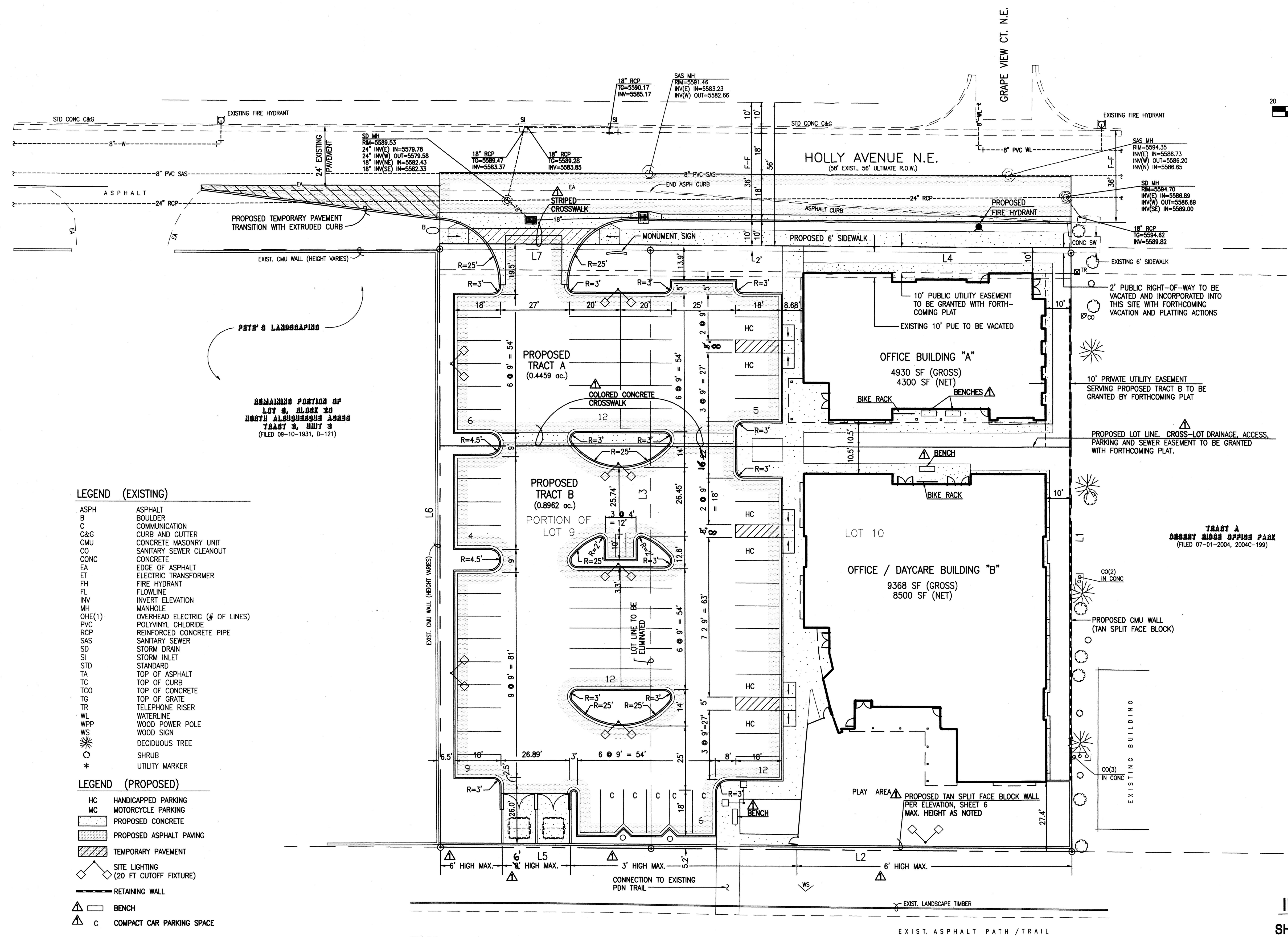
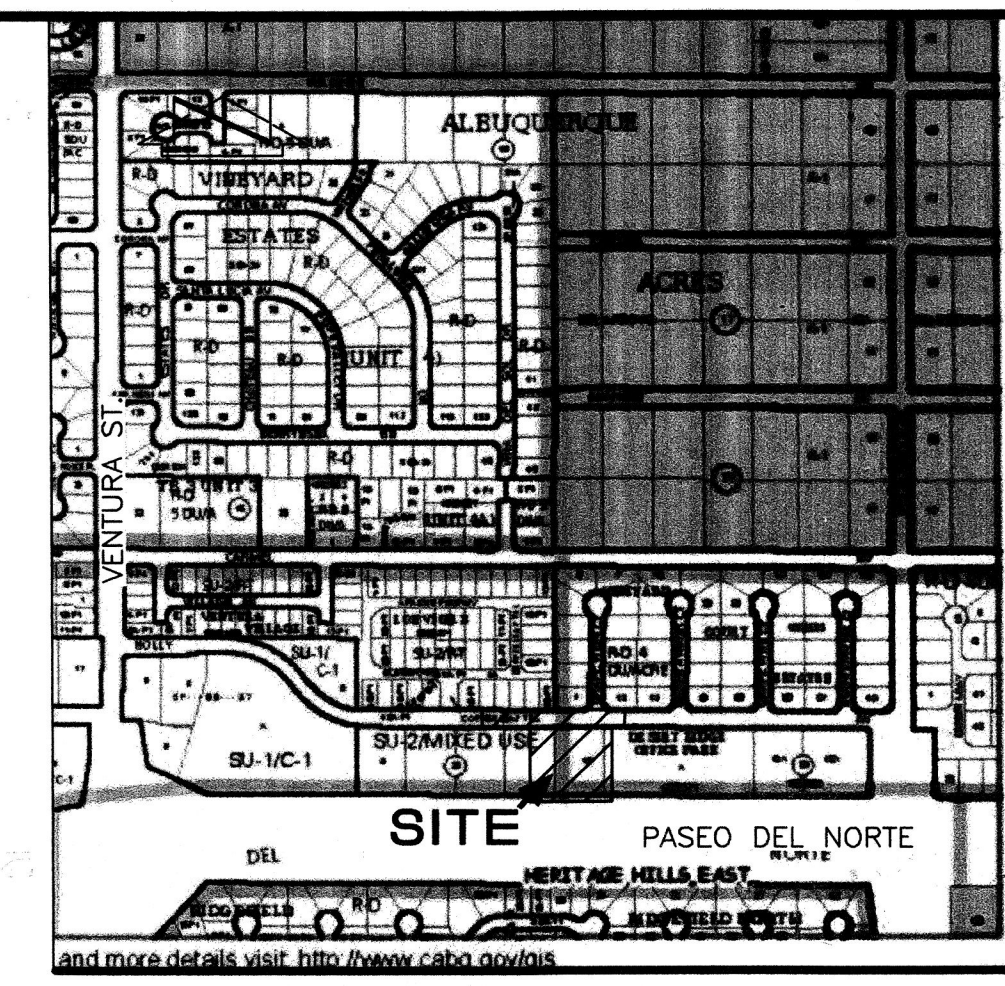
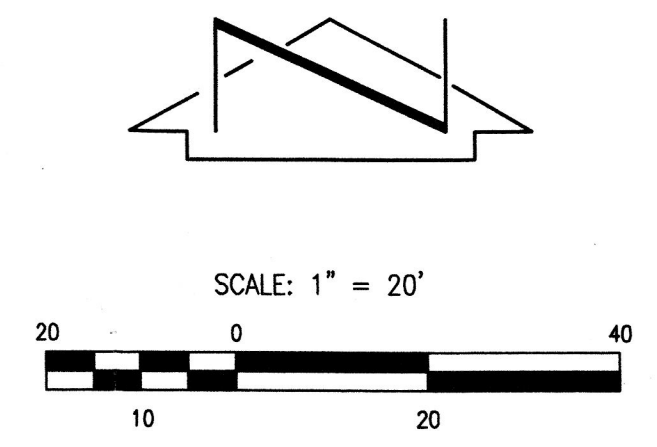


PROJECT # 1005237



- LEGEND (EXISTING)**
- ASPH ASPHALT
  - B BOULDER
  - C COMMUNICATION
  - C&G CURB AND GUTTER
  - CMU CONCRETE MASONRY UNIT
  - CO SANITARY SEWER CLEANOUT
  - CONC CONCRETE
  - EA EDGE OF ASPHALT
  - ET ELECTRIC TRANSFORMER
  - FI FIRE HYDRANT
  - FL FLOWLINE
  - INV INVERT ELEVATION
  - MH MANHOLE
  - OHE(1) OVERHEAD ELECTRIC (# OF LINES)
  - PVC POLYVINYL CHLORIDE
  - RCP REINFORCED CONCRETE PIPE
  - SAS SANITARY SEWER
  - SD STORM DRAIN
  - SI STORM INLET
  - STD STANDARD
  - TA TOP OF ASPHALT
  - TC TOP OF CURB
  - TCO TOP OF CONCRETE
  - TG TOP OF GRATE
  - TR TELEPHONE RISER
  - WL WATERLINE
  - WPP WOOD POWER POLE
  - WS WOOD SIGN
  - DECIDUOUS TREE DECIDUOUS TREE
  - SHRUB SHRUB
  - \* UTILITY MARKER
- LEGEND (PROPOSED)**
- HC HANDICAPPED PARKING
  - MC MOTORCYCLE PARKING
  - PROPOSED CONCRETE
  - PROPOSED ASPHALT PAVING
  - TEMPORARY PAVEMENT
  - SITE LIGHTING (20 FT CUTOFF FIXTURE)
  - RETAINING WALL
  - BENCH
  - COMPACT CAR PARKING SPACE

**BOUNDARY TABLES**

LINE	DIRECTION	DISTANCE
L1	S 00°06'45" W	236.26'
L2	N 89°38'16" W	165.00'
L3	S 00°06'45" W	234.14'
L4	S 89°39'42" E	165.00'
L5	N 89°38'16" W	82.50'
L6	N 00°06'45" E	236.16'
L7	S 89°39'42" E	82.50'

**LEGAL DESCRIPTION:**  
 Lot 10 and the east half of Lot 9, Block 20, North Albuquerque Acres, Tract 3, Unit 3, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 121.

**ZONING:**  
 SU-2/MIXED USE

**PROJECT NUMBER:** 1005237  
**Application Number:** 00-EPG-01001-07DRB00117

Is an Infrastructure List required? (X) Yes ( ) No  
 If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of Public Improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

<i>[Signature]</i>	2-21-07
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	3/5/07
Water Utility Department	Date
<i>[Signature]</i>	2/21/07
Parks and Recreation Department	Date
<i>[Signature]</i>	4/11/07
City Engineer	Date
<i>[Signature]</i>	2/8/07
Public Works Management	Date
<i>[Signature]</i>	2/21/07
DRB Chairperson, Planning Department	Date

This is not a boundary survey; data is shown for orientation only. The boundary information depicted by this plan is based upon the boundary survey prepared by JMA, NMPs no. 11184, dated 10/24/2006. Topographic survey information is based upon a topographic survey prepared by JMA, on 10/24/2006, NMPs no.11184.

