROS SE and the ALBUQUERQUE SUNPORT SE, containing approximately 446 acre(s). (P-16/P-17) **BULK LAND VARIANCE WAS APPROVED. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO CITY ENGINEER FOR A FLOODPLAIN EASEMENT TO BE GRANTED TO CITY OF ALBUQUERQUE AND PLANNING FOR NOTICE OF SUBDIVISION PLAT CONDITIONS, FEE SIMPLE LANGUAGE, 15-DAY APPEAL PERIOD AND TO RECORD THE PLAT.**

3. **Project # 1004851**  
06DRB-01452 Major-Preliminary Plat  
Approval

JEFF MORTENSEN & ASSOCIATES agent(s) for THE SAWMILL DEVELOPMENT COMPANY LLC request(s) the above action(s) for all or a portion of Tract(s) 2, LANDS OF MCCLAIN and Tract(s) A-3, LANDS OF AND WILLIAM ANDREW MCCORD (to be known as **ANTIGUA TRAVESIA**, zoned S-M1, located on ZEARING AVE NW, between RIO GRANDE BLVD NW and 19<sup>TH</sup> ST NW containing approximately 3 acre(s). [REF: 06DRB-00556, 06DRB-01095] [*Deferred from 11/1/06 & 11/8/06*] (H-13) **DEFERRED AT THE BOARD'S REQUEST TO 11/15/06.**

4. **Project # 1005191** — →  
06DRB-01454 Major-Preliminary Plat  
Approval  
06DRB-01455 Major-Vacation of Pub  
Right-of-Way  
06DRB-01456 Minor-Sidewalk Variance  
06DRB-01457 Minor-Temp Defer SDWK

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 13-20, Tract(s) A, Block(s) 29, NORTH ALBUQUERQUE ACRES, UNIT B (to be known as **SEVANO PLACE SUBDIVISION**) zoned R-D, located on LOUISIANA NE, between ALAMEDA NE and SIGNAL NE containing approximately 7 acre(s). [*Deferred from 11/1/06 & 11/8/06*] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 11/15/06.**

5. **Project # 1004989**  
06DRB-01411 Major-Preliminary Plat Approval  
06DRB-01412 Major-Vacation of Public Easements  
06DRB-01413 Minor-Subd Design (DPM) Variance  
06DRB-01414 Minor-Sidewalk Waiver  
06DRB-01415 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for MESA VERDE DEVELOPMENT CO request(s) the above action(s) for all or a portion of Tract(s) A, UNIT 2, WILDERNESS @ HIGH DESERT (to be known as **WILDERNESS CANON @ HIGH DESERT**) zoned SU-2, HD/R-R, located on HIGH DESERT PL NE, between TRAILHEAD RD NE and EMBUDITO VIEW CT NE containing approximately 4 acre(s). [REF: 06DRB-00933, 04DRB-00713, 04DRB-01723] [*Deferred from 10/25/06 & 11/8/06*] (F-23) **DEFERRED AT THE AGENT'S REQUEST TO 11/15/06.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1004976**  
06DRB-01548 Minor-SiteDev Plan Subd/EPC  
06DRB-01549 Minor-SiteDev Plan BldPermit/EPC

H BARKER ARCHITECTS agent(s) for CALABACILLAS GROUP request(s) the above action(s) for all or a portion of Lot(s) A-1, B-1, C-1 & C-2, **BLACK ARROYO DAM**, zoned C-2, located on GOLF COURSE RD NW, between BENTON AVE NW and WESTSIDE BLVD NW containing approximately 12 acre(s). [REF: 06EPC-00424, 06EPC-00425] [**Catalina Lehner, EPC Case Planner**] [*Deferred from 11/1/06 & Indef deferred 11/8/06*] (A-12) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

7. **Project # 1004688**  
06DRB-01572 Minor-Final Plat Approval

CLARK CONSULTING ENGINEERS agent(s) for JOHN ABBOTT & BILL H. BURNS request(s) the above action(s) for all or a portion of Tract(s) 2, 2a & 2b, **ALVARADO GARDENS ADDITION, UNIT 1**, zoned RA-2, located on RIO GRANDE BLVD NW between MATTHEW AVE NW and CAMPBELL RD NW, containing approximately 3 acre(s). [*Indef deferred 11/8/06*] (G-12/G-13) **INDEFINITELY DEFERRED AT THE BOARD'S REQUEST.**

8. **Project # 1002730**  
06DRB-01521 Minor-Final Plat Approval

ISAACSON & ARFMAN agent(s) for INFILL SOLUTIONS II LLC request(s) the above action(s) for all or a portion of Lot(s) 13-A-1, Block(s) 6, Tract(s) 3, NORTH ALBUQUERQUE ACRES UNIT 3 (to be known as **VILLA FIRENZE**) zoned R-D, located on CORONA AVE NE, between VENTURA ST NE and MENDOCINO DR NE containing approximately 4 acre(s). [REF: 06DRB-01204] *[Deferred from 10/25/06 Indef deferred 11/8/06]* (C-20) **INDEFINITELY DEFERRED AT THE BOARD'S REQUEST.**

06DRB-01555 Minor-Subd Design (DPM)  
Variance

ISAACSON & ARFMAN agent(s) for INFILL SOLUTIONS II LLC request(s) the above action(s) for all or a portion of Lot(s) 13-A-1, Block(s) 6, Tract(s) 3, NORTH ALBUQUERQUE ACRES UNIT 3 (to be known as **VILLA FIRENZE**) zoned R-D, located on CORONA AVE NE, between VENTURA ST NE and MENDOCINO DR NE containing approximately 4 acre(s). [REF: 06DRB-01204] *Indef deferred 11/8/06]* (C-20) **INDEFINITELY DEFERRED AT THE BOARD'S REQUEST.**

9. **Project # 1005233**  
06DRB-01568 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for WACHOVIA DEVELOPMENT, request(s) the above action(s) for all or a portion of Tract(s) A & B, Block(s) 5, **SUNDT'S INDUSTRIAL CENTER**, zoned M-2, located on MONTBEL LOOP NE, between JOAN HILL PL NE and ALEXANDER BLVD NE containing approximately 18 acre(s). (F-15) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR PRIVATE FACILITIES MAINTENANCE COVENANT, CROSS-LOT DRAINAGE EASEMENT AND TRANSPORTATION DEVELOPMENT FOR SIDEWALKS.**



10. **Project # 1004387**  
06DRB-00644 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for LESLIE JENSEN request(s) the above action(s) for all or a portion of Lot(s) 31-35, Block(s) 12, **COUNTRY CLUB ADDITION**, zoned O-1, located on LAS LOMAS RD NE and ENCINO PL NE and containing approximately 1 acre(s). [REF: 05DRB-01332] [*Indef Deferred on 5/17/06*] (J-15) **WITH THE APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/13/06 THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT DELEGATED TO CITY ENGINEER FOR APPROVED ENGINEER CERTIFICATION AND TO TRANSPORTATION DEVELOPMENT FOR PROPERTY MANAGEMENT'S SIGNATURE, PROOF THAT THE DRIVE PADS ARE CLOSED AND THE APPLICATION NUMBER OF THE VACATION ON THE PLAT.**

11. **Project # 1004943**  
06DRB-01547 Minor-Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for JULIE GUITERREZ request(s) the above action(s) for all or a portion of Tract(s) D, VILLAGE CENTER NORTH (to be known as **PINNACLE PEAK TOWNHOMES**) zoned SU-1 for mixed use, located on PINNACLE PEAK NW, between MCMAHON BLVD NW and UNSER BLVD NW containing approximately 2 acre(s). [REF: 06DRB-01164, 06DRB-01165, 06DRB-01167] [*Deferred from 11/1/06 & 11/8/06*] (A-11) **DEFERRED AT THE BOARD'S REQUEST TO 11/15/06.**

12. **Project # 1002928**  
06DRB-01570 Minor-Prelim&Final Plat  
Approval

SURV-TEK INC agent(s) for LONGFORD AT THE TRAILS LLC request(s) the above action(s) for all or a portion of Lot(s) 6-AP1 & 7-AP1, **TAOS @ THE TRAILS**, zoned RD, located on TREELINE AVE NW east of PILABO ST NW and containing approximately 1 acre(s). (C-9) **PRELIMINARY AND FINAL PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA'S SIGNATURE AND TO RECORD.**

13. **Project # 1003170**  
06DRB-01564 Minor-Prelim&Final Plat  
Approval

LARKIN GROUP NM INC agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Tract(s) A, **CITY OF ALBUQUERQUE WATER TREATMENT FACILITY**, zoned SU-1 M-1, located on CHAPPELL DR NE, between MISSION AVE NE and OSUNA RD NE containing approximately 163 acre(s). [REF: 04DRB-01329] (E-16/F-16) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR LANGUAGE ON THE PLAT, EXTENSION OF A 20-FOOT WATERLINE EASEMENT AND TO RECORD.**

14. **Project # 1004254**  
06DRB-01569 Minor-Prelim&Final Plat  
Approval

WAYJOHN SURVEYING INC agent(s) for CHARLES JAEGER request(s) the above action(s) for all or a portion of Lot(s) A-1, **ALVARADO GARDENS, UNIT 3**, zoned R-2 residential zone, located on VERANDA RD NW, between RIO GRANDE BLVD NW and GLENWOOD DR NW containing approximately 1 acre(s). [REF: 05DRB-00964] [*Indef deferred 11/8/06*] (G-12) **INDEFINITELY DEFERRED AT THE BOARD'S REQUEST.**

15. **Project # 1004874**  
06DRB-01571 Minor-Prelim&Final Plat  
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for ANDERSON PROPERTIES LLC request(s) the above action(s) for all or a portion of Lot(s) 17, 18 & 19, Block(s) 2, **MONKBRIDGE ADDITION**, zoned SU-1, located on CANDELARIA RD NW between 2<sup>nd</sup> ST NW and 4<sup>TH</sup> ST NW, containing approximately 1 acre(s). (G-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR COPY OF NOTICE OF DECISION REGARDING ZONING, AMAFCA'S SIGNATURE AND TO RECORD.**

16. **Project # 1005229**  
06DRB-01551 Minor-Prelim&Final Plat  
Approval

JACK'S HIGH COUNTRY agent(s) for LESLEY RYAN & DIONISIA BURTON request(s) the above action(s) for all or a portion of Lot(s) 13A-1, 13B-1, 14A1-A2 & 17-A, **LANDS OF BURTIN & RYAN**, zoned SU-2 R-1, located on 8<sup>TH</sup> ST SW, between PACIFIC SW and CROMWELL SW containing approximately 1 acre(s). *[Deferred from 11/1/06]* (K-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR WATERLINE EASEMENT LOCATION, AMAFCA'S SIGNATURE AND TO RECORD.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

17. **Project # 1005230**  
06DRB-01552 Minor-Sketch Plat or Plan

FRANK SIERRA request(s) the above action(s) for all or a portion of Lot(s) 10 & 11A, Block(s) 2, **VAN CLEAVE ACRES**, zoned RA-2, located on VAN CLEAVE NW, between SAN ISIDRO NW and GREIGOS LATERAL containing approximately 1 acre(s). (G-13) **INDEFINITELY DEFERRED ON A NO SHOW.**

18. Approval of the Development Review Board Minutes for November 1, 2006. **THE DRB MINUTES FOR 11/1/06 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:35 A.M.

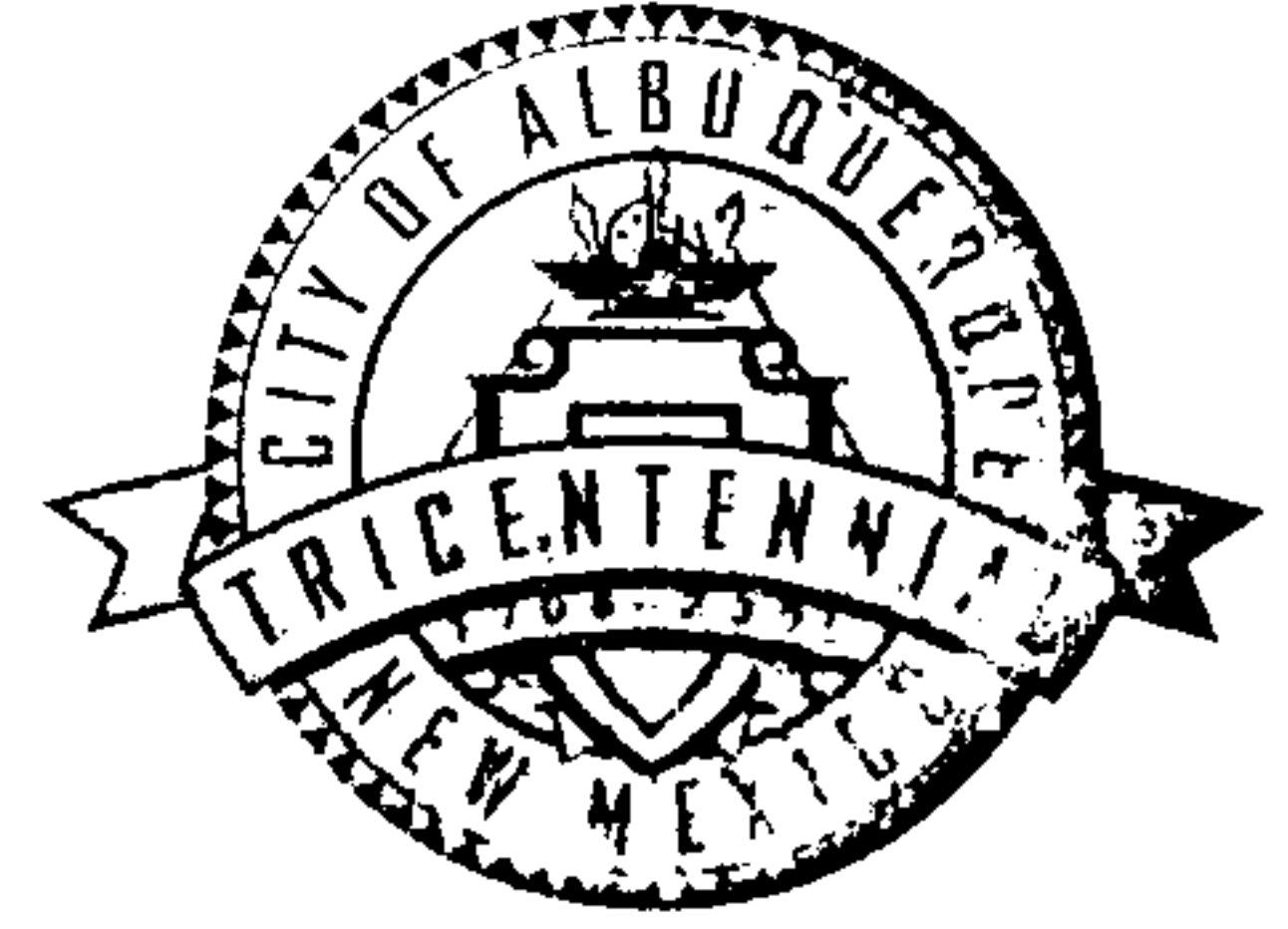
# DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1005191 AGENDA#: 4 DATE: 11.8.06

1. Name: Adil Raza Address: Agent Zip: \_\_\_\_\_
2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
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11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

# CITY OF ALBUQUERQUE

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**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD – SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1005191**

**AGENDA ITEM NO: 4**

**SUBJECT:**

Preliminary Plat  
Sidewalk Deferral  
Sidewalk Variance  
Vacation of Public Right-of-Way

**ACTION REQUESTED:**

**REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )**

**ENGINEERING COMMENTS:**

P.O. Box 1293

No objection to Vacation request.  
An approved grading and drainage plan must be on file prior to Preliminary Plat approval.

Albuquerque

New Mexico 87103

www.cabq.gov

**RESOLUTION:**

**11-15-06**

**APPROVED \_\_\_; DENIED \_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_**

**DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)**

**SIGNED: Bradley L. Bingham  
City Engineer / AMAFCA Designee**

**DATE: NOVEMBER 8, 2006**



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

November 1, 2006 9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

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**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 10:35 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**  
**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1001562**  
06DRB-01453 Major-Two Year SIA  
MARK GOODWIN & ASSOCIATES PA agent(s) for PULTE HOMES OF NEW MEXICO request(s) the above action(s) for **RESERVE @ FOUR HILLS**, zoned R-1 residential zone, located on WAGON TRAIN DR SE, between RATON AVE SE and RIO ARRIBA AVE SE containing approximately 17 acre(s). [REF: 06DRB-01408] (M-22)  
**TWO-YEAR SIA WAS APPROVED.**

2. **Project # 1004918**  
06DRB-01449 Major-Vacation of Pub  
Right-of-Way  
06DRB-01450 Major-Vacation of Public  
Easements

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for Tract(s) 4-A, 4-B & 4-C, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25, between BROADWAY BLVD SE and LOS PICAROS RD SE containing approximately 2, 294 acre(s). [REF: 06DRB-00744] (R-16) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

3. **Project # 1004851**  
06DRB-01452 Major-Preliminary Plat  
Approval

JEFF MORTENSEN & ASSOCIATES agent(s) for THE SAWMILL DEVELOPMENT COMPANY LLC request(s) the above action(s) for all or a portion of Tract(s) 2, LANDS OF MCCLAIN and Tract(s) A-3, LANDS OF AND WILLIAM ANDREW MCCORD (to be known as **ANTIGUA TRAVESIA**, zoned S-M1, located on ZEARING AVE NW, between RIO GRANDE BLVD NW and 19<sup>TH</sup> ST NW containing approximately 3 acre(s). [REF: 06DRB-00556, 06DRB-01095] [*Deferred from 11/1/06*] (H-13) **DEFERRED AT THE BOARD'S REQUEST TO 11/8/06.**

4. **Project # 1005191**  
06DRB-01454 Major-Preliminary Plat  
Approval  
06DRB-01455 Major-Vacation of Pub  
Right-of-Way  
06DRB-01456 Minor-Sidewalk Variance  
06DRB-01457 Minor-Temp Defer SDWK

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 13-20, Tract(s) A, Block(s) 29, NORTH ALBUQUERQUE ACRES, UNIT B (to be known as **SEVANO PLACE SUBDIVISION**) zoned R-D, located on LOUISIANA NE, between ALAMEDA NE and SIGNAL NE containing approximately 7 acre(s). [*Deferred from 11/1/06*] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 11/8/06.**

5. **Project # 1004428**  
06DRB-01121 Major-Vacation of Public Easements  
06DRB-01119 Major-Preliminary Plat Approval  
06DRB-01122 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for ALBUQUERQUE RIO BRAVO PARTNERS LLC request(s) the above action(s) for all or a portion of Tract(s) RR-3A, RR-3B, RR-3C, RR-3D and RR-3E, TOWN OF ATRISCO GRANT (to be known as **CEJA VISTA**) zoned SU-1, C-1, R-LT, located on DENNIS CHAVEZ BLVD SW, between MEADE AVE SE and 118<sup>TH</sup> ST SW containing approximately 99 acre(s). [REF: 05DRB-01460, 05DRB-01461] [Deferred from 8/30/06 & 9/27/06 & 10/4/06 & 10/18/06 & 11/1/06] (P-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/29/06.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

6. **Project # 1005123**  
06DRB-01289 Minor-SiteDev Plan  
BldPermit

JOHN KLEE agent(s) for CUNADO LTD request(s) the above action(s) for all or a portion of Lot(s) 1 & 32, Block(s) 10, NORTH ALBUQUERQUE ACRES, UNIT B (to be known as **CUNADO RETAIL CENTER**) zoned SU-2, M-1, located on SAN MATEO NE, between OAKLAND NE and EAGLE ROCK NE containing approximately 1 acre(s). [Indef deferred from 9/13/06] (C-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND GRADING AND DRAINAGE PLAN AND PLANNING FOR SITE PLAN FOR BUILDING PERMIT ON TITLE AND 3 COPIES OF THE SITE PLAN.**

- 06DRB-01550 Minor-Prelim&Final Plat  
Approval

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for CUNADO LTD request(s) the above action(s) for all or a portion of Lot(s) 1 and 32, Block(s) 10, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT B (to be known as **CUNADO RETAIL CENTER**) zoned SU-2 for M-1, located on SAN MATEO NE, between OAKLAND NE and EAGLE ROCK NE containing approximately 2 acre(s). (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/1/06 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**



7. **Project # 1004976**  
06DRB-01548 Minor-SiteDev Plan  
Subd/EPC  
06DRB-01549 Minor-SiteDev Plan  
BldPermit/EPC

H BARKER ARCHITECTS agent(s) for CALABACILLAS GROUP request(s) the above action(s) for all or a portion of Lot(s) A-1, B-1, C-1 & C-2, **BLACK ARROYO DAM**, zoned C-2, located on GOLF COURSE RD NW, between BENTON AVE NW and WESTSIDE BLVD NW containing approximately 12 acre(s). [REF: 06EPC-00424, 06EPC-00425] [Catalina Lehner, EPC Case Planner] [Deferred from 11/1/06] (A-12) **DEFERRED AT THE AGENT'S REQUEST TO 11/8/06.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

8. **Project # 1004943**  
06DRB-01547 Minor-Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for JULIE GUITERREZ request(s) the above action(s) for all or a portion of Tract(s) D, VILLAGE CENTER NORTH (to be known as **PINNACLE PEAK TOWNHOMES**) zoned SU-1 for mixed use, located on PINNACLE PEAK NW, between MCMAHON BLVD NW and UNSER BLVD NW containing approximately 2 acre(s). [REF: 06DRB-01164, 06DRB-01165, 06DRB-01167] [Deferred from 11/1/06] (A-11) **DEFERRED AT THE BOARD'S REQUEST TO 11/8/06.**

9. **Project # 1005226**  
06DRB-01543 Minor-Prelim&Final Plat  
Approval

ROSS HOWARD COMPANY agent(s) for ESTELLE BEATY-VAHN request(s) the above action(s) for all or a portion of Lot(s) 1-3 and vacated Garcia Street, Block(s) 42, **SKYLINE HEIGHTS SUBDIVISION**, zoned C-3 & M-1, located on ACOMA ST SE, between ALTEZ ST SE and CONCHAS ST SE containing approximately 1 acre(s). (L-20) **INDEFINITELY DEFERRED ON A NO SHOW.**

10. **Project # 1005229**  
06DRB-01551 Minor-Prelim&Final Plat  
Approval

JACK'S HIGH COUNTRY agent(s) for LESLEY RYAN & DIONISIA BURTON request(s) the above action(s) for all or a portion of Lot(s) 13A-1, 13B-1, 14A1-A2 & 17-A, **LANDS OF BURTIN & RYAN**, zoned SU-2 R-1, located on 8<sup>TH</sup> ST SW, between PACIFIC SW and CROMWELL SW containing approximately 1 acre(s). [Deferred from 11/1/06] (K-13) **DEFERRED AT THE BOARD'S REQUEST TO 11/8/06.**

**NO ACTION IS TAKEN ON THESE CASES:**

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

11. **Project # 1005228**  
06DRB-01545 Minor-Sketch Plat or Plan

EDWIN G CHAVEZ agent(s) for MARIA F. T. MCDONALD & MARY FRANCES LOPEZ request(s) the above action(s) for all or a portion of Tract(s) 34-A, 34-B, 34-C AND 34-D, **LANDS OF FRANCES AND THERESA**, zoned RA-2 residential and agricultural zone, located on SAN ISIDRO NW, between CANDELARIA RD NW and DON JUAN CT NW containing approximately 1 acre(s). (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

12. **Project # 1005224**  
06DRB-01532 Minor-Sketch Plat or Plan

COMMUNITY SCIENCES CORPORATION agent(s) for SALAZAR FAMILY TRUST request(s) the above action(s) for all or a portion of Tract(s) A-1-A & A-1-B, **LANDS OF SALAZAR FAMILY TRUST ETAL**, zoned R-LT residential zone, located on 98<sup>TH</sup> ST SW and COLOBEL ST SW containing approximately 42 acre(s). [REF: 06DRB-00820] (N-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. Approval of the Development Review Board Minutes for October 25, 2006. **THE DRB MINUTES FOR 10/25/06 WERE APPROVED BY THE BOARD.**

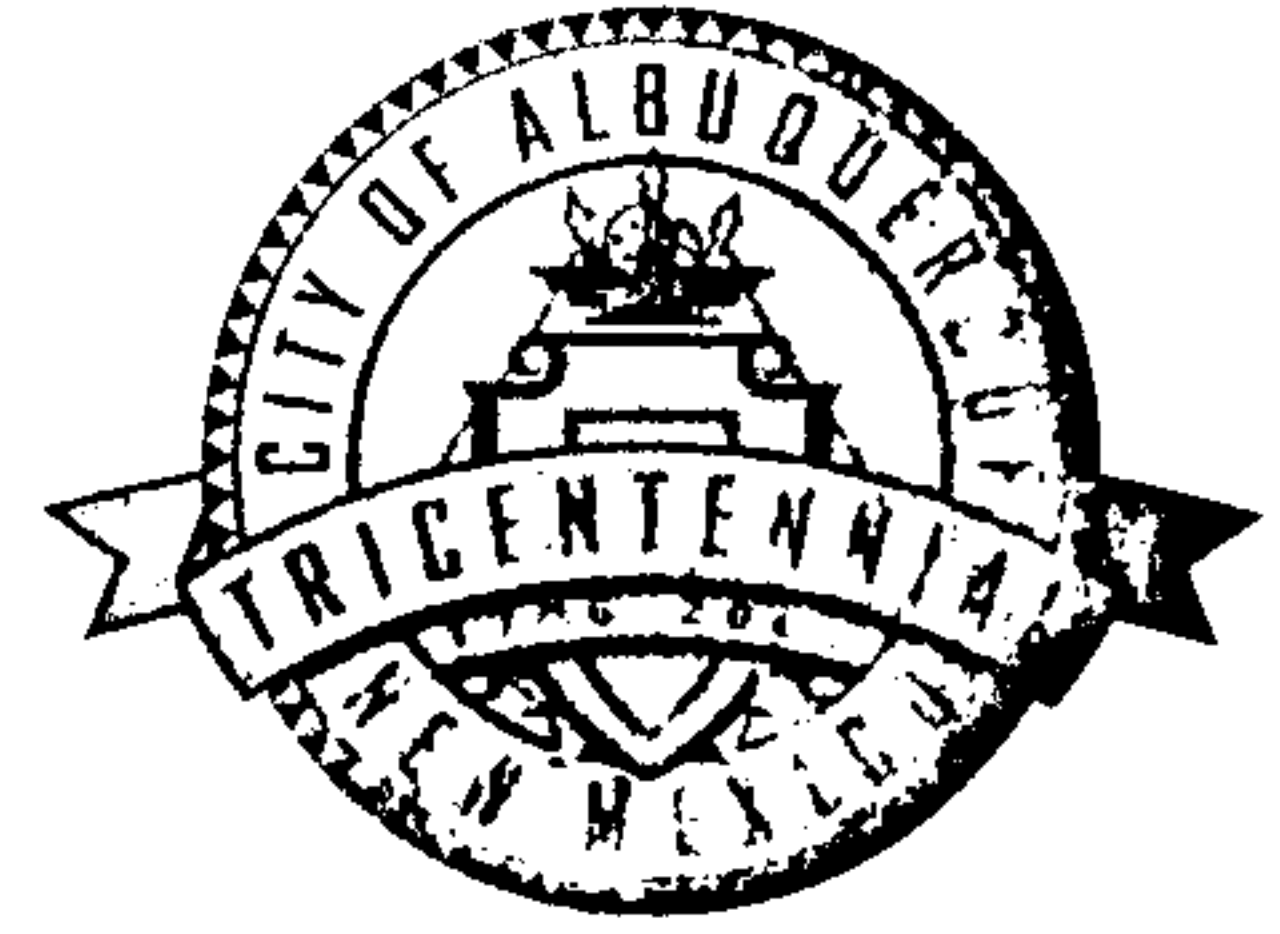
ADJOURNED: 10:35 A.M.

*Page 11/8/06*

# DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1005191 AGENDA#: 4 DATE: 11.1.06

1. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD – SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1005191**

**AGENDA ITEM NO: 4**

**SUBJECT:**

Preliminary Plat  
Sidewalk Deferral  
Sidewalk Variance  
Vacation of Public Right-of-Way

**ACTION REQUESTED:**

**REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )**

**ENGINEERING COMMENTS:**

No objection to Vacation request.  
An approved grading and drainage plan must be on file prior to Preliminary Plat approval.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

**RESOLUTION:**

11-8-06

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** NOVEMBER 1, 2006

\*\*\*\*\*  
\*\*\* TX REPORT \*\*\*  
\*\*\*\*\*

TRANSMISSION OK

TX/RX NO 0924  
CONNECTION TEL 9p2923904  
SUBADDRESS  
CONNECTION ID  
ST. TIME 10/11 15:49  
USAGE T 01'13  
PGS. 3  
RESULT OK



DEVELOPMENT REVIEW BOARD  
FAX FORM

TO: Adil Rizvi

FAX NUMBER: 292.3904 # PAGES 3

SENT BY: Sheran Matson, DRB Chair DATE: 10/11/06

PHONE NUMBER: 924-3880 FAX # 924-3864

PROJECT NO: 100519 | APPLICATION NO: \_\_\_\_\_

\*\*\*\*\*

Sherran Matson



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing on the 3<sup>rd</sup> FLOOR in the **PLANNING DEPARTMENT LARGE CONFERENCE ROOM, Plaza del Sol Building, 600 2nd St NW, on Wednesday, November 1, 2006, beginning at 9:00 a.m.** for the purpose of considering the following:

**Project # 1001562**  
06DRB-01453 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES PA agent(s) for PULTE HOMES OF NEW MEXICO request(s) the above action(s) for **RESERVE @ FOUR HILLS**, zoned R-1 residential zone, located on WAGON TRAIN DR SE, between RATON AVE SE and RIO ARRIBA AVE SE containing approximately 17 acre(s). [REF: 06DRB-01408] (M-22)

No objection.

**Project # 1004918**  
06DRB-01449 Major-Vacation of Pub Right-of-Way  
06DRB-01450 Major-Vacation of Public Easements

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for Tract(s) 4-A, 4-B & 4-C, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25, between BROADWAY BLVD SE and LOS PICAROS RD SE containing approximately 2, 294 acre(s). [REF: 06DRB-00744] (R-16)

No objection.

**Project # 1004851**  
06DRB-01452 Major-Preliminary Plat Approval

JEFF MORTENSEN & ASSOCIATES agent(s) for THE SAWMILL DEVELOPMENT COMPANY LLC request(s) the above action(s) for all or a portion of Tract(s) 2, LANDS OF MCCLAIN and Tract(s) A-3, LANDS OF AND WILLIAM ANDREW MCCORD (to be known as **ANTIGUA TRAVESIA**, zoned S-M1, located on ZEARING AVE NW, between RIO GRANDE BLVD NW and 19<sup>TH</sup> ST NW containing approximately 3 acre(s). [REF: 06DRB-00556, 06DRB-01095] (H-13)

The Homeowners Association President must sign the final plat.

No objection to the preliminary plat. The Sawmill Wells Park Sector Plan allows the lot size.

Wall design?

**Project # 1005191**  
06DRB-01454 Major-Preliminary Plat Approval  
06DRB-01455 Major-Vacation of Pub Right-of-Way  
06DRB-01456 Minor-Sidewalk Variance  
06DRB-01457 Minor-Temp Defer SDWK

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The site is within 1000' of a landfill. There is language

needed on the infrastructure list in this situation. Environmental Health must sign the final plat before Planning does so.

The North I-25 Sector Plan speaks to carefully designed planned units. The north and east sides of this subdivision fronting on Alameda and Louisiana must have at least one and preferably two 10' pedestrian easements leading from the subdivision to the sidewalk outside of the subdivision.

If there is a homeowners' association planned, the president must sign the final plat.

The plat refers to the zoning as RD/20 du/acre. AGIS and the sector plan which established the zoning refer to this property as RD with no dwelling unit per acre designation.

The right of way vacation on Signal should actually be called roadway easement per the existing platting in this area. Unless these lots are the exception to the rule, it is an easement.

No objection to the requested sidewalk actions.

The perimeter wall design does not meet the submittal requirements. The submittal must be revised before preliminary plat approval.

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

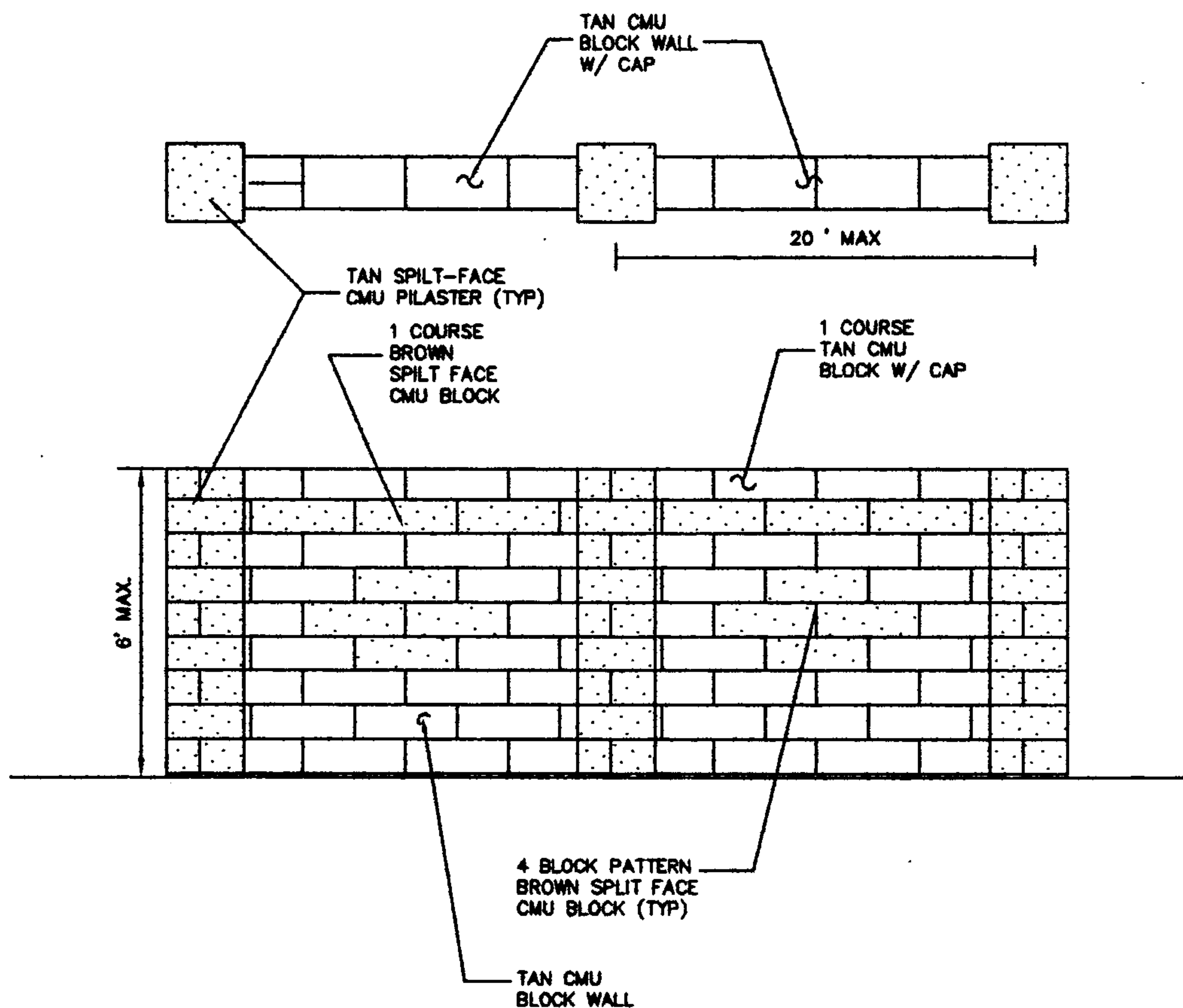
Sheran Matson, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, OCTOBER 16, 2006.**

PERIMETER WALL DETAIL FOR SEVANO PLACE SUBDIVISION

DRB NO : ----- ZONE ATLAS PAGE C-18

LOCATION : ALAMEDA AND LOUISIANA



NOTES:

1. MAXIMUM WALL HEIGHT INCLUDING RETAINING WALL SHALL NOT EXCEED EIGHT FEET







CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
 DEVELOPMENT REVIEW BOARD

November 1, 2006

**Project # 1005191**

- 06DRB-01454 Major-Preliminary Plat Approval
- 06DRB-01455 Major-Vacation of Pub Right-of-Way
- 06DRB-01456 Minor-Sidewalk Variance
- 06DRB-01457 Minor-Temp Defer SDWK

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AMAFCA

No adverse comments.

COG Alameda Blvd is designated a principal arterial with an established right of way of 124 feet in the Long Range Roadway System. Louisiana Blvd is designated a minor arterial with an established right of way of 86 feet. Both Alameda Blvd and Louisiana Blvd are designated as having on-street bicycle lanes. Please coordinate with DMD to insure project conformity with these adopted policies of the Metropolitan Transportation Board.

Transit

No comments received.

Zoning Enforcement

No adverse comments.

Neighborhood Coordination

Letters sent to Nor Este NA (R), West La Cueva NA (R), Quail Springs NA (R), North Domingo Baca NA (R), *Courtesy Only to Sonora HOA.*

APS **Sevano Place** is a proposed subdivision that will consist of 43 lots. The proposed development will affect EG Ross Elementary, Desert Ridge Middle School, and La Cueva High School.

School	2006-07 Projections	2006-07 Capacity	Space Available
E.G. Ross	624	781	157
Desert Ridge	1,215	1,218	3
La Cueva	2,284	2,300	16

APS EG Ross has excess capacity and should be able to absorb student growth from the proposed development. Desert Ridge Middle School and La Cueva High School will be nearing capacity as development in the northeastern area gradually fills in.

In regards to sidewalks, sidewalks near schools should not be waived as this would discourage walking to school. Subdivisions that are located within one mile of an elementary school, 1 ½ miles of a middle school, and 2 miles of a high school should be required to provide sidewalks/paths for students to access nearby schools.

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
- Construct new schools or additions
- Add portables
- Use of non-classroom spaces for temporary classrooms
- Lease facilities
- Use other public facilities
- Improve facility efficiency (short term solution)
- Schedule Changes
- Double sessions
- Multi-track year-round
- Other
- Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
- Boundary Adjustments / Busing
- Grade reconfiguration
- Combination of above strategies

All planned additions to existing educational facilities are contingent upon taxpayer approval.

#### Police Department

A review of the following DRB case(s) indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Sidewalk design variance issue. Eliminating sidewalks blurs the line between public private and semi-private space. Therefore, causing legitimate and non-legitimate pedestrian activity to either use the street, which forces them to interact with vehicles, or forces them into private space. The closer they are to homes the less angle of visibility for surrounding properties. Pedestrians also would be closer to private items and access to entry points.

Fire Department Fire Department is not approving street widths less than 32 feet at this time. Per Ray Sanchez, AFD. All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision.

PNM Electric & Gas

PNM Reserves easements within the vacated right of way for its existing facilities.

Comcast No comments received.

QWEST No comments received.

Environmental Health No comments received.

M.R.G.C.D. No comments received.

Open Space Division No adverse comments.

City Engineer

An approved drainage report is required for Preliminary Plat approval. No objection to the vacation request.

Transportation Development

Internal rights-of-way are required to be 47' for P1 designations. Transportation will object to the sidewalk variance. No objection to the 5' vacation action requested along Signal. Radii dedications are required at the corners. What does note 4 refer to? What is being done via a procedure "C"? Where are the turn bays at the intersections? Where is the traffic signal contribution? Where are the Signal paving improvements? Signage per DRC needs to be added. Is this going to be a gated subdivision? The 25' roadway easements need maintenance and beneficiaries. Will the 25' easements provide pedestrian connections to Alameda? How was the Louisiana dedication determined? Where are the entrance road improvements?

Parks & Recreation

The open space tract on the plat needs to be identified as a tract, with an owner and maintenance note added to address that tract.

The detached open space note is on the plat meeting the RD zoning requirements. Defer to Transportation regarding the vacation request and sidewalk variance.

## Planning Department

The site is within 1000' of a landfill. There is language needed on the infrastructure list in this situation. Environmental Health must sign the final plat before Planning does so.

The North I-25 Sector Plan speaks to carefully designed planned units. The north and east sides of this subdivision fronting on Alameda and Louisiana must have at least one and preferably two 10' pedestrian easements leading from the subdivision to the sidewalk outside of the subdivision.

If there is a homeowners' association planned, the president must sign the final plat.

The plat refers to the zoning as RD/20 du/acre. AGIS and the sector plan which established the zoning refer to this property as RD with no dwelling unit per acre designation.

The right of way vacation on Signal should actually be called roadway easement per the existing platting in this area. Unless these lots are the exception to the rule, it is an easement. No objection to the requested sidewalk actions.

The perimeter wall design does not meet the submittal requirements. The submittal must be revised before preliminary plat approval.

## Impact Fee Administrator

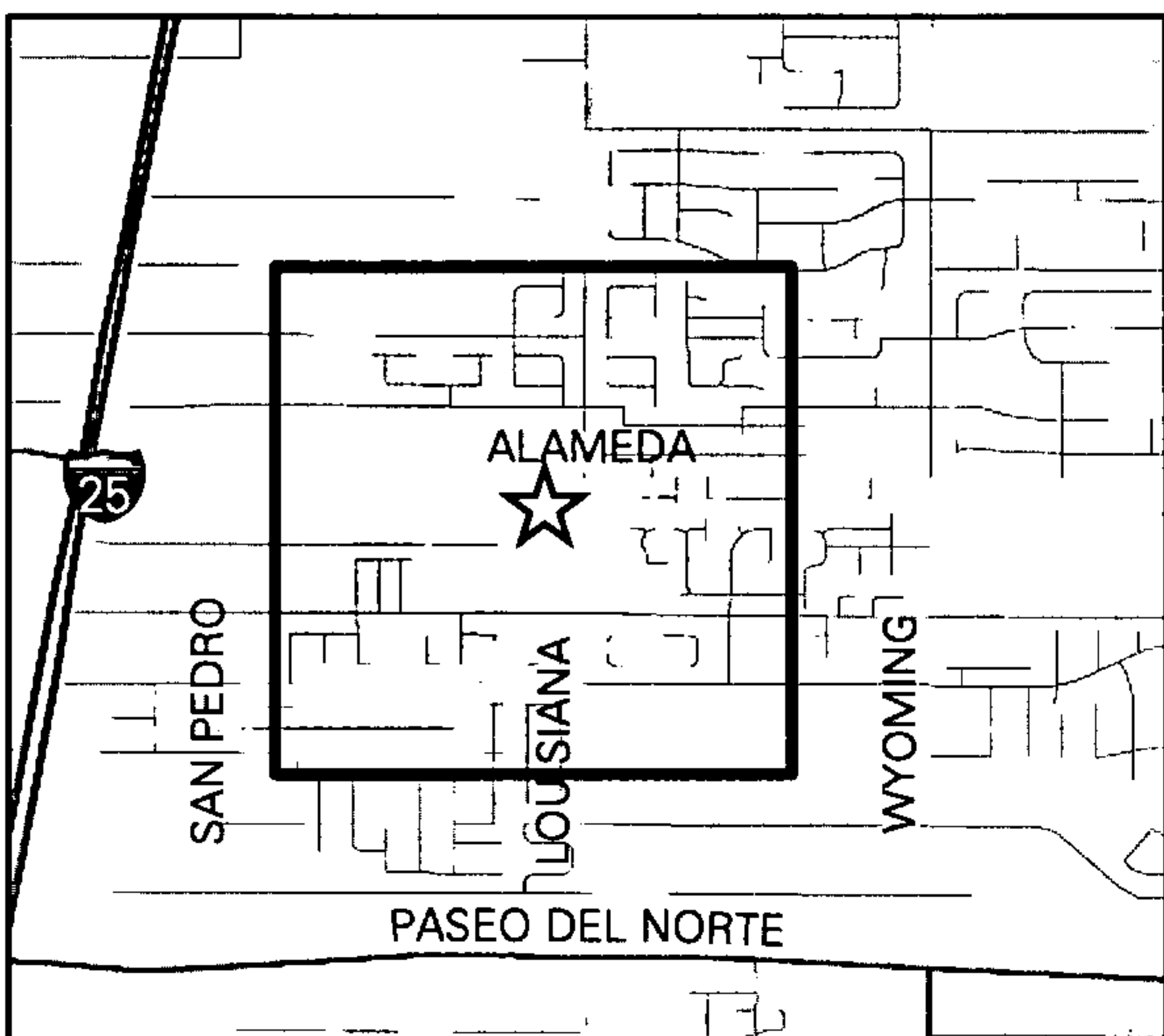
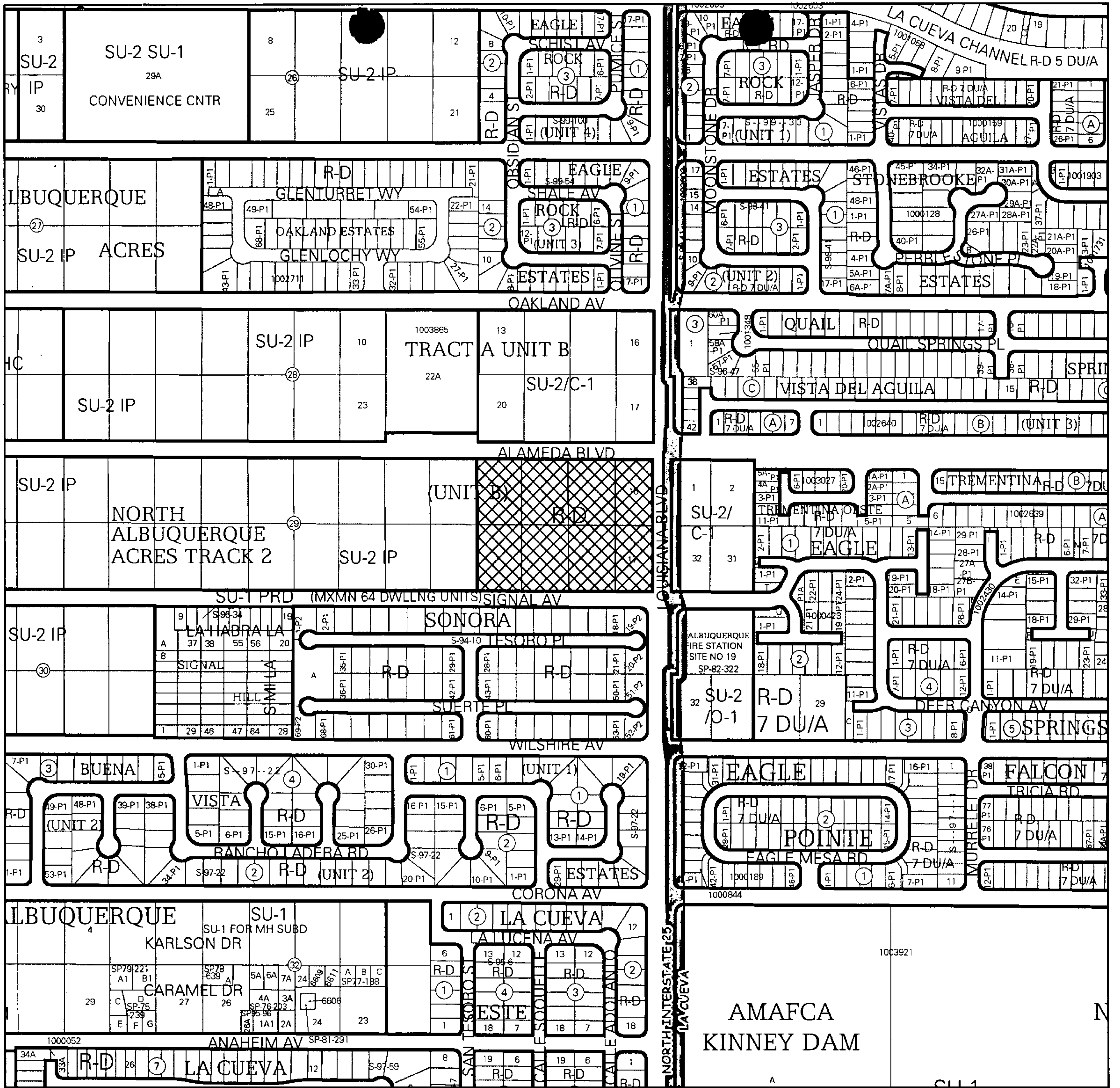
Impact Fees are not applicable at this time of platting. Impact Fees are not applicable at this time of platting. However, Impact Fees will be required at the time a permit is issued for each home built in this subdivision. Using an average of 2000sf of heated area for each house and .05 acre of impervious area for each lot, the estimated impact fees for each home are as follows:

1. Public Safety Facilities for the Eastside: \$552.00
2. Parks, Trails, Open Space for North Albuquerque: \$3,100.00
3. Roadway Facilities for the Far NE Heights: \$1,585.00
4. Drainage Facilities for the Far NE: \$510.40

Impact Fees are to be paid at the time of issuance of building permits; however, the total Impact Fees may be paid at a rate of 67% if permits are obtained by December 29, 2006.

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

Cc:Adil Rizvi, 2340 Menaul Blvd NE, Suite 200, 87107



# ZONING MAP

Note: Grey shading indicates County.



1 inch equals 500 feet

Project Number:  
1005191

Hearing Date:  
11/1/2006

Zone Map Page:  
R-16

Additional Case Numbers:  
06DRB-01454 06DRB-01455  
06DRB-01456 06DRB-01457



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing on the **3<sup>rd</sup> FLOOR in the PLANNING DEPARTMENT LARGE CONFERENCE ROOM, Plaza del Sol Building, 600 2nd St NW, on Wednesday, November 1, 2006, beginning at 9:00 a.m.** for the purpose of considering the following:

**Project # 1001562**

06DRB-01453 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES PA agent(s) for PULTE HOMES OF NEW MEXICO request(s) the above action(s) for **RESERVE @ FOUR HILLS**, zoned R-1 residential zone, located on WAGON TRAIN DR SE, between RATON AVE SE and RIO ARRIBA AVE SE containing approximately 17 acre(s). [REF: 06DRB-01408] (M-22)

**Project # 1004918**

06DRB-01449 Major-Vacation of Pub Right-of-Way

06DRB-01450 Major-Vacation of Public Easements

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for Tract(s) 4-A, 4-B & 4-C, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25, between BROADWAY BLVD SE and LOS PICAROS RD SE containing approximately 2, 294 acre(s). [REF: 06DRB-00744] (R-16)

**Project # 1004851**

06DRB-01452 Major-Preliminary Plat Approval

JEFF MORTENSEN & ASSOCIATES agent(s) for THE SAWMILL DEVELOPMENT COMPANY LLC request(s) the above action(s) for all or a portion of Tract(s) 2, LANDS OF MCCLAIN and Tract(s) A-3, LANDS OF AND WILLIAM ANDREW MCCORD (to be known as **ANTIGUA TRAVESIA**, zoned S-M1, located on ZEARING AVE NW, between RIO GRANDE BLVD NW and 19<sup>TH</sup> ST NW containing approximately 3 acre(s). [REF: 06DRB-00556, 06DRB-01095] (H-13)

**Project # 1005191**

06DRB-01454 Major-Preliminary Plat Approval

06DRB-01455 Major-Vacation of Pub Right-of-Way

06DRB-01456 Minor-Sidewalk Variance

06DRB-01457 Minor-Temp Defer SDWK

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 13-20, Tract(s) A, Block(s) 29, NORTH ALBUQUERQUE ACRES, UNIT B (to be known as **SEVANO PLACE SUBDIVISION**) zoned R-D, located on LOUISIANA NE, between ALAMEDA NE and SIGNAL NE containing approximately 7 acre(s). (C-18)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, OCTOBER 16, 2006.**

**CITY OF PLANNING  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Meeting Date:** November 1, 2006  
**Zone Atlas Page:** C-18-Z  
**Notification Radius:** 100 Ft.

**Project# 1005191**  
**App#06DRB-01454**  
06DRB-01455  
06DRB-01456  
06 DRB-01457

**Cross Reference and Location: ON OR NEAR LOUISIANA NE BETWEEN  
ALAMEDA NE AND SIGNAL NE**

**Applicant:** ADIL RIZVI  
2340 MENAUL BLVD NE, SUITE 200  
ALBUQUERQUE, NM 87107

**Agent:**

**Special Instructions:**

**Notice must be mailed from the  
City's 15 day's prior to the meeting.**

**Date Mailed:** OCTOBER 13, 2006  
**Signature:** ERIN TREMLIN





Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: ADIL RIZVI PHONE: 292-3202 and 315-6484  
 ADDRESS: 2340 Menaul Blvd, NE, Suite 200 FAX: 292-3904  
 CITY: Albuquerque STATE NM ZIP 87107 E-MAIL: adilr@thegroup.cc  
 Proprietary interest in site: Agent/Owner List all owners: \_\_\_\_\_  
 AGENT (if any): \_\_\_\_\_ PHONE: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_  
 CITY: \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_ E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: Preliminary Plat Approval, VAC of R/W, Subd Design Variance, Temp deferral of SW.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. lots 13, 14, 15, 16, 17, 18, 19 and 20 Block: 29 Unit: Tr A Unit B  
 Subdiv. / Addn. North Albuquerque Acres TRAC: SEVANO PLACE  
 Current Zoning: R-D Proposed zoning: R-D SUBDIVISION  
 Zone Atlas page(s): C-18 No. of existing lots: 8 No. of proposed lots: 43  
 Total area of site (acres): 6.84 Density if applicable: dwellings per gross acre: 5.30 dwellings per net acre: 6.28  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? Yes  
 UPC No. \_\_\_\_\_ MRGCD Map No. \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: Louisiana NE  
 Between: Alameda NE and Signal NE

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): \_\_\_\_\_

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: \_\_\_\_\_

SIGNATURE Adil Rizvi DATE \_\_\_\_\_  
 (Print) ADIL RIZVI  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #'s are assigned
- AGIS copy has been sent
- Case history #'s are listed
- Site is within 4000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

06DRB 01454  
06DRB 01455

06DRB 01456  
06DRB 01457

Hearing date 1-14-06

Action

PP  
VRW  
CMF  
ADU  
SW  
TDS

S.F.

5/2

Fees

\$ 1305.00  
 \$ 300.00  
 \$ 20.00  
 \$ 75.00  
 \$ 0  
 Total \$ 1700.00

Adil Rizvi  
 Planner signature / date

Project # 1005191

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
  - Proposed Infrastructure List
  - Design elevations & cross sections of perimeter walls 3 copies (11" x 17" maximum)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Property owner's and City Surveyor's signature on the proposed plat
  - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Signed Pre-Annexation Agreement if Annexation required.
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.  
DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)

MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)

MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
  - Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.  
DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT

(Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. \_\_\_\_\_
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. \_\_\_\_\_
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

ADIL RIZVI  
 \_\_\_\_\_ Applicant name (print)  
 \_\_\_\_\_ Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 06DRB - 01454

Form revised 11/04 and JUNE 05  
 \_\_\_\_\_ Planner signature / date  
 Project # 1005191

OR CURRENT RESIDENT  
101806449231010124  
ARVIZO EDWARD JR &  
6901 TESORO PL NE  
ALBUQUERQUE, NM 87113

OR CURRENT RESIDENT  
101806448631010123  
COX WILLIAM J & MARY T  
6815 TESORO PL NE  
ALBUQUERQUE, NM 87113

OR CURRENT RESIDENT  
101806451131010136  
GOLDSMITH BARBARA J & WALLIS V  
6915 TESORO PL NE  
ALBUQUERQUE, NM 87113 1969

OR CURRENT RESIDENT  
101806445233010212  
MAST VENTURE  
508 PARAGON SE  
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT  
101806451735410217  
NEW CONCEPTS INC  
508 PARAGON SE  
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT  
101806447931010122  
SZALCZINGER JOSEPH JR &  
6809 TESORO PL NE  
ALBUQUERQUE, NM 87113

OR CURRENT RESIDENT  
101806447331010121  
YIMIN XU & YONG CAI  
9308 HUNTINGTON CIR  
JOHNSTON, IA 50131

Project# 1005191  
JOE YARDUMIAN  
Nor Este N.A.  
7801 R.C. GORMAN AVE NE  
87122

Project# 1005191  
GOLDIALU G. STONE  
The Quail Springs N.A.  
7116 QUAIL SPRINGS PL NE  
ALBUQUERQUE, NM 87113

Project# 1005191  
HADEN M. BOWLING  
North Domingo Baca N.A.  
8523 MURRELET NE  
ALBUQUERQUE, NM 87113

OR CURRENT RESIDENT  
101806445331010118  
BANKERS TRUST COMPANY  
CALIFORN  
155 VAN GORDON ST  
DENVER, CO 80225

OR CURRENT RESIDENT  
101806449931010134  
DEAGUERO JAMES G & IMMELDA R  
6905 TESORO PL NE  
ALBUQUERQUE, NM 87113

OR CURRENT RESIDENT  
101806446631010120  
HARRIS PHILLIP  
6801 TESORO PL NE  
ALBUQUERQUE, NM 87113

OR CURRENT RESIDENT  
101806450238310315  
MELLOYFARMINGTON LLC  
444 GALISTEO ST E  
SANTA FE, NM 87501

OR CURRENT RESIDENT  
101806450531010135  
ROMERO KARL RICHARD &  
6909 TESORO PL NE  
ALBUQUERQUE, NM 87113 1969

OR CURRENT RESIDENT  
101906401033321801  
VAGH FIROZ S & JABEEN CO-TRUST  
10110 RANCHITOS RD NE  
ALBUQUERQUE, NM 87122

Project# 1005191  
ADIL RIZUI  
2340 MENAUL BLVD NE SUITE 200  
ALBUQUERQUE, NM 87107

Project 1005191  
THOMAS ALFIERI  
West La Cueva N.A.  
8220 VILLE CT. NE  
ALBUQUERQUE, NM 87113

Project# 1005191  
DR. BETTY J. FISHER  
The Quail Springs N.A.  
7311 QUAIL SPRINGS PL NE  
ALBUQUERQUE, NM 87113

Project# 1005191  
VALERIE SHUPE  
Sonora HOA  
6608 TESORO NE  
ALBUQUERQUE, NM 87113

OR CURRENT RESIDENT  
101906401035620232  
BOYHAHN LLC  
4402 CANYON CT NE  
ALBUQUERQUE, NM 87111

OR CURRENT RESIDENT  
101806448538310314  
GANGA CHOUDARY & LAKSHMI  
TRUST  
10156 MASTERS DR NE  
ALBUQUERQUE, NM 87111

OR CURRENT RESIDENT  
101806451931010137  
LORENZ THOMAS J & MINNIE M  
6919 TESORO PL NE  
ALBUQUERQUE, NM 87113 1969

OR CURRENT RESIDENT  
101806446031010119  
MYERS JAMES A & NANCY K  
6719 TESORO PL NE  
ALBUQUERQUE, NM 87113 6013

OR CURRENT RESIDENT  
101806445238310312  
SKYBLUE INVESTMENTS LLC  
7049 LUELLA ANNE DR NE  
ALBUQUERQUE, NM 87109

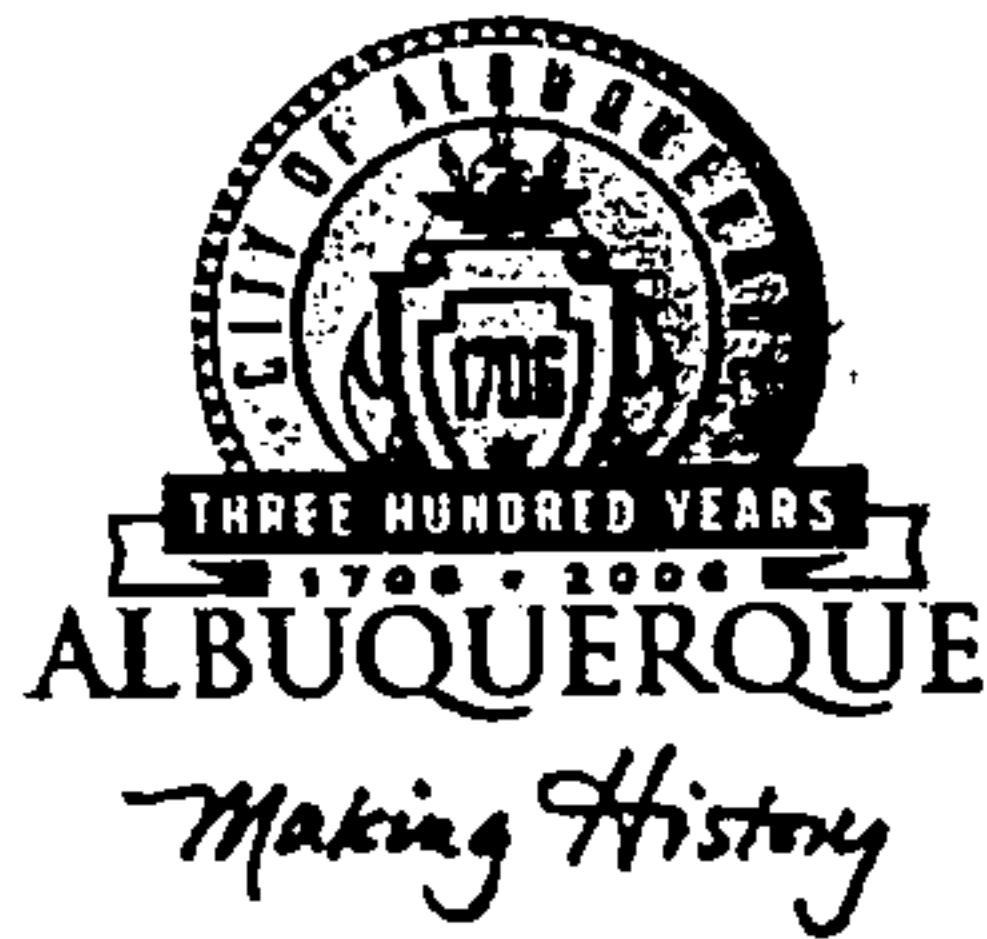
OR CURRENT RESIDENT  
101806446938310313  
VENKATESH SRINIVASAN & MEENA  
3546 LONG BEACH DR  
AUGUSTA, GA 30907

Project# 105191  
LEILANI MCGRANAHAN  
Nor Este N.A.  
7600 RIO GUADALUPE NE  
ALBUQUERQUE, NM 87122

Project# 1005191  
STEPHANIE O'CONNELL  
West La Cueva N.A.  
8211 SAN GAVALON NE  
ALBUQUERQUE, NM 87113

Project# 1005191  
JUDIE PELLEGRINO  
North Domingo Baca N.A.  
8515 MURRELET NE  
ALBUQUERQUE, NM 87113

Project# 1005191  
KAREN ASPELEN  
Sonora HOA  
6801 SUERTE NE  
ALBUQUERQUE, NM 87113



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: October 6, 2006

TO CONTACT NAME: Shakeel Rizvi  
COMPANY/AGENCY: \_\_\_\_\_  
ADDRESS/ZIP: 8504 Waterford PL NE  
PHONE/FAX #: 315-6563 - Fax - 292-3904

Thank you for your inquiry of 10-6-06 (date) requesting the names of **Recognized Neighborhood Associations** who would be affected under the provisions of O-92 by your proposed project at Lots 13 Thru 20, Block 29, Tract A, Unit 13 NAA located on Alameda + Louisiana Between Alameda + Signal zone map page(s) C-18.

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Nor Este N.A.  
Neighborhood Association  
Contacts: Leilani Mc Granahan  
7600 Rio Guadalupe NE/87122  
293-5209(h)  
Joe Yardumian  
7301 R.C. Gorman Ave. NE  
87122-2748- 797-1851-(h)

West LA Cueva N.A.  
Neighborhood Association  
Contacts: Thomas Alfieri  
8220 Vile Ct. NE/87113  
823-1564(h) 828-5488(w)  
Stephanie O'Connell  
8211 San Gavalon NE/87113  
315-7233(h)

**See reverse side for additional Neighborhood Association information: YES  NO { }**

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,  
Stephanie O'Connell  
OFFICE OF NEIGHBORHOOD COORDINATION

.....  
Attention: Both contacts per neighborhood association need to be notified.  
.....

**FORM V: SUBDIVISION VARIANCES & VACATIONS**

**BULK LAND VARIANCE (PUBLIC HEARING CASE)**

- \_\_\_ Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
  - \_\_\_ Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
  - \_\_\_ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

**VACATION OF PUBLIC RIGHT-OF-WAY**

**VACATION OF PUBLIC EASEMENT**

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**.  
(Not required for dedicated and City owned public right-of-way.)
  - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **24 copies**
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

**SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DPM)**

**SIDEWALK DESIGN VARIANCE**

**SIDEWALK WAIVER**

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the variance or waiver
  - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

**TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

**EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the deferral or extension
  - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

**VACATION OF PRIVATE EASEMENT**

- \_\_\_ The complete document which created the private easement (not to exceed 8.5" by 14") **6 copies**
- \_\_\_ Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- \_\_\_ Letter briefly describing, explaining, and justifying the vacation
- \_\_\_ Letter of authorization from the grantors and the beneficiaries
- \_\_\_ Fee (see schedule)
- \_\_\_ Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

**VACATION OF RECORDED PLAT**

- \_\_\_ 6 copies of the recorded plat to be vacated.
  - \_\_\_ 6 copies of documents justifying the vacation.
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter describing, explaining, and justifying the vacation
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

ADIL RIZVI  
Applicant name (print)  
Adil  
Applicant signature / date



Form revised 4/03, 10/03 and APRIL 2006

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
01455

10/6/06  
Planner signature / date  
Project # 2005191

Additional Neighborhood Association Information

The Quail Springs NA.  
Neighborhood Association

Contacts: Goldialu G. Stone  
7116 Quail Springs PL NE  
87113-797-5597(h)

Dr. Betty S. Fisher  
7311 Quail Springs PL NE  
87113  
797-4852(h)

Neighborhood Association

Contacts: \_\_\_\_\_

North Domingo Baca NA.  
Neighborhood Association

Contacts: Judie Pellegrino  
8515 Murrelet NE/87113  
839-3000 ext. 13720 (w)

Haden M. Bowling  
8523 Murrelet NE/87113  
821-4927(h)

Neighborhood Association

Contacts: \_\_\_\_\_

**ALTHOUGH YOU ARE NOT "OFFICIALLY REQUIRED" BY O-92,**  
you are most welcomed to notify the following "Unrecognized"  
neighborhood associations of this project.

Sonoma HOA

Neighborhood Association

Contacts: Valerie Shupe  
6608 Tesoro NE/87113  
220-5254(c)

Karen Aspelin  
6801 Suerte NE/87113  
856-9289 (w) 350-6972(c)

Neighborhood Association

Contacts: \_\_\_\_\_

Neighborhood Association

Contacts: \_\_\_\_\_

Neighborhood Association

Contacts: \_\_\_\_\_

# NOTICE TO APPLICANTS

**Suggested Information for Neighborhood Notification Letters...** Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, LUCC, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

**We recommend that the Notification Letter include the following information:**

- The street address of the subject property.
- The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
- A physical description of the location, referenced to streets and existing land uses.
- A complete description of the actions requested of the EPC:
- If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
- If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
- If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
- The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

## Information from the Office of Neighborhood Coordination (ONC)


The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

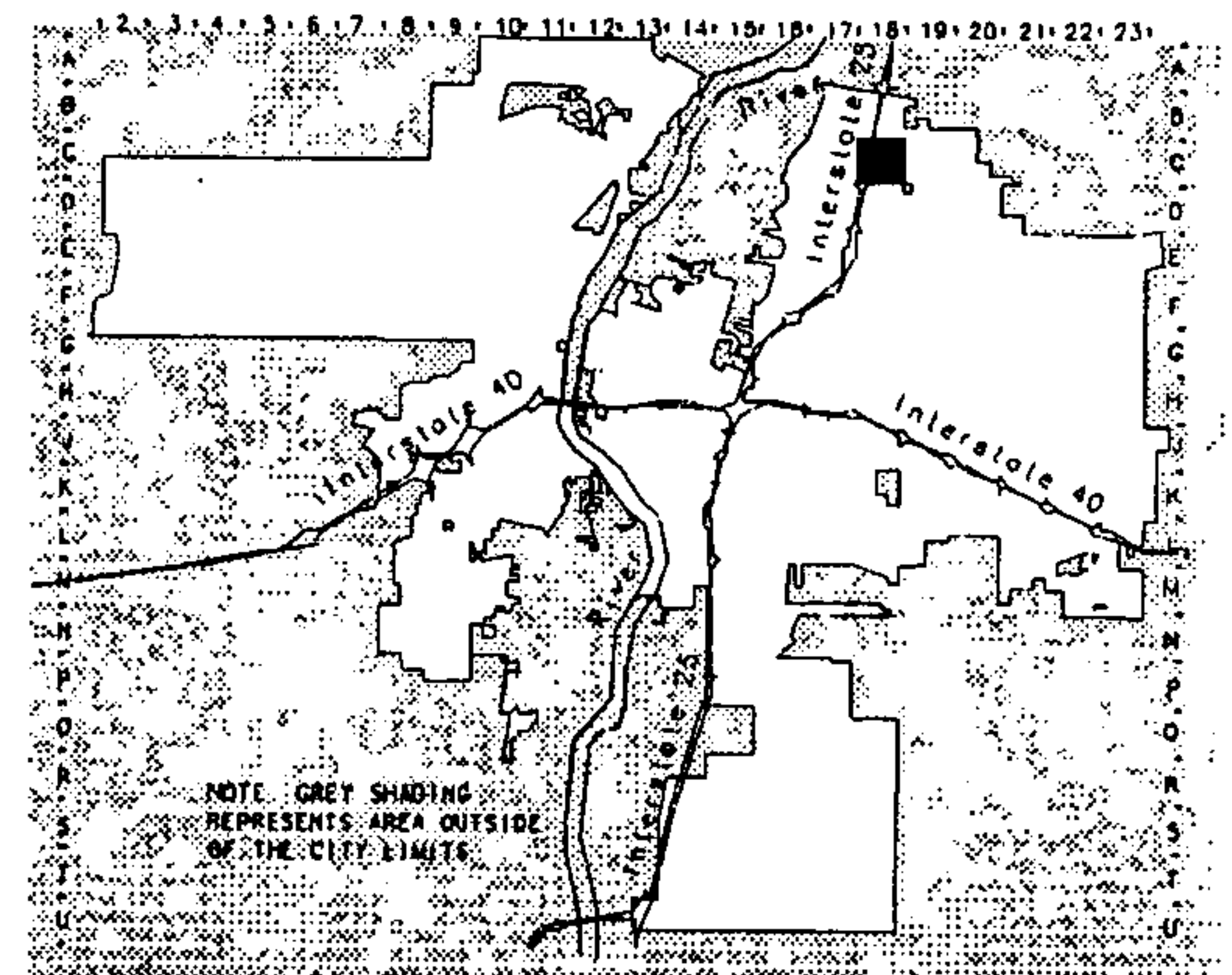
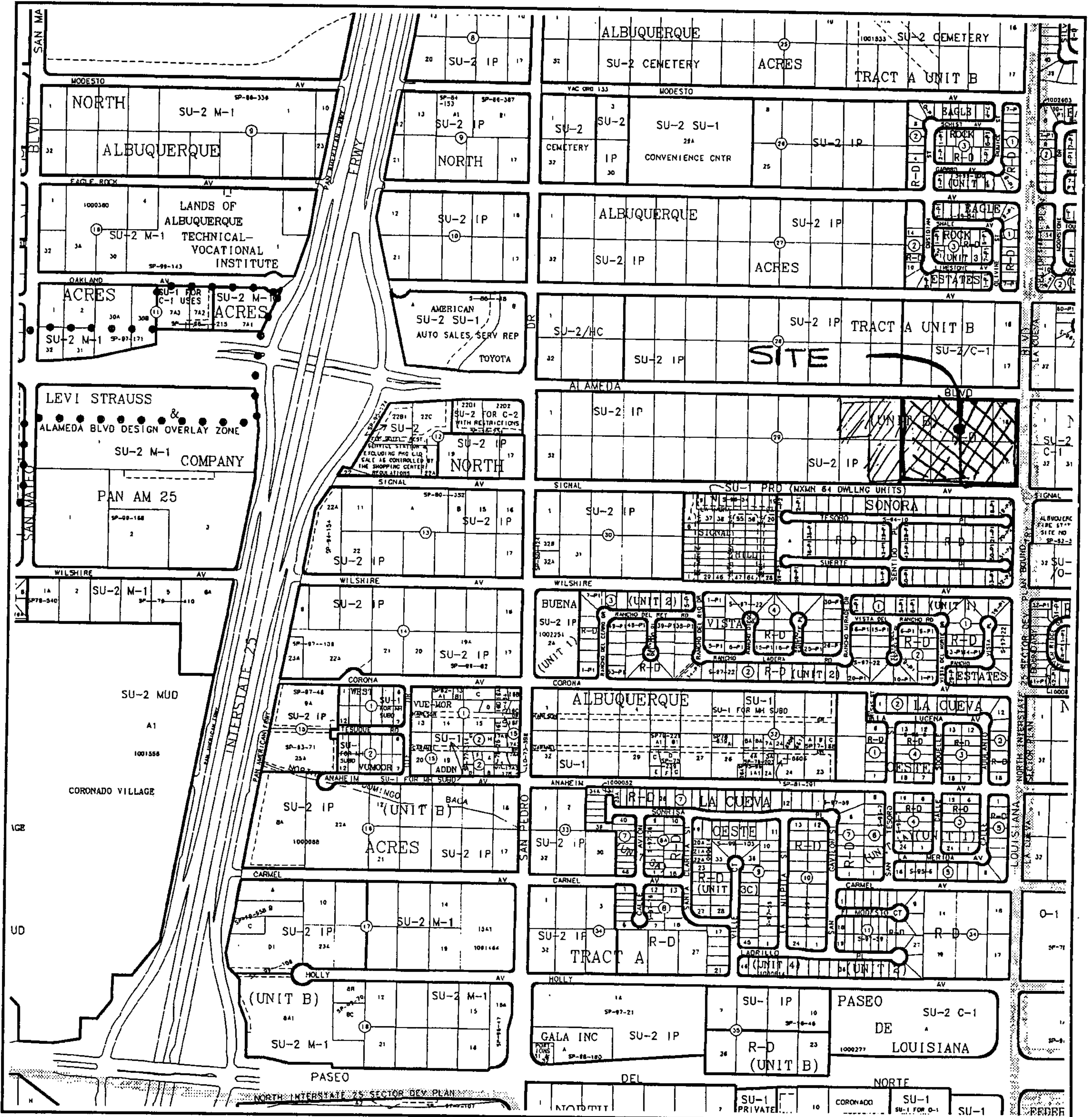
- [ ] ONC's "Official" Letter to the applicant and "Attachment A" (if there are associations). A copy must be submitted with application packet **-OR-**
- [ ] The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- [ ] Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.
- [ ] Copies of the certified receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

\*\*\*\*\*

(Below this line for ONC use only)

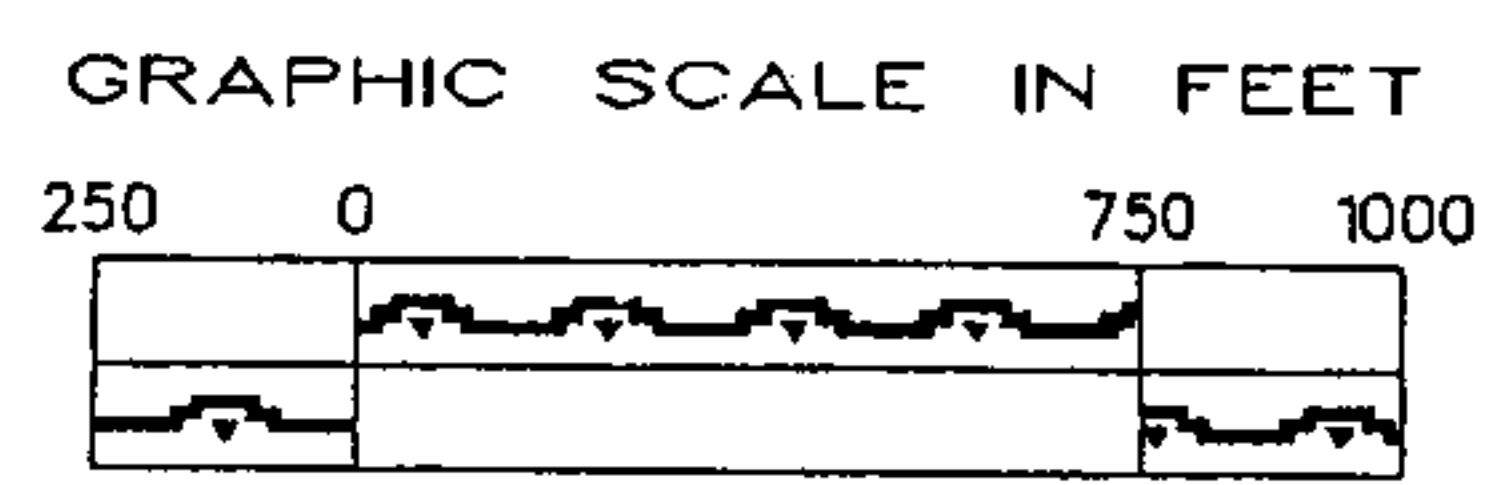
Date of Inquiry: 10-6-06 Time Entered: 11:13 am ONC Rep. Initials: 



CITY OF  
Albuquerque

**A**buquerque **G**eographic **I**nformation **S**ystem  
**PLANNING DEPARTMENT**

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# Zone Atlas Page

# C-18-Z

Map Amended through July 31, 2003



Preliminary N.A.


\* The Quail Springs N/A  
Goldialu G. Stoned  
1116 Quail Springs PL NE / 87113  
797-5597(h)  
Dr Betty J Fisher  
1311 Quail Springs PL NE / 87113  
797-4852(h)

\* North Domingo BACA N/A.  
Judie Pellegrino  
8515 Murrelet NE / 87113  
839-3000 ext 13720 (w)  
Jaden M. Bowling  
8523 Murrelet NE / 87113  
821-4927(h)

Preliminary N.A.

