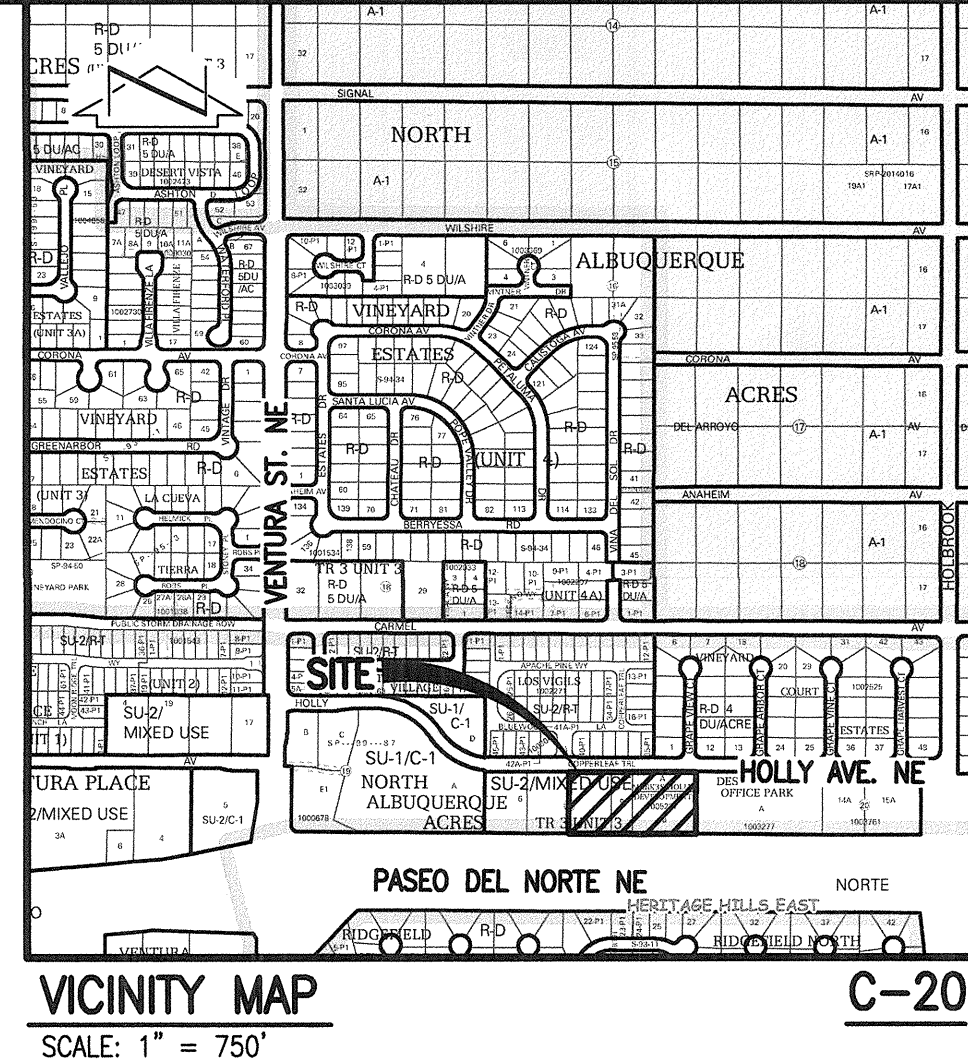


KEYED NOTES

- 1 NEW STOP SIGN
- 2 NEW 24" PRIVATE 6" CURB AND GUTTER
- 3 EXISTING CURB AND GUTTER TO REMAIN
- 4 NEW CONCRETE SIDEWALK/PAVEMENT
- 5 NEW ASPHALT PAVEMENT
- 6 NEW ACCESSIBLE PARKING SPACE PER STATE GUIDELINES WITH SIGN AND STRIPING AND "NO PARKING" PER 68-1-4.1.B. SIGN SHALL INCLUDE VIOLATIONS ARE SUBJECT TO FINE AND/OR TOWING
- 7 PROPOSED POLE-MOUNTED LIGHTING
- 8 PROPOSED CURB RAMP
- 9 MOTORCYCLE PARKING SIGN ON LIGHT POLE
- 10 PROPOSED CURB CUT FOR DRAINAGE INTO PLANTERS AREA
- 11 NEW REFUSE ENCLOSURE
- 12 NEW BENCH
- 13 EXISTING BENCH

LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVING
- PROPOSED LOT LINE BY FORTHCOMING PLAT
- EXISTING LOT LINE TO BE ELIMINATED
- PROPOSED RETAINING WALL
- LOT LINE TO BE REMOVED
- PEDESTRIAN CONNECTION
- PEDESTRIAN CONNECTION



ZONING

SU-2 / MIXED USE

LEGAL DESCRIPTION

TRACTS A AND B, MARK 3S HOLLY DEVELOPMENT FILED ON 03-01-2007, PLAT BOOK 2007C, PAGE 49; TOGETHER WITH LOT 8 AND THE WEST-HALF OF 9, BLOCK 20, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 FILED ON 09-10-1931, PLAT BOOK D, PAGE 121.

PROJECT NUMBER: 1005237
 APPLICATION NUMBER: 17 EPC-40032

IS AN INFRASTRUCTURE LIST REQUIRED? YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABQUA	10/4/17
Parks and Recreation Department	Date
10-04-17	
City Engineer	Date
11/28/17	
Solid Waste Management	Date
9-26-17	
Fire Marshal	Date
11-20-2017	
DRB Chairperson, Planning Department	Date

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT NOTES

- A THE SITE INCLUDES PROPOSED TRACT A-1. AMENDED FROM PREVIOUS TRACTS A AND B.
- B APPLICABLE SECTOR PLAN IS LA CUEVA SECTOR DEVELOPMENT PLAN (LSDP). DEVELOPMENT PLAN SHALL COMPLY WITH THE COMMON DESIGN REGULATIONS FOR ALL SU-2 ZONED PROPERTIES AND RT DEVELOPMENT IN THE RD ZONE IN THE LSDP.
- C PARKING REQUIREMENTS:
 1. BUILDING A - PRIVATE ELEMENTARY SCHOOL - 1 SPACE/EMPLOYEE UP TO 10 EMPLOYEES = 10
 2. BUILDING B - DAYCARE - 1 SPACE/200 SF = 47
 3. BUILDING C - DAYCARE - 1 SPACE/500 SF + 2 = 24
 - TOTAL REQUIRED = 81 (ALLOWED 89 MAX WITH 10% OVERAGE ALLOWED)
- D PARKING PROVIDED = 88
- E BICYCLE PARKING = 1/20 = 5 (7 PROVIDED)
- F MOTORCYCLE PARKING REQUIRED = 3 (3 PROVIDED)
- G ACCESSIBLE PARKING REQUIRED = 4 (8 PROVIDED)
- H ALL IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT AMENDMENT

- THE 2017 AMENDMENT TO THE APPROVED 2015 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (SPBP) CONSISTS OF THE FOLLOWING PROPOSED CHANGES:
1. ADDITION OF A NEW 11,066sf BUILDING (BUILDING C) FOR A DAYCARE FACILITY FOR INFANT CARE.
 2. ADDITION OF NEW PARKING AREAS TO THE NORTH AND WEST OF THE PROPOSED, NEW BUILDING.
 3. CREATIONS OF A NEW PLAY AREA BETWEEN BUILDING B (EXISTING) AND THE NEW BUILDING C.
 4. A NEW ACCESS POINT (DRIVEWAY) INTO THE EXPANDED SITE, FROM HOLLY AVE.
 5. EXTENSION WESTWARD OF THE EXISTING WALL.

KEYED EASEMENT NOTES

EASEMENTS - EXISTING

- 1 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2007C-49
- 1A PORTION OF 1 TO BE VACATED BY FORTHCOMING ACTION
- 2 10' PUBLIC ACCESS AND PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-89
- 3 10' PNM OVERHEAD EASEMENT GRANTED BY PLAT 99C-89
- 4 10' PRIVATE SANITARY SEWER EASEMENT GRANTED BY PLAT 2007C-49 TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A. (TO BE VACATED BY FORTHCOMING ACTION.)
- 5 10' PRIVATE WATER LINE EASEMENT GRANTED BY PLAT 2007C-49 TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A. (TO BE VACATED BY FORTHCOMING ACTION.)

EASEMENT - PROPOSED

- 6 10' PUBLIC UTILITY EASEMENT GRANTED BY FORTHCOMING PLATTING ACTION

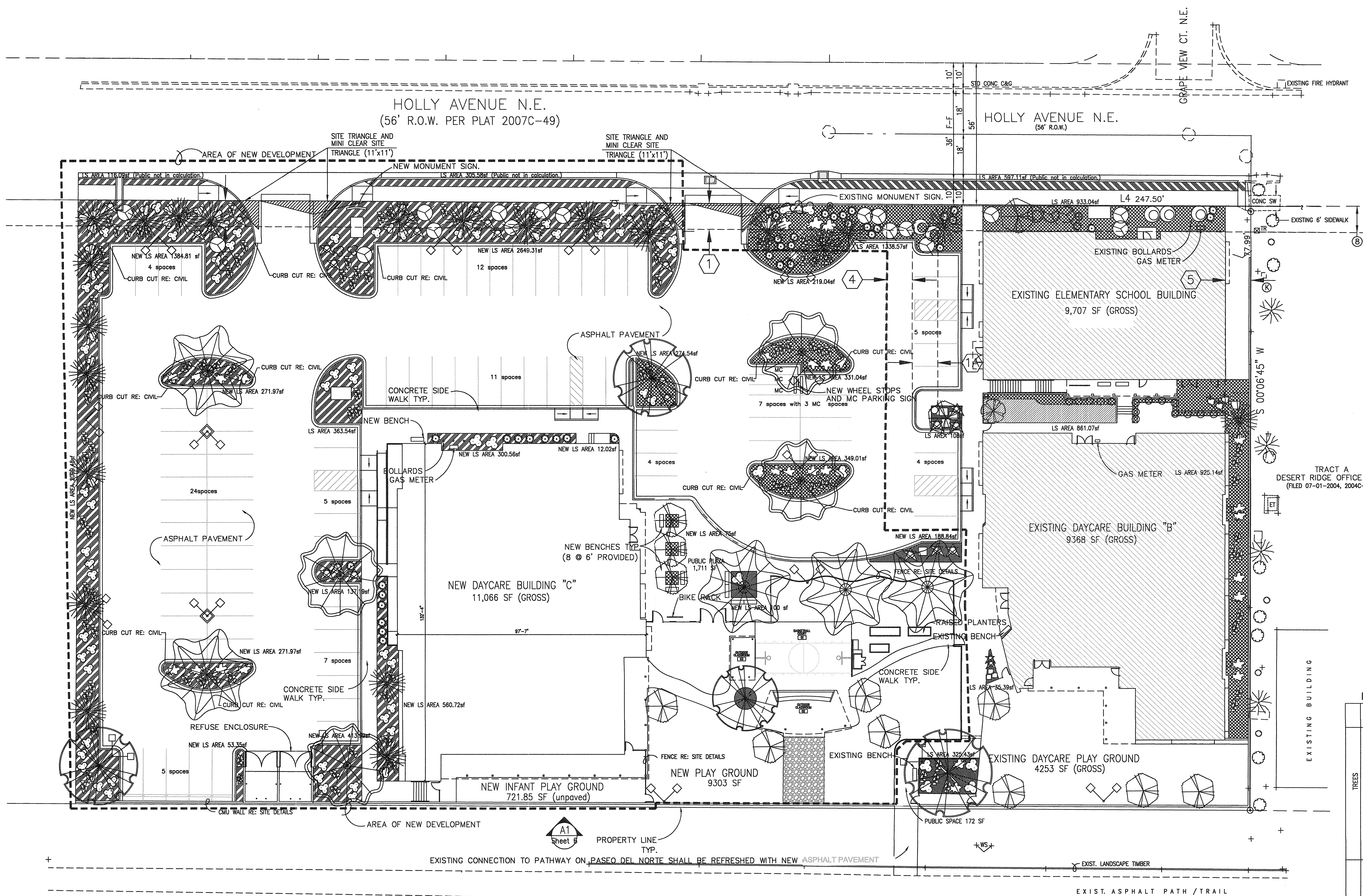
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INDEX OF DRAWINGS

SHEET	DESCRIPTION
1	SITE PLAN
2	LANDSCAPING PLAN
3	CONCEPTUAL GRADING DRAINAGE PLAN
4	CONCEPTUAL UTILITY PLAN
5	BUILDING AND STRUCTURE EXTERIOR ELEVATIONS
6	SITE WALL ELEVATIONS
7-13	PREVIOUSLY APPROVED SITE DEVELOPMENT PLAN

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (2017 AMENDMENT)
 MARK 3S HOLLY DEVELOPMENT**

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
R.J.C.	8/17	G.M.	STAFF INITIAL REVIEW COMMENTS	2017.014.2
J.Y.R./T.N.T.	9/17	G.M.	ADDRESS EPC CONDITIONS	09-2017
G.M.				SHEET 1 OF 13



PONDING AREAS:
 LANDSCAPING AREAS SHALL BE DEPRESSED IN SEVERAL LOCATIONS TO MEET CITY WATER QUALITY FIRST FLUSH REQUIREMENTS. NO FORMAL DETENTION OR RETENTION PONDS ARE PROPOSED. REFER TO GRADING PLAN.

REQUIRED AND PROVIDED PARKING LOT AND STREET TREES

A. PARKING LOT
 ONE TREE IS REQUIRED PER TEN SPACES WITH TOTAL AMOUNT OF PARKING SPACES REQUIRED = 81 SPACES. 89 PROVIDED
 PARKING AREA TREES REQUIRED = 9
 PARKING AREA TREES PROVIDED = 11; ALL PARKING SPACES ARE WITHIN 100 FEET OF A TREE TRUNK.

75% OF REQUIRED PARKING AREA TREES SHALL BE DECIDUOUS CANOPY-TYPE TREES, CAPABLE OF MATURE CANOPY OF AT LEAST 25 FEET.
 9 TREES REQUIRED (2 RED TEXAS OAK, 4 CHINQUAPIN OAK, 5 LONDON PLANE, & 22 PINUS EDULIS PROVIDED)

CURB OPENINGS PROVIDED TO PONDING AREAS RE: CIVIL GRADING PLAN

B. STREET TREES
 EXISTING AND PROPOSED TREES ALONG HOLLY FRONTAGE ARE SHOWN WITHIN THE SITE AND NOT BETWEEN THE SIDEWALK AND CURB AS PER STANDARD STREET TREE LOCATIONS. THIS IS CONSISTENT WITH THE PREVIOUS PHASE. WE INTEND TO WORK WITH STAFF TO VERIFY AND REFINE THE NUMBER, LOCATIONS, AND TYPES OF TREES TO MEET THE CITY STREET TREE ORDINANCE WHILE WORKING WITH THE CONSTRAINT OF AN EXISTING OVERHEAD UTILITY LINE THAT RUNS ALONG THE SITE FRONTAGE AND THE 10 FOOT PUBLIC UTILITY EASEMENT WITHIN THE SITE.

IRRIGATION NOTES
 IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1.0 GPH DRIP EMITTERS AND SHRUBS AND PERENNIALS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEM TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS (MARK 3S).

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	H	W	WATER REQUIREMENTS	INSTALLED SIZE
TREES	5 NEW	PLANTANUS ACERIFOLIA	LONDON PLANE TREE	50	40	MEDIUM WATER USE	24" BOX SINGLE TRUNK
	3 NEW	QUERCUS TEXANA	RED TEXAS OAK	30'	30'	MEDIUM WATER USE	24" BOX MULTI TRUNK
	4 NEW	QUERCUS MUELENBERGII	CHINQUAPIN OAK	30'	30'	MEDIUM WATER USE	24" BOX MULTI TRUNK
	21 NEW	PINUS EDULIS	PINON	25'	20'	MEDIUM WATER USE	8' - 9' B+B
	7 NEW	VITEX AGUS-CASTUS	CHASTE TREE	20'	15'	LOW WATER USE	24" BOX MULTI TRUNK
	EXISTING		FIG TREE	12'	8'	LOW WATER USE	NA EXISTING
	SHRUBS	77 NEW	ROSMARINUS OFFICINALIS 'ARP'	ROSEMARY	3'	4'	LOW WATER USE
16 NEW		ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' OR 'PROSTRATA'	ROSEMARY	1'	3'	LOW WATER USE	1GALLON
82 NEW		ERICACAMERIA LARICIFOLIA	TURPENTINE BUSH	2'	2'	LOW WATER USE	1GALLON
EXISTING		ARTEMISIA CANA	SILVER SAGE	6'	4'	LOW WATER USE	1GALLON
9 NEW		CHRYSOETHAMNUS NAUSEOSUS	DWARF CHAMISA	2'	3'	LOW WATER USE	1GALLON
ORNAMENTAL GRASS	12 NEW	MISCANTHUS SINENSIS 'PURPURASCENS'	AUTUMN MAIDEN GRASS	5'	4'	MEDIUM WATER USE	5 GALLON
	EXISTING	MUHLBERGIA RIGENS	DEER GRASS	3'	3'	LOW WATER USE	1 GALLON
PERENNIALS	EXISTING	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	1.5'	1.5'	LOW WATER USE	1GALLON
	18 NEW	SANTOLINA VIRENS	GREEN SANTOLINA	2'	3'	LOW WATER USE	1GALLON
MULCH			3/4" GRAVEL GROUND COVER (SANTA ANNA TAN)				
			CRUSHER FINES GROUND COVER (BROWN)				
			EXISTING TURF GRASS. (BERMUDAGRASS: MODERATE WATER USE) SANTA FE NATIVE GRASS SEED MIX.				

LANDSCAPING AREA CALCULATION

TOTAL SITE AREA	= 108,149 sf. (2.48 ACRES).
BUILDING AREA	= 25,818 sf.
NET SITE AREA	= 82,331 sf.
15% LANDSCAPE AREA REQUIRED	= 12,350 sf.
75% LIVING GROUND COVER REQUIRED	= 9,262 sf.
18% LANDSCAPE AREA PROVIDED	= 14,669 sf.
75%+ LIVING GROUND COVER PROVIDED	= 9,564 sf.

NOTE: LANDSCAPE AREA CALCULATION EXCLUDES PLAY GROUND AREAS.

KEYED EASEMENT NOTES

EASEMENTS - EXISTING

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- PORTION OF ① TO BE VACATED BY FORTHCOMING ACTION
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EASEMENT - PROPOSED

- 10' PUBLIC UTILITY EASEMENT GRANTED BY FORTHCOMING PLATTING ACTION

LANDSCAPING NOTES:

*** EXISTING LANDSCAPING COMPLETED UNDER THE OFFICE/DAYCARE SITE AND ELEMENTARY DEVELOPMENT, AUGUST 2015. NEW LANDSCAPE AREAS NOTED AS NEW LS.

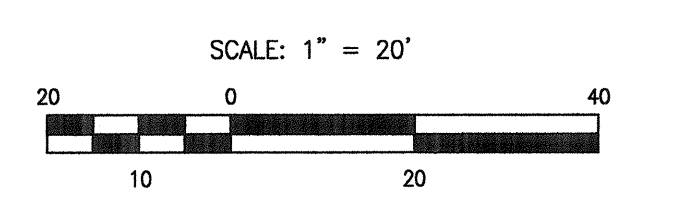
LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS, MARK 3S.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE OWNERS. ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

OPEN SPACE / COMMON AREAS:
 OPEN SPACE AMENITY IS PROVIDED IN THREE AREAS ON SITE. 1,206 SF REQUIRED, 1,883 SF PROVIDED.

OUTDOOR SEATING CALCULATION:
 ONE SEAT FOR EVERY 25' OF LINEAR FOOT OF BUILDING FRONTAGE REQUIRED (FRONTAGE = 97'-7" ONE 6' BENCH WITH 4 SEATS PROVIDED AT 18" PER SEAT.) 11 BENCHES TOTAL WITH 44 SEATS PROVIDED ON SITE.

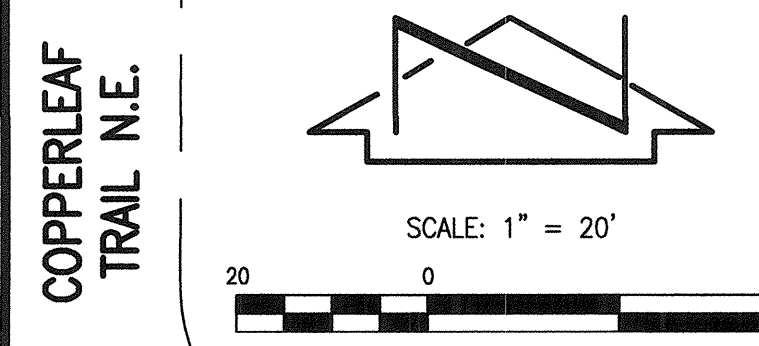
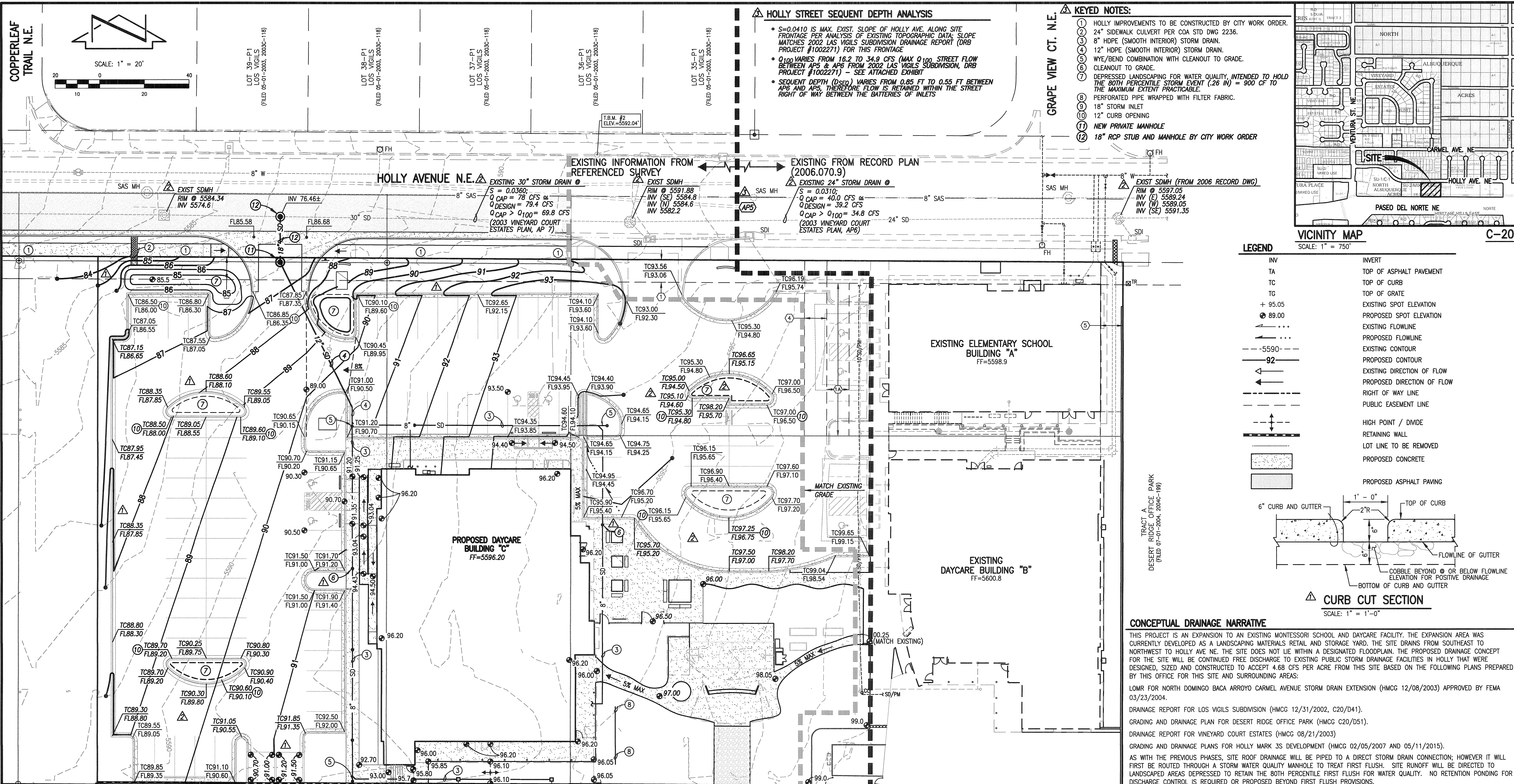


Holly Development
 NIDO Center
 West Half of Lot 9 and East Half of Lot 8 Block 20 North Albuquerque Acres.
 Albuquerque, New Mexico

