

Vicinity Map

Disclosure Statement

- THE PURPOSE OF THIS PLAT IS TO:
1. CREATE 35 RESIDENTIAL LOTS AND 1 TRACT.
 2. DEDICATE RIGHT-OF-WAY FOR ALAMEDA BLVD N.E. AND LOUISIANA BLVD, N.E.
 3. GRANT EASEMENTS.
 4. LOT LINES TO BE ELIMINATED SHOWN AS THUS
 5. VACATE EASEMENT AS SHOWN HEREON.

Benchmark

ACS MONUMENT "10_C18" HAVING AN ELEVATION OF 5222.090 (NAVD 88).

Easement Notes

1. EXISTING 7' UTILITY EASEMENT (9/9/60, D562-289)
2. EXISTING 20'X20' EASEMENT AGREEMENT (5/22/2000, A5-9163)
3. EXISTING RIGHT OF WAY EASEMENT (1/6/89, 701A-185)
4. EXISTING US WEST & PNM EASEMENT (10/23/96, 96-28-5758)
5. EXISTING 7' UTILITY EASEMENT (10/1/79, 723-603)
6. 10' PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
7. EXISTING ROADWAY EASEMENT (04/24/30, D-130) TO BE VACATED WITH THE FILING OF THIS PLAT

Preliminary Plat

Sevano Place Subdivision

with
Projected Section 13, Township 11 North, Range 3 East, NMPM
The Elena Gallegos Grant
City of Albuquerque, Bernalillo County, New Mexico
August 2012

Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
●	FOUND MONUMENT AS INDICATED
○	SET BATHEY MARKER "LS 14271" UNLESS INDICATED OTHERWISE
▲	SET CENTERLINE MONUMENT
△	FOUND CENTERLINE MONUMENT UNLESS INDICATED OTHERWISE
1-P1	LOT NUMBER

Legal

A CERTAIN PARCEL OF LAND, BEING COMPRISED OF LOTS 13 THROUGH 20, BLOCK 29, OF NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, TOGETHER WITH PORTIONS OF RIGHT OF WAY OF ALAMEDA BLVD. AND LOUISIANA BLVD, SITUATE WITHIN SECTION 13, T11N, R3E, NMPM, AS PROJECTED INTO THE ELENA GALLEGOS GRANT, COUNTY OF BERNALILLO, CITY OF ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN BOOK D1, PAGE 20, SAID PARCEL IS DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A PK NAIL, WHENCE A TIE TO ACS MONUMENT 9_C18 BEARS S 74°41'55" W, A DISTANCE OF 2082.24 FEET;

THENCE, FROM SAID POINT OF BEGINNING, N 00°12'28" E, A DISTANCE OF 527.99 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A PK NAIL;

THENCE, S 89°47'03" E, A DISTANCE OF 659.91 FEET TO THE NORTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A PK NAIL;

THENCE, S 00°12'17" W, A DISTANCE OF 528.29 FEET TO THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A PK NAIL;

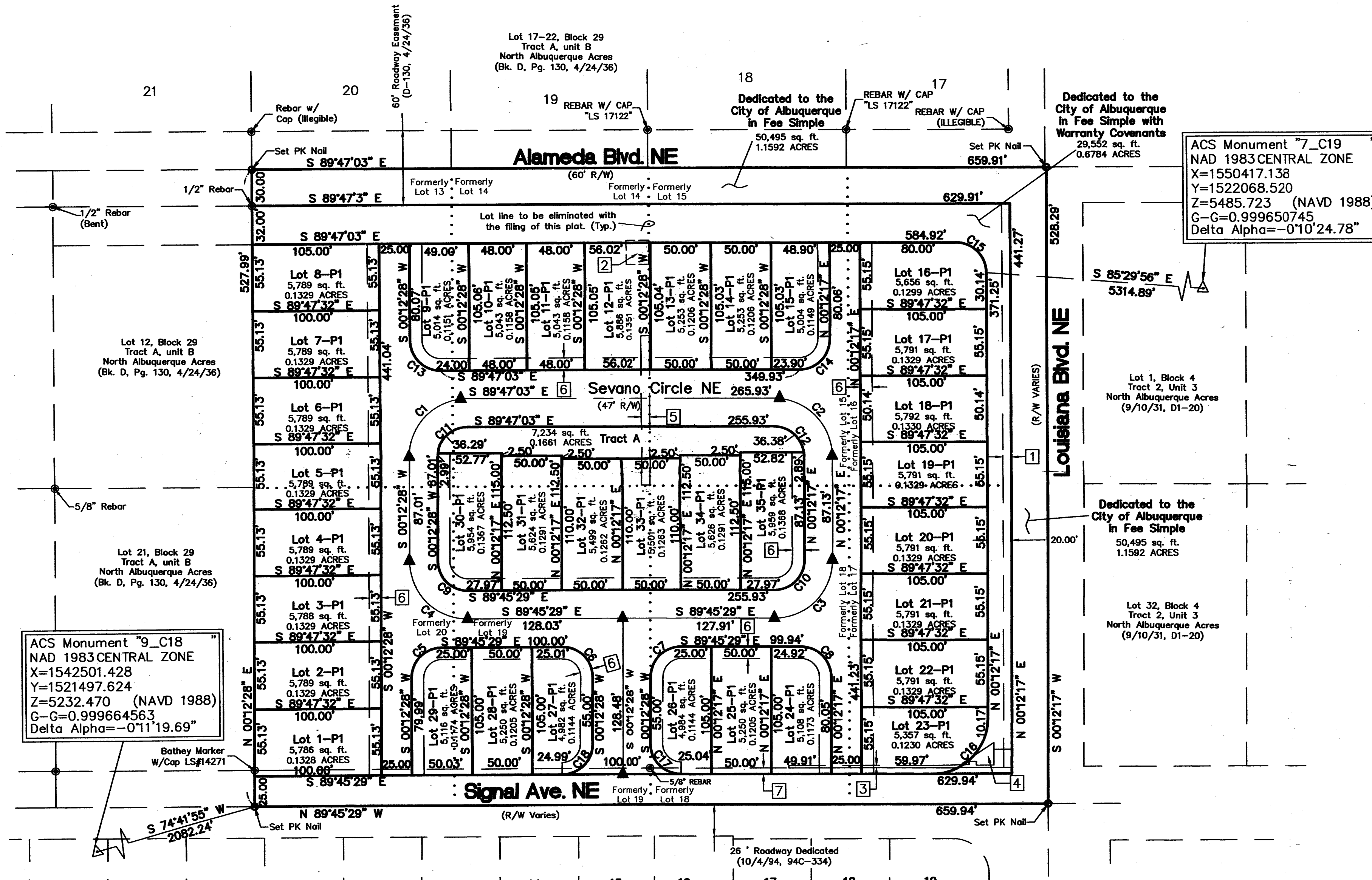
THENCE, N 89°45'29" W, A DISTANCE OF 659.94 FEET TO THE POINT OF BEGINNING, CONTAINING 8.0013 ACRES (348,537 SQ. FT.) MORE OR LESS.

Notes

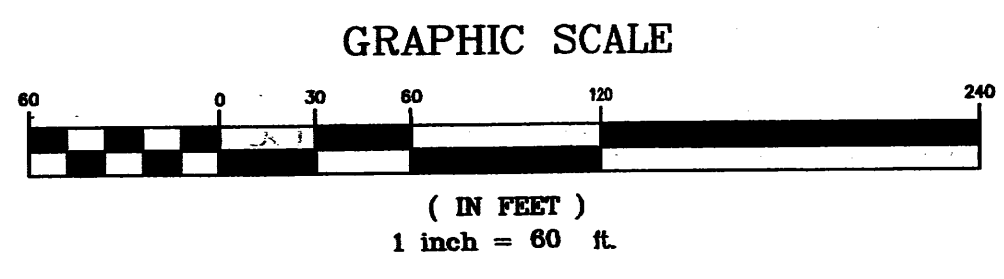
1. FIELD SURVEY PERFORMED IN AUGUST 2006.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. ALL STREET MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN AS THIS ▲ . ALL CENTERLINE MONUMENTS WILL BE SET USING THE STANDARD 4" ALUMINUM MONUMENT STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT- DO NOT DISTURB, PS 14271" AND WILL BE SET FLUSH WITH THE FINAL ASPHALT.
4. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW CENTERLINE MONUMENTATION.
5. TOTAL NUMBER OF EXISTING LOTS: 8
6. TOTAL NUMBER OF LOTS CREATED: 35
7. TOTAL NUMBER OF TRACTS CREATED: 1
8. TOTAL MILEAGE OF FULL WIDTH STREETS CREATED: 0.22 MI.
9. CITY OF ALBUQUERQUE ZONE ATLAS PAGE: C-18
10. NUMBER OF LOT LINES BEING ELIMINATED: 10
11. TOTAL AREA: 8.0013 ACRES
12. PROPERTY CORNERS TO BE SET ARE AN 18" BATHEY MONUMENT WITH STEEL CAP "LS 14271".
13. THE ZONING FOR THE LOT IS CURRENTLY: SU-2 NC OR SU-2 R-D.
14. TRACTS A, B, C, AND D ARE ROADWAY AND UTILITY EASEMENTS GRANTED WITH THE FILING OF THIS PLAT.

ADIL RIZM - Alameda Development
8-3-2012
DATE

GLEN HAIKIN P.S.
8-3-12
DATE



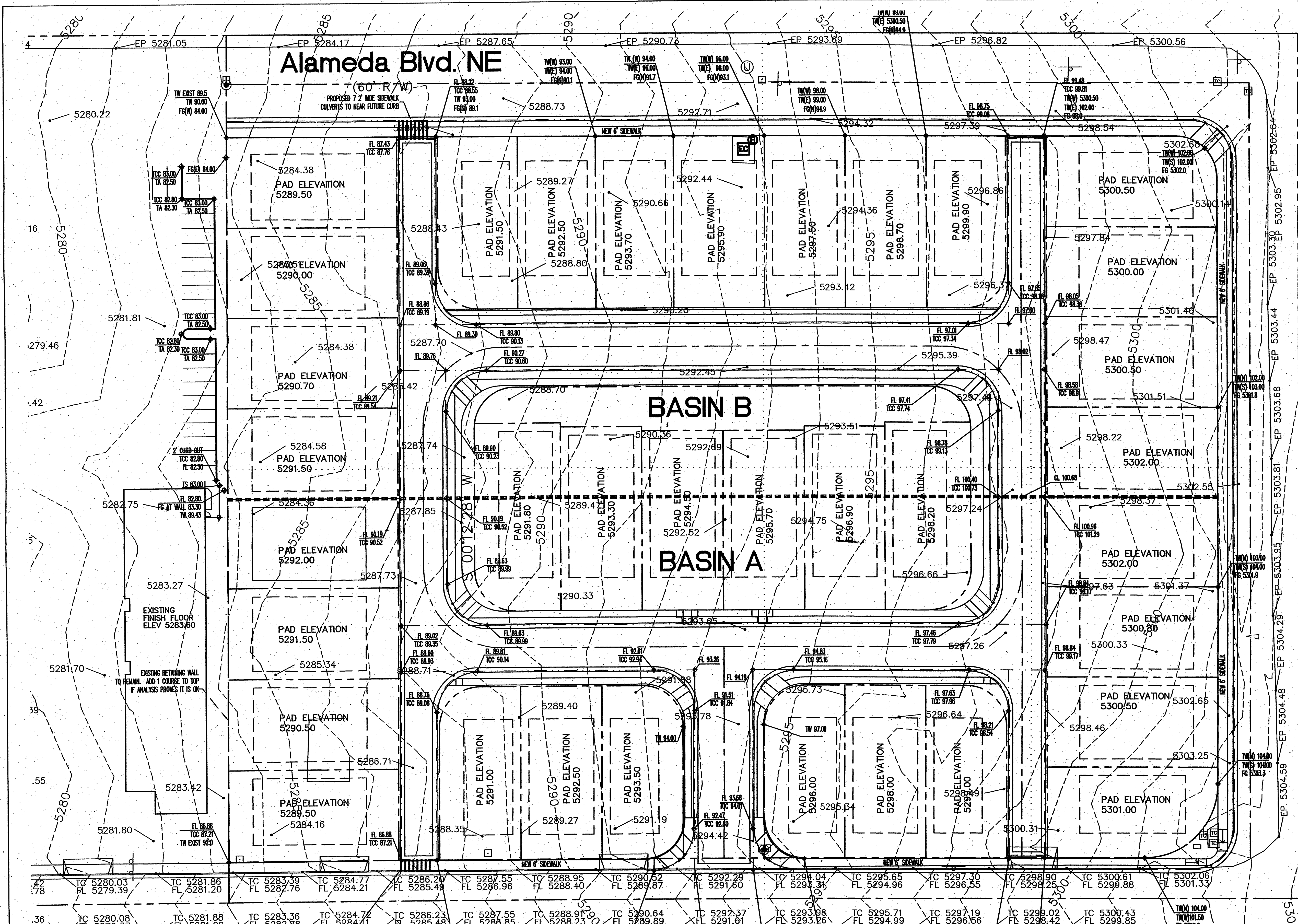
CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	76.19'	48.50'	90°0'29"	68.59'	S 45°12'43" W
C2	76.17'	48.50'	89°59'20"	68.58'	N 44°47'23" W
C3	76.22'	48.50'	90°2'14"	68.61'	N 45°13'24" E
C4	76.15'	48.50'	89°57'58"	68.57'	S 44°46'31" E
C5	39.28'	25.00'	90°2'2"	35.37'	S 45°13'29" W
C6	39.26'	25.00'	89°57'58"	35.34'	N 44°46'31" W
C7	39.28'	25.00'	90°2'2"	35.37'	S 45°13'29" W
C8	39.25'	25.00'	89°57'46"	35.34'	N 44°46'36" W
C9	39.26'	25.00'	89°57'58"	35.34'	S 44°46'31" E
C10	39.29'	25.00'	90°2'14"	35.37'	N 45°13'24" E
C11	39.27'	25.00'	90°0'29"	35.36'	S 45°12'43" W
C12	39.27'	25.00'	89°59'20"	35.35'	N 44°47'23" W
C13	39.27'	25.00'	89°59'31"	35.35'	S 44°47'17" E
C14	39.27'	25.00'	90°0'40"	35.36'	N 45°12'37" E
C15	39.27'	25.00'	89°59'20"	35.35'	N 44°47'23" W
C16	70.72'	45.00'	90°2'14"	63.66'	N 45°13'24" E
C17	39.26'	25.00'	89°57'58"	35.34'	S 44°46'31" E
C18	39.28'	25.00'	90°2'2"	35.37'	N 45°13'29" E



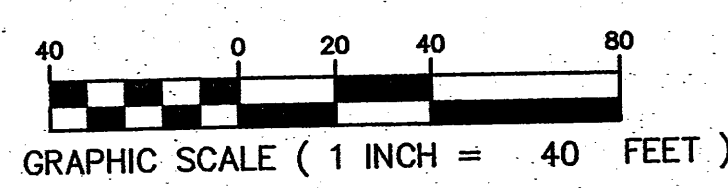
P - 79°
Y 81

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 898-3050 Fax (505) 891-0244



Signal Ave. NE
(R/W Varies)



SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL		AS BUILT INFORMATION	
NO.	1	DATE	05/02	CONTRACTOR	AS MONUMENT "10-613" X = 373,476.96, Y = 1,600,463.77		
BY	WAYCORN SURVEYING	DATE	05/02	INSPECTOR'S NAME	G-6' 0.9896732, NEW MEXICO STATE PLANE GRID, CENTRAL ZONE		
NO.	1	DATE	05/02	INSPECTOR'S NAME	(NAD 1927) ELEVATION 4968.216 (MVD 28)		
BY	303 LOUISIANA BLVD. NE	DATE		INSPECTOR'S NAME	LOCATED IN THE NORTHEAST QUADRANT OF CANTALARIA AND RIO GRANDE		
NO.	1	DATE		INSPECTOR'S NAME	ALBUQUERQUE, NM 87114		
BY	ALBUQUERQUE, NM 87114	DATE		INSPECTOR'S NAME	CORRECTED BY		
NO.	1	DATE		INSPECTOR'S NAME	RECORDED BY		
BY	PHONE: (505) 255-2052	DATE		INSPECTOR'S NAME	NO.		
NO.	1	DATE		INSPECTOR'S NAME	DATE		
BY	FAX: (505) 255-2887	DATE		INSPECTOR'S NAME	DATE		
NO.	1	DATE		INSPECTOR'S NAME	DATE		
BY		DATE		INSPECTOR'S NAME	DATE		
NO.	1	DATE		INSPECTOR'S NAME	DATE		
BY		DATE		INSPECTOR'S NAME	DATE		
NO.	1	DATE		INSPECTOR'S NAME	DATE		
BY		DATE		INSPECTOR'S NAME	DATE		

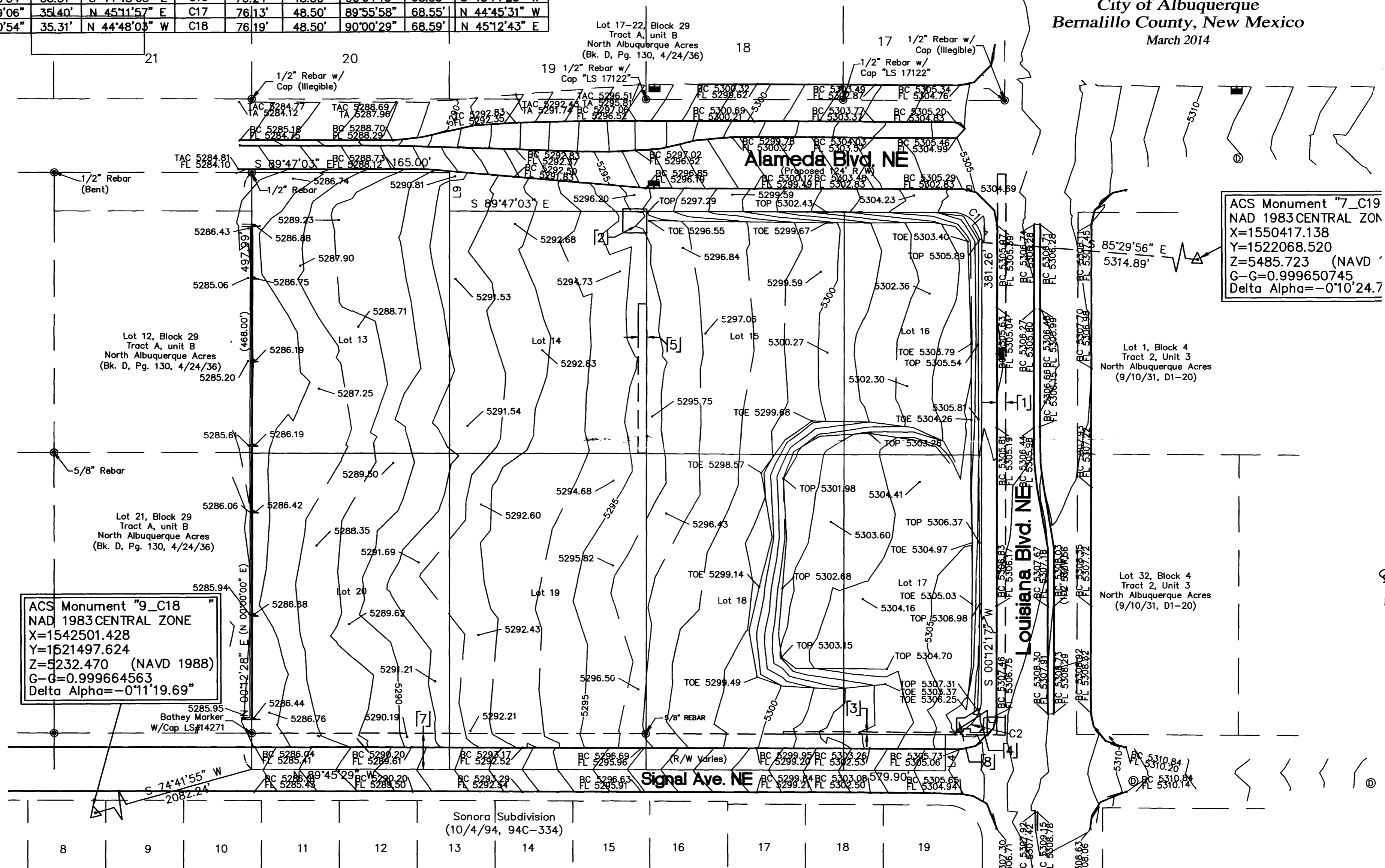


CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
TITLE: SEVAND POINT CONCEPTUAL GRADING AND DRAINAGE PLAN			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	DATE	MO./DAY/YR.
PROJECT NO.	MAP NO. C-18	SHEET	2 OF 2

LARRY READ & ASSOCIATES, Inc.
Civil Engineers
2430 Midtown Place NE, Suite C
Albuquerque, New Mexico 87107
(505) 237-8421

**Plat of
Sevano Place Subdivision**
comprised of
Lots 13 Thru 20, Block 29
North Albuquerque Acres Unit A, Tract B
City of Albuquerque
Bernalillo County, New Mexico
March 2014

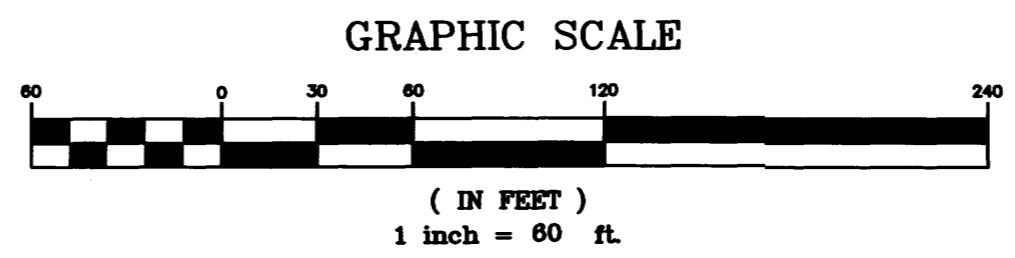
CURVE TABLE											
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING	CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	39.27'	25.00'	89°59'20"	35.35'	S 44°47'23" E	C10	39.30'	25.00'	90°04'02"	35.38'	S 45°14'29" W
C2	47.14'	30.00'	90°02'14"	42.44'	S 45°13'24" W	C11	39.24'	25.00'	89°55'58"	35.33'	N 44°45'31" W
C3	39.27'	25.00'	89°59'31"	35.35'	S 44°47'17" E	C12	39.27'	25.00'	90°00'29"	35.36'	S 45°12'43" W
C4	39.27'	25.00'	90°00'40"	35.36'	N 45°12'37" E	C13	39.27'	25.00'	89°59'20"	35.35'	S 44°47'23" E
C5	39.24'	25.00'	89°55'47"	35.33'	N 44°45'37" W	C14	39.30'	25.00'	90°04'13"	35.38'	N 45°14'23" E
C6	39.34'	25.00'	90°09'06"	35.40'	S 45°11'57" W	C15	76.17'	48.50'	89°59'20"	68.58'	S 44°47'23" E
C7	39.20'	25.00'	89°50'54"	35.31'	S 44°48'03" E	C16	76.24'	48.50'	90°04'13"	68.63'	S 45°14'23" W
C8	39.34'	25.00'	90°09'06"	35.40'	N 45°11'57" E	C17	76.13'	48.50'	89°55'58"	68.55'	N 44°45'31" W
C9	39.20'	25.00'	89°50'54"	35.31'	N 44°48'03" W	C18	76.19'	48.50'	90°00'29"	68.59'	N 45°12'43" E



ACS Monument "9_C18"
NAD 1983 CENTRAL ZONE
X=1542501.428
Y=1521497.624
Z=5232.470 (NAVD 1988)
G-G=0.999664563
Delta Alpha=-0°11'19.69"

ACS Monument "7_C19"
NAD 1983 CENTRAL ZONE
X=1550417.138
Y=1522068.520
Z=5485.723 (NAVD)
G-G=0.999650745
Delta Alpha=-0°10'24.7

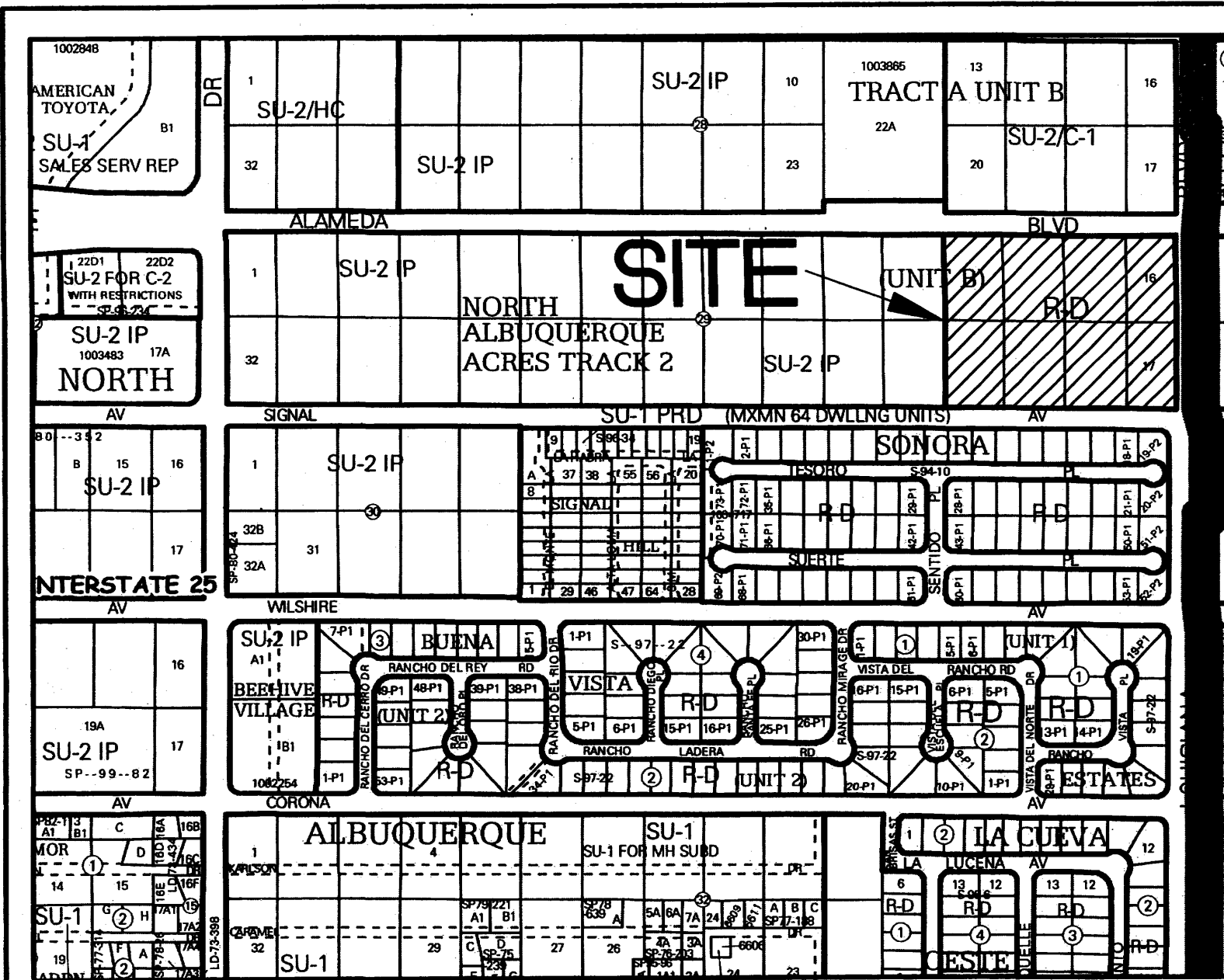
LINE TABLE		
LINE	LENGTH	BEARING
L1	10.27'	S 00°12'18" W
L2	4.26'	S 00°14'31" W
L3	25.74'	S 00°14'31" W
L4	30.00'	S 00°14'31" W
L5	26.08'	N 00°12'28" E
L6	20.00'	S 89°47'03" E
L7	14.14'	N 44°47'03" W
L8	14.14'	S 45°12'57" W
L9	32.00'	S 00°12'28" W (S 00°00'00" E)



CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244





Zone Atlas C-18-Z n.t.s.

Easement Notes

- EXISTING 7' UTILITY EASEMENT (9/9/60, D562-289)
- EXISTING 20'X20' EASEMENT AGREEMENT (5/22/2000, A5-9163)
- EXISTING RIGHT OF WAY EASEMENT (1/6/89, 701A-185)
- EXISTING US WEST & PNM EASEMENT (10/23/96, 96-28-5758)
- EXISTING 7' PNM AND MST&T EASEMENT (10/1/79, 723-603) RELEASED BY DOCUMENT NO. _____
- 10' PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- EXISTING ROADWAY EASEMENT (04/24/30, D-130) TO BE VACATED WITH THE FILING OF THIS PLAT
- EXISTING CENTURYLINK EASEMENT (01/08/2014, DOC. NO. 2014001747)
- TRACT A - LANDSCAPE EASEMENT GRANTED WITH THE FILING OF THIS PLAT, TO BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION TO BE ESTABLISHED
- PRIVATE ROADWAY & DRAINAGE EASEMENT GRANTED WITH THE FILING OF THIS PLAT BENEFITING LOTS 1-41, AND TO BE MAINTAINED BY A HOMEOWNERS ASSOCIATION TO BE ESTABLISHED-BLANKET ACROSS ALL OF TRACT B
- 12' PEDESTRIAN ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- PUBLIC WATER & SANITARY SEWER EASEMENT GRANTED WITH THE FILING OF THIS PLAT-BLANKET ACROSS ALL OF TRACT B

Disclosure Statement

- THE PURPOSE OF THIS PLAT IS TO:
- CREATE 41 RESIDENTIAL LOTS AND 1 TRACT.
 - DEDICATE RIGHT-OF-WAY FOR ALAMEDA BLVD N.E. AND SIGNAL AVENUE, N.E.
 - GRANT EASEMENTS AS SHOWN HEREON.
 - LOT LINES TO BE ELIMINATED SHOWN AS THUS
 - VACATE EASEMENTS AS SHOWN HEREON.
 - VACATE ROADWAY EASEMENTS AS SHOWN HEREON.

Benchmark

ACS MONUMENT "10_C18" HAVING AN ELEVATION OF 5222.090 (NAVD 88).

Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD (4/24/36, D-130)
●	FOUND MONUMENT AS INDICATED
○	SET BATHEY MARKER "LS 14271" UNLESS INDICATED OTHERWISE
▲	SET CENTERLINE MONUMENT
1-P1	LOT NUMBER

Preliminary Plat

Sevano Place Subdivision

Comprised of
 Portions of Lots 14 Thru 17, Block 29, North Albuquerque Acres, Tract A, Unit B
 within
 Projected Section 13, Township 11 North, Range 3 East, NMPM
 The Elena Gallegos Grant
 City of Albuquerque, Bernalillo County, New Mexico
 July 2014

Legal

A CERTAIN PARCEL OF LAND, BEING COMPRISED OF LOTS 13, 18 THRU 20 AND REMAINING PORTIONS OF LOTS 14 THROUGH 17, BLOCK 29, OF NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, SITUATE WITHIN SECTION 13, T11N, R3E, NMPM, AS PROJECTED INTO THE ELENA GALLEGOS GRANT, COUNTY OF BERNALILLO, CITY OF ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN BOOK D, PAGE 130, SAID PARCEL IS DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A PK NAIL, WHENCE A TIE TO ACS MONUMENT 9_C18 BEARS S 74°41'55" W, A DISTANCE OF 2082.24 FEET;

THENCE, FROM SAID POINT OF BEGINNING, N 00°12'28" E, A DISTANCE OF 497.99 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A 1/2" REBAR;

THENCE, S 89°47'03" E, A DISTANCE OF 165.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 00°12'28" W, A DISTANCE OF 32.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 89°47'03" E, A DISTANCE OF 419.92 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, 39.27 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00, A DELTA OF 89°59'20", AND A CHORD BEARING OF S 44°47'23" E, A DISTANCE OF 35.35 FEET, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 00°12'17" W, A DISTANCE OF 381.28 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, 47.14 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 30.00 FEET, A DELTA OF 90°02'14", AND A CHORD BEARING OF S 45°13'24" W, A DISTANCE OF 42.44 FEET, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271", TO AN ANGLE POINT;

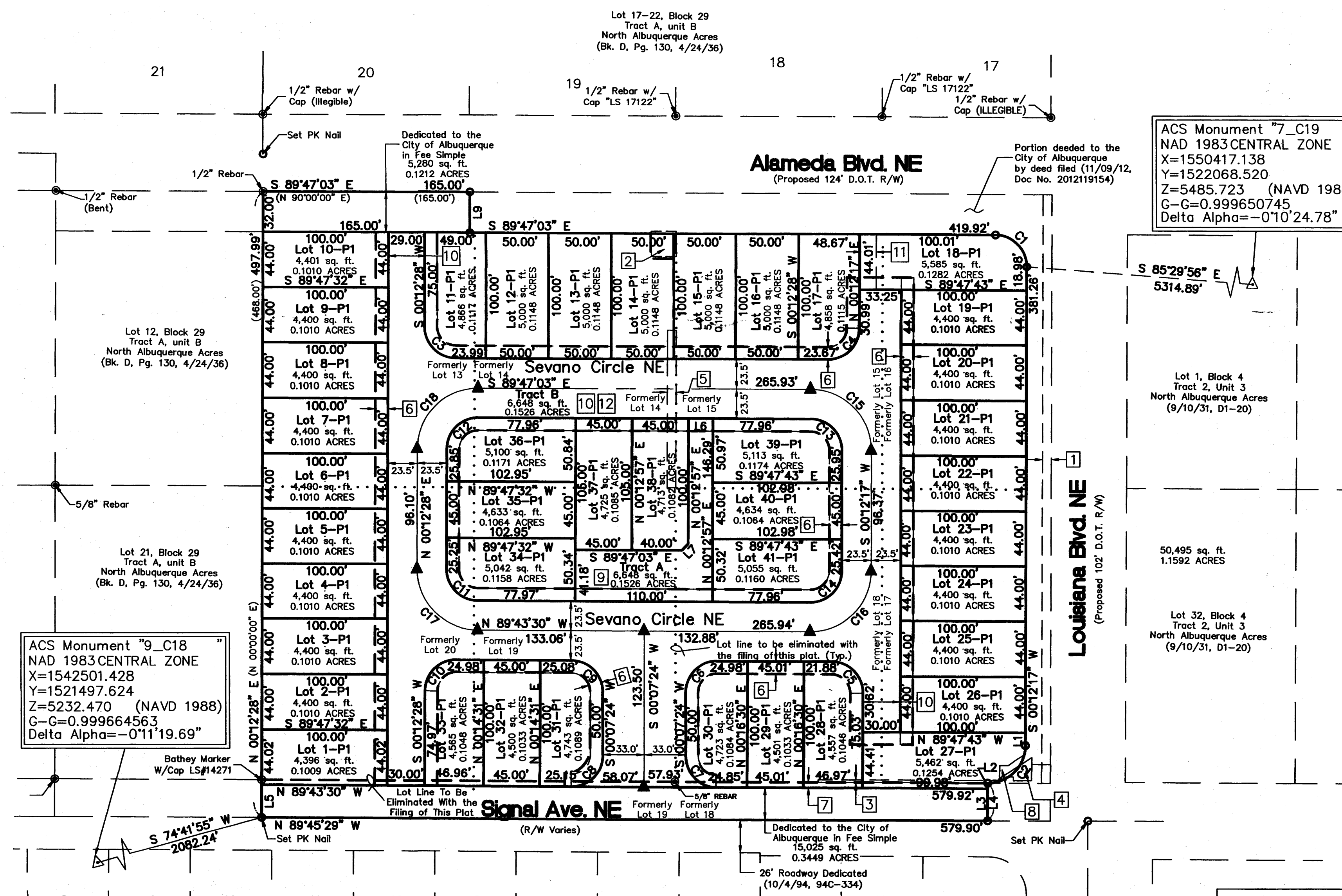
THENCE, S 00°14'31" W, A DISTANCE OF 30.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, N 89°45'29" W, A DISTANCE OF 579.92 FEET TO THE POINT OF BEGINNING, CONTAINING 6.6198 ACRES (288,359 SQ. FT.) MORE OR LESS.

Notes

- FIELD SURVEY PERFORMED IN AUGUST 2006.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- ALL STREET MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN AS THUS ▲. ALL CENTERLINE MONUMENTS WILL BE SET USING THE STANDARD 4" ALUMINUM MONUMENT STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT-DO NOT DISTURB, PS 14271" AND WILL BE SET FLUSH WITH THE FINAL ASPHALT.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW CENTERLINE MONUMENTATION.
- TOTAL NUMBER OF EXISTING LOTS: 8
- TOTAL NUMBER OF LOTS CREATED: 41
- TOTAL NUMBER OF TRACTS CREATED: 2
- TOTAL MILEAGE OF FULL WIDTH STREETS CREATED: 0.00 MI.
- CITY OF ALBUQUERQUE ZONE ATLAS PAGE: C-18
- NUMBER OF LOT LINES BEING ELIMINATED: 11
- TOTAL AREA: 6.6198 ACRES
- PROPERTY CORNERS TO BE SET ARE AN 18" BATHEY MONUMENT WITH STEEL CAP "LS 14271".
- THE ZONING FOR THE LOT IS CURRENTLY: R-D 20 DU/ACRE.
- BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (GRID-NAD83-CENTRAL ZONE).
- ALL OPEN SPACE REQUIREMENTS ARE NET ON THE LOT WITH DWELLING PER THE PROVISIONS OF SECT 14-16-3-8(A)(1).

OWNER: DATE: 7/30/14
 CITY SURVEYOR, CITY OF ALBUQUERQUE: DATE: 7-30-14
 DAVID ACOSTA P.S.

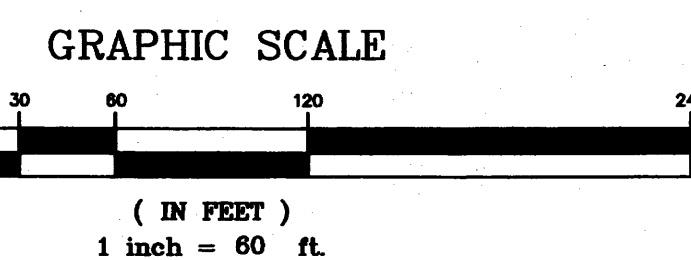


ACS Monument "9_C18"
 NAD 1983 CENTRAL ZONE
 X=1542501.428
 Y=1521497.624
 Z=5232.470 (NAVD 1988)
 G-G=0.999664563
 Delta Alpha=-0°11'19.69"

ACS Monument "7_C19"
 NAD 1983 CENTRAL ZONE
 X=1550417.138
 Y=1522068.520
 Z=5485.723 (NAVD 1988)
 G-G=0.999650745
 Delta Alpha=-0°10'24.78"

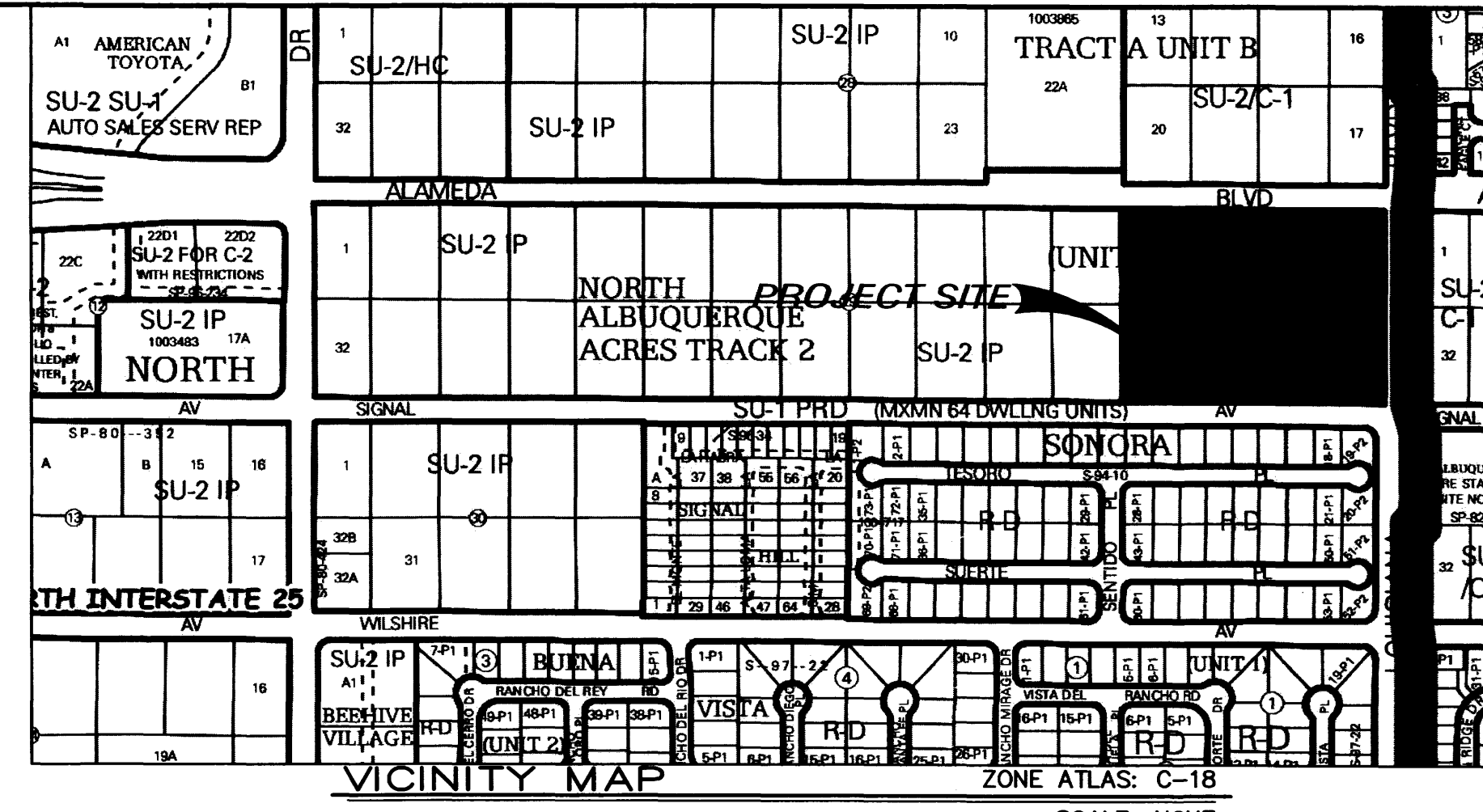
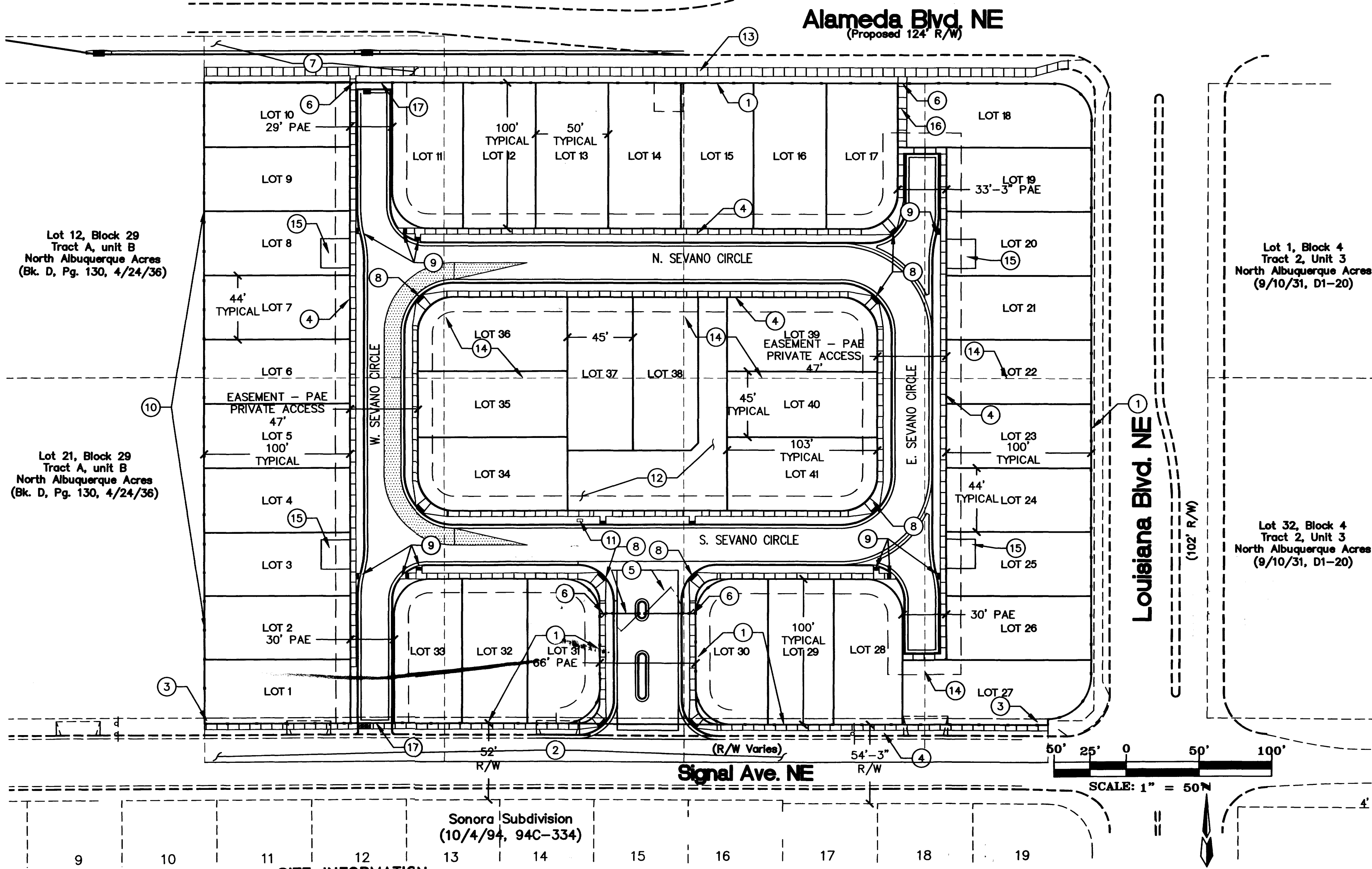
LINE TABLE		
LINE	LENGTH	BEARING
L1	10.27'	S 00°12'28" W
L2	4.26'	S 00°14'31" W
L3	25.74'	S 00°14'31" W
L4	30.00'	S 00°14'31" W
L5	26.08'	N 00°12'28" E
L6	20.00'	S 89°47'03" E
L7	14.14'	N 44°47'03" W
L9	32.00'	S 00°12'28" W (S 00°00'00" E)

CURVE TABLE											
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING	CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	39.27'	25.00'	89°59'20"	35.35'	S 44°47'23" E	C10	39.30'	25.00'	90°04'02"	35.38'	S 45°14'29" W
C2	47.14'	30.00'	90°02'14"	42.44'	S 45°13'24" W	C11	39.24'	25.00'	89°55'58"	35.33'	N 44°45'31" W
C3	39.27'	25.00'	89°59'31"	35.35'	S 44°47'17" E	C12	39.27'	25.00'	89°59'20"	35.35'	S 44°47'23" E
C4	39.27'	25.00'	90°00'40"	35.36'	N 45°12'37" E	C13	39.27'	25.00'	89°59'20"	35.35'	S 44°47'23" E
C5	39.24'	25.00'	89°55'47"	35.33'	N 44°45'37" W	C14	39.30'	25.00'	90°04'13"	35.38'	N 45°14'23" E
C6	39.34'	25.00'	90°09'06"	35.40'	S 45°11'57" W	C15	76.17'	48.50'	89°59'20"	68.58'	S 44°47'23" E
C7	39.20'	25.00'	89°50'54"	35.31'	S 44°48'03" E	C16	76.24'	48.50'	90°04'13"	68.53'	S 45°14'23" W
C8	39.34'	25.00'	90°09'06"	35.40'	N 45°11'57" E	C17	76.13'	48.50'	89°55'58"	68.55'	N 44°45'31" W
C9	39.20'	25.00'	89°50'54"	35.31'	N 44°48'03" W	C18	76.19'	48.50'	90°00'29"	68.59'	N 45°12'43" E



SITE DEVELOPMENT PLAN FOR SUBDIVISION - SEVANO PLACE SUBDIVISION

Lot 17-22, Block 29
Tract A, unit B
North Albuquerque Acres
(Bk. D, Pg. 130, 4/24/36)

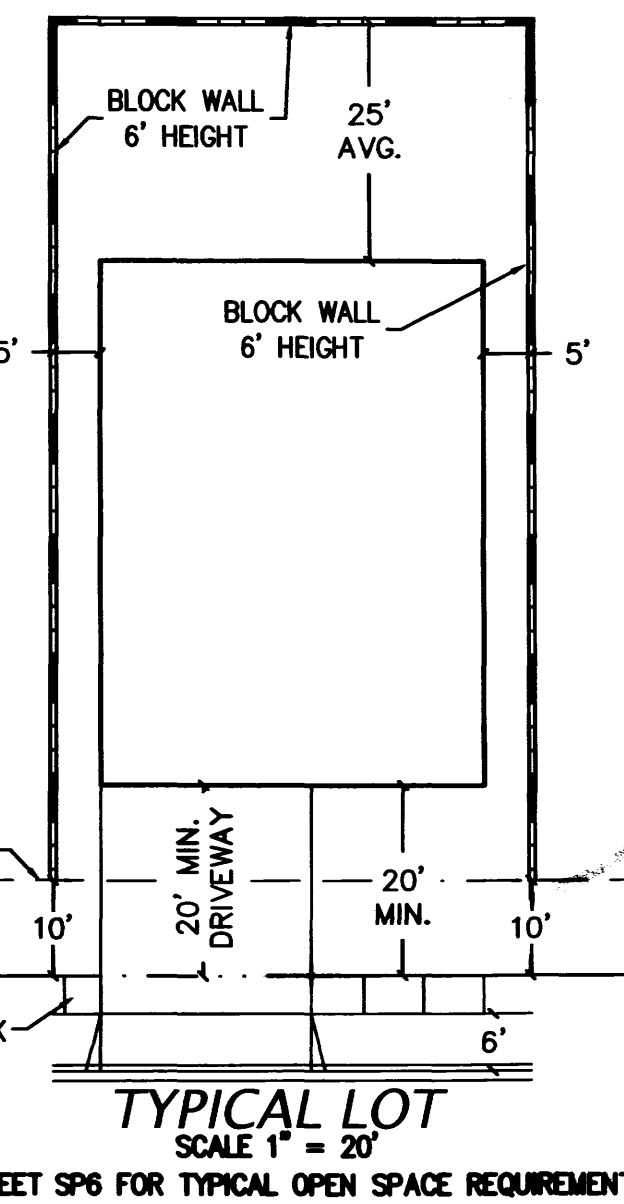


LEGAL DESCRIPTION
SEVANO PLACE SUBDIVISION
(BEING A REPLAT OF LOT 13-20, BLOCK 29, TRACT A, UNIT B)
WITHIN NORTH ALBUQUERQUE ACRES IN PROJECTED SECTION 17, TOWNSHIP 1 NORTH, RANGE 4 EAST ELENA GALLEGOS LAND GRANT NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

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BUILDING DATA
MAXIMUM DWELLING UNITS: 41
MAXIMUM BUILDING HEIGHT: 26'
MINIMUM BUILDING SETBACKS:
FRONT: 15'
BACK: 15'
DRIVEWAY: 20'
SIDE: 5'
STREET SIDE AT CORNER: 10'



KEYED NOTES

- PERIMETER MASONRY DECORATIVE WALL 6' TO 8' HEIGHT
- 26' ROW DEDICATION
- 4' EASEMENT TO BE VACATED
- 4' SIDEWALK
- 6' HIGH WROUGHT IRON VEHICULAR SECURITY GATE WITH KEYPAD, SEE ELEVATION SHEET
- 6' HIGH WROUGHT IRON PEDESTRIAN SECURITY GATE WITH KEYPAD, SEE ELEVATION SHEET
- 32' ROW DEDICATION
- MULTI-DIRECTIONAL ADA RAMP
- UNI-DIRECTIONAL ADA RAMP
- MASONRY PLAIN FACE WALL 6' HEIGHT
- GANG TYPE MAILBOX
- CENTRAL LANDSCAPED AREA, SEE LANDSCAPE PLAN
- 10' SIDEWALK
- LOT LINE TO BE REMOVED
- 20'x20' DRIVEWAY
- 12' PEDESTRIAN EASEMENT WITH 6' SIDEWALK
- 6' WROUGHT IRON TO SPAN ROAD EASEMENT

LEGEND

- PROPERTY LINE
- NEW CURB AND GUTTER & SIDEWALK
- EX CURB AND GUTTER & SIDEWALK

SHEET LIST

SHEET NUMBER	SHEET NAME
SP1	SITE DEVELOPMENT PLAN
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLAN
L3	LANDSCAPE PLAN
SP3	MASTER GRADING AND DRAINAGE PLAN
SP4	MASTER PAVING PLAN
SP5	MASTER UTILITY PLAN
SP6	ELEVATIONS & DETAILS

INTRODUCTION
THE PROPOSED DEVELOPMENT SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONING CODE.

1. SITE DESIGN

1.1. OVERALL LAYOUT OF SITE
THE REPLAT WILL CONSOLIDATE EIGHT (8) LOTS INTO FORTY ONE (41) SINGLE FAMILY RESIDENTIAL LOTS. THIRTY TWO FEET (32') OF THE NORTHERN BOUNDARY SHALL BE DEDICATED TO THE ALAMEDA BLVD. RIGHT OF WAY. THE RESIDENTIAL BUILDINGS SHALL BE ARRANGED ALONG AN EAST-WEST ORIENTED LOOP PRIVATE WAY WITH A VEHICULAR ACCESS TO SIGNAL AVE. THE RESIDENTIAL BUILDINGS SHALL BE SITUATED WITH FRONT ENTRANCES FACING THE LOOP PRIVATE WAY. 4' PEDESTRIAN WALKWAYS TRAVERSE BOTH SIDES OF THE PRIVATE WAY PROVIDING PEDESTRIAN CIRCULATION BETWEEN RESIDENCES. THE PEDESTRIAN WALKWAYS ALSO CONNECT TO THE PROPOSED PUBLIC SIDEWALKS ON ALAMEDA BLVD. AND SIGNAL AVE. THE SINGLE FAMILY RESIDENCES SHALL BE TWO STORY AND ONE STORY WITH GARAGES FACING THE PRIVATE WAY. 6' HIGH AUTOMATIC WROUGHT IRON VEHICULAR GATES AND KEYPAD AND 5' HIGH PEDESTRIAN GATES SHALL PROVIDE SECURITY FOR THE DEVELOPMENT. THE ENTRY VEHICULAR QUEUING SHALL ACCOMMODATE THREE (3) CAR LENGTHS. A CENTRALLY LOCATED LANDSCAPED AREA WITH SHADE STRUCTURE AND COMMUNITY MAILBOXES SHALL BE VISIBLE FROM THE MAIN ENTRANCE AND ACCESSIBLE FROM ALL LOTS.

1.2. BUILDING PLACEMENT, ORIENTATION, SETBACKS
THE RESIDENTIAL FRONT ENTRIES AND GARAGE DOORS SHALL FACE THE SUBDIVISION PRIVATE WAY. A CONCRETE DRIVEWAY (20' MINIMUM LENGTH) SHALL PROVIDE ACCESS TO THE TWO CAR GARAGES. FRONT YARD SETBACK SHALL BE FIFTEEN FEET (15') EXCEPT THAT DRIVEWAYS SHALL BE TWENTY FEET (20') LONG. SIDE YARD SETBACK SHALL BE FIVE FEET (5'). STREET SIDE CORNER SIDE YARD SETBACK SHALL BE TEN FEET (10'). REAR YARD SETBACK SHALL BE FIFTEEN FEET (15'). BUILDING HEIGHTS RANGE FROM 16' AT SINGLE STORY PEAK TO 26' AT TWO STORY PEAK.

1.3. PEDESTRIAN AND VEHICULAR CONNECTIVITY (INTERNAL & EXTERNAL)
THE SITE IS CONNECTED TO THE SURROUNDINGS. SIGNAL AVE. PEDESTRIAN ACCESS LIES TO THE SOUTH AND ALAMEDA BLVD. PEDESTRIAN AND BIKEWAY ACCESS LIES TO THE NORTH. INTERNAL TO THE SITE, 4' SIDEWALKS ON BOTH SIDES OF THE PRIVATE WAY CONNECT EACH RESIDENCE WITH ITS NEIGHBOR. THE NEW PUBLIC SIDEWALKS ON SIGNAL AVE. AND ALAMEDA BLVD. AND THE CENTRALLY LOCATED PARK. MULTI-DIRECTIONAL RAMPS AT STRATEGIC PRIVATE WAY CORNERS PROVIDE HANDICAP ACCESSIBILITY TO THE DEVELOPMENT. THE PROPOSED PRIVATE WAY PROVIDES A LOOP CONFIGURATION WITH ONE INGRESS EGRESS ROAD THAT CONNECTS TO SIGNAL AVE. THE KEY VEHICULAR ENTRY POINT SHALL BE ACCENTUATED BY LANDSCAPE ELEMENTS AND SIGNAGE. A BIKEWAY THAT EXTENDS EAST TO LOUISIANA IS SLATED FOR ALAMEDA BLVD.; THE DEVELOPMENT SHALL PROVIDE AN EASILY ACCESSED WALKWAY TO THE BIKEWAY VIA A PEDESTRIAN ACCESS IN THE NORTHWEST CORNER OF THE DEVELOPMENT. A SIDEWALK SHALL PROVIDE DIRECT ACCESS TO THE BUS TRANSIT STOP AT THE INTERSECTION OF SAN PEDRO AND ALAMEDA BLVD.

1.4. PARKING LOCATION AND DESIGN
OFF STREET RESIDENT PARKING IS PROVIDED AT EACH GARAGE AND ITS ACCOMPANYING DRIVEWAY. FOUR PARKING SPACES ARE ACCOMMODATED IN THIS WAY AT THE TWO CAR GARAGES. THE PRIVATE WAY WILL BE LINED ON BOTH SIDES WITH RESIDENT-PROVIDED PLANTINGS WHICH WILL ENHANCE THE RESIDENTIAL CHARACTER OF THE DEVELOPMENT.

1.5. PUBLIC OUTDOOR SPACES
THE CENTRALLY LOCATED LANDSCAPED PARK FEATURES A GAZEBO AND SHADE TREES. PEDESTRIAN WALKWAYS ALONG THE LOOP PRIVATE WAY PROVIDED EASY ACCESS TO THE PARK BY ALL RESIDENTS. A 6' HIGH WALL ENCOMPASSES THE ENTIRE DEVELOPMENT. CODE OR KEYPAD OPERATED SECURITY GATES AT ALL PEDESTRIAN AND VEHICULAR ENTRANCES FURTHER PROMOTE THE SENSE OF SAFETY AND OPPORTUNITIES FOR INTERACTION

1.6. REFUSE & RECYCLE PICKUP
RECYCLE AND REFUSE PICKUP SHALL BE INDIVIDUAL CART TYPE WITH WEEKLY SCHEDULED PICKUP TIMES.

1.7. LOCATION, HEIGHT, DESIGN AND PURPOSE OF ALL WALLS AND WALL OPENINGS
THE DEVELOPMENT BLOCK WALLS PROVIDE PRIVACY AND SECURITY FOR THE RESIDENTS. ALL WALLS AND FENCES ARE SUBJECT TO SECTION 14-16-3-19 OF THE ZONING ORDINANCE. ALL WALLS SHALL BE 6'-0" IN HEIGHT ABOVE HIGH GROUND ELEVATION; THEY SHALL BE EXPOSED BLOCK WITH REPEATING PATTERNS AND VARIATED TEXTURES.

1.8. LOCATION, HEIGHT, DESIGN AND PURPOSE OF LIGHTING
LIGHTING SHALL COMPLY WITH THE NIGHT SKY ORDINANCE AND ALL REQUIREMENTS IN SECTION 14-16-3-9 OF THE ZONING ORDINANCE. RESIDENCE-MOUNTED LIGHTING ELEMENTS SHALL BE INCANDESCENT, METAL HALIDE OR HALOGEN ONLY. RESIDENCE MOUNTED FLOODLIGHTS (MAXIMUM 75 WATT BULBS) SHALL BE SHIELDED OR AIMED IN SUCH A WAY THAT THEY DO NOT SHINE INTO OTHER LOTS OR THE STREET.

1.9. SCREENING / BUFFERING TECHNIQUES
MULTIPLE STREET SHADE TREES SCREEN RESIDENCES FROM ADJACENT ROADWAY WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT. AT MATURITY, THESE TREES SHALL CREATE A COOLING MICRO CLIMATE.

1.10. GREEN FEATURES
WATER HARVESTING CISTERN AND COLLECTION SYSTEM TECHNIQUES SHALL BE ENCOURAGED.

2. STREET REALM

2.1. TRANSIT, BICYCLE, PEDESTRIAN AMENITIES
THE SITE IS ACCESSIBLE TO TRANSIT ROUTES ON ALAMEDA BLVD., WHICH IS A PRINCIPAL ARTERIAL. CITY OF ALBUQUERQUE "ABQ RIDE" BUS STOP IS LOCATED AT SAN PEDRO DR. AND ANAHEIM BLVD ONE-HALF BLOCK FROM THE DEVELOPMENT. THE SITE ABUTS A PROPOSED CITY DESIGNATED BIKE ROUTE ON ALAMEDA BLVD. N.E. WHICH WILL EXTEND TO LOUISIANA BLVD. N.E.

3. LANDSCAPING
LANDSCAPING IS A KEY ELEMENT OF THE DESIGN. IT IS INTEGRAL TO THE GOAL OF PROVIDING PLACES THAT PROMOTE COMMUNITY AND ENRICH THE LIVES OF THE AREA RESIDENTS.

THE LANDSCAPE NETWORK CONSISTS OF:
STREET SHADE TREES ALONG ALAMEDA BOULEVARD SHALL BE SITUATED IN LANDSCAPE STRIPS W/ ROCK OR BARK GROUNDCOVER. STREET TREE SPACING SHALL BE DETERMINED BY TREE CANOPY AT FULL MATURITY.

INTERIOR STREET SCAPE STREET SHADE TREES, AND LANDSCAPING IN AND AROUND UNIT DRIVEWAYS SHALL BE PROVIDED AND MAINTAINED BY INDIVIDUAL RESIDENCE OWNERS. AT MINIMUM, RESIDENTS SHALL PLANT ONE 8'-0" TO 12M" TALL SHADE TREE AT THE STREET FRONTAGE. IN ADDITION 5 - 8 (FIVE TO EIGHT > 5 GALLON SHRUBS SHALL BE LOCATED IN A GRAY ROCK/COBBLE ACCENT LANDSCAPING SCHEME.

DECIDUOUS STREET SHADE TREES PROVIDE PASSIVE SOLAR MITIGATION OF PAVED SURFACES. THE LANDSCAPING SHALL BALANCE THE DENSITY OF THE HOUSING UNITS AND CREATE HUMAN SCALE. THE TREE SPECIES SHALL BE VARIED TO AVOID MONOCULTURE.

3.1. REQUIREMENTS
THE STREET SCAPE ALONG ALAMEDA BOULEVARD SHALL CONSIST OF TREES IN THE PLANTING STRIP BETWEEN THE SIDEWALK AND THE PROPERTY LINE THESE TREES SHALL HAVE A HIGH BRANCHING CANOPY TO ALLOW CLEAR SPACE FOR PEDESTRIANS AND REDUCE POTENTIAL FOR DAMAGE FROM PASSING VEHICLES. THE CLEAR SITE TRIANGLE REQUIREMENT SHALL BE IMPOSED ON THE SIGNAL AVE./PRIVATE WAY INTERSECTION. A CLEAR SITE TRIANGLE AT INTERSECTIONS MUST BE MAINTAINED 35 FEET FROM INTERSECTING FLOW LINES OF GUTTERS. A VERTICAL CLEARANCE BETWEEN 3 AND 8 FEET MEASURED FROM THE GUTTER PAN MUST BE FREE OF VISUAL OBSTRUCTION. TREES & SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. UNDERSTORY BRANCHES FROM TREES SHALL NOT HANG LOWER THAN 8'.

3.2. WATER CONSERVATION TECHNIQUES
THE LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION, LANDSCAPE, POLLEN CONTROL AND WASTE WATER ORDINANCES.