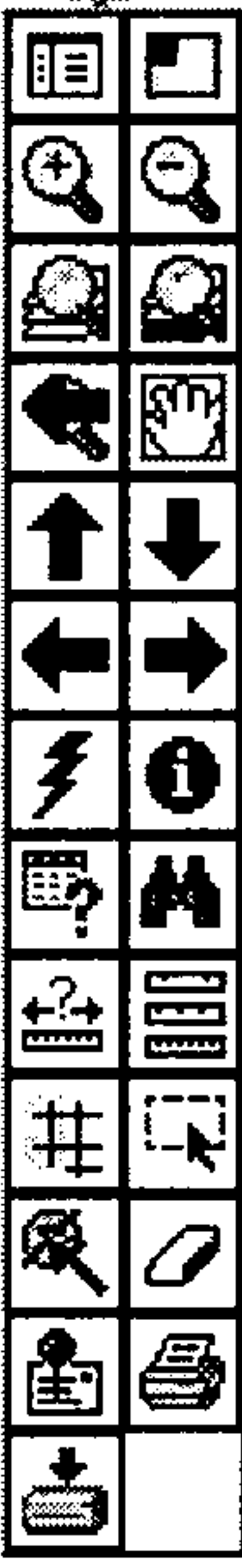
\* Nor Este N.A.  
Heilani McGranahan  
7600 Rio Guadalupe  
NE / 87122-  
293-5209(h)  
Joe YARDUMIAN ●  
7801 R.C. Gorman Ave. NE/8  
797-1851(h)

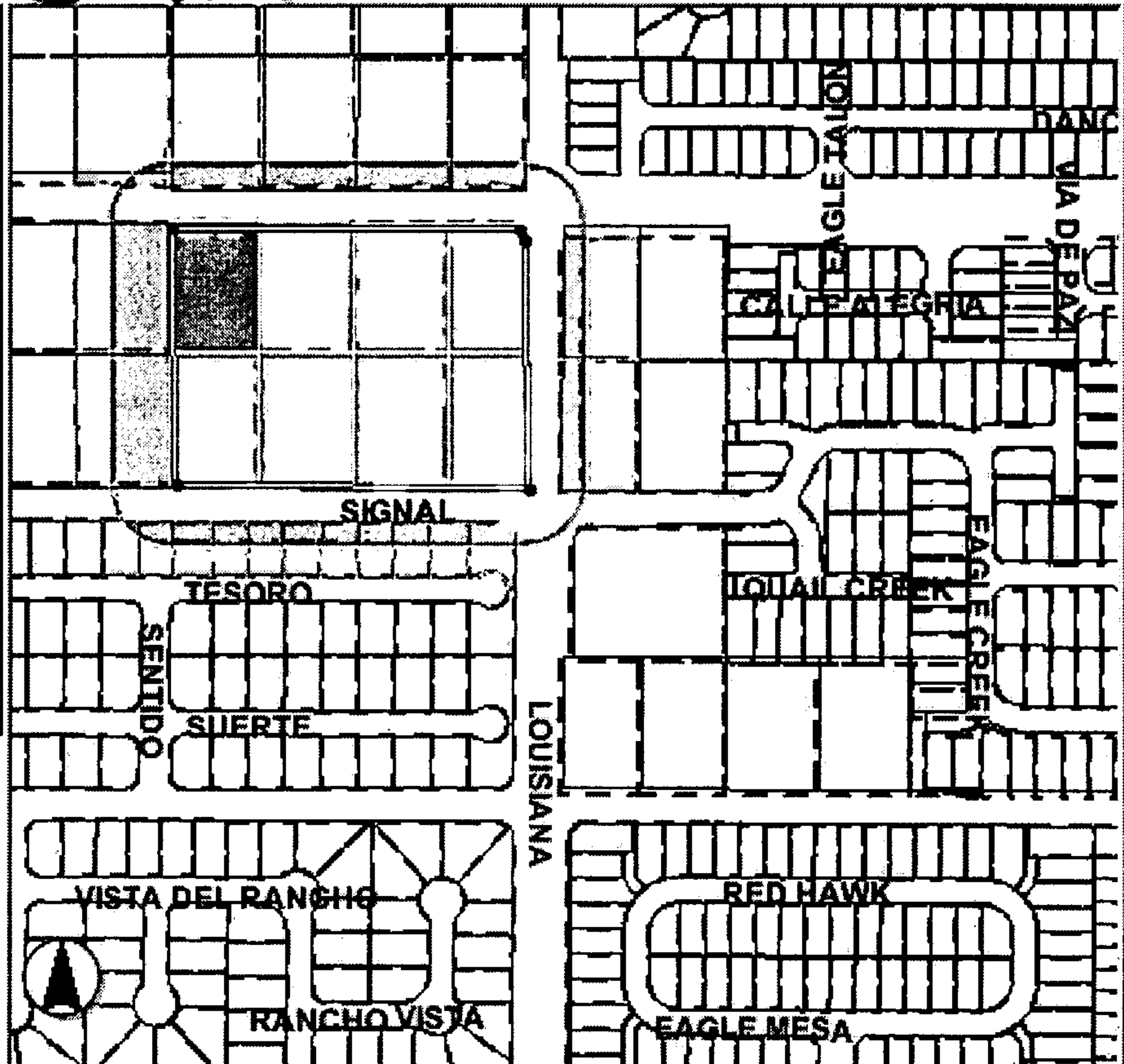
\* West LA CUEVA N.A.  
Thomas Alfieri  
8220 Ville Ct. NE / 87113  
823-1564(h) 828-5488(w)  
Stephanie O'Connell  
8211 San Gayalon NE / 871  
315-7233(h)



**CITY OF ALBUQUERQUE**  
www.cabq.gov

# ALBUQUERQUE GIS DATA WEBSITE





**LAYERS**

- STREETS
- BASEMAP
- PARCELS
- LOT NUMBERS
- METRO ADDRESS
- ZONING
- OWNERSHIP
- 2FT CONTOUR
- ADDRESS POINTS
- LANDUSE
- INFRASTRUCTURE
- TRANSIT/SUNTRAN
- BOUNDARIES
- SITES
- ENVIRONMENT
- APS
- TRAFFIC ENG.
- AIR PHOTO
  - 2004 AIR PHOTO
  - 2002 AIR PHOTO
  - 1999 AIR PHOTO

Refresh Map

Auto Refresh

Help:

- Closed group, click to open.
- Open group, click to close.
- Map layer.
- Hidden group/layer, click for visible.
- Visible group/layer, click to hide.
- Layer not visible at this scale.
- Partially visible group, click for visible.
- Inactive layer, click for active.
- The active layer.

**OWNERSHIP**

Rec	UPC CODE	OWNER	OWNER ADDRESS
1	101806445233010212	MAST VENTURE	508 PARAGON S.
2	101806451931010137	LORENZ THOMAS J & MINNIE M	6919 TESORO PL

Pan
SEARCH CONTACT
REFRESH
HELP
INDEX PAGE



**NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD**

October 20, 2006

**TO: See Attached Distribution List of "Recognized" Neighborhood Association(s):**

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: **Requests the following for approximately seven (7) acre(s) - Major Preliminary Plat Approval; Major Vacation of Public Right-of-Way; Minor Sidewalk Variance and Minor Temporary Deferral of Sidewalks for a proposed forty-three (43) lots for the proposed Sevano Place Subdivision.**

*Proposed by:* Adil Rizvi at (505) 292-3202 or (505) 315-6484

*Agent for:* Adil Rizvi

P.O. Box 1293

*For property located:* On or near Louisiana Boulevard NE between Alameda Boulevard NE and Signal Avenue NE.

Albuquerque

*The case number(s) assigned is:* 06DRB- 01454, 01455, 01456, 01457, Project # 1005191.

New Mexico 87103

City Planning accepted application for this request on October 6, 2006.

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

www.cabq.gov

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on **Wednesday, November 1, 2006** in the **Third Floor in the Planning Department, Large Conference Room, Plaza Del Sol Building, 600 Second St. NW.** **(Note - Change of Location for Hearing)**

You should contact **Claire Senova** at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call **Stephani Winklepleck** at 924-3902 or by e-mail at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Sincerely,

***Stephani J. Winklepleck***

*Stephani I. Winklepleck*

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB  
Administrative Assistant**

**DISTRIBUTION LIST:**

Leilani McGranahan and Joe Yardumian, Nor Este Neighborhood Association  
Judie Pellegrino and Haden M. Bowling, North Domingo Baca Neighborhood Association  
Goldiaiu G. Stone and Dr. Betty J. Fisher, The Quail Springs Neighborhood Association  
Thomas Alfieri and Stephanie O'Connell, West La Cueva Neighborhood Association



**"COURTESY" DRB NOTIFICATION LETTER**

October 20, 2006

**TO:** Valeria Shupe and Karen Aspelin, Sonora Homeowners Association

This letter is a **"COURTESY NOTIFICATION"** from the City of Albuquerque pertaining to a request for: **Requests the following for approximately seven (7) acre(s) - Major Preliminary Plat Approval; Major Vacation of Public Right-of-Way; Minor Sidewalk Variance and Minor Temporary Deferral of Sidewalks for a proposed forty-three (43) lots for the proposed Sevano Place Subdivision.**

*Proposed by:* Adil Rizvi at (505) 292-3202 or (505) 315-6484  
*Agent for:* Adil Rizvi

P.O. Box 1293

*For property located:* On or near Louisiana Boulevard NE between Alameda Boulevard NE and Signal Avenue NE.

Albuquerque

*The case number(s) assigned is:* 06DRB- 01454, 01455, 01456, 01457, Project # 1005191.

New Mexico 87103

City Planning accepted application for this request on **October 6, 2006.**

The owner, applicant, and/or agent **WAS NOT** required notifying you of the proposed action by *certified mail, return receipt requested.*

www.cabq.gov

Please be advised that this application is scheduled for a hearing before the Development Review Board at **9 a.m. on Wednesday, November 1, 2006** at the **Third Floor in the Planning Department, Large Conference Room, Plaza Del Sol Building, 600 Second St. NW.** **(Note - Change of Location for Hearing)**

You should contact Claire Senova at **924-3946** to confirm this date, time, and to seek further information.

If you have any questions, please call Stephani Winklepleck at **924-3902** or by e-mail at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov)

Sincerely,

*Stephani J. Winklepleck*

Neighborhood Program Coordinator  
OFFICE OF NEIGHBORHOOD COORDINATION  
PLANNING DEPARTMENT

cc: Claire Senova, DRB  
Administrative Assistant

Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

Date Submitted: \_\_\_\_\_  
Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No.: \_\_\_\_\_  
DRB Application No.: \_\_\_\_\_

**INFRASTRUCTURE LIST**

(Rev. 9-05)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Sevano Place Subdivision**

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

**Lots 13 - 20 Block 29 Tract A Unit B of North Albuquerque Acres**

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		27' FF	<b>Private Paving</b> Res. Pvmnt. w/ 4' Sidewalk ** w/ Mountable C & G	Sevano Circle	Entrance	Entire Circle	/	/	/
		46' FF	Res. Pvmnt. w/ 4' Sidewalk Mountable C & G and Median	Entrance	Signal	Sevano Circle	/	/	/
		24"	<b>Storm Drain</b> Storm Drain W/ Type C Inlet	West Sevano Circle	West Sevano	Alameda	/	/	/
		12'	<b>Public Paving</b> Art. Pvmnt.W/ 6' Sidewalk C & G	Alameda Blvd.	West P/L	~400' east	/	/	/
		6'	Sidewalk C & G	Signal Ave.	West P/L	Louisiana Blvd.	/	/	/
		Taper	Art. Pvmnt.W/ Asphalt Curb	Alameda Blvd.	Lot 12	West P/L	/	/	/
		24"	<b>Storm Drain</b> Storm Drain W/ Type C Inlet	West Sevano Circle	West Sevano	Alameda Blvd.	/	/	/
		24"	Storm Drain W/ Type C Inlet	Alameda Blvd.	West Sevano	Alameda Blvd.	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	24"	Storm Drain & Manhole W/ Type C Inlet	Sginal Ave.	North Curb	Connection.	/	/	/







DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1005191

TO: Application No. \_\_\_\_\_

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

Allan Porter, P.E., Albuquerque/ Bernalillo Co. WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: 8-6-14

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Preliminary Plat, Site Plan,  
Infrastructure List, Sidewalk Exhibit, Design  
Variance and letter

CONTACT NAME: Ron Hensley

TELEPHONE: 410-1622 EMAIL: ron @ thegroup.cc



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): THE Group PHONE: 505-514-0995  
 ADDRESS: 300 Branding Iron Rd. SE FAX: \_\_\_\_\_  
 CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: ron@thegroup.cc

APPLICANT: Sevano Development LLC PHONE: 505-315-6484  
 ADDRESS: 7515 Treviso N.E. FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: \_\_\_\_\_

Proprietary interest in site: Owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Temporary sidewalk deferral.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 13-20 Block: 29 Unit: B Tract A  
 Subdiv/Addn/TBKA: North Albuquerque Acres  
 Existing Zoning: RD Proposed zoning: RD MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): C-18 UPC Code: \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): \_\_\_\_\_

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 8 No. of proposed lots: 41 Total site area (acres): 6.84  
 LOCATION OF PROPERTY BY STREETS: On or Near: Louisiana Blvd. N.E.  
 Between: Alameda Blvd. and Signal Ave.

Check if project was previously reviewed by Sketch Plat/Plan  or Pre-application Review Team(PRT) . Review Date: \_\_\_\_\_

SIGNATURE Ron E. Hensley DATE 7/29/14

(Print Name) Ron E. Hensley Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

**INTERNAL ROUTING**

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

14-DRB-70278

Action

SDV  
CMF

S.F.

\_\_\_\_\_

Fees

\$ 0  
\$ 20.00

\$ \_\_\_\_\_

\$ \_\_\_\_\_

\$ \_\_\_\_\_

Total

\$ 20.00

Hearing date August 6, 2014

8-1-14

Project #

1005191

Staff signature & Date

**FORM V: SUBDIVISION VARIANCES & VACATIONS**

- BULK LAND VARIANCE (DRB04)** **(PUBLIC HEARING CASE)**
  - Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
  - Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
  - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
  - The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**  
(Not required for City owned public right-of-way.)
  - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- SIDEWALK VARIANCE (DRB20)**
- SIDEWALK WAIVER (DRB21)**
  - Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the variance or waiver
  - List any original and/or related file numbers on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
  - Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") ~~24 copies~~ **6**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the variance
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application

**DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
  - Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the deferral or extension
  - List any original and/or related file numbers on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)**
  - The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
  - Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
  - Letter of authorization from the grantors and the beneficiaries (private easement only)
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

THE Group  
Applicant name (print)

\_\_\_\_\_  
Applicant signature / date



- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
14 - DRB - 70278

Form revised 4/07

[Signature] 8-1-14  
Planner signature / date

Project # 1005191



# The HENSLEY ENGINEERING GROUP

44-11-11

August 1, 2014

Mr. Jack Cloud  
DRB Chair  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

Re: Sevano Place Subdivision –Vacation of Public Easement and Design Variance  
DRB# 1005191

As previously submitted, with the Site Plan for Sevano Place and shown on the exhibit, the applicant is requesting a vacation of a portion of the public easement of Signal Ave. It is the position of the applicant that this request is consistent with the precedent actions and dedications in the area. The existing street section is 36' F-F with 8' from face to ROW on the south side. As shown on the attached exhibit, the development to the south dedicated 26' of ROW for Signal Ave. Maintaining a symmetrical section would lead to a total ROW width of 52'.

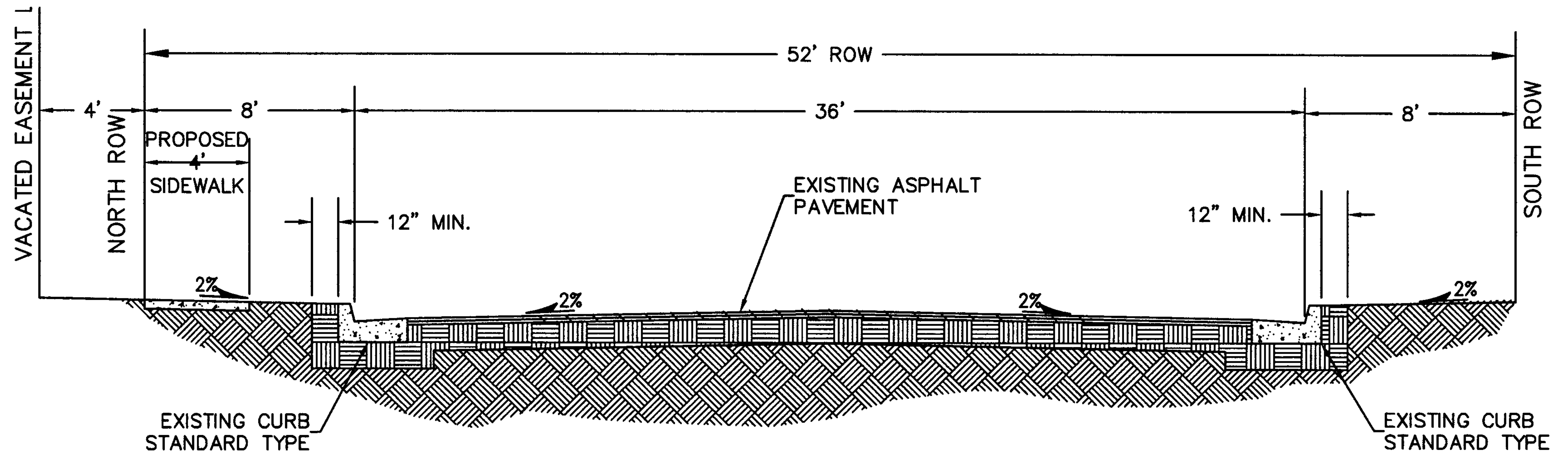
When Signal Ave. was constructed, the limited number of east/west roadways in the area may have led to higher traffic volumes, but the adjacent development from San Pedro to Louisiana and the construction of Alameda Blvd. has changed the functionality of the road. The AWDT is significantly below the threshold of 1000 vehicles/day. The limited traffic can also be attributed to the facts of: the majority of the frontage to the south does not access the roadway; the existing and proposed developments to the north generate limited traffic and access points. Although historic traffic counts are not available for Signal Ave., traffic volumes in the vicinity on higher traffic volume streets of Corona Ave. and Anaheim Ave. from MRCOG are 805 and 397 vehicles/day.

The appropriate road designation for Signal Ave. is Normal Local with a ROW width of 51'. The street will not exceed AWDT of 1000 and the limited access of the adjacent developments, justify the designation. The design variance to accommodate the existing 36' F-F roadway width with 8' between edge and sidewalk within the proposed ROW is appropriate. The applicant believes that the above reasons justify this request.

Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

Ron E. Hensley P.E.



**EXISTING SIGNAL AVENUE STREET SECTION**

NTS

**DESIGN VARIANCE EXHIBIT**

**DRB #1005191**

THE Group

300 Branding Iron Rd. SE  
Rio Rancho, New Mexico 87124

Phone: (505) 514-0995



The HENSLEY ENGINEERING GROUP

July 24, 2014

Mr. Jack Cloud  
DRB Chair  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

Re: Sevano Place Subdivision –Vacation of Public Easement  
DRB# 1005191

As previously submitted, with the Site Plan for Sevano Place and shown on the exhibit, the applicant is requesting a vacation of a portion of the public easement of Signal Ave. It is the position of the applicant that this request is consistent with the precedent actions and dedications in the area. As shown on the attached survey, the development to the south dedicated 26' of ROW for Signal Ave. This would lead to a total ROW width of 52'. The appropriate road designation for Signal Ave. is Normal Local with a ROW width of 51'. The street will not exceed AWDT of 1000 and the limited access of the adjacent developments, justify the designation. The applicant believes that the above reasons justify this request.

Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

A handwritten signature in black ink, appearing to read "Ron E. Hensley".

Ron E. Hensley P.E.  
[ron@thegroup.cc](mailto:ron@thegroup.cc)

PROJECT #

1612001

AUGUST Co. 2014

SDV



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1005191

TO: Application No. \_\_\_\_\_

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

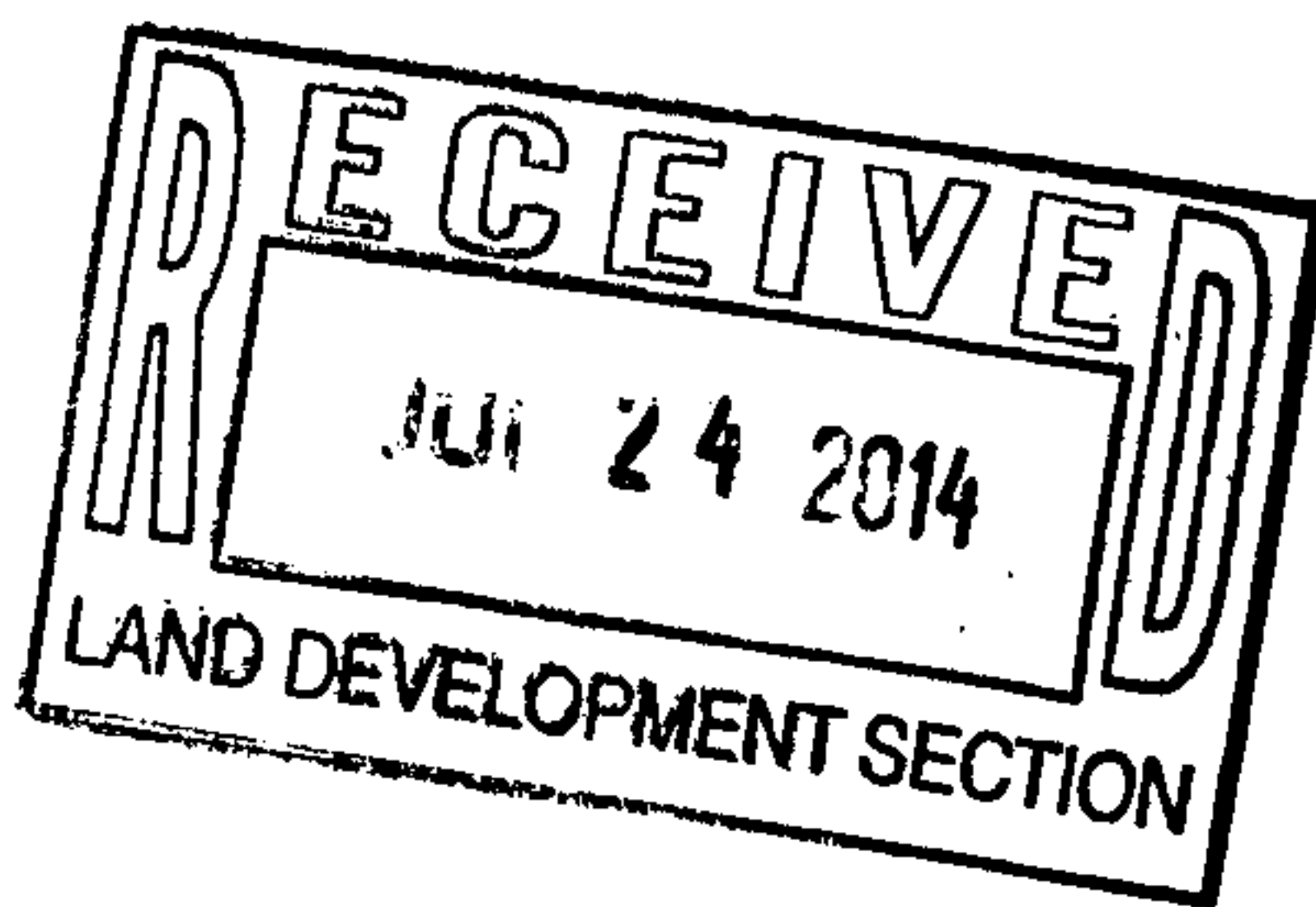
Allan Porter, P.E., Albuquerque/ Bernalillo Co. WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: 7/30/14

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Vacation Justification and survey



CONTACT NAME: Ron Hensley

TELEPHONE: 410 1622 EMAIL: ron @ thegroup .cc



# City of Albuquerque Planning Department

## DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

### DEVELOPMENT REVIEW BOARD

07/29/2014 Issued By: E08375 248113

Category Code **910**  
**2014 070 272**

**Application Number:** 14DRB-70272, Minor - Temp Defr Swdk Const

**Address:**

**Location Description:** LOUISIANA BETWEEN ALAMEDA AND SIGNAL

**Project Number:** 1005191

#### Applicant

ADIL RIZVI  
ADIL RIZVI  
7515 TREVISO NE  
ALBUQUERQUE NM 87113

adilr@thegroup.cc

#### Agent / Contact

ADIL RIZVI  
ADIL RIZVI  
7515 TREVISO NE  
ALBUQUERQUE NM 87113

ADILR@THEGROUP.CC

#### Application Fees

APN Fee

Conflict Mgmt Fee \$20.00

DRB Actions

**TOTAL: \$20.00**

City of Albuquerque Treasury  
Date: 7/29/2014 Office: ANNEX  
Stat ID: W5000008 Cashier: TRSOLF  
Batch: 3997 Trans #: 20  
Permit: 2014070272  
Receipt Num 00215041  
Payment Total: \$20.00  
0901 Conflict Mgmt Fee  
Cash Tendered: \$20.00



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): THE Group PHONE: 505-514-0995  
 ADDRESS: 300 Branding Iron Rd. SE FAX: \_\_\_\_\_  
 CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: ron@thegroup.cc

APPLICANT: Sevano Development LLC PHONE: 505-315-6484  
 ADDRESS: 7515 Treviso N.E. FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: \_\_\_\_\_

Proprietary interest in site: Owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Temporary sidewalk deferral.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 13-20 Block: 29 Unit: B Tract A  
 Subdiv/Addn/TBKA: North Albuquerque Acres  
 Existing Zoning: RD Proposed zoning: RD MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): C-18 UPC Code: \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): 1005191

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 8 No. of proposed lots: 41 Total site area (acres): 6.84  
 LOCATION OF PROPERTY BY STREETS: On or Near: Louisiana Blvd. N.E.  
 Between: Alameda Blvd. and Signal Ave.

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE Ron E. Hensley DATE 7/29/14  
 (Print Name) Ron E. Hensley Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

14DRB - 70272

Action

TDS  
CMF

S.F.

\_\_\_\_\_

Fees

\$ 0  
 \$ 20.00  
 \$ \_\_\_\_\_  
 \$ \_\_\_\_\_  
 \$ \_\_\_\_\_  
 Total  
 \$ 20.00

Hearing date 7-30-14

Ron 7-29-14  
 Staff signature & Date

Project # 1005191

**FORM V: SUBDIVISION VARIANCES & VACATIONS**

- BULK LAND VARIANCE (DRB04)** **(PUBLIC HEARING CASE)**  
**24 copies**
  - \_\_\_ Application for Minor Plat on FORM S-3, including those submittal requirements.
  - \_\_\_ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
  - \_\_\_ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
  - \_\_\_ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**  
(Not required for City owned public right-of-way.)
  - \_\_\_ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- SIDEWALK VARIANCE (DRB20)**
- SIDEWALK WAIVER (DRB21)** **6 copies**
  - \_\_\_ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14")
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the variance or waiver
  - \_\_\_ List any original and/or related file numbers on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
  - \_\_\_ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the variance
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

**DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
  - Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the deferral or extension
  - \_\_\_ List any original and/or related file numbers on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)**
  - \_\_\_ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
  - \_\_\_ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
  - \_\_\_ Letter of authorization from the grantors and the beneficiaries (private easement only)
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

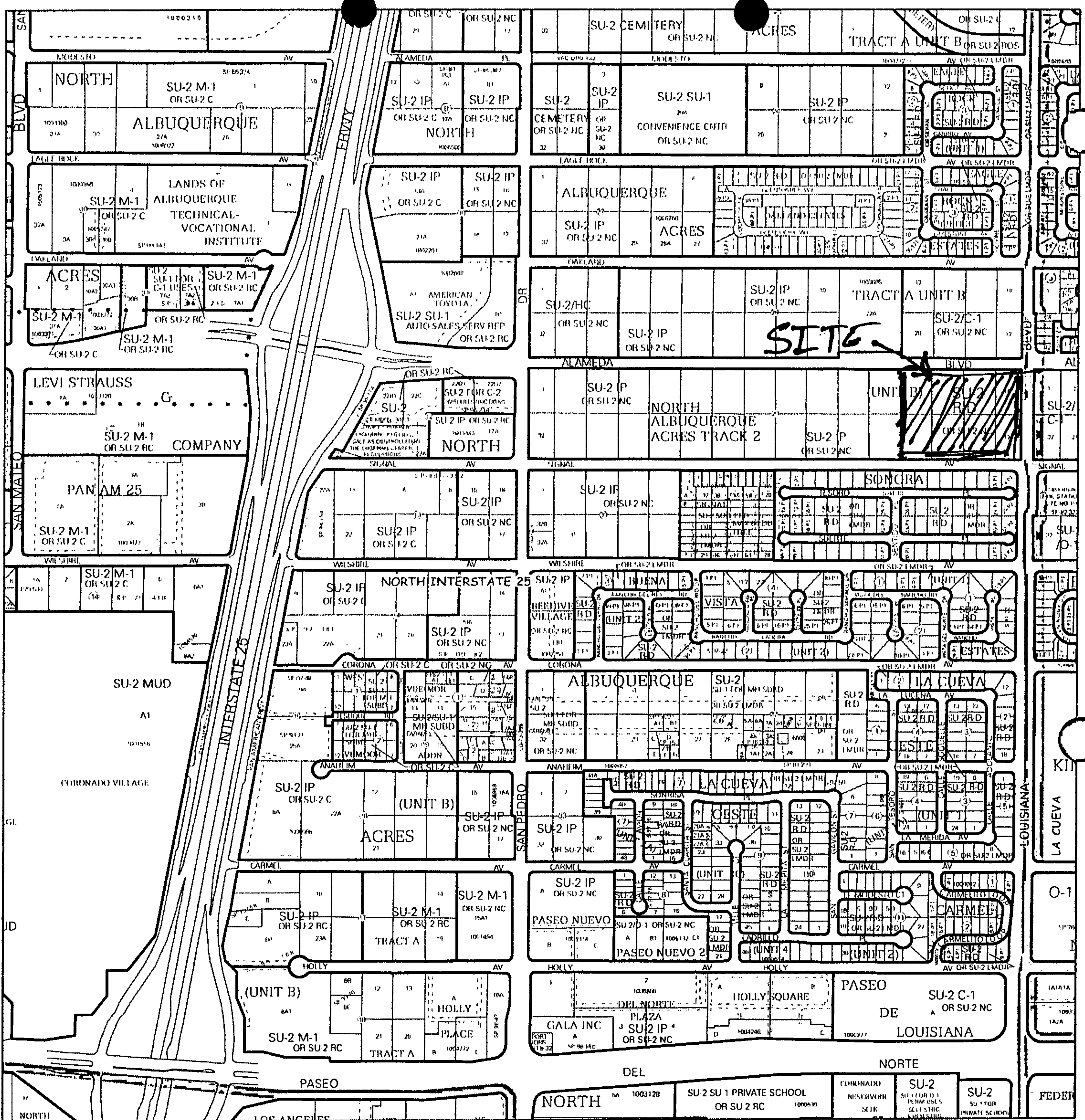
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JHS Group  
Applicant name (print)  
Rm. S. [Signature] 7-29-14  
Applicant signature / date



Form revised 4/07

<ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Checklists complete</li> <li><input checked="" type="checkbox"/> Fees collected</li> <li><input checked="" type="checkbox"/> Case #s assigned</li> <li><input checked="" type="checkbox"/> Related #s listed</li> </ul>	<p>Application case numbers</p> <p>14DRB- _____ - 70272</p> <p>_____ - _____ - _____</p> <p>_____ - _____ - _____</p>	<p style="text-align: center;"><u>[Signature]</u> 7-29-14 Planner signature / date</p> <p>Project # <u>1005191</u></p>
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For more current information and more details visit: <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Map amended through: 1/24/2011

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**C-18-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet



**The HENSLEY ENGINEERING GROUP**

July 24, 2014

Mr. Jack Cloud  
DRB Chair  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

Re: Sevano Place Subdivision – Deferred Sidewalk and Sidewalk Variance  
DRB# 1005191

Attached is Sidewalk Exhibit Sevano Place. As shown on the exhibit, the applicant is requesting a temporary deferral of portions of the required sidewalk.

In addition, the applicant is requesting a variance on sidewalk requirements along the sides of Lots 11, 17, 28, and 33. The sidewalk adjacent to these lots would be located on the access easement for the two lots on each of these easements. The DPM requires a minimum of 22' of easement for an access to two lots. The required drive surface is also 22' and does not allow for a sidewalk requirement. I believe the nature of the development and the non-public roadway justifies this request.

Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

A handwritten signature in cursive script that reads 'Ron E. Hensley'.

Ron E. Hensley P.E.  
[ron@thegroup.cc](mailto:ron@thegroup.cc)

---

Electrical                    \*                    Civil                    \*                    Mechanical                    \*                    Development  
300 Branding Iron Rd. S.E. , Rio Rancho, NM 87124      Office: 505-410-1622

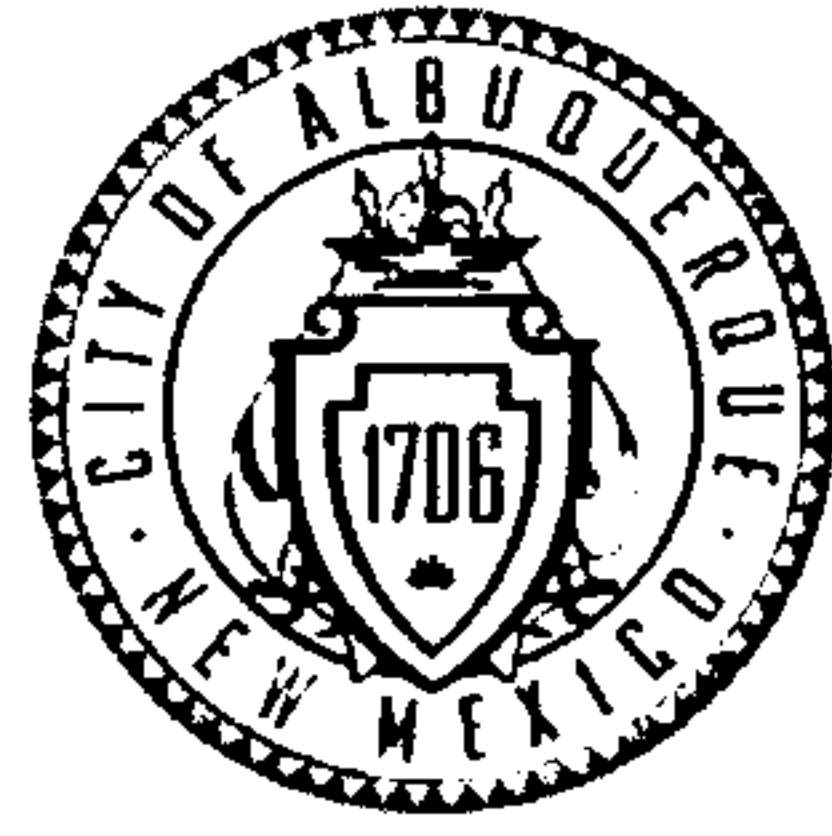
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PROJECT#

1615001

July 30, 2015

TDS



**INTER-OFFICE MEMORANDUM**

**COMMENTING AGENCIES**

TRANSPORTATION DEVELOPMENT .....*John MacKenzie*  
TRANSIT & PARKING DEPARTMENT .....*Shabih Rizvi*  
COUNCIL OF GOVERNMENTS.....*Kendra Watkins/Andrew Gingerich*  
AMAFCA.....*Lynn Mazur*  
APD CRIME PREVENTION.....*Steve Sink*  
OPEN SPACE DIVISION.....*Kent Reed Swanson*  
FIRE DEPARTMENT.....*Antonio Chinchilla*  
ZONING ENFORCEMENT INSPECTOR.....*David Kilpatrick*  
NEIGHBORHOOD COORDINATION.....*Stephani Winklepleck*  
PNM.....*Daniel Aragon*  
NEW MEXICO GAS COMPANY.....*Patrick Sanchez*  
ALBUQUERQUE PUBLIC SCHOOLS.....*April Winters*  
COMCAST CABLE..... *Mike Mortus*  
Mid.Rio Grande Conserv. Dist. (MRGCD)..... *Ray Gomez*  
ENVIRONMENTAL HEALTH.....*Paul Olson*

*Your comments on the following case(s) are requested. Board hearing date:*

PROJECT # 1005191

**WEDNESDAY, July 9, 2014**

Comments must be received by:

**Friday, July 2, 2014**



**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

Supplemental Form (SF)

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): THE Group PHONE: 505-514-0995  
 ADDRESS: 300 Branding Iron Road . SE FAX: \_\_\_\_\_  
 CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: ron@thegroup.cc

APPLICANT: Sevano Development LLC PHONE: 505-315-6484  
 ADDRESS: 7515 Treviso NE, Albuquerque FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: adilr1424@gmail.com  
 Proprietary interest in site: Owner List all owners: Yes

DESCRIPTION OF REQUEST: Site Plan for Subdivision Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lots 13, 14, 15, 16, 17, 18, 19 AND 20 Block: 29 Unit: B  
 Subdiv/Addn/TBKA: Tract A, NORTH ALBUQUERQUE ACRES  
 Existing Zoning: RD Proposed zoning: RD MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): C-18 UPC Code: \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): 1005191,

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? No  
 No. of existing lots: 8 No. of proposed lots: 41 Total site area (acres): 6.84 Ac  
 LOCATION OF PROPERTY BY STREETS: On or Near: LOUISIANA BLVD NE  
 Between: ALAMEDA BLVD NE and SIGNAL AVE NE

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: May 9, 2012

SIGNATURE Ron E. Hensley DATE 6/6/14  
 (Print Name) Ron E. Hensley / THE Group Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>14DRB - 70198</u>	<u>VPE</u>	___	<u>\$ 45.00</u>
<u>14DRB - 70199</u>	<u>PD</u>	___	<u>\$ 1090.00</u>
<u>14DRB - 70200</u>	<u>SPS</u>	___	<u>\$ 385.00</u>
_____	<u>ADY</u>	___	<u>\$ 75.00</u>
_____	<u>CMF</u>	___	<u>\$ 20.00</u>
			Total
			\$ _____

Hearing date July 9, 2014

[Signature]  
 Staff signature & Date 6-6-14

Project # 1005191

Revised: 4/2012



**FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB *1-25 Sector Development Plan*
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Subdivision Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

THE Group  
 Applicant name (print)  
R.M.E. King 6/6/14  
 Applicant signature / date



Form revised October 2007

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 14DRB - 70200

V. Lopez 6.6.14  
 Planner signature / date  
 Project # 1005191

**FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

**Preliminary plat approval expires after one year.**

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

**Amended preliminary plat approval expires after one year.**

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)**

**(Temporary sidewalk deferral extension use FORM-V)**

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. \_\_\_\_\_
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. \_\_\_\_\_
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

THE Group  
Rene Ray Applicant name (print)  
6/6/14 Applicant signature / date



Form revised **October 2007**

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
14DRB - 70199  
 \_\_\_\_\_  
 \_\_\_\_\_

Ray 6.6.14  
 Planner signature / date  
 Project # 1005191

**FORM V: SUBDIVISION VARIANCES & VACATIONS**

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)  
 \_\_\_ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**  
 \_\_\_ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.  
 \_\_\_ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)  
 \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
 \_\_\_ Sign Posting Agreement  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**  
 **VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**  
 \_\_\_ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**  
 (Not required for City owned public right-of-way.)  
 \_\_\_ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the request  
 \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
 \_\_\_ Sign Posting Agreement  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- SIDEWALK VARIANCE (DRB20)**  
 **SIDEWALK WAIVER (DRB21)**  
 \_\_\_ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the variance or waiver  
 \_\_\_ List any original and/or related file numbers on the cover application  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**  
 \_\_\_ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the variance  
 \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
 \_\_\_ Sign Posting Agreement  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
**DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**  
 **EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**  
 \_\_\_ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the deferral or extension  
 \_\_\_ List any original and/or related file numbers on the cover application  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**  
 **VACATION OF RECORDED PLAT (DRB29)**  
 \_\_\_ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**  
 \_\_\_ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**  
 \_\_\_ Letter of authorization from the grantors and the beneficiaries (private easement only)  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ron E. Hensley - THE Group  
 Applicant name (print)  
*Ron E. Hensley* 6/6/14  
 Applicant signature / date



Form revised 4/07

- Checklists complete  
 Fees collected  
 Case #s assigned  
 Related #s listed
- Application case numbers  
 14DRB - 70198  
 - - -  
 - - -

*Vign* 6-6-14  
 Planner signature / date  
 Project # 1005191

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from June 24, 2014 To July 9, 2014

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

*Paul King*  
(Applicant or Agent)

6/6/14  
(Date)

I issued 3 signs for this application, 6.6.14  
(Date)

*[Signature]*  
(Staff Member)

DRB PROJECT NUMBER: 1005191



**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

Supplemental Form (SF)

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): THE Group PHONE: 505-514-0995  
 ADDRESS: 300 Branding Iron Road . SE FAX: \_\_\_\_\_  
 CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: ron@thegroup.cc

APPLICANT: Sevamo Development LLC PHONE: 505-315-6484  
 ADDRESS: 7515 Treviso NE, Albuquerque FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: adilr1424@gmail.com  
 Proprietary interest in site: Owner List all owners: YES

DESCRIPTION OF REQUEST: Site Plan for Subdivision Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lots 13,14,15,16,17,18,19 AND 20 Block: 29 Unit: B  
 Subdiv/Addn/TBKA: Tract A, NORTH ALBUQUERQUE ACRES  
 Existing Zoning: RD Proposed zoning: RD MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): C-18 UPC Code: \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.):  
1005191,

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 8 No. of proposed lots: 41 Total site area (acres): 6.84 Ac  
 LOCATION OF PROPERTY BY STREETS: On or Near: LOUISIANA BLVD NE  
 Between: ALAMEDA BLVD NE and SIGNAL AVE NE

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: May 9, 2012

SIGNATURE Ron E. Hawsley DATE 6/6/14  
 (Print Name) Ron E. Hawsley / THE Group Applicant  Agent

**FOR OFFICIAL USE ONLY**

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>14DRB - 70198</u>	<u>VPE</u>	___	<u>\$ 45.00</u>
<u>14DRB - 70199</u>	<u>PD</u>	___	<u>\$ 1090.00</u>
<u>14DRB - 70200</u>	<u>SPS</u>	___	<u>\$ 385.00</u>
_____	<u>ADY</u>	___	<u>\$ 75.00</u>
_____	<u>CMF</u>	___	<u>\$ 20.00</u>
			Total
			\$ _____

Hearing date July 9, 2014

[Signature]  
 Staff signature & Date 6-6-14

Project # 1005191

**FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB *1-25 Sector Development Plan*
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Subdivision Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

THE Group  
 Applicant name (print)  
R.M. Kay 6/6/14  
 Applicant signature / date



Form revised **October 2007**

<input checked="" type="checkbox"/> Checklists complete	Application case numbers	<u>Yoga</u> <u>6.6.14</u>
<input checked="" type="checkbox"/> Fees collected	<u>14 DRB - 70200</u>	Planner signature / date
<input checked="" type="checkbox"/> Case #s assigned	_____	Project # <u>1005191</u>
<input checked="" type="checkbox"/> Related #s listed	_____	

**FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

**Preliminary plat approval expires after one year.**

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

**Amended preliminary plat approval expires after one year.**

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)**

**(Temporary sidewalk deferral extension use FORM-V)**

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. \_\_\_\_\_
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. \_\_\_\_\_
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

THE Group  
 Applicant name (print)  
[Signature] 6/6/14  
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
14DRB - 70199  
 \_\_\_\_\_  
 \_\_\_\_\_

[Signature] 6.6.14  
 Planner signature / date  
 Project # 1005191

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)
    - \_\_\_ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
    - \_\_\_ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
    - \_\_\_ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
    - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
    - \_\_\_ Sign Posting Agreement
    - \_\_\_ Fee (see schedule)
    - \_\_\_ List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
  - VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
    - ✓ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**  
(Not required for City owned public right-of-way.)
    - ✓ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
    - ✓ Zone Atlas map with the entire property(ies) clearly outlined
    - ✓ Letter briefly describing, explaining, and justifying the request
    - ✓ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
    - ✓ Sign Posting Agreement
    - ✓ Fee (see schedule)
    - ✓ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- SIDEWALK VARIANCE (DRB20)**
  - SIDEWALK WAIVER (DRB21)**
    - \_\_\_ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter briefly describing, explaining, and justifying the variance or waiver
    - \_\_\_ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
    - \_\_\_ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter briefly describing, explaining, and justifying the variance
    - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
    - \_\_\_ Sign Posting Agreement
    - \_\_\_ Fee (see schedule)
    - \_\_\_ List any original and/or related file numbers on the cover application
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- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
  - EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
    - \_\_\_ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter briefly describing, explaining, and justifying the deferral or extension
    - \_\_\_ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
  - VACATION OF RECORDED PLAT (DRB29)**
    - \_\_\_ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
    - \_\_\_ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
    - \_\_\_ Letter of authorization from the grantors and the beneficiaries (private easement only)
    - \_\_\_ Fee (see schedule)
    - \_\_\_ List any original and/or related file numbers on the cover application
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Ron E. Hensley, THE Group  
 Applicant name (print)  
Ron E. Hensley 6/6/14  
 Applicant signature / date



Form revised 4/07

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 14DRB - 70198

Vign 6.6.14  
 Planner signature / date  
 Project # 1005191



# SIGN POSTING AGREEMENT

## REQUIREMENTS

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- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
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#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from June 24, 2014 To July 9, 2014

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

*Paul E. King* (Applicant or Agent)      6/6/14 (Date)

I issued 3 signs for this application, 6.6.14 (Date)      *[Signature]* (Staff Member)

DRB PROJECT NUMBER: 1005191



# The HENSLEY ENGINEERING GROUP

June 6, 2014

Mr. Jack Cloud  
DRB Chair  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

Re: Sevano Place Subdivision – Site Plan and Preliminary Plat and Infrastructure List.

Attached area a Site Plan and Preliminary Plat submittal for a subdivision located within zone atlas page C-18.

The subdivision is a replat of “Lot 13-20 Block 29 Tract A Unit B of North Albuquerque Acres” and is located west of the Louisiana Boulevard between Alameda Boulevard and Signal Avenue. The plat would create 41 lots ranging from 4000 SF to 6000 SF. Each lot is designed to meet the open space requirement of 2400 SF. and 1 tract from the existing eight lots with right of way dedication and deferral of all internal sidewalks around Sevano Circle.

The site is within the boundaries of North I-25 Sector Development Plan. The project shall be in conformance with the design standards outlined in the North I-25 Sector plan and all requirements the pertaining to perimeter walls and street landscaping.

As part of this request, the applicant is requesting easement vacation on a portion (4’) of Signal Avenue. The request is for the reduction in the ROW dedication width to 56’ and would conform to the area.

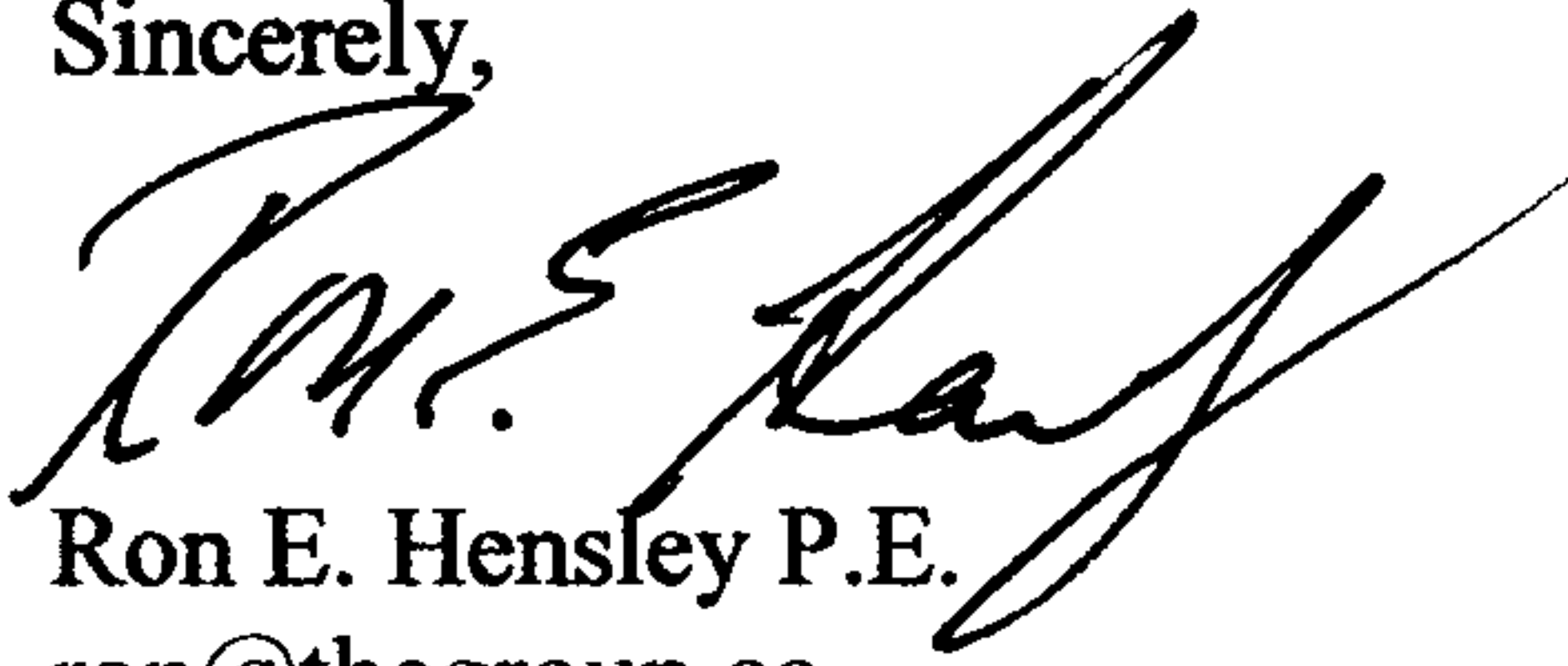
## Overview and Summary of Request

- Forty Onet single family homes are proposed. The homes will generally be one or two stories, ranging from approximately 2400 square feet to 3300 square feet in area.
- Each house will set back 15' with a 20' driveway.
- The property will surrounded by a multi-color 6' split face block wall, and a black iron entry gate.
- There will be a centrally located landscaped feature with shade trees
- The subdivision will be pedestrian friendly and will include sidewalks as well as a gate on the north side to access pedestrian and bike routes.

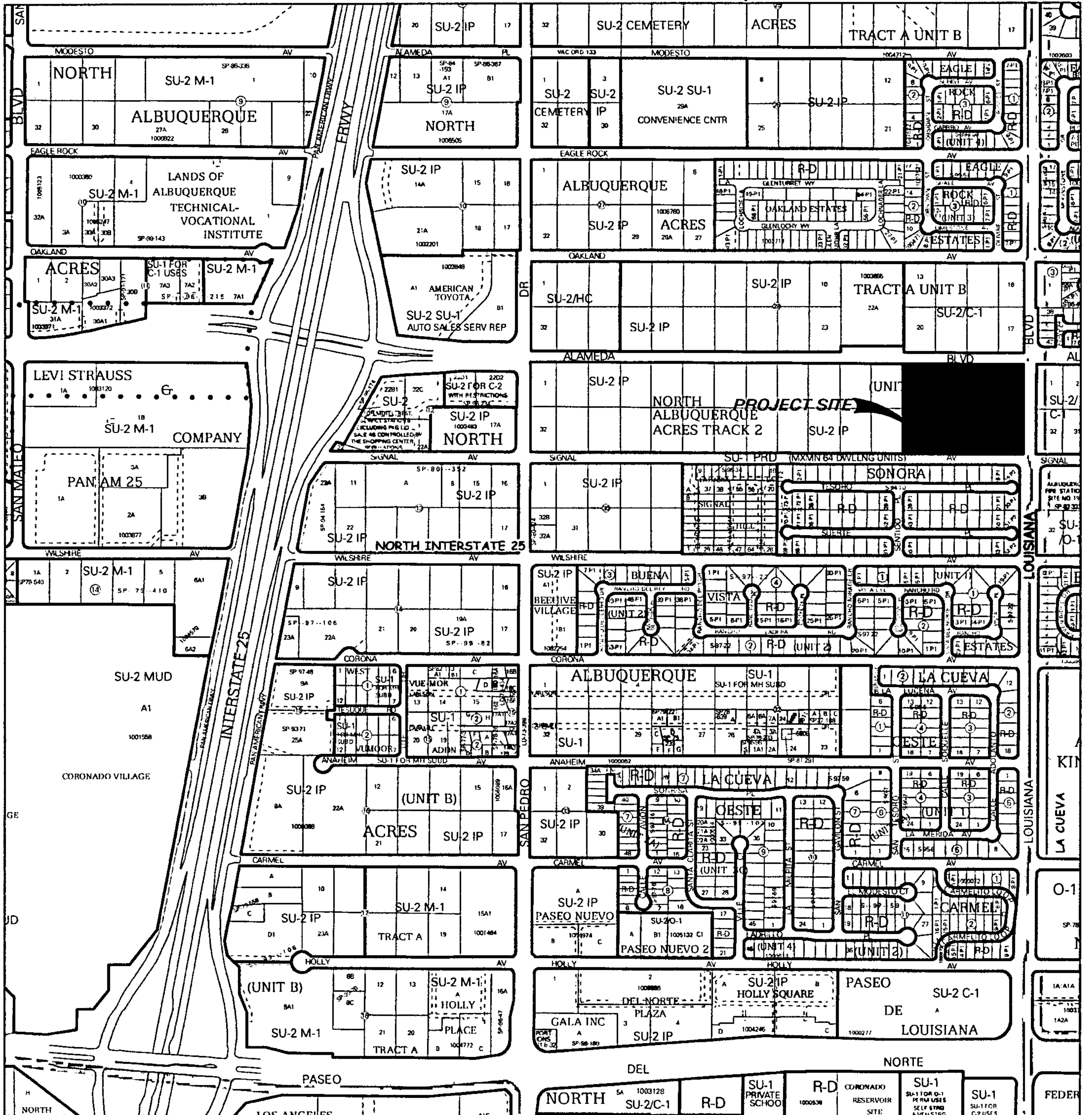
- Front yards of each lot will be landscaped by the developer. There will be a homeowners association to enforce landscaping and other site regulations through neighborhood covenants.
- The exterior will be landscaped with water tolerant shade trees and ground cover.
- The site abuts a proposed designated bike route on Alameda.
- Colors of the houses will be muted earth tones and specified on the site plan and within the covenants.

As agent for the owners, we are requesting a Site Plan and Preliminary Plat approval of the proposed subdivision. Please contact me at 410-1622 or via email if you have any questions or comments.

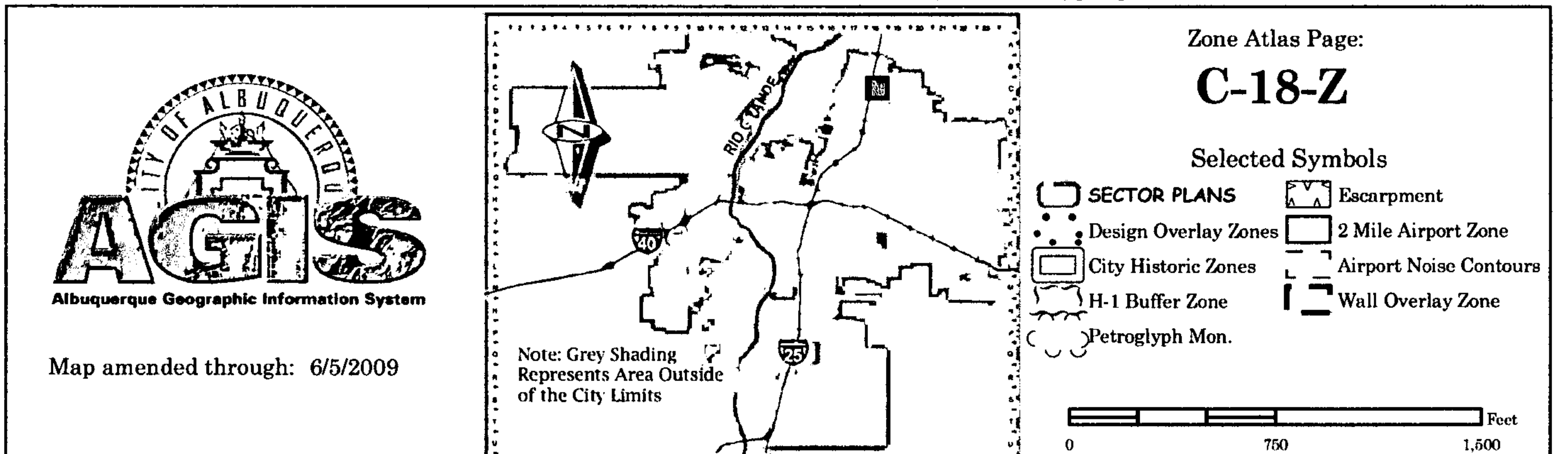
Sincerely,



Ron E. Hensley P.E.  
[ron@thegroup.cc](mailto:ron@thegroup.cc)



For more current information and more details visit: <http://www.cabq.gov/gis>



DRB Project # 1005191  
 APS Cluster La Cueva

PRELIMINARY  
 PRE-DEVELOPMENT FACILITIES FEE AGREEMENT

THIS AGREEMENT is made by and between the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, New Mexico ("Albuquerque Public Schools" or "APS"), a public school district organized and existing pursuant to the laws of New Mexico, and

Shakeel Rizvi ("Developer") effective as of this 17 day of November 2006 and pertains to the subdivision commonly known as Savano Place, and more particularly described as

Lots 13 thru 20, Block 29, Tract A, Unit B, NAA  
consisting of 42 subdivided lots

(the "Subdivision".)

WHEREAS, In order to provide for APS becoming more knowledgeable of development plans within the City so that APS may better plan for future growth, the City of Albuquerque requires that APS approve the plat(s) for any new subdivision; and

WHEREAS, Developer is proposing the development of a new residential subdivision, and requires APS approval of the plat for said subdivision; and

WHEREAS, Developer is the owner of the real estate being subdivided and platted; and

WHEREAS, Developer is required by the Albuquerque Subdivision Ordinance to provide appropriate infrastructure and improvements as a condition of developing a subdivision; and

WHEREAS, as a condition of approving such plat APS requires the provision of appropriate infrastructure and facilities or the payment of a facilities fee for each new residence to be constructed to help defray the cost of school construction, expansion, or maintenance; and

WHEREAS, APS has determined that the amount of the facilities fee is reasonably related to the impact the subdivision will have on the operation of the area schools:

THEREFORE, in consideration of the mutual promises contained herein, APS and Developer agree as follows:

1. Developer agrees that a facilities fee will be paid to APS for each dwelling unit to be constructed in the Subdivision.
2. The amount of the fee shall be:
  - If the building permit is issued on or after January 1, 2007, the fee shall be \$1875 per dwelling unit.

DRB Project #

1005191

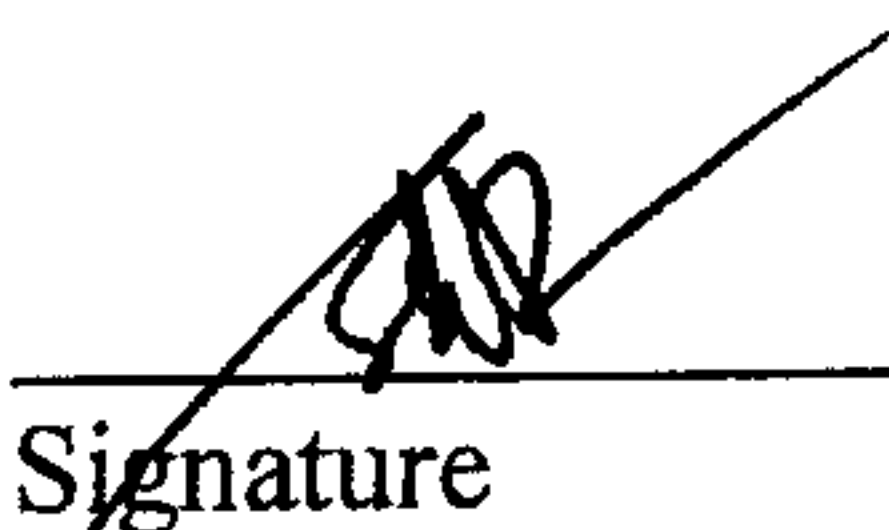
APS Cluster

La Cueva

- If the building permit is issued on or after July 1, 2008, the fee shall be \$2425 per dwelling unit.
- If the permit is issued on or after January 1, 2010, the fee shall be \$2975 per dwelling unit.

The fee for each dwelling unit in multi-family residential structures shall be sixty percent (60 %) of the fee for a single family home. "Multi-family residential structure" means any type of residential property other than single-family houses (one single family, detached dwelling unit per lot).

3. Developer agrees that the fee shall be paid to APS at or before the issuance of any building permit for any lot or other parcel of property subject to this Agreement.
4. Developer may satisfy all or part of its obligations under this contract by transferring improved or unimproved property to APS, provided that APS must agree to the transfer and to the value placed on the transferred property. APS, upon accepting such transfer, shall credit Developer with an amount equal to the agreed value, and the developer may designate the lot(s) to which such amount(s) shall be applied in satisfaction of its obligations hereunder.
5. This contract may be recorded in the office of the County Clerk of Bernalillo and/or Sandoval County, and shall serve as notice of the Developer's obligation to pay facilities fees. Developer shall include on the plat of the Subdivision a statement that "The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools, recorded at [recording data]."
6. APS, through its Facilities Fee Administrator, will provide a Payment Acknowledgement in the form attached hereto to the Developer reflecting receipt of the facilities fee (or equivalent compensation as described in paragraph 4 above), which form may be given to the City to show satisfaction of the fee obligation and satisfy that condition for receiving building permits. Developer may record that Payment Acknowledgement in the real estate records of Bernalillo or Sandoval County, but APS shall not be responsible for paying any recording fees nor shall APS be responsible for recording any such documents with the office of the County Clerk or any other office.

  
 \_\_\_\_\_  
 Signature

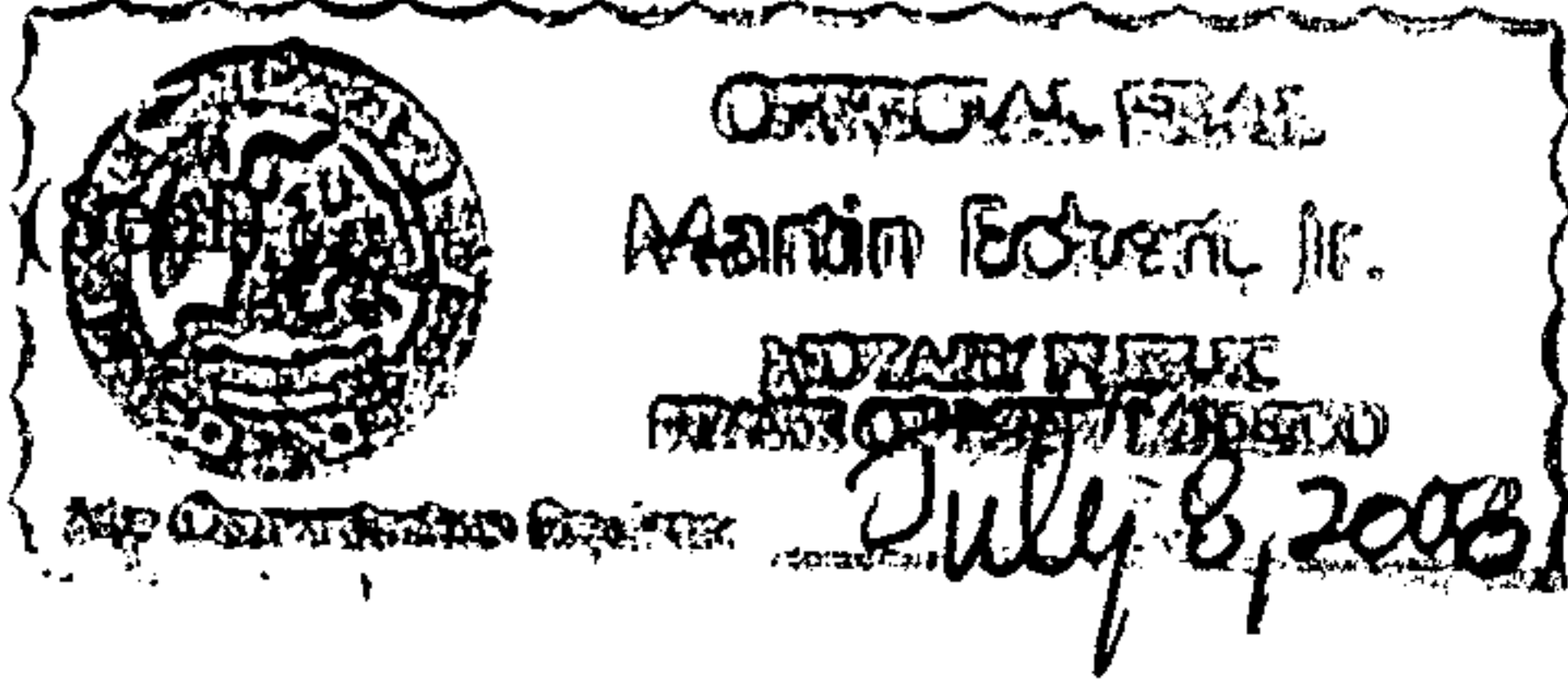
Shakool Rizvi  
 \_\_\_\_\_  
 Name (typed or printed) and title

Shakool Rizvi  
 \_\_\_\_\_  
 Developer

DRB Project # 1005191  
APS Cluster La Cueva

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on November 17, 2006, by Stakeel Rizvi as Owner/Developer of Sevano Place, a corporation.



Martin Eckert Jr.  
Notary Public

My commission expires: July 8, 2008

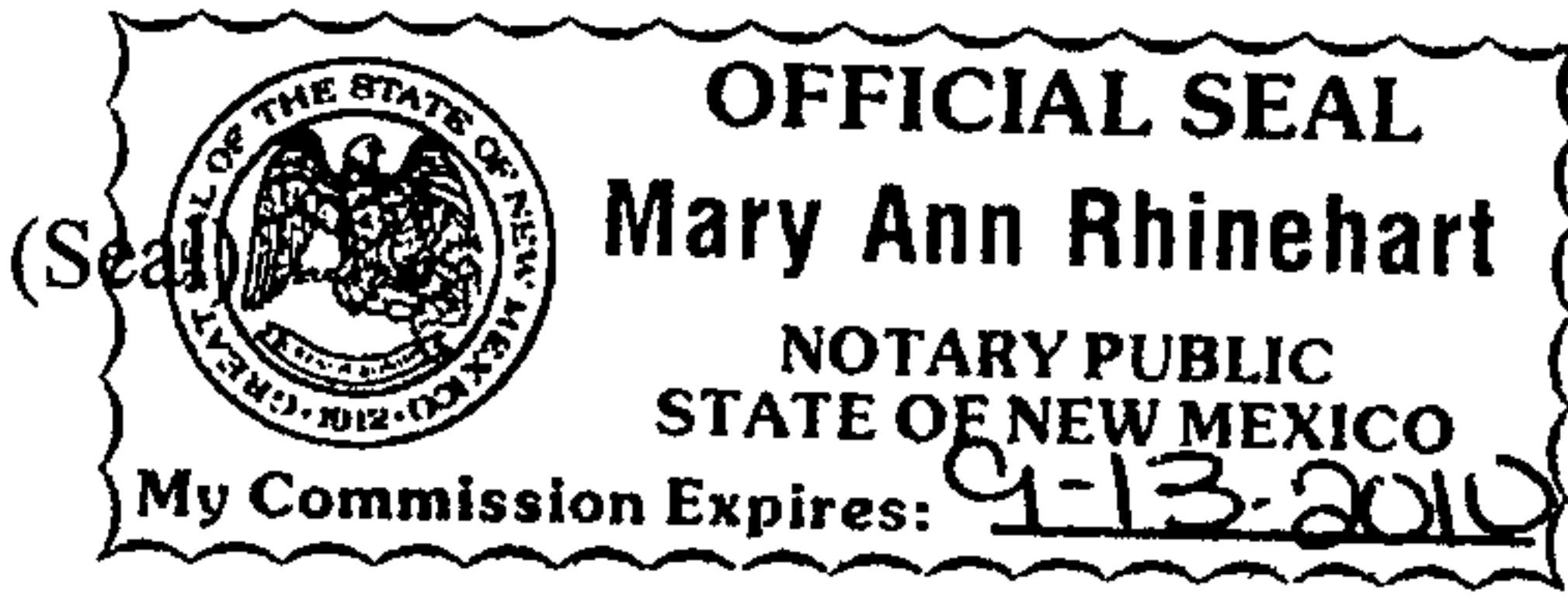
ALBUQUERQUE PUBLIC SCHOOLS

By: Brad Winter  
Signature

BRAD WINTER Spec Dir Facilities  
Name (typed or printed) and title

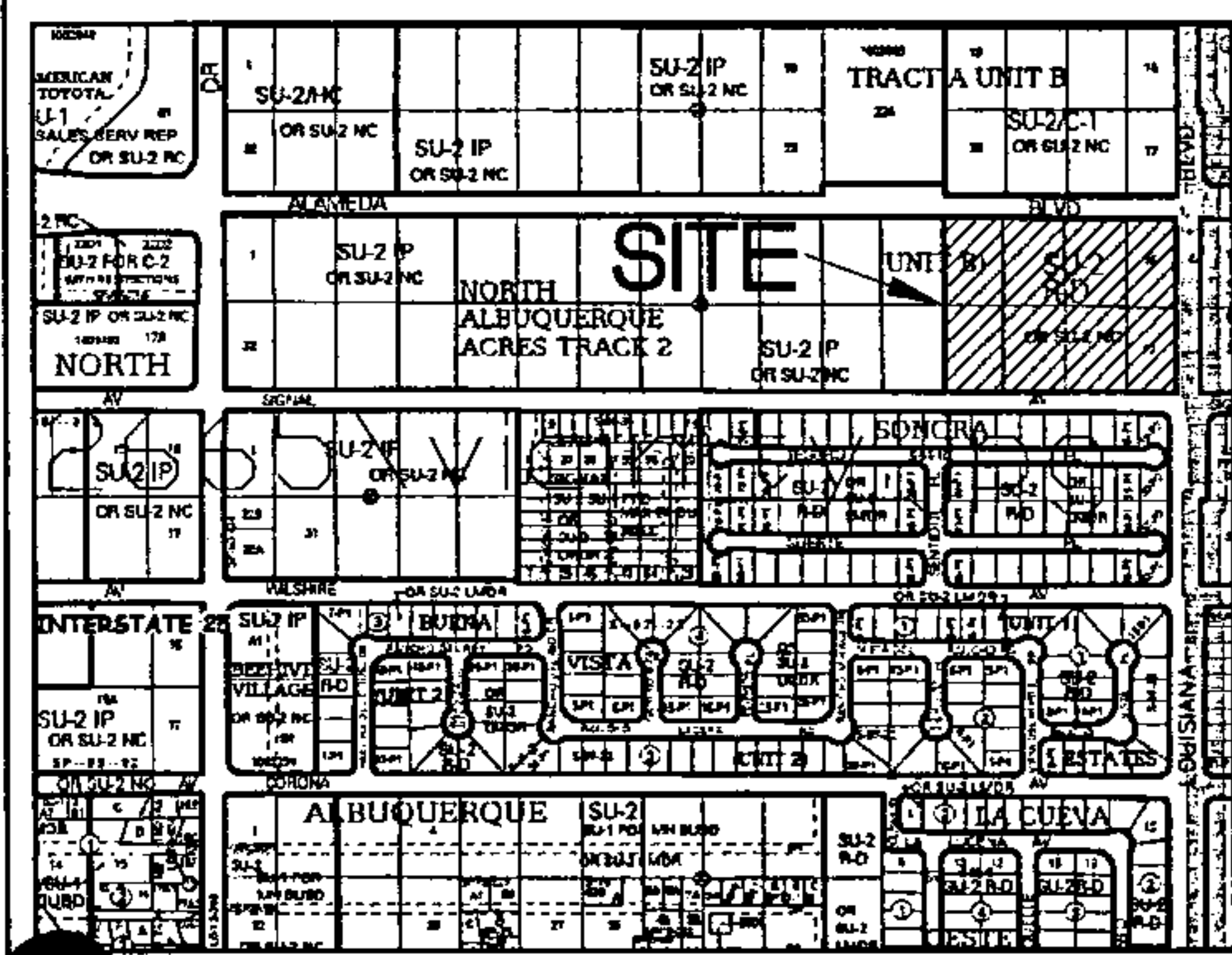
STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on Nov. 20, 06 by Brad Winter as Executive Director of the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, a school district organized and existing under the laws of the State of New Mexico.



Mary Ann Rhinehart  
Notary Public

My commission expires: 9-13-2010



Zone Atlas C-18-Z n.t.s.

### Easement Notes

- EXISTING 7' UTILITY EASEMENT (9/9/00, D562-289)
- EXISTING 20'X20' EASEMENT AGREEMENT (5/22/2000, A5-9163)
- EXISTING RIGHT OF WAY EASEMENT (1/6/89, 701A-185)
- EXISTING US WEST & PNM EASEMENT (10/23/96, 96-28-5758)
- EXISTING 7' UTILITY EASEMENT (10/1/79, 723-603) TO BE VACATED WITH THE FILING OF THIS PLAT SHOWN HEREON AS
- 10' PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- EXISTING ROADWAY EASEMENT (04/24/30, D-130) TO BE VACATED WITH THE FILING OF THIS PLAT
- EXISTING CENTURYLINK EASEMENT (01/06/2014, DOC. NO. 2014001747)
- TRACT A - LANDSCAPE EASEMENT TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION

### Disclosure Statement

- THE PURPOSE OF THIS PLAT IS TO:
- CREATE 41 RESIDENTIAL LOTS AND 1 TRACT.
  - DEDICATE RIGHT-OF-WAY FOR ALAMEDA BLVD N.E. AND SIGNAL AVENUE, N.E.
  - GRANT EASEMENTS AS SHOWN HEREON.
  - LOT LINES TO BE ELIMINATED SHOWN AS THIS
  - VACATE EASEMENTS AS SHOWN HEREON.
  - VACATE ROADWAY EASEMENTS AS SHOWN HEREON.

### Benchmark

ACS MONUMENT "10\_C18" HAVING AN ELEVATION OF 5222.080 (NAVD 88).

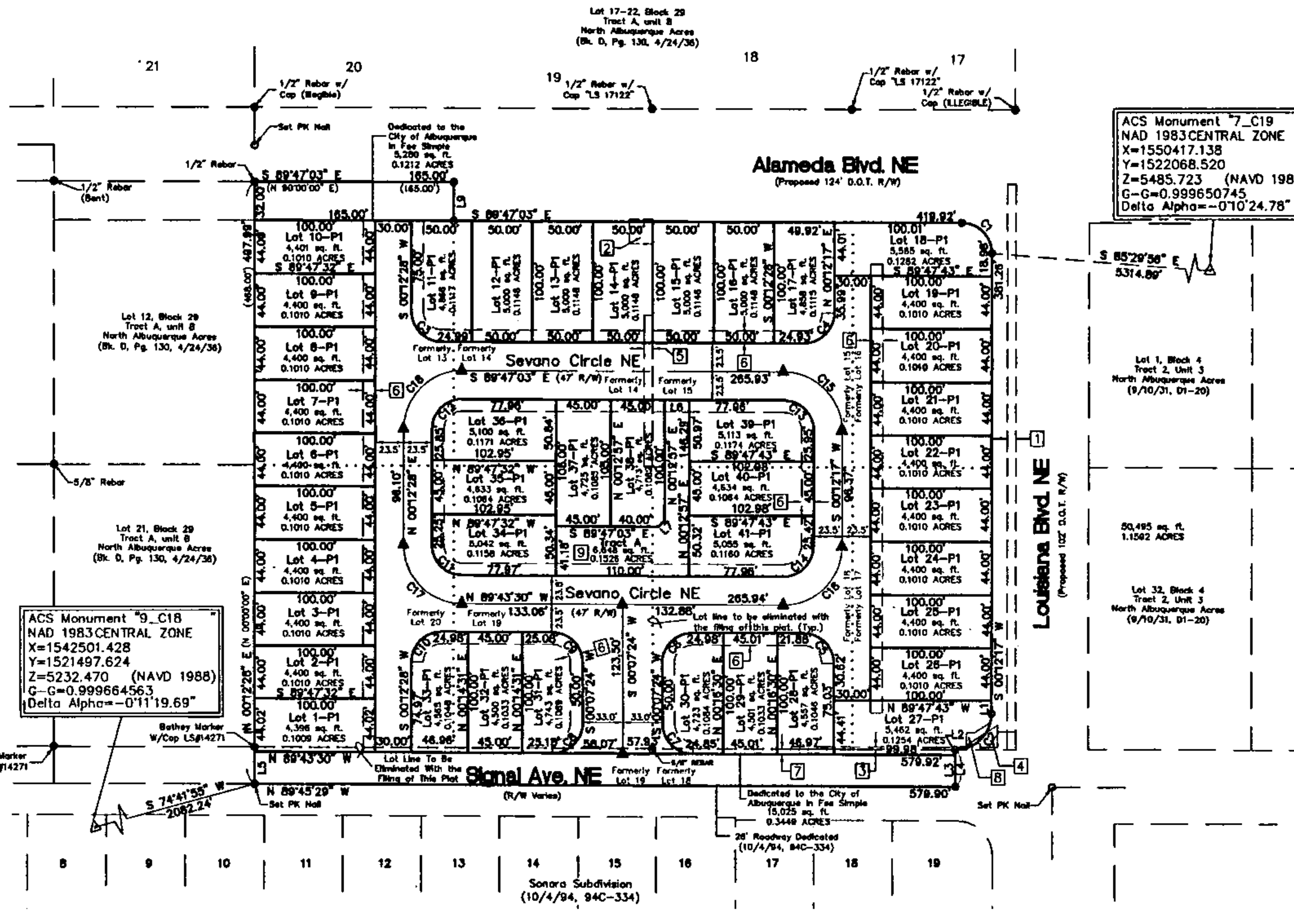
### Preliminary Plat

## Sevano Place Subdivision

Comprised of Lots 13, 18 through 20 and Remaining Portions of Lots 14 Thru 17, Block 29, North Albuquerque Acres, Tract A, Unit B within Projected Section 13, Township 11 North, Range 3 East, NMPM The Elena Gallegos Grant City of Albuquerque, Bernalillo County, New Mexico March 2014

### Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD (4/24/36, D-130)
●	FOUND MONUMENT AS INDICATED
○	SET BATHEY MARKER "LS 14271" UNLESS INDICATED OTHERWISE
▲	SET CENTERLINE MONUMENT
1-P1	LOT NUMBER



### Notes

- FIELD SURVEY PERFORMED IN AUGUST 2008.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- ALL STREET MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PTS. ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN AS THIS. ALL CENTERLINE MONUMENTS WILL BE SET USING THE STANDARD 4" ALUMINUM MONUMENT STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT - DO NOT DISTURB, PS 14271" AND WILL BE SET FLUSH WITH THE FINAL ASPHALT.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW CENTERLINE MONUMENTATION.
- TOTAL NUMBER OF EXISTING LOTS: 8
- TOTAL NUMBER OF LOTS CREATED: 41
- TOTAL NUMBER OF TRACTS CREATED: 1
- TOTAL MILEAGE OF FULL WIDTH STREETS CREATED: 0.003 MI.
- CITY OF ALBUQUERQUE ZONE ATLAS PAGE: C-18
- NUMBER OF LOT LINES BEING ELIMINATED: 11
- TOTAL AREA: 6.6198 ACRES
- PROPERTY CORNERS TO BE SET ARE AN 18" BATHEY MONUMENT WITH STEEL CAP "LS 14271".
- THE ZONING FOR THE LOT IS CURRENTLY: R-D 20 DU/ACRE.
- BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (GRND-NAD83-CENTRAL ZONE).
- ALL OPEN SPACE REQUIREMENTS ARE MET ON THE LOT WITH DWELLING PER THE PROVISIONS OF SECT 14-18-3-B(A)(1).

OWNER: DATE: 5/2/14

CITY SURVEYOR, CITY OF ALBUQUERQUE: DATE: 5-2-14

David Acosta P.S.