REVISIONS

1		
2		
3		

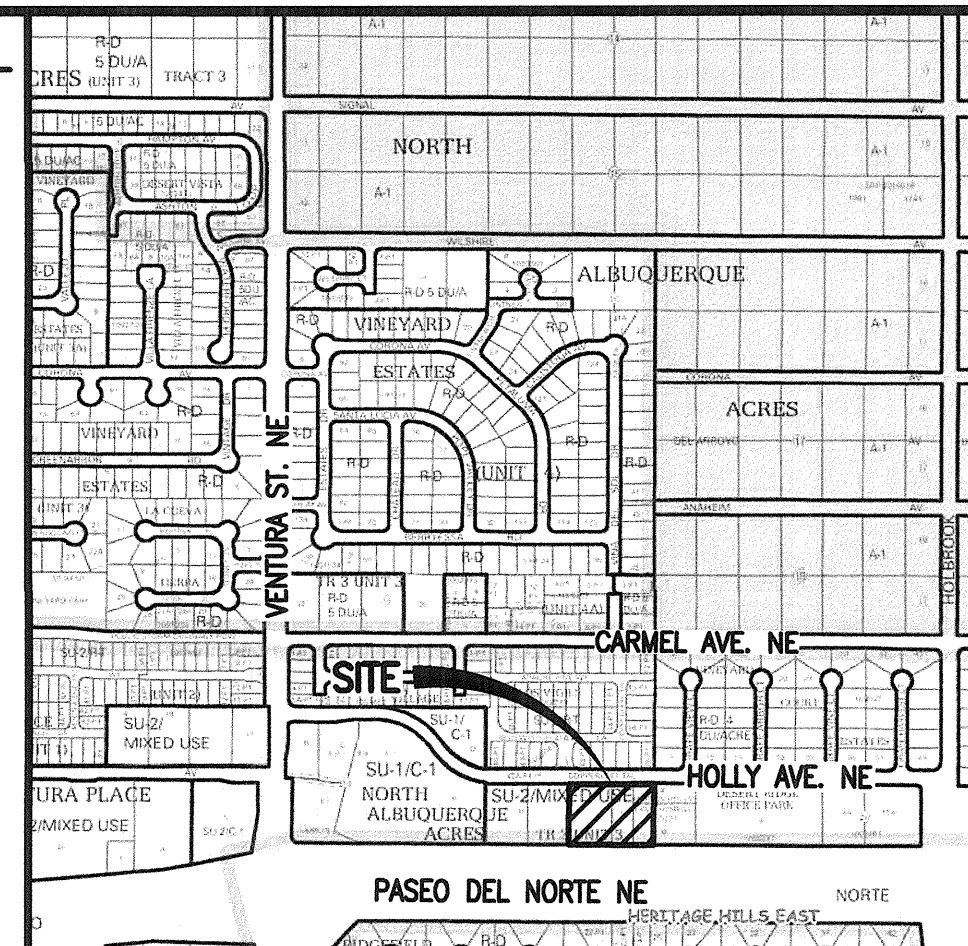
DRAWN BY: BG
 REVIEWED BY: BG
 DATE: 08/01/2017
 PROJECT NO.: F 2017
 DRAWING NAME: LANDSCAPE PLAN



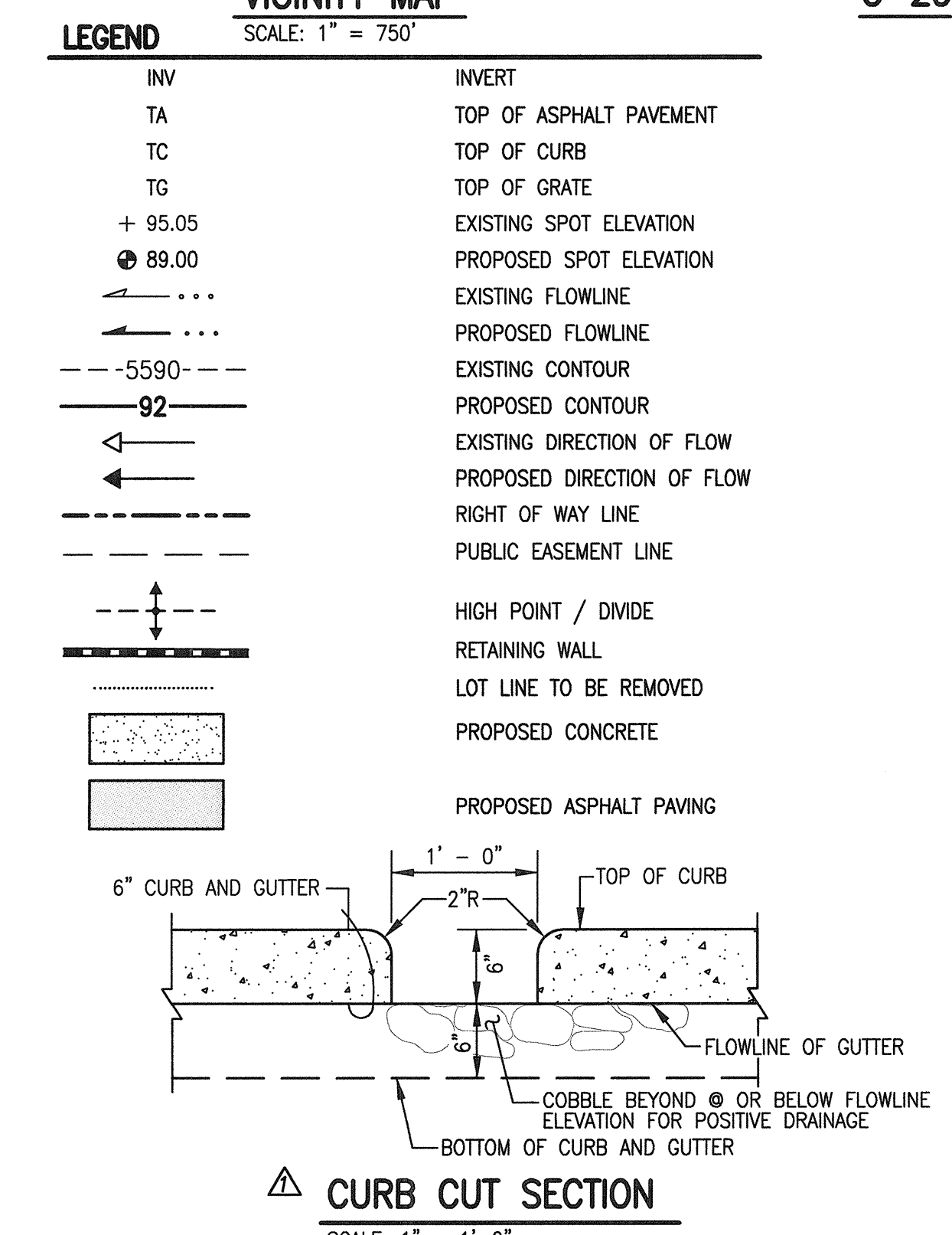
HOLLY STREET SEQUENT DEPTH ANALYSIS

- S=0.0410 IS MAX. EXIST. SLOPE OF HOLLY AVE. ALONG SITE FRONTAGE PER ANALYSIS OF EXISTING TOPOGRAPHIC DATA; SLOPE MATCHES 2002 LAS VIGILS SUBDIVISION DRAINAGE REPORT (DRB PROJECT #1002271) FOR THIS FRONTAGE.
- Q₁₀₀ VARIES FROM 16.2 TO 34.9 CFS (MAX Q₁₀₀ STREET FLOW BETWEEN AP5 & AP6 FROM 2002 LAS VIGILS SUBDIVISION, DRB PROJECT #1002271) - SEE ATTACHED EXHIBIT
- SEQUENT DEPTH (D_{seq}) VARIES FROM 0.85 FT TO 0.55 FT BETWEEN AP6 AND AP5, THEREFORE FLOW IS RETAINED WITHIN THE STREET RIGHT OF WAY BETWEEN THE BATTERIES OF INLETS

- KEYED NOTES:**
- HOLLY IMPROVEMENTS TO BE CONSTRUCTED BY CITY WORK ORDER.
 - 24" SIDEWALK CULVERT PER COA STD DWG 2236.
 - 8" HDPE (SMOOTH INTERIOR) STORM DRAIN.
 - 12" HDPE (SMOOTH INTERIOR) STORM DRAIN.
 - WYE/BEND COMBINATION WITH CLEANOUT TO GRADE.
 - CLEANOUT TO GRADE.
 - DEPRESSED LANDSCAPING FOR WATER QUALITY, INTENDED TO HOLD THE BOTH PERCENTILE STORM EVENT (2.6 IN) = 900 CF TO THE MAXIMUM EXTENT PRACTICABLE.
 - PERFORATED PIPE WRAPPED WITH FILTER FABRIC.
 - 18" STORM INLET
 - 12" CURB OPENING
 - NEW PRIVATE MANHOLE
 - 18" RCP STUB AND MANHOLE BY CITY WORK ORDER



VICINITY MAP
SCALE: 1" = 750'



CONCEPTUAL DRAINAGE NARRATIVE

THIS PROJECT IS AN EXPANSION TO AN EXISTING MONTESSORI SCHOOL AND DAYCARE FACILITY. THE EXPANSION AREA WAS CURRENTLY DEVELOPED AS A LANDSCAPING MATERIALS RETAIL AND STORAGE YARD. THE SITE DRAINS FROM SOUTHWEST TO NORTHWEST TO HOLLY AVE NE. THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN. THE PROPOSED DRAINAGE CONCEPT FOR THE SITE WILL BE CONTINUED FREE DISCHARGE TO EXISTING PUBLIC STORM DRAINAGE FACILITIES IN HOLLY THAT WERE DESIGNED, SIZED AND CONSTRUCTED TO ACCEPT 4.68 CFS PER ACRE FROM THIS SITE BASED ON THE FOLLOWING PLANS PREPARED BY THIS OFFICE FOR THIS SITE AND SURROUNDING AREAS:

- LOMR FOR NORTH DOMINGO BACA ARROYO CARMEL AVENUE STORM DRAIN EXTENSION (HMCG 12/08/2003) APPROVED BY FEMA 03/23/2004.
- DRAINAGE REPORT FOR LOS VIGILS SUBDIVISION (HMCG 12/31/2002, C20/D41).
- GRADING AND DRAINAGE PLAN FOR DESERT RIDGE OFFICE PARK (HMCG C20/D51).
- DRAINAGE REPORT FOR VINEYARD COURT ESTATES (HMCG 08/21/2003)
- GRADING AND DRAINAGE PLANS FOR HOLLY MARK 3S DEVELOPMENT (HMCG 02/05/2007 AND 05/11/2015).

AS WITH THE PREVIOUS PHASES, SITE ROOF DRAINAGE WILL BE PIPED TO A DIRECT STORM DRAIN CONNECTION; HOWEVER IT WILL FIRST BE ROUTED THROUGH A STORM WATER QUALITY MANHOLE TO TREAT FIRST FLUSH. SITE RUNOFF WILL BE DIRECTED TO LANDSCAPED AREAS DEPRESSED TO RETAIN THE BOTH PERCENTILE FIRST FLUSH FOR WATER QUALITY. NO RETENTION PONDING FOR DISCHARGE CONTROL IS REQUIRED OR PROPOSED BEYOND FIRST FLUSH PROVISIONS.

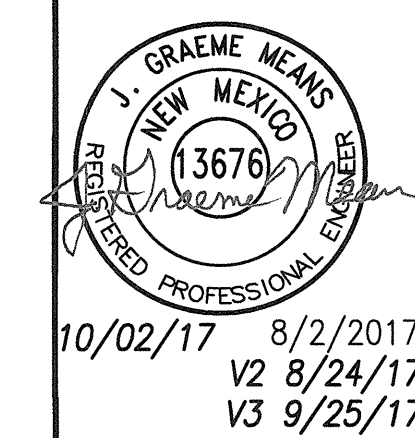
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EASEMENT - PROPOSED

- 10' PUBLIC UTILITY EASEMENT GRANTED BY FORTHCOMING PLATTING ACTION



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ZONING
SU-2 / MIXED USE

LEGAL DESCRIPTION
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TEMPORARY BENCHMARK #2 (T.B.M.)
A MAG NAIL W/WASHER SET IN THE TOP OF A CONCRETE CURB, IN THE NORTHEASTERN PORTION OF THE SITE, AS SHOWN ON THIS SHEET.
ELEVATION = 5592.04 FEET (NAVD 88)

PASEO DEL NORTE N.E.

← PROPOSED AMENDED SITE AND EXPANSION TO WEST

→ EXISTING SITE IMPROVEMENTS TO REMAIN

CONCEPTUAL GRADING AND DRAINAGE PLAN (NOT FOR CONSTRUCTION)
MARK 3S HOLLY DEVELOPMENT

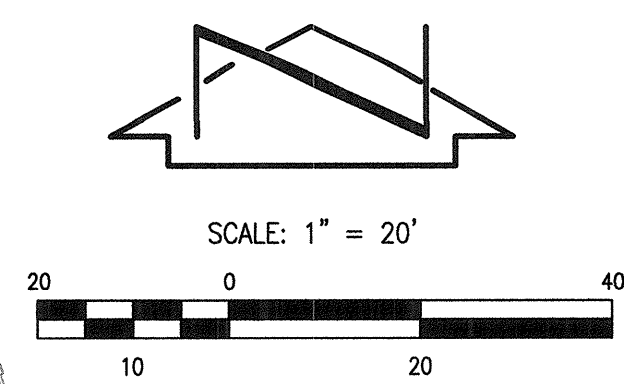
HIGH MESA Consulting Group
6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109
Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesaeng.com

DESIGNED BY	R.J.C.	DATE	8/17	BY	G.M.	REVISIONS	STAFF INITIAL REVIEW COMMENTS
DRAWN BY	J.Y.R./T.N.T.	DATE	9/17	BY	G.M.	REVISIONS	ADDRESS EPC CONDITIONS
APPROVED BY	G.M.	DATE	10/17	BY	G.M.	REVISIONS	ADDRESS HYDROLOGY COMMENTS

JOB NO. 2017.014.2
DATE 09-2017
SHEET 3 OF 13

File Path: P:\M\2017\10-03-2017\10-03-2017.dwg Plot Date: 10-03-2017 Plot Time: 2:23 pm File Name: 170141_SH3-R3.DWG

COPPERLEAF TRAIL N.E.



LOT 39-P1
LOS VIGILS
(FILED 05-01-2003, 2003C-118)

LOT 38-P1
LOS VIGILS
(FILED 05-01-2003, 2003C-118)

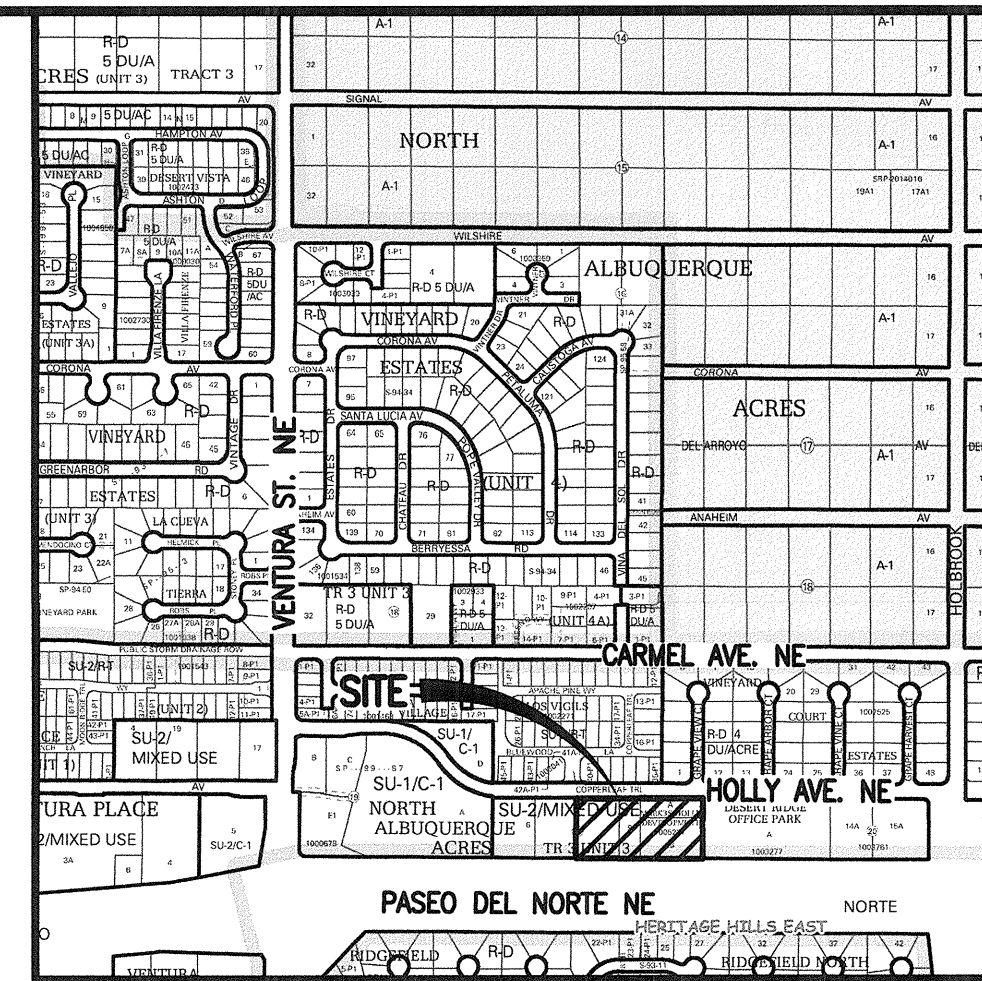
LOT 37-P1
LOS VIGILS
(FILED 05-01-2003, 2003C-118)

LOT 36-P1
LOS VIGILS
(FILED 05-01-2003, 2003C-118)

LOT 35-P1
LOS VIGILS
(FILED 05-01-2003, 2003C-118)

LOT 1
VINEYARD COURT ESTATES
(FILED 11-14-2003, 2003C-344)

GRAPE VIEW CT. N.E.



VICINITY MAP
SCALE: 1" = 750'

ZONING

SU-2 / MIXED USE

LEGAL DESCRIPTION

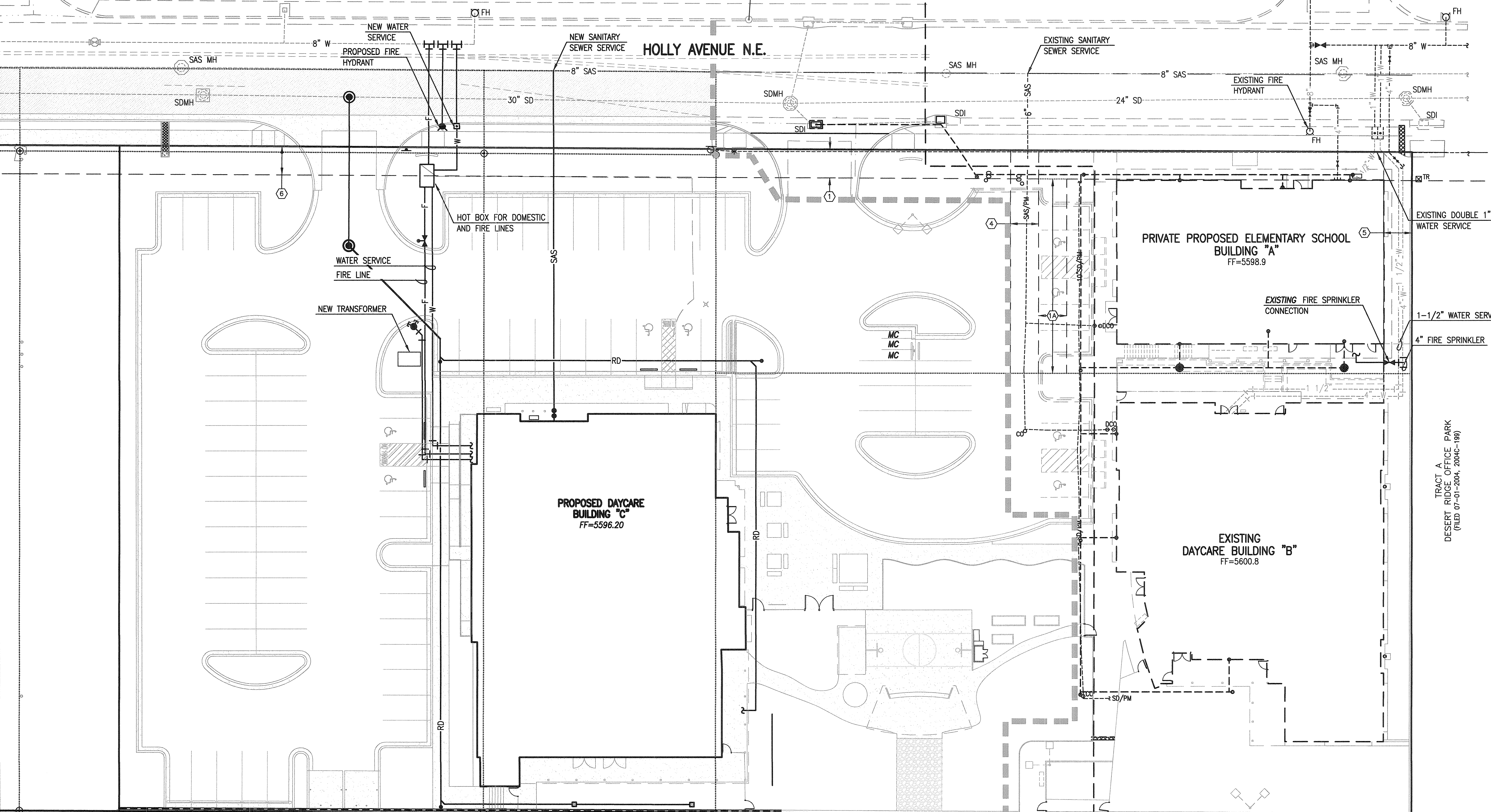
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A MAG NAIL W/WASHER SET IN THE TOP OF A CONCRETE CURB, IN THE NORTHEASTERN PORTION OF THE SITE, AS SHOWN ON THIS SHEET.
ELEVATION = 5592.04 FEET (NAVD 88)

LEGEND

- SD PROPOSED STORM DRAIN
- PI PROPOSED INFILTRATION PIT
- SI PROPOSED STORM INLET
- SDM PROPOSED STORM DRAIN MANHOLE
- SDMH EXISTING STORM DRAIN MANHOLE
- FH EXISTING FIRE HYDRANT
- VB EXISTING VALVE BOX
- FH PROPOSED FIRE HYDRANT
- FC FIRE DEPARTMENT CONNECTION
- VB PROPOSED VALVE BOX
- FL EXISTING FIRE LINE
- FL PROPOSED FIRE LINE
- PIV EXISTING POST INDICATOR VALVE
- PIV PROPOSED POST INDICATOR VALVE
- WS EXISTING WATER SERVICE
- WS PROPOSED WATER SERVICE
- WL EXISTING WATER LINE
- WL PROPOSED WATER LINE
- SC EXISTING SINGLE CLEANOUT
- SC PROPOSED SINGLE CLEANOUT
- SASL EXISTING SANITARY SEWER LINE
- SASL PROPOSED SANITARY SEWER LINE
- SSM EXISTING SANITARY SEWER MANHOLE
- SSM SANITARY SEWER MANHOLE
- DC EXISTING DOUBLE CLEANOUT
- DC PROPOSED DOUBLE CLEANOUT
- CONC PROPOSED CONCRETE
- LANDSCAPE PROPOSED LANDSCAPE AREA
- ASPHALT PROPOSED ASPHALT PAVING
- MC LOT LINE TO BE REMOVED
- MOTORCYCLE PARKING



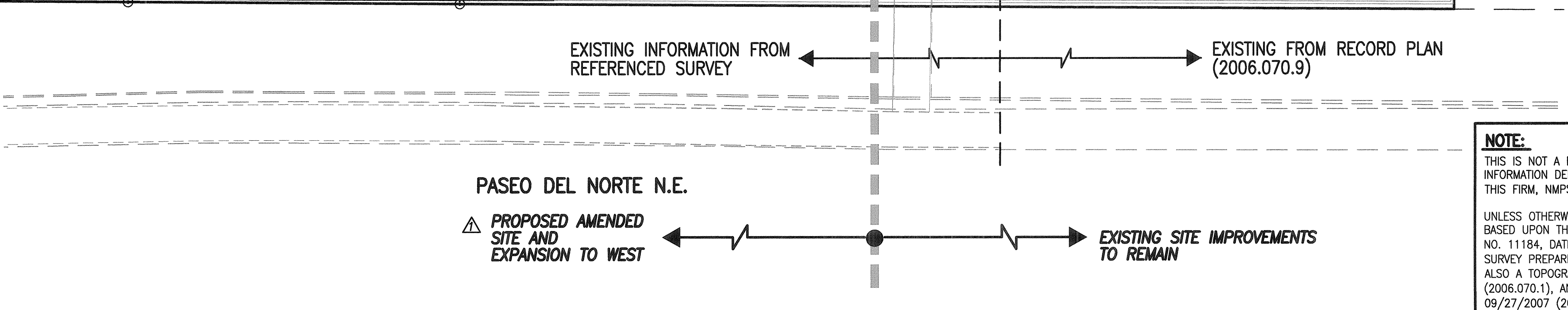
KEYED EASEMENT NOTES

EASEMENTS - EXISTING

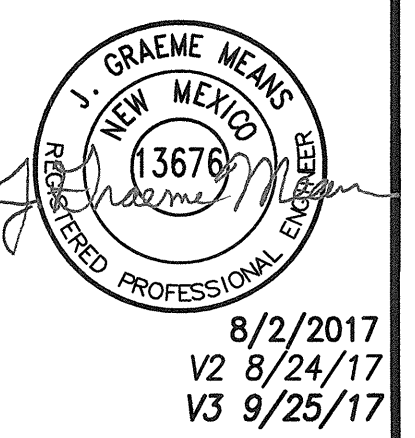
- 1 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2007C-49
- 1A PORTION OF 1 TO BE VACATED BY FORTHCOMING ACTION
- 2 10' PUBLIC ACCESS AND PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-89
- 3 10' PNM OVERHEAD EASEMENT GRANTED BY PLAT 99C-89
- 4 10' PRIVATE SANITARY SEWER EASEMENT GRANTED BY PLAT 2007C-49 TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A. (TO BE VACATED BY FORTHCOMING ACTION.)
- 5 10' PRIVATE WATER LINE EASEMENT GRANTED BY PLAT 2007C-49 TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A. (TO BE VACATED BY FORTHCOMING ACTION.)