- SITE PLAN NOTES**
- SETBACKS SHALL BE AS SHOWN HEREON.
  - TOTAL SQUARE FOOTAGE: 14,298 SF
  - NET LEASABLE AREA = 12,800 SF
  - REQUIRED PARKING = 1 SPACE/200 SF LEASABLE AREA = 64 SPACES
  - PARKING PROVIDED = 66 SPACES FOR CARS + 3 SPACES FOR MOTORCYCLES
  - ACCESSIBLE PARKING REQUIRED = 4 (6 PROVIDED)
  - BICYCLE SPACES REQUIRED = 1/20 VEHICLES SPACES = 4 (8 PROVIDED)
  - MOTORCYCLE PARKING REQUIRED = 3 (3 PROVIDED)
  - ROOF EQUIPMENT SHALL BE SHIELDED FROM VIEW AND SHALL COMPLY WITH LA CUEVA SECTOR DEVELOPMENT PLAN DESIGN GUIDELINE 11R-3
  - SIGN LIGHTING SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT
  - ANY LIGHTING WITHIN 100' OF A RESIDENTIALLY ZONED PROPERTY SHALL BE A MAXIMUM OF 16 FT IN HEIGHT PER ZONING CODE SECTION 14-16-3-9(F).

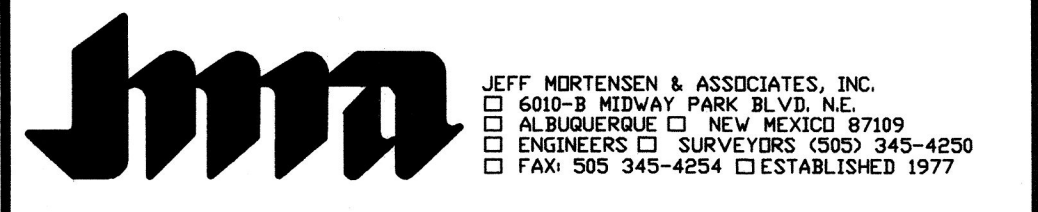
**INDEX OF DRAWINGS**

SHEET	DESCRIPTION
1	SITE PLAN
2	LANDSCAPING PLAN
3	PRELIMINARY GRADING PLAN
4	BUILDING EXTERIOR ELEVATIONS
5	BUILDING EXTERIOR ELEVATIONS
6	SITE DETAILS
7	CONCEPTUAL UTILITY PLAN

AFD PLANS CHECKING OFFICE  
 604-8711  
*[Signature]* 2-8-07  
 Hydrants + access

*[Professional Seal]*  
 GRAEME MEANS  
 13676  
 REGISTERED PROFESSIONAL ENGINEER  
 10/31/06  
 02/05/07

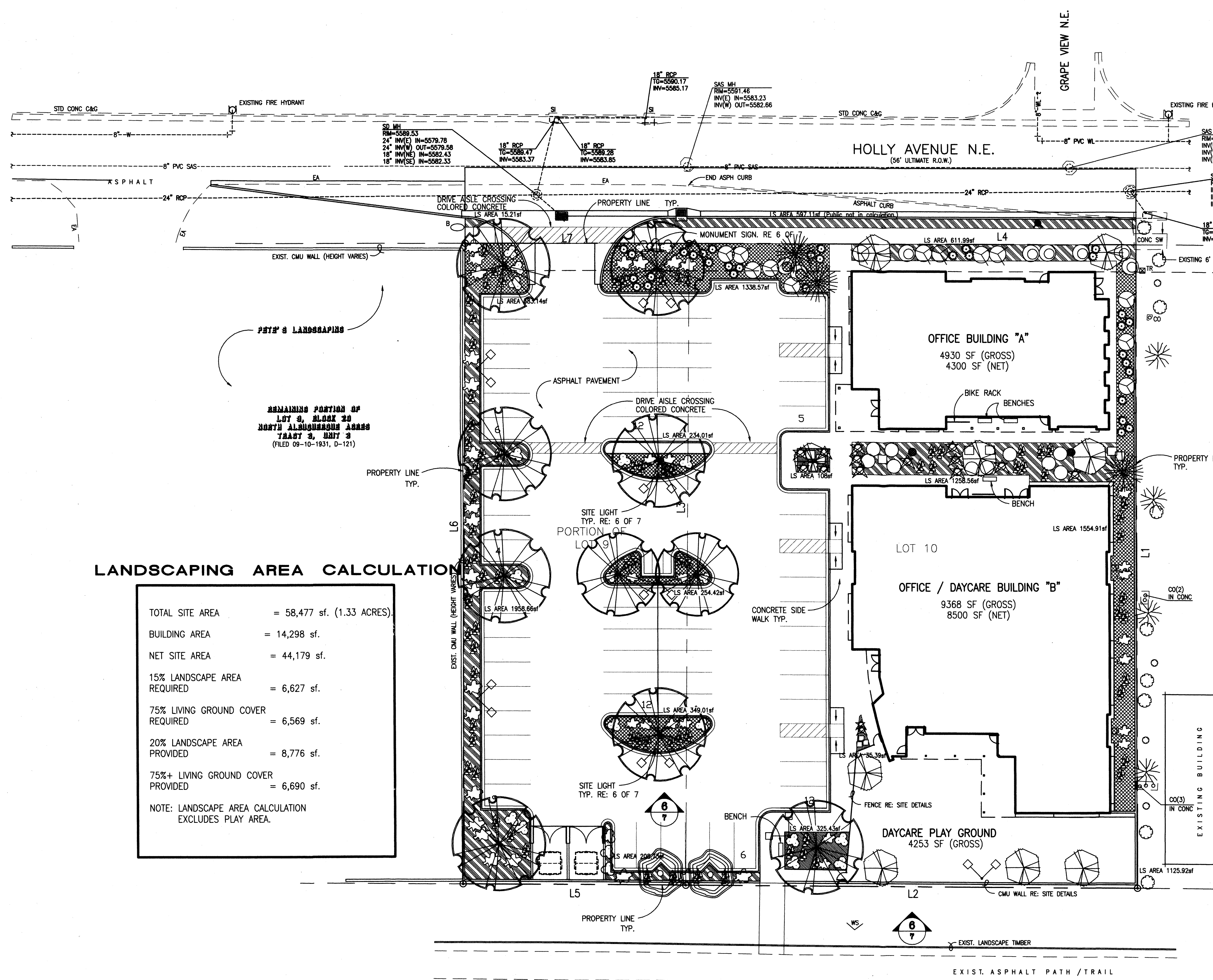
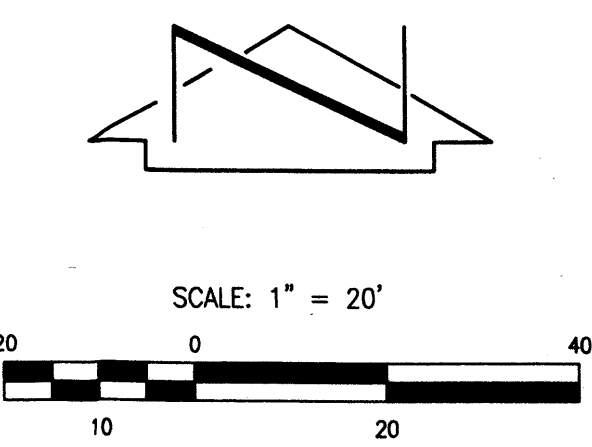
**SITE PLAN FOR BUILDING PERMIT  
 MARK 3S HOLLY DEVELOPMENT**



DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	01/07	G.M.	ADDRESS EPC COMMENTS	2006.070.2
RRW/JLP				DATE 10-2006
G.M.				SHEET 1 OF 7

File Path: E:\JMA\WORK\000001 Plot Date: 02-05-2007 Plot Time: 08:59 am File Name: 60702SPR1.DWG





**LANDSCAPING NOTES:**

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS, MARK 3S.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE OWNERS. ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

**IRRIGATION NOTES**

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1.0 GPH DRIP EMITTERS AND SHRUBS AND PERENNIALS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEM TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS (MARK 3S).

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

TRACT A  
DESERT RIDGE OFFICE PARK  
(FILED 07-01-2004, 2004C-199)

**PLANT LEGEND**

	SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	H	W	WATER REQUIREMENTS	INSTALLED SIZE
TREES		10	QUERCUS TEXANA	RED TEXAS OAK	35'	30'	MEDIUM WATER USE	24" BOX MULTI TRUNK
		3	PINUS EDULIS	PINON	25'	20'	MEDIUM WATER USE	8' - 9' B+B
		7	VITEX AGUS-CASTUS	CHASTE TREE	20'	15'	LOW WATER USE	24" BOX MULTI TRUNK
SHRUBS		2	CHITALPA TASHKENTENSIS	CHITALPA	30'	20'	LOW WATER USE	2" CALIPER
		77	ROSMARINUS OFFICINALIS 'ARP'	ROSEMARY	3'	4'	LOW WATER USE	1 GALLON OR 5 GALLON
		28	ROSMARINUS OFFICINALIS 'HUNINGTON CARPET' OR 'PROSTRATA'	ROSEMARY	1'	3'	LOW WATER USE	1GALLON
		24	ERICAMERIA LARICIFOLIA	TURPENTINE BUSH	2'	2'	LOW WATER USE	1GALLON
		8	ARTEMISIA CANA	SILVER SAGE	6'	4'	LOW WATER USE	1GALLON
ORNAMENTAL GRASS		17	CHRYSOTHAMNUS NAUSEOSUS	DWARF CHAMISA	2'	3'	LOW WATER USE	1GALLON
		41	MISCANTHUS SINENSIS 'PURPURASCENS'	AUTUMN MAIDEN GRASS	5'	4'	MEDIUM WATER USE	5 GALLON
PERENNIALS		11	MUHLENBERGIA RIGENS	DEER GRASS	3'	3'	LOW WATER USE	1 GALLON
		34	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	1.5'	1.5'	LOW WATER USE	1GALLON
MULCH							3/4" GRAVEL GROUND COVER	
							CRUSHER FINES GROUND COVER	
		4038 SF					SANTA FE NATIVE GRASS SEED MIX.	