### Legal

A CERTAIN PARCEL OF LAND, BEING COMPRISED OF LOTS 13, 18 THRU 20 AND REMAINING PORTIONS OF LOTS 14 THROUGH 17, BLOCK 29, OF NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, SITUATE WITHIN SECTION 13, T11N, R3E, NMPM, AS PROJECTED INTO THE ELENA GALLEGOS GRANT, COUNTY OF BERNALILLO, CITY OF ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN BOOK D, PAGE 130, SAID PARCEL IS DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A PK NAIL, WHENCE A TIE TO ACS MONUMENT 9\_C18 BEARS S 74°41'55" W, A DISTANCE OF 2082.24 FEET;

THENCE, FROM SAID POINT OF BEGINNING, N 00°12'28" E, A DISTANCE OF 497.99 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A 1/2" REBAR;

THENCE, S 89°47'03" E, A DISTANCE OF 185.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 00°12'28" W, A DISTANCE OF 32.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 89°47'03" E, A DISTANCE OF 419.92 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, 39.27 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00, A DELTA OF 89°59'20", AND A CHORD BEARING OF S 44°47'23" E, A DISTANCE OF 35.35 FEET, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 00°12'17" W, A DISTANCE OF 381.28 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, 47.14 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 30.00 FEET, A DELTA OF 90°21'4", AND A CHORD BEARING OF S 45°13'24" W, A DISTANCE OF 42.44 FEET, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271"; TO AN ANGLE POINT;

THENCE, S 00°14'31" W, A DISTANCE OF 30.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

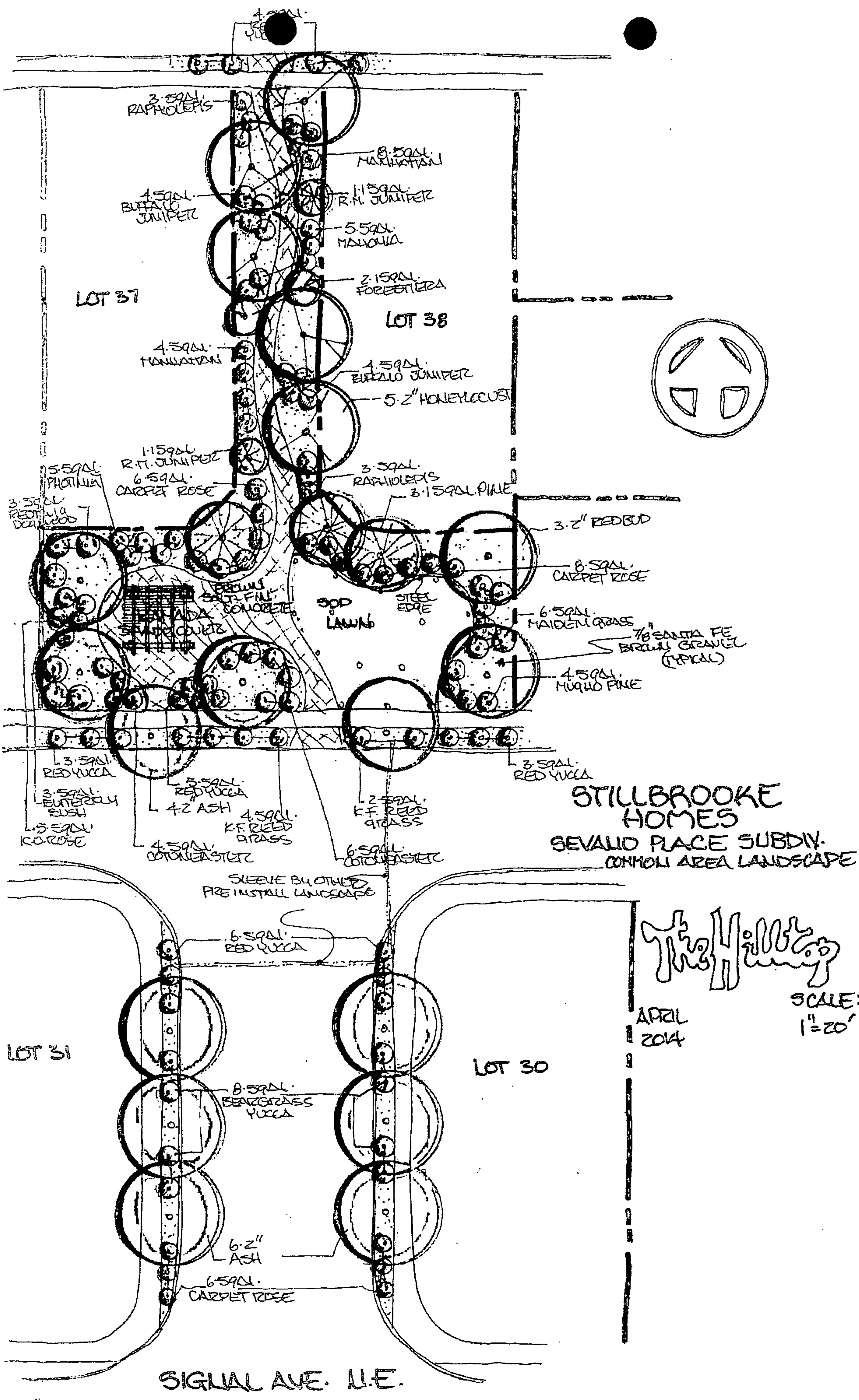
THENCE, N 89°45'29" W, A DISTANCE OF 579.92 FEET TO THE POINT OF BEGINNING, CONTAINING 6.6198 ACRES (286,359 SQ. FT.) MORE OR LESS.

LINE	LENGTH	BEARING
L1	10.27'	S 00°12'18" W
L2	4.28'	S 00°14'31" W
L3	25.24'	S 00°14'31" W
L4	30.00'	S 00°14'31" W
L5	28.08'	N 00°12'28" E
L6	20.00'	S 89°47'03" E
L7	14.14'	N 44°47'03" W
L9	32.00'	S 00°12'28" W (S 00°00'00" E)

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING	CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	39.27'	25.00'	89°59'20"	35.35'	S 44°47'23" E	C10	39.30'	25.00'	90°04'02"	35.36'	S 45°14'29" W
C2	47.14'	30.00'	90°21'4"	42.44'	S 45°13'24" W	C11	39.24'	25.00'	89°55'58"	35.33'	N 44°45'31" W
C3	39.27'	25.00'	89°59'31"	35.35'	S 44°47'17" E	C12	39.27'	25.00'	90°00'29"	35.36'	S 45°12'43" W
C4	39.27'	25.00'	90°00'40"	35.36'	N 45°12'37" E	C13	39.27'	25.00'	89°58'20"	35.35'	S 44°47'23" E
C5	39.24'	25.00'	89°55'47"	35.33'	N 44°45'37" W	C14	39.30'	25.00'	90°04'13"	35.38'	N 45°14'23" E
C6	39.34'	25.00'	90°09'06"	35.40'	S 45°11'57" W	C15	76.17'	48.50'	89°59'20"	68.58'	S 44°47'23" E
C7	39.20'	25.00'	89°50'54"	35.31'	S 44°48'03" E	C16	78.24'	48.50'	90°04'13"	68.63'	S 45°14'23" W
C8	39.34'	25.00'	90°09'06"	35.40'	N 45°11'57" E	C17	76.17'	48.50'	89°55'58"	68.55'	N 44°45'31" W
C9	39.20'	25.00'	89°50'54"	35.31'	N 44°48'03" W	C18	76.19'	48.50'	90°00'28"	68.59'	N 45°12'43" E

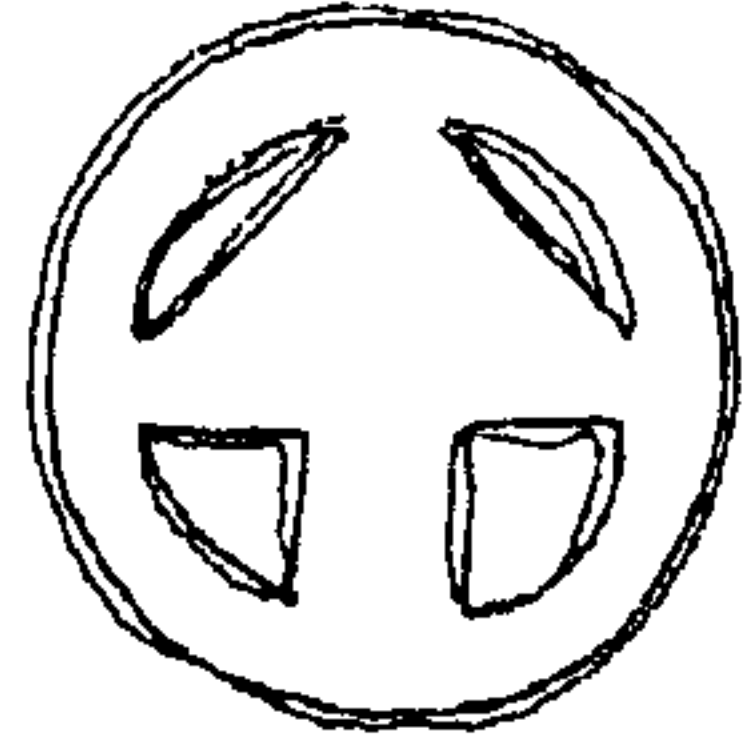
CARTESIAN SURVEYS INC.  
 P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-0244





LOT 37

LOT 38



**STILLBROOKE  
HOMES**  
SEVALD PLACE SUBDIV.  
COMMON AREA LANDSCAPE

*The Hilltop*

APRIL  
2014

SCALE:  
1"=20'

LOT 31

LOT 30

SIGNAL AVE. N.E.

Mr Jeff Peterson PE  
7800 Eagle Rock NE  
Albuquerque  
New Mexico 87122

06-06-2014

SEVANO PLACE SUBDIVISION: PROJECT NO: 1005191  
REQUEST FOR APPROVAL FOR THE FOLLOWING:  
SITE DEVELOPMENT PLAN  
PRELIMINARY PLAT

Dear Mr. Peterson:

On behalf of Sevano Development LLC, I am requesting approval of the Site Development Plan and Preliminary Plat for the proposed Sevano Place Subdivision. The preliminary plat for the proposed subdivision was previously approved in 2006 and 2012 but due to the economic conditions we were unable to proceed with the development.

The project is located on Louisiana Blvd (West Side) between Alameda Blvd and Signal Avenue – City Zone Atlas C-18.

The site is within the boundaries of North I-25 Sector Development Plan and the design features shall be in conformance with the design standards outlined in the North I-25 Sector plan.

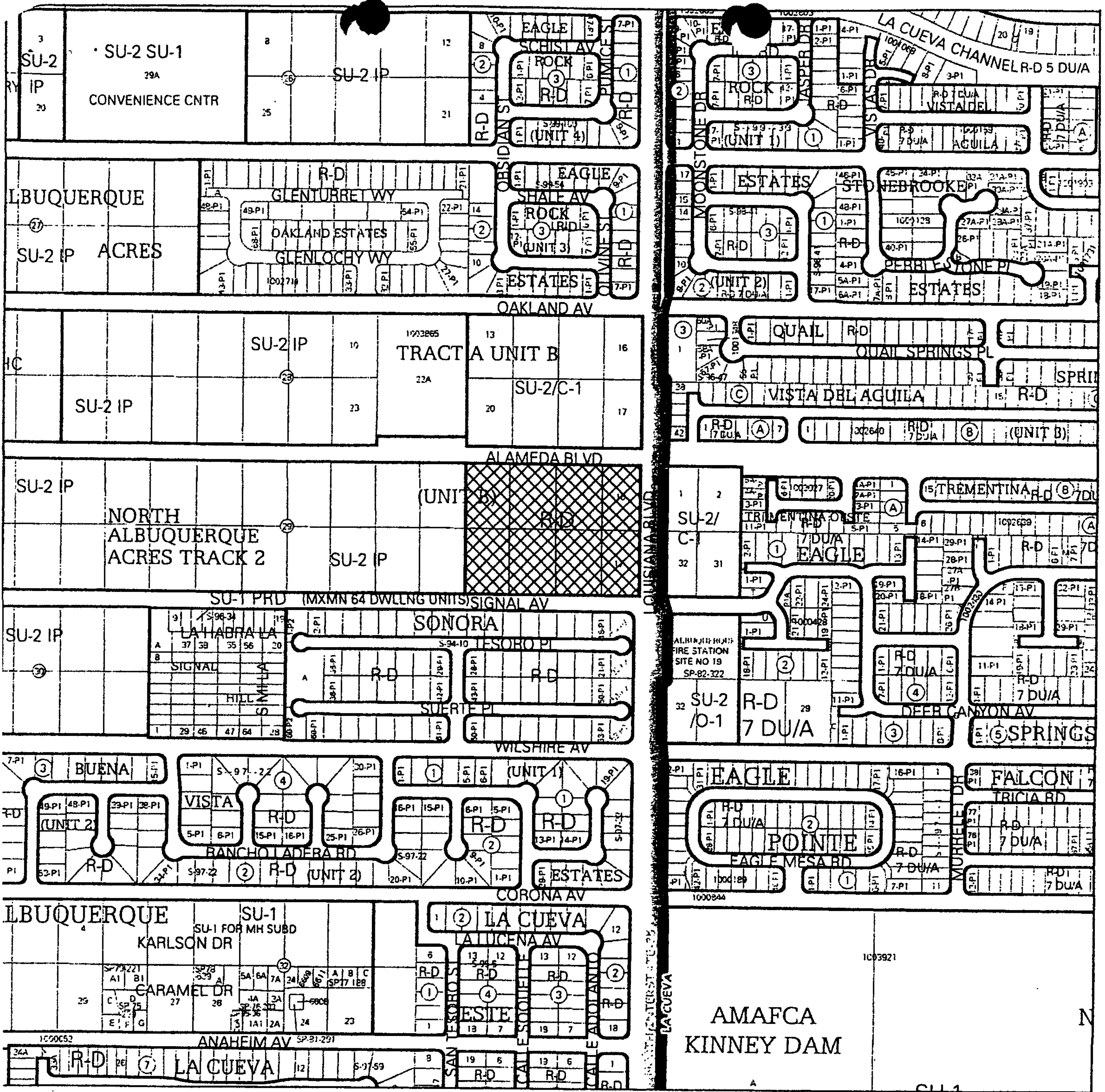
The proposed subdivision consists of 41 subdivided lots ranging from 4500 SF to 5000 SF. Each lot is designed to meet the open space requirement of 2400 SF. The proposed subdivision will be surrounded by a multi-colored 6' split face block wall and a black Iron Gate entry. A beautiful landscape area of 4500 SF is also dedicated within the Subdivision for the benefit of the future residences.

If you have any questions please call me at 315-6484. Thank you very much for your cooperation and support.

Sincerely,



Adil Rizvi  
7515 Treviso Court  
Albuquerque –NM 87113  
adil1424@yahoo.com



# ZONING MAP

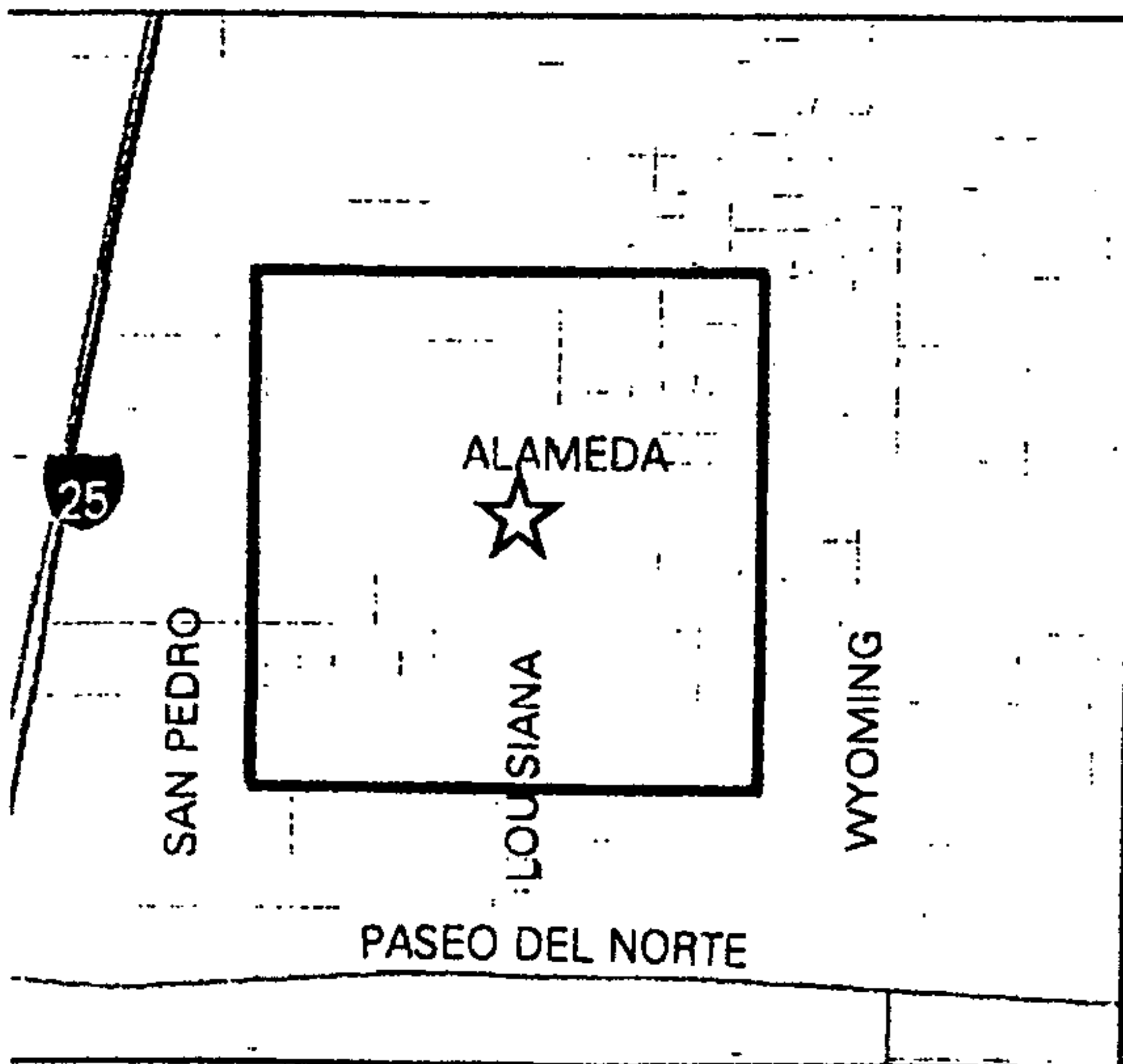
Note: Grey shading indicates County.

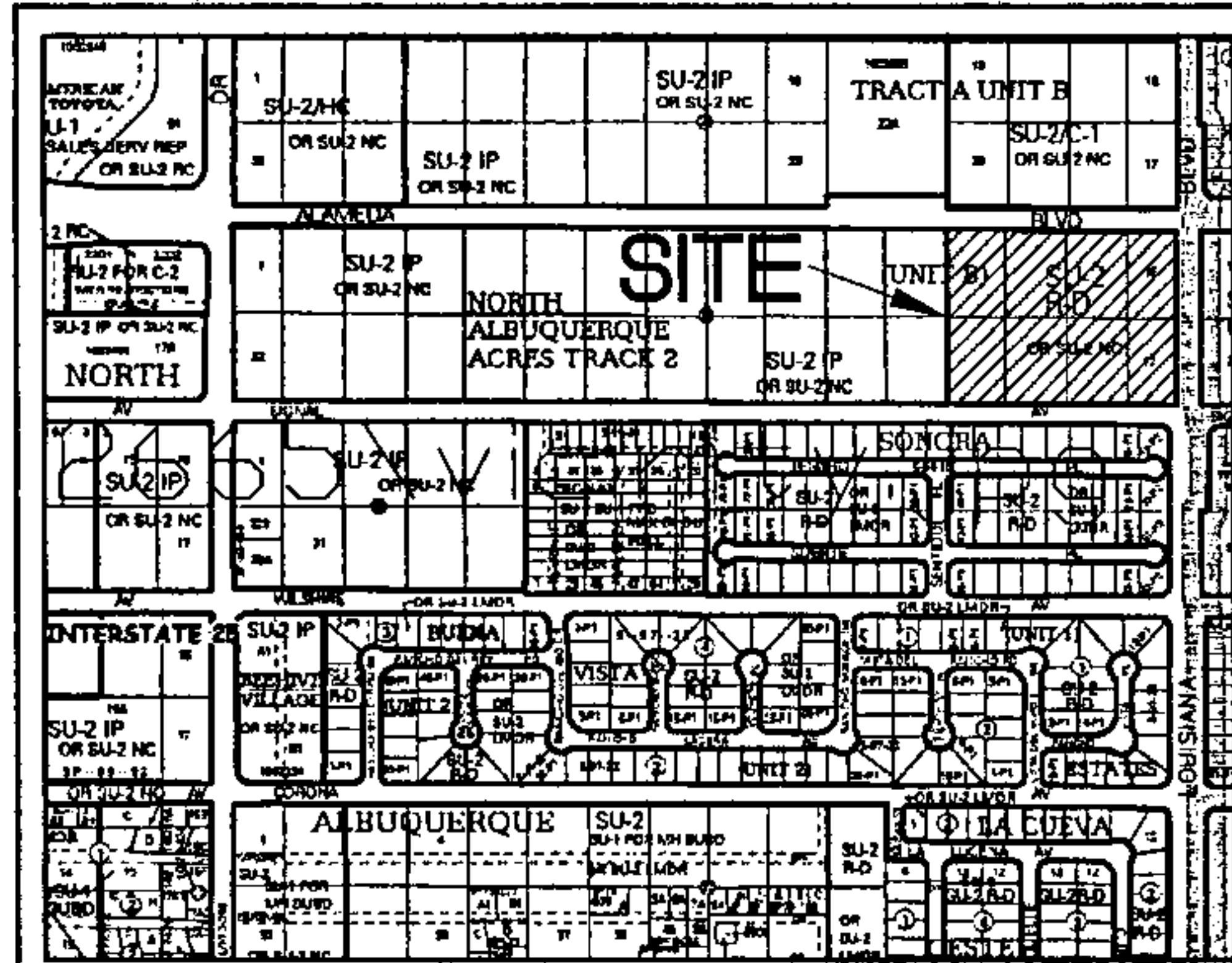


1 inch equals 500 feet

Project Number:  
1005191  
Hearing Date:  
11/1/2006  
Zone Map Page:  
R-16

Additional Case Numbers:  
06DRB-01454 06DRB-01455  
06DRB-01456 06DRB-01457





Zone Atlas C-18-Z n.t.s.

### Easement Notes

- EXISTING 7' UTILITY EASEMENT (9/9/80, D582-289)
- EXISTING 20'X20' EASEMENT AGREEMENT (5/22/2000, A5-9163)
- EXISTING RIGHT OF WAY EASEMENT (1/6/89, 701A-185)
- EXISTING US WEST & PNM EASEMENT (10/23/96, 96-28-5758)
- EXISTING 7' UTILITY EASEMENT (10/1/79, 723-803) TO BE VACATED WITH THE FILING OF THIS PLAT SHOWN HEREON AS ---
- 10' PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- EXISTING ROADWAY EASEMENT (04/24/30, D-130) TO BE VACATED WITH THE FILING OF THIS PLAT
- EXISTING CENTURYLINK EASEMENT (01/08/2014, DOC, NO. 2014001747)
- TRACT A - LANDSCAPE EASEMENT TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION

### Disclosure Statement

THE PURPOSE OF THIS PLAT IS TO:

- CREATE 41 RESIDENTIAL LOTS AND 1 TRACT.
- DEDICATE RIGHT-OF-WAY FOR ALAMEDA BLVD N.E. AND SIGNAL AVENUE, N.E.
- GRANT EASEMENTS AS SHOWN HEREON.
- LOT LINES TO BE ELIMINATED SHOWN AS THUS . . . . .
- VACATE EASEMENTS AS SHOWN HEREON.
- VACATE ROADWAY EASEMENTS AS SHOWN HEREON.

### Benchmark

ACS MONUMENT "10\_C18" HAVING AN ELEVATION OF 5222.090 (NAVD 88).

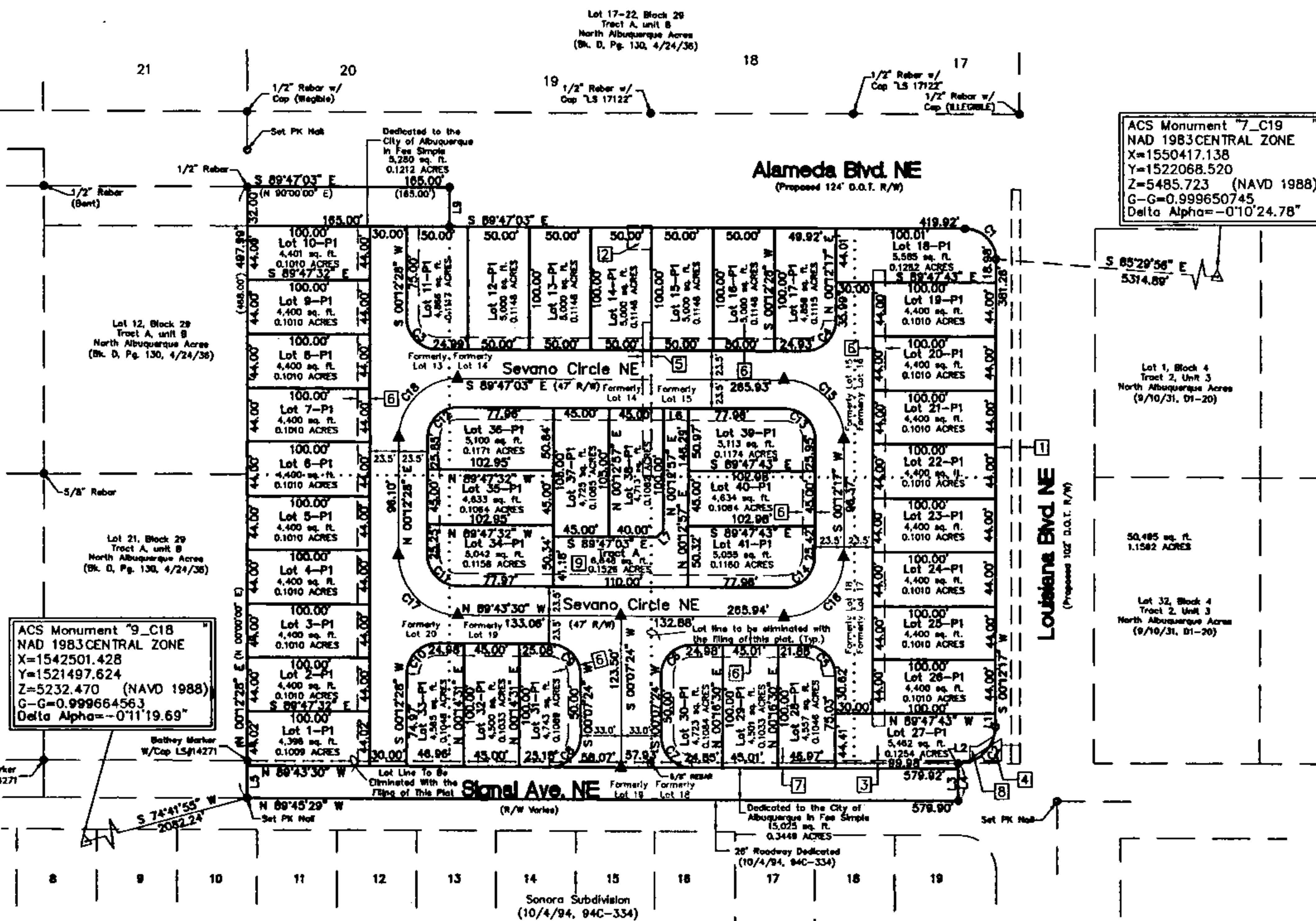
### Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD (4/24/36, D-130)
●	FOUND MONUMENT AS INDICATED
○	SET BATHEY MARKER "LS 14271" UNLESS INDICATED OTHERWISE
▲	SET CENTERLINE MONUMENT
1-P1	LOT NUMBER

# Preliminary Plat

## Sevano Place Subdivision

Comprised of  
Lots 13, 18 through 20 and Remaining  
Portions of Lots 14 Thru 17, Block 29, North Albuquerque  
Acres, Tract A, Unit B  
within  
Projected Section 13, Township 11 North, Range 3 East, NMPM  
The Elena Gallegos Grant  
City of Albuquerque, Bernalillo County, New Mexico  
March 2014



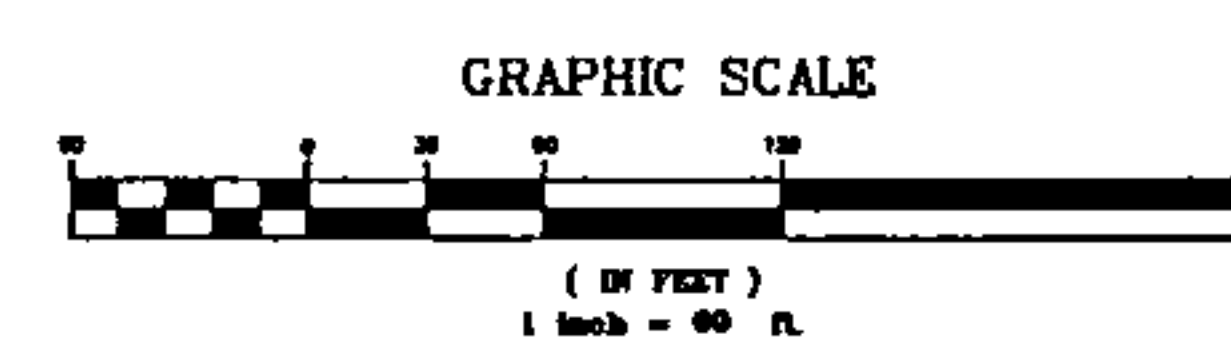
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X=1542501.428  
Y=1521497.624  
Z=5232.470 (NAVD 1988)  
G-G=0.9996564563  
Delta Alpha=-0°11'19.69"

ACS Monument "7\_C19"  
NAD 1983 CENTRAL ZONE  
X=1550417.138  
Y=1522068.520  
Z=5485.723 (NAVD 1988)  
G-G=0.999650745  
Delta Alpha=-0°10'24.78"

### Notes

- FIELD SURVEY PERFORMED IN AUGUST 2008.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- ALL STREET MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN AS THUS ▲. ALL CENTERLINE MONUMENTS WILL BE SET USING THE STANDARD 4" ALUMINUM MONUMENT STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT-DO NOT DISTURB, PS 14271" AND WILL BE SET FLUSH WITH THE FINAL ASPHALT.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW CENTERLINE MONUMENTATION.
- TOTAL NUMBER OF EXISTING LOTS: 8
- TOTAL NUMBER OF LOTS CREATED: 41
- TOTAL NUMBER OF TRACTS CREATED: 1
- TOTAL MILEAGE OF FULL WIDTH STREETS CREATED: 0.003 MI.
- CITY OF ALBUQUERQUE ZONE ATLAS PAGE: C-18
- NUMBER OF LOT LINES BEING ELIMINATED: 11
- TOTAL AREA: 6.6198 ACRES
- PROPERTY CORNERS TO BE SET ARE AN 18" BATHEY MONUMENT WITH STEEL CAP "LS 14271".
- THE ZONING FOR THE LOT IS CURRENTLY: R-D 20 DU/ACRE.
- BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (GRID-NAD83-CENTRAL ZONE).
- ALL OPEN SPACE REQUIREMENTS ARE NET ON THE LOT WITH DWELLING PER THE PROVISIONS OF SECT 14-18-3-B(A)(1).

OWNER: DATE: 5/2/14  
CITY SURVEYOR, CITY OF ALBUQUERQUE: DATE: 5-2-14  
David Acosta P.S.



### Legal

A CERTAIN PARCEL OF LAND, BEING 1/2 OF LOTS 13, 18 THROUGH 20 AND REMAINING PORTIONS OF LOTS 14 THROUGH 17, BLOCK 29, OF NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, SITUATE WITHIN SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM, AS PROJECTED INTO THE ELENA GALLEGOS GRANT, COUNTY OF BERNALILLO, CITY OF ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN BOOK D, PAGE 130, SAID PARCEL IS DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A PK NAIL, WHENCE A TIE TO ACS MONUMENT 9\_C18 BEARS S 74°41'55" W, A DISTANCE OF 2082.24 FEET;

THENCE, FROM SAID POINT OF BEGINNING, N 00°12'28" E, A DISTANCE OF 497.99 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A 1/2" REBAR;

THENCE, S 89°47'03" E, A DISTANCE OF 165.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 00°12'28" W, A DISTANCE OF 32.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 89°47'03" E, A DISTANCE OF 419.92 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, 39.27 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00, A DELTA OF 89°55'20", AND A CHORD BEARING OF S 44°47'23" E, A DISTANCE OF 35.35 FEET, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 00°12'17" W, A DISTANCE OF 381.28 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, 47.14 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 30.00 FEET, A DELTA OF 90°02'14", AND A CHORD BEARING OF S 45°13'24" W, A DISTANCE OF 42.44 FEET, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 00°14'31" W, A DISTANCE OF 30.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

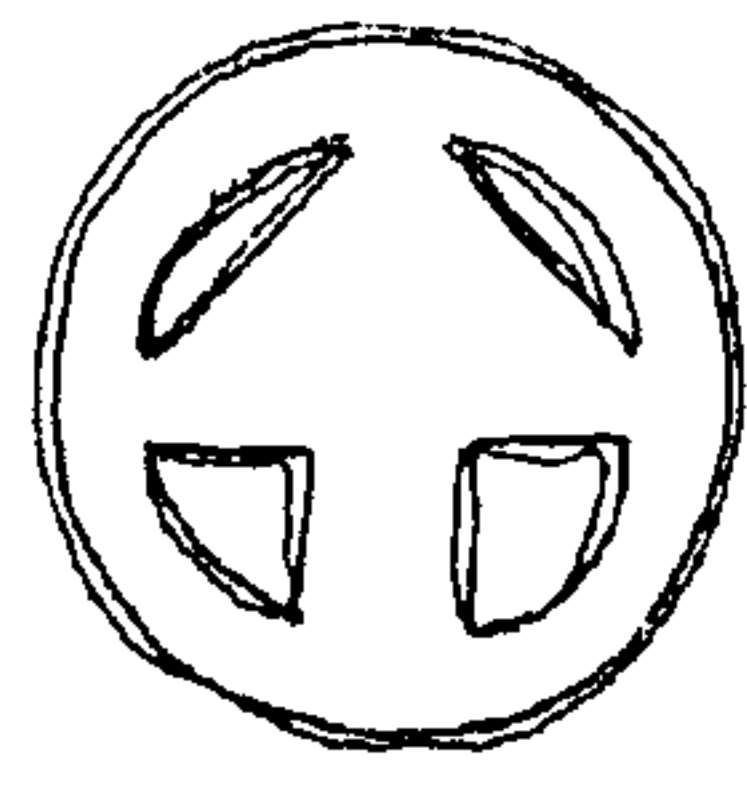
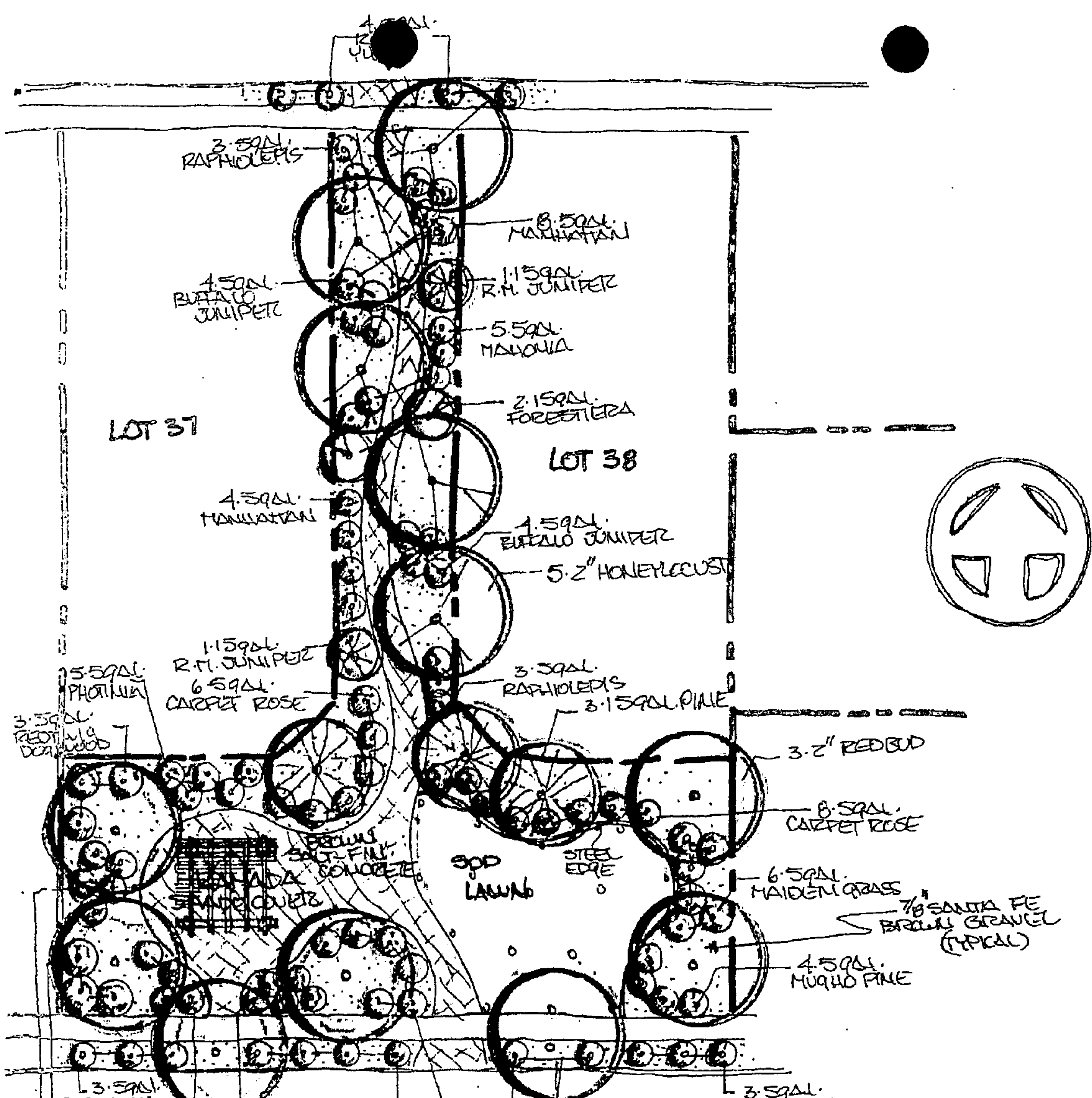
THENCE, N 89°45'29" W, A DISTANCE OF 579.92 FEET TO THE POINT OF BEGINNING, CONTAINING 6.6198 ACRES (288,359 SQ. FT.) MORE OR LESS.

LINE	LENGTH	BEARING
L1	10.27'	S 00°12'18" W
L2	4.26'	S 00°14'31" W
L3	25.74'	S 00°14'31" W
L4	30.00'	S 00°14'31" W
L5	28.08'	N 00°12'28" E
L6	20.00'	S 89°47'03" E
L7	14.14'	N 44°47'03" W
L8	32.00'	S 00°12'28" W (S 00°00'00" E)

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING	CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	39.27'	25.00'	89°55'20"	35.35'	S 44°47'23" E	C10	39.27'	25.00'	90°02'14"	35.35'	S 45°13'24" W
C2	47.14'	30.00'	90°02'14"	42.44'	S 45°13'24" W	C11	39.27'	25.00'	89°55'20"	35.35'	N 44°45'31" W
C3	39.27'	25.00'	89°55'20"	35.35'	S 44°47'17" E	C12	39.27'	25.00'	90°00'20"	35.35'	S 44°47'23" E
C4	39.27'	25.00'	89°55'20"	35.35'	N 45°17'37" E	C13	39.27'	25.00'	89°55'20"	35.35'	S 44°47'23" E
C5	39.27'	25.00'	89°55'20"	35.35'	N 44°45'37" W	C14	39.27'	25.00'	90°04'13"	35.35'	N 45°14'23" E
C6	39.27'	25.00'	89°55'20"	35.35'	S 45°11'57" W	C15	39.27'	25.00'	89°55'20"	35.35'	S 44°47'23" E
C7	39.27'	25.00'	89°55'20"	35.35'	S 44°48'03" E	C16	39.27'	25.00'	90°04'13"	35.35'	S 45°14'23" E
C8	39.27'	25.00'	89°55'20"	35.35'	N 45°11'57" E	C17	39.27'	25.00'	89°55'20"	35.35'	N 44°45'31" W
C9	39.27'	25.00'	89°55'20"	35.35'	N 44°48'03" W	C18	39.27'	25.00'	90°00'20"	35.35'	N 45°14'23" E

### CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244

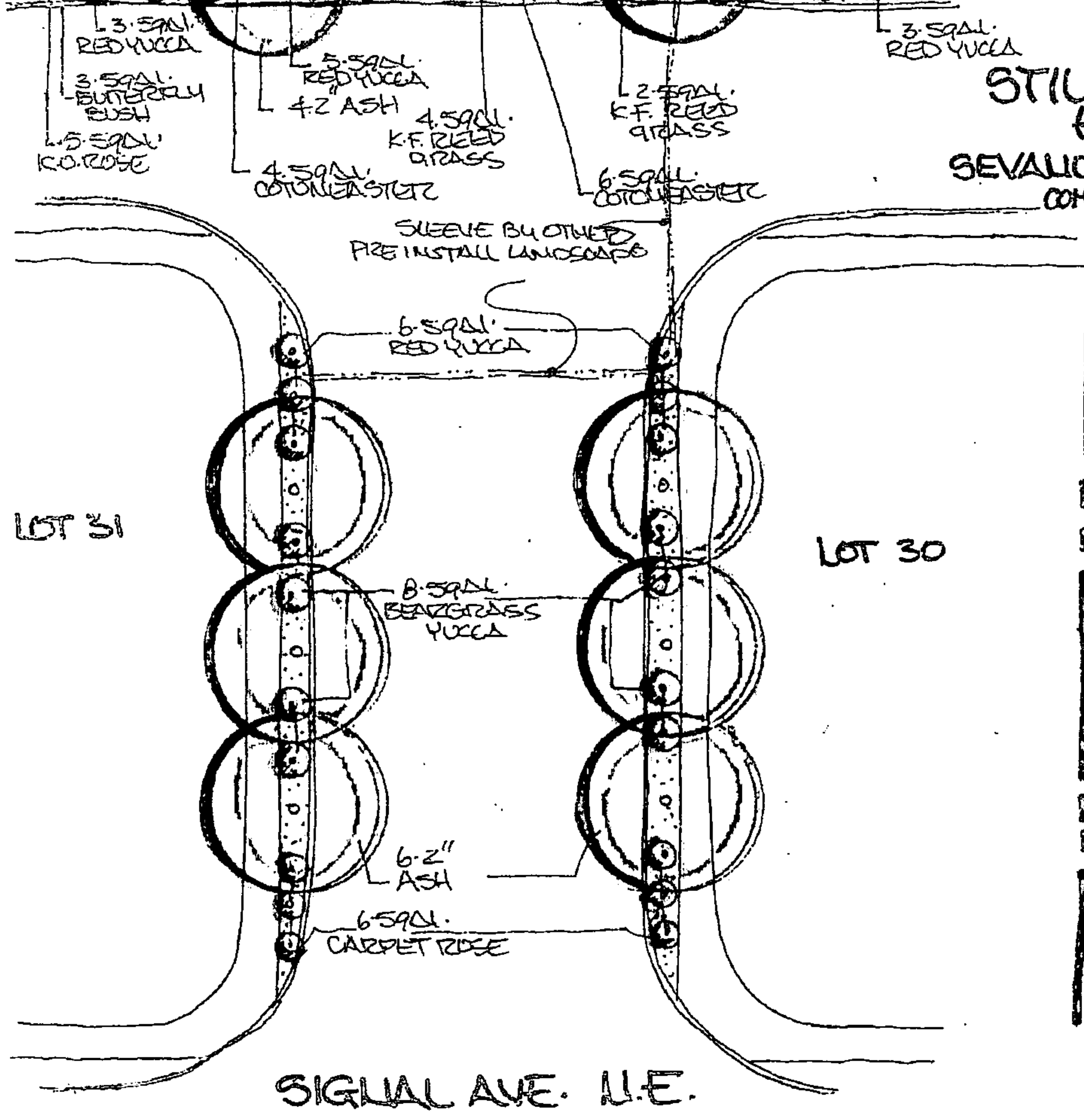


**STILLBROOKE  
HOMES  
SEVALD PLACE SUBDIV.  
COMMON AREA LANDSCAPE**

*The Hilltop*

SCALE:  
1"=20'

APRIL  
2014



SIGNAL AVE. N.E.

# SITE DEVELOPMENT PLAN FOR SUBDIVISION CHECKLIST

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission (EPC) and Development Review Board (DRB). Since development proposals vary in type and scale, there may be application requirements that are not included here and others that may not be necessary. Nonetheless, it is the applicant's responsibility to provide a complete submittal. The EPC and DRB will not consider incomplete submittals. Incomplete submittals run the risk of not being scheduled for hearing until they are made complete. Site development plans should ordinarily be composed of the following plan sheets:

1. **Site Plan** (required)
2. **Conceptual Utility Plan** (required)
3. **Design requirements for future site development plans for building permit** (optional, but STRONGLY recommended)

The following checklist describes the minimum information necessary for each sheet. Most of the site plan requirements for *Sheet #1* are taken from the definition for "SITE DEVELOPMENT PLAN For Subdivision" as outlined in the Zoning Code (§ 14-16-1-5). **The Applicant shall include and check off all items shown on the site plan or write in "n/a" if not applicable.**

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".**

## **SHEET # 1 – SITE PLAN** (Required)

1. Scale: at least 1" = 100'
2. Bar Scale
3. North Arrow
4. Scaled Vicinity Map
5. The Site (property lines)
6. Proposed Use(s) and List of Applicable Plans
7. Pedestrian Ingress and Egress (Access)
8. Vehicular Ingress and Egress (Access)
9. Any Internal Circulation Requirements
10. For each lot:
  - a. Maximum Building Height
  - b. Minimum Building Setback
  - c. Maximum Total Dwelling Units and / or
  - d. Maximum Floor Area Ratio (F.A.R.) for Nonresidential Uses

## **Accompanying Material**

- A. Fee payment
- B. Complete application
- C. Written Summary of Request including a narrative describing compliance with applicable plans and/or zoning requirements per §14-16-3-11(B) of the Comprehensive Zoning Code.
- D. 8-1/2" x 11" reductions

# SITE DEVELOPMENT PLAN FOR SUBDIVISION CHECKLIST

## DESIGN STANDARDS FOR FUTURE SITE DEVELOPMENT PLANS FOR BUILDING PERMIT (Optional but STRONGLY recommended)

**Note:** If applicant is requesting delegation of future phases of development or future site development plans for building permit to the DRB or other approval body, design standards should be provided to guide future development. The design standards should address the following elements of design at a minimum. The Design Standards should be written so that they can be enforced by the DRB and/or Code Enforcement plan check.

### Site Design

- Overall layout of site and buildings, relationship to adjacent sites
- Building placement, orientation, setbacks, and heights
- Pedestrian and vehicular connectivity (internal and external)
- Parking location and design (shared parking/cross parking is strongly encouraged)
- Public outdoor spaces including pedestrian amenities, shading, etc.
- Dumpster and service area locations and screening techniques
- Location, height, design and purpose of all walls and wall openings
- Location, height, design and purpose of all lighting
- Topographic challenges/opportunities
- Screening/buffering techniques
- Sustainable techniques such as permeable paving and other "green" features

### Street Realm

- Transit, bicycle, pedestrian amenities
- Landscape buffers, sidewalks and other amenities in the public r-o-w
- Street trees – location and type of trees

### Landscaping

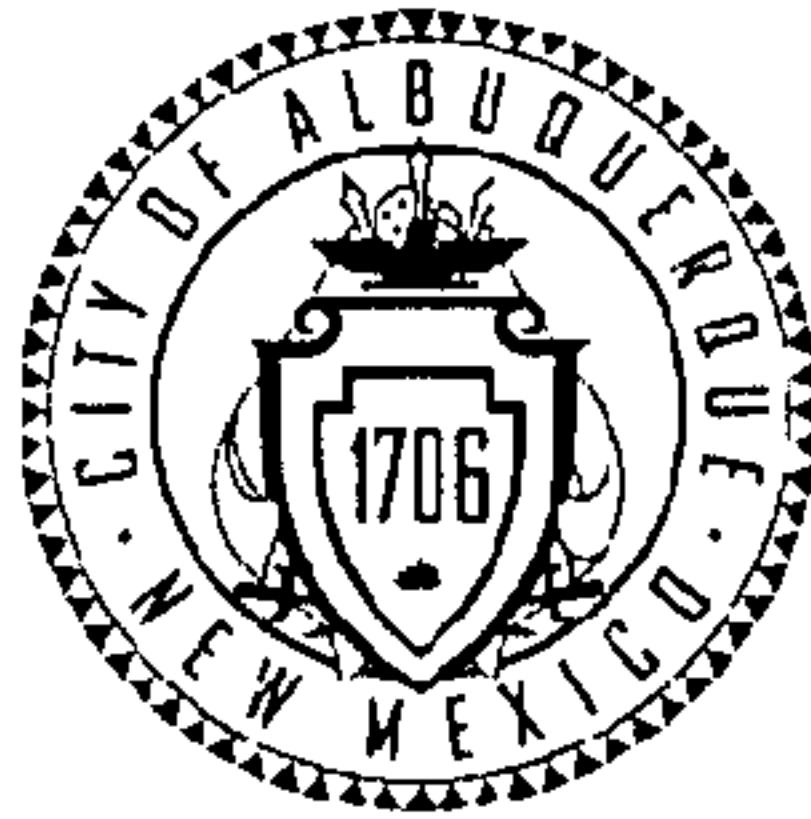
- Overall landscape theme including plant palette and general location, height, and purpose of plants and trees
- Water conservation techniques

### Building Design

- Context
- Architectural theme or style
- Building height, scale, massing, materials, colors, and articulation

### Signage

- Standards for wall-mounted and monument signs: location of signs; max. number of signs for entire site; max. height and face area of signs; and signage materials and lighting.



## City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

**PLEASE NOTE:** The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

April 3, 2014

Adil Rizvi  
Sevano Development, LLC  
7515 Treviso NE  
505-315-6484

Dear Adil:

Thank you for your inquiry of **April 3, 2014** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) – LOTS 13,14,15,16,17, 18, 19 AND 20, BLOCK 29, TRACT 2, UNIT B, NORTH ALBUQUERQUE ACRES, LOCATED ON SIGNAL AVENUE NE BETWEEN SAN PEDRO DRIVE NE AND LOUISIANA BOULEVARD NE** zone map **C-18**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this submittal and the contact names are as follows:

**SEE "ATTACHMENT A" FOR THE NAMES OF THE NA/HOA'S THAT NEED TO BE CONTACTED IN REGARDS TO THIS PLANNING SUBMITTAL – please attach this letter and "Attachment A" to your Application Packet ALONG with copies of the letters and certified mail receipts to the NA/HOA's – siw.**

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

*Stephani Winklepleck*

Stephani Winklepleck

Neighborhood Liaison

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

**LETTERS MUST BE SENT  
TO BOTH CONTACTS OF  
EACH NA/HOA FOR THIS  
PLANNING SUBMITTAL.**



# "ATTACHMENT A"

Adil Rizvi  
Sevano Development, LLC  
7515 Treviso NE  
505-315-6484  
Zone Map: C-18

## **WEST LA CUEVA N.A. "R"**

Peggy Neff, 8305 Calle Sequelle NE/87113 923-6409 (w)  
Brenda Holley, 8208 Santa Clarita St. NE/87113

## **NOR ESTE N.A. "R"**

Jeff Peterson, 7800 Eagle Rock Ave. NE/87122-2723 797-3477 (h)  
Joe Yardumian, 7801 R.C. Gorman Ave. NE/87122-2748 797-1851 (h)

## **SONORA H.O.A.**

Jen Ellefson, 6709 Suerte Pl. NE/87113 313-2183 (c)  
Maureen Perea, 6715 Suerte Pl. NE/87113 314-3041 (c)

# !!!Notice to Applicants!!!

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
  - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

## Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Thank you for your cooperation on this matter.

\*\*\*\*\*

(below this line for ONC use only)

Date of Inquiry: **04/03/14** Time Entered: **12:10 p.m.** Rep. Initials: **siw**

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 Street, Apt. No., or PO Box No. 7801 R.C. Gorman Ave. NE.  
 City, State, ZIP+4 Albuquerque, NM 87122

PS Form 3800, August 2006 See Reverse for Instructions

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 Street, Apt. No., or PO Box No. 7800 Eagle Rock Ave. NE.  
 City, State, ZIP+4 Albuquerque, NM 87122

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 Street, Apt. No., or PO Box No. 6715 Suerke Pl. NE.  
 City, State, ZIP+4 Albuquerque, NM 87113

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Sent To Peggy Neff  
 Street, Apt. No., or PO Box No. 8305 Calle Sequelle NE.  
 City, State, ZIP+4 Albuquerque, NM 87113

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Sent To Jon Ellefson  
 Street, Apt. No., or PO Box No. 6709 Suerke Pl. NE.  
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Sent To Jen Ellefson  
 Street, Apt. No., or PO Box No. 6709 Suerke Pl. NE.  
 City, State, ZIP+4 Albuquerque, NM 87113

June 6, 2014

To whom it may Concern

I, Shakeel Rizvi, hereby authorize Mr Ron Hensely of THE Group to act as an agent for Sevano Development LLC.

Please call me at 505-315-6563 for any questions

Shakeel Rizvi



Managing Member

Sevano Development U  
8504 Waterford NE  
Albuquerque, NM 87122  
505-315-6563

PROJECT #

1612001

July 9. 2014

SPS  
SPS



## INTER-OFFICE MEMORANDUM

### COMMENTING AGENCIES

DEBBIE BAUMAN, Transportation Development  
SHABIH RIZVI, Transit & Parking Department  
STEVE MONTIEL, Council of Governments  
LYNN MAZUR, AMAFCA  
STEVE SINK, APD Crime Prevention  
JAY LEE EVANS, Open Space Division  
RAY SANCHEZ, Fire Department  
DAVID KILPATRICK, Zoning Enforcement Inspector  
STEPHANI WINKLEPLECK, Neighborhood Coordination  
DANIEL ARAGON, Public Service Company of New Mexico  
PATRICK SANCHEZ, New Mexico Gas Company  
APRIL WINTERS, Albuquerque Public Schools  
MICHELE RAMIREZ, CenturyLink  
MIKE MORTUS, Comcast Cable  
RAY GOMEZ, Middle Rio Grande Conservancy District (MRGCD)  
SUZANNE BUSCH, Environmental Health

Your comments on the following case(s) are requested. Board hearing date:

PROJECT # 1005191

**Wednesday, August 29, 2012**

Comments must be received by:

**Friday, August 29, 2012**

If comments are not received by this date, "no comments" will be listed on the staff report. Attached are copies of the requests.

**If you have any questions, please contact me at 924-3946 or [agomez@cabq.gov](mailto:agomez@cabq.gov)**



Supplemental Form (SF)

<input checked="" type="checkbox"/> <b>SUBDIVISION</b>	<b>S</b>	<b>Z</b>	<b>ZONING &amp; PLANNING</b>
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action			
<input checked="" type="checkbox"/> Vacation	<b>V</b>		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input checked="" type="checkbox"/> Variance (Non-Zoning)			
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>		<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
<input type="checkbox"/> for Subdivision			<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment/Approval (AA)			
<input type="checkbox"/> IP Master Development Plan	<b>D</b>		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<b>L</b>	<b>A</b>	<b>APPEAL / PROTEST of...</b>
<b>STORM DRAINAGE (Form D)</b>			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): ADIL RIZVI PHONE: 315-6484  
 ADDRESS: 7515 Treviso NE FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: adil2424@yahoo.com

APPLICANT: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_  
 CITY: \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_ E-MAIL: \_\_\_\_\_

Proprietary interest in site: Agents for Alameda Development List all owners: Washington Federal Bank,

DESCRIPTION OF REQUEST: PRELIMINARY PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes  No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots 13, 14, 15, 16, 17, 18, 19 AND 20 Block: 29 Unit: B  
 Subdiv/Addn/TBKA: Tract A, North Albuquerque Acres  
 Existing Zoning: R-D Proposed zoning: R-D MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): C-18 UPC Code: \_\_\_\_\_

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):  
1005191 - Application No: 12-70136

CASE INFORMATION:

Within city limits?  Yes Within 1000FT of a landfill? No  
 No. of existing lots: 8 No. of proposed lots: 35 Total site area (acres): 6.84 Ac.  
 LOCATION OF PROPERTY BY STREETS: On or Near: Louisiana (west side)  
 Between: Alameda Blvd and Signal Ave

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: May 9, 2012

SIGNATURE ADIL RIZVI DATE Aug 3, 2012  
 (Print Name) ADIL RIZVI Applicant:  Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers  
12 ORB 70235  
70236  
70237  
70238

Revised: 4/2012

Action	S.F.	Fees
<u>VRW</u>	_____	\$ <u>300.00</u>
<u>LWF</u>	_____	\$ <u>20.00</u>
<u>ADV</u>	_____	\$ <u>75.00</u>
<u>SV</u>	_____	\$ <u>0</u>
<u>TOS</u>	_____	\$ <u>0</u>
<u>PP</u>	_____	Total <u>1,090.00</u>
		\$ <u>1,485.00</u>

Hearing date August 29, 2012

Project # 1005191

8-3-12  
 Staff signature & Date



- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE) **24 copies**
- Application for Minor Plat on FORM S-3, including those submittal requirements.
  - Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
  - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**  
(Not required for City owned public right-of-way.)
  - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
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**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- SIDEWALK VARIANCE (DRB20)**
- SIDEWALK WAIVER (DRB21)** **6 copies**
- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14")
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the variance or waiver
  - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)** **24 copies**
- Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14")
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the variance
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
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- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)** **6 copies**
- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14")
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the deferral or extension
  - List any original and/or related file numbers on the cover application
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- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)**
- The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
  - Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
  - Letter of authorization from the grantors and the beneficiaries (private easement only)
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
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**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Adil Rizvi  
Applicant name (print)

Adil Rizvi 8/3/2012  
Applicant signature / date



Ferm revised 4/07

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- |                          |  |
|--------------------------|--|
| Application case numbers |  |
| 12 - DRB - 70235         |  |
| - - - 70236              |  |
| - - - 70237              |  |

[Signature] 8-3-12  
Planner signature / date

Project # 1005191

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. \_\_\_\_\_
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. \_\_\_\_\_
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

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I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Adil Rizvi

Applicant name (print)

Adil Rizvi

8/3/2012

Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
12 - DRB - 70238  
 \_\_\_\_\_  
 \_\_\_\_\_

[Signature] 8-3-12  
 Planner signature / date  
 Project # 1005191

Mr Jack Cloud  
DRB Chairman  
Planning Department  
City of Albuquerque  
Albuquerque  
New Mexico 87102

08-03-2012

SEVANO PLACE SUBDIVISION: PROJECT NO: 1005191  
REQUEST FOR PRELIMINARY PLAT APPROVAL AND APPROVAL  
OF THE INFRA STRUCTURE LIST.

Dear Mr Cloud:

On behalf of Alameda Development Group, I am requesting approval of the preliminary plat for the proposed Sevano Place Subdivision.

The project is located on Louisiana Blvd between Alameda Blvd and Signal Avenue – City Zone Atlas C-18.

The site is within the boundaries of North I-25 Sector Development Plan and all the pertaining to perimeter walls and street landscaping shall be in conformance with the design standards outlined in the North I-25 Sector plan.

The proposed subdivision consists of 35 subdivided lots ranging from 5000 SF to 6000 SF. Each lot is designed to meet the open space requirement of 2400 SF.

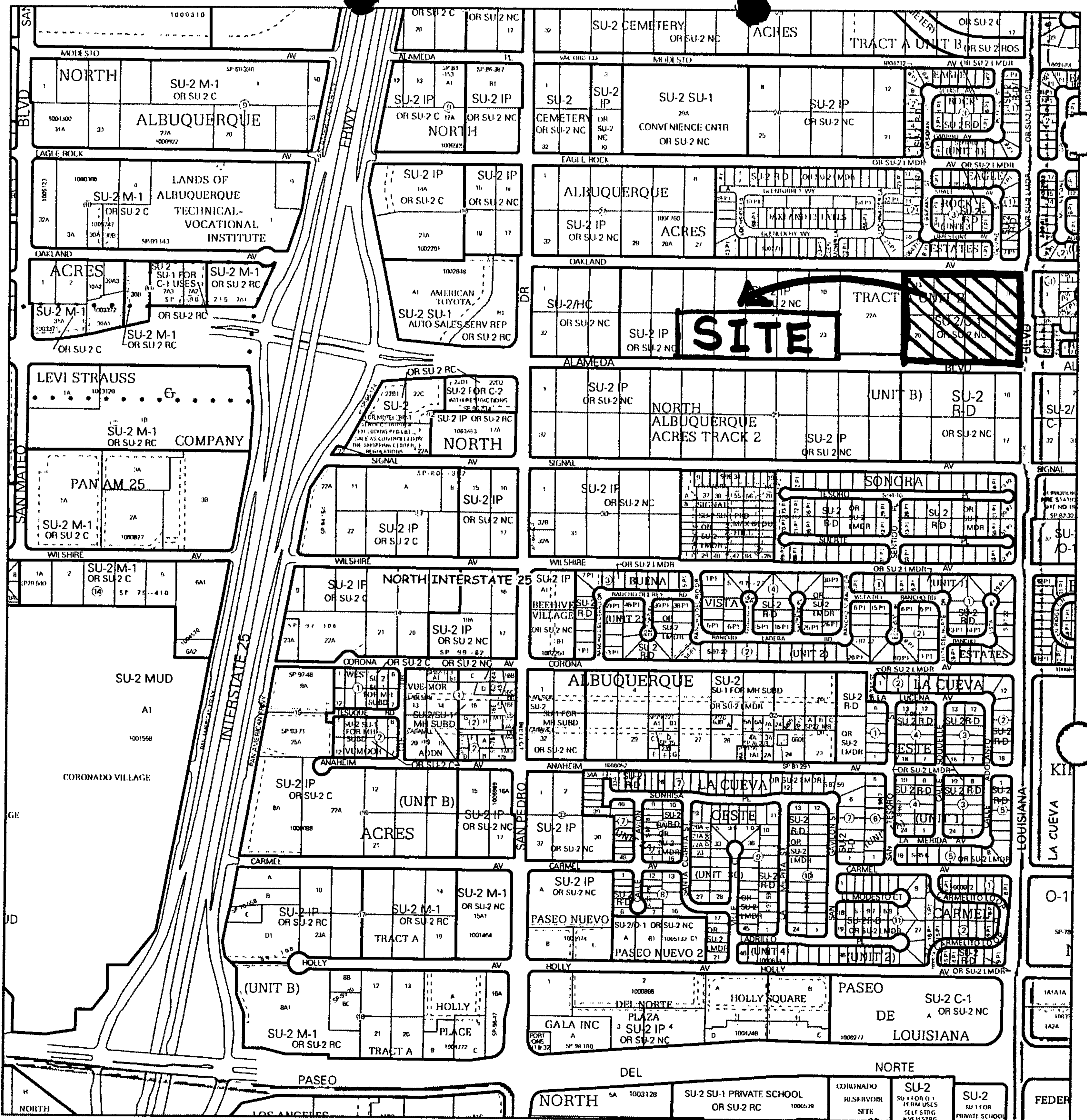
We are also requesting vacation of five (5) feet of Public Right of Way on Signal Avenue, deferral of all internal sidewalks around Sevano Circle and internal sidewalk variance as shown on Exhibit A.

If you have any questions please call me at 315-6484. Thank you very much for your cooperation.

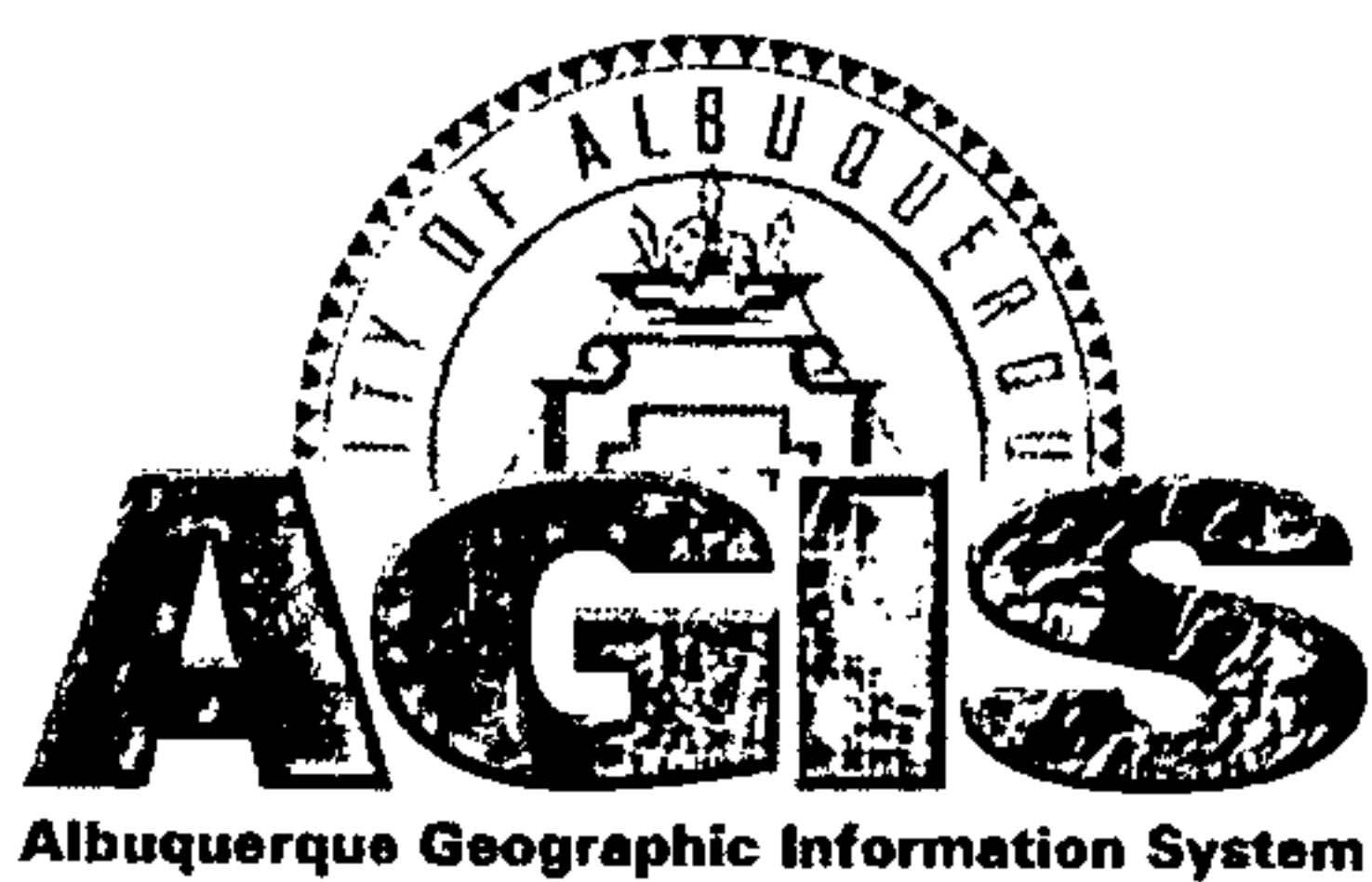
Sincerely,



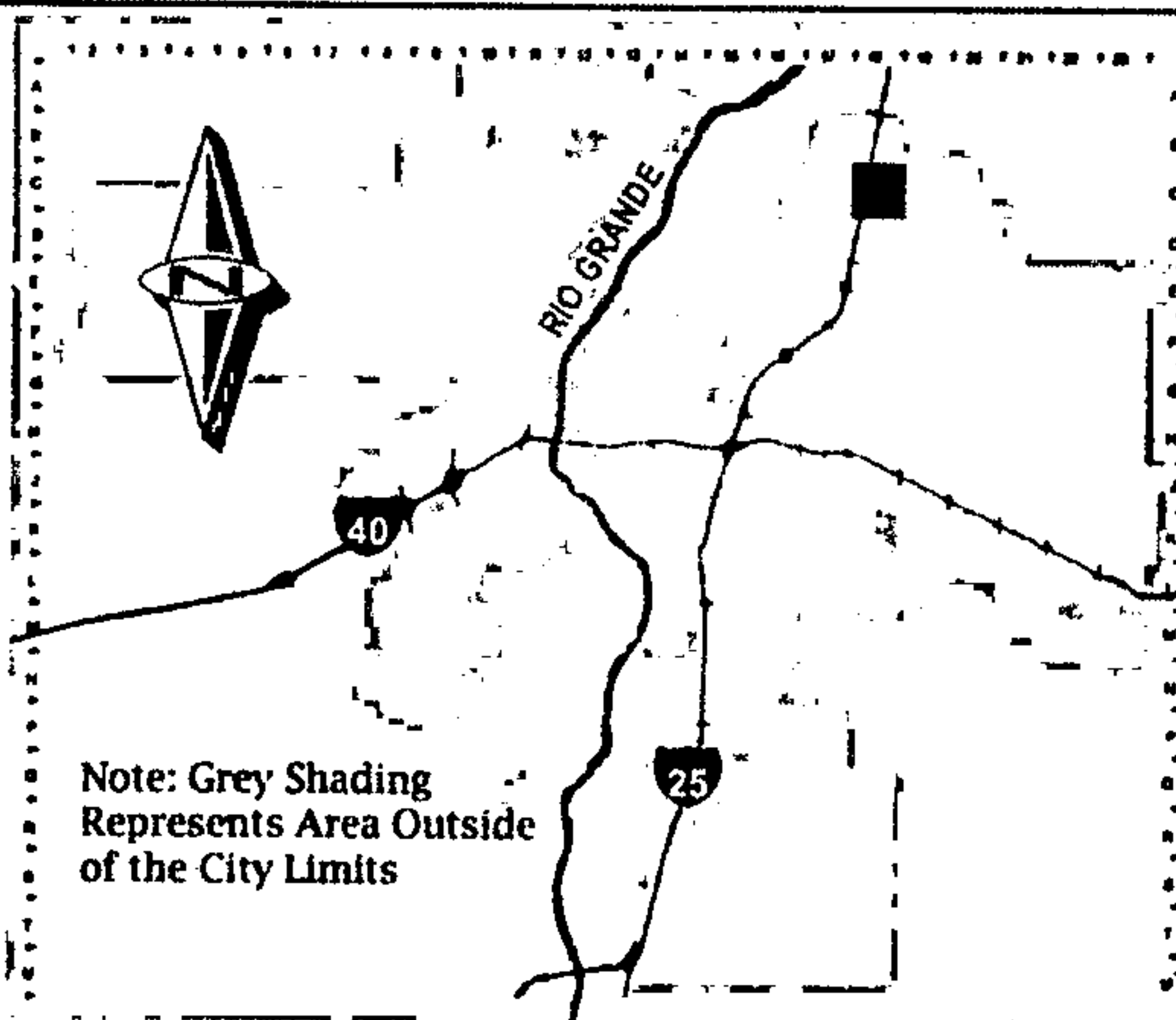
Adil Rizvi  
7515 Treviso Court  
Albuquerque  
NM 87107  
adil1424@yahoo.com



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 1/24/2011

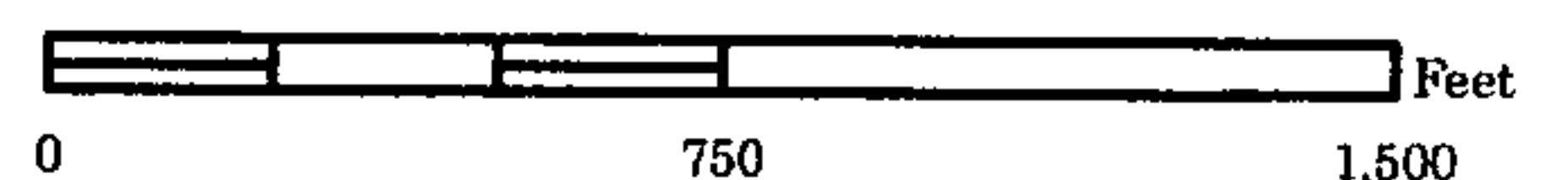


Zone Atlas Page:

**C-18-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): ADIL RIZVI PHONE: 315-6484  
 ADDRESS: 7515 Treviso NE FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: adil2424@yahoo.com

APPLICANT: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_  
 CITY: \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_ E-MAIL: \_\_\_\_\_

Proprietary interest in site: Agents for Alameda Development List all owners: Washington Federal Bank,

DESCRIPTION OF REQUEST: PRELIMINARY PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lots 13, 14, 15, 16, 17, 18, 19 AND 20 Block: 29 Unit: B  
 Subdiv/Addn/TBKA: Tract A, North Albuquerque Acres  
 Existing Zoning: R-D Proposed zoning: R-D MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): C-18 UPC Code: \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.):  
1005191 - Application No: 12-70136

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? No  
 No. of existing lots: 8 No. of proposed lots: 35 Total site area (acres): 6.84 Ac.  
 LOCATION OF PROPERTY BY STREETS: On or Near: Louisiana (west side)  
 Between: Alameda Blvd and Signal Ave

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: May 9, 2012

SIGNATURE Adil Rizvi DATE Aug 3, 2012  
 (Print Name) ADIL RIZVI Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12 DRB - 70235</u>	<u>VRW</u>	_____	<u>\$300.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u><del>70235</del></u>	<u>LMF</u>	_____	<u>\$20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>ADV</u>	_____	<u>\$75.00</u>
<input type="checkbox"/> AGIS copy has been sent	_____	<u>SU</u>	_____	<u>\$0</u>
<input type="checkbox"/> Case history #s are listed	<u>70236</u>	<u>TDS</u>	_____	<u>\$0</u>
<input type="checkbox"/> Site is within 1000ft of a landfill	<u>70237</u>	<u>PP</u>	_____	<u>\$0</u>
<input type="checkbox"/> F.H.D.P. density bonus	<u>70238</u>			<u>Total 1,090.00</u>
<input type="checkbox"/> F.H.D.P. fee rebate				<u>\$1,485.00</u>

Hearing date August 29, 2012

8-3-12  
 Staff signature & Date

Project # 1005191

**BULK LAND VARIANCE (DRB04)**

(PUBLIC HEARING CASE)

- Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
- Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
- Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
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**VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**

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(Not required for City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
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**SIDEWALK WAIVER (DRB21)**

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
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- Letter briefly describing, explaining, and justifying the variance or waiver
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**SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**

- Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the variance
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**EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
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Adil Rizvi  
 Applicant name (print)  
Adil Rizvi 8/3/2012  
 Applicant signature / date

  
 Form revised 4/07  
[Signature] 8-3-12  
 Planner signature / date  
 Project # 1005191

- Checklists complete
  - Fees collected
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  - Related #s listed
- Application case numbers  
12 - DRB - 70235  
- - 70236  
- - 70237

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
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- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
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MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
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MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
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- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
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Adil Rizvi  
 Applicant name (print)  
Adil Rizvi 8/3/2012  
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
12 - DRB - 70238  
 \_\_\_\_\_  
 \_\_\_\_\_

[Signature] 8-3-12  
 Planner signature / date  
 Project # 1005191

# !!!Notice to Applicants!!!

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
  - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

## Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Thank you for your cooperation on this matter.

\*\*\*\*\*

(below this line for ONC use only)

Date of Inquiry: **08/02/12** Time Entered: **1:55 p.m.** ONC Rep. Initials: **siw**



**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE-NM 87113 **OFFICIAL USE**

Postage	\$	\$0.45
Certified Fee		\$2.95
Return Receipt Fee (Endorsement Required)		\$2.35
Restricted Delivery Fee (Endorsement Required)		\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$</b>	<b>\$5.75</b>

Sent To **Maurcen Perea** USPS  
 Street, Apt. No., or PO Box No. **6715 Suerle Pl. NE.**  
 City, State, ZIP+4 **Albuquerque, NM 87113**

PS Form 3800, August 2006 See Reverse for Instructions

7012 0470 0000 8617 1105

**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE-NM 87122 **OFFICIAL USE**

Postage	\$	\$0.45
Certified Fee		\$2.95
Return Receipt Fee (Endorsement Required)		\$2.35
Restricted Delivery Fee (Endorsement Required)		\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$</b>	<b>\$5.75</b>

Sent To **Jeff Peterson** USPS  
 Street, Apt. No., or PO Box No. **7800 Eagle Rock Ave,**  
 City, State, ZIP+4 **Albuquerque, NM 87122-27**

PS Form 3800, August 2006 See Reverse for Instructions

**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE-NM 87113 **OFFICIAL USE**

Postage	\$	\$0.45
Certified Fee		\$2.95
Return Receipt Fee (Endorsement Required)		\$2.35
Restricted Delivery Fee (Endorsement Required)		\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$</b>	<b>\$5.75</b>

Sent To **Eric Bose** USPS  
 Street, Apt. No., or PO Box No. **7200 Peregrine, NE**  
 City, State, ZIP+4 **Albuquerque, NM 87113**

PS Form 3800, August 2006 See Reverse for Instructions

7012 0470 0000 8617 1144

**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE-NM 87113 **OFFICIAL USE**

Postage	\$	\$0.45
Certified Fee		\$2.95
Return Receipt Fee (Endorsement Required)		\$2.35
Restricted Delivery Fee (Endorsement Required)		\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$</b>	<b>\$5.75</b>

Sent To **Peggy Neff** USPS  
 Street, Apt. No., or PO Box No. **8305 Calle Sequelle, NE**  
 City, State, ZIP+4 **Albuquerque, NM 87113**

PS Form 3800, August 2006 See Reverse for Instructions

**CERTIFIED MAIL™ RECEIPT**  
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ALBUQUERQUE-NM 87113 **OFFICIAL USE**

Postage	\$	\$0.45
Certified Fee		\$2.95
Return Receipt Fee (Endorsement Required)		\$2.35
Restricted Delivery Fee (Endorsement Required)		\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$</b>	<b>\$5.75</b>

Sent To **Lee Hanson** USPS  
 Street, Apt. No., or PO Box No. **6909 La Lucena Ave, NE**  
 City, State, ZIP+4 **Albuquerque, NM 87113**

PS Form 3800, August 2006 See Reverse for Instructions

7012 0470 0000 8617 1112

**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE-NM 87113 **OFFICIAL USE**

Postage	\$	\$0.45
Certified Fee		\$2.95
Return Receipt Fee (Endorsement Required)		\$2.35
Restricted Delivery Fee (Endorsement Required)		\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$</b>	<b>\$5.75</b>

Sent To **Jen Ellefson** USPS  
 Street, Apt. No., or PO Box No. **6709 Suerle Pl. NE.**  
 City, State, ZIP+4 **Albuquerque, NM 87113**

PS Form 3800, August 2006 See Reverse for Instructions

**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE, NM 87113 ALBUQUERQUE, NM

Postage	\$	\$0.45	0109
Certified Fee		\$2.95	
Return Receipt Fee (Endorsement Required)		\$2.35	
Restricted Delivery Fee (Endorsement Required)		\$0.00	
Total Postage & Fees	\$	\$5.75	

09 AUG 2 2012  
Postmark Here

08/03/2012  
USPS

Sent To Judie Pelligrino  
 Street, Apt. No., 8515 Myrelet, NE  
 or PO Box No. Albuquerque, NM 87113  
 City, State, ZIP+4

PS Form 3800, August 2006. See Reverse for Instructions

**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE, NM 87121 ALBUQUERQUE, NM

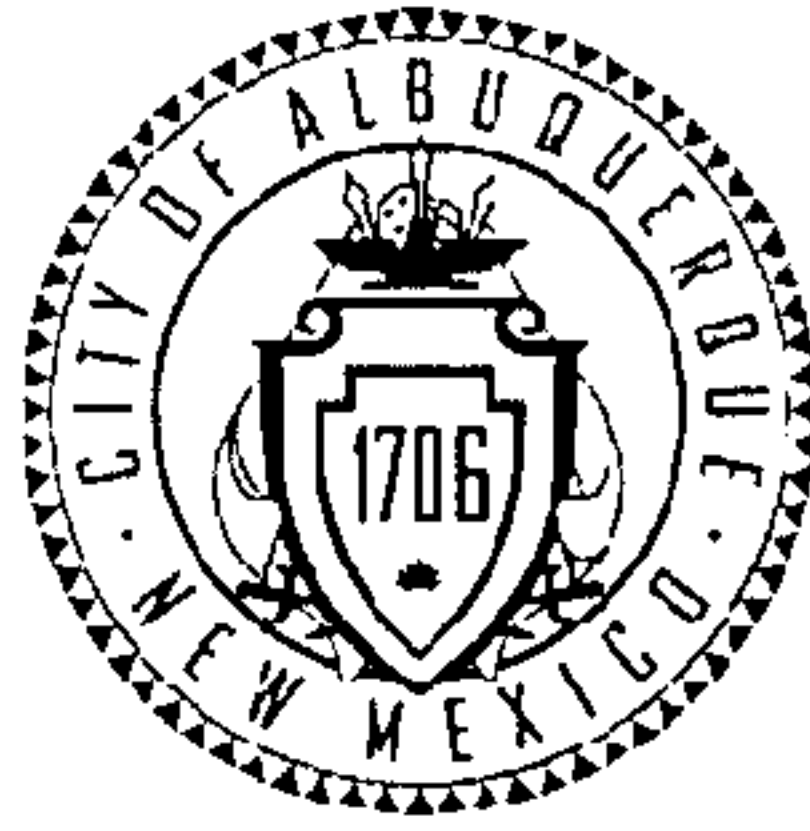
Postage	\$	\$0.45	0109
Certified Fee		\$2.95	
Return Receipt Fee (Endorsement Required)		\$2.35	
Restricted Delivery Fee (Endorsement Required)		\$0.00	
Total Postage & Fees	\$	\$5.75	

ACADAMY STANBUOVER  
 09 AUG 3 2012  
 Postmark Here

08/03/2012  
 USPS

Sent To Joe Yardumars  
 Street, Apt. No., 7801 R.C. Gorman Ave  
 or PO Box No. Albuquerque, NM 87112  
 City, State, ZIP+4

PS Form 3800, August 2006. See Reverse for Instructions



## City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

August 2, 2012

Advil Rizvi/Larry Read  
Larry Read and Associates  
7515 Treviso NE/87113  
Phone: 505-315-6484

Dar Advil and/or Larry:

Thank you for your inquiry of **August 2, 2012** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – LOTS 13, 14, 15; 16, 17, 18, 19 AND 20, BLOCK 29, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, LOCATED ON LOUISIANA BOULEVARD NE BETWEEN ALAMEDA BOULEVARD NE AND SIGNAL AVENUE NE** zone map **C-18**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

**SEE "ATTACHMENT A" FOR THE NAMES OF THE ASSOCIATIONS/COALITIONS TO CONTACT IN REGARDS TO THIS DRB SUBMITTAL - swinklepleck**

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

*Stephani Winklepleck*

Stephani Winklepleck  
Neighborhood Liaison  
OFFICE OF NEIGHBORHOOD COORDINATION  
Planning Department

**PLEASE NOTE:** The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

**LETTERS MUST BE  
SENT TO BOTH  
CONTACTS OF EACH  
NA/HOA FOR THIS  
PLANNING SUBMITTAL.**

# “ATTACHMENT A”

Advil Rizvi/Larry Read  
Larry Read and Associates  
7515 Treviso NE/87113  
Phone: 505-315-6484  
Zone Map: C-18

## **NOR ESTE N.A. “R”**

### **\*Jeff Peterson**

✓ 7800 Eagle Rock Ave. NE/87122-2723 797-3477 (h)

✓ Joe Yardumian

7801 R.C. Gorman Ave. NE/87122-2748 797-1851 (h)

## **NORTH DOMINGO BACA N.A. “R”**

### ✓ **\*Judie Pellegrino**

8515 Murrelet NE/87113 821-8516 (h)

Erik Bose

✓ 7200 Peregrine NE/87113 459-4439 (c)

## **SONORA H.O.A.**

### ✓ **\*Jen Ellefson**

6709 Suerte Pl. NE/87113 313-2183 (c)

Maureen Perea

✓ 6715 Suerte Pl. NE/87113 797-1064 (h)

## **WEST LA CUEVA N.A.**

### ✓ **\*Peggy Neff**

8305 Calle Sequelle NE/87113 823-1041 (h)

Lee Hanson

6909 La Lucena Ave. NE/87113 822-6372 (h)

\* **president of neighborhood association**

Mr Lee Hanson  
6715 Suerte Place NE  
Albuquerque  
New Mexico 87113

08-03-2012

SEVANO PLACE SUBDIVISION: PROJECT NO: 1005191  
REQUEST FOR PRELIMINARY PLAT APPROVAL AND APPROVAL  
OF THE INFRA STRUCTURE LIST.