EASEMENT - PROPOSED

- 6 10' PUBLIC UTILITY EASEMENT GRANTED BY FORTHCOMING PLATTING ACTION



NOTE:
THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE BOUNDARY SURVEY PREPARED BY THIS FIRM, NMPS 11184, DATED 01/10/2017 (2016.059.1).
UNLESS OTHERWISE NOTED THE TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE EXISTING TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 01/10/2017 (2016.059.1), ALSO A PARTIAL TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 05/16/2017 (2016.059.2), AND ALSO A TOPOGRAPHIC SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 10/24/2006 (2006.070.1), AND ALSO THE RECORD DRAWINGS PREPARED BY THIS FIRM, NMPE 13676, DATED 09/27/2007 (2006.070.9).



HIGH MESA Consulting Group
8010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109
Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesacg.com

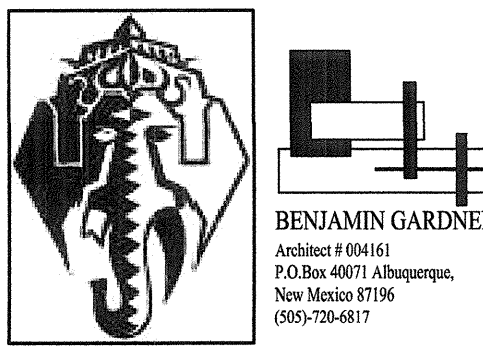
**CONCEPTUAL UTILITY PLAN
MARK 3S HOLLY DEVELOPMENT**

DESIGNED BY	R.J.C.
DRAWN BY	J.Y.R./T.N.T.
APPROVED BY	G.M.

NO.	DATE	BY	REVISIONS
1	8/17	G.M.	STAFF INITIAL REVIEW COMMENTS

JOB NO.	2017.014.2
DATE	09-2017
SHEET	4 OF 13

File Path: P:\M\170141\170141_S14-R2.DWG | Plot Date: 09-25-2017 | File Name: 170141_S14-R2.DWG | Plot Time: 3:03 pm



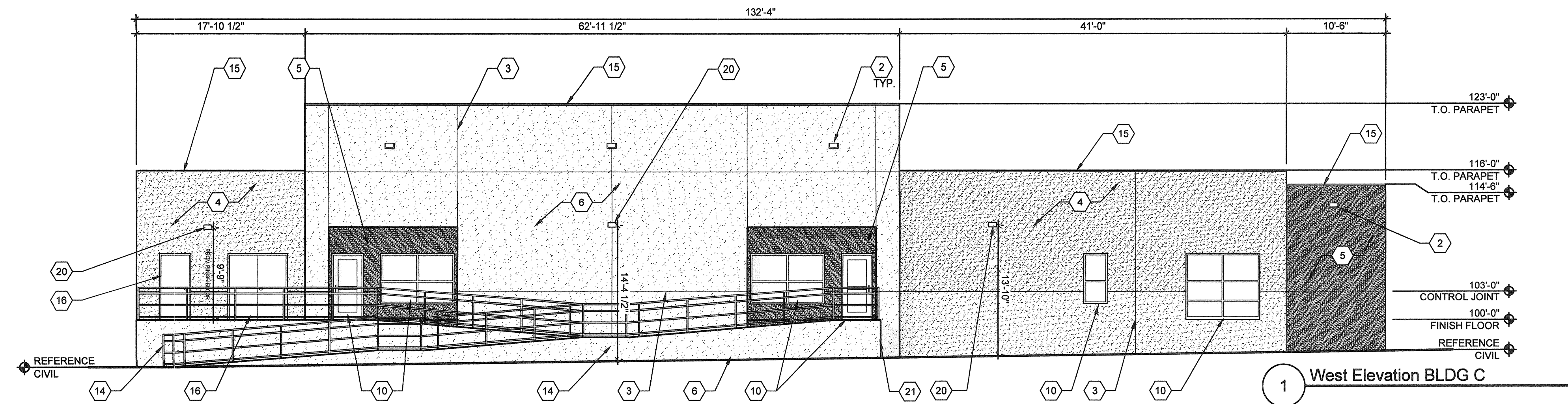
Mark 3S
 Incorporated
 6501 Wyoming Blvd NE.
 Building G
 Albuquerque, NM 87109
 505-220-7587
 OWNERS

GENERAL NOTES:

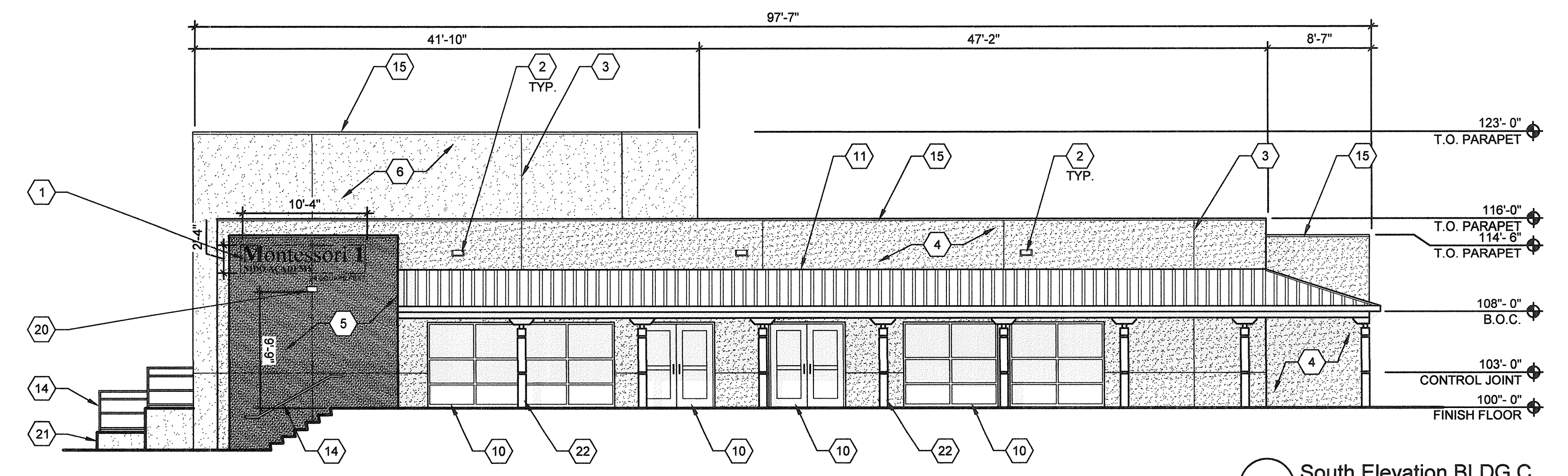
- A. ALL ROOF EQUIPMENT WILL BE SHIELDED FROM VIEW AND SHALL COMPLY WITH LA CUEVA SECTOR DEVELOPMENT PLAN GUIDELINE 11R-3
- B. ROOFING MATERIAL WILL BE WHITE TPO MEMBRANE MATERIAL
- C. MAXIMUM BUILDING HEIGHT FOR THIS TRACK WILL BE 36'-0"
- D. ROOF EQUIPMENT SHALL BE SCREENED FROM VIEW AND SHALL COMPLY WITH LA CUEVA SECTOR DEVELOPMENT PLAN DESIGN GUIDELINE 11R-3
- E. SIGN LIGHTING SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT
- F. ANY LIGHTING WITHIN 100'-0" OF A RESIDENTIAL ZONED PROPERTY SHALL BE A MAXIMUM OF 16'-0" IN HEIGHT PER ZONING CODE SECTION 14-16-3-9(F)
- G. OUTDOOR LIGHTING FIXTURES SHALL BE FULLY SHIELDED AND EQUIPPED WITH AUTOMATIC TIMING DEVICES
- H. ALL OUTDOOR LIGHT FIXTURES WILL HAVE AUTOMATIC TIMERS/PHOTOCELLS
- I. LIGHTING IS DESIGNED SO THAT THE PREMISES LIGHTING SYSTEM OPERATION OF ANY FIXTURES CAST NO LIGHT OF GREATER THAN .25 FOOT CANDLES (ONE QUARTER) OF LIGHT MORE THAN 10 FEET BEYOND THE PROPERTY LINE.

KEYED NOTES:

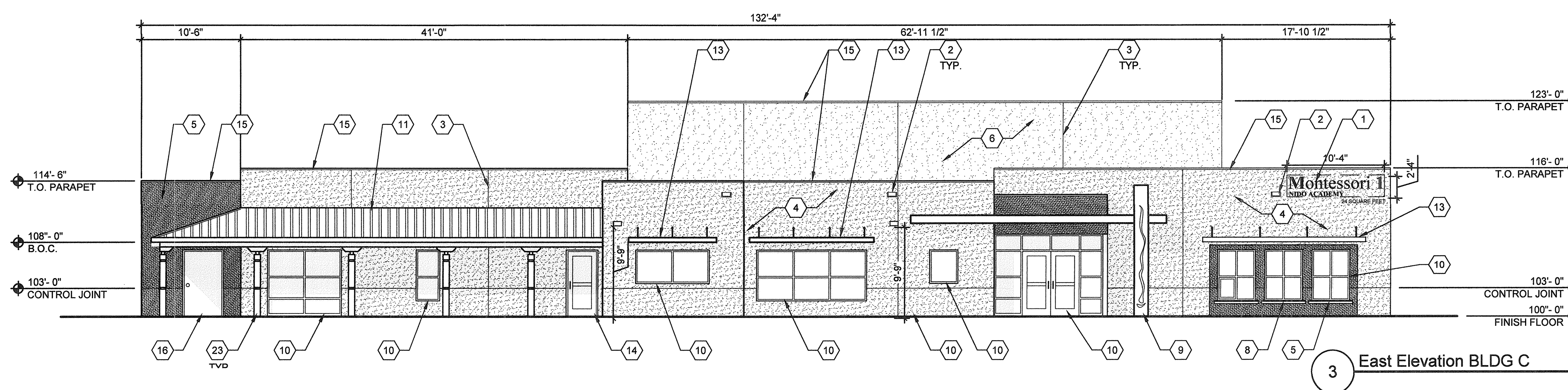
- 1. PIN MOUNTED METAL, BUILDING LETTERS/SIGNAGE TYPICAL, 14" TALL, MEDIUM BRONZE COLOR FOR LARGE LETTERS AND 8" FOR SMALL LETTERS.
- 2. OVERFLOW SCUPPER TYPICAL, PAINTED TO MATCH ADJACENT STUCCO.
- 3. STUCCO CONTROL JOINT TYPICAL.
- 4. STUCCO, COLOR = EL REY BUFF (TAN) COLOR #2647 (ROYAL FINISH)
- 5. STUCCO, COLOR = EL REY MERLOT RED (RED) COLOR #2006-10 (COURSE FINISH)
- 6. STUCCO, COLOR = EL REY RIO BRAVO (BROWN) COLOR #2475 (COURSE FINISH)
- 7. PERFORATED METAL PANEL
- 8. PRE-CAST INTEGRALLY COLORED CONCRETE WINDOW SILL, COLOR TO MATCH ELEMENTARY SCHOOL SILLS ON SITE
- 9. STEEL CANOPY AND DECORATIVE COLORS
- 10. ANODIZED ALUMINUM STOREFRONT (WINDOW AND DOOR), MEDIUM BRONZE FINISH WITH BLUE GREEN GLAZING.
- 11. FACTORY FINISH METAL ROOFING PANELS MEDIUM BRONZE COLOR
- 12. GLASS BLOCK WINDOWS
- 13. STEEL SUNSHADE RE: A291 FOR DETAILS. PAINT OFF WHITE COLOR (ICI, OLD NAVAJO COLOR).
- 14. 1/2" STEEL PIPE GUARDRAIL / HANDRAIL, PAINT MEDIUM BRONZE COLOR
- 15. PAINTED METAL COPING, COLOR TO MATCH ADJACENT STUCCO.
- 16. PAINTED HOLLOW METAL MECHANICAL ROOM DOOR, MEDIUM BRONZE PAINT FINISH.
- 17. CLEAR GLASS BLOCK
- 18. PIN MOUNTED METAL, BUILDING LETTERS/SIGNAGE TYPICAL, 14" TALL, MEDIUM BRONZE COLOR. CONFIRM ADDRESS WITH OWNER
- 19. PAINT EXPOSED CONCRETE STEM TO MATCH ADJACENT STUCCO COLOR.
- 20. EXTERIOR BUILDING LIGHT, RE: ELECTRICAL
- 21. CONCRETE RAMP WITH 2 COAT STUCCO FINISH
- 22. DECORATIVE STRUCTURAL STEEL COLUMNS AND CORBELS, PAINT FINISH OFF WHITE COLOR (ICI, OLD NAVAJO COLOR).



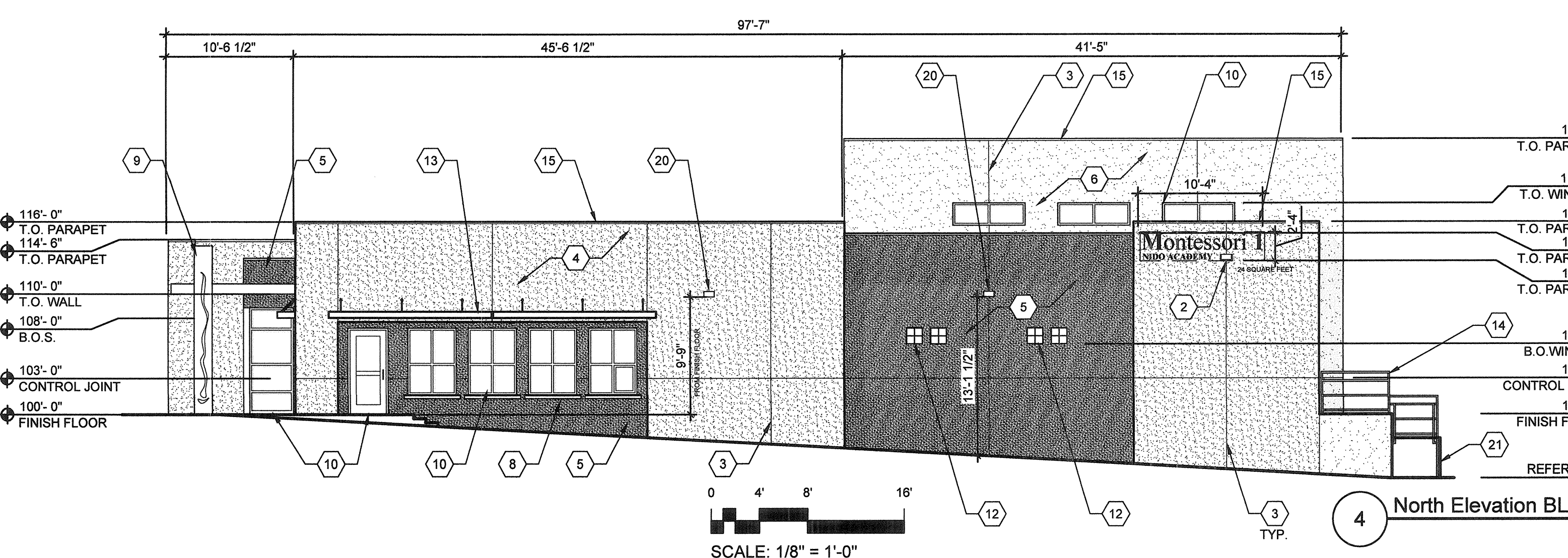
1 West Elevation BLDG C



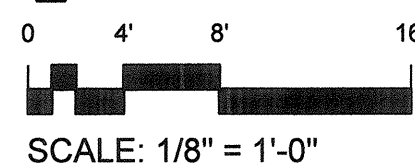
2 South Elevation BLDG C



3 East Elevation BLDG C

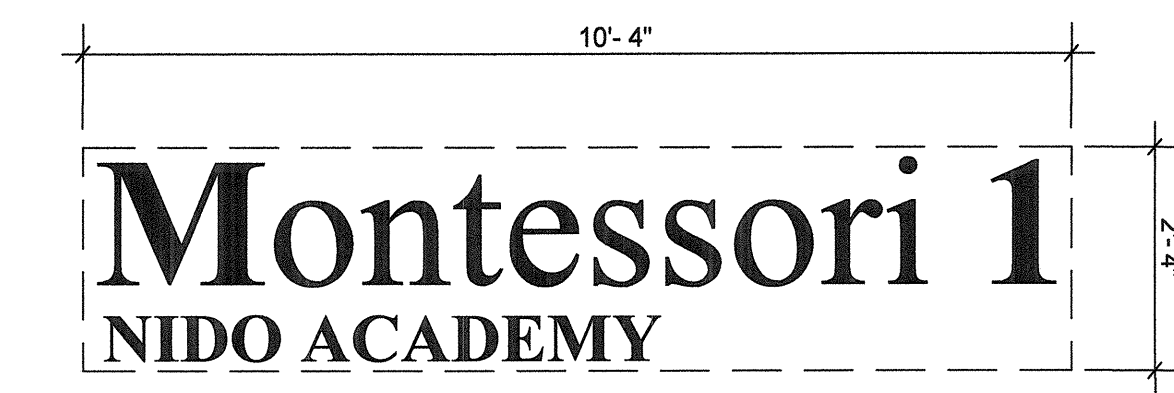


4 North Elevation BLDG C



CONSISTENCY OF CHARACTER WITH OTHER CAMPUS BUILDINGS:

The proposed expansion will be developed in a manner consistent, compatible and continuous with the existing site landscaping and architecture. The landscape will use similar plants and arrangements, with ground cover matching existing. Light poles will be the same and signage will be consistent. Architecturally the building stucco and decorative metal awnings colors will be the same four colors used on the previous two structures. Window patterning will also be consistent with other on site buildings. The new development will also be consistent with the existing surroundings and context previously justified and demonstrated with respect to the Policies and Design Guidelines of the Albuquerque / Bernalillo County Comprehensive Plan and the La Cueva Sector Development Plan, respectively.



24 SQUARE FEET
 PIN MOUNTED METAL, BUILDING LETTERS/SIGNAGE TYPICAL, 14" TALL, MEDIUM BRONZE COLOR FOR LARGE LETTERS AND 8" FOR SMALL LETTERS.

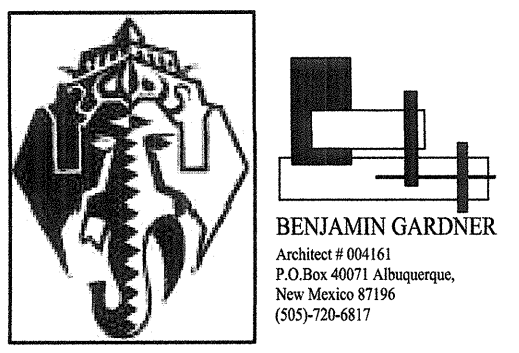
SIGN DETAIL

Holly Development
NIDO Center
 West Half of Lot 9 and East Half of Lot 8 Block 20 North Albuquerque Acres,
 Albuquerque, New Mexico