4. BUILDING DESIGN

4.1. CONTEXT
THE PROPOSED DEVELOPMENT SITS IN AN AREA OF DIVERSE ZONING CATEGORIES. EXISTING INDUSTRIAL AND WHOLESALE WAREHOUSING USES EXIST SIDE BY SIDE WITH RESIDENTIAL DEVELOPMENTS. NUMEROUS COMMERCIAL USES ARE IN EVIDENCE EAST OF THE I-25/ALAMEDA INTERCHANGE. ON THE SOUTH ARE MULTI STORY MOTELS SUCH AS THE STAYBRIDGE AND THE BURGER KING FAST FOOD ESTABLISHMENT. ON THE NORTH, NUMEROUS VEHICLE DEALERSHIPS ARE ARRANGED ALONG THE NORTHBOUND INTERSTATE. THESE INCLUDE AMERICAN TOYOTA AND MERCEDES BENZ OF ALBUQUERQUE.

4.2. ARCHITECTURAL THEME OR STYLE
THE PROPOSED RESIDENTIAL BUILDING DESIGNS SHALL BE CONSISTENT WITH THE PREDOMINANT NEIGHBORING RESIDENTIAL DEVELOPMENTS. BOTH TWO AND ONE STORY CONFIGURATIONS WILL BE USED. ARCHITECTURAL STYLES SHALL RANGE FROM PITCHED SHINGLE ROOF/FRAME-STUCCO DESIGN TO FLAT ROOF/FRAME-STUCCO DESIGN. PARAPETS FOR FLAT ROOF DESIGNS SHALL NOT EXCEED 15% OF THE HEIGHT OF THE SUPPORTING WALL AND SHALL SHIELD THE VIEW OF THE ROOF MATERIAL FROM ANY PUBLIC OR PRIVATE RIGHT-OF-WAY. COMPLEMENTARY STUCCO COLORS APPLIED TO ALTERNATING BUILDINGS ADD VARIETY AND FURTHER THE NEIGHBORHOOD "LOOK".

4.3. BUILDING HEIGHT, SCALE, MASSING, MATERIALS, COLORS AND ARTICULATION
THE DEVELOPMENT IS ORGANIZED TO EMPHASIZE A RESIDENTIAL NEIGHBORHOOD RESPONSE TO THE SITE. THE BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING THE PRIVATE WAY. THE BUILDING DESIGNS SHALL INCORPORATE PRUDENT USE OF BOTH VERTICAL AND HORIZONTAL ARTICULATION AS APPROPRIATE TO RESIDENTIAL DESIGN. AN EARTH TONED PALETTE SHALL BE IN EVIDENCE AT ALL OF THE EXTERIOR BUILDING WALLS AND SURROUNDING PROPERTY LINE WALLS.

5. APPROVAL PROCESS
THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT MAY BE SLIGHTLY MODIFIED OR ADJUSTED, IF NECESSARY, TO ASSURE CONSISTENCY WITHIN THE DEVELOPMENT AND TO ALLOW FLEXIBILITY FOR THE DEVELOPER TO POSITIVELY REFINE THE DEVELOPMENT TO MITIGATE DESIGN CHALLENGES AND ENHANCE DESIGN OPPORTUNITIES. MODIFICATION PROCEDURES AND THE SUBSEQUENT APPROVAL PROCESS SHALL BE AS SPECIFIED FOR PROPERTIES IN THE NORTH 1-25 SECTOR DEVELOPMENT PLAN.

**SEVANO PLACE
SITE DEVELOPMENT PLAN**
Albuquerque, New Mexico

THE group

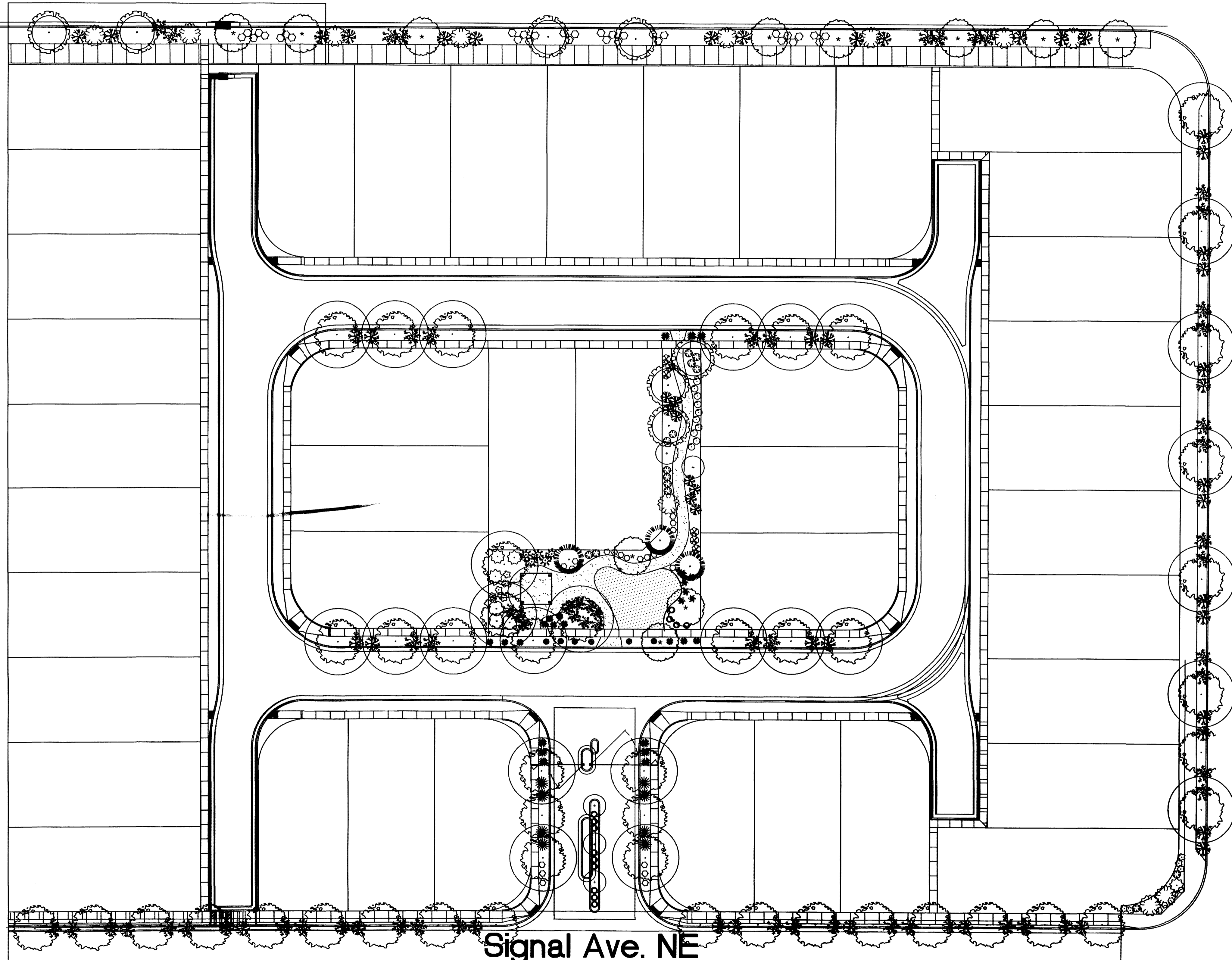
THE HENSLEY ENGINEERING GROUP
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Sheet Title: **SITE DEVELOPMENT PLAN**
Date: **JULY 30, 2014**
Project No.:

Sheet Number: **SP1**

Alameda Blvd. NE

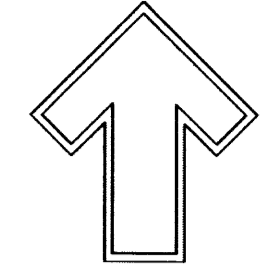
Signal Ave. NE



PLANT LEGEND

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SHRUBS		27	WILLOW PURPLE ASH <i>Fraxinus americana</i> 2" Cal., 12-14" ht./60" maturity Water (M) Allergy (N) 0sf	6	KARL FOERSTER REED GRASS <i>Calamagrostis x acutiflora 'Karl Foerster'</i> 5 Gal., 12-15" ht./3' x 3' maturity Water (M) Allergy (L) 0sf
1	HONEY LOCUST <i>Gleditsia triacanthos</i> 2" Cal., 12-14" ht./50" x 50" maturity Water (M) Allergy (L) 0sf	16	KNOCKOUT ROSE Rosa 5 Gal., 3'-15" ht./2' x 3' maturity Water (M) Allergy (L) 0sf	57	CARPET ROSE Rosa 5 Gal., 3'-15" ht./2' x 3' maturity Water (M) Allergy (L) 0sf
4	EASTERN REDBUD <i>Cercis canadensis</i> 2" Cal., 8-10" ht./20" x 30" maturity Water (M) Allergy (L) 0sf	8	BEARGRASS <i>Nolina microcarpa</i> 5 Gal., 15-18" ht./2' x 6' maturity Water (L) Allergy (L) 30sf	13	MUSGO PINE <i>Pinus mugo</i> 5 Gal., 12-18" ht./2' x 3' maturity Water (M) Allergy (L) 0sf
ORNAMENTAL TREES		4	AUSTRIAN PINE <i>Pinus nigra</i> 15 Gal., 4'-6" ht./25" x 25" maturity Water (M) Allergy (L) 0sf	20	RED YUCCA <i>Hesperaloe parviflora</i> 5 Gal., 18-24" ht./2' x 4' maturity Water (L) Allergy (L) 10sf
12	DESERT MILLOW <i>Chilopsis linearis</i> 15 Gal., 4-10" ht./20" x 25" maturity Water (L) Allergy (L) 225sf	6	INDIAN HAWTHORN <i>Raphiolepis indica</i> 5 Gal., 18-24" ht./2' x 6' maturity Water (M) Allergy (L) 30sf	GROUNDCOVERS	
5	NEW MEXICO OLIVE <i>Forestiera neomexicana</i> 15 Gal., 4-10" ht./12" x 15" maturity Water (M) Allergy (L) 225sf	6	MAIDENHAIR <i>Miscanthus sinensis</i> 5 Gal., 18-24" ht./2' x 5' maturity Water (M) Allergy (L) 25sf	3	HANONIA <i>Mahonia aquifolium</i> 5 Gal., 12-15" ht./2' x 3' maturity Water (M) Allergy (L) 0sf
5	RED TINE DOGWOOD <i>Cornus sericea</i> 5 Gal., 2-4" ht./12" x 12" maturity Water (M) Allergy (L) 144sf	3	BUTTERFLY BUSH <i>Buddleia davidii</i> 5 Gal., 12-15" ht./10" x 10" maturity Water (M) Allergy (L) 100sf	30	GREYLEAF COTONEASTER <i>Cotoneaster glaucophyllus</i> 5 Gal., 24-4" ht./22" x 4" maturity Water (M) Allergy (L) 81sf
5	FRAXINUS <i>Fraxinus</i> 5 Gal., 2-4" ht./8" x 8" maturity Water (M) Allergy (L) 64sf	16	HAWAIIAN BROMELIAD <i>Bromelia kaisachovus</i> 5 Gal., 8-15" ht./2' x 3' maturity Water (L) Allergy (L) 25sf	45	WINTER LASHINE <i>Isotria medeoloides</i> 5 Gal., 24-4" ht./22" x 5' maturity Water (L) Allergy (L) 64sf



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LANDSCAPE ARCHITECT'S SEAL

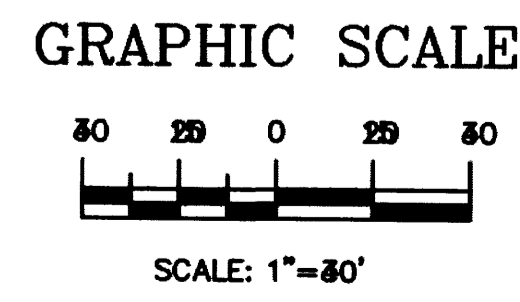


5/15/14

STILLBROOKE HOMES
SEVANO PLACE

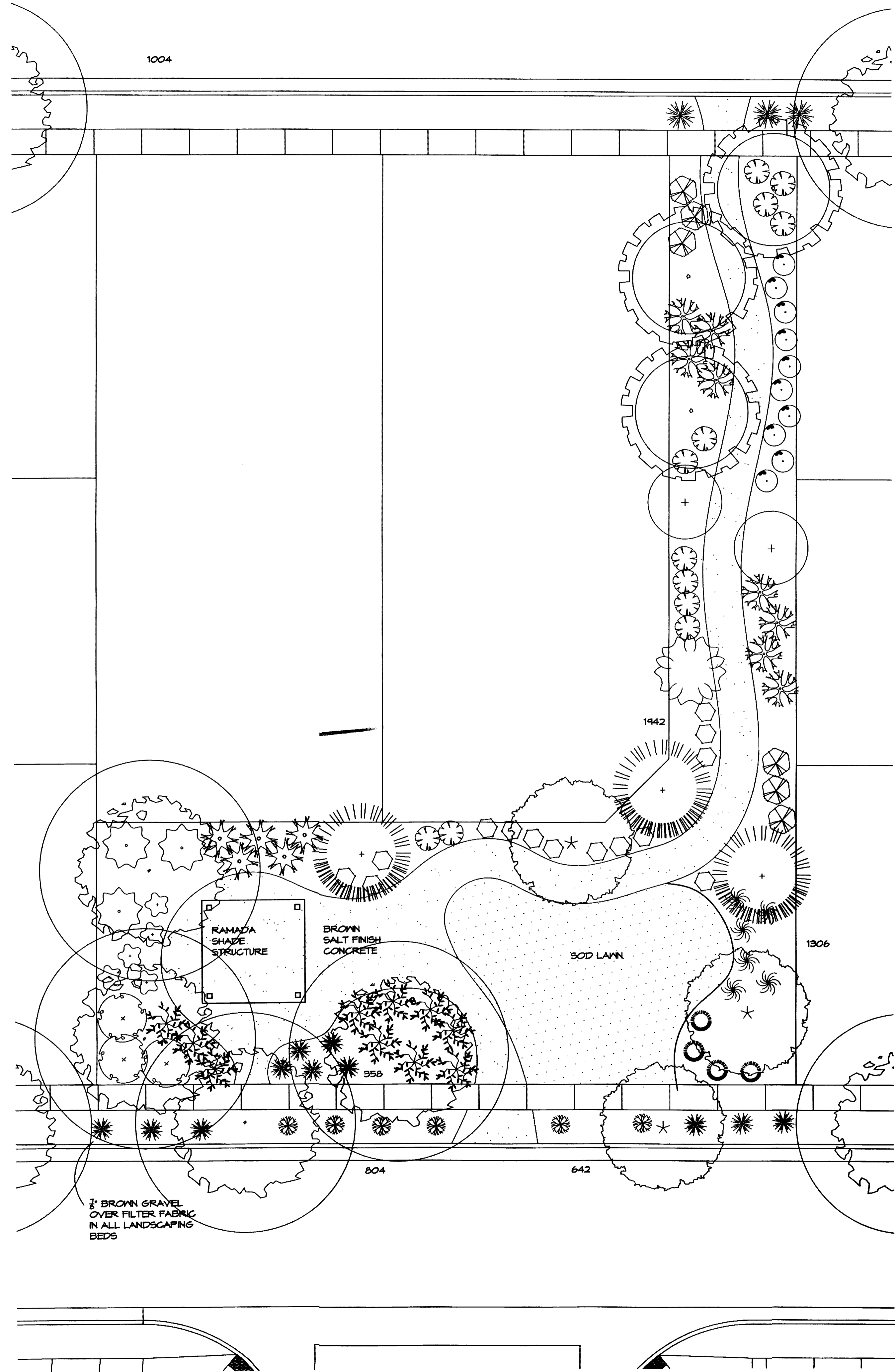
LANDSCAPE PLAN

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REVISION: 1/5-15-14
DATE: APRIL 2014

SHEET #
L1 of L3

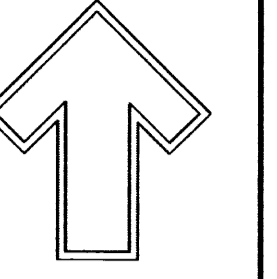
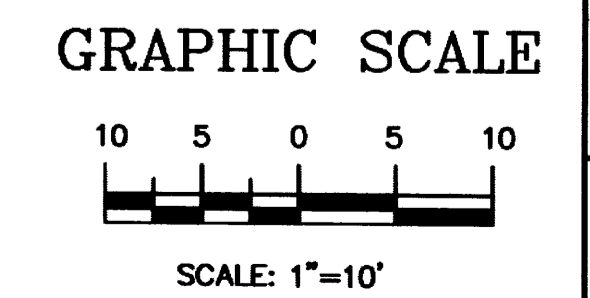


PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

SHADE TREES			
27		NUTMUN PURPLE ASH <i>Fraxinus americana</i> 2" Cal., 12'-14" Inst./60' x 60' maturity Water (M) Allergy (H) Osf	6
7		HONEY LOCUST <i>Gleditsia triacanthos</i> 2" Cal., 12'-14" Inst./50' x 50' maturity Water (M) Allergy (L) Osf	16
4		EASTERN REDBUD <i>Cercis canadensis</i> 2" Cal., 8'-10" Inst./30' x 30' maturity Water (M) Allergy (L) Osf	57
ORNAMENTAL TREES			
4		AUSTRIAN PINE <i>Pinus nigra</i> 15 Gal., 4'-6" Inst., 35' x 25' maturity Water (M) Allergy (L) Osf	13
12		DESERT MALLOW <i>Chilopsis linearis</i> 15 Gal., 4'-10" Inst./20' x 25' maturity Water (L) Allergy (L) 225sf	20
5		NEW MEXICO OLIVE <i>Forestiera neomexicana</i> 15 Gal., 4'-10" Inst./15' x 15' maturity Water (M) Allergy (L) 225sf	6
SHRUBS			
5		RED TWIG DOGWOOD <i>Cornus sericea</i> 5 Gal., 2'-4" Inst./9' x 12' maturity Water (M+) Allergy (L) 144sf	6
3		BUTTERFLY BUSH <i>Buddleia davidii</i> 5 Gal., 12'-3" Inst./10' x 10' maturity Water (M) Allergy (L) 100sf	3
5		PHOTINIA <i>Photinia fraseri</i> 5 Gal., 2'-4" Inst./8' x 8' maturity Water (M+) Allergy (L) 64sf	38
16		MANHATTAN BUXTOMUS <i>Euonymus kiautschovicus</i> 5 Gal., 6'-15" Inst./5' x 5' maturity Water (L) Allergy (L) 25sf	43
GROUNDCOVERS			
		KARL FOERSTER REED GRASS <i>Calamagrostis x acutiflora 'Karl Foerster'</i> 5 Gal., 12'-3" Inst./3' x 3' maturity Water (M) Allergy (L) 9sf	
		BEARGRASS <i>Nolina microcarpa</i> 5 Gal., 18"-3" Inst./5' x 6' maturity Water (L+) Allergy (L) 36sf	
		MUGO PINE <i>Pinus mugo</i> 5 Gal., 12'-3" Inst./3' x 3' maturity Water (M) Allergy (L) 9sf	
		RED YUCCA <i>Hesperaloe parviflora</i> 5 Gal., 18"-3" Inst./3' x 4' maturity Water (L+) Allergy (L) 16sf	
		INDIAN HAWTHORN <i>Raphiolepis indica</i> 5 Gal., 18"-3" Inst./6' x 6' maturity Water (M) Allergy (L) 36sf	
		MAIDENGRASS <i>Miscanthus sinensis</i> 5 Gal., 18"-3" Inst./5' x 5' maturity Water (M+) Allergy (L) 25sf	
		MAHONIA <i>Mahonia aquifolium</i> 5 Gal., 12'-3" Inst./2' x 3' maturity Water (M) Allergy (L) 9sf	
		GREYLEAF COTONEASTER <i>Cotoneaster glaucophyllus</i> 5 Gal., 24"-4" Inst./2' x 9' maturity Water (M) Allergy (L) 81sf	
		WINTER JASMINE <i>Jasminum nudiflorum</i> 5 Gal., 24"-4" Inst./2' x 8' maturity Water (L+) Allergy (L) 64sf	

NOTE: LEGEND IS NOT TO SCALE



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LANDSCAPE ARCHITECT'S SEAL



5 / 1 5 / 1 4

STILLBROOKE HOMES
SEVANO PLACE
CENTRAL LANDSCAPED AREA

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The Hilltop
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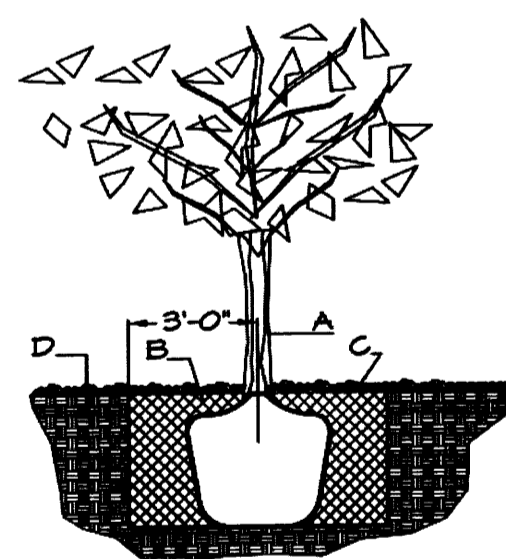
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REVISION # 14
1/5/14
DATE: APRIL 2014

SHEET #
L2 OF L2

PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

SHADE TREES	
27	AUTUMN PURPLE ASH <i>Fraxinus americana</i> 2" Cal., 12'-14" Inst./60' x 60' maturity Water (M) Allergy (H) Osf
7	HONEY LOCUST <i>Gleditsia triacanthos</i> 2" Cal., 12'-14" Inst./50' x 50' maturity Water (M) Allergy (L) Osf
9	EASTERN REDBUD <i>Cercis canadensis</i> 2" Cal., 8'-10" Inst./30' x 30' maturity Water (M) Allergy (L) Osf
ORNAMENTAL TREES	
4	AUSTRIAN PINE <i>Pinus nigra</i> 15 Gal., 4'-6" Inst., 35' x 25' maturity Water (M) Allergy (L) Osf
12	DESERT WILLOW <i>Chilopsis linearis</i> 15 Gal., 4'-10" Inst./20' x 25' maturity Water (L) Allergy (L) 225sf
5	NEW MEXICO OLIVE <i>Forestiera neomexicana</i> 15 Gal., 4'-10" Inst./15' x 15' maturity Water (M) Allergy (L) 225sf
SHRUBS	
5	RED TWIG DOGWOOD <i>Cornus sericea</i> 5 Gal., 2'-4" Inst./4' x 12' maturity Water (M+) Allergy (L) 144sf
3	BUTTERFLY BUSH <i>Buddleia davidii</i> 5 Gal., 12'-3" Inst./10' x 10' maturity Water (M) Allergy (L) 100sf
5	PHOTINIA <i>Photinia fraseri</i> 5 Gal., 2'-4" Inst./8' x 8' maturity Water (M+) Allergy (L) 64sf
16	MANHATTAN ELONYMUS <i>Euonymus kiautschovicus</i> 5 Gal., 6'-15" Inst./5' x 5' maturity Water (L) Allergy (L) 25sf
GROUNDCOVERS	
38	GREYLEAF COTONEASTER <i>Cotoneaster glaucophyllus</i> 5 Gal., 24"-4" Inst./2' x 4' maturity Water (M) Allergy (L) 81sf
43	WINTER JASMINE <i>Jasminum nudiflorum</i> 5 Gal., 24"-4" Inst./2' x 8' maturity Water (L+) Allergy (L) 64sf
6	KARL FOERSTER REED GRASS <i>Calamagrostis x acutiflora</i> Karl Foerster' 5 Gal., 12'-3" Inst./3' x 3' maturity Water (M) Allergy (L) 9sf
16	KNOCKOUT ROSE <i>Rosa</i> 5 Gal., 3'-15" Inst./3' x 3' maturity Water (M+) Allergy (L) 9sf
37	CARPET ROSE <i>Rosa</i> 5 Gal., 3'-15" Inst./2' x 3' maturity Water (M) Allergy (L) 9sf
8	BEARGRASS <i>Nolina microcarpa</i> 5 Gal., 18'-3" Inst./5' x 6' maturity Water (L+) Allergy (L) 36sf
13	MUGO PINE <i>Pinus mugo</i> 5 Gal., 12'-3" Inst./3' x 3' maturity Water (M) Allergy (L) 9sf
20	RED YUCCA <i>Hesperaloe parviflora</i> 5 Gal., 18'-3" Inst./3' x 4' maturity Water (L+) Allergy (L) 16sf
6	INDIAN HAWTHORN <i>Raphiolepis indica</i> 5 Gal., 18'-3" Inst./6' x 6' maturity Water (M) Allergy (L) 36sf
6	MAIDENGRASS <i>Miscanthus sinensis</i> 5 Gal., 18'-3" Inst./5' x 5' maturity Water (M+) Allergy (L) 25sf
3	MAHONIA <i>Mahonia aquifolium</i> 5 Gal., 12'-3" Inst./2' x 3' maturity Water (M) Allergy (L) 9sf



TREE PLANTING DETAIL

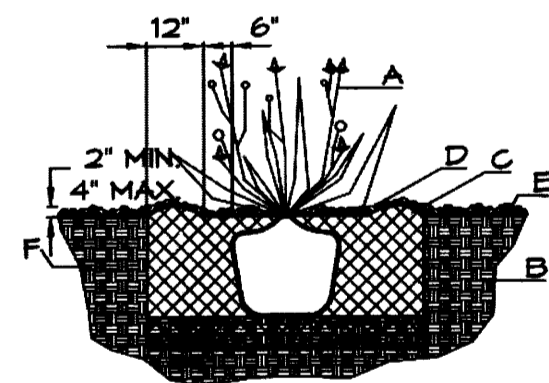
NTS

GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DIG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.



SHRUB PLANTING DETAIL

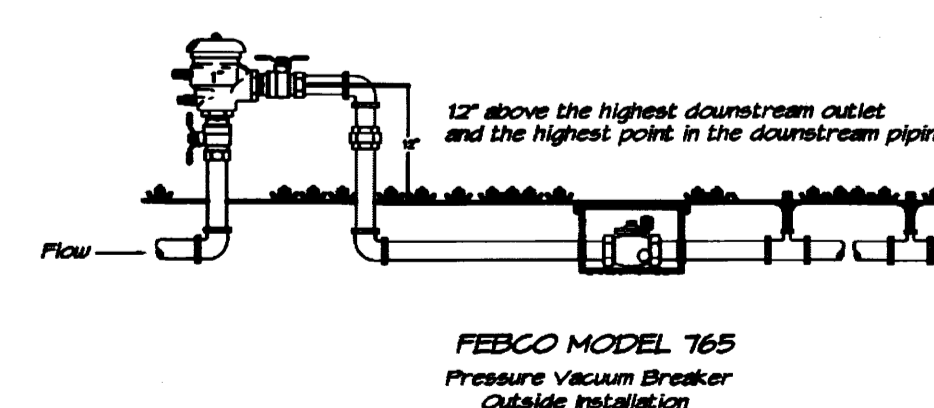
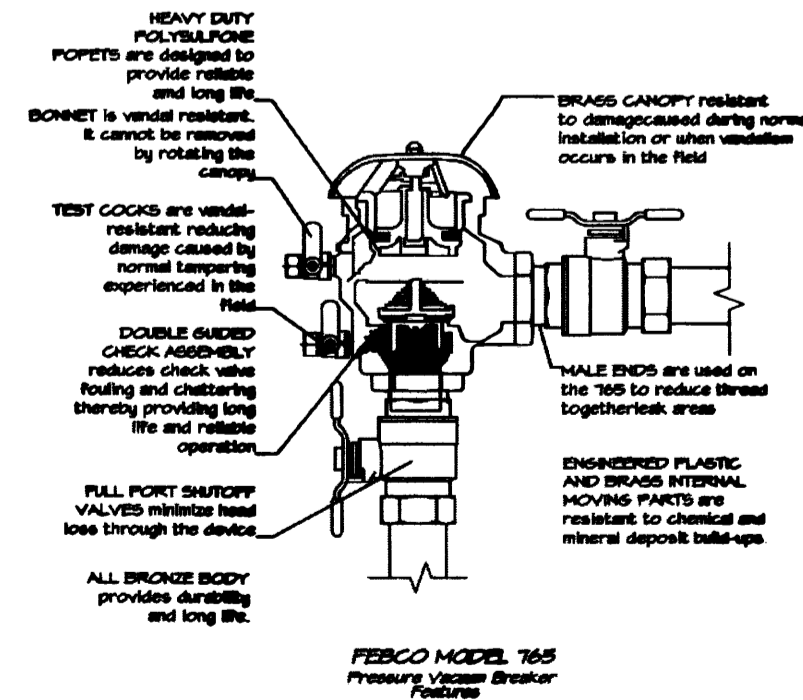
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GENERAL NOTES:

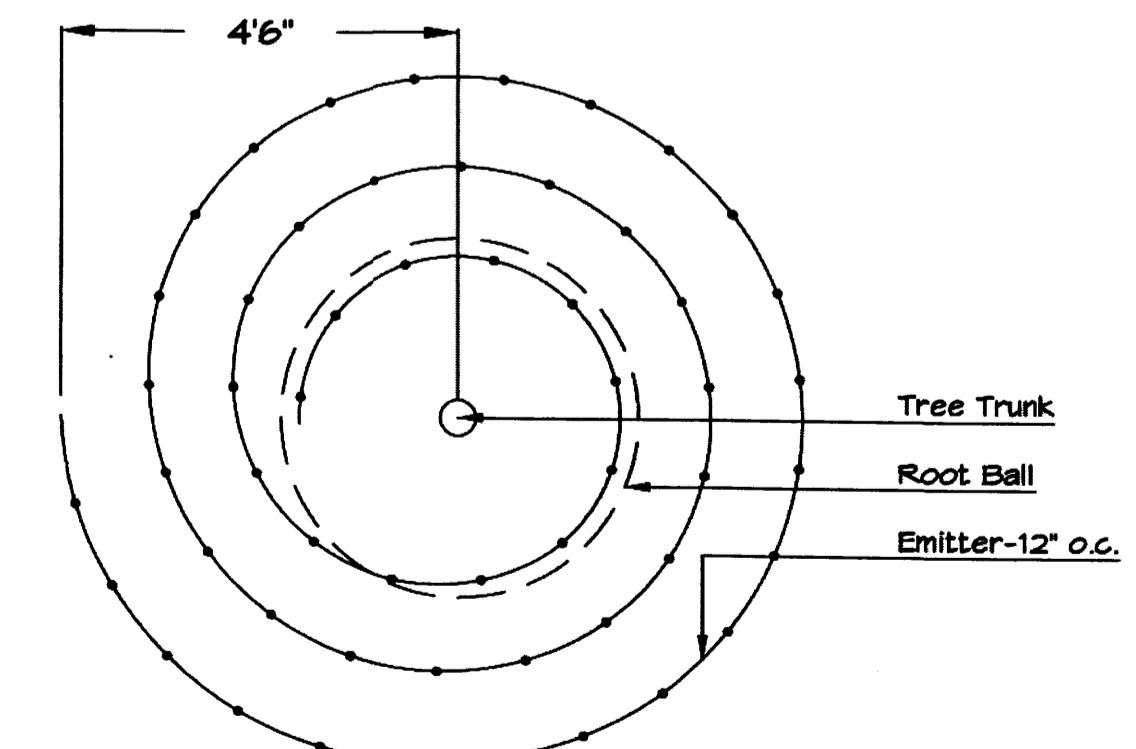
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



FEBCO MODEL 765
Pressure Vacuum Breaker
Outside Installation



Netafim Spiral Detail

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

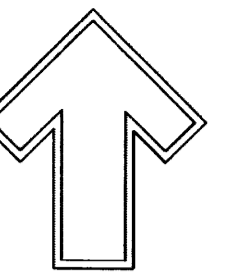
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



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cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



5/15/14

STILLBROOKE HOMES
SEVANO PLACE
LANDSCAPE NOTES AND LEGEND

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. The copyright in this drawing shall remain with The Hilltop unless applicable fees have been paid or per order placed.

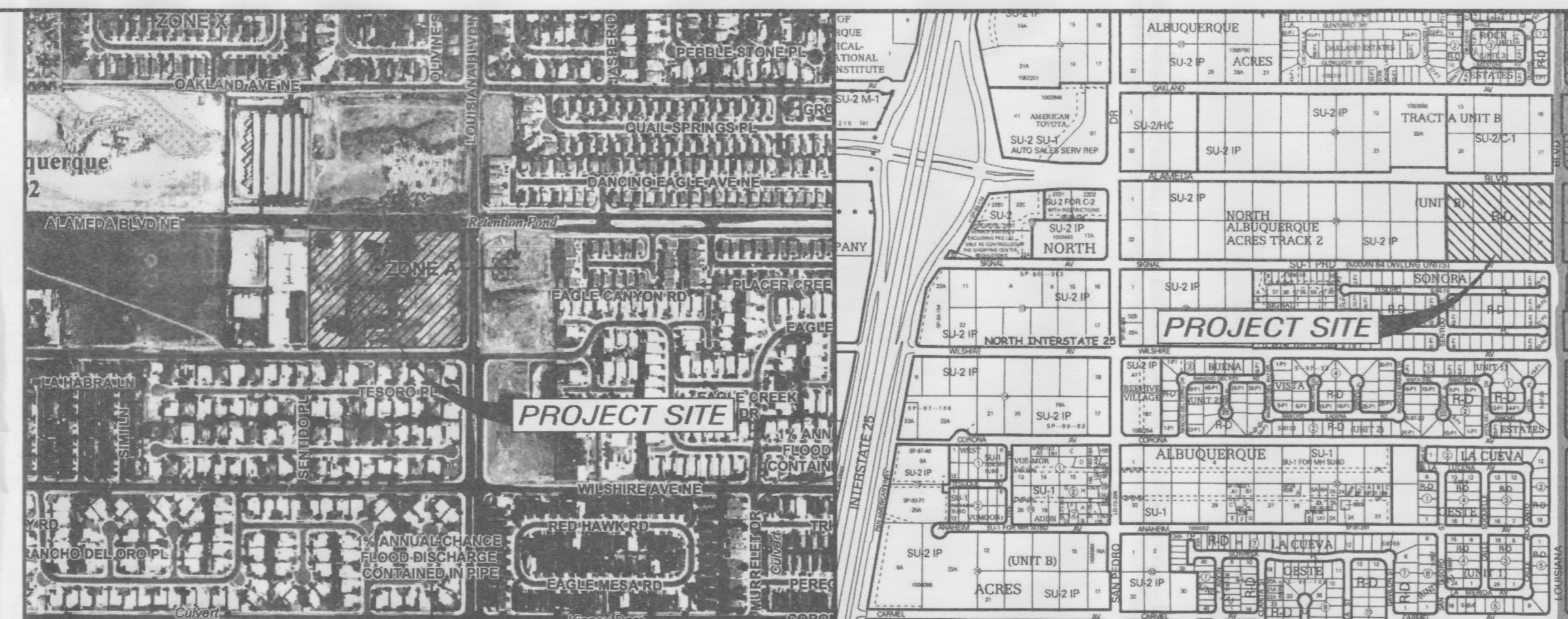
The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY CS
REVISION # 14
1/5-15-14
DATE APRIL 2014

SHEET #
L3 OF L3

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

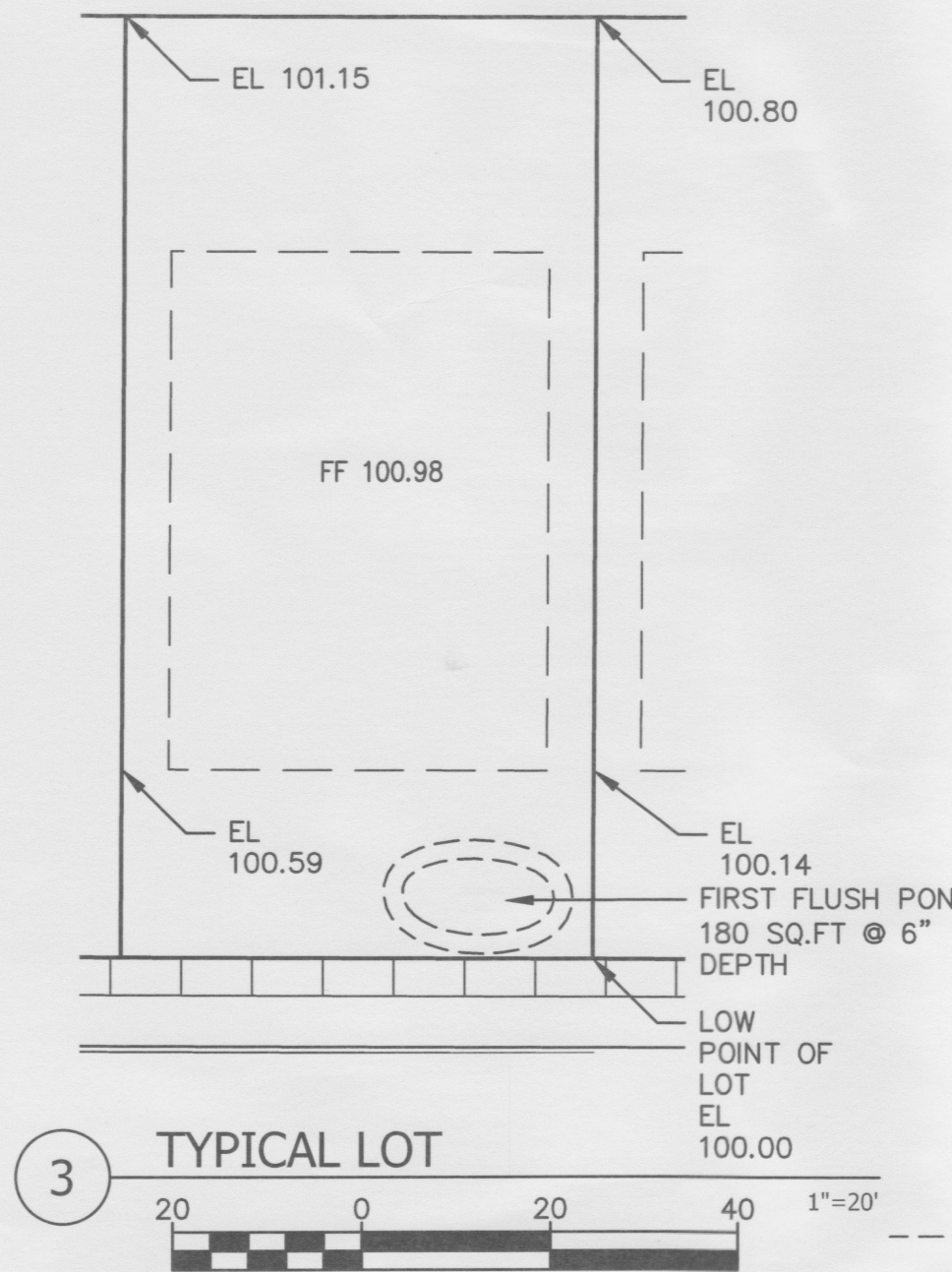


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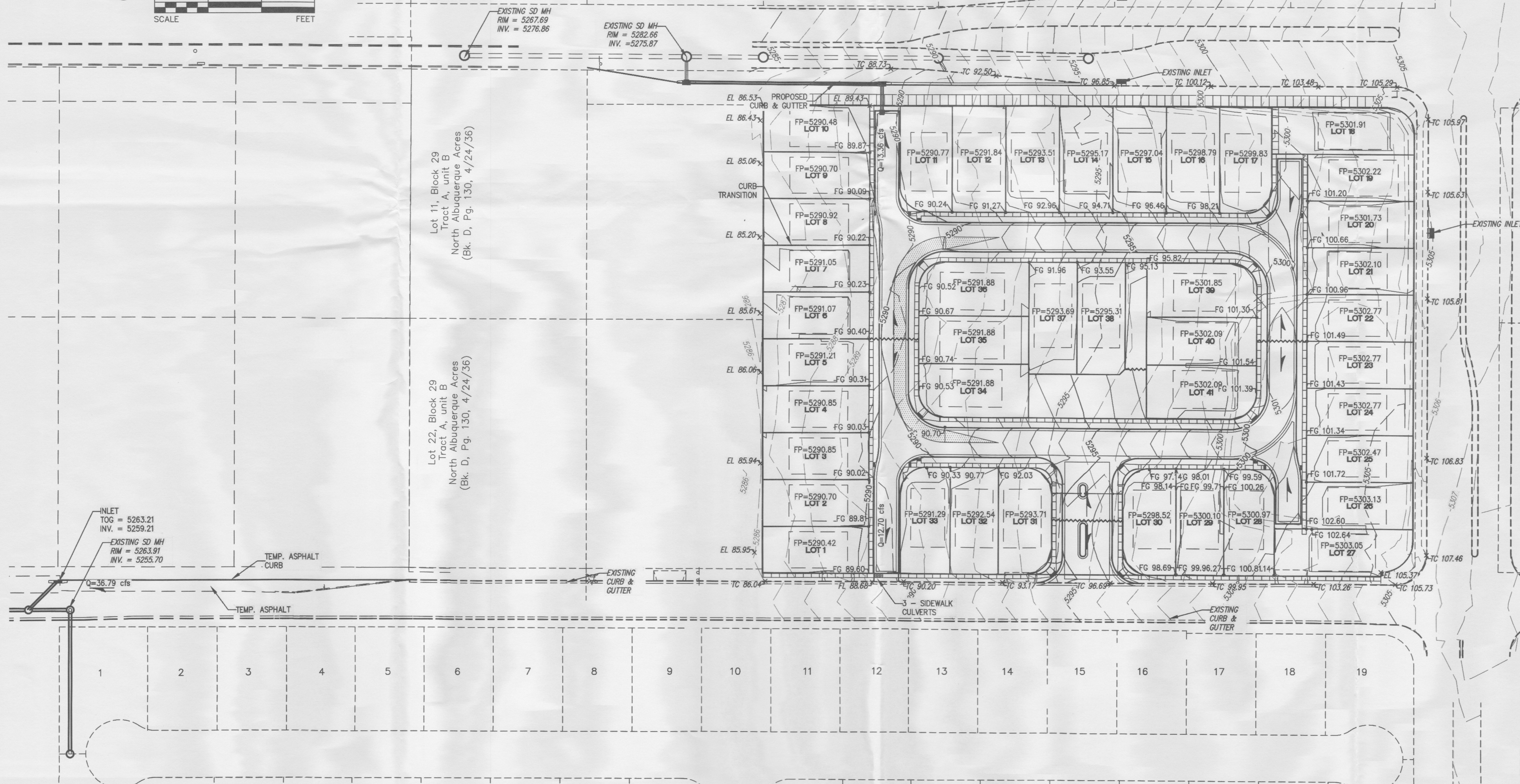
VICINITY MAP C-18-Z