Dear Mr Hanson:

On behalf of Alameda Development Group, I am requesting approval of the preliminary plat for the proposed Sevano Place Subdivision. The project is located on Louisiana Blvd ( West Side ) between Alameda Blvd and Signal Avenue – City Zone Atlas C-18. The site is within the boundaries of North I-25 Sector Development Plan and the design of perimeter walls and street landscaping shall be in conformance with the design standards outlined in the North I-25 Sector plan.

The proposed subdivision consists of 35 subdivided lots ranging from 5000 SF to 6000 SF. Each lot is designed to meet the open space requirement of 2400 SF.

If you have any questions please call me at 315-6484. Thank you very much for your cooperation and support.

Sincerely,



Adil Rizvi  
7515 Treviso Court  
Albuquerque  
NM 87107  
adil1424@yahoo.com

**FORM V: SUBDIVISION VARIANCES & VACATIONS**

**BULK LAND VARIANCE (DRB04)**

**(PUBLIC HEARING CASE)**

- \_\_\_ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
- \_\_\_ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
- \_\_\_ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- \_\_\_ Sign Posting Agreement
- \_\_\_ Fee (see schedule)
- \_\_\_ List any original and/or related file numbers on the cover application

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**VACATION OF PUBLIC EASEMENT (DRB27)**

**VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**

- \_\_\_ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**  
(Not required for City owned public right-of-way.)
- \_\_\_ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
- \_\_\_ Letter briefly describing, explaining, and justifying the request
- \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- \_\_\_ Sign Posting Agreement
- \_\_\_ Fee (see schedule)
- \_\_\_ List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**SIDEWALK VARIANCE (DRB20)**

**SIDEWALK WAIVER (DRB21)**

- \_\_\_ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
- \_\_\_ Letter briefly describing, explaining, and justifying the variance or waiver
- \_\_\_ List any original and/or related file numbers on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

**SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**

- \_\_\_ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
- \_\_\_ Letter briefly describing, explaining, and justifying the variance
- \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- \_\_\_ Sign Posting Agreement
- \_\_\_ Fee (see schedule)
- \_\_\_ List any original and/or related file numbers on the cover application

**DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**

**EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**

- \_\_\_ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
- \_\_\_ Letter briefly describing, explaining, and justifying the deferral or extension
- \_\_\_ List any original and/or related file numbers on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

**VACATION OF PRIVATE EASEMENT (DRB26)**

**VACATION OF RECORDED PLAT (DRB29)**

- \_\_\_ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
- \_\_\_ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
- \_\_\_ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
- \_\_\_ Letter of authorization from the grantors and the beneficiaries (private easement only)
- \_\_\_ Fee (see schedule)
- \_\_\_ List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

\_\_\_\_\_  
Applicant name (print)

\_\_\_\_\_  
Applicant signature / date



Form revised 4/07

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 \_\_\_\_\_ - \_\_\_\_\_ - 7 0261  
 \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_  
 \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

\_\_\_\_\_  
Planner signature / date

Project # \_\_\_\_\_

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.


4. TIME

Signs must be posted from August 14, 2012 To August 29, 2012

5. REMOVAL


- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

  
(Applicant or Agent)

8/3/2012  
(Date)

I issued 2 signs for this application, 8-3-12  
(Date)

  
(Staff Member)

DRB PROJECT NUMBER: 1005191

PROJECT#

1005191

AUGUST 29. 2015

VRU  
SV  
TDS  
A



# City of Albuquerque Planning Department

## DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

### DEVELOPMENT REVIEW BOARD

08/03/2012 Issued By: BLDAVM 157221

Category Code **910**  
**2012 070 235**

**Application Number:** 12DRB-70235, Vacation Of Public Right-Of-Way

**Address:**

**Location Description:** LOUISIANA BETWEEN ALAMEDA AND SIGNAL

**Project Number:** 1005191

#### Applicant

ADIL RIZVI  
ADIL RIZVI  
7515 TREVISO NE  
ALBUQUERQUE NM 87113

adilr@thegroup.cc

#### Agent / Contact

ADIL RIZVI  
ADIL RIZVI  
7515 TREVISO NE  
ALBUQUERQUE NM 87113

ADILR@THEGROUP.CC

#### Application Fees

<b>APN Fee</b>	<b>\$75.00</b>
<b>Conflict Mgmt Fee</b>	<b>\$20.00</b>
<b>DRB Actions</b>	<b>\$300.00</b>
<b>TOTAL:</b>	<b>\$395.00</b>

City of Albuquerque Treasury  
Date: 8/3/2012 Office: ANNEX  
Stat ID: W5000007 Cashier: TRSCXG  
Batch: 568 Trans #: 24  
Permit: 2012070235  
Receipt Num: 00040424  
Payment Total: \$395.00  
0900 APN Fee \$75.00  
0901 Conflict Mgmt Fee \$20.00  
0903 DRB Actions \$300.00  
Check Tendered : \$1,485.00

# City of Albuquerque Planning Department

## DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

### DEVELOPMENT REVIEW BOARD

08/03/2012 Issued By: BLDAVM 157230

Category Code **910**  
**2012 070 238**

**Application Number:** 12DRB-70238, Major - Preliminary Plat Approval

**Address:**

**Location Description:** LOUISIANA BETWEEN ALAMEDA AND SIGNAL

**Project Number:** 1005191

**Applicant**

ADIL RIZVI  
ADIL RIZVI  
7515 TREVISO NE  
ALBUQUERQUE NM 87113

adilr@thegroup.cc

**Agent / Contact**

ADIL RIZVI  
ADIL RIZVI  
7515 TREVISO NE  
ALBUQUERQUE NM 87113

ADILR@THEGROUP.CC

**Application Fees**

**APN Fee**

**Conflict Mgmt Fee**

**DRB Actions** \$1,090.00

**TOTAL:** \$1,090.00

City of Albuquerque Treasury  
Date: 8/3/2012 Office: ANNEX  
Stat ID: WS0000007 Cashier: TRSCXG  
Batch: 568 Trans #: 24  
Permit: 2012070238  
Receipt Num 00040425  
Payment Total: \$1,090.00  
0903 DRB Actions \$1,090.00  
Check Tendered : \$1,485.00

*Ind Ref  
9-28-12*

**INFRASTRUCTURE LIST**

Current DRC  
Project Number: \_\_\_\_\_

**FIGURE 12**

Date Submitted: 8/3/2012  
Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No.: 1005191  
DRB Application No.: \_\_\_\_\_

**INFRASTRUCTURE LIST**

**EXHIBIT "A"  
TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**SEVANO PLACE SUBDIVISION**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**LOTS 13 - 20 , BLOCK 29 , TRACT A , UNIT B , NORTH ALBUQUERQUE ACRES**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>	28 F-F	PERMANENT PAVEMENT , CURB AND GUTTER , 4' SIDE WALK **	SEVANO CIRCLE	ENTIRE SEVANO	CIRCLE	/	/	/
<input type="text"/>	<input type="text"/>	30' F-F	ARTERIAL PAVING WITH MEDIAN , STD CURB AND GUTTER AND 6' SIDE WALK ( SOUTH SIDE ONLY ) ***	ALAMEDA BLVD	EAST PROP LINE	WEST PROP LINE	/	/	/
<input type="text"/>	<input type="text"/>	30' F-F	ARTERIAL PAVING WITH MEDIAN , STD CURB AND GUTTER AND 6' SIDE WALK ( WEST SIDE ONLY ) ***	LOUISIANA BLVD	NORTH PL	SOUTH PL	/	/	/
<input type="text"/>	<input type="text"/>	6"	WATER LINE	SEVANO CIRCLE	ENTIRE SEVANO	CIRCLE	/	/	/
<input type="text"/>	<input type="text"/>	8"	SANITARY SEWER LINE	SEVANO CIRCLE	ENTIRE SEVANO	CIRCLE	/	/	/
<input type="text"/>	<input type="text"/>	8"	WATER LINE ***	ALAMEDA BLVD	WEST PROP LINE	EAST PROP LINE	/	/	/
<input type="text"/>	<input type="text"/>	8"	SANITARY SEWER LINE ***	ALAMEDA BLVD	WEST PROP LINE	EAST PROP LINE	/	/	/
<input type="text"/>	<input type="text"/>	42"	RCP STORM DRAIN	ALAMEDA BLVD	WEST PROP LINE	EAST PROP LINE	/	/	/
<input type="text"/>	<input type="text"/>	6'	PCC SIDE WALK	SIGNAL AVE	WEST PROP LINE	EAST PROP LINE	/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		2.8 AC-FT	TEMP RETENTION POND WITH EASEMENT , COVENANT AND AGREEMENT	LOT 11 , B 29, TR A UNIT B , NORTH ALBQ ACRES	LEONIDAS LANE	CITY POND	/	/	/
							/	/	/

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA  
Street Lights per City Requirements

- 1 \_\_\_\_\_ \*\* INTERNAL SIDEWALK ON SEVANO CIRCLE TO BE DEFERRED
- 2 \_\_\_\_\_ \*\*\*THESE ITEMS WILL BE FINANCIALLY GUARANTEED
- 3 \_\_\_\_\_ ENGINEERS CERTIFICATION OF THE GRADING PLAN REQUIRED FOR RELEASE OF FIANACIAL GUARANTEES AND SIA
- 4 \_\_\_\_\_ STORM DRAIN TO INCLUDE MANHOLES AND INLETS

<b>AGENT / OWNER</b>	<b>DEVELOPMENT REVIEW BOARD MEMBER APPROVALS</b>
----------------------	--

**ADIL RIZVI - AGENT**  
NAME (print)

**ALAMEDA DEVELOPMENT**  
FIRM  
*Adil Rizvi* **8-3-2012**  
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT  
THE IMPROVEMENTS WITHOUT A DRB  
EXTENSION: \_\_\_\_\_

_____ DRB CHAIR - date	_____ PARKS & GENERAL SERVICES - date
_____ TRANSPORTATION DEVELOPMENT - date	_____ AMAFCA - date
_____ UTILITY DEVELOPMENT - date	_____ - date
_____ CITY ENGINEER - date	_____ - date

<b>DESIGN REVIEW COMMITTEE REVISIONS</b>
--

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): ADIL RIZVI PHONE: 315-6484  
 ADDRESS: 7515 TRINISO CT. NE FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: adill424@yahoo.com

APPLICANT: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_  
 CITY: \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_ E-MAIL: \_\_\_\_\_

Proprietary interest in site: Agent/owner List all owners: Washington Federal Bank

DESCRIPTION OF REQUEST: Sketch Plat Review

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. lots 13, 14, 15, 16, 17, 18, 19 & 20 Block: 29 Unit: TRA, UB  
 Subdiv/Addn/TBKA: North Albuquerque Acres  
 Existing Zoning: R-D Proposed zoning: R-D MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): C-18 UPC Code: \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.):  
DRB Project # 1005191, DRB Apl. # 06 DRB 01454

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? No  
 No. of existing lots: 8 No. of proposed lots: 42 Total site area (acres): 6.84  
 LOCATION OF PROPERTY BY STREETS: On or Near: LOUISIANA  
 Between: ALAMEDA and SIGNAL

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE adil rizvi DATE 5/1/2012  
 (Print Name) ADIL RIZVI Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 6/2011

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12DRB 70136</u>	<u>SK</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ <u>0</u>

Hearing date May 9, 2012

[Signature] Staff signature & Date 5-1-12

Project # 1005191

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAT REVIEW AND COMMENT (DRB22)**

**Maximum Size: 24" x 36"**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)**

**Maximum Size: 24" x 36"**

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)**

**Maximum Size: 24" x 36"**

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**

**FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- Solid Waste Management Department signature on Site Plan for Building Permit
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

ADIL RIZVI  
Applicant name (print)  
adil 5/1/12  
Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
12DRB - 70136

Von 5-1-12  
Planner signature / date  
Project # 1005191



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- V**  Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- P**  Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- D**  Street Name Change (Local & Collector)
- L A** **APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): ADIL RIZVI PHONE: 315-6484  
 ADDRESS: 7515 TREVISO CT. NE FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: adill424@yahoo.com

APPLICANT: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_  
 CITY: \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_ E-MAIL: \_\_\_\_\_

Proprietary interest in site: Agent/owner List all owners: Washington Federal Bank

DESCRIPTION OF REQUEST: Sketch Plat Review

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. lots 13, 14, 15, 16, 17, 18, 19 & 20 Block: 29 Unit: TRA, UB  
 Subdiv/Addn/TBKA: North Albuquerque Acres  
 Existing Zoning: R-D Proposed zoning: R-D MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): C-18 UPC Code: \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):  
DRB Project # 1005191, DRB Apl. # 06 DRB 01454

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? No  
 No. of existing lots: 8 No. of proposed lots: 42 Total site area (acres): 6.84  
 LOCATION OF PROPERTY BY STREETS: On or Near: LOUISIANA  
 Between: ALAMEDA and SIGNAL

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE adil rizvi DATE 5/1/2012  
 (Print Name) ADIL RIZVI Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 6/2011

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12DRB .70136</u>	<u>SK</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
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Hearing date May 9, 2012

[Signature] 5-1-12  
 Staff signature & Date

Project # 1005191

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**FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**

**FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
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ADIL RIZVI

Applicant name (print)

adil rizvi 5-1-12  
Applicant signature / date



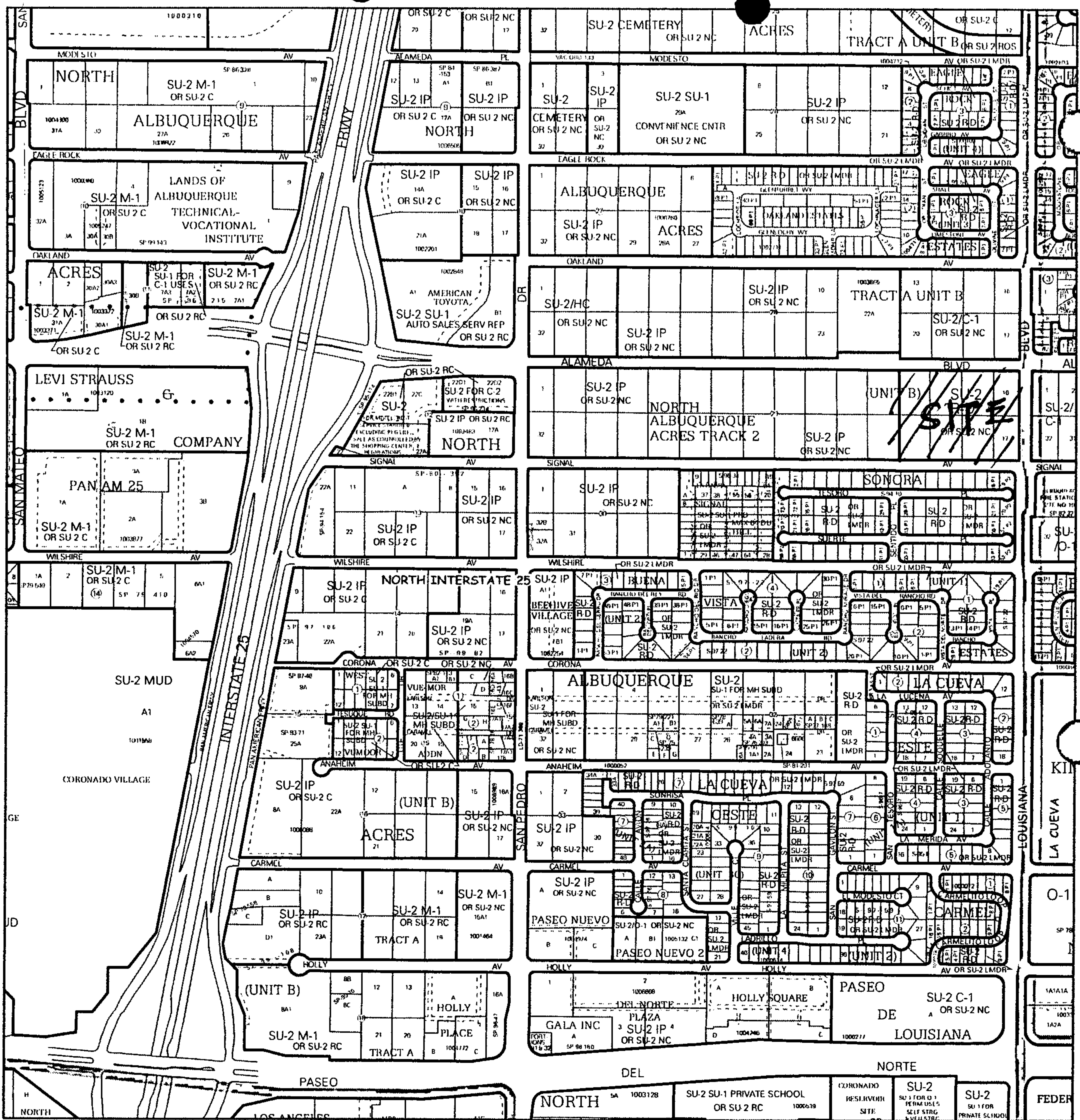
Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
12DRB - 70136

Kan 5-1-12  
Planner signature / date  
Project # 1005191





For more current information and more details visit: <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Map amended through: 1/24/2011

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

## C-18-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0                      750                      1,500 Feet

Mr Jack Cloud  
DRB Chairman  
City of Albuquerque  
P.O.Box 1293  
Albuquerque, New Mexico 87102

04-30-2012

Request for Sketch Plat Review for Sevano Place Subdivision  
Approved in 2006 under DRB case No: 1005191  
Legal Description: Lots 13 thru 20, Block 29, Tract A, Unit B, NAA - Albuquerque

Dear Mr. Cloud:

On behalf of Skyblue Investments Group, I am hereby submitting Sevano Place Subdivision for Sketch Plat review and comments. This subdivision design was approved in November 2006 under DRB Project No: 1005191 and 07DRB-70319. But the project design was never completed because of the high construction cost for all the "Off Site" improvements which included street widening, drainage and utility improvements on three major streets – Alameda Blvd, Louisiana Blvd and Signal Ave.

It is our understanding that the City of Albuquerque, Department of Municipal Development – Project No. 7663.91 is in the process of acquiring rights of way along Alameda Blvd and Louisiana Blvd for the proposed lane widening and storm drainage improvements along Alameda and Louisiana Blvd. The proposed street improvements along Alameda and Louisiana would significantly reduce the construction cost of Sevano Subdivision and make this a viable project.

I would like to explore the possibility of removing all offsite improvements along Alameda and Louisiana from the Infra Structure List according to the recently completed construction plans for the Alameda Widening. The design is 95% complete.

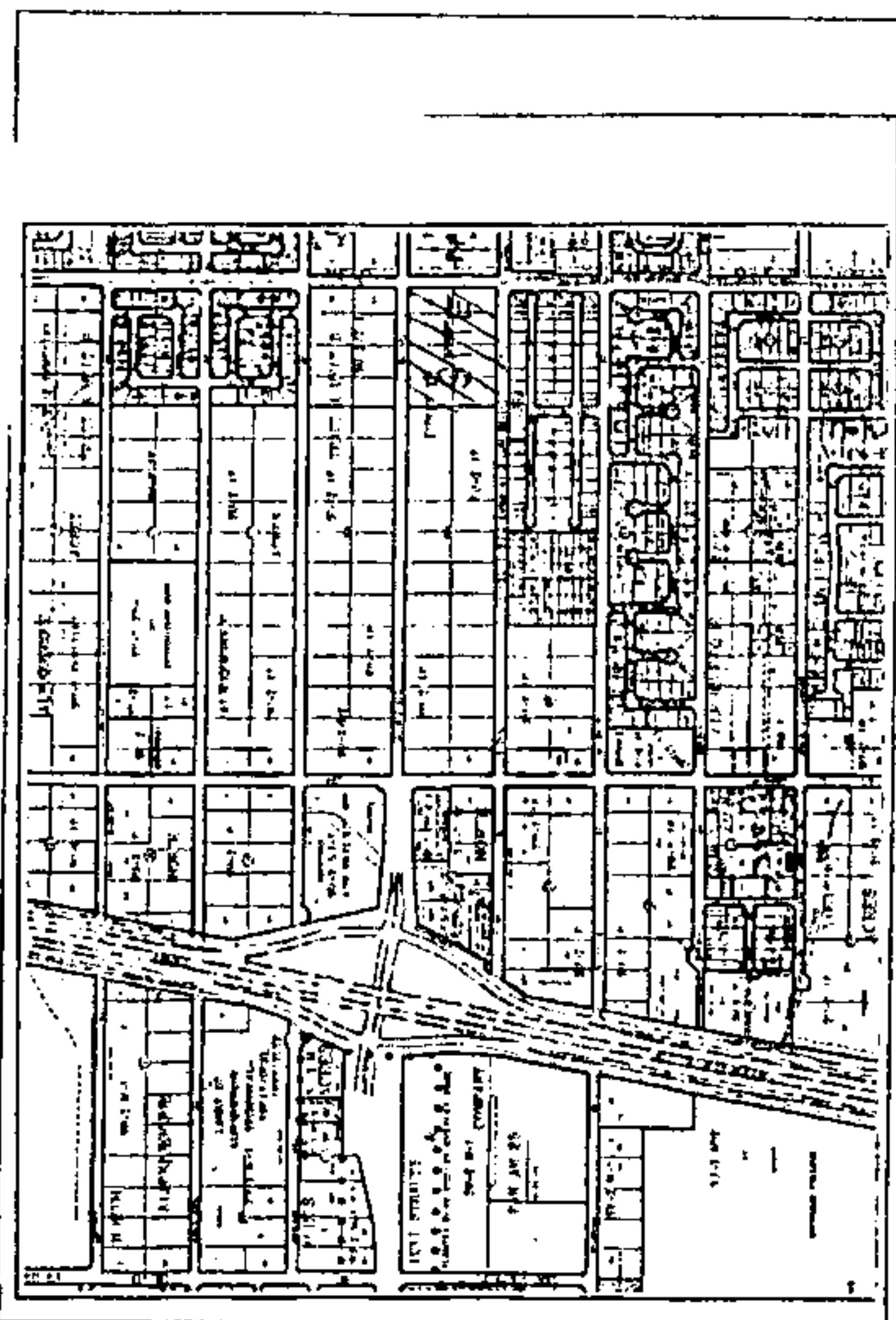
Please find enclosed documents and drawings the following for your review.

Approved Infra Structure List – 2006  
Proposed Right of Way Exhibit for Alameda and Louisiana  
Proposed Street Improvements on Alameda and Louisiana  
General Information Sheet on Alameda Widening Project

If you have any questions or require additional information please call me at 505-315-6484.

  
Sincerely,

Adil Rizvi  
7515 Treviso NE  
Albuquerque

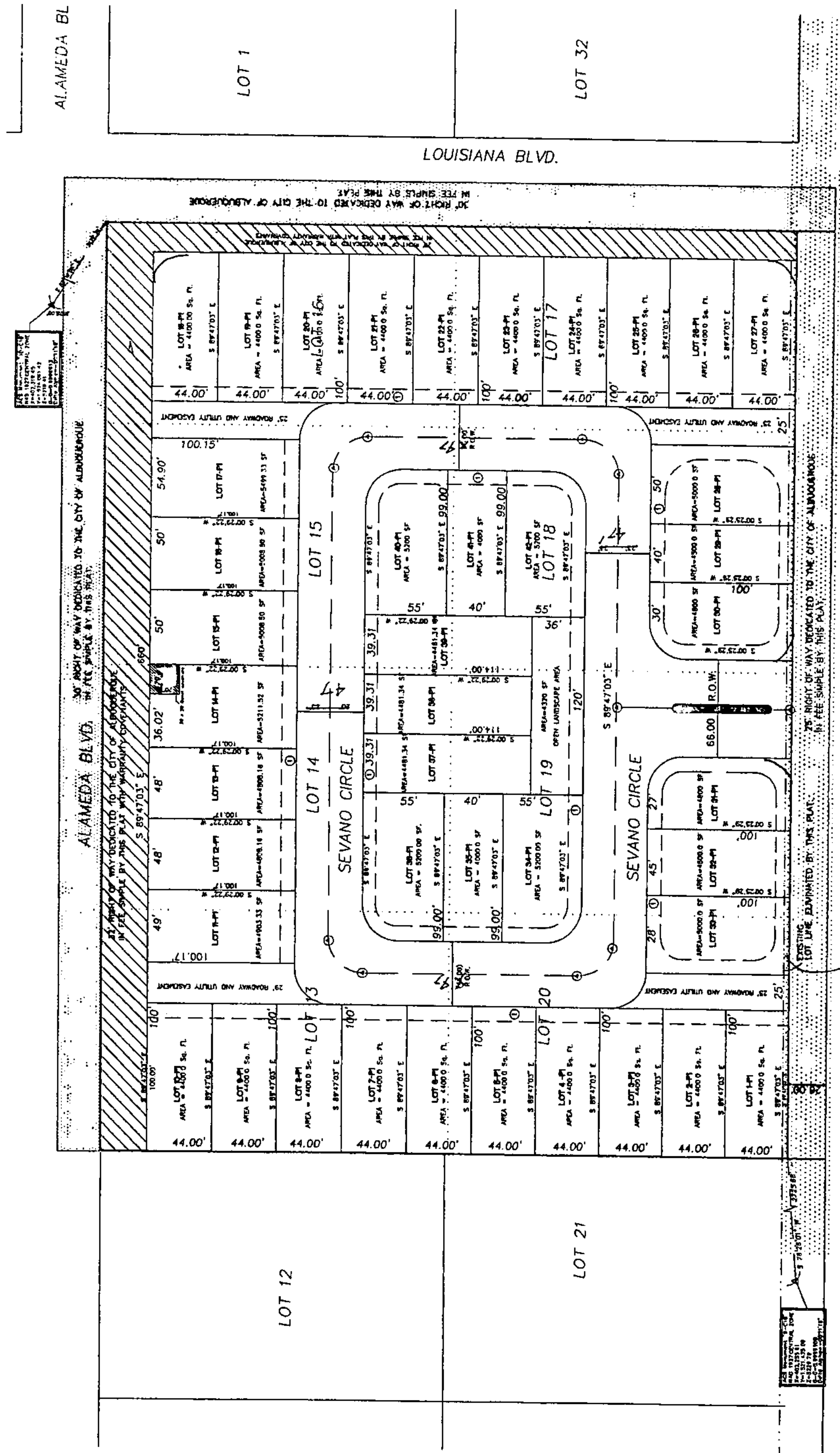


LOCATION MAP NO. 1  
 APPROVED BY DRB  
 PRELIMINARY PLAT  
 APPROVED BY DRB  
 PRELIMINARY PLAT  
 OF  
 SEVANO PLACE SUBDIVISION  
 9-22-2006  
 WITHIN PROJECTED SECTION 21, T. 11 N., R. 4 E., N.M.P.M.  
 ELENA GALLEGOS GRANT  
 SEPTEMBER 2006

APPROVED: *Elena Gallegos* 11-21-06 DATE  
 Glen Harkin, P.S.  
 City Surveyor, City of Albuquerque, New Mexico  
 DESIGN AND DEVELOPMENT PARTNERSHIP  
 Owners  
 11-21-2006 DATE

**LEGAL DESCRIPTION:**  
 Lots numbered Thirteen (13) thru Twenty (20) in Block 29 Tract A, Unit B, NORTH ALBUQUERQUE ACRES, as the same are shown and designated on the plat thereto, filed in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, in plat Book D1, folio 20.  
 The above described property is located within Zone "X", Community Panel Nos. 350002 0137 E/0141 E, dated April 2, 2002, and is not located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only.

- NOTES**
- Bearings are Grid Bearings, Central Zone NAD 1927 based upon ACS monuments 5-021 and 7-021, found monuments and adjacent subdivision plats
  - All distances are ground.
  - Monuments recovered and accepted or set are noted on plat.
  - Record bearings in parenthesis. Record bearings from the following sources:  
 - Tract 2, Unit 3, North Albuquerque Acres ( 6/8/1931 D-133 )  
 - Plat of Sabar Subdivision.  
 - Plat of Abis Subdivision.
  - Ten foot (10') Public Utility Easement along all street rights of way is hereby granted with the filing of this plat.
  - All open space requirements are met on the lot with dwelling per the provisions of Sec. 14-16-3-8 (A)(1).
- NOTE:** CENTERLINE Δ (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT CENTERLINE PLUS (P.L.S.) POINTS AND STREET INTERSECTIONS AS SHOWN AND WILL CONSIST OF A FOUR (4) INCH ALUMINUM ALLOY CAP STAMPED "LOT 15 ALBUQUERQUE, CENTERLINE MONUMENT", DO NOT DISTURB. PLS # 14271



- SUBMISSION DATA**
- DRB Proj. No.
  - Zone Atlas Index No. C-18
  - Current Zoning R-D ~~2500000000~~
  - Gross acreage 8.0 Acres
  - Total Number of Lots created - 42
  - No. of existing tracts: 8
  - Miles of full width streets created: 0.30 mi.
  - Date of Survey:
  - TALOS LOG NO.: SEPTEMBER - 2006
- PURPOSE OF PLAT:**
- The purpose of this plat is to replat EIGHT (8) lots into forty four (44) lots, including public right of way and street easements.

- NOTES**
- Unless otherwise noted all boundary and lot corners will be marked by a red iron cap stamped PS 14271
  - All street centerline monumentation shall be installed at all centerline P.C.S., P.I.S., angle points, and street intersections and shown lots will be marked by a four inch (4") ALUMINUM CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS 14271
  - Boundary will be tied to the New Mexico State Plane Coordinate System as shown.
  - Basis of bearing will be New Mexico State Plane grid bearings.
  - Distances will be ground distances.
  - Monholes will be offset at all points of curvature, points of tangency, street intersections and all other points to allow use of centerline monumentation.

10' PUBLIC UTILITY EASEMENT  
 CENTERLINE MONUMENTS  
 5' Public Roadway Easement  
 Scale: 1" = 40'  
 Signal Ave.

CURVE INFORMATION	ARC LENGTH	ARC AREA
C1	25.00	19.83
C2	25.00	20.83

Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

REVISED 11-22-06 Date Submitted: ~~11-22-06~~ 2006

Date Site Plan Approved: MA

Date Preliminary Plat Approved: 11/22/06

Date Preliminary Plat Expires: 11/22/07

DRB Project No.: 1005191

DRB Application No.: 06 DRB-01454

**ORIGINAL**

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

**SEVANO PLACE SUBDIVISION**

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 13 - 20, BLOCK 29, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		28' F-F	RESIDENTIAL PAVING	SEVANO CIR	ENTIRE	SEVANO CIR	/	/	/
		30' F-F	Arterial Paving Half width	Alameda Blvd	Louisiana	West PL	/	/	/
		30' F-F	Arterial Paving Half width	Louisiana	North PL	South PL	/	/	/
		MTBL	Curb & Gutter	Sevano Cir	ENTIRE	SEVANO CIR	/	/	/
		STD	Curb & Gutter South Side Only	Alameda	Louisiana	West PL	/	/	/
		STD	Curb & Gutter	Louisiana	Alameda	Signal	/	/	/
		Median	Curb & Gutter North Side Only	Alameda	Louisiana	West PL	/	/	/
		Median	Curb & Gutter West Side Only	Louisiana	Alameda	Signal	/	/	/
		6'	PCC Sidewalk (2) both Sides	Sevano Cir	ENTIRE	SEVANO CIR	/	/	/

# ORIGINAL

Financially Guaranteed DRC #	Constructed Under DRC #

Size	Type of Improvement	Location	From	To
40' FF	ENTIRE 6' S.W BOTH SIDES	SEVANO CIR	SIGNAL	SEVANO CIR
6'	PCC Sidewalk  South Side Only	Alameda	Louisiana	West. PL
6'	PCC Sidewalk  West side Only	Louisiana	Alameda	Signal
6"	Water Line	Sevano Cir	ENTIRE	<del>SEVANO CIR</del>
8"	Water Line	Alameda	Louisiana	West. PL
8"	SAS	Sevano Cir	ENTIRE	SEVANO CIR
8"	SAS	Alameda	Louisiana	West. PL
30"	RCP Storm Drain	Alameda	Louisiana	West. PL OF LOT 11
6'	PCC Side Walk North Side Only	Signal.	Louisiana	West. PL
2.8 Ac FT.	Temp. Retention Pond with easement, Covenant & Agreement.	Lot 11, B29 Tr. A, Unit B		
—	1/4 Intersection Improvements  Signalization	Alameda	Louisiana.	
—	Turn Bays AS REQ'D PER DRC			
—	PAVING TARGETS AS REQ'D PER DRC			

Construction Certification		
Inspector	Private P.E.	City Cnst Engineer
/	/	/
/	/	/
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
							/	/	/
							/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature      Date							City User Dept. Signature      Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

- 1 All Water lines to include fire hydrants, valves and appurtenances per DPM. SAS to include Manholes per DPM.  
All residential Lighting per DPM.
- 2  $\Delta$  Improvements to be deferred (Modified Procedure "B")
- 2  $\Delta$  Side walks to be deferred on both sides where noted
- 3  ~~$\Delta$  By Modified Procedure "e" Agreement (can work order)~~
- 3 Grading Certification Required Prior to Release of SIA & Financial Guarantee
- 4 SIGNATURE PER DRC

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

AGENT / OWNER			
ADIL RIZVI NAME (print)	<i>[Signature]</i> DRB CHAIR - date 11/22/06	<i>[Signature]</i> Christina Dandora PARKS & RECREATION - date 11/22/06	
Design & Development Group FIRM	<i>[Signature]</i> TRANSPORTATION DEVELOPMENT - date 11-22-06		AMAFCA - date
<i>[Signature]</i> SIGNATURE - date 10-5-06	<i>[Signature]</i> UTILITY DEVELOPMENT - date 11/22/06		- date
	Bradley L. Bingham CITY ENGINEER - date 11/22/06		- date

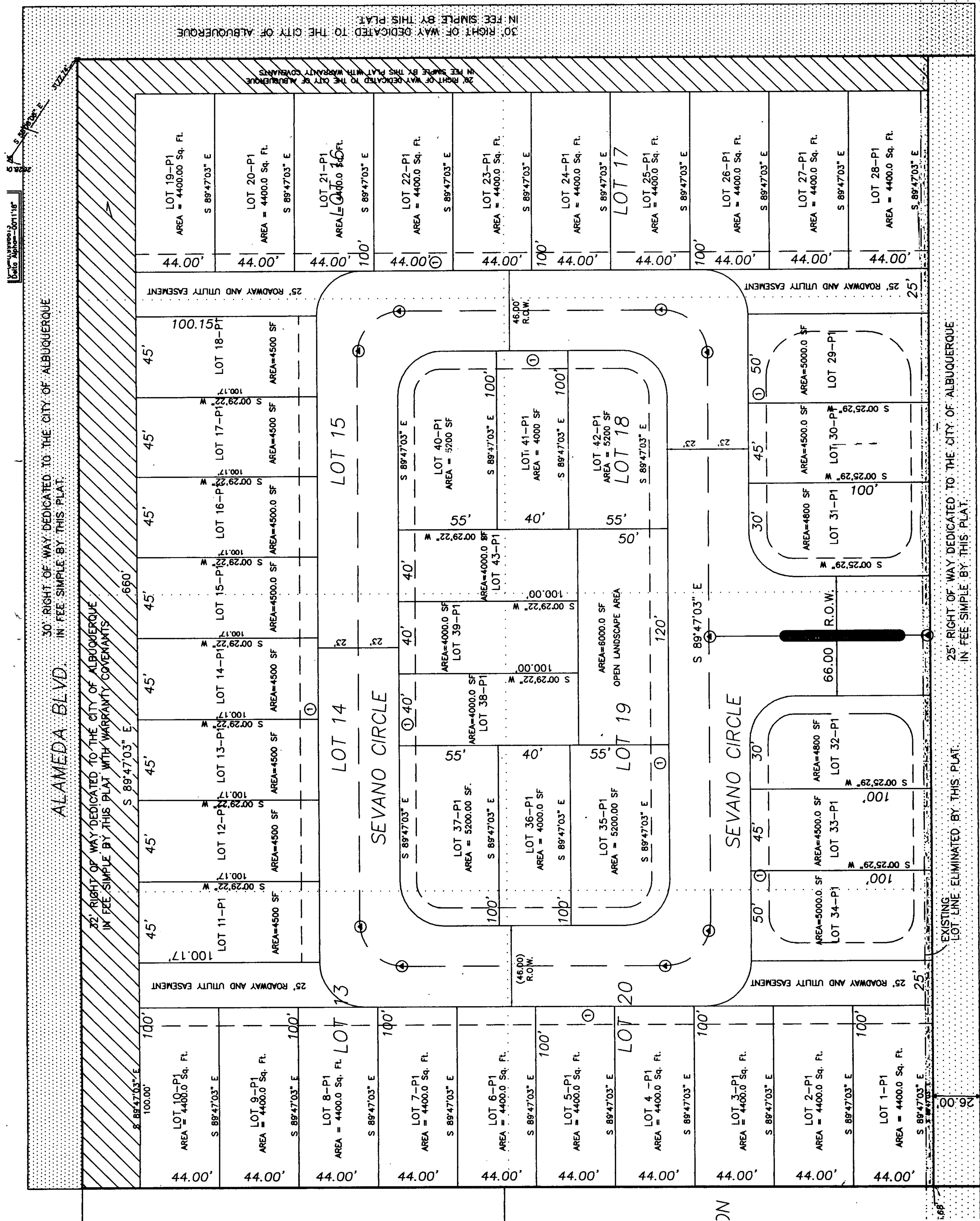
DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

**EXHIBIT B:**  
Row vacation  
on Signal.

**VACATION**  
**EXHIBIT B**  
 Date 11/1/06

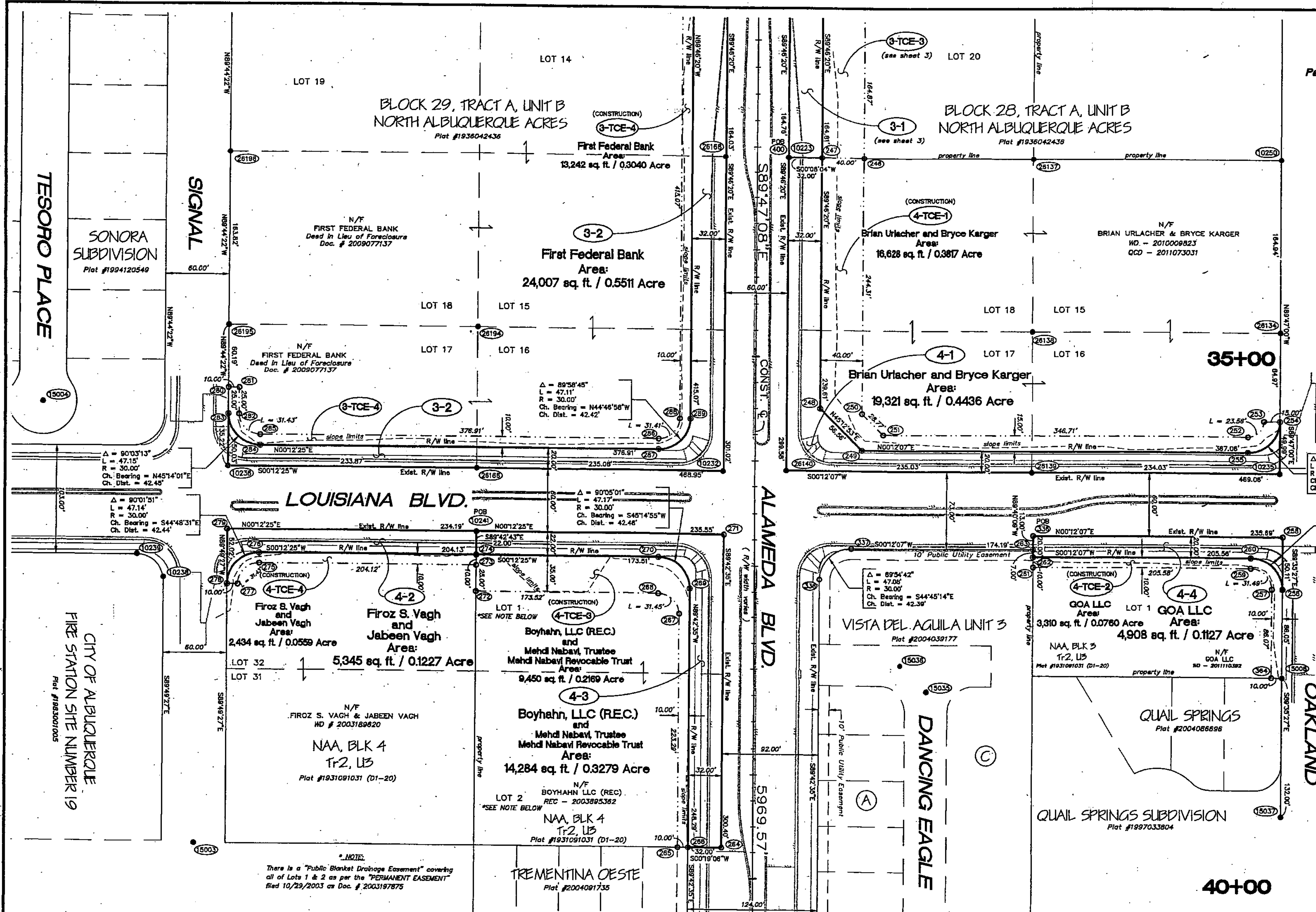
LOUISIANA BLVD.



25' ROADWAY AND UTILITY EASEMENT

EXISTING LOT LINE ELIMINATED BY THIS PLAT.

25' RIGHT OF WAY DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE BY THIS PLAT.



**Parcel Ties to ACS Control Station '10-C18'**

PARCEL	Pt. No.	BEARING	DISTANCE
4-1	POB-400	N58°15'27"W	2738.97'
4-2	POB-10241	N55°25'12"W	3200.94'
4-3	POB-10241	N55°25'12"W	3200.94'
4-4	POB-338	N64°07'51"W	2932.81'

**POINT IDENTIFICATION TABLE**

PT. NO.	STATION	OFFSET	DESCRIPTION
246	33+09.41	-101.90	calculated point
247	33+09.46	-81.90	calculated point
248	35+89.07	-81.84	calculated point
249	35+89.07	-101.83	calculated point
250	35+53.72	-101.84	calculated point
251	35+74.26	-122.18	calculated point
252	35+73.99	-488.89	calculated point
253	35+88.99	-483.89	calculated point
254	35+88.99	-498.89	calculated point
255	35+88.99	-488.89	calculated point
256	37+18.00	-802.04	calculated point
257	37+18.00	-492.04	calculated point
258	38+88.98	-502.21	calculated point
259	38+88.98	-472.04	calculated point
260	38+88.98	-472.04	calculated point
261	38+88.98	-288.48	calculated point
262	38+88.98	-288.48	calculated point
263	38+82.03	-288.49	calculated point
264	38+70.51	30.02	calculated point
265	38+70.51	72.02	calculated point
266	38+70.48	62.02	calculated point
267	37+47.15	71.73	calculated point
268	37+27.12	91.73	calculated point
269	37+22.18	61.69	calculated point
270	38+92.12	91.70	calculated point
271	38+70.12	28.62	calculated point
272	37+27.15	285.22	calculated point
273	37+02.15	285.22	calculated point
274	38+92.12	285.20	calculated point
275	37+02.17	489.33	calculated point
276	38+92.17	489.34	calculated point
277	37+22.19	489.33	calculated point
278	37+22.19	489.33	calculated point
279	38+70.18	489.37	calculated point
280	38+35.15	489.04	calculated point
281	35+80.16	489.04	calculated point
282	35+80.16	489.08	calculated point
283	35+80.15	489.06	calculated point
284	35+80.17	489.04	calculated point
285	35+80.17	489.06	calculated point
286	35+80.12	92.15	calculated point
287	35+80.13	92.15	calculated point
288	35+80.13	72.15	calculated point
289	35+80.13	62.15	calculated point
336	36+89.03	-285.52	calculated point
337	38+82.07	-92.31	calculated point
338	37+12.03	-82.32	calculated point
364	38+05.12	-491.75	calculated point
400	33+08.51	-29.90	calculated point
10233	33+08.50	-30.70	Fd 5/8" Rebar w/cap
10232	36+10.13	30.77	Fd 5/8" Rebar w/cap
10235	36+08.92	-488.90	Fd 1 1/2" Rebar w/cap
10236	36+10.19	488.99	Fd 1 1/2" Rebar w/cap
10238	37+18.82	550.34	Fd 5/8" Rebar w/cap
10239	38+93.83	584.31	Fd 5/8" Rebar w/cap
10241	38+70.18	285.17	Fd 5/8" Rebar w/cap
10250	33+08.07	-498.61	Fd 1 1/2" Rebar w/cap
15003	38+89.84	529.16	Fd COA CL Monument
15004	35+48.22	674.12	Fd COA CL Monument
15008	38+05.14	-501.76	Fd 1 1/2" Rebar
15010	34+72.25	-563.47	Fd COA CL Monument
15015	34+72.25	-880.43	Fd COA CL Monument
15035	38+20.28	-165.20	Fd COA CL Monument
15036	37+95.25	-140.24	Fd COA CL Monument
15037	38+37.14	-501.30	Fd COA CL Monument
15048	38+14.45	-889.81	Fd COA CL Monument
15049	38+29.51	-704.24	Fd COA CL Monument
15050	38+85.02	-679.49	Fd COA CL Monument
28134	34+74.01	-498.88	Fd 1 1/2" Rebar w/cap
28137	33+08.18	-284.88	Fd 1 1/2" Rebar
28138	34+74.17	-284.76	Fd 5/8" Rebar w/cap
28139	38+08.14	-284.88	Fd 1 1/2" Rebar w/cap
28140	38+90.08	-29.83	Fd 1 1/2" Rebar w/cap
28166	38+10.12	285.23	Fd 5/8" Rebar
28168	33+09.09	30.74	Fd 1 1/2" Rebar
28194	34+74.01	285.09	Fd 1 1/2" Rebar
28195	34+74.98	498.09	Fd 1 1/2" Rebar
28196	33+09.81	498.90	Fd 5/8" Rebar

\* A NEGATIVE VALUE INDICATES LEFT OF CENTERLINE

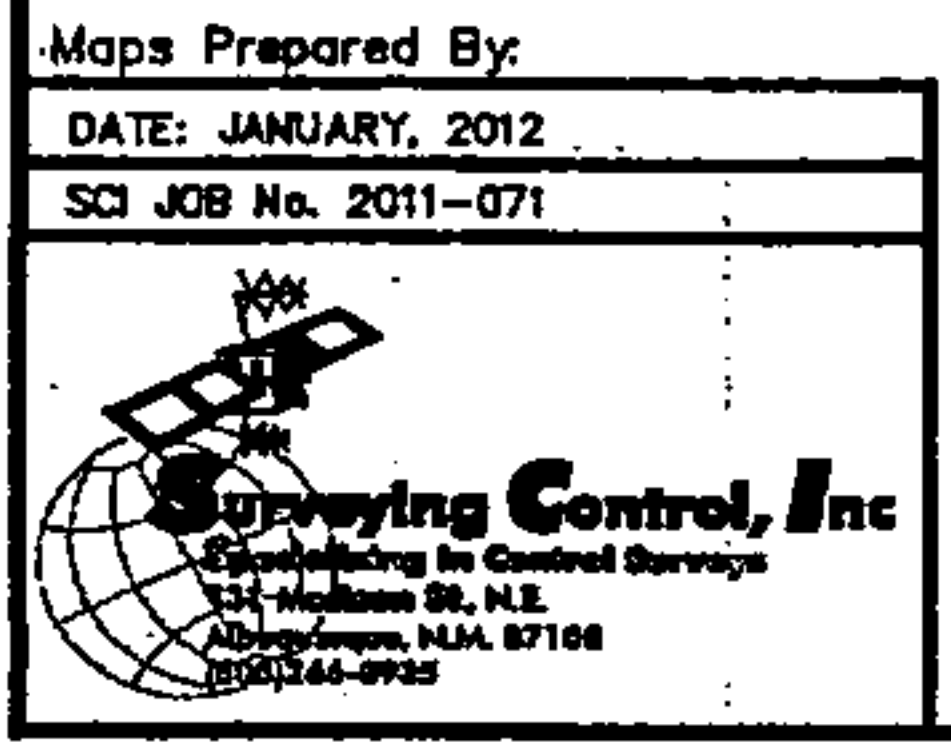
FOR OWNERS NAMES AND AREAS FOR PARCEL NUMBERS SHOWN SEE SHEET 1b OF 5

**Surveyor's Certificate**

I CERTIFY THAT I AM A REGISTERED PROFESSIONAL SURVEYOR AND THAT THESE R/W MAPS ARE AN INTERIM PRODUCT OF PROJECT DESIGN DEVELOPMENT AND WERE PREPARED BY ME OR UNDER MY DIRECTION AND ARE BASED ON ACTUAL FIELD SURVEYS PERFORMED UNDER MY DIRECTION FROM MAY, 2010 THRU DECEMBER, 2011. CONFORMANCE WITH THE STATE OF NEW MEXICO'S MINIMUM STANDARDS FOR RIGHT-OF-WAY SURVEYING WILL OCCUR FOLLOWING ACTUAL ACQUISITION OF RIGHT-OF-WAY REQUIRED BY THE ALAMEDA BOULEVARD WIDENING PROJECT, COA PROJECT NUMBER 7663.91.

Stephen J. Coker  
N.M.P.S. 11599  
131 Madison St., N.E.  
Albuquerque, N.M. 87108  
(505) 266-0935

1/11/2012  
Date



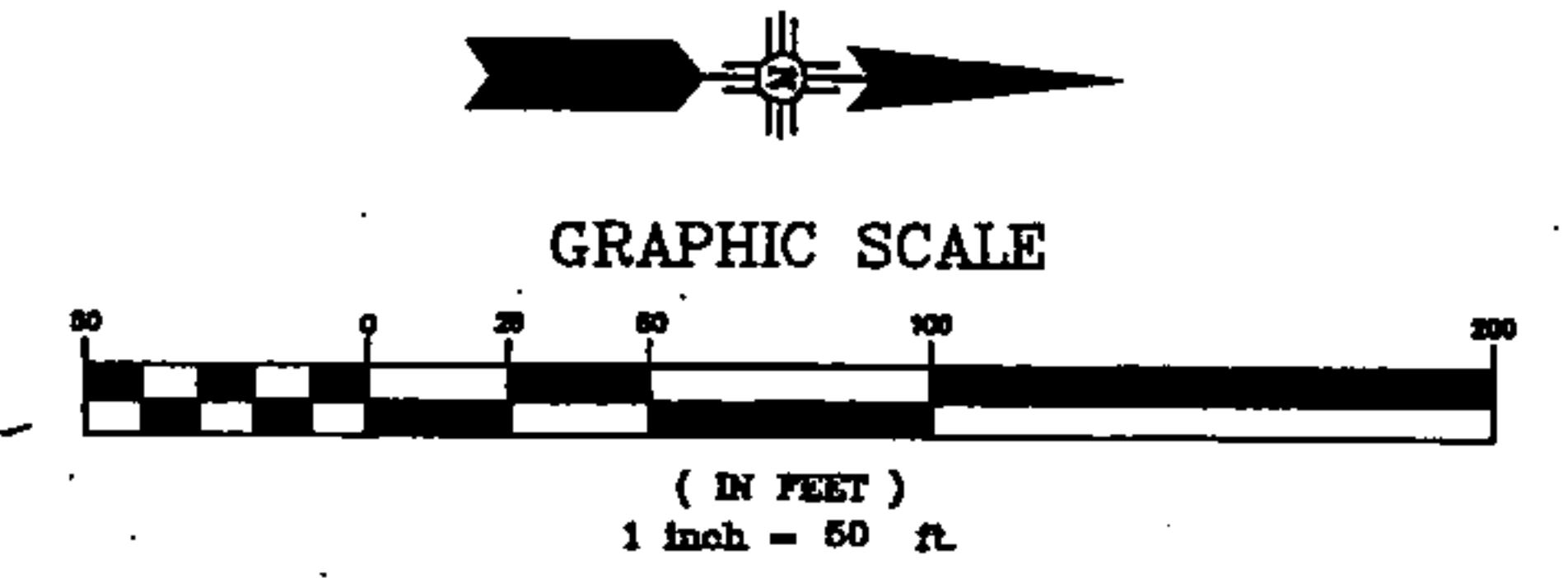
**Legend**

- ▲ = Found Control Monument (see Pt. ID Table for description)
- = Found Property Corner (see Pt. ID Table for description)
- = Calculated point - not set
- = Calculated point on the New R/W Line
- = Slope Limits
- - - = TCE Line

**General Notes**

1. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES (PROJECT COMBINED FACTOR = 1.000334861).
2. BEARINGS ARE REFERRED TO GRID-NORTH, NEW MEXICO COORDINATE SYSTEM - CENTRAL ZONE (NAD83).
3. BASIS OF BEARINGS - S 79°19'52" E - FROM ACS CONTROL STATION "10-C18" TO ACS CONTROL STATION "7-C19" (SEE SHEET 2 OF 5).
4. EXISTING RIGHT-OF-WAY AS SHOWN HEREON WAS ACQUIRED BY LOCAL PLATTING ACTION.
5. ALL POINT STATION AND OFFSET VALUES ARE BASED ON THE CONSTRUCTION CENTERLINE ALIGNMENT UNLESS OTHERWISE NOTED.

PROJECTED SECTIONS 13 and 18, T 11 N, R 3 E, N.M.P.M.  
ELENA GALLEGOS GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

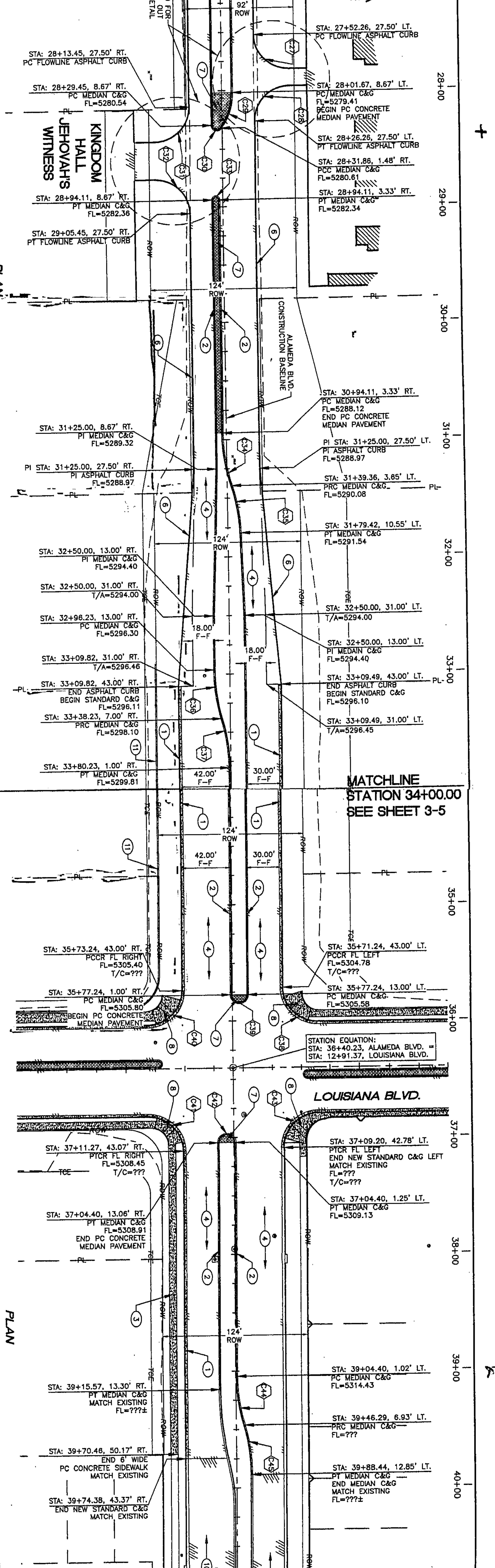
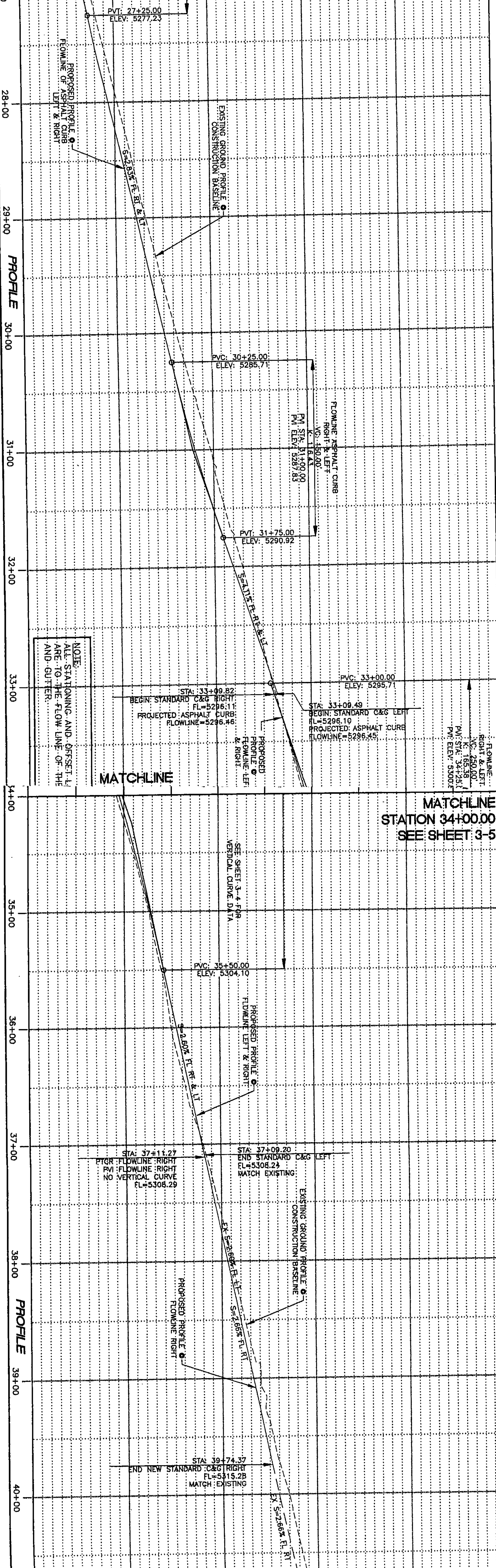


**FINAL MAP** January 11, 2012

REVISIONS (OR CHANGE NOTICES)			
NO.	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			
6			

CITY OF ALBUQUERQUE  
**RIGHT-OF-WAY MAPS**  
C.O.A. PROJECT NO.  
7663.91  
BERNALILLO COUNTY  
SCALE 1"=50'  
SHEET 4 OF 5





**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**  
 10/16/2007 Issued By: PLNABG

**Permit Number: 2007 070 319** **Category Code 910**

**Application Number:** 07DRB-70319, Ext Of Major Preliminary Plat

**Address:**

**Location Description:** LOUISIANA BLVD NE BETWEEN ALAMEDA BLVD NE AND SIGNAL AVE NE

**Project Number:** 1005191

**Applicant**

Adil Rizvi  
 Adil Rizvi  
 2340 Menaul Blvd Ne Suite 200  
 Albuquerque, NM 87107

adilr@thegroup.cc

**Agent / Contact**

Adil Rizvi  
 Adil Rizvi  
 2340 Menaul Blvd Ne Suite 200  
 Albuquerque, NM 87107

adilr@thegroup.cc

**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441008/4983000	DRB Actions	\$50.00
<b>TOTAL:</b>		<b>\$70.00</b>

City Of Albuquerque  
 Treasury Division

10/16/2007 11:28AM LOC: ANNX  
 WSH 007 TRANS# 0023  
 RECEIPT# 00089482-00039482  
 PERMIT# 2007070319 TRSHSP  
 Trans Amt \$70.00  
 Conflict Manag. Fee \$20.00  
 DRB Actions \$50.00  
 Ch \$70.00  
 CHANGE \$0.00

Thank You



Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Adil Rizvi PHONE: 315-6484  
 ADDRESS: 2340 Menaul Blvd. N.E. Ste. 200 FAX: 888-1906  
 CITY: Albuquerque STATE NM ZIP 87107 E-MAIL: adilr@thegroup.com

APPLICANT: Adil Rizvi PHONE: \_\_\_\_\_  
 ADDRESS: 2340 Menaul Blvd. N.E. Ste. 200 FAX: 888-1906  
 CITY: Albuquerque STATE NM ZIP 87107 E-MAIL: adilr@thegroup.com  
 Proprietary interest in site: Agent/Owner List all owners: Adil Rizvi & Ismael Haidari

DESCRIPTION OF REQUEST: Extension of Preliminary Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lots 13, 14, 15, 16, 17, 18, 19, 20 Block: 29 Unit: Tr. A, Unit B  
 Subdiv/Addn/TBKA: North Albuquerque Acres, Sevano Place Subd.  
 Existing Zoning: R-D Proposed zoning: R-D MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): C-18 UPC Code: \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): \_\_\_\_\_  
DRB Proj # 1005191, DRB App. # 06 DRB-D1454

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? Yes  
 No. of existing lots: 8 No. of proposed lots: 43 Total area of site (acres): 6.84  
 LOCATION OF PROPERTY BY STREETS: On or Near: Louisiana Blvd. NE  
 Between: Alameda Blvd. NE and Signal Ave. NE

Check-off if project was previously reviewed by Sketch Plat/Plan  or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE Adil Rizvi & Ismael Haidari DATE 10/15/07  
 (Print) Adil Rizvi & Ismael Haidari Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>07 DRB - 70319</u>	<u>EPP</u>	_____	<u>\$ 50.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>10/24/07</u>			Total <u>\$ 70.00</u>

Sandy Handley 10/16/07  
 Planner signature / date

Project # 1005191

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

**Extension of preliminary plat approval expires after one year.**

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** **Your attendance is required.**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** **Your attendance is required.**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- List any original and/or related file numbers on the cover application

**Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

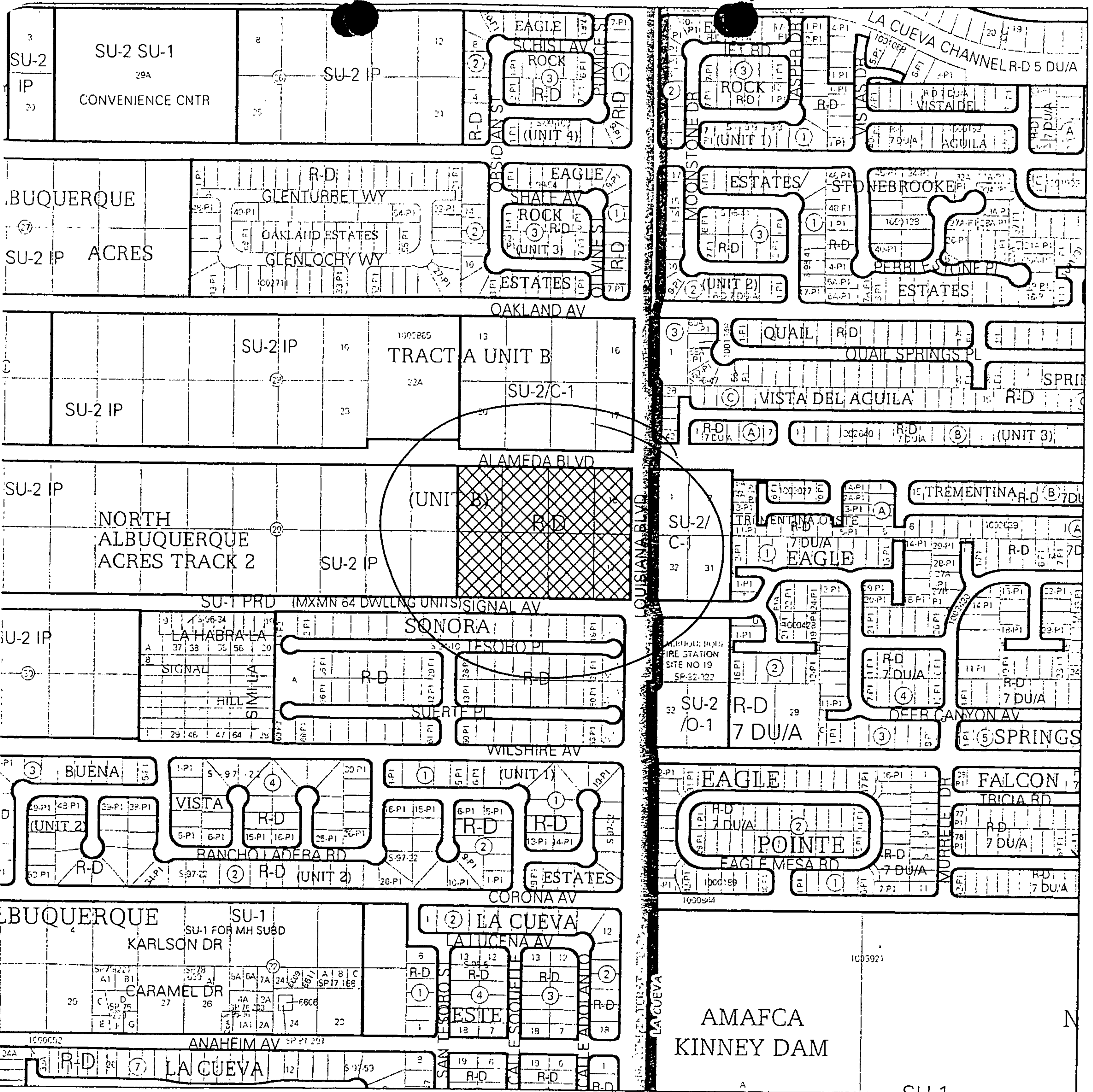
Adil Rizvi  
 Applicant name (print)  
Adil Rizvi 10/15/07  
 Applicant signature / date



Form revised October 2007

Sandy Handley 10/16/07  
 Planner signature / date  
 Project # 1005191

- |   |                          |
|---|--------------------------|
| <input checked="" type="checkbox"/> Checklists complete | Application case numbers |
| <input checked="" type="checkbox"/> Fees collected      | <u>07DRB - - 70319</u>   |
| <input checked="" type="checkbox"/> Case #s assigned    | _____                    |
| <input checked="" type="checkbox"/> Related #s listed   | _____                    |



# ZONING MAP

Note: Grey shading indicates County.



1 inch equals 500 feet

Project Number:

1005191

Hearing Date:

11/1/2006

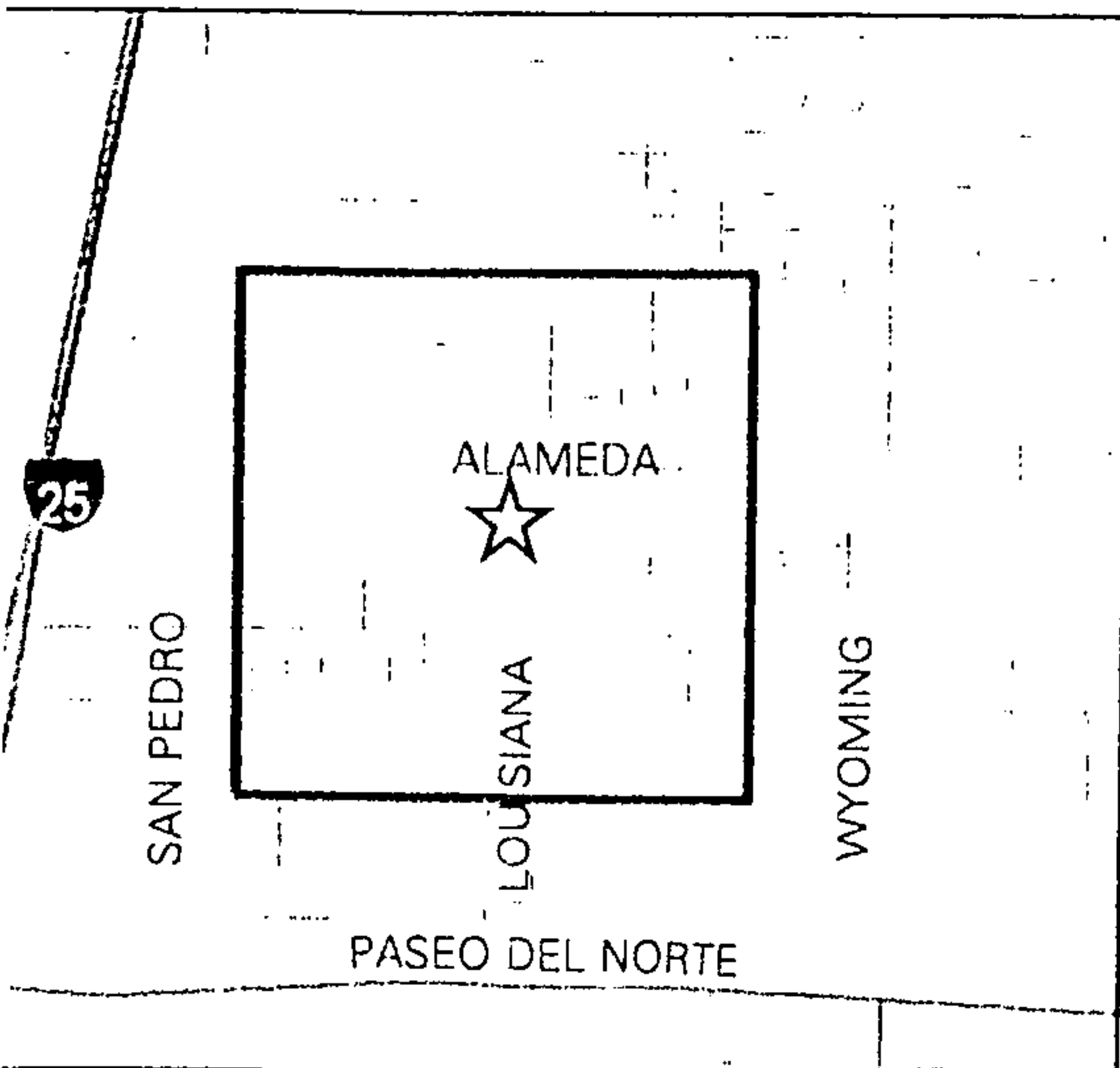
Zone Map Page:

R-16

Additional Case Numbers:

06DRB-01454 06DRB-01455

06DRB-01456 06DRB-01457



Ms. Sheran Matson, AICP  
DRB Chair  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, New Mexico 87103

10/15/2007

SUBJECT: SEVANO PLACE SUBDIVISION: DRB NO: 1005191  
REQUEST FOR EXTENSION OF PRELIMINARY PLAT

Dear Ms. Matson:

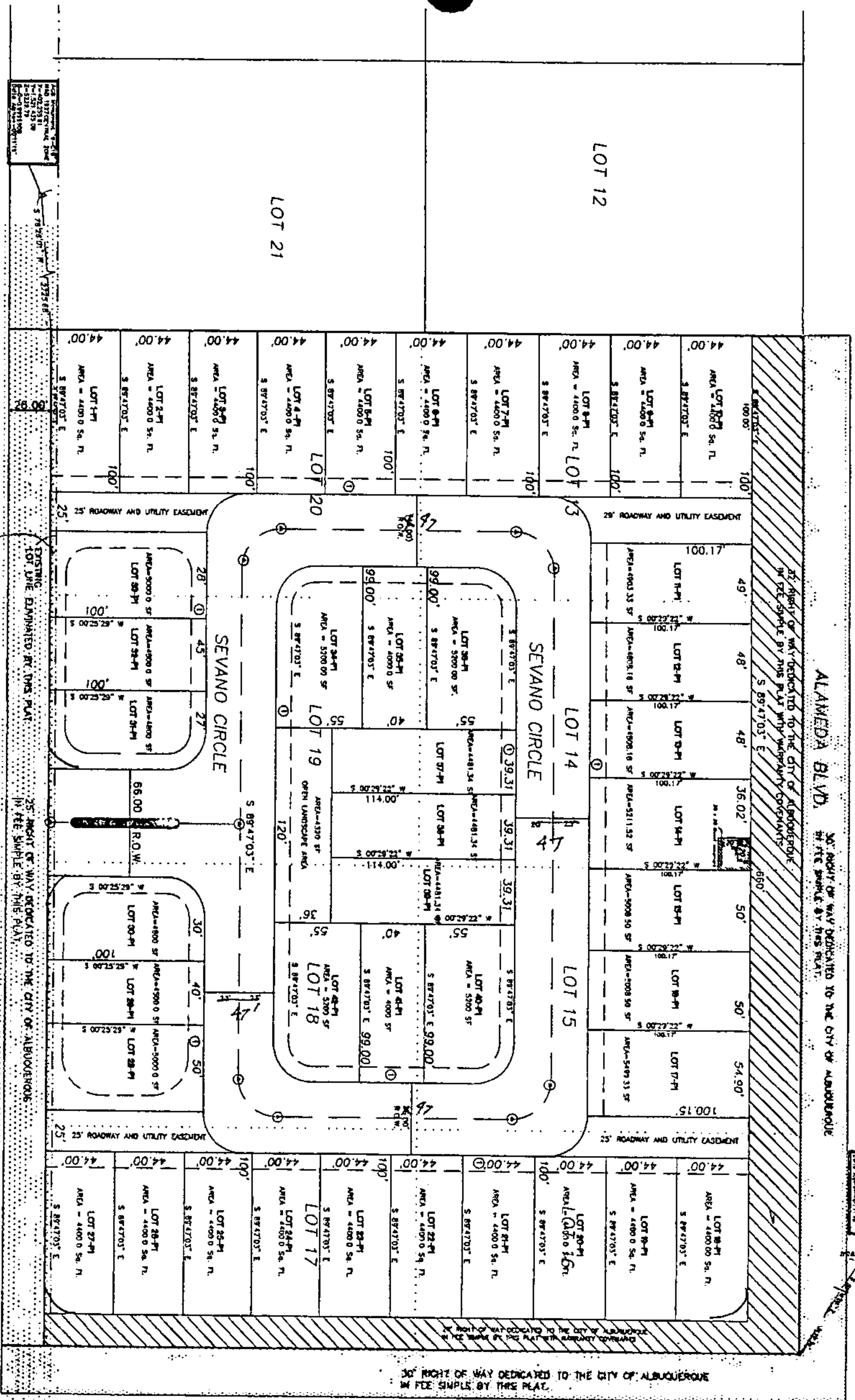
I would like to request extension of Preliminary Plat for the above referenced subdivision, which expires 11/22/2007.

If you have any questions please call me at 315-6484. Thank you, in advance, for your assistance in this matter.

Sincerely,



Adil Rizvi  
2340 Manual NE  
Suite 200  
Albuquerque, NM 87113



DATE	DESCRIPTION	BY
01/19/06	REVISION	DRB
01/19/06	REVISION	DRB
01/19/06	REVISION	DRB

Scale: 1" = 40'

SEVANO CIRCLE

ALAMEDA BLVD.

LOUISIANA BLVD.

- NOTES**
1. Unless otherwise noted all boundary and lot corners will be marked by a red iron with cap stamped PS 14271.
  2. All street centerline monumentation shall be installed at all centerline P.C.'s, P.T.'s, angle points and street intersections and shown thus will be marked by a four inch (4") aluminum cap stamped CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS 14271.
  3. Boundary will be tied to the New Mexico State Plane Coordinate System as shown.
  4. Basis of bearing will be New Mexico State Plane grid bearings.
  5. Distances will be ground distances.
  6. Monuments will be offset at all points of curvature, points of tangency, street intersections and all other points to show 152' centerline monumentation.

- SUBMISSION DATA**
1. DRB Proj. No.
  2. Zone Atlas Index No. C-18
  3. Current Zoning R-D ~~2500~~
  4. Gross acreage 8.0 Acres
  5. Total Number of Lots created - 42
  6. No. of existing tracts: 8
  7. Miles of full width streets created: 0.30 mi.
  8. Date of Survey:
  9. TALS 106 NO.: SEPTEMBER - 2006
- PURPOSE OF PLAN:**
- The purpose of this plan is to replot EIGHT (8) lots into forty-two (42) lots, including the right of way and easements.