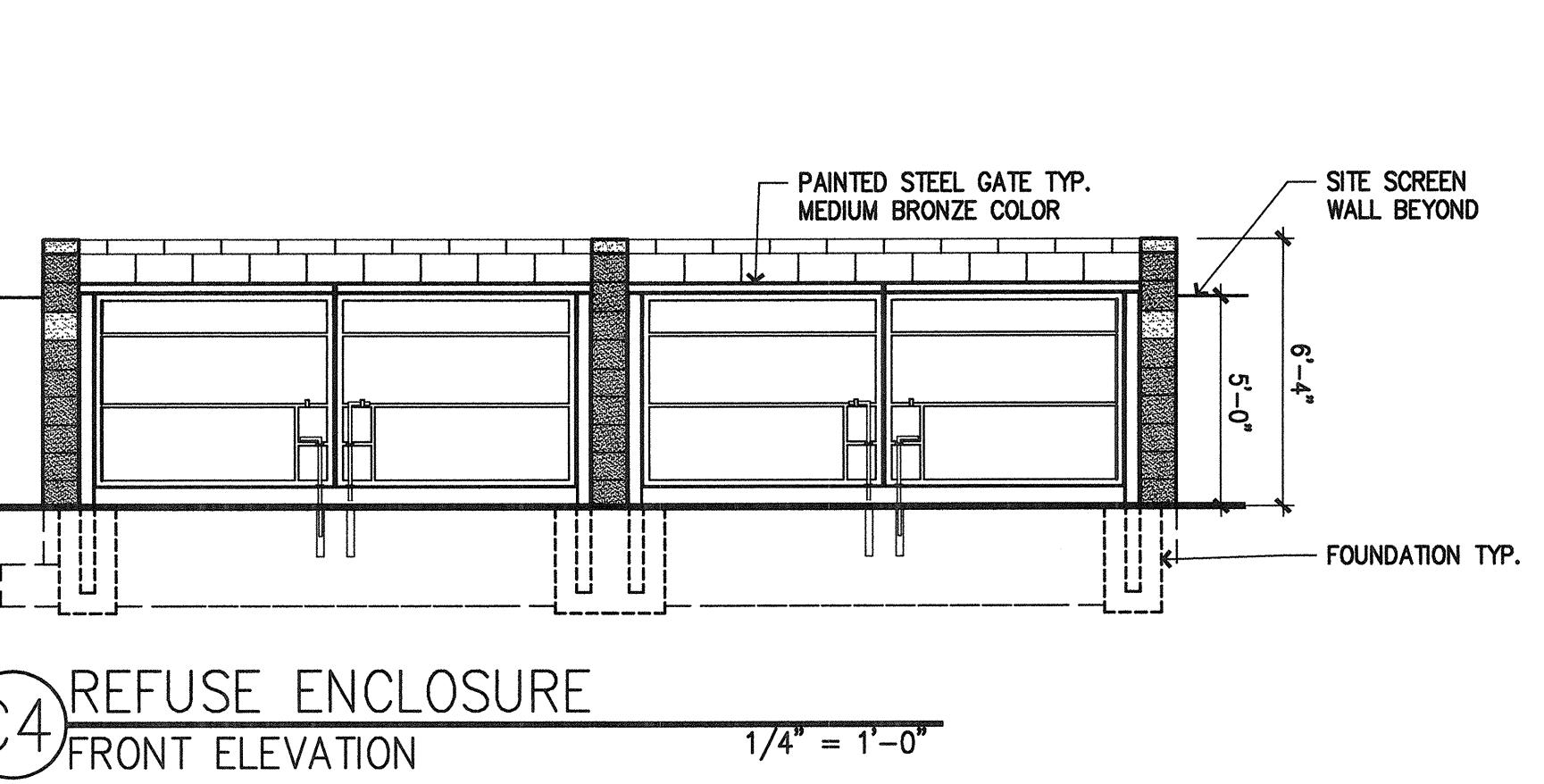
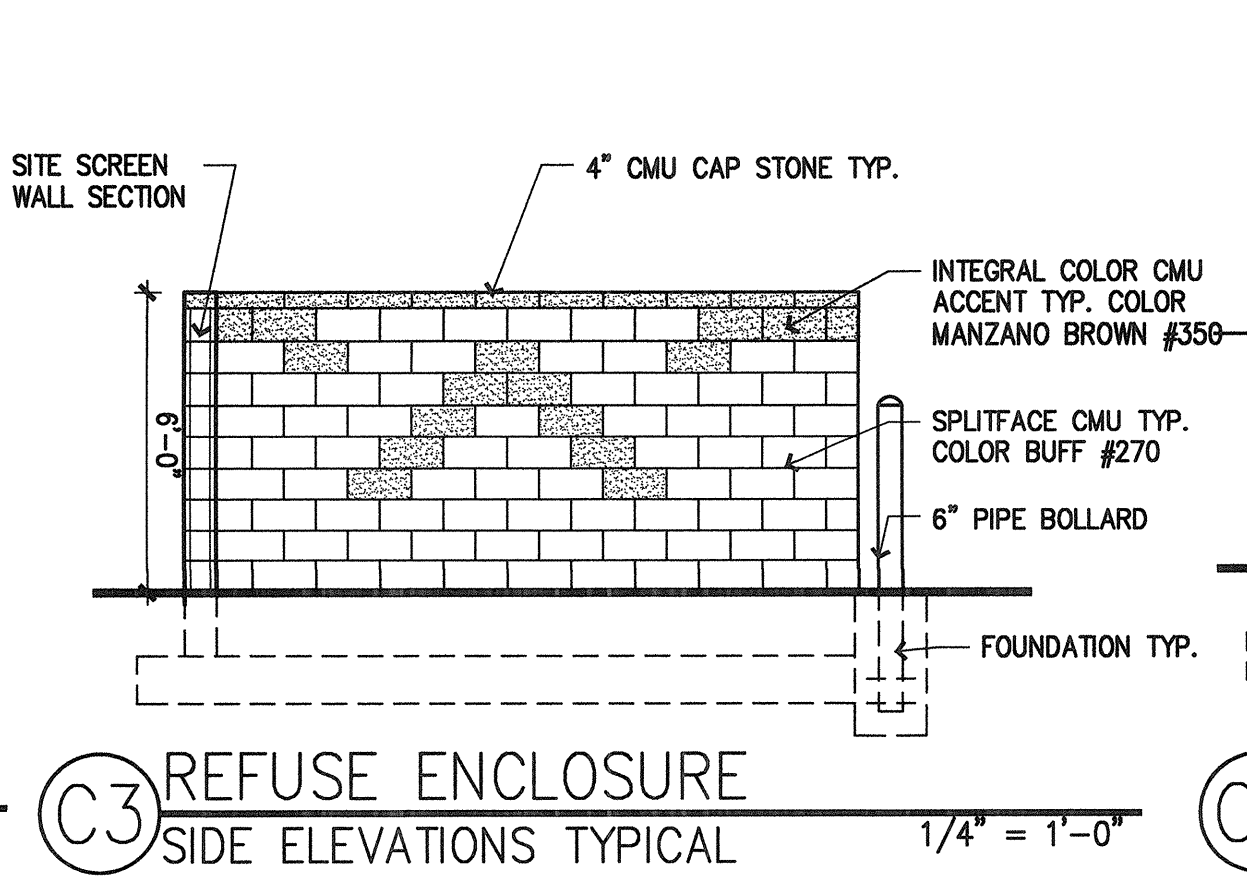
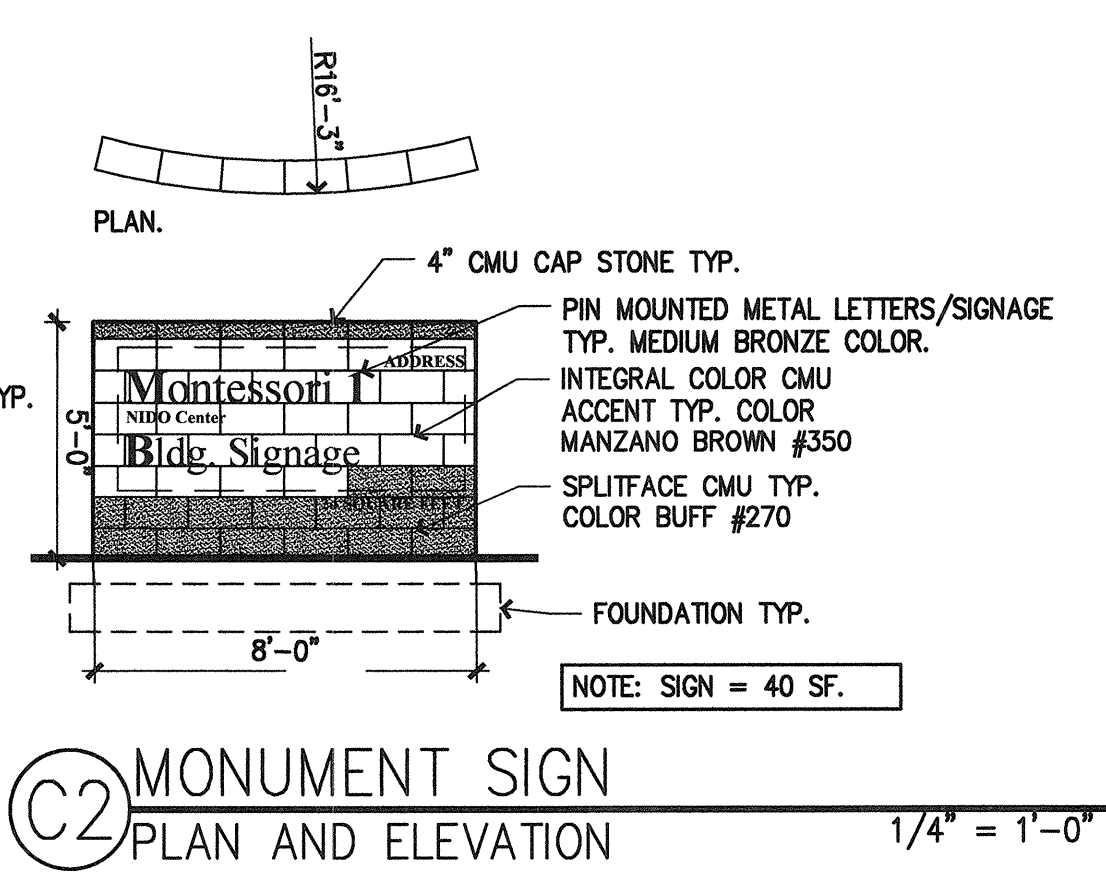
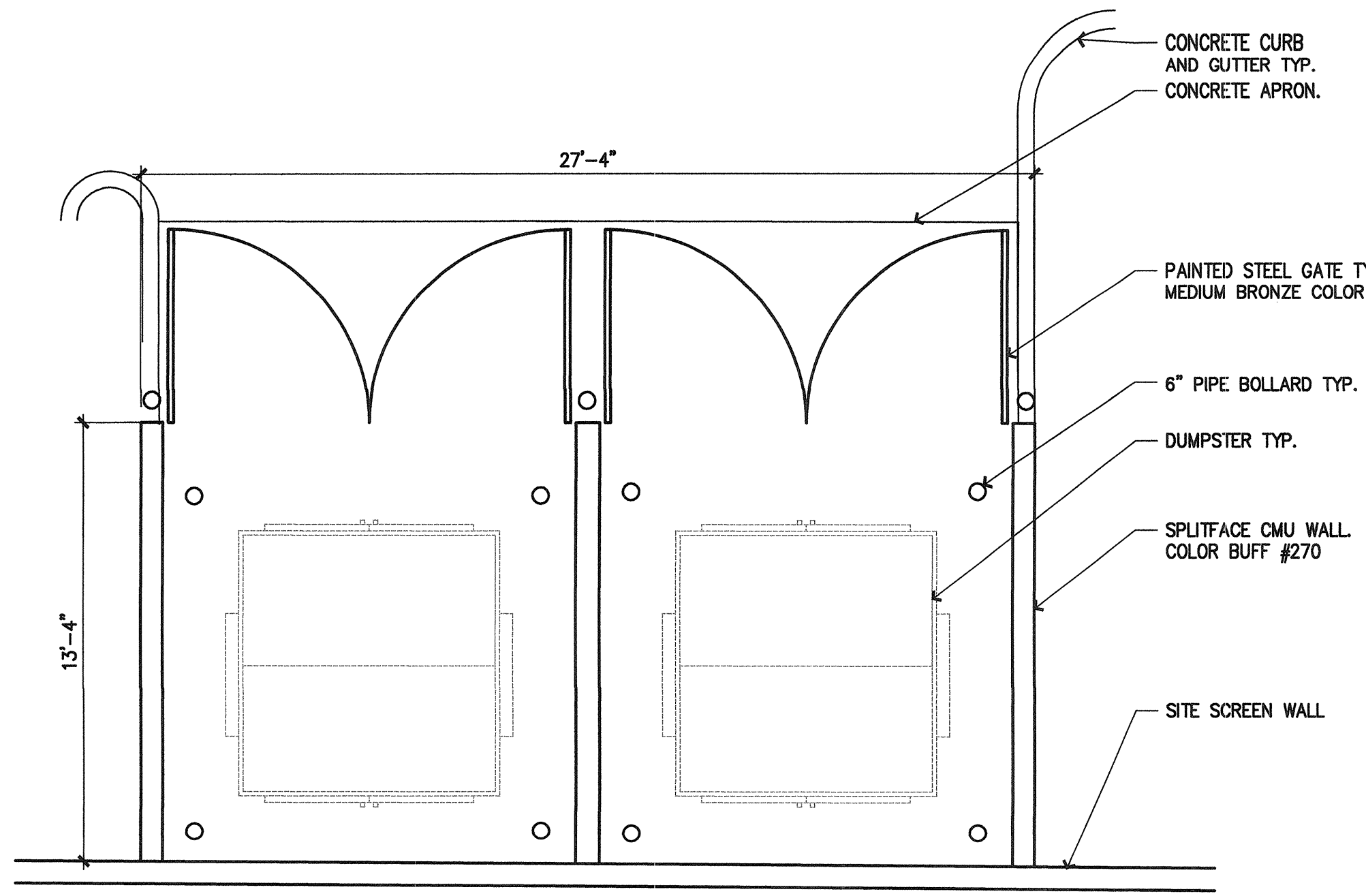
REVISIONS

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2	
3	
4	

DRAWN BY	BG
REVIEWED BY	BG
DATE	08/01/2017
PROJECT NO.	F 2017
DRAWING NAME	Elevations



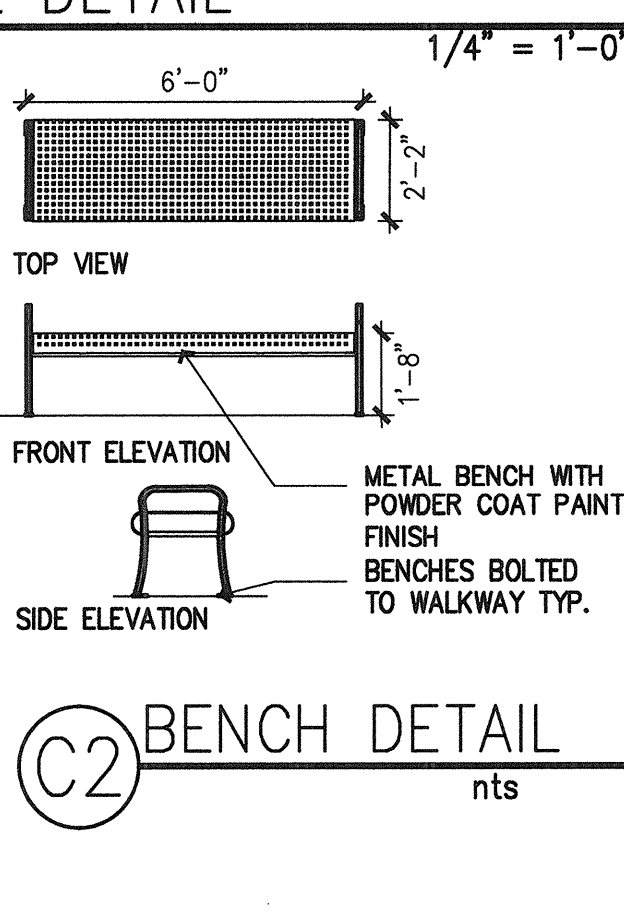
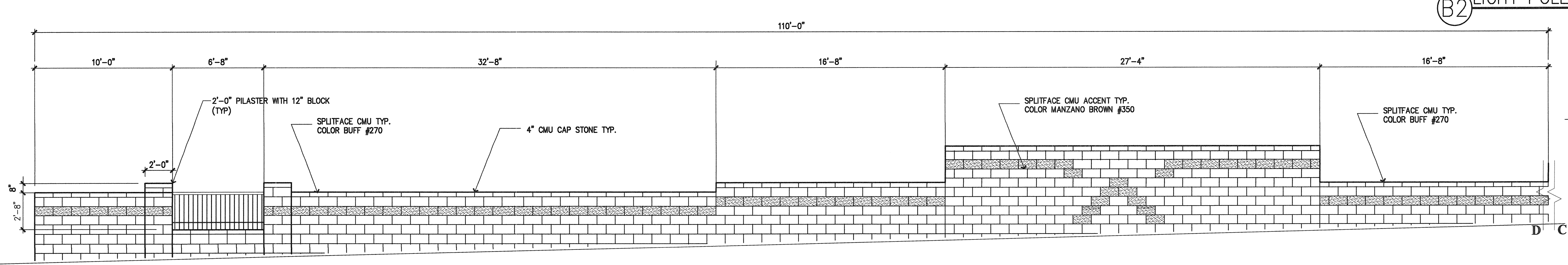
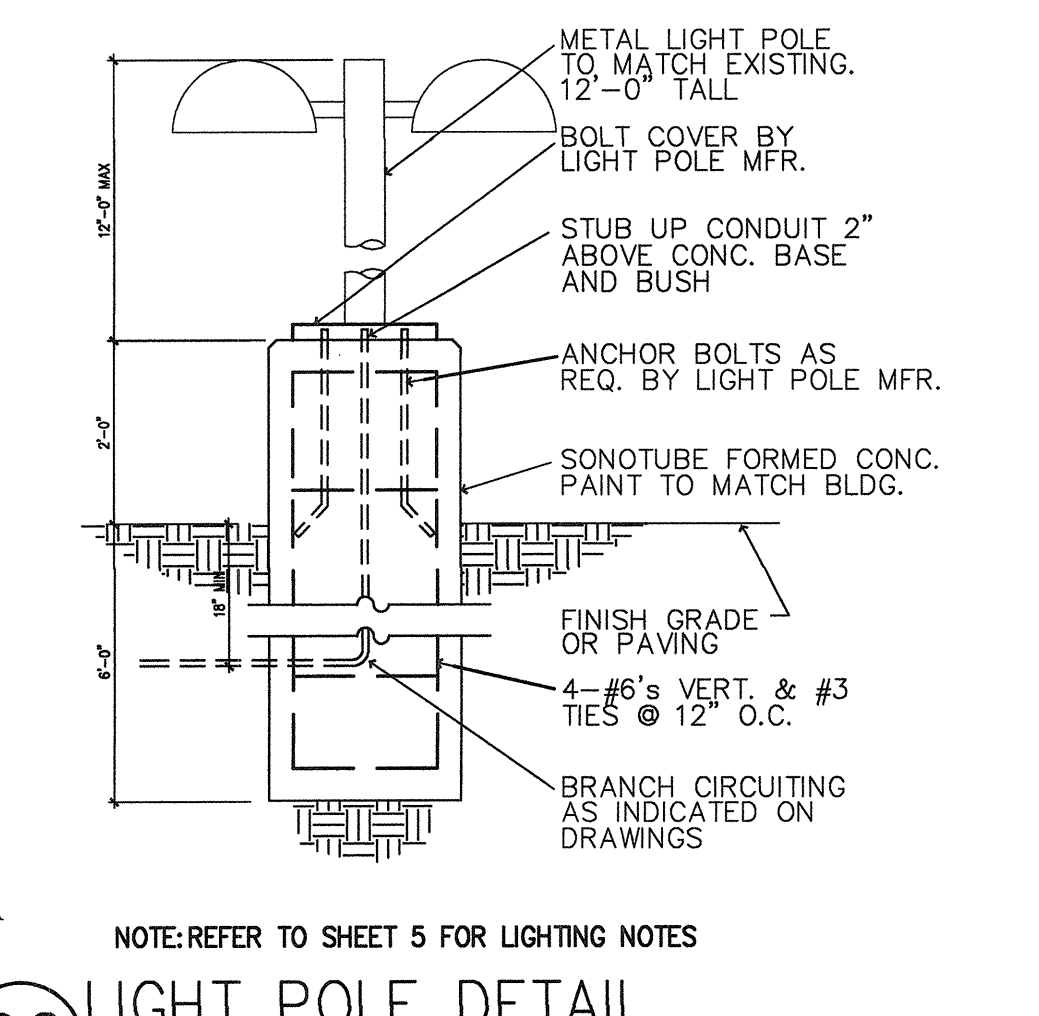
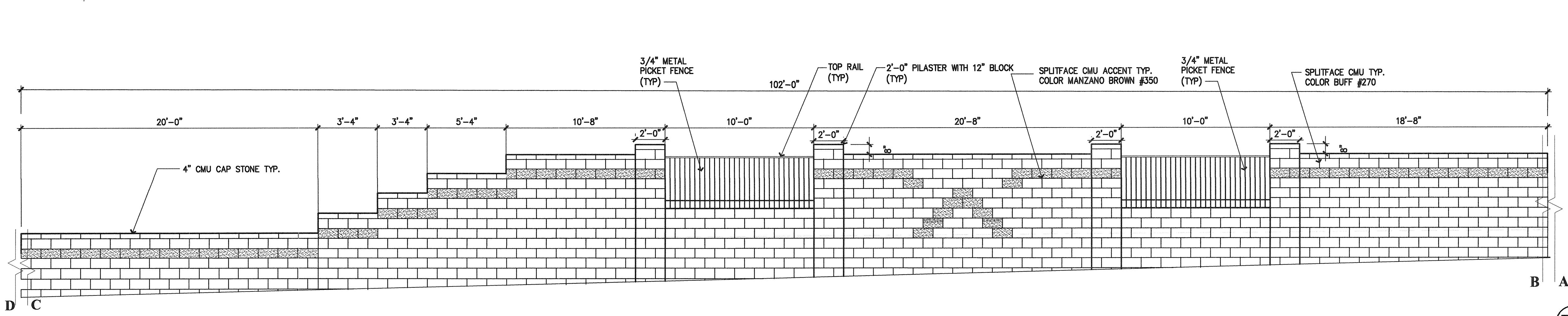
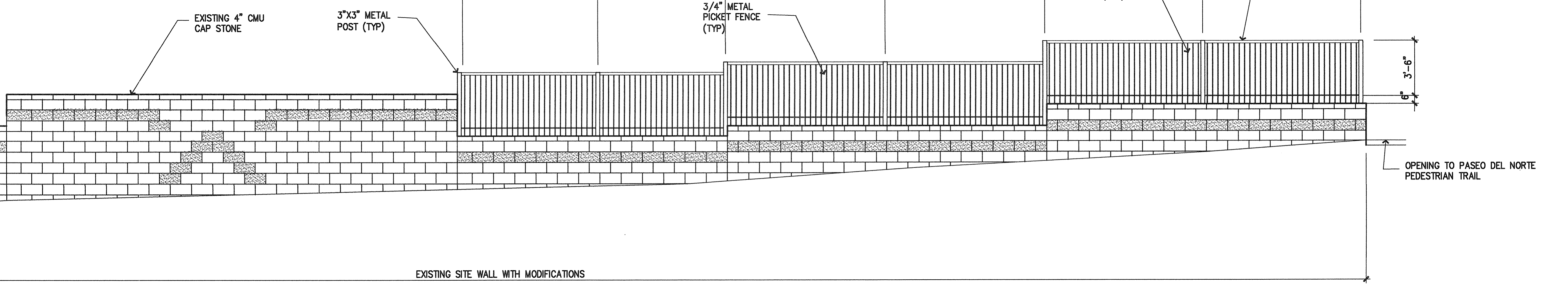
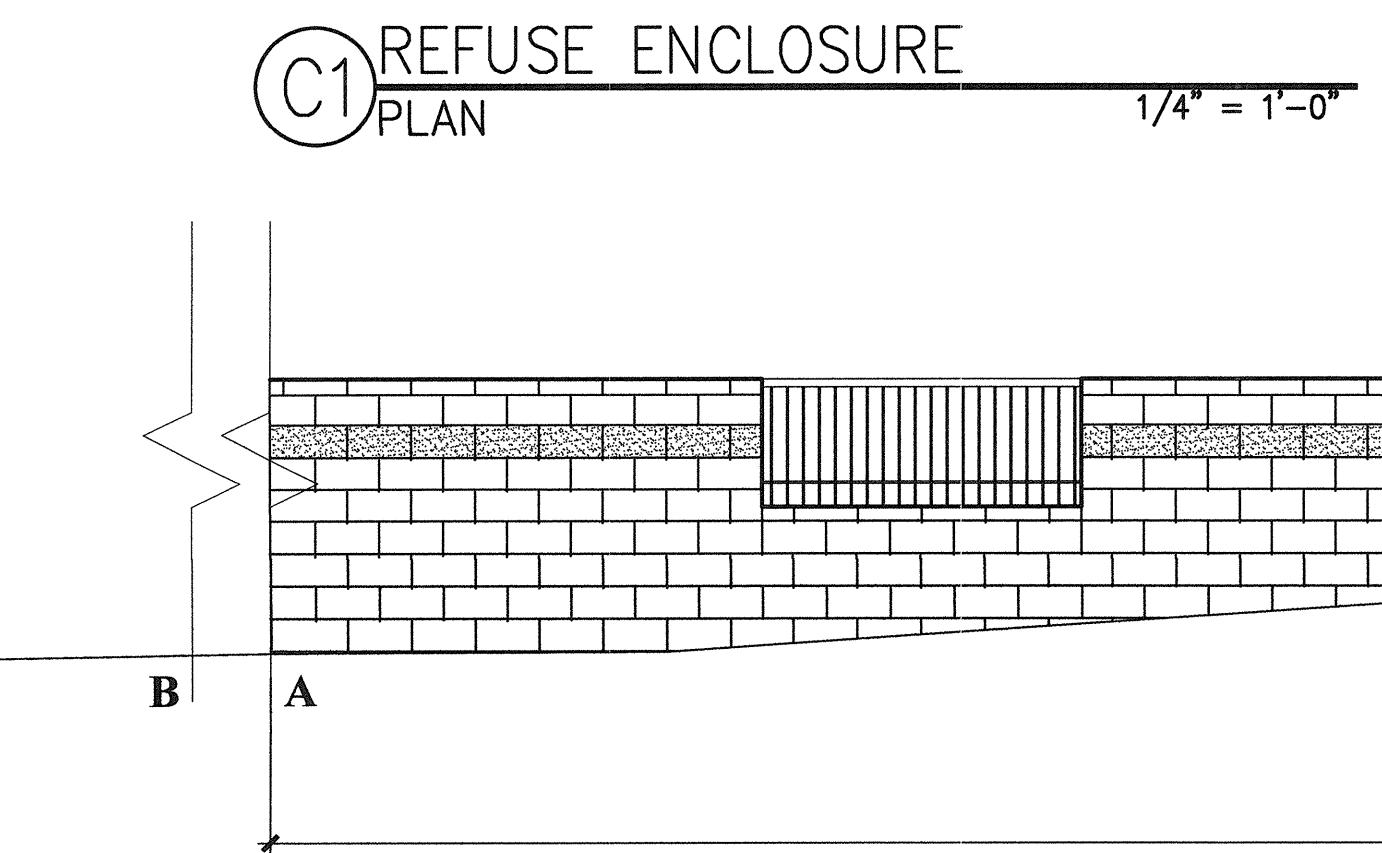
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 6501 Wyoming Blvd NE.
 Building G
 Albuquerque, NM 87109
 505-220-7587
 OWNERS



C2 MONUMENT SIGN
 PLAN AND ELEVATION 1/4" = 1'-0"

C3 REFUSE ENCLOSURE
 SIDE ELEVATIONS TYPICAL 1/4" = 1'-0"

C4 REFUSE ENCLOSURE
 FRONT ELEVATION 1/4" = 1'-0"



A1 CMU SCREEN WALL
 PASEO DEL NORTE ELEVATION. 1/4" = 1'-0"

B2 LIGHT POLE DETAIL 1/4" = 1'-0"