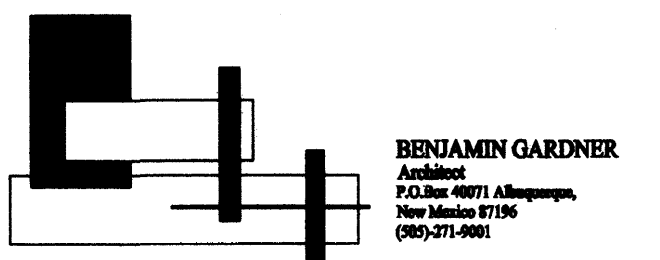
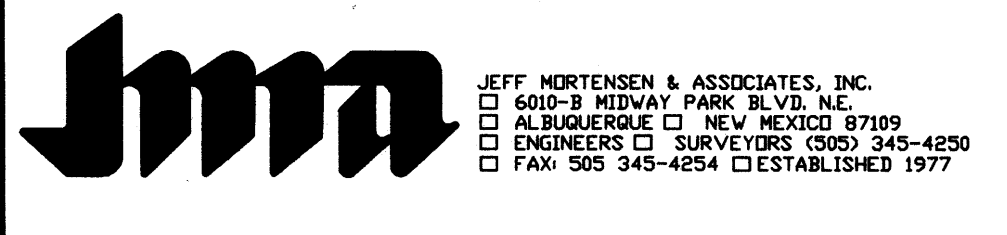
**LANDSCAPING AREA CALCULATION**

TOTAL SITE AREA	= 58,477 sf. (1.33 ACRES)
BUILDING AREA	= 14,298 sf.
NET SITE AREA	= 44,179 sf.
15% LANDSCAPE AREA REQUIRED	= 6,627 sf.
75% LIVING GROUND COVER REQUIRED	= 6,569 sf.
20% LANDSCAPE AREA PROVIDED	= 8,776 sf.
75%+ LIVING GROUND COVER PROVIDED	= 6,690 sf.
NOTE: LANDSCAPE AREA CALCULATION EXCLUDES PLAY AREA.	

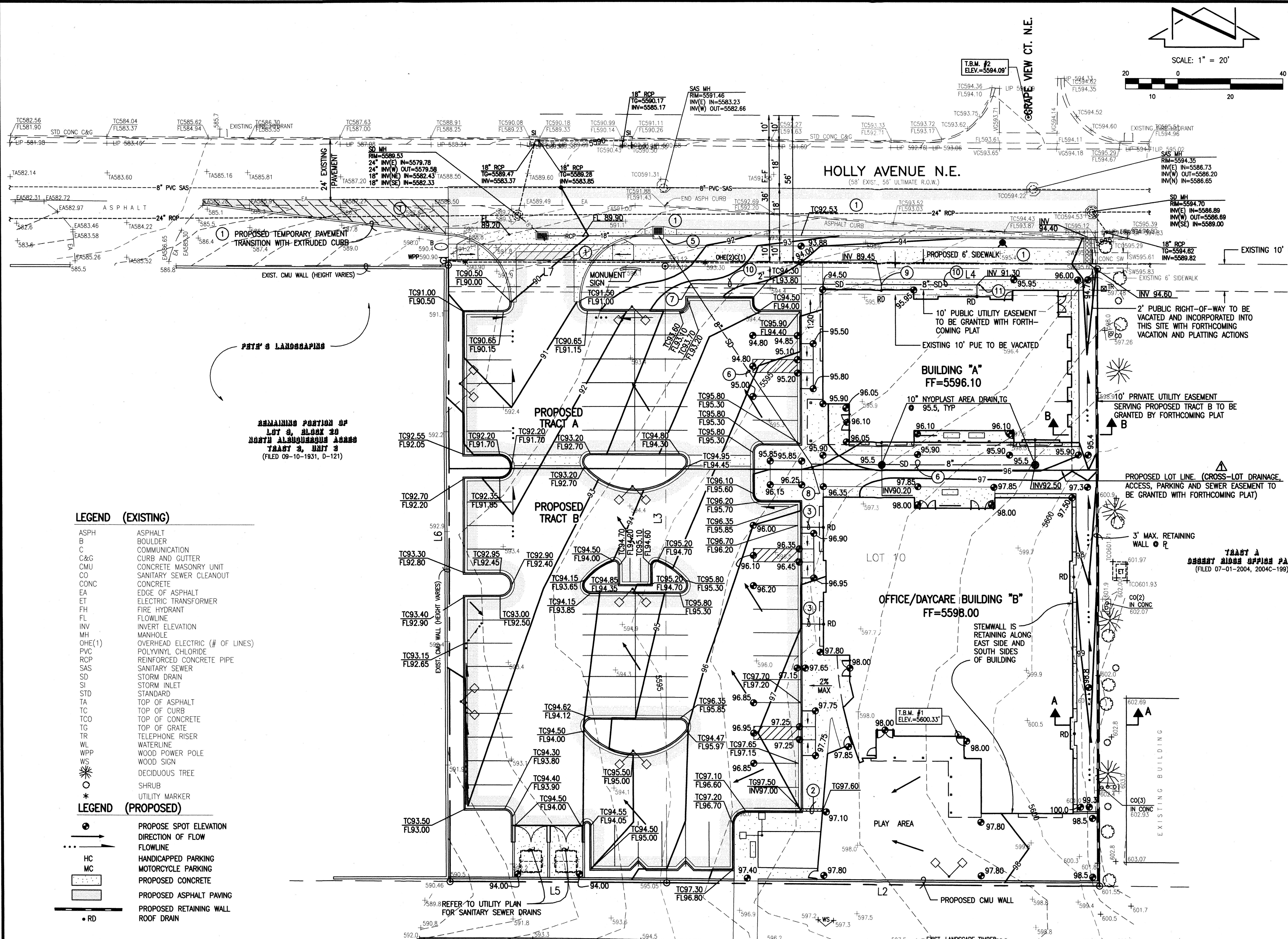
**LANDSCAPE PLAN**  
**MARK 3S HOLLY DEVELOPMENT**

DESIGNED BY	B.G.	DATE	1/25/07	BY	B.G.	REVISIONS	JOB NO.	2006.070.2
DRAWN BY	RRW / B.G.					REVISIONS PER EPC APPROVAL CONDITIONS.	DATE	09-2006
APPROVED BY	G.M.						SHEET	2 OF 7

File Path: E:\WORK\060702\LP01\_31.DWG  
 Plot Date: 02-05-2007  
 Plot Time: 08:53 am





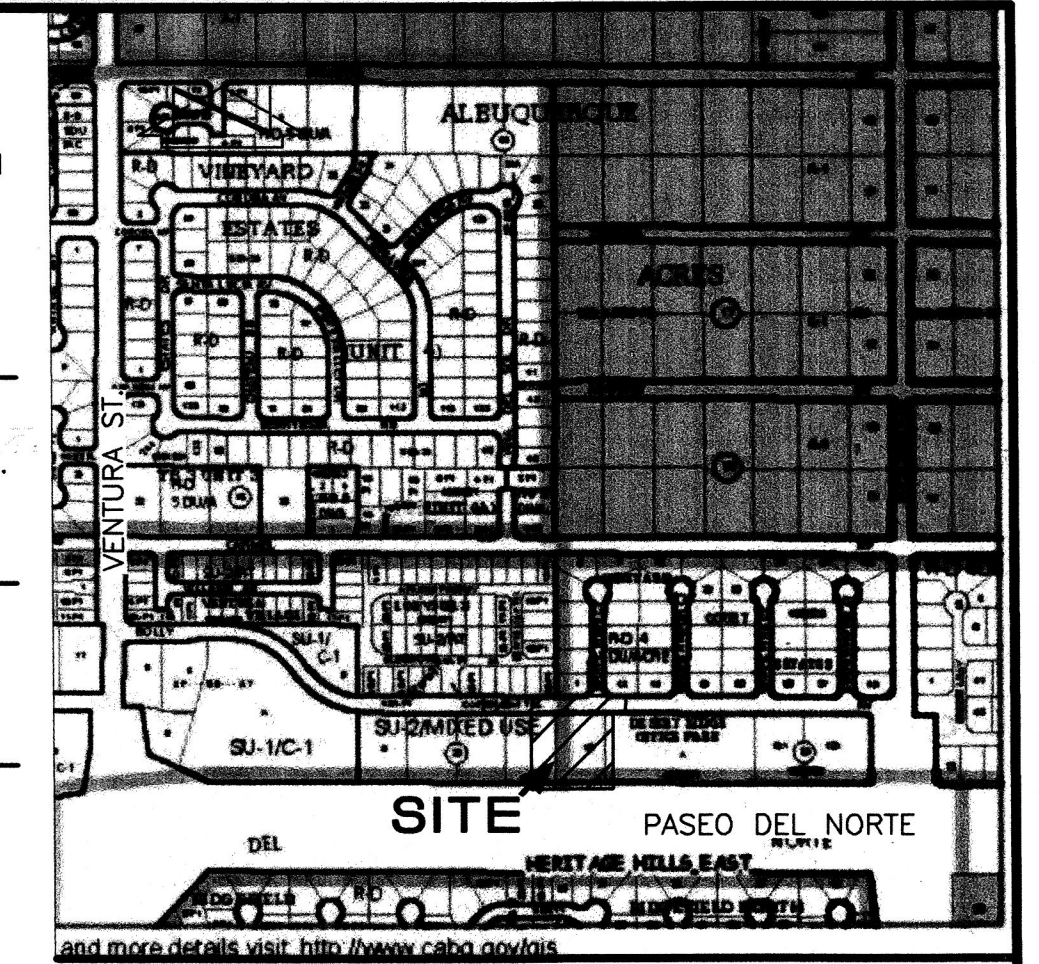


**LEGAL DESCRIPTION:**  
 LOT 10 AND THE EAST HALF OF LOT 9, BLOCK 20, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931, BOOK D, PAGE 121.

**PROJECT BENCHMARK**  
 STANDARD ACS BRASS TABLET STAMPED, "1-B20", SET IN TOP OF A CONCRETE POST, AT THE NORTHEAST INTERSECTION OF BARSTOW STREET AND MODESTO AVENUE. ELEVATION = 5474.51 FEET (NGVD 1929)

**T.B.M. #1**  
 REBAR #5 WITH CAP STAMPED, "JMA CONTROL NMPS 11184", AS SHOWN ON THIS SHEET. ELEVATION = 5600.33 FEET (NGVD 1929)