- LEGAL DESCRIPTION:**
- Lots numbered Thirteen (13) thru Twenty (20) in Block 29 Tract A, Unit B, NORTH ALBUQUERQUE ACRES, as the same are shown and designated on the plat thereto, filed in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, in plat Book D1, folio 20.
- The above described property is located within Zone "X", Community Parcel Nos. 359002 0137 E/0141 E, dated April 2, 2002, and is not located within a Special Flood Hazard Boundary, indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only.
- NOTES**
1. Bearings are: Grid Bearings, Central Zone NAD 1927, based upon ACS monumentation, PLS #14271 and 7-0217. Found monuments and adjacent subdivision plats.
  2. All distances are ground.
  3. Monuments recovered and accepted or set are noted on plat.
  4. Record bearings in parenthesis. Record bearings from the following sources:
    - Tract 2, Unit 3, North Albuquerque Acres (6/8/1931; D-133)
    - Plat of Subor. Subdivision.
    - Plat of Abs. Subdivision.
  5. Ten foot (10') Public Utility Easement along all street rights of way is hereby granted with the filing of this plat.
  6. All open space requirements are met on the lot with dwelling per the provisions of Sec. 14-16-5-8 (A)(1).
- NOTE: CENTERLINE A (IN LCU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR (4") ALUMINUM ALLOY CAP STAMPED CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION, DO NOT DISTURB, PLS #14271.**

**APPROVED:**

*[Signature]* 11-21-06

Glen Harkin, P.S.  
City Surveyor, City of Albuquerque, New Mexico

**DESIGN AND DEVELOPMENT PARTNERSHIP**

DATE 11-21-2006

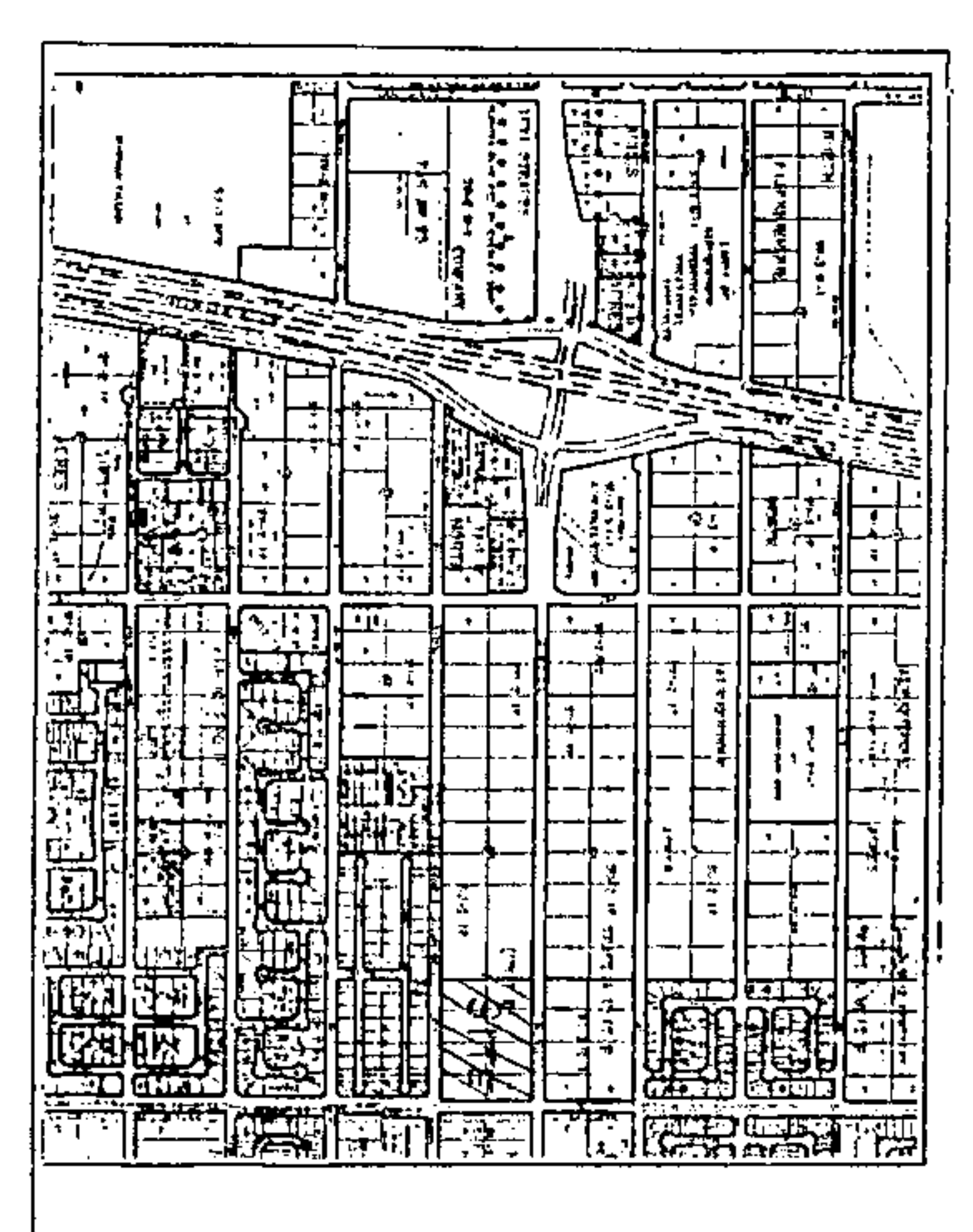
**LEGAL DESCRIPTION:**

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

SEVANO PLACE SUBDIVISION

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

A REPLAT OF LOTS 13 THRU 20, BLOCK 29, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, WITHIN PROJECTED SECTION 21, T. 11 N., R. 4 E., N.M.P.M., ELENA GALLEGOS GRANT SEPTEMBER 2006





## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

November 22, 2006

### 7. Project # 1005191

06DRB-01454 Major-Preliminary Plat Approval  
06DRB-01455 Major-Vacation of Pub Easements  
06DRB-01456 Minor-Sidewalk Variance  
06DRB-01457 Minor-Temp Defer SDWK

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 13-20, Tract(s) A, Block(s) 29, NORTH ALBUQUERQUE ACRES, UNIT B (to be known as **SEVANO PLACE SUBDIVISION**) zoned R-D, located on LOUISIANA NE, between ALAMEDA NE and SIGNAL NE containing approximately 7 acre(s). *[Deferred from 11/1/06 & 11/8/06 & 11/15/06] (C-18)*

At the November 22, 2006, Development Review Board meeting, with the signing of the infrastructure list dated 11/22/06 and approval of the grading plan engineer stamp dated 11/21/06 the preliminary plat was approved with the following conditions of final plat approval:

Environmental Health must sign the plat.

Radius dedications are required per the DPM.

Zoning shall be shown as R-D on the plat.

The Homeowner's Association President must sign the final plat.

A 5-foot public roadway easement must be shown as vacated on the plat.

The vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

### FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

### CONDITIONS:

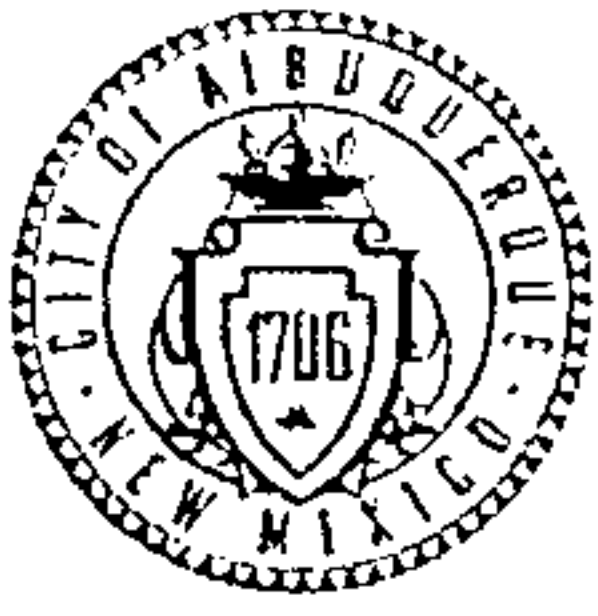
1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

The sidewalk variance 06DRB-01456 was withdrawn at the agent's request.

The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by December 7, 2006, in the manner described below.





## OFFICIAL NOTICE OF DECISION

PAGE 2

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

Sheran Matson, AICP, DRB Chair

Cc: Adil Rizvi, 2340 Menaul Blvd NE, Suite 200, 87107  
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.  
File

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

### SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

### SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

### STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

### Supplemental form

### S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

### APPLICANT INFORMATION:

NAME: ADIL RIZVI PHONE: 292-3202 and 315-6484  
 ADDRESS: 2340 Menaul Blvd, NE, Suite 200 FAX: 292-3904  
 CITY: Albuquerque STATE NM ZIP 87107 E-MAIL: adilr@thegroup.cc  
 Proprietary interest in site: Agent/Owner List all owners: \_\_\_\_\_  
 AGENT (if any): \_\_\_\_\_ PHONE: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_  
 CITY: \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_ E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: Preliminary Plat Approval, VAC of R/W, Sewer Variance, Temp deferral of SW.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

### SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. lots 13, 14, 15, 16, 17, 18, 19 and 20 Block: 29 Unit: Tr A Unit B  
 Subdiv. / Addn. North Albuquerque Acres TRK: SEVANO PLACE  
 Current Zoning: R-D Proposed zoning: R-D SUBDIVISION  
 Zone Atlas page(s): C-18 No. of existing lots: 8 No. of proposed lots: 43  
 Total area of site (acres): 6.84 Density if applicable: dwellings per gross acre: 5.30 dwellings per net acre: 6.28  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? Yes  
 UPC No. \_\_\_\_\_ MRGCD Map No. \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: Louisiana NE  
 Between: Alameda NE and Signal NE

### CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): \_\_\_\_\_

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: \_\_\_\_\_

SIGNATURE Adil Rizvi DATE \_\_\_\_\_  
 (Print) ADIL RIZVI  Applicant  Agent

### FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers  
06DRB 01454  
06DRB 01455  
06DRB 01456  
06DRB 01457  
 Hearing date 11-1-06

Action	S.F.	Fees
PP	512	\$ 1305.00
V/Rw		\$ 300.00
CMF		\$ 20.00
ADU		\$ 75.00
SN		\$ 0
TDS		\$ 0
Total		\$ 1700.00

Adil Rizvi  
 Planner signature / date

Project # 1005191

Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

REVISED 11-22-06 Date Submitted: ~~10-5-2006~~ 11-22-2006

Claire

Date Site Plan Approved: MA  
Date Preliminary Plat Approved: 11/22/06  
Date Preliminary Plat Expires: 11/22/07  
DRB Project No.: 1005191  
DRB Application No.: 06 DRB-01454

#7 ORIGINAL

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

SEVANO PLACE SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 13 - 20, BLOCK 29, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES







EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		28' F-F	RESIDENTIAL PAVING	SEVANO CIR	ENTIRE	SEVANO CIR	/	/	/
		30' F-F	Arterial Paving Half Width	Alameda Blvd	Louisiana	West. PL	/	/	/
		30' F-F	Arterial Paving Half width	Louisiana	North. PL	South PL	/	/	/
		MTBL	Curb & Gutter	Sevano Cir	ENTIRE	SEVANO CIR	/	/	/
		STD	Curb & Gutter South Side Only	Alameda	Louisiana	West PL	/	/	/
		STD	Curb & Gutter	Louisiana	Alameda	Signal	/	/	/
		Median	Curb & Gutter North Side Only	Alameda	Louisiana	West PL	/	/	/
		Median	Curb & Gutter West Side Only	Louisiana	Alameda	Signal	/	/	/
		6'	PCC Sidewalk (2) both Sides	Sevano Cir	ENTIRE	SEVANO CIR	/	/	/

# ORIGINAL

Financially Guaranteed DRC #	Constructed Under DRC #
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Size	Type of Improvement	Location	From	To
40' FF	<i>ESTIMATE 1/2</i> 6' S.W. BOTH SIDES	SEVANO CIR	SIGNAL	SEVANO CIR
6'	PCC Sidewalk  South Side Only	Alameda	Louisiana	West.PL
6'	PCC Sidewalk  West side Only	Louisiana	Alameda	Signal
6"	Water Line	Sevano Cir	Signal.	Alameda
			ENTIRE SEVANO CIR	
8"	Water Line 	Alameda	Louisiana	West.PL
8"	SAS	Sevano Cir	ENTIRE SEVANO CIR	
8"	SAS 	Alameda	Louisiana	West.PL
30"	RCP Storm Drain 	Alameda	Louisiana	West.PL OF LOT 11
6'	PCC Side Walk North Side Only	Signal.	Louisiana	West.PL
2.8 AC FT.	Temp. Retention Pond with easement, Covenant Agreement.	Lot 11, B29		
		Alameda		
	1/4 Intersection Improvements Signalization 	Louisiana.		
	Turn Bays AS REQ'D PER DRC			
	PAVING TAPERS AS REQ'D PER DRC			

Construction Certification		
Private		City Cnst Engineer
Inspector	P.E.	

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>						/	/	/		
<input type="text"/>	<input type="text"/>						/	/	/		
Approval of Creditable Items:							Approval of Creditable Items:				
Impact Fee Administrator Signature							Date		City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

- 1 All Water lines to include fire hydrants, valves and appurtenances per DPM. SAS to include Manholes per DPM.
- 2 All residential Lighting per DPM.
- 3 ~~Improvements to be deferred (Modified Procedure "B")~~
- 4 ~~Side walks to be deferred on both sides where noted~~
- 5 ~~By Modified Procedure "E" Agreement (see work order)~~
- 6 Grading Certification Required Prior to Release of SIA & Financial Guarantee

4 SIGNATURE PER DRC

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

ADIL RIZVI  
NAME (print)

*[Signature]*  
DRB CHAIR - date 11/22/06

Christina Dandora  
PARKS & RECREATION - date 11/22/06

Design & Development Group  
FIRM

*[Signature]* 11-22-06  
TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

*[Signature]*  
SIGNATURE - date 10-5-06

*[Signature]* 11/22/06  
UTILITY DEVELOPMENT - date

- date

Bradley J. Bingham  
CITY ENGINEER - date 11/22/06

- date

DESIGN REVIEW COMMITTEE REVISIONS

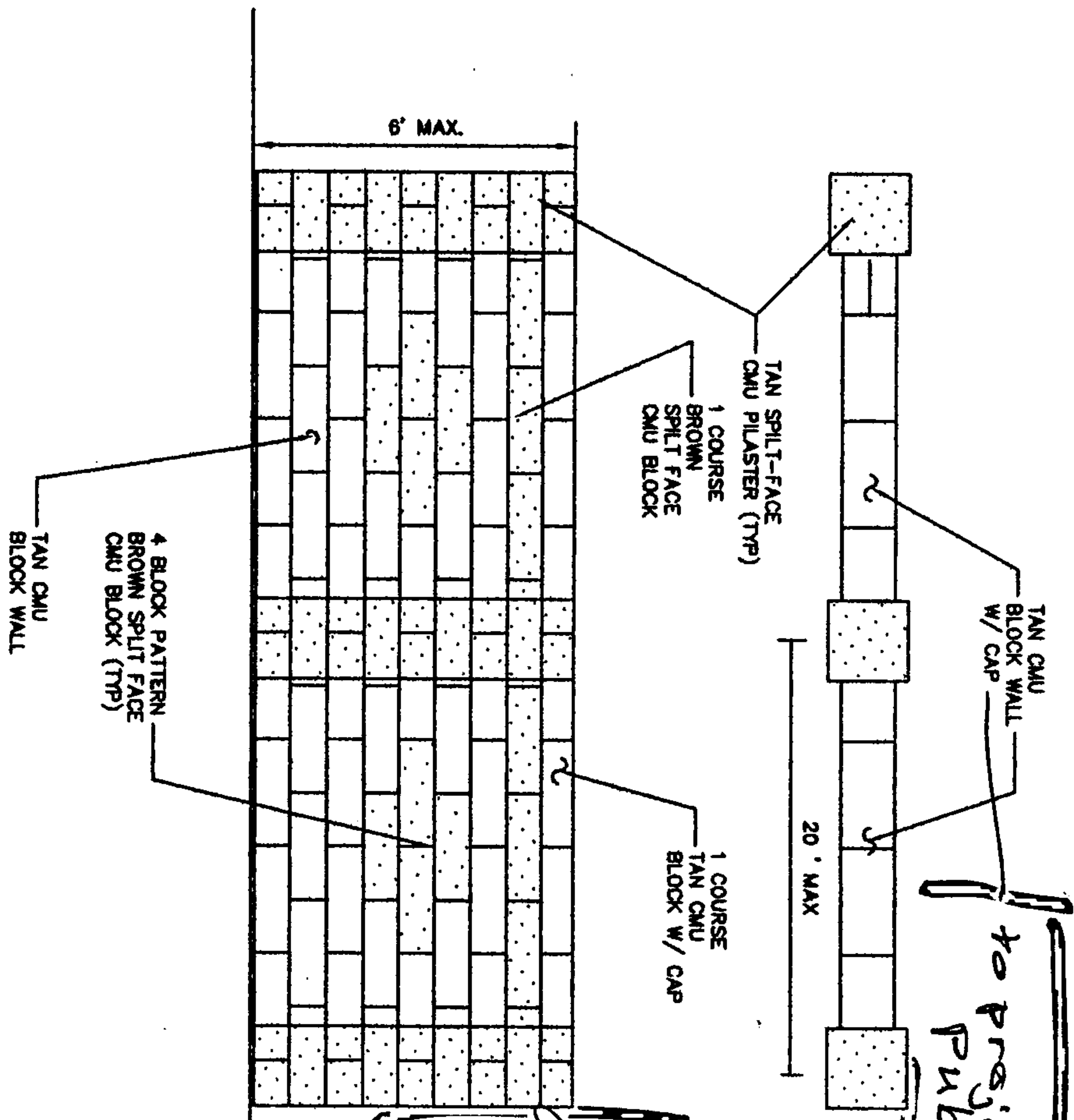
REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

Wall Comments

PERIMETER WALL DETAIL FOR SEVANO PLACE SUBDIVISION

DRB NO. [redacted] ZONE ATLAS PAGE C-18

LOCATION: ALAMEDA AND LOUISIANA



- NOTES:
1. MAXIMUM WALL HEIGHT INCLUDING RETAINING WALL SHALL NOT EXCEED EIGHT FEET

$$\frac{2}{26} = \frac{13}{86}$$

DRB Project # 1005191  
APS Cluster Lacueva

PRELIMINARY  
PRE-DEVELOPMENT FACILITIES FEE AGREEMENT

THIS AGREEMENT is made by and between the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, New Mexico ("Albuquerque Public Schools" or "APS"), a public school district organized and existing pursuant to the laws of New Mexico, and

Shakeel Rizvi ("Developer") effective as of this 17 day of November, 2006 and pertains to the subdivision commonly known as Sevano Place, and more particularly described as

Lots 13 thru 20, Block 29, Tract A, Unit B, NAA  
consisting of 42 subdivided lots

(the "Subdivision".)

WHEREAS, In order to provide for APS becoming more knowledgeable of development plans within the City so that APS may better plan for future growth, the City of Albuquerque requires that APS approve the plat(s) for any new subdivision; and

WHEREAS, Developer is proposing the development of a new residential subdivision, and requires APS approval of the plat for said subdivision; and

WHEREAS, Developer is the owner of the real estate being subdivided and platted; and

WHEREAS, Developer is required by the Albuquerque Subdivision Ordinance to provide appropriate infrastructure and improvements as a condition of developing a subdivision; and

WHEREAS, as a condition of approving such plat APS requires the provision of appropriate infrastructure and facilities or the payment of a facilities fee for each new residence to be constructed to help defray the cost of school construction, expansion, or maintenance; and

WHEREAS, APS has determined that the amount of the facilities fee is reasonably related to the impact the subdivision will have on the operation of the area schools:

THEREFORE, in consideration of the mutual promises contained herein, APS and Developer agree as follows:

1. Developer agrees that a facilities fee will be paid to APS for each dwelling unit to be constructed in the Subdivision.
2. The amount of the fee shall be:
  - If the building permit is issued on or after January 1, 2007, the fee shall be \$1875 per dwelling unit.



DRB Project #

1005191

APS Cluster

La Cueva

- If the building permit is issued on or after July 1, 2008, the fee shall be \$2425 per dwelling unit.
- If the permit is issued on or after January 1, 2010, the fee shall be \$2975 per dwelling unit.

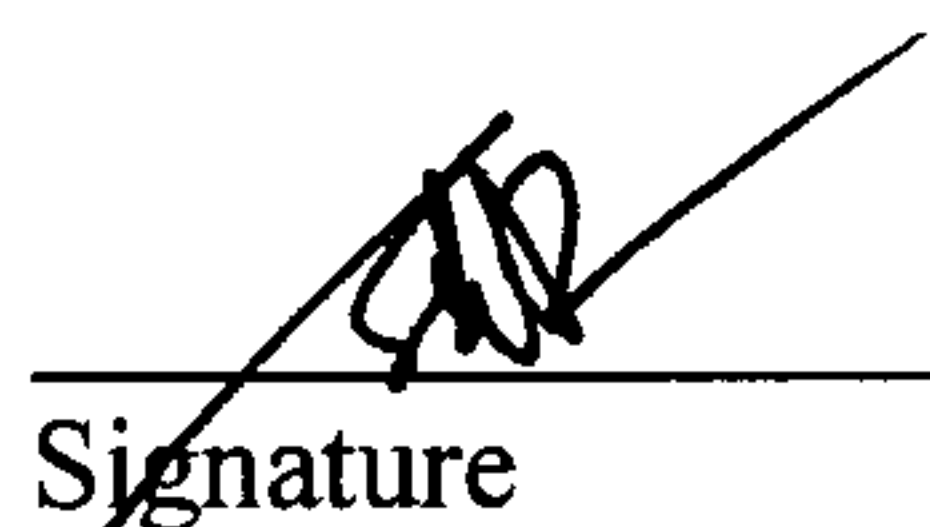
The fee for each dwelling unit in multi-family residential structures shall be sixty percent (60 %) of the fee for a single family home. "Multi-family residential structure" means any type of residential property other than single-family houses (one single family, detached dwelling unit per lot).

3. Developer agrees that the fee shall be paid to APS at or before the issuance of any building permit for any lot or other parcel of property subject to this Agreement.

4. Developer may satisfy all or part of its obligations under this contract by transferring improved or unimproved property to APS, provided that APS must agree to the transfer and to the value placed on the transferred property. APS, upon accepting such transfer, shall credit Developer with an amount equal to the agreed value, and the developer may designate the lot(s) to which such amount(s) shall be applied in satisfaction of its obligations hereunder.

5. This contract may be recorded in the office of the County Clerk of Bernalillo and/or Sandoval County, and shall serve as notice of the Developer's obligation to pay facilities fees. Developer shall include on the plat of the Subdivision a statement that "The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools, recorded at [recording data]."

6. APS, through its Facilities Fee Administrator, will provide a Payment Acknowledgement in the form attached hereto to the Developer reflecting receipt of the facilities fee (or equivalent compensation as described in paragraph 4 above), which form may be given to the City to show satisfaction of the fee obligation and satisfy that condition for receiving building permits. Developer may record that Payment Acknowledgment in the real estate records of Bernalillo or Sandoval County, but APS shall not be responsible for paying any recording fees nor shall APS be responsible for recording any such documents with the office of the County Clerk or any other office.

  
 \_\_\_\_\_  
 Signature

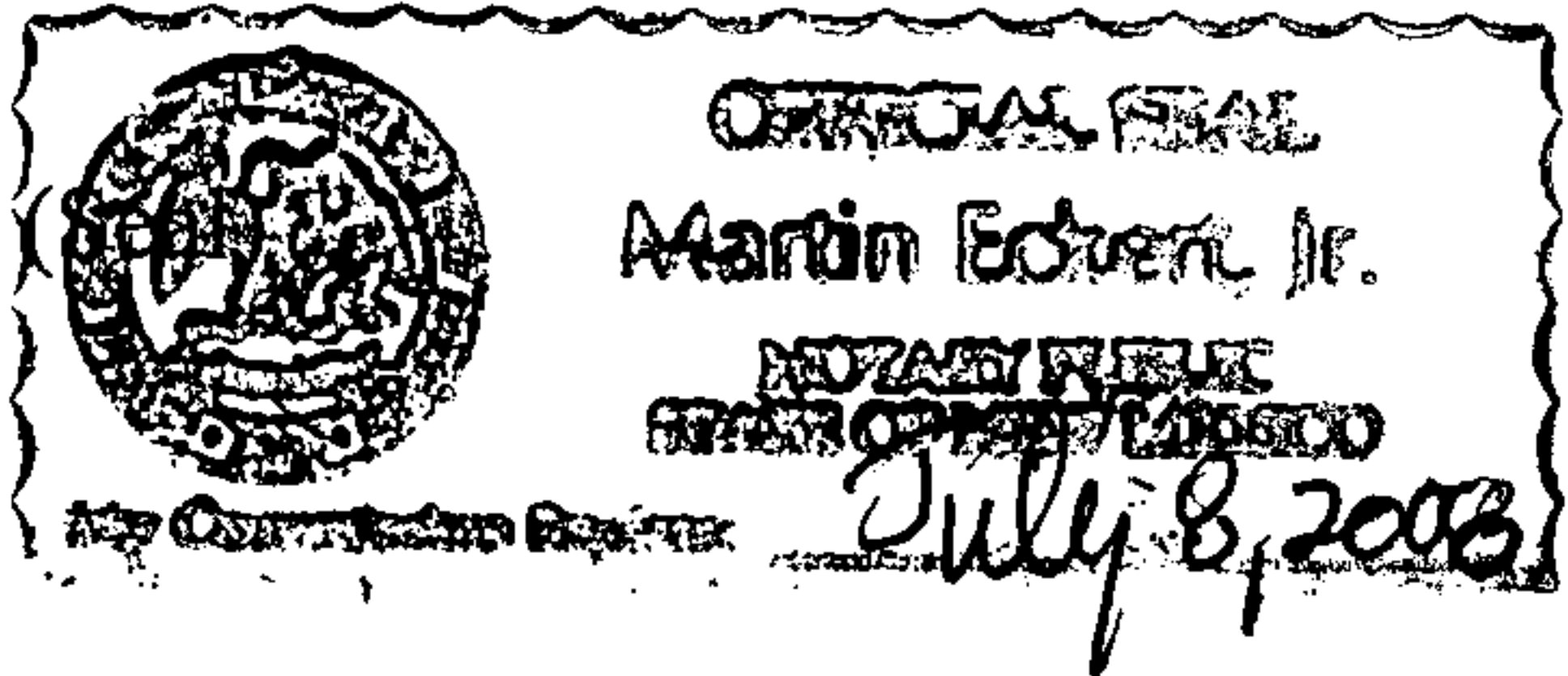
Shakool Rizvi  
 \_\_\_\_\_  
 Name (typed or printed) and title

Shakool Rizvi  
 \_\_\_\_\_  
 Developer

DRB Project # 1005191  
APS Cluster La Cueva

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on November 17, 2006, by Skakeel Rizvi as Owner/Developer of Sevano Place, a corporation.



Martin Eckert Jr.  
Notary Public

My commission expires: July 8, 2008

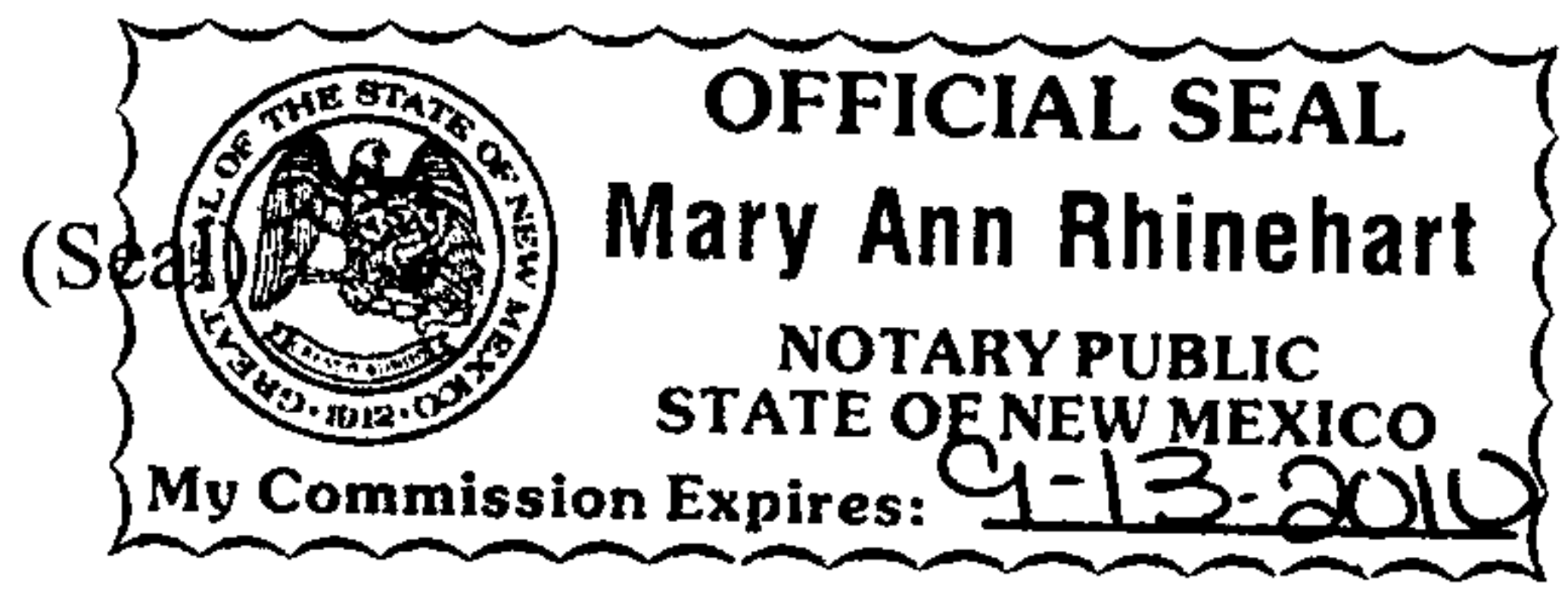
ALBUQUERQUE PUBLIC SCHOOLS

By: Brad Winter  
Signature

BRAD WINTER Spec Dir Facilities  
Name (typed or printed) and title

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on Nov. 20, 06 by Brad Winter as Executive Director of the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, a school district organized and existing under the laws of the State of New Mexico.



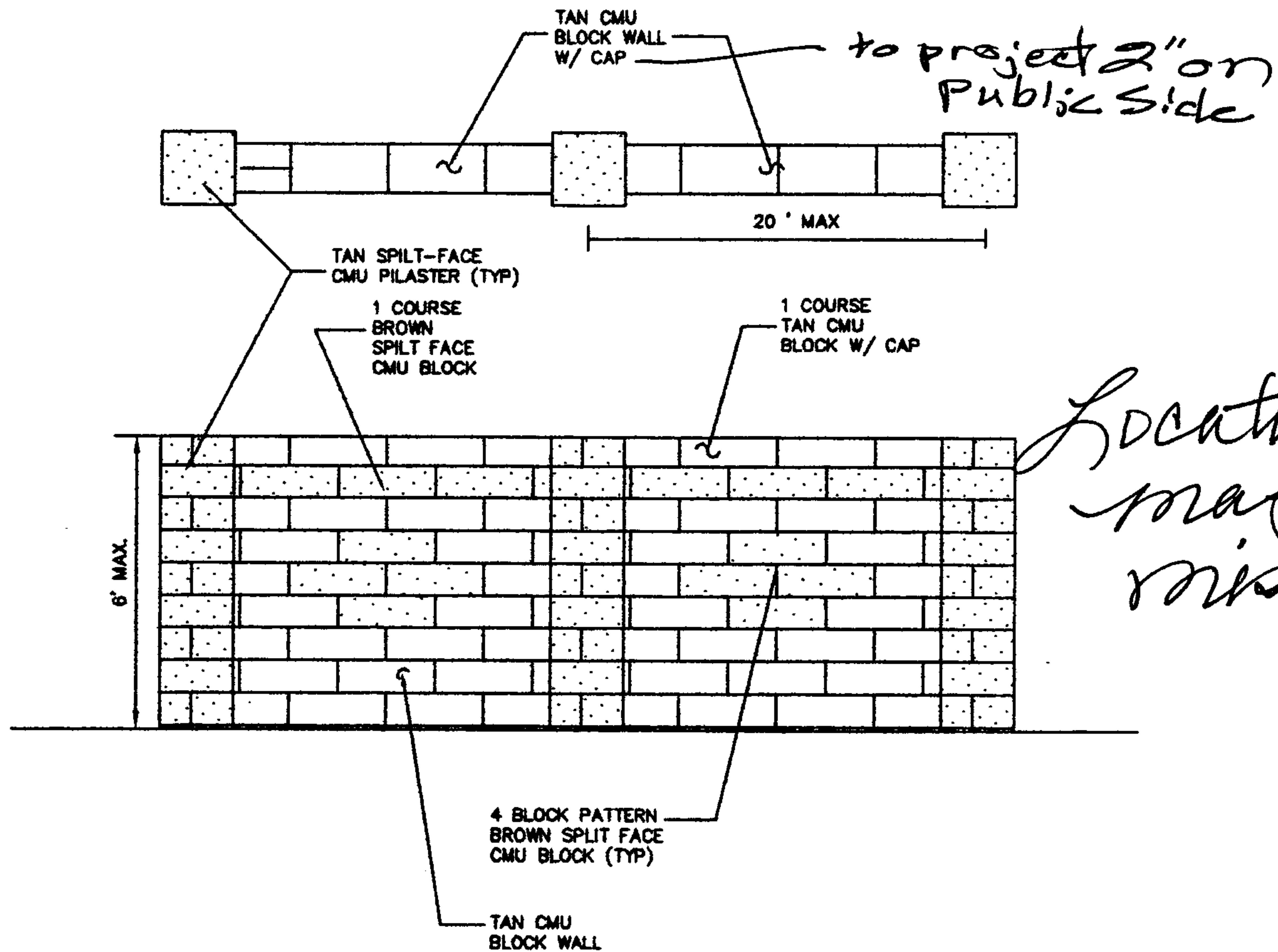
Mary Ann Rhinehart  
Notary Public

My commission expires: 9-13-2010

PERIMETER WALL DETAIL FOR SEVANO PLACE SUBDIVISION

DRB NO. [redacted] --- ZONE ATLAS PAGE C-18

LOCATION : ALAMEDA AND LOUISIANA



NOTES:

1. MAXIMUM WALL HEIGHT INCLUDING RETAINING WALL SHALL NOT EXCEED EIGHT FEET

Ms Sheran Matson, AICP  
DRB Chair  
City of Albuquerque  
P.O.Box 1293  
Albuquerque, New Mexico 87102

10-30-2006

SEVANO PLACE SUBDIVISION: DRB NO: 1005191  
REQUEST TO DEFER TILL 10-08-2006

Dear Ms Matson:

I would like to defer the above referenced subdivision to 11-08-2006. This is because QWEST Communications has a fiber optics line running through the property and they have advised us to re configure the design layout to accommodate the fiber optics line.

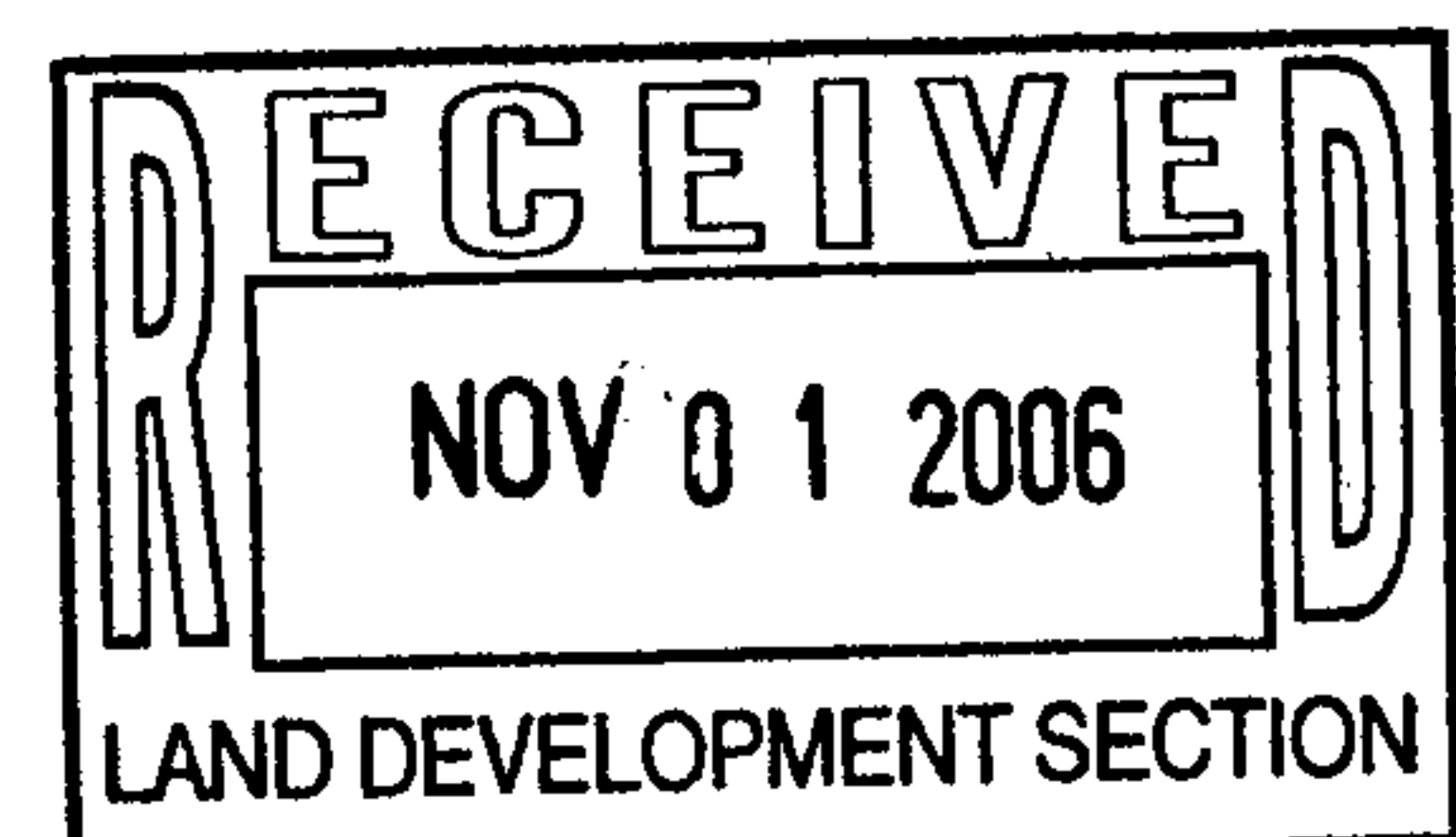
Although we have made the necessary revisions to the design layout, we have not yet incorporated the changes on the Grading and Drainage plans. All changes to the grading plans will be submitted to the DRB on or before 10-31-2006.

If you have any questions please call me at 315-6484. Thank you very much for your cooperation.

Sincerely,



Adil Rizvi  
2340 Manual NE  
Suite 200  
Albuquerque, NM 87113



**ORIGINAL**

**INFRASTRUCTURE LIST**

(Rev. 9-20-05)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT**

**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**SEVANO PLACE SUBDIVISION**

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN





**LOT 13 - 20, BLOCK 29, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES**

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		28' F-F	RESIDENTIAL PAVING	SEVANO CIR	ENTIRE	SEVANO CIR	/	/	/
		30' F-F	Arterial Paving (1) Half width	Alameda Blvd	Louisiana	West PL	/	/	/
		30' F-F	Arterial Paving (4) Half width	Louisiana	(ALAMEDA) North PL	(SIGNAL) South PL	/	/	/
		MTBL	Curb & Gutter	Sevano Cir	ENTIRE	SEVANO CIR	/	/	/
		STD	Curb & Gutter South Side Only	Alameda	Louisiana	West PL	/	/	/
		STD	Curb & Gutter	Louisiana	Alameda	Signal	/	/	/
		Median	Curb & Gutter North Side Only	Alameda	Louisiana	West PL	/	/	/
		Median	Curb & Gutter West Side Only	Louisiana	Alameda	Signal	/	/	/
		4'	PCC Sidewalk (2) both Sides	Sevano Cir	ENTIRE	SEVANO CIR	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #
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Size	Type of Improvement	Location	From	To
6'	PCC Sidewalk  South Side Only	Alameda	Louisiana	West. PL
6'	PCC Sidewalk (4) West side Only	Louisiana	Alameda	Signal
6"	Water Line	Sevano Cir	ENTIRE SEVANO CIR	
8"	Water Line 	Alameda	Louisiana	West. PL
8"	SAS	Sevano Cir	ENTIRE SEVANO CIR	
8"	SAS 	Alameda	Louisiana	West. PL
30"	RCP Storm Drain 	Alameda	Louisiana	West. PL
6'	PCC Side Walk North Side Only	Signal	Louisiana	West. PL
2.8 Ac FT.	Temp. Retention Pond with easement, Covenant & Agreement.	Lot 11, B29		

Construction Certification		
Private		City Cnst Engineer
Inspector	P.E.	
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

- 1 All Water lines to include fire hydrants, valves and appurtenances per DPM. SAS to include Manholes per DPM.  
All residential Lighting per DPM.
- 2 △ Improvements to be deferred (Modified Procedure "B")
- 2 △ Side walks to be deferred on both sides where noted
- 3 △ By Modified Procedure "C" Agreement (non-work order)  
Grading Certification Required Prior to Release of SIA & Financial Guarantee

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

ADIL RIZVI

NAME (print)

DRB CHAIR - date

PARKS & RECREATION - date

Design & Development

FIRM

Group.

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

Adil Rizvi

SIGNATURE - date

10-5-06

UTILITY DEVELOPMENT - date

\_\_\_\_\_ - date

CITY ENGINEER - date

\_\_\_\_\_ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

**FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL**

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
  - Proposed Infrastructure List
  - Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Property owner's and City Surveyor's signature on the proposed plat
  - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Signed** Pre-Annexation Agreement if Annexation required.
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.  
 DRB Public hearings are approximately **ONE MONTH** after the filing deadline. **Your attendance is required.**

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
  - Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.  
 DRB Public hearings are approximately **ONE MONTH** after the filing deadline. **Your attendance is required.**

**MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (Temporary sidewalk deferral uses FORM-V)**

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. \_\_\_\_\_
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. \_\_\_\_\_
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

DRB Public hearings are approximately **ONE MONTH** after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

\_\_\_\_\_ **ADIL RIZVI** \_\_\_\_\_  
 Applicant name (print)  
 \_\_\_\_\_ *Adil Rizvi* \_\_\_\_\_  
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 06DRB - \_\_\_\_\_ - 01454  
 \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_  
 \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

Form revised 11/04 and JUNE 05  
 \_\_\_\_\_ *K. S. 10/2/04* \_\_\_\_\_  
 Planner signature / date  
**Project # 1005191**



FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
- Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
- Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
- Any original and/or related file numbers are listed on the cover application

**DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **24 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

**DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DPM)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the variance or waiver
- Any original and/or related file numbers are listed on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the deferral or extension
- Any original and/or related file numbers are listed on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (not to exceed 8.5" by 14") **6 copies**
- Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the vacation
- Letter of authorization from the grantors and the beneficiaries
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

VACATION OF RECORDED PLAT

- 6 copies of the recorded plat to be vacated.
- 6 copies of documents justifying the vacation.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter describing, explaining, and justifying the vacation
- Any original and/or related file numbers are listed on the cover application
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

ADIL RIZVI

Applicant name (print)

AR

Applicant signature / date

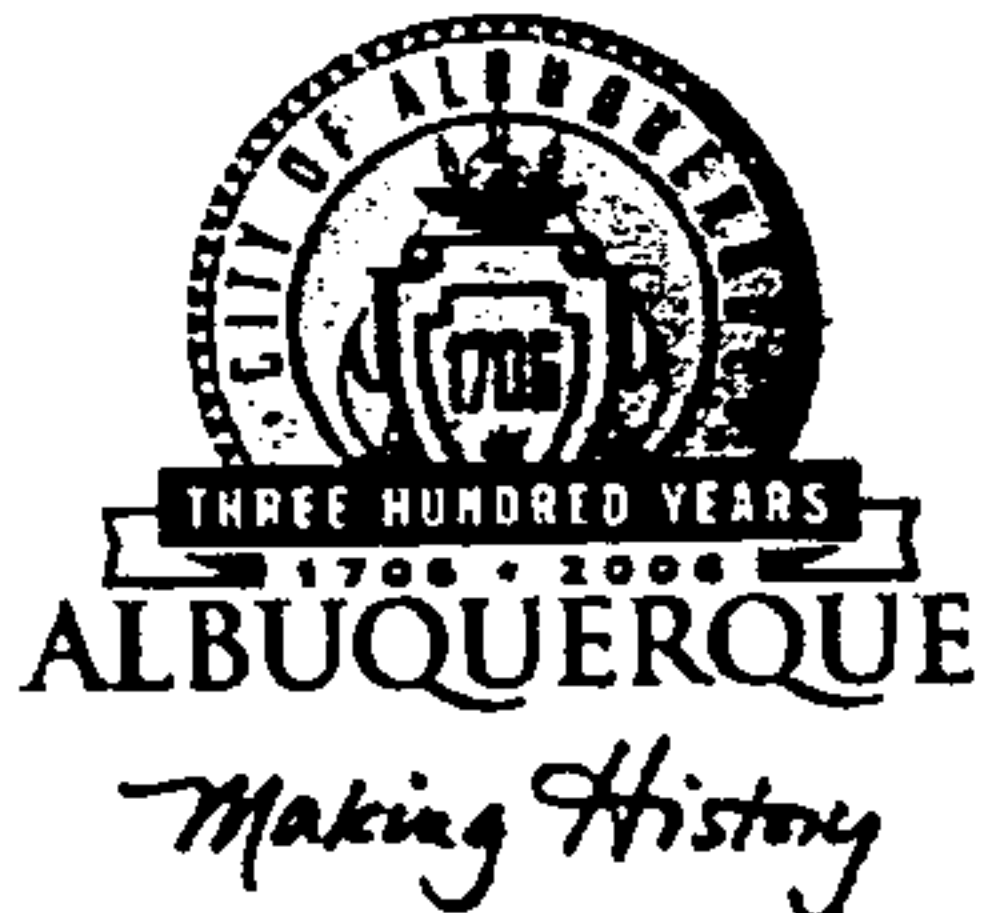


Form revised 4/03, 10/03 and APRIL 2006

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
06023 - 01455  
 \_\_\_\_\_  
 \_\_\_\_\_

10/6/06  
 Planner signature / date  
 Project # 2005191



City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: October 6, 2006

TO CONTACT NAME: Shakeel Rizvi  
COMPANY/AGENCY: \_\_\_\_\_  
ADDRESS/ZIP: 8504 Waterford PL NE  
PHONE/FAX #: 315-6563 - Fax - 292-3904

Thank you for your inquiry of 10-6-06 (date) requesting the names of **Recognized**

**Neighborhood Associations** who would be affected under the provisions of O-92 by your proposed project at Lots 13 Thru 20, Block 29, Tract A, Unit 13 NAA located on Alameda + Louisiana Between Alameda + Signal zone map page(s) C-18.

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Nor Este N.A.  
Neighborhood Association  
Contacts: Leilani Mc Granahan  
7600 Rio Guadalupe NE/87122  
293-5209(h)  
Joe Yardumian  
7801 R.C. Gorman Ave. NE  
87122-2748- 797-1851-(h)

West LA Cueva N.A.  
Neighborhood Association  
Contacts: Thomas Alfieri  
8220 Vile Ct. NE/87113  
823-1564(h) 828-5488(w)  
Stephanie O'Connell  
8211 SAN GAVALON NE/87113  
315-7233(h)

**See reverse side for additional Neighborhood Association Information:** YES  NO { }

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,  
Stephanie O'Connell  
OFFICE OF NEIGHBORHOOD COORDINATION

.....  
: Attention: Both contacts per  
: neighborhood association  
: need to be notified.  
: .....

Additional Neighborhood Association Information

The Quail Springs NA.  
Neighborhood Association

Contacts: Goldialu G. Stone  
7116 Quail Springs PL NE  
87113-797-5597(h)

Dr. Betty S. Fisher  
7311 Quail Springs PL NE  
87113  
797-4852(h)

Neighborhood Association

Contacts: \_\_\_\_\_

North Domingo BACA NA.  
Neighborhood Association

Contacts: Judie Pellegrino  
8515 Murrelet NE/87113  
839-3000 ext. 13720 (w)

Haden M. Bowling  
8523 Murrelet NE/87113  
821-4927(h)

Neighborhood Association

Contacts: \_\_\_\_\_

**ALTHOUGH YOU ARE NOT "OFFICIALLY REQUIRED" BY O-92,**  
you are most welcomed to notify the following "Unrecognized"  
neighborhood associations of this project.

Sonoma HOA

Neighborhood Association

Contacts: Valerie Shupe  
6608 Tesoro NE/ 87113  
220-5254(c)

Karen Aspelen  
6801 Suerte NE/ 87113  
856-9289 (w) 350-6972(c)

Neighborhood Association

Contacts: \_\_\_\_\_

Neighborhood Association

Contacts: \_\_\_\_\_

Neighborhood Association

Contacts: \_\_\_\_\_

# NOTICE TO APPLICANTS

**Suggested Information for Neighborhood Notification Letters...** Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, LUCC, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

**We recommend that the Notification Letter include the following information:**

- The street address of the subject property.
- The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
- A physical description of the location, referenced to streets and existing land uses.
- A complete description of the actions requested of the EPC:
- If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
- If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
- If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
- The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

## Information from the Office of Neighborhood Coordination (ONC)

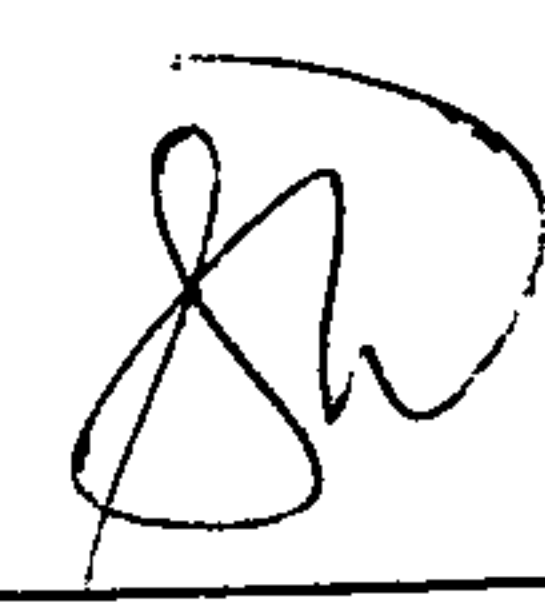
The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

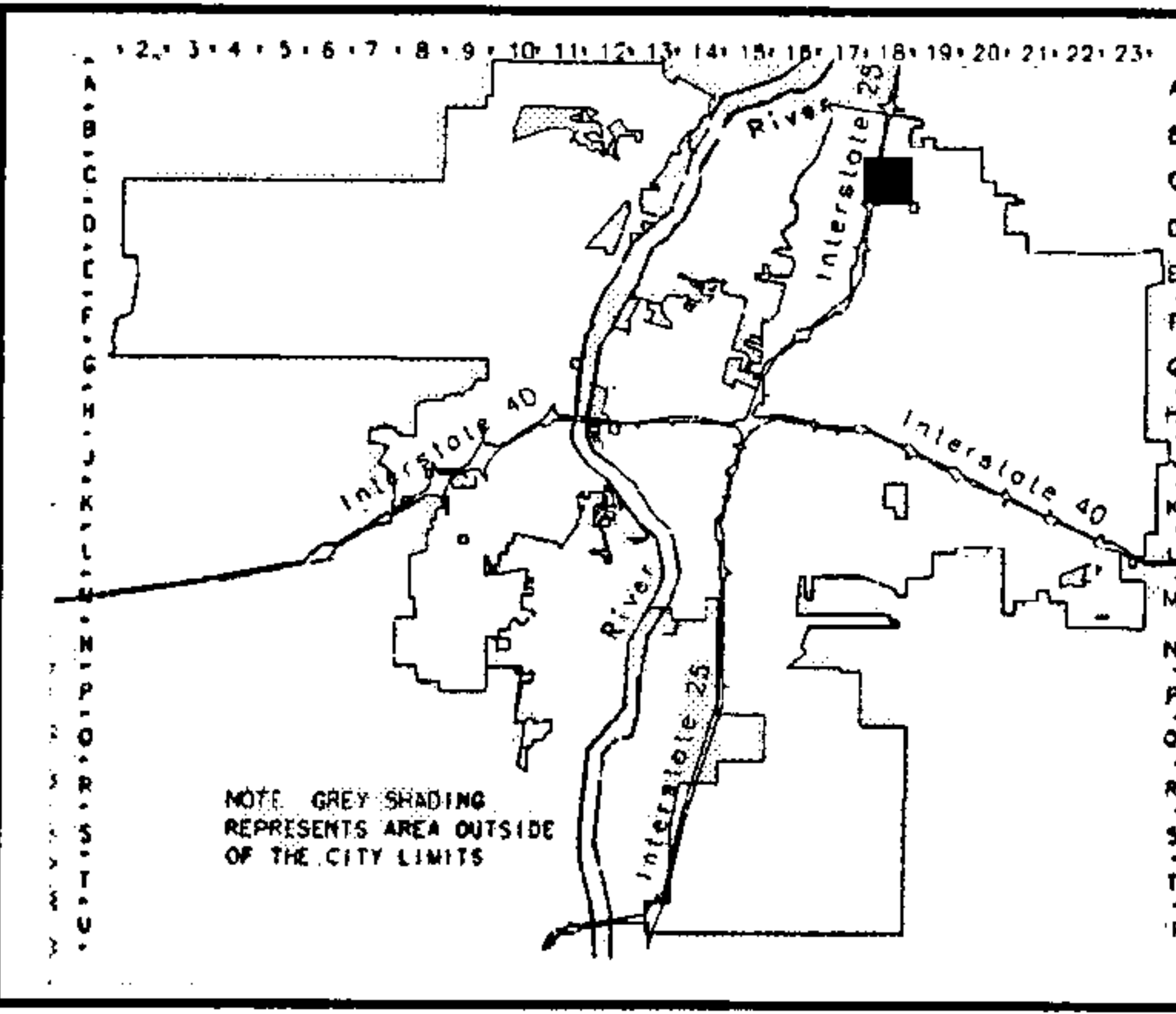
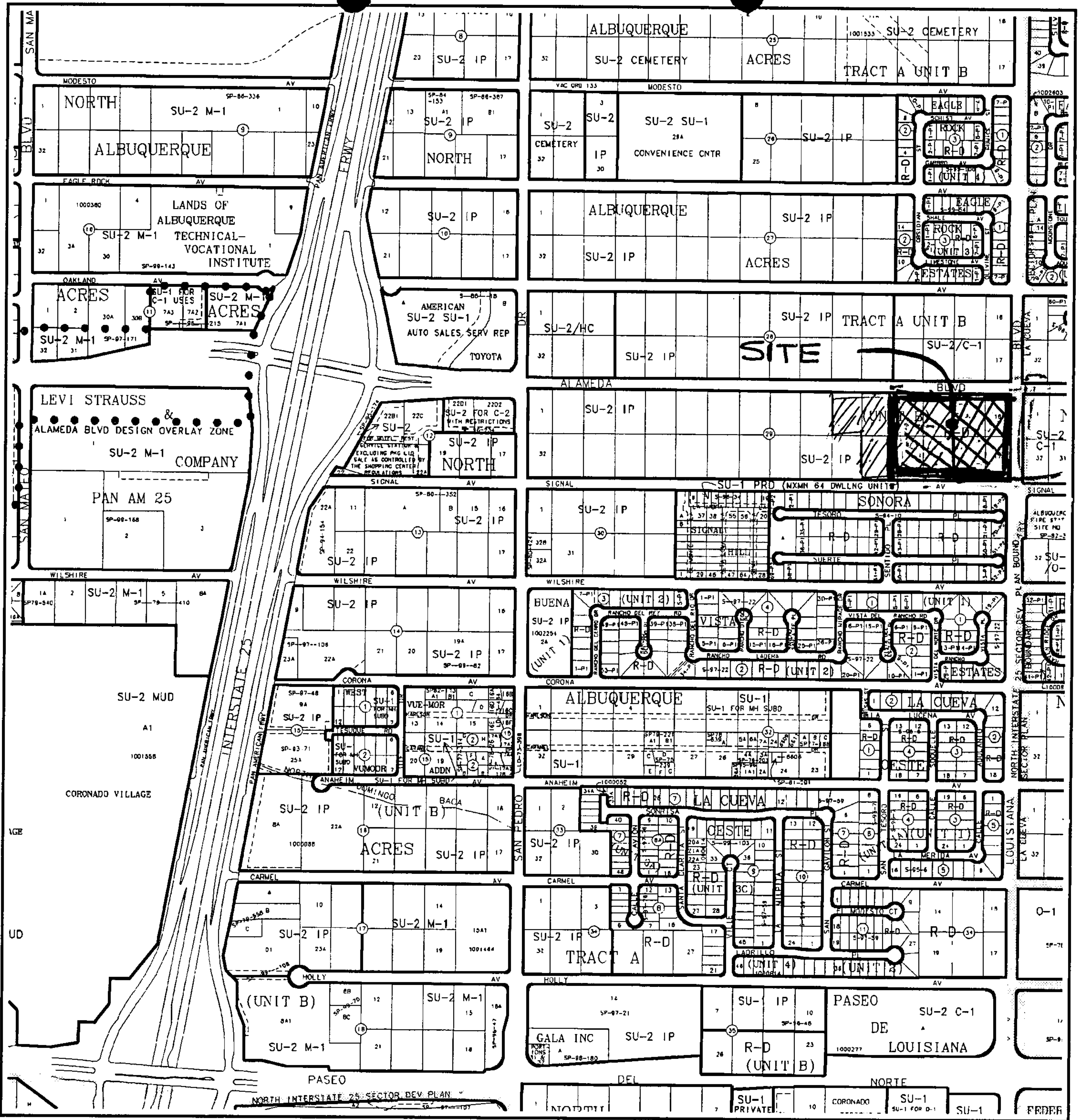
- [ ] ONC's "Official" Letter to the applicant and "Attachment A" (if there are associations). A copy must be submitted with application packet **-OR-**
- [ ] The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- [ ] Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.
- [ ] Copies of the certified receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

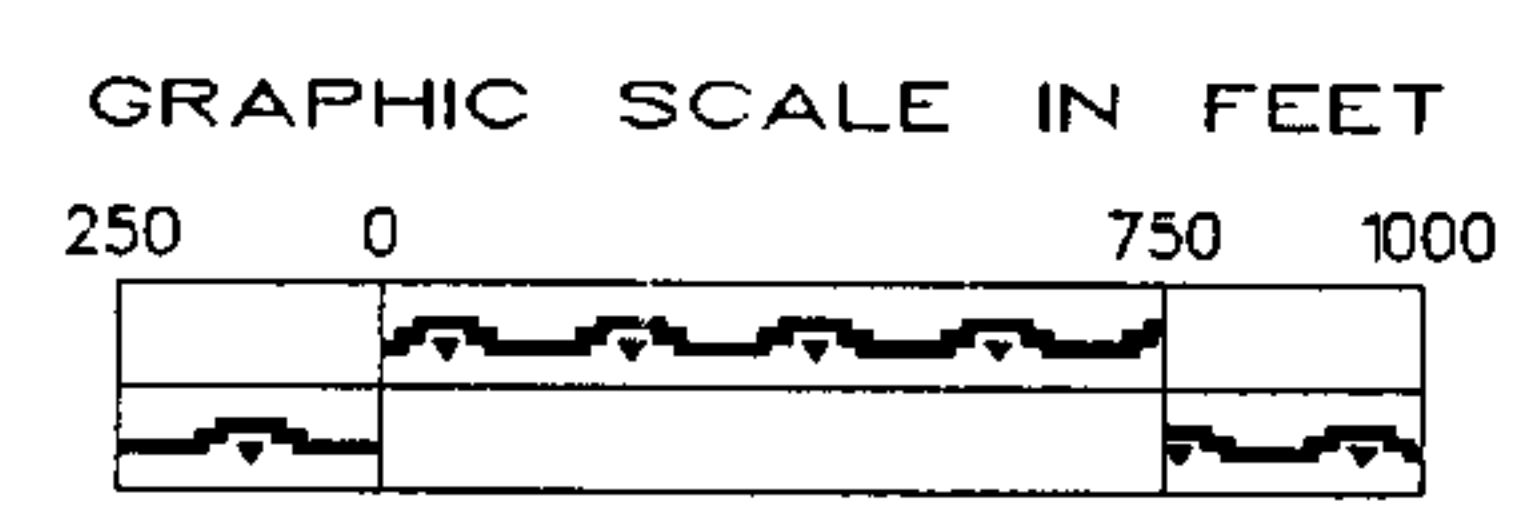
\*\*\*\*\*

(Below this line for ONC use only)

Date of Inquiry: 10-6-06 Time Entered: 11:13 am ONC Rep. Initials: 



CITY OF  
Albuquerque  
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**Zone Atlas Page**

**C-18-Z**

Map Amended through July 31, 2003

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: ADIL RIZVI DATE OF REQUEST: 09/28/06 ZONE ATLAS PAGE(S): C-18

CURRENT:

ZONING R-D

PARCEL SIZE (AC/SQ. FT.) 8 AC.

LEGAL DESCRIPTION:

LOT OR TRACT # 13 THRU 20 BLOCK # Block 29  
SUBDIVISION NAME SEVANO PLACE TA, UB.

REQUESTED CITY ACTION(S):

ANNEXATION [ ]	SECTOR PLAN [ ]	SITE DEVELOPMENT PLAN:
COMP. PLAN [ ]	ZONE CHANGE [ ]	A) SUBDIVISION [ ] BUILDING PERMIT [ ]
AMENDMENT [ ]	CONDITIONAL USE [ ]	B) BUILD'G PURPOSES [ ] ACCESS PERMIT [ ]
		C) AMENDMENT [ ] OTHER [ ]

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT  [ ]  
NEW CONSTRUCTION  [ ]  
EXPANSION OF EXISTING DEVELOPMENT [ ]

GENERAL DESCRIPTION OF ACTION: <sup>1</sup>

# OF UNITS: 44  
BUILDING SIZE: 2200 (sq. ft.)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE ADIL RIZVI DATE 9/28/2006  
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>ND</sup> Floor West, 600 2<sup>ND</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO  [X] BORDERLINE [ ]

THRESHOLDS MET? YES [ ] NO [ ] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [ ]  
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature]  
TRAFFIC ENGINEER

9-28-06  
DATE

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [ ] NO [ ]

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. **Any subsequent changes to the development proposal identified above may require an update or new AQIA.**

[Signature]  
APPLICANT

9-28-06  
DATE

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED   /  /    
-FINALIZED   /  /   TRAFFIC ENGINEER    DATE

**FORM DRWS: DRAINAGE REPORT / WATER & SANITARY SEWER AVAILABILITY**  
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION  
FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME: SEVANO PLACE SUBDIVISION

AGIS MAP # C-18

LEGAL DESCRIPTIONS: LOTS 13 <sup>THRU</sup> ~~TRAC~~ - 20  
TRACT A, UNIT B, NAA.

**DRAINAGE REPORT**

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2<sup>nd</sup> Floor Plaza del Sol) on 10/6/06 (date).

[Signature]  
Applicant/Agent

10/6/06  
Date

[Signature]  
Hydrology Division Representative

10/6/06  
Date

**WATER AND SEWER AVAILABILITY STATEMENT**

A Water and Sewer Availability Statement for this project was requested from the City of Albuquerque Utilities Development Division (2<sup>nd</sup> floor, Plaza del Sol) on Not Required (date).

\_\_\_\_\_  
Applicant/Agent  
William J. Balch  
Utilities Division Representative

\_\_\_\_\_  
Date  
9/28/2006  
Date

PROJECT # \_\_\_\_\_

10-05-2006

Ms Sheran Matson, AICP  
DRB Chair  
Planning Department  
City of Albuquerque  
Albuquerque  
New Mexico 87102

SEVANO PLACE SUBDIVISION:  
REQUEST FOR PRELIMINARY PLAT APPROVAL AND APPROVAL  
OF THE INFRA STRUCTURE LIST.

Dear Ms Matson:

On behalf of Design and Development Group, I am requesting approval of the preliminary plat for the proposed Sevano Place Subdivision. The project is located on Louisiana between Alameda and Signal – City zone atlas c-18. and lies within the boundaries of North I-25 Sector Development Plan.

The proposed subdivision consists of 43 sub divided lots ranging from 4400 SF to 5500 SF. The current zoning is RD and minimum lot size requirement under the Sector Plan is 3200 SF.

We are also requesting vacation of four (4) feet of Public Right of Way on Signal Avenue, deferral of all internal sidewalks around Sevano Circle and internal sidewalk variance as shown on Exhibit A.

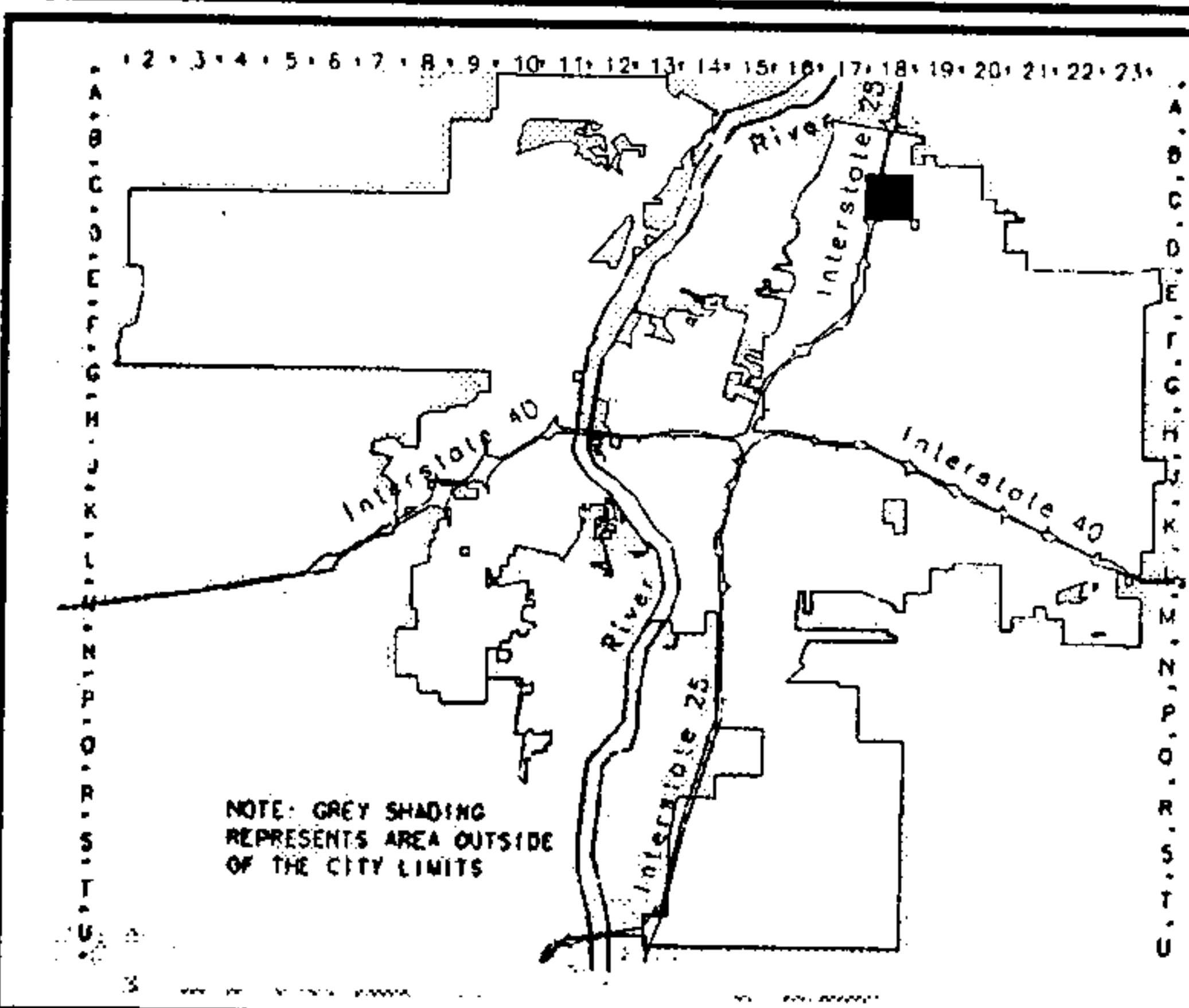
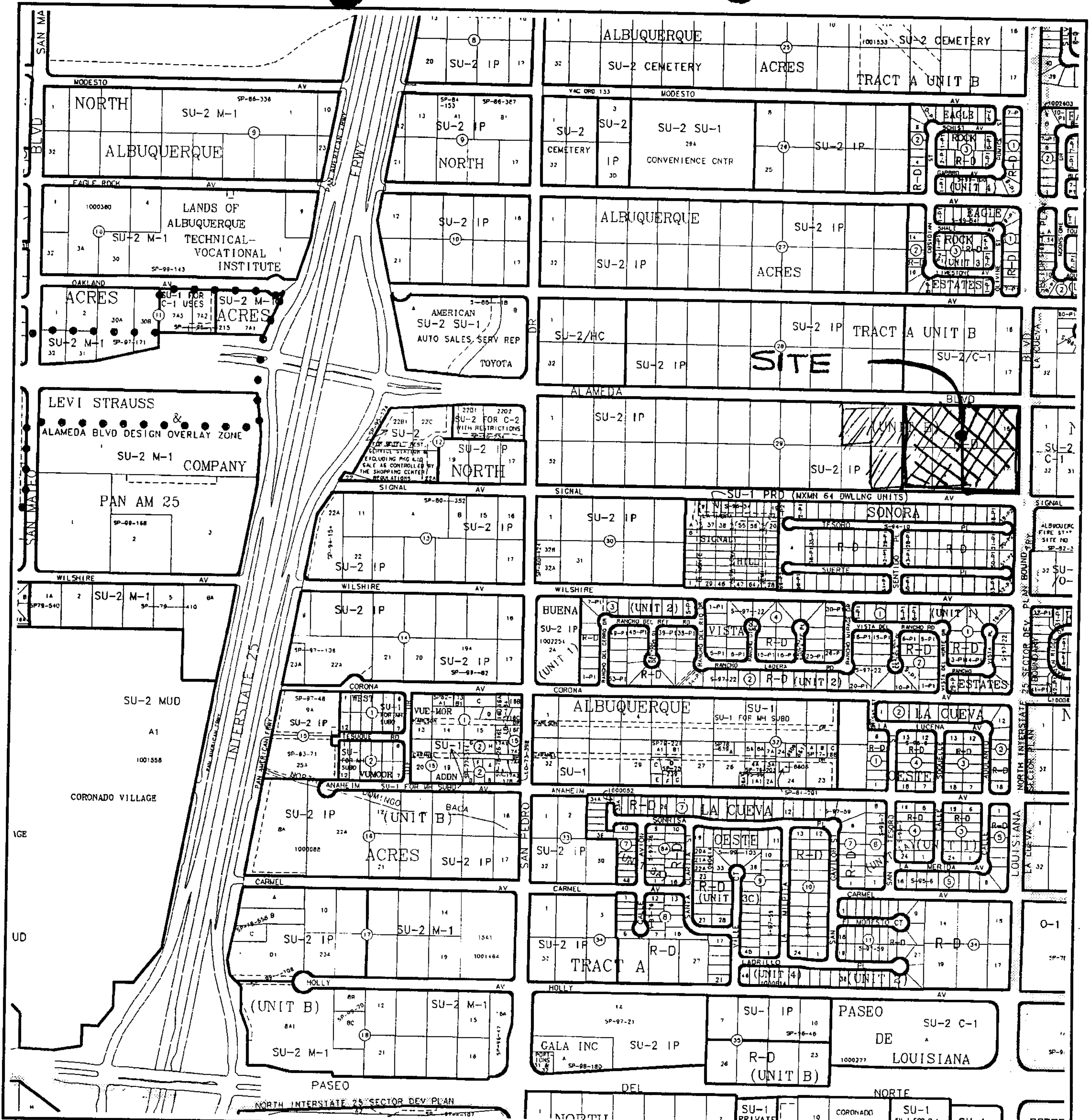
If you have any questions please call me at 315-6484. Thank you very much for your cooperation.

Sincerely,



Adil Rizvi  
2340 Menaul NE  
Suite 200  
Albuquerque  
NM 87107

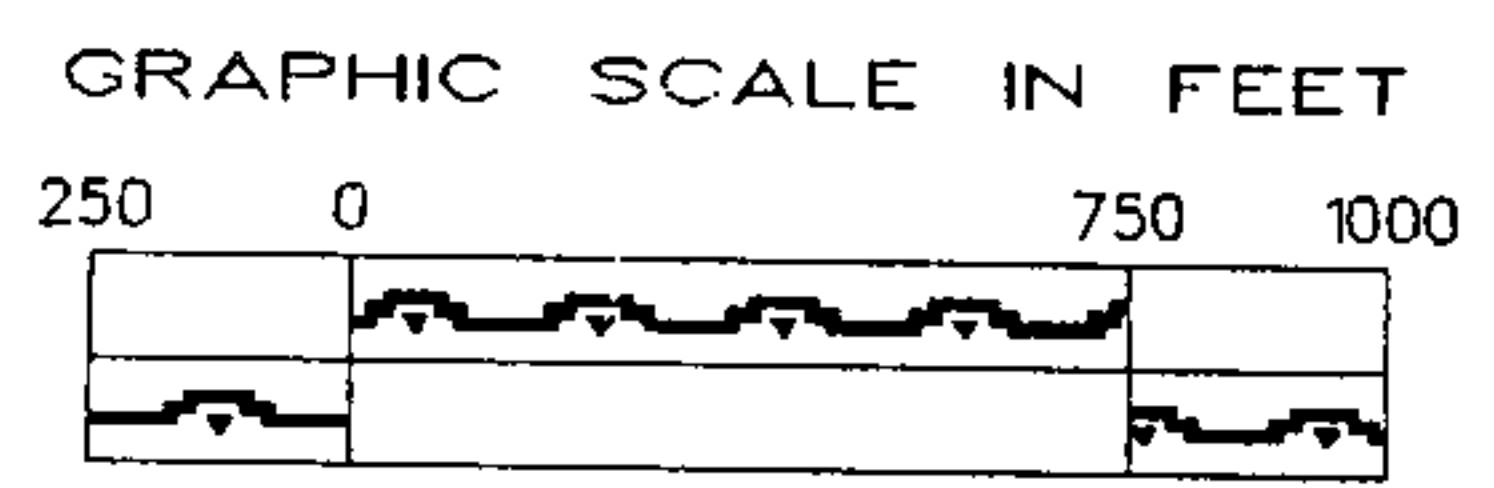




CITY OF  
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**PLANNING DEPARTMENT**

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**Zone Atlas Page**

**C-18-Z**

Map Amended through July 31, 2003

Preliminary N.A.

\* The Quail Springs NIA  
Goldialu G. Stoned  
1116 Quail Springs PL-NE/87113  
797-5597(h)  
Dr Betty J Fisher  
11311 Quail Springs PL-NE/87113  
797-4852(h)

\* North Domingo BACA N.A.  
Judie Pellegrino  
8515 Murrelet NE/87113  
839-3000 ext 13720 (w)  
Haden M. Bowling  
8523 Murrelet NE/87113  
821-4927(h)

Preliminary N.A.

\* Nor Este N.A.  
Heilani McGranahan  
7600 Rio Guadalupe  
NE/87122-  
293-5209(h)  
Joe YARDUMIAN  
7801 R.C. Gorman Ave. NE/87112  
797-1851(h)

\* West LA Cueva N.A.  
Thomas Alfieri  
8200 Ville Ct. NE/87113  
823-1564(h) 828-5488(w)  
Stephanie O'Connell  
8211 San Gayalon NE/87113  
315-7233(h)

Shakeel Rizvi  
8504 Waterford Pl., NE.  
Albuquerque, NM 87122

September 13, 2006

Dear Sir or Madam:

*Lots 11 - 21*

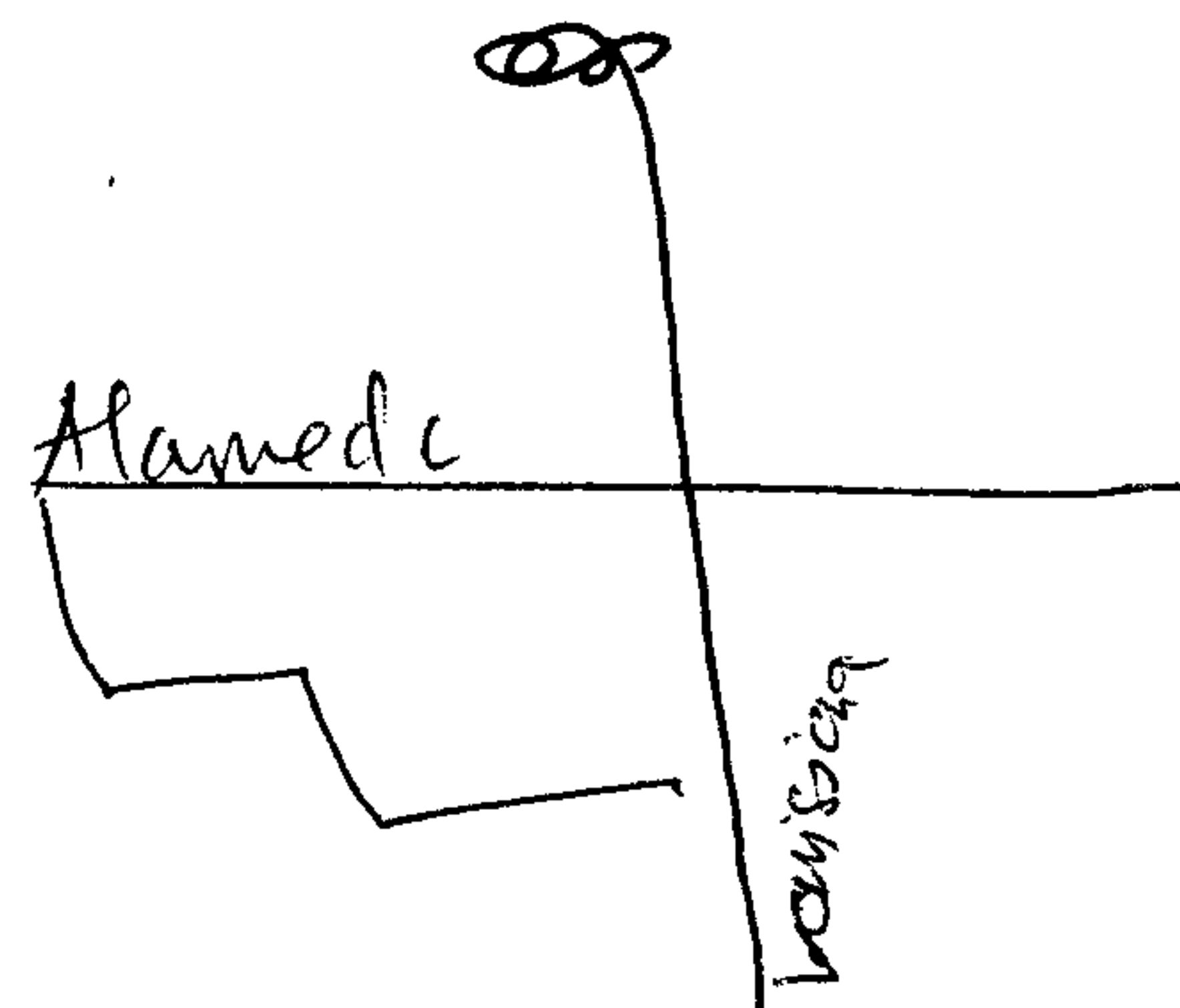
Re: Request for Neighborhood Association address for lots 15, 16, 17, and 18, Unit B, Tract A, NAA

I plan to design a subdivision on the above-mentioned lots. I request you to provide me with the addresses for the Neighborhood.