KEYED NOTES

- FLOW ARROW
- ↘ SLOPE ARROW
- EL=11.28 PROPOSED ELEVATION
- x 66.33 EXISTING ELEVATION
- ~~~~ GRADE BREAK
- 966 EXISTING CONTOUR
- 4966 EXISTING CONTOUR
- - - - PROPOSED EASEMENT
- 4.00% PROPOSED GRADE
- EXISTING WALL
- PROPOSED RETAINING WALL



Lot 17-22, Block 29
Tract A, unit B
North Albuquerque Acres
(Bk. D, Pg. 130, 4/24/36)



SCALE: 1" = 50'

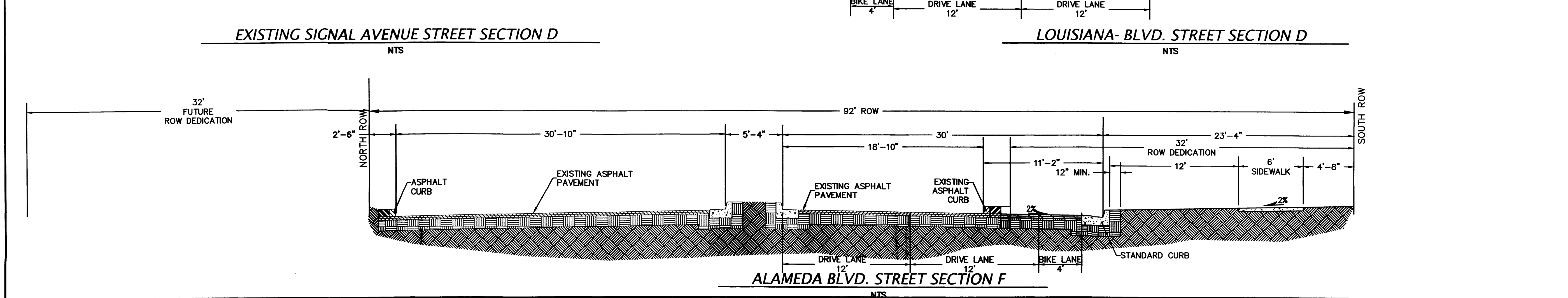
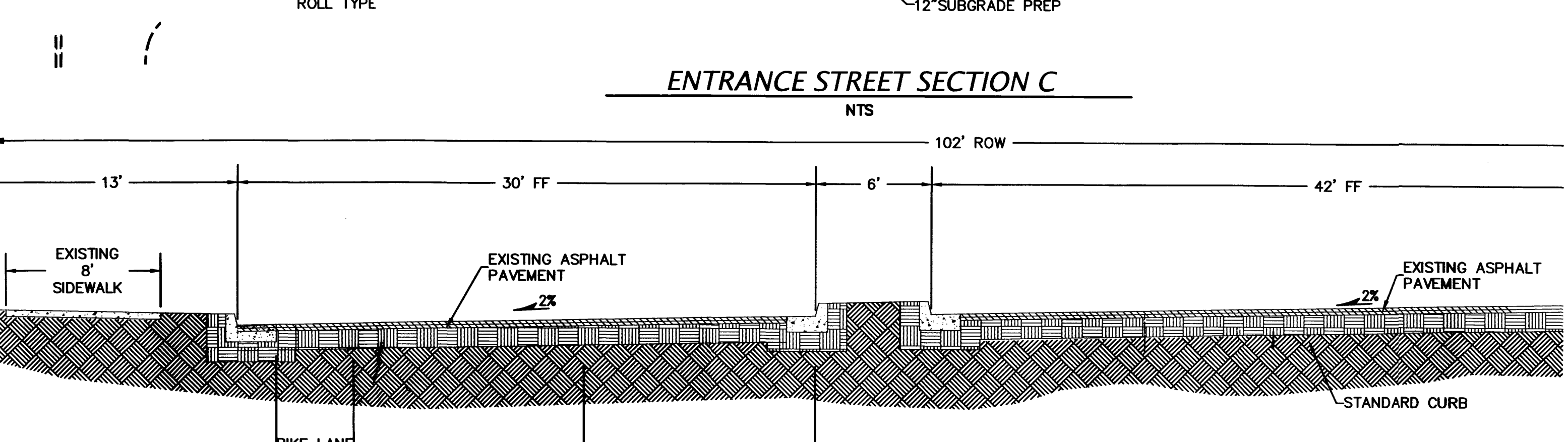
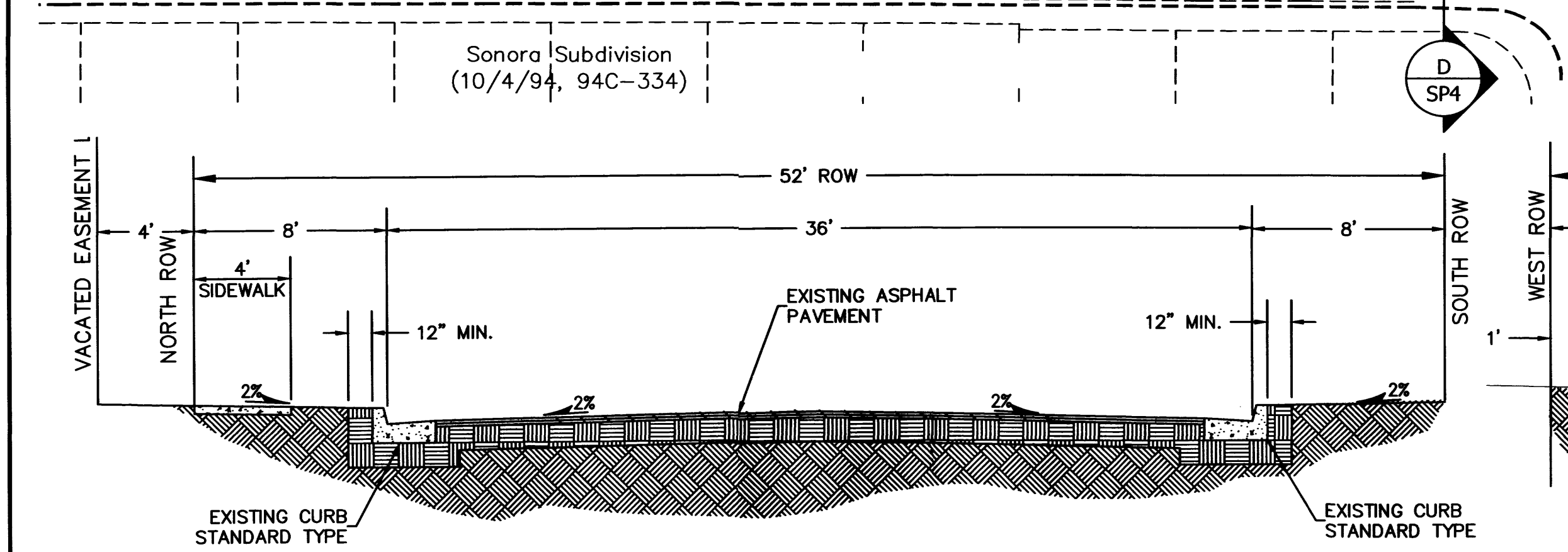
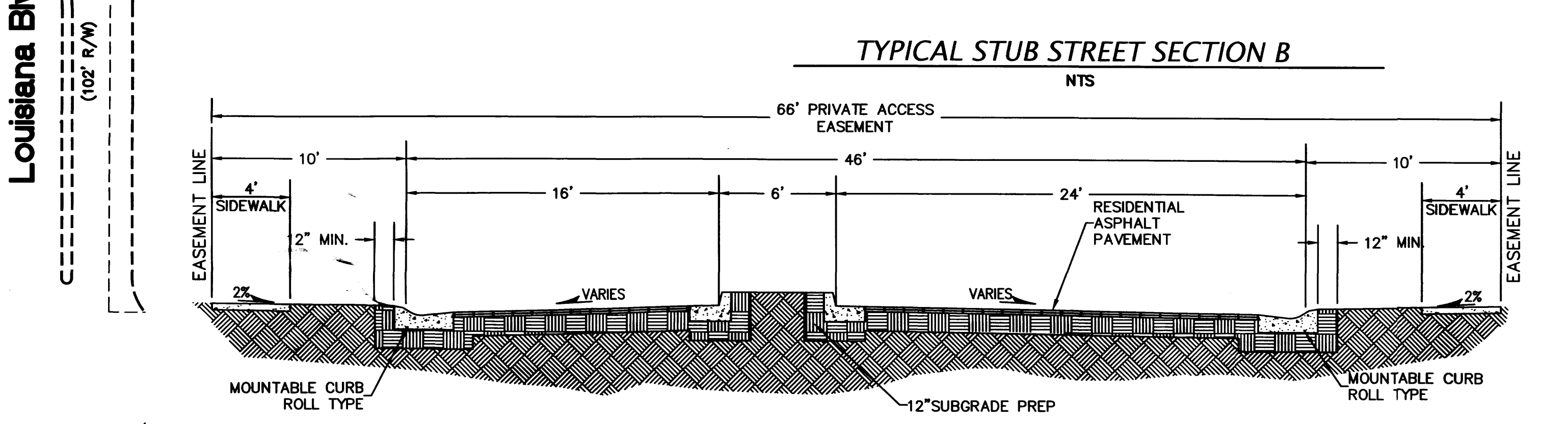
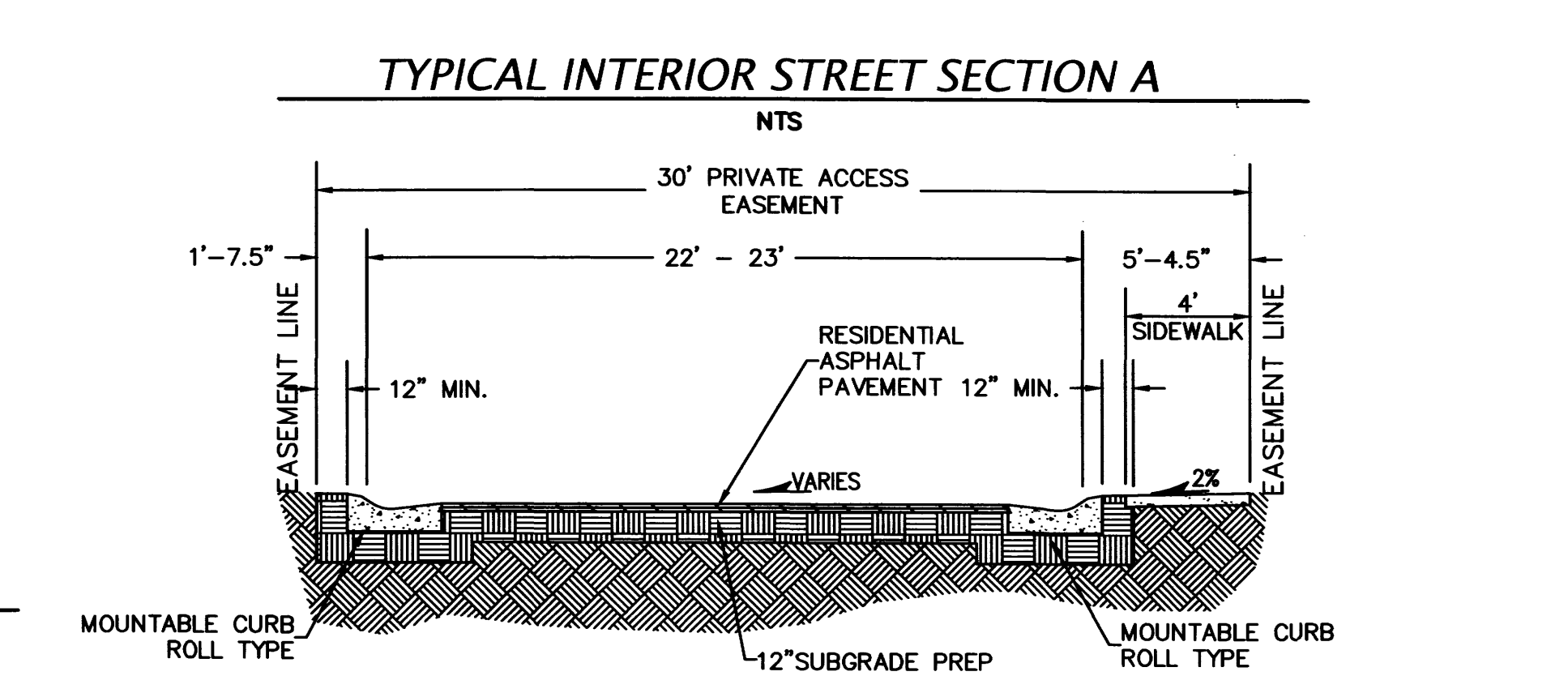
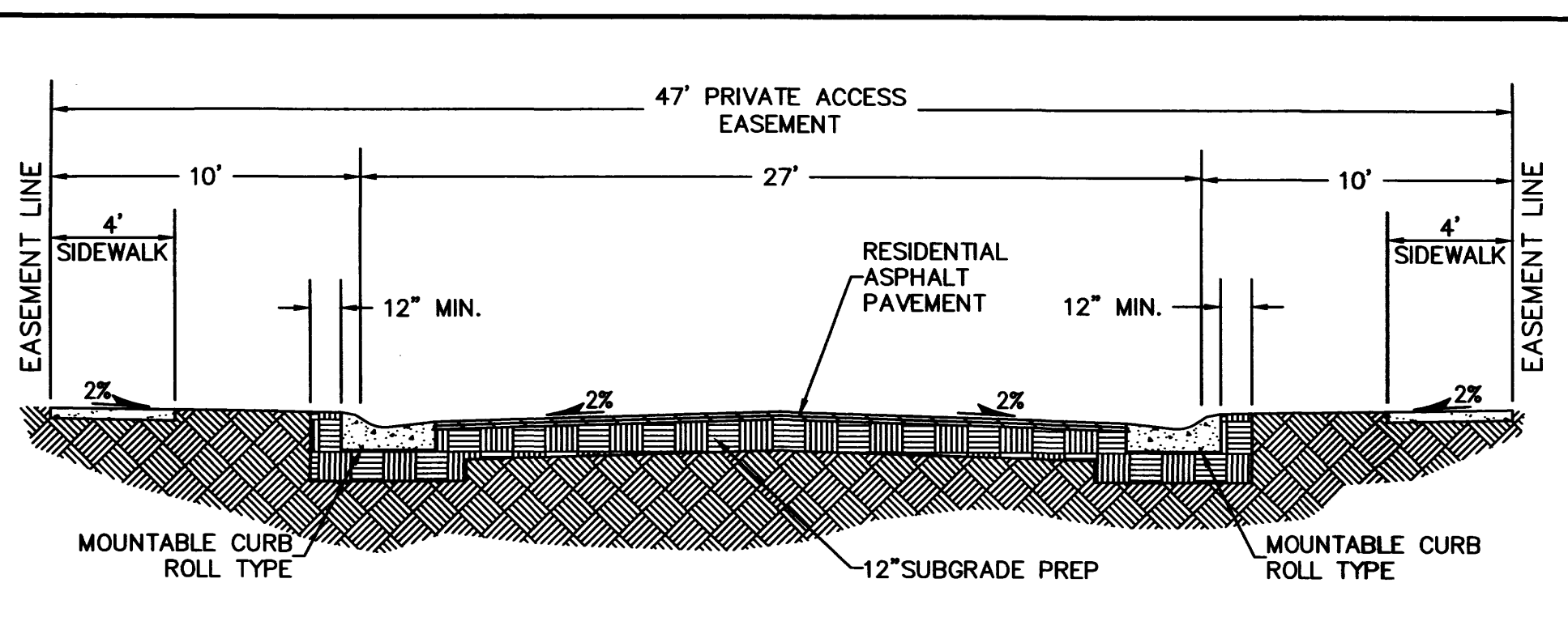
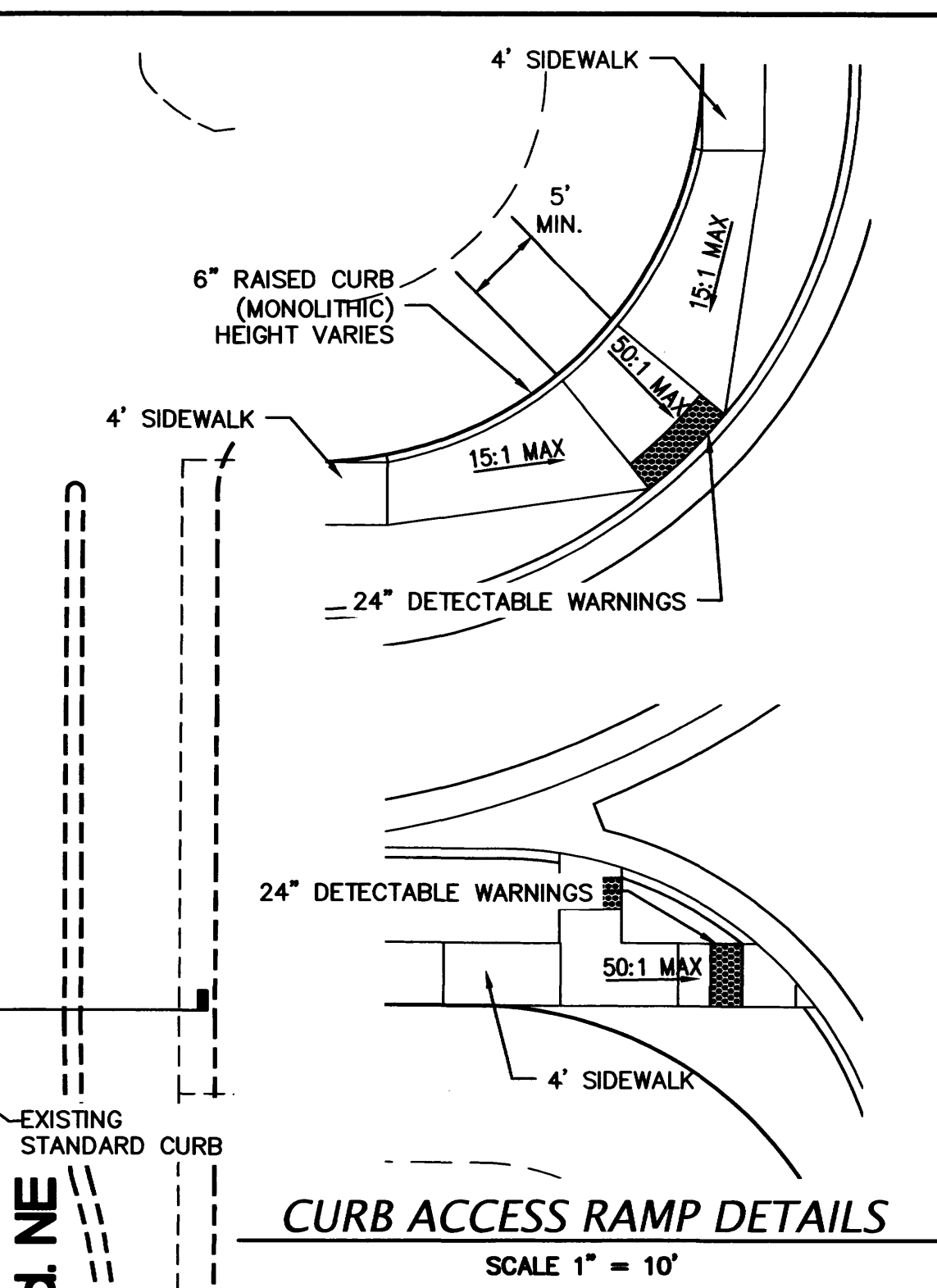
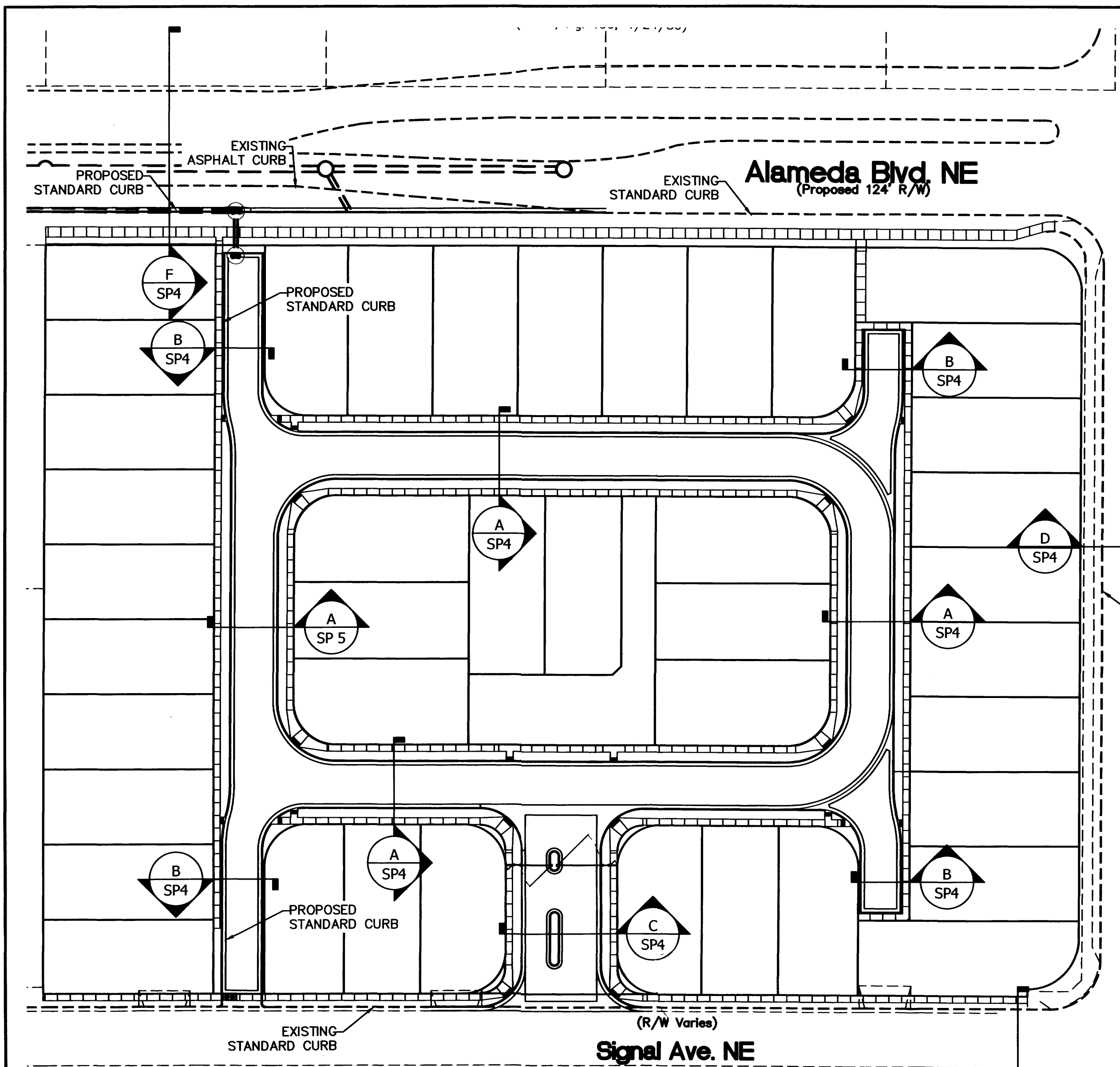
No.	Revision/Issue	Date

SEVANO PLACE
SITE DEVELOPMENT PLAN
Albuquerque, New Mexico



THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 514-0995

Sheet Title MASTER GRADING AND DRAINAGE PLAN	Sheet Number SP3
Date MAY 2, 2014	
Project No. 	



○ KEYED NOTES

No.	Revision/Issue	Date

SEVANO PLACE
SITE DEVELOPMENT PLAN
Albuquerque, New Mexico

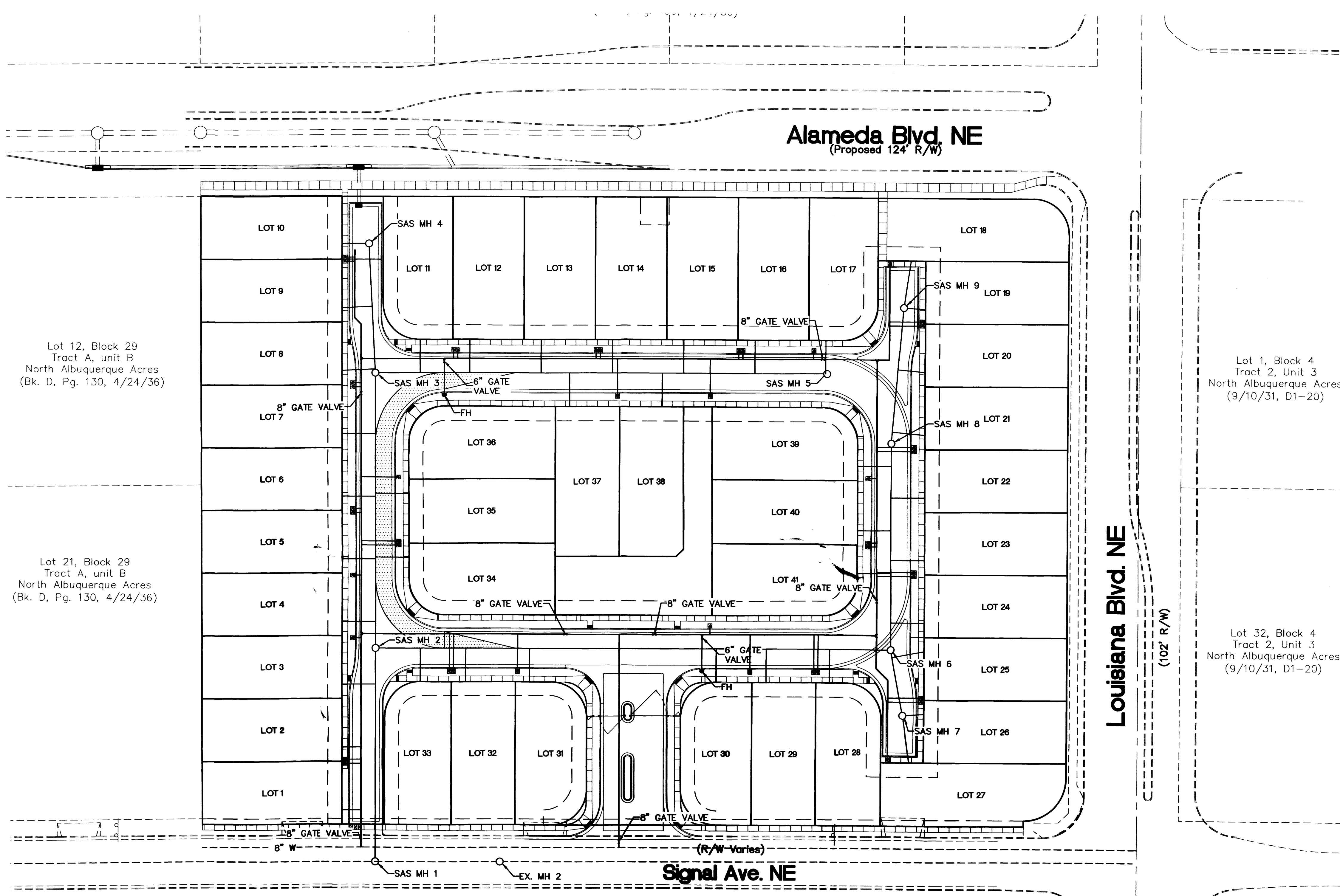
THE
group

THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 514-0995

Sheet Title: MASTER PAVING PLAN
Date: JUNE 6, 2014
Project No.:

Sheet Number: SP4

○ KEYED NOTES



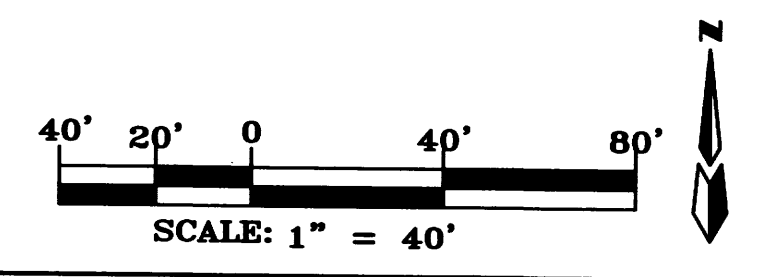
Lot 12, Block 29
Tract A, unit B
North Albuquerque Acres
(Bk. D, Pg. 130, 4/24/36)

Lot 21, Block 29
Tract A, unit B
North Albuquerque Acres
(Bk. D, Pg. 130, 4/24/36)

Lot 1, Block 4
Tract 2, Unit 3
North Albuquerque Acres
(9/10/31, D1-20)

Lot 32, Block 4
Tract 2, Unit 3
North Albuquerque Acres
(9/10/31, D1-20)

Sonora Subdivision
(10/11/01, 040, 374)



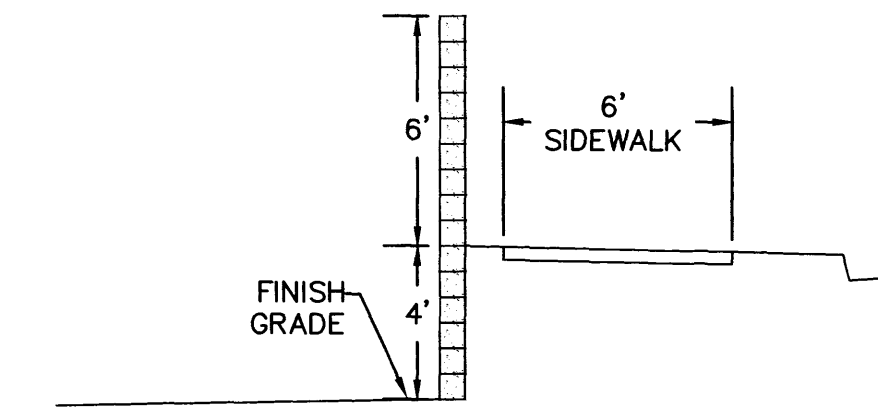
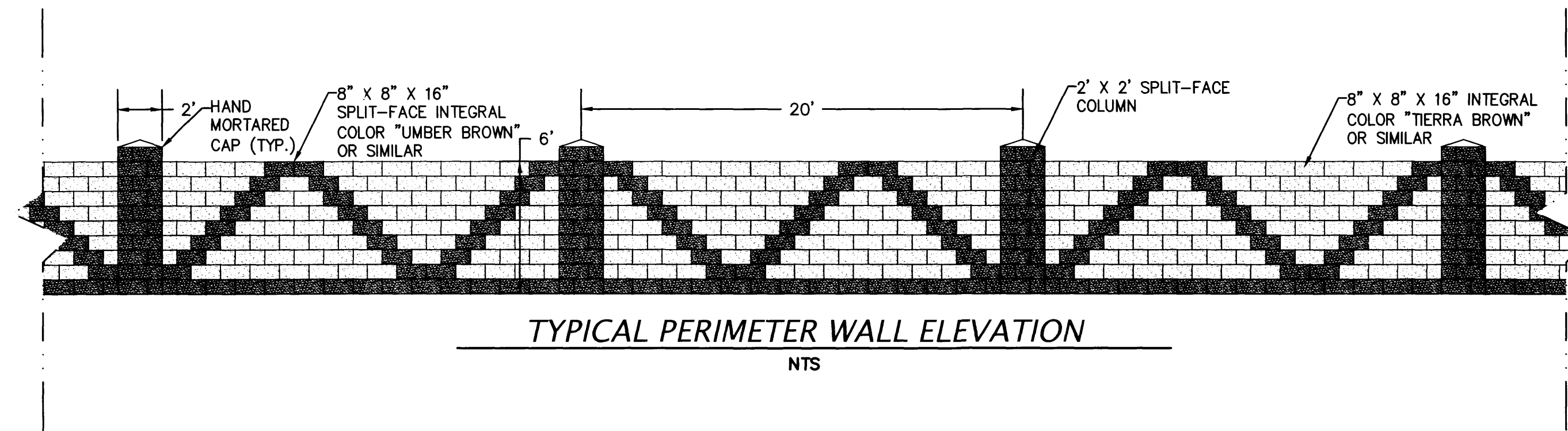
No.	Revision/Issue	Date

SEVANO PLACE
SITE DEVELOPMENT PLAN
Albuquerque, New Mexico

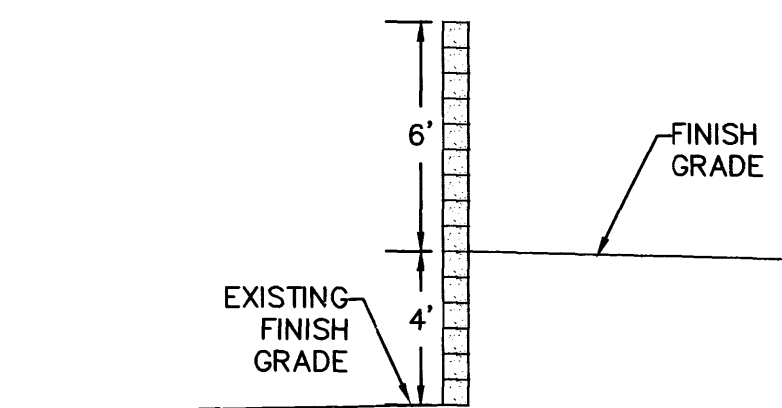
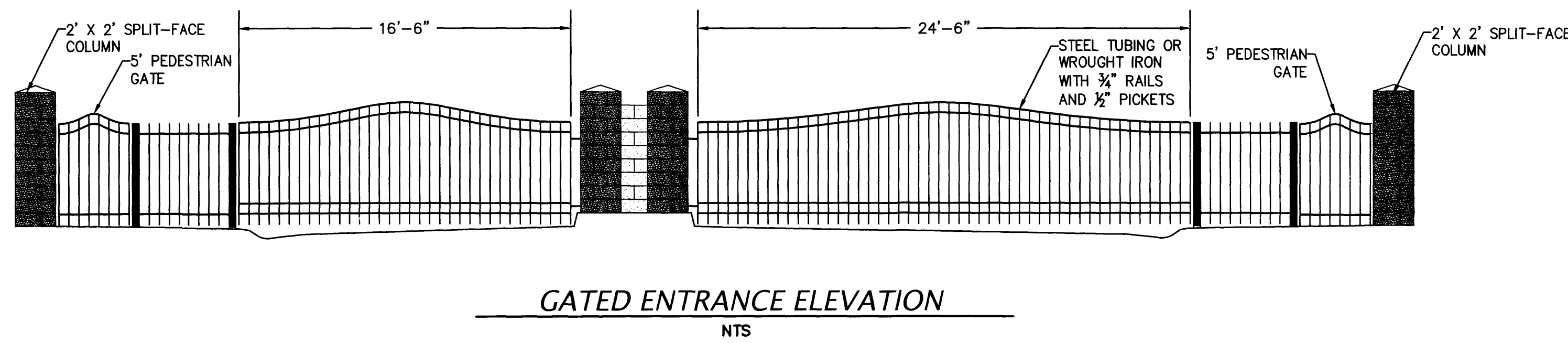


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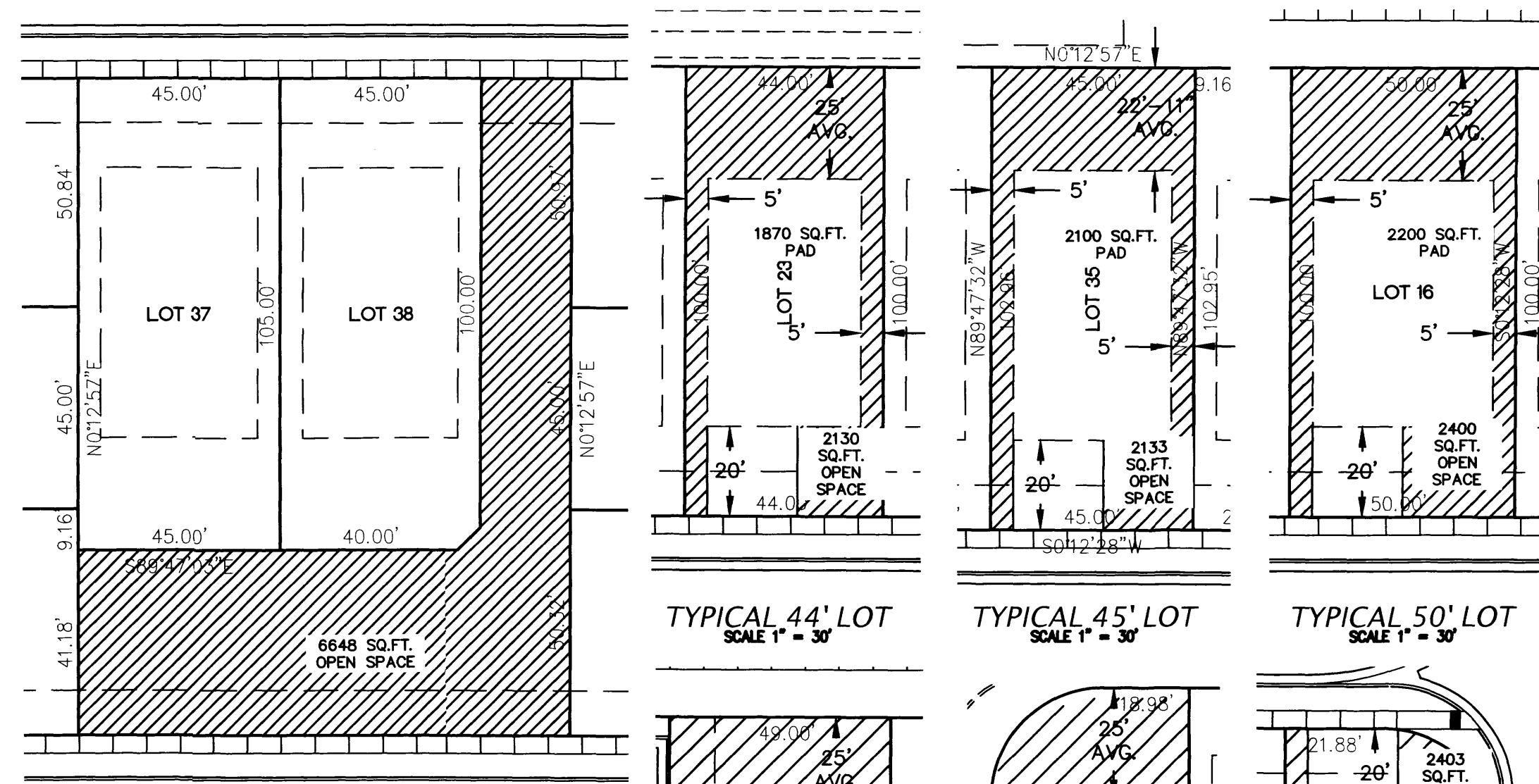
Sheet Title MASTER UTILITY PLAN	Sheet Number SP5
Date JUNE 6, 2014	
Project No.	



LOUISIANA BLVD. EAST WALL SECTION
NTS

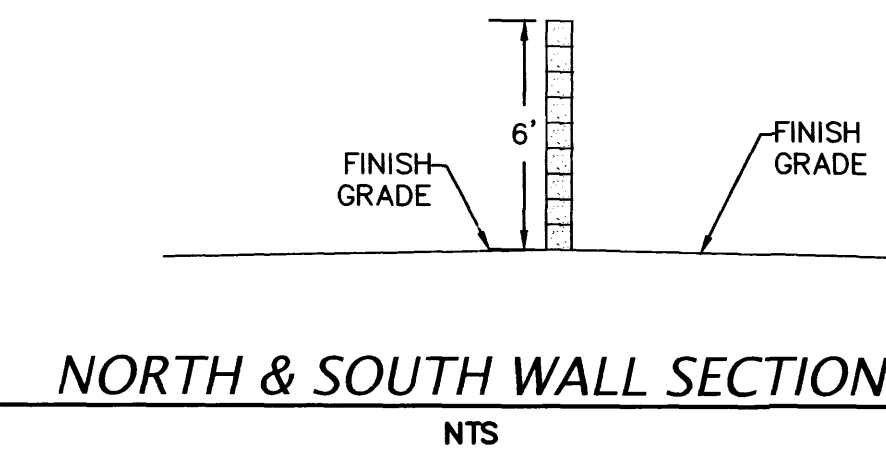


WEST WALL SECTION
NTS



OPEN SPACE DATA

LOT TYPE	COUNT	REQUIRED	PROVIDED
TYPICAL 44' LOTS:	18	18'2400=43200	18'2130=38340
TYPICAL 45' LOTS:	6	6'2400=14400	6'2133=12798
TYPICAL 50' LOTS:	5	5'2400=12000	5'2400=12000
LOTS 11, 17:	2	2'2400=4800	2'2496=4992
LOTS 18, 27:	2	2'2400=4800	2'2559=5118
LOTS 28, 33:	2	2'2400=4800	2'2403=4806
LOTS 30, 31:	2	2'2400=4800	2'2401=4802
LOTS 34, 36, 39, 41:	4	4'2400=9600	4'2586=10344
TRACT A:		N/A	8648
TOTAL	41	41'2400=98400	99848 SQ.FT.



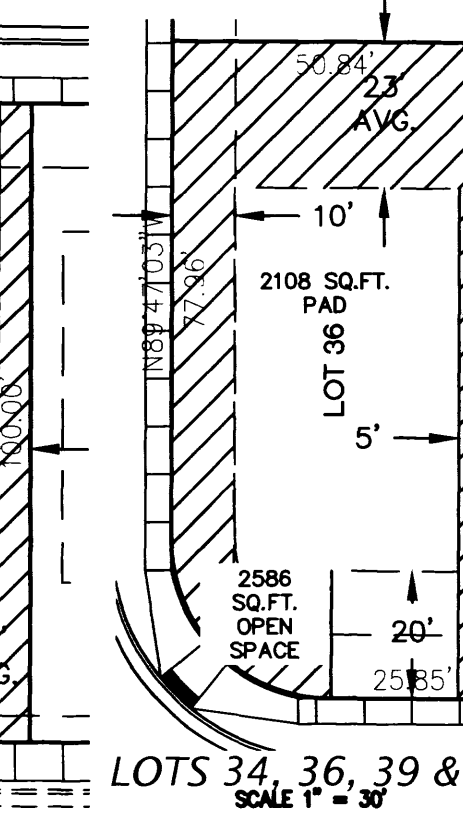
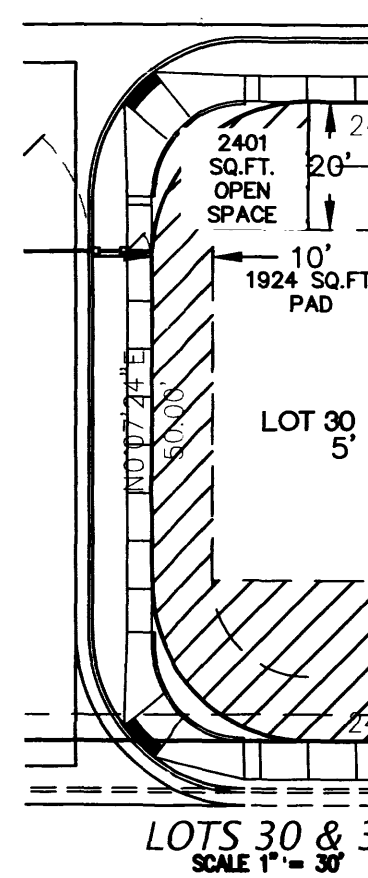
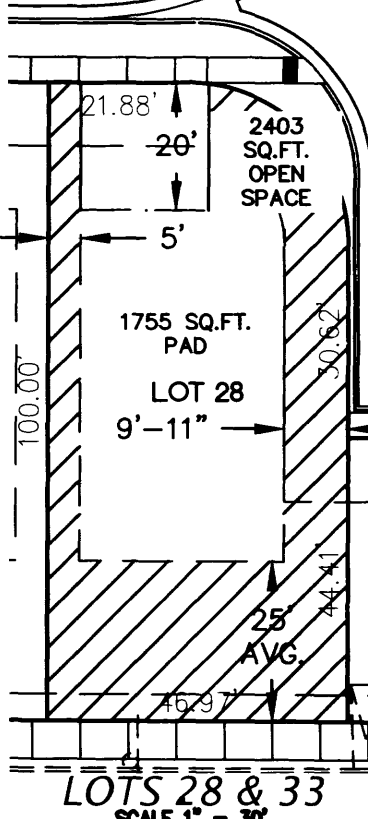
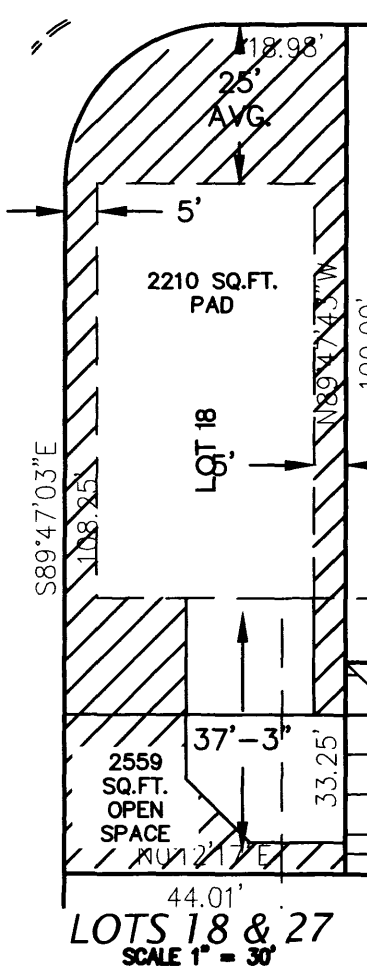
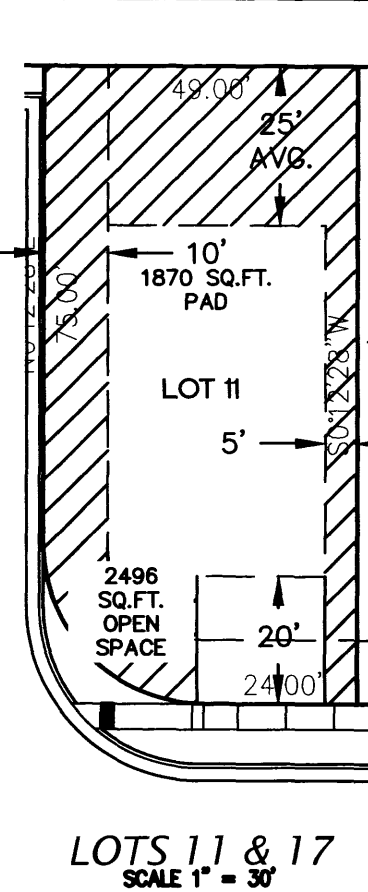
NORTH & SOUTH WALL SECTION
NTS

CENTRAL LANDSCAPE AREA
SCALE 1" = 30'

TYPICAL 44' LOT
SCALE 1" = 30'

TYPICAL 45' LOT
SCALE 1" = 30'

TYPICAL 50' LOT
SCALE 1" = 30'



No.	Revision/Issue	Date

SEVANO PLACE
SITE DEVELOPMENT PLAN
Albuquerque, New Mexico



THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone:(505) 514-0995

Sheet Title
ELEVATIONS AND DETAILS
Date
JUNE 6, 2014
Project No.

Sheet Number

SP6

SITE DEVELOPMENT PLAN FOR SUBDIVISION - SEVANO PLACE SUBDIVISION

Lot 17-22, Block 29
Tract A, Unit B
North Albuquerque Acres
(Bk. D, Pg. 130, 4/24/36)

Alameda Blvd. NE
(Proposed 124' D.O.T. R/W)

Louisiana Blvd. NE
(Proposed 102' D.O.T. R/W)

Signal Ave. NE

Sonora Subdivision
(10/4/94, 94C-334)

SITE INFORMATION

INTRODUCTION
THE PROPOSED DEVELOPMENT SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONING CODE.

1. SITE DESIGN

1.1. OVERALL LAYOUT OF SITE

THE REPLAT WILL CONSOLIDATE EIGHT (8) LOTS INTO FORTY ONE (41) SINGLE FAMILY RESIDENTIAL LOTS. THIRTY TWO FEET (32') OF THE NORTHERN BOUNDARY SHALL BE DEDICATED TO THE ALAMEDA BLVD. RIGHT OF WAY. THE RESIDENTIAL BUILDINGS SHALL BE ARRANGED ALONG AN EAST-WEST ORIENTED LOOP PRIVATE WAY WITH A VEHICULAR ACCESS TO SIGNAL AVE. THE RESIDENTIAL BUILDINGS SHALL BE SITUATED WITH FRONT ENTRANCES FACING THE LOOP PRIVATE WAY. 4' PEDESTRIAN WALKWAYS TRAVERSE BOTH SIDES OF THE PRIVATE WAY PROVIDING PEDESTRIAN CIRCULATION BETWEEN RESIDENCES. THE PEDESTRIAN WALKWAYS ALSO CONNECT TO THE PROPOSED PUBLIC SIDEWALKS ON ALAMEDA BLVD. AND SIGNAL AVE. THE SINGLE FAMILY RESIDENCES SHALL BE TWO STORY AND ONE STORY WITH GARAGES FACING THE PRIVATE WAY. 6' HIGH WROUGHT IRON VEHICULAR GATES AND KEYPAD AND 5' HIGH PEDESTRIAN GATES SHALL PROVIDE SECURITY FOR THE DEVELOPMENT. THE ENTRY VEHICULAR QUEUING SHALL ACCOMMODATE THREE (3) CAR LENGTHS. A CENTRALLY LOCATED LANDSCAPED AREA WITH SHADE STRUCTURE AND COMMUNITY MAILBOXES SHALL BE VISIBLE FROM THE MAIN ENTRANCE AND ACCESSIBLE FROM ALL LOTS.

1.2. BUILDING PLACEMENT, ORIENTATION, SETBACKS

THE RESIDENTIAL FRONT ENTRIES AND GARAGE DOORS SHALL FACE THE SUBDIVISION PRIVATE WAY. A CONCRETE DRIVEWAY (20' MINIMUM LENGTH) SHALL PROVIDE ACCESS TO THE TWO CAR GARAGES. FRONT YARD SETBACK SHALL BE FIFTEEN FEET (15') EXCEPT THAT DRIVEWAYS SHALL BE TWENTY FEET (20') LONG. SIDE YARD SETBACK SHALL BE FIVE FEET (5'). STREET SIDE CORNER SIDE YARD SETBACK SHALL BE TEN FEET (10'). REAR YARD SETBACK SHALL BE FIFTEEN FEET (15'). BUILDING HEIGHTS RANGE FROM 16' AT SINGLE STORY PEAK TO 26' AT TWO STORY PEAK.

1.3. PEDESTRIAN AND VEHICULAR CONNECTIVITY (INTERNAL & EXTERNAL)

THE SITE IS CONNECTED TO THE SURROUNDINGS. SIGNAL AVE. PEDESTRIAN ACCESS LIES TO THE SOUTH AND ALAMEDA BLVD. PEDESTRIAN AND BIKEWAY ACCESS LIES TO THE NORTH. INTERNAL TO THE SITE, 4' SIDEWALKS ON BOTH SIDES OF THE PRIVATE WAY CONNECT EACH RESIDENCE WITH ITS NEIGHBOR, THE NEW PUBLIC SIDEWALKS ON SIGNAL AVE. AND ALAMEDA BLVD. AND THE CENTRALLY LOCATED PARK. MULTI-DIRECTIONAL RAMPS AT STRATEGIC PRIVATE WAY CORNERS PROVIDE HANDICAP ACCESSIBILITY TO THE DEVELOPMENT. THE PROPOSED PRIVATE WAY PROVIDES A LOOP CONFIGURATION WITH ONE INGRESS/EGRESS ROAD THAT CONNECTS TO SIGNAL AVE. THE KEY VEHICULAR ENTRY POINT SHALL BE ACCENTUATED BY LANDSCAPE ELEMENTS AND SIGNAGE. A BICYCLE LANE THAT EXTENDS EAST TO LOUISIANA BLVD. IS SLATED FOR ALAMEDA BLVD.; THE DEVELOPMENT SHALL PROVIDE AN EASILY ACCESSED WALKWAY TO THE BIKEWAY VIA A PEDESTRIAN ACCESS IN THE NORTHWEST CORNER OF THE DEVELOPMENT. A SIDEWALK SHALL PROVIDE DIRECT ACCESS TO THE BUS TRANSIT STOP AT THE INTERSECTION OF SAN PEDRO AND ALAMEDA BLVD.

1.4. PARKING LOCATION AND DESIGN

OFF STREET RESIDENT PARKING IS PROVIDED AT EACH GARAGE AND ITS ACCOMPANYING DRIVEWAY. FOUR PARKING SPACES ARE ACCOMMODATED IN THIS WAY AT THE TWO CAR GARAGES. THE PRIVATE WAY WILL BE LINED ON BOTH SIDES WITH RESIDENT-PROVIDED PLANTINGS WHICH WILL ENHANCE THE RESIDENTIAL CHARACTER OF THE DEVELOPMENT.

1.5. PUBLIC OUTDOOR SPACES

THE CENTRALLY LOCATED LANDSCAPED PARK FEATURES A GAZEBO AND SHADE TREES. PEDESTRIAN WALKWAYS ALONG THE LOOP PRIVATE WAY PROVIDE EASY ACCESS TO THE PARK BY ALL RESIDENTS. A 6' HIGH WALL ENCOMPASSES THE ENTIRE DEVELOPMENT. CODE OR KEYPAD OPERATED SECURITY GATES AT ALL PEDESTRIAN AND VEHICULAR ENTRANCES FURTHER PROMOTE THE SENSE OF SAFETY AND OPPORTUNITIES FOR INTERACTION.

1.6. REFUSE & RECYCLE PICKUP

RECYCLE AND REFUSE PICKUP SHALL BE INDIVIDUAL CART TYPE WITH WEEKLY SCHEDULED PICKUP TIMES.

1.7. LOCATION, HEIGHT, DESIGN AND PURPOSE OF ALL WALLS AND WALL OPENINGS

THE DEVELOPMENT BLOCK WALLS PROVIDE PRIVACY AND SECURITY FOR THE RESIDENTS. ALL WALLS AND FENCES ARE SUBJECT TO SECTION 14-16-3-19 OF THE ZONING ORDINANCE. ALL WALLS SHALL BE 6'-0" IN HEIGHT ABOVE HIGH GROUND ELEVATION; THEY SHALL BE EXPOSED BLOCK WITH REPEATING PATTERNS AND VARIEGATED TEXTURES.

1.8. LOCATION, HEIGHT, DESIGN AND PURPOSE OF LIGHTING

LIGHTING SHALL COMPLY WITH THE NIGHT SKY ORDINANCE AND ALL REQUIREMENTS IN SECTION 14-16-3-9 OF THE ZONING ORDINANCE. RESIDENCE-MOUNTED LIGHTING ELEMENTS SHALL BE INCANDESCENT, METAL HALIDE OR HALOGEN ONLY. RESIDENCE MOUNTED FLOODLIGHTS (MAXIMUM 75 WATT BULBS) SHALL BE SHIELDED OR AIMED IN SUCH A WAY THAT THEY DO NOT SHINE INTO OTHER LOTS OR THE STREET.

1.9. SCREENING / BUFFERING TECHNIQUES

MULTIPLE STREET SHADE TREES SCREEN RESIDENCES FROM ADJACENT ROADWAY WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT. AT MATURITY, THESE TREES SHALL CREATE A COOLING MICRO CLIMATE.

1.10. GREEN FEATURES

WATER HARVESTING CISTERN AND COLLECTION SYSTEM TECHNIQUES SHALL BE ENCOURAGED.

2. STREET REALM

2.1. TRANSIT/BICYCLE/PEDESTRIAN AMENITIES

THE SITE IS ACCESSIBLE TO TRANSIT ROUTES ON ALAMEDA BLVD., WHICH IS A PRINCIPAL ARTERIAL. CITY OF ALBUQUERQUE "ABQ RIDE" BUS STOP IS LOCATED AT SAN PEDRO DR. AND ANAHEIM BLVD ONE-HALF BLOCK FROM THE DEVELOPMENT. THE SITE ABUTS A PROPOSED CITY DESIGNATED BIKE ROUTE ON ALAMEDA BLVD. N.E. WHICH WILL EXTEND TO LOUISIANA BLVD. N.E.

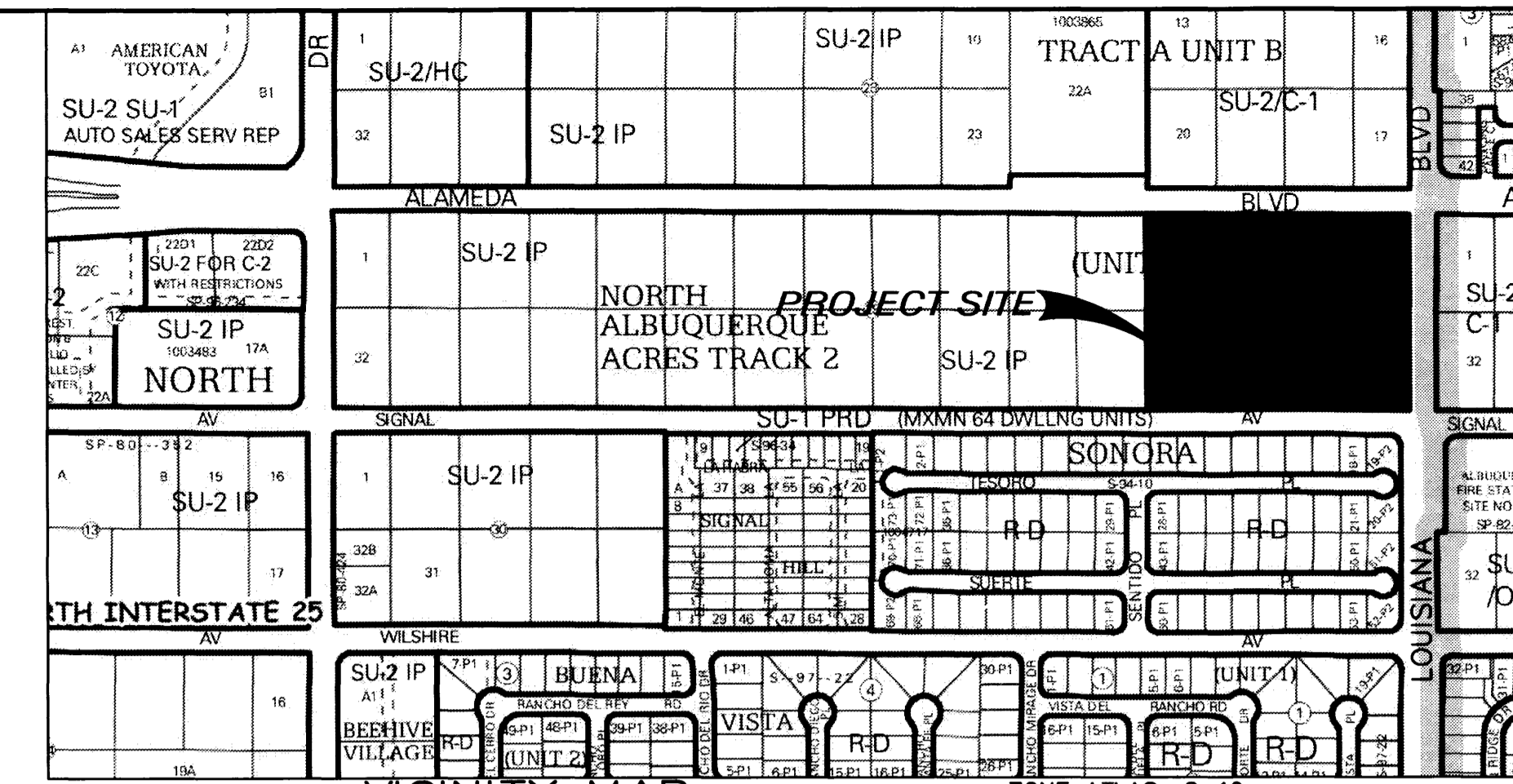
3. LANDSCAPING

LANDSCAPING IS A KEY ELEMENT OF THE DESIGN. IT IS INTEGRAL TO THE GOAL OF PROVIDING PLACES THAT PROMOTE COMMUNITY AND ENRICH THE LIVES OF THE AREA RESIDENTS.

THE LANDSCAPE NETWORK CONSISTS OF:
STREET SHADE TREES ALONG ALAMEDA BOULEVARD SHALL BE SITUATED IN LANDSCAPE STRIPS W/ ROCK OR BARK GROUNDCOVER.
STREET TREE SPACING SHALL BE DETERMINED BY TREE CANOPY AT FULL MATURITY.

INTERIOR STREET SCAPE STREET SHADE TREES, AND LANDSCAPING IN AND AROUND UNIT DRIVEWAYS SHALL BE PROVIDED AND MAINTAINED BY INDIVIDUAL RESIDENCE OWNERS. AT MINIMUM, RESIDENTS SHALL PLANT ONE 8'-0" TO 12M" TALL SHADE TREE AT THE STREET FRONTAGE. IN ADDITION 5 - 8 (FIVE TO EIGHT) 5 GALLON SHRUBS SHALL BE LOCATED IN A GRAY ROCK/COBBLE ACCENT LANDSCAPING SCHEME.

DECIDUOUS STREET SHADE TREES PROVIDE PASSIVE SOLAR MITIGATION OF PAVED SURFACES. THE LANDSCAPING SHALL BALANCE THE DENSITY OF THE HOUSING UNITS AND CREATE HUMAN SCALE. THE TREE SPECIES SHALL BE VARIED TO AVOID MONOCULTURE.



VICINITY MAP

LEGAL DESCRIPTION

SEVANO PLACE SUBDIVISION
(BEING A REPLAT OF LOT 13-20, BLOCK 29, TRACT A, UNIT B)
WITHIN NORTH ALBUQUERQUE ACRES IN PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST ELENA GALLEGOS LAND GRANT NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

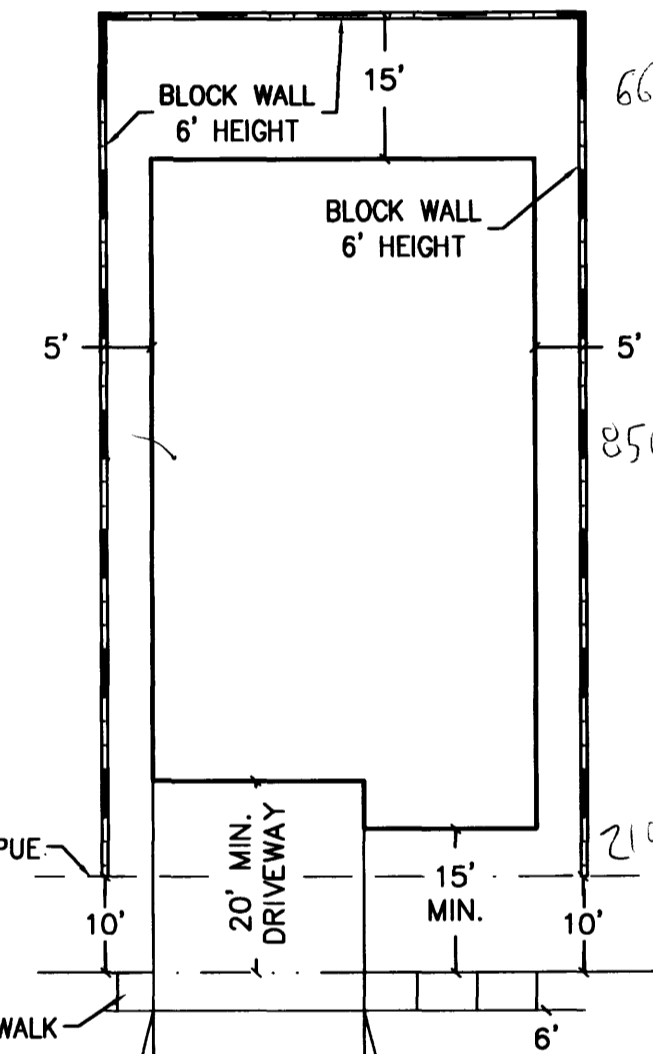
BUILDING DATA

MAXIMUM DWELLING UNITS	41
MAXIMUM BUILDING HEIGHT	26'
MINIMUM BUILDING SETBACKS:	
FRONT	15'
DRIVEWAY	20'
SIDE	5'
STREET SIDE AT CORNER	10'

SUBDIVISION DATA

PROJECT LOCATION
BETWEEN ALAMEDA BLVD. AND SIGNAL AVE. WEST OF LOUISIANA BLVD.

ZONE ATLAS MAP	C-19
GROSS ACERAGE	6.62 AC
NUM. OF LOTS COMBINED	8
NUM. OF LOTS CREATED	41
EXISTING ZONING	R-D
DATE OF SURVEY	MARCH 2014



TYPICAL LOT
SCALE 1" = 20'

SUGGESTED PLANT SPECIES AS SHOWN ARE NOT MANDATORY, HOWEVER ANY SUBSTITUTIONS WILL BE LIMITED TO MEDIUM OR LOW WATER USE SPECIES. PLANT SPECIES SHOULD REFLECT THE CHARACTER AND SCALE OF THE SURROUNDING NEIGHBORHOOD.

3.1. REQUIREMENTS

THE STREET SCAPE ALONG ALAMEDA BOULEVARD SHALL CONSIST OF TREES IN THE PLANTING STRIP BETWEEN THE SIDEWALK AND THE PROPERTY LINE. THESE TREES SHALL HAVE A HIGH BRANCHING CANOPY TO ALLOW CLEAR SPACE FOR PEDESTRIANS AND REDUCE POTENTIAL FOR DAMAGE FROM PASSING VEHICLES. THE CLEAR SITE TRIANGLE REQUIREMENT SHALL BE IMPOSED ON THE SIGNAL AVE./PRIVATE WAY INTERSECTION. A CLEAR SITE TRIANGLE AT INTERSECTIONS MUST BE MAINTAINED 35 FEET FROM INTERSECTING FLOW LINES OF GUTTERS. A VERTICAL CLEARANCE BETWEEN 3 AND 8 FEET MEASURED FROM THE GUTTER PAN MUST BE FREE OF VISUAL OBSTRUCTION. TREES & SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. UNDERSTORY BRANCHES FROM TREES SHALL NOT HANG LOWER THAN 8'.

3.2. WATER CONSERVATION TECHNIQUES

THE LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION, LANDSCAPE, POLLEN CONTROL AND WASTE WATER ORDINANCES.

4. BUILDING DESIGN

4.1. CONTEXT

THE PROPOSED DEVELOPMENT SITS IN AN AREA OF DIVERSE ZONING CATEGORIES. EXISTING INDUSTRIAL AND WHOLESALE WAREHOUSING USES EXIST SIDE BY SIDE WITH RESIDENTIAL DEVELOPMENTS. NUMEROUS COMMERCIAL USES ARE IN EVIDENCE EAST OF THE I-25/ALAMEDA INTERCHANGE. ON THE SOUTH ARE MULTI STORY MOTELS SUCH AS THE STAYBRIDGE AND THE BURGER KING FAST FOOD ESTABLISHMENT. ON THE NORTH, NUMEROUS VEHICLE DEALERSHIPS ARE ARRAYED ALONG THE NORTHBOUND INTERSTATE. THESE INCLUDE AMERICAN TOYOTA AND MERCEDES BENZ OF ALBUQUERQUE.

4.2. ARCHITECTURAL THEME OR STYLE

THE PROPOSED RESIDENTIAL BUILDING DESIGNS SHALL BE CONSISTENT WITH THE PREDOMINANT NEIGHBORING RESIDENTIAL DEVELOPMENTS. BOTH TWO AND ONE STORY CONFIGURATIONS WILL BE USED. ARCHITECTURAL STYLES SHALL RANGE FROM PITCHED SHINGLE ROOF/FRAME-STUCCO DESIGN TO FLAT ROOF/FRAME-STUCCO DESIGN. PARAPETS FOR FLAT ROOF DESIGNS SHALL NOT EXCEED 15% OF THE HEIGHT OF THE SUPPORTING WALL AND SHALL SHIELD THE VIEW OF THE ROOF MATERIAL FROM ANY PUBLIC OR PRIVATE RIGHT-OF-WAY. COMPLEMENTARY STUCCO COLORS APPLIED TO ALTERNATING BUILDINGS ADD VARIETY AND FURTHER THE NEIGHBORHOOD "LOOK".

4.3. BUILDING HEIGHT, SCALE, MASSING, MATERIALS, COLORS AND ARTICULATION

THE DEVELOPMENT IS ORGANIZED TO EMPHASIZE A RESIDENTIAL NEIGHBORHOOD RESPONSE TO THE SITE. THE BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING THE PRIVATE WAY. THE BUILDING DESIGNS SHALL INCORPORATE PRUDENT USE OF BOTH VERTICAL AND HORIZONTAL ARTICULATION AS APPROPRIATE TO RESIDENTIAL DESIGN. AN EARTH TONED PALETTE SHALL BE IN EVIDENCE AT ALL OF THE EXTERIOR BUILDING WALLS AND SURROUNDING PROPERTY LINE WALLS.

5. APPROVAL PROCESS

THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT MAY BE SLIGHTLY MODIFIED OR ADJUSTED, IF NECESSARY, TO ASSURE CONSISTENCY WITHIN THE DEVELOPMENT AND TO ALLOW FLEXIBILITY FOR THE DEVELOPER TO POSITIVELY REFINE THE DEVELOPMENT TO MITIGATE DESIGN CHALLENGES AND ENHANCE DESIGN OPPORTUNITIES. MODIFICATION PROCEDURES AND THE SUBSEQUENT APPROVAL PROCESS SHALL BE AS SPECIFIED FOR PROPERTIES IN THE NORTH 1 - 25 SECTOR DEVELOPMENT PLAN.

KEYED NOTES

1	PERIMETER MASONRY DECORATIVE WALL 6' TO 8' HEIGHT
2	26' ROW DEDICATION
3	4' EASEMENT TO BE VACATED
4	4' SIDEWALK
5	6' HIGH WROUGHT IRON VEHICULAR SECURITY GATE WITH KEYPAD, SEE ELEVATION SHEET
6	6' HIGH WROUGHT IRON PEDESTRIAN SECURITY GATE WITH KEYPAD, SEE ELEVATION SHEET
7	32' ROW DEDICATION
8	MULTI-DIRECTIONAL ADA RAMP
9	UNI-DIRECTIONAL ADA RAMP
10	MASONRY PLAIN FACE WALL 6' HEIGHT
11	GANG TYPE MAILBOX
12	LANDSCAPED PARK, SEE LANDSCAPE PLAN
13	6' SIDEWALK
14	LOT LINE TO BE REMOVED

PROJECT #: 100519/
DATE: 7-9-14
APP #: 14-1098 (VPE)
14-1099 (PP)
14-1020 (SPS)

LEGEND

---	PROPERTY LINE
---	NEW CURB AND GUTTER & SIDEWALK
---	EX CURB AND GUTTER & SIDEWALK

SHEET LIST

SHEET NUMBER	SHEET NAME
SP1	SITE DEVELOPMENT PLAN
SP2	LANDSCAPE PLAN
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLAN
L3	LANDSCAPE PLAN
SP3	MASTER GRADING AND DRAINAGE PLAN
SP4	MASTER PAVING PLAN
SP5	MASTER UTILITY PLAN
SP6	ELEVATIONS & DETAILS

No.	Revision/Issue	Date

SEVANO PLACE SITE DEVELOPMENT PLAN
Albuquerque, New Mexico

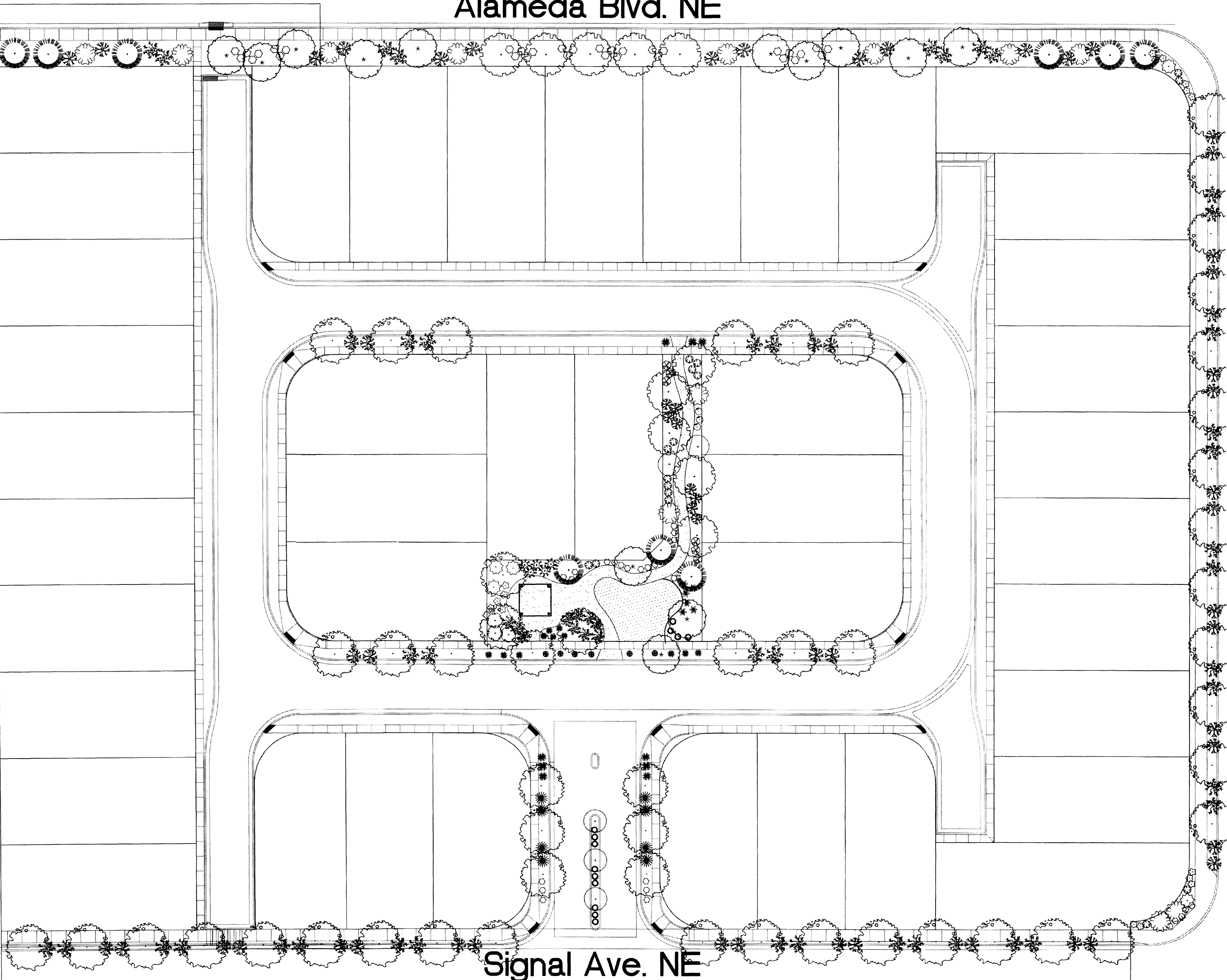


THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 514-0995

Sheet Title	Sheet Number
SITE DEVELOPMENT PLAN	SP1
Date	
JUNE 6, 2014	
Project No.	

Alameda Blvd. NE

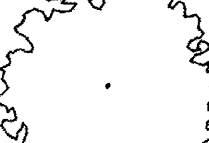


Signal Ave. NE




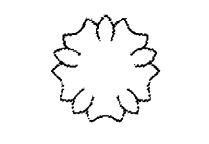
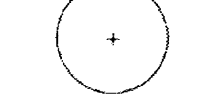
PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

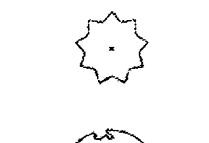
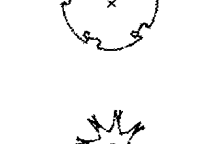
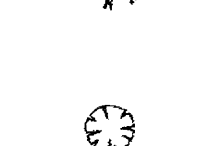

SHADE TREES


-  **AUTUMN PURPLE ASH**
Fraxinus americana
2" Gal., 12'-14" Inst./60' x 50' maturity
Water (M) Allergy (H) Osf
-  **HONEY LOCUST**
Gleditsia triacanthos
2" Gal., 12'-14" Inst./50' x 50' maturity
Water (M) Allergy (L) Osf
-  **EASTERN REDBUD**
Cercis canadensis
2" Gal., 8'-10" Inst./30' x 30' maturity
Water (M) Allergy (L) Osf


ORNAMENTAL TREES

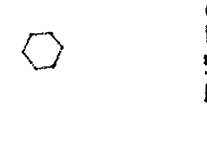
-  **AUSTRIAN PINE**
Pinus nigra
15 Gal., 4'-6" Inst., 35' x 25' maturity
Water (M) Allergy (L) Osf
-  **ROCKY MOUNTAIN JUNIPER**
Juniperus scopulorum
15 Gal., 4'-10" Inst./20' x 20' maturity
Water (M) Allergy (L) 225sf
-  **NEW MEXICO OLIVE**
Forsythia neomexicana
15 Gal., 4'-10" Inst./15' x 15' maturity
Water (M) Allergy (L) 225sf


SHRUBS


-  **RED TWIG DOGWOOD**
Cornus sericea
5 Gal., 2'-4" Inst./9' x 12' maturity
Water (M+) Allergy (L) 144sf
-  **BUTTERFLY BUSH**
Buddleia davidii
5 Gal., 12'-3" Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
-  **PHOTINIA**
Photinia Fraseri
5 Gal., 2'-4" Inst./8' x 8' maturity
Water (M+) Allergy (L) 64sf
-  **MANHATTAN EUONYMUS**
Euonymus kiautschovicus
5 Gal., 6'-15" Inst./5' x 5' maturity
Water (L) Allergy (L) 25sf


-  **KARL FOERSTER REED GRASS**
Calamagrostis x acutiflora 'Karl Foerster'
5 Gal., 12'-3" Inst./3' x 3' maturity
Water (M) Allergy (L) 9sf


-  **KNOCKOUT ROSE**
Rosa
5 Gal., 3'-15" Inst./3' x 3' maturity
Water (M+) Allergy (L) 9sf


-  **CARPET ROSE**
Rosa
5 Gal., 3'-15" Inst./2' x 3' maturity
Water (M) Allergy (L) 9sf


-  **BEARGRASS**
Nolina microcarpa
5 Gal., 18'-3" Inst./5' x 6' maturity
Water (L+) Allergy (L) 36sf


-  **MUGO PINE**
Pinus mugo
5 Gal., 12'-3" Inst./3' x 3' maturity
Water (M) Allergy (L) 9sf


-  **RED YUCCA**
Hesperaloe parviflora
5 Gal., 18'-3" Inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf

-  **INDIAN HAWTHORN**
Raphiolepis indica
5 Gal., 18'-3" Inst./6' x 6' maturity
Water (M) Allergy (L) 36sf



-  **MAIDENGRASS**
Miscanthus sinensis
5 Gal., 18'-3" Inst./5' x 5' maturity
Water (M+) Allergy (L) 25sf

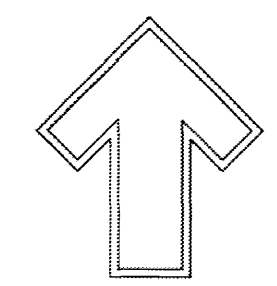
-  **MAHONIA**
Mahonia aquifolium
5 Gal., 12'-3" Inst./2' x 3' maturity
Water (M) Allergy (L) 9sf

-  **GREYLEAF COTONEASTER**
Cotoneaster glaucophyllus
5 Gal., 24"-4" Inst./2' x 4' maturity
Water (M) Allergy (L) 81sf

-  **BUFFALO JUNIPER**
Juniperus sabinia 'Buffalo'
5 Gal., 24"-4" Inst./2' x 8' maturity
Water (L+) Allergy (L) 64sf

GROUNDCOVERS

-  **GREYLEAF COTONEASTER**
Cotoneaster glaucophyllus
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Water (M) Allergy (L) 81sf
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Fax (505) 898-7737
cmj@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



5 / 15 / 14

STILLBROOKE HOMES
SEVANO PLACE
LANDSCAPE PLAN

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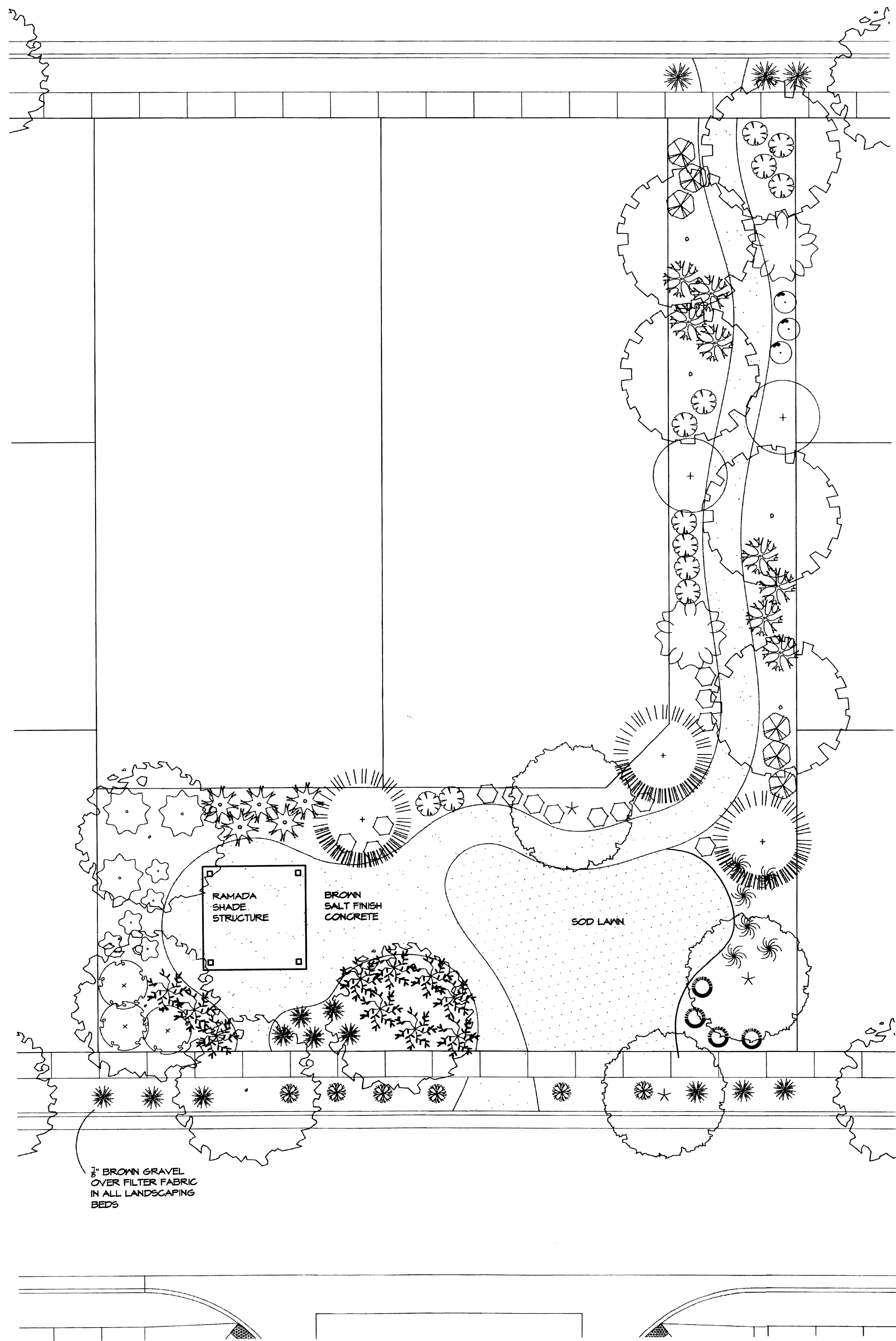
GRAPHIC SCALE



SCALE: 1"=40'

DRAWN BY CS
REVISION # 1/3 CND
DATE APRIL 2014

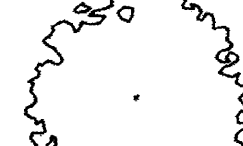


SHEET #
L1 OF L3




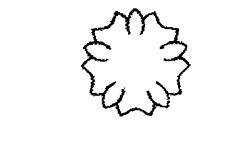

PLANT LEGEND

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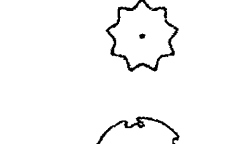
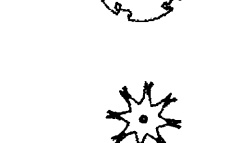


SHADE TREES


-  **AUTUMN PURPLE ASH**
Fraxinus americana
2" Gal., 12'-14" Inst./60' x 60' maturity
Water (M) Allergy (H) 0sf
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Gleditsia triacanthos
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Cercis canadensis
2" Gal., 8'-10" Inst./30' x 30' maturity
Water (M) Allergy (L) 0sf


ORNAMENTAL TREES


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15 Gal., 4'-6" Inst., 35' x 25' maturity
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Juniperus scopulorum
15 Gal., 4'-10" Inst./20' x 20' maturity
Water (M) Allergy (L) 225sf
-  **NEW MEXICO OLIVE**
Forestiera neomexicana
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Water (M) Allergy (L) 225sf