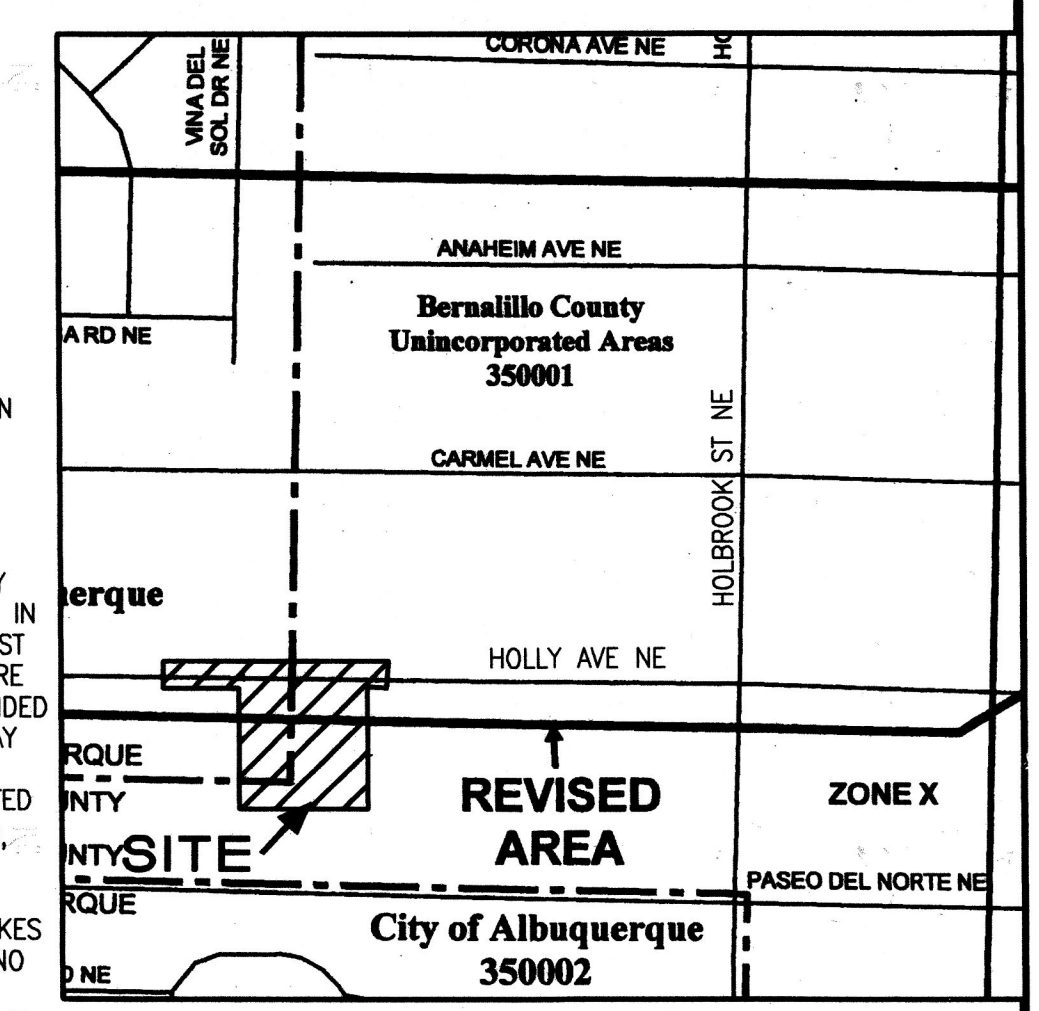
**T.B.M. #2**  
 ALUMINUM CAP STAMPED, "PLS #11184", AS SHOWN ON THIS SHEET. ELEVATION = 5594.09 FEET (NGVD 1929)



**VICINITY MAP**  
 SCALE: 1" = 750'

**CONSTRUCTION NOTES:**

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY NOT BE COMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.



**F.I.R.M. PANEL 142 OF 825**  
 SCALE: 1" = 500' REVISED 3/23/2004

**LEGEND (EXISTING)**

- ASPH ASPHALT
- B BOULDER
- C CURB AND GUTTER
- C&G CONCRETE MASONRY UNIT
- CMU CONCRETE MASONRY UNIT
- CO SANITARY SEWER CLEANOUT
- CONC CONCRETE
- EA EDGE OF ASPHALT
- ET ELECTRIC TRANSFORMER
- FL FLOWLINE
- FH FIRE HYDRANT
- FL FLOWLINE
- INV INVERT ELEVATION
- MH MANHOLE
- OE(1) OVERHEAD ELECTRIC (# OF LINES)
- PVC POLYVINYL CHLORIDE
- RCP REINFORCED CONCRETE PIPE
- SAS SANITARY SEWER
- SD STORM DRAIN
- SI STORM INLET
- STD STANDARD
- TA TOP OF ASPHALT
- TC TOP OF CURB
- TCO TOP OF CONCRETE
- TR TOP OF GRATE
- TEL TELEPHONE RISER
- WL WATERLINE
- WPP WOOD POWER POLE
- WS WOOD SIGN
- DECIDUOUS TREE
- SHRUB
- UTILITY MARKER

**LEGEND (PROPOSED)**

- PROPOSE SPOT ELEVATION
- DIRECTION OF FLOW
- FLOWLINE
- HANDICAPPED PARKING
- MOTORCYCLE PARKING
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVING
- PROPOSED RETAINING WALL
- ROOF DRAIN

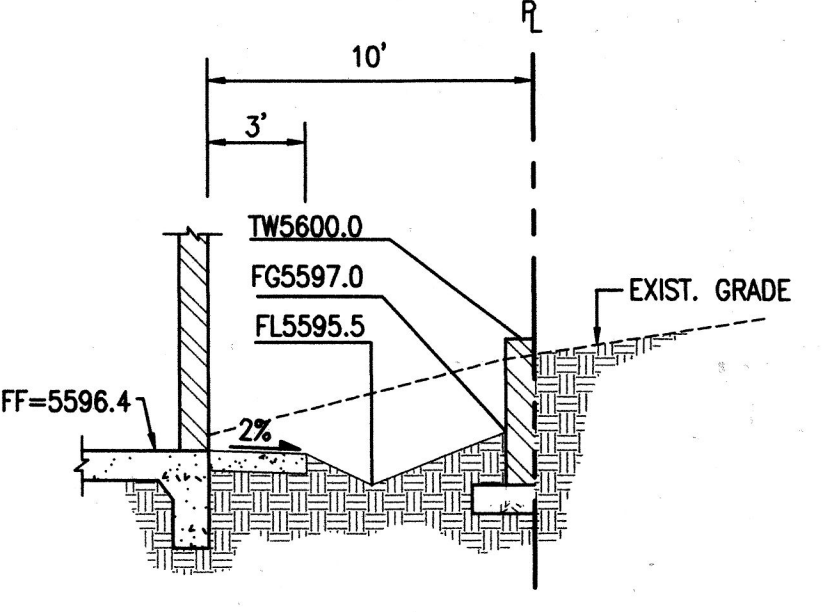
**BOUNDARY TABLES**

LINE	DIRECTION	DISTANCE
L1	S 00°06'45" W	236.26'
L2	N 89°38'16" W	165.00'
L3	S 00°06'45" W	234.14'
L4	S 89°39'42" E	165.00'
L5	N 89°38'16" W	82.50'
L6	N 00°06'45" E	236.16'
L7	S 89°39'42" E	82.50'

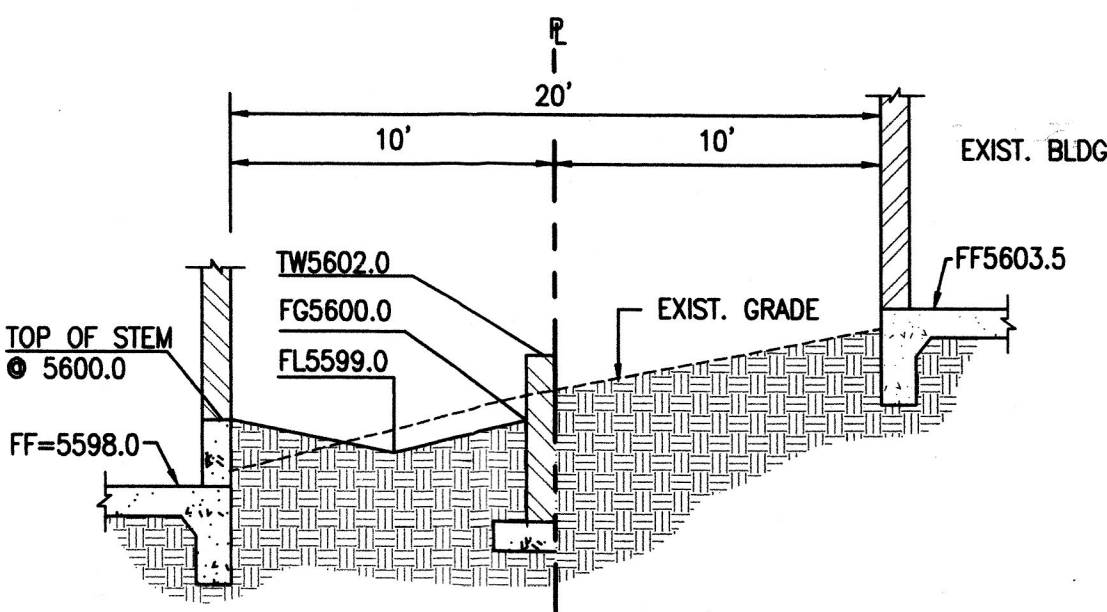
This is not a boundary survey; data is shown for orientation only. The boundary information depicted by this plan is based upon the boundary survey prepared by JMA, NMPS no. 11184, dated 10/24/2006. Topographic survey information is based upon a topographic survey prepared by JMA, on 10/24/2006, NMPS no.11184.

**KEYED NOTES**

- HOLLY AVENUE N.E. IMPROVEMENTS TO BE CONSTRUCTED BY CITY WORK ORDER
- CONSTRUCT 12" SIDEWALK CULVERT PER COA STD DWG 2236
- DAYLIGHT ROOF DRAIN THROUGH CURB
- 24" SIDEWALK CULVERT BY CITY WORK ORDER
- CONNECTION TO STORM INLET BY S0#19 PERMIT. INV 85.00
- INSTALL 8" HDPE (SMOOTH INTERIOR) STORM DRAIN @ S = 0.04 (4%)
- INSTALL 8" HDPE WYE, INV 85.80
- INSTALL 8" HDPE WYE W/ CLEANOUT TO GRADE. INV 89.10
- INSTALL 8" WYE, CONNECT TO ROOF DRAIN
- INSTALL 8" HDPE (SMOOTH INTERIOR) STORM DRAIN @ S = 0.0500 (5%)
- INSTALL CLEANOUT TO GRADE

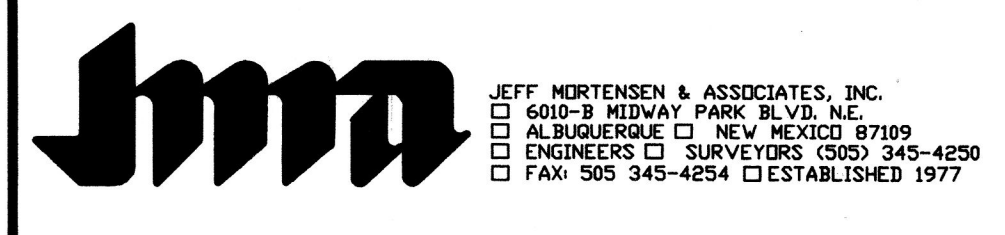


**SECTION B-B**  
 SCALE: 1" = 6'



**SECTION A-A**  
 SCALE: 1" = 6'

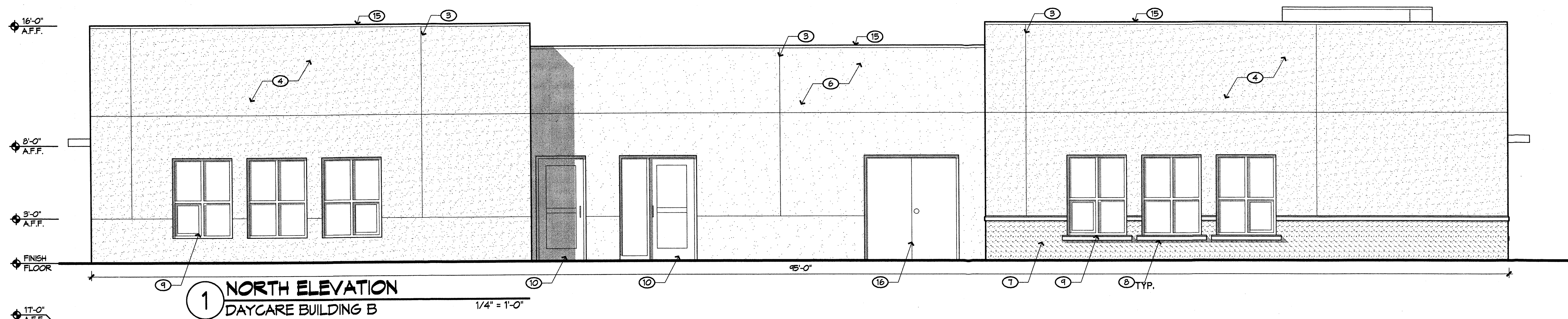
**J. GRAEME MEANS**  
 NEW MEXICO  
 13676  
 PROFESSIONAL ENGINEER  
 02/05/07