Thanks

Sincerely,

  
Shakeel



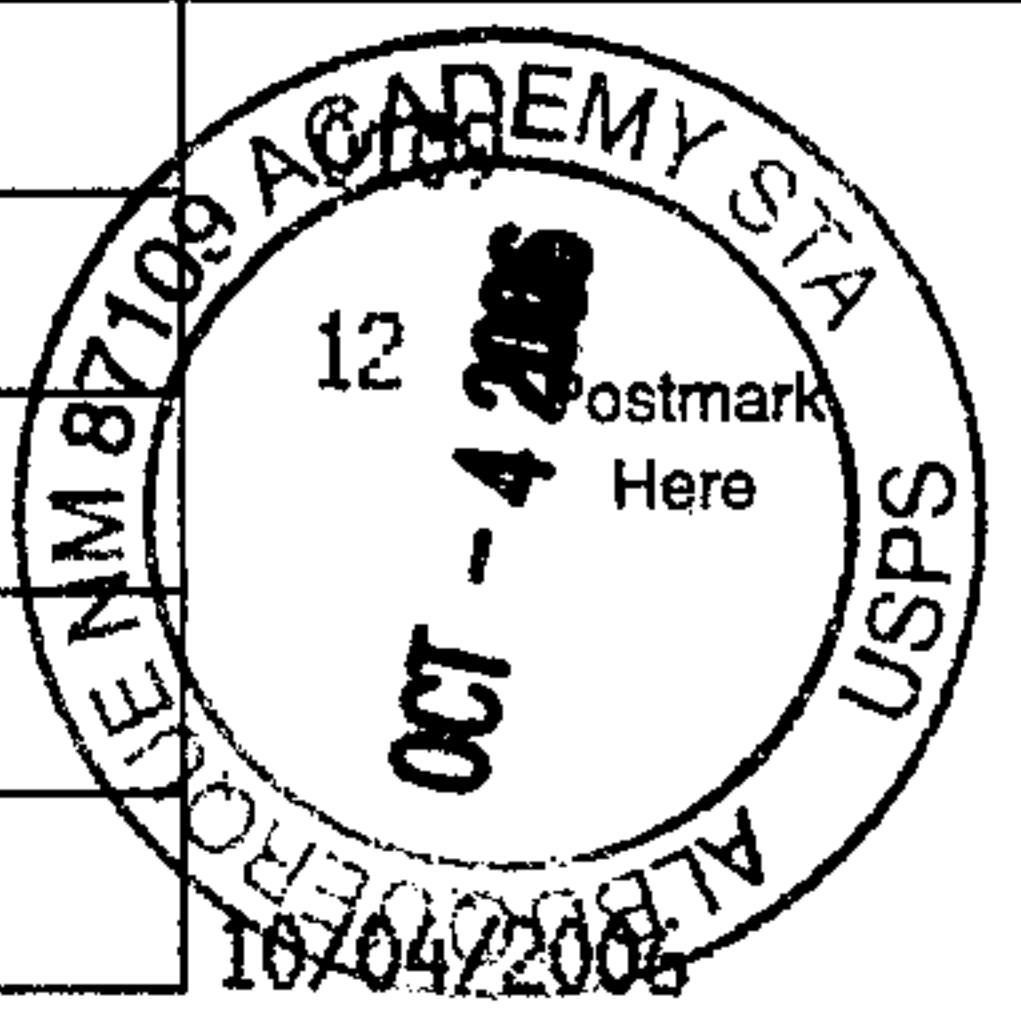
9150 0261 1923 0516  
7006 0100 0005 5000 0010 9002

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Certified Fee		\$2.40
Return Receipt Fee (Endorsement Required)		\$1.85
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$4.64



Sent To Thomas Alfieri  
Street, Apt. No., or PO Box No. 8220 Ville Ct., NE  
City, State, ZIP+4 Albuquerque, NM 87113

PS Form 3800, June 2002 See Reverse for Instructions

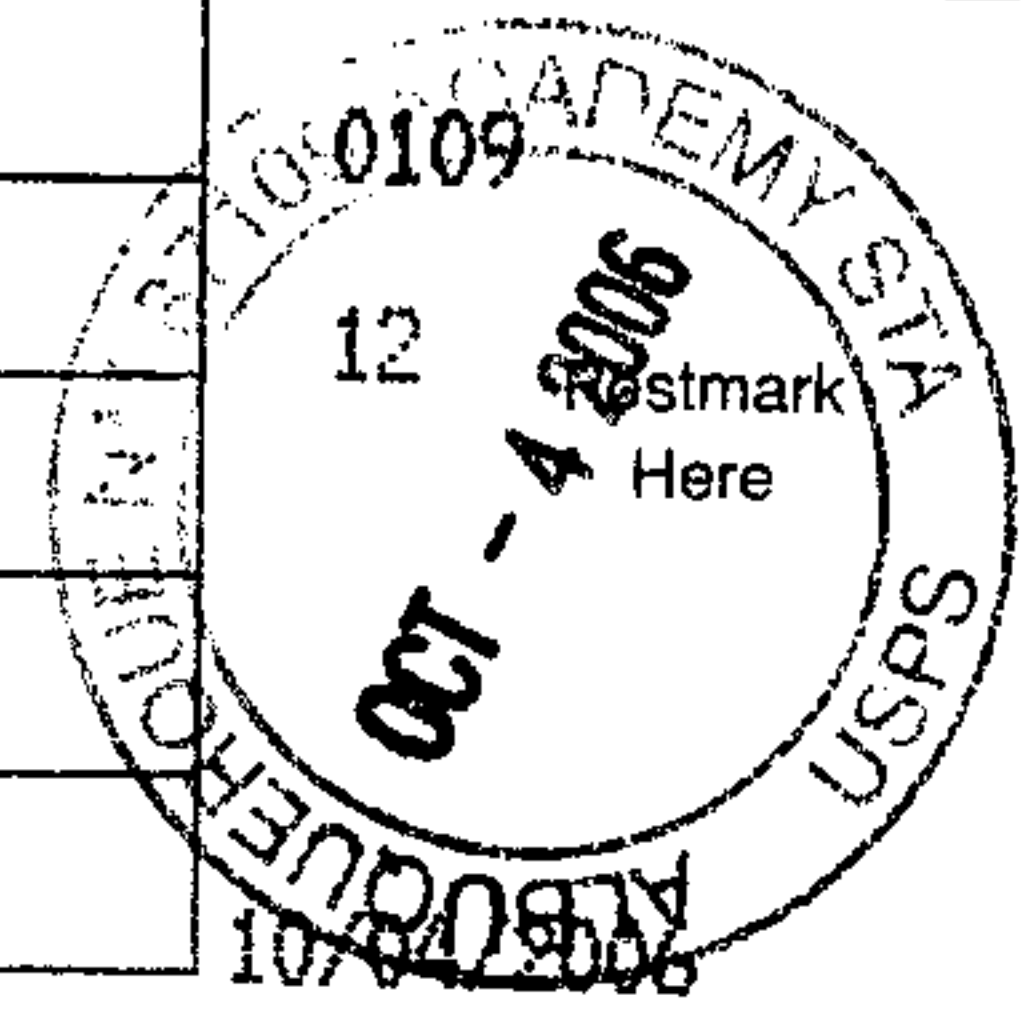
0202 0261 1922 2070  
7006 0100 0005 5000 0010 9002

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Postage	\$	\$0.39
Certified Fee		\$2.40
Return Receipt Fee (Endorsement Required)		\$1.85
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$4.64



Sent To Haden M. Bowling  
Street, Apt. No., or PO Box No. 8523 Murrelet NE.  
City, State, ZIP+4 Albuquerque, NM 87113

PS Form 3800, June 2002 See Reverse for Instructions

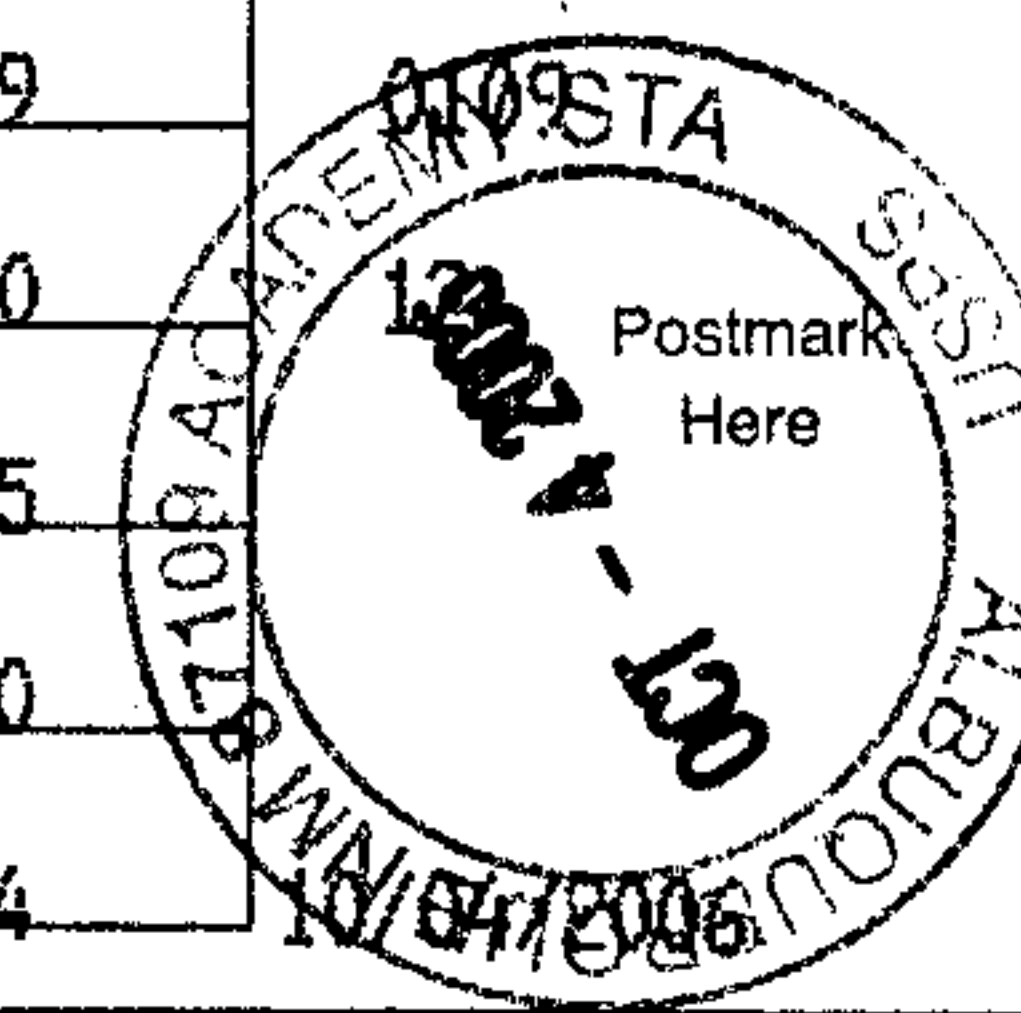
0252 0261 1923 0532  
7006 0100 0005 5000 0010 9002

**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87113 **OFFICIAL USE**

Postage	\$	\$0.39
Certified Fee		\$2.40
Return Receipt Fee (Endorsement Required)		\$1.85
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$4.64



Sent To Golda G. Stone  
Street, Apt. No., or PO Box No. 7116 Quail Springs Pl NE  
City, State, ZIP+4 Albuquerque, NM 87112

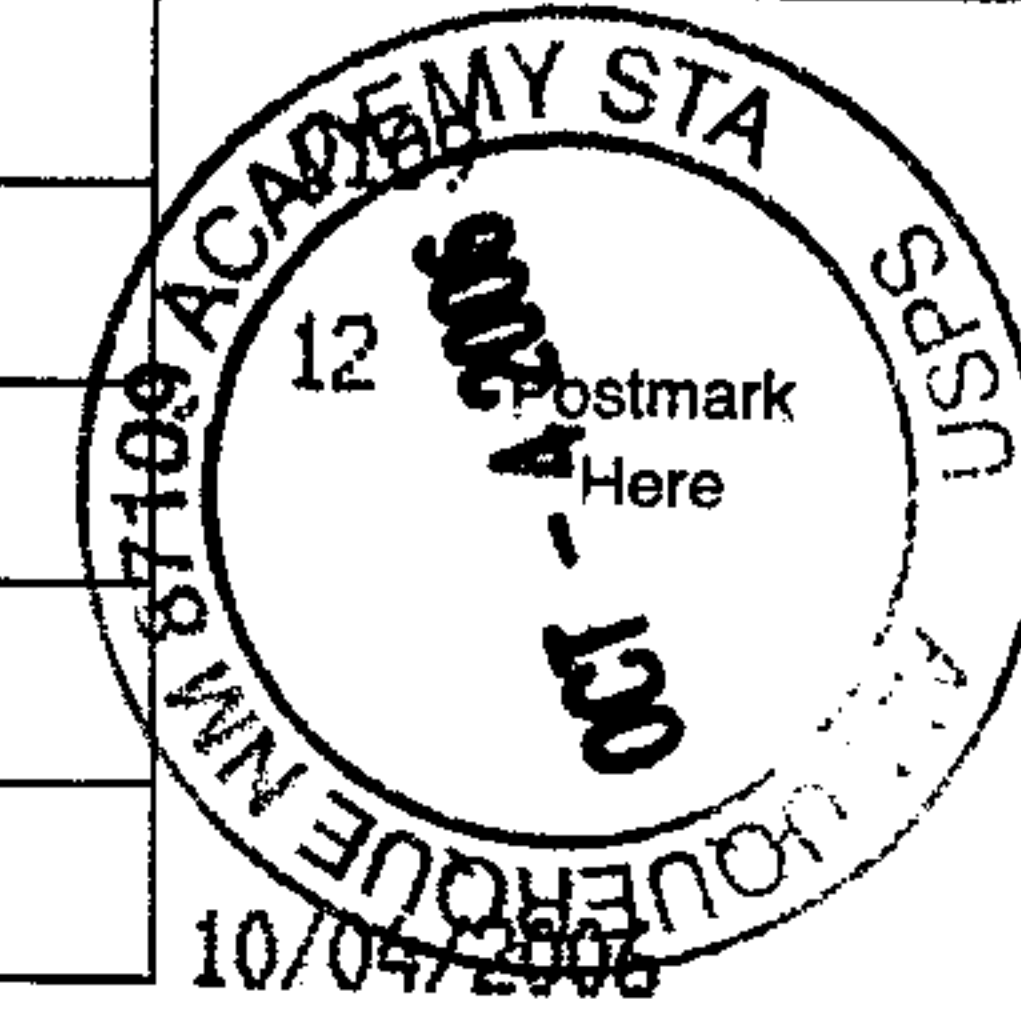
5250 0261 1923 0525  
7006 0100 0005 5000 0010 9002

**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87113 **OFFICIAL USE**

Postage	\$	\$0.39
Certified Fee		\$2.40
Return Receipt Fee (Endorsement Required)		\$1.85
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$4.64



Sent To Stephanie O'Connell  
Street, Apt. No., or PO Box No. 8211 San Geronimo NE.  
City, State, ZIP+4 Albuquerque, NM 87113

PS Form 3800, June 2002 See Reverse for Instructions

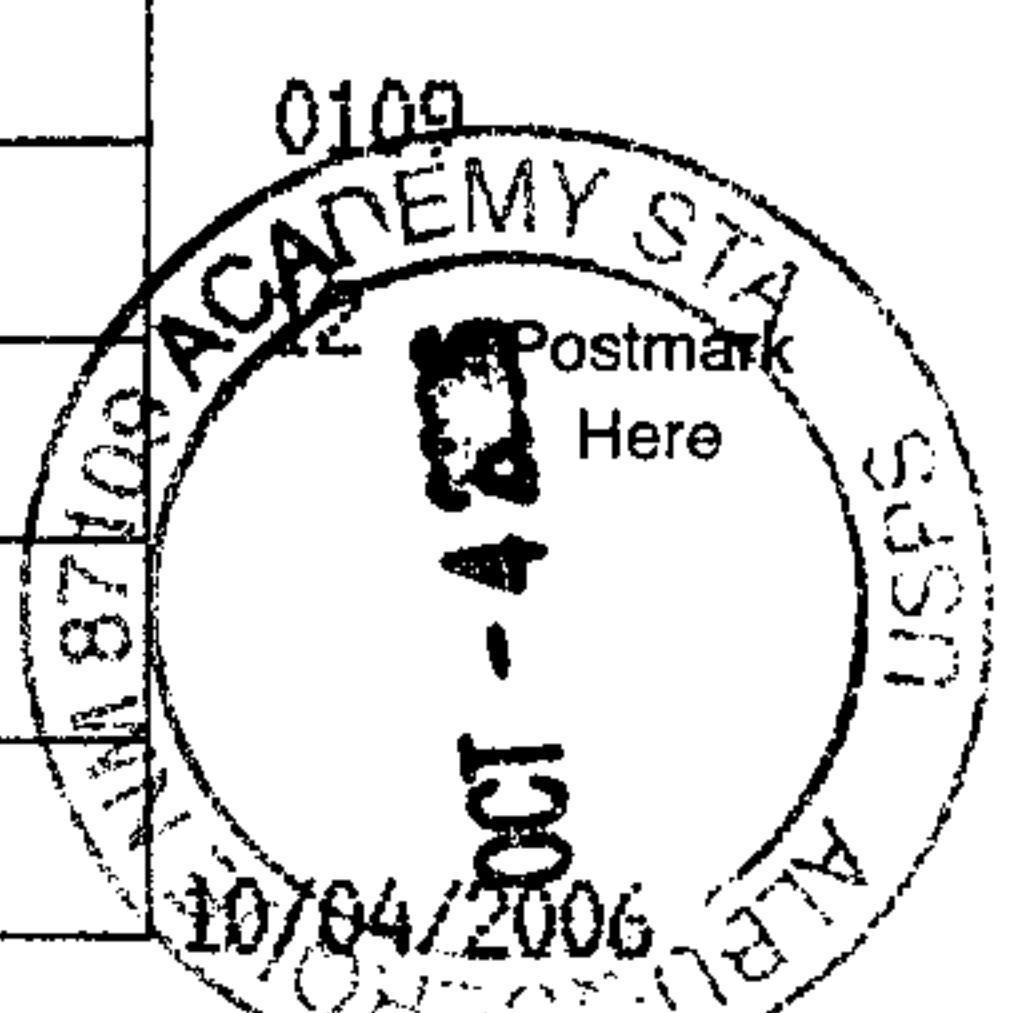
5640 0261 1923 0495  
7006 0100 0005 5000 0010 9002

**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87122 **OFFICIAL USE**

Postage	\$	\$0.39
Certified Fee		\$2.40
Return Receipt Fee (Endorsement Required)		\$1.85
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$4.64



Sent To Leilani McGranahan  
Street, Apt. No., or PO Box No. 7600 Rio Grande NE.  
City, State, ZIP+4 Albuquerque, NM 87122

PS Form 3800, June 2002 See Reverse for Instructions

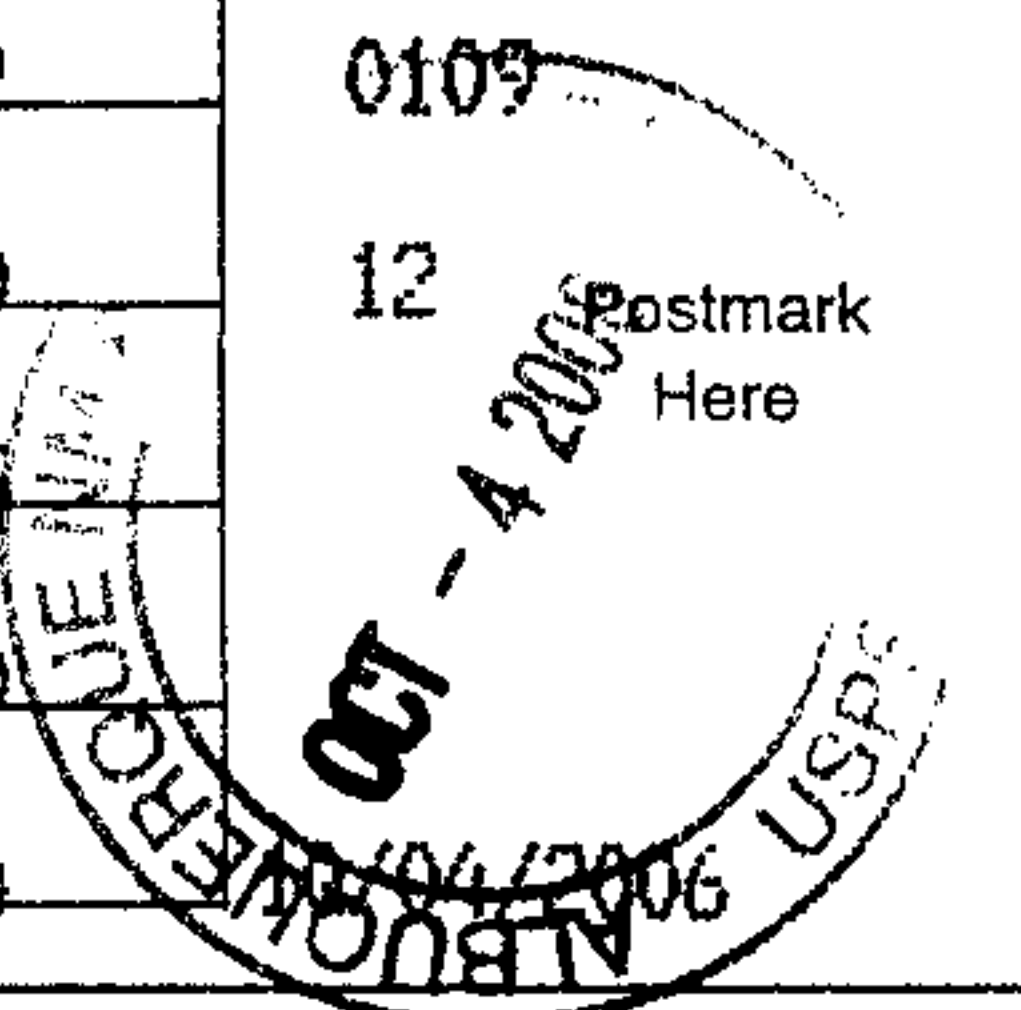
2902 0261 1922 2087  
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**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87113 **OFFICIAL USE**

Postage	\$	\$0.39
Certified Fee		\$2.40
Return Receipt Fee (Endorsement Required)		\$1.85
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$4.64



Sent To Judie Pellegrino  
Street, Apt. No., or PO Box No. 8515 Murrelet NE.  
City, State, ZIP+4 Albuquerque, NM 87112

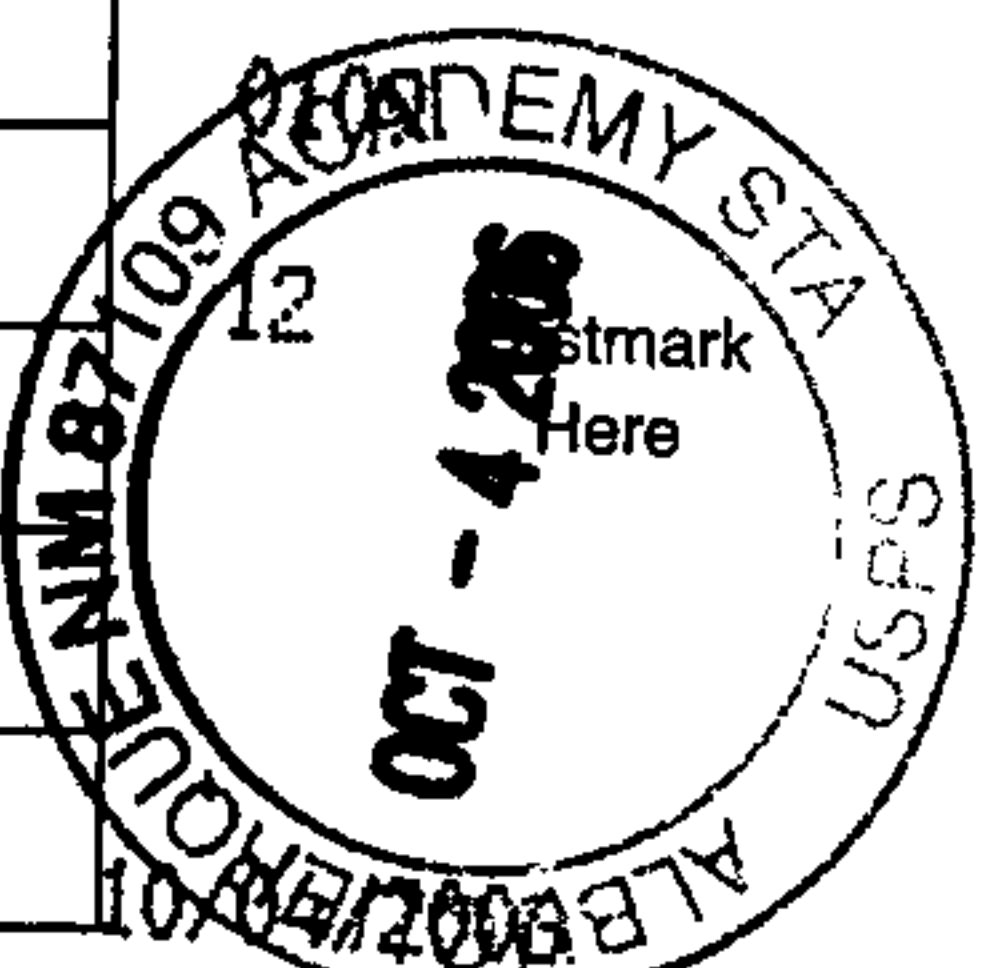
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7006 0100 0005 1922 2056

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87113 **OFFICIAL USE**

Postage	\$	\$0.39
Certified Fee		\$2.40
Return Receipt Fee (Endorsement Required)		\$1.85
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$4.64



Sent To DR. Betty J. Fisher  
 Street, Apt. No., or PO Box No. 7311 Quail Springs Pl. NE  
 City, State, ZIP+4 Albuquerque NM 87113

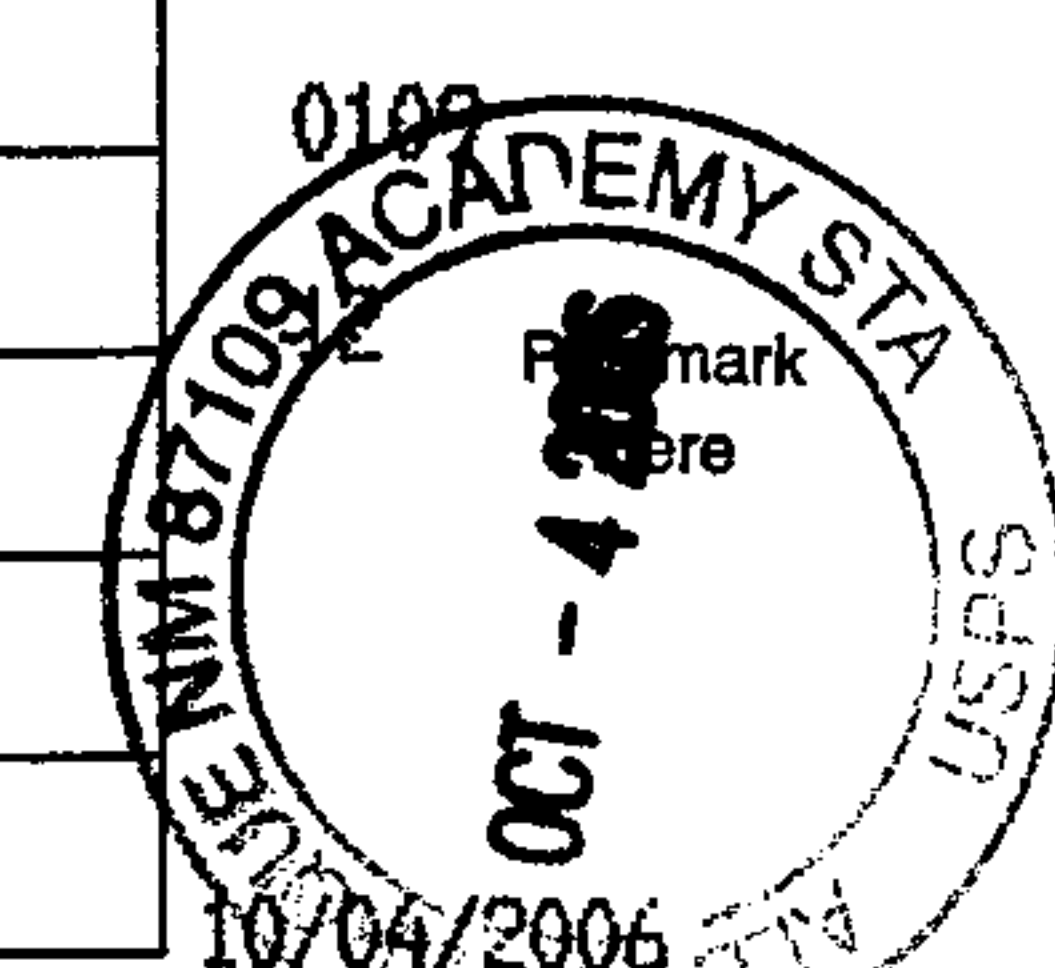
1050 226T 5000 0010 9001  
7006 0100 0005 1923 0501

U.S. Postal Service™  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87122 **OFFICIAL USE**

Postage	\$	\$0.39
Certified Fee		\$2.40
Return Receipt Fee (Endorsement Required)		\$1.85
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$4.64



Sent To Joe Yardumian  
 Street, Apt. No., or PO Box No. 7801 R.C. Gorman Ave N  
 City, State, ZIP+4 Albuquerque, Nm 87122

ONE STOP SHOP  
 CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
 Development & Building Services

**PAID RECEIPT**

10/6/2006 11:28AM  
 RECEIPT# 00069695 WSH# 007 TRANS# 0011  
 LOC: ANN

City of Albuquerque  
 Treasury Division

APPLICANT NAME ADIL RIZVI

AGENT ADIL RIZVI

ADDRESS 2340 MENAUL BLVD NE STE 200

PROJECT & APP # \_\_\_\_\_

PROJECT NAME SEVANO PLACE SUBDIVISION

\$ 20 441032/3424000 Conflict Management Fee

\$ 1605.00 441006/4983000 DRB Actions

\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 75.00 441018/4971000 Public Notification

\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
 ( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
 ( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
 ( ) Traffic Impact Study

\$ 1700.00 TOTAL AMOUNT DUE

**\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

\*\*\*DUPLICATE\*\*\*  
 City of Albuquerque  
 Treasury Division  
 10/6/2006 11:28AM LOC: ANN  
 RECEIPT# 00069694 WSH# 007 TRANS# 011  
 Account 441005 Fund 0110  
 Activity 4983000 TRSV  
 Trans Amt \$2,180.00  
 J24 Misc \$1,600.00  
 Counterreceipt.doc 6/21/04  
 Thank You

\*\*\*DUPLICATE\*\*\*  
 City Of Albuquerque  
 Treasury Division

10/6/2006 11:28AM LOC: ANN  
 RECEIPT# 00069695 WSH# 007 TRANS# 0011  
 Account 441018 Fund 0110  
 Activity 4971000 TRSVRS  
 Trans Amt \$2,180.00  
 J24 Misc \$75.00  
 CK \$2,180.00  
 CHANGE \$0.00

Thank You

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

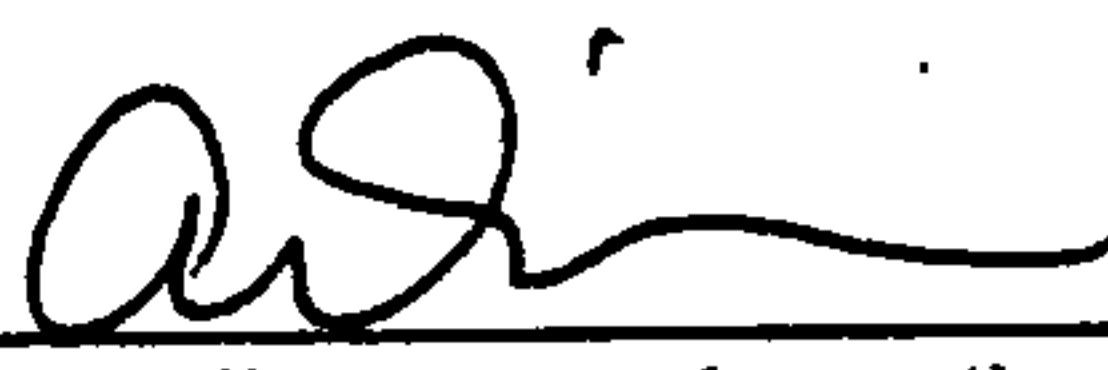
#### 4. TIME

Signs must be posted from OCTOBER 17, 2006 To NOVEMBER 1, 2006

#### 5. REMOVAL

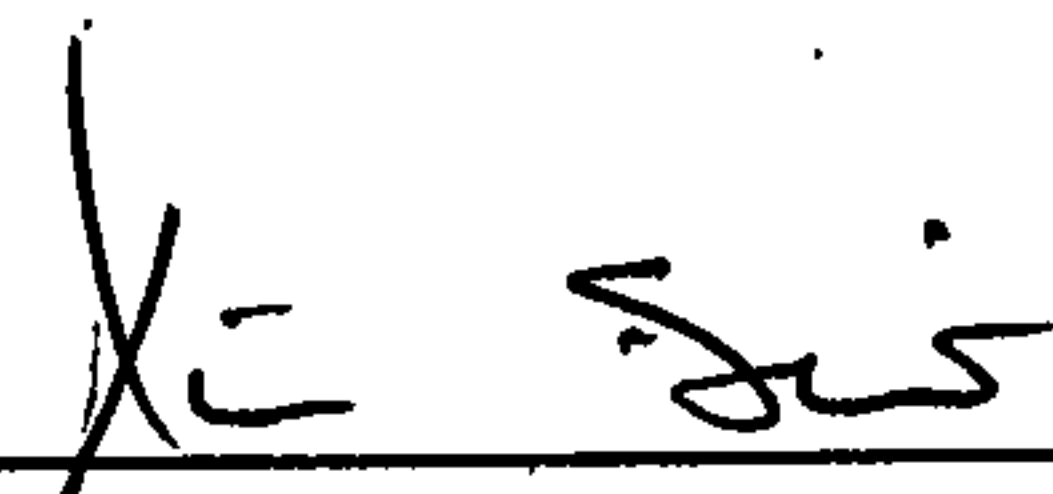
- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

  
(Applicant or Agent)

10/6/06  
(Date)

I issued 3 signs for this application, 10/6/06  
(Date)

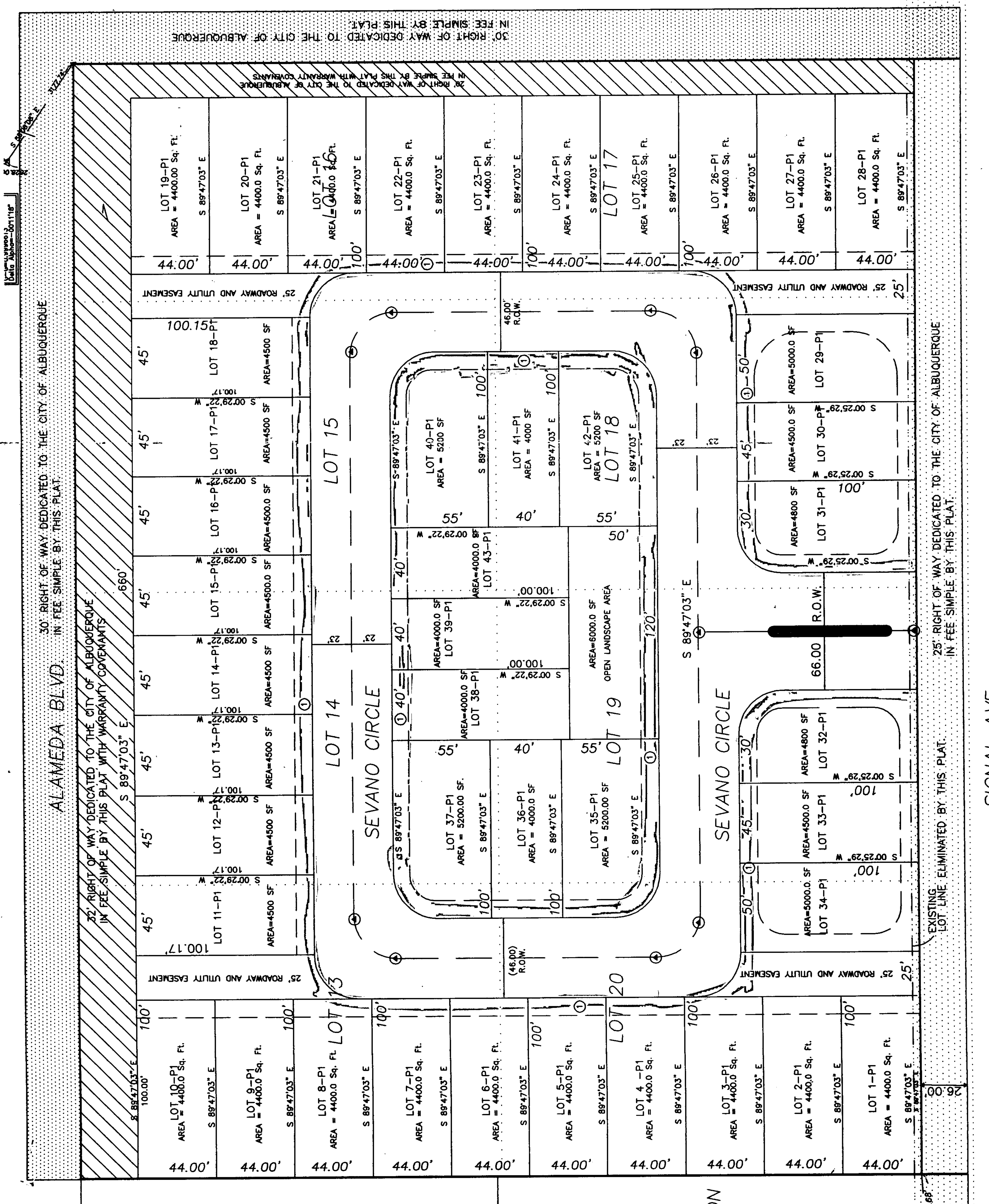
  
(Staff Member)

DRB PROJECT NUMBER: 1005791

EXHIBIT B  
 Informal sidewalk  
 deferral  
 T.D.S.

SIDEWALK  
 EXHIBIT C  
 Date 11/1/08

LOUISIANA BLVD.



25' RIGHT OF WAY DEDICATED TO THE CITY OF ALBUQUERQUE  
 IN FEE SIMPLE BY THIS PLAT.

EXISTING LOT LINE ELIMINATED BY THIS PLAT.

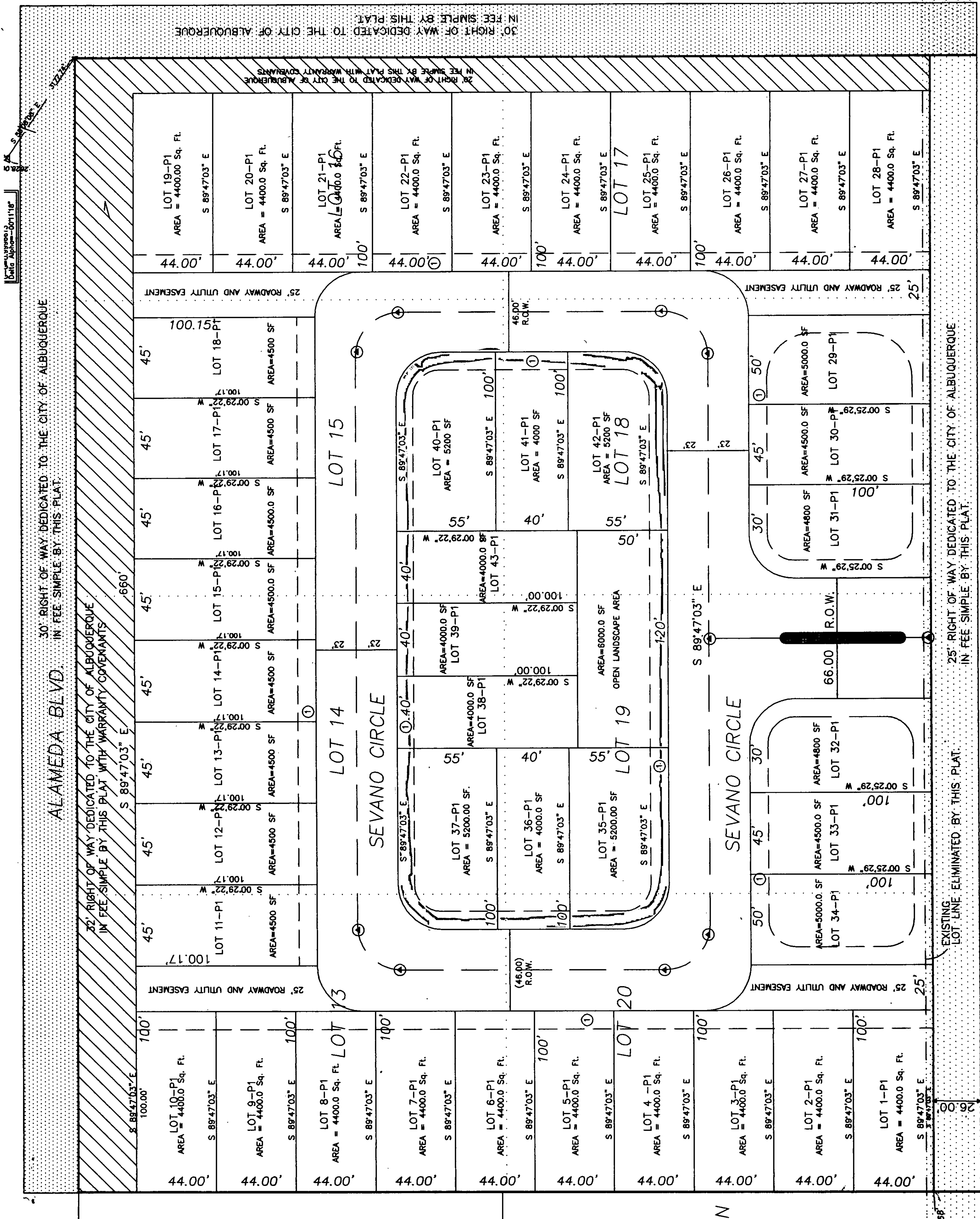
25' RIGHT OF WAY DEDICATED TO THE CITY OF ALBUQUERQUE  
 IN FEE SIMPLE BY THIS PLAT.

SIGNAL AVE



EXHIBIT A  
Side Walk Variance  
SUBDES  
VAR

LOUISIANA BLVD.



EXISTING LOT LINE ELIMINATED BY THIS PLAT.  
25' RIGHT OF WAY DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE BY THIS PLAT.

SIGNAL AVF

- DRB -  
PROJ. #  
1005191

# TRACT 2 UNIT 3 NORTH ALBUQUERQUE ACRES

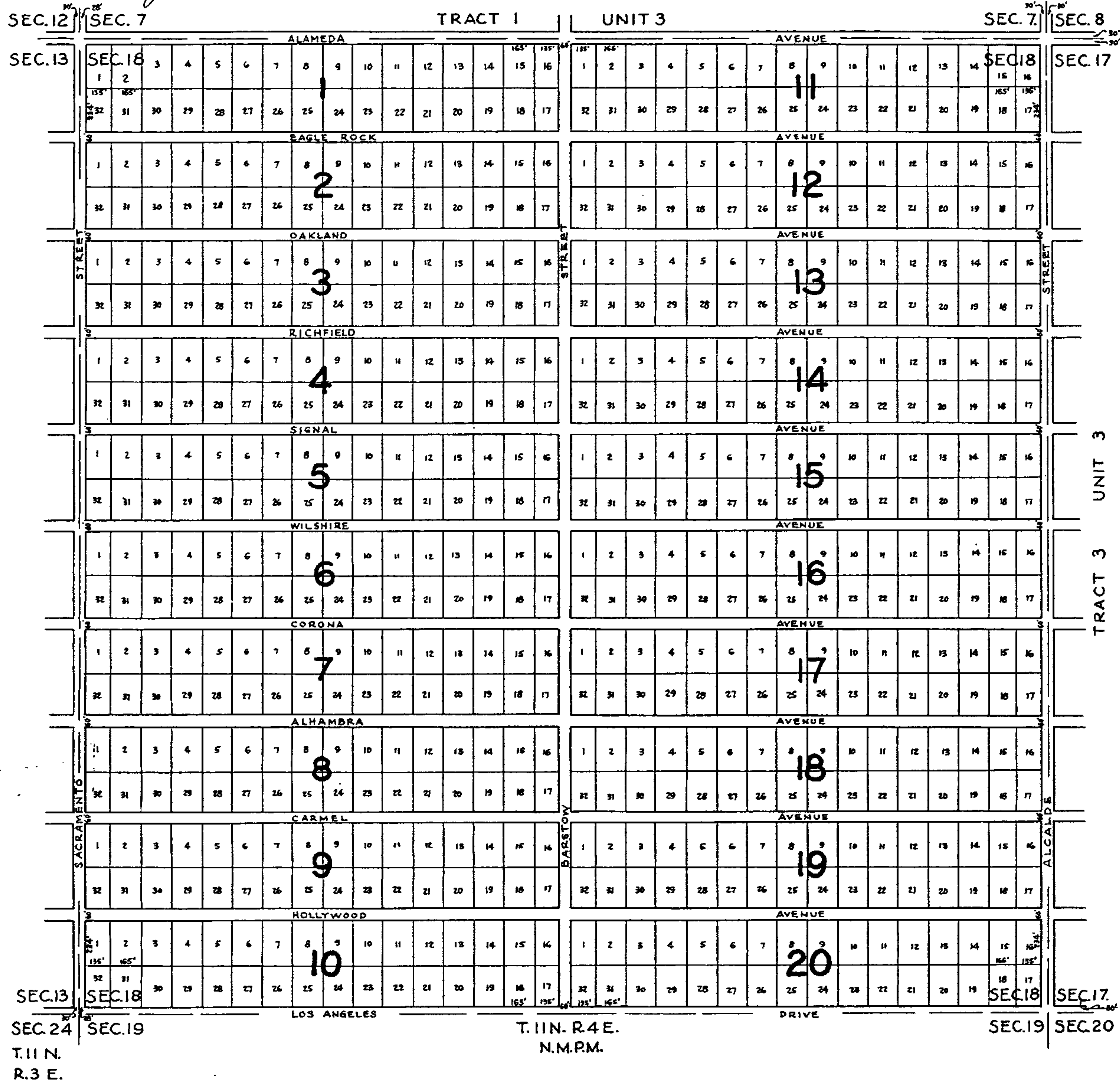
ALBUQUERQUE BERNALILLO COUNTY NEW MEXICO

This instrument was filed for record on the 10 day of September 1931 at 1:30 o'clock P. M. Recorded in Vol. of Records of said County, Folio 3 Mrs. Mill Rogers Clerk & Recorder Deputy Clerk

SCALE: 1 INCH = 400 FEET

EACH LOT INCLUDING TO CENTER OF ADJOINING STREET IS ONE ACRE.

*Handwritten signature*  
September 1931



The above and foregoing subdivision of that certain tract of land in School District No. 3, Bernalillo County, New Mexico within the Elena Gallegos Grant being all of Section 18, Township 11 North, Range 4 East, N.M.P.M. (as defined by projection of existing public survey lines). Surveyed, platted and subdivided as hereon shown, comprising Blocks 1 to 20 inclusive of Tract 2 Unit 3, North Albuquerque Acres, is with the free consent and in accordance with the desire of the undersigned owner and proprietor thereof.

ATTEST: S/ J. W. Dewey, Secretary.

NORINS REALTY COMPANY, INC. Owner and proprietor.  
by S/ M. Norins, President.

State of California )  
County of Los Angeles)

On this 4th day of Sept., 1931, before me, a Notary Public in and for said county, personally appeared M. Norins and J. W. Dewey, both to me personally known, who being duly sworn by me according to law, did say that they are President and Secretary, respectively of the Norins Realty Company, Inc., and that the seal affixed to the foregoing instrument is the Corporate Seal of said corporation and that said instrument was signed and said seal affixed thereto in behalf of said corporation by authority of its Board of Directors, and said M. Norins did acknowledge said instrument to be the free act and deed of said corporation.

In Witness whereof I have hereunto set my hand and seal the day and date last above written.

S/ Louise N. Welty - Notary Public

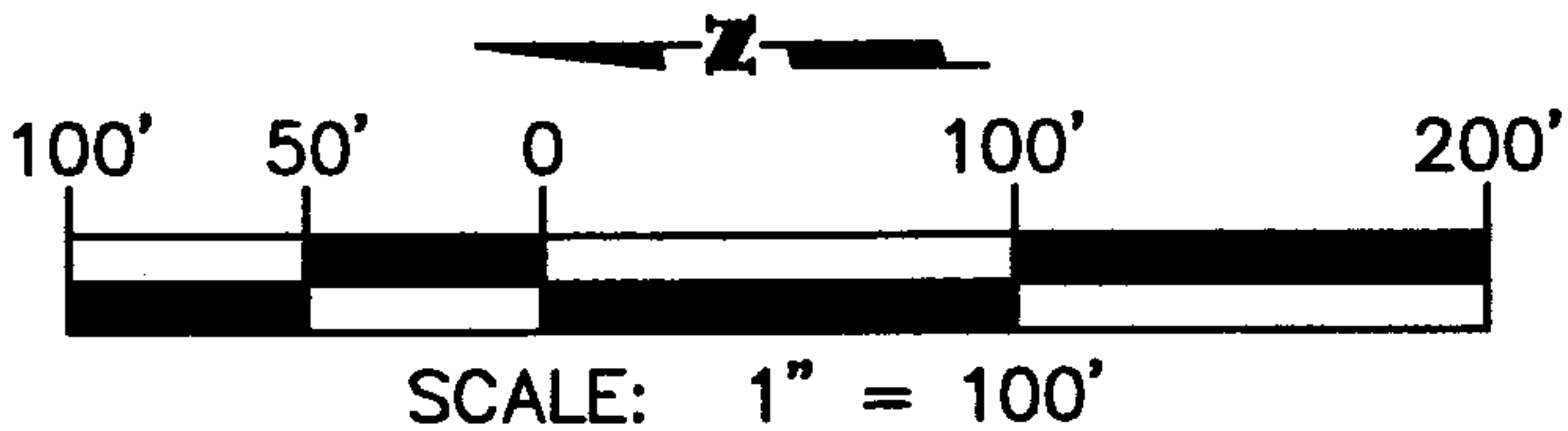
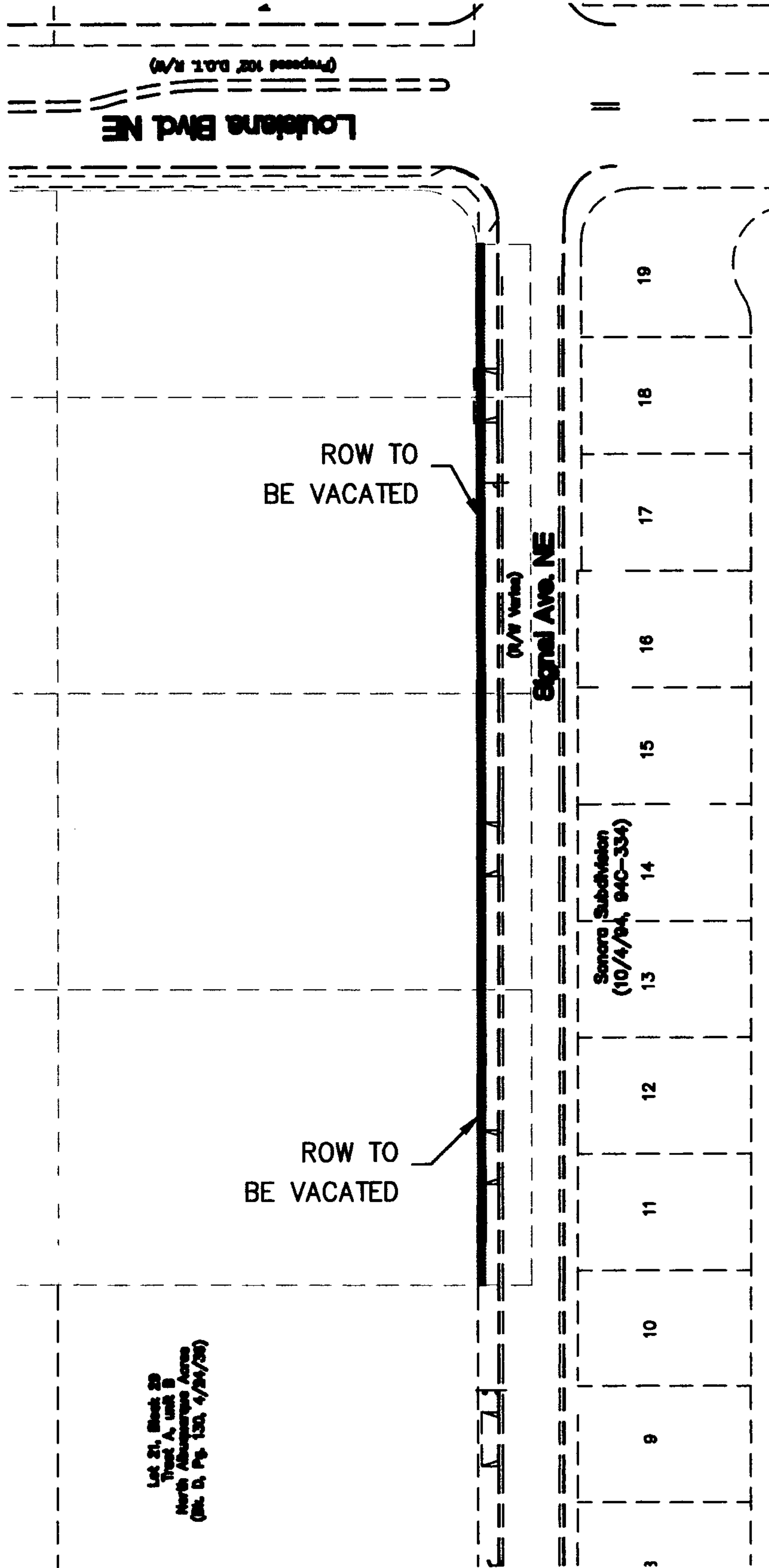
My commission expires April 30, 1935.

I, C. B. BEYER, County Surveyor of Bernalillo County New Mexico, hereby certify that I have examined the plat of Tract 2, Unit 3, North Albuquerque Acres, upon which this certificate appears and have approved the same this 2nd day of Sept., 1931.

S/ C. B. Beyer, County Surveyor.

- Alhambra Avenue \* Anaheim Avenue
- Hollywood Avenue \* Holly Avenue
- Alcalce Street \* Wyoming Street
- Sacramento Street \* Louisiana Street

1931091031



**VACATION EXHIBIT**

**THE Group**  
 300 Branding Iron Rd. SE  
 Rio Rancho, New Mexico 87124  
 Phone: (505) 514-0995



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1005191

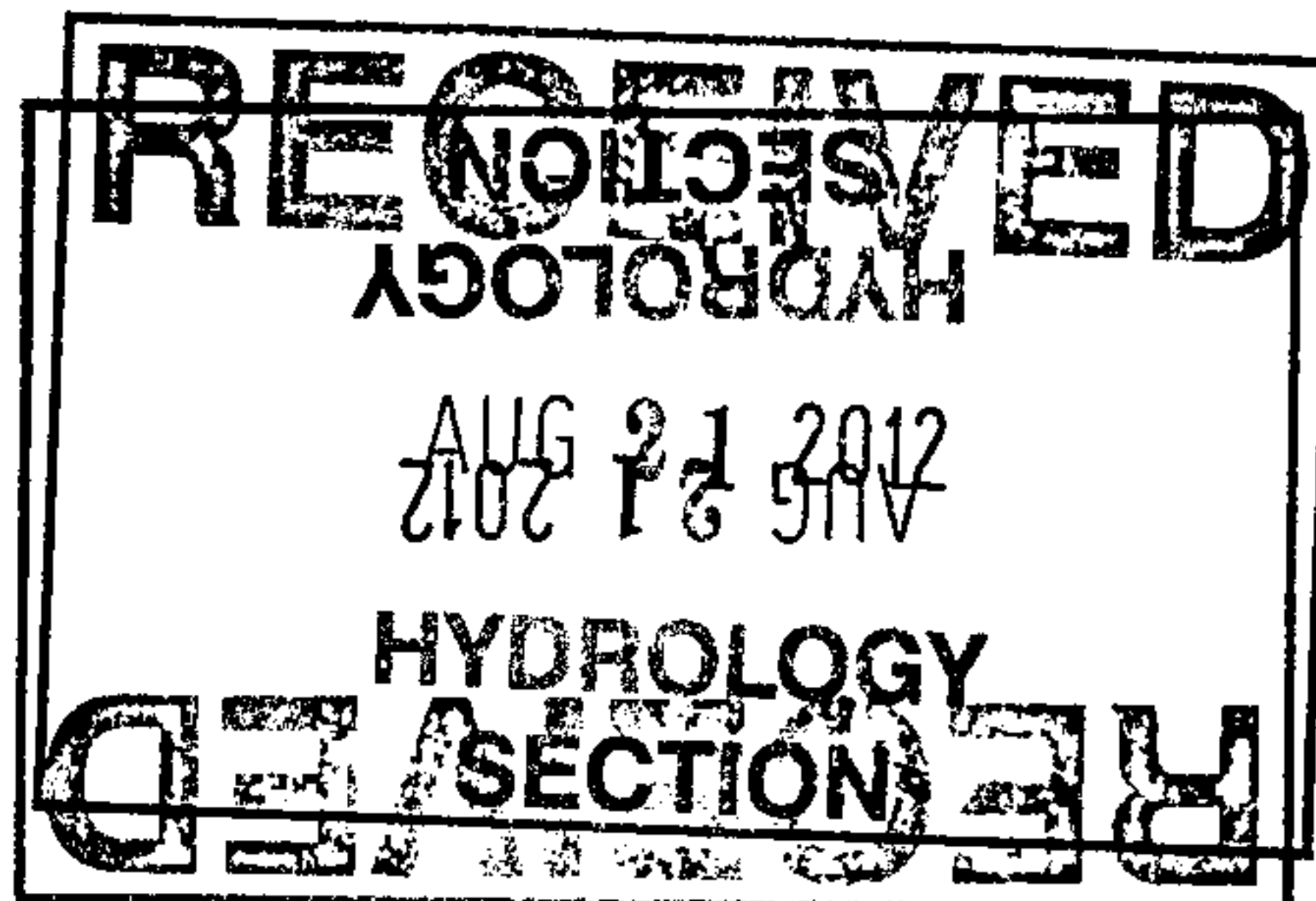
TO: Application No. \_\_\_\_\_

- ALL MEMBERS
- Jack Cloud, DRB Chairman, Planning Department
- Curtis Cherne, P.E., Hydrology
- Kristal Metro, P.E., Transportation Development
- Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA
- Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: 8 - 29 - 2012

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: APS - Pre - development Facilities  
Fee Agreement



CONTACT NAME: ADIL RIZVI

TELEPHONE: 315-6484 EMAIL: adil1429@yahoo.com

**COPY**

## EXHIBIT A

PRELIMINARY  
PRE-DEVELOPMENT FACILITIES FEE AGREEMENT

THIS AGREEMENT is made by and between the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, New Mexico ("Albuquerque Public Schools" or "APS"), a public school district organized and existing pursuant to the laws of New Mexico, and ALAMEDA PARTNERSHIP ("Developer") effective as of this 6 day of August, 2012, and pertains to the subdivision commonly known as Sevano Subdivision and more particularly described as [use current legal description] Lots 13, 14, 15, 16, 17, 18, 19 and 20 Block 29, Tract A, Unit B, North Albuquerque Acres (the "Subdivision".)

WHEREAS, In order to provide for APS becoming more knowledgeable of development plans within the City so that APS may better plan for future growth, the City of Albuquerque requires that APS approve the plat(s) for any new subdivision; and

WHEREAS, Developer is proposing the development of a new subdivision, and requires APS approval of the plat for said subdivision; and

WHEREAS, Developer is the owner of the real estate being subdivided and platted; and

WHEREAS, Developer is required by the Albuquerque Subdivision Ordinance to provide appropriate infrastructure and improvements as a condition of developing a subdivision; and

WHEREAS, as a condition of approving such plat APS requires the provision of appropriate infrastructure and facilities or the payment of a facilities fee for each new residence to be constructed to help defray the cost of school construction, expansion, or maintenance;

THEREFORE, in consideration of the mutual promises contained herein, APS and Developer agree as follows:

1. Developer agrees that a facilities fee will be paid to APS for each dwelling unit to be constructed in the Subdivision.
2. The amount of the fee shall be:
  - If the building permit is issued on or after January 1, 2007, the fee shall be \$1875 per dwelling unit.

DRB Project # 1005191

APS Cluster La Cueva

- If the building permit is issued on or after July 1, 2008, the fee shall be \$2425 per dwelling unit.
- If the permit is issued on or after January 1, 2010, the fee shall be \$2975 per dwelling unit.

The fee for each dwelling unit in multi-family residential structures shall be sixty percent (60 %) of the fee for a single family home. "Multi-family residential structure" means any type of residential property other than single-family houses (one single family, detached dwelling unit per lot).

3. Developer agrees that the fee shall be paid to APS at or before the issuance of any building permit for any lot or other parcel of property subject to this agreement.
4. Developer may satisfy all or part of its obligations under this contract by transferring improved or unimproved property to APS, provided that APS must agree to the transfer and to the value placed on the transferred property. APS, upon accepting such transfer, shall credit Developer with an amount equal to the agreed value, and the developer may designate the lot(s) to which such amount(s) shall be applied in satisfaction of its obligations hereunder.
5. This contract may be recorded in the office of the County Clerk of Bernalillo and/or Sandoval County, and shall serve as notice of the Developer's obligation to pay facilities fees. Developer shall include on the plat of the Subdivision a statement that "The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools, recorded at [recording data]."
6. APS, through its Facilities Fee Administrator, will provide a Payment Acknowledgement in the form attached hereto to the Developer reflecting receipt of the facilities fee (or equivalent compensation as described in paragraph 4 above), which form may be given to the City to show satisfaction of the fee obligation and satisfy that condition for receiving building permits. Developer may record that Payment Acknowledgment in the real estate records of Bernalillo or Sandoval County, but APS shall not be responsible for paying any recording fees nor shall APS be responsible for recording any such documents with the office of the County Clerk or any other office.

DRB Project # \_\_\_\_\_

APS Cluster La Cueva

Adil Rizvi

Signature

ADIL RIZVI -

Name (typed or printed) and title

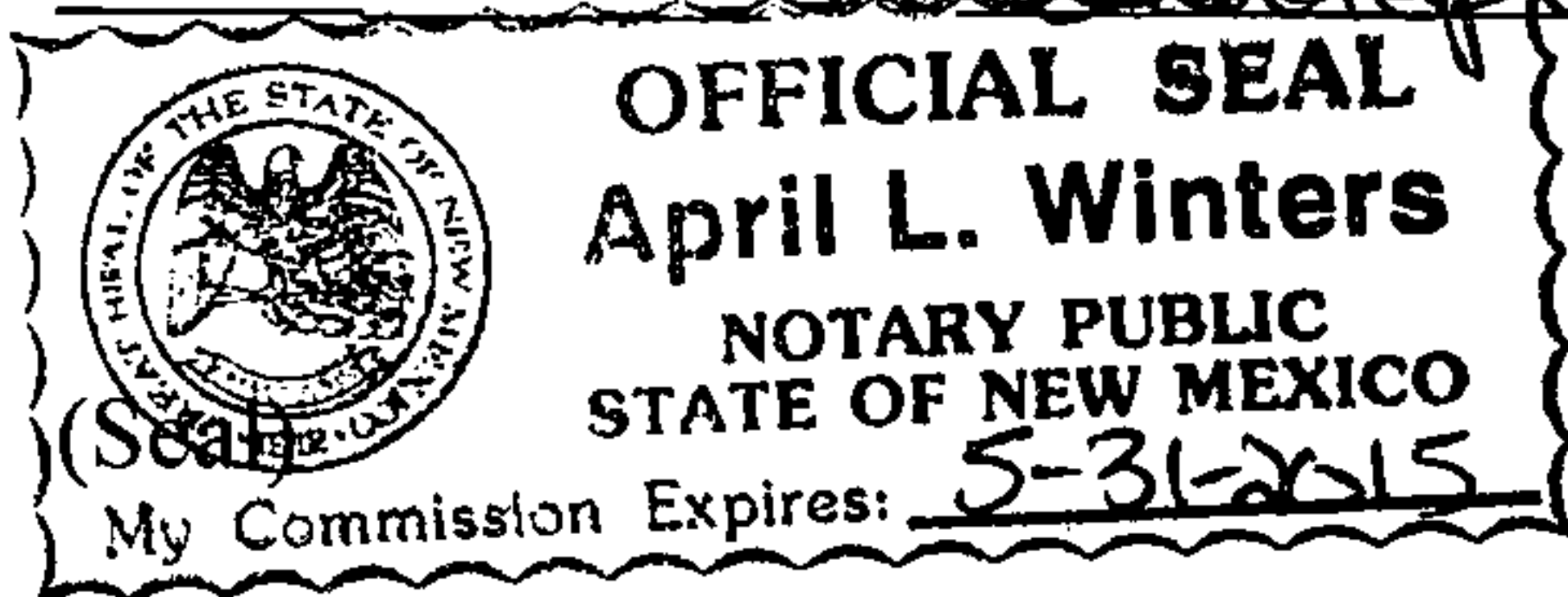
Developer

Developer

STATE OF NEW MEXICO

COUNTY OF BERNALILLO

This instrument was acknowledged before me on August 6, 2012, by Adil Rizvi  
as developer of \_\_\_\_\_, a corporation.



April L. Winters

Notary Public

My commission expires: May 31, 2015

ALBUQUERQUE PUBLIC SCHOOLS

By: [Signature]  
Signature

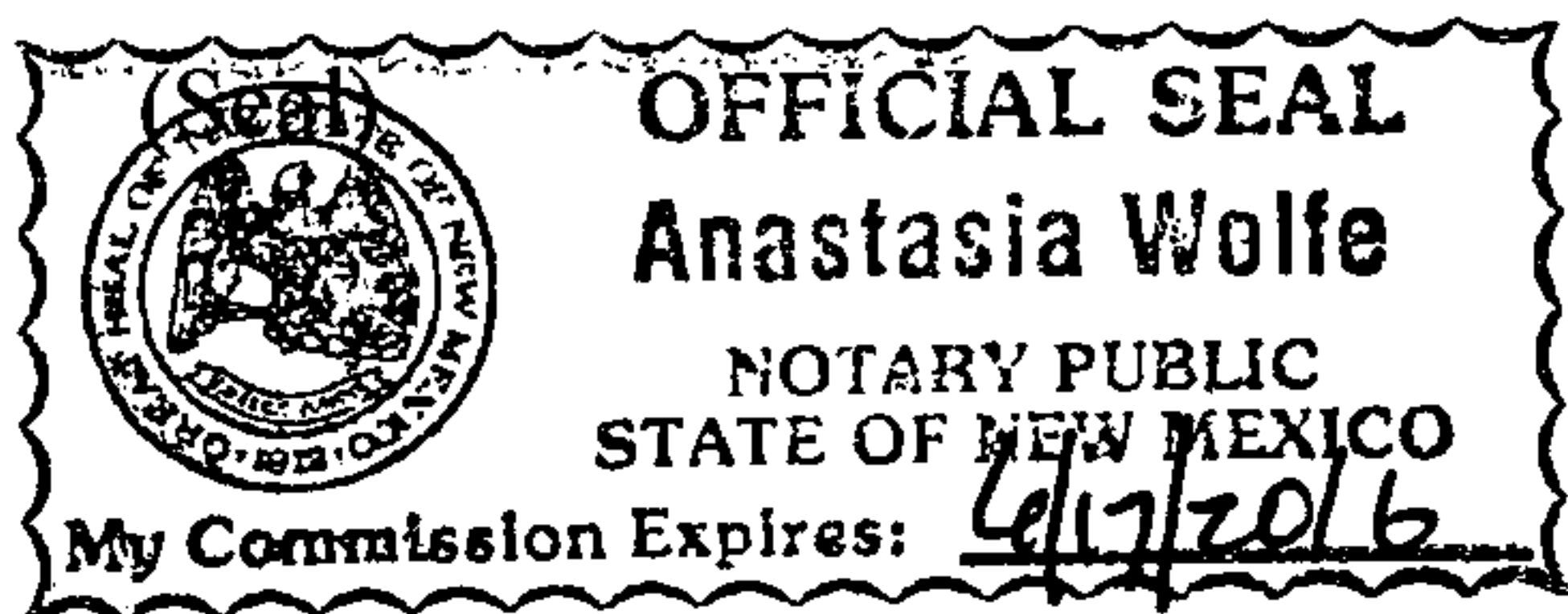
Kizito Wijenje, Director Capital Master Plan

Name (typed or printed) and title

STATE OF NEW MEXICO

COUNTY OF BERNALILLO

This instrument was acknowledged before me on Aug. 6, 2012, by Kizito Wijenje  
as Director Capital Master Plan of the Albuquerque Municipal School  
District No. 12, Bernalillo and Sandoval Counties, a school district organized and existing under  
the laws of the State of New Mexico.



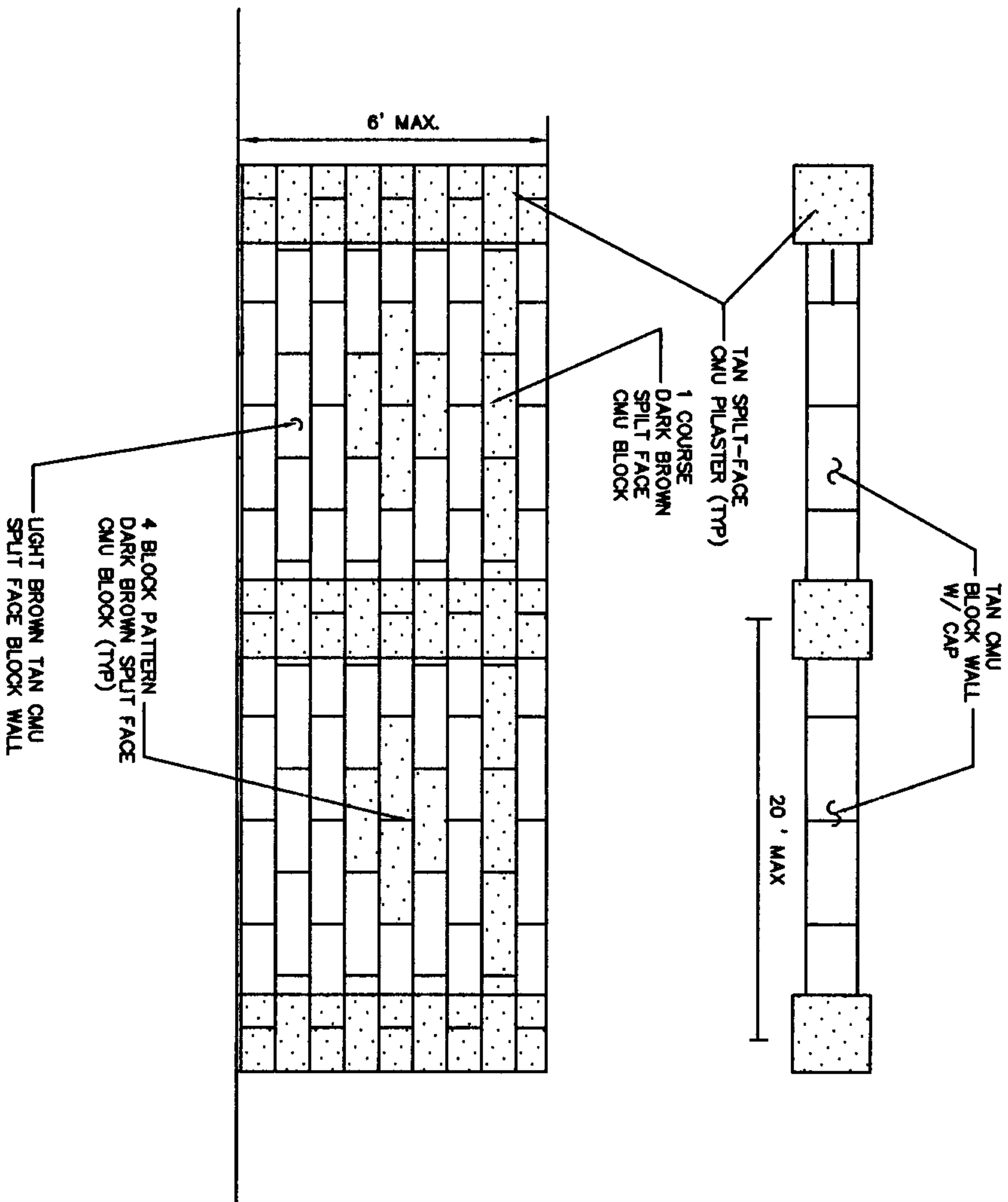
Anastasia Wolfe

Notary Public

My commission expires: 6/17/2016

PERIMETER WALL DETAIL FOR SEVANO SUBDIVISION  
DRB NO : 1005191 --- ZONE ATLAS PAGE C-18

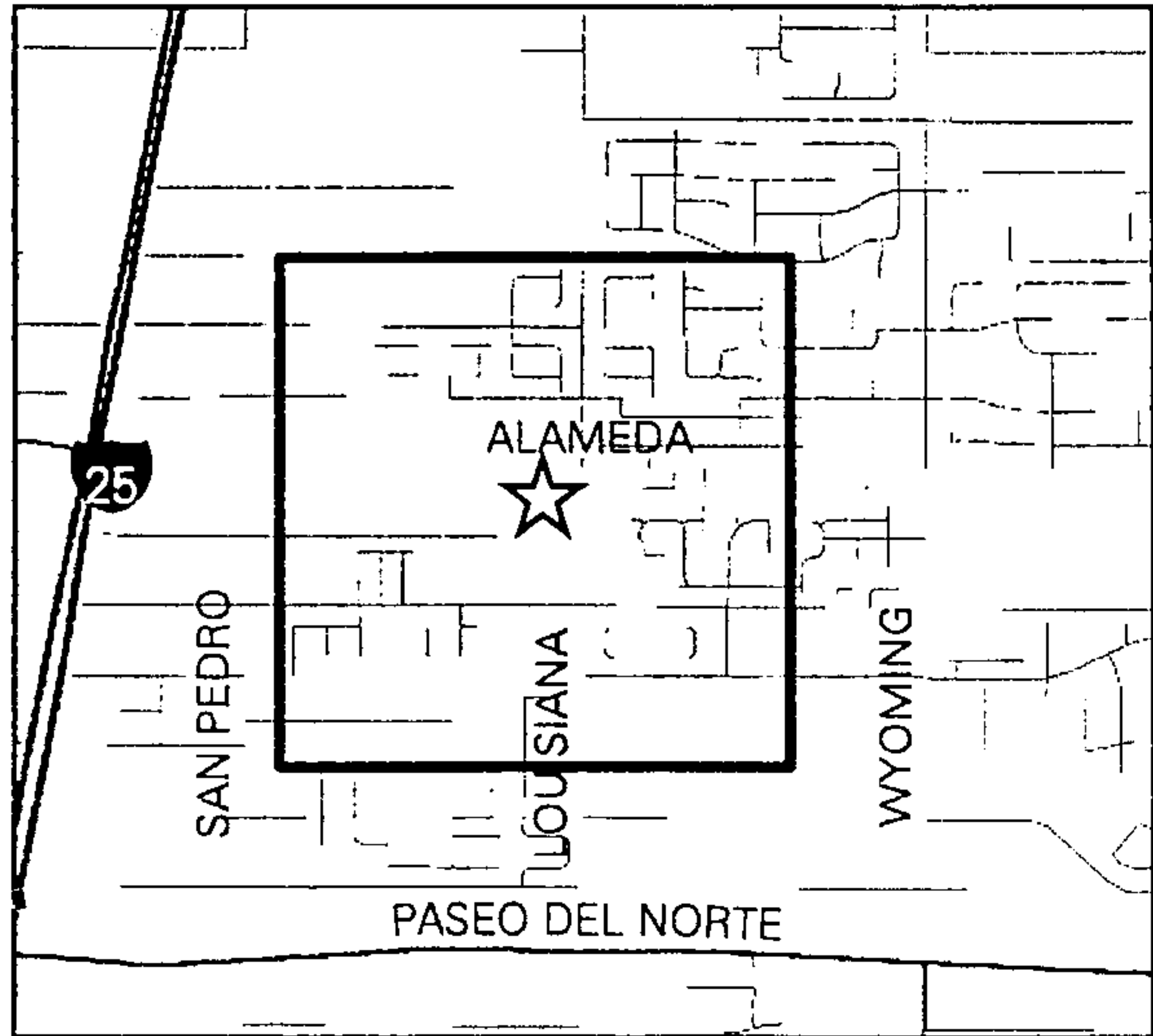
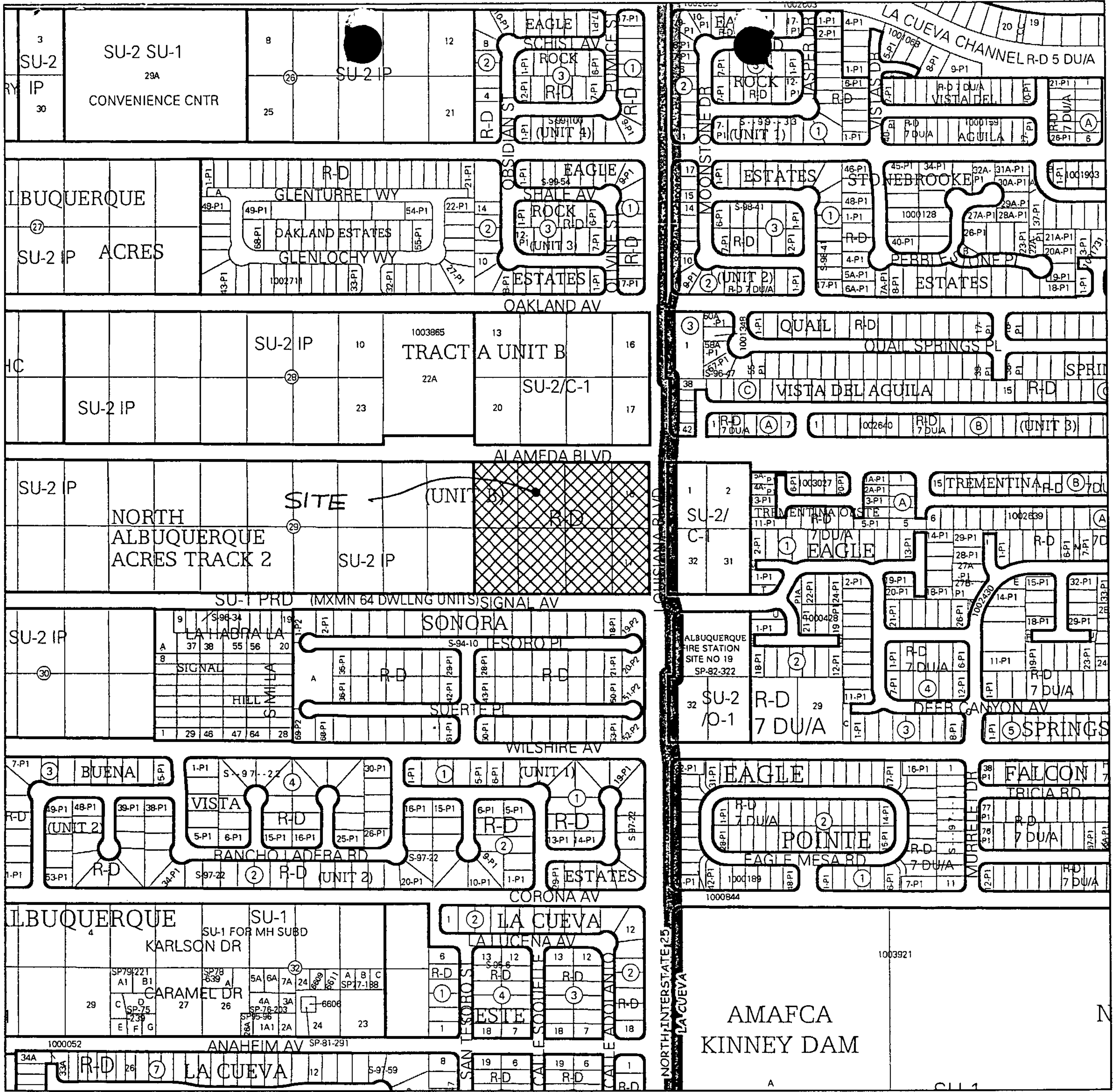
LOCATION : ALAMEDA AND LOUISIANA NE



NOTES:

1. MAXIMUM WALL HEIGHT INCLUDING RETAINING WALL SHALL NOT EXCEED EIGHT FEET





# ZONING MAP

Note: Grey shading indicates County.