SHRUBS


-  **RED TWIG DOGWOOD**
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Euonymus kiautschovicus
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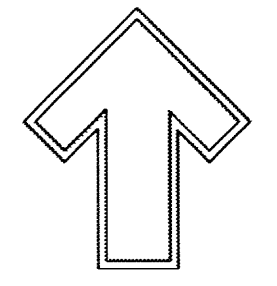
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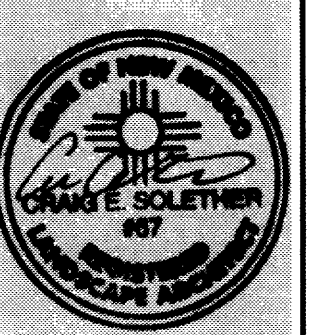
-  **GREYLEAF COTONEASTER**
Cotoneaster glaucophyllus
5 Gal., 24"-4" Inst./2' x 9' maturity
Water (M) Allergy (L) 81sf

-  **BUFFALO JUNIPER**
Juniperus sabinus 'Buffalo'
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LANDSCAPE ARCHITECT'S SEAL



5/15/14

STILLBROOKE HOMES
SEVANO PLACE

POCKET PARK LANDSCAPE PLAN

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REVISION # 14
1/15-15-14
DATE: APRIL 2014

SHEET #
L2 of L2

GRAPHIC SCALE

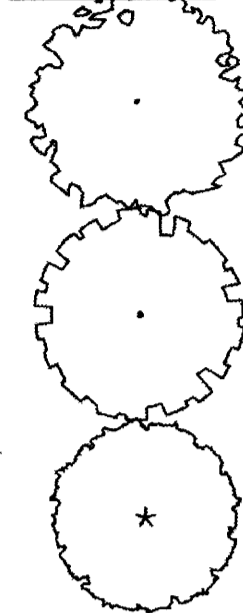


SCALE: 1"=10'

PLANT LEGEND

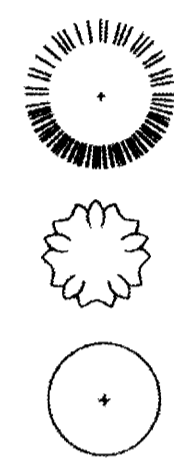
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SHADE TREES



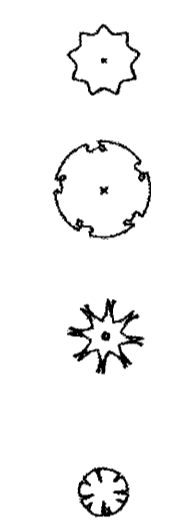
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ORNAMENTAL TREES



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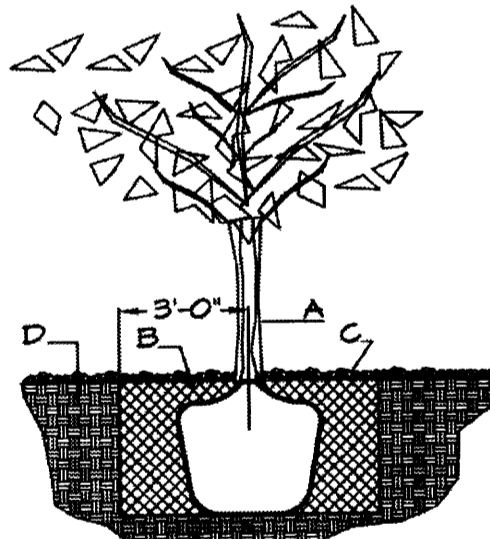
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- BUFFALO JUNIPER**
Juniperus sabina 'Buffalo'
5 Gal., 24'-4" Inst./2' x 8' maturity
Water (L+) Allergy (L) 64sf

GROUNDCOVERS



TREE PLANTING DETAIL

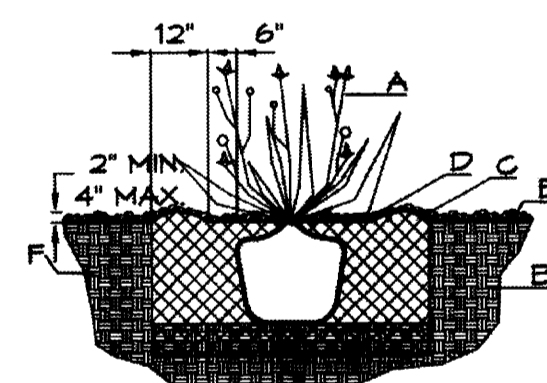
NTS

GENERAL NOTES:

- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
- TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
- PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
- PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- TREE
- BACKFILL WITH EXISTING SOIL.
- 3" DEPTH OF GRAVEL MULCH.
- UNDISTURBED SOIL.



SHRUB PLANTING DETAIL

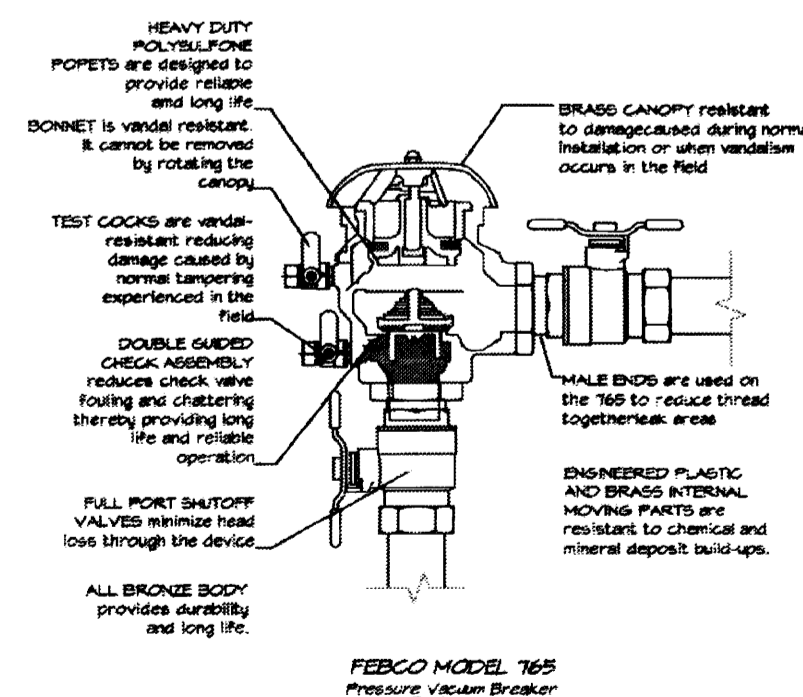
NTS

GENERAL NOTES:

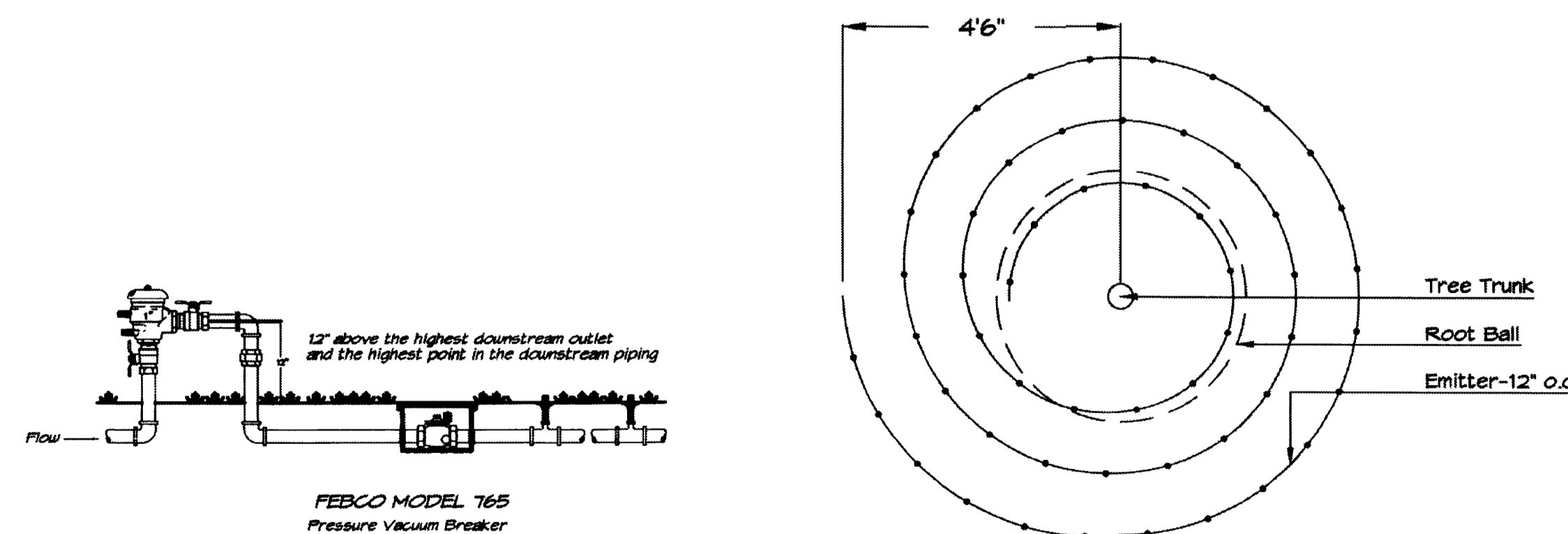
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

- SHRUB
- BACKFILL WITH EXISTING SOIL.
- EARTH BERM AROUND WATER RETENTION BASIN.
- 3" DEPTH OF GRAVEL MULCH.
- FINISH GRADE.
- UNDISTURBED SOIL.



FEBCO MODEL 765
Pressure Vacuum Breaker
Features



Netafim Spiral Detail

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

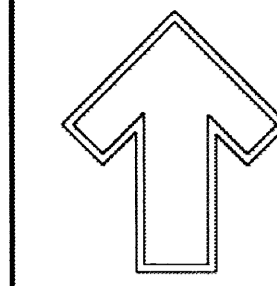
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9990
Fax. (505) 898-7737
cmj@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



5 / 15 / 14

STILLBROOKE HOMES
SEVANO PLACE

LANDSCAPE NOTES AND LEGEND

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and are not to be used or copied without their written consent. This is an original design and must not be copied or used in any other project.

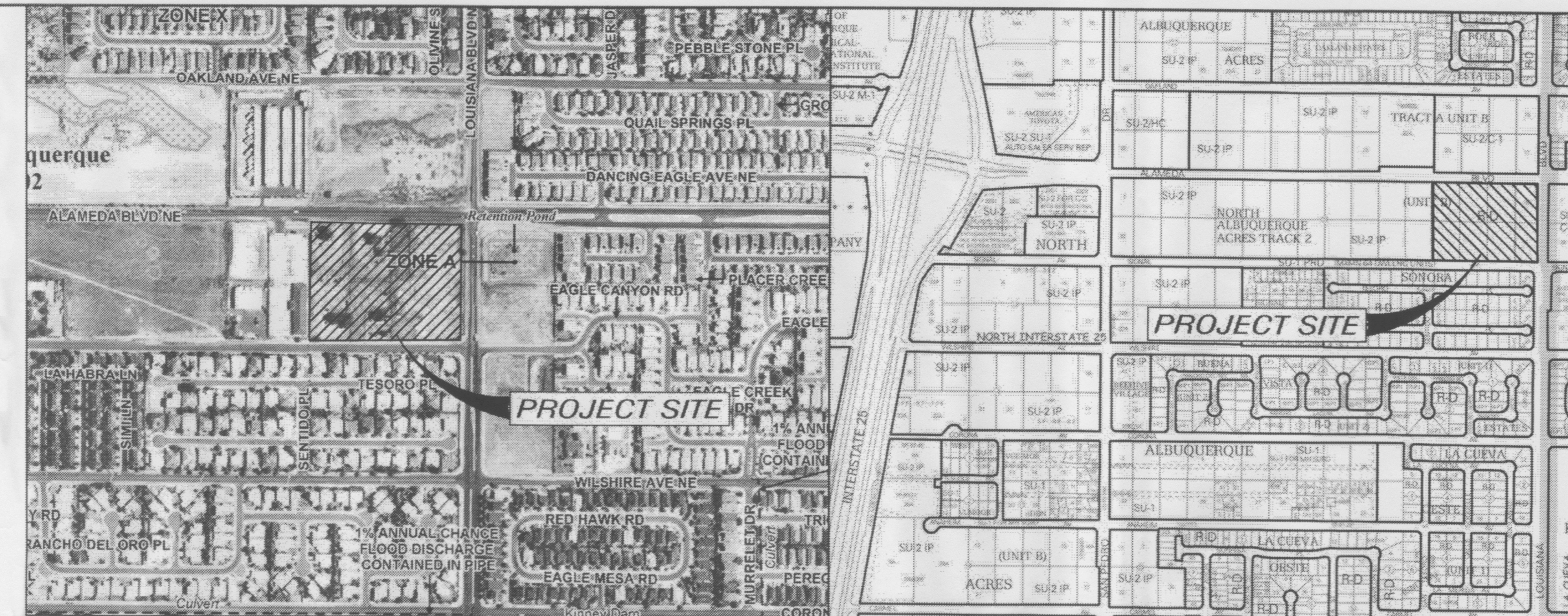
The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: CS
REVISION: 1/2-15-14
DATE: APRIL 2014

SHEET #
L3 of L3

EROSION CONTROL NOTES

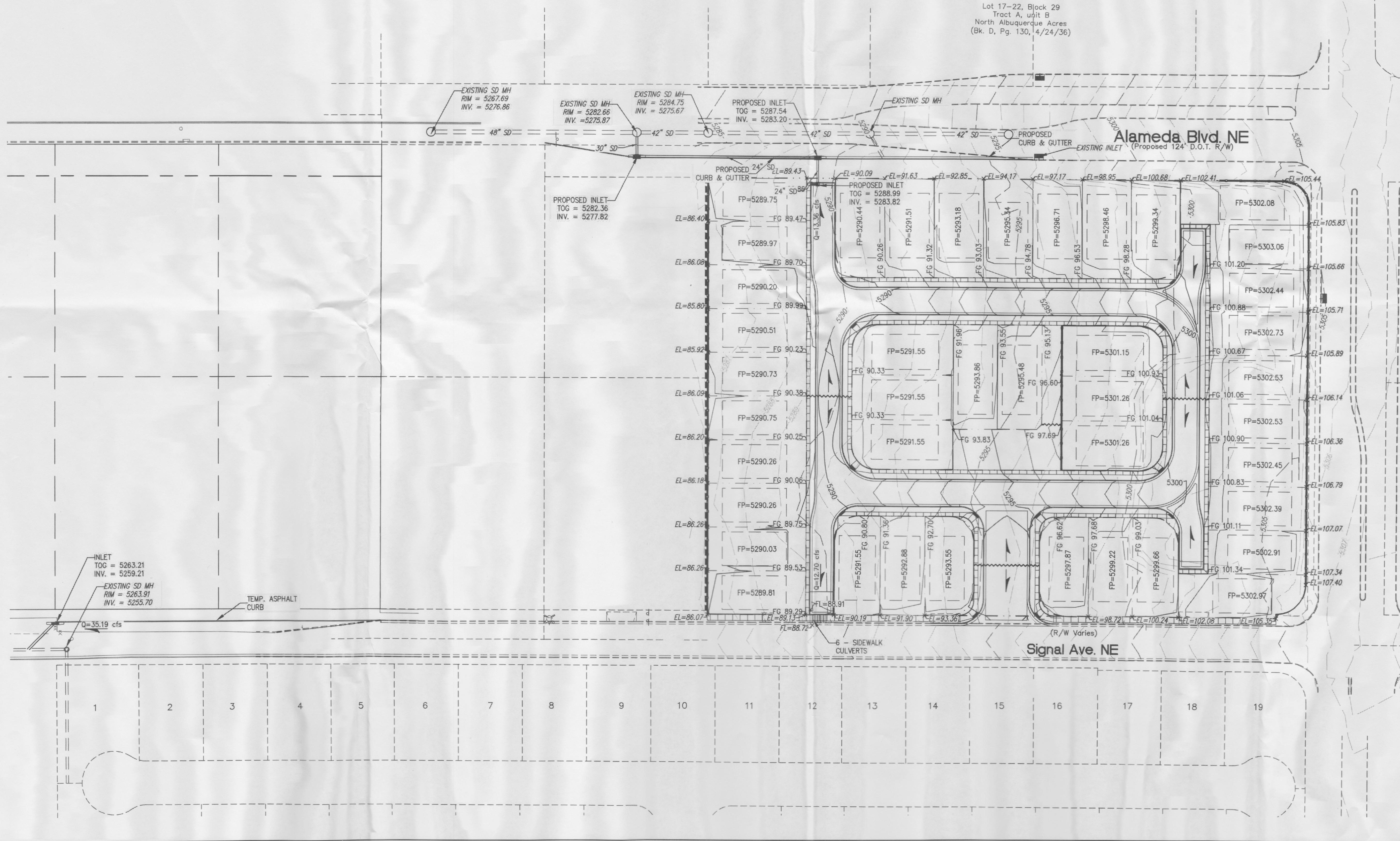
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



FIRM MAP NO. 35001C0141H

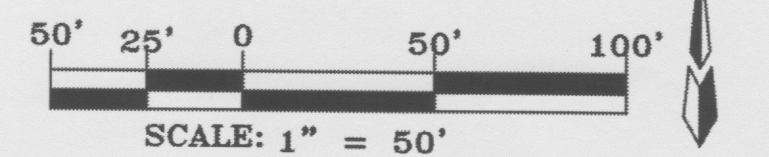
VICINITY MAP C-18-Z

Lot 17-22, Block 29
Tract A, Unit B
North Albuquerque Acres
(Bk. D, Pg. 130, 14/24/36)



KEYED NOTES

- LEGEND**
- FLOW ARROW
 - SLOPE ARROW
 - EL=11.28 PROPOSED ELEVATION
 - 66.33 EXISTING ELEVATION
 - GRADE BREAK
 - EXISTING CONTOUR
 - EXISTING CONTOUR
 - PROPOSED EASEMENT
 - 4.00% PROPOSED GRADE
 - EXISTING WALL
 - PROPOSED RETAINING WALL



No.	Revision/Issue	Date

SEVANO PLACE
SITE DEVELOPMENT PLAN
FOR SUBDIVISION
Albuquerque, New Mexico



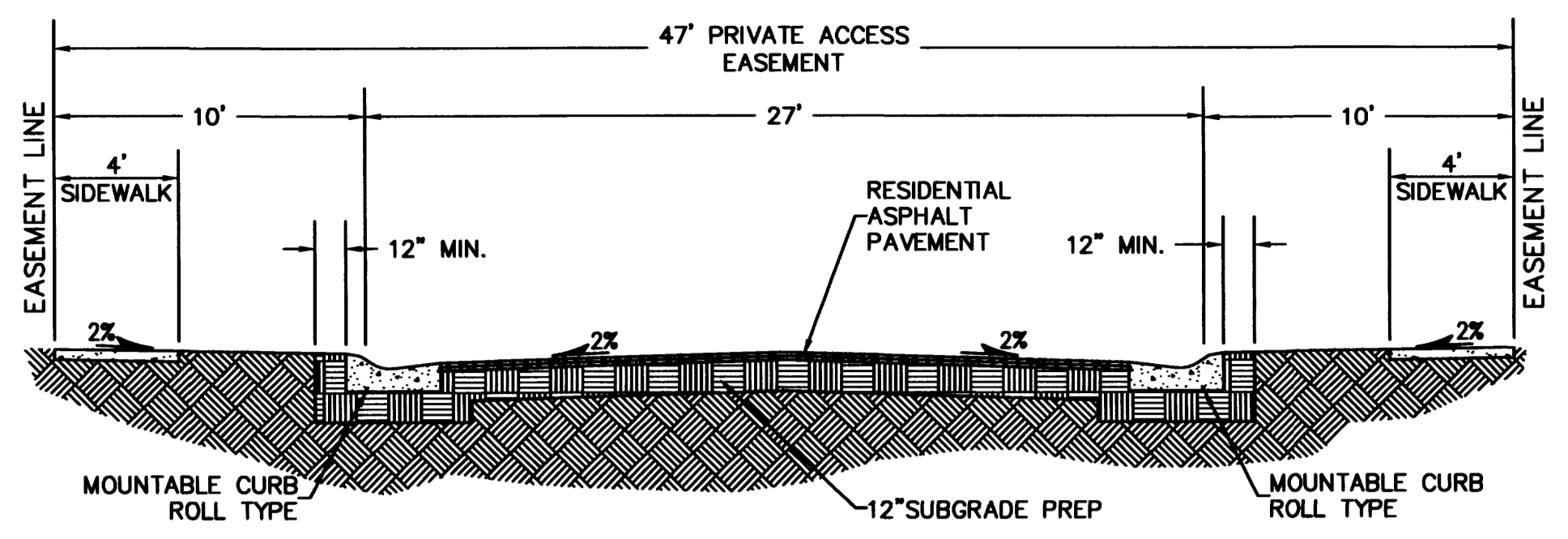
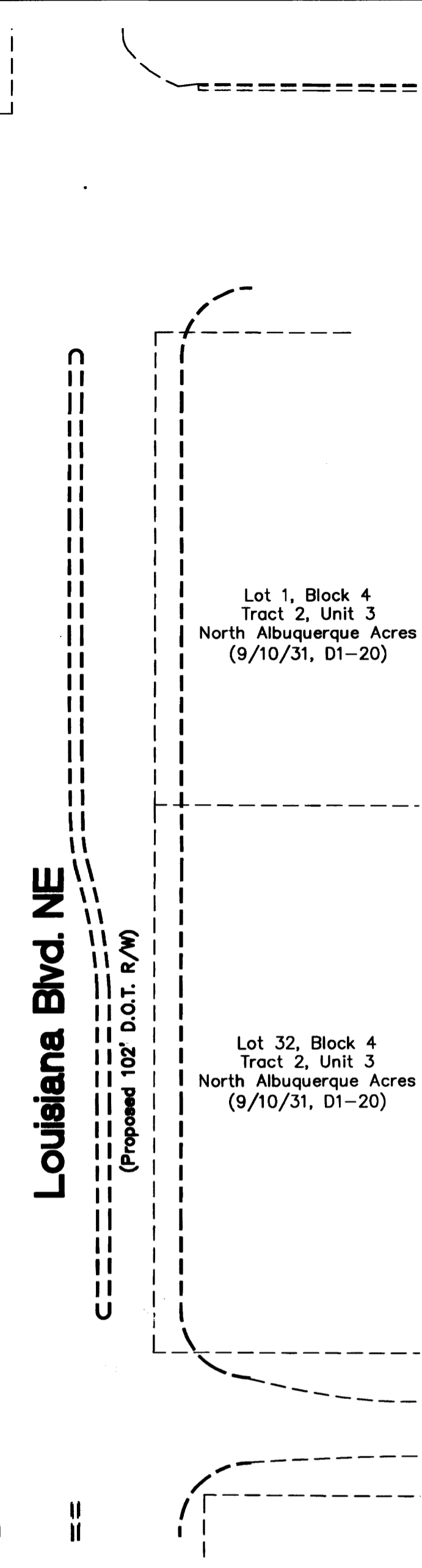
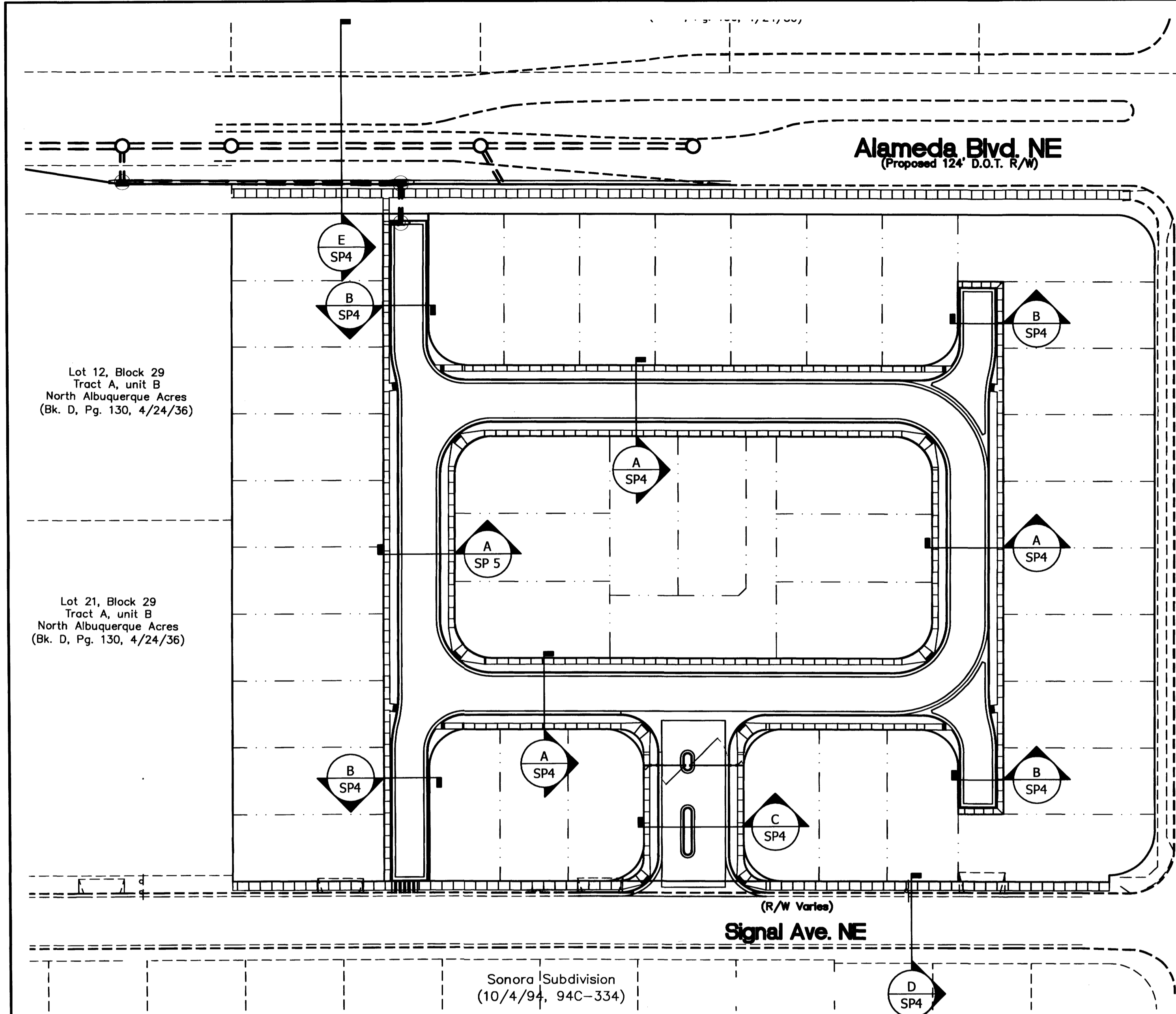
THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 514-0995

Sheet Title
MASTER GRADING AND DRAINAGE PLAN

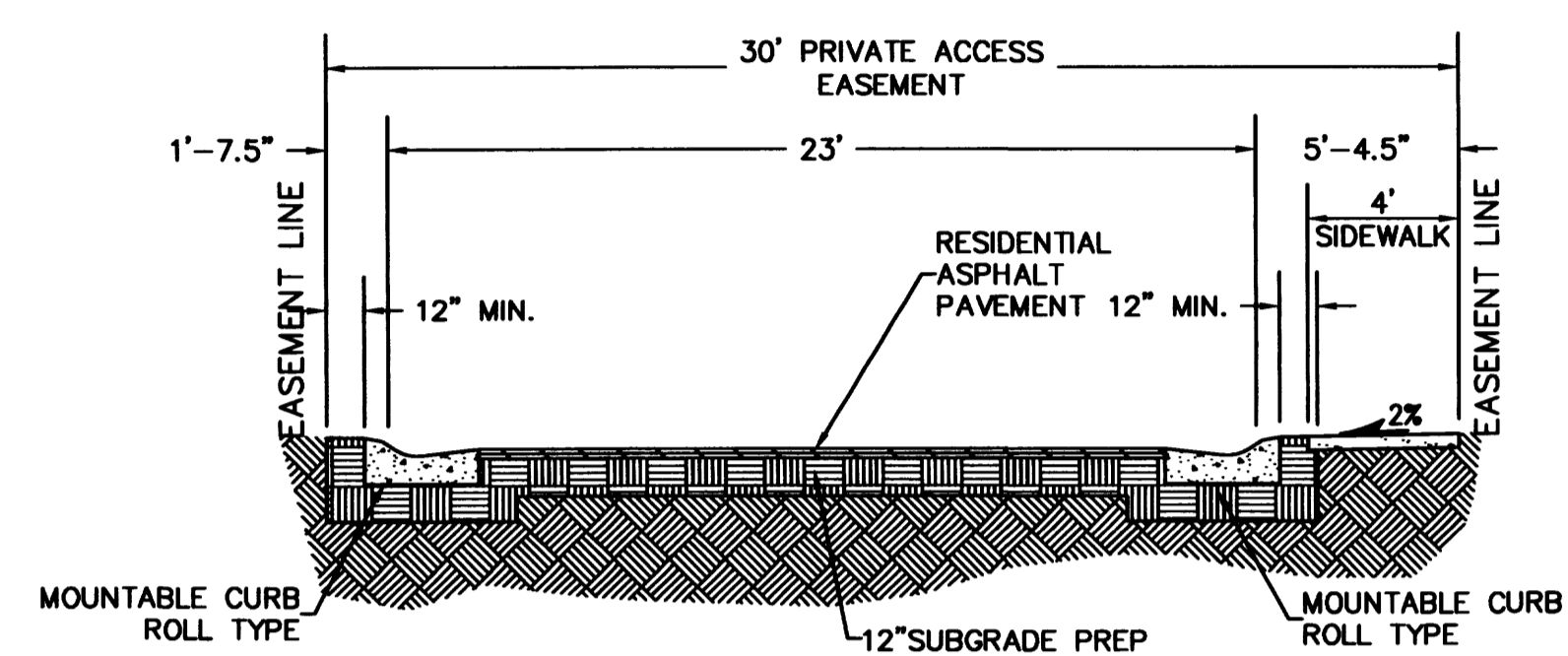
Date
MAY 2, 2014

Project No.

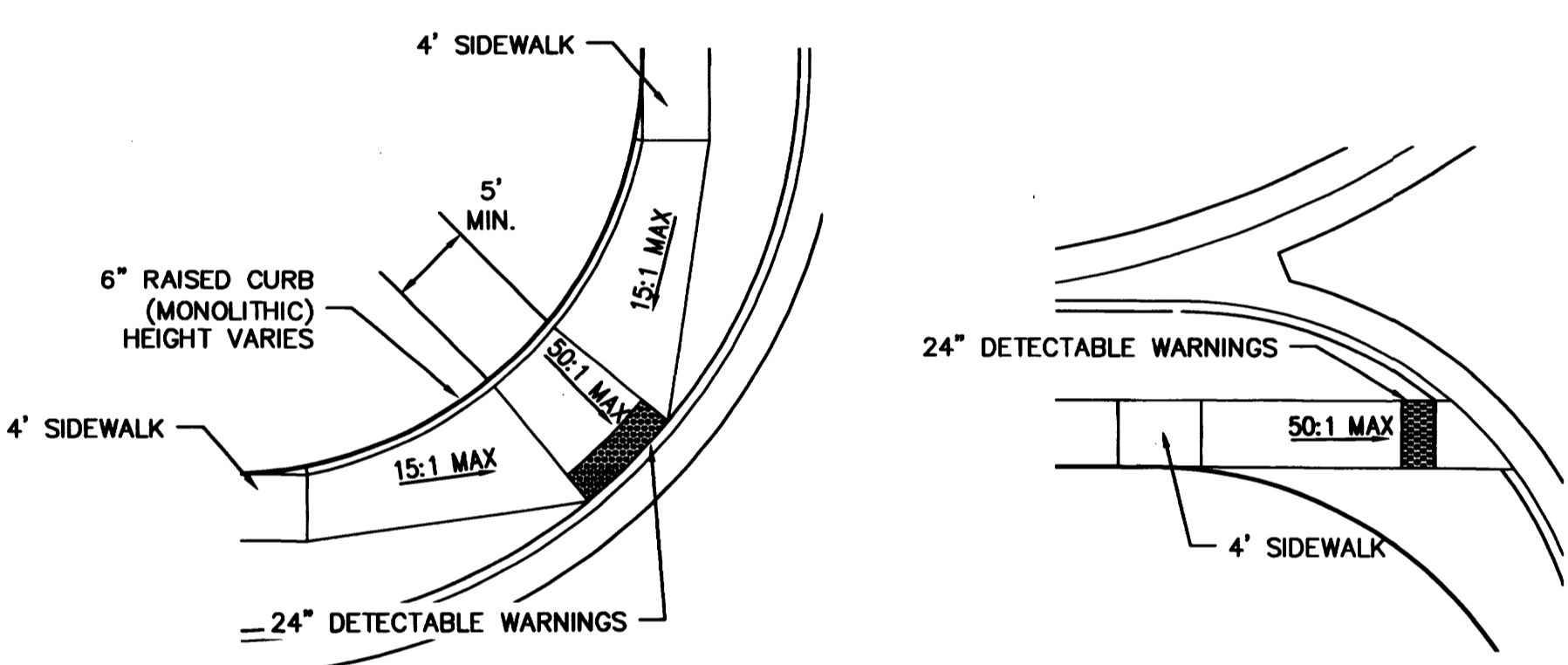
Sheet Number
SP3



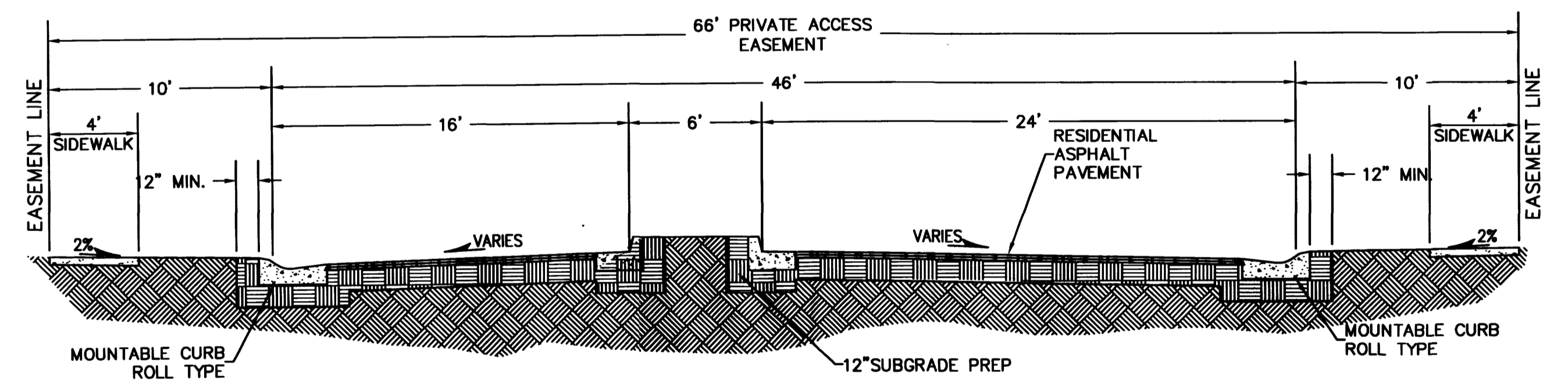
TYPICAL INTERIOR STREET SECTION A
NTS



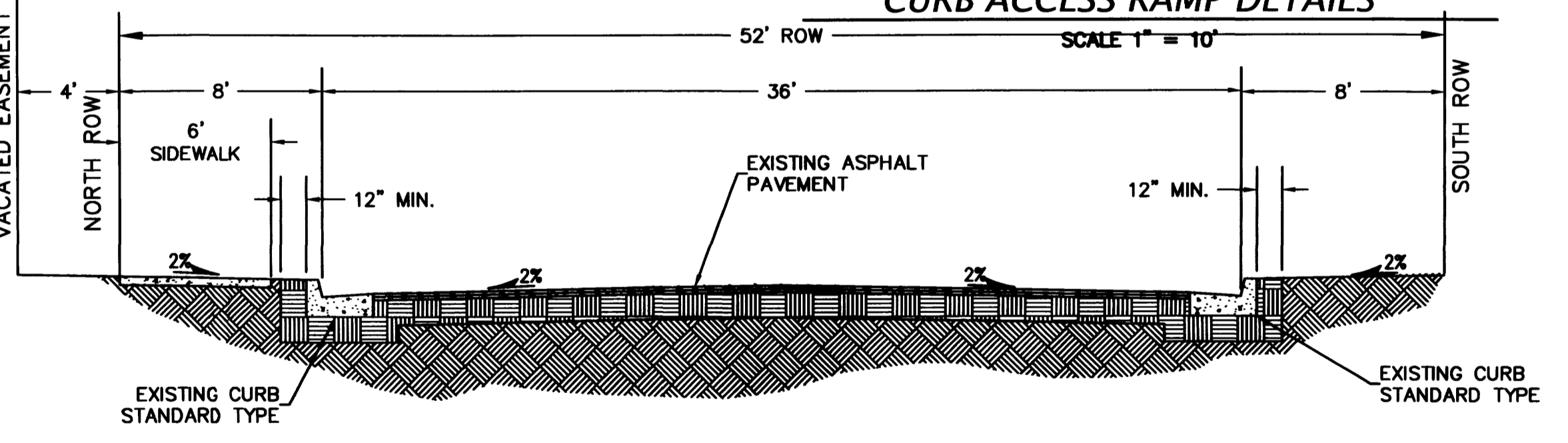
TYPICAL STUB STREET SECTION B
NTS



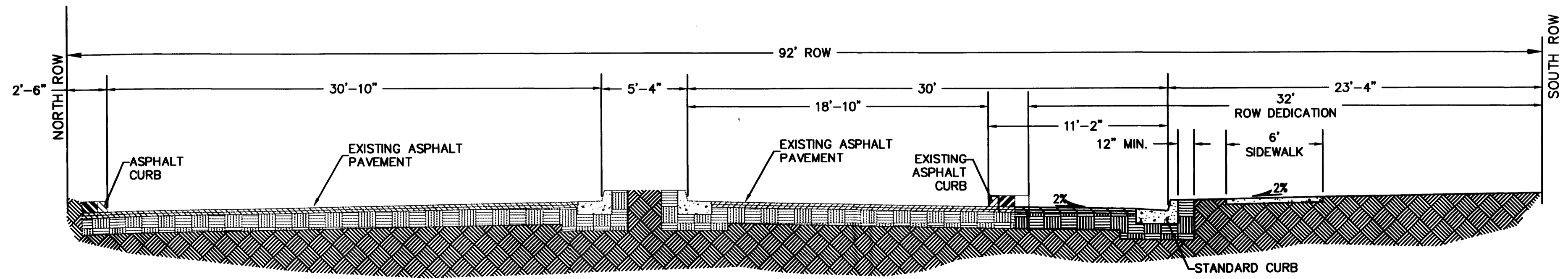
CURB ACCESS RAMP DETAILS
SCALE 1" = 10'



ENTRANCE STREET SECTION C
NTS

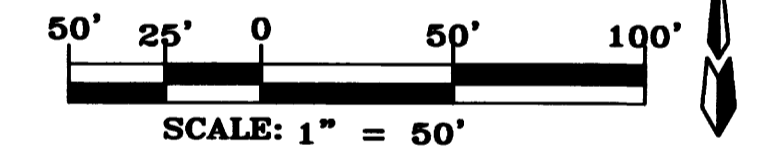


EXISTING SIGNAL AVENUE STREET SECTION D
NTS



ALAMEDA BLVD. STREET SECTION E
NTS

KEYED NOTES



No.	Revision/Issue	Date

SEVANO PLACE
SITE DEVELOPMENT PLAN
Albuquerque, New Mexico



THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 514-0995

Sheet Title
MASTER PAVING PLAN

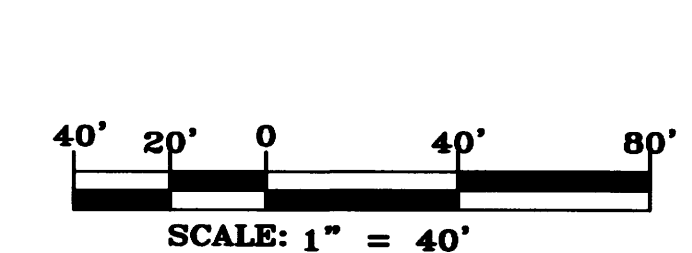
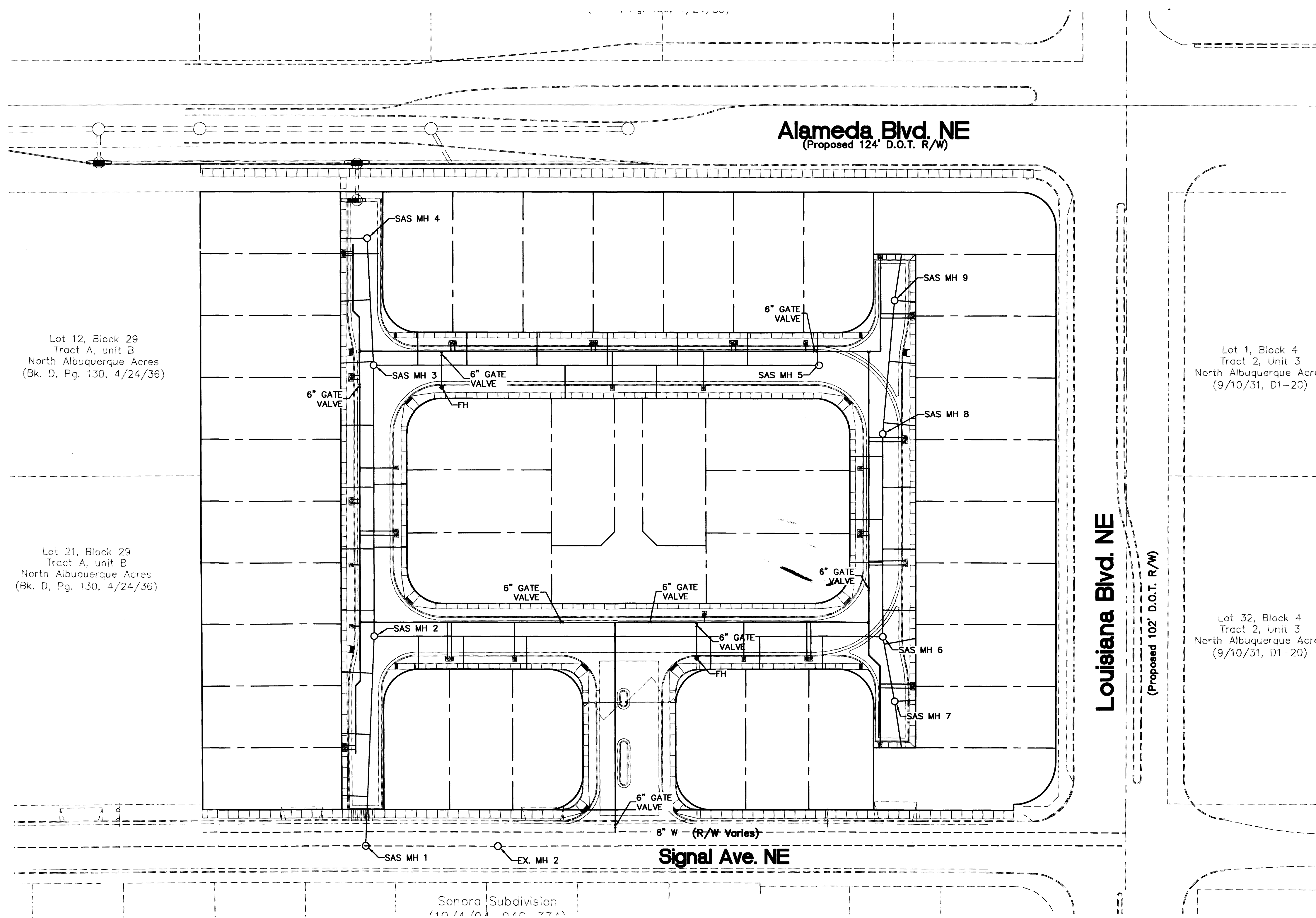
Date
JUNE 6, 2014

Project No.

Sheet Number

SP4

○ KEYED NOTES



No.	Revision/Issue	Date

**SEVANO PLACE
SITE DEVELOPMENT PLAN**
Albuquerque, New Mexico



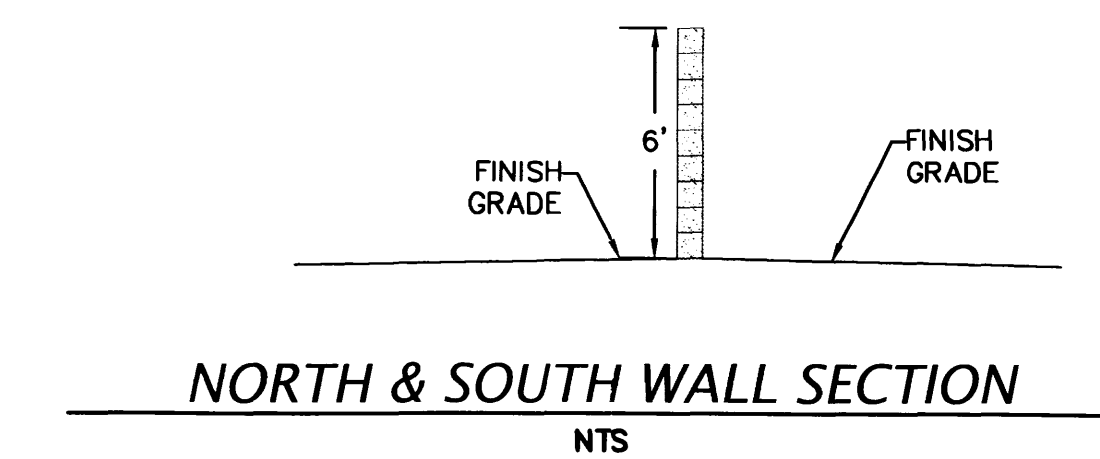
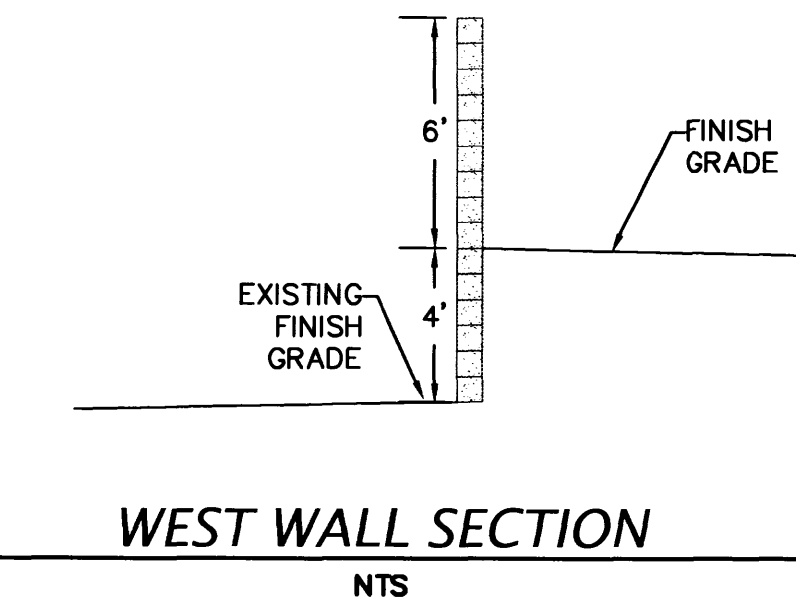
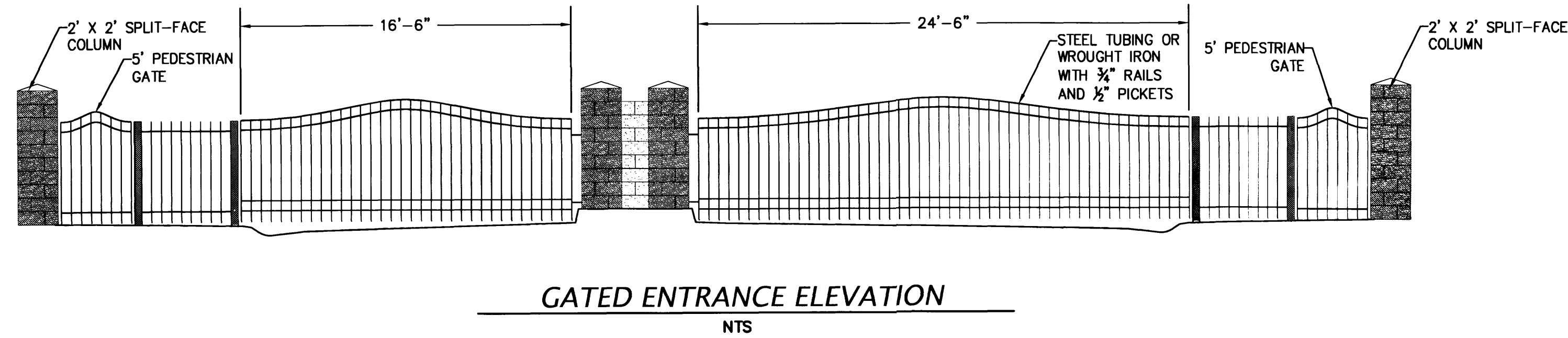
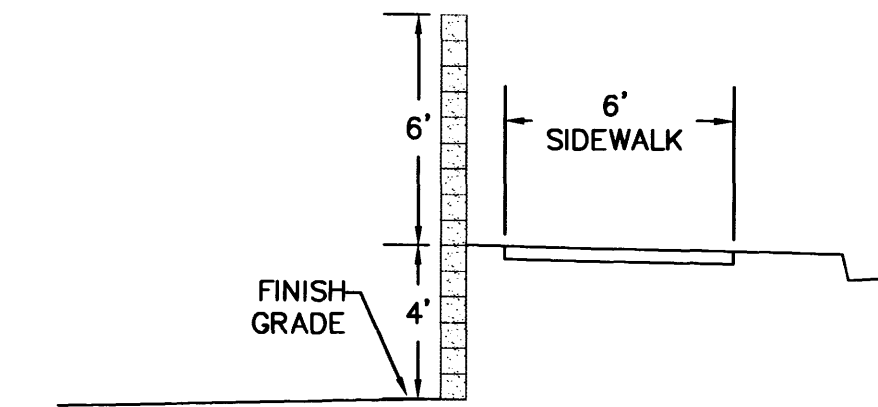
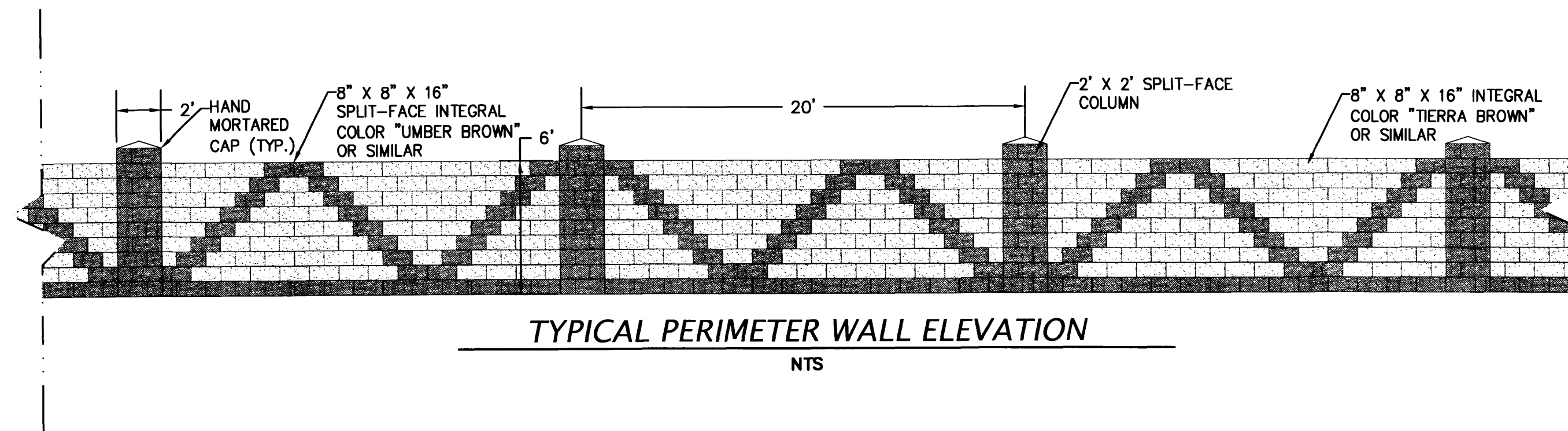
THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 514-0995

Sheet Title
MASTER UTILITY PLAN
Date
JUNE 6, 2014
Project No.

Sheet Number

SP5

○ KEYED NOTES



No.	Revision/Issue	Date

SEVANO PLACE
SITE DEVELOPMENT PLAN
Albuquerque, New Mexico

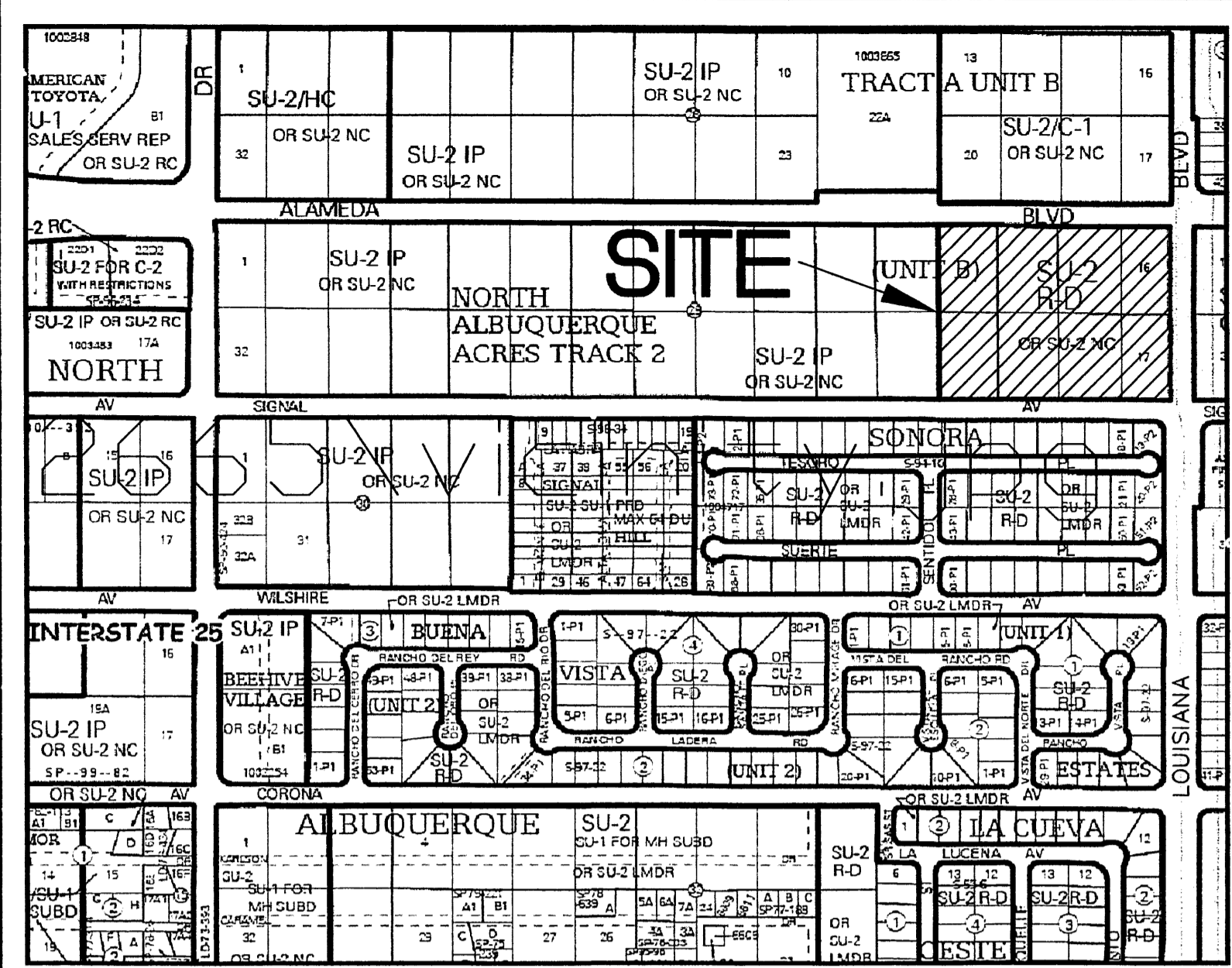


THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 514-0995

Sheet Title
ELEVATIONS AND DETAILS
Date
JUNE 6, 2014
Project No.

Sheet Number

SP6



Zone Atlas C-18-Z n.t.s.

Easement Notes

- EXISTING 7' UTILITY EASEMENT (9/9/60, D562-289)
- EXISTING 20'X20' EASEMENT AGREEMENT (5/22/2000, A5-9163)
- EXISTING RIGHT OF WAY EASEMENT (1/6/89, 701A-185)
- EXISTING US WEST & PNM EASEMENT (10/23/96, 96-28-5758)
- EXISTING 7' UTILITY EASEMENT (10/1/79, 723-603) TO BE VACATED WITH THE FILING OF THIS PLAT SHOWN HEREON AS
- 10' PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- EXISTING ROADWAY EASEMENT (04/24/30, D-130) TO BE VACATED WITH THE FILING OF THIS PLAT
- EXISTING CENTURYLINK EASEMENT (01/08/2014, DOC. NO. 2014001747)
- TRACT A - LANDSCAPE EASEMENT TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION

Disclosure Statement

THE PURPOSE OF THIS PLAT IS TO:

- CREATE 41 RESIDENTIAL LOTS AND 1 TRACT.
- DEDICATE RIGHT-OF-WAY FOR ALAMEDA BLVD N.E. AND SIGNAL AVENUE, N.E.
- GRANT EASEMENTS AS SHOWN HEREON.
- LOT LINES TO BE ELIMINATED SHOWN AS THIS
- VACATE EASEMENTS AS SHOWN HEREON.
- VACATE ROADWAY EASEMENTS AS SHOWN HEREON.

Benchmark

ACS MONUMENT "10_C18" HAVING AN ELEVATION OF 5222.090 (NAVD 88).

Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD (4/24/36, D-130)
⊙	FOUND MONUMENT AS INDICATED
○	SET BATHEY MARKER "LS 14271" UNLESS INDICATED OTHERWISE
▲	SET CENTERLINE MONUMENT
1-P1	LOT NUMBER

Preliminary Plat

Sevano Place Subdivision

Comprised of
Lots 13, 18 through 20 and Remaining
Portions of Lots 14 Thru 17, Block 29, North Albuquerque
Acres, Tract A, Unit B
within
Projected Section 13, Township 11 North, Range 3 East, NMPM
The Elena Gallegos Grant
City of Albuquerque, Bernalillo County, New Mexico
March 2014

Legal

A CERTAIN PARCEL OF LAND, BEING COMPRISED OF LOTS 13, 18 THRU 20 AND REMAINING PORTIONS OF LOTS 14 THROUGH 17, BLOCK 29, OF NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, SITUATE WITHIN SECTION 13, T11N, R3E, NMPM, AS PROJECTED INTO THE ELENA GALLEGOS GRANT, COUNTY OF BERNALILLO, CITY OF ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN BOOK D, PAGE 130, SAID PARCEL IS DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A PK NAIL, WHENCE A TIE TO ACS MONUMENT 9_C18 BEARS S 74°41'55" W, A DISTANCE OF 2082.24 FEET;

THENCE, FROM SAID POINT OF BEGINNING, N 00°12'28" E, A DISTANCE OF 497.99 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A 1/2" REBAR;

THENCE, S 89°47'03" E, A DISTANCE OF 165.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 00°12'28" W, A DISTANCE OF 32.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 89°47'03" E, A DISTANCE OF 419.92 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, 39.27 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00, A DELTA OF 89°59'20", AND A CHORD BEARING OF S 44°47'23" E, A DISTANCE OF 35.35 FEET, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 00°12'17" W, A DISTANCE OF 381.28 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, 47.14 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 30.00 FEET, A DELTA OF 90°02'14", AND A CHORD BEARING OF S 45°13'24" W, A DISTANCE OF 42.44 FEET, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 00°14'31" W, A DISTANCE OF 30.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, N 89°45'29" W, A DISTANCE OF 579.92 FEET TO THE POINT OF BEGINNING, CONTAINING 6.6198 ACRES (288,359 SQ. FT.) MORE OR LESS.

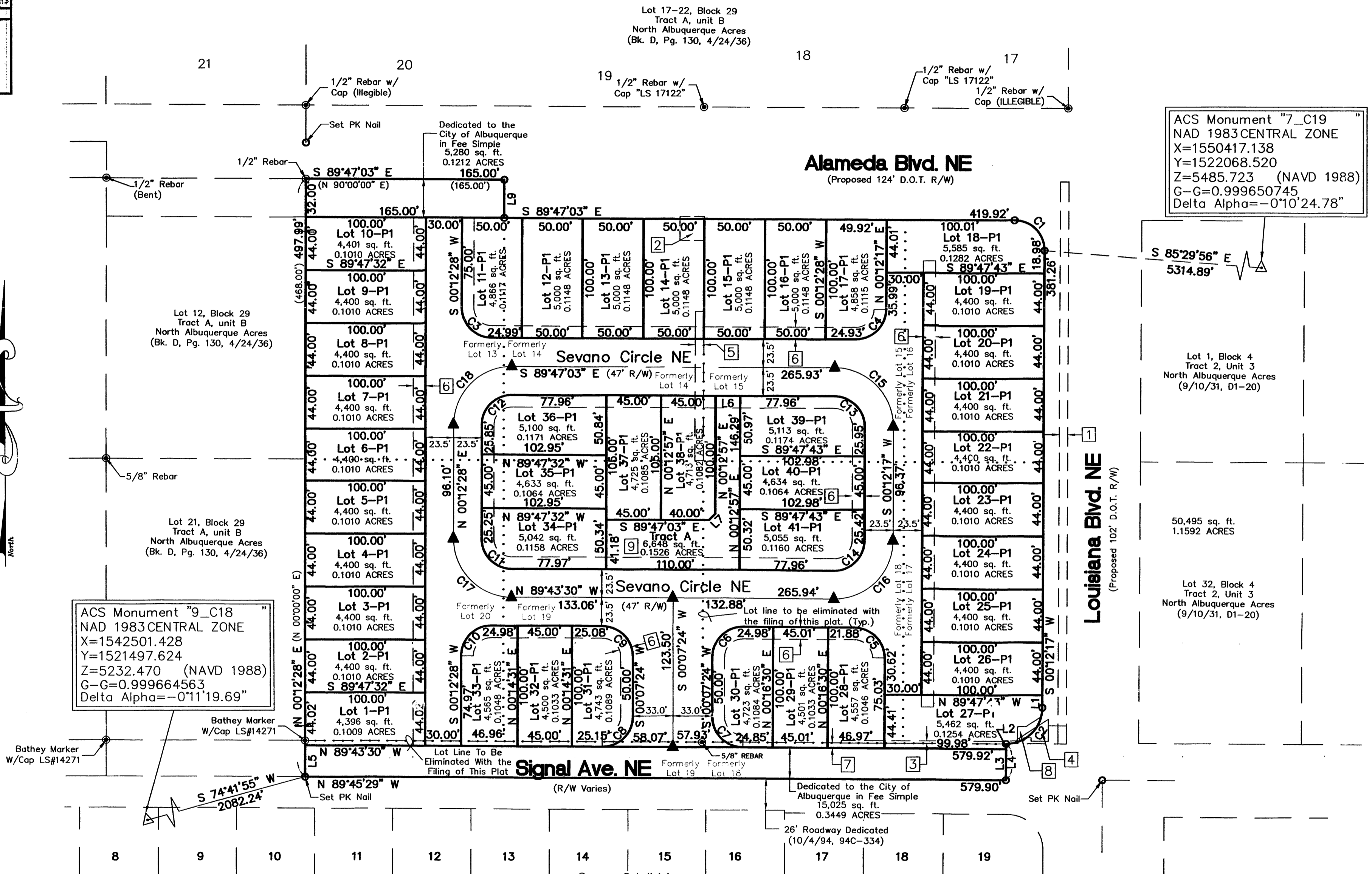
Notes

- FIELD SURVEY PERFORMED IN AUGUST 2006.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- ALL STREET MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN AS THIS ▲. ALL CENTERLINE MONUMENTS WILL BE SET USING THE STANDARD 4" ALUMINUM MONUMENT STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT- DO NOT DISTURB, PS 14271" AND WILL BE SET FLUSH WITH THE FINAL ASPHALT.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW CENTERLINE MONUMENTATION.
- TOTAL NUMBER OF EXISTING LOTS: 8
- TOTAL NUMBER OF LOTS CREATED: 41
- TOTAL NUMBER OF TRACTS CREATED: 1
- TOTAL MILEAGE OF FULL WIDTH STREETS CREATED: 0.003 MI.
- CITY OF ALBUQUERQUE ZONE ATLAS PAGE: C-18
- NUMBER OF LOT LINES BEING ELIMINATED: 11
- TOTAL AREA: 6.6198 ACRES
- PROPERTY CORNERS TO BE SET ARE AN 18" BATHEY MONUMENT WITH STEEL CAP "LS 14271".
- THE ZONING FOR THE LOT IS CURRENTLY: R-D 20 DU/ACRE.
- BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (GRID-NAD83-CENTRAL ZONE).
- ALL OPEN SPACE REQUIREMENTS ARE NET ON THE LOT WITH DWELLING PER THE PROVISIONS OF SECT 14-16-3-B(A)(1).

OWNER: DATE: 5/2/14

CITY SURVEYOR, CITY OF ALBUQUERQUE: DATE: 5-2-14

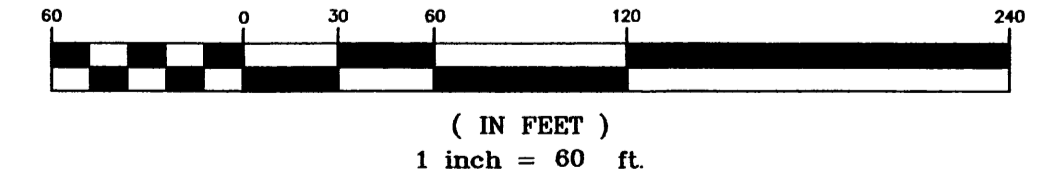
GLEN HARKIN P.S.



ACS Monument "9_C18"
NAD 1983 CENTRAL ZONE
X=1542501.428
Y=1521497.624
Z=5232.470 (NAVD 1988)
G-G=0.999664563
Delta Alpha=-0°11'19.69"

ACS Monument "7_C19"
NAD 1983 CENTRAL ZONE
X=1550417.138
Y=1522068.520
Z=5485.723 (NAVD 1988)
G-G=0.999650745
Delta Alpha=-0°10'24.78"

GRAPHIC SCALE

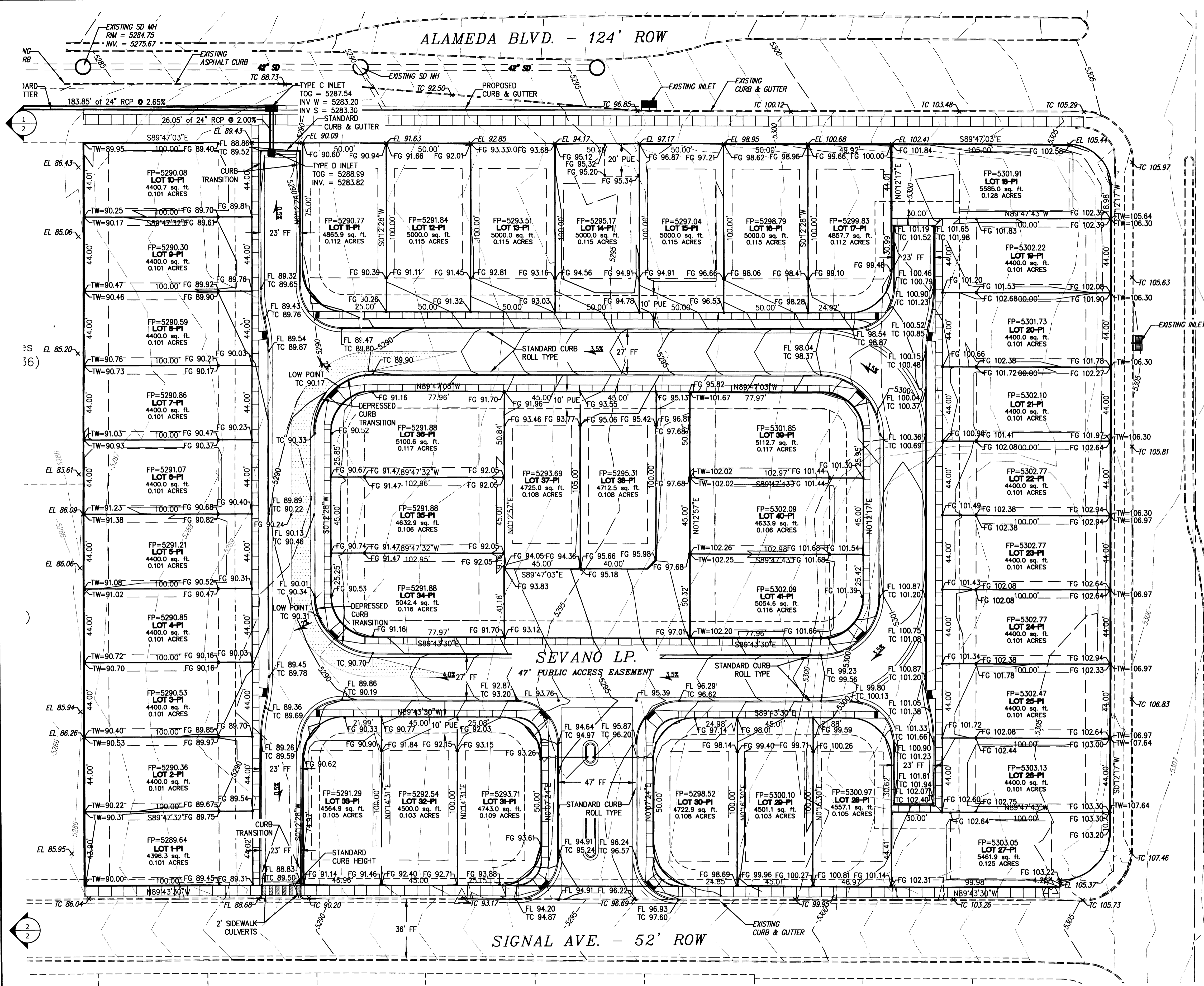


LINE	LENGTH	BEARING
L1	10.27'	S 00°12'18" W
L2	4.26'	S 00°14'31" W
L3	25.74'	S 00°14'31" W
L4	30.00'	S 00°14'31" W
L5	26.08'	N 00°12'28" E
L6	20.00'	S 89°47'03" E
L7	14.14'	N 44°47'03" W
L9	32.00'	S 00°12'28" W (S 00°00'00" E)

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING	CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	39.27'	25.00'	89°59'20"	35.35'	S 44°47'23" E	C10	39.30'	25.00'	90°04'02"	35.38'	S 45°14'29" W
C2	47.14'	30.00'	90°02'14"	42.44'	S 45°13'24" W	C11	39.24'	25.00'	89°55'58"	35.33'	N 44°45'31" W
C3	39.27'	25.00'	89°59'31"	35.35'	S 44°47'17" E	C12	39.27'	25.00'	90°00'29"	35.36'	S 45°12'43" W
C4	39.27'	25.00'	90°00'40"	35.36'	N 45°12'37" E	C13	39.27'	25.00'	89°59'20"	35.35'	S 44°47'23" E
C5	39.24'	25.00'	89°55'47"	35.33'	N 44°45'37" W	C14	39.30'	25.00'	90°04'13"	35.38'	N 45°14'23" E
C6	39.34'	25.00'	90°09'06"	35.40'	S 45°11'57" W	C15	76.17'	48.50'	89°59'20"	58.58'	S 44°47'23" E
C7	39.20'	25.00'	89°50'54"	35.31'	S 44°48'03" E	C16	76.24'	48.50'	90°04'13"	68.63'	S 45°14'23" W
C8	39.34'	25.00'	90°09'06"	35.40'	N 45°11'57" E	C17	76.13'	48.50'	89°55'58"	68.55'	N 44°45'31" W
C9	39.20'	25.00'	89°50'54"	35.31'	N 44°48'03" W	C18	76.19'	48.50'	90°00'29"	68.59'	N 45°12'43" E

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244



NOTES

THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES. MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OF LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM HIMSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GND ENGINEERING, LLC IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

GENERAL NOTES:

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO. 8.
2. THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
3. THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
4. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEDED OR LANDSCAPED.
5. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

EROSION CONTROL NOTES

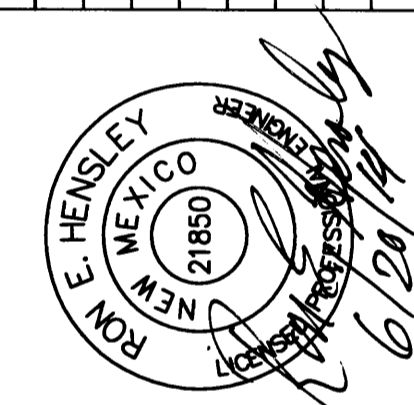
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

LEGEND

- FLOW ARROW
- ↘ SLOPE ARROW
- EL=11.28 PROPOSED ELEVATION
- x 66.33 EXISTING ELEVATION
- GRADE BREAK
- EXISTING CONTOUR
- EXISTING CONTOUR
- PROPOSED EASEMENT
- 4.00% PROPOSED GRADE
- EXISTING WALL
- PROPOSED WALL

LOUISIANA BLVD. - 102' ROW

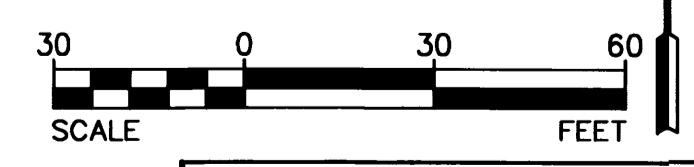
AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	BY	REMARKS	BY
CONTRACTOR STAKED	DATE	*ACS BM 7.019	DATE				
INSPECTOR'S STAKED	DATE	QUADRANT OF BARSTOW STREET AND SIGNAL AVENUE. THE STATION IS A CITY OF ALBUQUERQUE 3.1/4" ALUMINUM DISK SET IN TOP OF CURB ON THE N.W. CURB RETURN, STAMPED "7-C19 1995".	DATE				
FIELD CHANCE BY	DATE						
VERIFICATION BY	DATE						
CORRECTED BY	DATE						
MICRO-FILM INFORMATION	DATE						
RECORDED BY	DATE						



THE Group
 300 Branding Iron Rd. SE
 Rio Rancho, New Mexico 87124
 Phone: (505) 514-0995

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP
SEVANO PLACE SUBDIVISION
 REPLAT OF LOTS 13-20, BLOCK 2, UNIT B, TRACT A, NAA
 GRADING & DRAINAGE PLAN

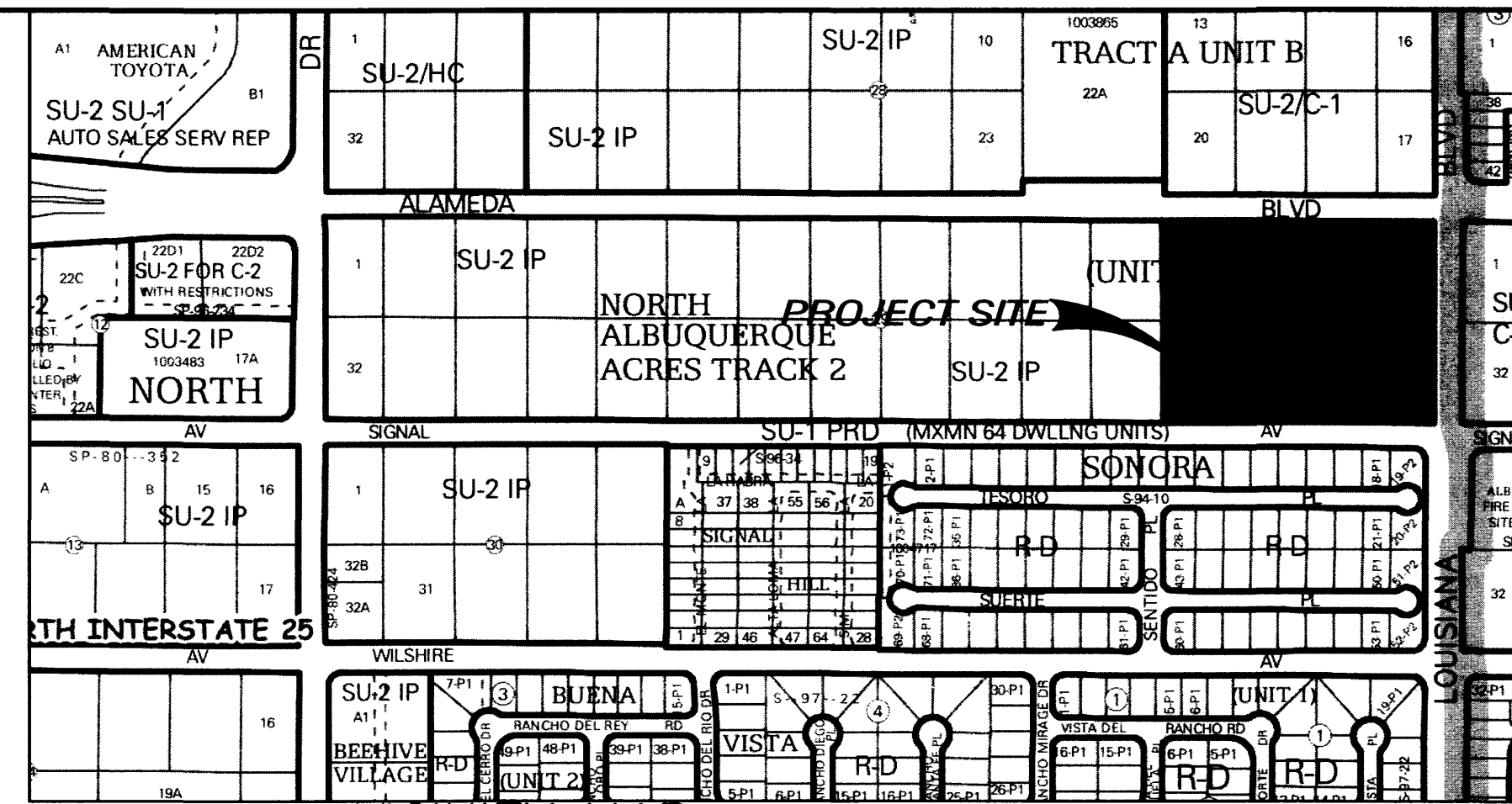
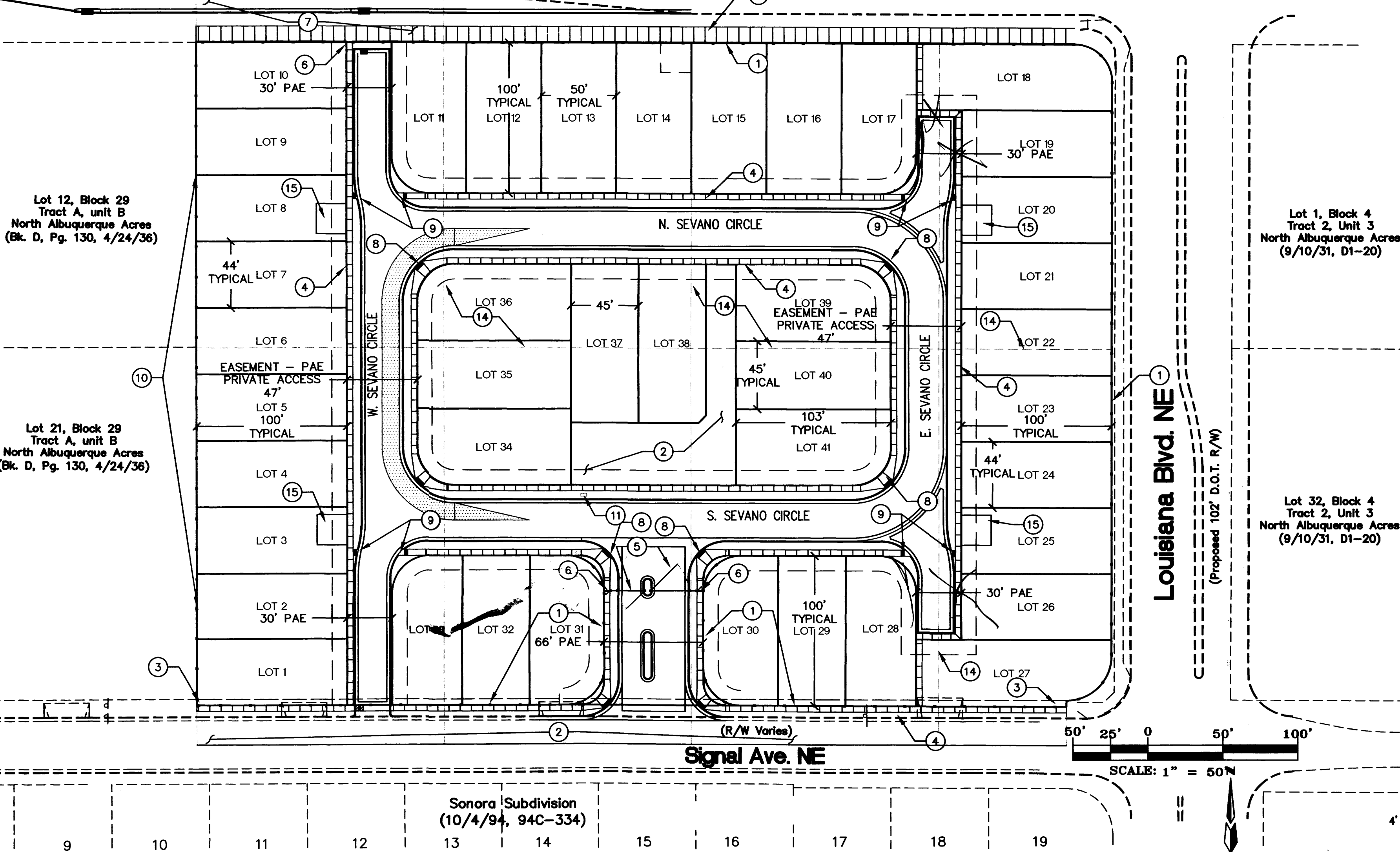
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.



SITE DEVELOPMENT PLAN FOR SUBDIVISION - SEVANO PLACE SUBDIVISION

Lot 17-22, Block 29
Tract A, unit B
North Albuquerque Acres
(Bk. D, Pg. 130, 4/24/36)

Alameda Blvd. NE
(Proposed 124' D.O.T. R/W)



VICINITY MAP
SCALE: NONE

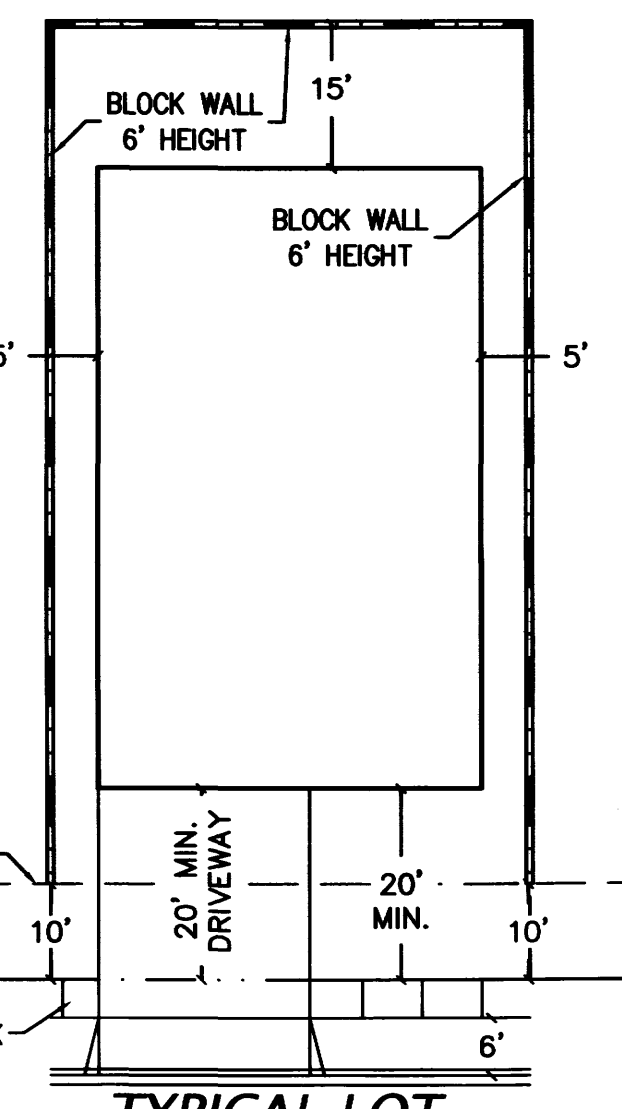
LEGAL DESCRIPTION
SEVANO PLACE SUBDIVISION
(BEING A REPLAT OF LOT 13-20, BLOCK 29, TRACT A, UNIT B)
WITHIN NORTH ALBUQUERQUE ACRES IN PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST ELENA ALBUQUERQUE LAND GRANT NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

BUILDING DATA

MAXIMUM DWELLING UNITS:	41
MAXIMUM BUILDING HEIGHT:	26'
MINIMUM BUILDING SETBACKS:	
FRONT:	15'
DRIVEWAY:	20'
SIDE:	5'
STREET SIDE AT CORNER:	10'

SUBDIVISION DATA

PROJECT LOCATION:	BETWEEN ALAMEDA BLVD. AND SIGNAL AVE. WEST OF LOUISIANA BLVD.
ZONE ATLAS MAP:	C-19
GROSS ACERAGE:	6.62 AC
NUM. OF LOTS COMBINED:	8
NUM. OF LOTS CREATED:	41
EXISTING ZONING:	R-D
DATE OF SURVEY:	MARCH 2014



TYPICAL LOT
SCALE 1" = 20'

KEYED NOTES

- PERIMETER MASONRY DECORATIVE WALL 6' TO 8' HEIGHT
- 26' ROW DEDICATION
- 4' EASEMENT TO BE VACATED
- 4' SIDEWALK
- 6' HIGH WROUGHT IRON VEHICULAR SECURITY GATE WITH KEYPAD, SEE ELEVATION SHEET
- 6' HIGH WROUGHT IRON PEDESTRIAN SECURITY GATE WITH KEYPAD, SEE ELEVATION SHEET
- 32' ROW DEDICATION
- MULTI-DIRECTIONAL ADA RAMP
- UNI-DIRECTIONAL ADA RAMP
- MASONRY PLAIN FACE WALL 6' HEIGHT
- GANG TYPE MAILBOX
- CENTRAL LANDSCAPED AREA, SEE LANDSCAPE PLAN
- 10' SIDEWALK
- LOT LINE TO BE REMOVED
- 20'x20' DRIVEWAY

LEGEND

- PROPERTY LINE
- NEW CURB AND GUTTER & SIDEWALK
- EX CURB AND GUTTER & SIDEWALK

SHEET LIST

SHEET NUMBER	SHEET NAME
SP1	SITE DEVELOPMENT PLAN
SP2	L1 LANDSCAPE PLAN L2 LANDSCAPE PLAN L3 LANDSCAPE PLAN
SP3	MASTER GRADING AND DRAINAGE PLAN
SP4	MASTER PAVING PLAN
SP5	MASTER UTILITY PLAN
SP6	ELEVATIONS & DETAILS

Project Number: _____
 Application Number: _____
 DRB SITE DEVELOPMENT PLAN APPROVAL:

DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	
UTILITIES DEVELOPMENT	
PARKS AND RECREATION DEPARTMENT	
CITY ENGINEER	
* ENVIRONMENTAL HEALTH DEPARTMENT - CONDITIONAL	
SOLID WASTE MANAGEMENT	
DRB CHAIRPERSON, PLANNING DEPARTMENT	

INTRODUCTION
THE PROPOSED DEVELOPMENT SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONING CODE.

- 1. SITE DESIGN**
- 1.1. OVERALL LAYOUT OF SITE**
THE REPLAT WILL CONSOLIDATE EIGHT (8) LOTS INTO FORTY ONE (41) SINGLE FAMILY RESIDENTIAL LOTS. THIRTY TWO FEET (32') OF THE NORTHERN BOUNDARY SHALL BE DEDICATED TO THE ALAMEDA BLVD. RIGHT OF WAY. THE RESIDENTIAL BUILDINGS SHALL BE ARRANGED ALONG AN EAST-WEST ORIENTED LOOP PRIVATE WAY WITH A VEHICULAR ACCESS TO SIGNAL AVE. THE RESIDENTIAL BUILDINGS SHALL BE SITUATED WITH FRONT ENTRANCES FACING THE LOOP PRIVATE WAY. 4' PEDESTRIAN WALKWAYS TRAVERSE BOTH SIDES OF THE PRIVATE WAY PROVIDING PEDESTRIAN CIRCULATION BETWEEN RESIDENCES. THE PEDESTRIAN WALKWAYS ALSO CONNECT TO THE PROPOSED PUBLIC SIDEWALKS ON ALAMEDA BLVD. AND SIGNAL AVE. THE SINGLE FAMILY RESIDENCES SHALL BE TWO STORY AND ONE STORY WITH GARAGES FACING THE PRIVATE WAY. 6' HIGH WROUGHT IRON VEHICULAR GATES AND KEYPAD AND 5' HIGH PEDESTRIAN GATES SHALL PROVIDE SECURITY FOR THE DEVELOPMENT. THE ENTRY VEHICULAR QUEUING SHALL ACCOMMODATE THREE (3) CAR LENGTHS. A CENTRALLY LOCATED LANDSCAPED AREA WITH SHADE STRUCTURE AND COMMUNITY MAILBOXES SHALL BE VISIBLE FROM THE MAIN ENTRANCE AND ACCESSIBLE FROM ALL LOTS.
- 1.2. BUILDING PLACEMENT, ORIENTATION, SETBACKS**
THE RESIDENTIAL FRONT ENTRIES AND GARAGE DOORS SHALL FACE THE SUBDIVISION PRIVATE WAY. A CONCRETE DRIVEWAY (20' MINIMUM LENGTH) SHALL PROVIDE ACCESS TO THE TWO CAR GARAGES. FRONT YARD SETBACK SHALL BE FIFTEEN FEET (15') EXCEPT THAT DRIVEWAYS SHALL BE TWENTY FEET (20') LONG. SIDE YARD SETBACK SHALL BE FIVE FEET (5'). STREET SIDE CORNER SIDE YARD SETBACK SHALL BE TEN FEET (10'). REAR YARD SETBACK SHALL BE FIFTEEN FEET (15'). BUILDING HEIGHTS RANGE FROM 16' AT SINGLE STORY PEAK TO 26' AT TWO STORY PEAK.
- 1.3. PEDESTRIAN AND VEHICULAR CONNECTIVITY (INTERNAL & EXTERNAL)**
THE SITE IS CONNECTED TO THE SURROUNDINGS. SIGNAL AVE. PEDESTRIAN ACCESS LIES TO THE SOUTH AND ALAMEDA BLVD. PEDESTRIAN AND BIKEWAY ACCESS LIES TO THE NORTH. INTERNAL TO THE SITE, 4' SIDEWALKS ON BOTH SIDES OF THE PRIVATE WAY CONNECT EACH RESIDENCE WITH ITS NEIGHBOR. THE NEW PUBLIC SIDEWALKS ON SIGNAL AVE. AND ALAMEDA BLVD. AND THE CENTRALLY LOCATED PARK. MULTI-DIRECTIONAL RAMPS AT STRATEGIC PRIVATE WAY CORNERS PROVIDE HANDICAP ACCESSIBILITY TO THE DEVELOPMENT. THE PROPOSED PRIVATE WAY PROVIDES A LOOP CONFIGURATION WITH ONE INGRESS EGRESS ROAD THAT CONNECTS TO SIGNAL AVE. THE KEY VEHICULAR ENTRY POINT SHALL BE ACCENTUATED BY LANDSCAPE ELEMENTS AND SIGNAGE. A BIKEWAY THAT EXTENDS EAST TO LOUISIANA IS SLATED FOR ALAMEDA BLVD. THE DEVELOPMENT PROVIDE AN EASILY ACCESSED WALKWAY TO THE BIKEWAY VIA A PEDESTRIAN ACCESS IN THE NORTHWEST CORNER OF THE DEVELOPMENT. A SIDEWALK SHALL PROVIDE DIRECT ACCESS TO THE BUS TRANSIT STOP AT THE INTERSECTION OF SAN PEDRO AND ALAMEDA BLVD.
- 1.4. PARKING LOCATION AND DESIGN**
OFF-STREET RESIDENT PARKING IS PROVIDED AT EACH GARAGE AND ITS ACCOMPANYING DRIVEWAY. FOUR PARKING SPACES ARE ACCOMMODATED IN THIS WAY AT THE TWO CAR GARAGES. THE PRIVATE WAY WILL BE LINED ON BOTH SIDES WITH RESIDENT-PROVIDED PLANTINGS WHICH WILL ENHANCE THE RESIDENTIAL CHARACTER OF THE DEVELOPMENT.
- 1.5. PUBLIC OUTDOOR SPACES**
THE CENTRALLY LOCATED LANDSCAPED PARK FEATURES A GAZEBO AND SHADE TREES. PEDESTRIAN WALKWAYS ALONG THE LOOP PRIVATE WAY PROVIDE EASY ACCESS TO THE PARK BY ALL RESIDENTS. A 6' HIGH WALL ENCOMPASSES THE ENTIRE DEVELOPMENT. CODE OR KEYPAD OPERATED SECURITY GATES AT ALL PEDESTRIAN AND VEHICULAR ENTRANCES FURTHER PROMOTE THE SENSE OF SAFETY AND OPPORTUNITIES FOR INTERACTION

- 1.6. REFUSE & RECYCLE PICKUP**
RECYCLE AND REFUSE PICKUP SHALL BE INDIVIDUAL CART TYPE WITH WEEKLY SCHEDULED PICKUP TIMES.
- 1.7. LOCATION, HEIGHT, DESIGN AND PURPOSE OF ALL WALLS AND WALL OPENINGS**