C2 BENCH DETAIL
 nts

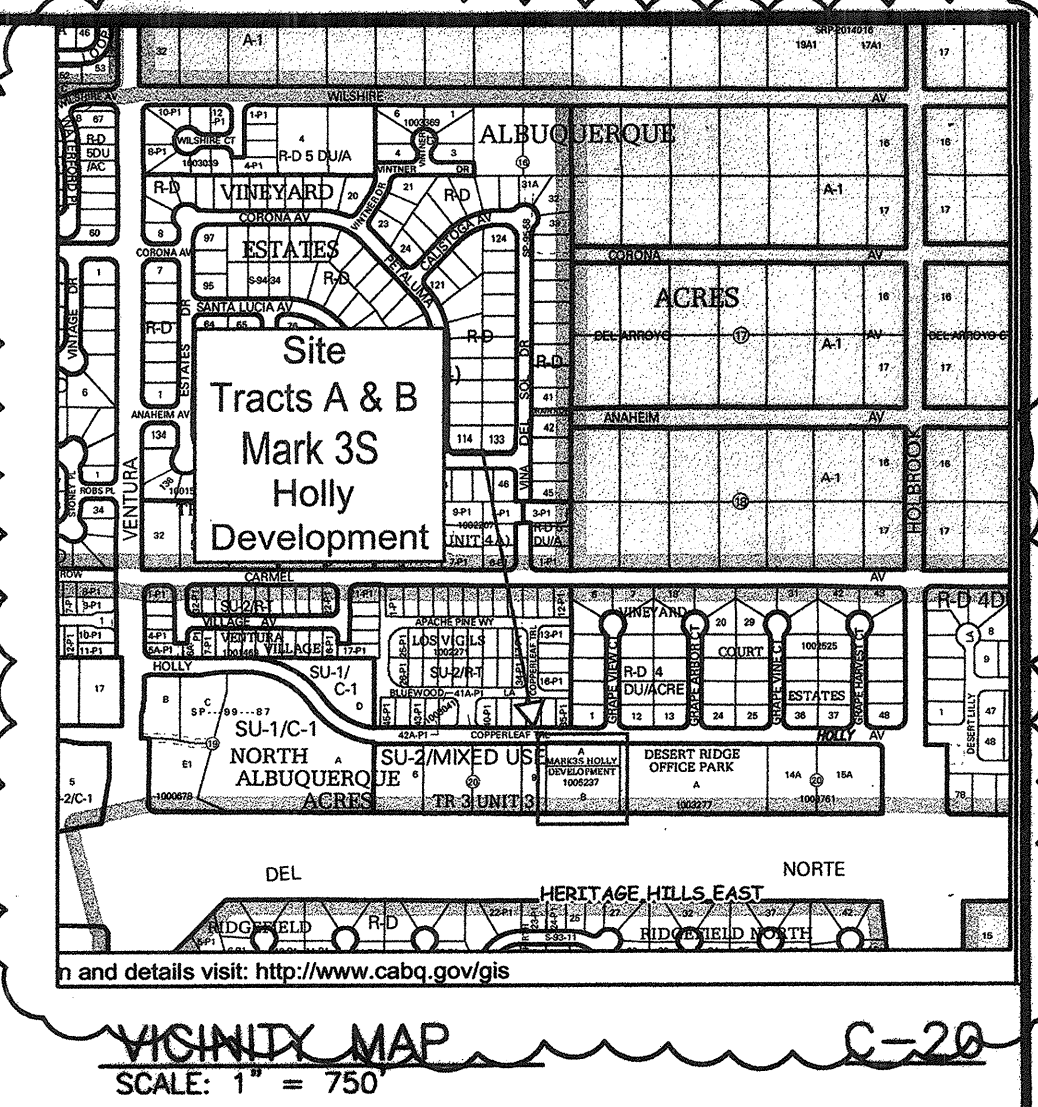
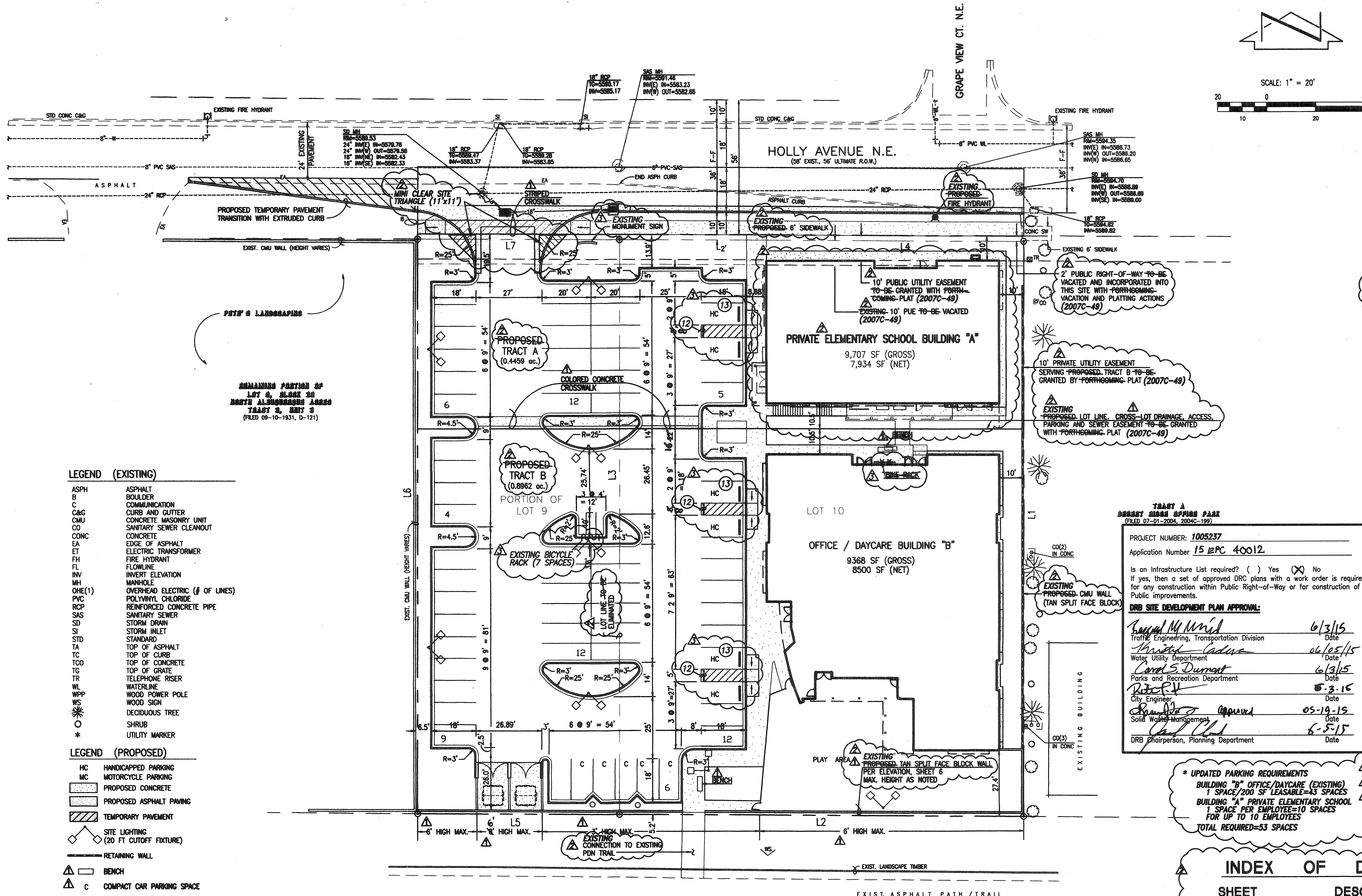
Holly Development
NIDO Center
 West Half of Lot 9 and East Half of Lot 8 Block 20 North Albuquerque Acres,
 Albuquerque, New Mexico

REVISIONS

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2	
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DRAWN BY: JMG
 REVIEWED BY: BG
 DATE: 08/01/2017
 PROJECT NO.: F 2017
 DRAWING NAME: DETAILS

File Path: E:\WORK\2015\150121\SPR1.DWG Plot Date: 04-29-2015 Plot Time: 12:37 pm
 File Path: E:\WORK\2015\150121\SPR1.DWG Plot Date: 02-05-2007 Plot Time: 08:59 am
 File Path: E:\WORK\2015\150121\SPR1.DWG Plot Date: 02-05-2007 Plot Time: 08:59 am



LEGAL DESCRIPTION:
 Lot 10 and the east half of Lot 9, Block 20, North Albuquerque Area, Tract 3, Unit 3, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 123; TRACTS "A" and "B", MARK 3S HOLLY DEVELOPMENT (2007C-49)
ZONING:
 SU-2/MIXED USE

PROJECT NUMBER: 1005237
Application Number: 06 EPC - 01581
 Is an Infrastructure List required? () Yes (X) No
 If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of Public Improvements.
DRB SITE DEVELOPMENT PLAN APPROVAL:
 Traffic Engineering, Transportation Division 2-21-07
 Water Utility Department 3/5/07
 Parks and Recreation Department 2/21/07
 City Engineer 4/11/02
 Solid Waste Management 2/8/07
 DRB Chairperson, Planning Department 2/21/07

This is not a boundary survey; data is shown for orientation only. The boundary information depicted by this plan is based upon the boundary survey prepared by JMA, NMPs No. 11184, dated 10/24/2006. Topographic survey information is based upon a topographic survey prepared by JMA, on 10/24/2006, NMPs No.11184.

SITE PLAN NOTES
 1. SETBACKS SHALL BE AS SHOWN HEREON.
 2. TOTAL SQUARE FOOTAGE = 14,208 SF LEASABLE = 19,075 SF
 3. NET LEASABLE AREA = 12,890 SF LEASABLE = 16,434 SF
 4. REQUIRED PARKING = 1 SPACE/200 SF LEASABLE AREA = 64 SPACES
 5. PARKING PROVIDED = 66 SPACES FOR CARS + 3 SPACES FOR MOTORCYCLES
 6. ACCESSIBLE PARKING REQUIRED = 4 (6 PROVIDED)
 7. BICYCLE SPACES REQUIRED = 1/20 VEHICLES SPACES = 4 (6 PROVIDED)
 8. MOTORCYCLE PARKING REQUIRED = 3 (3 PROVIDED)
 9. ROOF EQUIPMENT SHALL BE SHIELDED FROM VIEW AND SHALL COMPLY WITH LA CIEVA SECTOR DEVELOPMENT PLAN DESIGN GUIDELINE 11R-3
 10. SIGN LIGHTING SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT
 11. ANY LIGHTING WITHIN 100' OF A RESIDENTIALLY ZONED PROPERTY SHALL BE A MAXIMUM OF 16 FT IN HEIGHT PER ZONING CODE SECTION 14-16-3-(9)(F)

*** UPDATED PARKING REQUIREMENTS**
 BUILDING "B" OFFICE/DAYCARE (EXISTING)
 1 SPACE/200 SF LEASABLE = 43 SPACES
 BUILDING "A" PRIVATE ELEMENTARY SCHOOL
 1 SPACE PER EMPLOYEE = 10 SPACES FOR UP TO 10 EMPLOYEES
 TOTAL REQUIRED = 53 SPACES

INDEX OF DRAWINGS

SHEET	DESCRIPTION
1A	SITE PLAN
2A	LANDSCAPING PLAN
3A	PRELIMINARY GRADING PLAN
4A	BUILDING EXTERIOR ELEVATIONS
5A	BUILDING EXTERIOR ELEVATIONS
6A	SITE DETAILS
7A	CONCEPTUAL UTILITY PLAN
1-7	ORIGINAL APPROVED SITE PLAN

AFD PLANS CHECKING OFFICE
 624-8211
 2-8-07
 Hydrants + access
 10/31/06
 02/03/07
 03/31/2015
 04/30/2015
 2015.012.1

- LEGEND (EXISTING)**
- ASPH ASPHALT
 - B BOULDER
 - C COMMUNICATION
 - C&G CURB AND GUTTER
 - CMU CONCRETE MASONRY UNIT
 - CO SANITARY SEWER CLEANOUT
 - CONC CONCRETE
 - EA EDGE OF ASPHALT
 - ET ELECTRIC TRANSFORMER
 - FI FIRE HYDRANT
 - FL FLOWLINE
 - INV INVERT ELEVATION
 - MH MANHOLE
 - OHE(1) OVERHEAD ELECTRIC (# OF LINES)
 - PVC POLYVINYL CHLORIDE
 - RCP REINFORCED CONCRETE PIPE
 - SAS SANITARY SEWER
 - SD STORM DRAIN
 - SI STORM INLET
 - STD STANDARD
 - TA TOP OF ASPHALT
 - TC TOP OF CURB
 - TO TOP OF CONCRETE
 - TG TOP OF GRATE
 - TR TELEPHONE RISER
 - WL WATERLINE
 - WPP WOOD POWER POLE
 - WS WOOD SIGN
 - DECIDUOUS TREE
 - SHRUB
 - * UTILITY MARKER
- LEGEND (PROPOSED)**
- HC HANDICAPPED PARKING
 - MC MOTORCYCLE PARKING
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT PAVING
 - TEMPORARY PAVEMENT
 - △ SITE LIGHTING (20 FT CUTOFF FIXTURE)
 - RETAINING WALL
 - △ BENCH
 - △ C COMPACT CAR PARKING SPACE

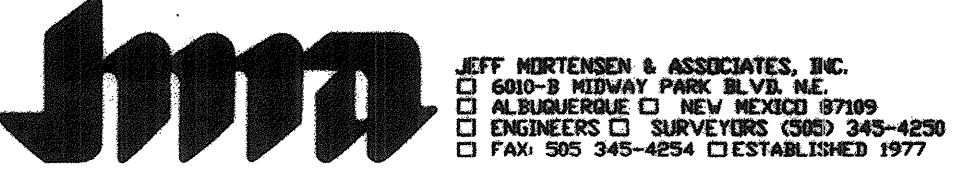
BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	S 00°06'45" W	236.26'
L2	N 89°38'16" W	165.00'
L3	S 00°06'45" W	234.14'
L4	S 89°39'42" E	165.00'
L5	N 89°38'16" W	82.50'
L6	N 00°06'45" E	236.16'
L7	S 89°39'42" E	82.50'

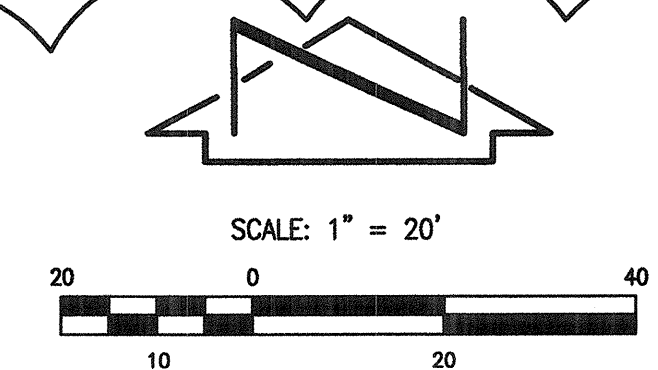
NOTE:
 ALL SITE PAVING IMPROVEMENTS AND PUBLIC STREET IMPROVEMENTS WERE CONSTRUCTED IN 2007 AND ARE NOW EXISTING, NO NEW PAVING IMPROVEMENTS ARE PROPOSED WITH THIS AMENDMENT.

ADDITIONAL SITE PLAN NOTES
 12. "NO PARKING" STENCILED PER 66-1-4.1.B, NMSA 1978.
 13. EXISTING ACCESSIBLE PARKING SPACES WITH WHEELSTOPS AND SIGNAGE SIGNS SHALL HAVE ADDED LANGUAGE THAT VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING.

**SITE PLAN FOR BUILDING PERMIT
 MARK 3S HOLLY DEVELOPMENT**



DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	01/07	G.M.	ADDRESS EPC COMMENTS	2006-070-2
RRV/JLP	03/15	G.M.	ELEMENTARY SCHOOL AMENDMENT	DATE 10-2006
G.M.	04/15	G.M.	ADDRESS PRELIMINARY REVIEW COMMENTS	SHEET 7 OF 13



LANDSCAPING NOTES

*** ALL LANDSCAPING COMPLETED UNDER THE OFFICE/ DAYCARE SITE DEVELOPMENT, AUGUST 2007

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS, MARK 3S.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE OWNERS. ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

IRRIGATION NOTES

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1.0 GPH DRIP EMITTERS AND SHRUBS AND PERENNIALS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEM TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS (MARK 3S).

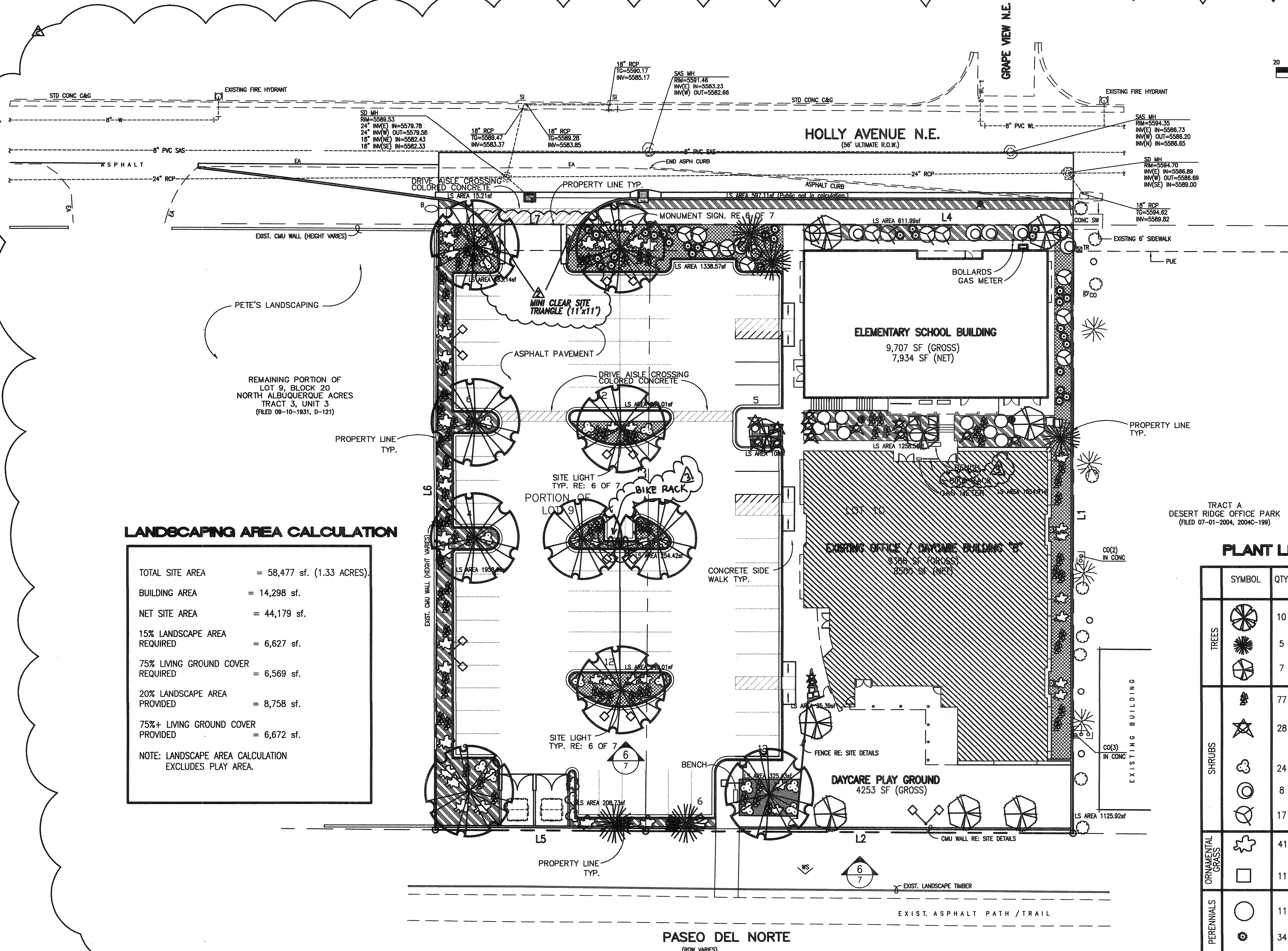
WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

PLANT LEGEND

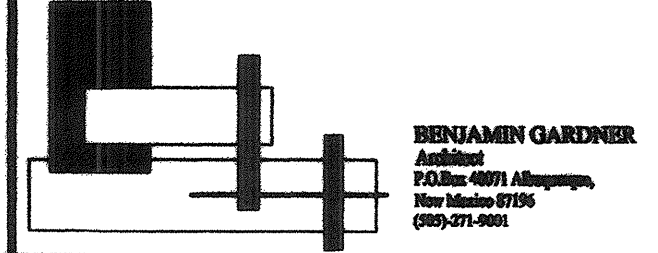
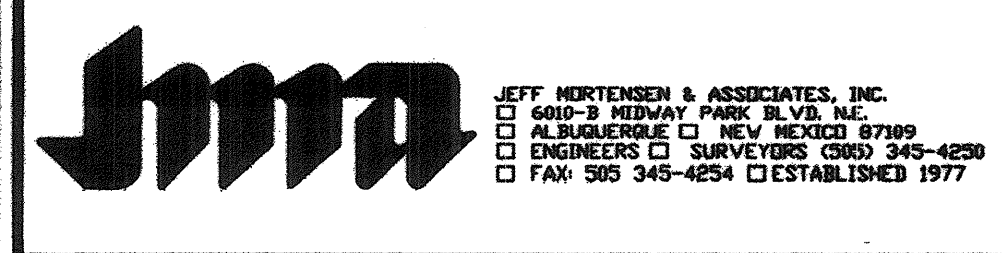
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	H	W	WATER REQUIREMENTS	INSTALLED SIZE
TREES	10	QUERCUS TEXANA	RED TEXAS OAK	35'	30'	MEDIUM WATER USE	24" BOX MULTI TRUNK
	5	PINUS EDULIS	PINON	25'	20'	MEDIUM WATER USE	8' - 9' B+B
	7	VITEX AGUS-CASTUS	CHASTE TREE	20'	15'	LOW WATER USE	24" BOX MULTI TRUNK
SHRUBS	77	ROSMARINUS OFFICINALIS 'ARP'	ROSEMARY	3'	4'	LOW WATER USE	1 GALLON OR 5 GALLON
	28	ROSMARINUS OFFICINALIS 'HUNINGTON CARPET' OR 'PROSTRATA'	ROSEMARY	1'	3'	LOW WATER USE	1GALLON
	24	ERICAMERIA LARICIFOLIA	TURPENTINE BUSH	2'	2'	LOW WATER USE	1GALLON
	8	ARTEMISIA CANA	SILVER SAGE	6'	4'	LOW WATER USE	1GALLON
	17	CHRYSOTHAMNUS NAUSEOSUS	DWARF CHAMISA	2'	3'	LOW WATER USE	1GALLON
ORNAMENTAL GRASS	41	MISCANTHUS SINENSIS 'PURPURASCENS'	AUTUMN MAIDEN GRASS	5'	4'	MEDIUM WATER USE	5 GALLON
	11	MUHLBERGIA RIGENS	DEER GRASS	3'	3'	LOW WATER USE	1 GALLON
PERENNIALS	11	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	1.5'	1.5'	LOW WATER USE	1GALLON
	34	SANTOLINA VIRENS	GREEN SANTOLINA	2'	3'	LOW WATER USE	1GALLON
MULCH			3/4" GRAVEL GROUND COVER				
			CRUSHER FINES GROUND COVER				
	4038 SF		SANTA FE NATIVE GRASS SEED MIX.				

LANDSCAPING AREA CALCULATION

TOTAL SITE AREA	= 58,477 sf. (1.33 ACRES).
BUILDING AREA	= 14,298 sf.
NET SITE AREA	= 44,179 sf.
15% LANDSCAPE AREA REQUIRED	= 6,627 sf.
75% LIVING GROUND COVER REQUIRED	= 6,569 sf.
20% LANDSCAPE AREA PROVIDED	= 8,758 sf.
75%+ LIVING GROUND COVER PROVIDED	= 6,672 sf.
NOTE: LANDSCAPE AREA CALCULATION EXCLUDES PLAY AREA.	



File Path: P:\WORK\2015\012\1\B3 Plot Date: 04-29-2015
 File Name: 15012\1\B3_11151.DWG Plot Time: 1:21 pm
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 File Name: LP01_31.DWG Plot Time: 08:55 am

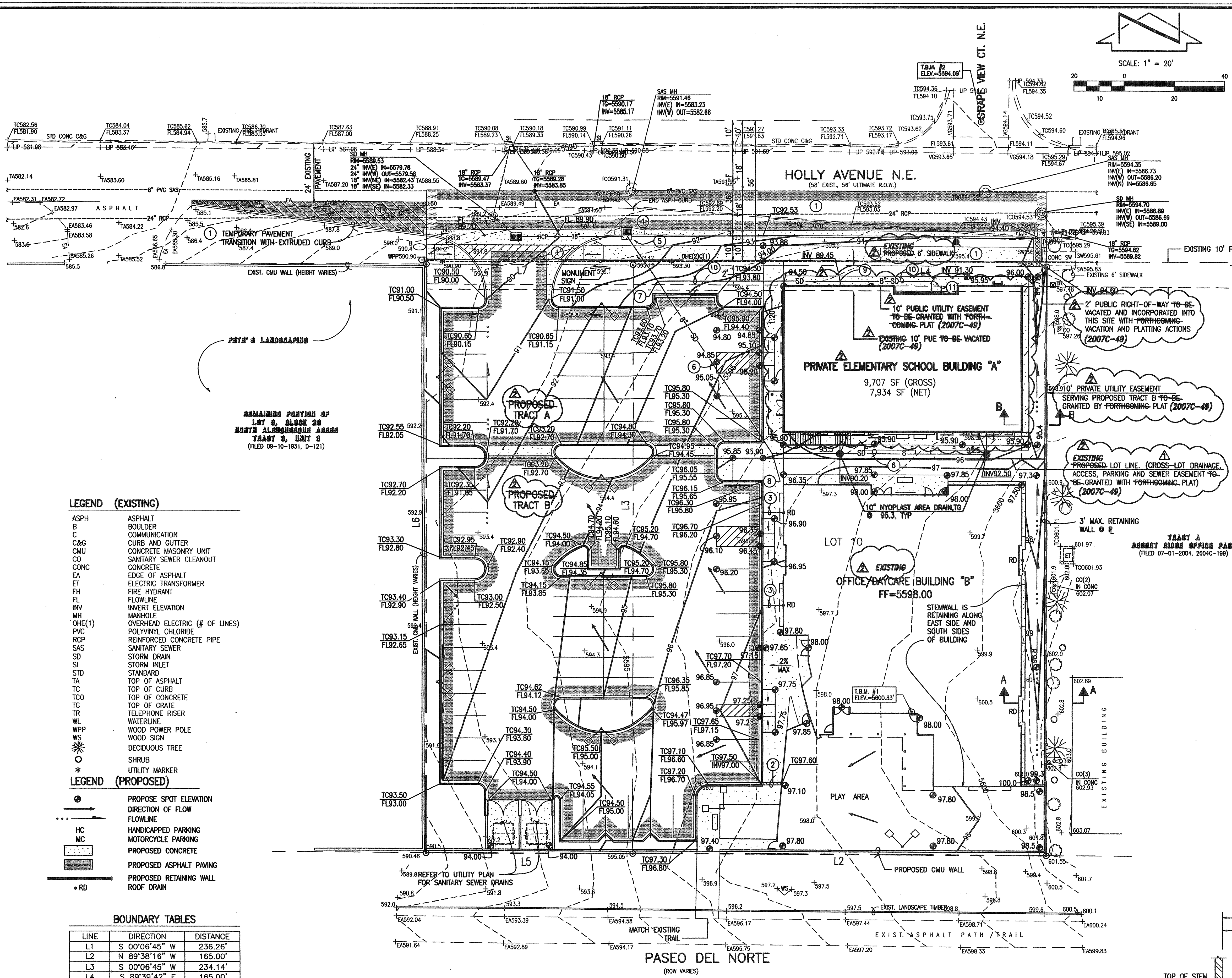


LANDSCAPE PLAN
MARK 3S HOLLY DEVELOPMENT

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
B.G.	1/25/07	B.G.	REVISIONS PER EPC APPROVAL CONDITIONS.	2006.070.2
RRV / B.G.	03/15	B.G.	ELEMENTARY SCHOOL AMENDMENT	DATE 09-2006
G.M.	06/15	G.M.	REVISE BIKE RACK LOCATION	SHEET 8 OF 13

2015.012.1

Plot Date: 02-27-2007 Plot Time: 12:51 pm
 File Name: 60702GPR1.DWG
 Plot Date: 04-29-2015 Plot Time: 1:31 pm
 File Name: 150121GPR1.DWG

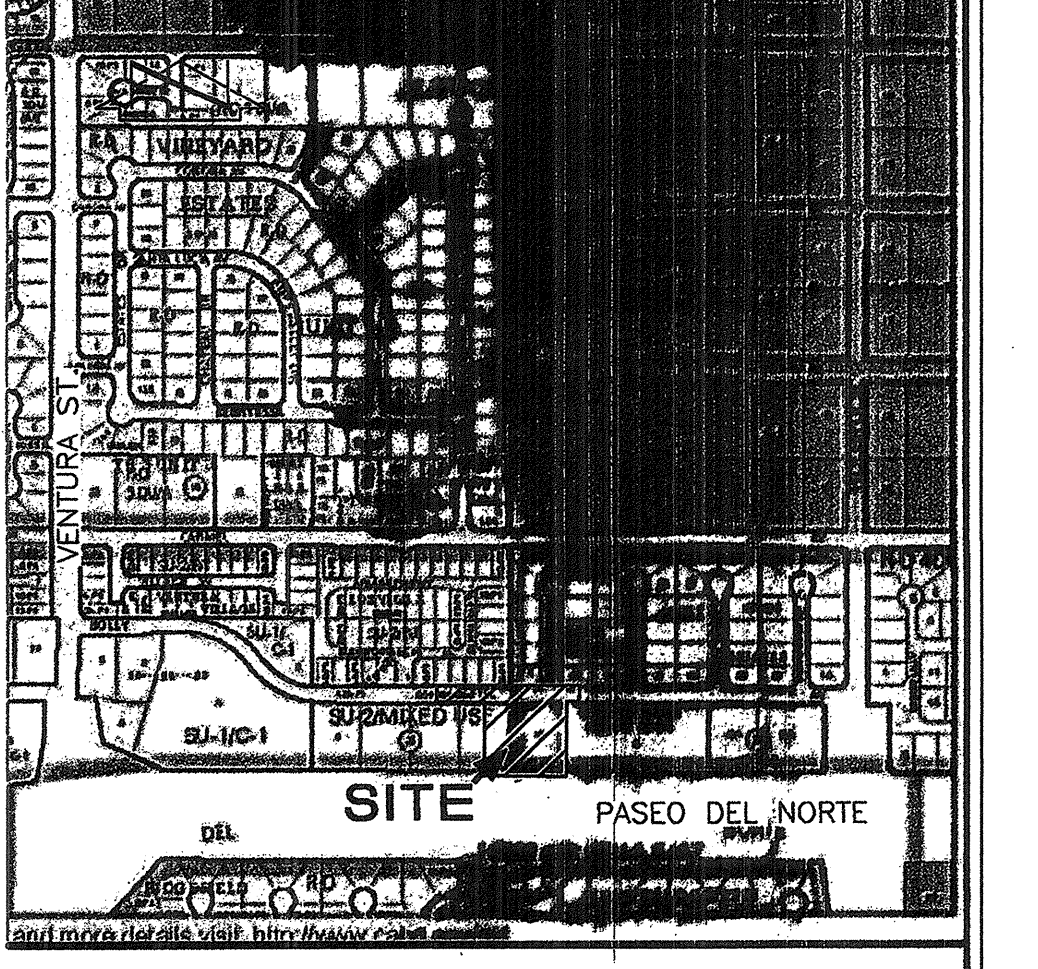


LEGAL DESCRIPTION:
 LOT 10 AND THE EAST HALF OF LOT 9, BLOCK 20, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931, BOOK D, PAGE 121.