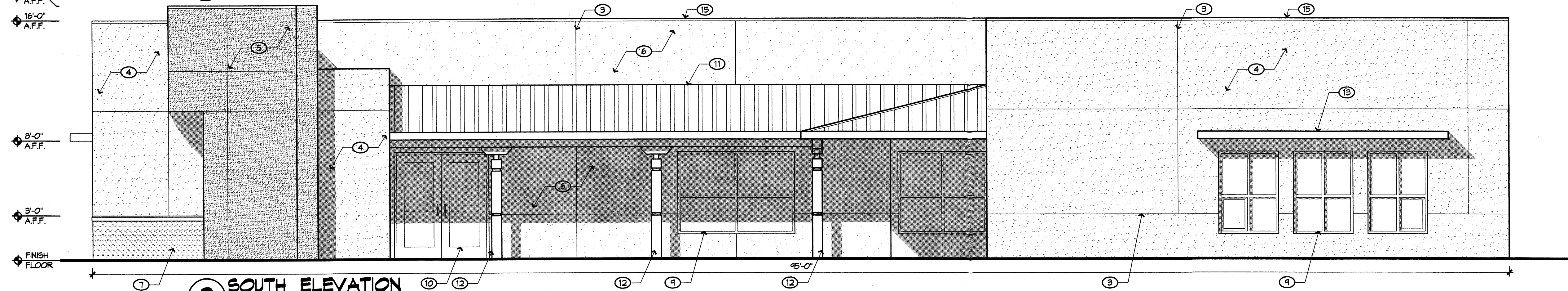
**GRADING PLAN**  
**MARK 3S HOLLY DEVELOPMENT**

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	01/07	G.M.	ADDRESS EPC COMMENTS, ADDED DETAIL FOR CONSTRUCTION	2006.070.2/6
DRAWN BY		RRV/JLP		DATE 10-2006
APPROVED BY		G.M.		SHEET 3 OF 7

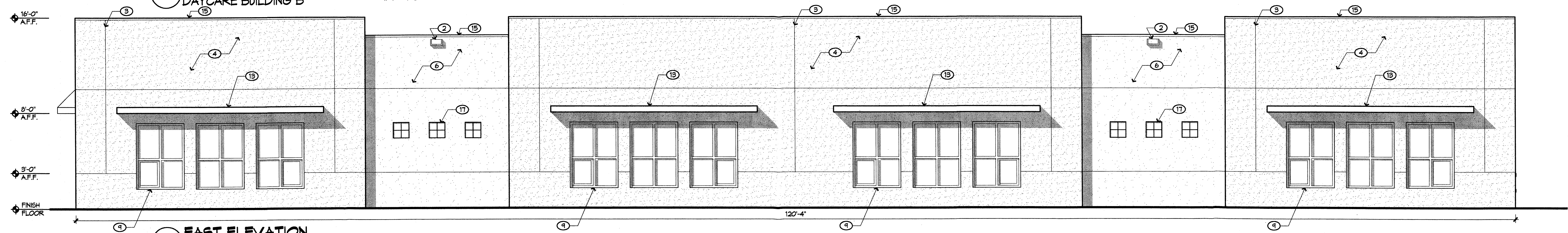




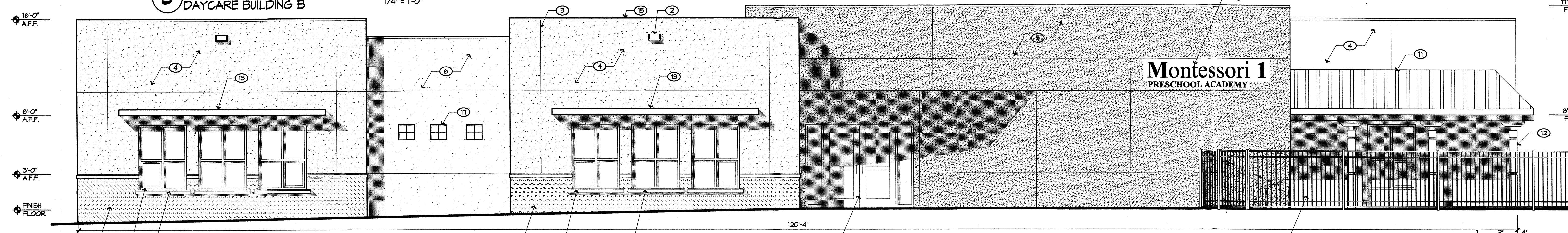
**1 NORTH ELEVATION**  
DAYCARE BUILDING B  
1/4" = 1'-0"



**2 SOUTH ELEVATION**  
DAYCARE BUILDING B  
1/4" = 1'-0"

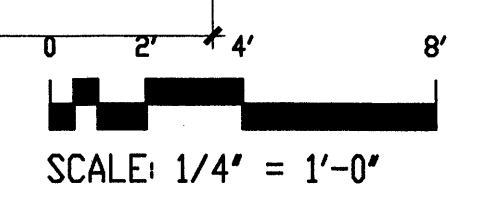


**3 EAST ELEVATION**  
DAYCARE BUILDING B  
1/4" = 1'-0"



**4 WEST ELEVATION**  
DAYCARE BUILDING B  
1/4" = 1'-0"

- GENERAL NOTES:**
- A. ALL ROOF EQUIPMENT WILL BE SHIELDED FROM VIEW AND SHALL COMPLY WITH LA CUEVA SECTOR DEVELOPMENT PLAN GUIDELINE 11A-3
- KEYED NOTES:**
1. PIN MOUNTED METAL BUILDING LETTERS/SIGNAGE TYPICAL. PRIMARY TITLE 16" TALL. SECONDARY TITLE 6" TALL. MEDIUM BRONZE COLOR.
  2. OVERFLOW SCUPPER TYPICAL. PAINTED TO MATCH ADJACENT STUCCO.
  3. STUCCO CONTROL JOINT TYPICAL.
  4. STUCCO, COLOR = EL REY BUFF (TAN) COLOR #2847 (ROYAL FINISH)
  5. STUCCO, COLOR = EL REY MERLOT RED (DARK RED) COLOR # 2006-10 (COARSE FINISH)
  6. STUCCO, COLOR = EL REY RIO BRAVO (BROWN) COLOR #2475 (COARSE FINISH)
  7. STACKED CULTURED STONE VENEER.
  8. PRE-CAST INTEGRALLY COLORED CONCRETE WINDOW SILL. COLOR TO COMPLEMENT STONE VENEER.
  9. ANODIZED ALUMINUM WINDOWS. MEDIUM BRONZE FINISH WITH BLUE GREEN TINTED GLAZING.
  10. ANODIZED ALUMINUM STOREFRONT. MEDIUM BRONZE FINISH WITH BLUE GREEN GLAZING.
  11. FACTORY FINISHED METAL ROOFING PANELS. MEDIUM BRONZE COLOR.
  12. DECORATIVE STEEL COLUMNS AND STEEL CORBELS. PAINT FINISH, OFF WHITE COLOR (ICI OLD NAVAJO COLOR).
  13. STEEL SUNSHADE. OFF WHITE COLOR (ICI OLD NAVAJO COLOR).
  14. NOT USED
  15. PAINTED METAL COPING. COLOR TO MATCH ADJACENT STUCCO.
  16. PAINTED HOLLOW METAL MECHANICAL ROOM DOOR. MEDIUM BRONZE PAINT FINISH.
  17. CLEAR GLASS BLOCK.
  18. PAINTED METAL 5' TALL PLAY AREA FENCE. COLOR MEDIUM BRONZE.



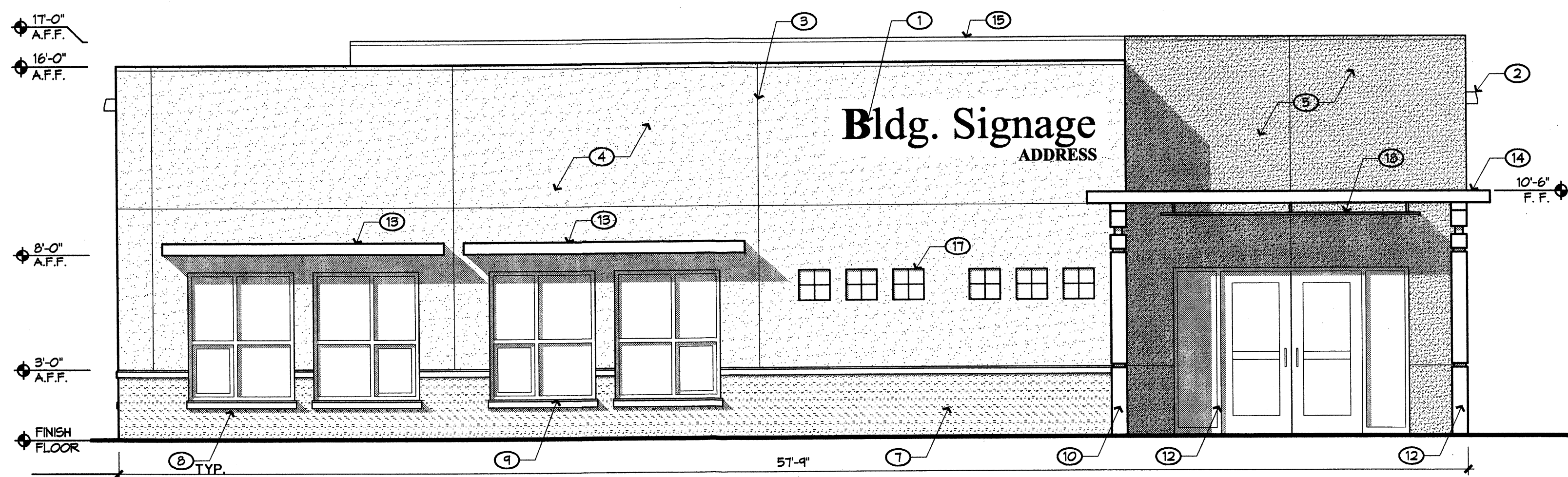
**jma**  
JEFF MORTENSEN & ASSOCIATES, INC.  
6800-B WINDWAY PARK BLVD. NE  
ALBUQUERQUE, NEW MEXICO 87109  
ENGINEERS & SURVEYORS (CID) 945-4850  
FAX: 505-343-4254 • ESTABLISHED 1977