THE DEVELOPMENT BLOCK WALLS PROVIDE PRIVACY FOR THE RESIDENTS. ALL WALLS AND FENCES ARE SUBJECT TO SECTION 14-16-3-19 OF THE ZONING ORDINANCE. ALL WALLS SHALL BE 6'-0" IN HEIGHT ABOVE HIGH GROUND ELEVATION; THEY SHALL BE EXPOSED BLOCK WITH REPEATING PATTERNS AND VARIEGATED TEXTURES.
- 1.8. LOCATION, HEIGHT, DESIGN AND PURPOSE OF LIGHTING**
LIGHTING SHALL COMPLY WITH THE NIGHT SKY ORDINANCE AND ALL REQUIREMENTS IN SECTION 14-16-3-9 OF THE ZONING ORDINANCE. RESIDENCE-MOUNTED LIGHTING ELEMENTS SHALL BE INCANDESCENT, METAL HALIDE OR HALOGEN ONLY. RESIDENCE MOUNTED FLOODLIGHTS (MAXIMUM 75 WATT BULBS) SHALL BE SHIELDED OR AIMED IN SUCH A WAY THAT THEY DO NOT SHINE INTO OTHER LOTS OR THE STREET.
- 1.9. SCREENING / BUFFERING TECHNIQUES**
MULTIPLE STREET SHADE TREES SCREEN RESIDENCES FROM ADJACENT ROADWAY WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT. AT MATURITY, THESE TREES SHALL CREATE A COOLING MICRO CLIMATE.
- 1.10. GREEN FEATURES**
WATER HARVESTING CISTERN AND COLLECTION SYSTEM TECHNIQUES SHALL BE ENCOURAGED.
- 2. STREET REALM**
- 2.1. TRANSIT, BICYCLE, PEDESTRIAN AMENITIES**
THE SITE IS ACCESSIBLE TO TRANSIT ROUTES ON ALAMEDA BLVD., WHICH IS A PRINCIPAL ARTERIAL CITY OF ALBUQUERQUE "ABQ RIDE" BUS STOP IS LOCATED AT SAN PEDRO DR. AND ANAHEIM BLVD ONE-HALF BLOCK FROM THE DEVELOPMENT. THE SITE ABUTS A PROPOSED CITY DESIGNATED BIKE ROUTE ON ALAMEDA BLVD. N.E. WHICH WILL EXTEND TO LOUISIANA BLVD. N.E.
- 3. LANDSCAPING**
LANDSCAPING IS A KEY ELEMENT OF THE DESIGN. IT IS INTEGRAL TO THE GOAL OF PROVIDING PLACES THAT PROMOTE COMMUNITY AND ENRICH THE LIVES OF THE AREA RESIDENTS.
THE LANDSCAPE NETWORK CONSISTS OF:
STREET SHADE TREES ALONG ALAMEDA BOULEVARD SHALL BE SITUATED IN LANDSCAPE STRIPS W/ ROCK OR BARK GROUNDCOVER. STREET TREE SPACING SHALL BE DETERMINED BY TREE CANOPY AT FULL MATURITY.
INTERIOR STREET SCAPES STREET SHADE TREES, AND LANDSCAPING IN AND AROUND UNIT DRIVEWAYS SHALL BE PROVIDED AND MAINTAINED BY INDIVIDUAL RESIDENCE OWNERS. AT MINIMUM, RESIDENTS SHALL PLANT ONE 8'-0" TO 12M" TALL SHADE TREE AT THE STREET FRONTAGE. IN ADDITION 5 - 8 (FIVE TO EIGHT > 5 GALLON SHRUBS SHALL BE LOCATED IN A GRAY ROCK/COBBLE ACCENT LANDSCAPING SCHEME.
DECIDUOUS STREET SHADE TREES PROVIDE PASSIVE SOLAR MITIGATION OF PAVED SURFACES. THE LANDSCAPING SHALL BALANCE THE DENSITY OF THE HOUSING UNITS AND CREATE HUMAN SCALE. THE TREE SPECIES SHALL BE VARIED TO AVOID MONOCULTURE.

- 3.1. REQUIREMENTS**
THE STREET SCAPES ALONG ALAMEDA BOULEVARD SHALL CONSIST OF TREES IN THE PLANTING STRIP BETWEEN THE SIDEWALK AND THE PROPERTY LINE THESE TREES SHALL HAVE A HIGH BRANCHING CANOPY TO ALLOW CLEAR SPACE FOR PEDESTRIANS AND REDUCE POTENTIAL FOR DAMAGE FROM PASSING VEHICLES.
THE CLEAR SITE TRIANGLE REQUIREMENT SHALL BE IMPOSED ON THE SIGNAL AVE./PRIVATE WAY INTERSECTION. A CLEAR SITE TRIANGLE AT INTERSECTIONS MUST BE MAINTAINED 35 FEET FROM INTERSECTING FLOW LINES OF GUTTERS. A VERTICAL CLEARANCE BETWEEN 3 AND 8 FEET MEASURED FROM THE GUTTER PAN MUST BE FREE OF VISUAL OBSTRUCTION. TREES & SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. UNDERSTORY BRANCHES FROM TREES SHALL NOT HANG LOWER THAN 8'.
- 3.2. WATER CONSERVATION TECHNIQUES**
THE LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION, LANDSCAPE, POLLEN CONTROL AND WASTE WATER ORDINANCES.
- 4. BUILDING DESIGN**
- 4.1. CONTEXT**
THE PROPOSED DEVELOPMENT SITS IN AN AREA OF DIVERSE ZONING CATEGORIES. EXISTING INDUSTRIAL AND WHOLESALE WAREHOUSING USES EXIST SIDE BY SIDE WITH RESIDENTIAL DEVELOPMENTS. NUMEROUS COMMERCIAL USES ARE IN EVIDENCE EAST OF THE I-25/ALAMEDA INTERCHANGE. ON THE SOUTH ARE MULTI STORY MOTELS SUCH AS THE STAYBRIDGE AND THE BURGER KING FAST FOOD ESTABLISHMENT. ON THE NORTH, NUMEROUS VEHICLE DEALERSHIPS ARE ARRANGED ALONG THE NORTHBOUND INTERSTATE. THESE INCLUDE AMERICAN TOYOTA AND MERCEDES BENZ OF ALBUQUERQUE.
- 4.2. ARCHITECTURAL THEME OR STYLE**
THE PROPOSED RESIDENTIAL BUILDING DESIGNS SHALL BE CONSISTENT WITH THE PREDOMINANT NEIGHBORING RESIDENTIAL DEVELOPMENTS. BOTH TWO AND ONE STORY CONFIGURATIONS WILL BE USED. ARCHITECTURAL STYLES SHALL RANGE FROM PITCHED SHINGLE ROOF FRAME-STUCCO DESIGN TO FLAT ROOF FRAME-STUCCO DESIGN. PARAPETS FOR FLAT ROOF DESIGNS SHALL NOT EXCEED 15% OF THE HEIGHT OF THE SUPPORTING WALL AND SHALL SHIELD THE VIEW OF THE ROOF MATERIAL FROM ANY PUBLIC OR PRIVATE RIGHT-OF-WAY. COMPLEMENTARY STUCCO COLORS APPLIED TO ALTERNATING BUILDINGS ADD VARIETY AND FURTHER THE NEIGHBORHOOD "LOOK".
- 4.3. BUILDING HEIGHT, SCALE, MASSING, MATERIALS, COLORS AND ARTICULATION**
THE DEVELOPMENT IS ORGANIZED TO EMPHASIZE A RESIDENTIAL NEIGHBORHOOD RESPONSE TO THE SITE. THE BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING THE PRIVATE WAY. THE BUILDING DESIGNS SHALL INCORPORATE PRUDENT USE OF BOTH VERTICAL AND HORIZONTAL ARTICULATION AS APPROPRIATE TO RESIDENTIAL DESIGN.
AN EARTH TONED PALETTE SHALL BE IN EVIDENCE AT ALL OF THE EXTERIOR BUILDING WALLS AND SURROUNDING PROPERTY LINE WALLS.
- 5. APPROVAL PROCESS**
THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT MAY BE SLIGHTLY MODIFIED OR ADJUSTED, IF NECESSARY, TO ASSURE CONSISTENCY WITHIN THE DEVELOPMENT AND TO ALLOW FLEXIBILITY FOR THE DEVELOPER TO POSITIVELY REFINE THE DEVELOPMENT TO MITIGATE DESIGN CHALLENGES AND ENHANCE DESIGN OPPORTUNITIES. MODIFICATION PROCEDURES AND THE SUBSEQUENT APPROVAL PROCESS SHALL BE AS SPECIFIED FOR PROPERTIES IN THE NORTH 1-25 SECTOR DEVELOPMENT PLAN.

SEVANO PLACE
SITE DEVELOPMENT PLAN
Albuquerque, New Mexico

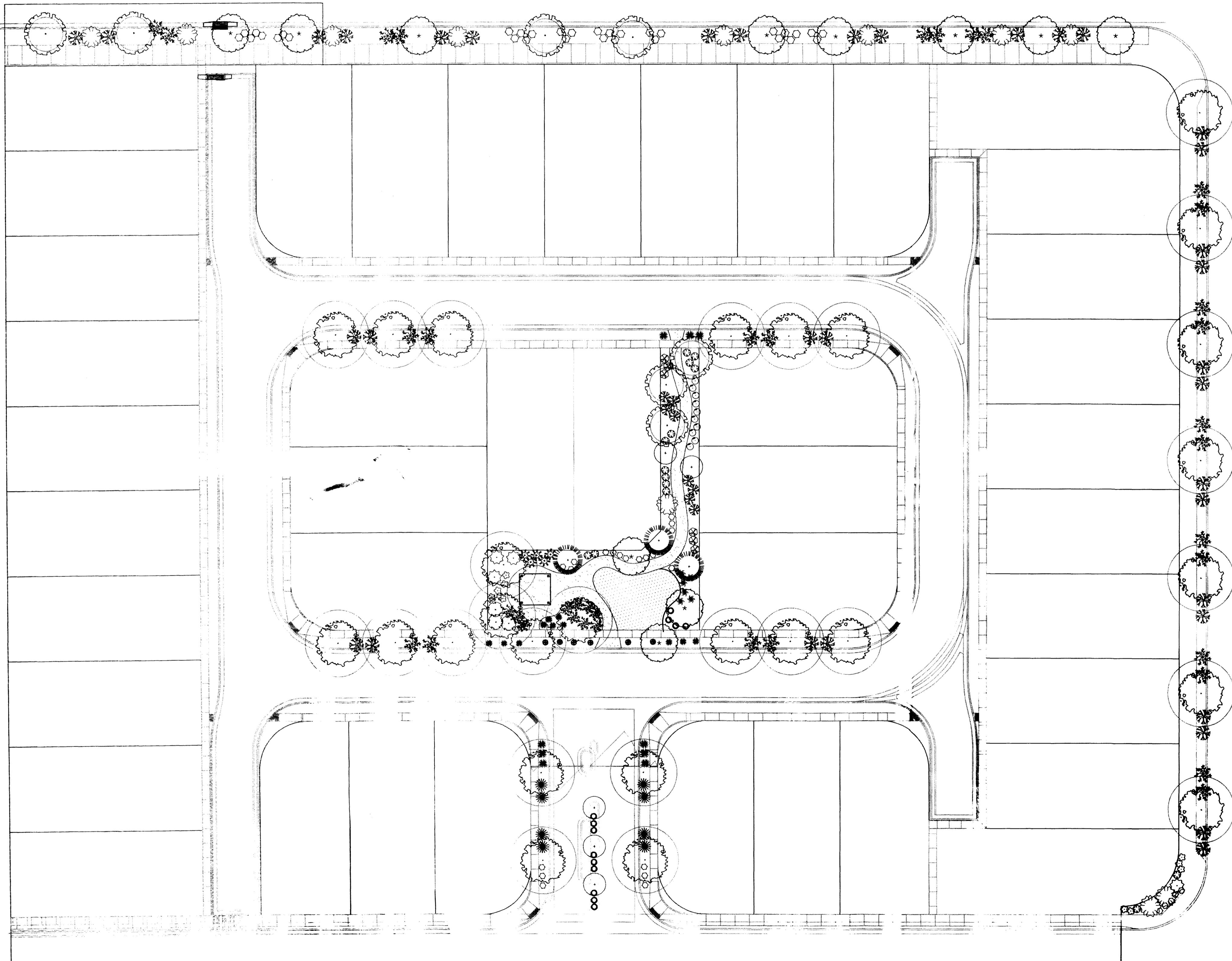
THE group
THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 514-0995

Sheet Title: **SITE DEVELOPMENT PLAN**
Date: **JULY 16, 2014**
Project No.: _____

Sheet Number: **SP1**

Alameda Blvd. NE

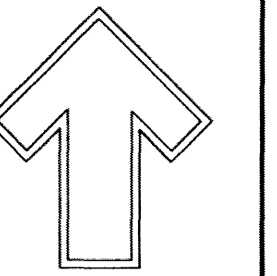
Signal Ave. NE



PLANT LEGEND

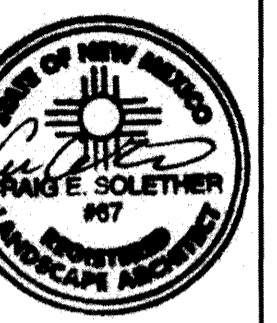
All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread, in cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- | | |
|--|---|
| <p>SHADE TREES</p> <ul style="list-style-type: none"> 27 AUTUMN PURPLE ASH
<i>Fraxinus americana</i>
2' Gal., 12-14' Hst./40' x 40' maturity
Water (M) Allergy (H) 0sf 7 HONEY LOCUST
<i>Gleditsia triacanthos</i>
2' Gal., 12-14' Hst./50' x 50' maturity
Water (M) Allergy (L) 0sf 4 EASTERN REDBUD
<i>Cercis canadensis</i>
2' Gal., 12-14' Hst./30' x 30' maturity
Water (M) Allergy (L) 0sf <p>ORNAMENTAL TREES</p> <ul style="list-style-type: none"> 4 AUSTRIAN PINE
<i>Pinus nigra</i>
15 Gal., 4-6' Hst., 35' x 25' maturity
Water (M) Allergy (L) 0sf 12 DESERT MILLON
<i>Chippendalea</i>
15 Gal., 4-10' Hst./20' x 25' maturity
Water (L) Allergy (L) 22sf 5 NEW MEXICO OLIVE
<i>Forsteria neomexicana</i>
15 Gal., 4-10' Hst./15' x 15' maturity
Water (M) Allergy (L) 22sf <p>SHRUBS</p> <ul style="list-style-type: none"> 5 RED TWIG DOGWOOD
<i>Cornus sericea</i>
5 Gal., 2-4' Hst./7' x 12' maturity
Water (M) Allergy (L) 14sf 3 BUTTERFLY BUSH
<i>Buddleia davidii</i>
5 Gal., 12-15' Hst./12' x 10' maturity
Water (M) Allergy (L) 100sf 5 PHOTINIA
<i>Photinia Fraseri</i>
5 Gal., 2-4' Hst./10' x 8' maturity
Water (M) Allergy (L) 6sf 16 MANHATTAN EUCALYPTUS
<i>Eucalyptus kutaschovskii</i>
5 Gal., 10-15' Hst./10' x 8' maturity
Water (L) Allergy (L) 25sf | <ul style="list-style-type: none"> 6 KARL FOERSTER REED GRASS
<i>Calamagrostis x acutiflora Karl Foerster</i>
5 Gal., 12-15' Hst./3' x 3' maturity
Water (M) Allergy (L) 0sf 16 KNOCKOUT ROSE
<i>Rosa</i>
3 Gal., 3-15' Hst./3' x 3' maturity
Water (M) Allergy (L) 0sf 51 CARPET ROSE
<i>Rosa</i>
5 Gal., 3-15' Hst./2' x 3' maturity
Water (M) Allergy (L) 0sf 8 BEARGRASS
<i>Nolina microcarpa</i>
5 Gal., 10-15' Hst./3' x 6' maturity
Water (L) Allergy (L) 36sf 13 MUGO PINE
<i>Pinus mugo</i>
5 Gal., 12-15' Hst./3' x 3' maturity
Water (M) Allergy (L) 0sf 20 RED YUCCA
<i>Hesperaloe parviflora</i>
5 Gal., 18-3' Hst./3' x 4' maturity
Water (L) Allergy (L) 16sf 6 INDIAN HAWTHORN
<i>Raphiolepis indica</i>
5 Gal., 10-15' Hst./10' x 6' maturity
Water (M) Allergy (L) 36sf 6 MAIDENSGRASS
<i>Miscanthus sinensis</i>
5 Gal., 10-15' Hst./3' x 5' maturity
Water (M) Allergy (L) 25sf 3 MAHONIA
<i>Mahonia aquifolium</i>
5 Gal., 12-15' Hst./3' x 3' maturity
Water (M) Allergy (L) 0sf <p>GROUNDCOVERS</p> <ul style="list-style-type: none"> 30 GREYLEAF COTONEASTER
<i>Cotoneaster glaucophyllus</i>
5 Gal., 24-4' Hst./2' x 4' maturity
Water (M) Allergy (L) 81sf 49 WINTER JASMINE
<i>Jasminum nudiflorum</i>
5 Gal., 24-4' Hst./2' x 6' maturity
Water (L) Allergy (L) 64sf |
|--|---|



Cont. Lic. #26458
7909 Edith NE
Albuquerque, NM 87184
Ph: (505) 898-9690
Fax: (505) 898-7337
cm@hilltoplandscaping.com

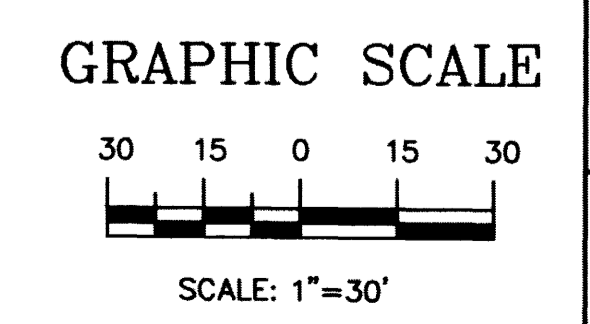
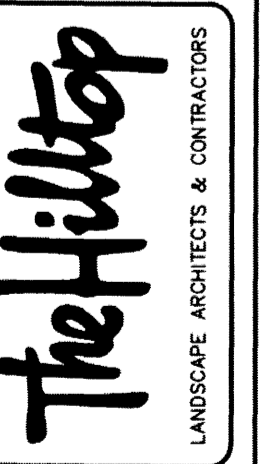
LANDSCAPE ARCHITECT'S SEAL



5 / 15 / 14

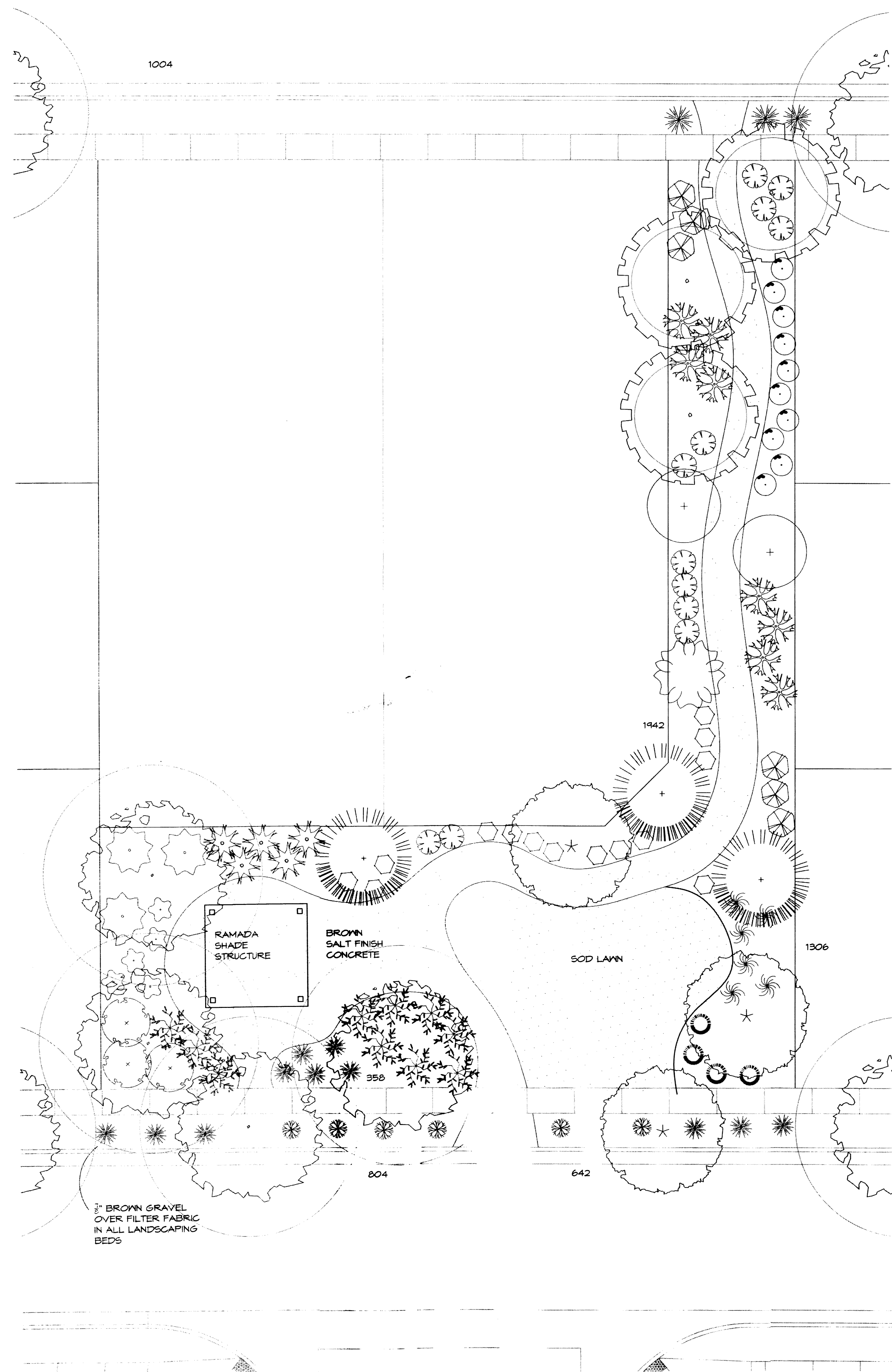
STILLBROOKE HOMES
SEVANO PLACE
LANDSCAPE PLAN

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DRAWN BY: CS
REVISION # 1/5/14
DATE: APRIL 2014

SHEET #
L1 OF L3



1004

1942

1306

350

804

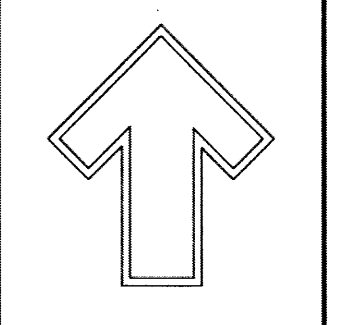
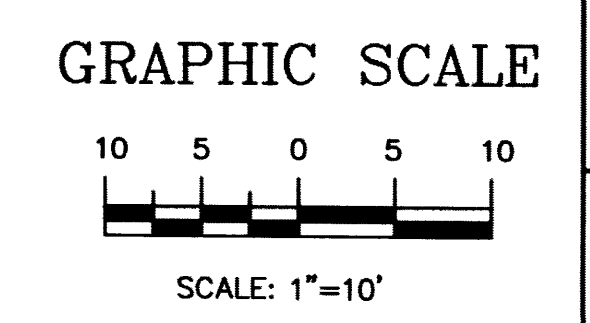
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PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

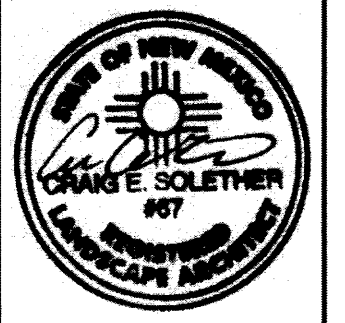
SHADE TREES			
27	AUTUMN PURPLE ASH <i>Fraxinus americana</i> 2" Gal., 12'-14" Inst./60' x 60' maturity Water (M) Allergy (H) Osf	6	☼
7	HONEY LOCUST <i>Gleditsia triacanthos</i> 2" Gal., 12'-14" Inst./50' x 50' maturity Water (M) Allergy (L) Osf	16	☼
9	EASTERN REDBUD <i>Cercis canadensis</i> 2" Gal., 8'-10" Inst./30' x 30' maturity Water (M) Allergy (L) Osf	57	☼
		8	☼
ORNAMENTAL TREES			
9	AUSTRIAN PINE <i>Pinus nigra</i> 15 Gal., 4'-6" Inst., 35' x 25' maturity Water (M) Allergy (L) Osf	13	☉
12	DESERT WILLOW <i>Chilopsis linearis</i> 15 Gal., 4'-10" Inst./20' x 25' maturity Water (L) Allergy (L) 225sf	20	☼
5	NEW MEXICO OLIVE <i>Forestiera neomexicana</i> 15 Gal., 4'-10" Inst./15' x 15' maturity Water (M) Allergy (L) 225sf	6	☼
SHRUBS			
5	RED TWIG DOGWOOD <i>Cornus sericea</i> 5 Gal., 2'-4" Inst./9' x 12' maturity Water (M+) Allergy (L) 144sf	6	☼
3	BUTTERFLY BUSH <i>Buddleia davidii</i> 5 Gal., 12'-3" Inst./10' x 10' maturity Water (M) Allergy (L) 100sf	3	☼
5	PHOTINIA <i>Photinia Fraseri</i> 5 Gal., 2'-4" Inst./8' x 8' maturity Water (M+) Allergy (L) 64sf	3B	☼
16	MANHATTAN EUONYMUS <i>Euonymus kiautschovicus</i> 5 Gal., 6'-15" Inst./5' x 5' maturity Water (L) Allergy (L) 25sf	4B	☼
			GROUNDCOVERS
			* GREYLEAF COTONEASTER <i>Cotoneaster glaucophyllus</i> 5 Gal., 24"-4" Inst./2' x 4' maturity Water (M) Allergy (L) 81sf
			* KARL FOERSTER REED GRASS <i>Calamagrostis x acutiflora 'Karl Foerster'</i> 5 Gal., 12'-3" Inst./3' x 3' maturity Water (M) Allergy (L) 4sf
			* KNOCKOUT ROSE <i>Rosa</i> 5 Gal., 3'-15" Inst./3' x 3' maturity Water (M+) Allergy (L) 4sf
			* CARPET ROSE <i>Rosa</i> 5 Gal., 3'-15" Inst./2' x 3' maturity Water (M) Allergy (L) 4sf
			* BEARGRASS <i>Nolina microcarpa</i> 5 Gal., 18'-3" Inst./5' x 6' maturity Water (L+) Allergy (L) 36sf
			* MUGO PINE <i>Pinus mugo</i> 5 Gal., 12'-3" Inst./3' x 3' maturity Water (M) Allergy (L) 4sf
			* RED YUCCA <i>Hesperaloe parviflora</i> 5 Gal., 18'-3" Inst./3' x 4' maturity Water (L+) Allergy (L) 16sf
			* INDIAN HAWTHORN <i>Raphiolepis indica</i> 5 Gal., 18'-3" Inst./6' x 6' maturity Water (M) Allergy (L) 36sf
			* MAIDENGRASS <i>Miscanthus sinensis</i> 5 Gal., 18'-3" Inst./5' x 5' maturity Water (M+) Allergy (L) 25sf
			* MAHONIA <i>Mahonia aquifolium</i> 5 Gal., 12'-3" Inst./2' x 3' maturity Water (M) Allergy (L) 4sf
			* WINTER JASMINE <i>Jasminum nudiflorum</i> 5 Gal., 24"-4" Inst./2' x 8' maturity Water (L+) Allergy (L) 64sf

NOTE: LEGEND IS NOT TO SCALE



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LANDSCAPE ARCHITECT'S SEAL



5 / 15 / 14

STILLBROOKE HOMES
SEVANO PLACE

CENTRAL LANDSCAPED AREA

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be reissued or copied unless appropriate credit is given to the designer.



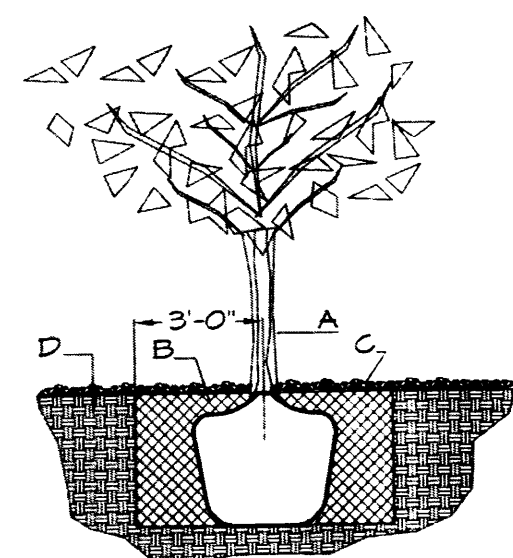
DRAWN BY: CS
REVISION: 14
1/5 CAD
DATE: APRIL 2014

SHEET #
L2 OF L2

PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

SHADE TREES	
27	AUTUMN PURPLE ASH <i>Fraxinus americana</i> 2" Gal., 12-14" Inst./60" x 60" maturity Water (M) Allergy (H) 0sf
7	HONEY LOCUST <i>Gleditsia triacanthos</i> 2" Gal., 12-14" Inst./50" x 50" maturity Water (M) Allergy (L) 0sf
9	EASTERN REDBUD <i>Cercis canadensis</i> 2" Gal., 8-10" Inst./30" x 30" maturity Water (M) Allergy (L) 0sf
ORNAMENTAL TREES	
4	* AUSTRIAN PINE <i>Pinus nigra</i> 15 Gal., 4-6" Inst., 35' x 25' maturity Water (M) Allergy (L) 0sf
12	DESERT WILLOW <i>Chilopsis linearis</i> 15 Gal., 4-10" Inst./20' x 25' maturity Water (L) Allergy (L) 225sf
5	NEW MEXICO OLIVE <i>Forestiera neomexicana</i> 15 Gal., 4-10" Inst./15' x 15' maturity Water (M) Allergy (L) 225sf
SHRUBS	
5	RED TWIG DOGWOOD <i>Cornus sericea</i> 5 Gal., 2-4" Inst./4' x 12' maturity Water (M+) Allergy (L) 144sf
3	BUTTERFLY BUSH <i>Buddleia davidii</i> 5 Gal., 12-3" Inst./10' x 10' maturity Water (M) Allergy (L) 100sf
5	* PHOTINIA <i>Photinia Fraseri</i> 5 Gal., 2-4" Inst./8' x 8' maturity Water (M+) Allergy (L) 64sf
16	MANHATTAN EUONYMUS <i>Euonymus kiautschovicus</i> 5 Gal., 6-15" Inst./75' x 5' maturity Water (L) Allergy (L) 25sf
6	KARL FOERSTER REED GRASS <i>Calamagrostis x acutiflora 'Karl Foerster'</i> 5 Gal., 12-3" Inst./3' x 3' maturity Water (M) Allergy (L) 9sf
16	KNOCKOUT ROSE <i>Rosa</i> 5 Gal., 3-15" Inst./3' x 3' maturity Water (M+) Allergy (L) 9sf
97	CARPET ROSE <i>Rosa</i> 5 Gal., 3-15" Inst./2' x 3' maturity Water (M) Allergy (L) 9sf
8	* BEARGRASS <i>Nolina microcarpa</i> 5 Gal., 18-3" Inst./5' x 6' maturity Water (L+) Allergy (L) 36sf
13	* MUGO PINE <i>Pinus mugo</i> 5 Gal., 12-3" Inst./3' x 3' maturity Water (M) Allergy (L) 9sf
20	* RED YUCCA <i>Hesperaloe parviflora</i> 5 Gal., 18-3" Inst./3' x 4' maturity Water (L+) Allergy (L) 16sf
6	* INDIAN HAWTHORN <i>Raphiolepis indica</i> 5 Gal., 18-3" Inst./6' x 6' maturity Water (M) Allergy (L) 36sf
6	MAIDENGRASS <i>Miscanthus sinensis</i> 5 Gal., 18-3" Inst./5' x 5' maturity Water (M+) Allergy (L) 25sf
3	* MAHONIA <i>Mahonia aquifolium</i> 5 Gal., 12-3" Inst./2' x 3' maturity Water (M) Allergy (L) 9sf
GROUNDCOVERS	
38	* GREYLEAF COTONEASTER <i>Cotoneaster glaucophyllus</i> 5 Gal., 24-4" Inst./2' x 4' maturity Water (M) Allergy (L) 81sf
43	WINTER JASMINE <i>Jasminum nudiflorum</i> 5 Gal., 24-4" Inst./2' x 8' maturity Water (L+) Allergy (L) 64sf



TREE PLANTING DETAIL

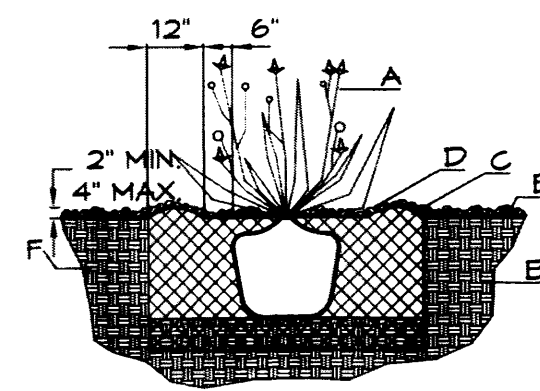
NTS

GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.



SHRUB PLANTING DETAIL

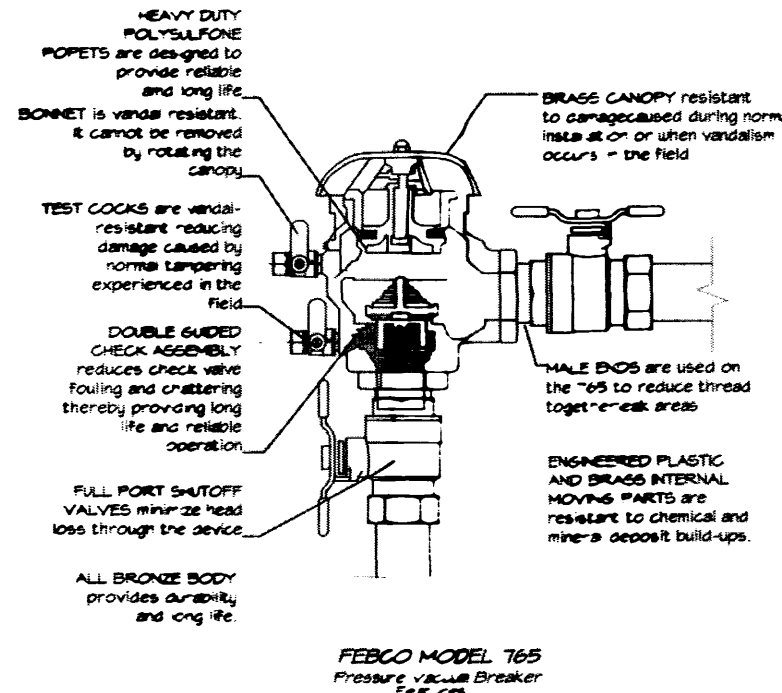
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GENERAL NOTES:

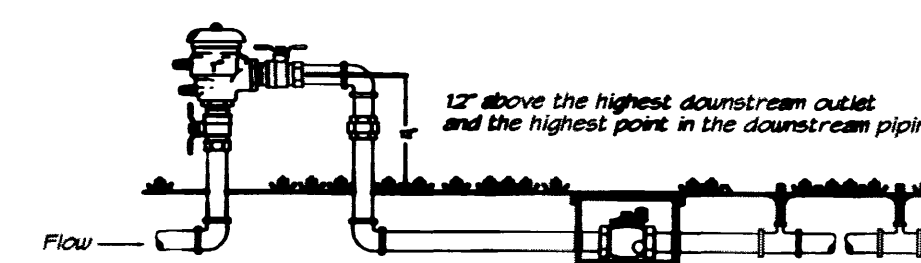
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

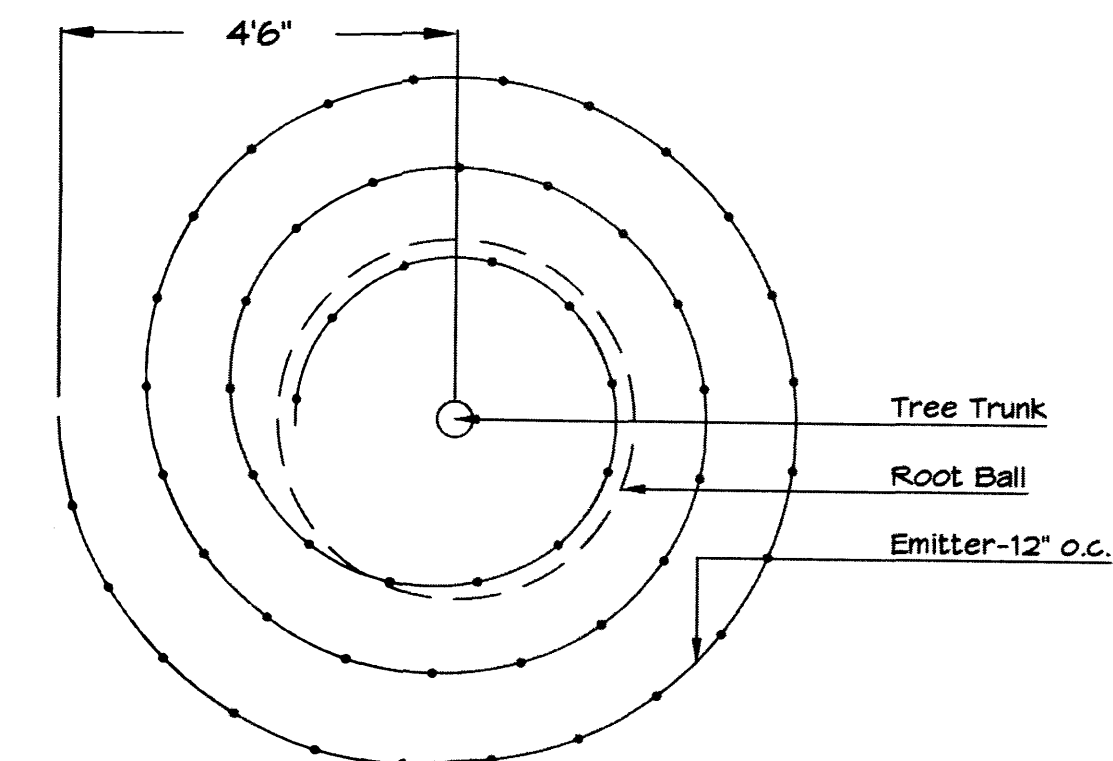
- A. SHRUB
- B. BACKFILL WITH EXISTING SOIL.
- C. BARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



FEBCO MODEL 165
Pressure Vacuum Breaker



FEBCO MODEL 165
Pressure Vacuum Breaker
Outside Installation



Netafim Spiral Detail

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

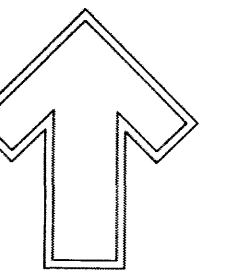
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



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LANDSCAPE
ARCHITECT'S
SEAL



5/15/14

STILLBROOKE HOMES
SEVANO PLACE
LANDSCAPE NOTES AND LEGEND

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. The contractor shall be responsible for obtaining all required permits and shall be responsible for obtaining all applicable fees. The contractor shall be responsible for obtaining all applicable fees. The contractor shall be responsible for obtaining all applicable fees.

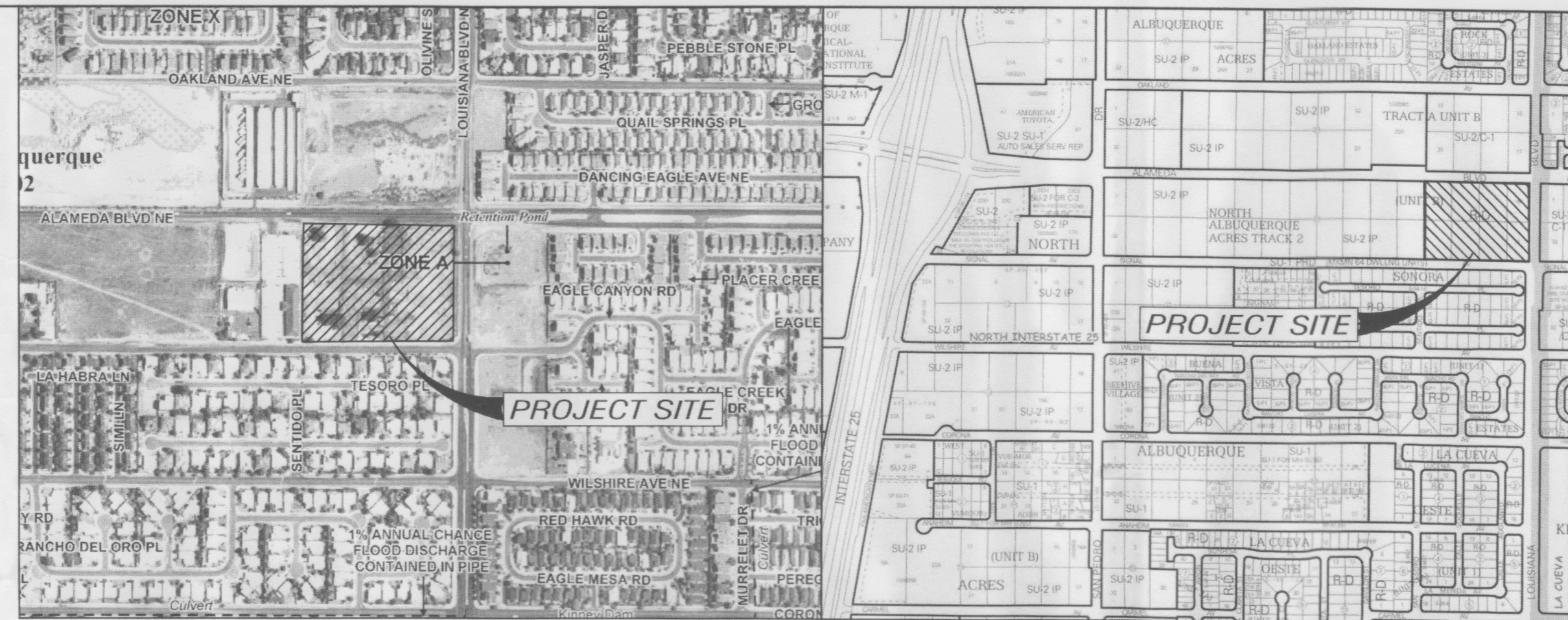
The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY
CS
REVISION # 14
1/5/15-15-14
DATE
APRIL 2014

SHEET #
L3 OF L3

EROSION CONTROL NOTES

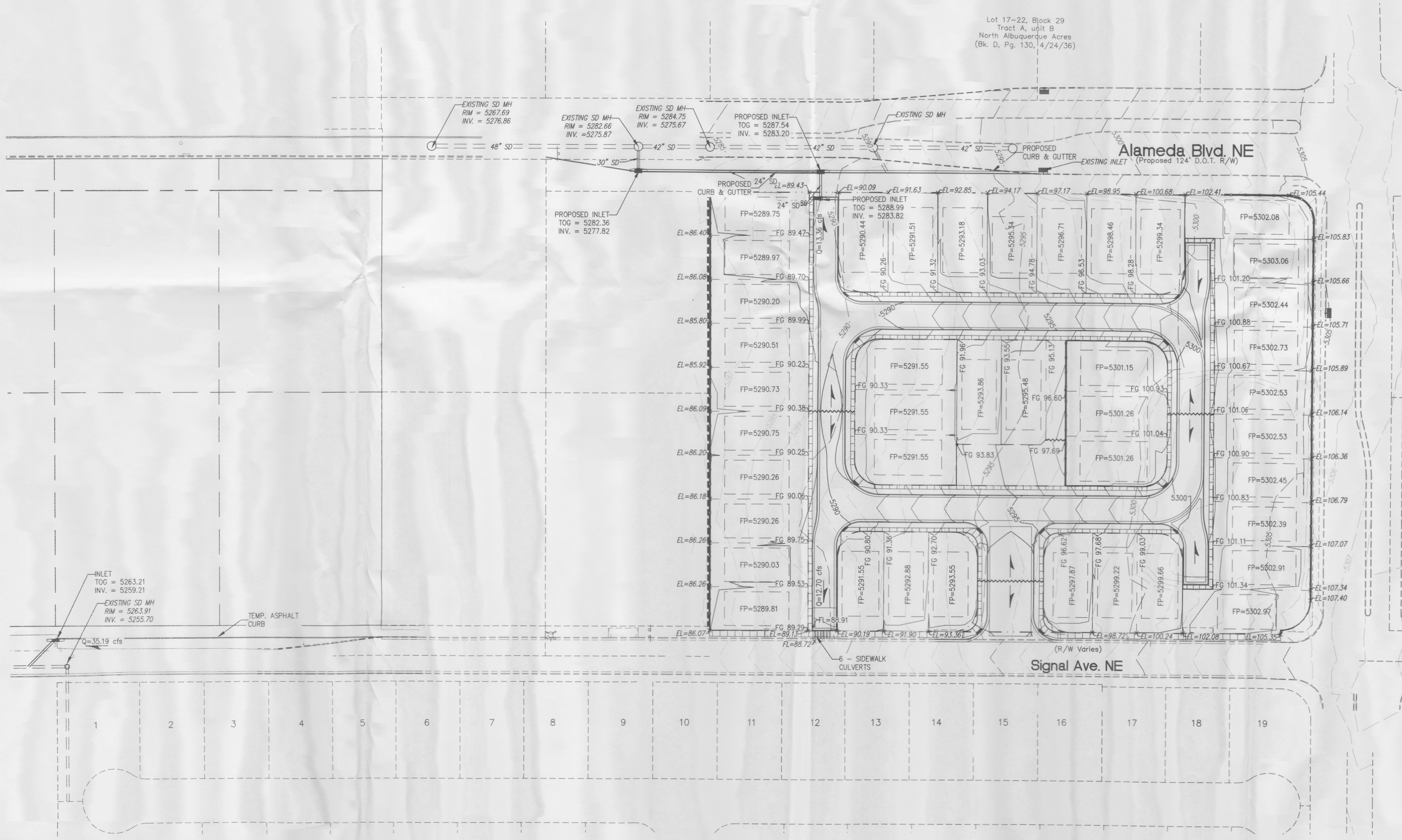
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



FIRM MAP NO. 35001C0141H

VICINITY MAP C-18-Z

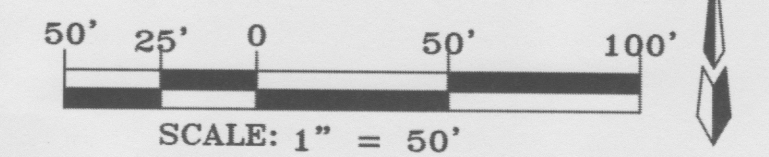
Lot 17-22, Block 29
Tract A, unit B
North Albuquerque Acres
(Bk. D, Pg. 130, 4/24/36)



KEYED NOTES

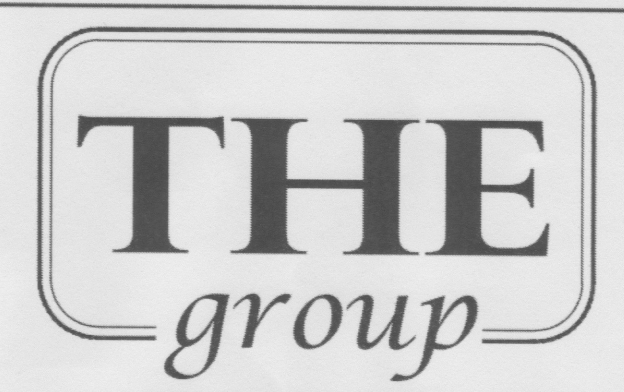
LEGEND

- FLOW ARROW
- SLOPE ARROW
- EL=11.28 PROPOSED ELEVATION
- x 66.33 EXISTING ELEVATION
- GRADE BREAK
- 4966 EXISTING CONTOUR
- 4966 PROPOSED CONTOUR
- PROPOSED EASEMENT
- 4.00% PROPOSED GRADE
- EXISTING WALL
- PROPOSED RETAINING WALL



No.	Revision/Issue	Date

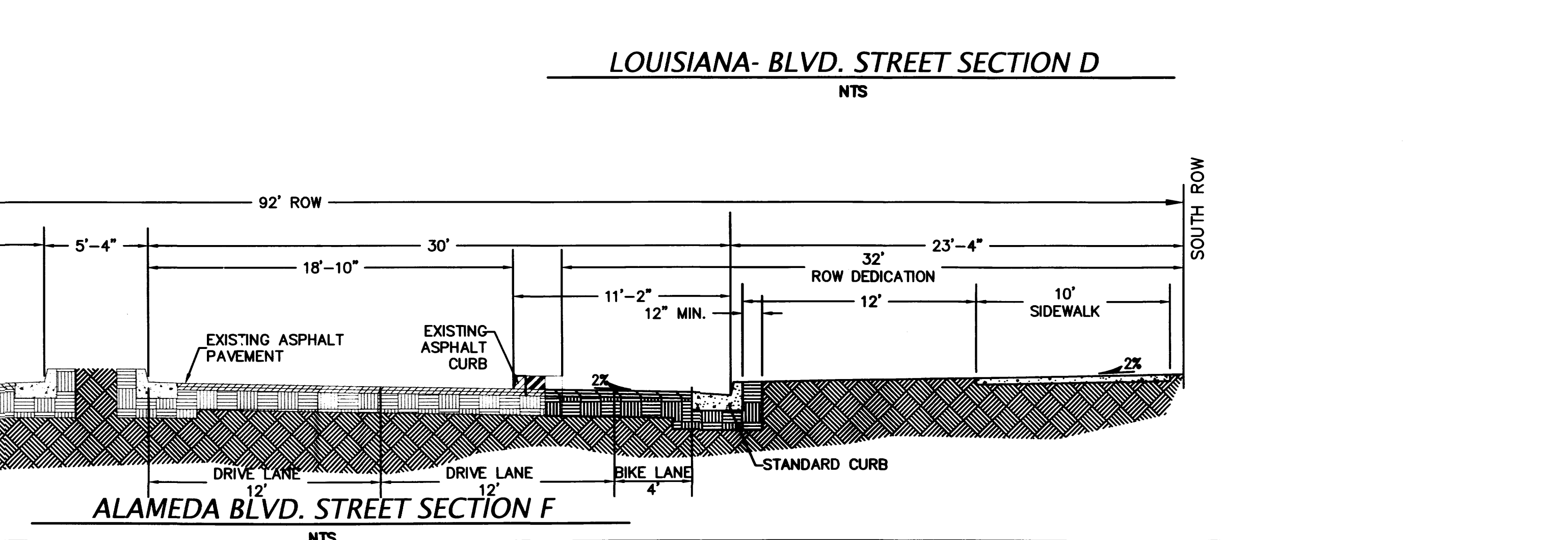
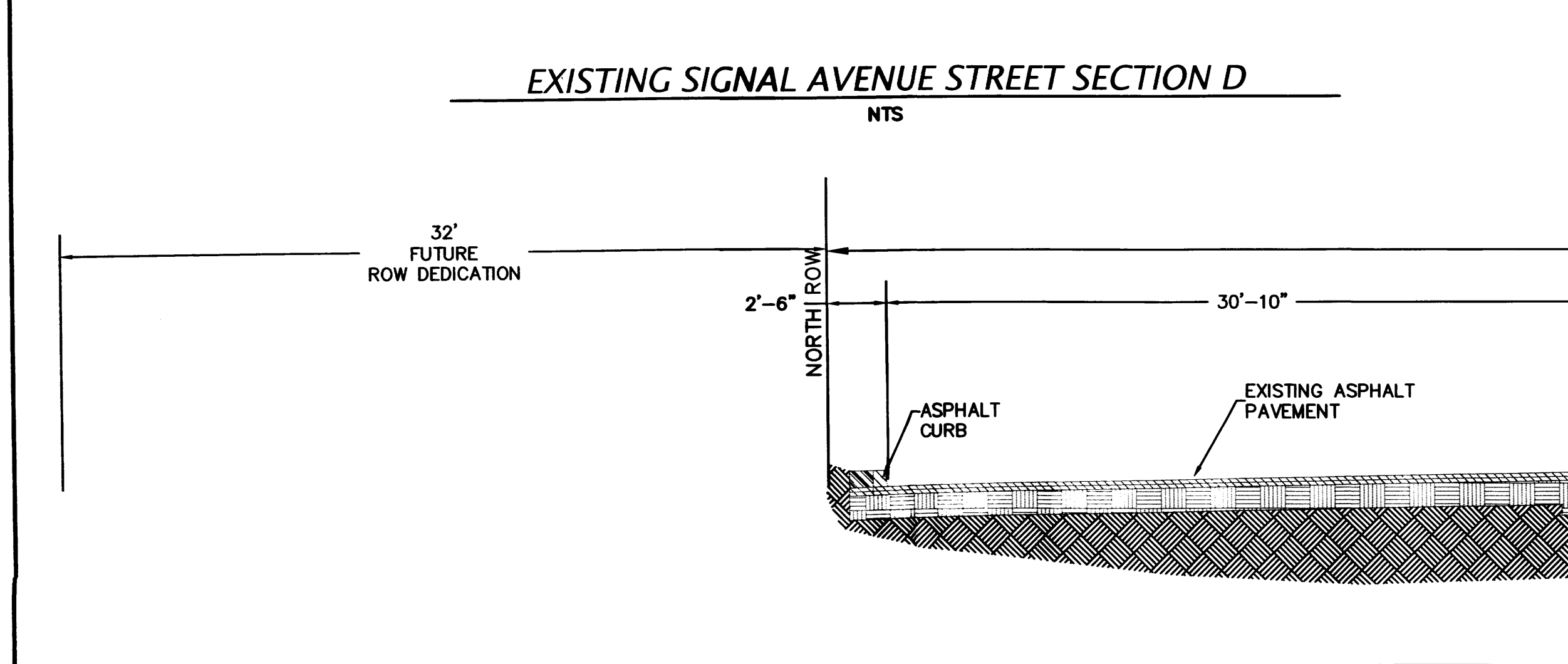
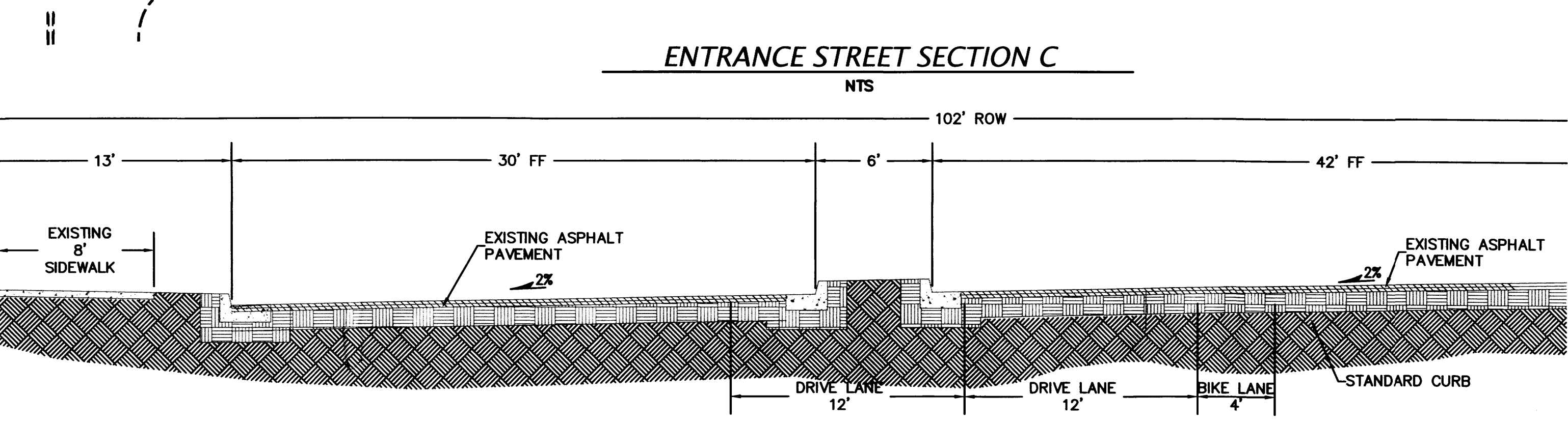
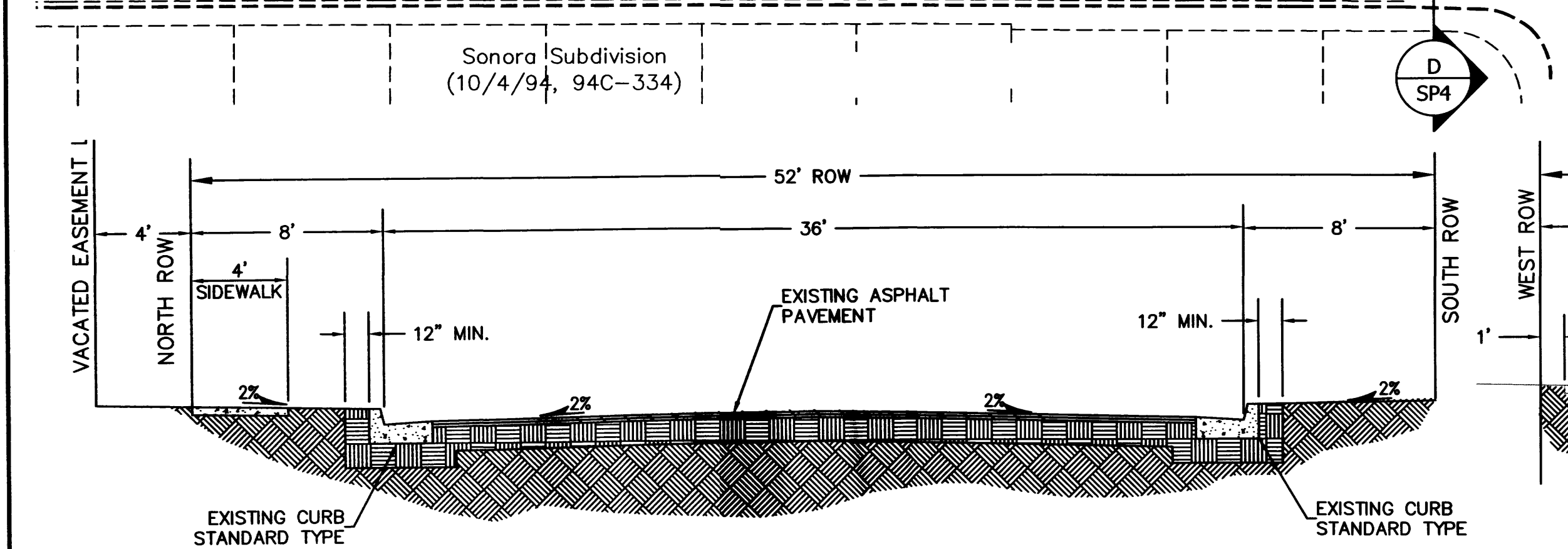
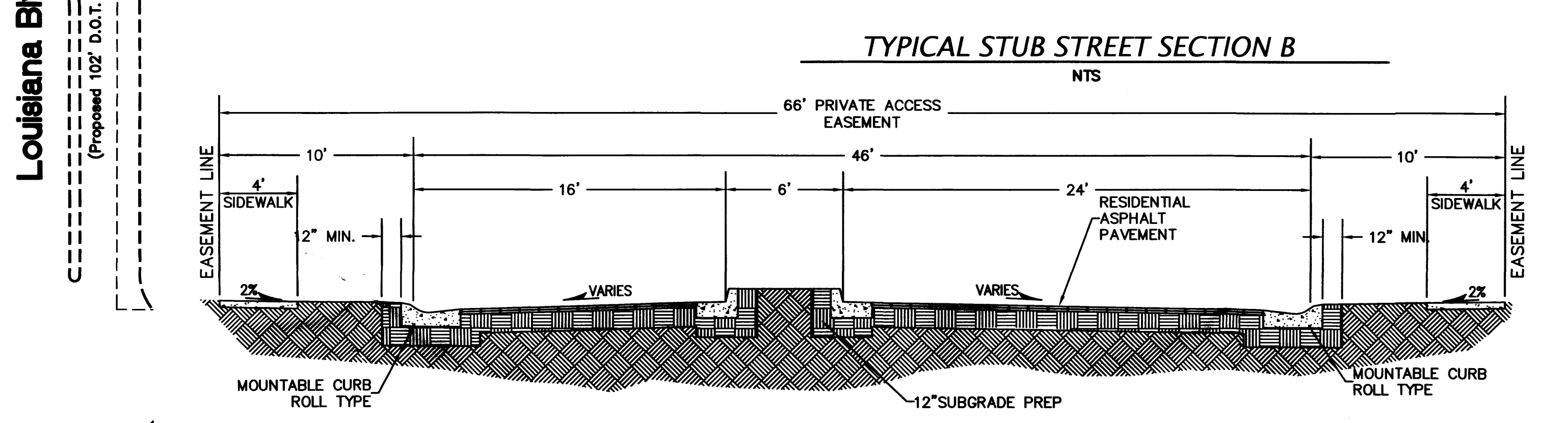
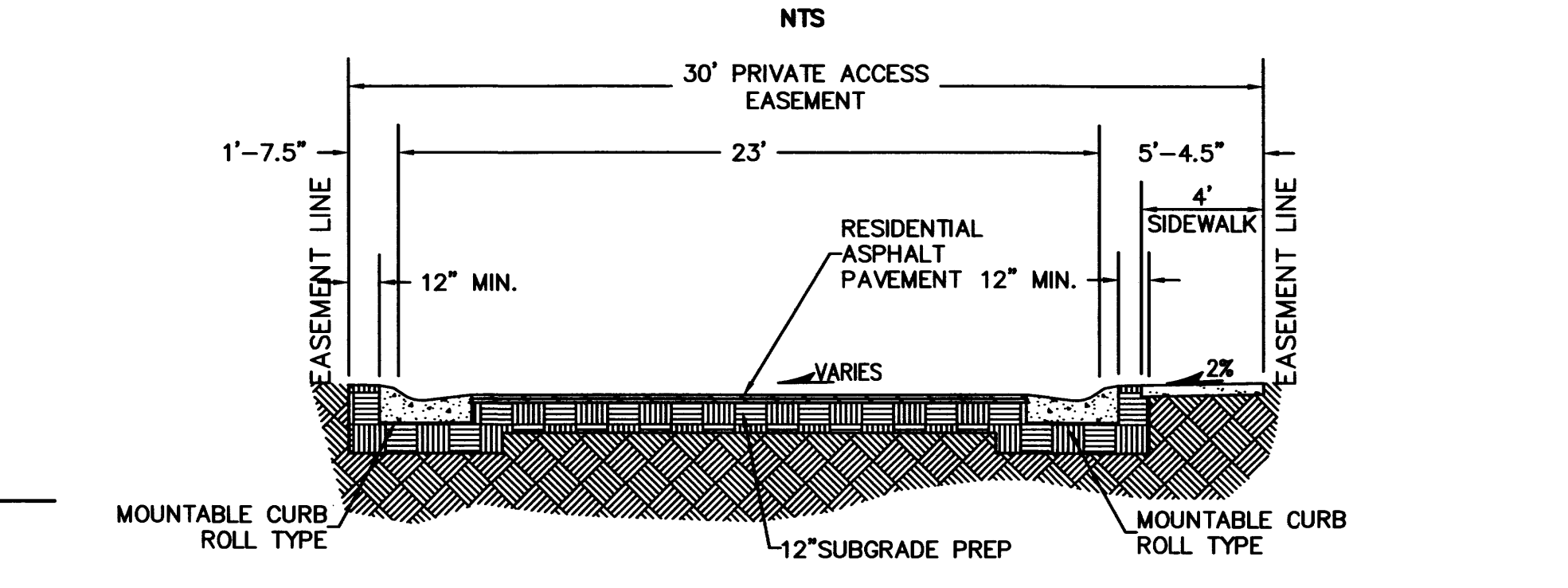
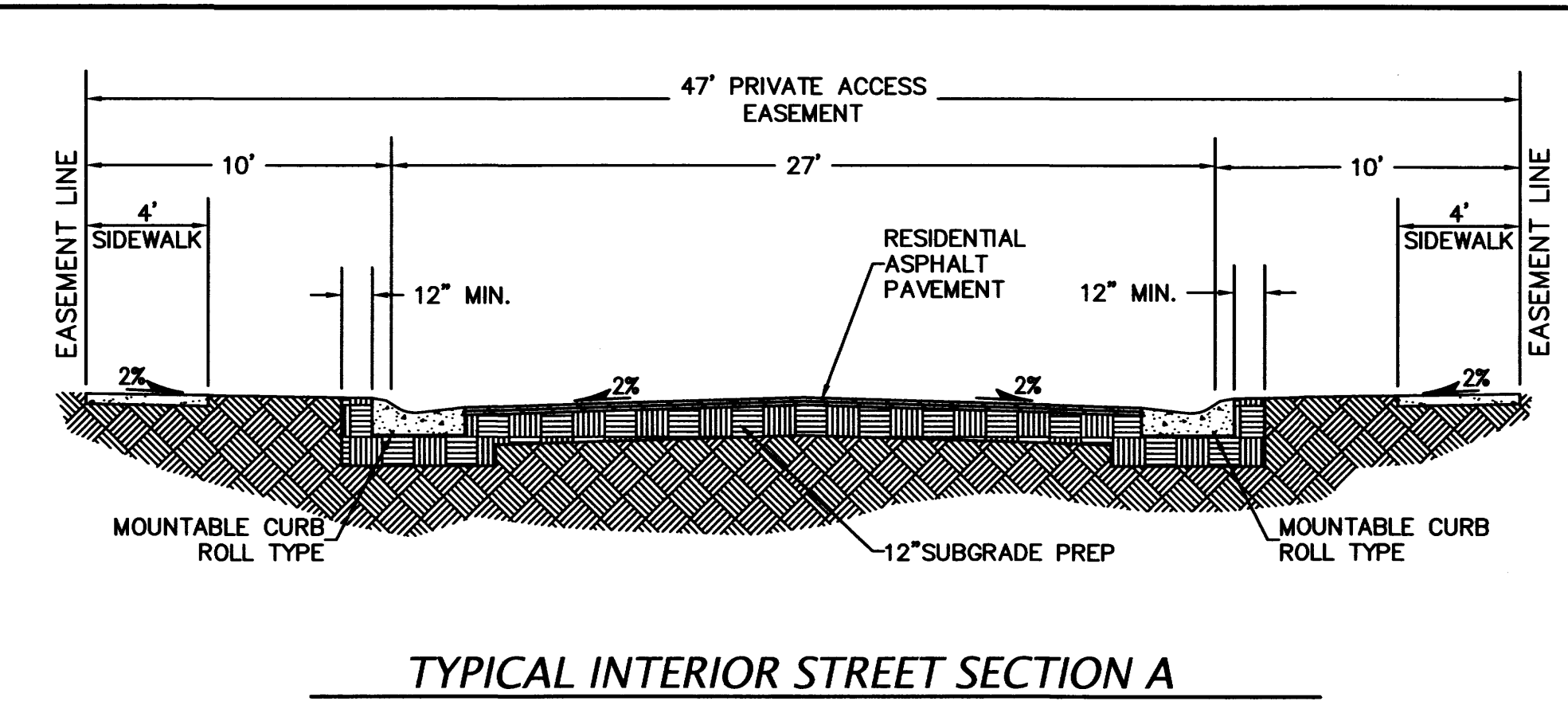
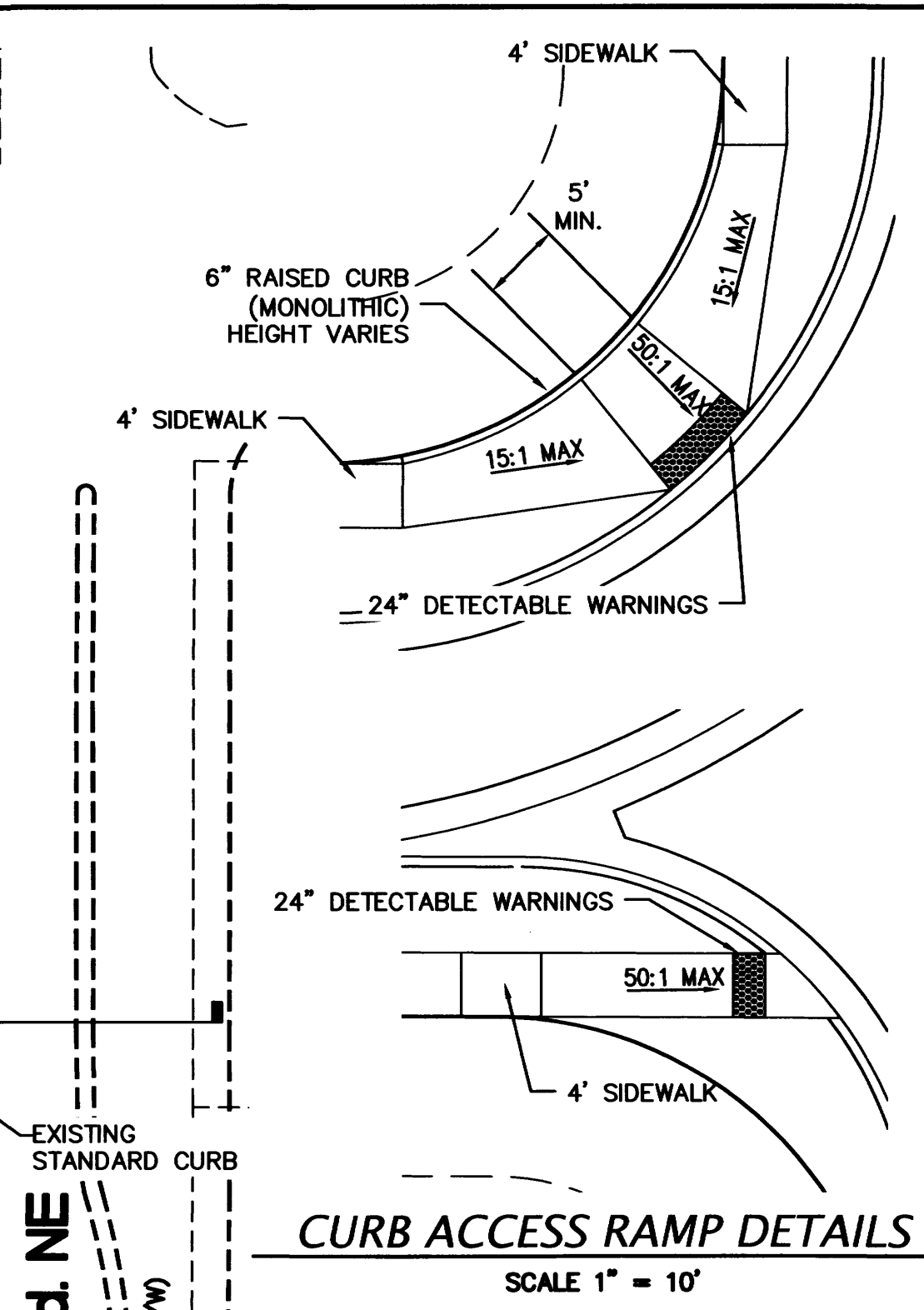
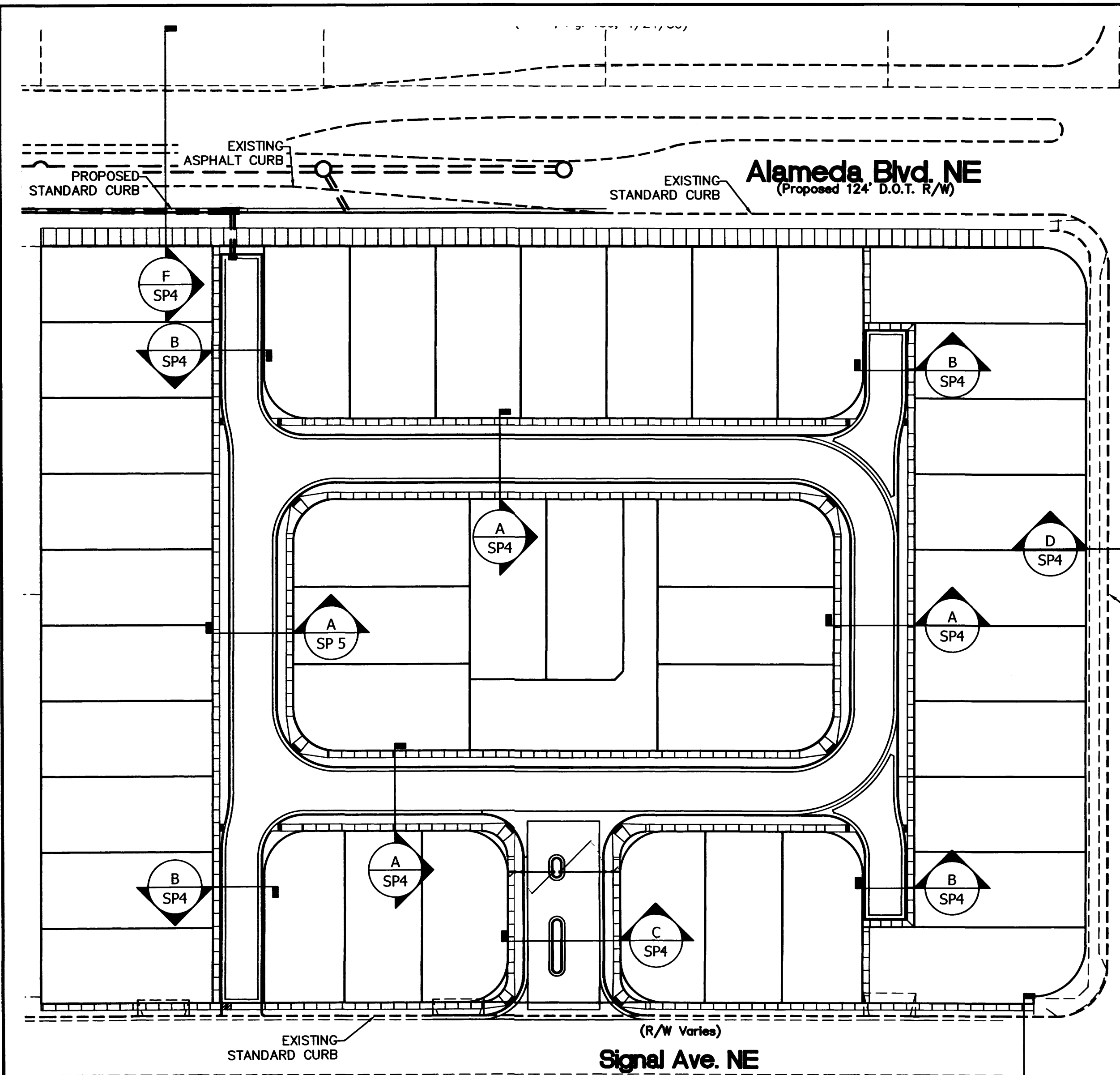
SEVANO PLACE
SITE DEVELOPMENT PLAN
FOR SUBDIVISION
Albuquerque, New Mexico



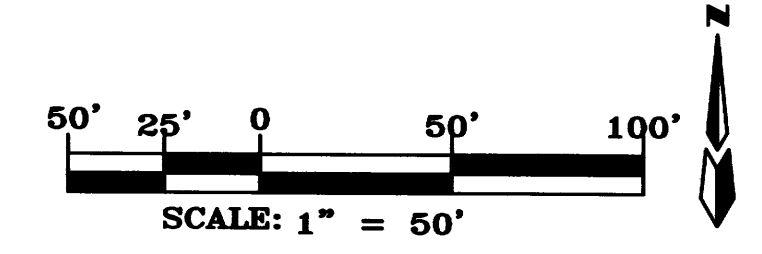
THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 514-0995

Sheet Title
MASTER GRADING AND DRAINAGE PLAN
Date
MAY 2, 2014
Project No.

Sheet Number
SP3



○ KEYED NOTES



No.	Revision/Issue	Date

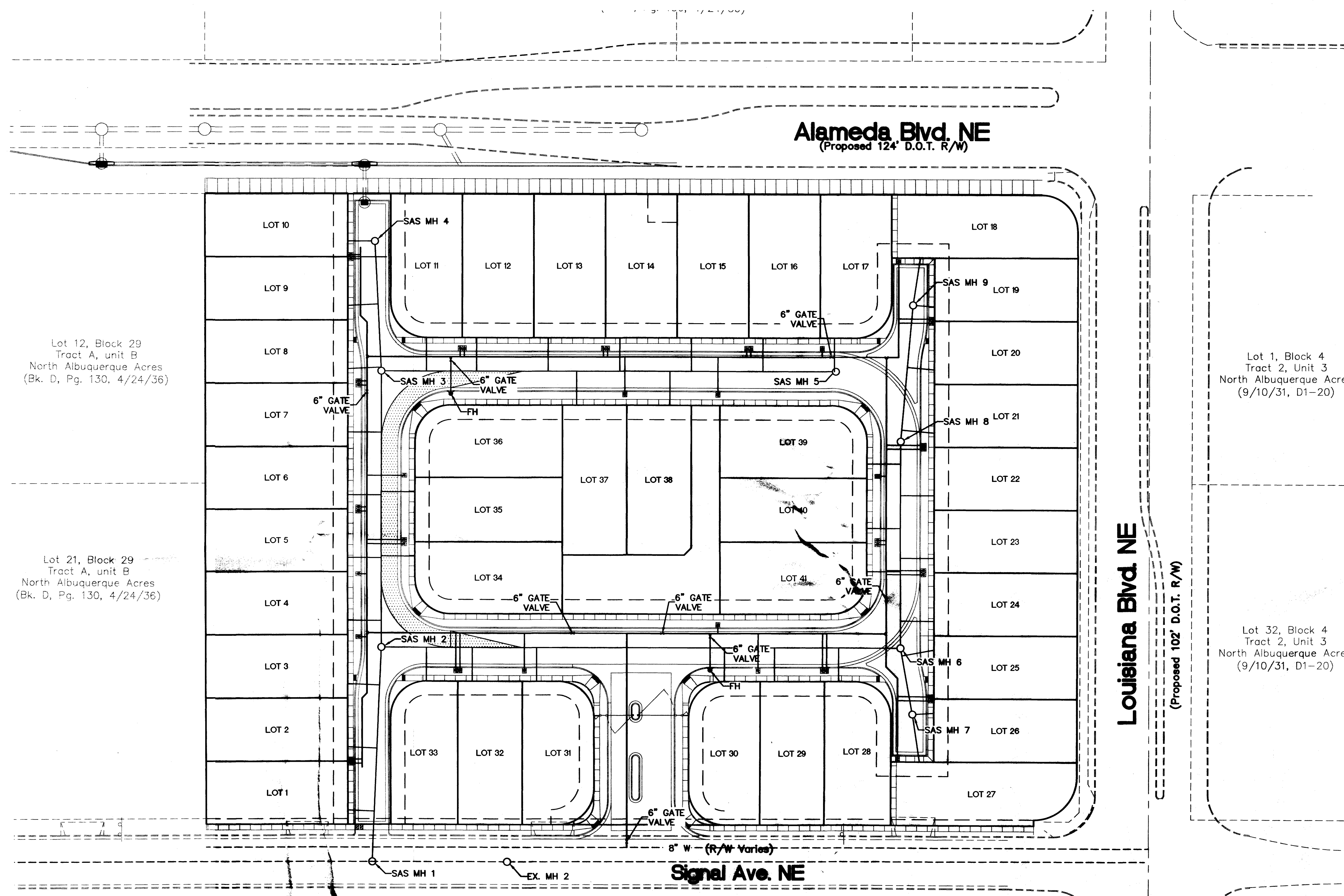
**SEVANO PLACE
SITE DEVELOPMENT PLAN**
Albuquerque, New Mexico



THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 514-0995

Sheet Title MASTER PAVING PLAN	Sheet Number SP4
Date JUNE 6, 2014	
Project No.	

○ KEYED NOTES

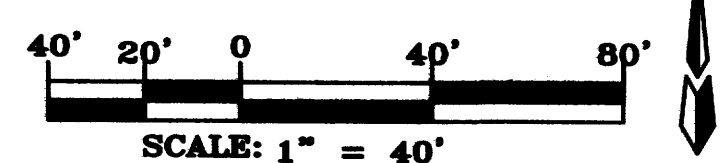


Lot 12, Block 29
Tract A, unit B
North Albuquerque Acres
(Bk. D, Pg. 130, 4/24/36)

Lot 21, Block 29
Tract A, unit B
North Albuquerque Acres
(Bk. D, Pg. 130, 4/24/36)

Lot 1, Block 4
Tract 2, Unit 3
North Albuquerque Acres
(9/10/31, D1-20)

Lot 32, Block 4
Tract 2, Unit 3
North Albuquerque Acres
(9/10/31, D1-20)



No.	Revision/Issue	Date

SEVANO PLACE
SITE DEVELOPMENT PLAN
Albuquerque, New Mexico

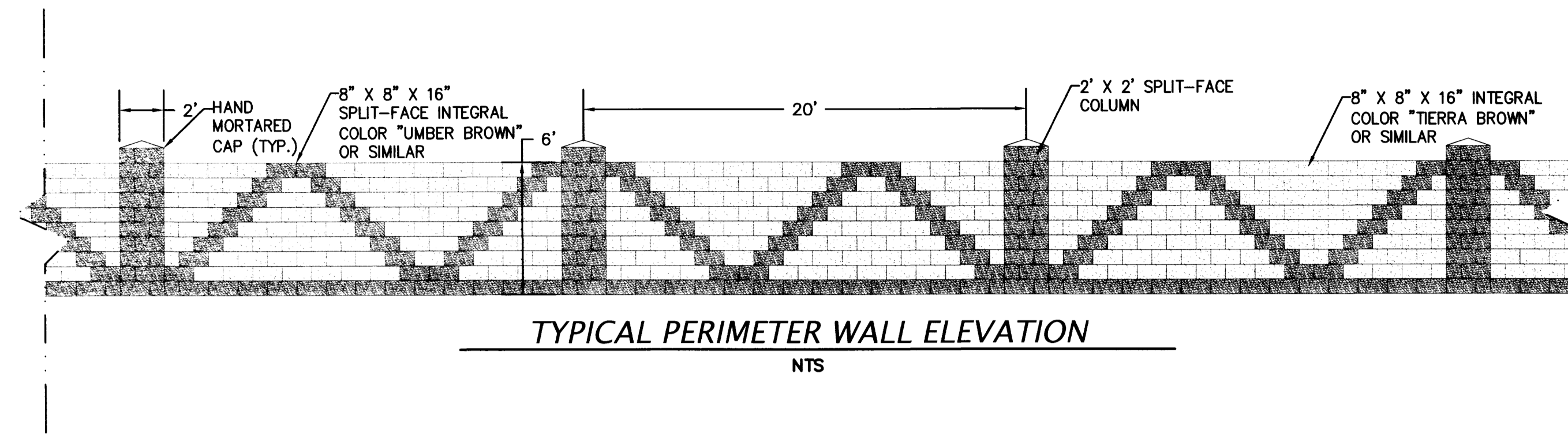


THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 514-0995

Sheet Title
MASTER UTILITY PLAN
Date
JUNE 6, 2014
Project No.

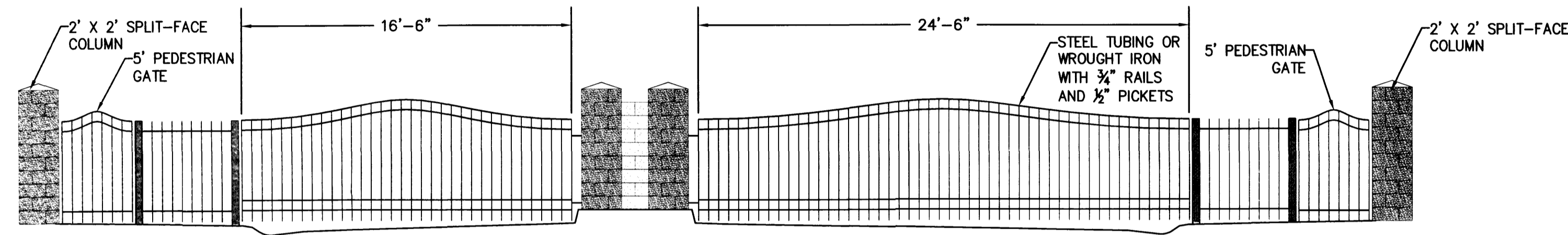
Sheet Number
SP5

○ KEYED NOTES



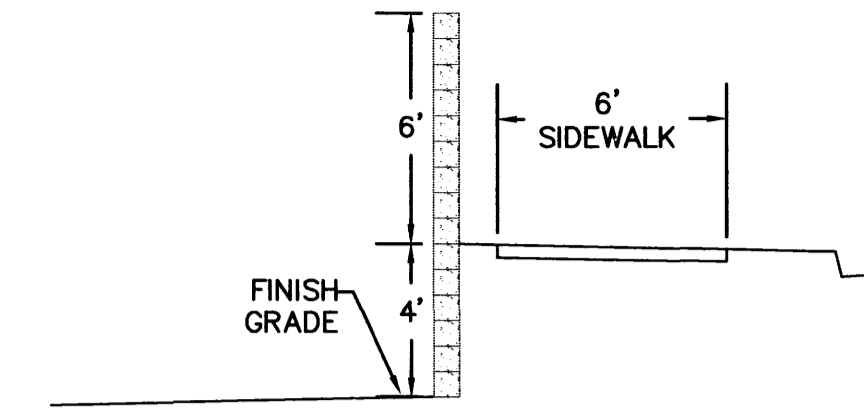
TYPICAL PERIMETER WALL ELEVATION

NTS



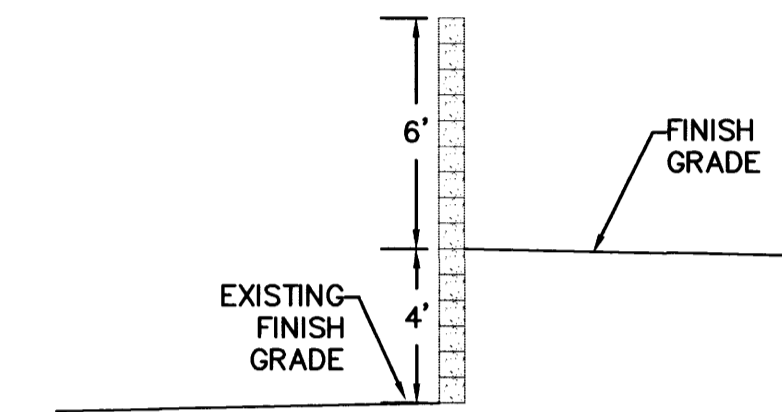
GATED ENTRANCE ELEVATION

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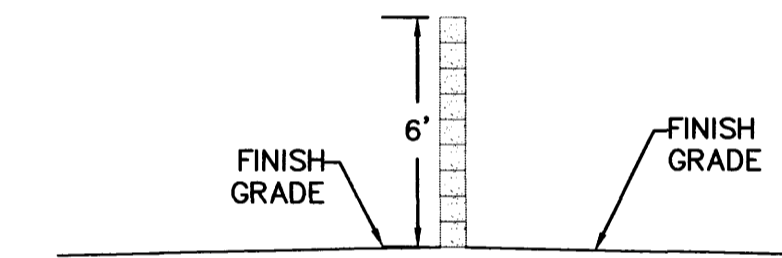
LOUISIANA BLVD. EAST WALL SECTION

NTS



WEST WALL SECTION

NTS



NORTH & SOUTH WALL SECTION

NTS

No.	Revision/Issue	Date

SEVANO PLACE
SITE DEVELOPMENT PLAN
Albuquerque, New Mexico



THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 514-0995

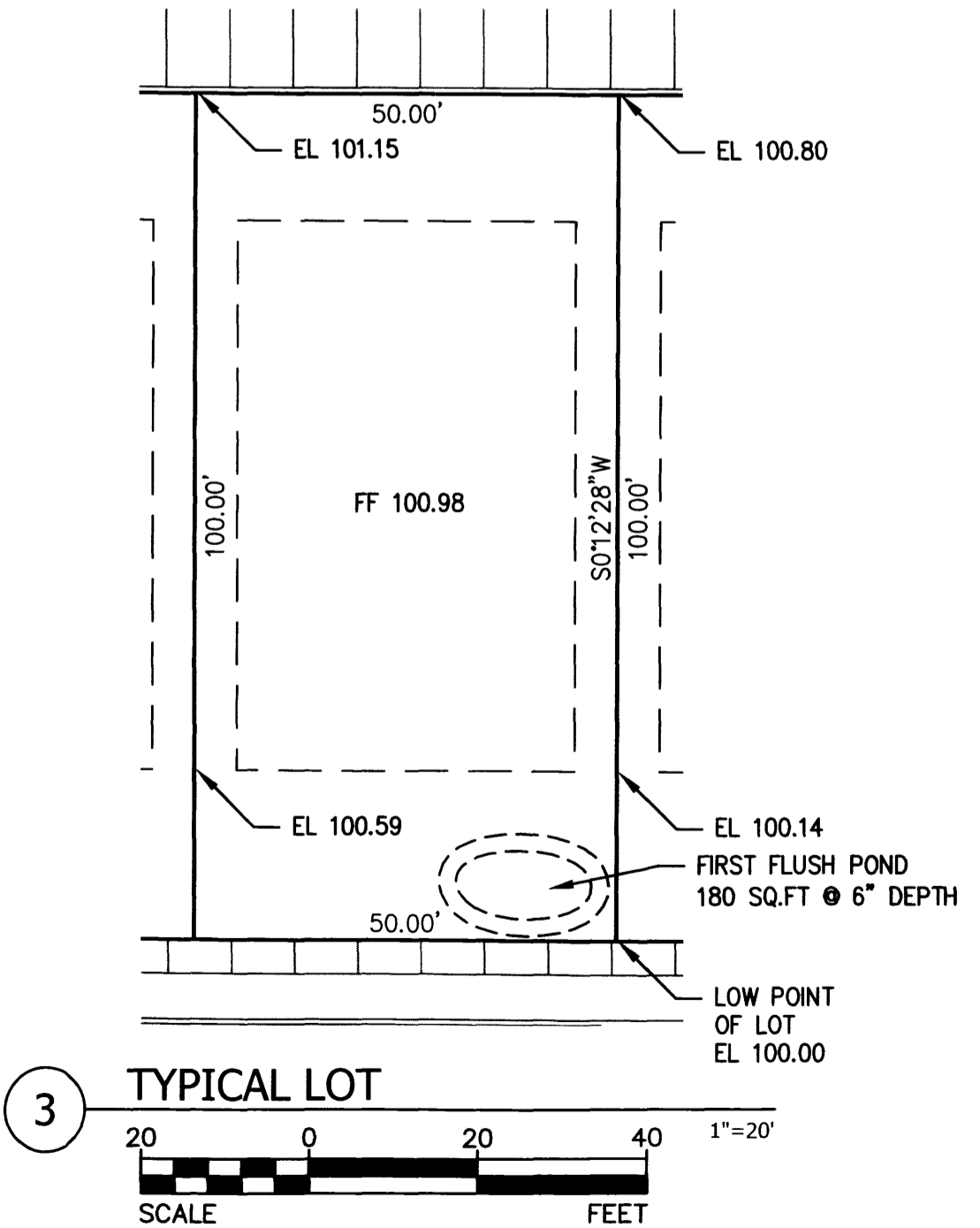
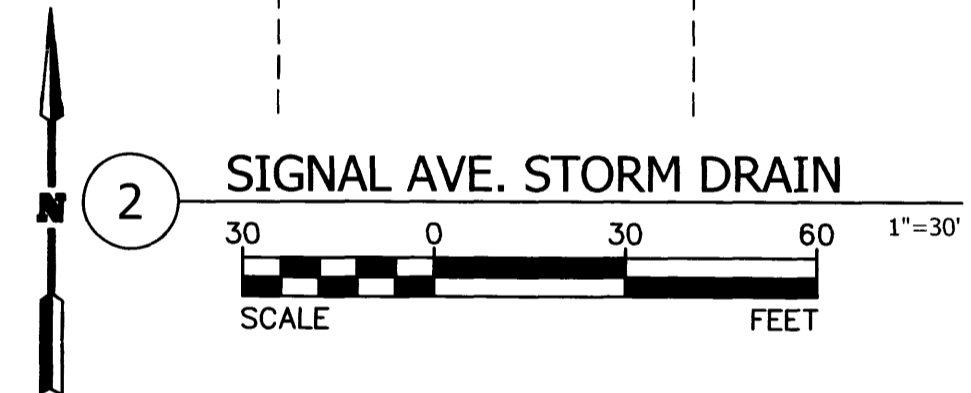
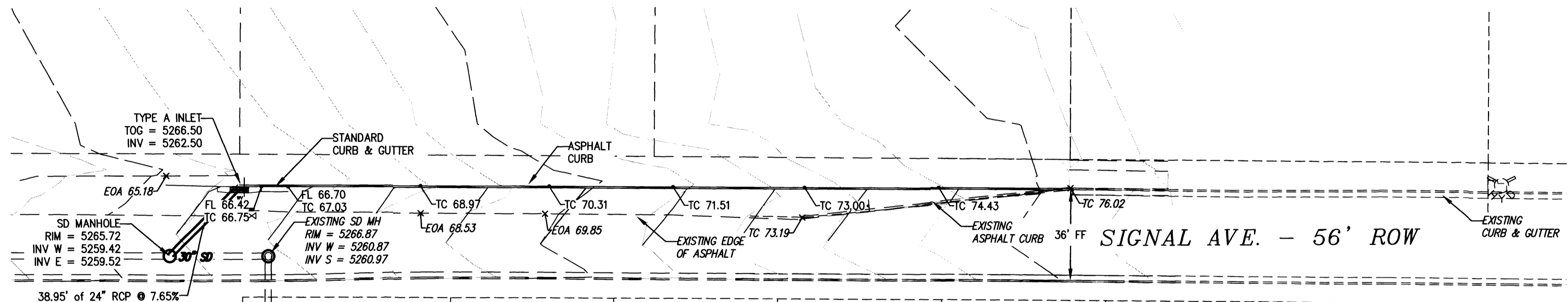
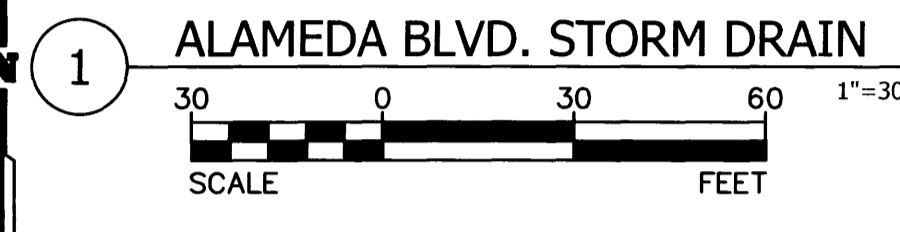
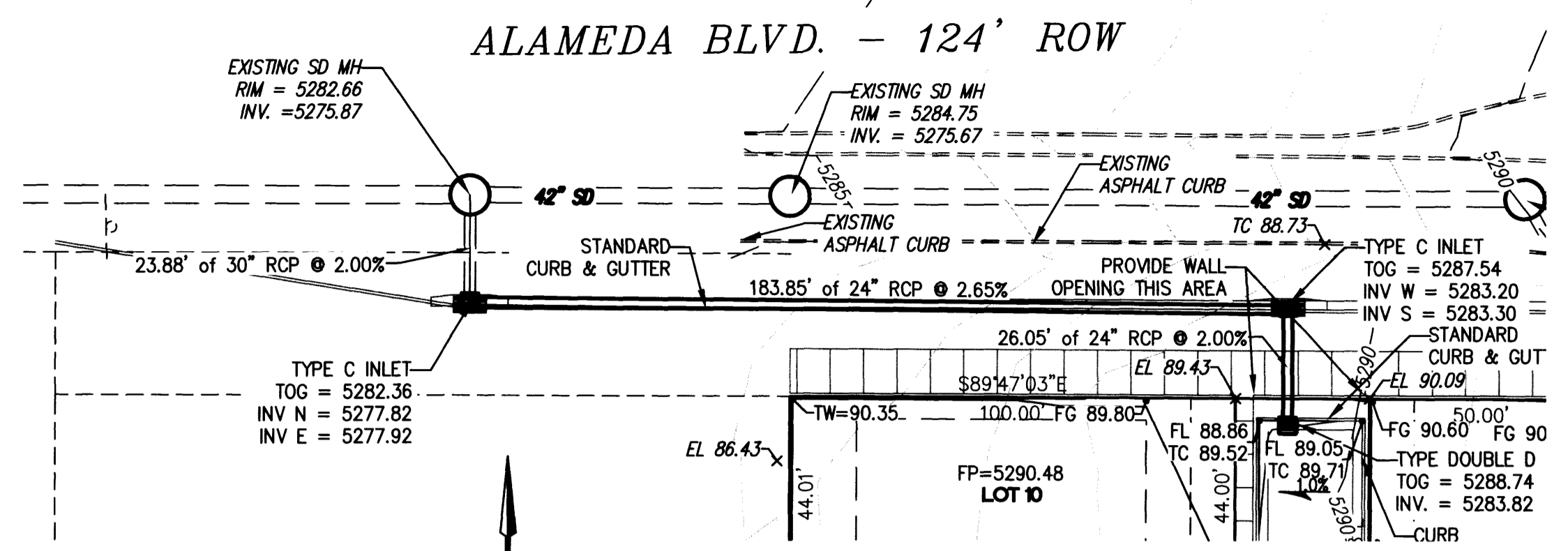
Sheet Title
ELEVATIONS AND DETAILS

Date
JUNE 6, 2014

Project No.

Sheet Number

SP6



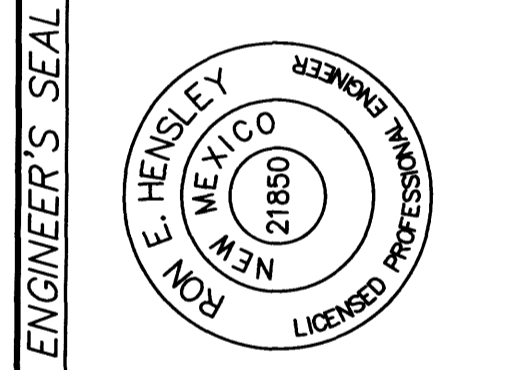
- LEGEND**
- FLOW ARROW
 - ↘ SLOPE ARROW
 - EL=11.28 PROPOSED ELEVATION
 - x 66.33 EXISTING ELEVATION
 - ~~~~ GRADE BREAK
 - EXISTING CONTOUR
 - - - EXISTING CONTOUR
 - - - PROPOSED EASEMENT
 - 4.00% PROPOSED GRADE
 - - - EXISTING WALL
 - PROPOSED WALL