PROJECT BENCHMARK
 STANDARD ACS BRASS TABLET STAMPED, "1-B20", SET IN TOP OF A CONCRETE POST, AT THE NORTHEAST INTERSECTION OF BARSTOW STREET AND MODESTO AVENUE. ELEVATION = 5474.51 FEET (NGVD 1929)

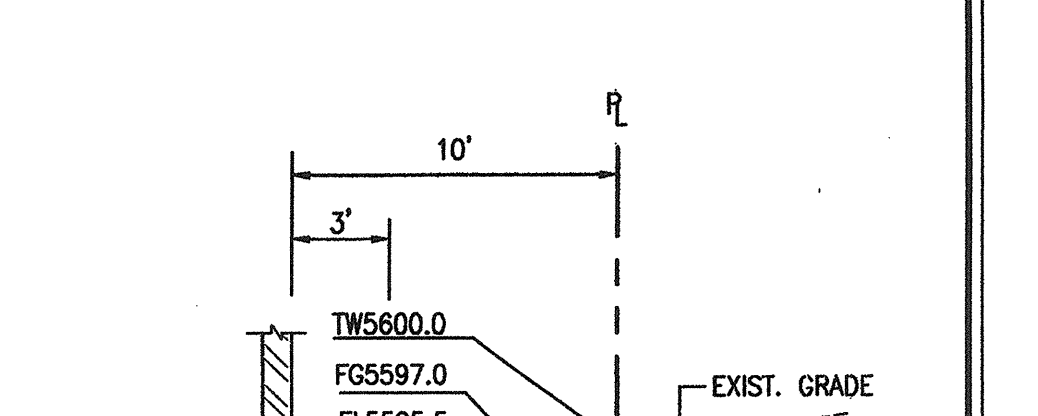
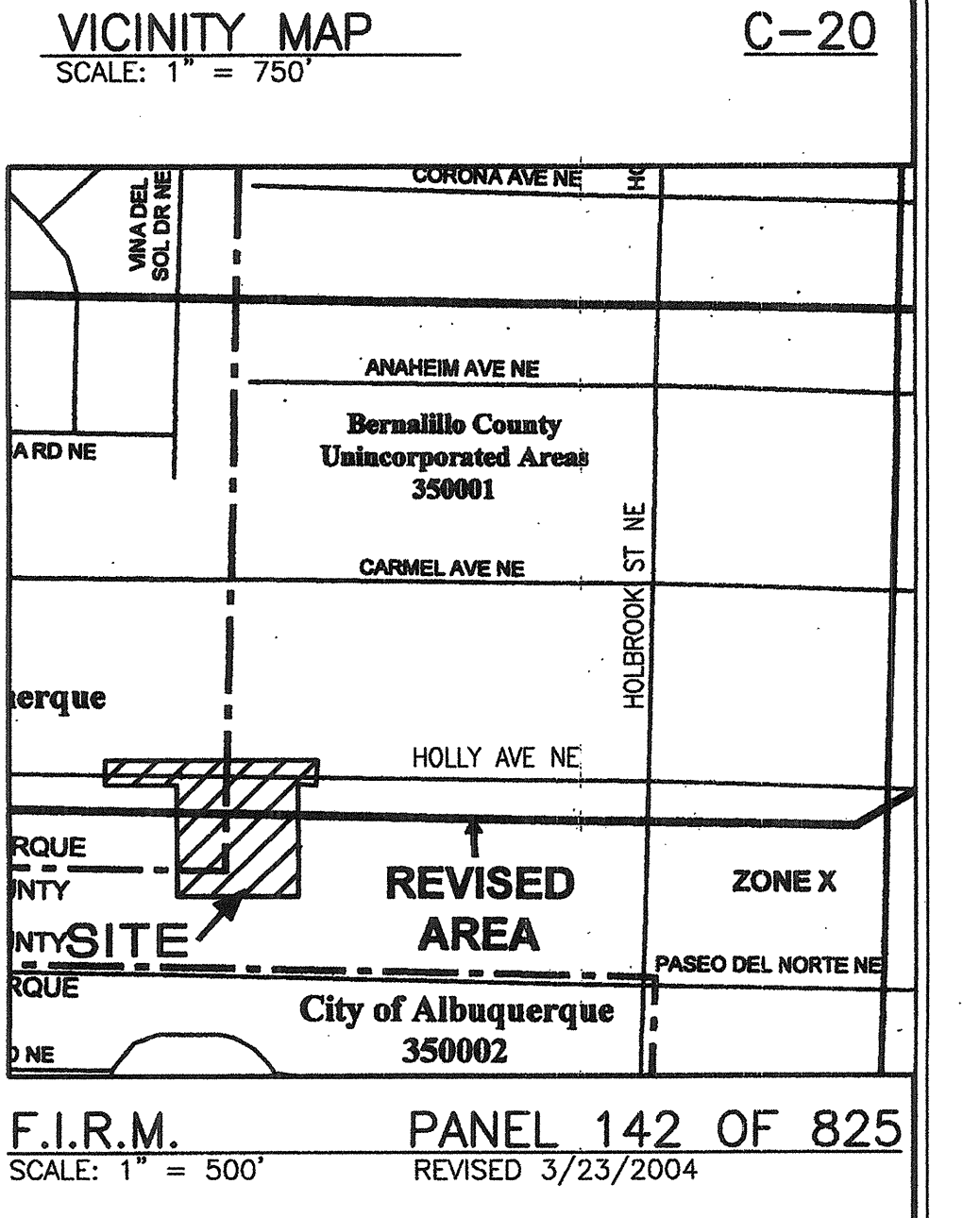
T.B.M. #1
 REBAR #5 WITH CAP STAMPED, "JMA CONTROL NMPS 11184", AS SHOWN ON THIS SHEET. ELEVATION = 5600.33 FEET (NGVD 1929)

T.B.M. #2
 ALUMINUM CAP STAMPED, "PLS #11184", AS SHOWN ON THIS SHEET. ELEVATION = 5594.09 FEET (NGVD 1929)



CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION. SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.



LEGEND (EXISTING)

- ASPH ASPHALT
- B BOULDER
- C COMMUNICATION
- C&G CURB AND GUTTER
- CMU CONCRETE MASONRY UNIT
- CONC CONCRETE
- EA EDGE OF ASPHALT
- ET ELECTRIC TRANSFORMER
- FH FIRE HYDRANT
- FL FLOWLINE
- INV INVERT ELEVATION
- MH MANHOLE
- OHE(1) OVERHEAD ELECTRIC (# OF LINES)
- PVC POLYVINYL CHLORIDE
- RCP REINFORCED CONCRETE PIPE
- SAS SANITARY SEWER
- SD STORM DRAIN
- SI STORM INLET
- STD STANDARD
- TA TOP OF ASPHALT
- TC TOP OF CURB
- TCO TOP OF CONCRETE
- TG TOP OF GRATE
- TR TELEPHONE RISER
- WL WATERLINE
- WPP WOOD POWER POLE
- WS WOOD SIGN
- * DECIDUOUS TREE
- SHRUB
- UTILITY MARKER

LEGEND (PROPOSED)

- PROPOSE SPOT ELEVATION
- DIRECTION OF FLOW
- FLOWLINE
- HC HANDICAPPED PARKING
- MC MOTORCYCLE PARKING
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED ASPHALT PAVING
- ▨ PROPOSED RETAINING WALL
- RD ROOF DRAIN

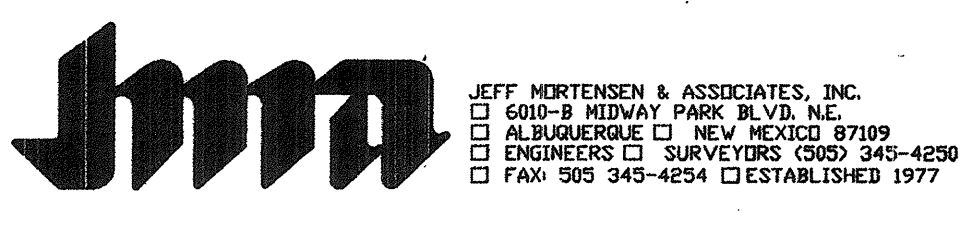
BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	S 00°06'45" W	236.26'
L2	N 89°38'16" W	165.00'
L3	S 00°06'45" W	234.14'
L4	S 89°39'42" E	165.00'
L5	N 89°38'16" W	82.50'
L6	N 00°06'45" E	236.16'
L7	S 89°39'42" E	82.50'

This is not a boundary survey; data is shown for orientation only. The boundary information depicted by this plan is based upon the boundary survey prepared by JMA, NMPS no. 11184, dated 10/24/2006. Topographic survey information is based upon a topographic survey prepared by JMA, on 10/24/2006, NMPS no. 11184.

KEYED NOTES

- HOLLY AVENUE N.E. IMPROVEMENTS TO BE CONSTRUCTED BY CITY WORK ORDER
- CONSTRUCT 12" SIDEWALK CULVERT PER COA STD DWG 2236
- DAYLIGHT ROOF DRAIN THROUGH CURB
- 24" SIDEWALK CULVERT BY CITY WORK ORDER
- CONNECTION TO STORM INLET BY SD#19 PERMIT. INV 85.00
- INSTALL 8" HDPE (SMOOTH INTERIOR) STORM DRAIN @ S = 0.04 (4%)
- INSTALL 8" HDPE WYE, INV 85.80
- INSTALL 8" HDPE WYE W/ CLEANOUT TO GRADE. INV 89.10
- INSTALL 8" WYE, CONNECT TO ROOF DRAIN INV 85.00
- INSTALL 8" HDPE (SMOOTH INTERIOR) STORM DRAIN @ S = 0.0500 (5%)
- INSTALL CLEANOUT TO GRADE

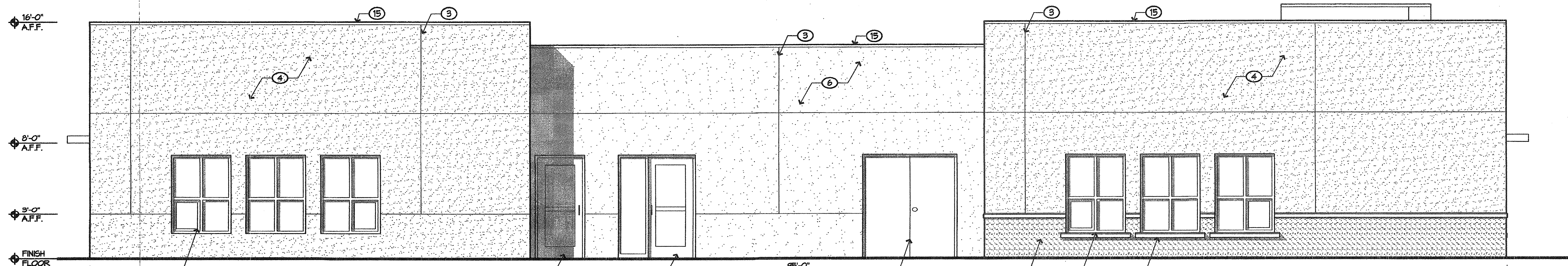


**GRADING PLAN
 MARK 3S HOLLY DEVELOPMENT**

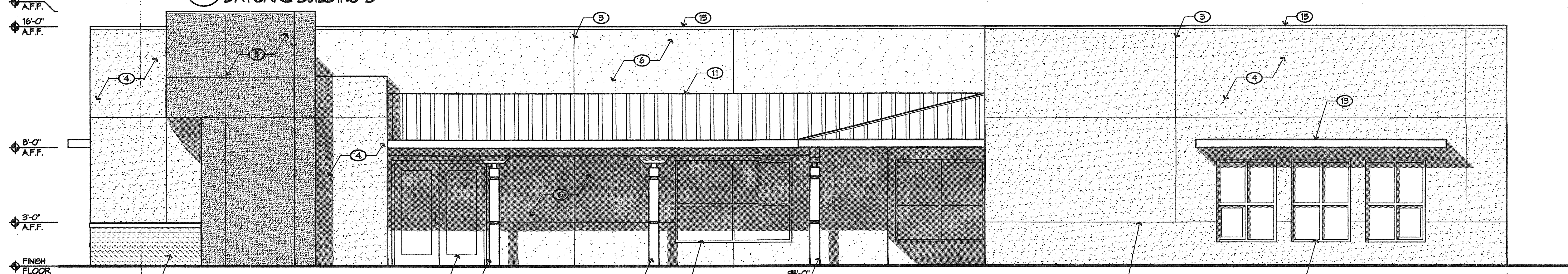
DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	01/07	G.M.	ADDRESS EPC COMMENTS, ADDED DETAIL FOR CONSTRUCTION	2006.070.2/6
RRV/JLP	03/15	G.M.	ELEMENTARY SCHOOL AMENDMENT	DATE 10-2006
G.M.				SHEET 9 OF 13



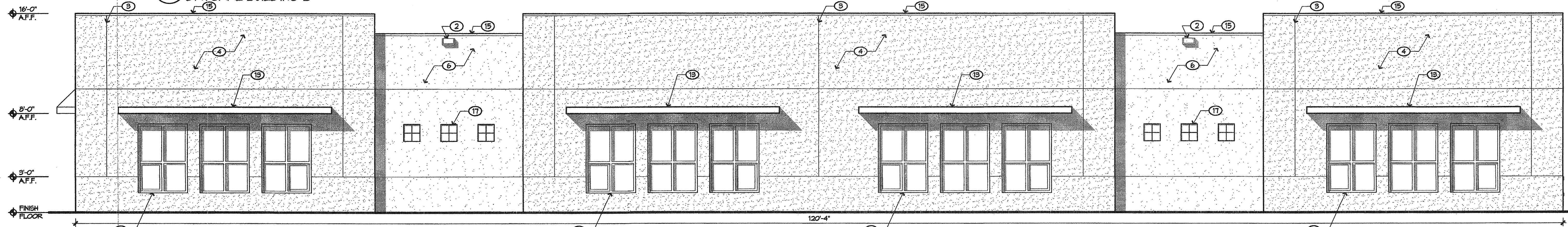
2015.012.1



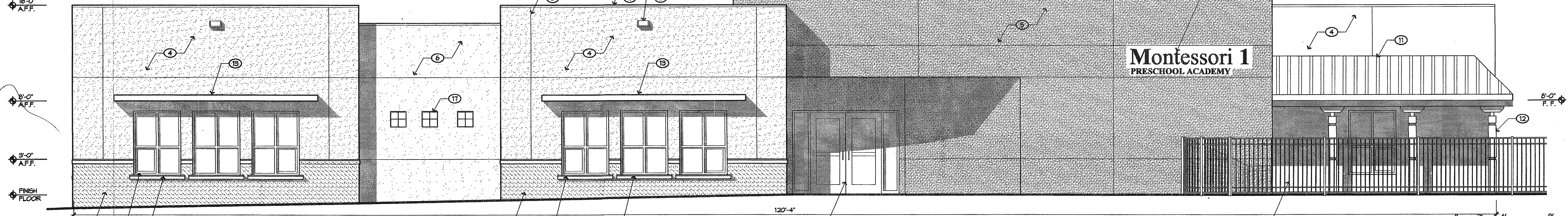
1 NORTH ELEVATION
DAYCARE BUILDING B
1/4" = 1'-0"



2 SOUTH ELEVATION
DAYCARE BUILDING B
1/4" = 1'-0"



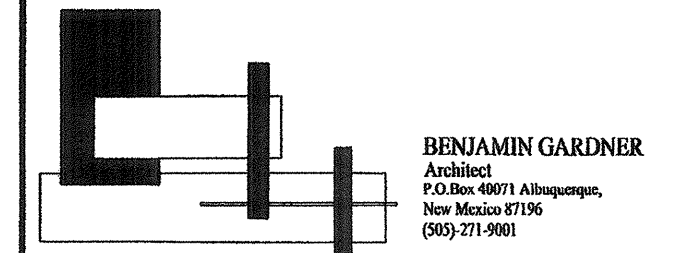
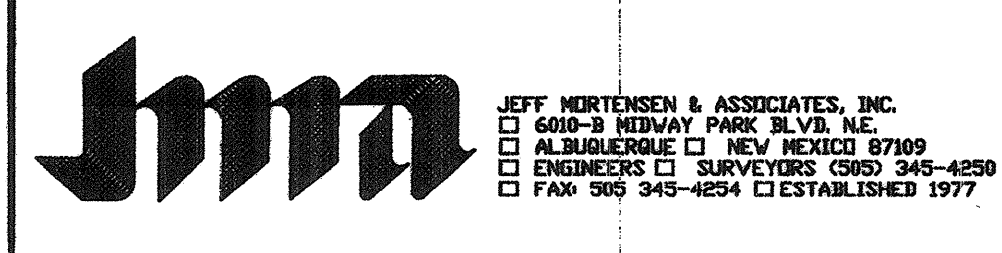
3 EAST ELEVATION
DAYCARE BUILDING B
1/4" = 1'-0"



4 WEST ELEVATION
DAYCARE BUILDING B
1/4" = 1'-0"

- GENERAL NOTES:**
A. ALL ROOF EQUIPMENT WILL BE SHIELDED FROM VIEW AND SHALL COMPLY WITH LA CUEVA SECTOR DEVELOPMENT PLAN GUIDELINE 11R-3
- KEYED NOTES:**
1. PIN MOUNTED METAL, BUILDING LETTERS/SIGNAGE TYPICAL. PRIMARY TITLE 18" TALL, SECONDARY TITLE 6" TALL. MEDIUM BRONZE COLOR.
 2. OVERFLOW SCUPPER TYPICAL. PAINTED TO MATCH ADJACENT STUCCO.
 3. STUCCO CONTROL JOINT TYPICAL.
 4. STUCCO, COLOR = EL REY BUFF (TAN) COLOR #2847 (ROYAL FINISH)
 5. STUCCO, COLOR = EL REY MERLOT RED (DARK RED) COLOR # 2006-10 (COURSE FINISH)
 6. STUCCO, COLOR = EL REY RIO BRAVO (BROWN) COLOR #2475 (COURSE FINISH)
 7. STACKED CULTURED STONE VENEER.
 8. PRE-CAST INTERNALLY COLORED CONCRETE WINDOW SILL. COLOR TO COMPLEMENT STONE VENEER.
 9. ANODIZED ALUMINUM WINDOWS, MEDIUM BRONZE FINISH WITH BLUE GREEN TINTED GLAZING.
 10. ANODIZED ALUMINUM STOREFRONT, MEDIUM BRONZE FINISH WITH BLUE GREEN GLAZING.
 11. FACTORY FINISHED METAL ROOFING PANELS. MEDIUM BRONZE COLOR.
 12. DECORATIVE STEEL COLUMNS AND STEEL CORBELS. PAINT FINISH, OFF WHITE COLOR (CL. OLD HAWAII COLOR).
 13. STEEL SUNSHADE, OFF WHITE COLOR (CL. OLD HAWAII COLOR).
 14. NOT USED.
 15. PAINTED METAL COPING. COLOR TO MATCH ADJACENT STUCCO.
 16. PAINTED HOLLOW METAL MECHANICAL ROOM DOOR. MEDIUM BRONZE PAINT FINISH.
 17. CLEAR GLASS BLOCK.
 18. PAINTED METAL 5' TALL PLAY AREA FENCE. COLOR MEDIUM BRONZE.