**BENJAMIN GARDNER**  
Architect  
P.O. Box 40711 Albuquerque,  
New Mexico 87116  
(505) 271-9666

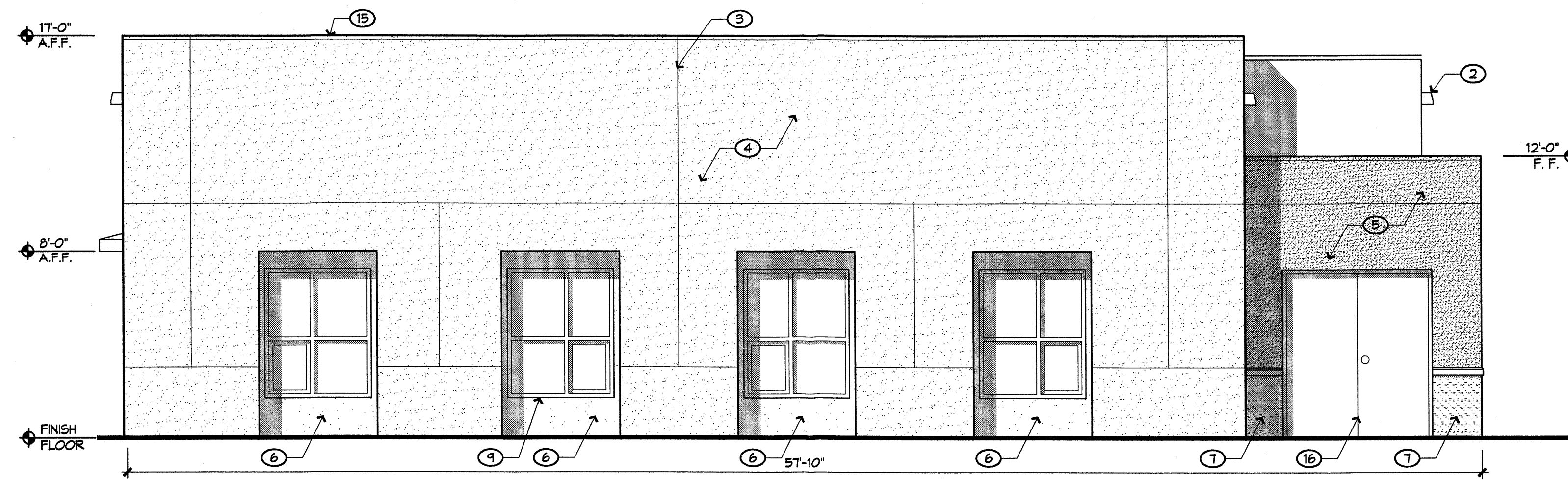
**ELEVATIONS BUILDING B**  
**MARK 3S HOLLY DEVELOPMENT**

DESIGNED BY	B.G.	NO.	DATE	BY	REVISIONS	JOB NO.
DRAWN BY	T.N.	1	1/25/07	BG	REVISIONS PER EPC APPROVAL CONDITIONS.	2006.070.2
APPROVED BY						DATE
						10-2006
						SHEET
						4 OF 7

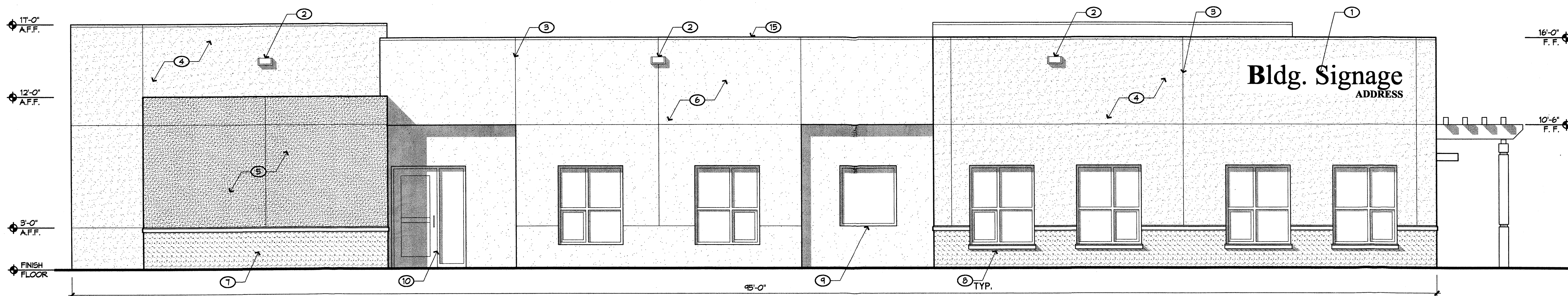




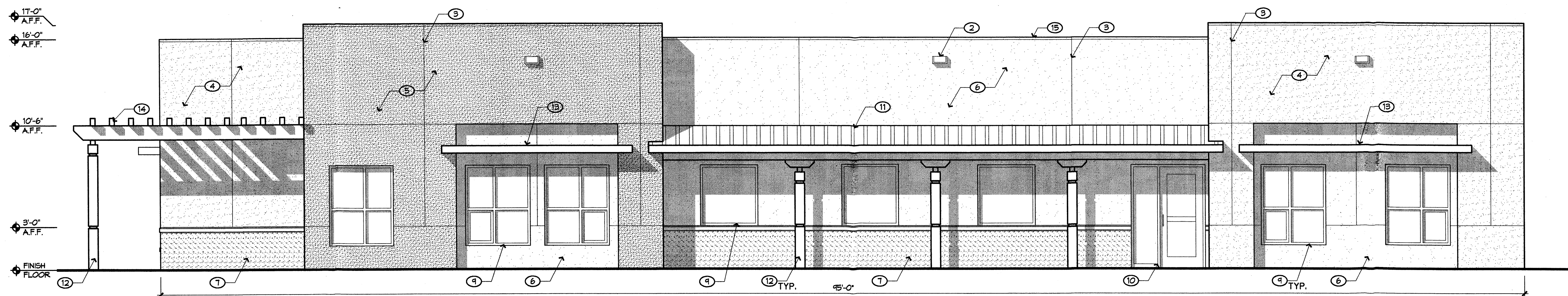
**1 WEST ELEVATION**  
OFFICE BUILDING A  
1/4" = 1'-0"



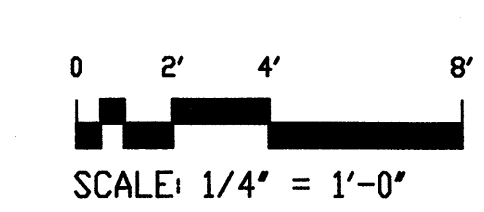
**2 EAST ELEVATION**  
OFFICE BUILDING A  
1/4" = 1'-0"



**3 NORTH ELEVATION**  
OFFICE BUILDING A (HOLLY)  
1/4" = 1'-0"



- GENERAL NOTES:**  
A. ALL ROOF EQUIPMENT WILL BE SHIELDED FROM VIEW AND SHALL COMPLY WITH LA CUEVA SECTOR DEVELOPMENT PLAN GUIDELINE 11R-3
- KEYED NOTES:**
1. PIN MOUNTED METAL BUILDING LETTERS/SIGNAGE TYPICAL. PRIMARY TITLE 18" TALL, SECONDARY TITLE 6" TALL. MEDIUM BRONZE COLOR.
  2. OVERFLOW SCUPPER TYPICAL. PAINTED TO MATCH ADJACENT STUCCO.
  3. STUCCO CONTROL JOINT TYPICAL.
  4. STUCCO, COLOR = EL REY BUFF (LIGHT TAN) COLOR #2647 (ROYAL FINISH)
  5. STUCCO, COLOR = EL REY MERLOT RED (DARK RED) COLOR # 2006-10 (COURSE FINISH)
  6. STUCCO, COLOR = EL REY RIO BRANCO (BROWN) COLOR #2475 (COURSE FINISH)
  7. STACKED CULTURED STONE VENEER.
  8. PRE-CAST INTEGRALLY COLORED CONCRETE WINDOW SILL. COLOR TO COMPLEMENT STONE VENEER.
  9. ANODIZED ALUMINUM WINDOWS. MEDIUM BRONZE FINISH WITH BLUE GREEN TINTED GLAZING.
  10. ANODIZED ALUMINUM STOREFRONT. MEDIUM BRONZE FINISH WITH BLUE GREEN GLAZING.
  11. FACTORY FINISHED METAL ROOFING PANELS. MEDIUM BRONZE COLOR.
  12. DECORATIVE STEEL COLUMNS AND STEEL CORBELS. PAINT FINISH, OFF WHITE COLOR (CI. OLD HAWAII COLOR).
  13. STEEL SUNSHADE. OFF WHITE COLOR (CI. OLD HAWAII COLOR).
  14. NOT USED
  15. PAINTED METAL COPING. COLOR TO MATCH ADJACENT STUCCO.
  16. PAINTED HOLLOW METAL MECHANICAL ROOM DOOR. MEDIUM BRONZE PAINT FINISH.
  17. CLEAR GLASS BLOCK.
  18. PAINTED METAL 5' TALL PLAY AREA FENCE. COLOR MEDIUM BRONZE.



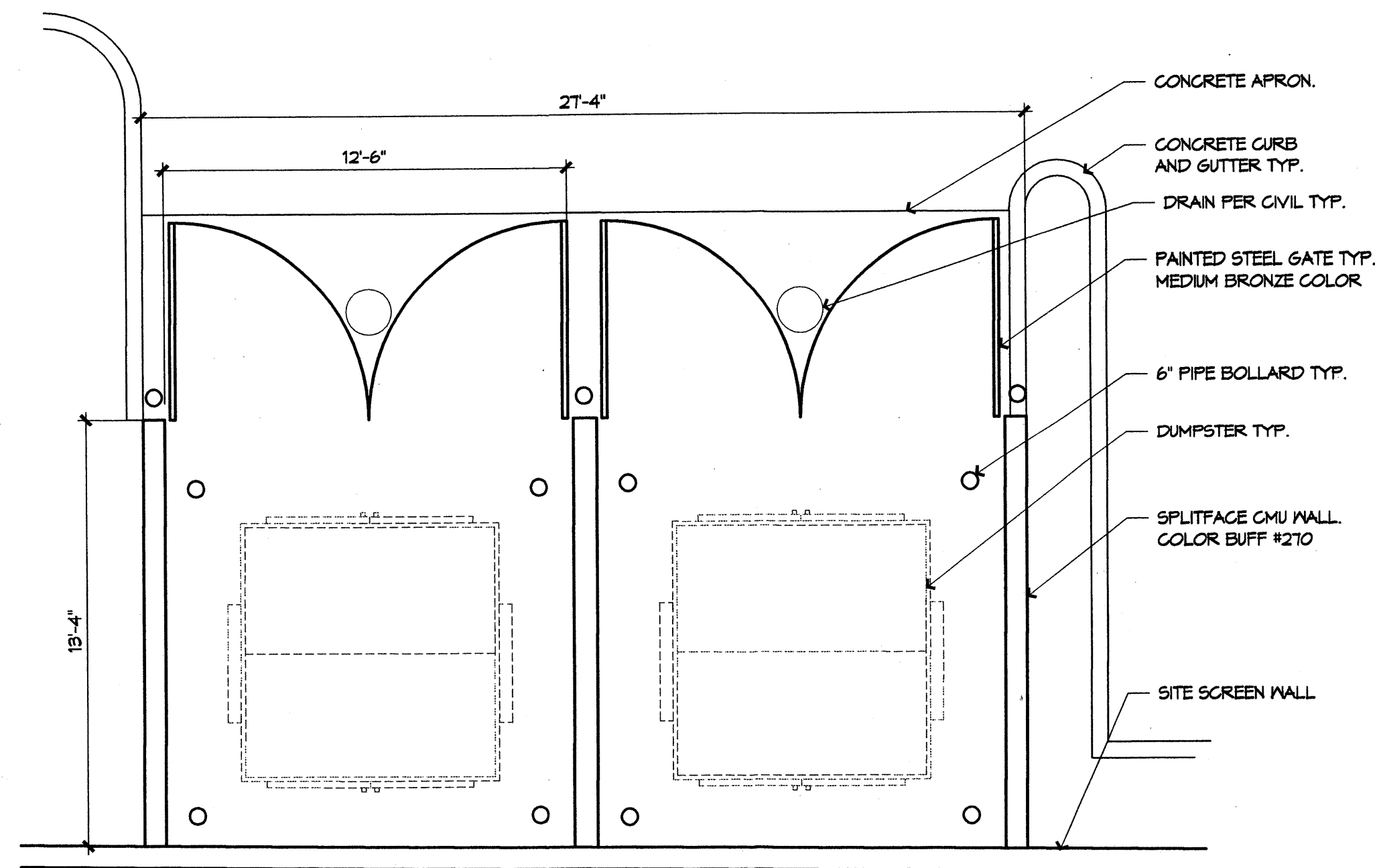
**JMA**  
JEFF MORTENSEN & ASSOCIATES, INC.  
6810-B MIDWAY PARK BLVD. NE  
ALBUQUERQUE, NEW MEXICO 87109  
ENGINEERS & SURVEYORS (SWS) 343-4250  
FAX: 505-343-4254 ESTABLISHED 1977