THE Group
 300 Branding Iron Rd. SE
 Rio Rancho, New Mexico 87124
 Phone: (505)514-0995

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP
SEVANO PLACE SUBDIVISION
 REPLAT OF LOTS 13-20, BLOCK 2, UNIT B, TRACT A, NAA
 GRADING & DRAINAGE PLAN

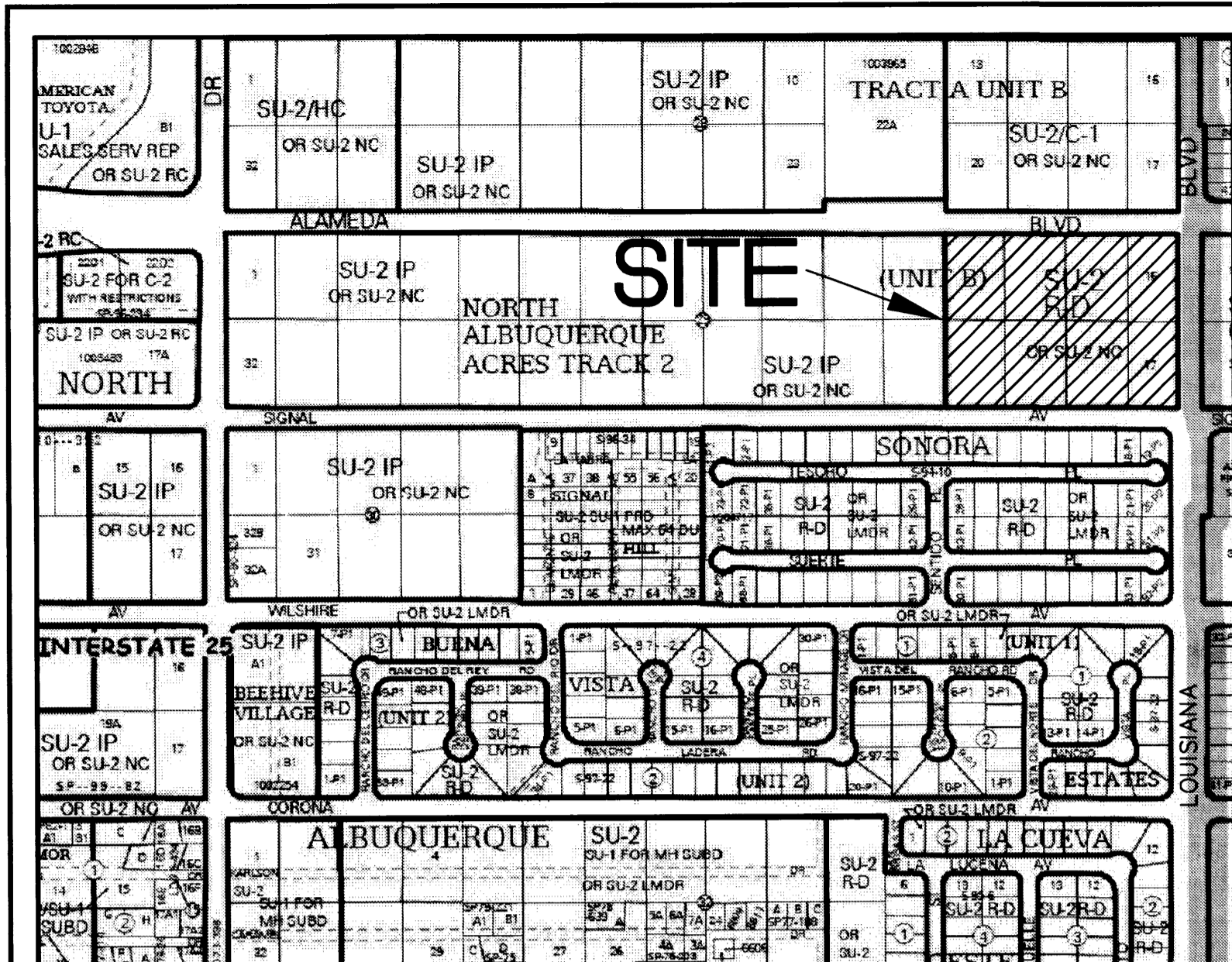
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	DATE	DATE	DATE	DATE



NO.	DATE	REVISIONS	BY
		DESIGN	

DESIGNED BY REH	DATE JUN 2014
DRAWN BY REH	DATE JUN 2014
CHECKED BY REH	DATE JUN 2014



Zone Atlas C-18-Z n.t.s.