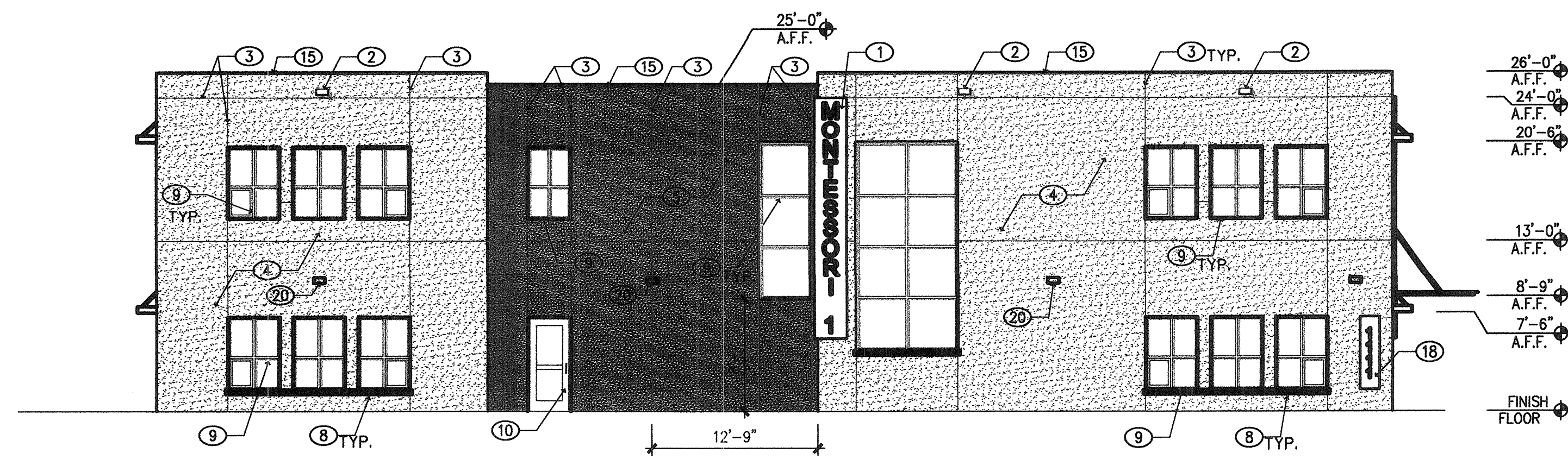
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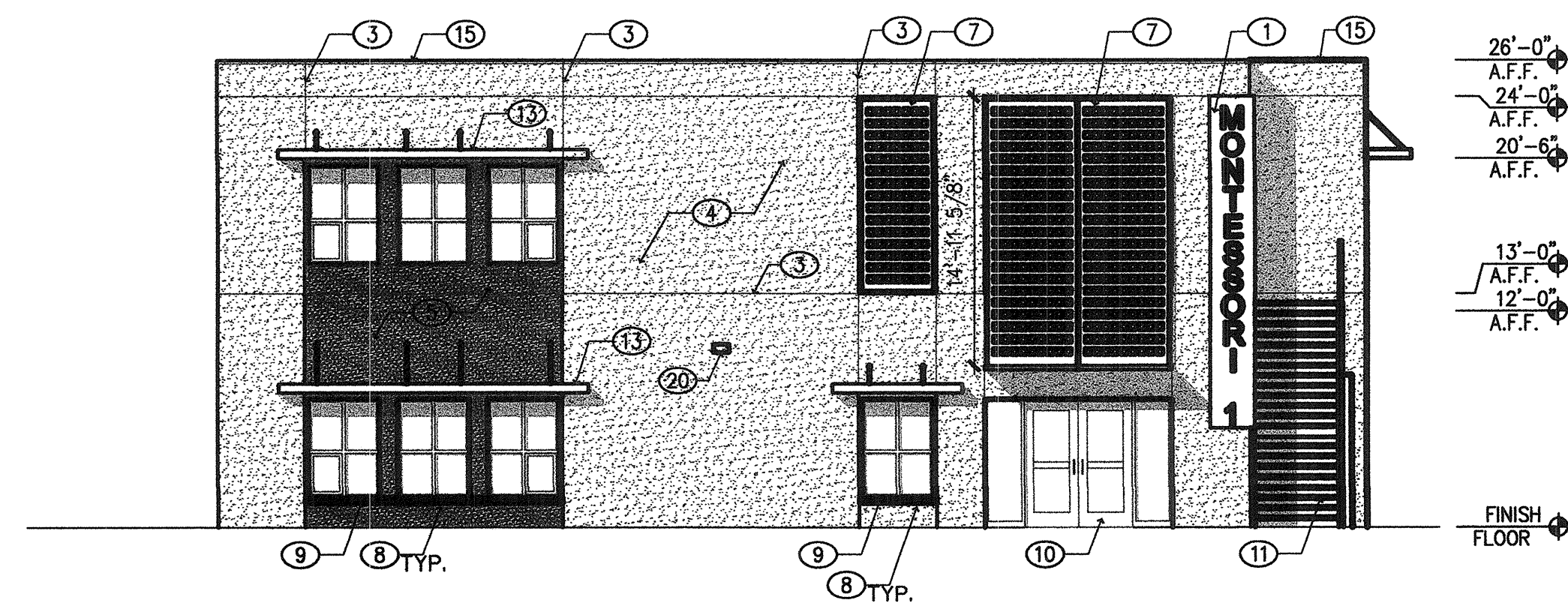
**ELEVATIONS BUILDING B
MARK 3S HOLLY DEVELOPMENT**

DESIGNED BY	B.G.	NO.	DATE	BY	REVISIONS	JOB NO.
DRAWN BY	T.N.	1	1/25/07	B.G.	REVISIONS PER EPC APPROVAL CONDITIONS.	2006.070.2
APPROVED BY		2	03/15	G.M.	NO CHANGE (EXISTING)	DATE 10-2006
						SHEET 10 OF 13

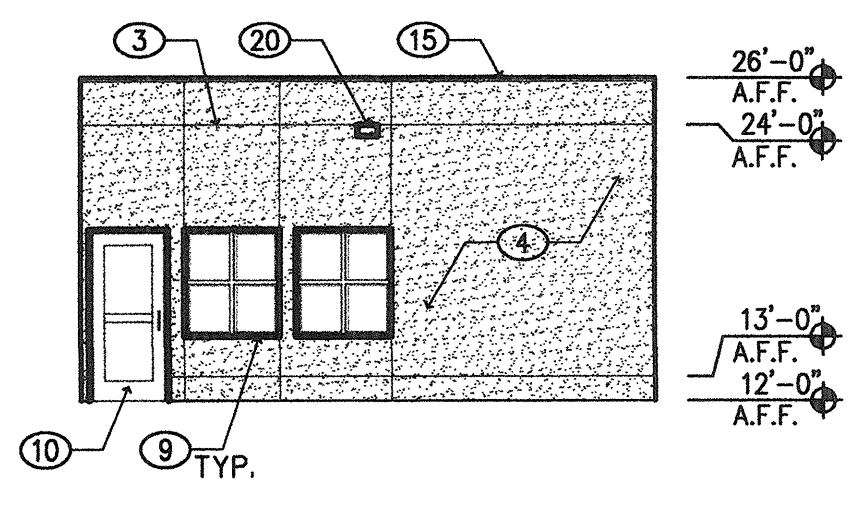
SCALE: 1/4" = 1'-0"
2015.012.1



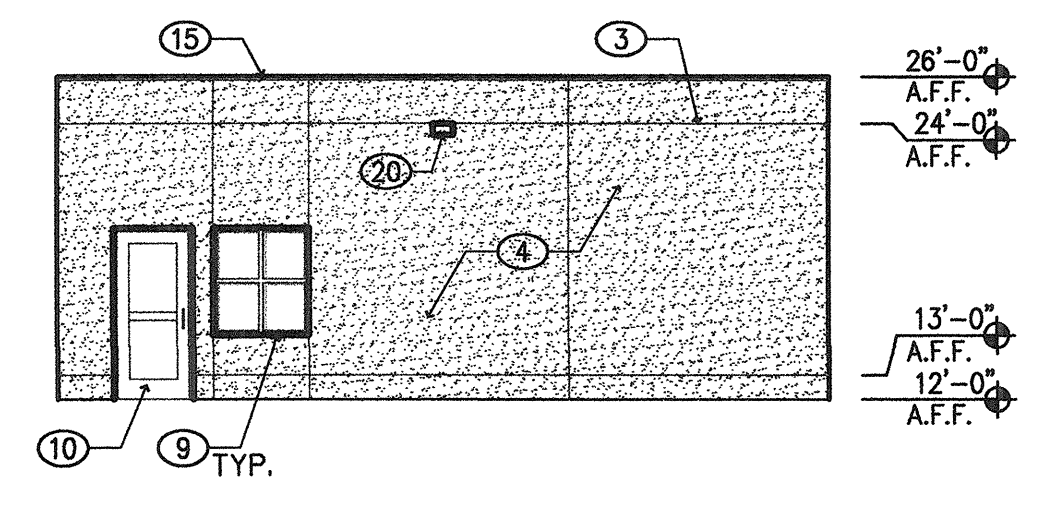
D1 NORTH ELEVATION
1/8" = 1'-0"
0 4' 8' 16'



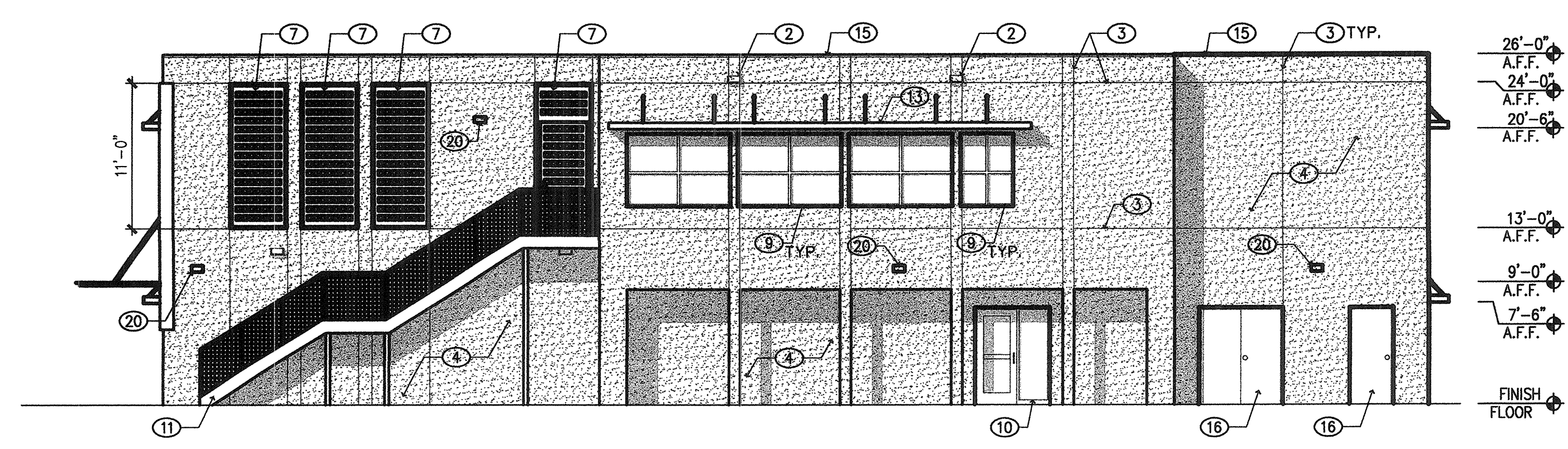
C1 WEST ELEVATION
1/8" = 1'-0"
0 4' 8' 16'



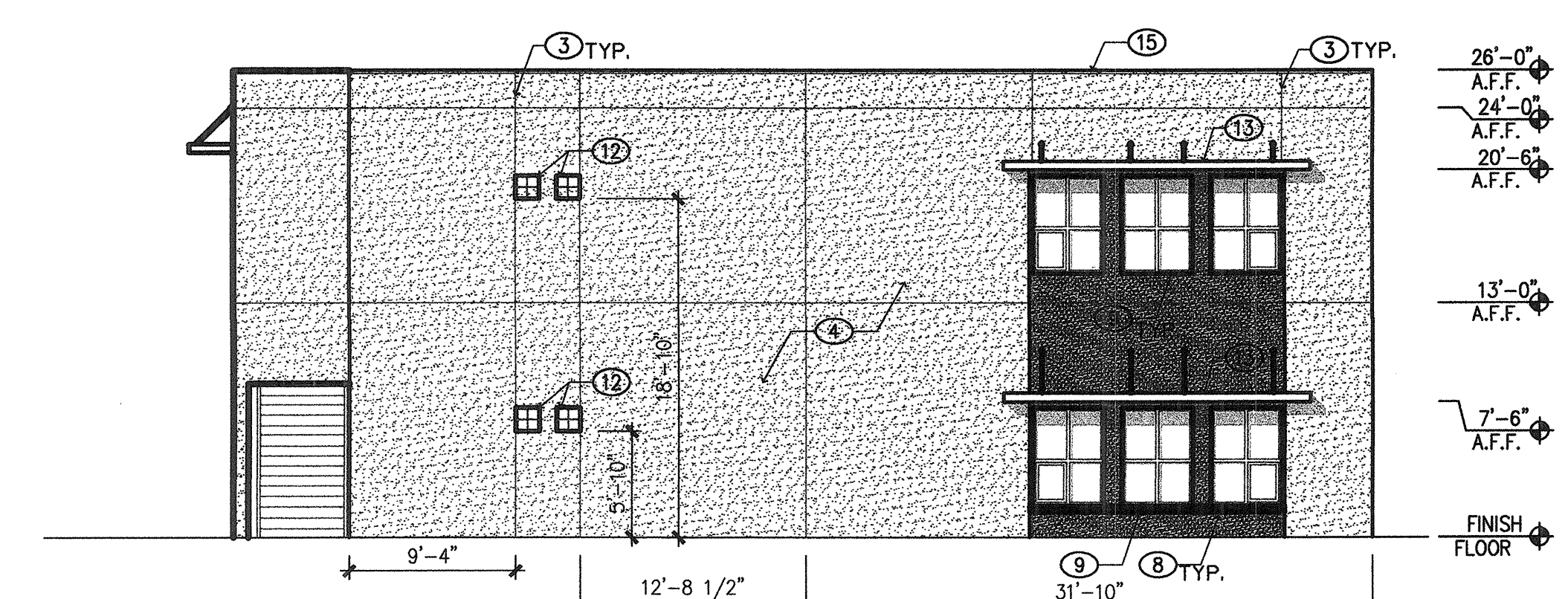
C3 PLAY AREA EAST ELEVATION
1/8" = 1'-0"
0 4' 8' 16'



C4 PLAY AREA NORTH ELEVATION
1/8" = 1'-0"
0 4' 8' 16'



B1 SOUTH ELEVATION
1/8" = 1'-0"
0 4' 8' 16'



B4 EAST ELEVATION
1/8" = 1'-0"
0 4' 8' 16'

GENERAL NOTES:

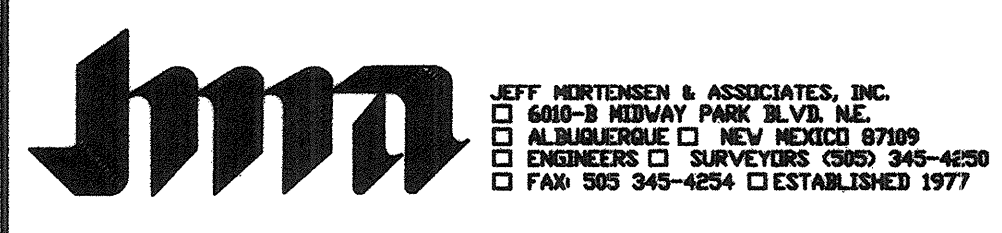
A. ALL ROOF EQUIPMENT WILL BE SHIELDED FROM VIEW AND SHALL COMPLY WITH LA CUEVA SECTOR DEVELOPMENT PLAN GUIDELINE 11R-3

KEYED NOTES:

1. PIN MOUNTED METAL, BUILDING LETTERS/SIGNAGE TYPICAL. 14" TALL. MEDIUM BRONZE COLOR.
2. OVERFLOW SCUPPER TYPICAL. PAINTED TO MATCH ADJACENT STUCCO.
3. STUCCO CONTROL JOINT TYPICAL.
4. STUCCO, COLOR = EL REY BUFF (TAN) COLOR #2647 (ROYAL FINISH)
5. STUCCO, COLOR = EL REY MERLOT RED (DARK RED) COLOR # 2006-10 (COURSE FINISH)
6. STUCCO, COLOR = EL REY RIO BRAVO (BROWN) COLOR #2475 (COURSE FINISH)
7. PERFORATED METAL PANEL
8. PRE-CAST INTEGRALLY COLORED CONCRETE WINDOW SILL. COLOR TO COMPLEMENT STONE VENEER.
9. ANODIZED ALUMINUM WINDOWS. MEDIUM BRONZE FINISH WITH BLUE GREEN TINTED GLAZING.
10. ANODIZED ALUMINUM STOREFRONT. MEDIUM BRONZE FINISH WITH BLUE GREEN GLAZING.
11. METAL STAIR
12. GLASS BLOCK WINDOWS
13. STEEL SUNSHADE RE: A291 FOR DETAILS. PAINT OFF WHITE COLOR (CL. OLD NAVAJO COLOR).
14. NOT USED
15. PAINTED METAL COPING. COLOR TO MATCH ADJACENT STUCCO.
16. PAINTED HOLLOW METAL MECHANICAL ROOM DOOR. MEDIUM BRONZE PAINT FINISH.
17. CLEAR GLASS BLOCK.
18. PIN MOUNTED METAL, BUILDING LETTERS/SIGNAGE TYPICAL. 14" TALL. MEDIUM BRONZE COLOR. CONFIRM ADDRESS WITH OWNER
19. PAINT EXPOSED CONCRETE STEM TO MATCH ADJACENT STUCCO COLOR.
20. EXTERIOR BUILDING LIGHT. RE: ELECTRICAL.

THIS SHEET REPLACES THE PREVIOUS SHEET

2015.012.1



BENJAMIN GARDNER
Architect
70200 40011 Albuquerque,
New Mexico 87106
(505) 271-9001

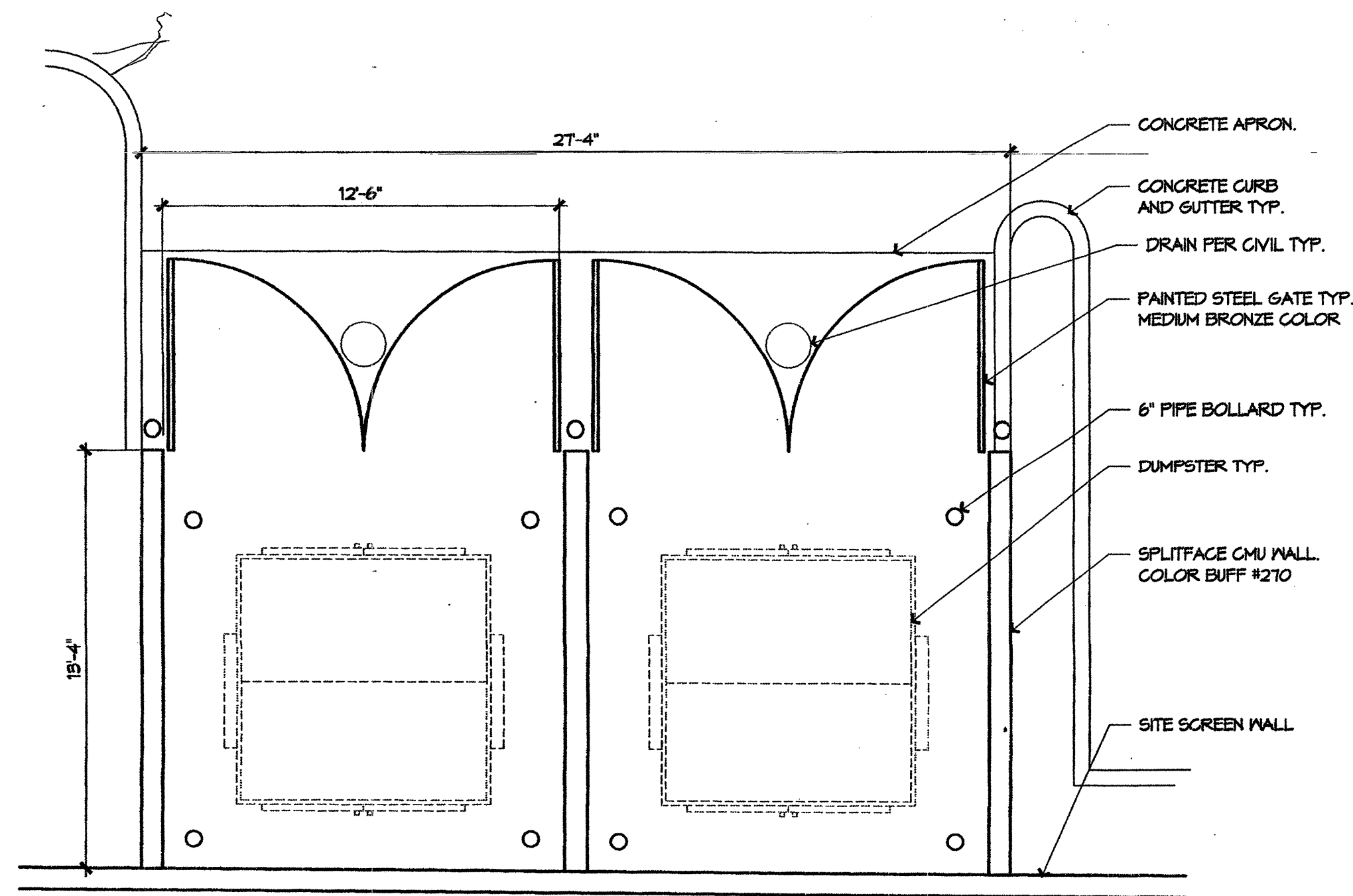
**ELEVATIONS BUILDING A
MARK 3S HOLLY DEVELOPMENT**

DESIGNED BY: B.G.
DRAWN BY: T.N.
APPROVED BY:

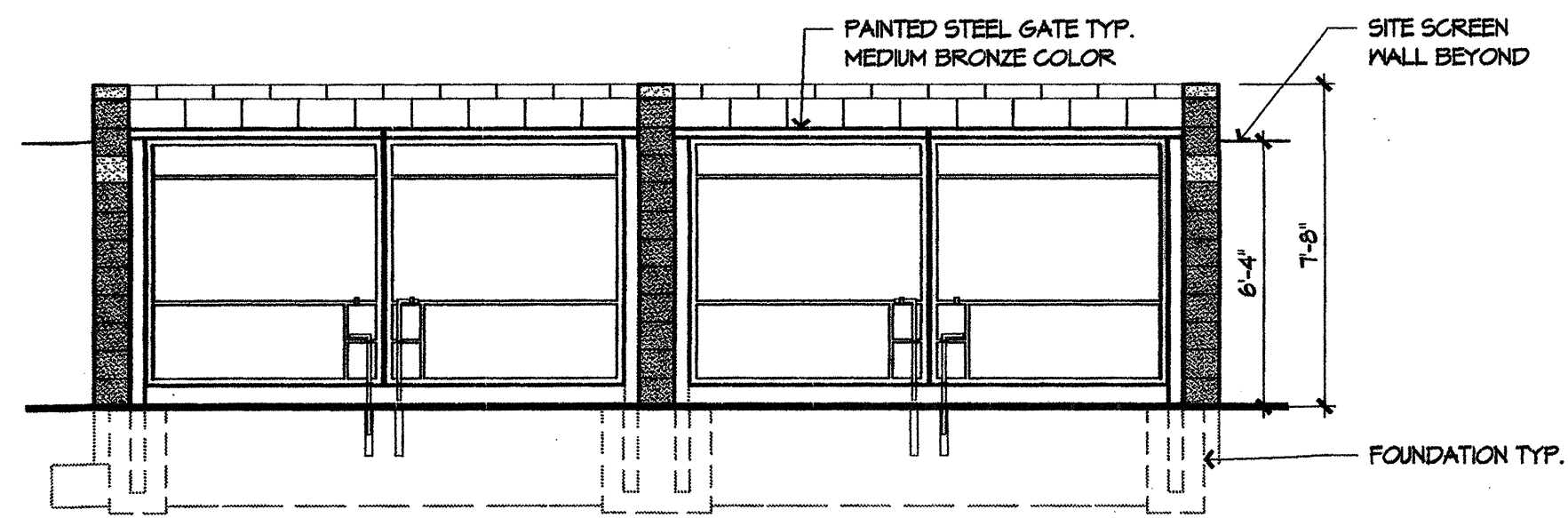
NEL	DATE	BY	REVISIONS
1	1/25/07	BG	REVISIONS PER EPC APPROVAL CONDITIONS.
2	3/13	GM	ELEMENTARY SCHOOL AMENDMENT

JOB NO. 2006-070.2
DATE 10-2006
SHEET 11 OF 13

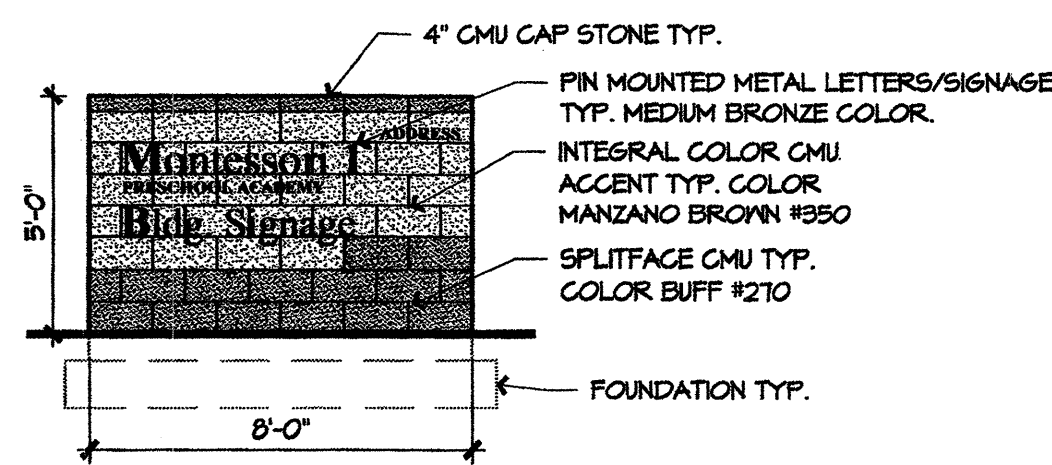
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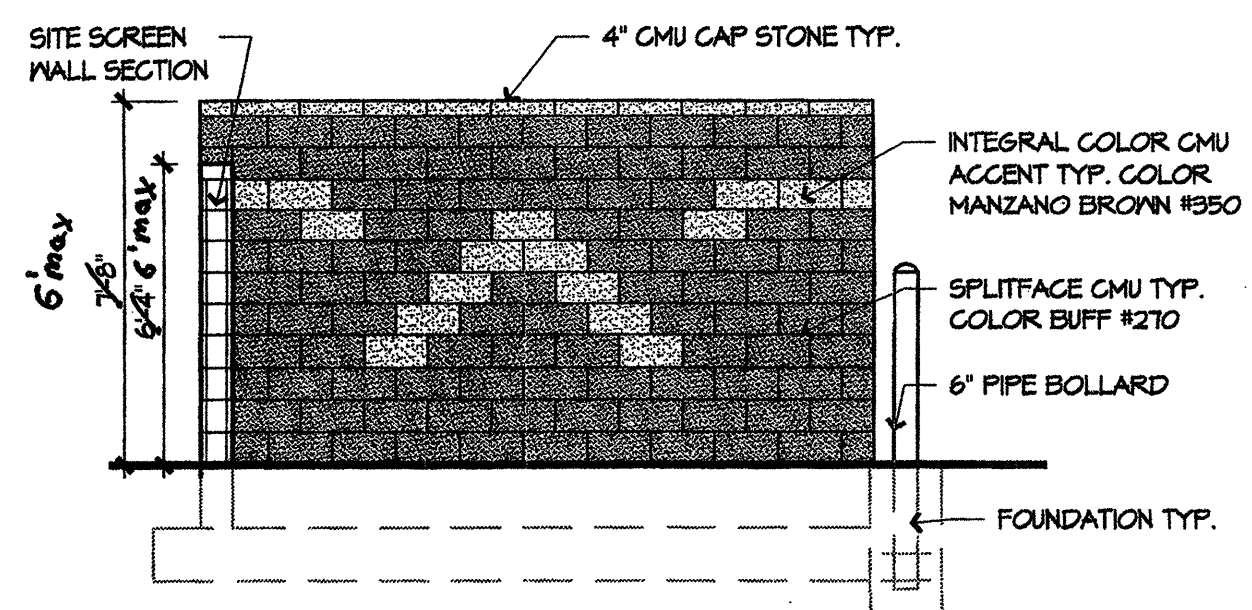
1 REFUSE ENCLOSURE
PLAN
1/4" = 1'-0"