**BENJAMIN GARDNER**  
Architect  
P.O. Box 49011 Albuquerque,  
New Mexico 87146  
(505) 271-9661

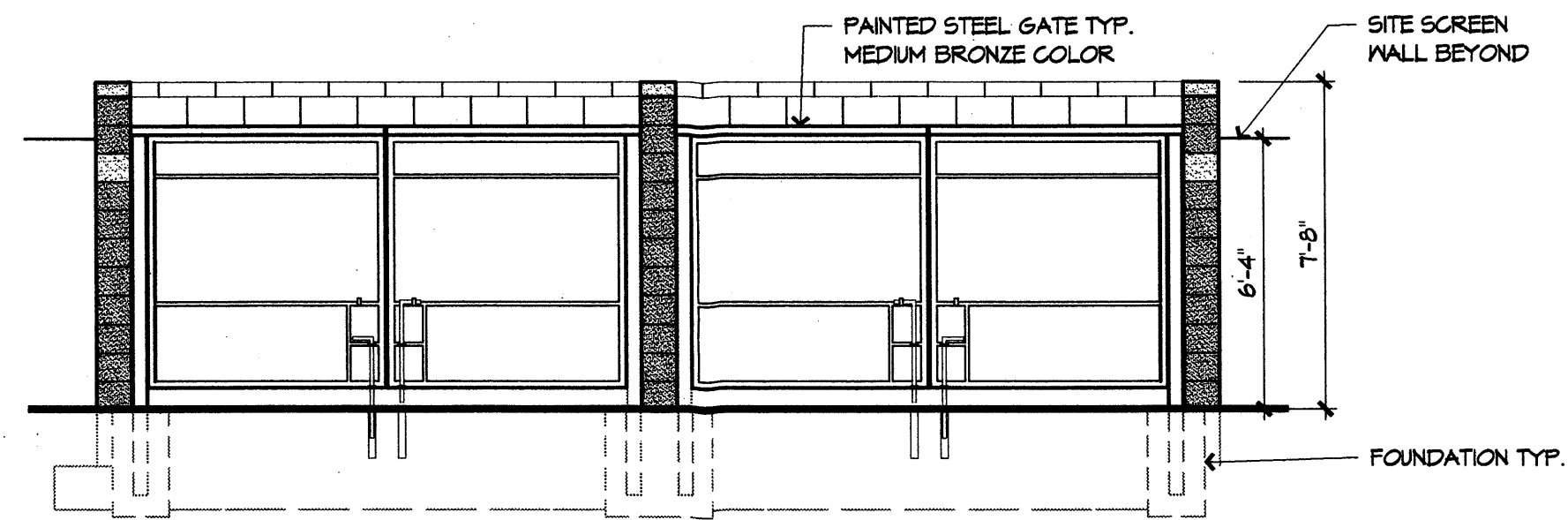
**ELEVATIONS BUILDING A**  
**MARK 3S HOLLY DEVELOPMENT**

DESIGNED BY	B.G.	NO.	DATE	BY	REVISIONS	JOB NO.
DRAWN BY	T.N.	1	1/25/07	BG	REVISIONS PER EPC APPROVAL CONDITIONS.	2006.070.2
APPROVED BY						DATE
						10-2006
						SHEET
						5 OF 7

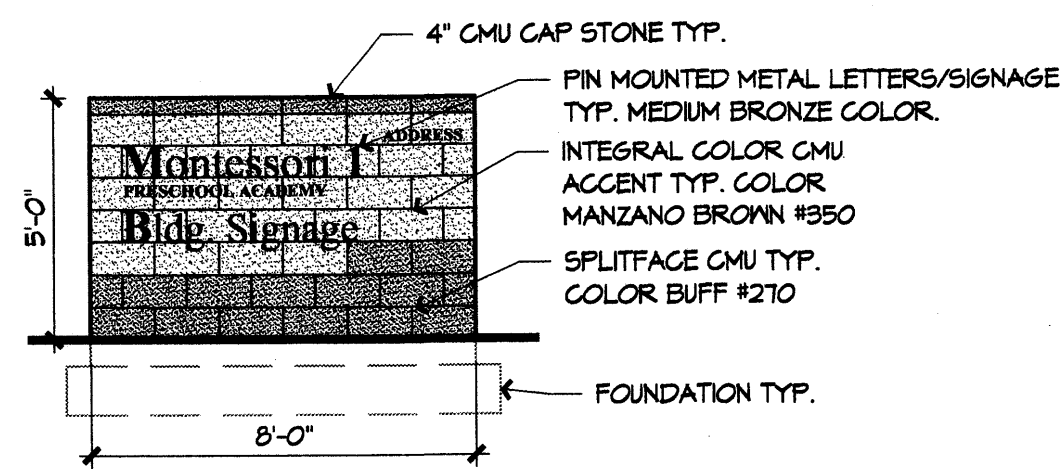




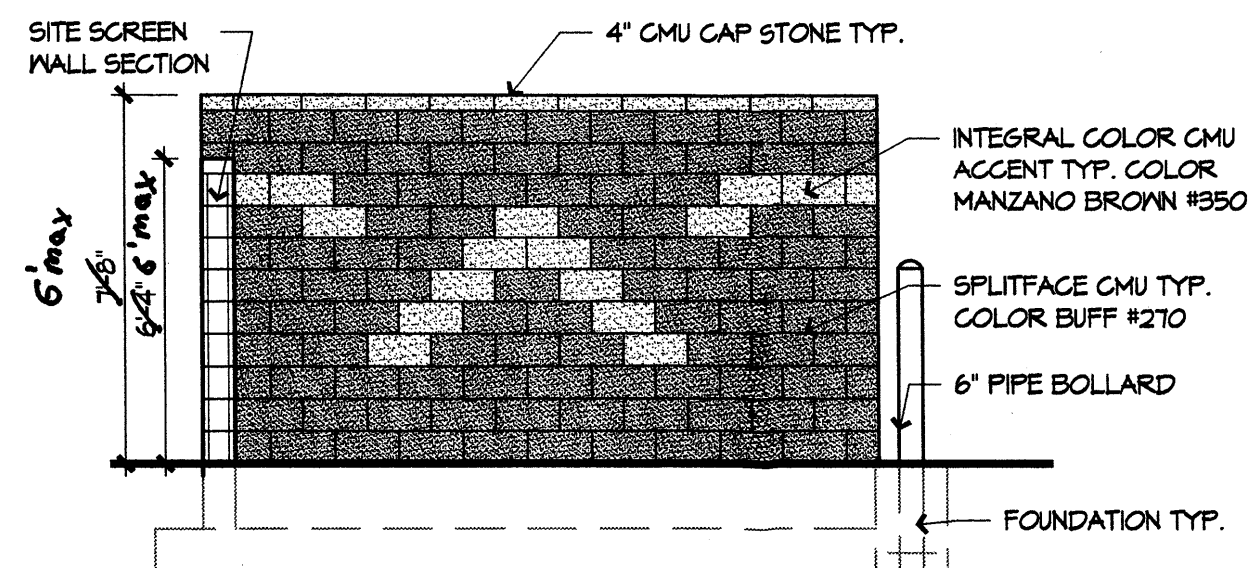
**1 REFUSE ENCLOSURE**  
PLAN  
1/4" = 1'-0"



**2 REFUSE ENCLOSURE**  
FRONT ELEVATION  
1/4" = 1'-0"

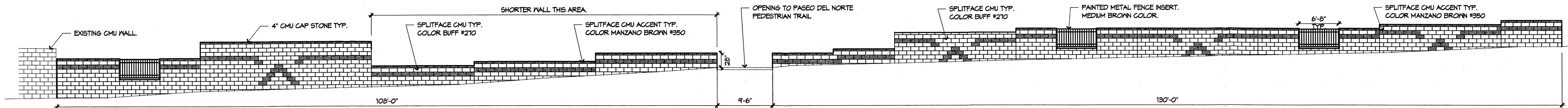
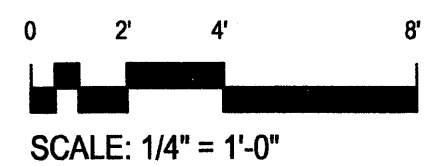