1 inch equals 500 feet

Project Number:  
1005191

Hearing Date:  
11/1/2006

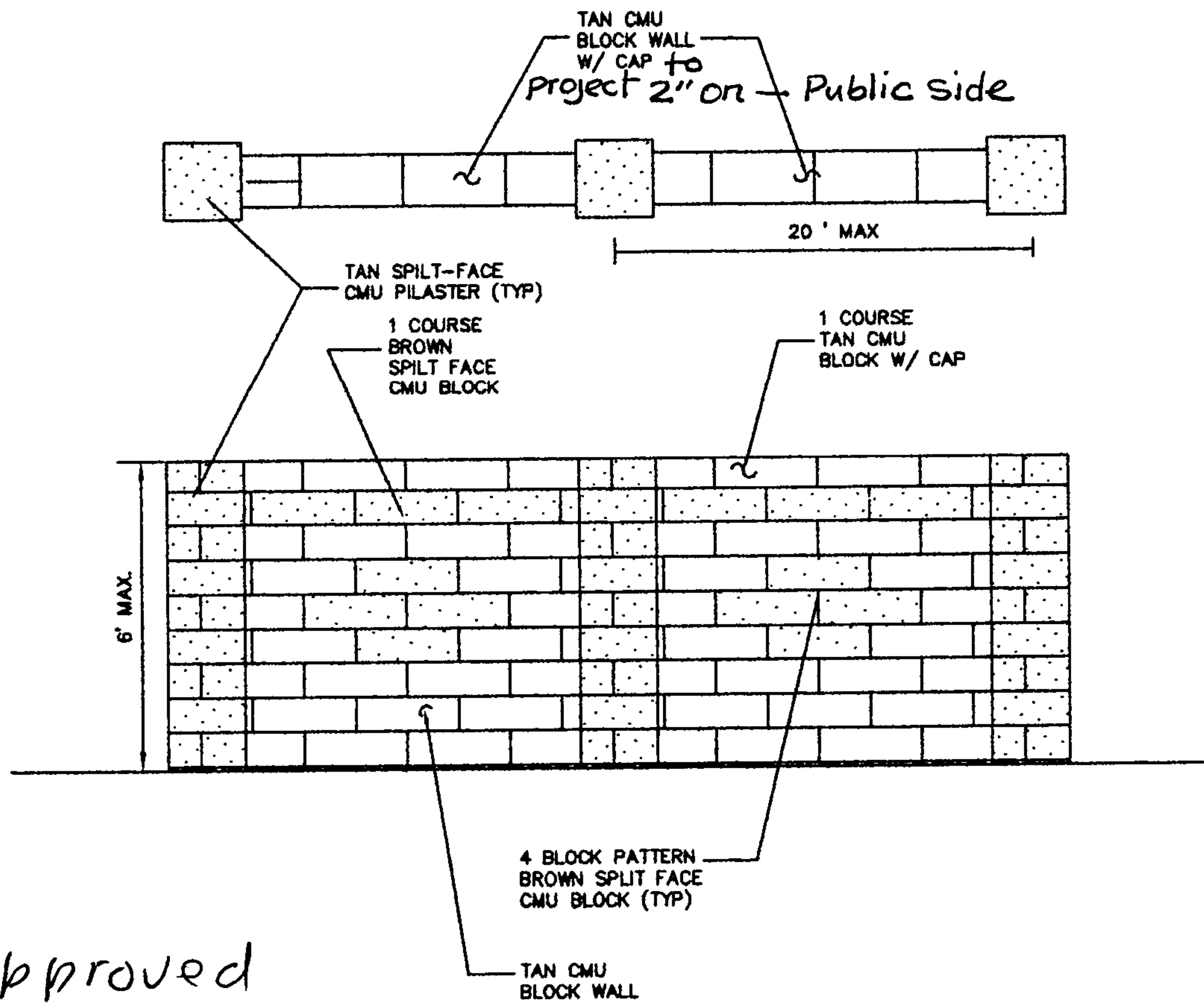
Zone Map Page:  
R-16

Additional Case Numbers:  
06DRB-01454 06DRB-01455  
06DRB-01456 06DRB-01457

PERIMETER WALL DETAIL FOR SEVANO PLACE SUBDIVISION

DRB NO : 1005191 --- ZONE ATLAS PAGE C-18

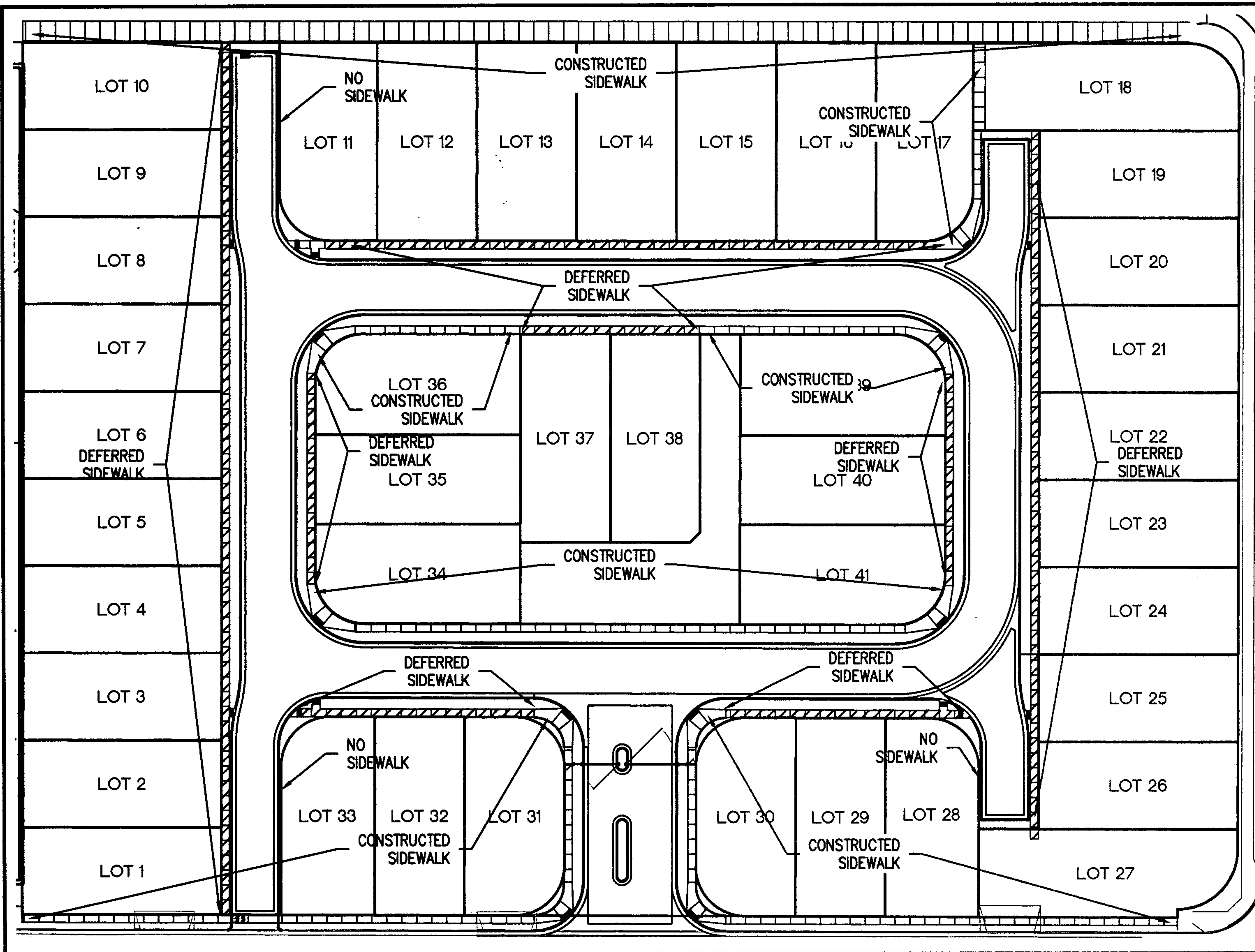
LOCATION : ALAMEDA AND LOUISIANA



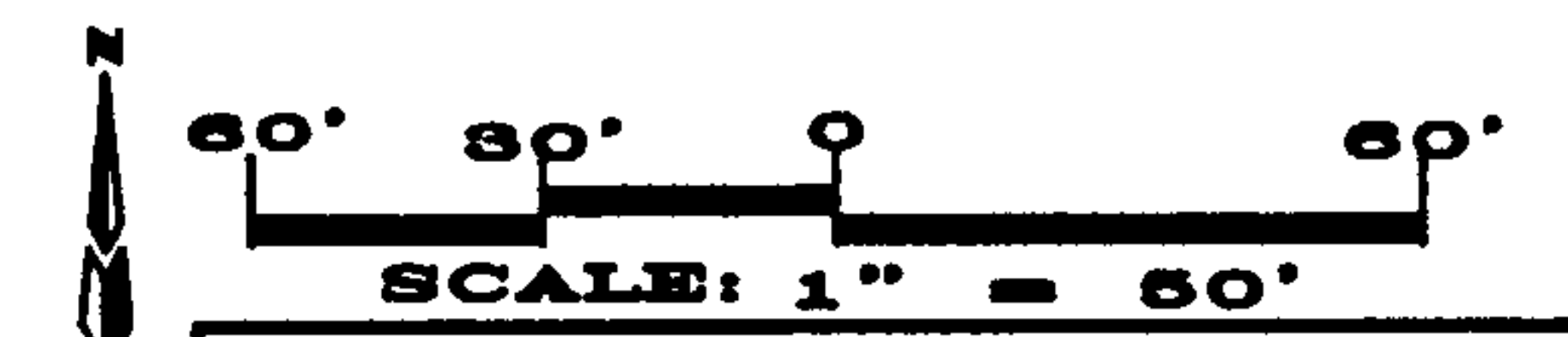
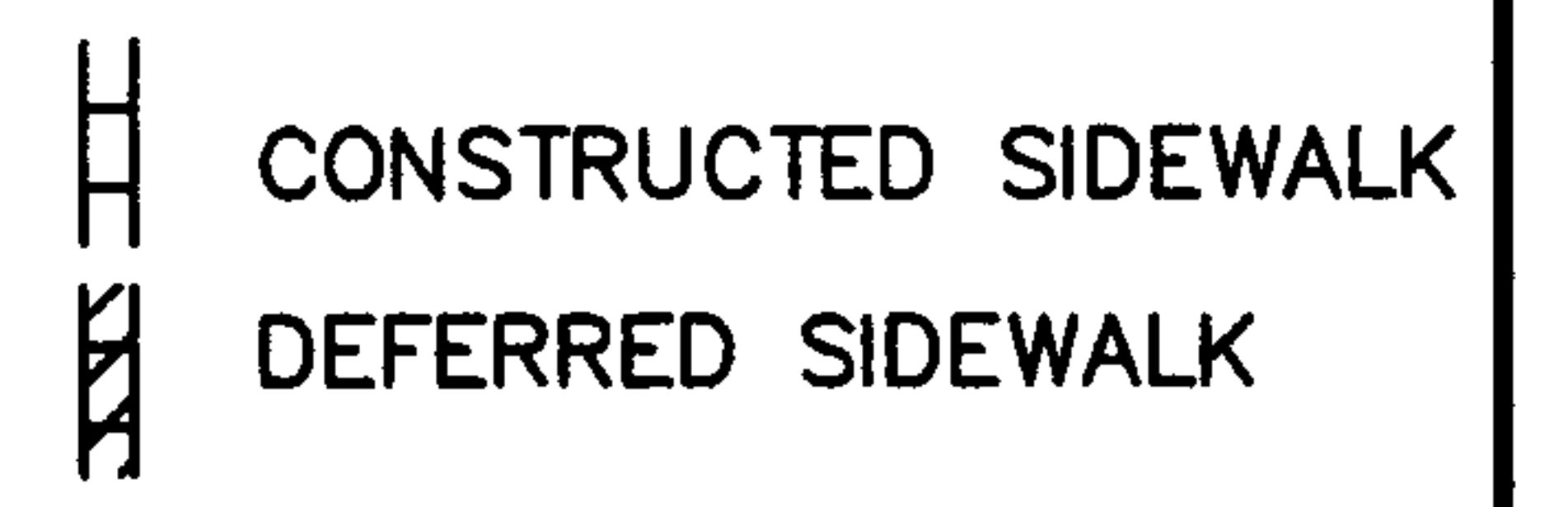
\* This was approved in 2007

NOTES:

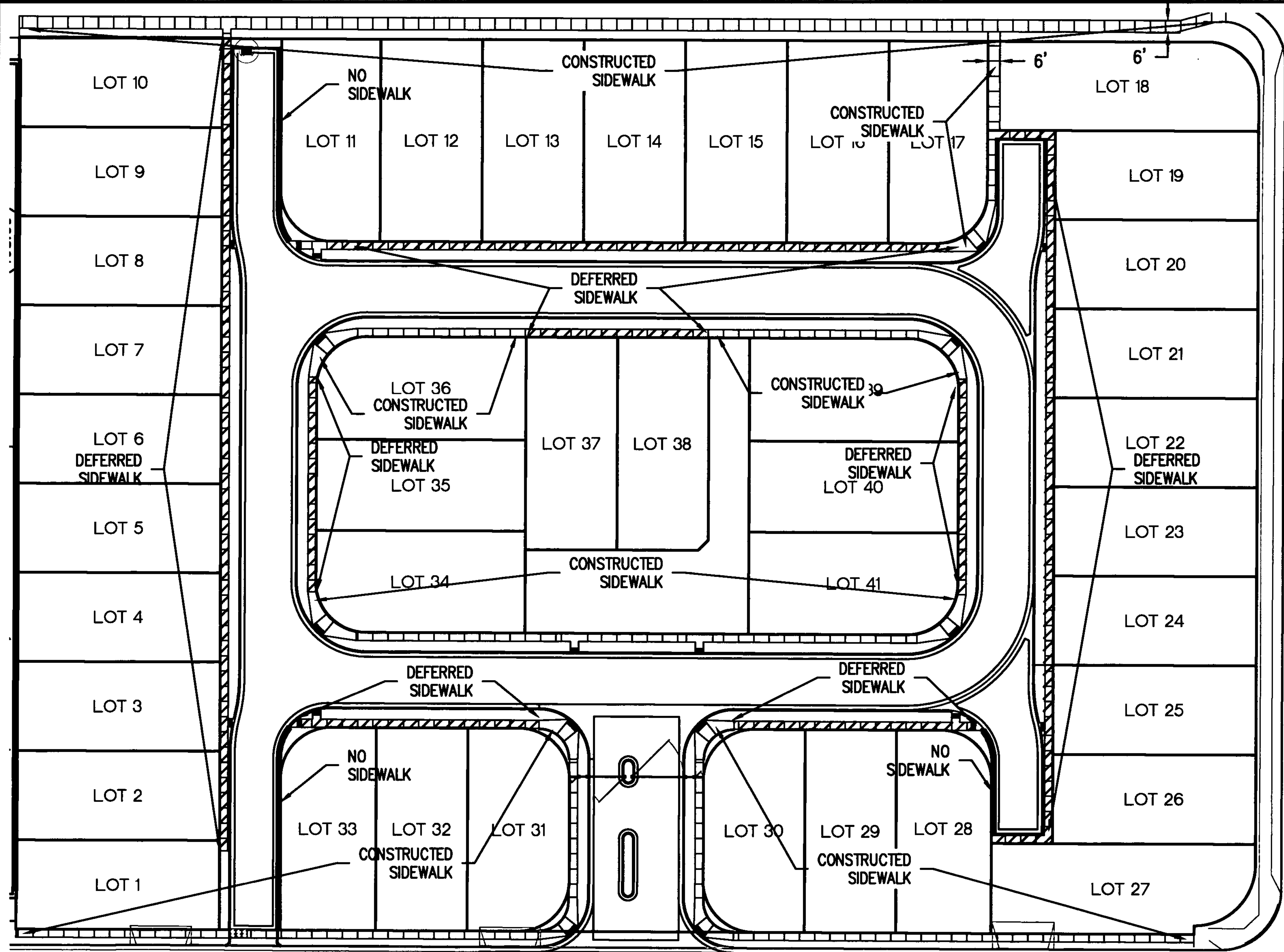
1. MAXIMUM WALL HEIGHT INCLUDING RETAINING WALL SHALL NOT EXCEED EIGHT FEET



PROJECT: 1005191  
 DATE: 7-30-14  
 APP: W-70272 (TAS)



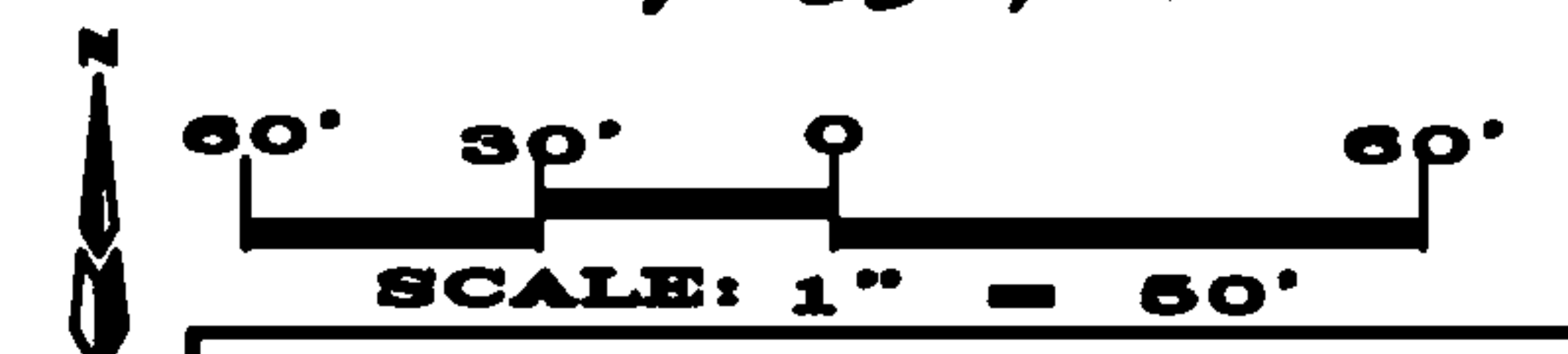
**SIDEWALK EXHIBIT**  
**DRB #1005191**  
**THE Group**  
 300 Branding Iron Rd. SE  
 Rio Rancho, New Mexico 87124  
 Phone: (505) 514-0995



ALL SIDEWALK S 4' IN WIDTH UNLESS OTHERWISE NOTED.

- SIDEWALK WAIVED
- ▤ CONSTRUCTED SIDEWALK
- ▨ DEFERRED SIDEWALK

7-30-114



**SIDEWALK EXHIBIT**  
**DRB #1005191**

**THE Group**  
300 Branding Iron Rd. SE  
Rio Rancho, New Mexico 87124  
Phone: (505) 514-0995

21

20

19

18

17

# Alameda Blvd. NE

Dedicated to the City of Albuquerque in Fee Simple  
50,495 sq. ft.  
1.1592 ACRES

Dedicated to the City of Albuquerque in Fee Simple with Warranty Covenants  
29,552 sq. ft.  
0.6784 ACRES

A  
N  
X  
Y  
Z  
C  
D

5' Vacation of Public Row  
Exhibit B

Lot 12, Block 29  
Tract A, unit B  
North Albuquerque Acres  
(Bk. D, Pg. 130, 4/24/36)

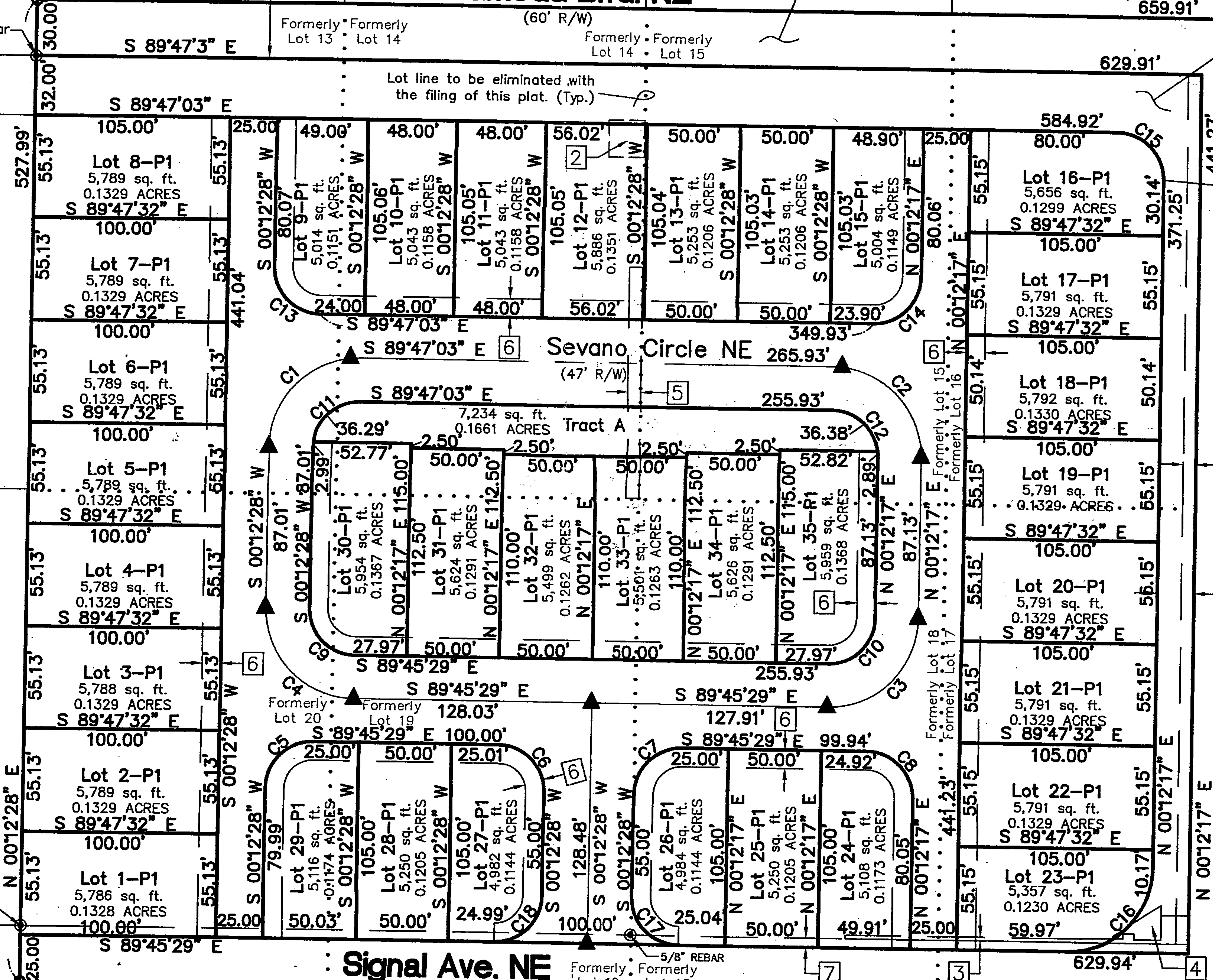
Lot 21, Block 29  
Tract A, unit B  
North Albuquerque Acres  
(Bk. D, Pg. 130, 4/24/36)

ACS Monument "9\_C18"  
NAD 1983 CENTRAL ZONE  
X=1542501.428  
Y=1521497.624  
Z=5232.470 (NAVD 1988)  
G-G=0.999664563  
Delta Alpha=-0°11'19.69"

Bathey Marker  
W/Cap LS#14271

Formerly Lot 13 • Formerly Lot 14  
Formerly Lot 14 • Formerly Lot 15

Lot line to be eliminated with the filing of this plat. (Typ.)



# Louisiana Blvd. NE

Lot 1, Block 4  
Tract 2, Unit 3  
North Albuquerque Ac  
(9/10/31, D1-20)

Dedicated to the City of Albuquerque in Fee Simple  
50,495 sq. ft.  
1.1592 ACRES

Lot 32, Block 4  
Tract 2, Unit 3  
North Albuquerque Ac  
(9/10/31, D1-20)

S 74°41'55" W 2082.24'  
N 89°45'29" W

# Signal Ave. NE

Formerly Lot 19 • Formerly Lot 18

26' Roadway Dedicated

659.94'

Set PK Nail

Rebar w/ Cap (Illegible)

REBAR W/ CAP "LS 17122"

Dedicated to the City of Albuquerque in Fee Simple

REBAR W/ CAP "LS 17122"

REBAR W/ CAP (ILLEGIBLE)

Dedicated to the City of Albuquerque in Fee Simple with Warranty Covenants

# Alameda Blvd. NE

(60' R/W)

Formerly Lot 13 • Formerly Lot 14

Formerly Lot 14 • Formerly Lot 15

50,495 sq. ft. 1.1592 ACRES

Set PK Nail 659.91'

29,552 sq. ft. 0.6784 ACRES

1/2" Rebar

S 89°47'03" E

S 89°47'3" E

Lot line to be eliminated with the filing of this plat. (Typ.)

629.91'

SIDE WALK DEFERRAL EXHIBIT C

Lot 12, Block 29 Tract A, unit B North Albuquerque Acres (Bk. D, Pg. 130, 4/24/36)

527.99'

S 89°47'03" E

Lot 8-P1 5,789 sq. ft. 0.1329 ACRES

S 89°47'32" E

Lot 7-P1 5,789 sq. ft. 0.1329 ACRES

S 89°47'32" E

Lot 6-P1 5,789 sq. ft. 0.1329 ACRES

S 89°47'32" E

Lot 5-P1 5,789 sq. ft. 0.1329 ACRES

S 89°47'32" E

Lot 4-P1 5,789 sq. ft. 0.1329 ACRES

S 89°47'32" E

Lot 3-P1 5,788 sq. ft. 0.1329 ACRES

S 89°47'32" E

Lot 2-P1 5,789 sq. ft. 0.1329 ACRES

S 89°47'32" E

Lot 1-P1 5,786 sq. ft. 0.1328 ACRES

S 89°45'29" E

N 00°12'28" E

55.13'

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55.13'

# Signal Ave. NE

(R/W Varies)

Formerly Lot 19 • Formerly Lot 18

5/8" REBAR

S 74°41'55" W 2082.24'

Set PK Nail

629.94'

Set PK Nail

S 00°12'17" W

528.29'

Louisiana Blvd. NE

(R/W VARIES)

S 85°29'56" E 5314.89'

Lot 1, Block 4 Tract 2, Unit 3 North Albuquerque Ac (9/10/31, D1-20)

Dedicated to the City of Albuquerque in Fee Simple 50,495 sq. ft. 1.1592 ACRES

Lot 32, Block 4 Tract 2, Unit 3 North Albuquerque Ac (9/10/31, D1-20)

ACS Monument "9\_C18" NAD 1983 CENTRAL ZONE X=1542501.428 Y=1521497.624 Z=5232.470 (NAVD 1988) G-G=0.999664563 Delta Alpha=-0°11'19.69"

Bathey Marker W/Cap LS#14271

# Alameda Blvd. NE

(60' R/W)

Dedicated to the City of Albuquerque in Fee Simple  
50,495 sq. ft.  
1.1592 ACRES

Dedicated to the City of Albuquerque in Fee Simple with Warranty Covenants  
29,552 sq. ft.  
0.6784 ACRES

## SIDEWALK VARIANCE - EXHIBIT A

Lot 12, Block 29  
Tract A, unit B  
North Albuquerque Acres  
(Bk. D, Pg. 130, 4/24/36)

Lot 21, Block 29  
Tract A, unit B  
North Albuquerque Acres  
(Bk. D, Pg. 130, 4/24/36)

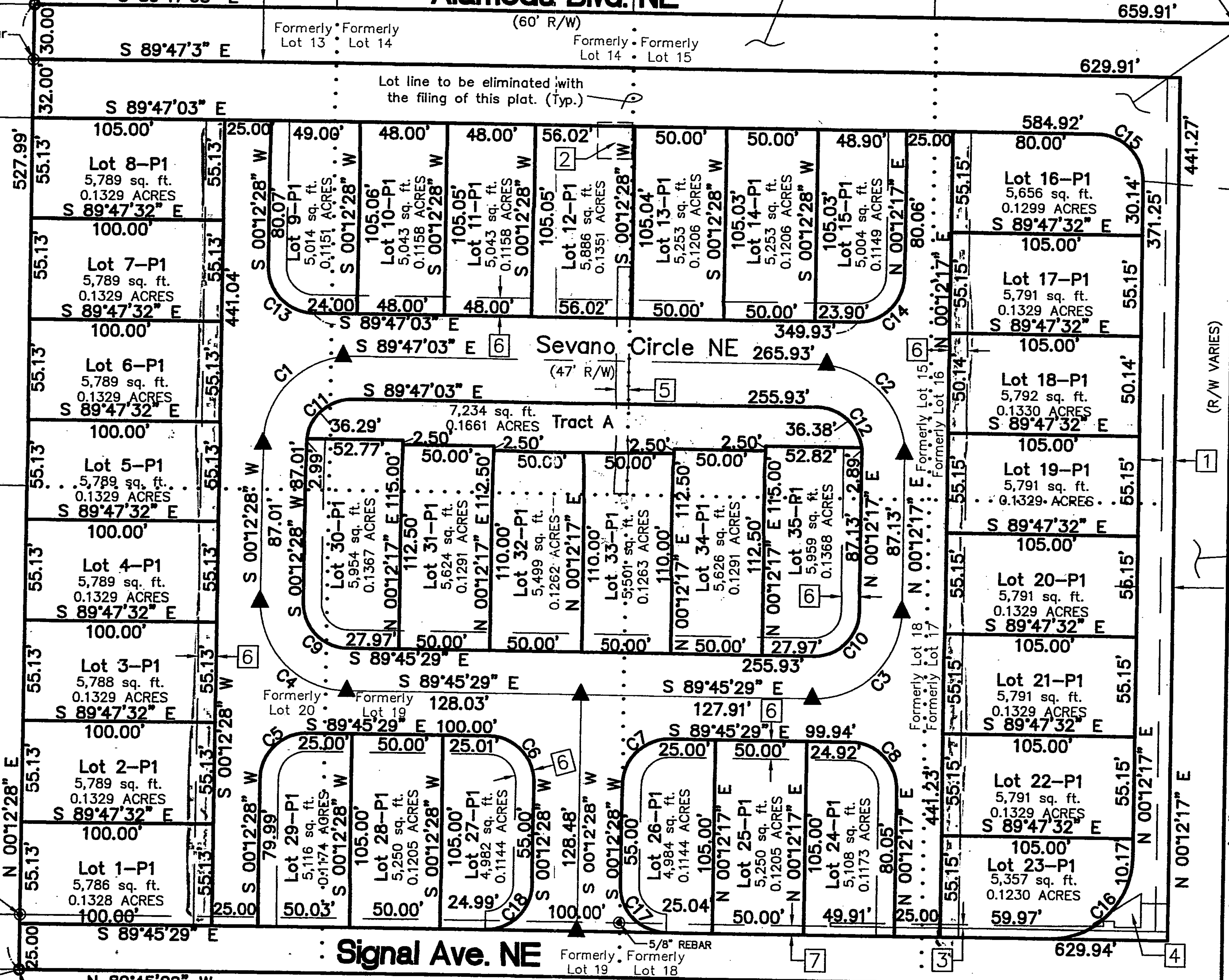
ACS Monument "9\_C18"  
NAD 1983 CENTRAL ZONE  
X=1542501.428  
Y=1521497.624  
Z=5232.470 (NAVD 1988)  
G-G=0.999664563  
Delta Alpha=-0°11'19.69"

Bathey Marker  
W/Cap LS#14271

Formerly Lot 13  
Formerly Lot 14

Formerly Lot 14  
Formerly Lot 15

Lot line to be eliminated with the filing of this plat. (Typ.)



# Louisiana Blvd. NE

(R/W VARIES)

S 85°29'56" E  
5314.89'

Lot 1, Block 4  
Tract 2, Unit 3  
North Albuquerque Acres  
(9/10/31, D1-20)

Dedicated to the City of Albuquerque in Fee Simple  
50,495 sq. ft.  
1.1592 ACRES

Lot 32, Block 4  
Tract 2, Unit 3  
North Albuquerque Acres  
(9/10/31, D1-20)

A  
N  
X  
Y  
Z  
C  
D



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 100 5191

TO: Application No. \_\_\_\_\_

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

Allan Porter, P.E., Albuquerque/ Bernalillo Co. WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: 7/9/14

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFIINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Grading Plan

CONTACT NAME: Ron Hensley

TELEPHONE: 410-1622 EMAIL: ron@thegroup.cc



**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
July 23, 2014  
DRB Comments**

**ITEM # 2**

**PROJECT # 1005191**            **RE:** Lots 13 - 20, Block 29, Tract A, Unit B,  
**NORTH ALBUQUERQUE ACRES**

There is a typo on the plan drawing for Tract A which needs to be corrected to match the Keyed Notes (should be circled 12 not 2). The Subdivision Data table needs to identify Tract A and private street area.

A Keyed Note 6 is needed on the plan drawing for the proposed pedestrian connection to public right of way in the southwest, southeast, and northeast corner of the site; The proposed sidewalk easements (SE and NE) need to be noted.

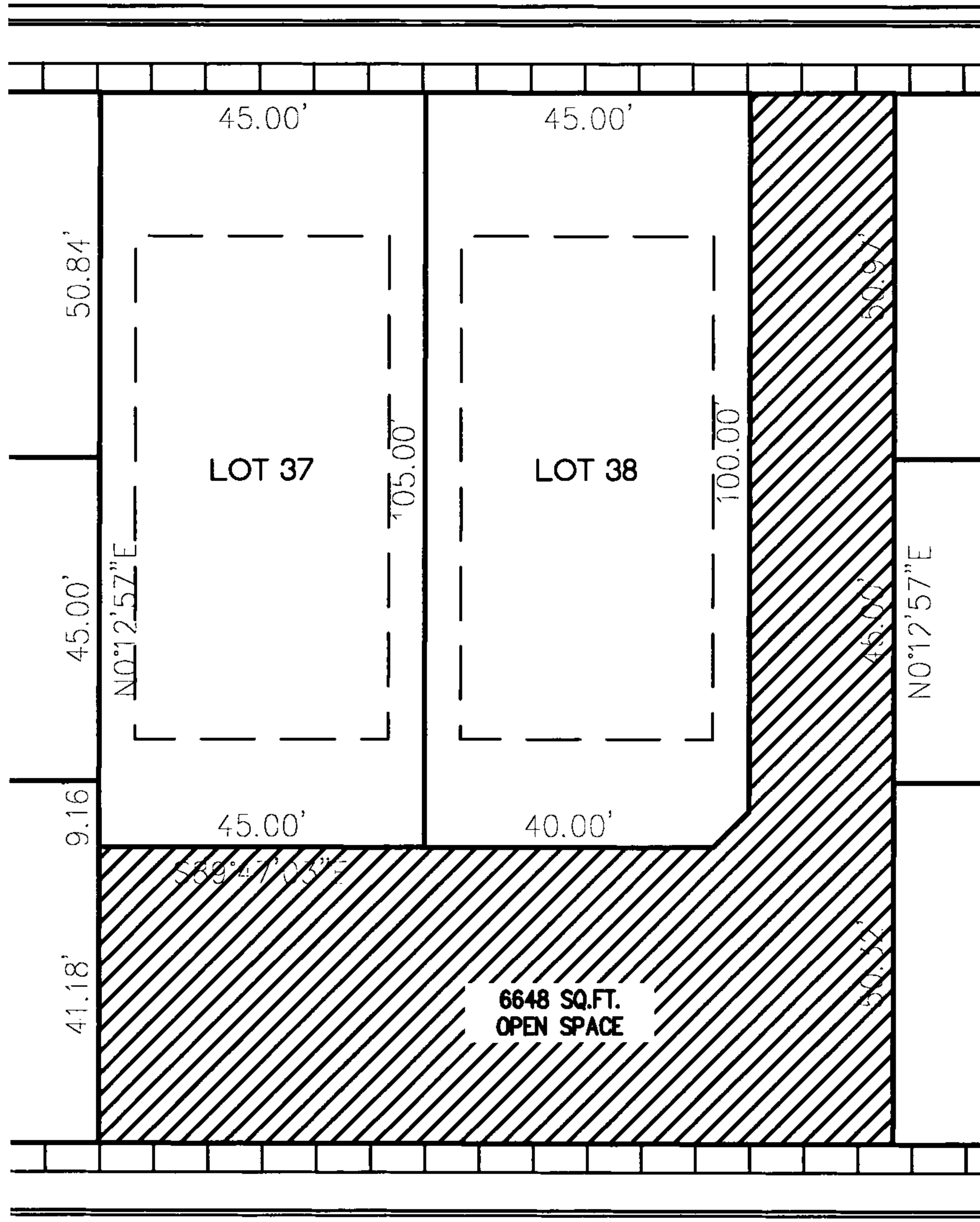
Driveways and patios cannot be counted towards Open Space requirements; just deducting for driveways, the shortage would be  $4650 + (41 \times 20 \times 20) = 21,050$  sq ft. A corrected Open Space Exhibit needs to be incorporated into the Site Plan Sheet L3, with a reference on Sheet SP1 near the 'TYPICAL LOT' illustration.

Refer to comments from Hydrology regarding Storm Drain items (duplicate with different inlets).

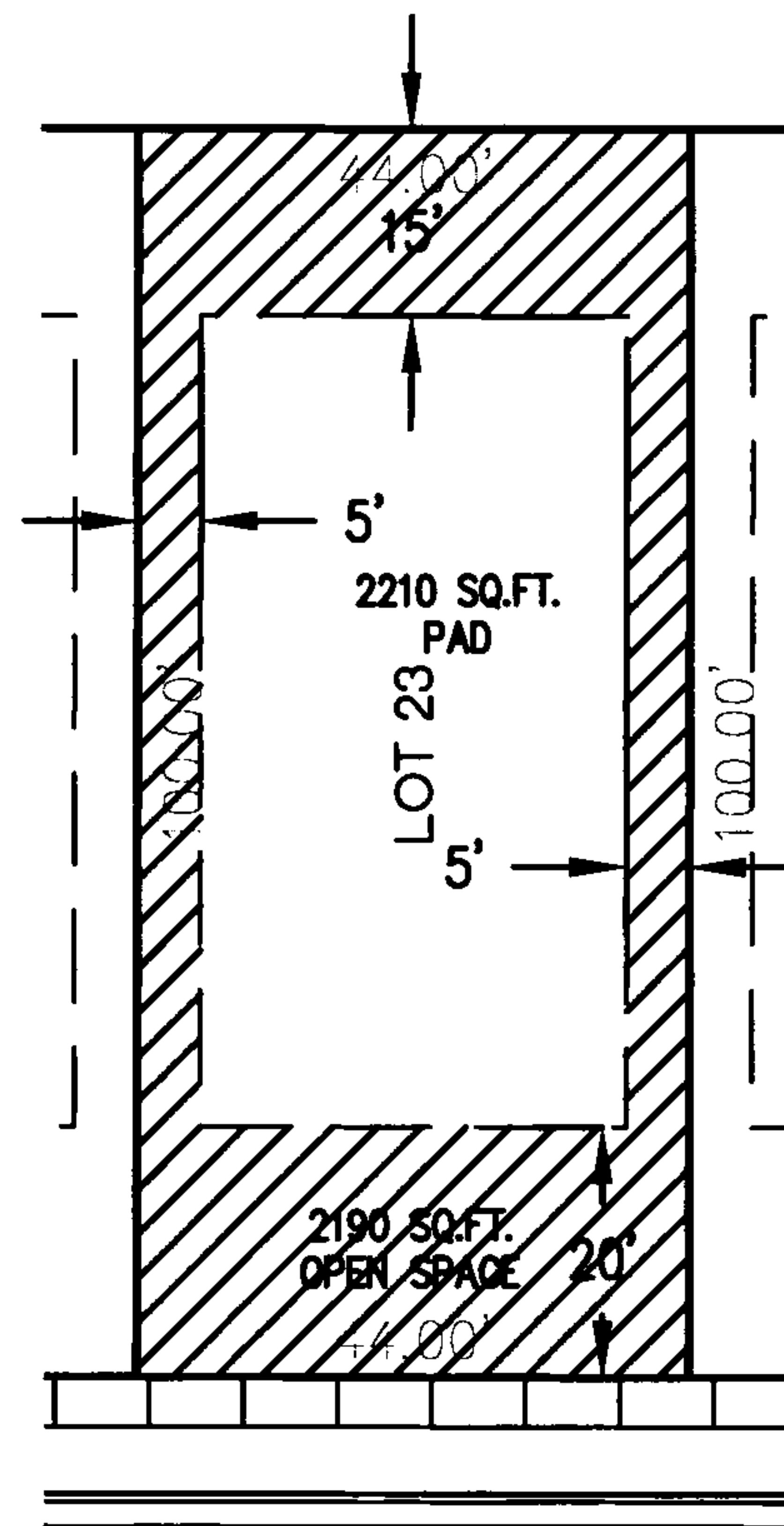
Refer to comments from Transportation Development; it appears ADA ramps should be provided in front of Tract A opposite the entrance sidewalk ramps. A separate Sidewalk Variance application is needed for Temporary Deferral of Sidewalk Construction and Waiver of Sidewalk; deferral is not appropriate for proposed Tract A and the sideyards of corner lots. Given the sidewalk connection locations, it is not appropriate to waive sidewalks on the west side of the SE and NE stub streets.

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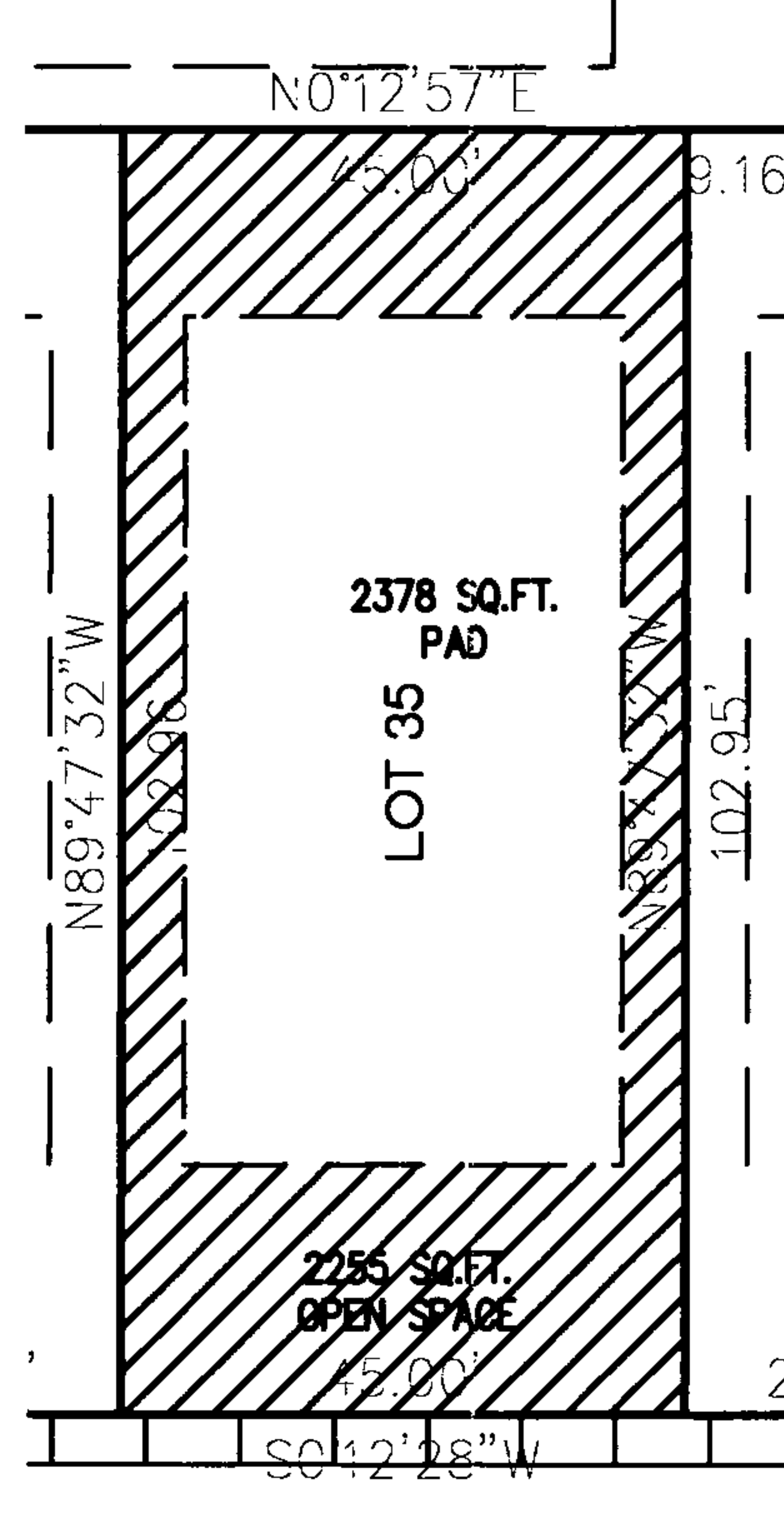
Jack Cloud, DRB Chairman  
924-3880/ [jcloud@cabq.gov](mailto:jcloud@cabq.gov)



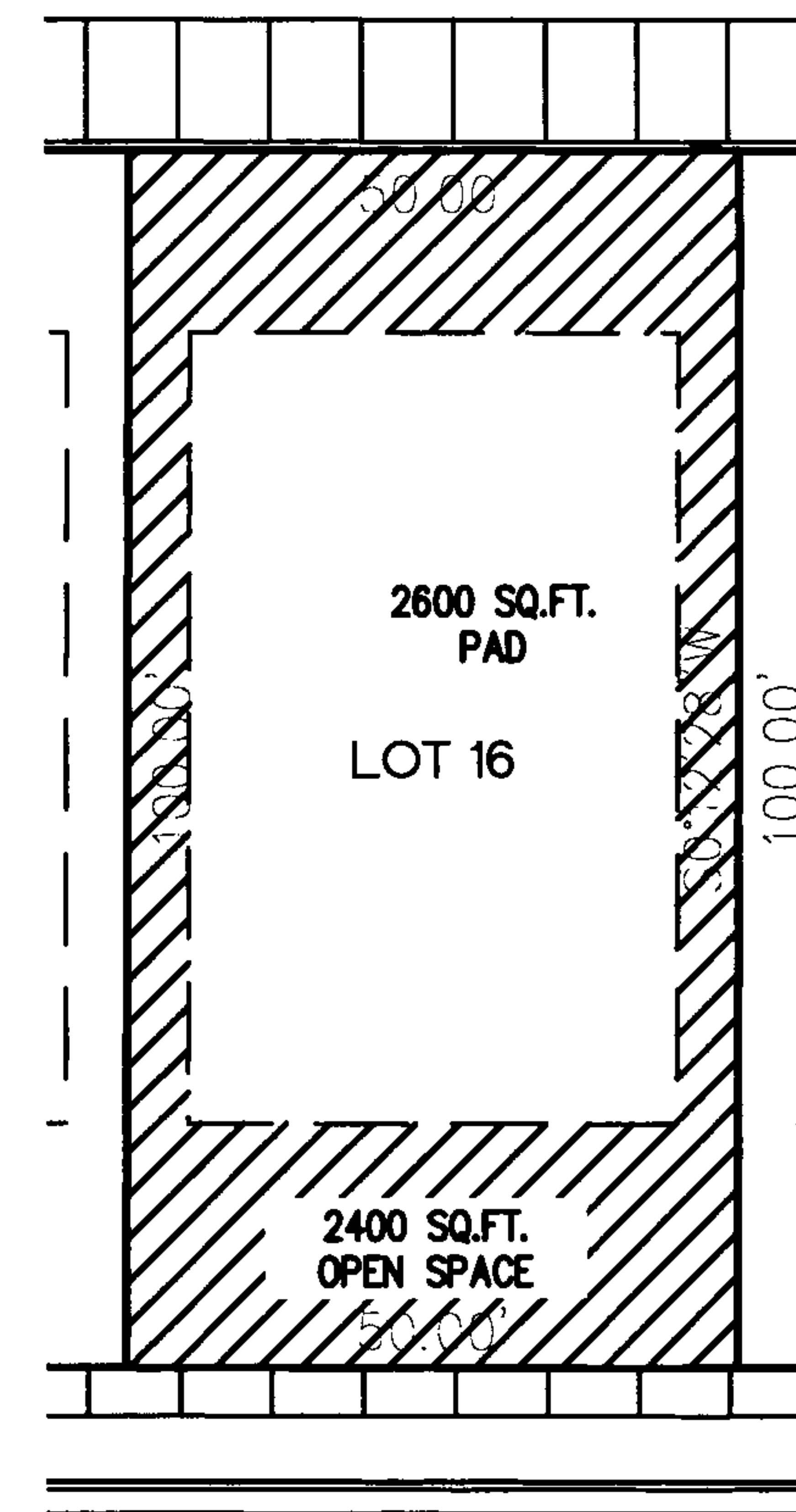
**CENTRAL LANDSCAPE AREA**  
SCALE 1" = 30'



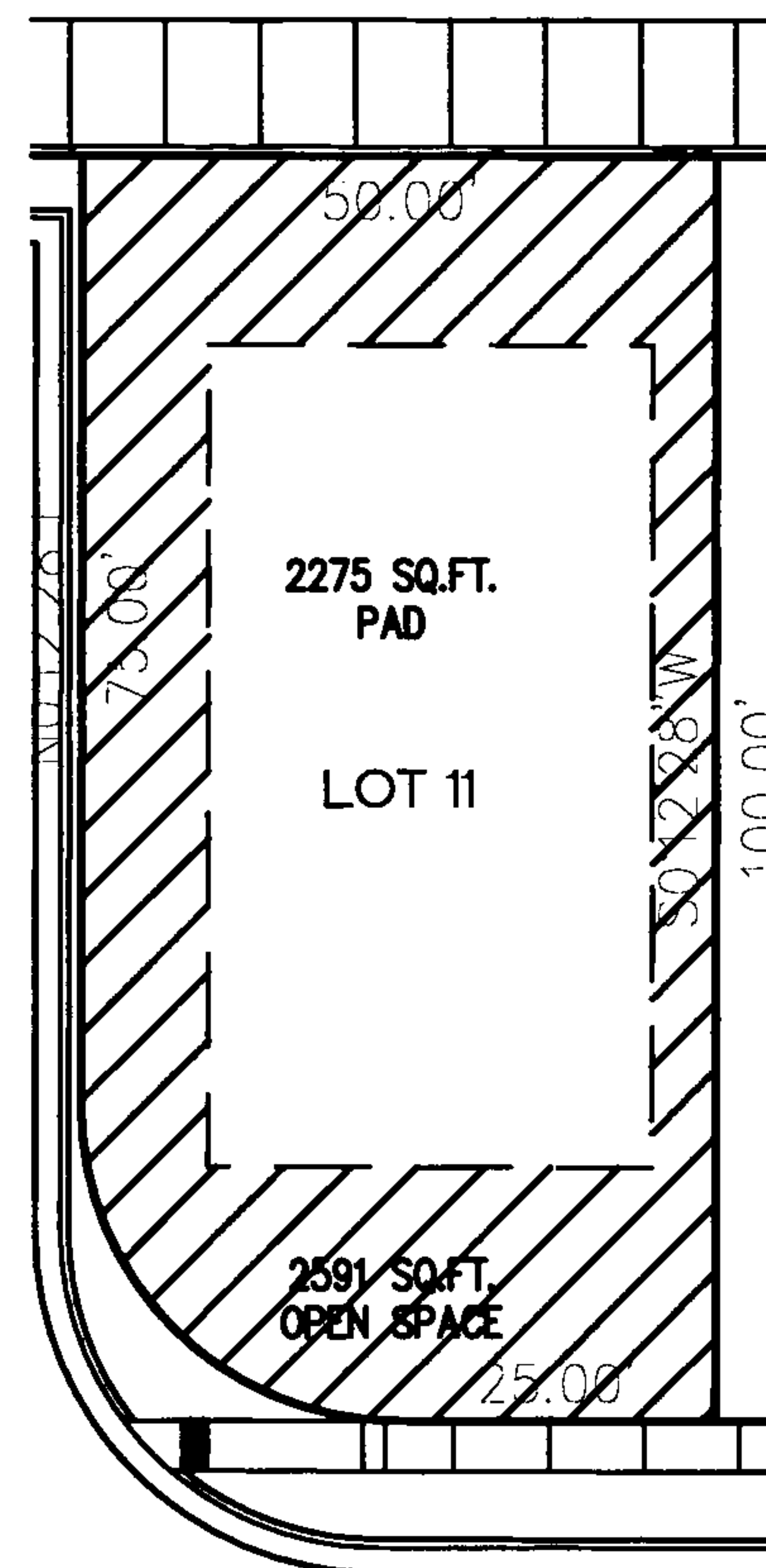
**TYPICAL 44' LOT**  
SCALE 1" = 30'



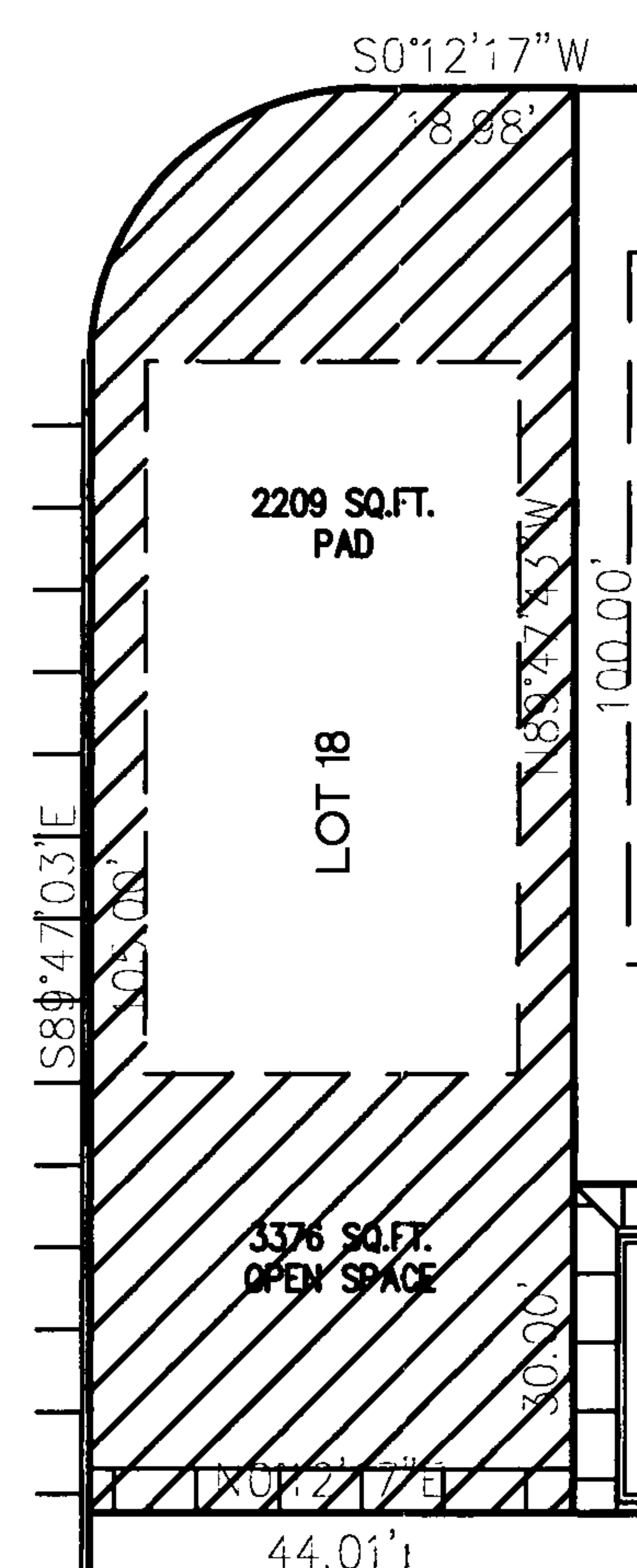
**TYPICAL 45' LOT**  
SCALE 1" = 30'



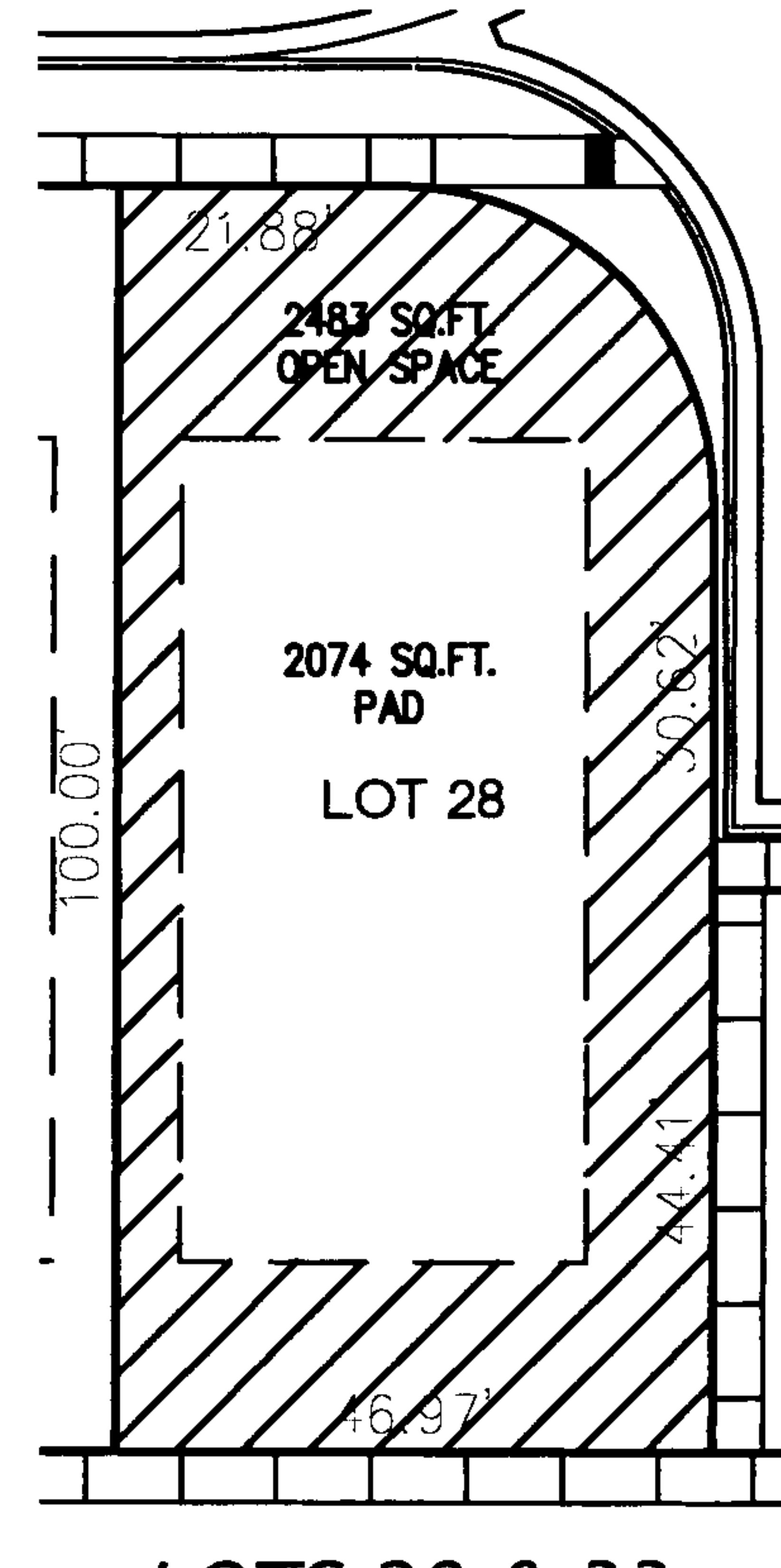
**TYPICAL 50' LOT**  
SCALE 1" = 30'



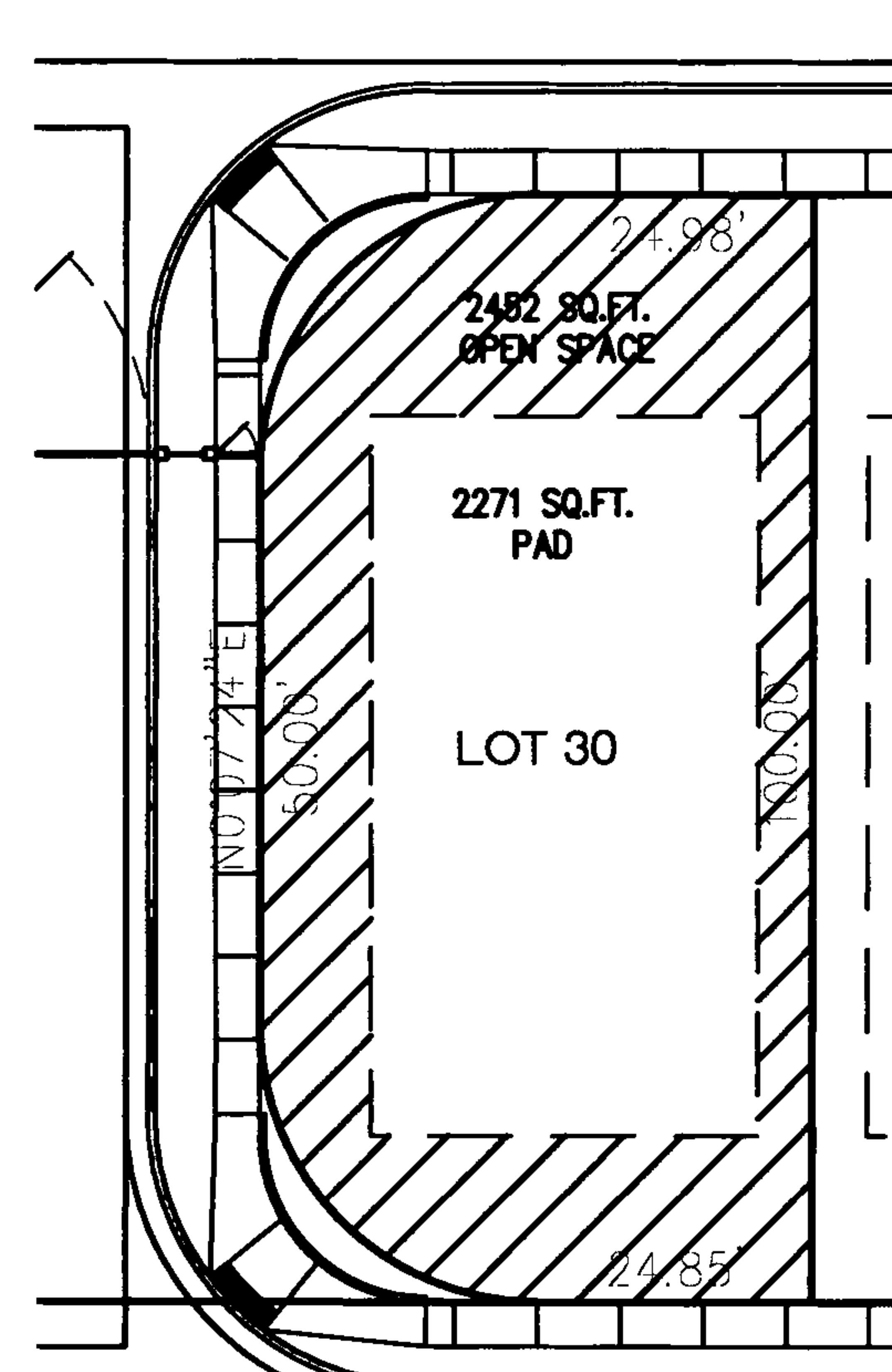
**LOTS 11 & 17**  
SCALE 1" = 30'



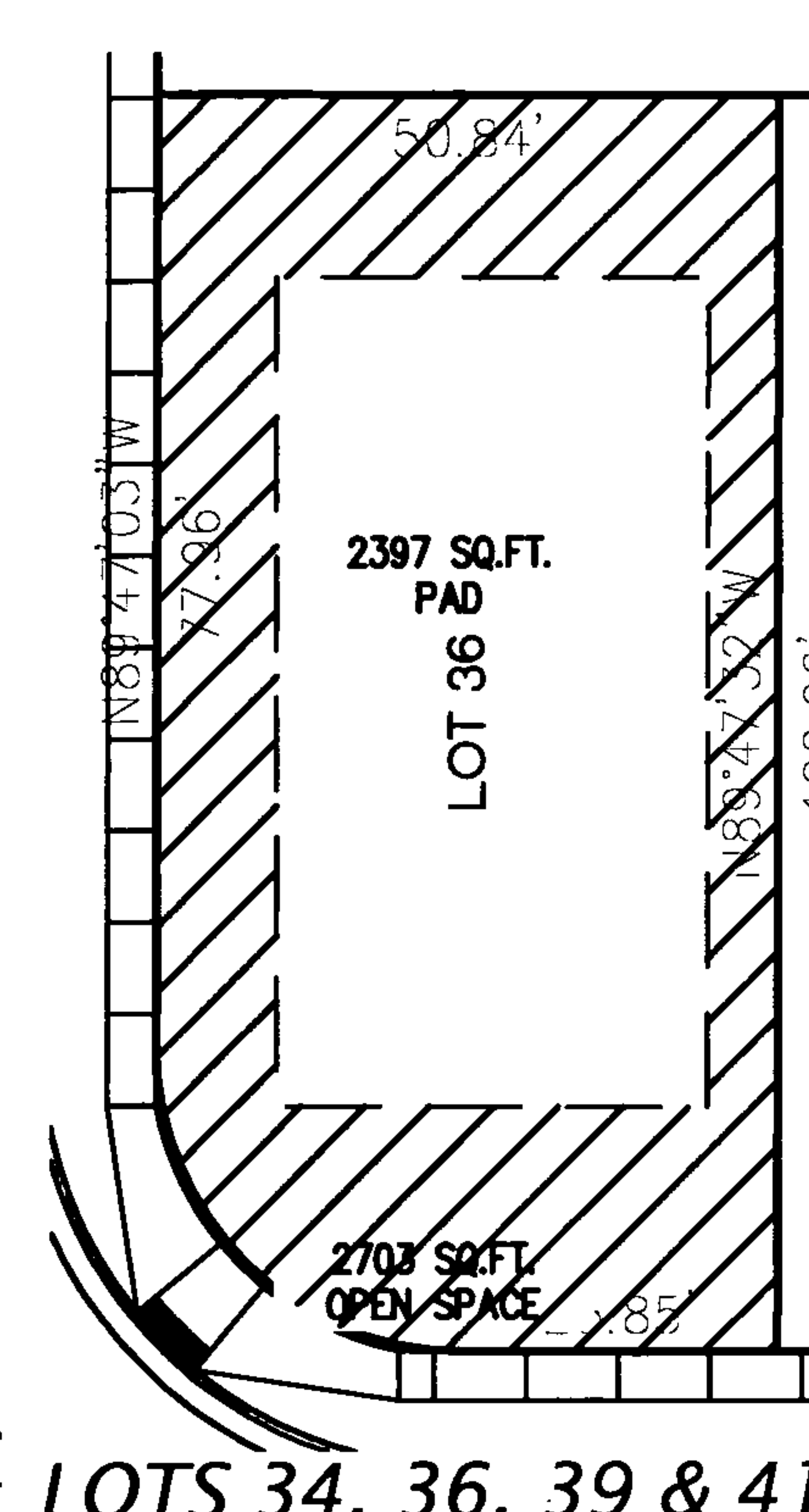
**LOTS 18 & 27**  
SCALE 1" = 30'



**LOTS 28 & 33**  
SCALE 1" = 30'



**LOTS 30 & 31**  
SCALE 1" = 30'



**LOTS 34, 36, 39 & 41**  
SCALE 1" = 30'

**OPEN SPACE DATA**

LOT TYPE	COUNT		SHORTAGE
TYPICAL 44' LOTS:	18	18*(2400-2190)=	3780 SQ.FT.
TYPICAL 45' LOTS:	6	6*(2400-2255)=	870 SQ.FT.
TYPICAL 50' LOTS:	5	5*(2400-2400)=	0 SQ.FT.
LOTS 11, 17:	2	2*(2400-2591)=	0 SQ.FT.
LOTS 18, 27:	2	4*(2400-3396)=	0 SQ.FT.
LOTS 28, 33:	2	2*(2400-2483)=	0 SQ.FT.
LOTS 30, 31:	2	4*(2400-2452)=	0 SQ.FT.
LOTS 34, 36, 39, 41:	4	4*(2400-2703)=	0 SQ.FT.
<b>TOTAL</b>	<b>41</b>		<b>4650 SQ.FT.</b>

Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

Date Submitted: \_\_\_\_\_  
Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No.: \_\_\_\_\_  
DRB Application No.: \_\_\_\_\_

**INFRASTRUCTURE LIST**

(Rev. 9-05)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Sevano Place Subdivision**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Lots 13 - 20 Block 29 Tract A Unit B of North Albuquerque Acres**

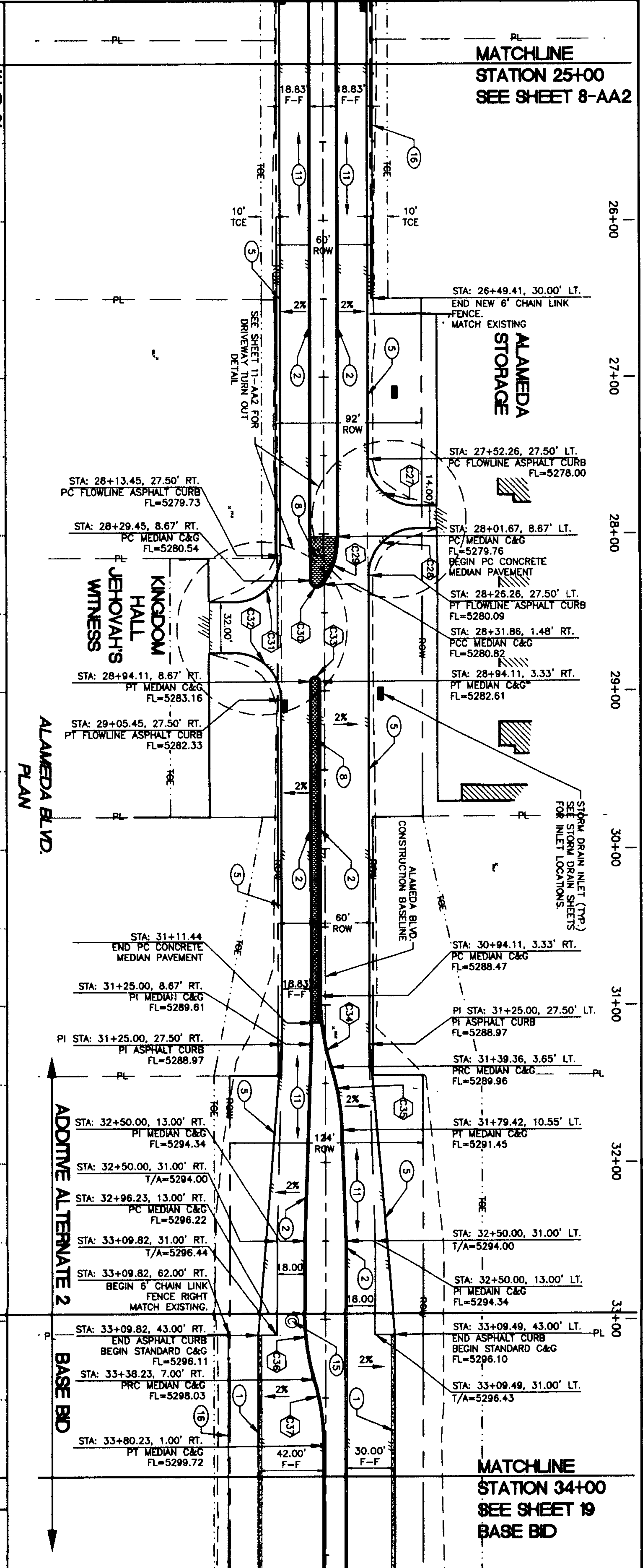
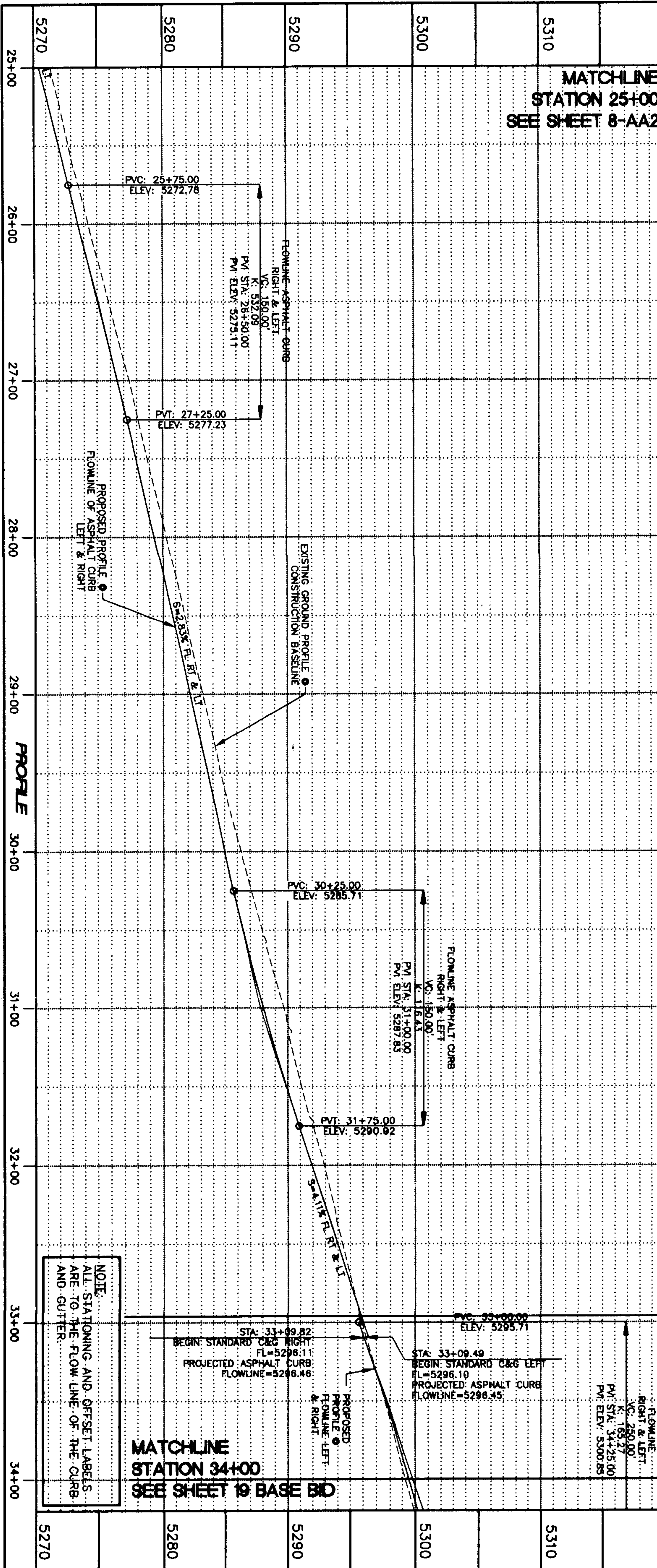
**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		27' FF	<b>Private Paving</b> Res. Pvmt. w/ 4' Sidewalk ** w/ Mountable C & G	Sevano Circle	Entrance	Entire Circle	/	/	/
		46' FF	Res. Pvmt. w/ 4' Sidewalk Mountable C & G and Median	Entrance	Signal	Sevano Circle	/	/	/
		23' FF	Res. Pvmt. w/ 4' Sidewalk one side Mountable C & G	NE Stub Street	Sevano Circle	Lot 18	/	/	/
		23' FF	Res. Pvmt. w/ 4' Sidewalk one side Mountable C & G	SE Stub Street	Sevano Circle	Lot 27	/	/	/
		23' FF	Res. Pvmt. w/ 4' Sidewalk one side Mountable C & G	NW Stub Street	Sevano Circle	NORTH PL	/	/	/
		23' FF	Res. Pvmt. w/ 4' Sidewalk one side Mountable C & G	SW Stub Street	Sevano Circle	SOUTH PL	/	/	/
		24"	<b>Storm Drain</b> Storm Drain W/ Type DD Inlet	West Sevano Circle	West Sevano	Alameda	/	/	/
		12'	<b>Public Paving</b> Art. Pvmt.W/ 10' Sidewalk C & G	Alameda Blvd.	West P/L	~400' east	/	/	/







**NOTES:**  
 ALL STATIONING AND OFFSET LABELS ARE TO THE FLOW LINE OF THE CURB AND GUTTER.

**DESIGNER:** [Signature]  
**CITY ENGINEER:** [Signature]

**DATE:** JAN 11 2013

**PROJECT:** ALAMEDA ROADWAY PLAN & PROFILE STA 25+00 TO STA 34+00

**ADDITIVE ALTERNATE 2**

**SMITH ENGINEERS**  
 SOLUTIONS FOR TODAY...  
 SEC JOB # 110203

**SCALE:** 1" = 40'

**SCALE:** 1" = 5'

**NO. DATE REMARKS BY**

**DESIGN:** DESIGNED BY DLA DATE 12-2012  
 DRAWN BY SEC DATE 12-2012

**CHIRRE DATA TABLE**

NO.	DELTA ANGLE	TANGENT	RADIUS	ARC LENGTH
C27	90°00'00"	30.00	30.00	47.12
C28	90°00'00"	30.00	30.00	47.12
C29	37°08'45"	16.80	50.00	32.42
C30	142°51'15"	11.90	4.00	9.97
C31	90°00'00"	30.00	30.00	47.12
C32	90°00'00"	30.00	30.00	47.12
C33	180°00'00"	INFINITY	2.87	8.38
C34	17°33'28"	23.16	150.00	45.97
C35	15°34'21"	20.51	150.00	40.77
C36	16°15'57"	21.43	150.00	42.57
C37	16°15'57"	21.43	150.00	42.57

**KEYED NOTES:**

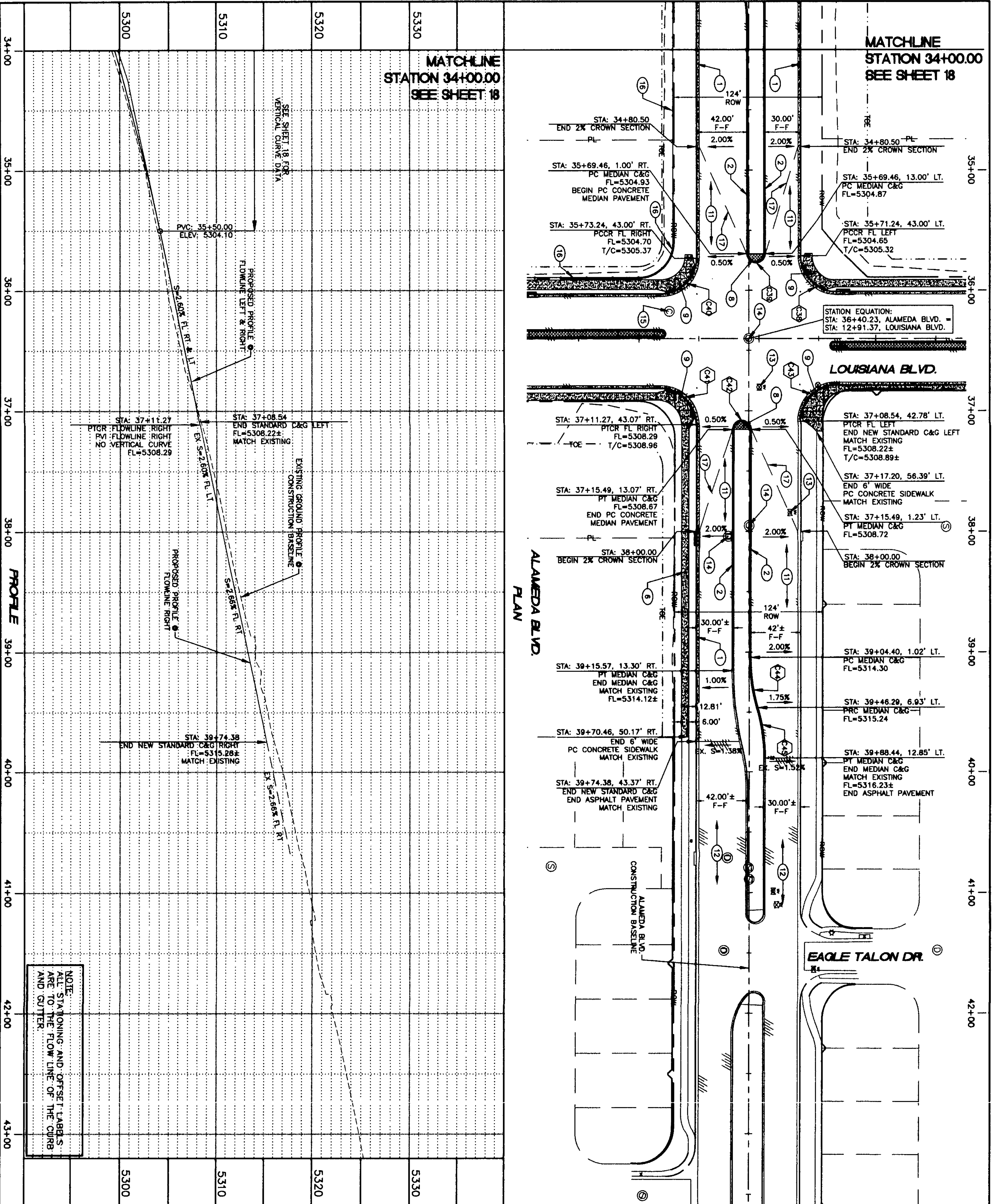
- BUILD NEW STANDARD CURB AND GUTTER PER COA STD. DWG. 2415A.
- BUILD NEW MEDIAN CURB AND GUTTER PER COA STD. DWG. 2415B.
- BUILD NEW TEMPORARY ASPHALT CURB PER COA STD. DWG. 2415C.
- BUILD NEW PORTLAND CEMENT CONCRETE PATTERNED MEDIAN PAVEMENT PER COA STD. DWG. 2408.
- BUILD NEW ASPHALT PAVEMENT PER DETAIL SHEET 30 BASE BID.
- EXISTING COMM. MANHOLE TO BE ADJUSTED TO GRADE - BY OTHERS.
- INSTALL NEW 6" HIGH CHAINLINK FENCE.