2 REFUSE ENCLOSURE
FRONT ELEVATION
1/4" = 1'-0"

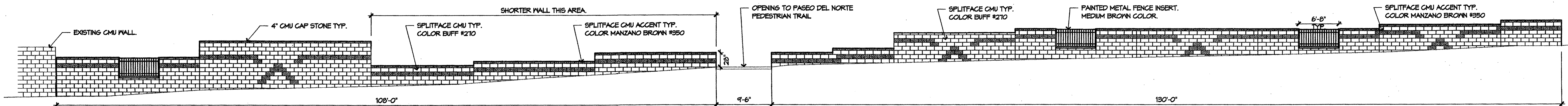
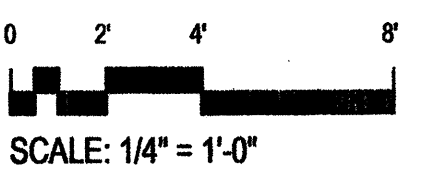


3 MONUMENT SIGN
ELEVATION
1/4" = 1'-0"
NOTE: SIGN = 40 SF.



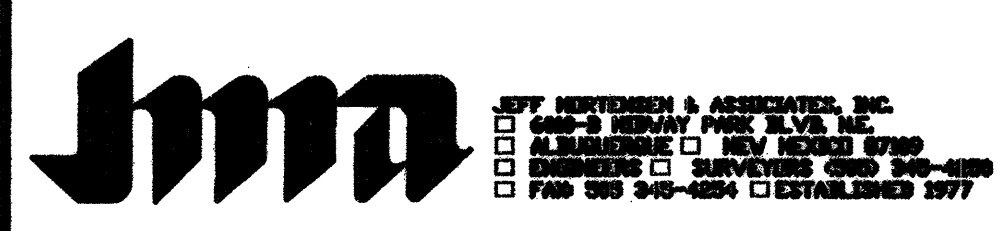
4 REFUSE ENCLOSURE
SIDE ELEVATIONS TYPICAL
1/4" = 1'-0"

5 SITE POLE LIGHTS
CUTSHEETS
NOTE: POLES = 20' TALL.
NTS



6 CMU SCREEN WALL
PASEO DEL NORTE ELEVATION.
1/8" = 1'-0"

File Path: P:\MARK3S\101011\101011.dwg | Plot Date: 10-28-2015
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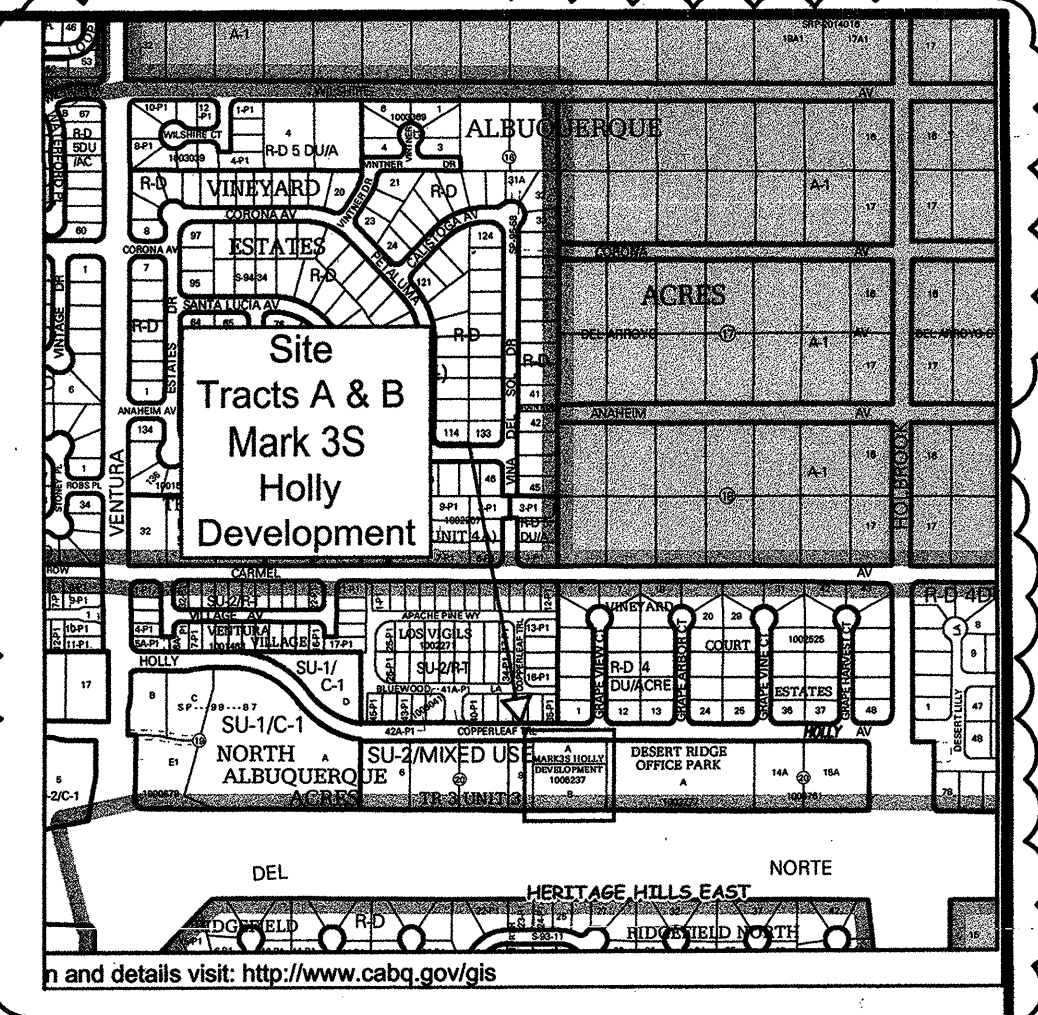
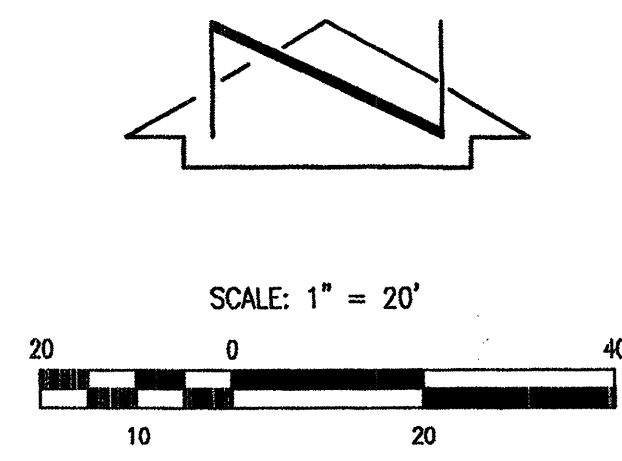
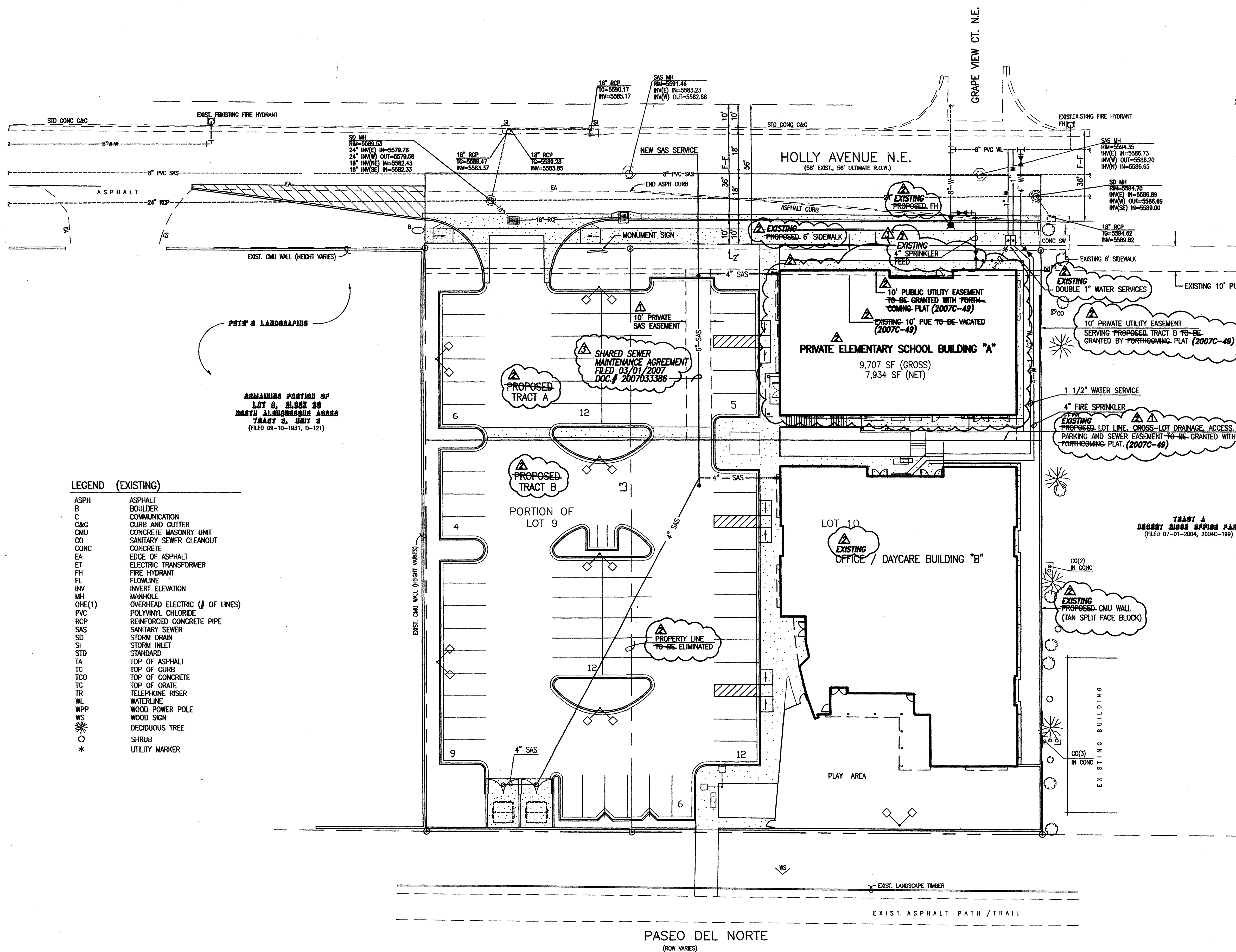


BENJAMIN GARDNER
Architect
P.O. Box 9051 Albuquerque,
New Mexico 87109
(505) 271-9801

SITE DETAILS
MARK 3S HOLLY DEVELOPMENT

DESIGNED BY		NO.		DATE		BY		REVISIONS		JOB NO.	
B.G.		1	1/25/07	B.G.	REVISIONS PER EPC APPROVAL CONDITIONS.		2006.070.2		2006.070.2		
T.N.		2	03/15	G.M.	NO CHANGE (EXISTING)		10-2006		DATE		
APPROVED BY								SHEET		12 OF 13	

2015.012.1



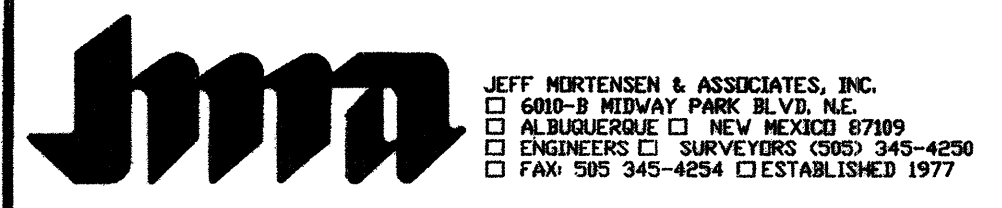
LEGAL DESCRIPTION:
 Lot 10 and the east half of Lot 9, Block 26, North Albuquerque Acres, Tract 3, Unit 3, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 124.
 TRACTS "A" AND "B", MARK 3S HOLLY DEVELOPMENT (2007C-49)

REMAINING PORTION OF LOT 9, BLOCK 26 NORTH ALBUQUERQUE ACRES TRACT 3, UNIT 3 (FILED 09-10-1931, D-121)

- LEGEND (EXISTING)**
- ASPH ASPHALT
 - B BOULDER
 - C COMMUNICATION
 - C&G CURB AND GUTTER
 - CMU CONCRETE MASONRY UNIT
 - CO SANITARY SEWER CLEANOUT
 - CONC CONCRETE
 - EA EDGE OF ASPHALT
 - ET ELECTRIC TRANSFORMER
 - FH FIRE HYDRANT
 - FL FLOWLINE
 - INV INVERT ELEVATION
 - MH MANHOLE
 - OHE(1) OVERHEAD ELECTRIC (# OF LINES)
 - PVC POLYVINYL CHLORIDE
 - RCP REINFORCED CONCRETE PIPE
 - SAS SANITARY SEWER
 - SD STORM DRAIN
 - SI STORM INLET
 - STD STANDARD
 - TA TOP OF ASPHALT
 - TC TOP OF CURB
 - TCO TOP OF CONCRETE
 - TG TOP OF GRATE
 - TR TELEPHONE RISER
 - WL WATERLINE
 - WPP WOOD POWER POLE
 - WS WOOD SIGN
 - DECIDUOUS TREE
 - SHRUB
 - * UTILITY MARKER

File Path: F:\WORK\10000001\10000001\10000001.dwg Plot Date: 02-05-2007 Plot Time: 08:48 am
 File Name: 6070201PRT1.DWG Plot Date: 04-29-2015 Plot Time: 12:47 pm

CONCEPTUAL UTILITY PLAN MARK 3S HOLLY DEVELOPMENT



This is not a boundary survey; data is shown for orientation only. The boundary information depicted by this plan is based upon the boundary survey prepared by JMA, NMPS no. 11184, dated 10/24/2006. Topographic survey information is based upon a topographic survey prepared by JMA, on 10/24/2006, NMPS no.11184.

10/31/06
 02/05/2007
 03/31/2015
 04/30/2015

2006.070.2

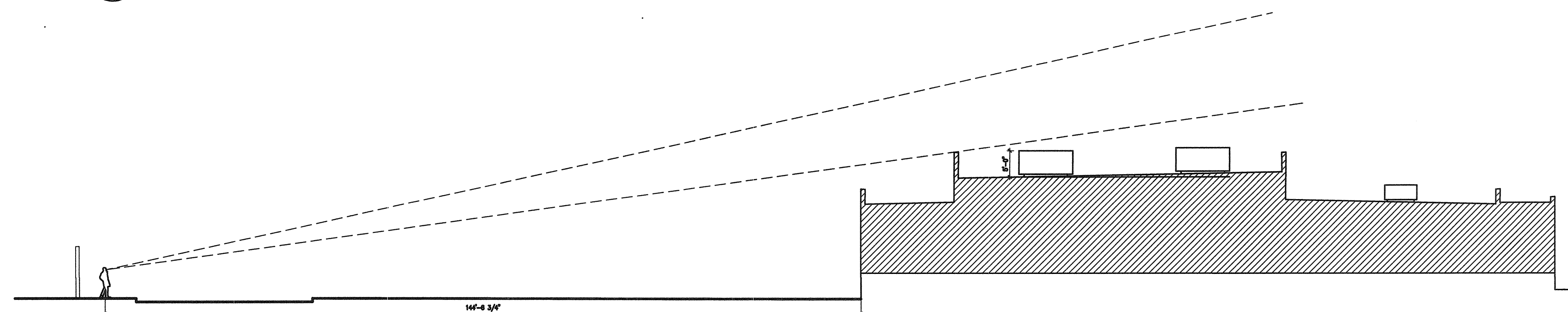
		REVISIONS		JOB NO.
DESIGNED BY	G.M.	NO.	DATE	2006.070.2
		1	01/07 G.M.	
DRAWN BY	RRW/JLP	2	03/15 G.M.	DATE 10-2006
		3	04/15 G.M.	
APPROVED BY	G.M.			SHEET 13 OF 13



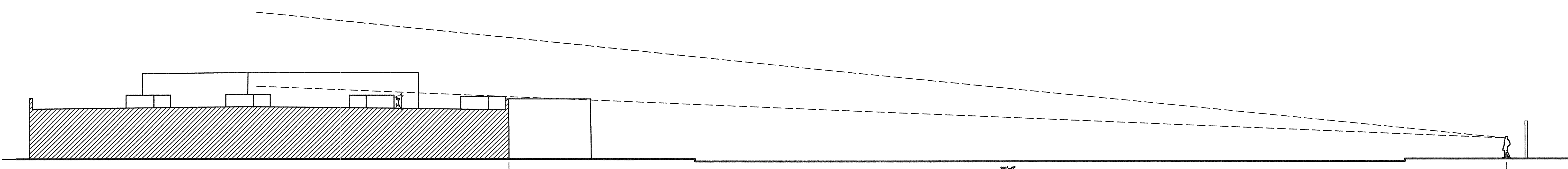
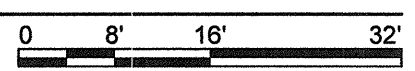
C1 VIEW INDICATION SITE PLAN



** INDICATES VIEW FROM 2ND FLOOR OF NEW BUILDING



B1 SECTION 1
1/16" = 1'-0"



A1 SECTION 1
1/16" = 1'-0"

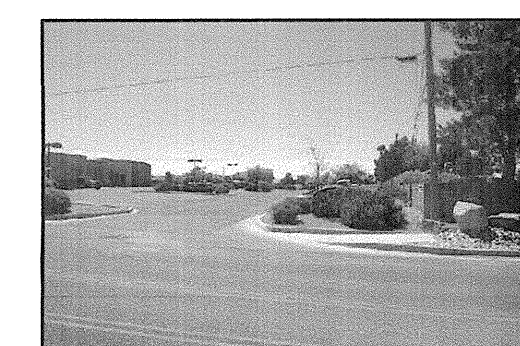
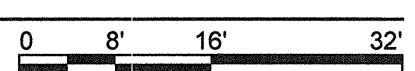


PHOTO 1

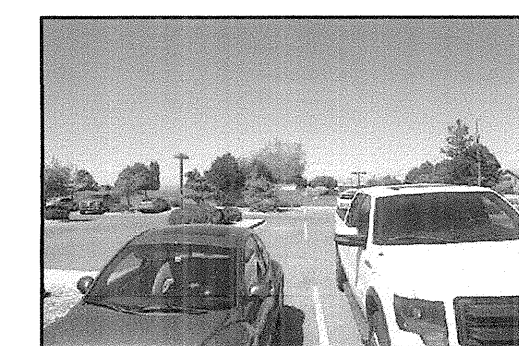


PHOTO 2



PHOTO 3

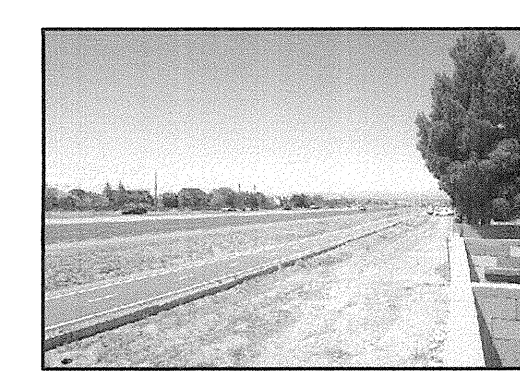


PHOTO 4



PHOTO 5

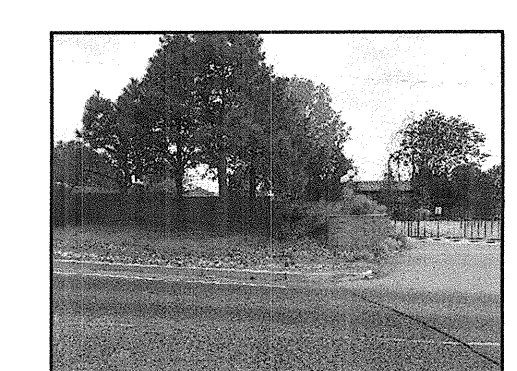


PHOTO 6

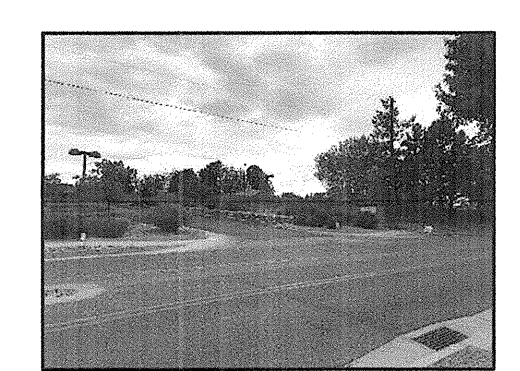


PHOTO 7

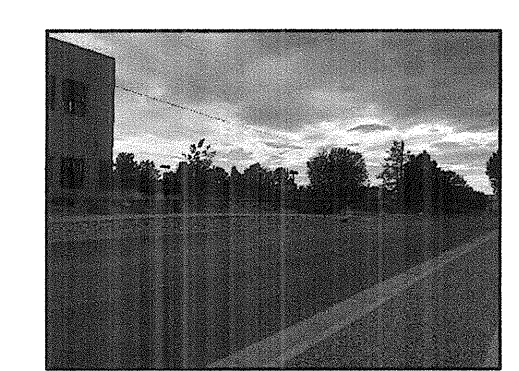


PHOTO 8

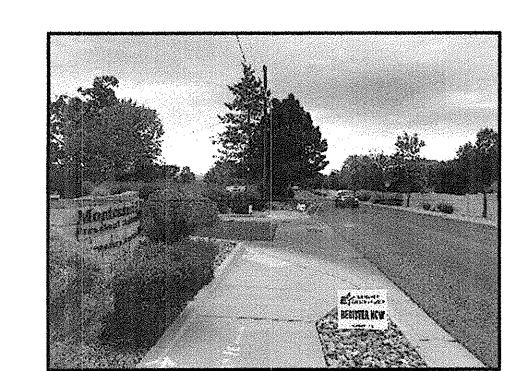


PHOTO 9



PHOTO 10

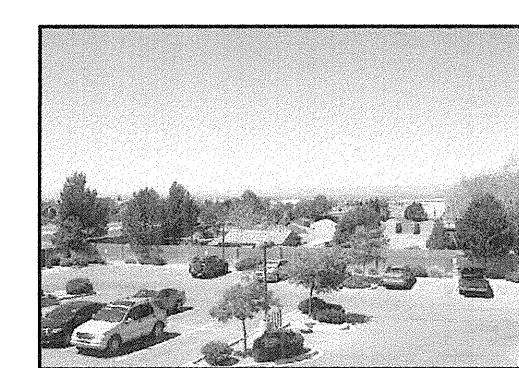


PHOTO 11



PHOTO 12



PHOTO 13

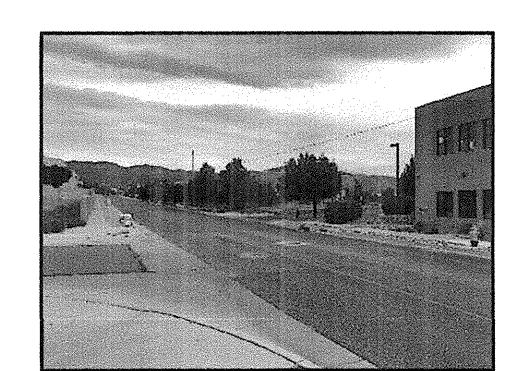
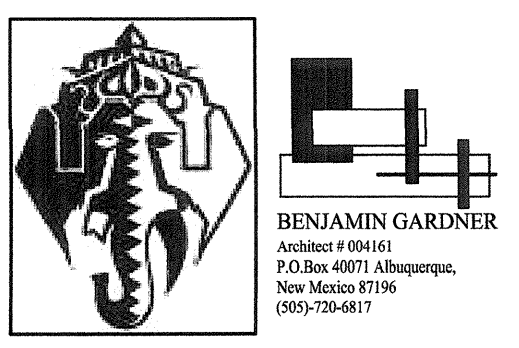


PHOTO 14



Mark 3S
Incorporated
6501 Wyoming Blvd NE.
Building G
Albuquerque, NM 87109
505-220-7587
OWNERS



PROJECT

Holly Development
NIDO Center
West Half of Lot 9 and East Half of Lot 8 Block 20 North Albuquerque Acres.
Albuquerque, New Mexico

REVISIONS

1	
2	
3	
4	

DRAWN BY
REVIEWED BY **BC**
DATE **08/01/2017**
PROJECT NO. **F 2017**
DRAWING NAME

VIEW STUDY

SHEET NO.
EXHIBIT 01
OF