**3 MONUMENT SIGN**  
ELEVATION  
1/4" = 1'-0"  
NOTE: SIGN = 40 SF.



**4 REFUSE ENCLOSURE**  
SIDE ELEVATIONS TYPICAL  
1/4" = 1'-0"

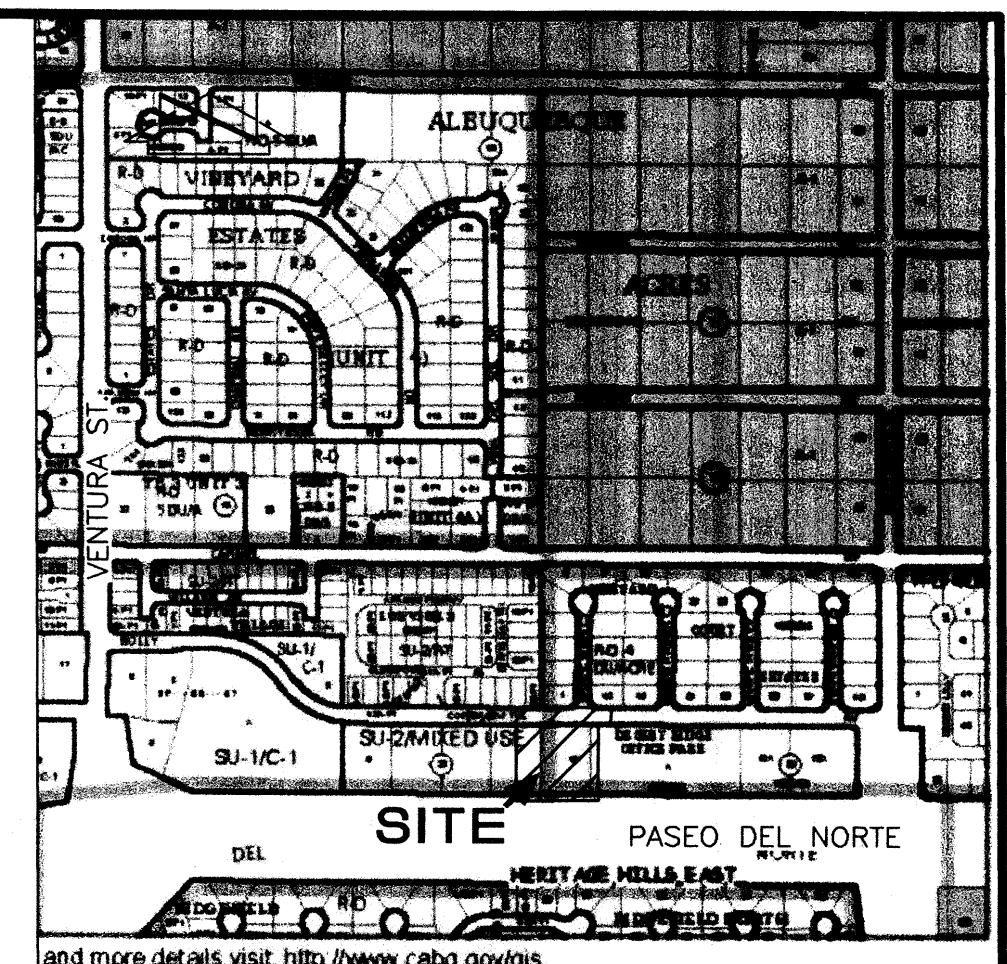
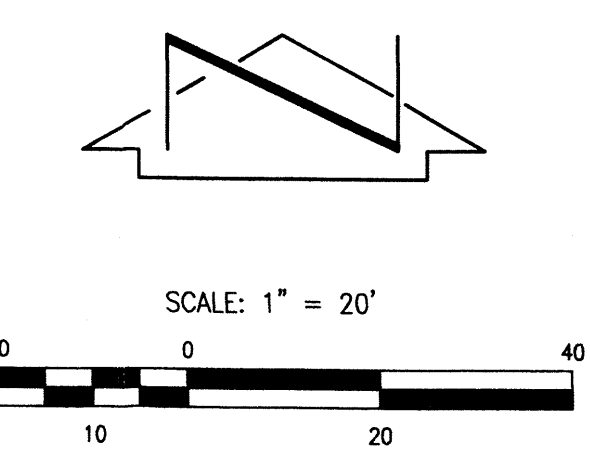
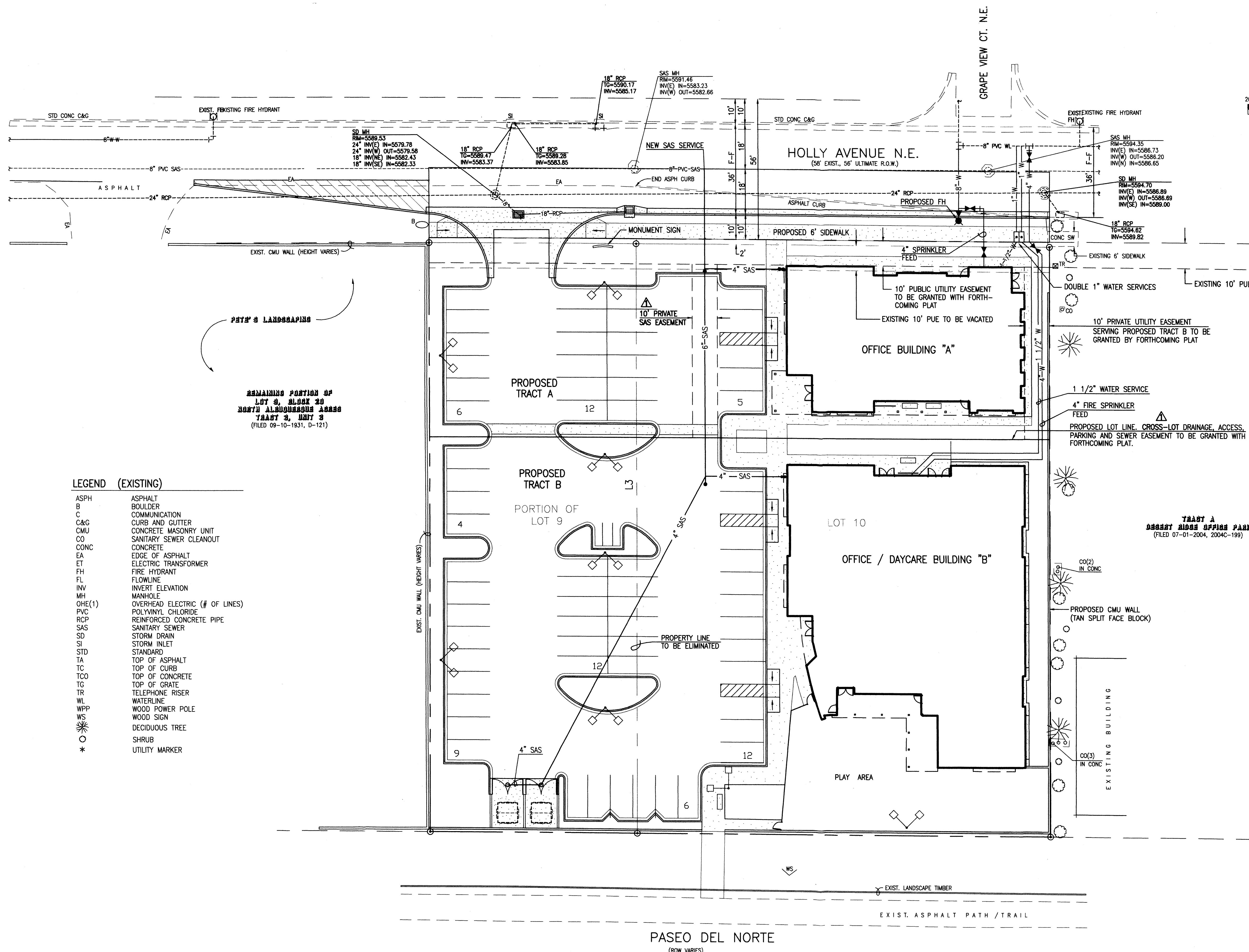
**5 SITE POLE LIGHTS**  
CUTSHEETS  
NOTE: POLES = 20' TALL.  
NTS



**6 CMU SCREEN WALL**  
PASEO DEL NORTE ELEVATION.  
1/8" = 1'-0"

NO.	DATE	BY	REVISIONS
1	1/25/07	BG	REVISIONS PER EPC APPROVAL CONDITIONS.





VICINITY MAP  
SCALE: 1" = 750'

**LEGAL DESCRIPTION:**  
 Lot 10 and the east half of Lot 9, Block 20, North Albuquerque Acres, Tract 3, Unit 3, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 121.

**LEGEND (EXISTING)**

ASPH	ASPHALT
B	BOULDER
C	COMMUNICATION CURB AND GUTTER
C&G	CONCRETE MASONRY UNIT
CMU	SANITARY SEWER CLEANOUT
CO	CONCRETE
CONC	CONCRETE
EA	EDGE OF ASPHALT
ET	ELECTRIC TRANSFORMER
FH	FIRE HYDRANT
FL	FLOWLINE
INV	INVERT ELEVATION
MH	MANHOLE
OHE(1)	OVERHEAD ELECTRIC (# OF LINES)
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
SAS	SANITARY SEWER
SD	STORM DRAIN
SI	STORM INLET
STD	STANDARD
TA	TOP OF ASPHALT
TC	TOP OF CURB
TCO	TOP OF CONCRETE
TG	TOP OF GRATE
TR	TELEPHONE RISER
WL	WATERLINE
WPP	WOOD POWER POLE
WS	WOOD SIGN
○	DECIDUOUS TREE
○	SHRUB
*	UTILITY MARKER

REMAINING PORTION OF LOT 9, BLOCK 20 NORTH ALBUQUERQUE ACRES TRACT 3, UNIT 3 (FILED 09-10-1931, D-121)

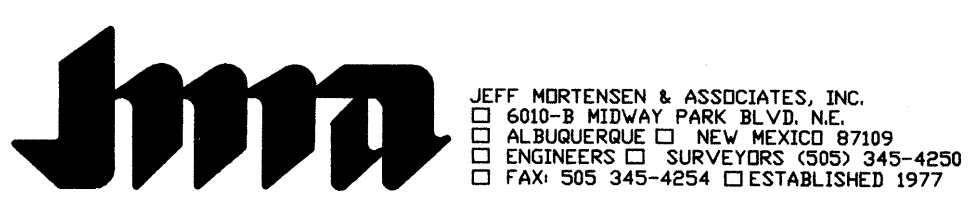
PETE'S LANDSCAPING

TRACT A  
DESERT RIDGE OFFICE PARK  
(FILED 07-01-2004, 2004C-199)

PASEO DEL NORTE  
(ROW VARIES)

This is not a boundary survey; data is shown for orientation only. The boundary information depicted by this plan is based upon the boundary survey prepared by JMA, NMPS no. 11184, dated 10/24/2006. Topographic survey information is based upon a topographic survey prepared by JMA, on 10/24/2006, NMPS no.11184.

J. GRAEME MEANS  
 NEW MEXICO  
 13676  
 PROFESSIONAL ENGINEER  
 10/31/06  
 02/05/2007



JEFF MORTENSEN & ASSOCIATES, INC.  
 6010-3 MIDWAY PARK BLVD. NE.  
 ALBUQUERQUE, NEW MEXICO 87109  
 ENGINEERS & SURVEYORS (SOS) 345-4250  
 FAX: 505 345-4254 □ ESTABLISHED 1977

**CONCEPTUAL UTILITY PLAN  
 MARK 3S HOLLY DEVELOPMENT**

DESIGNED BY	G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2006.070.2
DRAWN BY	RRW/JLP	1	01/07	G.M.	ADDRESS EPC COMMENTS	DATE	10-2006
APPROVED BY	G.M.					SHEET	7 OF 7

File Path: E:\WORK\MARK3S\DWG  
 Plot Name: 60702UPR1.DWG  
 Plot Date: 02-05-2007  
 Plot Time: 08:48 am