Easement Notes

- EXISTING 7' UTILITY EASEMENT (9/9/60, D562-289)
- EXISTING 20'X20' EASEMENT AGREEMENT (5/22/2000, A5-9163)
- EXISTING RIGHT OF WAY EASEMENT (1/6/89, 701A-185)
- EXISTING US WEST & PNM EASEMENT (10/23/96, 96-28-5758)
- EXISTING 7' UTILITY EASEMENT (10/1/79, 723-603) TO BE RELEASED IN THE FUTURE BY DOCUMENT
- 10' PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- EXISTING ROADWAY EASEMENT (04/24/30, D-130) TO BE VACATED WITH THE FILING OF THIS PLAT
- EXISTING CENTURYLINK EASEMENT (01/08/2014, DOC. NO. 2014001747)
- TRACT A - LANDSCAPE EASEMENT GRANTED WITH THE FILING OF THIS PLAT, TO BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION TO BE ESTABLISHED
- PRIVATE ROADWAY & DRAINAGE EASEMENT GRANTED WITH THE FILING OF THIS PLAT BENEFITTING LOTS 1-41, AND TO BE MAINTAINED BY A HOMEOWNERS ASSOCIATION TO BE ESTABLISHED-BLANKET ACROSS ALL OF TRACT B
- 12' PEDESTRIAN ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- PUBLIC WATER & SANITARY SEWER EASEMENT GRANTED WITH THE FILING OF THIS PLAT-BLANKET ACROSS ALL OF TRACT B

Disclosure Statement

- THE PURPOSE OF THIS PLAT IS TO:
- CREATE 41 RESIDENTIAL LOTS AND 1 TRACT.
 - DEDICATE RIGHT-OF-WAY FOR ALAMEDA BLVD N.E. AND SIGNAL AVENUE, N.E.
 - GRANT EASEMENTS AS SHOWN HEREON.
 - LOT LINES TO BE ELIMINATED SHOWN AS THUS
 - VACATE EASEMENTS AS SHOWN HEREON.
 - VACATE ROADWAY EASEMENTS AS SHOWN HEREON.

Benchmark

ACS MONUMENT "10_C18" HAVING AN ELEVATION OF 5222.090 (NAVD 88).

Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD (4/24/36, D-130)
⊙	FOUND MONUMENT AS INDICATED
○	SET BATHEY MARKER "LS 14271" UNLESS INDICATED OTHERWISE
▲	SET CENTERLINE MONUMENT
1-P1	LOT NUMBER

Preliminary Plat
Sevano Place Subdivision

Comprised of
Lots 13, 18 through 20 and Remaining
Portions of Lots 14 Thru 17, Block 29, North Albuquerque
Acres, Tract A, Unit B
within
Projected Section 13, Township 11 North, Range 3 East, NMPM
The Elena Gallegos Grant
City of Albuquerque, Bernalillo County, New Mexico
July 2014

Legal

A CERTAIN PARCEL OF LAND, BEING COMPRISED OF LOTS 13, 18 THRU 20 AND REMAINING PORTIONS OF LOTS 14 THROUGH 17, BLOCK 29, OF NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, SITUATE WITHIN SECTION 13, T11N, R3E, NMPM, AS PROJECTED INTO THE ELENA GALLEGOS GRANT, COUNTY OF BERNALILLO, CITY OF ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN BOOK D, PAGE 130, SAID PARCEL IS DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A PK NAIL, WHENCE A TIE TO ACS MONUMENT 9_C18 BEARS S 74°41'55" W, A DISTANCE OF 2082.24 FEET;

THENCE, FROM SAID POINT OF BEGINNING, N 00°12'28" E, A DISTANCE OF 497.99 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A 1/2" REBAR;

THENCE, S 89°47'03" E, A DISTANCE OF 165.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 00°12'28" W, A DISTANCE OF 32.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 89°47'03" E, A DISTANCE OF 419.92 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, 39.27 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00, A DELTA OF 89°59'20", AND A CHORD BEARING OF S 44°47'23" E, A DISTANCE OF 35.35 FEET, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 00°12'17" W, A DISTANCE OF 381.28 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

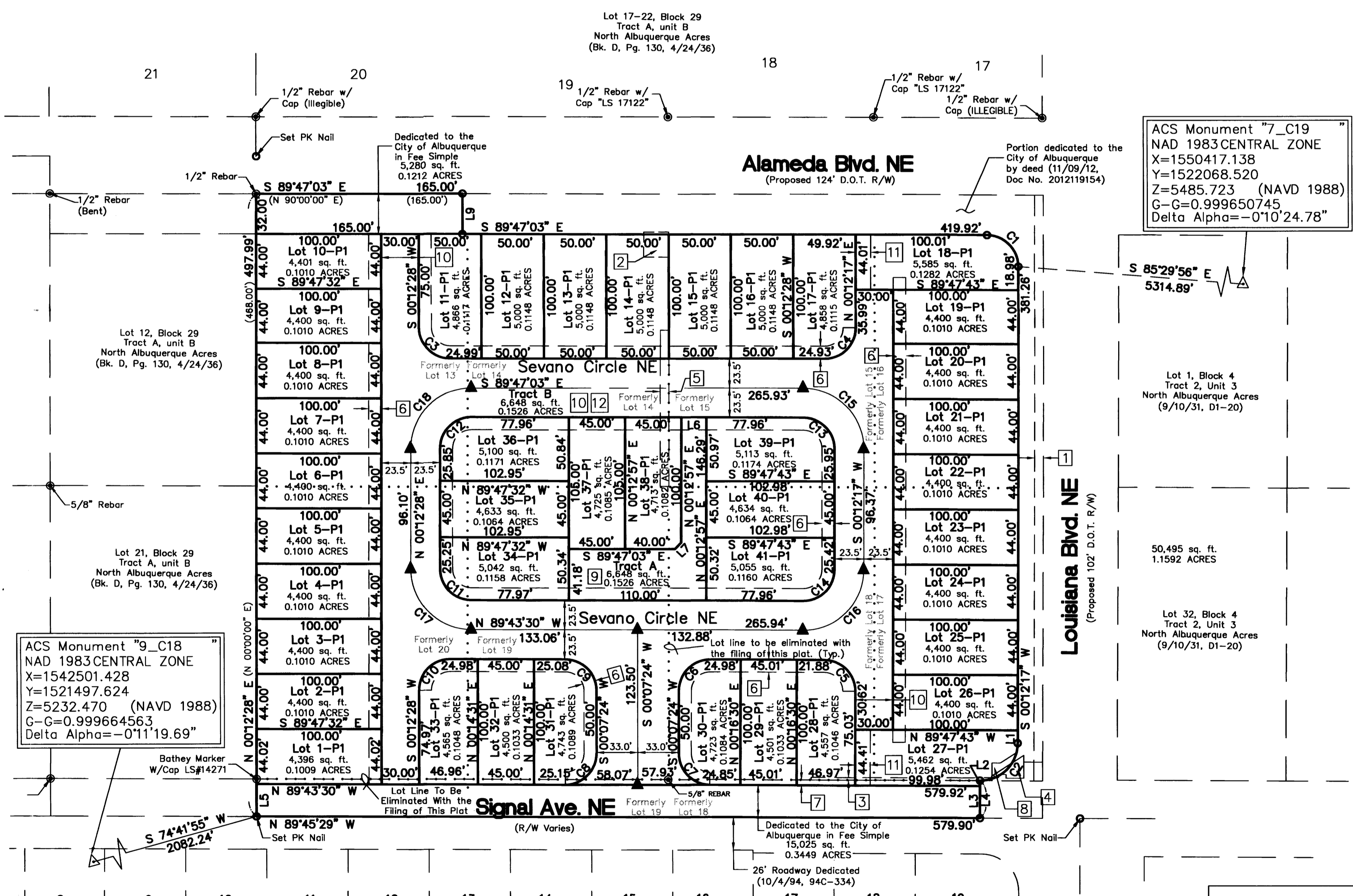
THENCE, 47.14 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 30.00 FEET, A DELTA OF 90°02'14", AND A CHORD BEARING OF S 45°13'24" W, A DISTANCE OF 42.44 FEET, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271", TO AN ANGLE POINT;

THENCE, S 00°14'31" W, A DISTANCE OF 30.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, N 89°45'29" W, A DISTANCE OF 579.92 FEET TO THE POINT OF BEGINNING, CONTAINING 6.6198 ACRES (288,359 SQ. FT.) MORE OR LESS.

Notes

- FIELD SURVEY PERFORMED IN AUGUST 2006.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- ALL STREET MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN AS THUS ▲. ALL CENTERLINE MONUMENTS WILL BE SET USING THE STANDARD 4" ALUMINUM MONUMENT STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT- DO NOT DISTURB, PS 14271" AND WILL BE SET FLUSH WITH THE FINAL ASPHALT.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW CENTERLINE MONUMENTATION.
- TOTAL NUMBER OF EXISTING LOTS: 8
- TOTAL NUMBER OF LOTS CREATED: 41
- TOTAL NUMBER OF TRACTS CREATED: 1
- TOTAL MILEAGE OF FULL WIDTH STREETS CREATED: 0.00 MI.
- CITY OF ALBUQUERQUE ZONE ATLAS PAGE: C-18
- NUMBER OF LOT LINES BEING ELIMINATED: 11
- TOTAL AREA: 6.6198 ACRES
- PROPERTY CORNERS TO BE SET ARE AN 18" BATHEY MONUMENT WITH STEEL CAP "LS 14271".
- THE ZONING FOR THE LOT IS CURRENTLY: R-D 20 DU/ACRE.
- BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (GRID-NAD83-CENTRAL ZONE).
- ALL OPEN SPACE REQUIREMENTS ARE NET ON THE LOT WITH DWELLING PER THE PROVISIONS OF SECT 14-16-3-8(A)(1).



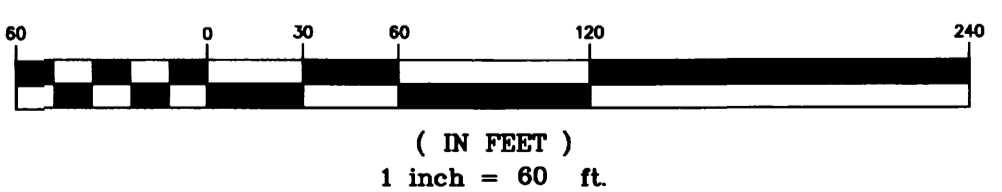
ACS Monument "9_C18"
NAD 1983 CENTRAL ZONE
X=1542501.428
Y=1521497.624
Z=5232.470 (NAVD 1988)
G-G=0.999664563
Delta Alpha=-0°11'19.69"

ACS Monument "7_C19"
NAD 1983 CENTRAL ZONE
X=1550417.138
Y=1522068.520
Z=5485.723 (NAVD 1988)
G-G=0.999650745
Delta Alpha=-0°10'24.78"

LINE	LENGTH	BEARING
L1	10.27'	S 00°12'18" W
L2	4.26'	S 00°14'31" W
L3	25.74'	S 00°14'31" W
L4	30.00'	S 00°14'31" W
L5	26.08'	N 00°12'28" E
L6	20.00'	S 89°47'03" E
L7	14.14'	N 44°47'03" W
L9	32.00'	S 00°12'28" W (S 00°00'00" E)

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	39.27'	25.00'	89°59'20"	35.35'	S 44°47'23" E
C2	47.14'	30.00'	90°02'14"	42.44'	S 45°13'24" W
C3	39.27'	25.00'	89°59'31"	35.35'	S 44°47'17" E
C4	39.27'	25.00'	90°00'40"	35.36'	N 45°12'37" E
C5	39.24'	25.00'	89°55'47"	35.33'	N 44°45'37" W
C6	39.34'	25.00'	90°09'06"	35.40'	S 45°11'57" W
C7	39.20'	25.00'	89°50'54"	35.31'	S 44°48'03" E
C8	39.34'	25.00'	90°09'06"	35.40'	N 45°11'57" E
C9	39.20'	25.00'	89°50'54"	35.31'	N 44°48'03" W

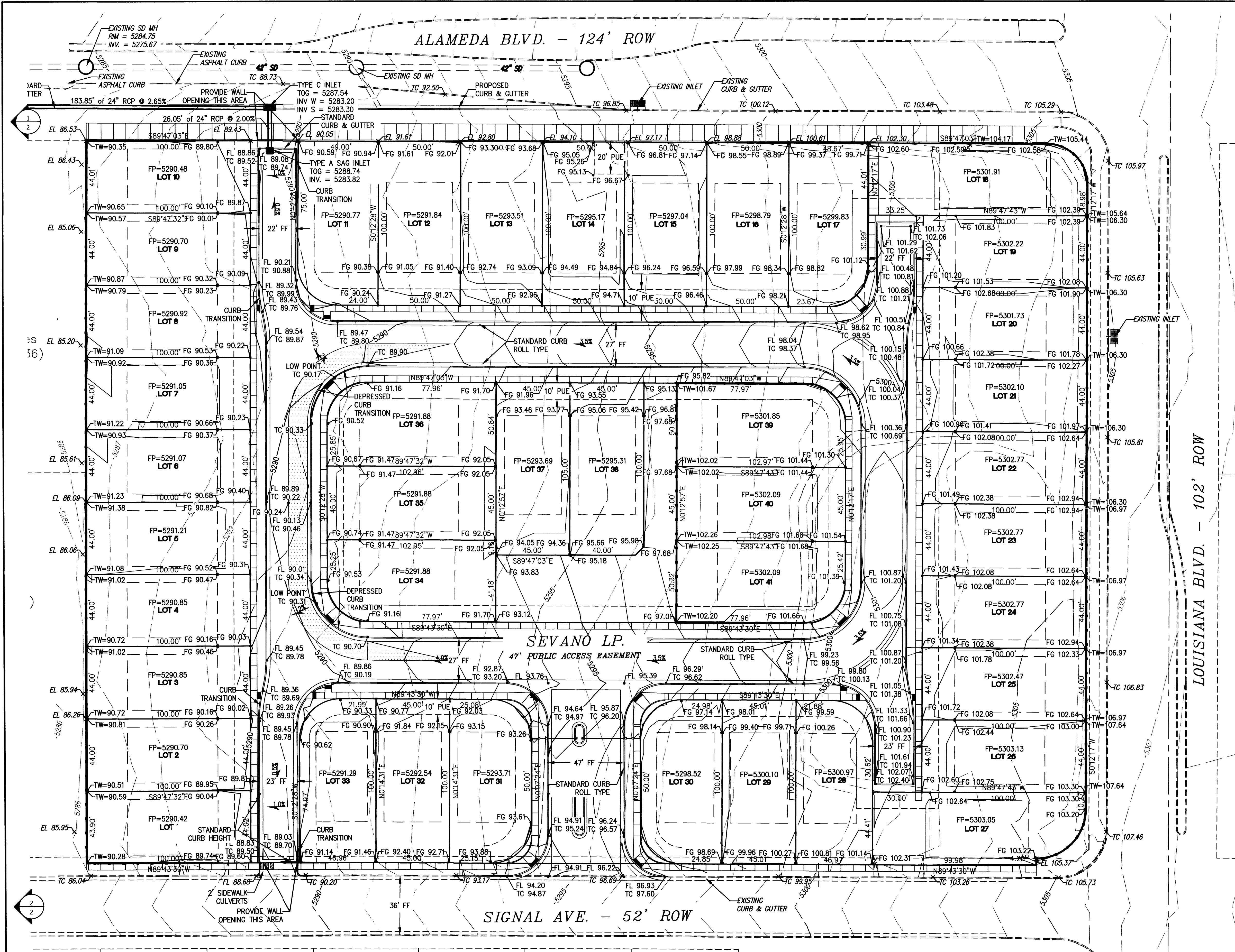
GRAPHIC SCALE



OWNER	DATE
CITY SURVEYOR, CITY OF ALBUQUERQUE GLEN HAIKIN P.S.	DATE

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 898-3050 Fax (505) 891-0244



NOTES

THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES. MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GND ENGINEERING, LLC IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

GENERAL NOTES:

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO. 8.
2. THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
3. THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
4. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEEDDED OR LANDSCAPED.
5. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

LEGEND

- FLOW ARROW
- SLOPE ARROW
- EL=11.28 — PROPOSED ELEVATION
- x 66.33 — EXISTING ELEVATION
- GRADE BREAK
- 4966 — EXISTING CONTOUR
- EXISTING CONTOUR
- PROPOSED EASEMENT
- 4.00% — PROPOSED GRADE
- EXISTING WALL
- PROPOSED WALL

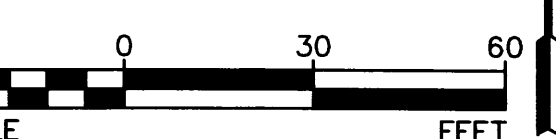
LOT DRAINAGE REQUIREMENTS

TYPICAL LOT DRAINAGE (SEE SHEET 2) AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED.

LOTS DEPICTED HEREON SHALL BE RESPONSIBLE FOR MAINTAINING FIRST FLUSH RUNOFF RETENTION ON THE LOT IMMEDIATELY PRIOR TO DISCHARGE. THE VOLUME SHALL BE EQUAL TO: ROOF AREA * 0.44/12 IN CUBIC FEET.

TYPICAL ROOF AREA = 2400 SQ.FT.

VOLUME = 2400 * 0.44/12 = 88 CU.FT.



DRB No. 1005191

THE Group
 300 Branding Iron Rd. SE
 Rio Rancho, New Mexico 87124
 Phone:(505)514-0995

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP
SEVANO PLACE SUBDIVISION
 REPLAT OF LOTS 13-20, BLOCK 2, UNIT B, TRACT A, NAA
 GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.

LAST DESIGN UPDATE

NO.	DATE	REMARKS	BY

DESIGNED BY: REH
 DRAWN BY: REH
 CHECKED BY: REH

DATE JUN 2014
 DATE JUN 2014
 DATE JUN 2014

CITY PROJECT No. _____ ZONE MAP No. **C-18-Z** SHEET **1** OF **2**

AS BUILT INFORMATION	
CONTRACTOR	WORKING DATE
STAKED BY	DATE
ACCEPTANCE BY	DATE
FIELD ADJUSTMENT BY	DATE
DRAWINGS BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	DATE

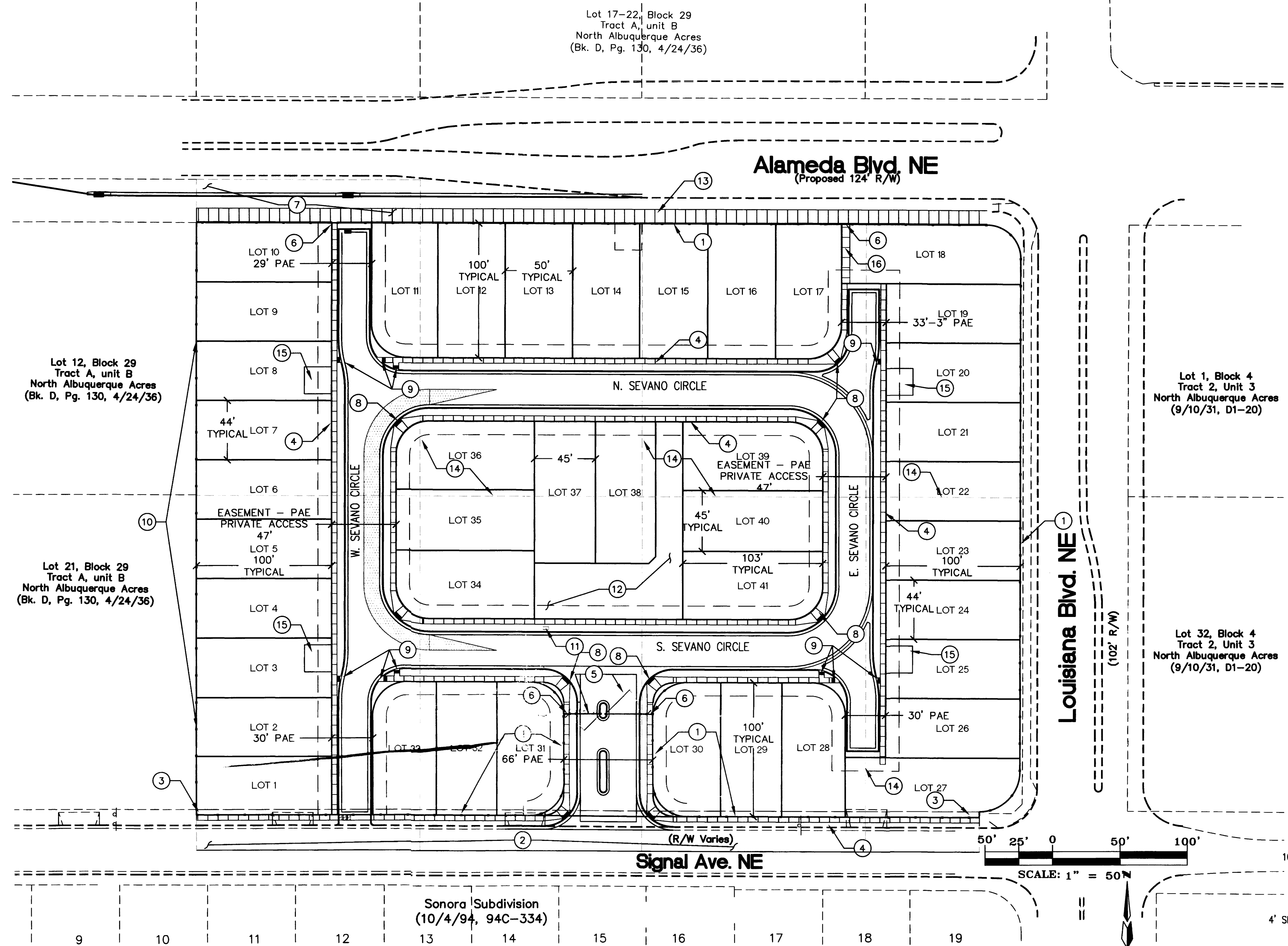
BENCH MARKS	
*ACS BM 7.019' THE BENCHMARK IS LOCATED IN THE NORTHWEST QUADRANT OF BARSTOW STREET AND SIGNAL AVENUE. THE STATION IS A CITY OF ALBUQUERQUE 3 1/4" ALUMINUM DISK SET IN TOP OF CURB ON THE N.W. CURB RETURN, STAMPED "7-C19 1985". X=1550471.138 Y=1522068.520 (NAD 83) ELEV=5485.723 (NAVD 1988)	

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY

ENGINEER'S SEAL

ROSE HEINLEY
 NEW MEXICO
 21860
 7-25-14

SITE DEVELOPMENT PLAN FOR SUBDIVISION - SEVANO PLACE SUBDIVISION



SITE INFORMATION

INTRODUCTION
THE PROPOSED DEVELOPMENT SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONING CODE.

1. SITE DESIGN

1.1. OVERALL LAYOUT OF SITE
THE REPLAT WILL CONSOLIDATE EIGHT (8) LOTS INTO FORTY ONE (41) SINGLE FAMILY RESIDENTIAL LOTS. THIRTY TWO FEET (32') OF THE NORTHERN BOUNDARY SHALL BE DEDICATED TO THE ALAMEDA BLVD. RIGHT OF WAY. THE RESIDENTIAL BUILDINGS SHALL BE ARRANGED ALONG AN EAST-WEST ORIENTED LOOP PRIVATE WAY WITH A VEHICULAR ACCESS TO SIGNAL AVE. THE RESIDENTIAL BUILDINGS SHALL BE SITUATED WITH FRONT ENTRANCES FACING THE LOOP PRIVATE WAY. 4' PEDESTRIAN WALKWAYS TRAVERSE BOTH SIDES OF THE PRIVATE WAY PROVIDING PEDESTRIAN CIRCULATION BETWEEN RESIDENCES. THE PEDESTRIAN WALKWAYS ALSO CONNECT TO THE PROPOSED PUBLIC SIDEWALKS ON ALAMEDA BLVD. AND SIGNAL AVE. THE SINGLE FAMILY RESIDENCES SHALL BE TWO STORY AND ONE STORY WITH GARAGES FACING THE PRIVATE WAY. 6' HIGH WROUGHT IRON VEHICULAR GATES AND KEYPAD AND 5' HIGH PEDESTRIAN GATES SHALL PROVIDE SECURITY FOR THE DEVELOPMENT. THE ENTRY VEHICULAR QUEUING SHALL ACCOMMODATE THREE (3) CAR LENGTHS. A CENTRALLY LOCATED LANDSCAPED AREA WITH SHADE STRUCTURE AND COMMUNITY MAILBOXES SHALL BE VISIBLE FROM THE MAIN ENTRANCE AND ACCESSIBLE FROM ALL LOTS.

1.2. BUILDING PLACEMENT, ORIENTATION, SETBACKS
THE RESIDENTIAL FRONT ENTRIES AND GARAGE DOORS SHALL FACE THE SUBDIVISION PRIVATE WAY. A CONCRETE DRIVEWAY (20' MINIMUM LENGTH) SHALL PROVIDE ACCESS TO THE TWO CAR GARAGES. FRONT YARD SETBACK SHALL BE FIFTEEN FEET (15') EXCEPT THAT DRIVEWAYS SHALL BE TWENTY FEET (20') LONG. SIDE YARD SETBACK SHALL BE FIVE FEET (5'). STREET SIDE CORNER SIDE YARD SETBACK SHALL BE TEN FEET (10'). REAR YARD SETBACK SHALL BE FIFTEEN FEET (15'). BUILDING HEIGHTS RANGE FROM 16' AT SINGLE STORY PEAK TO 26' AT TWO STORY PEAK.

1.3. PEDESTRIAN AND VEHICULAR CONNECTIVITY (INTERNAL & EXTERNAL)
THE SITE IS CONNECTED TO THE SURROUNDINGS. SIGNAL AVE. PEDESTRIAN ACCESS LIES TO THE SOUTH AND ALAMEDA BLVD. PEDESTRIAN AND BIKEWAY ACCESS LIES TO THE NORTH. INTERNAL TO THE SITE, 4' SIDEWALKS ON BOTH SIDES OF THE PRIVATE WAY CONNECT EACH RESIDENCE WITH ITS NEIGHBOR. THE NEW PUBLIC SIDEWALKS ON SIGNAL AVE. AND ALAMEDA BLVD. AND THE CENTRALLY LOCATED PARK. MULTI-DIRECTIONAL RAMPS AT STRATEGIC PRIVATE WAY CORNERS PROVIDE HANDICAP ACCESSIBILITY TO THE DEVELOPMENT. THE PROPOSED PRIVATE WAY PROVIDES A LOOP CONFIGURATION WITH ONE INGRESS EGRESS ROAD THAT CONNECTS TO SIGNAL AVE. THE KEY VEHICULAR ENTRY POINT SHALL BE ACCENTUATED BY LANDSCAPE ELEMENTS AND SIGNAGE. A BICYCLE LANE THAT EXTENDS EAST TO LOUISIANA IS SLATED FOR ALAMEDA BLVD. THE DEVELOPMENT SHALL PROVIDE AN EASILY ACCESSED WALKWAY TO THE BIKEWAY VIA A PEDESTRIAN ACCESS IN THE NORTHWEST CORNER OF THE DEVELOPMENT. A SIDEWALK SHALL PROVIDE DIRECT ACCESS TO THE BUS TRANSIT STOP AT THE INTERSECTION OF SAN PEDRO AND ALAMEDA BLVD.

1.4. PARKING LOCATION AND DESIGN
OFF STREET RESIDENT PARKING IS PROVIDED AT EACH GARAGE AND ITS ACCOMPANYING DRIVEWAY. FOUR PARKING SPACES ARE ACCOMMODATED IN THIS WAY AT THE TWO CAR GARAGES. THE PRIVATE WAY WILL BE LINED ON BOTH SIDES WITH RESIDENT-PROVIDED PLANTINGS WHICH WILL ENHANCE THE RESIDENTIAL CHARACTER OF THE DEVELOPMENT.

1.5. PUBLIC OUTDOOR SPACES
THE CENTRALLY LOCATED LANDSCAPED PARK FEATURES A GAZEBO AND SHADE TREES. PEDESTRIAN WALKWAYS ALONG THE LOOP PRIVATE WAY PROVIDE EASY ACCESS TO THE PARK BY ALL RESIDENTS. A 6' HIGH WALL ENCOMPASSES THE ENTIRE DEVELOPMENT. CODE OR KEYPAD OPERATED SECURITY GATES AT ALL PEDESTRIAN AND VEHICULAR ENTRANCES FURTHER PROMOTE THE SENSE OF SAFETY AND OPPORTUNITIES FOR INTERACTION

1.6. REFUSE & RECYCLE PICKUP
RECYCLE AND REFUSE PICKUP SHALL BE INDIVIDUAL CART TYPE WITH WEEKLY SCHEDULED PICKUP TIMES.

1.7. LOCATION, HEIGHT, DESIGN AND PURPOSE OF ALL WALLS AND WALL OPENINGS
THE DEVELOPMENT BLOCK WALLS PROVIDE PRIVACY AND SECURITY FOR THE RESIDENTS. ALL WALLS AND FENCES ARE SUBJECT TO SECTION 14-16-3-19 OF THE ZONING ORDINANCE. ALL WALLS SHALL BE 6'-0" IN HEIGHT ABOVE HIGH GROUND ELEVATION; THEY SHALL BE EXPOSED BLOCK WITH REPEATING PATTERNS AND VARIEGATED TEXTURES.

1.8. LOCATION, HEIGHT, DESIGN AND PURPOSE OF LIGHTING
LIGHTING SHALL COMPLY WITH THE NIGHT SKY ORDINANCE AND ALL REQUIREMENTS IN SECTION 14-16-3-9 OF THE ZONING ORDINANCE. RESIDENCE-MOUNTED LIGHTING ELEMENTS SHALL BE INCANDESCENT, METAL HALIDE OR HALOGEN ONLY. RESIDENCE MOUNTED FLOODLIGHTS (MAXIMUM 75 WATT BULBS) SHALL BE SHIELDED OR AIMED IN SUCH A WAY THAT THEY DO NOT SHINE INTO OTHER LOTS OR THE STREET.

1.9. SCREENING / BUFFERING TECHNIQUES
MULTIPLE STREET SHADE TREES SCREEN RESIDENCES FROM ADJACENT ROADWAY WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT. AT MATURITY, THESE TREES SHALL CREATE A COOLING MICRO CLIMATE.

1.10. GREEN FEATURES
WATER HARVESTING CISTERN AND COLLECTION SYSTEM TECHNIQUES SHALL ENCOURAGED.

2. STREET REALM

2.1. TRANSIT, BICYCLE, PEDESTRIAN AMENITIES
THE SITE IS ACCESSIBLE TO TRANSIT ROUTES ON ALAMEDA BLVD., WHICH IS A PRINCIPAL ARTERIAL. CITY OF ALBUQUERQUE "ABO RIDE" BUS STOP IS LOCATED AT SAN PEDRO DR. AND ANAHEIM BLVD ONE-HALF BLOCK FROM THE DEVELOPMENT. THE SITE ABUTS A PROPOSED CITY DESIGNATED BIKE ROUTE ON ALAMEDA BLVD. N.E. WHICH WILL EXTEND TO LOUISIANA BLVD. N.E.

3. LANDSCAPING
LANDSCAPING IS A KEY ELEMENT OF THE DESIGN. IT IS INTEGRAL TO THE GOAL OF PROVIDING PLACES THAT PROMOTE COMMUNITY AND ENRICH THE LIVES OF THE AREA RESIDENTS. THE LANDSCAPE NETWORK CONSISTS OF: STREET SHADE TREES ALONG ALAMEDA BOULEVARD SHALL BE SITUATED IN LANDSCAPE STRIPS W/ ROCK OR BARK GROUNDCOVER. STREET TREE SPACING SHALL BE DETERMINED BY TREE CANOPY AT FULL MATURITY. INTERIOR STREET SCAPE STREET SHADE TREES, AND LANDSCAPING IN AND AROUND UNIT DRIVEWAYS SHALL BE PROVIDED AND MAINTAINED BY INDIVIDUAL RESIDENCE OWNERS. AT MINIMUM, RESIDENTS SHALL PLANT ONE 8'-0" TO 12M" TALL SHADE TREE AT THE STREET FRONTAGE. IN ADDITION 5 - 8 (FIVE TO EIGHT > 5 GALLON SHRUBS SHALL BE LOCATED IN A GRAY ROCK/COBBLE ACCENT LANDSCAPING SCHEME. DECIDUOUS STREET SHADE TREES PROVIDE PASSIVE SOLAR MITIGATION OF PAVED SURFACES. THE LANDSCAPING SHALL BALANCE THE DENSITY OF THE HOUSING UNITS AND CREATE HUMAN SCALE. THE TREE SPECIES SHALL BE VARIED TO AVOID MONOCULTURE.

3.1. REQUIREMENTS
THE STREET SCAPE ALONG ALAMEDA BOULEVARD SHALL CONSIST OF TREES IN THE PLANTING STRIP BETWEEN THE SIDEWALK AND THE PROPERTY LINE. THESE TREES SHALL HAVE A HIGH BRANCHING CANOPY TO ALLOW CLEAR SPACE FOR PEDESTRIANS AND REDUCE POTENTIAL FOR DAMAGE FROM PASSING VEHICLES. THE CLEAR SITE TRIANGLE REQUIREMENT SHALL BE IMPOSED ON THE SIGNAL AVE./PRIVATE WAY INTERSECTION. A CLEAR SITE TRIANGLE AT INTERSECTIONS MUST BE MAINTAINED 35 FEET FROM INTERSECTING FLOW LINES OF GUTTERS. A VERTICAL CLEARANCE BETWEEN 3 AND 8 FEET MEASURED FROM THE GUTTER PAN MUST BE FREE OF VISUAL OBSTRUCTION. TREES & SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. UNDERSTORY BRANCHES FROM TREES SHALL NOT HANG LOWER THAN 8'.

3.2. WATER CONSERVATION TECHNIQUES
THE LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION, LANDSCAPE, POLLEN CONTROL AND WASTE WATER ORDINANCES.

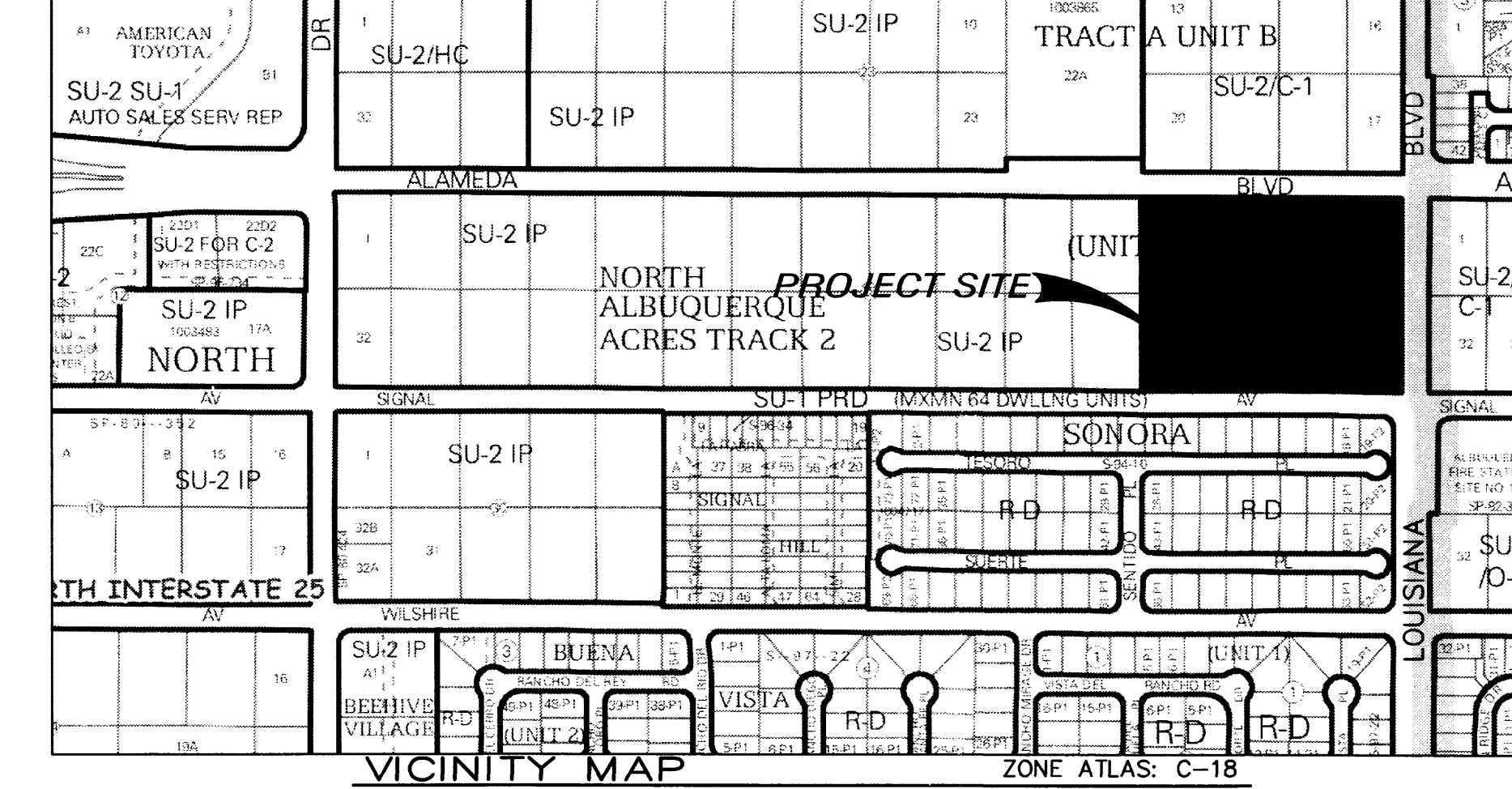
4. BUILDING DESIGN

4.1. CONTEXT
THE PROPOSED DEVELOPMENT SITS IN AN AREA OF DIVERSE ZONING CATEGORIES. EXISTING INDUSTRIAL AND WHOLESALE WAREHOUSING USES EXIST SIDE BY SIDE WITH RESIDENTIAL DEVELOPMENTS. NUMEROUS COMMERCIAL USES ARE IN EVIDENCE EAST OF THE I-25/ALAMEDA INTERCHANGE. ON THE SOUTH ARE MULTI STORY MOTELS SUCH AS THE STAYBRIDGE AND THE BURGER KING FAST FOOD ESTABLISHMENT. ON THE NORTH, NUMEROUS VEHICLE DEALERSHIPS ARE ARRANGED ALONG THE NORTHBOUND INTERSTATE. THESE INCLUDE AMERICAN TOYOTA AND MERCEDES BENZ OF ALBUQUERQUE.

4.2. ARCHITECTURAL THEME OR STYLE
THE PROPOSED RESIDENTIAL BUILDING DESIGNS SHALL BE CONSISTENT WITH THE PREDOMINANT NEIGHBORING RESIDENTIAL DEVELOPMENTS. BOTH TWO AND ONE STORY CONFIGURATIONS WILL BE USED. ARCHITECTURAL STYLES SHALL RANGE FROM PITCHED SHINGLE ROOF/FRAME-STUCCO DESIGN TO FLAT ROOF/FRAME- STUCCO DESIGN. PARAPETS FOR FLAT ROOF DESIGNS SHALL NOT EXCEED 15% OF THE HEIGHT OF THE SUPPORTING WALL AND SHALL SHIELD THE VIEW OF THE ROOF MATERIAL FROM ANY PUBLIC OR PRIVATE RIGHT-OF-WAY. COMPLEMENTARY STUCCO COLORS APPLIED TO ALTERNATING BUILDINGS ADD VARIETY AND FURTHER THE NEIGHBORHOOD "LOOK".

4.3. BUILDING HEIGHT, SCALE, MASSING, MATERIALS, COLORS AND ARTICULATION
THE DEVELOPMENT IS ORGANIZED TO EMPHASIZE A RESIDENTIAL NEIGHBORHOOD RESPONSE TO THE SITE. THE BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING THE PRIVATE WAY. THE BUILDING DESIGNS SHALL INCORPORATE PRUDENT USE OF BOTH VERTICAL AND HORIZONTAL ARTICULATION AS APPROPRIATE TO RESIDENTIAL DESIGN. AN EARTH TONED PALETTE SHALL BE IN EVIDENCE AT ALL OF THE EXTERIOR BUILDING WALLS AND SURROUNDING PROPERTY LINE WALLS.

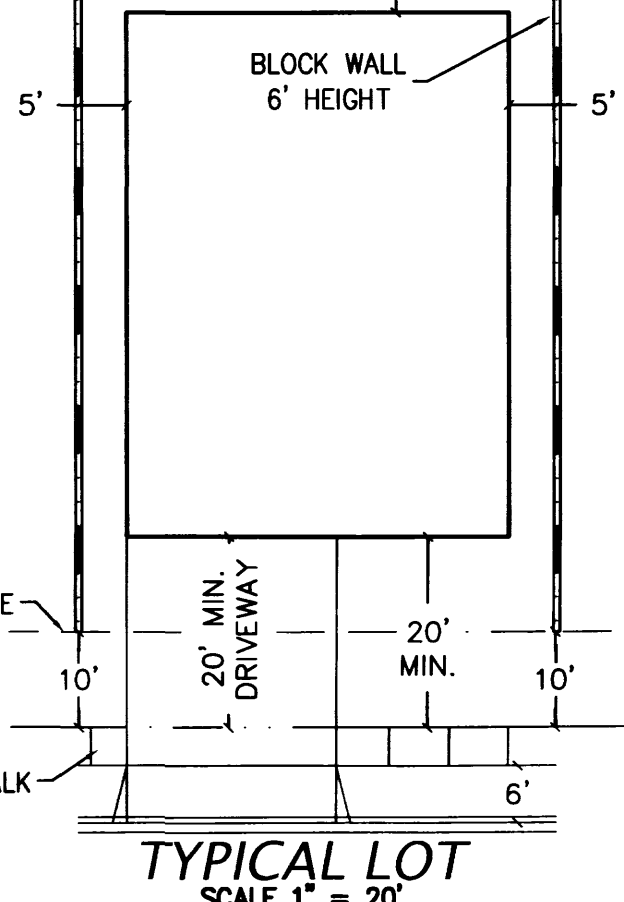
5. APPROVAL PROCESS
THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT MAY BE SLIGHTLY MODIFIED OR ADJUSTED, IF NECESSARY, TO ASSURE CONSISTENCY WITHIN THE DEVELOPMENT AND TO ALLOW FLEXIBILITY FOR THE DEVELOPER TO POSITIVELY REFINE THE DEVELOPMENT TO MITIGATE DESIGN CHALLENGES AND ENHANCE DESIGN OPPORTUNITIES. MODIFICATION PROCEDURES AND THE SUBSEQUENT APPROVAL PROCESS SHALL BE AS SPECIFIED FOR PROPERTIES IN THE NORTH 1 - 25 SECTOR DEVELOPMENT PLAN.



LEGAL DESCRIPTION
SEVANO PLACE SUBDIVISION
(BEING A REPLAT OF LOT 13-20, BLOCK 29,
TRACT A, UNIT B)
WITHIN NORTH ALBUQUERQUE ACRES IN PROJECTED
SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST
ELENA GALLEGOS LAND GRANT NEW MEXICO
PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

BUILDING DATA
MAXIMUM DWELLING UNITS: 41
MAXIMUM BUILDING HEIGHT: 26'
MINIMUM BUILDING SETBACKS:
FRONT: 15'
BACK: 15'
DRIVEWAYS: 20'
SIDE: 5'
STREET SIDE AT CORNER: 10'

SUBDIVISION DATA
PROJECT LOCATION:
BETWEEN ALAMEDA BLVD. AND SIGNAL
AVE. WEST OF LOUISIANA BLVD.
ZONE ATLAS MAP: C-18
GROSS ACERAGE: 6.62 AC
NUM. OF LOTS COMBINED: 8
NUM. OF LOTS CREATED: 41
NUM. OF TRACTS CREATED: 2
EXISTING ZONING: R-D
DATE OF SURVEY: MARCH 2014



Project Number: _____
Application Number: _____
DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
* ENVIRONMENTAL HEALTH DEPARTMENT - CONDITIONAL	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

KEYED NOTES

- PERIMETER MASONRY DECORATIVE WALL 6" TO 8" HEIGHT
- 26' ROW DEDICATION
- 4' EASEMENT TO BE VACATED
- 4' SIDEWALK
- 6' HIGH WROUGHT IRON VEHICULAR SECURITY GATE WITH KEYPAD, SEE ELEVATION SHEET
- 6' HIGH WROUGHT IRON PEDESTRIAN SECURITY GATE WITH KEYPAD, SEE ELEVATION SHEET
- 32' ROW DEDICATION
- MULTI-DIRECTIONAL ADA RAMP
- UNI-DIRECTIONAL ADA RAMP
- MASONRY PLAIN FACE WALL 6" HEIGHT
- GANG TYPE MAILBOX
- CENTRAL LANDSCAPED AREA, SEE LANDSCAPE PLAN
- 10' SIDEWALK
- LOT LINE TO BE REMOVED
- 20'x20' DRIVEWAY
- 6' SIDEWALK

LEGEND

- PROPERTY LINE
- NEW CURB AND GUTTER & SIDEWALK
- EX CURB AND GUTTER & SIDEWALK

SHEET LIST

SHEET NUMBER	SHEET NAME
SP1	SITE DEVELOPMENT PLAN
SP2	LANDSCAPE PLAN
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLAN
L3	LANDSCAPE PLAN
SP3	MASTER GRADING AND DRAINAGE PLAN
SP4	MASTER PAVING PLAN
SP5	MASTER UTILITY PLAN
SP6	ELEVATIONS & DETAILS

No.	Revision/Issue	Date

SEVANO PLACE
SITE DEVELOPMENT PLAN
Albuquerque, New Mexico

THE group

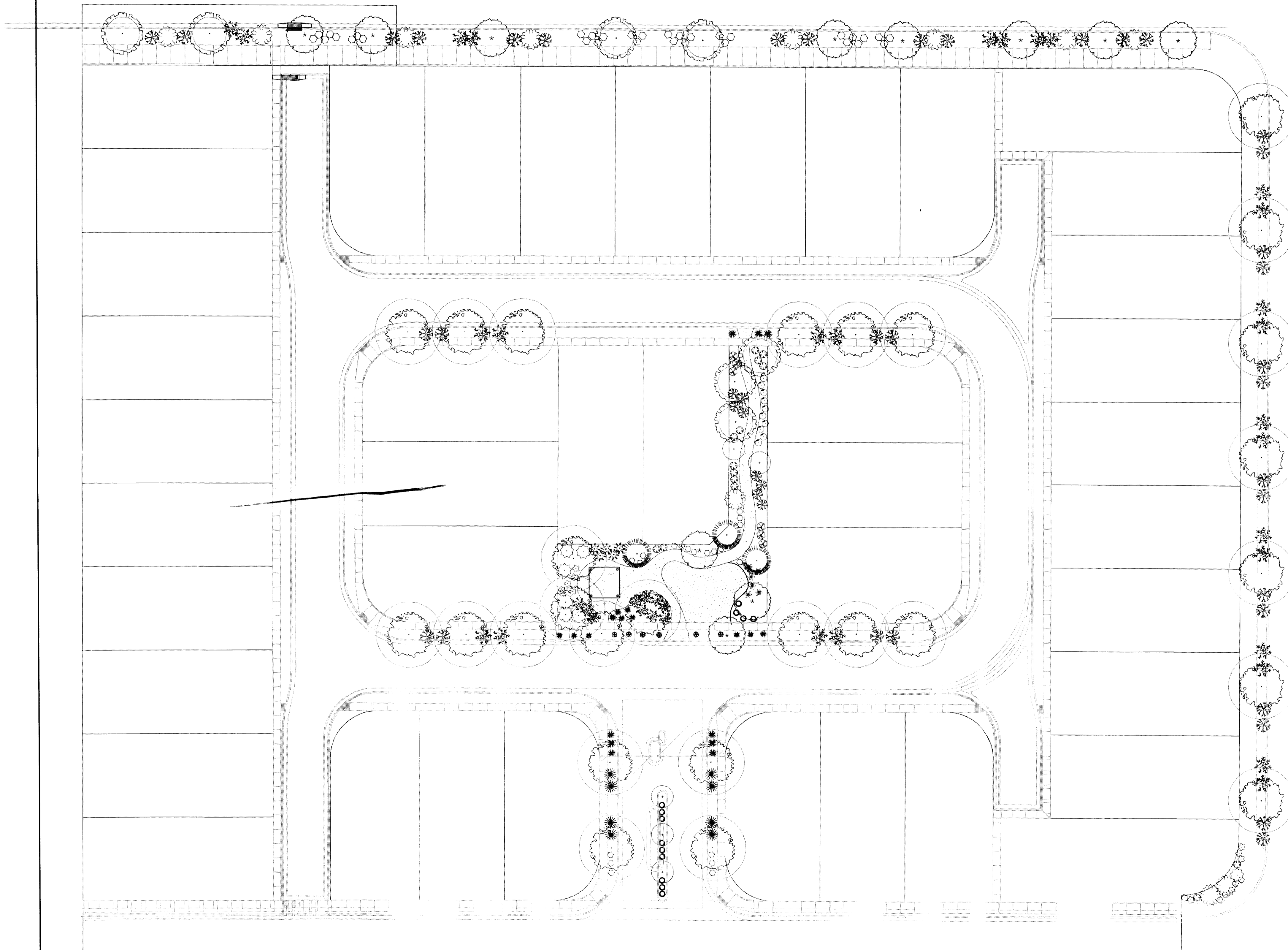
THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 514-0995

Sheet Title: **SITE DEVELOPMENT PLAN**
Date: **JULY 16, 2014**
Project No.: _____

Sheet Number: **SP1**

Alameda Blvd. NE

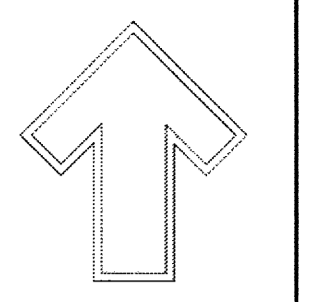
Signal Ave. NE



PLANT LEGEND

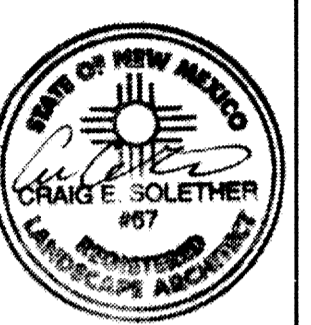
All plants shall be sizes per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where 'age 0' plants have been planted for replacement, measurements should be by spread of roots rather than by the height of the plant.

- | | |
|--|--|
| <p>SHADE TREES</p> <ul style="list-style-type: none"> 27 1" A-TURN PURPLE ASH
Fraxinus americana
5' Gal. 12-14' inst./60" x 60" maturity
Water (M) Allergy (H) 0sf 1 1" HONEY LOCUST
Gleditsia triacanthos
2' Gal. 12-14' inst./60" x 60" maturity
Water (M) Allergy (L) 0sf 4 1" EASTERN REDBUD
Cercis canadensis
2' Gal. 10' inst./30" x 30" maturity
Water (M) Allergy (L) 0sf <p>ORNAMENTAL TREES</p> <ul style="list-style-type: none"> 4 1" AUSTRIAN PINE
Pinus nigra
15' Gal. 4-6' inst./35" x 25" maturity
Water (M) Allergy (L) 0sf 12 1" DESERT YUCCA
Yucca elata
15' Gal. 4-10' inst./20" x 25" maturity
Water (L) Allergy (L) 25sf 5 1" NEW MEXICO OLIVE
Forsythia rostrata
15' Gal. 4-10' inst./18" x 18" maturity
Water (M) Allergy (L) 25sf <p>SHRUBS</p> <ul style="list-style-type: none"> 5 1" RED-TANE DOGWOOD
Cornus sericea
5' Gal. 2-4' inst./8" x 12" maturity
Water (M) Allergy (L) 14sf 3 1" BUTTERFLY BUSH
Butterfly bush
5' Gal. 12-18" inst./10" x 10" maturity
Water (M) Allergy (L) 10sf 5 1" PHOTINA
Photinia fraseri
5' Gal. 2-4' inst./8" x 8" maturity
Water (M) Allergy (L) 6sf 16 1" MAHATTAN EUCYPRIS
Eucypris leucodermis
5' Gal. 6" x 8" inst./8" x 8" maturity
Water (L) Allergy (L) 25sf | <ul style="list-style-type: none"> 6 1" KARL FÖRSTER REED GRASS
Calamagrostis x acutiflora Karl Förster
5' Gal. 12-15' inst./3" x 3" maturity
Water (M) Allergy (L) 0sf 10 1" KNOCKOUT ROSE
Rosa
5' Gal. 3-15' inst./3" x 3" maturity
Water (M) Allergy (L) 0sf 57 1" CARPET ROSE
Rosa
5' Gal. 3-15' inst./2" x 3" maturity
Water (M) Allergy (L) 0sf 0 1" BEARGRASS
Nolina microcarpa
5' Gal. 16-20" inst./3" x 6" maturity
Water (L) Allergy (L) 25sf 10 1" MUGGO PINE
Pinus mugo
5' Gal. 12-15' inst./3" x 3" maturity
Water (M) Allergy (L) 0sf 20 1" REED YUCCA
Yucca rostrata
5' Gal. 18-30" inst./3" x 4" maturity
Water (L) Allergy (L) 0sf 6 1" INDIAN HAWTHORN
Raphanostylea indica
5' Gal. 16-20" inst./6" x 6" maturity
Water (M) Allergy (L) 25sf 6 1" MADONNAROSE
Rosa madonnarose
5' Gal. 18-20" inst./5" x 5" maturity
Water (M) Allergy (L) 25sf 3 1" MANONNA
Manonna aquilegium
5' Gal. 12-15" inst./2" x 3" maturity
Water (M) Allergy (L) 0sf <p>GROUNDCOVERS</p> <ul style="list-style-type: none"> 30 1" GREYLEAF COTONEASTER
Cotoneaster glaucomifolia
5' Gal. 24"-4' inst./2" x 4" maturity
Water (M) Allergy (L) 0sf 40 1" WINTER JASMINE
Jasminum nudiflorum
5' Gal. 24"-4' inst./2" x 6" maturity
Water (L) Allergy (L) 0sf |
|--|--|



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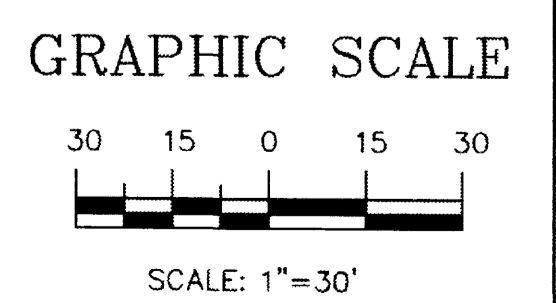
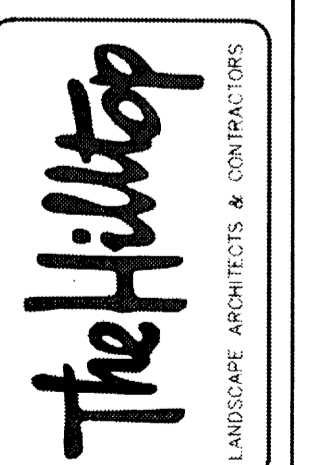
LANDSCAPE ARCHITECT'S SEAL



S / 15 / 14

STILLBROOKE HOMES
SEVANO PLACE
LANDSCAPE PLAN

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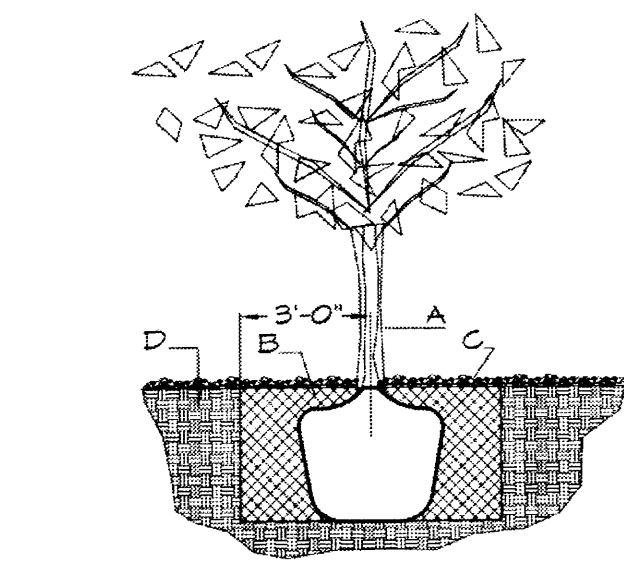
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	DATE MAY	

SHEET #
L1 OF L3

PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread, in cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

Quantity	Plant Name	Size	Water	Allergy	Notes
27	AUTUMN PURPLE ASH <i>Fraxinus americana</i>	2' Cal., 12-14' Inst./60' x 60' maturity	(M)	(H)	OsF
7	HONEY LOCUST <i>Gleditsia triacanthos</i>	2' Cal., 12-14' Inst./50' x 50' maturity	(M)	(L)	OsF
9	EASTERN REDBUD <i>Cercis canadensis</i>	2' Cal., 8-10' Inst./30' x 30' maturity	(M)	(L)	OsF
4	* AUSTRIAN PINE <i>Pinus nigra</i>	15' Gal., 4'-6' Inst., 35' x 25' maturity	(M)	(L)	OsF
12	DESERT WILLOW <i>Chilopsis linearis</i>	15' Gal., 4-10' Inst./20' x 25' maturity	(L)	(L)	225sf
5	NEW MEXICO OLIVE <i>Forestiera neomexicana</i>	15' Gal., 4-10' Inst./15' x 15' maturity	(M)	(L)	225sf
5	RED TWIG DOGWOOD <i>Cornus sericea</i>	5 Gal., 2'-4' Inst./9' x 12' maturity	(M+)	(L)	144sf
3	BUTTERFLY BUSH <i>Buddleia davidii</i>	5 Gal., 12-3' Inst./10' x 10' maturity	(M)	(L)	100sf
5	* PHOTINIA <i>Photinia Fraseri</i>	5 Gal., 2'-4' Inst./8' x 8' maturity	(M+)	(L)	64sf
16	MANHATTAN EUONYMUS <i>Euonymus kiautschovicus</i>	5 Gal., 6'-15' Inst./5' x 5' maturity	(L)	(L)	25sf
6	KARL FOERSTER REED GRASS <i>Calamagrostis x acutiflora</i> Karl Foerster	5 Gal., 12-3' Inst./3' x 3' maturity	(M)	(L)	9sf
16	KNOCKOUT ROSE <i>Rosa</i>	5 Gal., 3'-15' Inst./3' x 3' maturity	(M+)	(L)	9sf
57	CARPET ROSE <i>Rosa</i>	5 Gal., 3'-15' Inst./2' x 3' maturity	(M)	(L)	9sf
5	* BEARGRASS <i>Nothola microcarpa</i>	5 Gal., 18-3' Inst./5' x 6' maturity	(L+)	(L)	36sf
13	* MUGO PINE <i>Pinus mugo</i>	5 Gal., 12-3' Inst./3' x 3' maturity	(M)	(L)	9sf
20	* RED YUCCA <i>Hesperaloe parviflora</i>	5 Gal., 18-3' Inst./3' x 4' maturity	(L+)	(L)	16sf
6	* INDIAN HANTHORN <i>Raphiolepis indica</i>	5 Gal., 18-3' Inst./6' x 6' maturity	(M)	(L)	36sf
6	MAIDENGRASS <i>Miscanthus sinensis</i>	5 Gal., 18-3' Inst./5' x 5' maturity	(M+)	(L)	25sf
3	* MAHONIA <i>Mahonia aquifolium</i>	5 Gal., 12-3' Inst./2' x 3' maturity	(M)	(L)	9sf
35	* GREYLEAF COTONEASTER <i>Cotoneaster glaucophyllus</i>	5 Gal., 24"-4' Inst./2' x 9' maturity	(M)	(L)	81sf
43	WINTER JASMINE <i>Jasminum nudiflorum</i>	5 Gal., 24"-4' Inst./2' x 8' maturity	(L+)	(L)	64sf



TREE PLANTING DETAIL

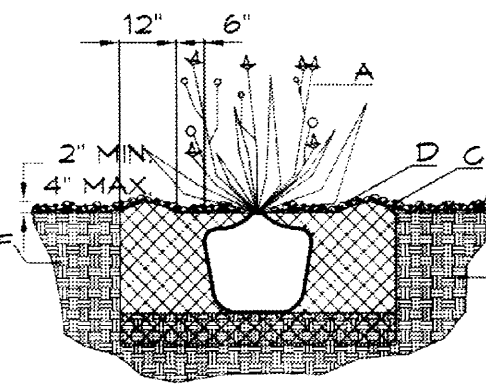
NTS

GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.