**ENGINEERS SEAL:** [Signature]

**SURVEY INFORMATION:**  
 FIELD NOTES: 11599 Surveying Control, Inc. 1/2010

**BENCH MARKS:**  
 Coordinates shown hereon are modified (surface) N.M. State Plane Coordinates - Central Zone, NAD 83 and were derived by scaling State Plane grid coordinates by the project average combined factor of CF = 1.000334961 around an origin of 0,0. Elevations are NAVD 88, and are adjusted to the NGS Control Station "10-C18, 1985" (published elevation = 5222.090'). N:1524634.40 E:1543081.96

**AS BUILT INFORMATION:**  
 CONTRACTOR: [Blank]  
 WORK STAKED BY: [Blank]  
 INSPECTOR'S ACCEPTANCE BY: [Blank]  
 FIELD VERIFICATION BY: [Blank]  
 DRAWINGS CORRECTED BY: [Blank]  
 MICRO-FILM INFORMATION: RECORDED BY: [Blank]  
 NO. [Blank]



**PROPOSED**  
DESIGNED BY: JAH 11/08  
CITY ENGINEER

**PROPOSED**  
DESIGNED BY: AN 11/2013  
CITY ENGINEER

768391

C-181-C-19

3-6

19

84

**SMITH**  
SOLUTIONS FOR THE CONSTRUCTION INDUSTRY

SEC JOB # 110203

SCALE: 1" = 40'

SCALE: 1" = 5'

NO. DATE REMARKS BY

DESIGNED BY DLA DATE 12-2012

DRAWN BY SEC DATE 12-2012

**ENGINEER'S SEAL**  
Douglas L. Anderson  
REGISTERED PROFESSIONAL ENGINEER

NO.	DATE	REMARKS	BY
		DESIGN	
		REVISIONS	

**CURVE DATA TABLE**

NO.	DELTA ANGLE	TANGENT	RADIUS	ARC LENGTH
C38	89°59'56"	30.00	30.00	47.12
C39	180°00'00"	INFINITY	7.00	21.99
C40	90°00'04"	30.00	30.00	47.12
C41	90°03'53"	30.03	30.00	47.16
C42	180°00'00"	INFINITY	7.15	22.47
C43	90°11'47"	30.10	30.00	47.23
C44	161°24'11"	21.35	150.00	42.44
C45	161°18'50"	21.50	150.00	42.71

**GENERAL NOTES**  
1. SEE SHEET 29 FOR INTERSECTION LAYOUT.

**KEYED NOTES**

- BUILD NEW STANDARD CURB AND GUTTER PER COA STD. DWG. 2415A.
- BUILD NEW MEDIAN CURB AND GUTTER PER COA STD. DWG. 2415B.
- BUILD NEW PORTLAND CEMENT CONCRETE SIDEWALK PER COA STD. DWG. 2430.
- BUILD NEW PORTLAND CEMENT CONCRETE PATTERNEDED MEDIAN PAVEMENT PER COA STD. DWG. 2408.
- BUILD ADA CURB ACCESS RAMP PER DETAIL ON SHEET 33.
- BUILD NEW ASPHALT PAVEMENT PER DETAIL SHEET 30.
- EXISTING PAVEMENT TO REMAIN.
- ADJUST EXISTING VALVE BOX TO NEW GRADE PER COA STD. DWG. 2460.
- ADJUST EXISTING MANHOLE TO NEW GRADE PER COA STD. DWG. 2460.
- EXISTING CULVERT MANHOLE TO BE ADJUSTED TO GRADE - BY OTHERS.
- INSTALL NEW 6' HIGH CHAINLINK FENCE.
- BUILD CROWN TRANSITION.

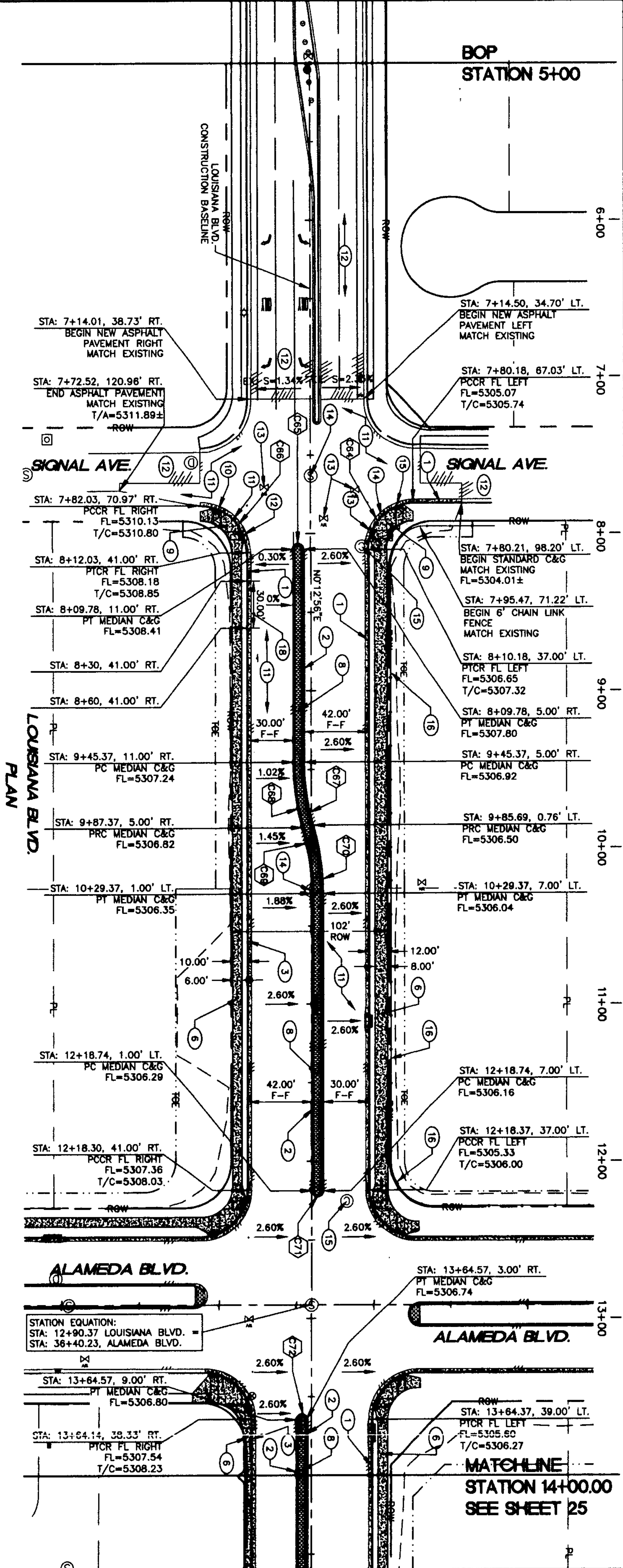
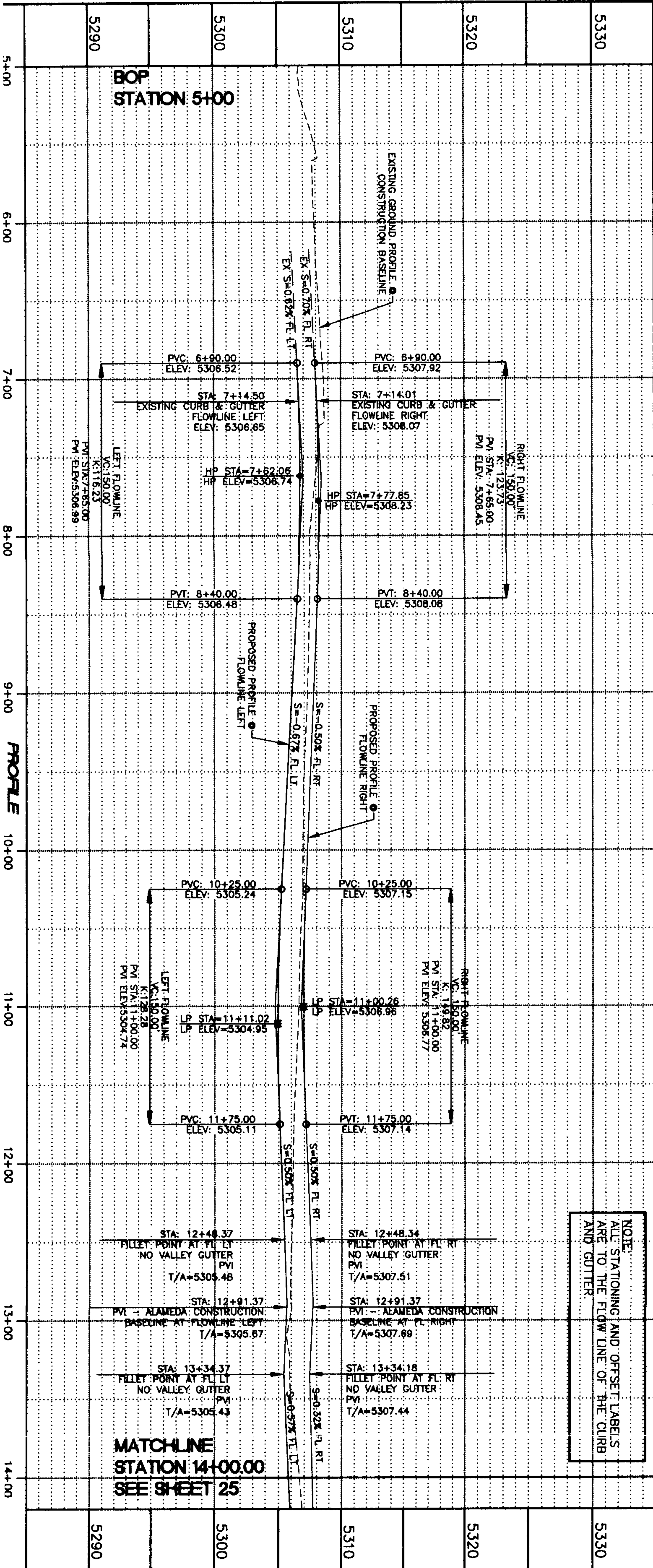
**BENCH MARKS**  
Coordinates shown hereon are modified (surface) N.M. State Plane Coordinates - Central Zone, NAD 83 and were derived by scaling State Plane grid coordinates by the project average combined factor of CF = 1.000334961 around an origin of 0.0. Elevations are NAVD 88, and are adjusted to the NGS Control Station "10-C18, 1985" (published elevation = 5222.090'). N:1524634.0 E:1543081.96

**AS BUILT INFORMATION**

CONTRACTOR	DATE
WORK STAGED BY	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE

**MICRO-FILM INFORMATION**

RECORDED BY	DATE
NO.	



NOTE: ALL STATIONING AND OFFSET LABELS ARE TO THE FLOWLINE OF THE CURB AND GUTTER.

**KEYED NOTES**

- 1 BUILD NEW STANDARD CURB AND GUTTER PER COA STD. DWG. 2415A.
- 2 BUILD NEW MEDIUM CURB AND GUTTER PER COA STD. DWG. 2415B.
- 3 BUILD NEW DEPRESSED CURB AND GUTTER PER COA STD. DWG. 2415A.
- 4 BUILD NEW PORTLAND CEMENT CONCRETE SIDEWALK PER COA STD. DWG. 2430.
- 5 BUILD NEW PORTLAND CEMENT CONCRETE PATTERNEDED MEDIAN PAVEMENT PER COA STD. DWG. 2408.
- 6 BUILD ADA CURB ACCESS RAMP PER SHEET 33.
- 7 BUILD NEW ASPHALT PAVEMENT PER DETAIL SHEET 30.
- 8 EXISTING PAVEMENT TO REMAIN.
- 9 ADJUST EXISTING VALVE BOX TO NEW GRADE PER COA STD. DWG. 2460.
- 10 ADJUST EXISTING MANHOLE TO NEW GRADE PER COA STD. DWG. 2460.
- 11 EXISTING COMM. MANHOLE TO BE ADJUSTED TO GRADE - BY OTHERS.
- 12 INSTALL NEW 6' HIGH CHAINLINK FENCE.
- 13 TRANSITION FROM STANDARD CURB AND GUTTER TO DEPRESSED CURB AND GUTTER.

**CURVE DATA TABLE**

NO.	DELTA ANGLE	TANGENT	RADIUS	ARC LENGTH
C64	90°03'45"	30.03	30.00	47.16
C65	180°00'00"	INFINITY	3.00	9.42
C66	89°56'15"	29.97	30.00	47.09
C67	16°15'37"	20.57	144.00	40.87
C68	16°15'37"	21.43	150.00	42.57
C69	16°15'37"	21.43	150.00	42.57
C70	16°15'37"	22.29	156.00	44.27
C71	180°00'00"	INFINITY	3.00	9.42
C72	180°00'00"	INFINITY	3.00	9.42

**POINT CURB RETURN DATA**

NO.	TOP OF CURB	FLOW LINE
10	5309.66	5309.64
11	5309.64	5308.97
12	5308.42	5308.40
13	5306.56	5306.54
14	5306.76	5306.09
15	5305.54	5305.52

**PROPOSED**

City of Alabaster  
Department of Municipal Development  
Engineering Division

**ALAMEDA BLVD. WIDENING**

LOUISIANA ROADWAY PLAN & PROFILE STA 5+00 TO STA 14+00

DATE: JAN 11 2013

DESIGNED BY: DLA  
DRAWN BY: SEC

DATE: 12-2012

**ENGINEERS SEAL**

*Douglas L. Anderson*

DOUGLAS L. ANDERSON  
REGISTERED PROFESSIONAL ENGINEER  
NO. 6771

**SURVEY INFORMATION**

NO.	BY	DATE
11599	Surveying Control, Inc.	1/2010

**BENCH MARKS**

Coordinates shown hereon are modified (surface) N.M. State Plane Coordinates - Central Zone, NAD 83 and were derived by scaling State Plane grid coordinates by the project average combined factor of CF = 1.000334961 around an origin of 0.0. Elevations are NAVD 88, and are adjusted to the NGS Control Station "10-C18, 1985" (published elevation = 5222.090'). N:1524634.40 E:1543081.96

**AS BUILT INFORMATION**

CONTRACTOR	DATE
WORK SHOWN	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE
<b>MICRO-FILM INFORMATION</b>	DATE
RECORDED BY	DATE
NO.	









DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1005191

TO: X ALL MEMBERS Application No. \_\_\_\_\_

\_\_\_ Jack Cloud, DRB Chairman, Planning Department

\_\_\_ Curtis Cherne, P.E., Hydrology

\_\_\_ Kristal Metro, P.E., Transportation Development

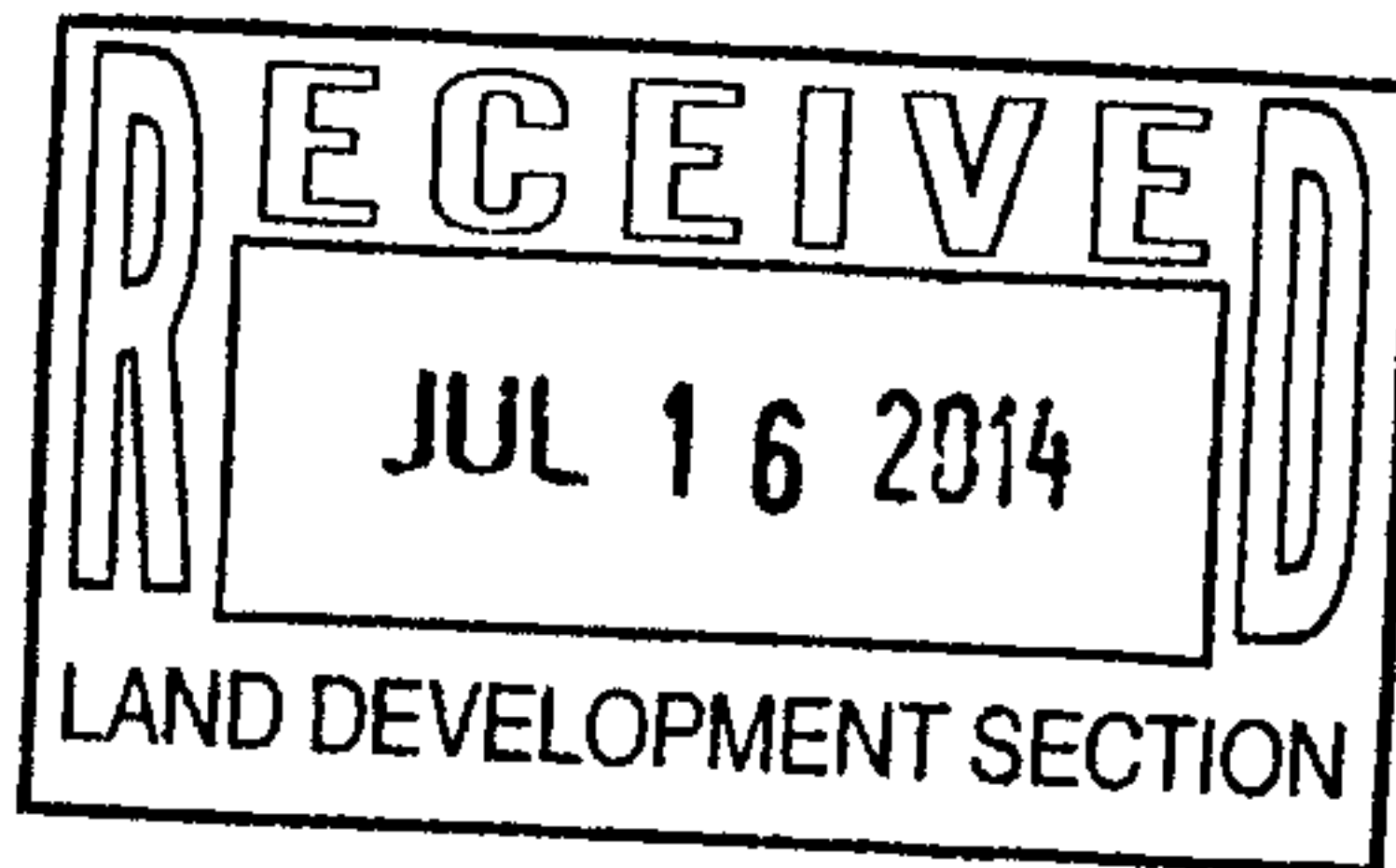
\_\_\_ Allan Porter, P.E., Albuquerque/ Bernalillo Co. WUA

\_\_\_ Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: 7/26/14

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Site Plan, Plat, Grading Plan & Supplemental Info.



CONTACT NAME: Ron Hensley

TELEPHONE: 410-1622 EMAIL: ron@thegroup.cc



**The HENSLEY ENGINEERING GROUP**

July 16, 2014

Mr. Jack Cloud  
DRB Chair  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

Re: Sevano Place Subdivision – Site Plan and Preliminary Plat and Infrastructure List  
DRB# 1005191

Attached are the revised sheets and supplementary information for the Site Plan and Preliminary Plat submittal for Sevano Place...I believe the revisions and additional information address the comments previously provided.

Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

Ron E. Hensley P.E.  
[ron@thegroup.cc](mailto:ron@thegroup.cc)



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1005191

TO:  ALL MEMBERS

Application No. \_\_\_\_\_

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

Allan Porter, P.E., Albuquerque/ Bernalillo Co. WUA

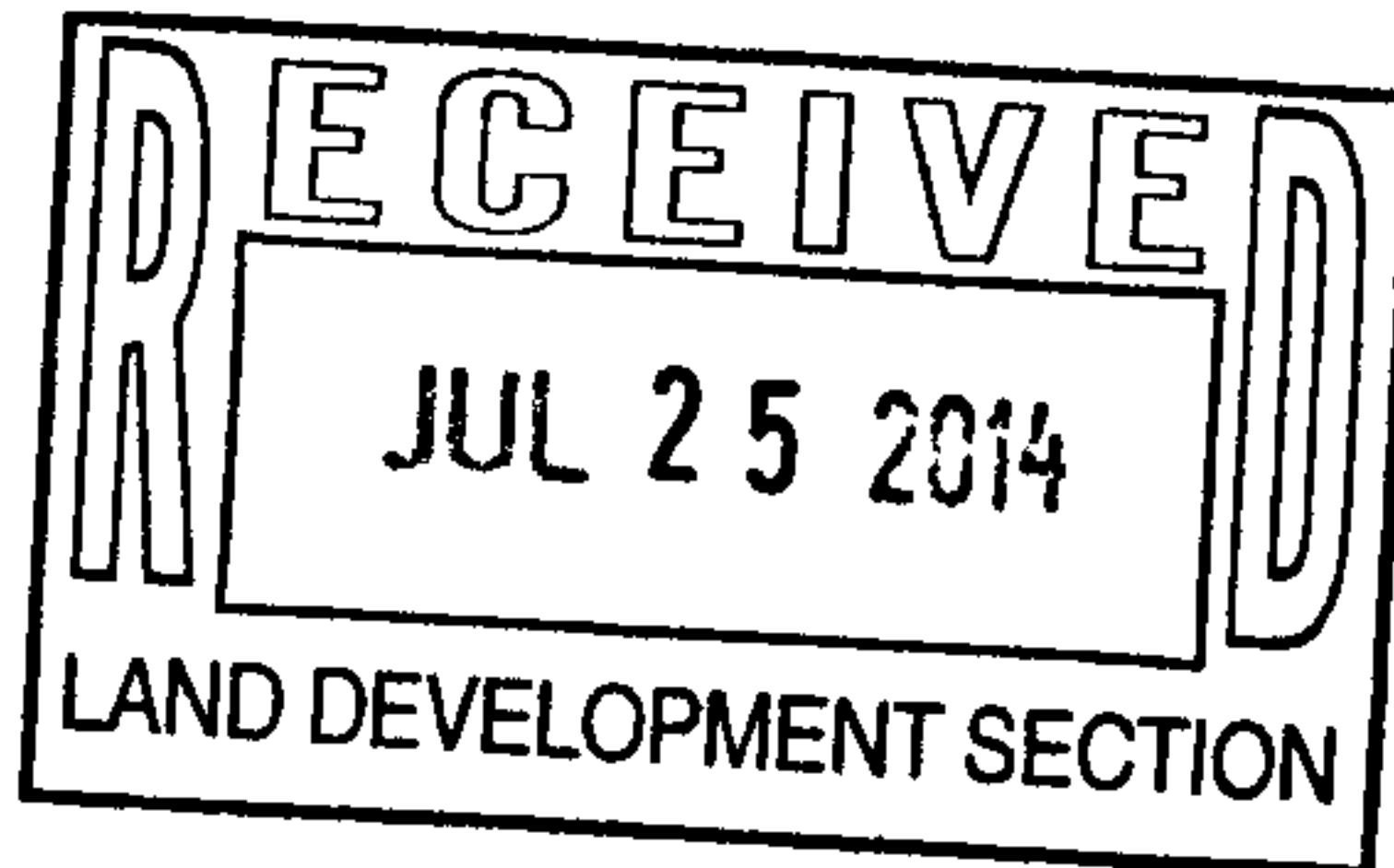
Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: 7-30-14

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: ~~Site Plan~~ Site Plan

Open Space Exhibit, Grading Plan

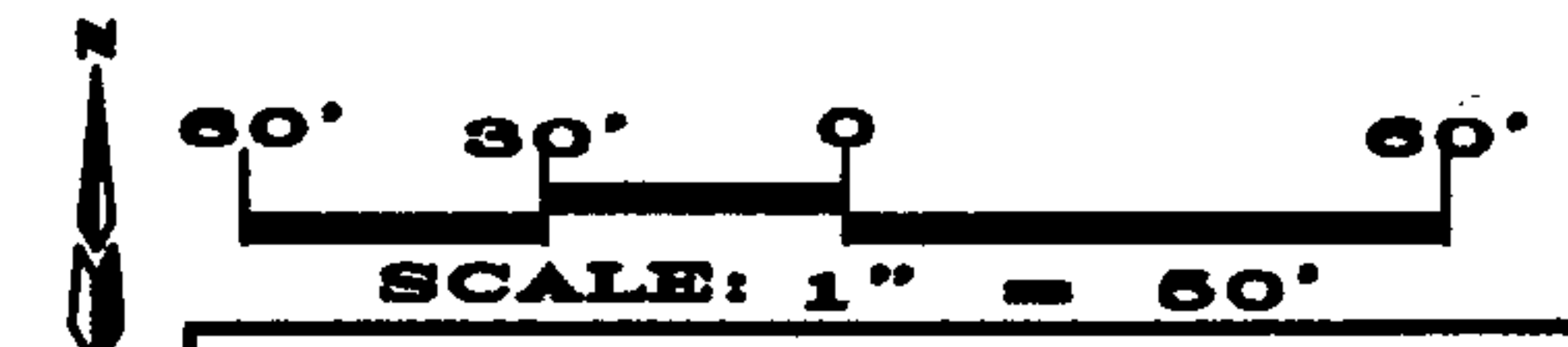
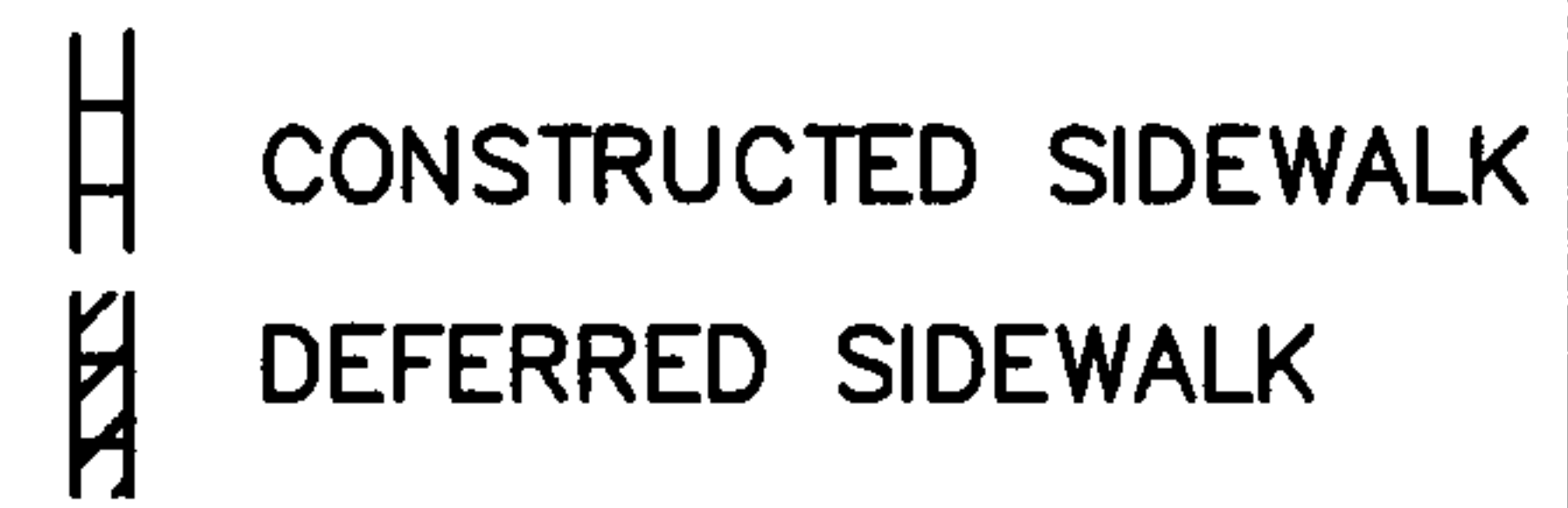
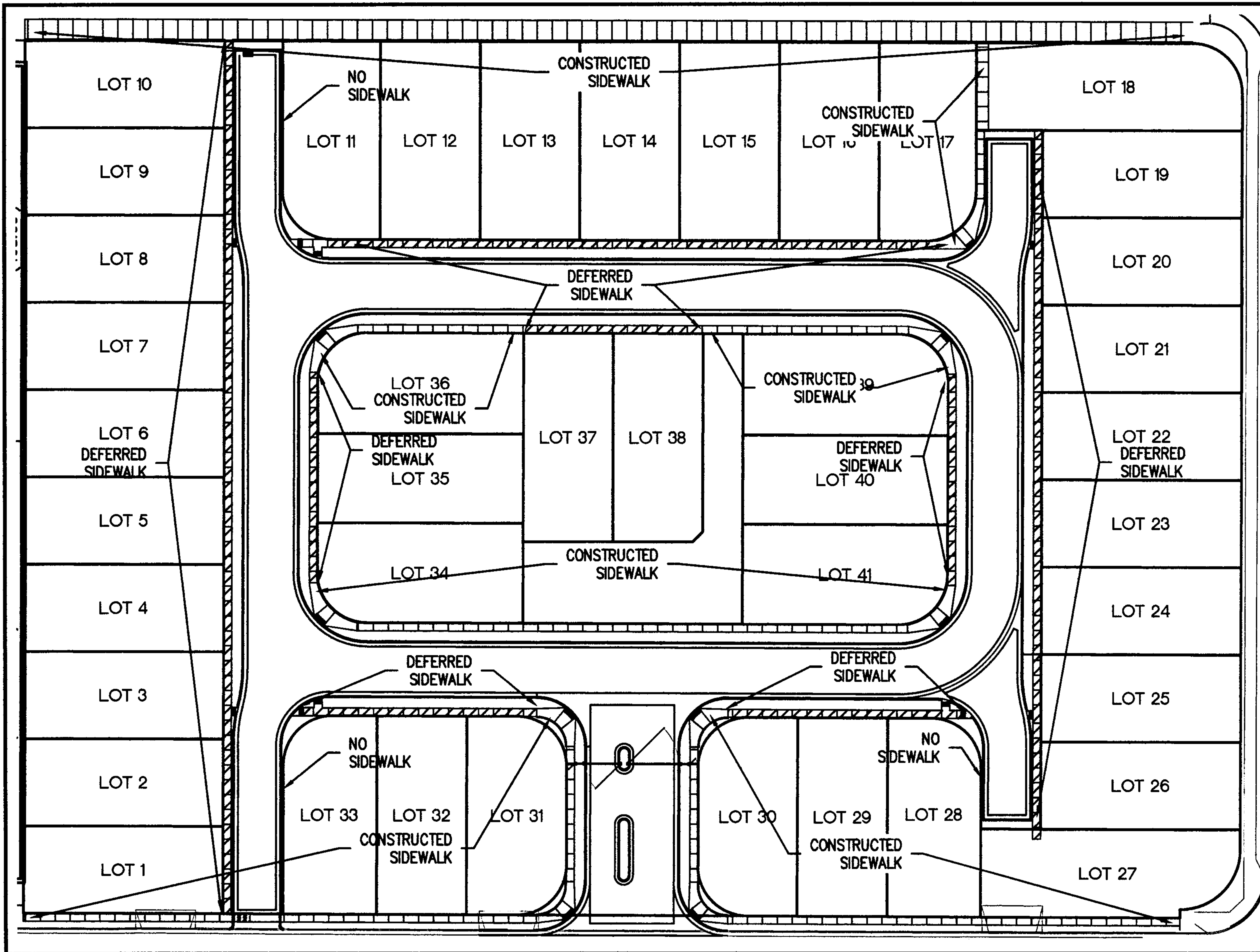


CONTACT NAME: Ron Hensley

TELEPHONE: 410-1622 EMAIL: ron@thegroup.cc



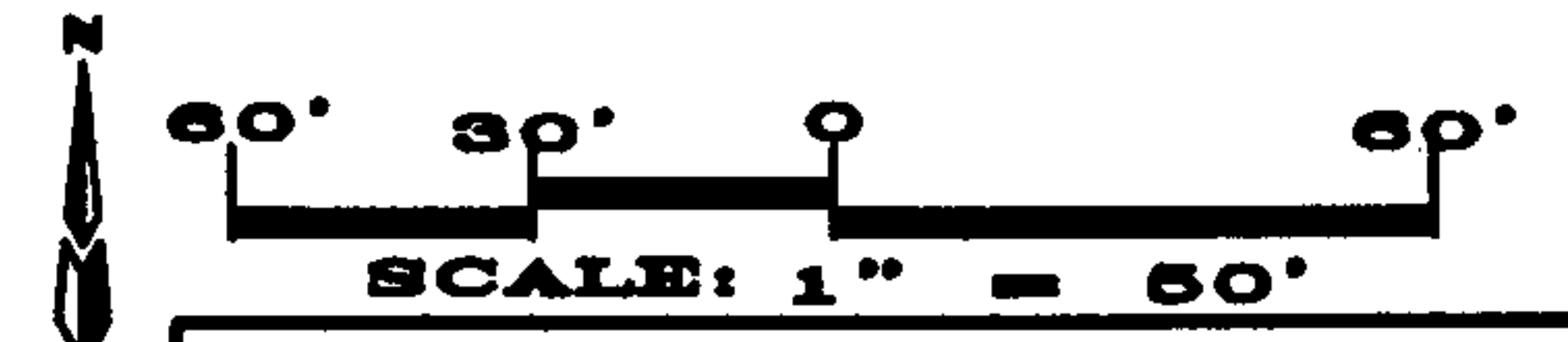
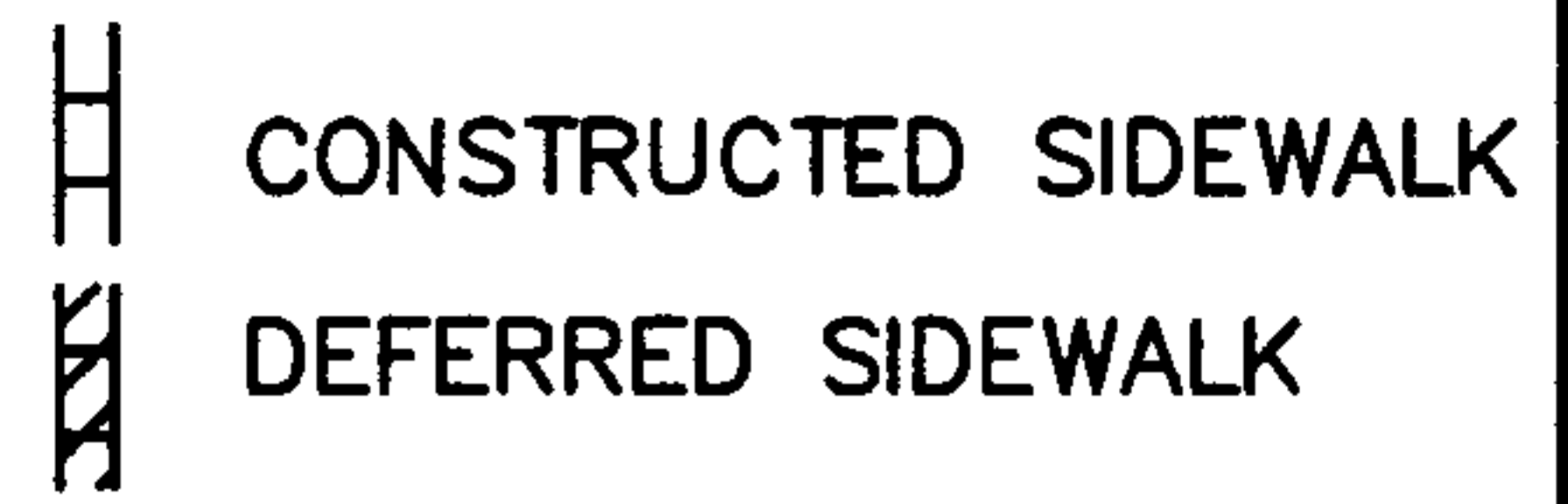
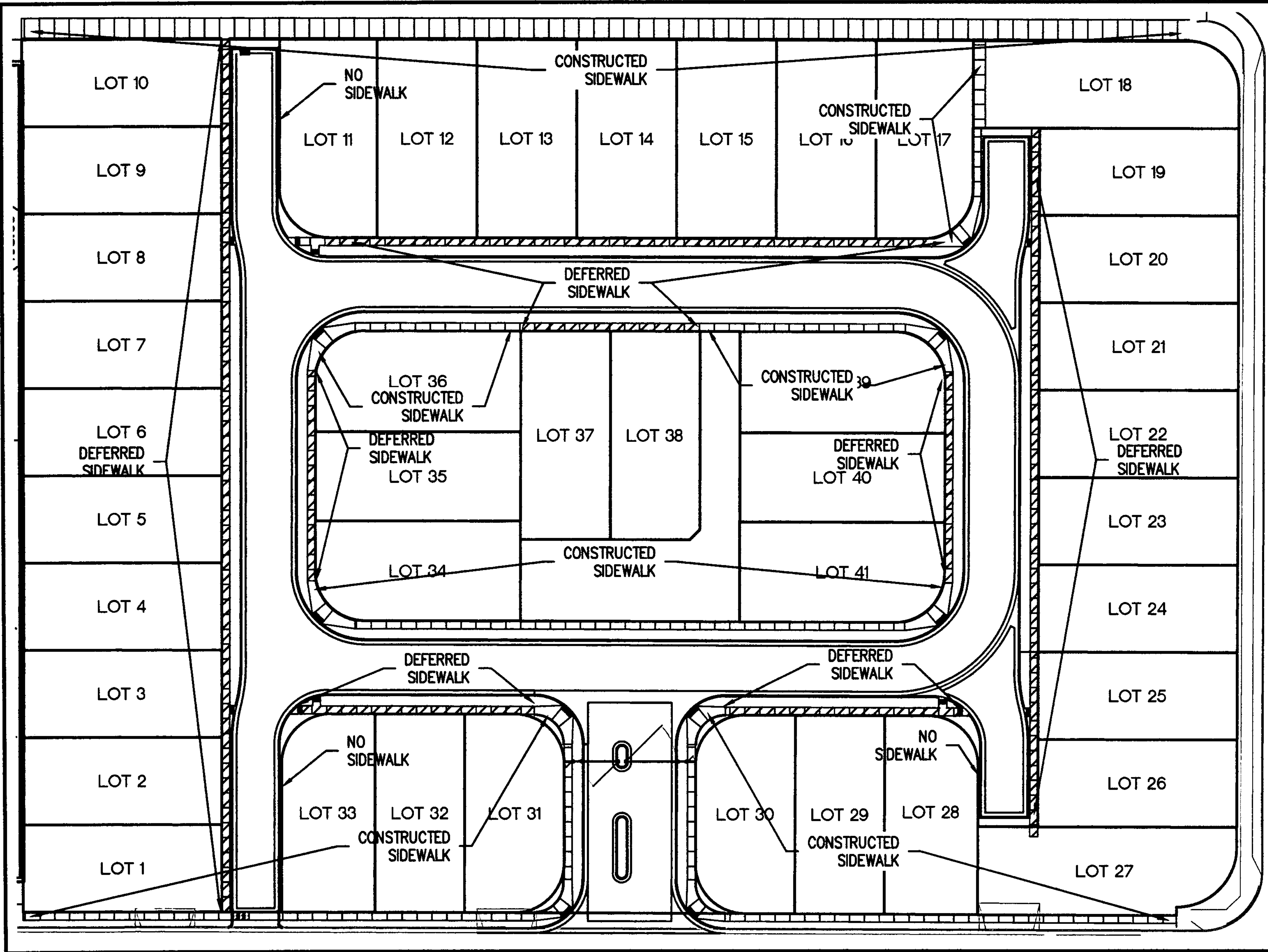




**SIDEWALK EXHIBIT**  
**DRB #1005191**

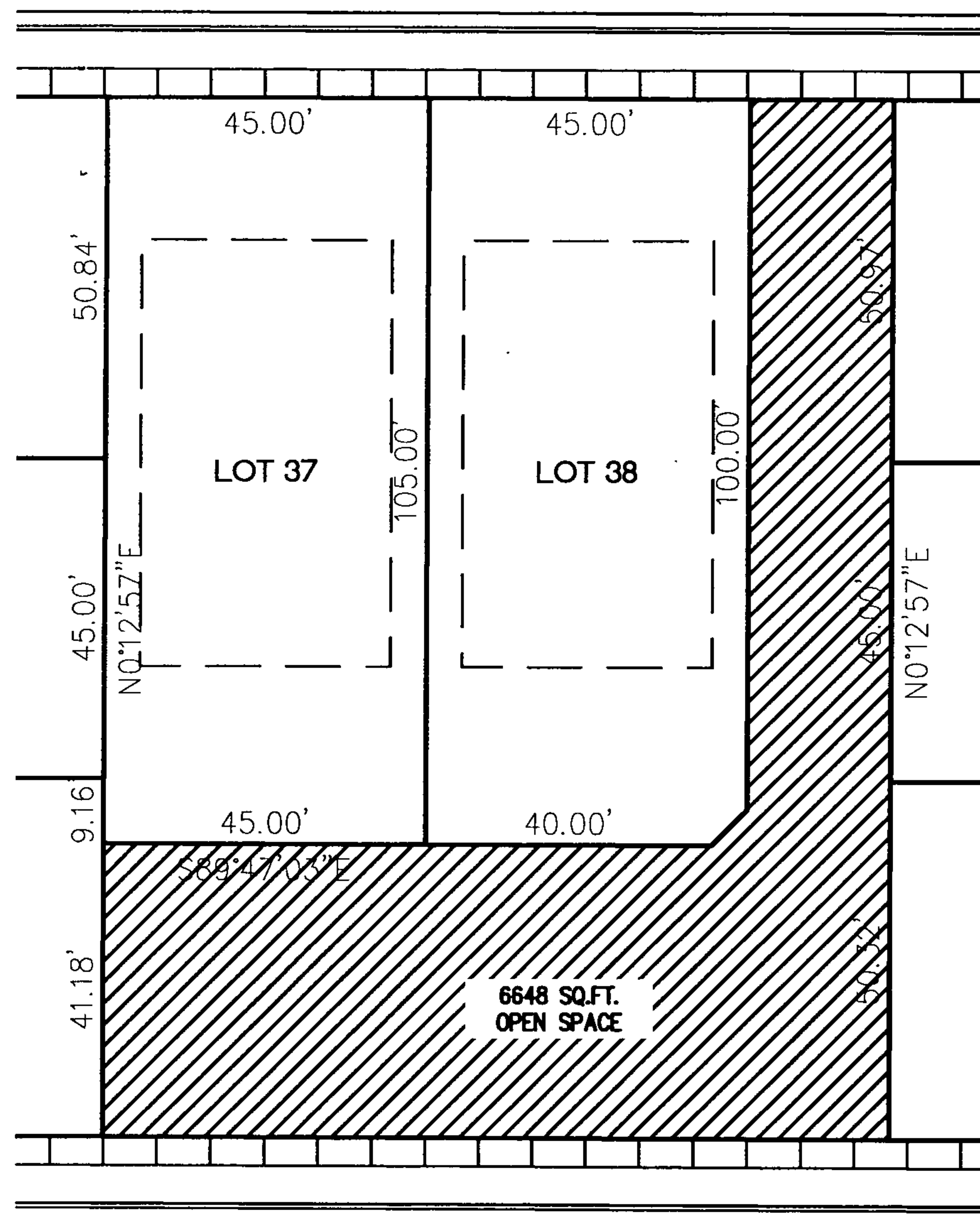
**THE Group**  
 300 Branding Iron Rd. SE  
 Rio Rancho, New Mexico 87124  
 Phone: (505) 514-0995



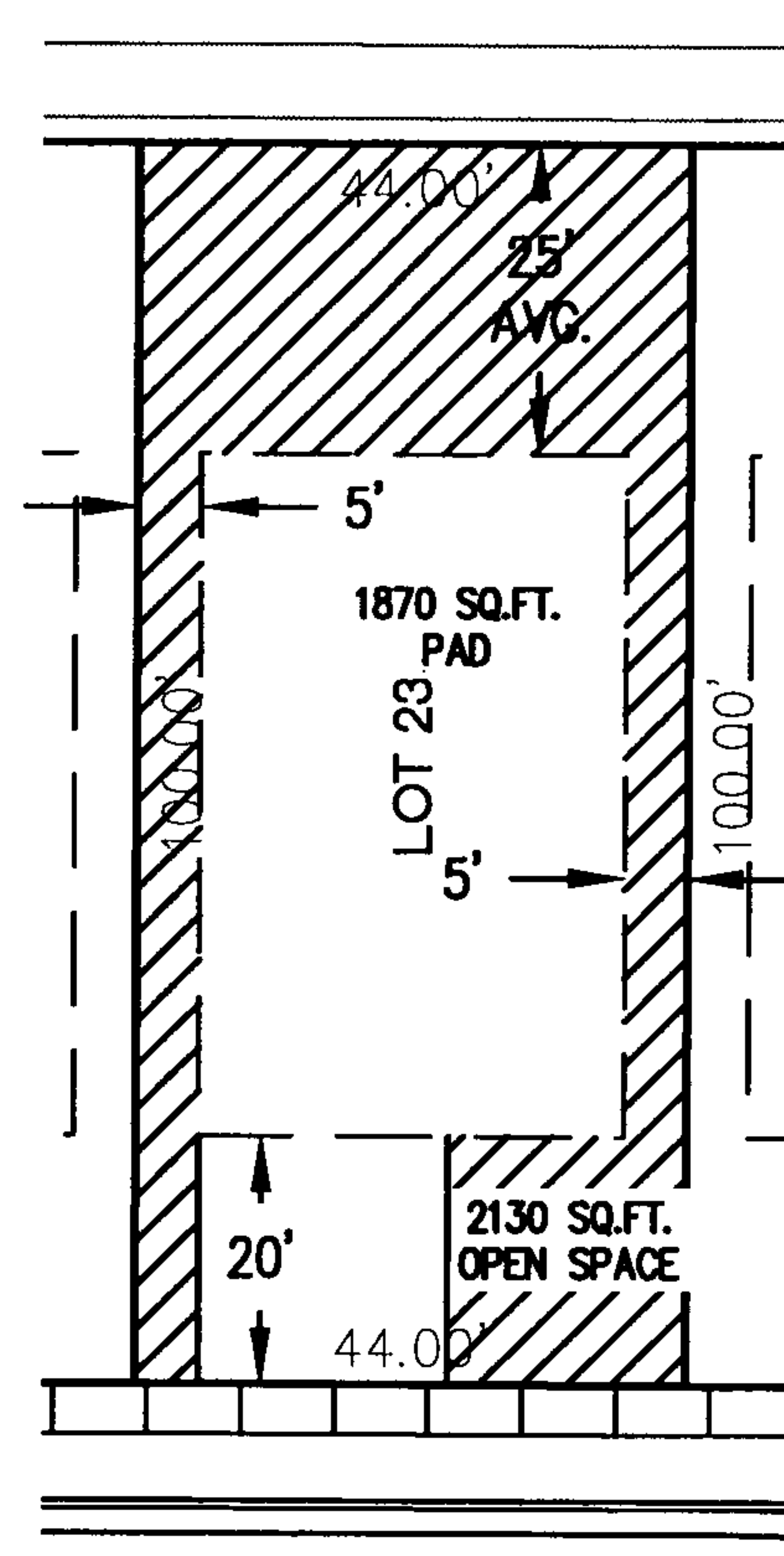


**SIDEWALK EXHIBIT**  
**DRB #1005191**

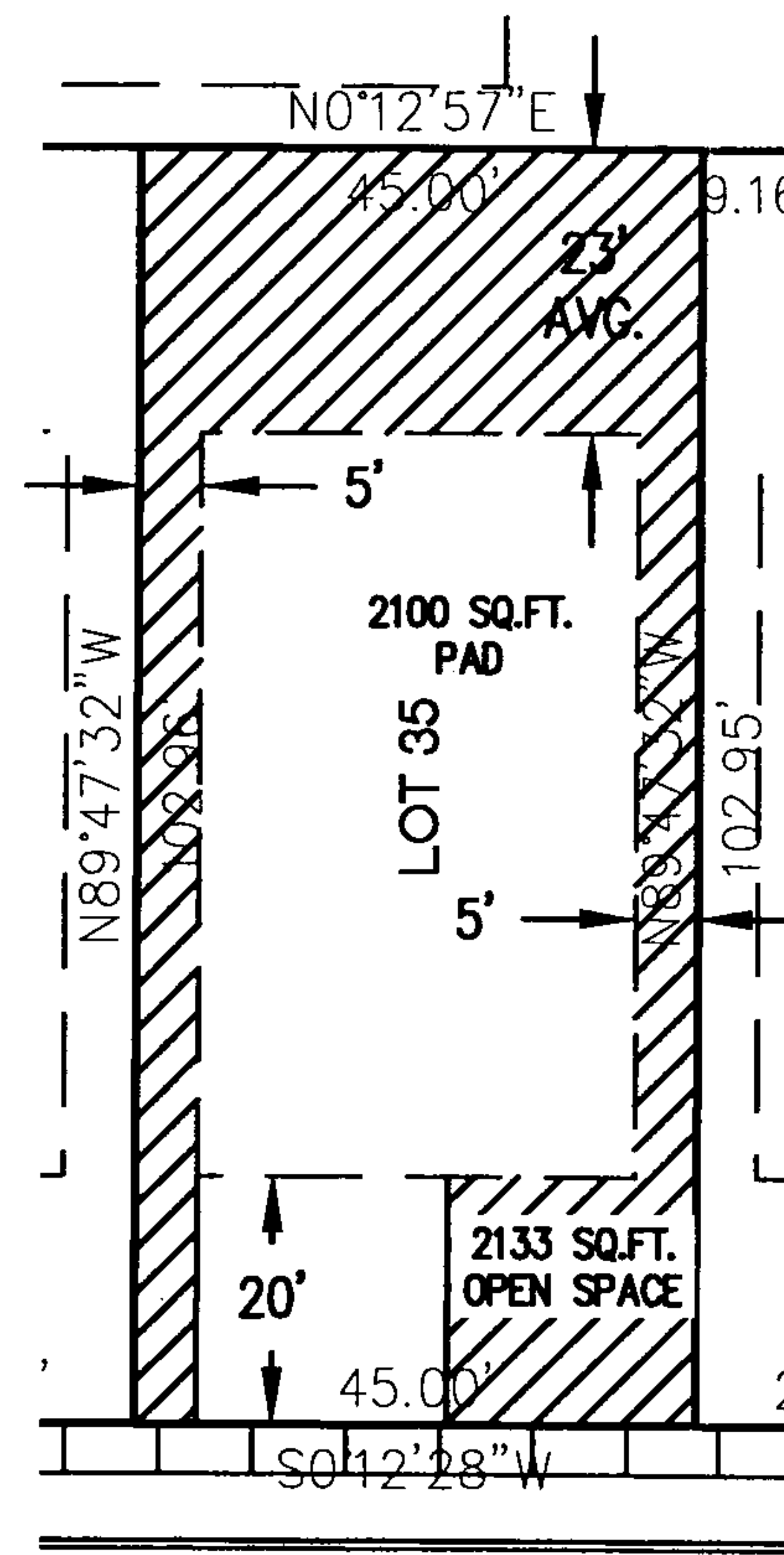
**THE Group**  
300 Branding Iron Rd. SE  
Rio Rancho, New Mexico 87124  
Phone: (505) 514-0995



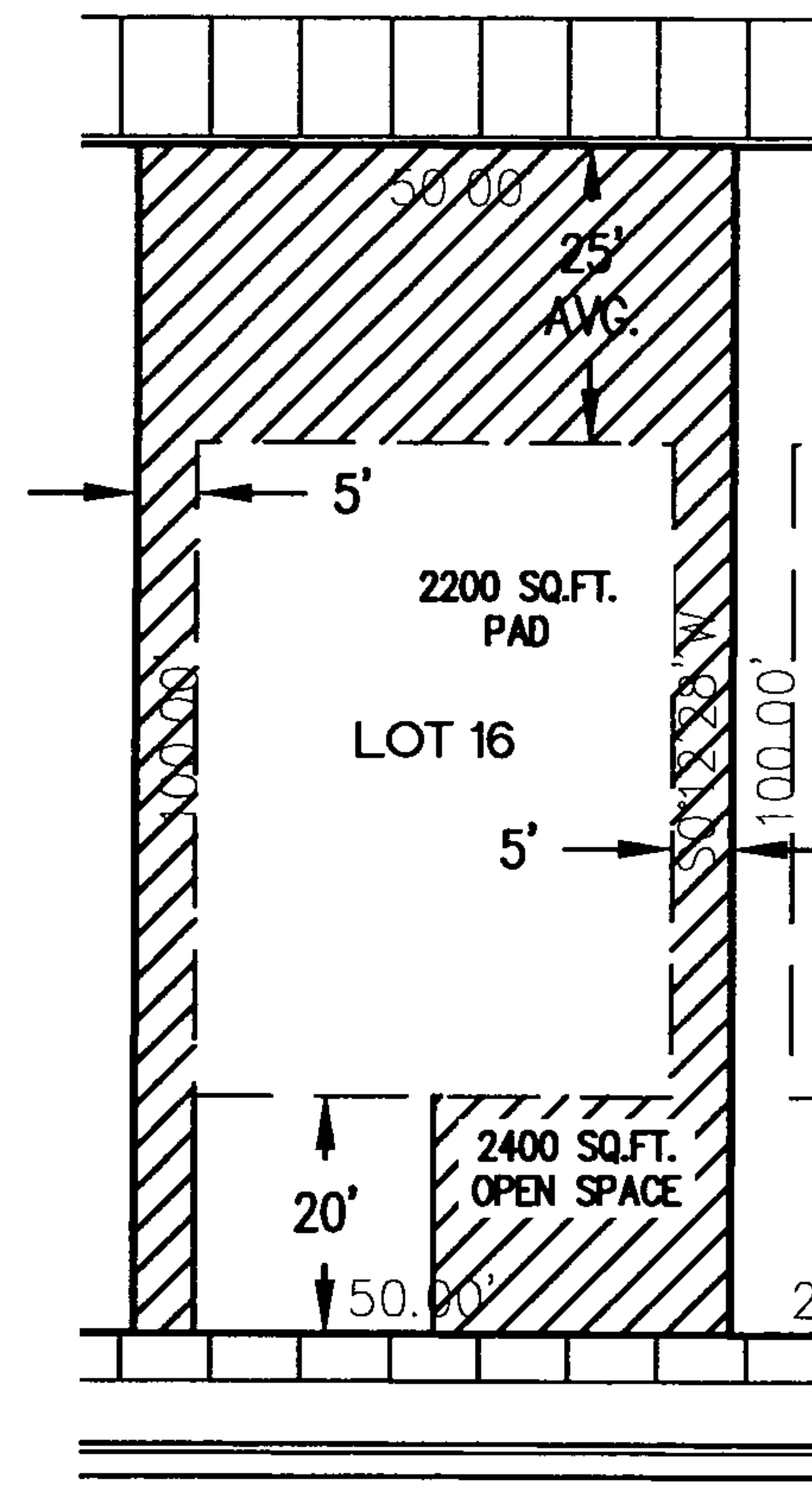
**CENTRAL LANDSCAPE AREA**  
SCALE 1" = 30'



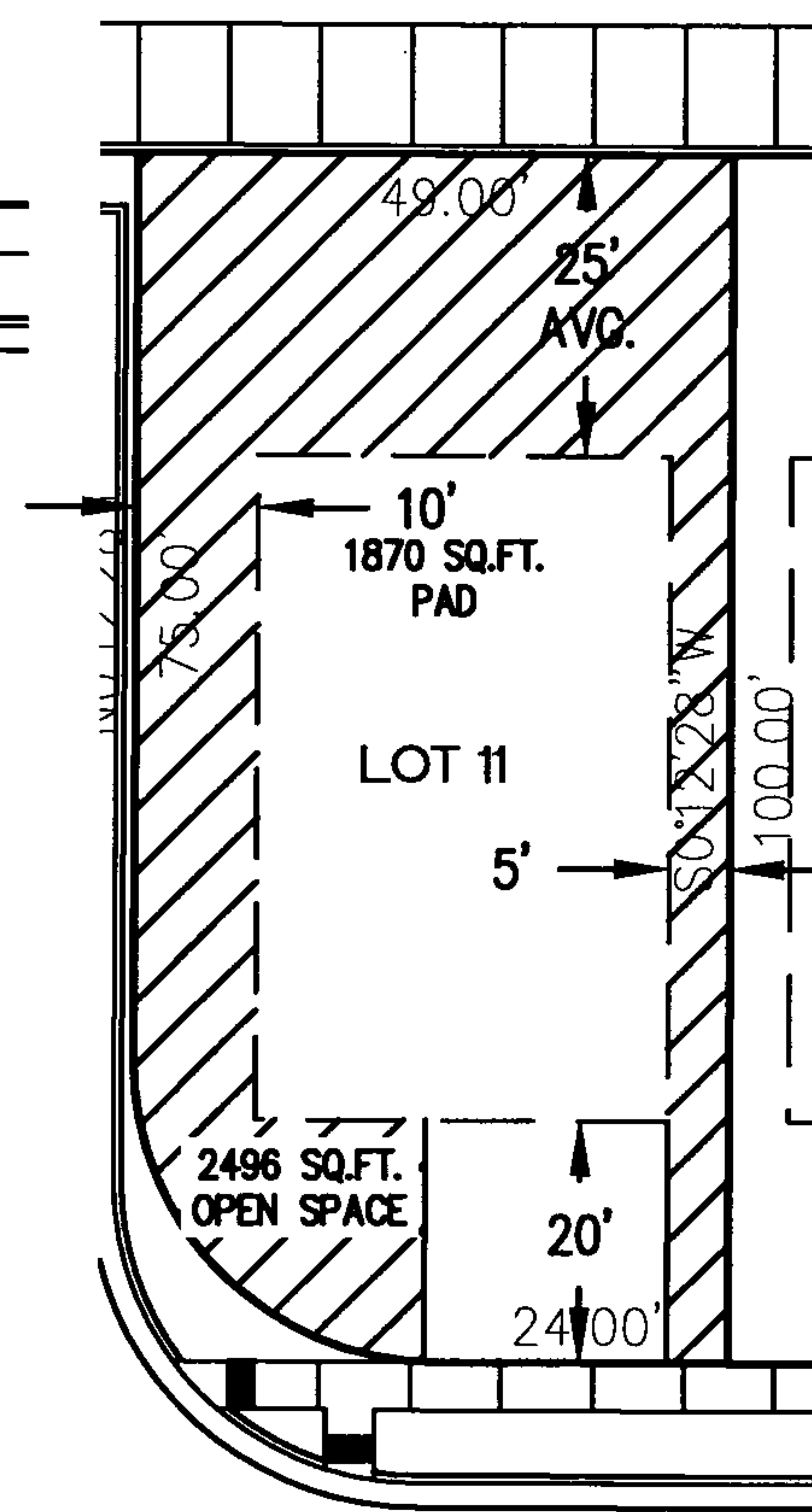
**TYPICAL 44' LOT**  
SCALE 1" = 30'



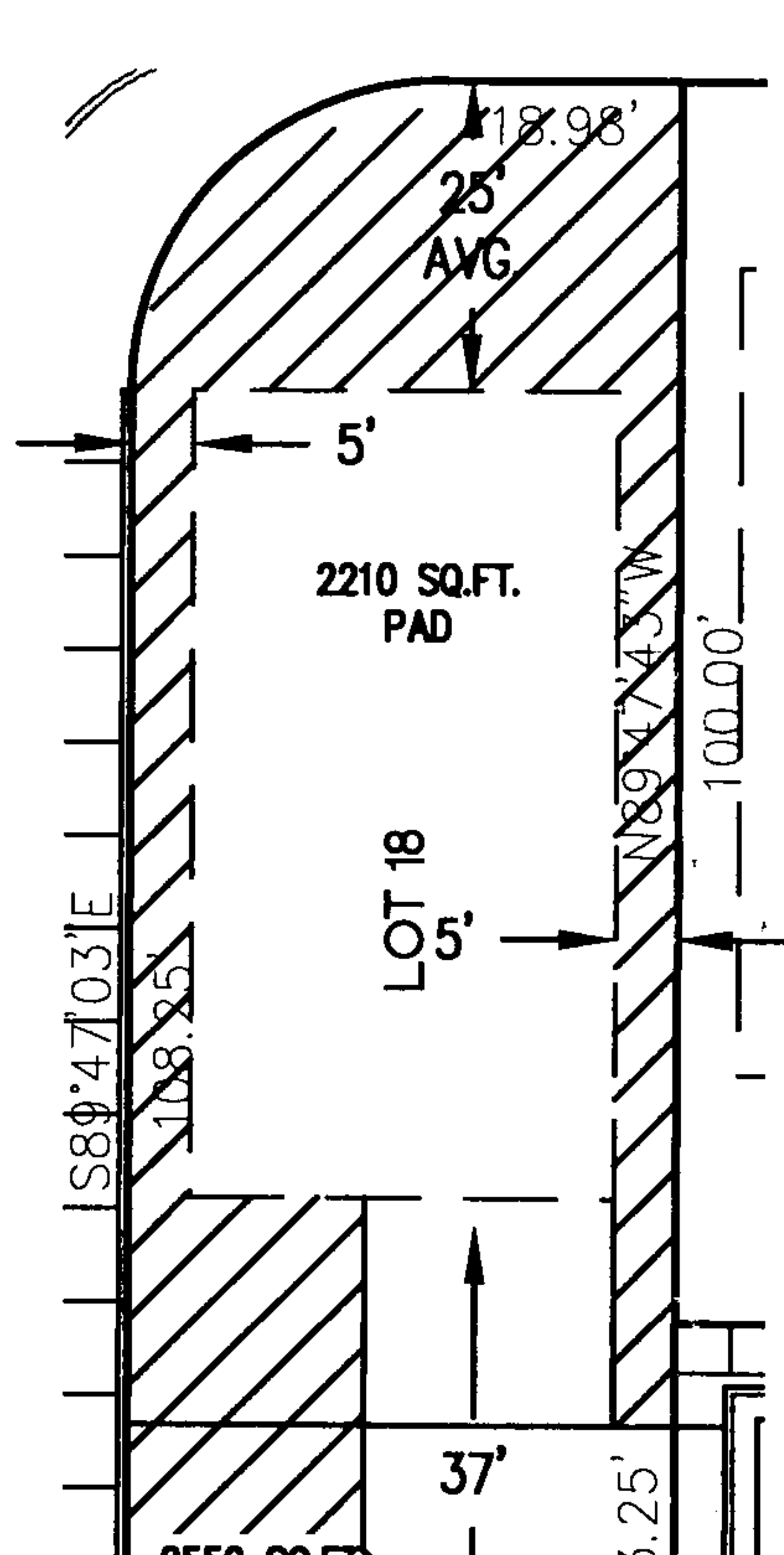
**TYPICAL 45' LOT**  
SCALE 1" = 30'



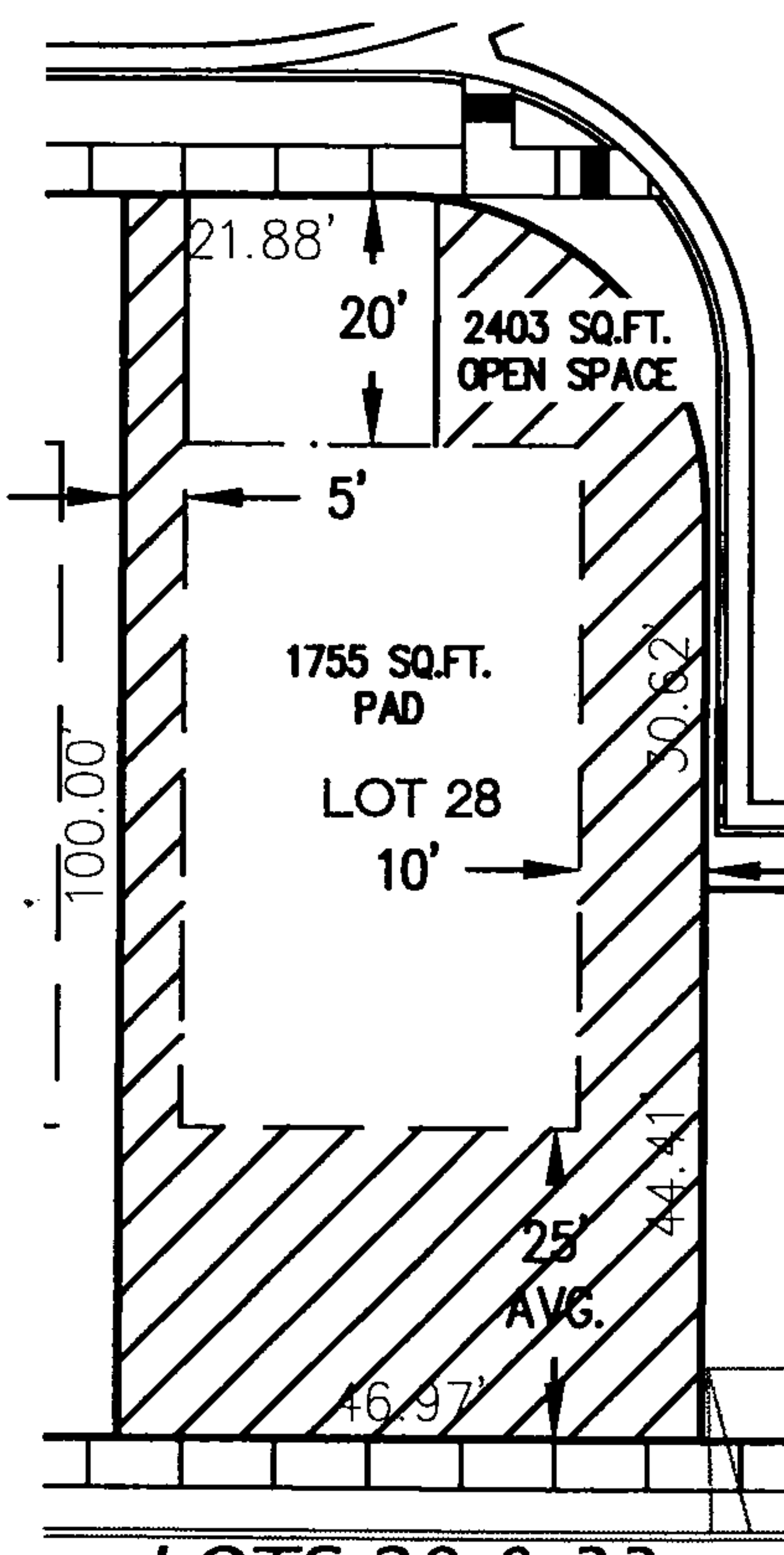
**TYPICAL 50' LOT**  
SCALE 1" = 30'



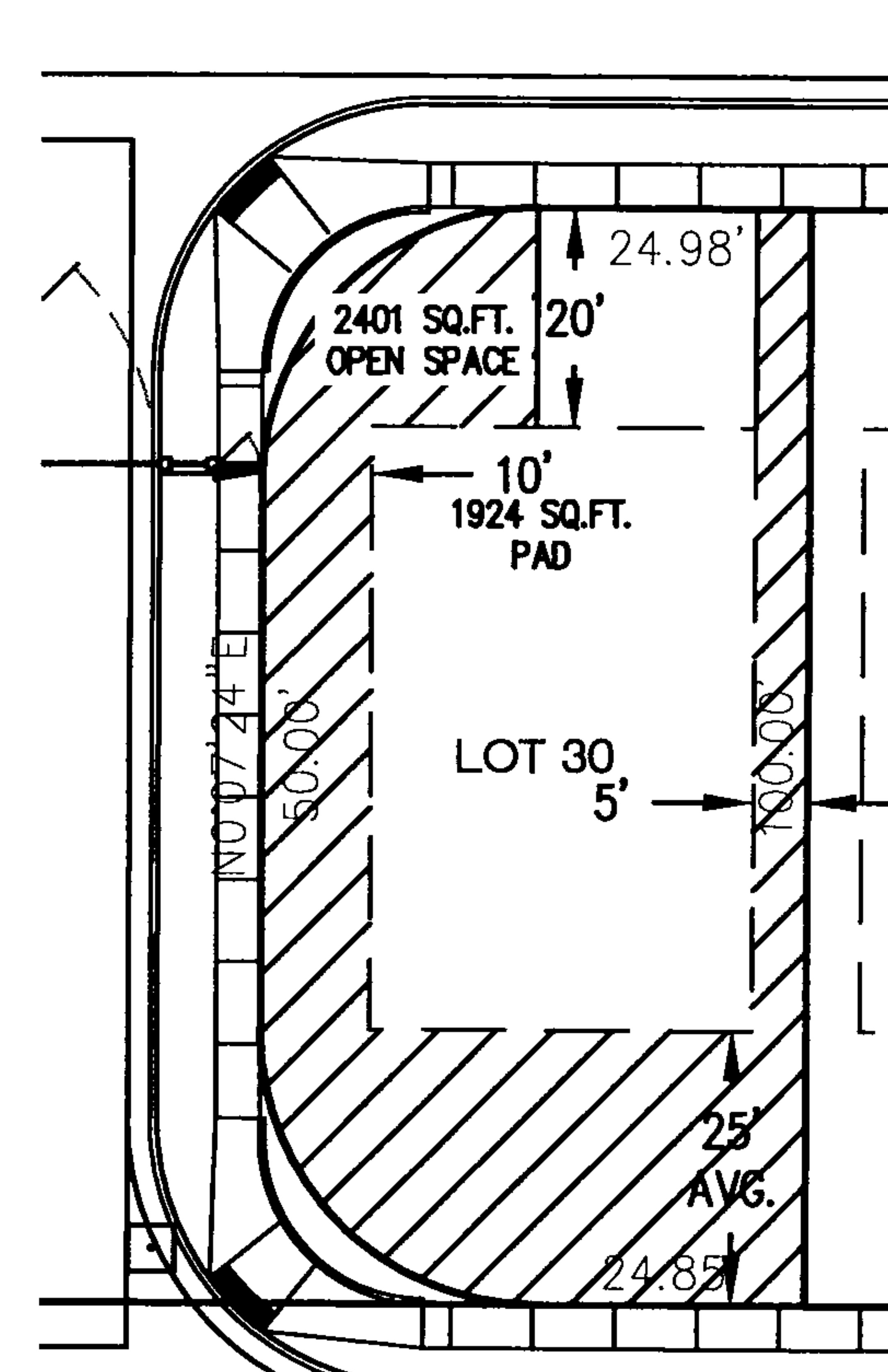
**LOTS 11 & 17**  
SCALE 1" = 30'



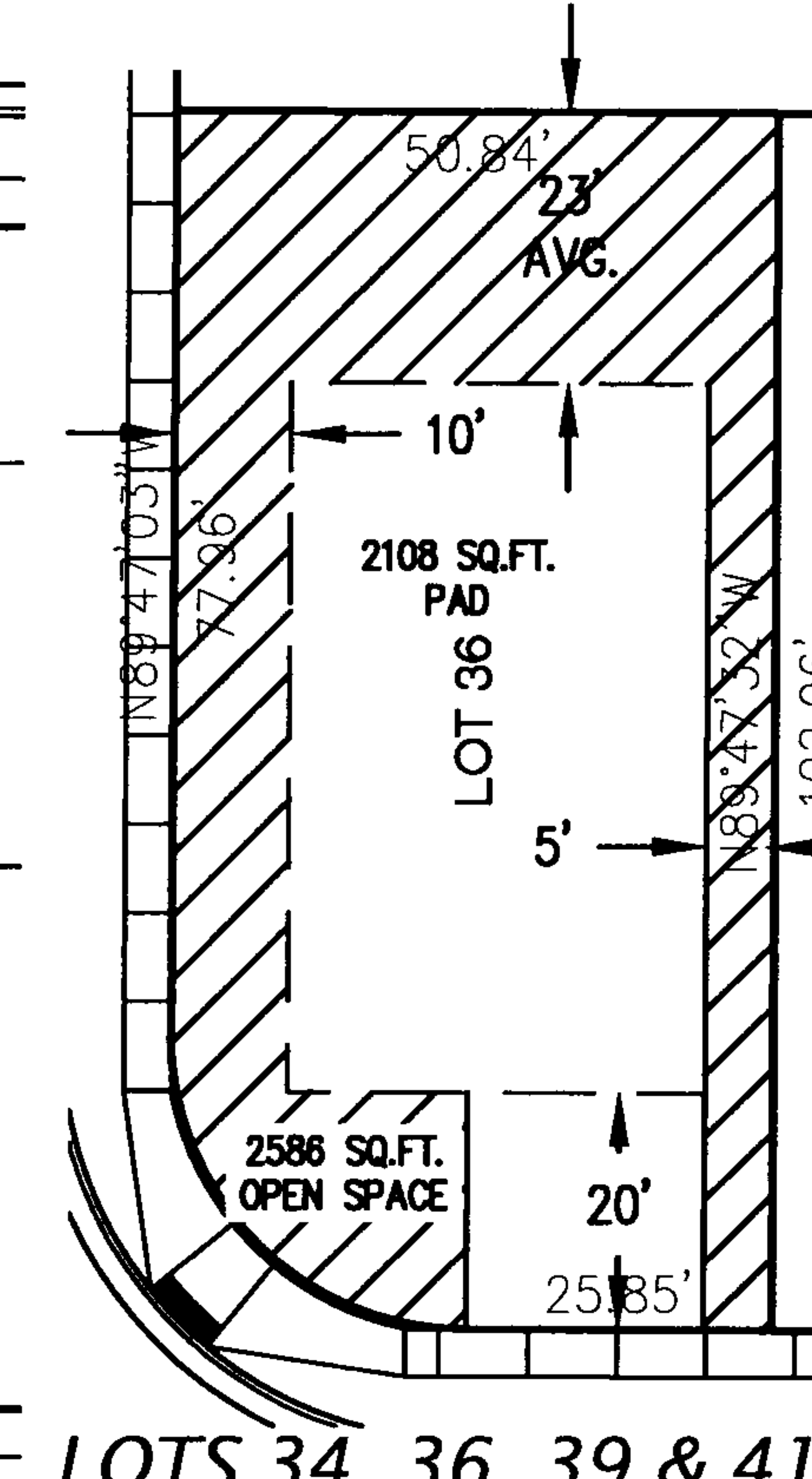
**LOTS 18 & 27**  
SCALE 1" = 30'



**LOTS 28 & 33**  
SCALE 1" = 30'



**LOTS 30 & 31**  
SCALE 1" = 30'



**LOTS 34, 36, 39 & 41**  
SCALE 1" = 30'

**OPEN SPACE DATA**

LOT TYPE	COUNT	REQUIRED	PROVIDED
TYPICAL 44' LOTS:	18	18*2400=43200	18*2130=38340
TYPICAL 45' LOTS:	6	6*2400=14400	6*2133=12798
TYPICAL 50' LOTS:	5	5*2400=12000	5*2400=12000
LOTS 11, 17:	2	2*2400= 4800	2*2496= 4992
LOTS 18, 27:	2	2*2400= 4800	2*2559= 5118
LOTS 28, 33:	2	2*2400= 4800	2*2403= 4806
LOTS 30, 31:	2	2*2400= 4800	2*2401= 4802
LOTS 34, 36, 39, 41:	4	4*2400= 9600	4*2586=10344
TRACT A:		N/A	6648
<b>TOTAL</b>	<b>41</b>	<b>41*2400=98400</b>	<b>99848 SQ.FT.</b>

192  
318  
8  
744  
1262

98,586

Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

Date Submitted: \_\_\_\_\_  
Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No.: \_\_\_\_\_  
DRB Application No.: \_\_\_\_\_

**INFRASTRUCTURE LIST**

(Rev. 9-05)

**EXHIBIT "A"**

TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

**Sevano Place Subdivision**

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

**Lots 13 - 20 Block 29 Tract A Unit B of North Albuquerque Acres**

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		27' FF	<b>Private Paving</b> Res. Pvmt. w/ 4' Sidewalk w/ Mountable C & G	Sevano Circle	Entrance	Entire Circle	/	/	/
		46' FF	Res. Pvmt. w/ 4' Sidewalk Mountable C & G and Median	Entrance	Signal	Sevano Circle	/	/	/
		23' FF	Res. Pvmt. w/ 4' Sidewalk one side Mountable C & G	NE Stub Street	Sevano Circle	Lot 18	/	/	/
		23' FF	Res. Pvmt. w/ 4' Sidewalk one side Mountable C & G	SE Stub Street	Sevano Circle	Lot 27	/	/	/
		23' FF	Res. Pvmt. w/ 4' Sidewalk one side Mountable C & G	NW Stub Street	Sevano Circle	NORTH PL	/	/	/
		23' FF	Res. Pvmt. w/ 4' Sidewalk one side Mountable C & G	SW Stub Street	Sevano Circle	SOUTH PL	/	/	/
		24"	<b>Storm Drain</b> Storm Drain W/ Type Sag A Inlet	West Sevano Circle	West Sevano	Alameda	/	/	/
		12'	<b>Public Paving</b> Art. Pvmt. W/ 10' Sidewalk C & G	Alameda Blvd.	West P/L	~400' east	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		4'	Sidewalk C & G	Signal Ave.	West P/L	Louisiana Blvd.	/	/	/
		Taper	Art. Pvmnt.W/ Asphalt Curb	Alameda Blvd.	Lot 12	West P/L	/	/	/
		12'	Temp. Pvmnt.W/ Asphalt Curb	Sginal Ave.	Lot 22	Inlet	/	/	/
		24"	<b>Storm Drain</b> Storm Drain W/ Type C Inlet	West Sevano Circle	West Sevano	Alameda Blvd.	/	/	/
		24"	Storm Drain W/ Type C Inlet	Alameda Blvd.	West Sevano	185' West of W. Sevano	/	/	/
		24"	Storm Drain & Manhole W/ Type AA Inlet	Sginal Ave.	North Curb	Connection.	/	/	/
		3	2' Sidewalk Culverts W/ Type AA Inlet	Sginal Ave.	West Sevano	Signal Ave.	/	/	/
		6"	<b>Water</b> Water Line W/ Fire Hydrants W/ Appurtances and Services	Sevano Circle	Entrance	Entire Circle	/	/	/
		6"	Water Line W/ Appurtances	Entrance	Signal	Sevano Circle	/	/	/
		8"	Water Line W/ Appurtances	Alameda	West PL	Louisiana	/	/	/
		8"	<b>Sanitary Sewer</b> SAS & Manholes W/ Appurtances	Entrance	Signal	Sevano Circle	/	/	/
		8"	SAS & Manholes W/ Appurtances and Services	Sevano Circle	Entrance	Entire Circle	/	/	/
		8"	SAS & Manholes W/ Appurtances and Services	Alameda	West PL	Louisiana	/	/	/
		4'-5'	<b>Retaining Wall</b> CMU Retaining Wall	East Boundary	North PL Lot 18	South PL Lot 27	/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_  
\_\_\_\_\_
- 2 \_\_\_\_\_  
\_\_\_\_\_
- 3 ENGINEERS CERTIFICATION OF THE GRADING PLAN REQUIRED FOR RELEASE OF FINANCIAL GUARANTEES AND SIA  
ALL RESIDENTIAL LIGHTING PER DPM

**AGENT / OWNER**

Ron E. Hensley P.E.  
NAME (print)

THE Group  
FIRM

\_\_\_\_\_  
SIGNATURE - date

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

\_\_\_\_\_  
DRB CHAIR - date

\_\_\_\_\_  
PARKS & GENERAL RECREATION - date

\_\_\_\_\_  
TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_  
AMAFCA - date

\_\_\_\_\_  
UTILITY DEVELOPMENT - date

\_\_\_\_\_  
- date

\_\_\_\_\_  
CITY ENGINEER - date

\_\_\_\_\_  
- date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
July 30, 2014  
DRB Comments**

**ITEM # 1**

**PROJECT # 1005191**            **RE:** Lots 13 - 20, Block 29, Tract A, Unit B,  
**NORTH ALBUQUERQUE ACRES**

The Subdivision Data table needs to identify Tract A and private street area.

A Keyed Note 6 is needed on the plan drawing for the proposed pedestrian connection to public right of way in the southwest corner of the site; The proposed NE sidewalk easement needs to be at least 8 feet wide.

The corrected Open Space Exhibit needs to be incorporated into the Site Plan (Sheet L3 or Sheet SP6) with a reference on Sheet SP1 near the 'TYPICAL LOT' illustration.

Street trees are needed on Signal Avenue.

ADA ramps should be provided in front of Tract A opposite the entrance sidewalk ramps. ~~Deferral of Sidewalk Construction is not appropriate for proposed Tract A and the sideyards of corner lots.~~

---

Jack Cloud, DRB Chairman  
924-3880/ [jcloud@cabq.gov](mailto:jcloud@cabq.gov)