SHRUB PLANTING DETAIL

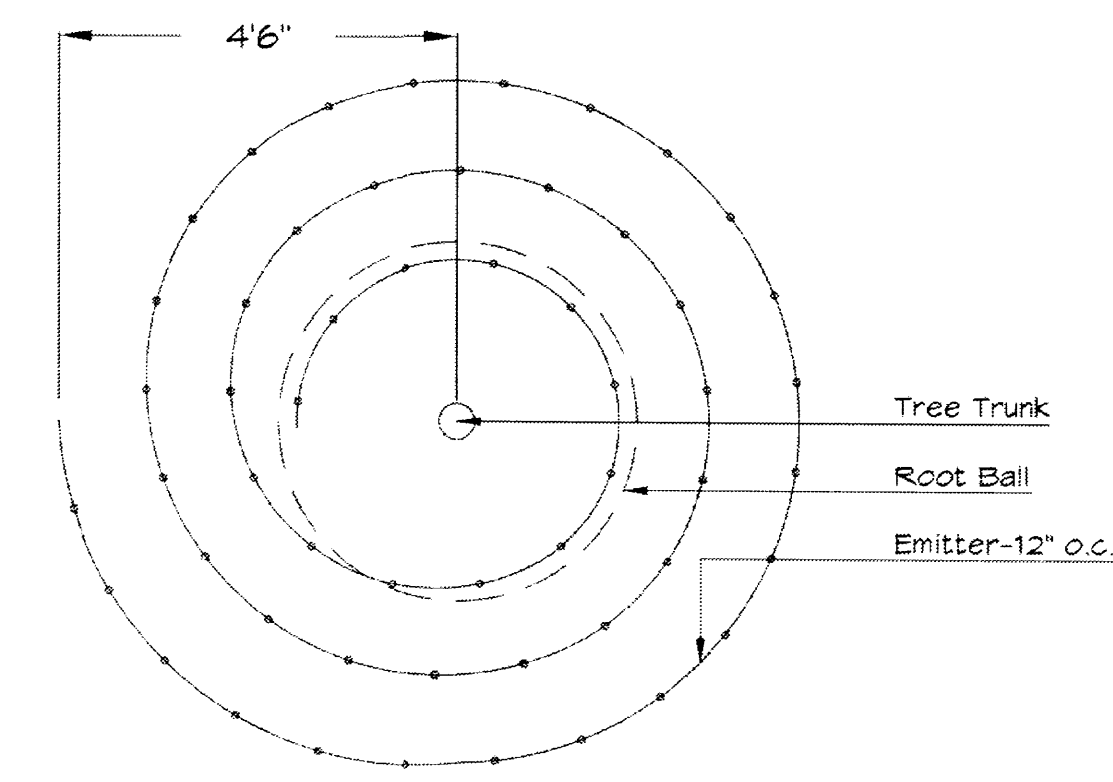
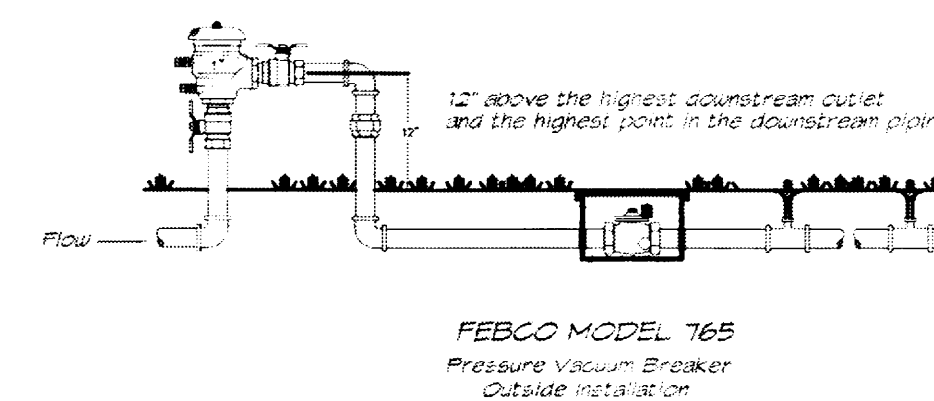
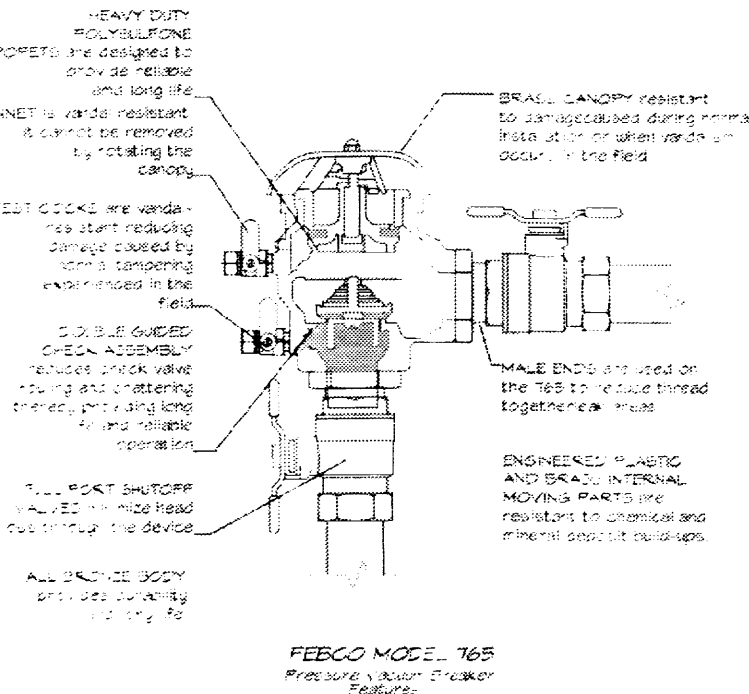
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GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

- A. SHRUB
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



Netafim Spiral Detail

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

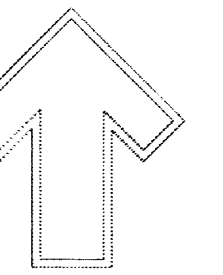
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to 1/4" cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



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LANDSCAPE ARCHITECT'S SEAL



5/15/14

STILLBROOKE HOMES
SEVANO PLACE

LANDSCAPE NOTES AND LEGEND

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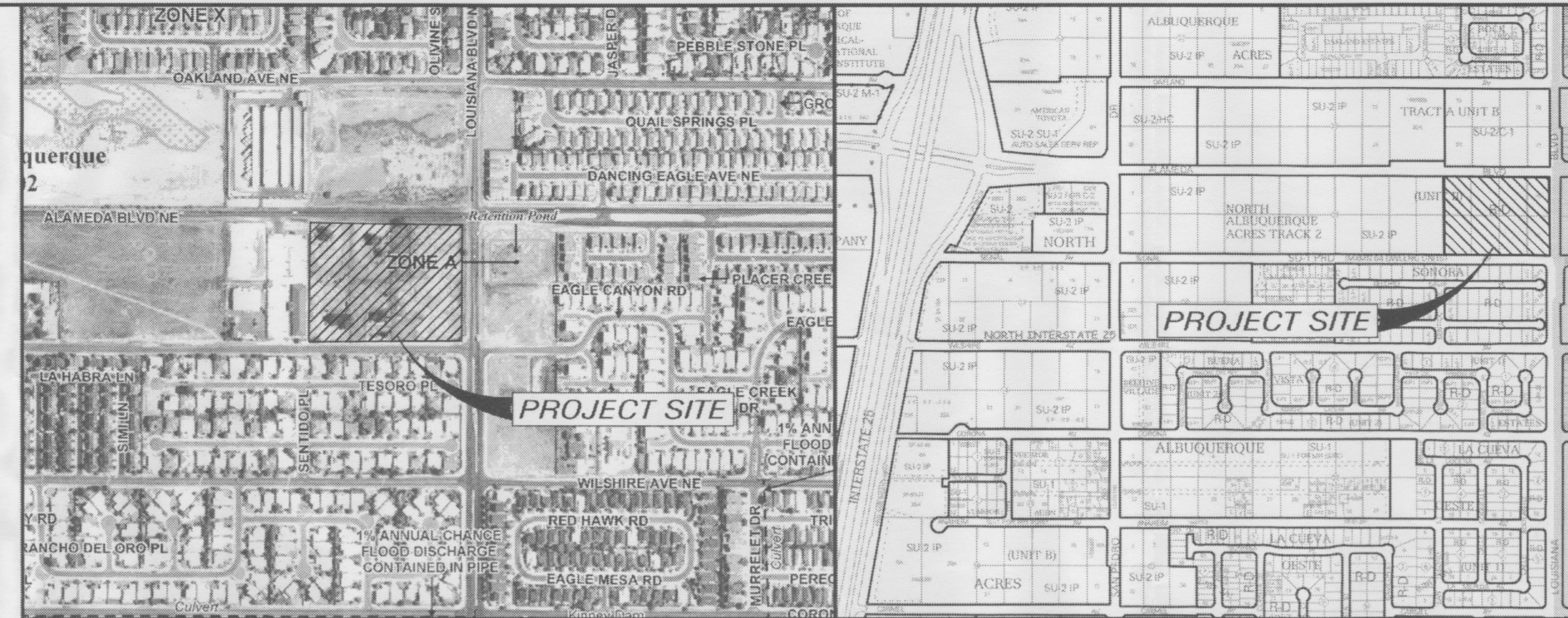
The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: CS
REVISION # 14
DATE: APRIL 2014

SHEET #
L3 OF L3

EROSION CONTROL NOTES

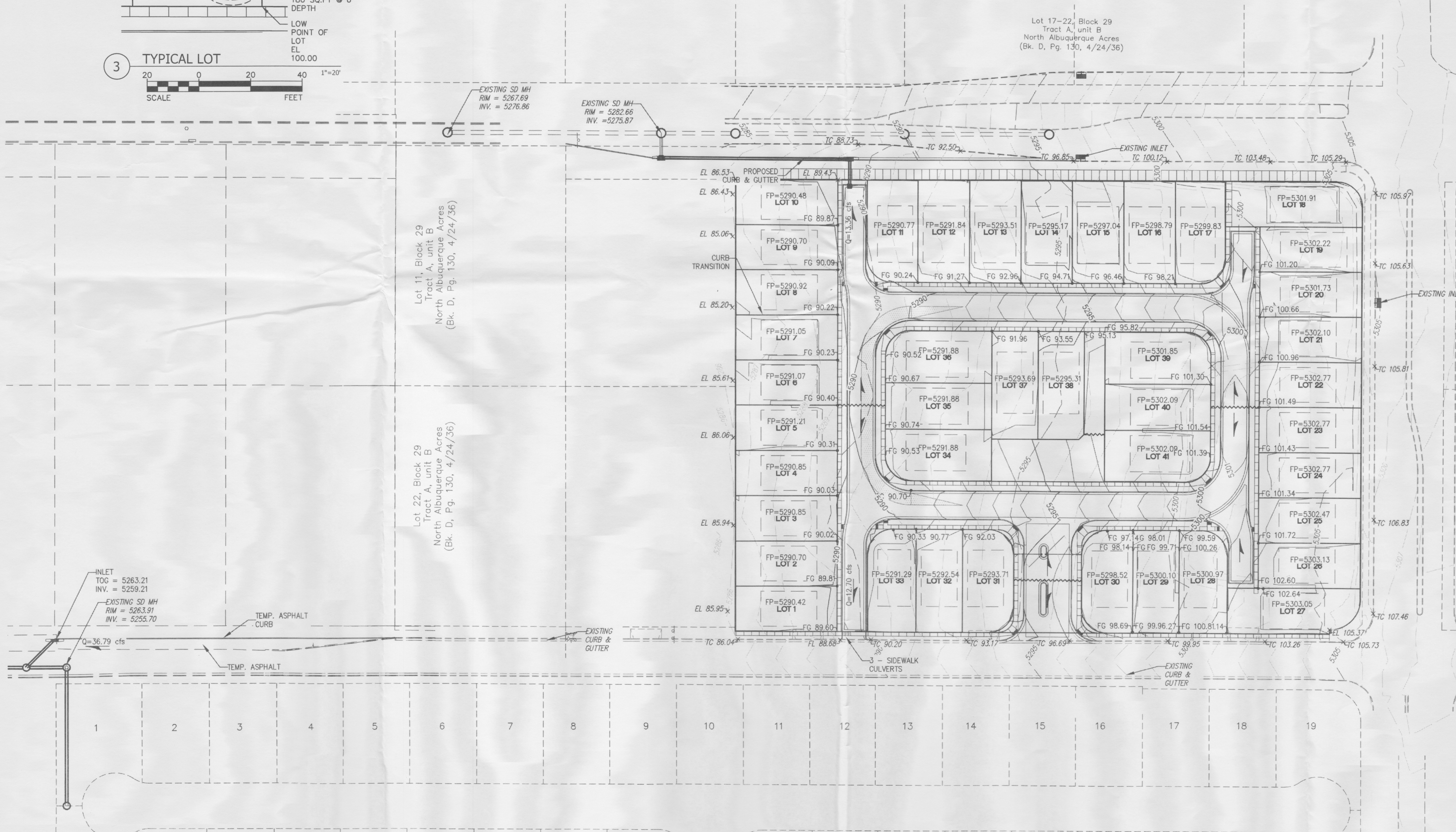
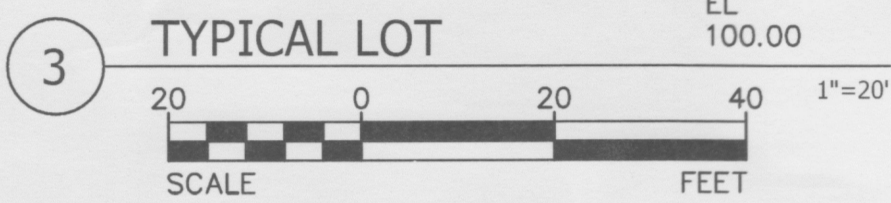
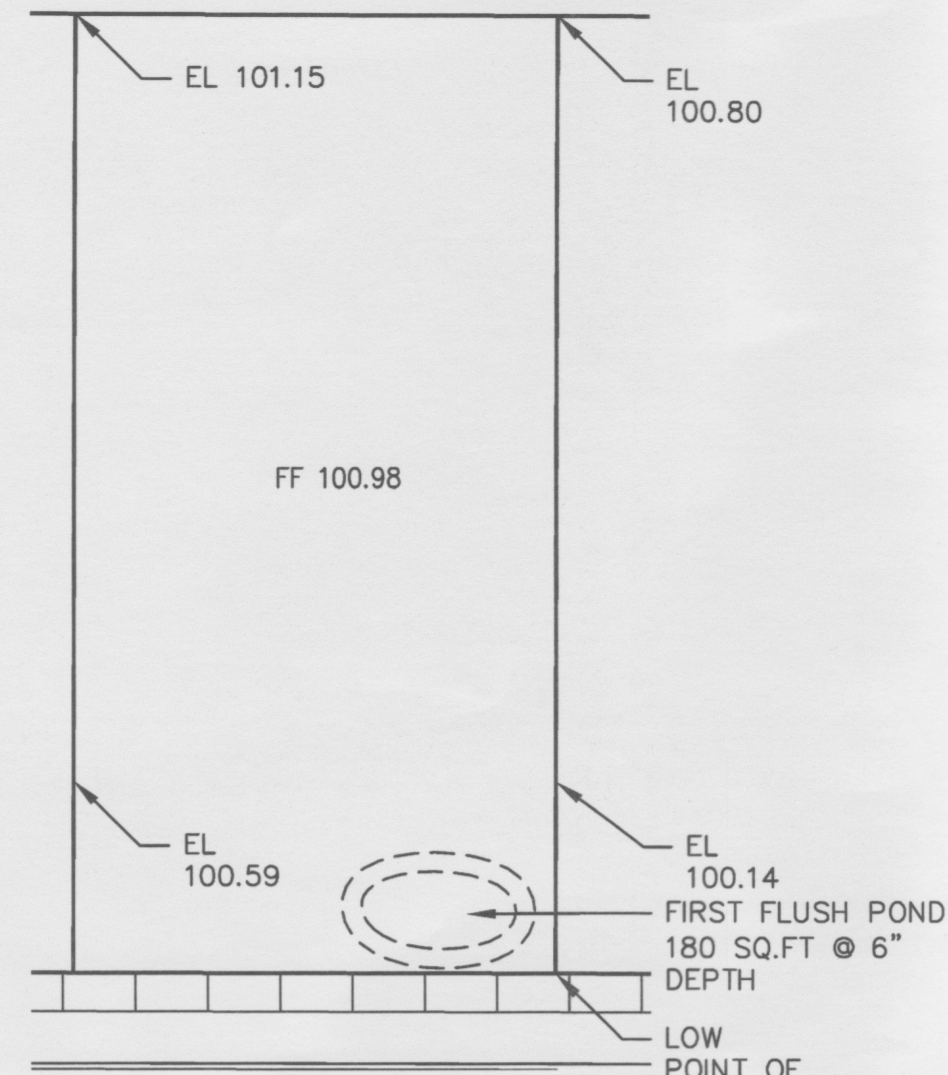
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



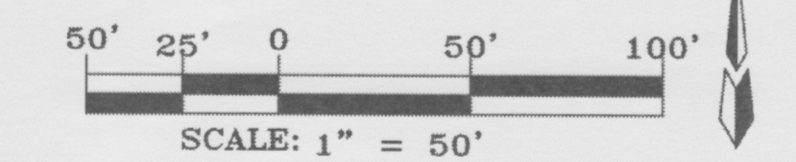
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VICINITY MAP C-18-Z

○ KEYED NOTES

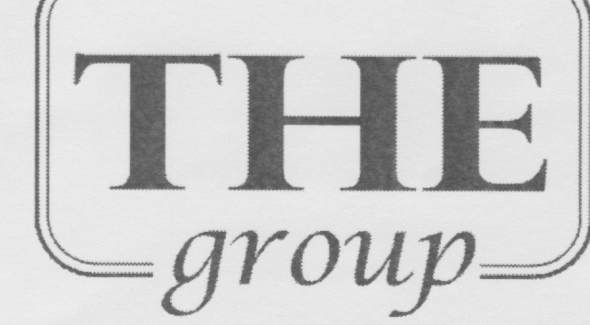


- FLOW ARROW
- ↘ SLOPE ARROW
- EL=11.28 PROPOSED ELEVATION
- X 66.33 EXISTING ELEVATION
- ~ GRADE BREAK
- - - - - EXISTING CONTOUR
- - - - - EXISTING CONTOUR
- - - - - PROPOSED EASEMENT
- 4.00% PROPOSED GRADE
- - - - - EXISTING WALL
- - - - - PROPOSED RETAINING WALL



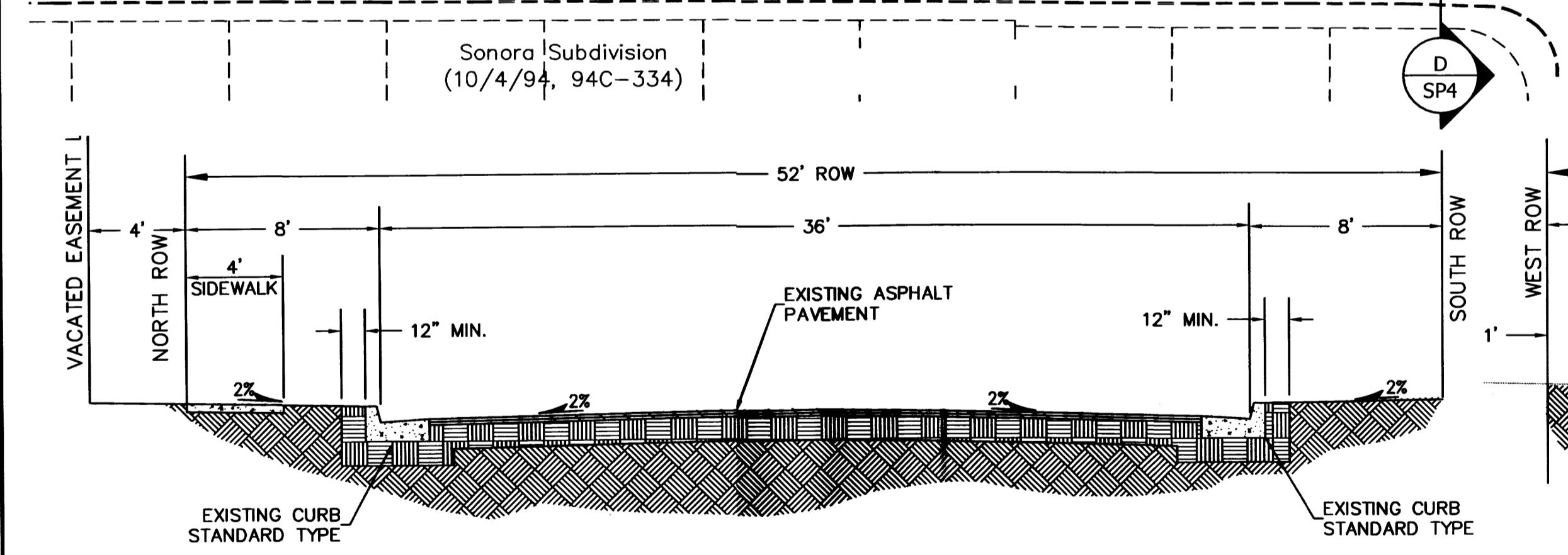
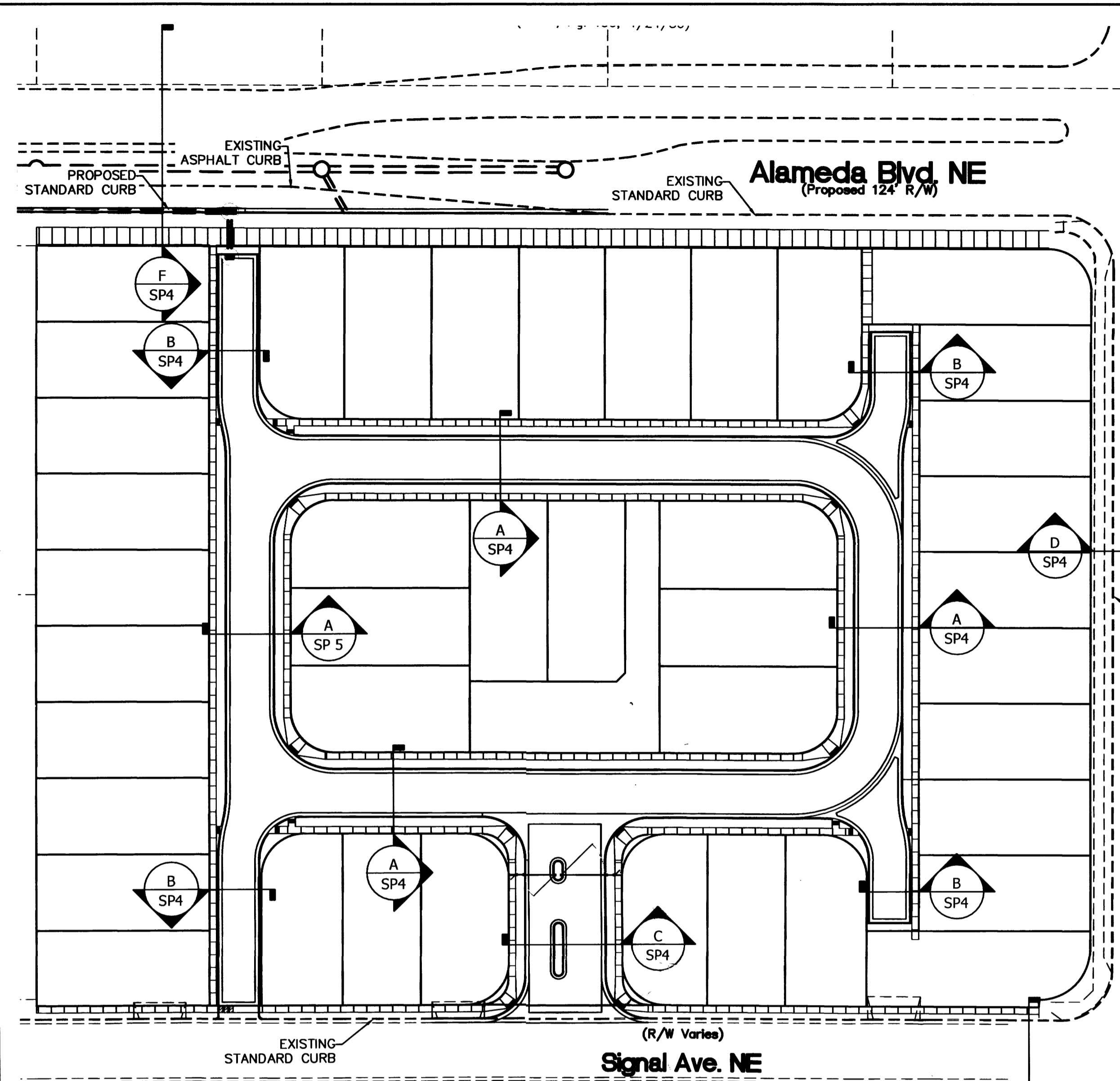
No.	Revision/Issue	Date

**SEVANO PLACE
SITE DEVELOPMENT PLAN**
Albuquerque, New Mexico

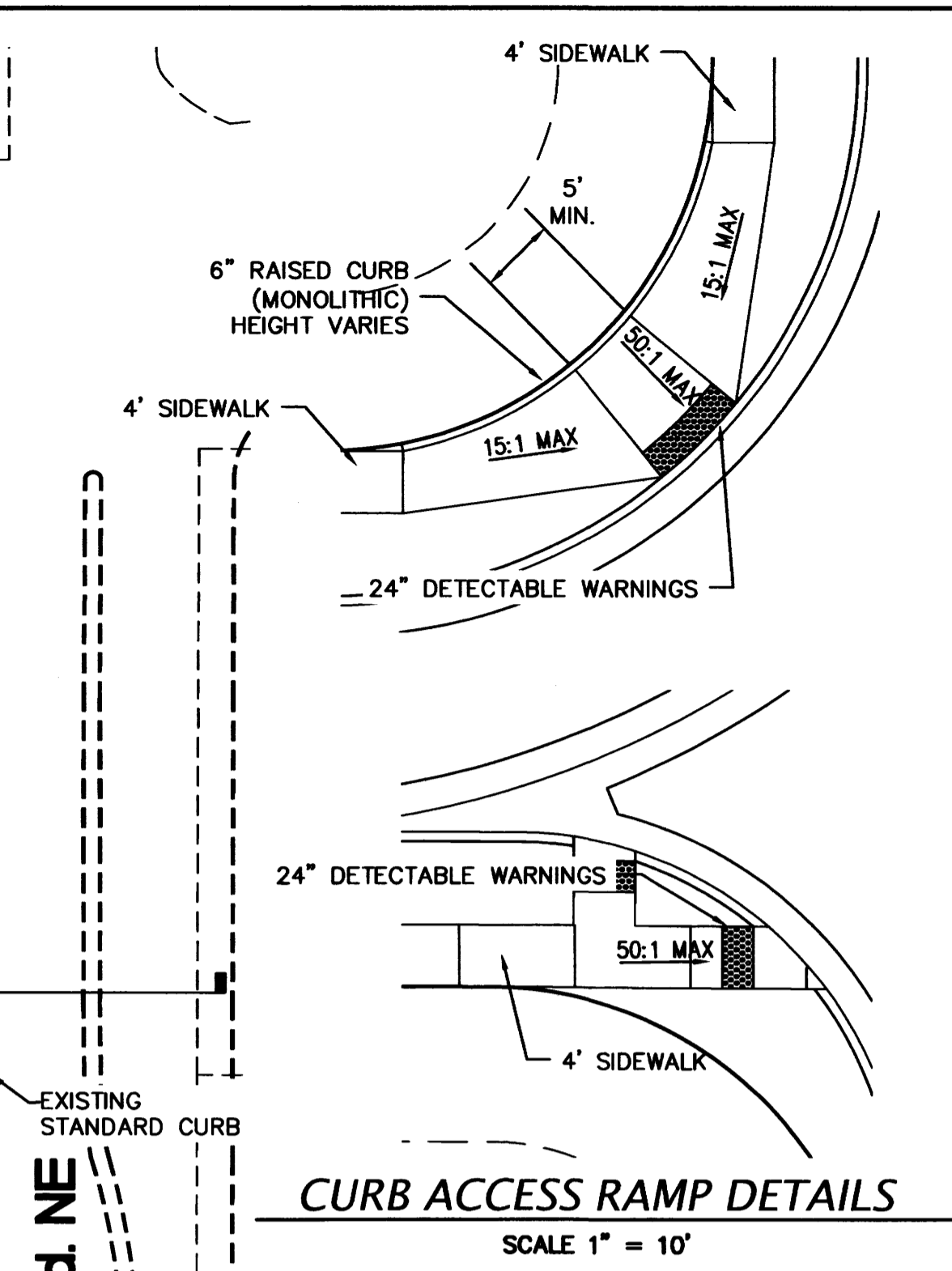


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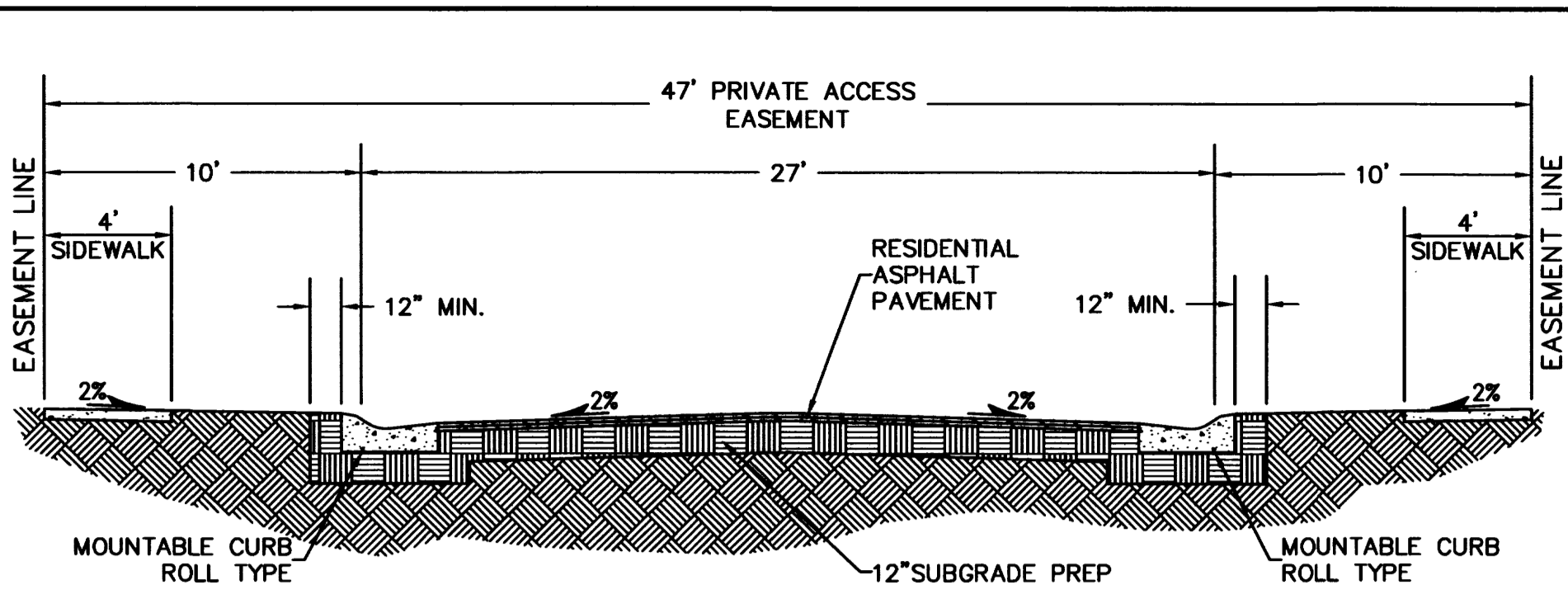
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Date MAY 2, 2014	
Project No. 	



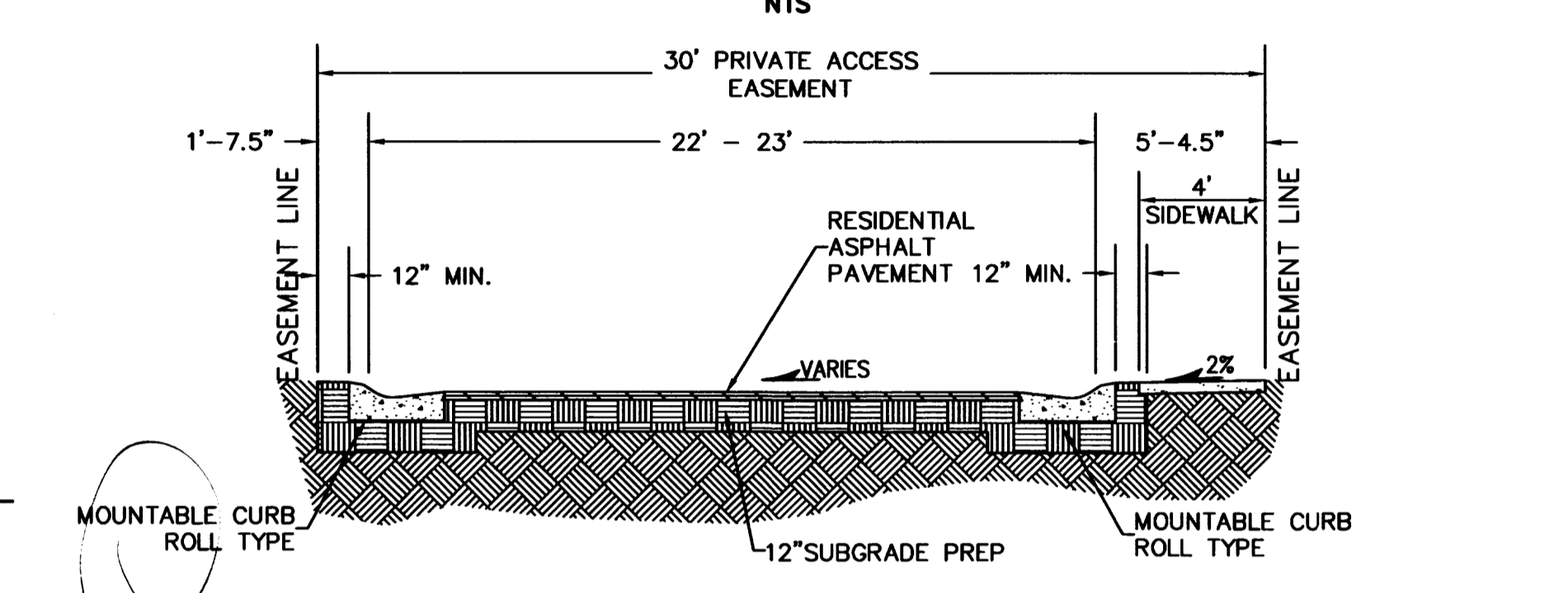
EXISTING SIGNAL AVENUE STREET SECTION D
NTS



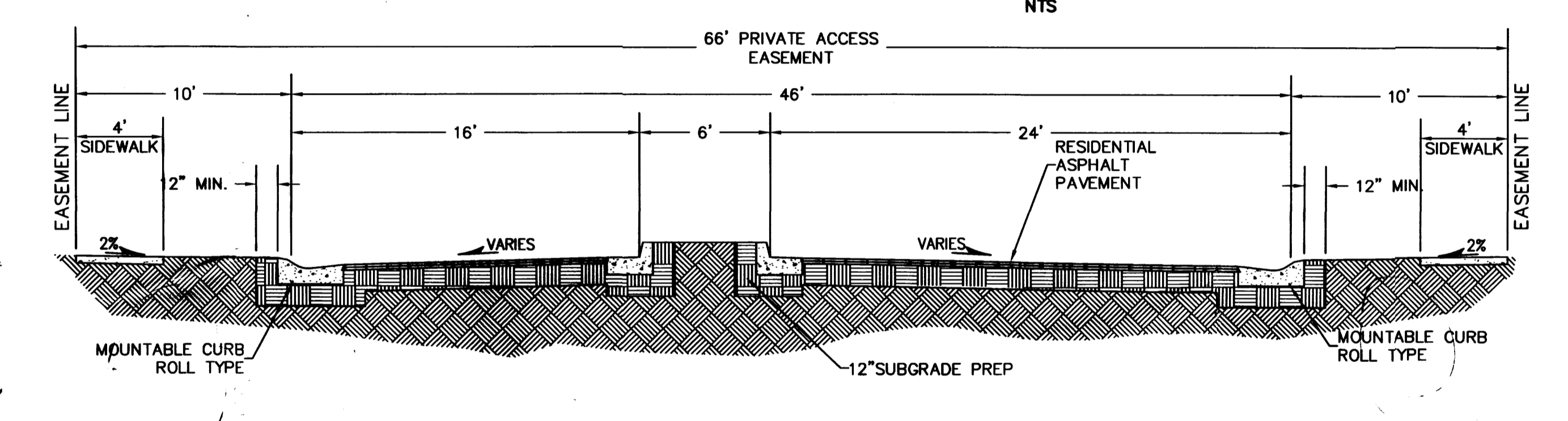
CURB ACCESS RAMP DETAILS
SCALE 1" = 10"



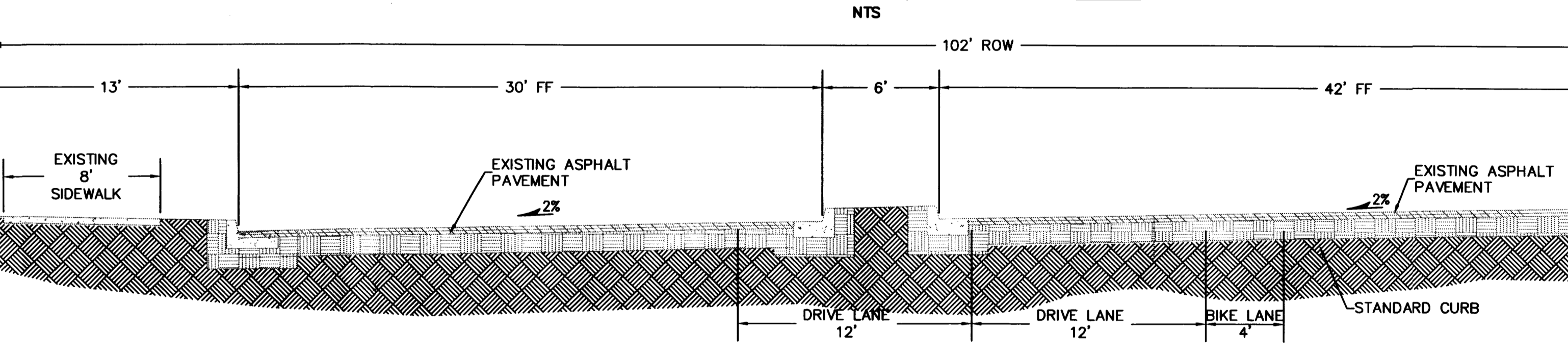
TYPICAL INTERIOR STREET SECTION A
NTS



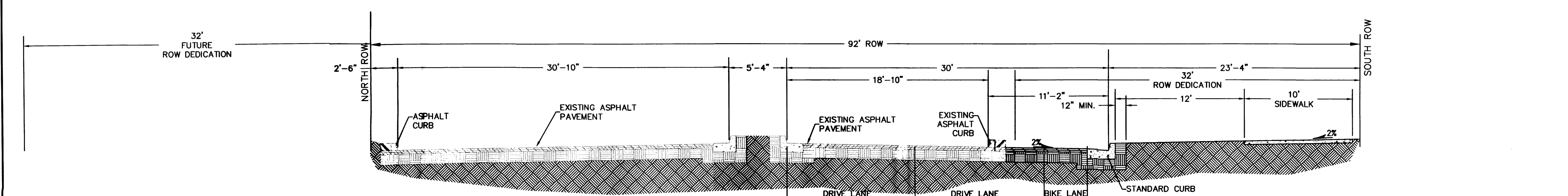
TYPICAL STUB STREET SECTION B
NTS



ENTRANCE STREET SECTION C
NTS

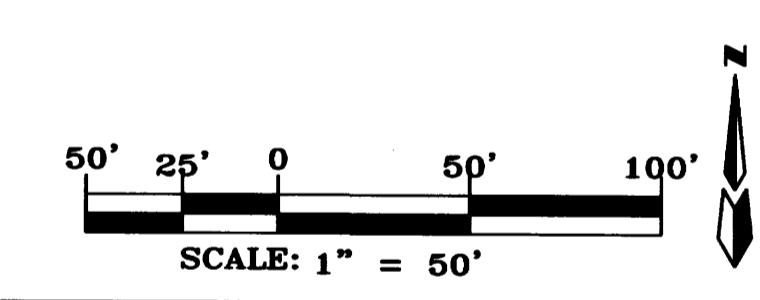


LOUISIANA-BLVD. STREET SECTION D
NTS



ALAMEDA BLVD. STREET SECTION F
NTS

KEYED NOTES



No.	Revision/Issue	Date

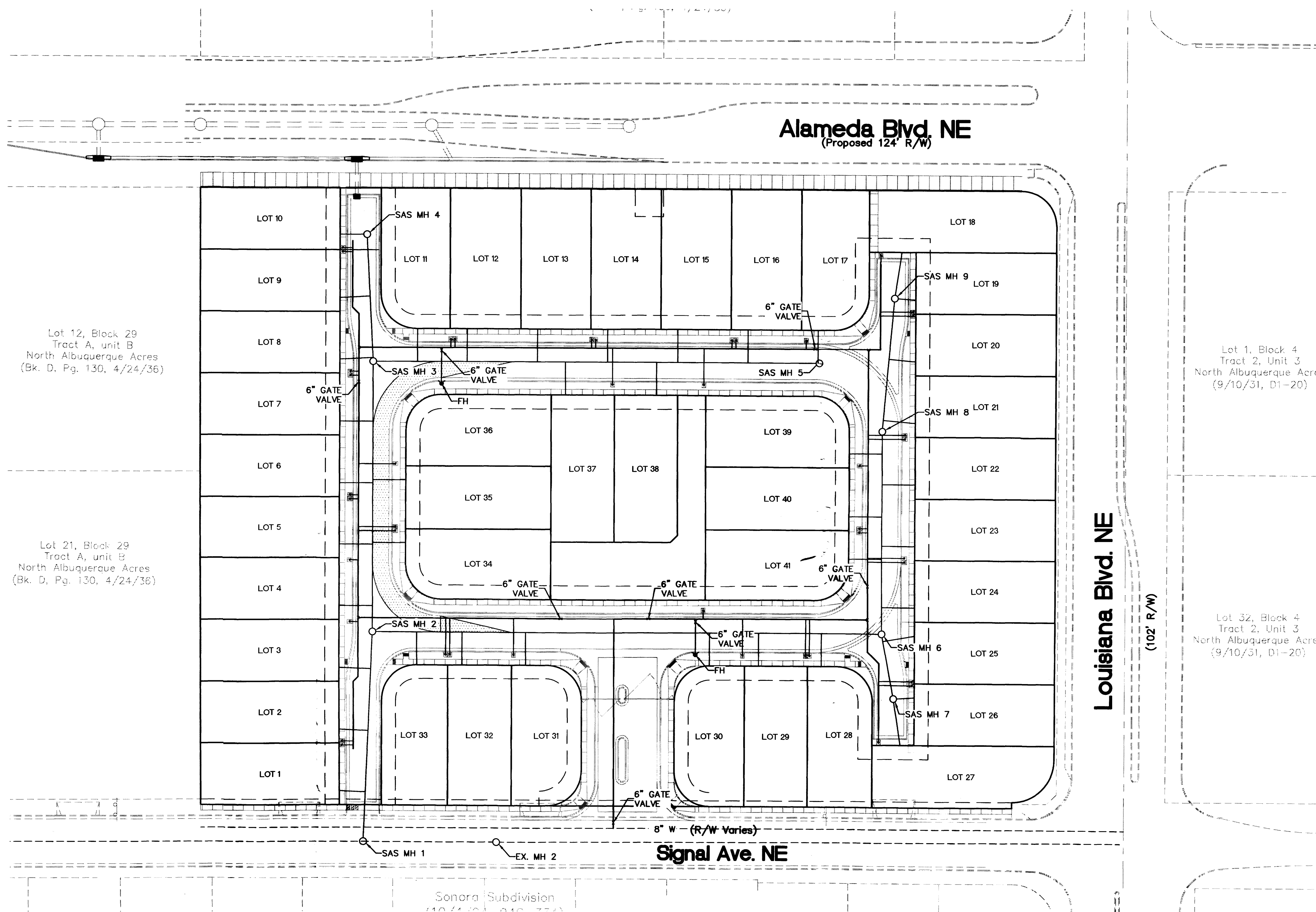
SEVANO PLACE
SITE DEVELOPMENT PLAN
Albuquerque, New Mexico



THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 514-0995

Sheet Title MASTER PAVING PLAN	Sheet Number SP4
Date JUNE 6, 2014	
Project No.	

○ KEYED NOTES



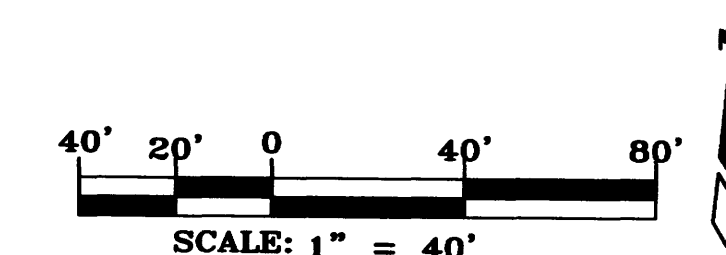
Lot 12, Block 29
Tract A, unit B
North Albuquerque Acres
(Bk. D, Pg. 130, 4/24/36)

Lot 21, Block 29
Tract A, unit B
North Albuquerque Acres
(Bk. D, Pg. 130, 4/24/36)

Lot 1, Block 4
Tract 2, Unit 3
North Albuquerque Acres
(9/10/31, D1-20)

Lot 32, Block 4
Tract 2, Unit 3
North Albuquerque Acres
(9/10/31, D1-20)

Sonora Subdivision
110 (1/10, 3/10, 7/10)



No.	Revision/Issue	Date

SEVANO PLACE
SITE DEVELOPMENT PLAN
Albuquerque, New Mexico



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RIO RANCHO, NEW MEXICO 87124
Phone: (505) 514-0995

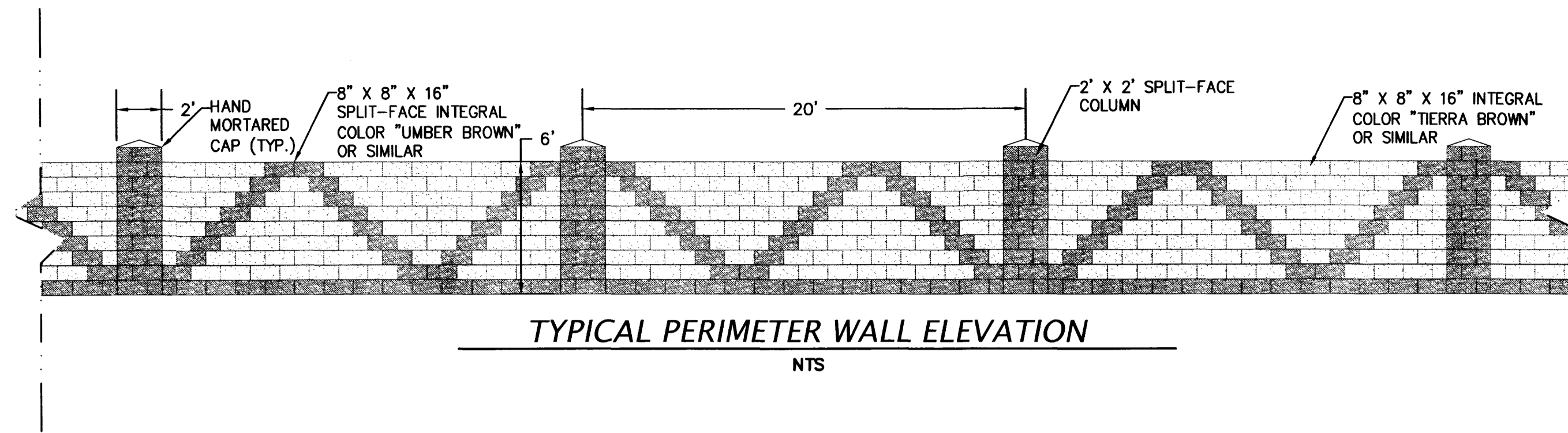
Sheet Title
MASTER UTILITY PLAN

Date
JUNE 6, 2014

Project No.

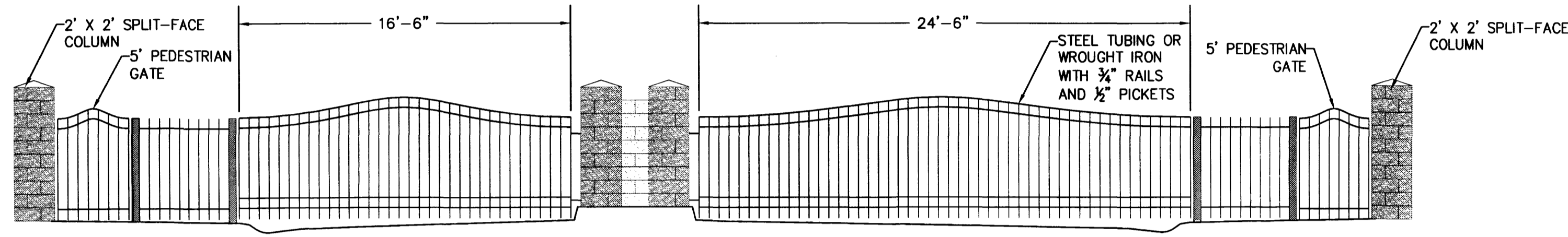
Sheet Number
SP5

○ KEYED NOTES



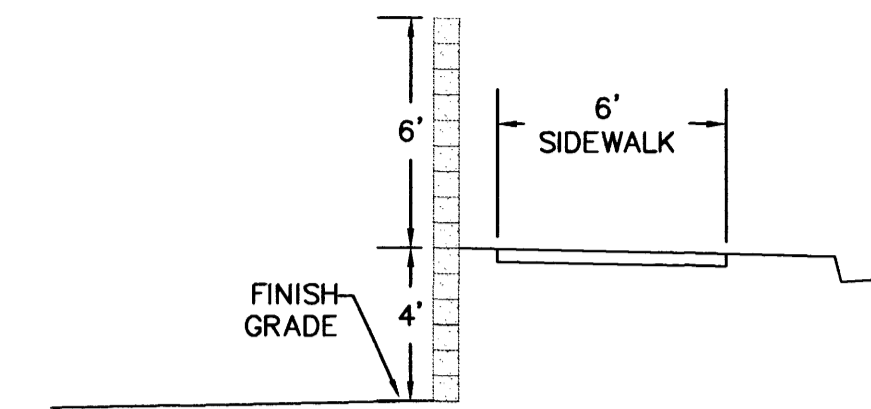
TYPICAL PERIMETER WALL ELEVATION

NTS



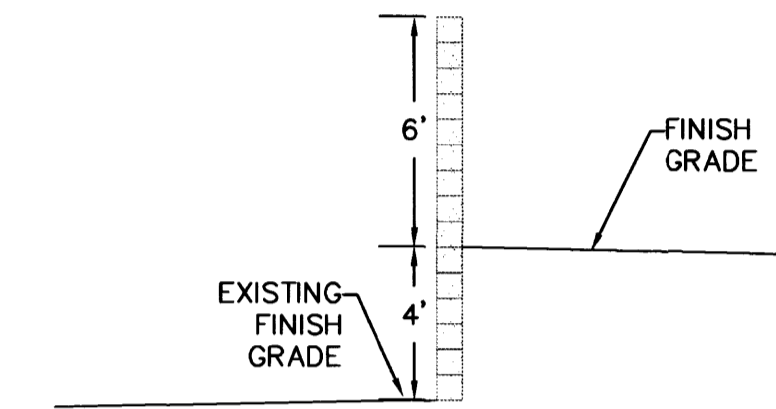
GATED ENTRANCE ELEVATION

NTS



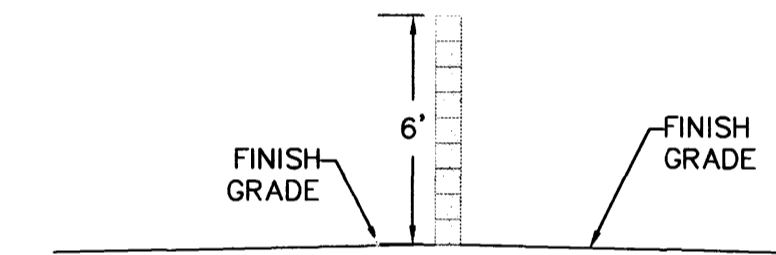
LOUISIANA BLVD. EAST WALL SECTION

NTS



WEST WALL SECTION

NTS



NORTH & SOUTH WALL SECTION

NTS

No.	Revision/Issue	Date

SEVANO PLACE
SITE DEVELOPMENT PLAN
Albuquerque, New Mexico



THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
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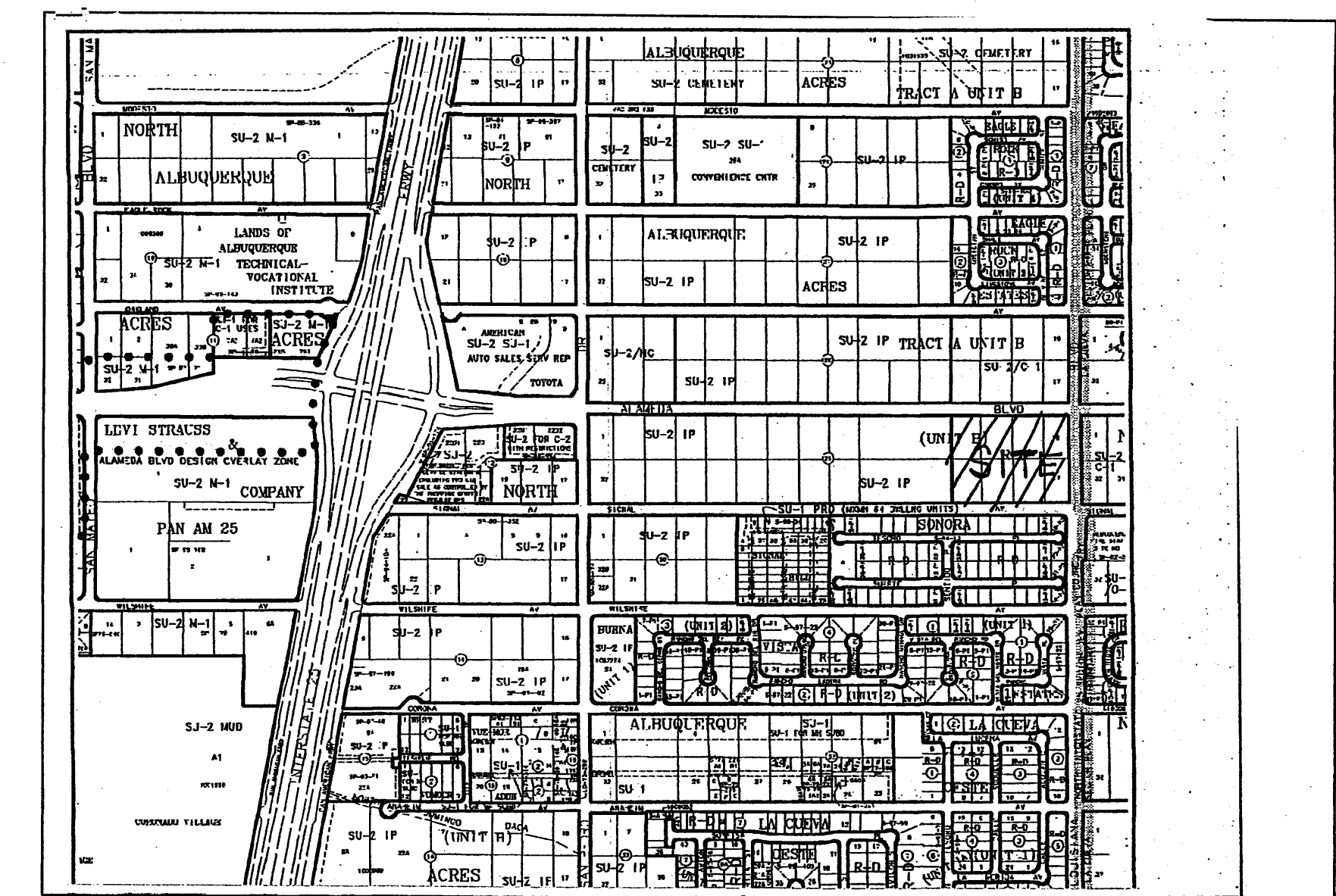
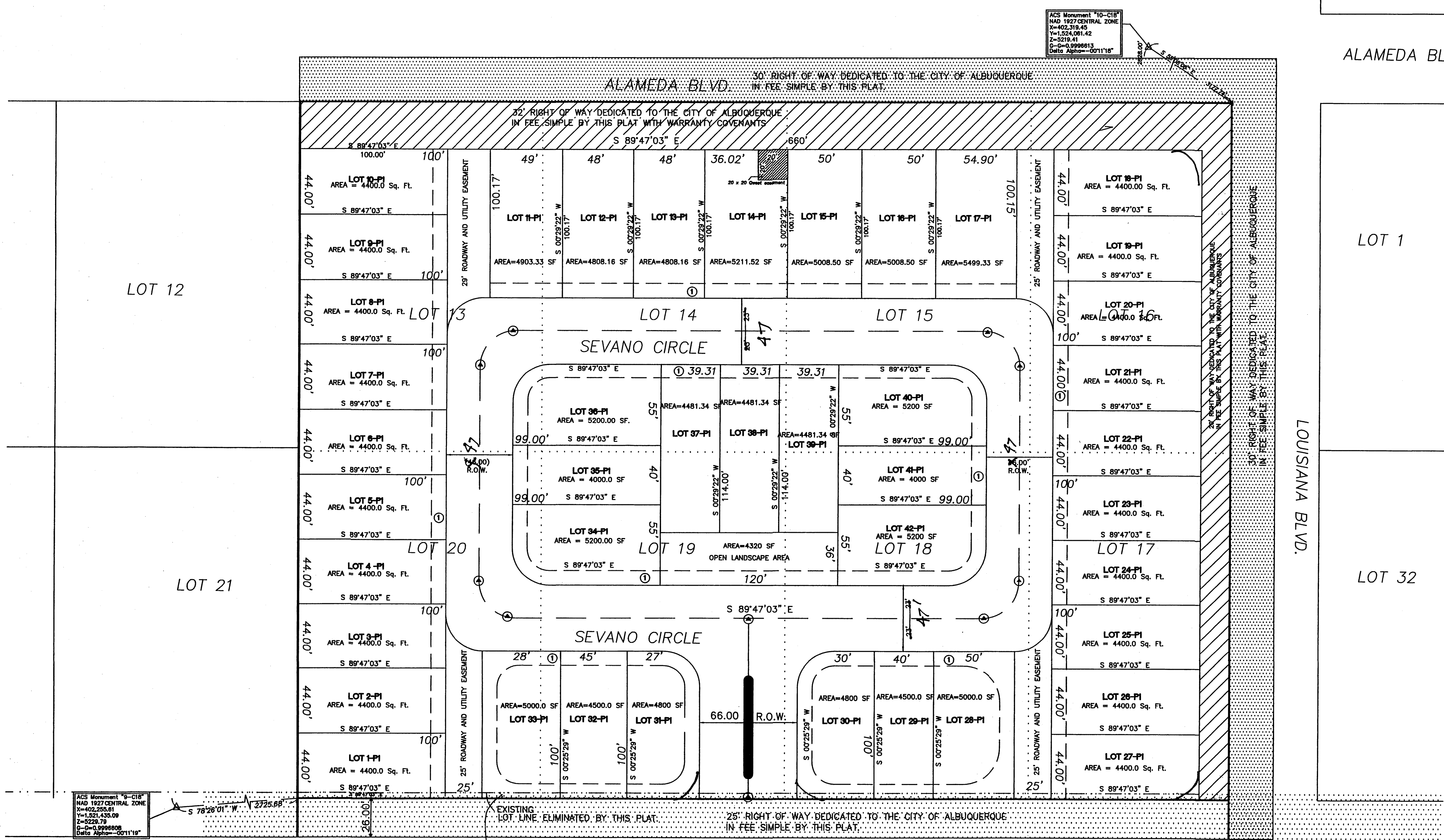
Sheet Title
ELEVATIONS AND DETAILS

Date
JUNE 6, 2014

Project No.

Sheet Number

SP6



LOCATION MAP ON
APPROVED BY DRB
PRELIMINARY PLAT
APPROVED BY DRB
PRELIMINARY PLAT OF
SEVANO PLACE SUBDIVISION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 A REPLAT OF LOTS 13 THRU 20, BLOCK 29,
 TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
 WITHIN PROJECTED SECTION 21, T. 11 N., R. 4 E., NMPM
 ELENA GALLEGOS GRANT
 SEPTEMBER 2006

APPROVED:

 Glen Harkin, P.S.
 City Surveyor, City of Albuquerque, New Mexico

DESIGN AND DEVELOPMENT PARTNERSHIP
 Owners

LEGAL DESCRIPTION:
 Lots numbered Thirteen (13) thru Twenty (20) in Block 29
 Tract A, Unit B, NORTH ALBUQUERQUE ACRES, as the same are shown and
 designated on the plat thereto, filed in the office of the County Clerk of Bernalillo
 County, New Mexico on September 10, 1931, in plat Book D1, folio 20.
 The above described property is located within Zone "X", Community
 Panel Nos. 350002 0137 E/0141 E, dated April 2, 2002, and is not located
 within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate
 Maps. Determination of Flood Hazard is by graphic plotting only.

CURVE INFORMATION		
	RADIUS	ARC LENGTH
C1	25.00'	19.63'
C2	25.00'	20.63'

5' Public
 Roadway
 Easement
 July 1, 2006

EASEMENTS
 10' PUBLIC UTILITY EASEMENT
 CENTERLINE MONUMENTS

NOTES

- Unless otherwise noted all boundary and lot corners will be marked by a rebar with cap stamped "PS 14271"
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points, and street intersections and shown thus will be marked by a four inch (4") aluminum cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS 14271"
- Boundary will be tied to the New Mexico State Plane Coordinate System as shown.
- Basis of bearing will be New Mexico State Plane grid bearings.
- Distances will be ground distances.
- Manholes will be offset at all points of curvature, points of tangency, street intersections and all other points, to allow use of centerline monumentation.

SUBDIVISION DATA

- DRB Proj. No.
- Zone Atlas Index No. C-18
- Current Zoning R-D ~~2800~~ **2800**
- Gross acreage 8.0 Acres
- Total Number of Lots created - 42
- No. of existing tracts: 8
- Miles of full width streets created: 0.30 mi.
- Date of Survey:
- TALOS LOG NO.: SEPTEMBER - 2006

PURPOSE OF PLAT:

The purpose of this plat is to replat EIGHT existing lots into forty four residential lots, dedicate public right of way and grant easements.

NOTES

- Bearings are Grid Bearings, Centrl Zone, NAD 1927, based upon ACS monuments "5-D21" and "7-D21", found monuments and adjacent subdivision plats.
- All distances are ground.
- Monuments recovered and accepted or set are noted on plat.
- Record bearings in parenthesis. Record bearings from the following sources:
 - Tract 2, Unit 3, North Albuquerque Acres (6/8/1931 D-133)
 - Plat of Sahar Subdivision.
 - Plat of Abis Subdivision.
- Ten foot (10') Public Utility Easement along all street rights of way is hereby granted with the filing of this plat.
- All open space requirements are met on the lot with dwelling per the provisions of Sec. 14-16-3-8 (A)(1).

NOTE: CENTERLINE Δ (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS #14271".

